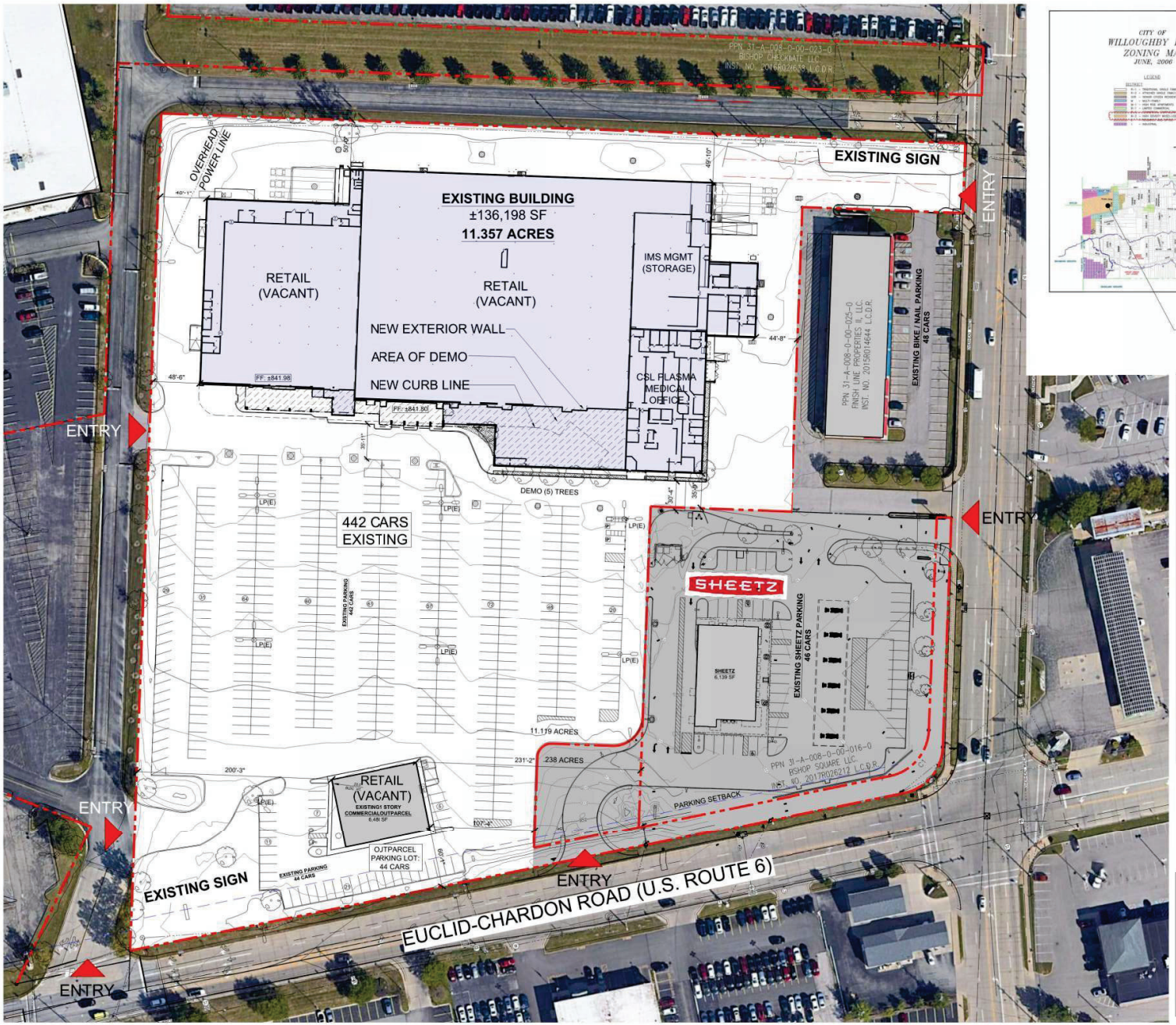

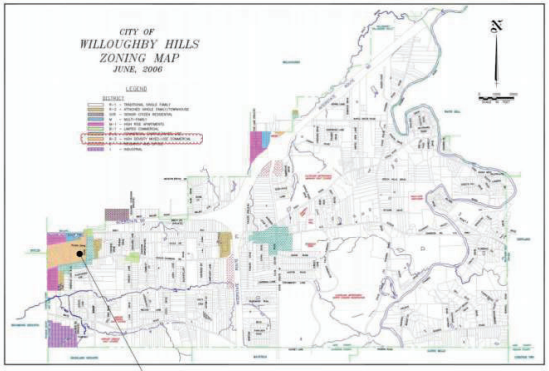

SITE
ZONED B-3 HIGH DENSITY
MIXED USE COMMERCIAL

SHEET INDEX

A1.0 EXISTING SITE PLAN & SHEET INDEX
A1.1 SITE PLAN
A2.0 DEMO PLAN
A2.1 FLOOR PLAN
A2.2 ROOF PLAN
A2.3 SITE KEY PLAN
A2.4 SITE SECTIONS
A2.5 SITE DETAILS
A2.6 SITE DETAILS
A3.0 OVERALL ELEVATIONS
A3.1 FIVE BELOW ELEVATION
A3.2 BURLINGTON ELEVATION
A3.3 ROSS ELEVATION
A3.4 AUTOZONE ELEVATION
A4.0 EXISTING CONDITIONS
A5.0 TENANT FACADE CRITERIA
A6.0 WALL SECTION

ALTA / NSPS LAND TITLE SURVEY
VL101 BOUNDARY & TOPOGRAPHIC SURVEY
CS101 CONCEPTUAL SITE PLAN
CS102 CONCEPTUAL SITE PLAN
CG101 GRADING PLAN
WLS PHOTOMETRIC

N

1 / A1.0 **SITE PLAN**
SCALE:1" = 100'-0"

0 50' 100' 200'
FEET

SITE INFORMATION TAKEN FROM LAND DESIGN CONSULTANTS "ALTA/NSPS LAND TITLE SURVEY" DATED JAN 24, 2024 AND LANGAN'S "BOUNDARY & TOPOGRAPHIC SURVEY" DATED NOV 8, 2023.

SITE LIGHTING:
ALL LIGHT POLES "LP(E)" ARE EXISTING TO REMAIN. SEE ATTACHED PHOTOMETRIC PROVIDED BY WLS.

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

CLIENT
BISHOP QUEEN, LLC
5900 SOM CENTER RD. SUITE 172334
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216.524.8401 fax
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info@cdcarc.com

SEAL:

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
EXISTING SITE PLAN
& SHEET INDEX

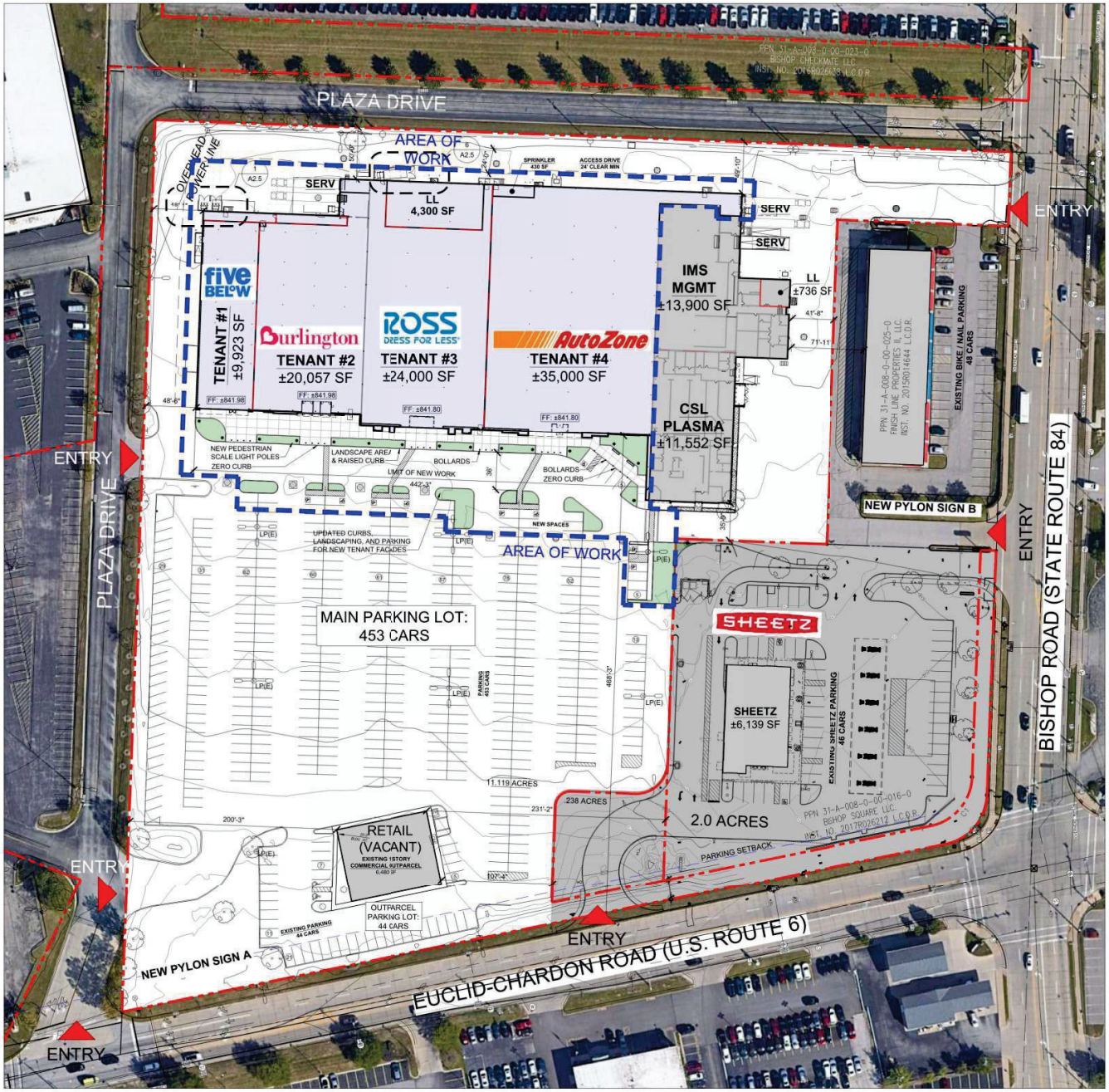
DRAWN BY	DESIGNED BY
CLC	CLC

SCALE
1" = 100'-0"

ISSUE DATE
3-7-2024

JOB NUMBER
22-028

DRAWING NUMBER
A1.0



BUILDING AREAS

TENANT	SF	PARKING REQUIRED
AUTOZONE	35,000	140
ROSS	24,000	96
BURLINGTON	20,057	81
FIVE BELOW	9,923	40
IMS MGMT (STORAGE)	13,900	35
LANDLORD	4,300	11
SPRINKLER	430	
CSL PLASMA (MED OFFICE)	11,552	58
SUB TOTAL	*119,162*	461
OUTPARCEL	6,480	26
TOTAL SF	***125,642***	***487***

PARKING SUMMARY

PARKING REQUIREMENTS

1153.04 (c) (5) MEDICAL OFFICE =	1 PER 200 SF
1153.04 (d) (7) RETAIL STORE =	1 PER 250 SF
1153.04 (g) (5) STORAGE USES =	1 PER 400 SF

PARKING REQUIRED	487
PARKING PROVIDED	**497***

**INCLUDES 453 AT MAIN LOT AND 44 AT OUTPARCEL*

ADA PARKING REQUIRED	9 (2 VAN SPACES)
ADA PARKING PROVIDED	**9 (2 VAN SPACES)***

**2 ADDITIONAL SPACES PROVIDED AT VACANT OUTPARCEL*

SITE SUMMARY

ACREAGE: 11.357 ACRES

ZONE: B-3 HIGH DENSITY MIXED USE COMMERCIAL

SITE LIGHTING:
ALL LIGHT POLES "LP(E)" ARE EXISTING TO REMAIN.

SITE ACCESS: EXISTING TO REMAIN

FIRE DEPARTMENT ACCESSIBILITY:
TWO WAY ACCESS PROVIDED, 24' CLEAR MIN

STORM DRAINAGE: EXISTING TO REMAIN

SIGNAGE:
SIGNAGE WILL BE SUBMITTED TO PLANNING & ZONING IN A SEPARATE SUBMITTAL

LANDSCAPING & LAND USE BUFFERS:
GREEN AREAS INDICATE NEW LANDSCAPE AREAS COMPLYING WITH 1155.02(a)(3). FINAL PLANT SPECIES AND MIX TO BE DETERMINED

ALL DUMPSTERS WILL BE SCREENED WITH WOOD, BRICK, OR BLOCK ENCLOSURES PER 1155.08(a)

N

1 / A1.1 SITE PLAN
SCALE:1" = 100'-0"

0 50' 100' 200' FEET

PROJECT: CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092
CLIENT: BISHOP QUEEN, LLC
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Cleveland, Ohio 44131
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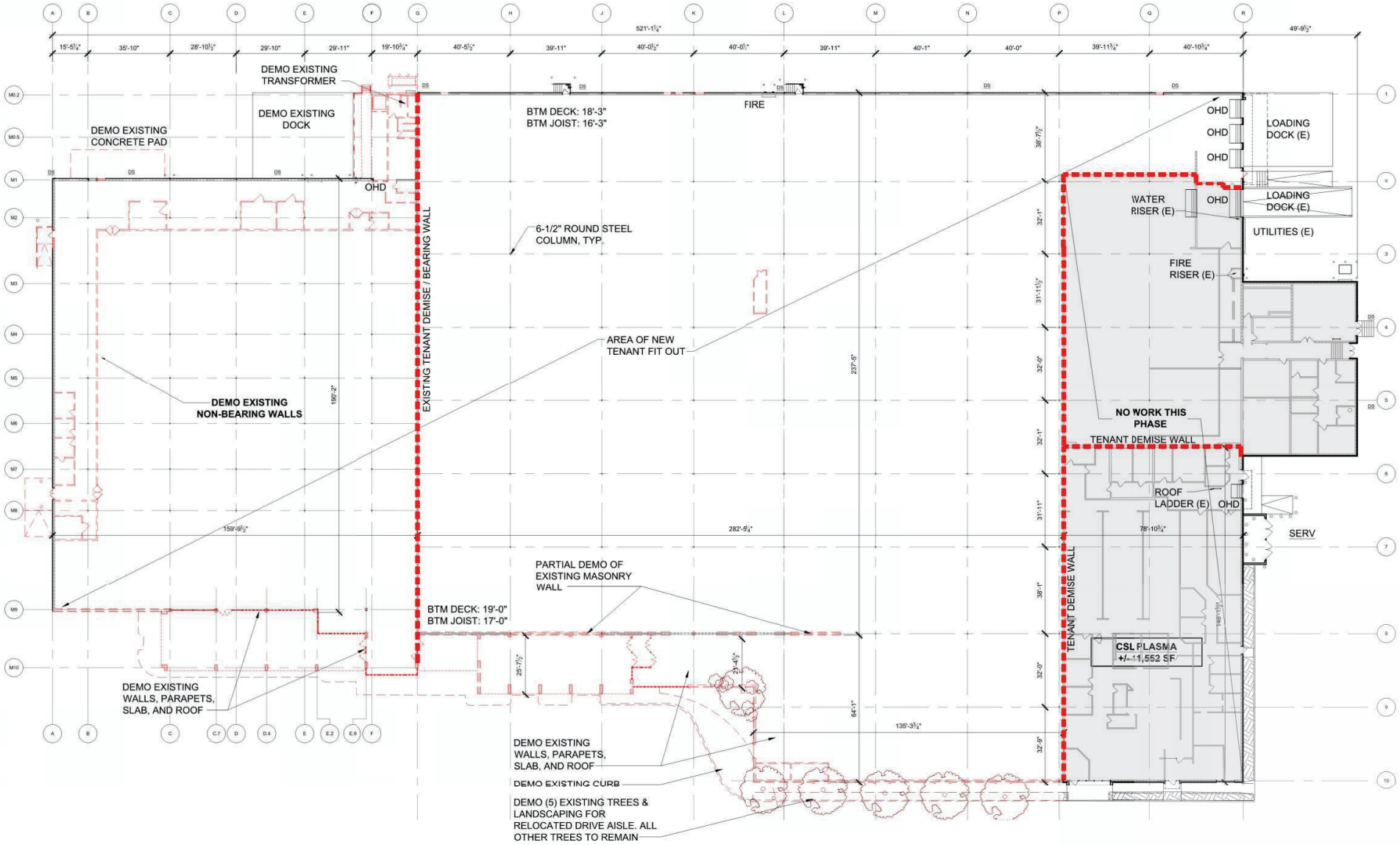
216.524.8901 fax
www.cupcarc.com
info@cupcarc.com

