



**BOARD OF
SUPERVISORS
MEETING**

September 21, 2022

7:00pm: Regular Business Meeting

Members present:

Mr. Frey	_____
Mrs. Hollibaugh	_____
Mr. Smullin	_____
Mrs. Jordan	_____

West Deer Township Board of Supervisors
September 21, 2022

7:00pm: Regular Business Meeting

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Executive Session
5. Comments from the Public
6. Accept Minutes
7. Monthly Financial Report
 - A. Finance Officer's Report
 - B. List of Bills
8. Appointed Auditor's Report
9. Police Chief's Report
10. Public Works Foreman's Report
11. Engineer's Report
12. Planning and Community Development Director Report
13. Parks & Recreation Board Report
14. West Deer #1 VFC Report
15. West Deer #2 VFC Report
16. West Deer #3 VFC Report
17. West Deer EMS Report
18. Adoption: Ordinance No. 448 (Property Maintenance Ordinance)
19. Appointment: Township Supervisor
20. Authorization: 2023 Budget Advertisements and Budget Workshops
21. Authorization: Advertisement of Demolition of 17-19 School Street & 1130-1132 Eisenhower Drive
22. Authorization: Advertisement of Hearing for Ordinance No. 449 (Wireless Communications Facilities)
23. Authorization: Purchase of Zero Turn Mower
24. Authorization: Hiring of Part-Time Police Officer
25. Authorization: Sale of Police Car
26. Authorization: Unionville Plan of Lots Preliminary Subdivision Plan
27. Discussion: Zoning Ordinance
28. Old Business
29. New Business
30. Adjournment

1 Call to Order

2 Pledge of Allegiance

3 Roll Call

– Mr. Mator

4 Executive session

– Mr. Robb

COMMENTS FROM THE PUBLIC

THE BOARD WILL HEAR COMMENT ON AGENDA AND PUBLIC-RELATED ITEMS AT THIS TIME. PLEASE APPROACH THE MICROPHONE, CLEARLY STATE YOUR NAME AND ADDRESS, AND LIMIT YOUR COMMENTS TO FIVE (5) MINUTES.

ACCEPT MINUTES

ATTACHED ARE THE MINUTES OF THE AUGUST 17, 2022 REGULAR BUSINESS MEETING AND SEPTEMBER 14, 2022 SPECIAL MEETING.

WHAT ACTION DOES THE BOARD WISH TO TAKE?

I MOVE TO ACCEPT THE MINUTES OF THE AUGUST 17, 2022 REGULAR BUSINESS MEETING AND SEPTEMBER 14, 2022 SPECIAL MEETING.

	MOTION	SECOND	AYES	NAYES
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

August 17, 2022 Minutes

West Deer Township
Board of Supervisors
17 August 2022
6:30 p.m.

The West Deer Township Board of Supervisors held their Regular Meeting at the West Deer Township Municipal Building. Members present were: Beverly Jordan, Chairperson; Shirley Hollibaugh, Vice Chairperson; Vernon Frey; and James Smullin. Also present were: Daniel Mator, Township Manager; Joseph Shook, Assistant Township Manager; Gavin Robb, Township Solicitor; and Scott Shoup, Township Engineer.

6:30 p.m. – PUBLIC HEARING– JK MOTOR CARS LLC

Township Solicitor Gavin Robb opened the meeting.

Roll Call taken by Mr. Mator – Quorum present.

The court stenographer was present.

The purpose of this public hearing was for the Board to review testimony and evidence in order to make a determination as to whether to approve an existing building located at 11 Oak Road Gibsonia, PA 15044 to operate a used car/auto dealership.

Lot/Block Numbers: 1508-S-75
Zoning District: SU Special Use

Mr. Robb announced that since the applicant was not in attendance their application was being withdrawn so the hearing was being closed.

7:00 p.m. – PUBLIC HEARING– DEMOLITION OF 17-19 SCHOOL STREET 7 1130-1132 EISENHOWER DRIVE

Township Solicitor Gavin Robb opened the meeting.

Roll Call taken by Mr. Mator – Quorum present.

The court stenographer was present.

The purpose of this public hearing was for the Board to review testimony and evidence in order to make a determination as to whether to authorize the condemnation and demolition of the structures located at the 17–19 School Street and 1130-1132 Eisenhower Drive per Chapter 90 of the West Deer Township Code of Ordinances.

17 School Street

Owner: Anna & Arthur Reynolds (deceased)
Lot/Block #: 1361-M-108

19 School Street

Owner: Lori Callwood
Lot/Block #: 1361-M-105

1130-1132 Eisenhower Drive

Owner: Holy Spirit Revival & Evangelistic Ministries
Lot/Block #: 1218-M-126

Mr. Payne inspected the properties and determined – pursuant to Chapter 90 of the Township Code -- that the structures are in a dangerous condition, and that they constitute a public nuisance and should be demolished. Specifically, the houses are in violation of the International Building Code and Article VI of Allegheny Health Department Rules and Regulations.

Mr. Robb asked Mr. Bedi if he had viewed 17-19 School Street and if there had been any changes since the first time the property was inspected. Mr. Bedi responded that there have been no changes to the property.

Mr. Robb requested any public comment testimony for 17-19 School Street to step up to the microphone, state their name and address.

17-19 SCHOOL STREET PUBLIC COMMENTS

Georgina Depasquale of Church Street

- Ms. Depasquale spoke on 17-19 School Street. She pointed out that she lives across the street and has watched it deteriorate. Ms. Depasquale believed that the rat infestation that has occurred multiple times on her street has come from this property. She stated that she is in favor of this property being demolished.

Judith Compee of 5 School Street

- Ms. Compee stressed that this structure is unsafe and would like it torn down.

MOTION BY Supervisor Jordan and SECONDED BY Supervisor Frey to approve the demolition of 17 School Street. Motion carried unanimously 4-0.

MOTION BY Supervisor Smullin and SECONDED BY Supervisor Hollibaugh to approve the demolition of 19 School Street. Motion carried unanimously 4-0.

Mr. Robb asked Mr. Bedi if he viewed 1130-1132 Eisenhower Drive and if there had been any changes since the first time the property was inspected. Mr. Bedi replied that there have been no changes to the property.

Mr. Robb requested any public comment testimony for 1130-1132 Eisenhower Drive to step up to the microphone, state their name and address.

1130-1132 EISENHOWER DRIVE PUBLIC COMMENTS

Richard Remo of 104 Pleasant Ridge Road, McKees Rocks

- Mr. Remo explained that his parents live at 1134-1136 Eisenhower Drive and he felt the structure was inhabitable/unsafe. He reported trapping many wild animals coming from the property.

Sandy Robinson, daughter of residents that live at 1134-1136 Eisenhower Drive

- Ms. Robinson expressed that she felt the property is a fire hazard and is unsafe for her parents whom live next door. She also reported seeing many wild animals and stray cats coming from the property.

Georgina Depasquale of Church Street

- Ms. Depasquale explained that her family use to live on this street and agreed that the property should be torn down.

MOTIONED BY Supervisor Jordan and SECONDED BY Supervisor Hollibaugh to approve the demolition of 1130-1132 Eisenhower Drive. Motion carried unanimously 4-0.

ADJOURNMENT/PUBLIC HEARING

MOTIONED BY Supervisor Hollibaugh and SECONDED BY Supervisor Jordan to close the public hearing. Motion carried unanimously 4-0.

OPEN REGULAR BUSINESS MEETING

Chairperson Jordan opened the meeting and welcomed everyone to the meeting.

Pledge of Allegiance

Roll Call taken by Mr. Mator – Quorum present

COMMENTS FROM THE PUBLIC

- None

PRESENTATION: HHSDR ARCHITECTS (NEW MUNICIPAL BUILDING DESIGN)

Mr. Matt Franz and Mr. Dave Kent of HHSDR Architects

- Mr. Franz gave a slide presentation of the new Municipal building and outlined in detail the design.
- Mr. Kent spoke on the locations of the departments in the new design and presented the building timeline.

Mrs. Jordan pointed out for the public how the Township employees are crammed in the current building now. She added the Police have no space in their area of the building so the new building is really needed.

More discussion was held.

ACCEPT MINUTES

Mrs. Jordan commented that in last month's minutes the statement that the Police SRO's are paid twice -once by the Township and also by the School District-- is inaccurate. She added the School District alone pays the Police SRO's salaries.

MOTION BY Supervisor Smullin and SECONDED BY Supervisor Hollibaugh to accept the minutes of the 20 July 2022 regular business meeting as presented. Motion carried unanimously 4-0.

MONTHLY FINANCIAL REPORT**TOWNSHIP OF WEST DEER**
FINANCE OFFICER'S REPORT**31 July 2022****I - GENERAL FUND:**

	<u>July</u>	<u>YTD</u>	<u>% of Budget</u>
Revenues	313,291.83	5,917,110.74	65.63%
Expenditures	417,281.10	4,658,566.97	51.67%

Cash and Cash Equivalents:

Sweep Account

1,503,863.36**1,503,863.36****II - SPECIAL REVENUE FUNDS****Cash and Cash Equivalents:****Street Light Fund:**

Restricted

94,980.05

Fire Tax Fund:

Restricted

62,895.29

State/Liquid Fuels Fund:

Restricted

194,789.08**352,664.42****Investments:****Operating Reserve Fund:**

Reserved

776,397.61

Capital Reserve Fund:

Reserved

963,009.84**1,739,407.45****III - CAPITAL PROJECT FUNDS:****Cash and Cash Equivalents:**0.00**0.00****TOTAL CASH BALANCE 7/31/22****3,595,935.23**

Interest Earned July 2022

230.98

	<u>7/1/2022</u>	<u>July</u>	<u>7/31/2022</u>
	<u>Debt Balance</u>	<u>Principal Payment</u>	<u>Debt Balance</u>
Mars National - VFC #3	\$83,240.21	\$2,607.94	\$80,856.80
NexTier Bank VFC #2	\$382,136.54	\$2,680.96	\$380,693.30

Restricted – Money which is restricted by legal or contractual requirements.

Reserved – Money which is earmarked for a specific future use.

MOTION BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to approve the Finance Officer's Report as submitted. Motion carried unanimously 4-0.

JULY LIST OF BILLS

Amerikohl Aggregates Inc	2694.75
Amerikohl Transport Inc.	2155.80
Bearcom	292.47
Best Wholesale Tire Co. Inc.....	86.98
Hei-Way LLC.....	187.44
Jordan Tax Service, Inc.....	2139.71
Kress Tire	1380.40
Northeast Paving	4198.59
Office Depot.....	435.43
Shoup Engineering Inc	7768.25
Stephenson Equipment LLC.....	725.09
Toshiba Financial Services.....	522.32
Tucker/Arensberg Attorneys.	4646.00

MOTION BY Supervisor Smullin and SECONDED BY Supervisor Frey to pay the List of Bills as submitted, and all approved reimbursable items in compliance with generally accepted accounting practices. Motion carried unanimously 4-0.

POLICE CHIEF'S REPORT

Chief Bob Loper was present and provided a summary report of Police Department activities for the month of July 2022. A copy of the report is on file at the Township Building.

PUBLIC WORKS FOREMAN'S REPORT

Mr. Kevin Olar provided a summary report on the Public Works Department for the month of July 2022. A copy of the report is on file at the Township Building.

ENGINEER'S REPORT

The Board received the Engineer's Report submitted by Shoup Engineering, Inc.

Projects

- Municipal Building Project
 - Based on initial concept planning by HHSDR architects, preparation of a preliminary grading plan and adjustments to the concept plan were performed. As required for future permitting, a review of the site for wetlands was performed which revealed no wetlands exist in the areas to be developed.

Development/Subdivision Review -The following subdivision and land development plan projects had been reviewed, and review letters were issued to the Township as noted:

- Knoch-Remo Plan No. 2 – A review of this lot line revision plan on Blanchard Road was performed and a review letter was issued to the township on August 4, 2022.

- Deer Creek rentals Plan – reviews of this consolidation plan on Deer Creek Road were performed and review letters dated July 20, 2022 and July 21, 2022 were issued to the Township.

PLANNING & ZONING COMMUNITY DEVELOPMENT DIRECTOR REPORT

Mr. Harmit Bedi was present and provided a summary report on Code Enforcement and Zoning for the month of July 2022. A copy of the report is on file at the Township Building.

PARKS & RECREATION BOARD REPORT

The Board received the Parks & Recreation Board Report for the month of July 2022. A copy of the reports is on file at the Township Building.

WEST DEER #1 VFC REPORT

The Board received the West Deer #1 VFC's Report for the month of July 2022. A copy of the report is on file at the Township Building.

WEST DEER #2 VFC REPORT

The Board received the West Deer #2 VFC's Report for the month of July 2022. A copy of the report is on file at the Township Building.

WEST DEER #3 VFC REPORT

The Board received the West Deer #3 VFC's Report for the month of July 2022. A copy of the report is on file at the Township Building.

Chief Wiegand reported inviting the Board to a seminar that he put together for all West Deer Volunteer Fire Companies. He added that West Deer #3 will be awarded their Assistant to Firefighter grant in the amount of \$100,000 for their new building by the end of the week.

WEST DEER EMS REPORT

The Board received the West Deer EMS Report for the month of July 2022. A copy of the report is on file at the Township Building.

ACCEPTANCE: 2023 MINIMUM MUNICIPAL OBLIGATIONS (MMOS)

The Board is in receipt of the 2023 Minimum Municipal obligation reports for the Police and Municipal Employee Pension Plans as submitted by the Township Actuary.

As per State Law, the Board simply has to acknowledge receipt of the reports.

MOTIONED BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to acknowledge receipt of the 2023 Minimum Municipal obligations for the Police and Municipal Employee Pension Plans. Motion carried unanimously 4-0.

ACCEPTANCE: CODE ENFORCEMENT/ BUILDING INSPECTION

Mr. Mator reported the Board received a resignation for William Payne.

Mr. Robb recommended the Board make a motion to add the motion to the agenda.