SEAL:

NUMBER	DESCRIPTION	DATE

DRAWING TITLE: PLANNING & ZONING SITE PLAN

DRAWN BY: CLC	CHECKED BY: CLC
SCALE: 1" = 100'-0"	
ISSUE DATE: 3-7-2024	
JOB NUMBER: 22-028	
DRAWING NUMBER: A1.1	



WALL TYPE

- TENANT DEMISE WALL (E)
- WALL DEMO
- BRICK WALL (E)
- CMU BLOCK WALL (E)

N

0' 20' 40' 80' FEET

1 / A2.0 DEMO PLAN
SCALE: 1" = 40'-0"

PROJECT: CHARDON BISHOP PLAZA
28301 CHARDON ROAD
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE: PLANNING & ZONING DEMO PLAN

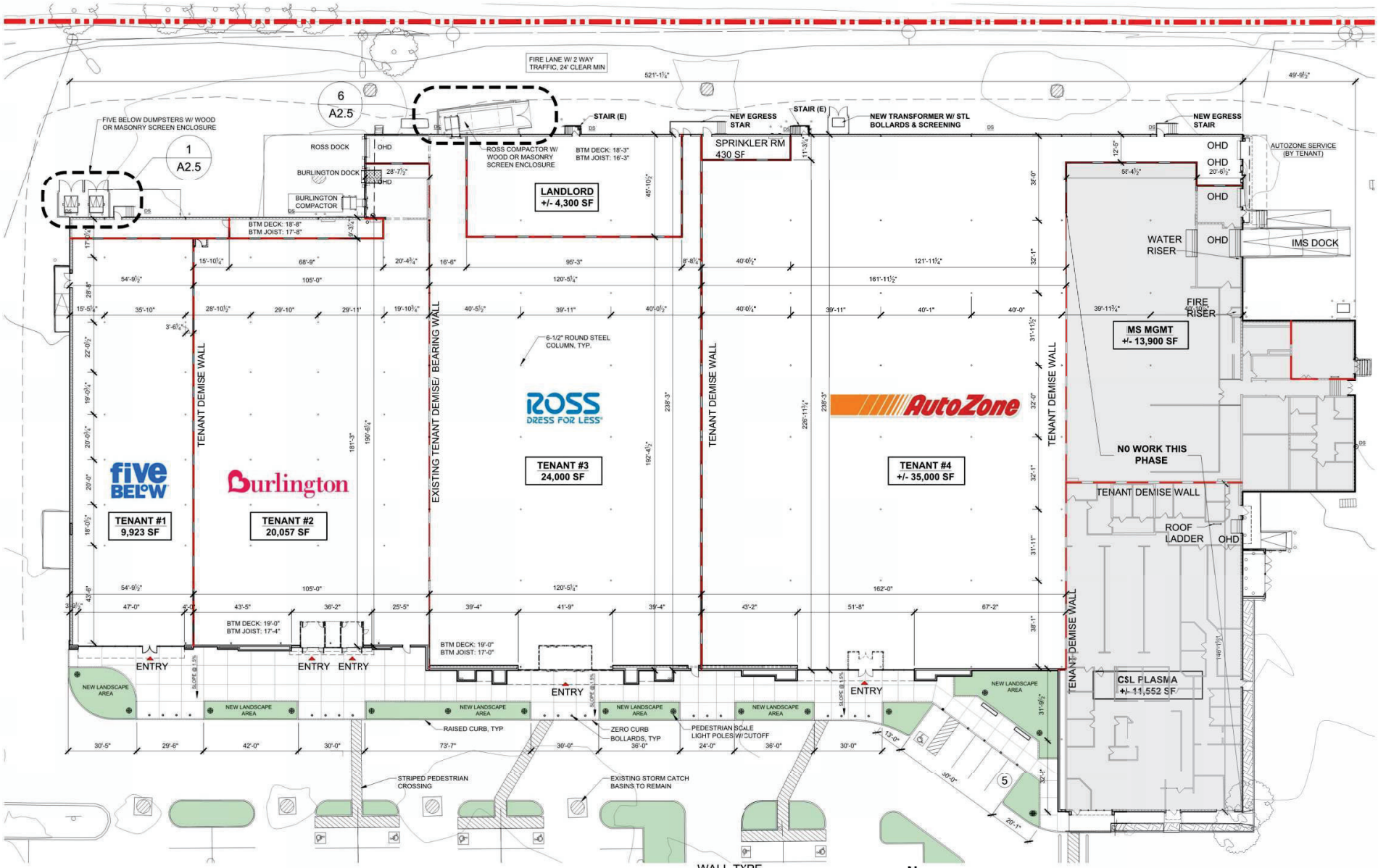
DRAWN BY	CHECKED BY
CLC	CLC

SCALE: 1" = 40'-0"

ISSUE DATE: 3-7-2024

JOB NUMBER: 22-028

DRAWING NUMBER: A2.0



EXISTING PAVEMENT:
EXISTING PAVEMENT TO BE REPAIRED TO ELIMINATE POTHOLES & OTHER DEFECTS. SEE CIVIL DRAWINGS

LANDSCAPING:
NEW LANDSCAPING PER 1155.02(a)(3)
FINAL PLANT MIX TO BE DETERMINED.
EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE

WALL TYPE
- TENANT DEMISE WALL
- WALL DEMO
- BRICK WALL
- CMU BLOCK WALL

N

0' 20' 40' 80' FEET

1 A2.1 FLOOR PLAN
SCALE: 1" = 40'-0"

PROJECT: CHARDON BISHOP PLAZA
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WILLOUGHBY HILLS, OH 44092
CLIENT: BISHOP QUEEN, LLC
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Cuyahoga County
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216.524.8401 fax
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info@cupcarc.com

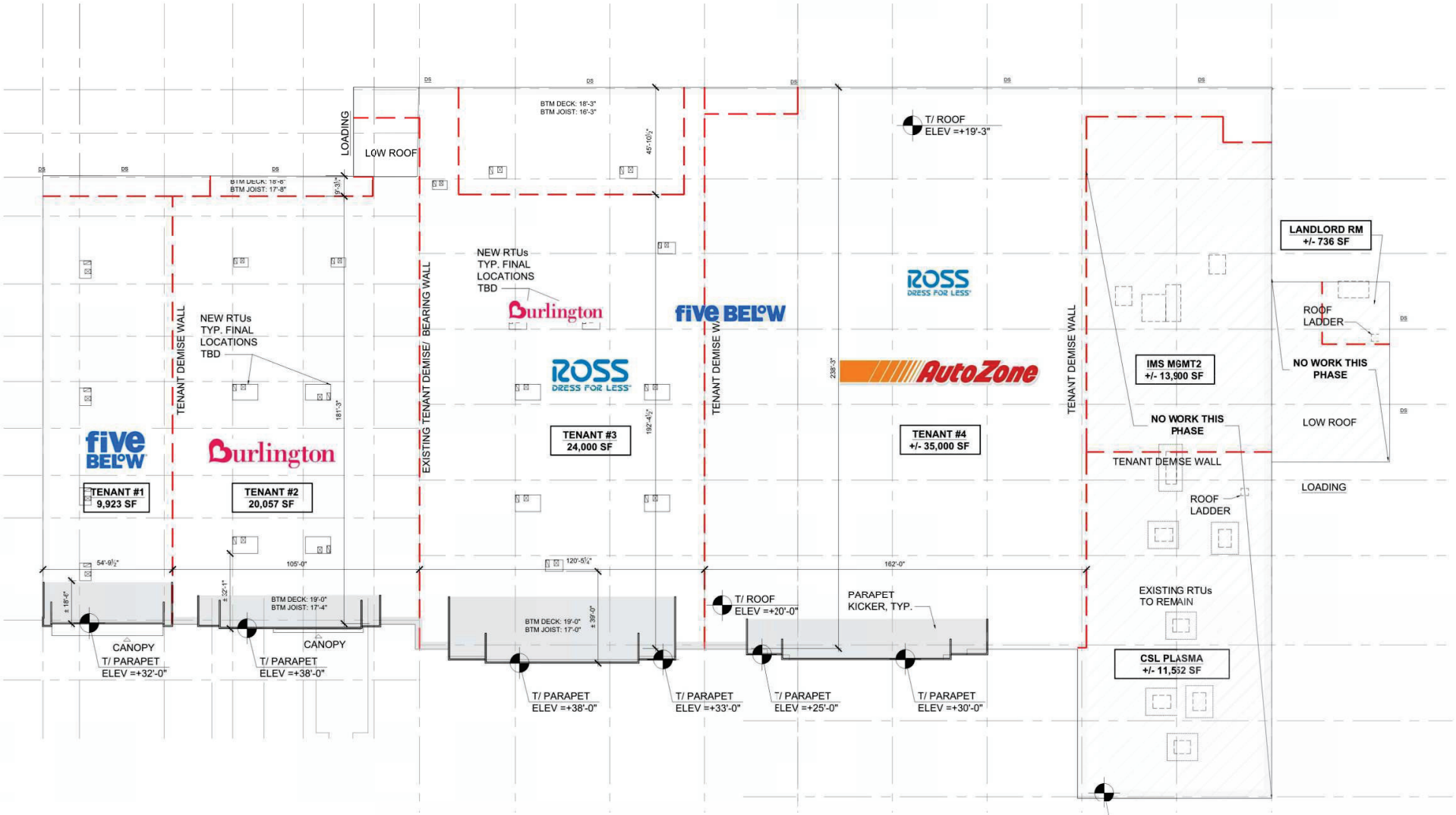
SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE: PLANNING & ZONING FLOOR PLAN

DRAWN BY	CHECKED BY
CLC	CLC

SCALE: 1" = 40'-0"
ISSUE DATE: 3-7-2024
JOB NUMBER: 22-028
DRAWING NUMBER: A2.1



ROOFTOP SCREENING:
PER 1137.11(c)(12) ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH PARAPETS THAT ARE ARCHITECTURALLY INTEGRAL TO THE BUILDING, OR ENCLOSED IN BUILDING MATERIALS THAT MATCH THE STRUCTURE.

PROPOSED ROOFTOP UNITS WILL BE SET BACK FROM EDGE OF ROOF AND SCREENED BY NEW TENANT PARAPETS COVERING THE MAJORITY OF THE ELEVATION. RTU LOCATIONS SHOWN ARE CONCEPTUAL, FINAL LOCATIONS TO BE COORDINATED WITH TENANT

1 A2.2 ROOF PLAN
SCALE:1" = 40'-0"

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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANING & ZONING
ROOF PLAN

DRAWN BY	CHECKED BY
CLC	CLC

SCALE
1" = 40'-0"

ISSUE DATE
3-7-2024

JOB NUMBER
22-028

DRAWING NUMBER
A2.2

ROOFTOP SCREENING:
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N

0' 50' 100' 200'
FEET

1
A2.3

KEY PLAN
SCALE:1" = 50'-0"

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092
CLIENT
BISHOP QUEEN, LLC
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
KEY PLAN

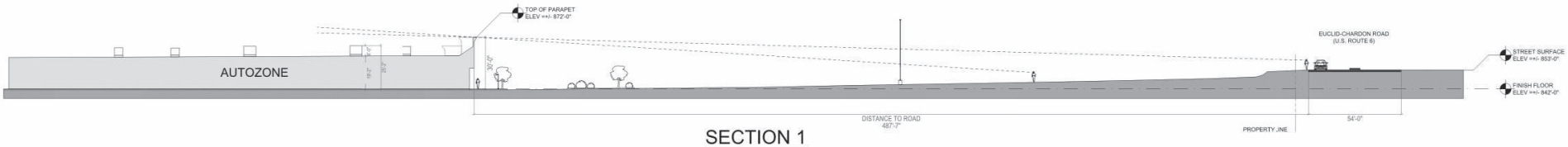
DRAWN BY	CHECKED BY
CLC	CLC

SCALE
1" = 50'-0"

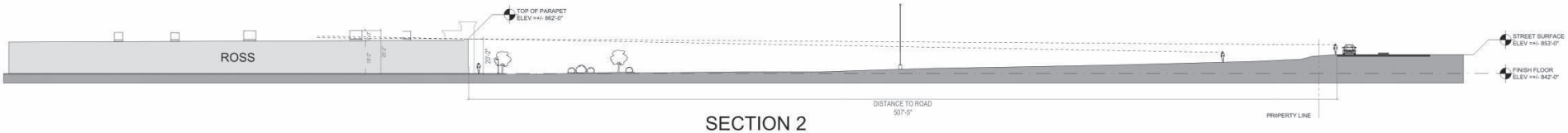
ISSUE DATE
2-16-2024

JOB NUMBER
22-028

DRAWING NUMBER
A2.3



SECTION 1



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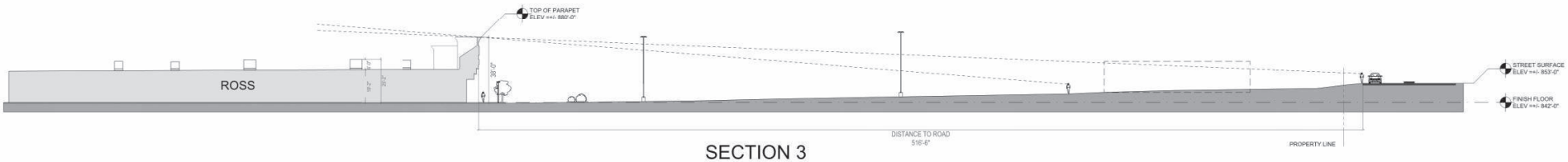

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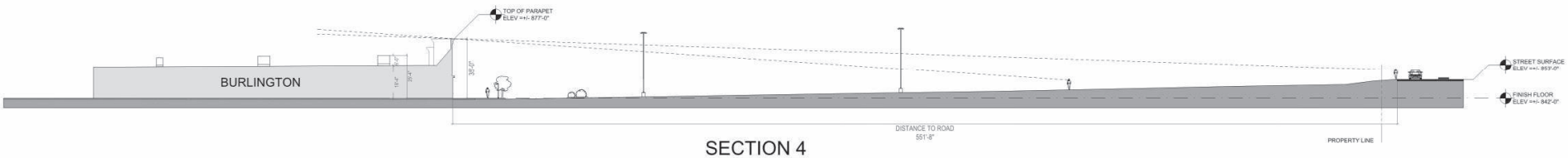

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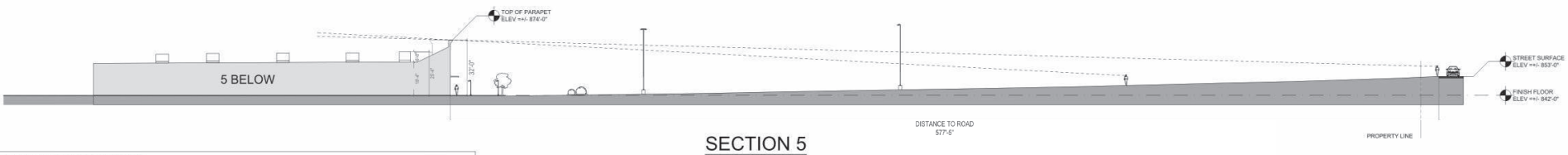

SECTION 5

ROOFTOP SCREENING:
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PROPOSED ROOFTOP UNITS WILL BE SET BACK FROM EDGE OF ROOF AND SCREENED BY NEW TENANT PARAPETS COVERING THE MAJORITY OF THE ELEVATION. RTU LOCATIONS SHOWN ARE CONCEPTUAL, FINAL LOCATIONS TO BE COORDINATED WITH TENANT

0' 30' 60' 120'
FEET

1
A2.4

SITE SECTIONS
SCALE:1" = 30'-0"

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

CLIENT
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
SITE SECTIONS

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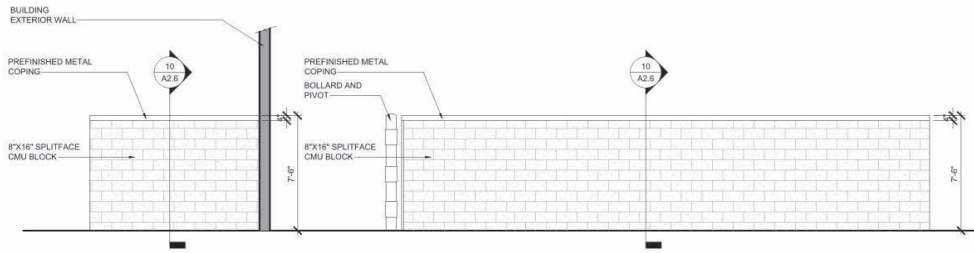
CLC	CLC

SCALE
1" = 30'-0"

ISSUE DATE
2-16-2024

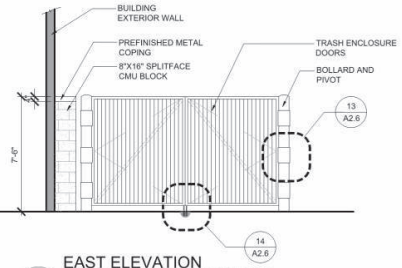
JOB NUMBER
22-028

DRAWING NUMBER
A2.4

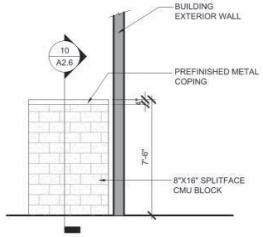


9 A2.5 WEST ELEVATION DUMPSTER ENCLOSURE 2
SCALE: 1/4" = 1'-0"

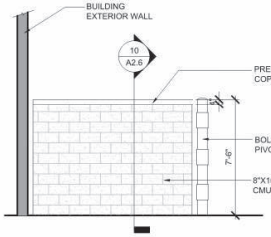
8 A2.5 NORTH ELEVATION DUMPSTER ENCLOSURE 2
SCALE: 1/4" = 1'-0"



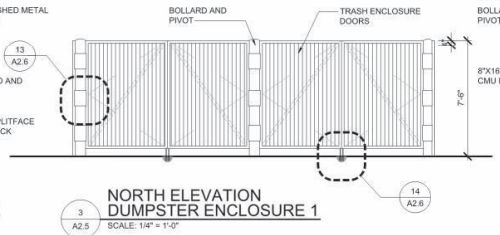
7 A2.5 EAST ELEVATION DUMPSTER ENCLOSURE 2
SCALE: 1/4" = 1'-0"



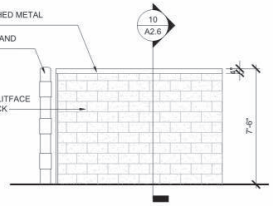
5 A2.5 SOUTH ELEVATION DUMPSTER ENCLOSURE 1
SCALE: 1/4" = 1'-0"



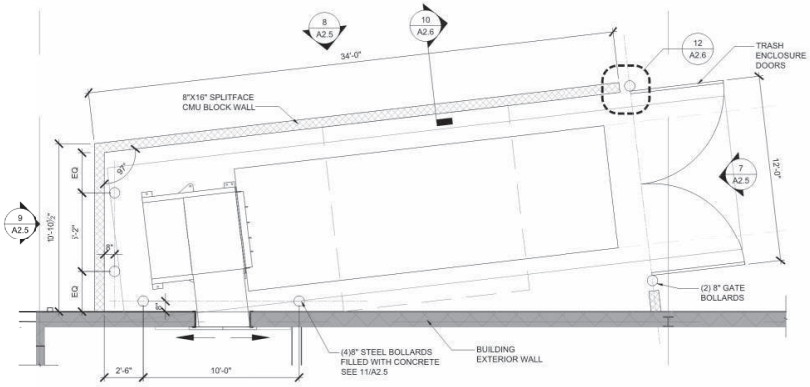
4 A2.5 WEST ELEVATION DUMPSTER ENCLOSURE 1
SCALE: 1/4" = 1'-0"



3 A2.5 NORTH ELEVATION DUMPSTER ENCLOSURE 1
SCALE: 1/4" = 1'-0"

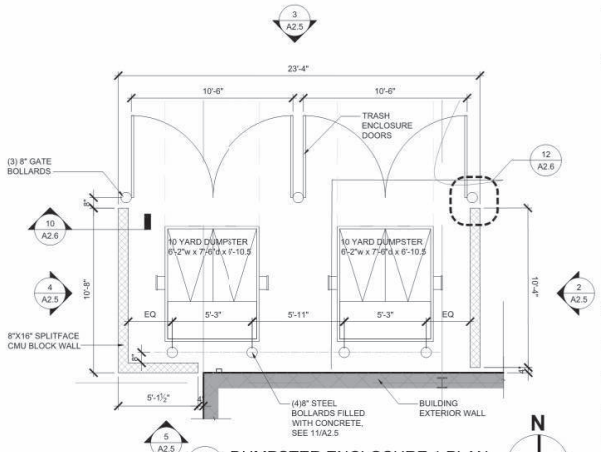


2 A2.5 EAST ELEVATION DUMPSTER ENCLOSURE 1
SCALE: 1/4" = 1'-0"



6 A2.5 DUMPSTER ENCLOSURE 2 PLAN
SCALE: 1/4" = 1'-0"

N



1 A2.5 DUMPSTER ENCLOSURE 1 PLAN
SCALE: 1/4" = 1'-0"

N

PROJECT
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28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
SITE DETAILS

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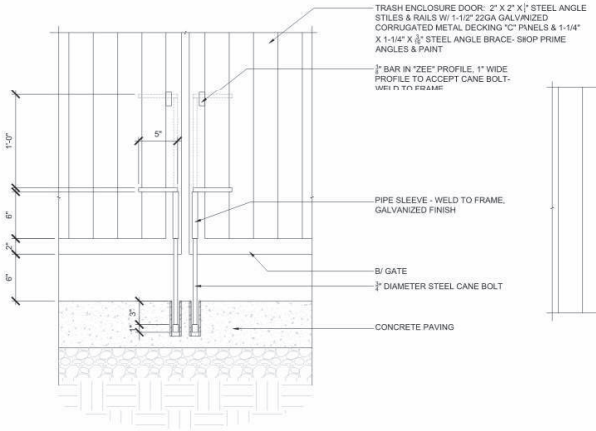
CLC	CLC

SCALE
1" = 30'-0"

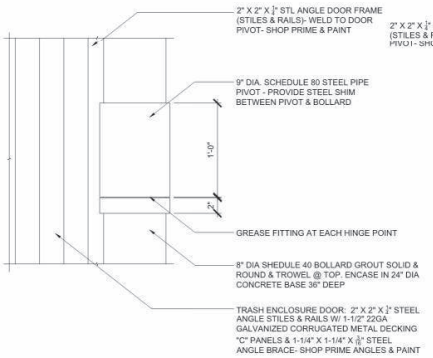
ISSUE DATE
3-7-2024

JOB NUMBER
22-028

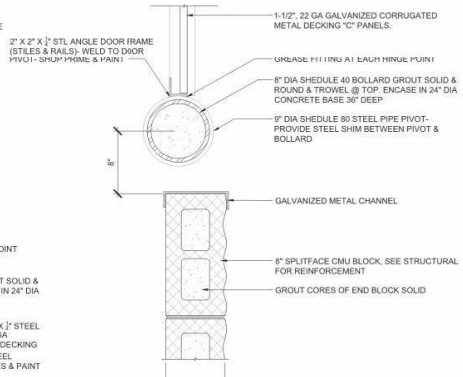
DRAWING NUMBER
A2.5



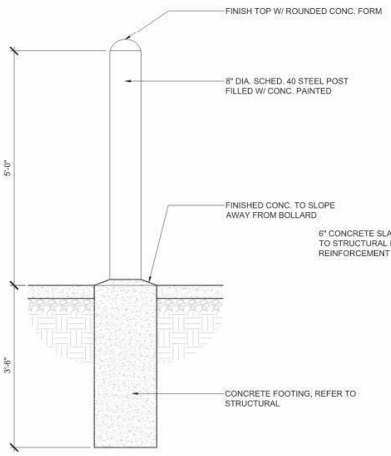
14 / A2.6 DUMPSTER ENCLOSURE BOLT DETAIL
SCALE: 1-1/2" = 1'-0"



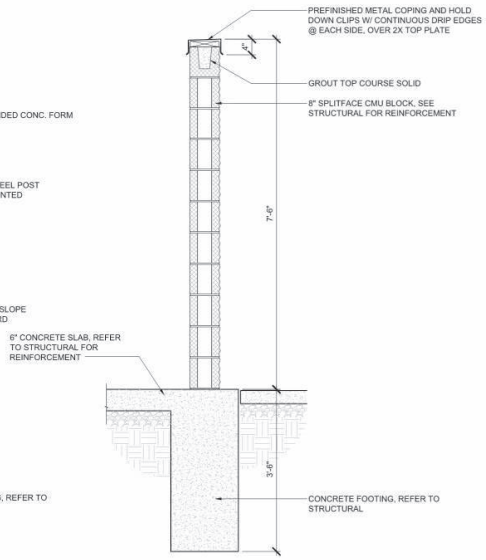
13 / A2.6 DUMPSTER ENCLOSURE DOOR PIVOT
SCALE: 1-1/2" = 1'-0"



12 / A2.6 DUMPSTER ENCLOSURE WALL DETAIL
SCALE: 1-1/2" = 1'-0'



11 / A2.6 TYP. BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



10 / A2.6 DUMPSTER ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"

PROJECT
CHARDON BISHOP PLAZA
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SEAL

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DRAWING TITLE
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SITE DETAILS

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CLC	CLC

SCALE
1" = 30'-0"

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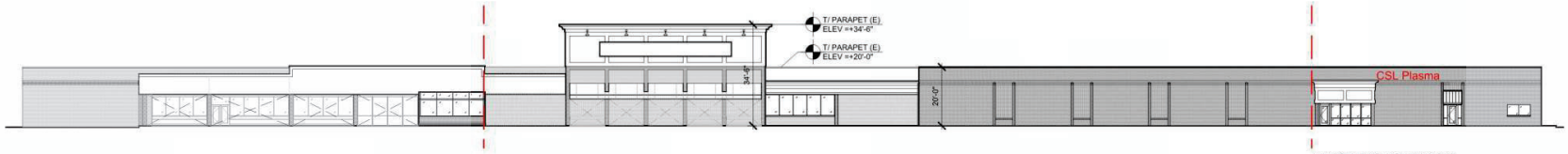
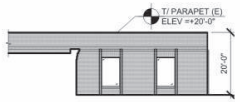
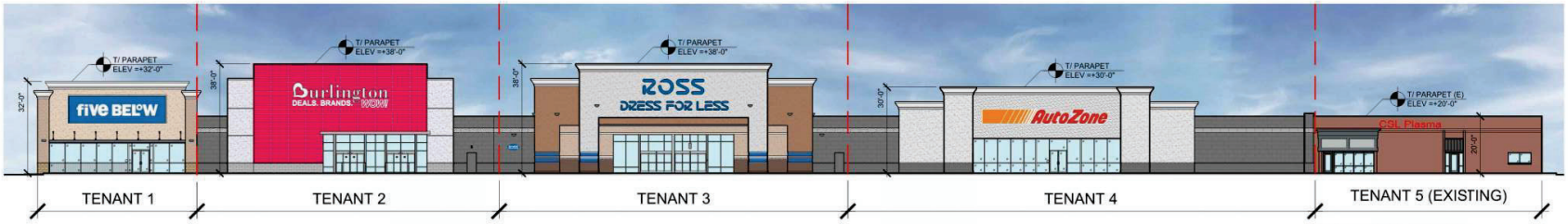
DRAWING NUMBER
A2.6



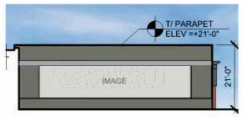
1A A3.0 EXISTING OVERALL
SOUTH ELEVATION
SCALE:1" = 40'-0"



1B A3.0 EXISTING PARTIAL
WEST ELEV
SCALE:1" = 40'-0"



2A A3.0 PROPOSED OVERALL
SOUTH ELEVATION
SCALE:1" = 40'-0"



2B A3.0 PROPOSED PARTIAL
WEST ELEV
SCALE:1" = 40'-0"

SIGNAGE
SIGNAGE WILL BE SUBMITTED TO PLANNING AND ZONING SEPARATELY

RTU SCREENING	1137.11 (c)(12)
ALL NEW ROOFTOP EQUIPMENT WILL BE SCREENED BY NEW TENANT PARAPETS	

BUILDING HEIGHT	1137.05 (c)
PROPOSED PARAPET HEIGHT:	38'
ALLOWED PARAPET HEIGHT:	40'

ALTERATION OPACITY	1137.11(c)(6)
TRANSPARENCY	
LINEAR FT OF ALTERATION	442.08 LF
LINEAR FT OF TRANSPARENCY	176.41 LF
OPACITY REQJIRED	65%
OPACITY PROVIDED	40%
(VARIANCE REQUESTED)	