MOTIONED BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to move to add motion to accept the resignation of William Payne effective 17 August 2022. Motion carried unanimously 4-0.

MOTIONED BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to accept the resignation of William Payne effective 17 August 2022. Motion carried unanimously 4-0.

Mr. Robb advised that due to the Sunshine Act this added agenda motion needs to be advertised on the West Deer Township website.

Mrs. Jordan wished William Payne the best of luck.

ACCEPTANCE: RESIGNATION OF SUPERVISOR JENNIFER MANN

The Board is in receipt of Dr. Jennifer Mann's resignation from the West Deer Township Board of Supervisors.

MOTIONED BY Supervisor Hollibaugh and SECONDED BY Supervisor Frey to accept the resignation of Jennifer Mann from the West Deer Township Board of Supervisors effective 24 August 2022. Motion carried unanimously 4-0.

ADOPTION: RESOLUTION NO. 2022-13 SEWAGE FACILITIES PLANNING MODULE (ROSE RIDGE)

RESOLUTION NO. 2022-13

RESOLUTION 2022-13 APPROVES THE PA DEP SEWAGE FACILITIES PLANNING MODULE FOR THE PLAN LOCATED AT GIBSONIA ROAD ALLISON PARK, PA IN THE R-2 SEMI-SUBURBAN RESIDENTIAL ZONING DISTRICT.

Mr. Shoup reviewed the PA Department of Environmental Protection Planning Module documents and found the Planning Module to be in proper order. Mr. Shoup therefore recommended that it be approved by the Township by resolution.

Mr. Shoup explained in detail the reason for the resolution.

MOTIONED BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to adopt Resolution No. 2022-13 approving the PA DEP Sewage Facilities Planning Module for the Rose Ridge PRD Sewage Module Plan. Motion carried unanimously 4-0.

ADOPTION: RESOLUTION NO. 2022-14 RICHLAND WATER AGREEMENT (BAKERSTOWN-CULMERVILLE RD)

RESOLUTION NO. 2022-14

A RESOLUTION OF THE TOWNSHIP OF WEST DEER, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, APPROVING AN INTERGOVERNMENTAL COOPERATION AGREEMENT WITH THE RICHLAND TOWNSHIP MUNICIPAL AUTHORITY OF ALLEGHENY COUNTY, PURSUANT TO THE INTERGOVERNMENTAL COOPERATION ACT. 53 PA C.S. §§ 2301 ET SEQ., TO PROVIDE FOR A COST

SHARING ARRANGEMENT TOWARD A WATERLINE EXTENSION PROJECT ON BAKERSTOWN - CULMERVILLE ROAD IN WEST DEER TOWNSHIP.

Mr. Robb reported receiving the Richland Water Authority Solicitor's modification comments. He added that he and Mr. Shoup felt they were acceptable since they were fairly minor changes simply intended for clarification. Mr. Robb requested that the final motion be subject to Township Solicitor, Manager, and Engineer agreeing to the form of the agreement.

MOTIONED BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to adopt Resolution 2022-14 approving an International Cooperation Agreement with the Richland Township Municipal Authority of Allegheny County to provide for a cost sharing arrangement toward a Waterline Extension Project on Bakerstown-Culmerville Road in West Deer Township subject to the approval of the Township Solicitor, Manager, and Engineer as to the form of the agreement. Motion carried unanimously 4-0.

APPROVAL: PCS BUILDING INSPECTION AGREEMENT

The Board is in receipt of the Building Inspection Agreement between the West Deer Township and PCS.

Mr. Frey asked when a new Building Inspector is hired will the Township have to keep this agreement for a certain amount of time.

Mr. Mator answered that even before he was Township Manager, the Township had used PCS for the commercial inspections except minor inspections which were handled by Mr. Payne. He added that PCS will be continued to be used for that purpose.

Mr. Frey questioned if the Township just used them on a need to basis.

Mr. Mator answered in affirmative, and stated PCS addresses only what they are sent.

More discussion was held.

MOTIONED BY Supervisor Hollibaugh and SECONDED BY Supervisor Frey to authorize the signing of the Building Inspection Agreement between the Township and PCS as presented. Motion carried unanimously 4-0.

APPROVAL: TOSHIBA COPIER AGREEMENT

The Board is in receipt of the copier agreement between the West Deer Township and Toshiba.

MOTIONED BY Supervisor Smullin and SECONDED BY Supervisor Frey to approve the signing of the copier agreement between the Township and Toshiba as presented. Motion carried unanimously 4-0.

AUTHORIZATION: ADVERTISEMENT OF ORDINANCE NO. XXX (PROPERTY MAINTENANCE ORDINANCE)

ORDINANCE NO. XXX

AN ORDINANCE OF THE TOWNSHIP OF WEST DEER, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, AMENDING CHAPTER 166 OF THE TOWNSHIP CODE ENTITLED "PROPERTY MAINTENANCE" BY ADOPTING THE PROVISIONS OF THE 2021 INTERNATIONAL CODE -AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL - AS PART OF THE WEST DEER TOWNSHIP CODE.

Mr. Robb received feedback from the Board about some recitals and stated he will address. He requested the Board receive an actual copy of the code with the provisions to review so any changes are prepared prior to taking action next month.

MOTIONED BY Supervisor Smullin and SECONDED BY Supervisor Frey to authorize the signing of the Memorandum of Understanding between the West Deer Township Police Department and the Deer Lakes School District as presented. Motion carried: 4-yes, 0-no, 1-abstention.

AUTHORIZATION: HIRING OF TEMPORARY CODE ENFORCEMENT OFFICER

With a temporary vacancy existing in the Code Enforcement Officer Position, the Township Manager- upon the recommendation of PCS – advises the hiring of Joseph Boehm to provide the service.

A satisfactory background check was performed on the applicant.

Mr. Mator pointed out that currently he works for PCS as a part-time code enforcement officer and he has been a code officer for nearly thirty years.

More discussion was held.

MOTIONED BY Supervisor Frey and SECONDED BY Supervisor Hollibaugh to hire Joseph Boehm as a part-time, temporary Code Enforcement Officer. Motion carried unanimously 4-0.

AWARD: 2022 GUIDERAIL PROGRAM

The following quotes were received for the Guiderail Project to furnish and install guiderails on: Lick Road, Glasgow Road, and Ford Street.

<u>Bidders</u>	<u>Total</u>
1) Fence By Maintenance Service	\$16,362.00
2) Allegheny Fence	\$19,450.00
3) Green Acres Contracting	\$27,264.00

MOTIONED BY Supervisor Smullin and SECONDED BY Supervisor Frey to award the Guiderail Project to Fence By Maintenance Service in the amount of \$16,362.00 for Lick Road, Glasgow Road, and Ford Street. Motion carried unanimously 4-0.

DISCUSSION: CHARTER REVISIONS

Mr. Mator brought up that earlier this year there was a discussion about the importance of updating the Township Charter. He mentioned that with speaking to Mr. Robb, they are proposing that in two months there will be a formal presentation to the Board to make a few changes. Mr. Mator listed those possible changes to the Charter: removing the option of elected auditors, modifying the bidding requirements, and the elimination of the public hearing option for a terminated employee if already given a private hearing.

More discussion was held.

DISCUSSION: DRAFT ZONING ORDINANCE

Mr. Robb reported the Board has been given the draft zoning provisions to the ordinance. He recommended pushing the adoption of ordinance another month for further review by the Board. Mr. Robb asked the Board to take the time to look over the draft so the Township can advertise the ordinance next month.

Mrs. Jordan requested that the ordinance be placed on the shared drive on the Board's I-pads.

Mr. Mator responded he will take care of it.

OLD BUSINESS

- Mrs. Jordan mentioned that a dedication date and plaque for former Supervisor Shawn Maudhuit had still not been picked. She stated she would email the Board a couple of dates so one could be chosen, and reminded the other Board members that the plaque options were in their packets last month. Mrs. Jordan requested this be looked over as soon as possible.

Mr. Shook pointed out the timeline for the plaque is a three week turn around.

More discussion was held.

- Mrs. Jordan asked if there was any movement on the Curtisville Park repaving.

Mr. Smullin answered it will be completed soon.

More discussion was held.

- Mrs. Jordan reported that with Dr. Mann resigning, Mrs. Hollibaugh and herself will be reaching out to residents that have old Township photos to ask for copies to display on the new website and in the new Municipal Building.

NEW BUSINESS

- Mrs. Jordan announced that with Dr. Mann's Supervisor resignation the Township will be advertising to fill her position from the residents in District Four. She added that letters of interest from those residents will be accepted once it has been advertised.

Mr. Robb brought up that the interviews will be conducted in the public meeting. He explained the requirement is to have the seat filled within 31 days from the date the resignation was effective, so the Board will be looking to take action to fill the position at their next business meeting on Wednesday, September 21st.

ADJOURNMENT

MOTION BY Supervisor Hollibaugh and SECONDED BY Supervisor Frey to adjourn the meeting at 8:35 p.m. Motion carried unanimously 4-0. Meeting adjourned.

Daniel J. Mator Jr., Township Manager

West Deer Township
Board of Supervisors
September 14, 2022
7:00 p.m.

The West Deer Township Board of Supervisors held a Special Meeting at the West Deer Township Municipal Building. Members present: Beverly Jordan, Chairperson; Shirley Hollibaugh, Vice Chairperson; Vernon Frey; and James Smullin. Also in attendance were Township Manager Daniel Mator and Assistant Manager Joseph Shook.

Chairperson Jordan opened the Special Meeting.

Pledge of Allegiance

Roll Call taken by Mr. Mator – Quorum present

Chairperson Jordan announced the Board was holding the Special Meeting to discuss the newly proposed Municipal Building Project and for consideration of and action on any other lawful business that may come before the Board.

Mr. Matt Franz of HHSDR Architects

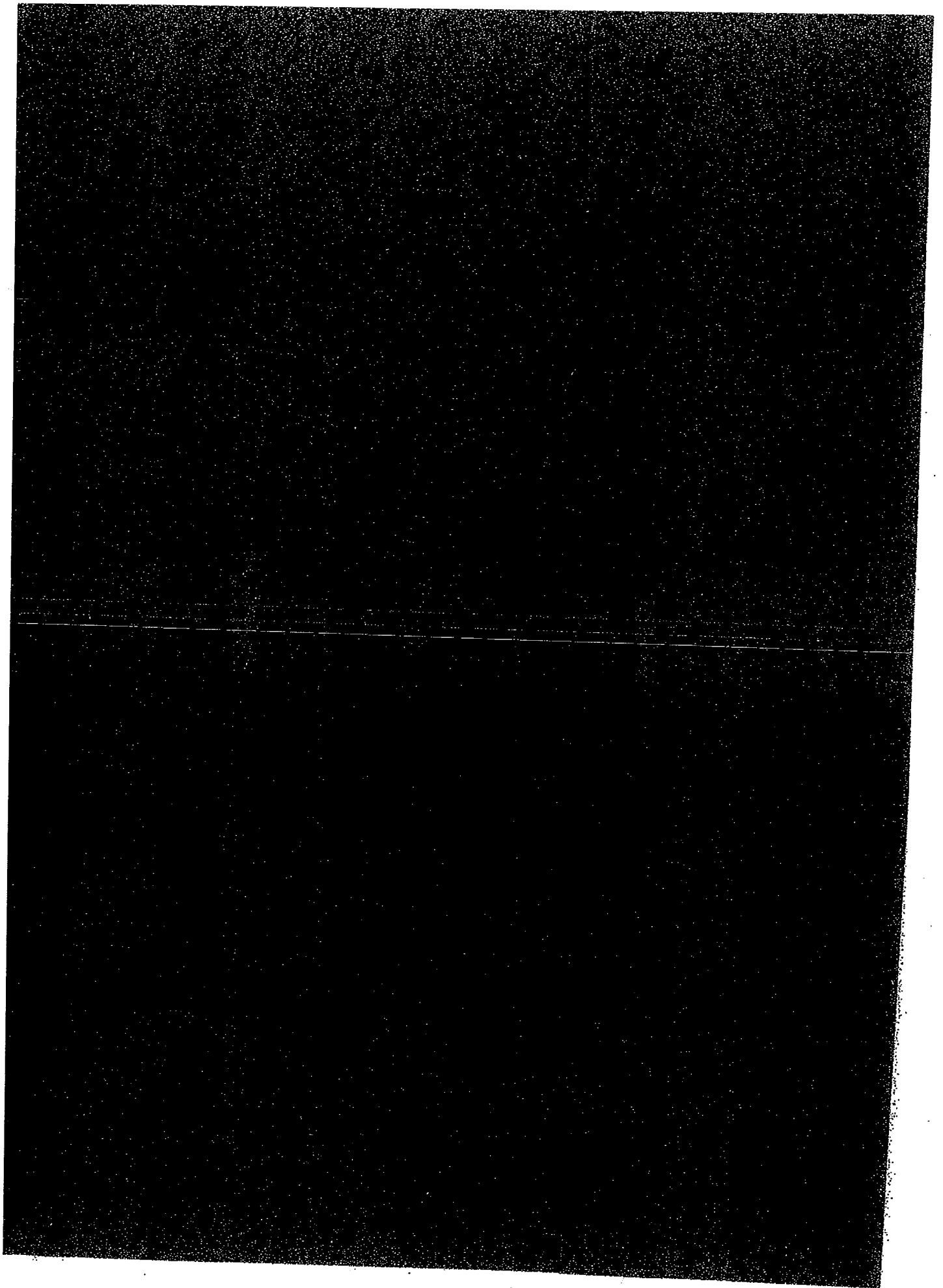
- Mr. Franz gave a presentation on the proposed new Municipal building. He explained that there is the availability for expansion as the Township grows with this new building.

A great deal of dialogue with the Board, residents, staff, and the consultants regarding the building design options, and the pros/cons of each.

ADJOURNMENT/SPECIAL MEETING

MOTION BY Supervisor Hollibaugh and SECONDED BY Supervisor Frey to adjourn the special meeting at 7:37 p.m. Motion carried unanimously 4-0. Meeting adjourned.