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

CLIENT
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING OVERALL ELEVATION

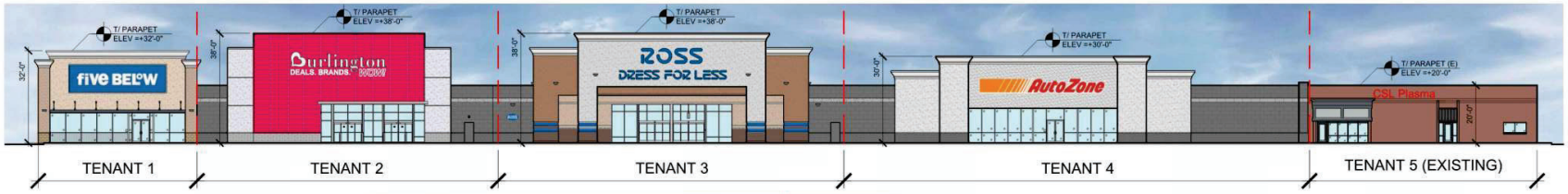
DRAWN BY	CHECKED BY
CLC	CLC

SCALE: AS NOTED

ISSUE DATE: 3-7-2024

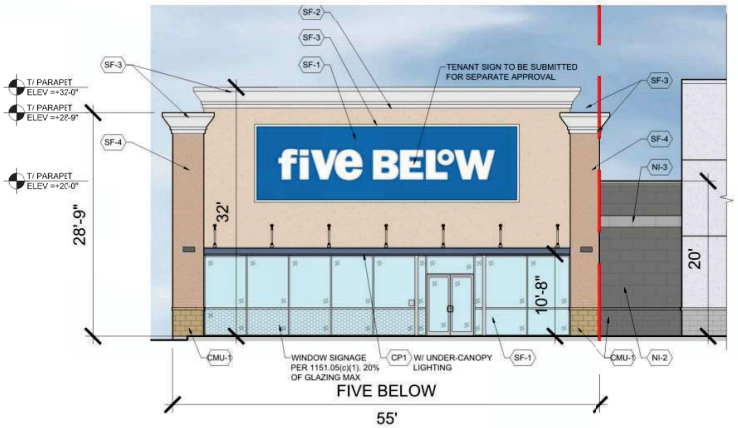
JOB NUMBER: 22-028

DRAWING NUMBER: **A3.0**



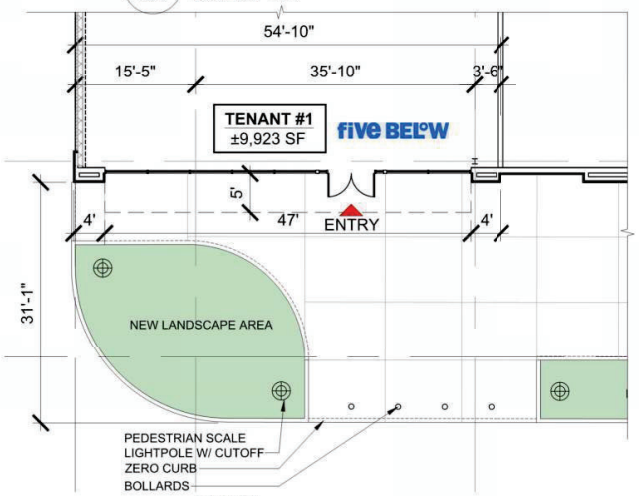
1 A3.1 PROPOSED OVERALL SOUTH ELEVATION
SCALE:1" = 40'-0"

0 20' 40' 80' FEET



2 A3.1 ENLARGED PROPOSED SOUTH ELEVATION
SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET



3 A3.1 PARTIAL ENLARGED PLAN
SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET

MATERIAL KEY:

SF-1:
1" DRYVIT EIFS
FIVE BELOW BLUE
FIBE-101021S

SF-2:
2" DRYVIT EIFS
#456 OYSTER SHELL
FIBE-071021

SF-3:
2" DRYVIT EIFS
#310 CHINA WHITE
FIBE-061021

SF-4:
3" DRYVIT EIFS
#113 AMARILLO WHITE
FIBE-051021

SF-1:
ANNO ALUM
STOREFRONT SYS

CP1:
BEAGLE ONE
CANOPY
ANTIQUE BRONZE,
5'-0" DEEP

CMU-1:
ARCHITECTURAL
SPLIT FACE CMU
COLOR: TBD

NI-2:
NICHIHA SANDSTONE
COLOR: DESERT BEIGE

NI-3:
ACCENT BAND
NICHIHA SANDSTONE
COLOR: GENTLE GRAY

CMP:
MAPES CANOPY
ANNO. ALUM

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

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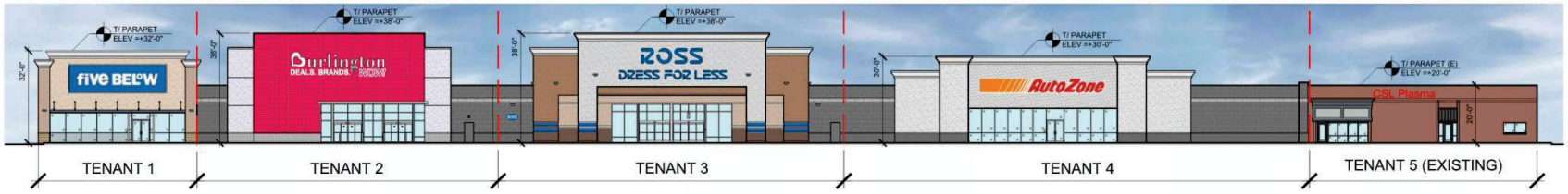
SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
FIVE BELOW
ELEVATION

DRAWN BY: CLC
CHECKED BY: CLC
SCALE: AS NOTED
ISSUE DATE: 3-7-2024
JOB NUMBER: 22-028
DRAWING NUMBER: **A3.1**



1 / A3.2 PROPOSED OVERALL SOUTH ELEVATION

SCALE:1" = 40'-0"

0 20' 40' 80' FEET

2 / A3.2 ENLARGED PROPOSED SOUTH ELEVATION

SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET

MATERIAL KEY:

BCF-1: EIFS PEARLY WHITE SW 7009

NI-1: NICHIHA CEMENT-FIBER PANEL SYS AWP-1818 BURLINGTON CUSTOM RED

CMP: MAPES CANOPY ANNO. ALUM

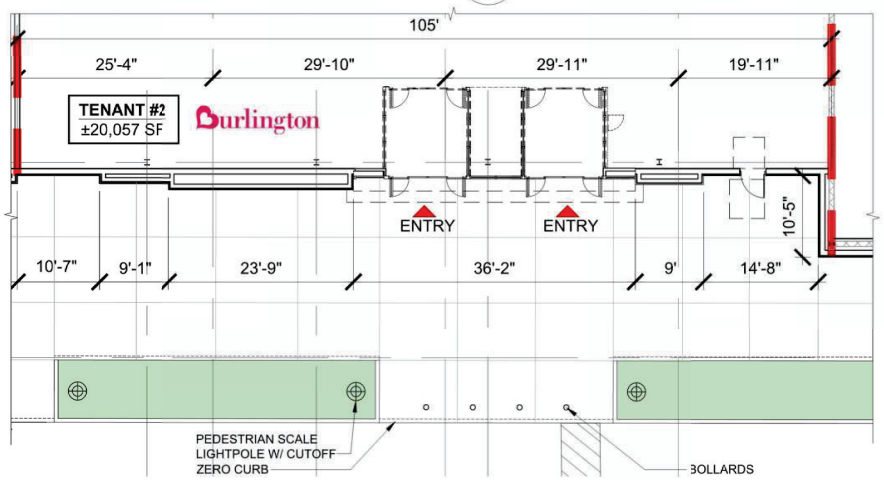
NI-2: NICHIHA SANDSTONE COLOR: DESERT BEIGE

CMU-1: ARCHITECTURAL SPLIT FACE CMU COLOR: TBD

NI-3: ACCENT BAND NICHIHA SANDSTONE COLOR: GENTLE GRAY

SF-1: ANNO ALUM STOREFRONT SYS

NOTE:
BURLINGTON CUSTOM RED TO BE TREATED TO PREVENT FADING OR TURNING PINK FORM UV SUNLIGHT



3 / A3.2 PARTIAL ENLARGED PLAN

SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET

PROJECT
CHARDON BISHOP PLAZA
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
BURLINGTON
ELEVATION

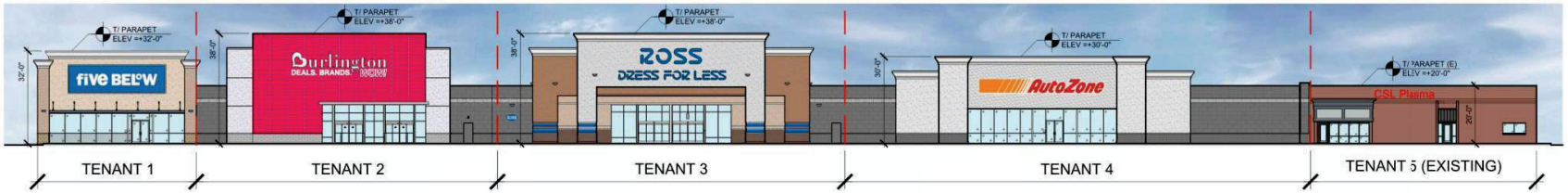
DRAWN BY	CHECKED BY
CLC	CLC

SCALE
AS NOTED

ISSUE DATE
3-7-2024

JOB NUMBER
22-028

DRAWING NUMBER
A3.2

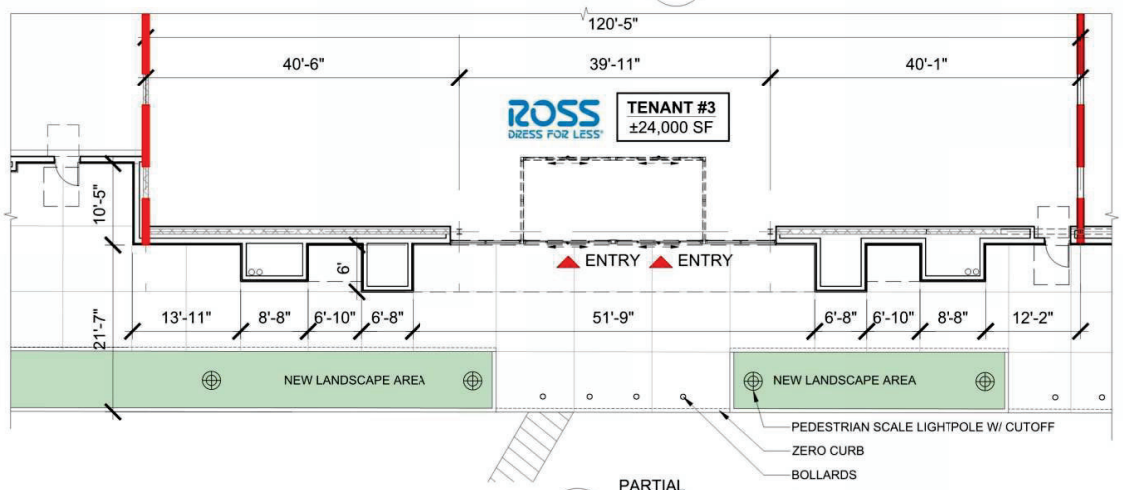


1 / A3.3 PROPOSED
OVERALL SOUTH ELEVATION
SCALE:1" = 40'-0"

2A / A3.3 ENLARGED PROPOSED
SOUTH ELEVATION
SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET

2B / A3.3 ENLARGED PROPOSED
WEST ELEVATION
SCALE:1/16" = 1'-0"



3 / A3.3 PARTIAL
ENLARGED PLAN
SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET

MATERIAL KEY:

RE-1: EIFS DOVER WHITE SW 6385

RE-4: EIFS INTERACTIVE CREAM SW 6113

NI-2: NICHIHA SANDSTONE COLOR: DESERT BEIGE

RE-2: EIFS TATAMI TAN SW 6116

R-5: BLUE IDENTITY BANDS

NI-3: ACCENT BAND NICHIHA SANDSTONE COLOR: GENTLE GRAY

RE-3: EIFS NOMADIC DESERT SW 6107

CMU-2: SPLIT FACE CMU ANGELUS BLOCK COMPANY COLOR: OAK

CMU-1: ARCHITECTURAL SPLIT FACE CMU COLOR: TBD

SF-1: ANNO ALUM STOREFRONT SYS

PROJECT: CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092
CLIENT: BISHOP QUEEN, LLC
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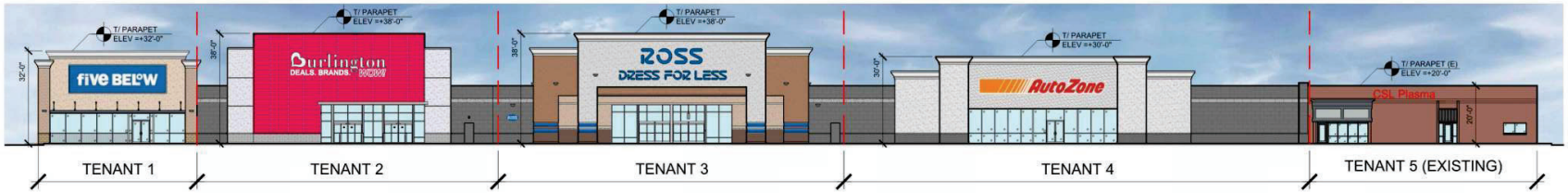
SEAL:

NUMBER	DESCRIPTION	DATE

DRAWING TITLE: PLANNING & ZONING ROSS ELEVATION

DRAWN BY: CLC
CHECKED BY: CLC
SCALE: AS NOTED
ISSUE DATE: 3-7-2024
JOB NUMBER: 22-028
DRAWING NUMBER: A3.3

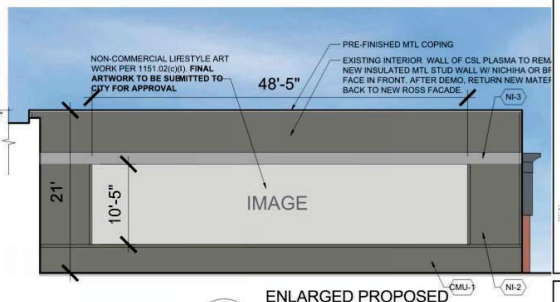


1 / A3.4 PROPOSED OVERALL
SOUTH ELEVATION
SCALE:1" = 40'-0"