Daniel J. Mator, Jr., Township Manager



MONTHLY FINANCIAL REPORT

A) FINANCE OFFICER'S REPORT

ATTACHED IS THE FINANCE OFFICER'S REPORT.

ARE THERE ANY QUESTIONS ON THE MONTHLY FINANCIAL REPORT?

WHAT ACTION DOES THE BOARD WISH TO TAKE?

I MOVE TO APPROVE THE FINANCE OFFICER'S REPORT AS SUBMITTED.

	MOTION	SECOND	AYES	NAYES
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

FINANCE OFFICER'S REPORT
August 31, 2022

I - GENERAL FUND:

	<u>August</u>	<u>YTD</u>	<u>% of Budget</u>
Revenues	429,611.39	6,345,233.97	70.37%
Expenditures	411,847.98	5,068,926.79	56.22%

Cash and Cash Equivalents:

Sweep Account

1,520,982.66

1,520,982.66

II - SPECIAL REVENUE FUNDS

Cash and Cash Equivalents:

Street Light Fund:

Restricted

89,914.21

Fire Tax Fund:

Restricted

54,440.83

State/Liquid Fuels Fund:

Restricted

195,106.82

339,461.86

Investments:

Operating Reserve Fund:

Reserved

776,404.63

Capital Reserve Fund:

Reserved

957,023.75

1,733,428.38

III - CAPITAL PROJECT FUNDS:

Cash and Cash Equivalents:

0.00

0.00

TOTAL CASH BALANCE 8/31/22

3,593,872.90

Interest Earned August 2022

348.63

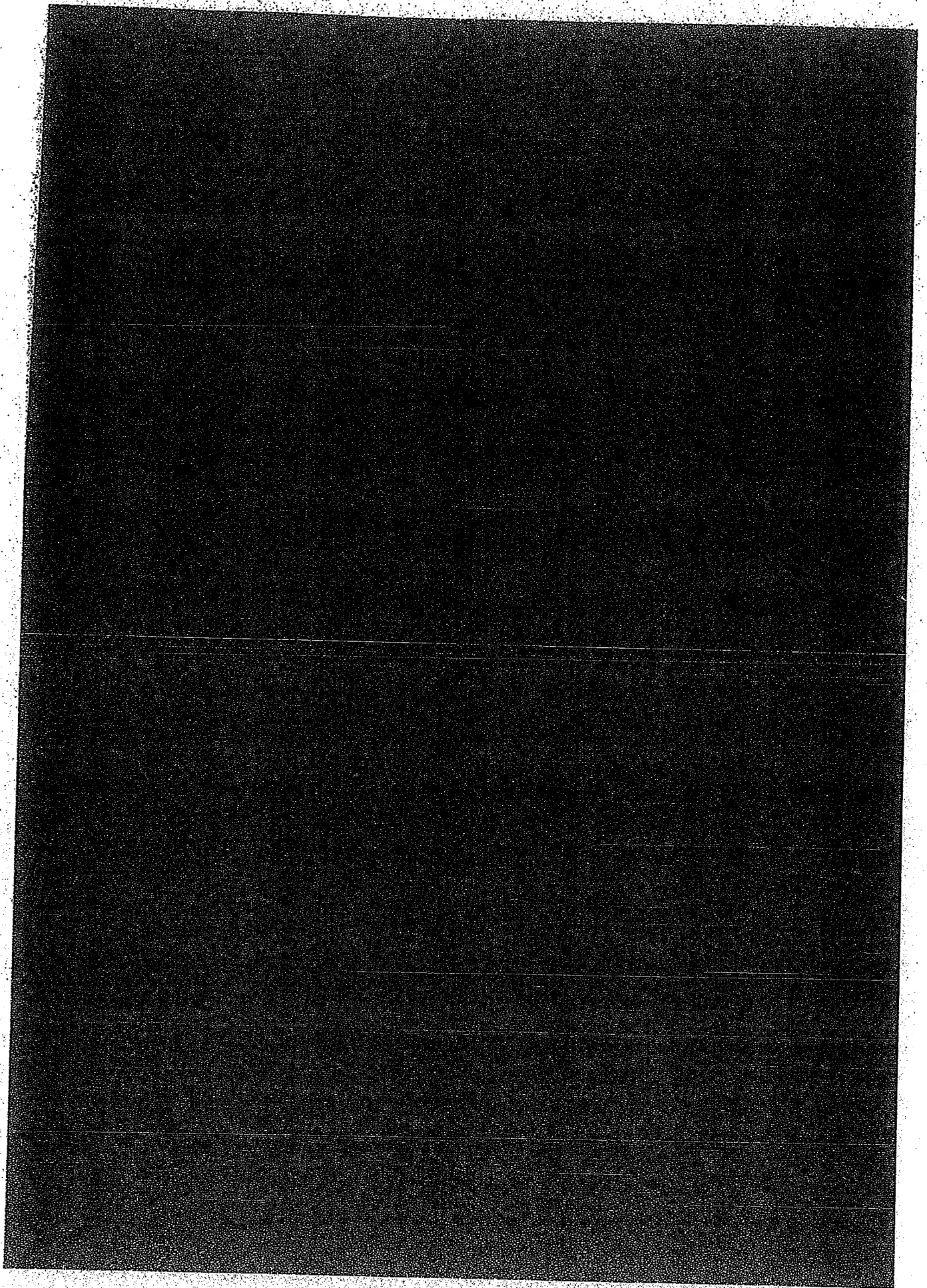
	<u>8/1/2022</u>	<u>August</u>	<u>8/31/2022</u>
	<u>Debt Balance</u>	<u>Principal</u>	<u>Debt Balance</u>
		<u>Payment</u>	
Mars National - VFC #3	80,768.89	\$ 2,607.94	78,297.17
NexTier Bank VFC #2	380,649.30	\$ 2,680.96	379,196.74

Restricted - Money which is restricted by legal or contractual requirements.

Reserved - Money which is earmarked for a specific future use.

INTEREST EARNED - 2022

	<u>AUGUST</u>	<u>YTD</u>
GENERAL FUND	\$9.43	\$78.70
STREET LIGHT FUND	\$0.00	\$0.00
FIRE TAX FUND	\$0.53	\$3.36
OPERATING RESERVE	\$7.02	\$52.29
STATE FUND	\$317.74	\$763.31
CAPITAL RESERVE	<u>\$13.91</u>	<u>\$1,059.57</u>
TOTAL INTEREST EARNED	<u><u>\$348.63</u></u>	<u><u>\$1,957.23</u></u>



B) LIST OF BILLS

WHAT ACTION DOES THE BOARD WISH TO TAKE?

I MOVE TO PAY THE LIST OF BILLS AS SUBMITTED, AND ALL APPROVED REIMBURSABLE ITEMS IN COMPLIANCE WITH GENERALLY ACCEPTED ACCOUNTING PRACTICES.

	MOTION	SECOND	AYES	NAYES
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

ACCOUNTS PAYABLE - UNPAID VOUCHER REGISTER

WEST DEER TOWNSHIP

Time: 2:20 pm
Date: 09/13/2022
Page: 1

By Name
Cutoff as of: 12/31/9999

Due Dates: 09/15/2022 thru 09/15/2022

Vendor Name/Desc	Acct#/Proj Invoice#	Amount Due	Discount	Cancelled	Paid	Un-Paid	Check#	Check Amt.
Name: AMERIKOHL AGGREGATES INC		6174.30				6174.30		
Name: AMERIKOHL TRANSPORT INC		5002.74				5002.74		
Name: BEARCOM		292.47				292.47		
Name: BEST WHOLESALE TIRE CO, INC		2000.84				2000.84		
Name: CULVERTS, INC		2610.00				2610.00		
Name: HEI-WAY, LLC		1496.69				1496.69		
Name: JORDAN TAX SERVICE, INC.		129.87				129.87		
Name: KRESS TIRE		615.00				615.00		
Name: MRM WORKERS' COMP FUND		27003.78				27003.78		
Name: NORTHEAST PAVING		6473.85				6473.85		
Name: OFFICE DEPOT		949.43				949.43		
Name: SHOUP ENGINEERING INC.		6743.50				6743.50		
Name: STEPHENSON EQUIPMENT, INC.		24322.68				24322.68		
Name: TUCKER/ARENSBERG ATTORNEYS		6893.00				6893.00		
FINAL TOTALS:		90708.15				90708.15		

By Name
Cutoff as of: 12/31/9999

Due Dates: 09/15/2022 thru 09/15/2022

Vendor	Name/Desc	Acct#/Proj	Invoice#	Amount Due	Discount	Cancelled	Paid	Un-Paid	Check#	Check Amt.
00337	AMERI KOHL AGGREGATES	430.611	60633	1654.05				1654.05		N
Road:	Limestone	0822	08/29/2022	09/15/2022	08/30/2022					
00337	AMERI KOHL AGGREGATES	430.611	60764	2570.40				2570.40		N
Road:	Limestone	0822	08/31/2022	09/15/2022	09/02/2022					
00337	AMERI KOHL AGGREGATES	430.611	60846	1949.85				1949.85		N
Road:	Limestone	0922	09/06/2022	09/15/2022	09/06/2022					
Name:	AMERI KOHL AGGREGATES INC			6174.30				6174.30		
00338	AMERI KOHL TRANSPORT	430.611	40027	1323.24				1323.24		N
Road:	Delivery of Limestone	0822	08/29/2022	09/15/2022	08/30/2022					
00338	AMERI KOHL TRANSPORT	430.611	40100	2092.32				2092.32		N
Road:	Delivery of Limestone	0822	08/31/2022	09/15/2022	09/02/2022					
00338	AMERI KOHL TRANSPORT	430.611	40143	1587.18				1587.18		N
Road:	Delivery of Limestone	0922	09/05/2022	09/15/2022	09/06/2022					
Name:	AMERI KOHL TRANSPORT INC			5002.74				5002.74		
00674	BEARCOM	410.327	543091	57.47				57.47		N
Road:	Radio Equip Maint	0922	09/01/2022	09/15/2022	09/02/2022					
00674	BEARCOM	410.328	5432080	235.00				235.00		N
POL:	Radio Equip Maint	0922	09/02/2022	09/15/2022	09/06/2022					
Name:	BEARCOM			292.47				292.47		
00553	BEST WHOLESAL TIRE	410.374	23345	59.45				59.45		N
Police:	Car 31-Change oil/filte	0822	08/01/2022	09/15/2022	09/01/2022					
00553	BEST WHOLESAL TIRE	410.374	23348	177.50				177.50		N
Police:	Car 36-Battery/clean te	0822	08/01/2022	09/15/2022	09/01/2022					
00553	BEST WHOLESAL TIRE	410.374	23357	239.90				239.90		N
Police:	Car 30-Inspection	0822	08/02/2022	09/15/2022	09/01/2022					
00553	BEST WHOLESAL TIRE	410.374	23376	164.45				164.45		N
Police:	Car 38-Inspection/oil c	0822	08/04/2022	09/15/2022	09/01/2022					
00553	BEST WHOLESAL TIRE	410.374	23407	1107.55				1107.55		N
Police:	Car 33-brakes/wheel bea	0822	08/04/2022	09/15/2022	09/01/2022					
00553	BEST WHOLESAL TIRE	410.374	23453	156.51				156.51		N
Police:	Car 37-Inspection/oil c	0822	08/12/2022	09/15/2022	09/01/2022					

Vendor	Name/Desc	Acct#/Proj	Invoice#	Amount Due	Discount	Cancelled	Paid	Un-Paid	Check#	Check Amt.
00553	BEST WHOLESale TIRE	410.374	23599	95.48				95.48	N	
Police:Car 36-Rotation/Oil Cha0822 08/31/2022 09/01/2022										
Name: BEST WHOLESale TIRE CO, INC 2000.84										
00238	CULVERTS, INC	430.611	IN00177475	2610.00				2610.00	N	
Road: 2'x4' Steel Grate 08/05/2022 08/11/2022										
Name: CULVERTS, INC 2610.00										
00005	HEI-WAY, LLC	430.372	10329082	728.02				728.02	N	
Road: Cold Patch 08/05/2022 08/10/2022										
00005	HEI-WAY, LLC	430.372	10329356	768.67				768.67	N	
Road: Cold Patch 08/24/2022 08/30/2022										
Name: HEI-WAY, LLC 1496.69										
00106	JORDAN TAX SERVICE, Delinquent R E Tax Commission	403.140	80C-#97	129.87				129.87	N	
08/16/2022 08/19/2022										
Name: JORDAN TAX SERVICE, INC. 129.87										
00362	KRESS TIRE	454.374	10357-25	85.00				85.00	N	
Park: Used take off rim 08/10/2022 08/10/2022										
00362	KRESS TIRE	430.374	10362-38	530.00				530.00	N	
Road: Trk #6:TIREs 08/12/2022 08/15/2022										
Name: KRESS TIRE 615.00										
00325	MRM WORKERS' COMP	486.354	2223PRJ8457	27003.78				27003.78	N	
1 of 4:workmen's Comp Ins 09/07/2022 09/09/2022										
Name: MRM WORKERS' COMP FUND 27003.78										
00207	NORTHEAST PAVING	430.361	68004833-627022	1867.43				1867.43	N	
Road: Asphalt 08/25/2022 08/31/2022										
00207	NORTHEAST PAVING	430.372	68004892-627022	1869.75				1869.75	N	
Road: Asphalt 08/26/2022 08/31/2022										
00207	NORTHEAST PAVING	430.372	68004979-627022	1246.77				1246.77	N	
Road: Asphalt 08/29/2022 09/07/2022										
00207	NORTHEAST PAVING	430.372	68005024-627022	1489.90				1489.90	N	
Road: Asphalt 08/29/2022 09/07/2022										