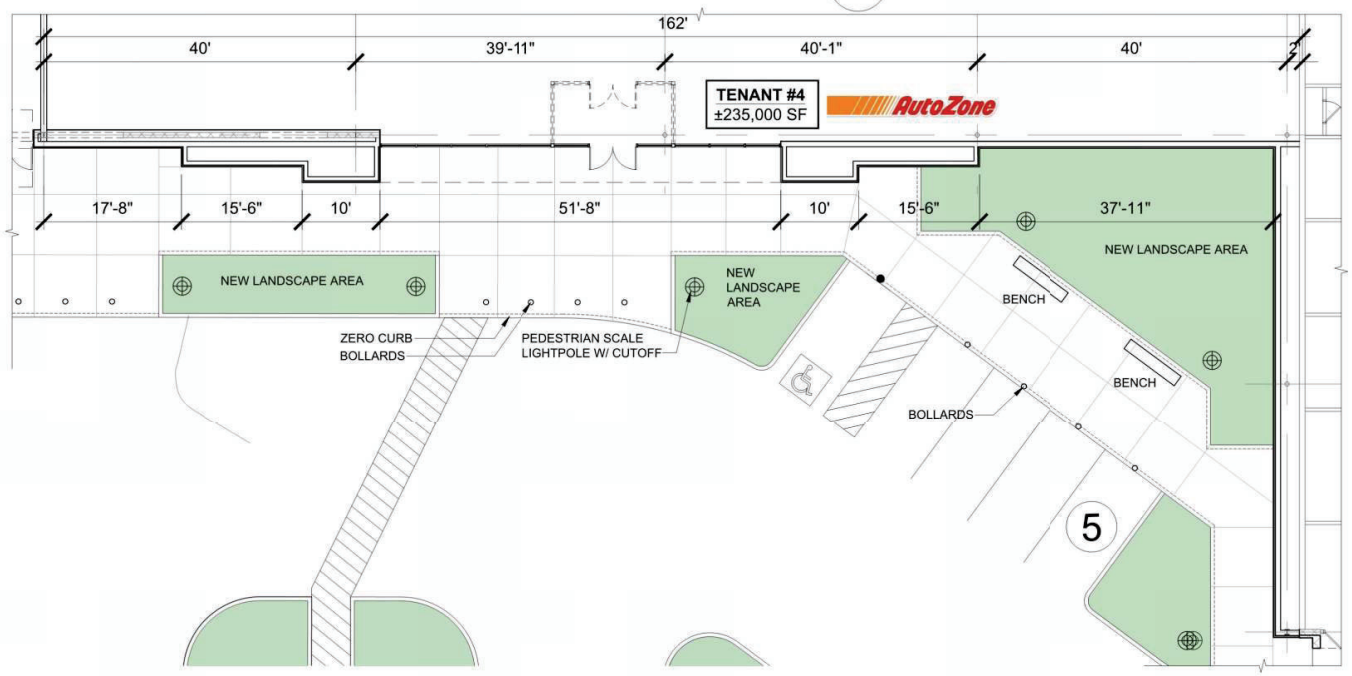
0 20' 40' 80' FEET

2 / A3.4 ENLARGED PROPOSED
SOUTH ELEVATION
SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET



3 / A3.4 ENLARGED PROPOSED
WEST ELEVATION
SCALE:1/16" = 1'-0"



4 / A3.4 PARTIAL
ENLARGED PLAN
SCALE:1/16" = 1'-0"

0 8' 16' 32' FEET

MATERIAL KEY:

AE-1:
EIFS
DOVER WHITE
SW 6385

CMU-1:
ARCHITECTURAL
SPLIT FACE CMU
COLOR: TBD

NI-2:
NICHIHA SANDSTONE
COLOR: DESERT BEIGE

NI-3:
ACCENT BAND
NICHIHA SANDSTONE
COLOR: GENTLE GRAY

SF-1:
ANNO ALUM
STOREFRONT SYS

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

CLIENT
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
AUTOZONE
ELEVATION

DRAWN BY	CHECKED BY
CLC	CLC

SCALE
AS NOTED

ISSUE DATE
3-7-2024

JOB NUMBER
22-028

DRAWING NUMBER
A3.4

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

CLIENT
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info@cupaec.com

SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
EXISTING CONDITIONS

DRAWN BY	CHECKED BY
CLC	CLC

SCALE
N.T.S.

ISSUE DATE
3-7-2024

JOB NUMBER
22-028

DRAWING NUMBER
A4.0

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092

CLIENT
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
TENANT FACADE
CRITERIA

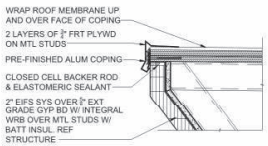
DRAWN BY	CHECKED BY
CLC	CLC

SCALE
N.T.S.

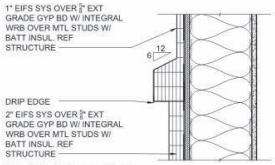
ISSUE DATE
3-7-2024

JOB NUMBER
22-028

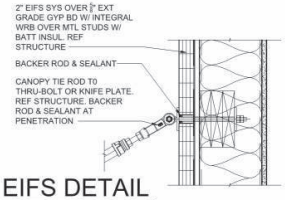
DRAWING NUMBER
A5.0



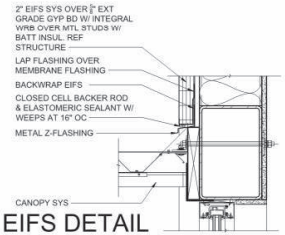
E
A6.0
TYP. EIFS DETAIL
SCALE:1-1/2" = 1'-0"



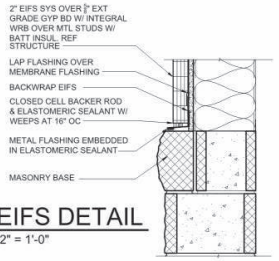
D
A6.0
TYP. EIFS DETAIL
SCALE:1-1/2" = 1'-0"



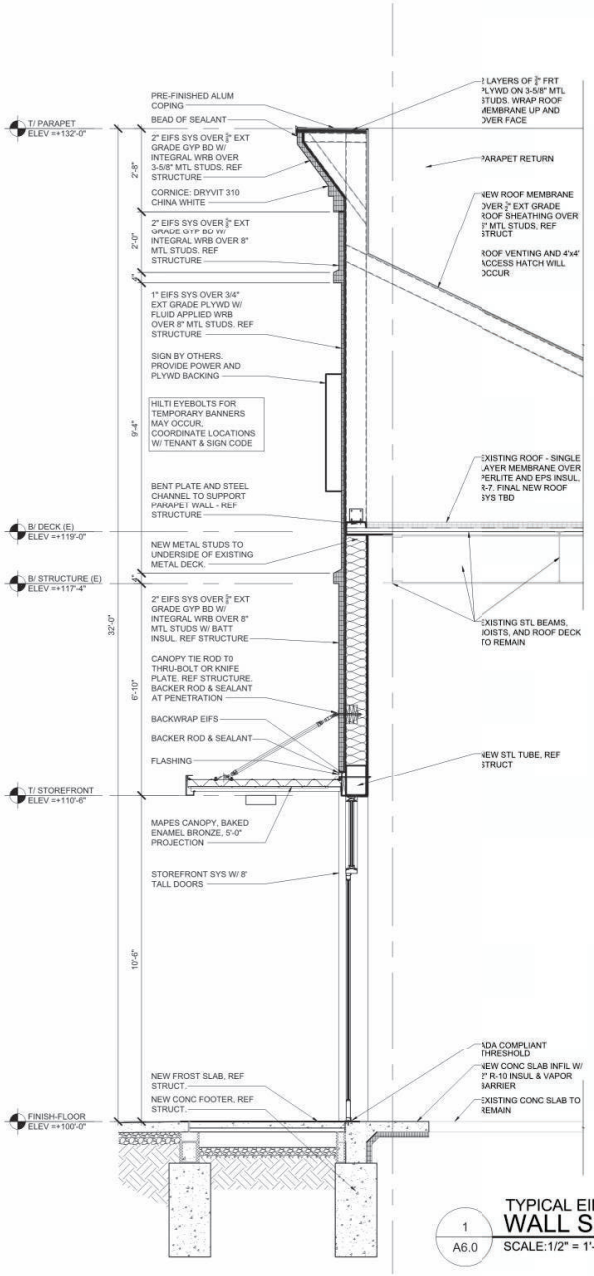
C
A6.0
TYP. EIFS DETAIL
SCALE:1-1/2" = 1'-0"



B
A6.0
TYP. EIFS DETAIL
SCALE:1-1/2" = 1'-0"



A
A6.0
TYP. EIFS DETAIL
SCALE:1-1/2" = 1'-0"



1
A6.0
TYPICAL EIFS WALL SECTION
SCALE:1/2" = 1'-0"

A
A6.0
TYPICAL EIFS PARTIAL ELEVATION
SCALE:1/2" = 1'-0"

PROJECT
CHARDON BISHOP PLAZA
28301 CHARDON ROAD
WILLOUGHBY HILLS, OH 44092
CLIENT
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SEAL

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
PLANNING & ZONING
WALL SECTION
& DETAILS

DRAWN BY	CHECKED BY
CLC	CLC

SCALE
AS NOTED

ISSUE DATE
3-7-2024

JOB NUMBER
22-028

DRAWING NUMBER
A6.0

ALTA/NSPS Land Title Survey

LEGAL DESCRIPTION

EXHIBIT A
LEGAL DESCRIPTION
CHARDON BISHOP PLAZA
WILLOUGHBY HILLS, LAKE COUNTY, OHIO

Situated in the City of Willoughby, County of Lake and State of Ohio, and known as being part of Original Willoughby Township Lot Number 4 in Tract Number 4, being part of a parcel of land, Permanent Parcel 31A-008-0-00-012-0 and now, or formerly in the name of Donaldson Properties, Ltd. as recorded in Instrument Number 201R014199 of the Lake County Records of deeds and more fully described as follows:

Commencing for reference at the intersection of the original centerline of Bishop Road, of variable width, and the centerline of Euclid-Chardon Road (U.S. Route 6), of variable width (3/4 inch iron rebar was found on the centerline of Euclid-Chardon Road at its intersection with the current centerline of Bishop Road as shown in the Centerline Survey Plat for LAK-90-84-0543.43, recorded in Volume 48 of Maps, Page 24 of Lake County Records, distant North 79°27'50" East, 3.09 feet from said point); Thence South 79°27'50" West along the centerline of Euclid-Chardon Road, a distance of 900.98 feet to the southwesterly corner of said Donaldson Properties, Ltd.; Thence North 03°08'30" East, along the westerly line of said Donaldson Properties, Ltd. lands, a distance of 41.17 feet to an iron pin set on the northerly line of Euclid-Chardon Road at the true place of beginning of the parcel herein to be described.

Course No. 1: Thence continuing North 03°08'30" East, along the westerly line of said Donaldson Properties, Ltd. lands and westerly line of Permanent Parcel 31A-008-0-00-010-0 and now, or formerly in the name of Transamerica Premier Life Insurance Company, as recorded in Instrument Number 201480023423 of the Lake County Records of Deeds and also being Parcel 4 in Renaissance Subdivision No. 3, recorded in Volume 11 of Maps, Page 1 of Lake County Records, a distance of 865.45 feet to the northwesterly corner of said Donaldson Properties, Ltd. and the southeasterly corner of Transamerica Premier Life Insurance Company (a 5/8 inch rebar was found North 03°08'30" East at 0.15 feet)

Course No. 2: Thence South 86°51'30" East, along the northerly line of Donaldson Properties, Ltd. and a southerly line of said Transamerica Premier Life Insurance Company, a distance of 638.43 feet to an iron pin set at the northwesterly corner of Permanent Parcel Number 31A-777-0-00-027-0 also known as Parcel 21WD conveyed to the City of Willoughby Hills by deed recorded in Instrument Number 200608024423;

Course No. 3: Thence South 03°08'30" West, along the westerly line of Parcel 21WD, a distance of 73.07 feet to a PK (masonry) Nail set;

Course No. 4: Thence North 86°51'30" West, along a new division line, a distance of 165.00 feet to a PK Nail set;

Course No. 5: Thence South 03°08'30" West, along a new division line, a distance of 314.00 feet to a PK Nail set on the northerly line of a parcel of land, Permanent Parcel 31A-008-0-00-016-0 and now or formerly in the name of Musca Properties, LLC as recorded in Instrument Number 200R012136;

Course No. 6: Thence North 86°51'30" West, along the northerly line of said Musca Properties, LLC parcel, a distance of 145.97 feet to the northwesterly corner of said parcel (1 5/8 inch rebar with ID cap "Brock & Clark" was found 0.11 feet North and 0.15 feet East).

Course No. 7: Thence South 03°08'30" West, along the westerly line of Musca Properties, LLC parcel, a distance of 331.38 feet to the southwesterly corner of said parcel (a 5/8 inch rebar with ID Cap "Brock & Clark" was found 0.16 feet North and 0.09 feet West).

Course No. 8: Thence North 79°27'50" East, along the southerly line of said parcel, a distance of 265.32 feet to a point of curvature (a 5/8 inch rebar with ID cap "Brock & Clark" was found North 43°43'07" West at 0.22 feet).

Course No. 9: Thence northeasterly, continuing along the southeasterly line of said parcel, following the arc of a curve to the left having a central angle of 76°19'20", a radius of 50.00 feet, a tangent of 39.29 feet, a chord of 61.79 feet, a chord bearing North 41°19'10" East, a distance of 66.60 feet to the point of tangency (a 5/8 inch rebar with ID cap "Brock & Clark" was found North 39°59'13" West at 0.12 feet);

Course No. 10: Thence North 03°08'30" East, along the easterly line of Musca Properties, LLC parcel, a distance of 220.06 feet to a PK nail set on the northeasterly corner of said parcel;

Course No. 11: Thence South 86°51'30" East, along a northerly line of said Donaldson Properties, LLC parcel, a distance of 15.00 feet to a PK nail set on the westerly line of aforesaid Parcel 21WD.

Course No. 12: Thence South 03°08'30" West, along said westerly line, a distance of 236.99 feet to an iron pin set at a point of curvature;

Course No. 13: Thence southwesterly, along a northwesterly line of Parcel 21WD, following the arc of a curve to the right having a central angle of 76°19'20", a radius of 50.00 feet, a tangent of 39.29 feet, a chord of 61.79 feet, a chord bearing South 41°19'10" West, a distance of 66.60 feet to an iron pin set at a point of tangency:

Course No. 14: Thence South 79°27'50" West, along a northwesterly line of said Parcel 21WD, a distance of 615.38 feet to the Place of Beginning, containing 11.376 acres of land more or less, as surveyed in February of 2014 by Robert A. Dorner, Registered Professional Land Surveyor No. 6943 on behalf of McSteen & Associates, Inc. under Project No. 14-015 and being subject to all legal highways and easements of record.