WEST DEER TOWNSHIP

ACCOUNTS PAYABLE - UNPAID VOUCHER REGISTER

Time: 2:19 pm
Date: 09/13/2022
Page: 3By Name
Cutoff as of: 12/31/9999

Due Dates: 09/15/2022 thru 09/15/2022

Vendor	Name/Desc	Acct#/Proj	Invoice#	Amount Due	Discount	Cancelled	Paid	Un-Paid	Check#	Check Amt.
Name: NORTHEAST PAVING				6473.85				6473.85		
00657	OFFICE DEPOT	406.210	25216787001 A	2.00				2.00		N
bal due:6/25-Cleaning Supplies				09/15/2022	09/13/2022					
00657	OFFICE DEPOT	406.210	257135743001	254.67				254.67		N
7/29-office Supplies				09/15/2022	08/15/2022					
00657	OFFICE DEPOT	406.210	260240149001	266.88				266.88		N
office Supplies				09/15/2022	08/30/2022					
00657	OFFICE DEPOT	406.210	260727486001	208.05				208.05		N
office Supplies				09/15/2022	08/30/2022					
00657	OFFICE DEPOT	409.226	260727486001	72.66				72.66		N
Cleaning Supplies				09/15/2022	08/30/2022					
00657	OFFICE DEPOT	409.226	261457459001	-30.57				-30.57		N
C/M-Cleaning Supplies				09/15/2022	09/07/2022					
00657	OFFICE DEPOT	409.226	263477041001	61.14				61.14		N
Cleaning Supplies				09/15/2022	09/13/2022					
00657	OFFICE DEPOT	406.210	263477041001	114.60				114.60		N
office Supplies				09/15/2022	09/13/2022					
Name: OFFICE DEPOT				949.43				949.43		
00830	SHOUP ENGINEERING IN	408.313	22-248	1171.00				1171.00		N
Engineering: Miscellaneous				09/15/2022	09/01/2022					
00830	SHOUP ENGINEERING IN	408.319	22-249	77.25				77.25		N
Engineering:Knock-Remo Lot Lin				09/15/2022	09/01/2022					
00830	SHOUP ENGINEERING IN	408.319	22-250	489.25				489.25		N
Engineering:Cond Use-Concert				09/15/2022	09/01/2022					
00830	SHOUP ENGINEERING IN	408.319	22-251	772.50				772.50		N
Engineering:Unionville Housing				09/15/2022	09/01/2022					
00830	SHOUP ENGINEERING IN	408.319	22-252	128.75				128.75		N
Engineering:Rose Ridge				09/15/2022	09/01/2022					
00830	SHOUP ENGINEERING IN	408.313	22-261	4104.75				4104.75		N
Eng:New Municipal Blag-				09/15/2022	09/06/2022					

WEST DEER TOWNSHIP

ACCOUNTS PAYABLE - UNPAID VOUCHER REGISTER

Time: 2:19 pm
Date: 09/13/2022
Page: 4By Name
Cutoff as of: 12/31/9999

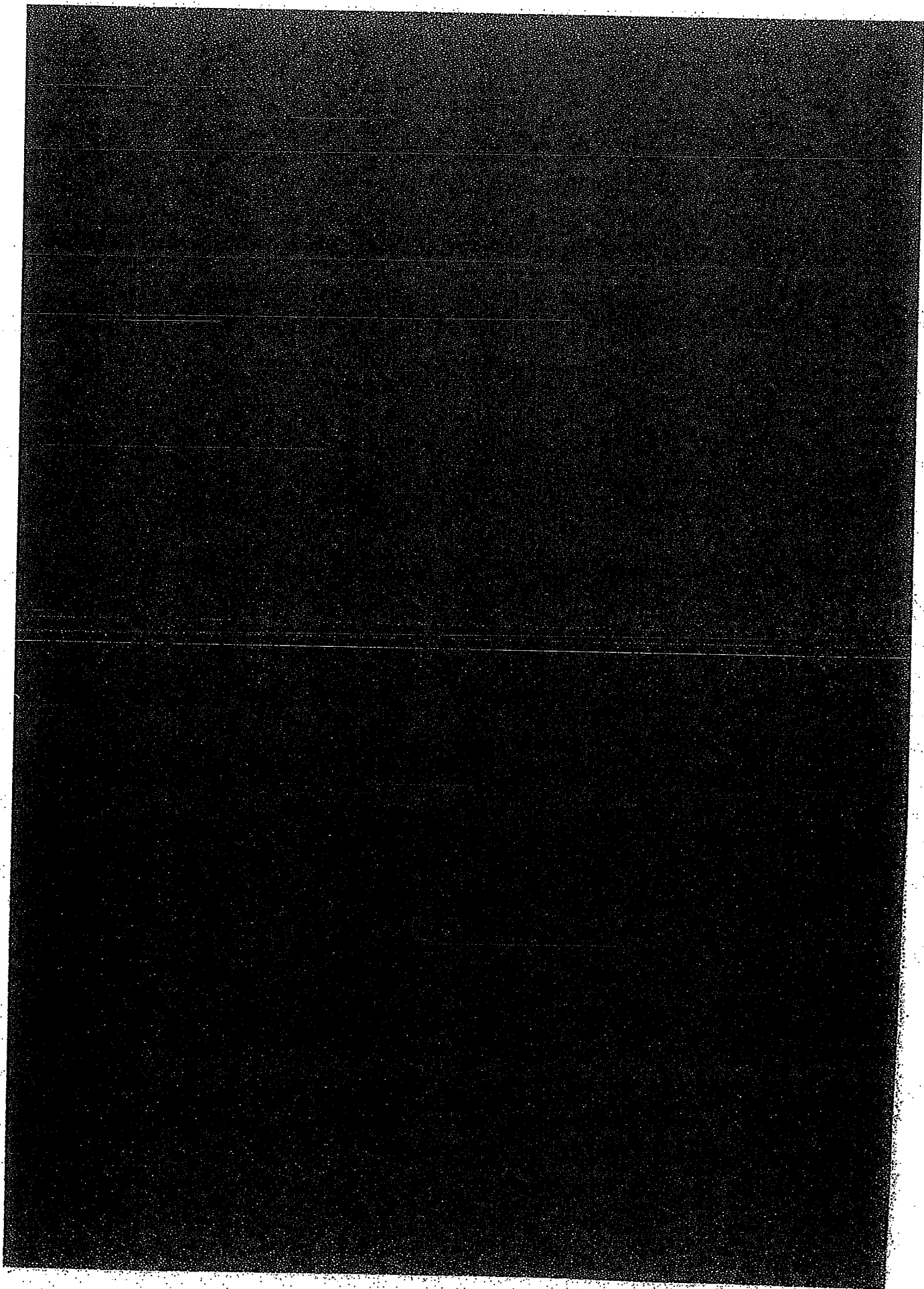
Due Dates: 09/15/2022 thru 09/15/2022

Vendor	Name/Desc	Acct#/Proj	Invoice#	Amount Due	Discount	Cancelled	Paid	Un-Paid	Check#	Check Amt.
Name: SHOUP ENGINEERING INC.				6743.50				6743.50		
00074	STEPHENSON EQUIPMENT 430.611	18056997	08/17/2022	12481.58	09/15/2022	08/19/2022		12481.58		N
Road:	Pipe-12x20/15x20/' Endc0822									
00074	STEPHENSON EQUIPMENT 430.374	18057216	08/23/2022	331.96	09/15/2022	08/25/2022		331.96		N
Road:	element shoe/skid shoe/b0822									
00074	STEPHENSON EQUIPMENT 430.611	18057634	09/07/2022	11509.14	09/15/2022	09/13/2022		11509.14		N
Road:	Pipe-6"x100/12"x20 0922									
Name: STEPHENSON EQUIPMENT, INC.				24322.68				24322.68		
00813	TUCKER/ARENSBERG ATT 404.111	639411	08/31/2022	500.00	09/15/2022	09/09/2022		500.00		N
Legal	Services: Retainer 0822									
00813	TUCKER/ARENSBERG ATT 404.111	639412	08/31/2022	62.00	09/15/2022	09/09/2022		62.00		N
Legal	Services:Olympus Gas we10822									
00813	TUCKER/ARENSBERG ATT 404.111	639413	08/31/2022	31.00	09/15/2022	09/09/2022		31.00		N
Legal	Services:Rose Ridge-PRD 0822									
00813	TUCKER/ARENSBERG ATT 404.111	639414	08/31/2022	6215.00	09/15/2022	09/09/2022		6215.00		N
Legal	Services: General 0822									
00813	TUCKER/ARENSBERG ATT 404.111	639415	08/31/2022	85.00	09/15/2022	09/09/2022		85.00		N
Legal	Services:Appeal-Dionysus0822									
Name: TUCKER/ARENSBERG ATTORNEYS				6893.00				6893.00		

FINAL TOTALS:

90708.15

90708.15



APPOINTED AUDITOR'S REPORT

MR. TURNLEY...

POLICE CHIEF'S REPORT

ATTACHED IS THE POLICE CHIEF'S REPORT.

ARE THERE ANY QUESTIONS REGARDING THE POLICE CHIEF'S REPORT?

OFFICER'S MONTHLY REPORT

To: Robert J. Loper, Chief of Police
From: Jennifer Borczyk, Administrative Assistant
Subject: Officer's Monthly Report
Date: September 9, 2022

Attached is the Officer's Monthly Report for August 2022.

JB

CC: D. Mator, Manager
B. Jordan, Chairwoman
S. Hollibaugh, Vice Chairwoman
J. Smullin
V. Frey

OFFICER'S MONTHLY REPORT
August 2022

	<u>CURRENT MONTH</u>	<u>PREVIOUS MONTH TO DATE</u>	<u>YEAR TO DATE</u>
REPORTABLE CALLS FOR SERVICE	42	368	410
CALLS FOR SERVICE/FIELD CONTACTS	293	2,848	3141
ALL OTHER CALLS	439	3,052	3491
TOTALS CALLS FOR SERVICE	774	6,268	7042
 <u>ARRESTS</u>			
ADULT	3	51	54
JUVENILE	0	4	4
TRAFFIC CITATIONS	46	314	360
NON TRAFFIC CITATIONS	2	21	23
PARKING CITATIONS	10	20	30
WARNINGS	68	362	430
 <u>PERSONNEL</u>			
GRIEVANCES FILED BY POLICE OFFICERS	0	0	0
CITIZENS COMPLAINTS ON POLICE OFFICERS	0	0	0
LETTERS COMMENDING POLICE OFFICERS	0	0	0
 <u>VEHICLE REPORTS</u>			
TOTAL MILES TRAVELED	8,511	69,439	77,950
GALLONS OF GASOLINE USED	663.9	5,697.70	6361.6
REPAIRS/MAINTENANCE	1,414.38	106,353.64	107,768.02
 <u>OVERTIME PAID</u>			
COURT (OFF DUTY)	22.5	159.00	181.5
PRELIMINARY HEARINGS	4	20.50	24.5
PRETRIAL	0	0.00	0
INVESTIGATIONS	2	13.50	15.5
ARRESTS	0	27.50	27.5
SPEED CHECKS	0	0.00	0
PRIVATE CONTRACTS	0	0.00	0
MISC. HOURS - FILLED SHIFTS	8	48.00	56
MISC. HOURS - ADMIN. HOURS	0	0.00	0
MISC. HOURS	10	84.50	94.5
TOTAL HOURS	46.5	353.00	399.5

****NOTE: calls for service, arrests- totals unavailable for July. Will update when available.**

Points of Interest

August 2022

Budget Figure YTD –66.41%

Chief Robert Loper

- None this month.

K9 Officer Edward Newman

- August 5- Maintenance training
- August 12- Obedience training held at West Deer K9 Area.
- August 19- Tracking training held in Bairdford Park.
- August 26- Narcotics training held at West Deer K9 Area.

Sergeant Petosky & Officer Fedunok

- August 9- Team was called out to a home in Ross Township for a barricaded male possessing multiple firearms. The actor surrendered to the team.
- August 12- Training was held in Cranberry Township. Operators worked on NVG movement, sniper initiated entries, and explosive breaching.
- August 26- Training was held at the Hampton Township Firearms Range. Operators worked on live fire room entries using balance and accuracy drills.

EMA- Sergeant Shurina

- None this month.

Deer Lakes School District

- See attached Deer Lakes School District Report
- August 22- Sergeant Shurina and Admin Asst. Borczyk attended luncheon with administrative staff regarding school safety.

Explorers

- No Meetings.

Misc. Details

- August 1- Aggressive Driving detail performed by Officer Vulakovich.
- August 4- Hard to Recycle Event held. See attached collection report.
- August 8- Aggressive Driving detail performed by Officer Newman.
- August 10 & 11- Officer Dobransky attended mandatory Updates training.
- August 15- Aggressive Driving detail performed by Officer Dobransky.
- August 18- Aggressive Driving detail performed by Officers Wikert and Trocki.

Monthly Report
Deer Lakes School District
SRO / Security Detail & Logs

AUGUST 2022

(First Day of School: Aug. 24, 2022)

WDPD INCIDENT REPORTS

TOTAL: 0

SRO / SECURITY DETAILS & LOGS

TOTAL: 23

- 20 Security General
- Security Cafeteria
- Security Parking Lot
- Instruct SRO Student Program
- Instruct SRO Faculty Program
- Instruct DARE Program
- Attend Court
- Attend Meeting
- Attend Training
- Assist Student
- Assist Teacher
- Assist Administrator
- Assist Juv. Prob. Officer
- Assist Nurse / EMS
- Assist Other
- Student Transport
- Student Missing / Search
- 1 Student Monitoring
- Suspicious Incident / person
- K-9 Drug Search
- 2 School Safety Drill
- Other / Miscellaneous

TOTAL ACTIVITY

TOTAL: 23

TOTAL ACTIVITY BY SCHOOL

HIGH SCHOOL	5	ADMIN. BUILDING	0
MIDDLE SCHOOL	6	BUS GARAGE	0
E.U. INTERMEDIATE	8	OTHER	0
CURT. PRIMARY	4		

FREQUENT STUDENT INVOLVEMENT

DL School / Student ID #: None TOTAL INVOLVEMENTS THIS PERIOD: None

DARE / SRO CLASSES AND PROGRAMS

DARE
CLASSES INSTRUCTED DURING THIS PERIOD

<u>Number of Classes</u>	<u>Grade Level</u>
None	N/A

SRO Programs / Miscellaneous
INSTRUCTED DURING THIS PERIOD

<u>Program</u>	<u>School</u>	<u>Date</u>
Safety Presentation	All Staff (In-Service)	Aug. 23, 2022

Submitted by:



Sgt. Michael J. Shurina
West Deer Township Police Department
Deer Lakes School District SRO

See attached WDPD reports for more detail and/or any notes regarding specific incidents.

West Deer Township Police Department Calls For Service Activity Report

This report lists all Calls For Service within a given time period.

Report Start Date: 8/1/2022

Report End Date: 8/31/2022

Calls For Service:

911 HANG UP - GENERAL	3
ALARM ACTIVATION - BUSINESS	1
ALARM ACTIVATION - BUSSINESS/FALSE	3
ALARM ACTIVATION - C02	1
ALARM ACTIVATION - RESIDENTIAL	1
ANIMAL - COMPLAINT	6
ASSAULT - OFFICER	1
ASSAULT - STRONG ARM	2
ASSIST - EMS	22
ASSIST - EMS (AED USED)	1
ASSIST - EMS (DOA)	1
ASSIST - EMS (NARCAN)	2
ASSIST - OTHER	3
ASSIST - POLICE	5
ASSIST - RESIDENT	4
ASSIST - WELFARE CHECK	9
BURGLARY - NO FORCE (RESIDENTIAL)	1
CHILD - CHILD LINE REPORTS	1
CIVIL - COMPLAINT	4
CIVIL - LANDLORD TENANT	4
COURT - WARRANT SERVICE	1
CRIMINAL MISCHIEF - RESIDENTIAL	1
DISABLED VEHICLE - GENERAL	1
DISORDERLY CONDUCT - GENERAL	4
DOMESTIC - PHYSICAL	1
DOMESTIC - VERBAL	2
DRUG LAWS - GENERAL	1
DUI - OVER LEGAL AGE	1
FIRE - BURNING COMPLAINT	2
FIRE - OTHER	3
FRAUD - GENERAL	5
HARASSMENT - COMMUNICATIONS	2
HARASSMENT - GENERAL	4
HAZARDOUS CONDITION - ROAD HAZARD	2
HAZARDOUS CONDITION - TREE DOWN	1
HAZARDOUS CONDITION - UTILITY COMP	4
HAZARDOUS CONDITION - WIRE DOWN	3
LOCAL ORDINANCE - JUNK VEHICLE	1
MENTAL COMMITMENT - INVOLUNTARY	3
MENTAL COMMITMENT - VOLUNTARY	1
MVA - DUI	1
MVA - PRIVATE PROPERTY	1
NOISE COMPLAINT - RESIDENTIAL	4
NOT ASSIGNED	6

Calls For Service:

PARKING COMPLAINT - BUSINESS	1
PARKING COMPLAINT - RESIDENTIAL	8
PATROL - GENERAL	21
PHONE CALLS - GENERAL	3
POLICE INFORMATION - FOLLOW UP INVEST	4
POLICE INFORMATION - GENERAL	13
PROPERTY - FOUND	3
PROPERTY - LOST	2
SOLICITATION COMPLAINT - GENERAL	1
SPECIAL DETAIL - ADMINISTRATIVE	11
SRO DETAIL - SCHOOL SAFETY DRILL	2
SRO DETAIL - SECURITY (GENERAL)	20
SRO DETAIL - STUDENT MONITORING	1
SUICIDE - ATTEMPT	1
SUSPICIOUS - OTHER	1
SUSPICIOUS - PERSON	10
SUSPICIOUS - VEHICLE	4
THEFT - IDENTITY	1
THEFT - OTHER	1
TRAFFIC - AGGRESSIVE DRIVING DETAIL	7
TRAFFIC - COMPLAINT	9
TRAFFIC - DETAIL	22
TRAFFIC - RADAR SPEED SIGN	1
TRAFFIC - SCHOOL ZONE	5
TRAFFIC - STOP	53

TOTAL CALLS FOR SERVICE: 335

Subtract Reportable DI# : 42

TOTAL N.R. CALLS FOR SERVICE:

Date Printed:
9/6/2022

West Deer Township Police Department

Total Arrest Report

This report lists all adult and juvenile arrests made within a given time period.
(Note: This report only includes Misdemeanor and Felony arrests.)

Report Start Date: 8/1/2022

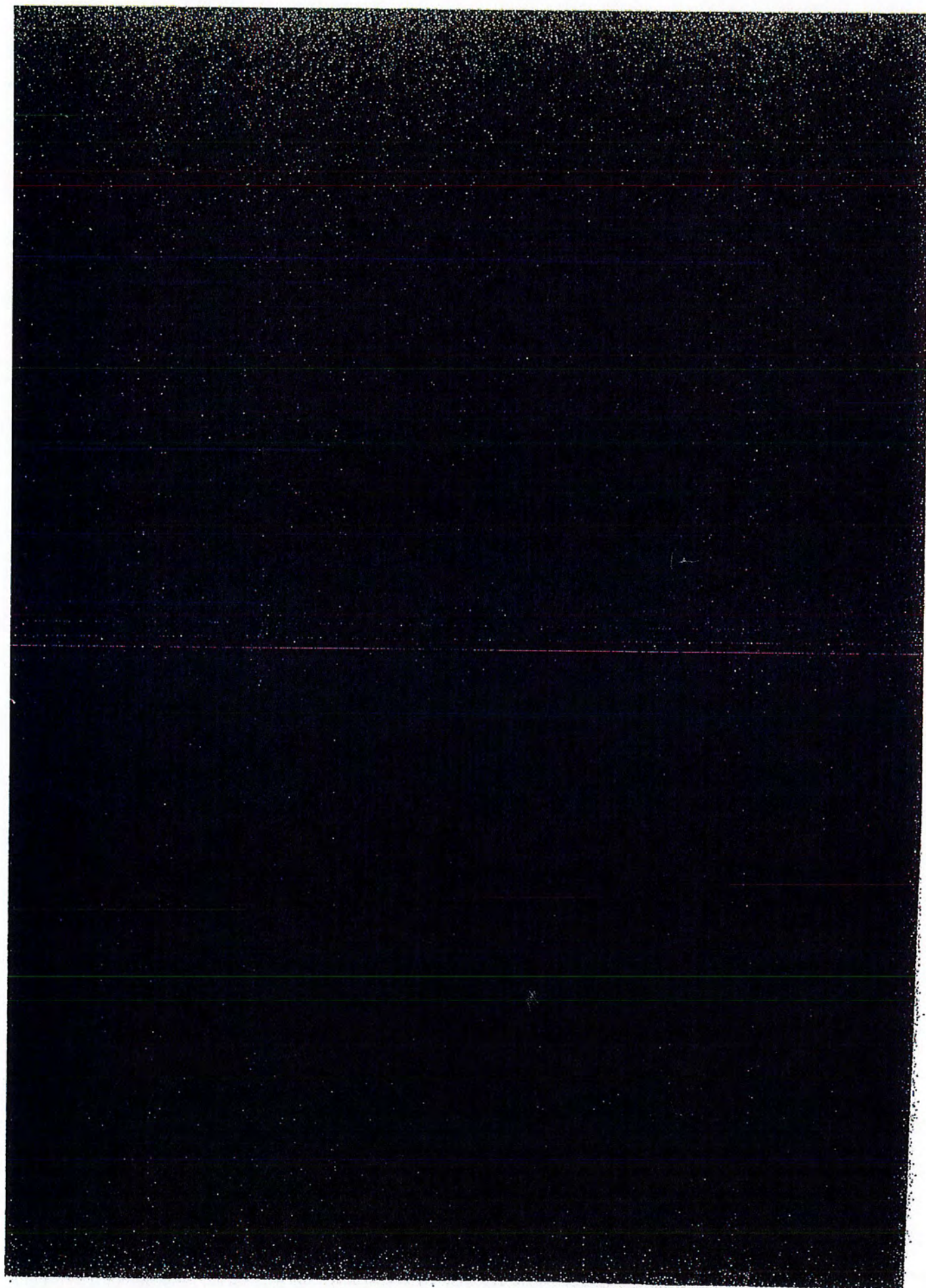
Report End Date: 8/31/2022

ARREST DATE	D I #	SIGNAL CODE	JUVENILE ARREST
8/15/2022	20220815005	BURGLARY - NO FORCE (RESIDENTIAL)	
8/23/2022	20220823000	ASSAULT - STRONG ARM	
8/27/2022	20220827000	HARASSMENT - GENERAL	

TOTAL ARRESTS: 3

TOTAL ADULT ARRESTS:

TOTAL JUV. ARRESTS:



PUBLIC WORKS FOREMAN'S REPORT

ATTACHED IS THE PUBLIC WORKS FOREMAN'S REPORT.

ARE THERE ANY QUESTIONS REGARDING THE PUBLIC WORKS FOREMAN'S REPORT?

2022
MONTHLY REPORT FOR AUGUST
PUBLIC WORKS DEPARTMENT

ROADS

- Berm Monier Road.
- Berm Logan Road.
- Install 275' of 12" pipe and 2 catch basin on Logan Road.
- Repair soft spots on Logan Road.
- Asphalt soft spots on Logan Road - 48 ton of asphalts.
- Cement and mortar new catch basin on Logan Road.
- Repair soft spot on Annadale Road.
- Replace 12" pipe on Woodlake Court and mortar catch basin.
- Install 60' of 12" pipe and catch basin on W. Starz.
- Install hot asphalt in front of ambulance building.
- Vactor catch basin in Fawn Haven.
- Patch various roads.

TRUCKS & EQUIPMENT

- Replace pin and holders on ram on Truck #7.
- Replace muffler on Hustler mower.
- Replace battery on roller.
- Work on Hustler oil leak.
- Change hydraulic filter on Boom Mower.
- Clean and grease trucks.

MISCELLANEOUS

- Setup and tear down for Food Truck Event.
- Replace stop sign at Valleyfield and Sunnyvale.
- Install no outlet sign on Coffee Lane.
- Install 25 mph sign on Glasgow Road.
- Install 25 mph sign and Watch Children sign on Partridge Run Road.
- Change lights at School zone lights on Saxonburg Blvd.
- Paint School zones.
- Cut branches away from signs at McClure, East Union, Bairdford & Monier.
- Remove fallen tree from Beacom Road.
- Remove tree from Liberty St. Alley.
- Clean up debris from storms.
- Remove tree from K-9 training fence.
- Replace lock set and door knob at Municipal Building.
- Cut grass.
- Mow weeds along various roads.

PA1 Calls

86

OT

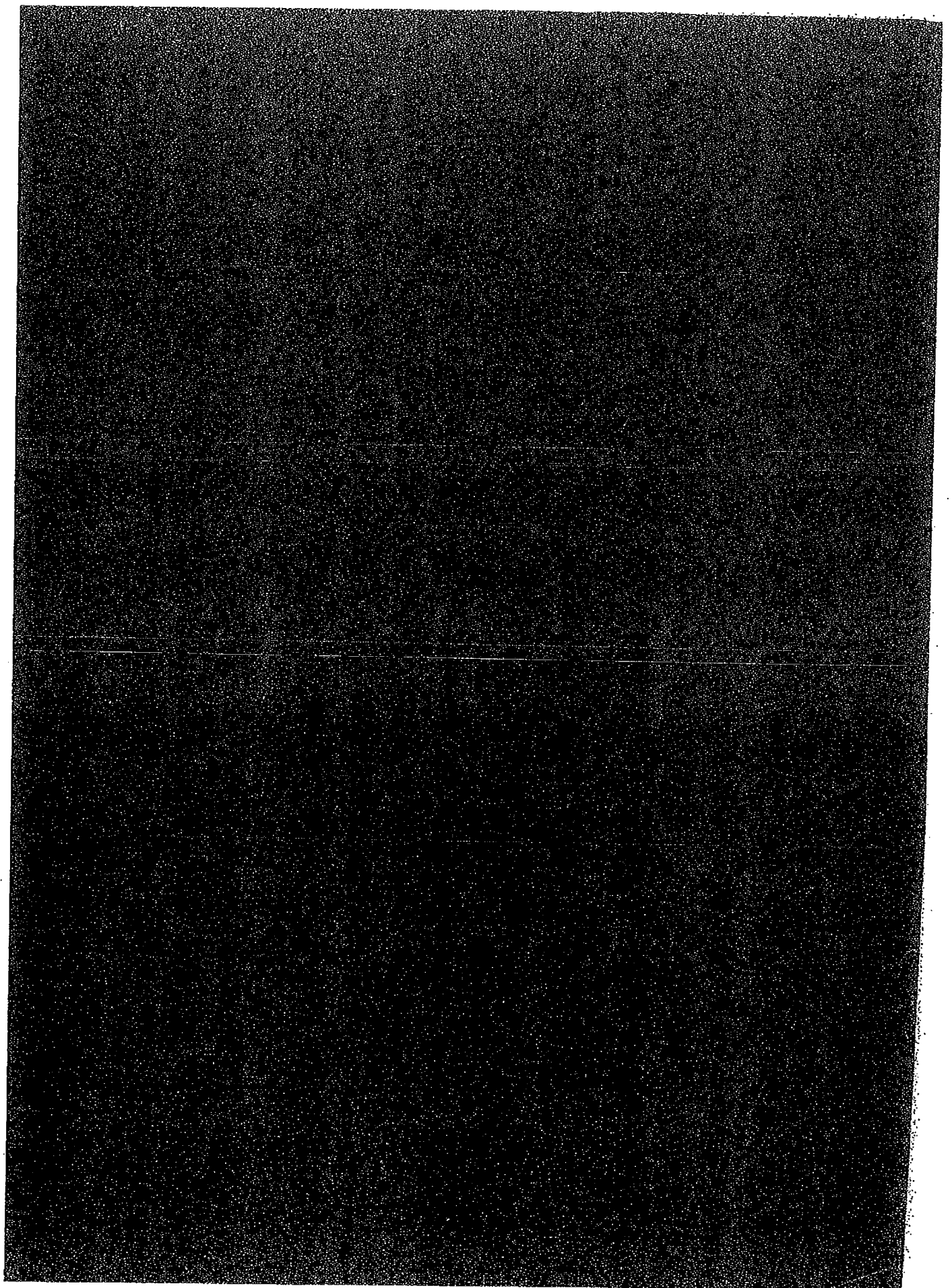
7.5 hrs (park)

4.5 hrs (Recycle Event)

12.00 hrs


Kevin Olar

9-15-22
Date



ENGINEER'S REPORT

ATTACHED IS THE ENGINEER'S REPORT SUBMITTED BY SHOUP ENGINEERING, INC.