The basis of bearings for this Legal Description is South 03°08'30" West, as the centerline of Bishop Road, as evidenced by monuments found, and is the same bearing as found in Instrument No. 201R014199 of Lake County Records. All iron pins set are 30 inches long, 5/8 inch diameter rebar with an identification cap stamped "McSteen CA 96-026";

PPN: 31A008000012O

EXHIBIT B

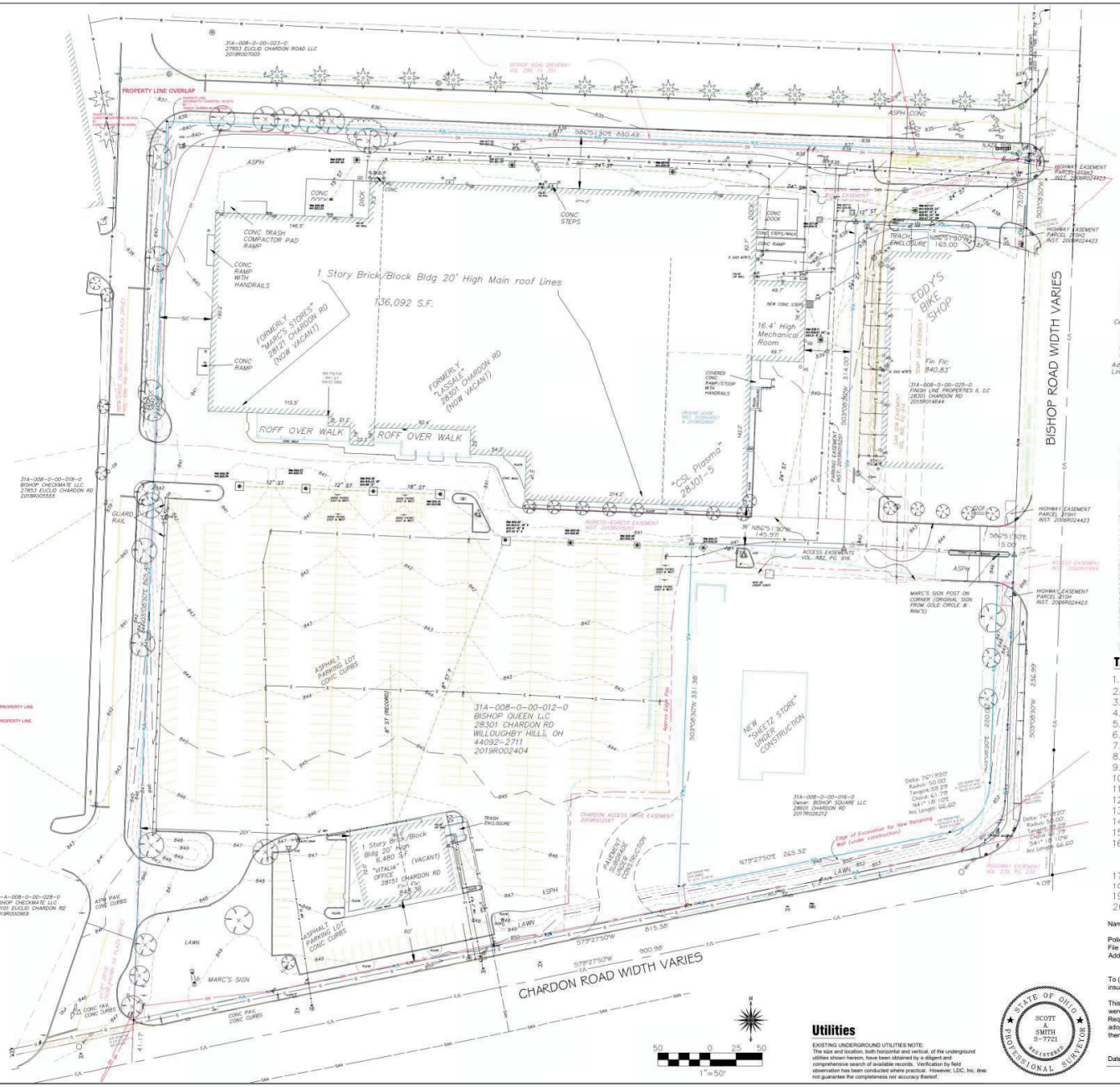
1. Easement to the East Ohio Gas Company, filed for record June 30, 1961 in Volume 547, Page 65 of the Lake County Records. -PARTIALLY SHOWN ADJACENT TO SOUTHERLY PROPERTY LINE.
2. Terms and Conditions of Reservations, restrictions, covenants, limitations, easements and/or conditions as established in instrument filed for record February 16, 1971 in Volume 746, Page 74 of Lake County Records. -PARTIALLY SHOWN ADJACENT TO NORTHERLY PROPERTY LINE.
3. Terms and Conditions of Reservations, restrictions, covenants, limitations, easements and/or conditions as established in instrument filed for record March 2, 1981 in Volume 882, Page 916 of Lake County Records. -SHOWN
4. Easement to City of Willoughby Hills, filed for record August 28, 1986 in Volume 239, Page 239 of Lake County Records. -SHOWN
5. Reciprocal Easement Agreement by and between Renaissance Properties, Co. an Ohio general partnership and Federated Department Stores, Inc., a Delaware Corporation, filed for record April 8, 1987 in Volume 296, Page 351 of the Lake County Records. -SHOWN
6. Easement for highway purposes to the City of Willoughby Hills, Ohio, filed for record May 13, 1999 in Instrument No. 990022940 of the Lake County Records. -SHOWN, EAST OF SURVEYED PROPERTY.
7. Easement Agreement to Harold D. Chaffin, Trustee of the Harold and Lucille Chaffin Intervivos Trust dated October 12, 1992 and GS Acquisition Corp., filed for record April 19, 2002 in Instrument No. 200202019999 of the Lake County Records. -SHOWN
8. Easement and restrictions contained in the Judgement Entry for Appropriation to the City of Willoughby Hills, filed for records June 16, 2006 in Instrument No. 200608024423 of the Lake County Records. -SHOWN
9. Reciprocal Easement Agreement by and between Donaldson Properties, Ltd. and Finish Line Properties II, Ltd., filed for record June 17, 2015 in Instrument No. 201508015251 of the Lake County Records. -SHOWN
10. Reciprocal Sanitary Sewer Easement Agreement by and between Donaldson Properties, Ltd., Finish Line Properties II, LLC and Musca Properties, LLC, filed for record June 17, 2015 in Instrument No. 201508015252 of the Lake County Records. -SHOWN
11. Easement to the Cleveland Electric Illuminating Company, filed for record June 17, 2015 in Instrument No. 201508015253 of the Lake County Records. -SHOWN
12. Memorandum of Lease from Donaldson Properties, Ltd., a Texas Limited Partnership ("Landlord") to RR Company of America, a Louisiana Limited Liability Company ("Tenant") filed for record September 26, 2016 in Instrument No. 201608024557 of the Lake County Records. -SHOWN
13. Assignment of Leases and Rents, Contracts, Income and Proceeds to Bancorpsouth Bank, a National Banking Association, filed for record October 9, 2018 in Instrument No. 201808025651 of the Lake County Records.
14. Matters shown on survey by McSteen Land Surveyors, dated January 29, 2019, designated as project or job number 19-007, as follows:

A: Overhead utility wires cross various lines of the surveyed premises without benefit of any known easements or right of ways.

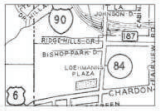
B: Vehicle access to row of striped parking spaces extends over an easterly line of surveyed premises without benefit of any known easement or right of way;.

15. Rights of tenants in possession as tenants only under unrecorded leases.
16. Bill of Sale, by and between Donaldson Properties, Ltd., a Texas Limited Partnership and RR Company of America, a Louisiana Limited Liability Company, successor in interest to GS Rentals, LLC dated September 20, 2018

LDC Inc. d.b.a.
LAND DESIGN consultants
www.LDCinc.net
ENGINEERS PLANNERS SURVEYORS
9025 Osborne Drive Mentor, Ohio 44060
TEL: (440) 255-8463 (440) 951-LAND
(440) 354-6938



VICINITY MAP



SYMBOL LEGEND

Cleanout, Catch Basin, Curb Inlet, Yard Drain, Manhole, Sanitary Manhole, Storm Manhole, Storm Inlet, Manhole, Water Valve, Water Meter, Fire Hydrant, Guide Wire, Utility Pole, Light Pole, Lighted Utility Pole, Traffic Signal Pole, Traffic Signal Box, Electrical Box, Telephone (SAC) Box, Tree, Pine Tree, Bush, Well, Gas Valve, Gas Meter, Gas Marker, Guard Post, Iron Bore, Monitor Well, Power Transformer, Mail Box, Sprinkler Control Box, Sign, Flag Pole, Yard Light, Storm Sewer, Sanitary Sewer, Water, Overhead Utility Line, Centerline, Right-of-Way, Property Line, Adj. Property Line, Fence, Underground Telephone, Underground Electric, Gas, Tree Line, Landscaping

PARKING SPACES

TOTAL PARKING SPACES: 504
STANDARD SPACES: 491
HANDICAP SPACES: 13

FLOOD NOTE

PARCEL IS LOCATED IN "ZONE-X" OF AREAS TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEDERAL FLOOD MAP NO. 39035C0179F, PANEL 179 OF 208, EFFECTIVE FEB. 3, 2010 (SAME AS INDEX).

ZONING

CURRENT ZONING
SUBJECT PROPERTY IS LOCATED IN B-2

-MINIMUM FRONT BLDG. SETBACK = 25' FROM R/W
-MINIMUM SIDE/REAR BLDG. SETBACK = 10' (ABUTTING M, M-1, AND NON-RESIDENTIAL)
-MINIMUM SIDE/REAR BLDG. SETBACK = 50' (ABUTTING R-1 AND R-2)
-MINIMUM FRONT PARKING SETBACK = 10' FROM R/W
-MINIMUM SIDE/REAR PARKING SETBACK = 10' (ABUTTING M, M-1, AND NON-RESIDENTIAL)
-MINIMUM SIDE/REAR PARKING SETBACK = 50' (ABUTTING R-1 AND R-2)
-BUILDINGS WITHIN TWO HUNDRED (200) FEET OF A RESIDENTIAL DISTRICT BOUNDARY SHALL NOT EXCEED A HEIGHT OF FORTY (40) FEET.
-BUILDINGS AND STRUCTURES TWO HUNDRED (200) FEET OR MORE FROM A RESIDENTIAL DISTRICT BOUNDARY SHALL NOT EXCEED A HEIGHT OF FORTY (40) FEET.
IF THE BUILDINGS ARE TWO HUNDRED (200) FEET OR MORE FROM A RESIDENTIAL BOUNDARY LINE AND THE APPLICANT PROVIDES ONE OF THE FOLLOWING, THE MAXIMUM BUILDING HEIGHT IS SEVENTY (70) FEET:
(1) PROVIDES ONLY TWENTY-FIVE PERCENT (25%) OF ALL PARKING SPACES BETWEEN ANY BUILDING AND ANY RIGHT-OF-WAY; OR,
(2) PROVIDES A BUILDING AND PARKING SETBACK OF FIFTY (50) FEET FROM EVERY PUBLIC RIGHT-OF-WAY THAT IS LANDSCAPED WITH GROUND COVER, ONE LARGE DECIDUOUS TREE PER FIFTY (50) FEET OF FRONTAGE OR FRACTION THEREOF; AND ONE EVERGREEN SHRUB, WHICH IS TWENTY-FOUR INCHES IN HEIGHT AT THE TIME OF PLANTING, FOR EVERY FIVE (5) FEET OF FRONTAGE OR FRACTION THEREOF.

-PER LETTER FROM CITY ENGINEER DATED MAY 23, 2017.

SUBJECT PROPERTY IS ZONED DISTRICT B-2 PER WILLOUGHBY HILLS CODIFIED ORDINANCE 1127. THE CURRENT CITY ZONING MAP AND CODIFIED ORDINANCES ARE AVAILABLE ONLINE.

TABLE A NOTES

1. Monuments: -SHOWN.
2. Address(es):-SHOWN.
3. Flood zone:-SHOWN.
4. Land area:-SHOWN.
5. Vertical relief:-SHOWN: DATUM NAVD88.
6. Zoning: -SHOWN FROM PREVIOUS SURVEY (2017) .
7. Building dimensions: -SHOWN.
8. Substantial features: -SHOWN.
9. Parking Spaces: -SHOWN.
10. Division party walls: -PARTIALLY SHOWN.
11. Underground utilities:-PARTIALLY SHOWN.
12. Governmental Agency requirements:-NONE.
13. Adjoining owners: -SHOWN.
14. Distance to nearest intersecting street:-SHOWN.
15. Orthophotography:-CAN SHOW 2021 AERIAL ON REQUEST.
16. Recent earth work or construction:
    SHEETZ STORE UNDER CONSTRUCTION.
    OVERLAPPING ONTO SURVEYED PROPERTY.
17. Proposed changes in street right of way lines:-NONE.
18. Offsite easements: -PARTIALLY SHOWN.
19. Liability insurance: -YES.
20. _

Name of Title Insurance Company:

Policy Number:
File Number:
Address Reference: 28301 Chardon Road, Willoughby Hills, Ohio

To (name of insured, if known), (name of lender, if known), (name of insurer, if known), (names of others as negotiated by client):

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1 through 20 of Table A thereof. The fieldwork was completed on October 25, 2023.

Date: January 24, 2024

STATE OF OHIO SCOTT A. SMITH S-7721 REGISTERED PROFESSIONAL SURVEYOR

Scott A. Smith P.S. 7721

SHEET 1 OF 1
CONTRACT No.
BISHO1-23_01

Utilities

EXISTING UNDERGROUND UTILITIES NOTE:
The size and location, both horizontal and vertical, of the underground utilities shown hereon, have been obtained by a diligent and comprehensive search of available records. Verification by field observation has been conducted where practical. However, LDC, Inc. does not guarantee the completeness nor accuracy thereof.

BASIS OF BEARINGS

COMBINED SCALE FACTOR OF 1.0000054656 WAS APPLIED TO THIS SURVEY TO CONVERT FROM STATE PLANE GRID COORDINATES TO GROUND COORDINATES. THE SCALE FACTOR WAS APPLIED AT A CENTROID OF THE SURVEY AREA.