ARE THERE ANY QUESTIONS REGARDING THE ENGINEER'S REPORT?



SHOUP ENGINEERING

FOR OVER 50 YEARS

329 Summerfield Drive, Baden, PA 15005

Phone: 724-869-9560

info@shoupengineering.com

**AUGUST 2022 ENGINEER'S REPORT
WEST DEER TOWNSHIP
Prepared September 12, 2022**

VIA EMAIL

1. MEETING ATTENDANCE

Shoup Engineering attended and participated in the following meetings:

Board of Supervisors Meeting – August 17, 2022

Planning Commission Meeting – August 25, 2022

2. DEVELOPMENTS/PROJECTS

Shoup Engineering has provided input into the following developments/projects:

Projects:

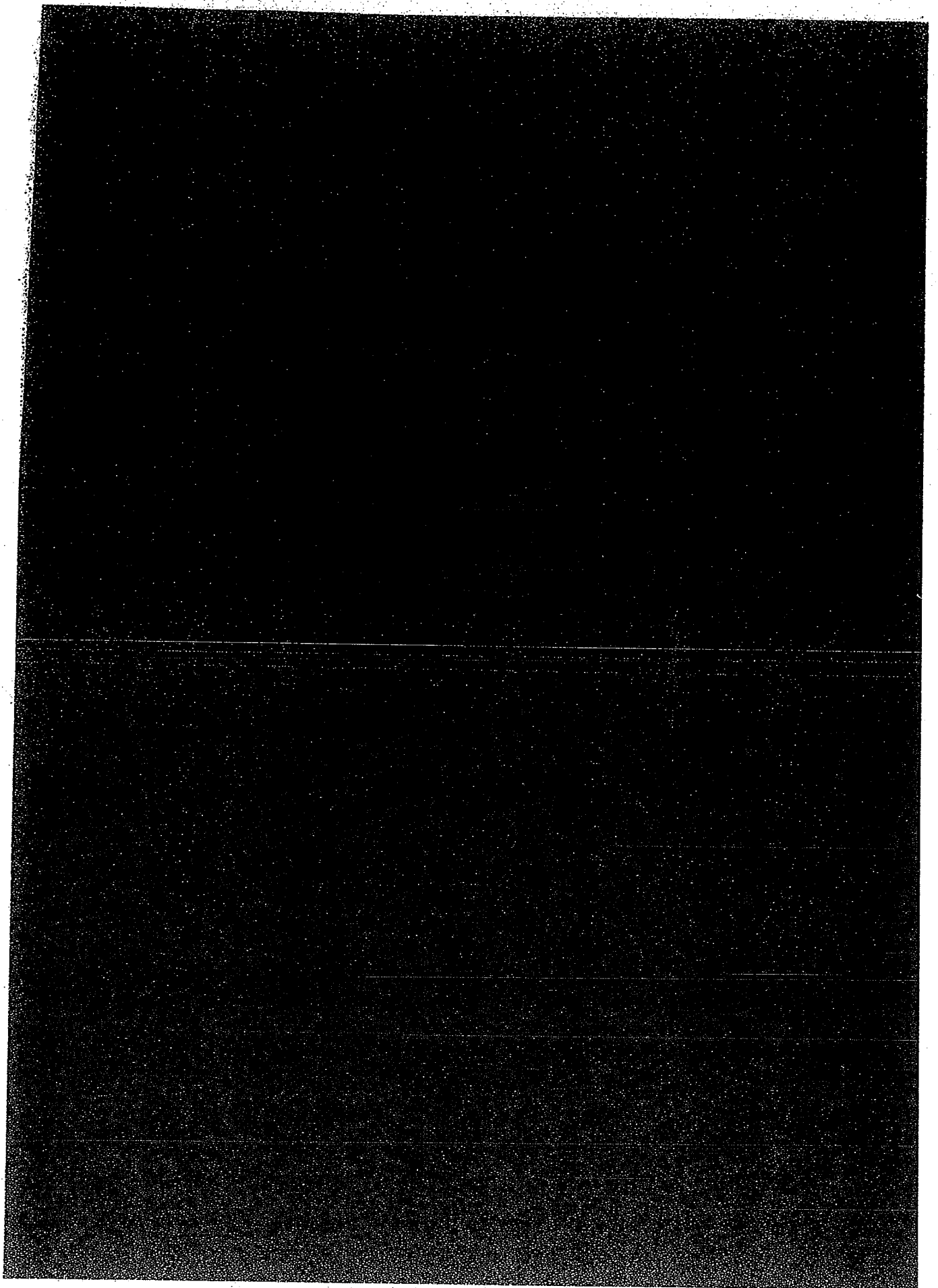
- Municipal Building Project – Based on initial concept planning by HHSDR architects, preparation of a preliminary grading plan and adjustments to the concept plan were performed. As required for future permitting, a review of the site for wetlands was performed which revealed no wetlands exist in the areas to be developed.

Development/Subdivision Reviews: The following subdivision and land development plan projects had been reviewed, and review letters were issued to the Township as noted:

- Unionville Plan – Reviews of this subdivision plan on East Union Road were performed and review letters dated August 15, 2022 and August 31, 2022 were issued to the Township.

Respectfully Submitted,
SHOUP ENGINEERING, INC.

Scott A. Shoup, P.E.
Township Engineer



**PLANNING & ZONING COMMUNITY DEVELOPMENT DIRECTOR
REPORT**

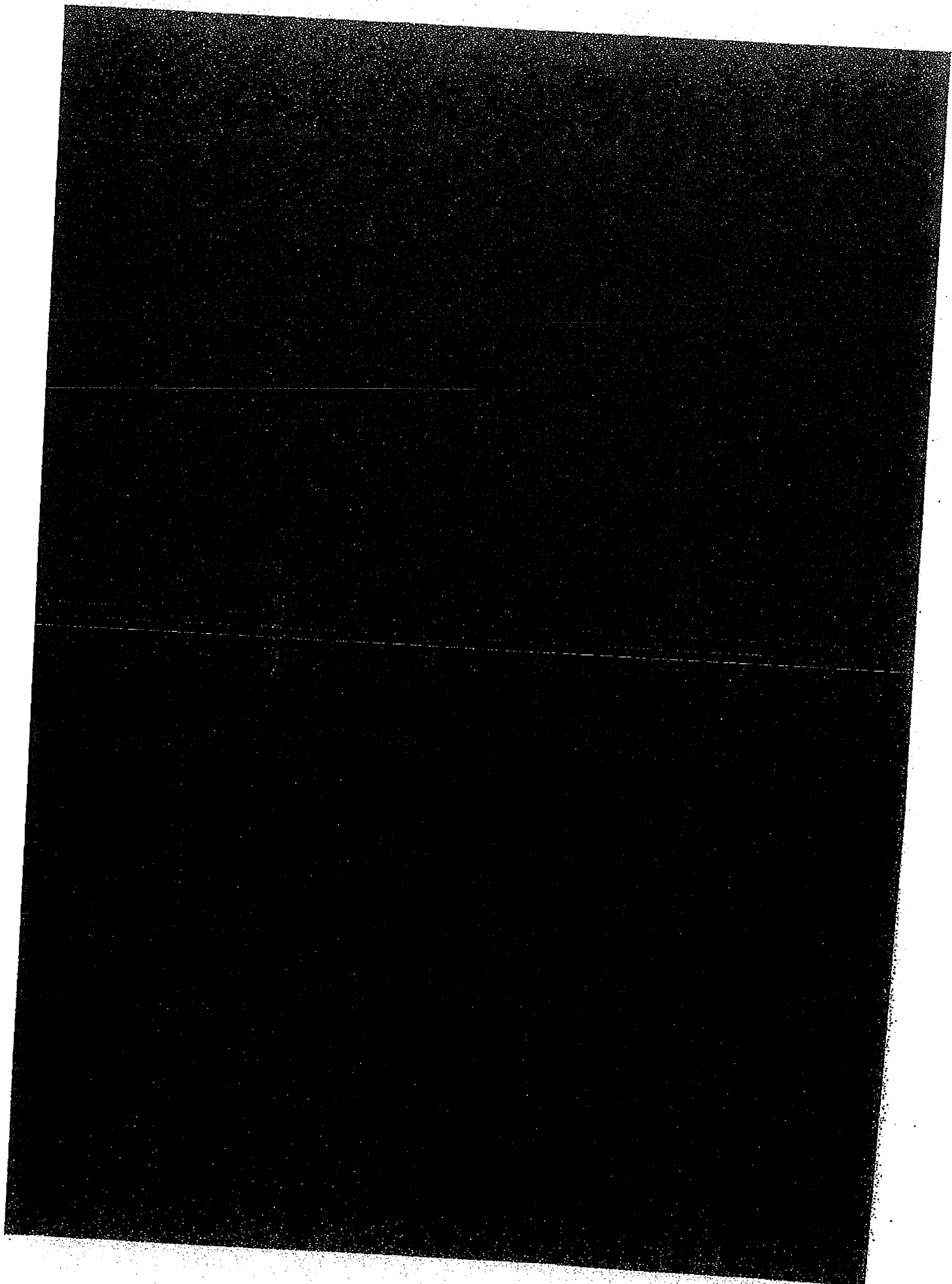
ATTACHED IS THE PLANNING & ZONING COMMUNITY
DEVELOPMENT DIRECTOR'S REPORT.

ARE THERE ANY QUESTIONS REGARDING THE REPORT?



Zoning and Planning Report
September 22, 2022

1. Issued 18 Occupancy Permits.
2. Issued 15 Building Permits.
3. PCS performed 33 Building inspections.
4. See attached Project Status Report.
5. Planning Commission was held and deer creek park rentals. Unionville Housing Development, and No Off Seasons Concert Venue was discussed.
6. No Zoning Hearing Board was held.



PARKS & RECREATION BOARD REPORT

ATTACHED IS THE PARKS & RECREATION BOARD REPORT.

ARE THERE ANY QUESTIONS REGARDING THE REPORT?

Parks & Recreation Report

September 21st, 2022

Planned 2022 Events

- September 24-25th- The West Deer Festival at Bairdford Park
- October 15th - Trunk or Treat at East Union Church
- December 11th - Breakfast with Santa at #1 VFD

August 6th Movie in the Park was canceled due to lack of participation and we will use the movie for a raffle at Breakfast w/Santa.

At the August 6th Food Truck Event we had approximately 200 people

West Deer Festival

We currently have 35 vendors registered for festival.

Costs

Petting Zoo - \$3,200 for both days

DJ - \$500 for both days

Face Painter - \$520 for both days

Port-o-Johns - \$385

Lights - \$600

Golf Carts - \$520

Hay Rides - \$1,500 (\$150/hr for 10 hours)

Wild Animals - \$525

Balloon Artist - \$700 for both days

Karaoke - \$300 - Jennifer Kowleski

Road signs - \$220

Rides - **waiting on contract - less than \$20,000**

Current costs: \$8,970

With rides: \$28,970

Our next meeting will be September 28th, 2022.

West Deer Festival

September 24-25, 2022

Saturday, September 24th

10:00-Run/Walk Registration

10:30-Run/Walk Start

11:00-9:00PM - Rides

12:00-9:00PM - DJ

3:00-5:00PM - Petting Zoo

3:00-9:00PM - Hay rides

3:00-5:00PM - Balloon Artist

3:00-5:00PM - Face Painting

5:00-6:00PM - Wild Animals

6:30PM - Pie Eating Contest

7:00-9:00PM - Karaoke

Sunday, September 25th

12:00-7:00PM-Rides

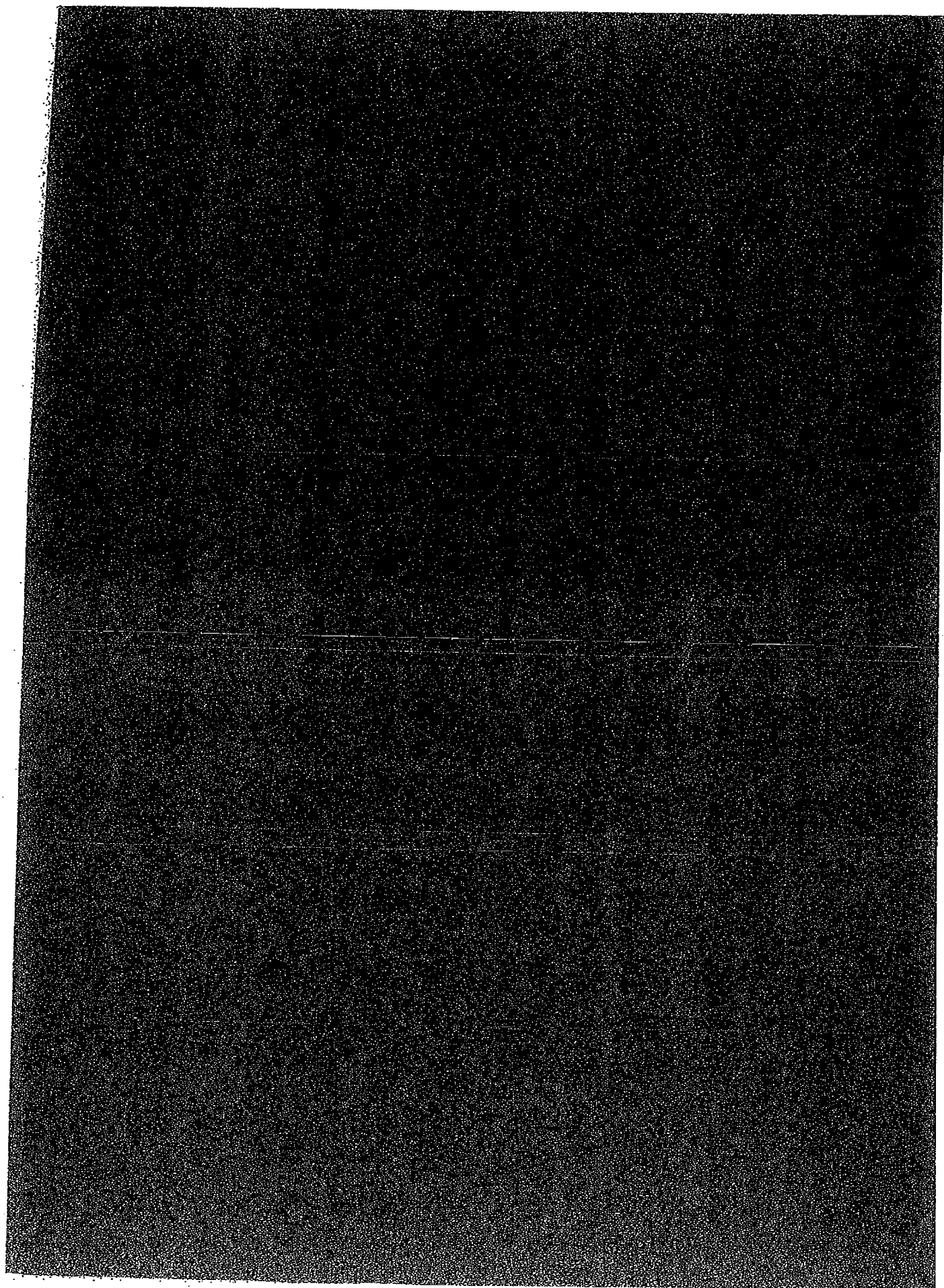
12:00-7:00PM - DJ

2:00-4:00PM - Face Painting

2:00-4:00PM - Balloon Artist

3:00-5:00PM - Petting Zoo

3:00-7:00PM - Hay Rides



WEST DEER #1 VFC REPORT

ATTACHED IS THE WEST DEER #1 VFC REPORT.

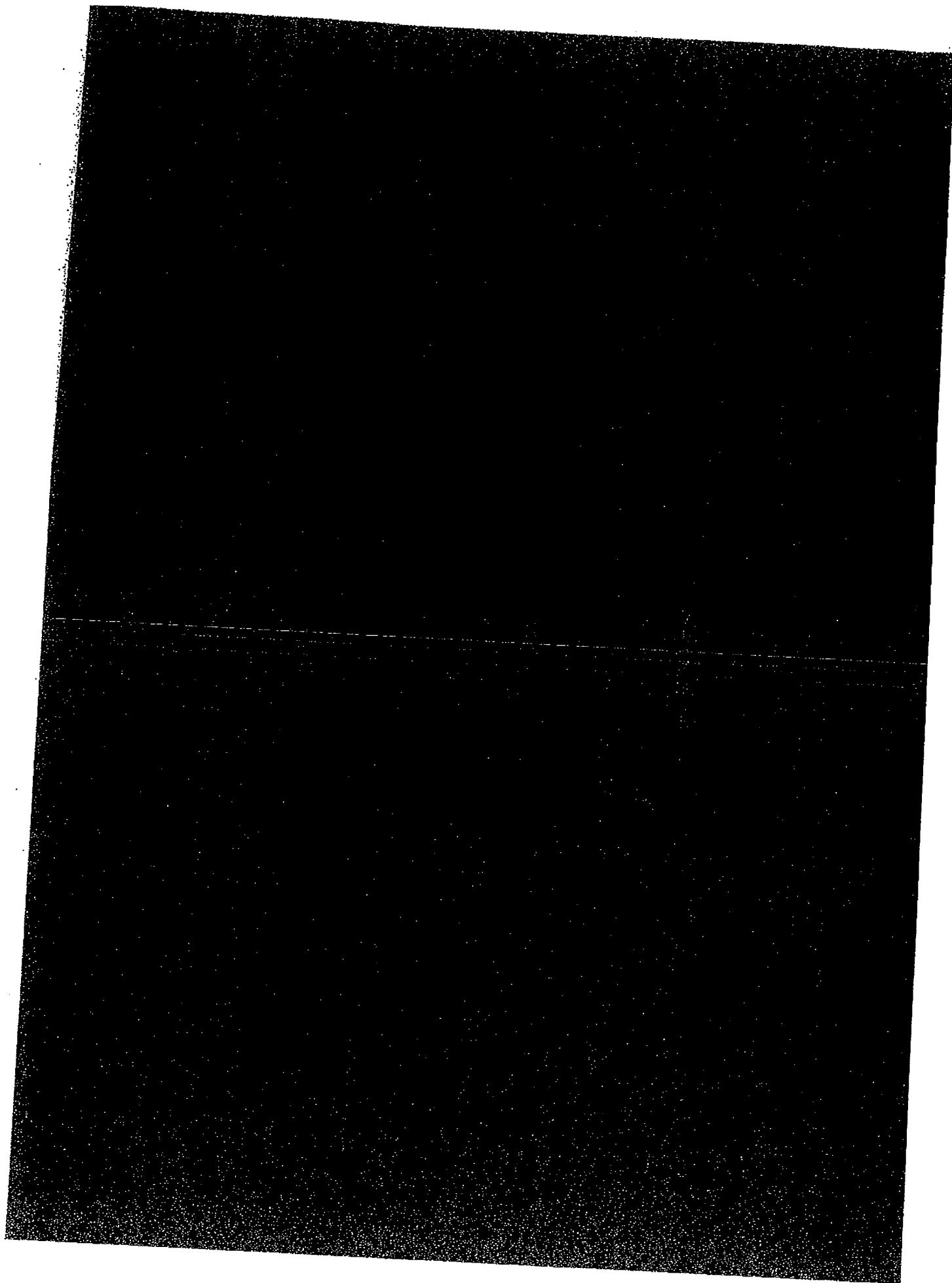
ARE THERE ANY QUESTIONS REGARDING THE REPORT?

WEST DEER VFD #1

1520 Saxonburg Blvd Tarentum PA 15084

AUGUST 2022 REPORT

- 12 firecalls
- 3 company training at 290
- New batteries on engine 2
- 3 social hall rentals
- Preparing for fall festival
- Selling lottery raffle tickets



WEST DEER #2 VFC REPORT

ATTACHED IS THE WEST DEER #2 VFC REPORT.

ARE THERE ANY QUESTIONS REGARDING THE REPORT?

West deer #2 monthly report for Aug 9 2022 to September 13th 2022

For the month of Aug/ sept we responded to 17 calls total

- 10 false fire alarm
- 2 natural gas leak outside
- 1 natural gas leaks inside a resident
- 2 smoke investigations
- 1 illegal burning
- 1 wires down call

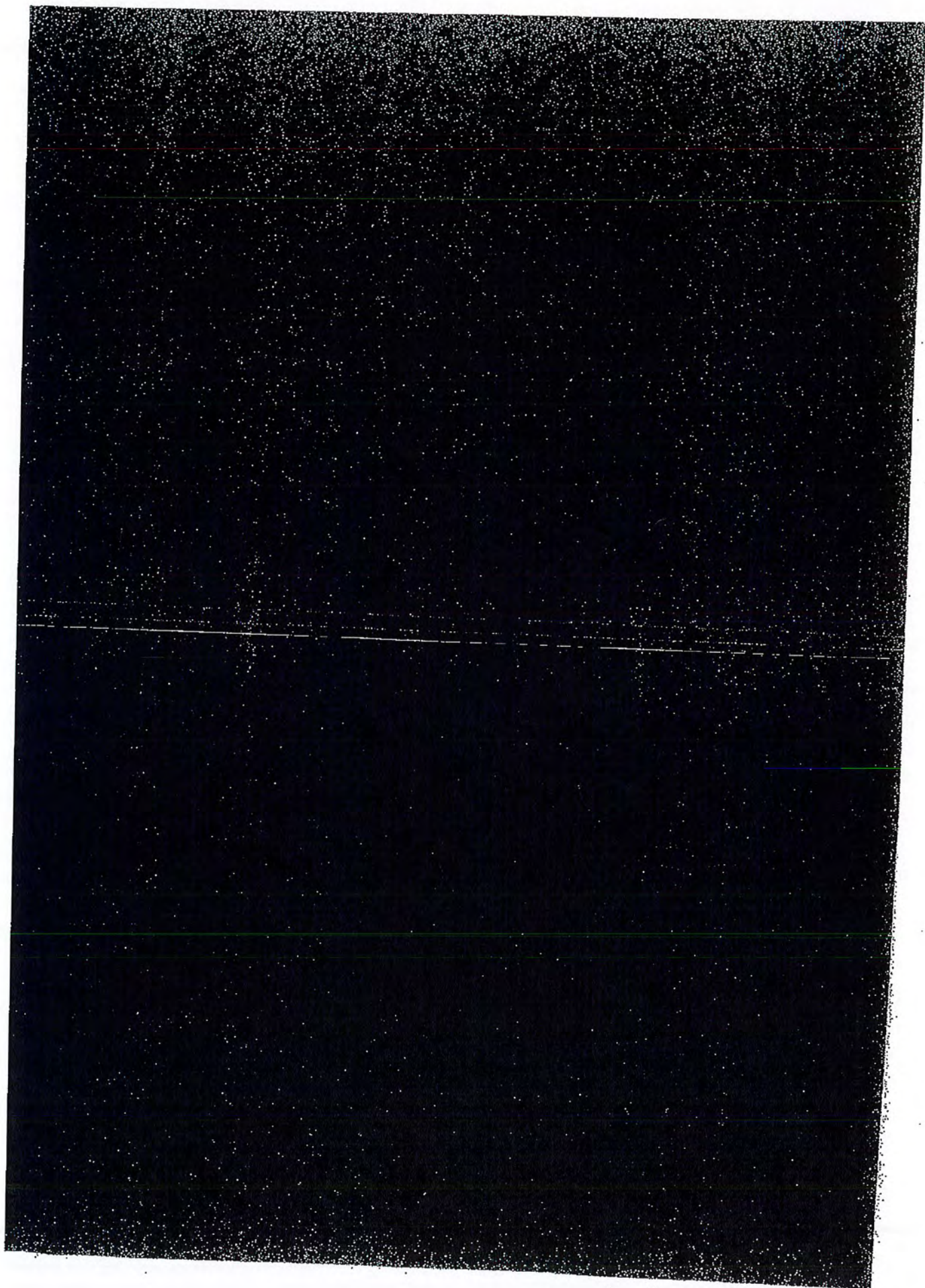
West deer # 2 has responded to a total 139 calls for 2022.

Crews trained on rope rescue scenario's, and patient packaging with 290 and 288

Crews trained on vehicle rescue

We were denied 2 grant that we applied for

Meeting minutes not available for this months report



WEST DEER #3 VFC REPORT

ATTACHED IS THE WEST DEER #3 VFC REPORT.

ARE THERE ANY QUESTIONS REGARDING THE REPORT?

West Deer Twp. VFC # 3
FIRE CHIEF'S REPORT
September 2022

Call Report for August – 87 total calls

53 - QRS Calls with response, 8 - QRS calls with no response (13%)

25 - Fire Calls with response, 1 – Fire Call with no response (4%)

0 - Commercial Structure Fire

6 - Commercial Fire Alarm

1 - Residential Structure Fire

3 - Residential Fire Alarm

2 - MVC

1 - MVC w/ entrapment

0 - Rescue, other than MVC

9 - Misc. (flooding/wires down/trees down)

0 - CO Alarm

1 - Brush Fire

1 - Landing Zone

2 - Vehicle Fires

11 - Richland

4 - Hampton

11 - West Deer

19 - 0500-1700

7 - 1700-0500

- Equipment/truck checklists – All checklists completed, except Tanker (OOS) and meters calibrated

- Operations meeting – no meeting scheduled for September due to Labor Day

Upcoming events: 9/13 - Training

9/20 - Training

9/27 - Work detail

- 2 Firefighters completed module 1 of basic firefighting

- Worker Compensation claim filed for firefighter foot injury, treatment only

- Fire Station project – awaiting mechanical drawings

- Hose testing completed August 30th by Waterways (cost \$2,931.00), 1 section of 1 inch hose failed

- Pump testing – Needs scheduled for October

- Aerial and ground ladder testing bid was awarded to NHT in the amount of \$1,177, scheduled for Sept, 21st

- Tanker pump repairs completed by Glick Fire, module sensor replaced in transmission (cost \$ 6,227.99)

- Township – No progress with State fire study

- Replacement pike poles ordered through Darley \$189 plus shipping, still waiting for delivery

- Radios were ordered through County, still awaiting delivery

- CV2 needs lettered, battery will not stay charged

- Firefighter physicals scheduled for 10/15/22 at fire station

- 3 company training held on August 30th, 28 firefighters in attendance, practiced rope knots, basket lashing, MPD

- AED training held at Hytyre Farms, 55 residents in attendance

- Installed 4 smoke detectors in residence, referred by AHN Community Paramedics

- Fire Safety inspection was conducted at Hytyre Farms community building, installed 5 new batteries for emergency lighting, installed CO detector, installed 3 new smoke detectors