DATUM

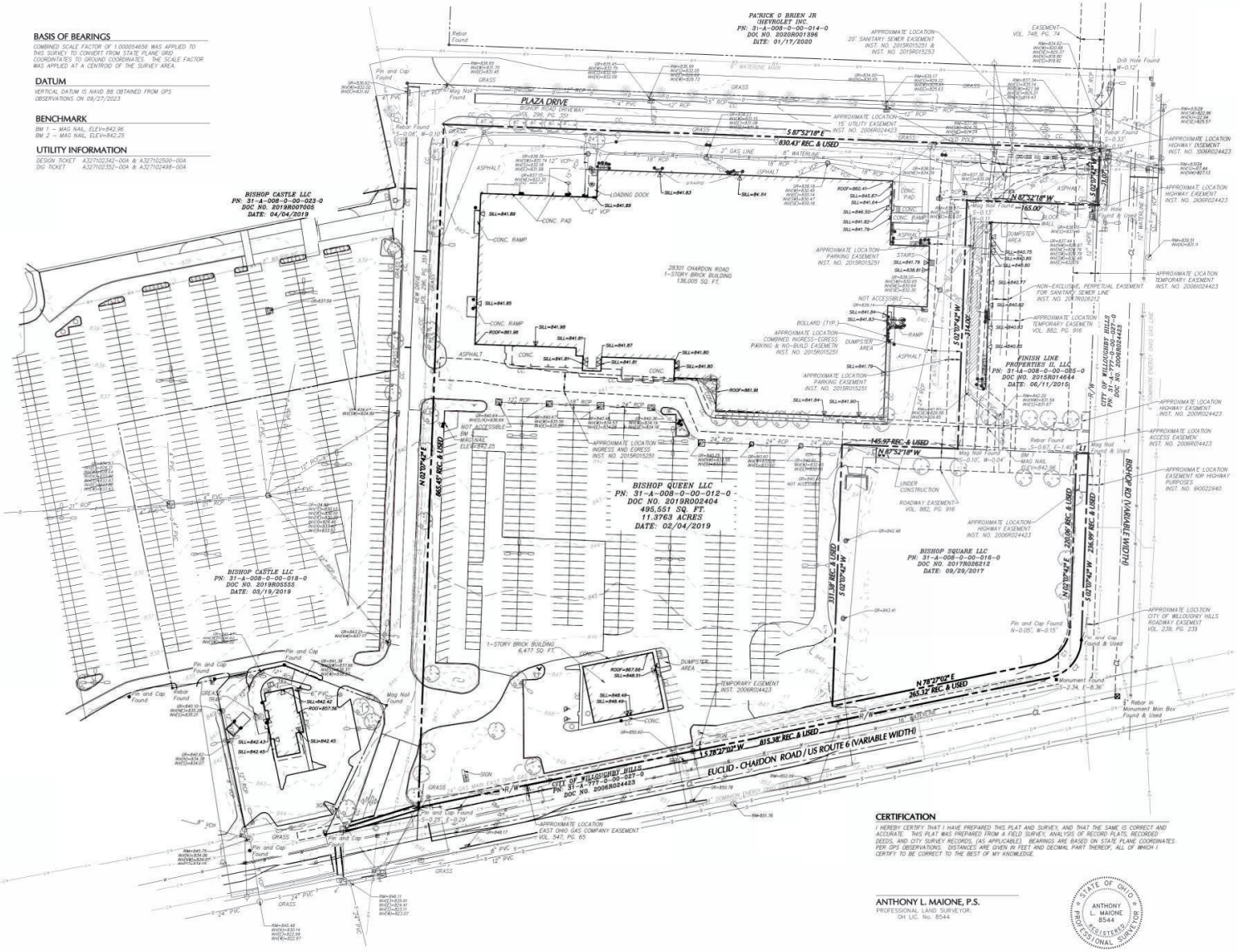
VERTICAL DATUM IS NAVD 88 OBTAINED FROM GPS OBSERVATIONS ON 09/27/2023

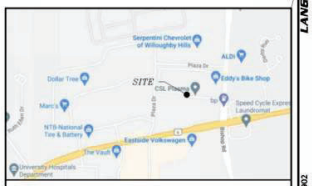
BENCHMARK

BM 1 – MAG NAIL, ELEV=842.96
BM 2 – MAG NAIL, ELEV=842.25

UTILITY INFORMATION

DESIGN TICKET A327102342–00A & A327102500–00A
DIG TICKET A327102352–00A & A327102498–00A





PROJECT LOCATION MAP

SCALE: NOT TO SCALE

SCALE: 1 INCH = 60 FEET

NOTES

1. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH, THEREFORE, THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS, RIGHTS-OF-WAY, CONEMANTS, ETC., AS MAY BE DISCLOSED IN A CURRENT, COMPREHENSIVE TITLE SEARCH.
2. THIS PLAN WAS PREPARED WITH THE RESPECT TO THE FOLLOWING REFERENCES:
   A. ALTA/NSPS LAND TITLE SURVEY FOR 28301 CHARDON ROAD, BY MCSTEEN LAND SURVEYORS, DATED JANUARY 29, 2019.
3. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES FIELD WORK COMPLETED DURING THE MONTH OF OCTOBER 2023.
4. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.
5. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.
6. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
7. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
8. THIS SURVEY IS NOT VALID WITHOUT THE EMBOSSED OR INKED SEAL OF THE PROFESSIONAL.

LEGEND (NOT SHOWN TO SCALE)

MONUMENTATION FOUND (TYPE AS NOTED)	REC.	DEED OF RECORD
SET 1" X 30" STEEL PIN WITH CAP "LANGAN"	AC.	ACRES
SET DRILL HOLE	CALC.	CALCULATED
HYDRANT	OBS.	OBSERVED
STAND PIPE	SQ. FT.	SQUARE FEET
ROOF DRAIN	CSR	CITY SURVEY RECORD
BOLLARD	AFN	AUDITOR'S FILE NUMBER
STREET LIGHT	PN	PARCEL NUMBER
AREA LIGHT	VOL.	DEED VOLUME
SIGNAL POLE	PG.	PAGE
POWER POLE	LSA	LANDSCAPE AREA
GUY WIRE	CP	CONCRETE PAD
MANHOLE (TYPE AS LABELED)	CC	CONCRETE CURB
WATER VALVE	EP	EDGE OF PAVEMENT
GAS VALVE		FENCE (TYPE AS NOTED)
UNKNOWN VALVE		SUBJECT PROPERTY LINE
CATCH BASIN		ADJOINING PROPERTY LINE
CLEAN OUT		EASEMENT LINE
SIGN		TREE LINE
BOLLARD	ST	GUIDE RAIL (TYPE AS NOTED)
ELECTRIC BOX		STEAM LINE
ELECTRIC METER		OVERHEAD WIRE
GAS METER	COMB	COMBINED SEWER LINE
WATER METER	G	GAS LINE
TELEPHONE BOX	W	WATER LINE
TRAFFIC SIGNAL POLE	E	ELECTRIC LINE
DOOR	T	COMMUNICATION LINE
DOUBLE DOOR	S	SANITARY LINE
GARAGE DOOR	D	DRAINAGE LINE
	X*	REFERENCE UTILITY LINE (TYPE AS NOTED) – PLOTTED FROM EXISTING MAPPING

CERTIFICATION

I HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT AND SURVEY, AND THAT THE SAME IS CORRECT AND ACCURATE. THIS PLAT WAS PREPARED FROM A FIELD SURVEY, ANALYSIS OF RECORD PLATS, RECORDED DEEDS, AND CITY SURVEY RECORDS, (AS APPLICABLE). BEARINGS ARE BASED ON STATE PLANE COORDINATES PER GPS OBSERVATIONS. DISTANCES ARE GIVEN IN FEET AND DECIMAL PART THEREOF, ALL OF WHICH I CERTIFY TO BE CORRECT TO THE BEST OF MY KNOWLEDGE.

ANTHONY L. MAIONE, P.S.
PROFESSIONAL LAND SURVEYOR
OH LIC. No. 8544

STATE OF OHIO
ANTHONY L. MAIONE
8544
REGISTERED
PROFESSIONAL SURVEYOR

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	66.60'	61.79'	N 40°17'22" E	76°19'20"
C2	50.00'	66.60'	61.79'	S 40°17'22" W	76°19'20"

LINE	BEARING	DISTANCE
L1	S 87°52'18" E	15.00'
L2	S 78°26'06" W	5.00'
L3	N 87°52'14" W	30.00'
L4	S 02°07'06" W	50.00'

Date	Description	No.
Revisions		

LANGAN
Langan Engineering and Environmental Services, Inc.
6000 Lombardo Center, Suite 210
Cleveland, OH 44131
T: 216.328.3300 F: 216.328.3301 www.langan.com

Project: CHARDON BISHOP PLAZA
WICKLIFFE
LAKE COUNTY OHIO

Drawing Title: BOUNDARY & TOPOGRAPHIC SURVEY

Project No. 400115902
Date NOVEMBER 8, 2023
Drawn By BLR
Checked By ALM

VL101

Sheet 1 of 1

LANGAN

Project No. 400115902

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NOTES

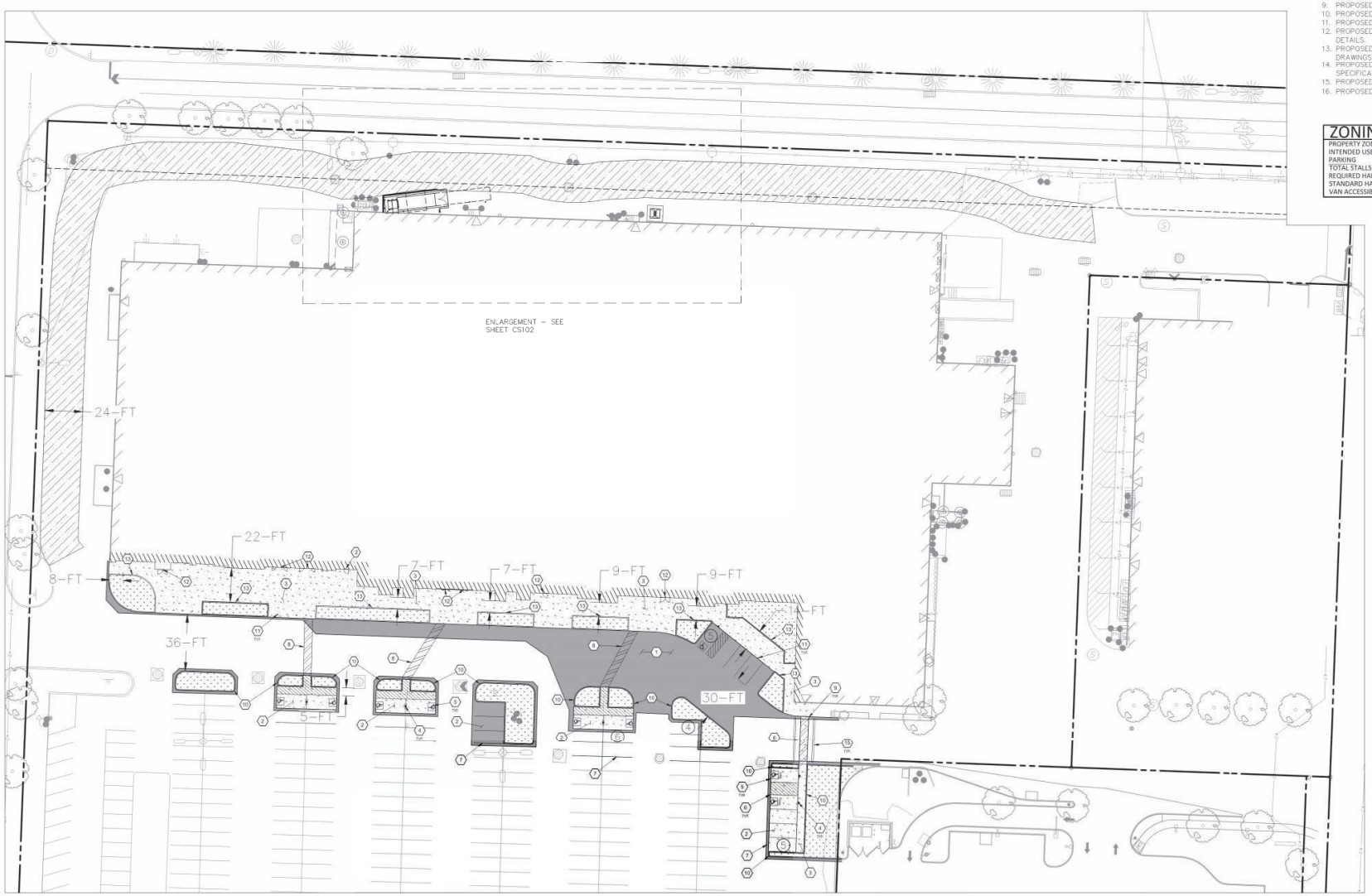
1. EXISTING PAVEMENT SHALL BE REPAIRED TO ELIMINATE POTHOLES AND OTHER DEFECTS.

PLAN KEYNOTES

1. PROPOSED ASPHALT PAVEMENT. SEE LEGEND FOR TYPE AND SEE DETAILS ON SHEET CS501.
2. PROPOSED CONCRETE PAVEMENT. SEE LEGEND FOR TYPE AND SEE DETAILS ON SHEET CS501.
3. CONCRETE FLUSH SIDEWALK. SEE DETAIL ON SHEET CS501.
4. HANDICAP PARKING SIGN. SEE DETAIL ON SHEET CS501.
5. PAINTED INTERNATIONAL ADA PARKING SYMBOL PER ADA SPECIFICATION AND DETAIL ON SHEET CS501.
6. ACCESSIBLE PARKING STALL STRIPING. SEE PAVEMENT MARKING AND NOTES DETAIL ON SHEET CS501 FOR SPECIFICATIONS.
7. PROPOSED PAINTED 4" WIDE SOLID STRIPE, COLOR YELLOW. SEE NOTES ON SHEET CS501.
8. PROPOSED PAINTED CROSS WALK STRIPING. SEE DETAIL ON SHEET CS501.
9. PROPOSED PAINTED TRANSVERSE STRIPING. SEE DETAIL ON SHEET CS501.
10. PROPOSED 6 INCH CURB. SEE DETAIL ON SHEET CS501.
11. PROPOSED BOLLARD. SEE DETAIL ON SHEET CS501.
12. PROPOSED FROST SLAB AT DOOR. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
13. PROPOSED RAISED LANDSCAPE BEDS. SEE LANDSCAPE ARCHITECTURAL DRAWINGS.
14. PROPOSED TRANSFORMER LOCATION PER ELECTRIC COMPANY SPECIFICATIONS. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
15. PROPOSED SPEED BUMP. SEE DETAIL ON SHEET CS501.
16. PROPOSED TRASH ENCLOSURE/COMPACTOR.

ZONING DATA TABLE

PROPERTY ZONED:	B-3 - HIGH DENSITY MIXED-USE COMMERCIAL
INTENDED USE:	COMMERCIAL USE
PARKING	
TOTAL STALLS:	453
REQUIRED HANDICAP STALLS:	9
STANDARD HANDICAP STALLS:	7
VAN ACCESSIBLE STALLS:	2



SCALE: 1 INCH = 30 FEET

LEGEND

	PROPOSED
PARKING SETBACK	
BUILDING LINE	
BUILDING ENTRY	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	
LANDSCAPE AREA	
FIRE PASS	
TRAFFIC SIGN	
LIGHT BOLLARD	
6-IN BOLLARD	
BUMPER POST	
CONCRETE CURB LINE	
PAINTED DIRECTIONAL ARROWS	

Date	Description	No.

Revisions

Signature Date

LANGAN
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Cleveland, OH 44131
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Project

CHARDON PLAZA - FACADE CSA

WILLOUGHBY HILLS

LAKE COUNTY OHIO

Drawing Title

CONCEPTUAL SITE PLAN

Project No. 400115901	Drawing No. CS101
Date 3/7/24	
Drawn By QSS	
Checked By JDH	

LANGAN

Project No. 400115901

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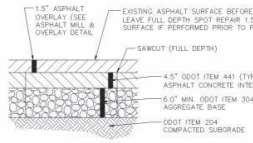
Date: 2/20/2024 Time: 15:50 User: kcenger Style Table: Langan.stb Layout: CS101 Document Code: 400115901-0501-CS101-0101

NOTES

1. EXISTING PAVEMENT SHALL BE REPAIRED TO ELIMINATE POTHOLES AND OTHER DEFECTS.



NOTE: DETAIL FOR PAVEMENT AREAS TO BE SPOT REPAIRED PRIOR TO OVERLAY.

N.T.S.