- COVID PPE policy N-95 or surgical masks required for patient care

- Personnel need to isolate for 5 days post positive test, mask for days 6-10

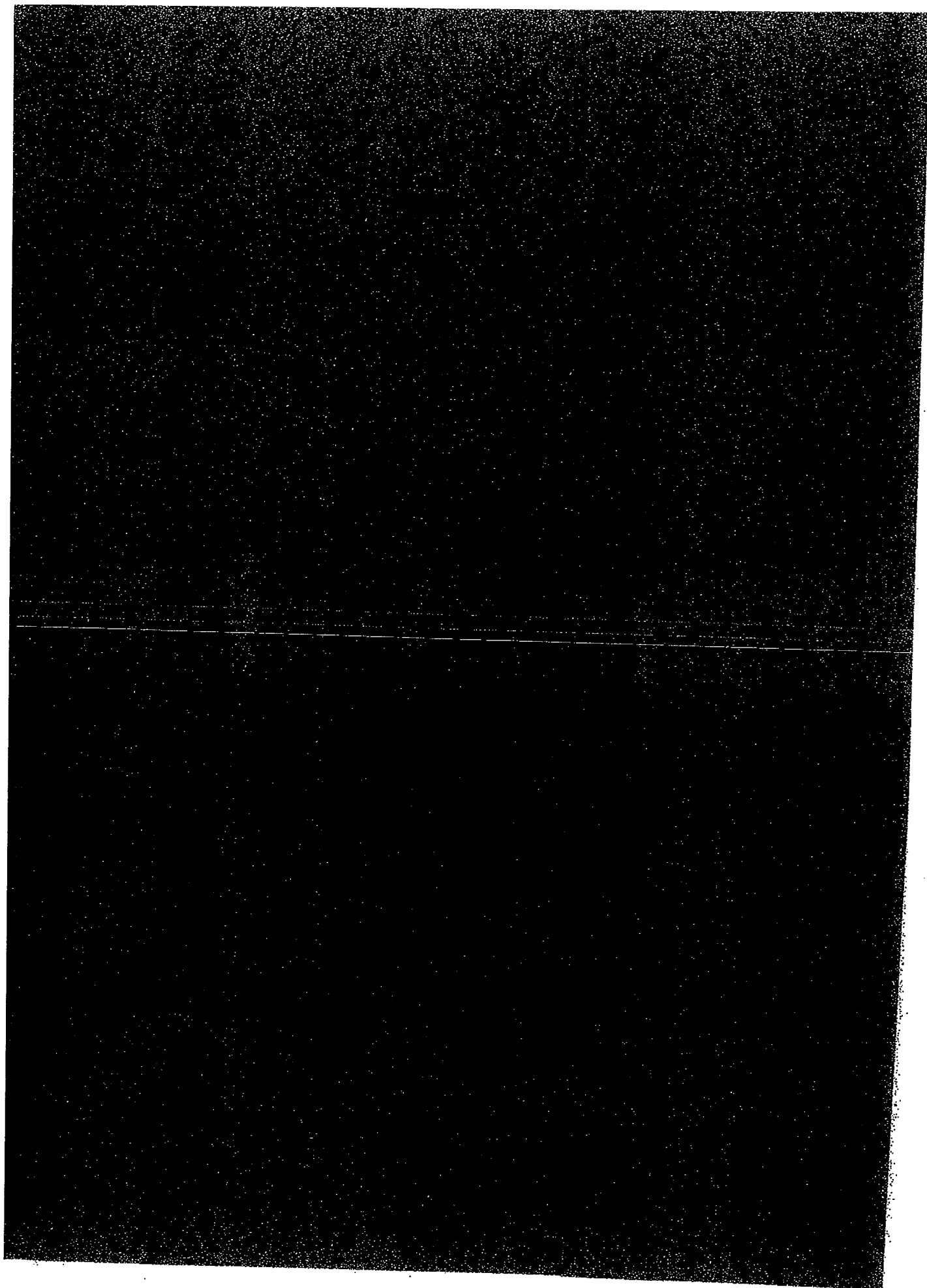
- Monthly P&L

Income \$11,972.45

Expenses \$39,470.12

Respectfully submitted by:

Josh Wiegand, Fire Chief



WEST DEER EMS REPORT

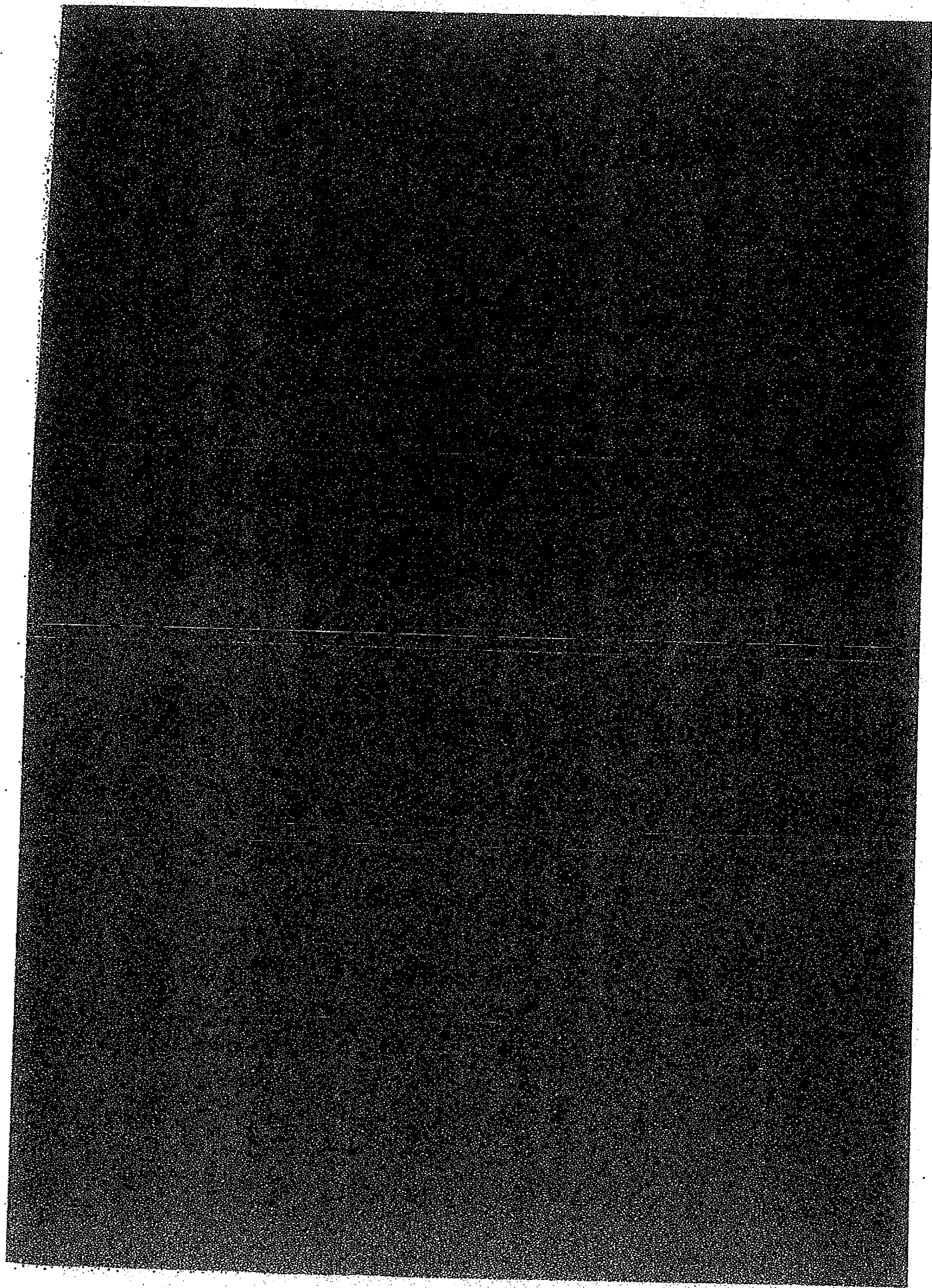
ATTACHED IS THE WEST DEER EMS REPORT.

ARE THERE ANY QUESTIONS REGARDING THE REPORT?

West Deer EMS

August of 2022

- 176 Totals calls for service. The average monthly volume has increased by around 7% over the last six month.
- We will be doing a capital fund drive later in the year with the intent on fundraising for an additional vehicle that needs replaced.
- There is still a delay in delivery for the vehicle we purchased last August.
- Second round subscription mailing will be going out by the end of September.
- Income for July was \$70,806 with expenses totaling \$46,471. The end of the initial subscription response is in August as September starts our subscription coverage year.
- Power stretcher purchased with our recent grant has been delivered and will be in service shortly.
- The AC on the crew side was installed is working well. The AC on the office/training room side has been faulty recently and underwent emergency repair to get through the season. The recommendation is replacement as the unit is nearly 40 years old. We have reached out for estimates that should be available next month.
- We recently started additional strategic planning. There will need to be additional talks in the future about possible municipal assistance with funding for growth. We will be able to maintain what we do already for some time but there is little room for growth or significant expenditures which will come in time.



ADOPTION: ORDINANCE NO. 448 (PROPERTY MAINTENANCE)

ORDINANCE NO. 448

AN ORDINANCE OF THE TOWNSHIP OF WEST DEER, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, AMENDING CHAPTER 166 OF THE TOWNSHIP CODE ENTITLED "PROPERTY MAINTENANCE" BY ADOPTING THE PROVISIONS OF THE 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE – AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL – AS PART OF THE WEST DEER TOWNSHIP CODE.

(ORDINANCE ATTACHED)

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO ADOPT ORDINANCE NO. 448 AMENDING CHAPTER 166 OF THE TOWNSHIP CODE ENTITLED "PROPERTY MAINTENANCE" BY ADOPTING THE PROVISIONS OF THE 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE – AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL – AS PART OF THE WEST DEER TOWNSHIP CODE.

	MOTION	SECOND	AYES	NAYES
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

**WEST DEER TOWNSHIP
ALLEGHENY COUNTY, PENNSYLVANIA**

ORDINANCE NO. 448

AN ORDINANCE OF THE TOWNSHIP OF WEST DEER, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, AMENDING CHAPTER 166 OF THE TOWNSHIP CODE ENTITLED "PROPERTY MAINTENANCE" BY ADOPTING THE PROVISIONS OF THE 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE – AS PUBLISHED BY THE INTERNATIONAL CODE COUNCIL – AS PART OF THE WEST DEER TOWNSHIP CODE

WHEREAS, the West Deer Township Board of Supervisors ("Board of Supervisors") deems it to be in the best interest of the residents of the Township to prohibit the unlawful use of private or public property; and

WHEREAS, the Board of Supervisors has determined that it would further the health, safety, and welfare of the residents of the Township to adopt the 2021 International Property Maintenance Code, which has been published by the International Code Council, reflecting new, revised, and more appropriate regulations regarding the maintenance of property; and

WHEREAS, the Board of Supervisors, after review of the 2021 International Property Maintenance Code, desires to adopt the provisions of the 2021 International Property Maintenance Code.

NOW THEREFORE, THE TOWNSHIP OF WEST DEER HEREBY ORDAINS, by and through its Board of Supervisors, as follows:

Section 1: Adoption

Chapter 166 of the Township Code of Ordinances entitled "Property Maintenance" is amended by adding a new section, Section 166-7, to read as follows:

CHAPTER 166-7: ADOPTION OF 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE

The Township of West Deer, Allegheny County, Commonwealth of Pennsylvania, does hereby adopt the Code known as the "International Property Maintenance Code," 2021 version, as published by the International Code Council as the International Property Maintenance Code. Copies of the 2021 International Property Maintenance Code are presently on file in the West Deer Township Office located at 109 East Union Road, Cheswick, PA 15024, and are hereby adopted as though fully set forth at length herein with the insertions, deletions, and revisions, prescribed as follows:

- A. Section 101.1: Insert: "Township of West Deer"
- B. Section 103.1. Insert: "Township Code Enforcement Department"
- C. Section 302.4. Insert: "eight (8) inches"
- D. Section 304.14. Insert: "May 1 to October 15"
- E. Section 602.3. Insert: "September 1 to May 31"
- F. Section 602.4. Insert: "September 1 to May 31"

Section 2: Administration

The Township, through its Board of Supervisors, shall be empowered by resolution to prepare and adopt such rules and regulations as may be necessary to implement the provisions of this Ordinance.

Section 3. Severability

If a final decision of a court of competent jurisdiction holds any provision of this Ordinance or the application of any provision of this Ordinance to any circumstance to be illegal or unconstitutional, the other provisions of this Ordinance and the application of such provisions to other circumstances shall remain in full force and effect.

Section 4. Effective Date / Repealer

This Ordinance shall become effective immediately upon enactment and any and all ordinances and/or resolutions, or parts thereof, conflicting herewith are repealed to the extent of such inconsistency.

ORDAINED AND ENACTED this 21st day of September, 2022.

ATTEST:

TOWNSHIP OF WEST DEER

Daniel J. Mator, Jr.
Township Manager

Beverly S. Jordan, Chairperson
Board of Supervisors

CERTIFICATE

I, the undersigned, hereby certify that the foregoing and attached is a true copy of an Ordinance which was duly enacted at a meeting of the Board of Supervisors of West Deer Township on the 21st day of September 2022, and that at such meeting a quorum was present and acting throughout, after due notice to the members of the Board of Supervisors of West Deer Township and to the public and such meeting was at all times open to the public; that the Ordinance was duly recorded in the West Deer Township Minutes Book and that a summary thereof was published as required by law in a newspaper of general circulation in the Township. I further certify that the Township met the advance requirements of the Pennsylvania Sunshine Act by advertising the date of the meeting and posting a notice of the meeting at the public meeting place of the Board of Supervisors; that the total number of members of the Board of Supervisors is five; and the vote upon the Ordinance was called and duly recorded upon the minutes and that the members voted in the following manner:

Yes

No

Abstain

Absent

Beverly S. Jordan, Chairperson

Shirley Hollibaugh, Vice Chairperson