FULL DEPTH ASPHALT PAVEMENT SPOT REPAIR

PLAN KEYNOTES (#)

1. PROPOSED ASPHALT PAVEMENT. SEE LEGEND FOR TYPE AND SEE DETAILS ON SHEET CS501.
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ZONING DATA TABLE

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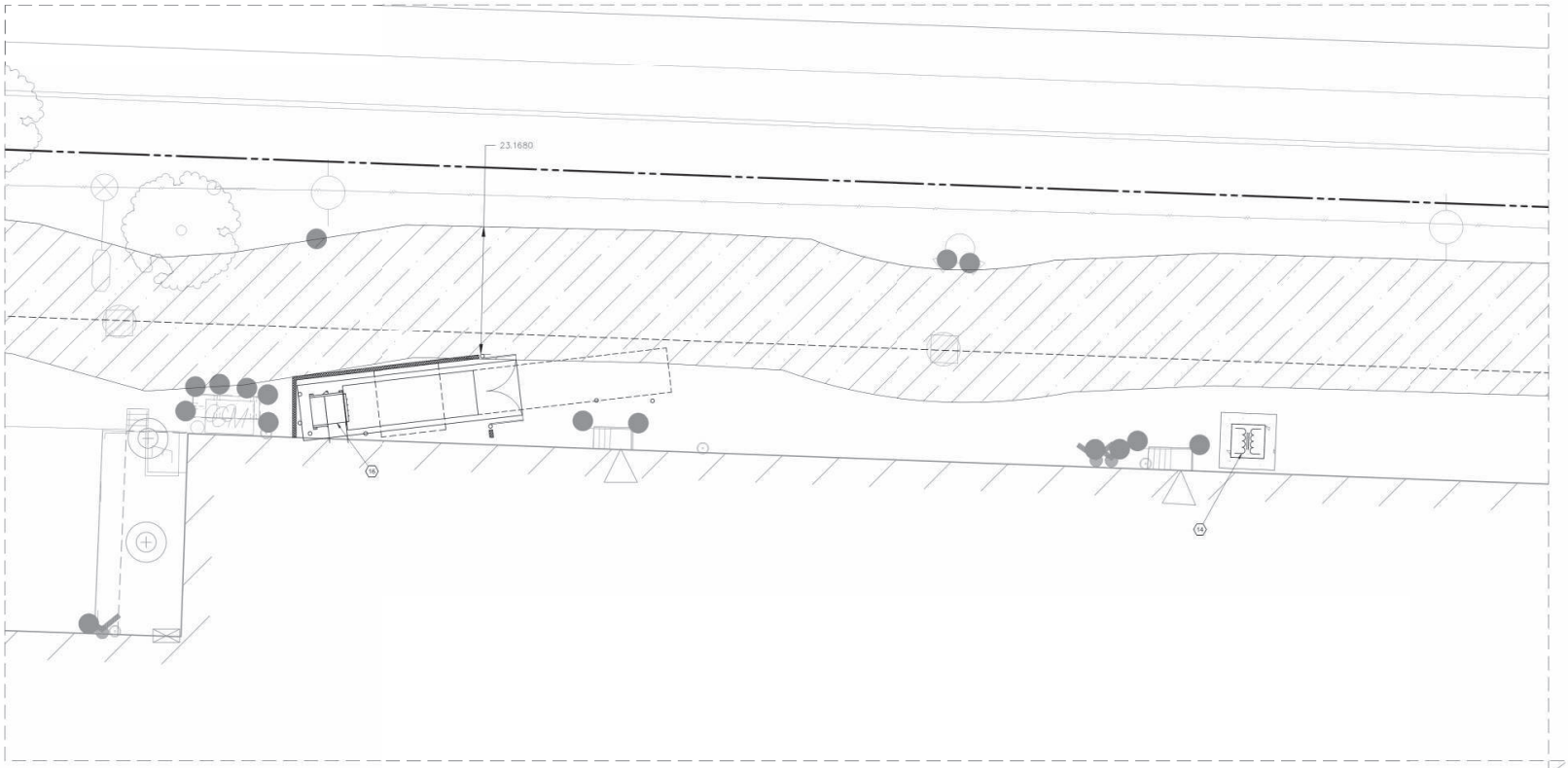
LEGEND

	PROPOSED
PARKING SETBACK	
BUILDING LINE	
BUILDING ENTRY	
CONCRETE PAVEMENT	
ASPHALT PAVEMENT	
LANDSCAPE AREA	
FIRE PASS	
TRAFFIC SIGN	
LIGHT BOLLARD	
6-IN BOLLARD	
BUMPER POST	
CONCRETE CURB LINE	
PAINTED DIRECTIONAL ARROWS	



ENLARGEMENT
SCALE: 1"=10'

GRT HAUSER

30 0 7.5 15 30
SCALE: 1 INCH = 30 FEET

Date	Description	No.
Revisions		

Signature Date

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Project
CHARDON PLAZA - FACADE CSA
WILLOUGHBY HILLS
LAKE COUNTY OHIO

Drawing Title
CONCEPTUAL SITE PLAN

Project No. 400115901
Date 3/7/24
Drawn By QSS
Checked By JDH
Drawing No. CS102

LANGAN
Project No. 400115901

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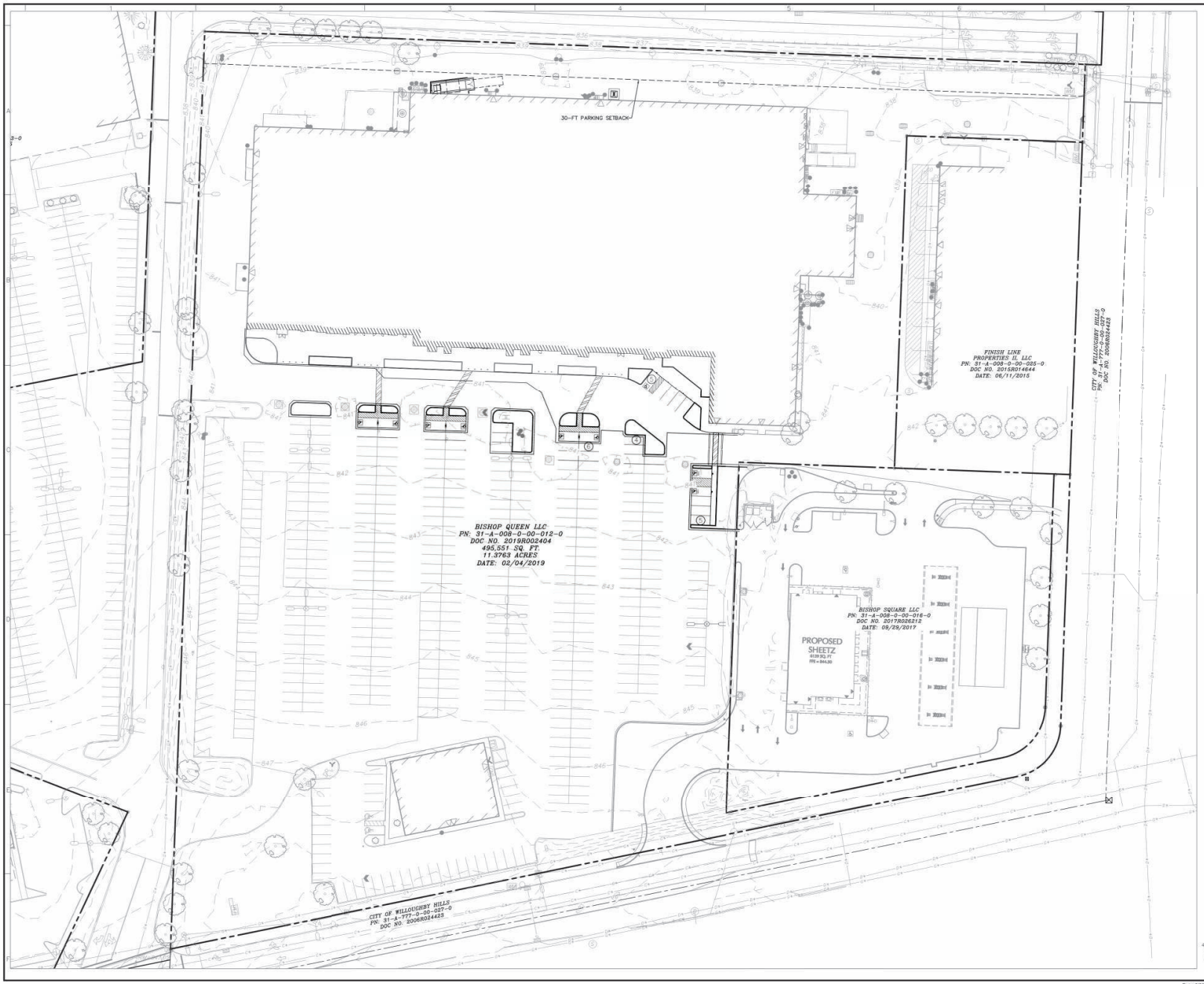

Date	Description	No.

Revisions

Signature Date

LANGAN

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Project

CHARDON PLAZA - FACADE CSA

WILLOUGHBY HILLS

LAKE COUNTY OHIO

Drawing Title

GRADING PLAN

Project No. 400115901

Date 3/7/24

Drawn By AMN

Checked By JDH

Drawing No. CG101

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Project No. 400115901

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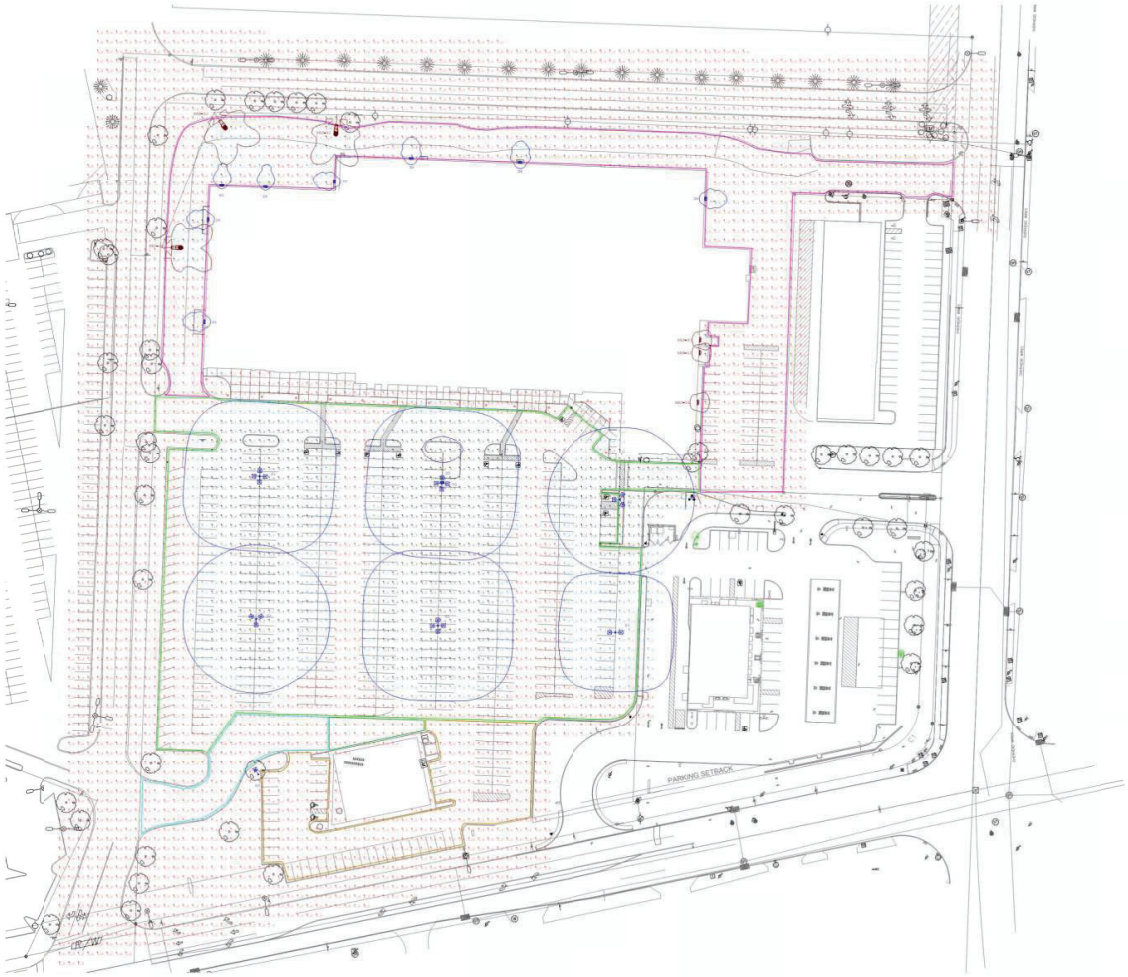
REVISIONS		
Rev #	Date	BY:



ESTIMATED EXISTING LIGHT LEVELS

Calculation Summary								
Label	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
ENTRANCE DRIVE	Fc	0.52	0.9	0.0	N.A.	N.A.	10	10
MAIN PARKING	Fc	1.65	4.6	0.0	N.A.	N.A.		
MAIN SIDES & REAR	Fc	0.40	8.4	0.0	N.A.	N.A.		
OUTPARCEL PARKING	Fc	0.15	0.8	0.0	N.A.	N.A.		
OUTPARCEL REAR	Fc	0.12	0.2	0.0	N.A.	N.A.		

Luminaire Schedule						
WLS17564 CHARDON BISHOP PLAZA WILLOUGHBY HILLS, OH PM: MIKE PLEASE EMAIL US FOR PRICING AT MGEYER@WLSLIGHTING.COM						
Symbol	Qty	Label	Lum. Lumens	LLF	Description	Lum. Watts
	3	X1	30138	0.500	EXISTING 200W LED AREA 40' MOUNTING HEIGHT	190.91
	2	X2	30138	0.500	EXISTING 200W LED AREA 40' MOUNTING HEIGHT	190.91
	1	X3	30138	0.500	EXISTING 200W LED AREA 40' MOUNTING HEIGHT	190.91
	1	X4	30138	0.500	EXISTING 200W LED AREA 40' MOUNTING HEIGHT	190.91
	1	X5	29594	0.500	EXISTING 200W LED FLOOD 35' MOUNTING HEIGHT	190.91
	8	X6	14500	0.500	EXISTING 175W MH WALL MOUNT VARIOUS HEIGHTS	223
	3	NAF-X1	11097	0.500	EXISTING 80W LED WALL MOUNT 9' MOUNTING HEIGHT	69.4
	3	NAF-X2	36000	0.500	EXISTING 400W MH COBRA HEAD 26' MOUNTING HEIGHT	454

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions.

This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

6820 CORPORATION PKWY
FORT WORTH, TX 76126
WWW.WLSLIGHTING.COM

WLS LIGHTING
BRIGHT. SMART. SUSTAINABLE.

817-731-0020

PM:MIKE

BY: J.P.

SHEET 1 OF 2

CHARDON BISHOP PLAZA
WILLOUGHBY HILLS, OH

WLS-17564X

DATE -2/12/24

SCALE: 1"=60'

CHARDON BISHOP PLAZA
WILLOUGHBY HILLS, OH

WLS LIGHTING
BRIGHT, SMART, SUSTAINABLE.

6820 CORPORATION PKWY
FORT WORTH, TX 76126
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WLS-17564X	DATE -2/12/24	SCALE: NTS	817-731-0020	PM:MIKE	BY: J.P.	SHEET 2 OF 2

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT THE RECOMMENDED POSITIONS. THE OWNER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP LUMEN RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

REVISIONS

REV #	DATE	BY: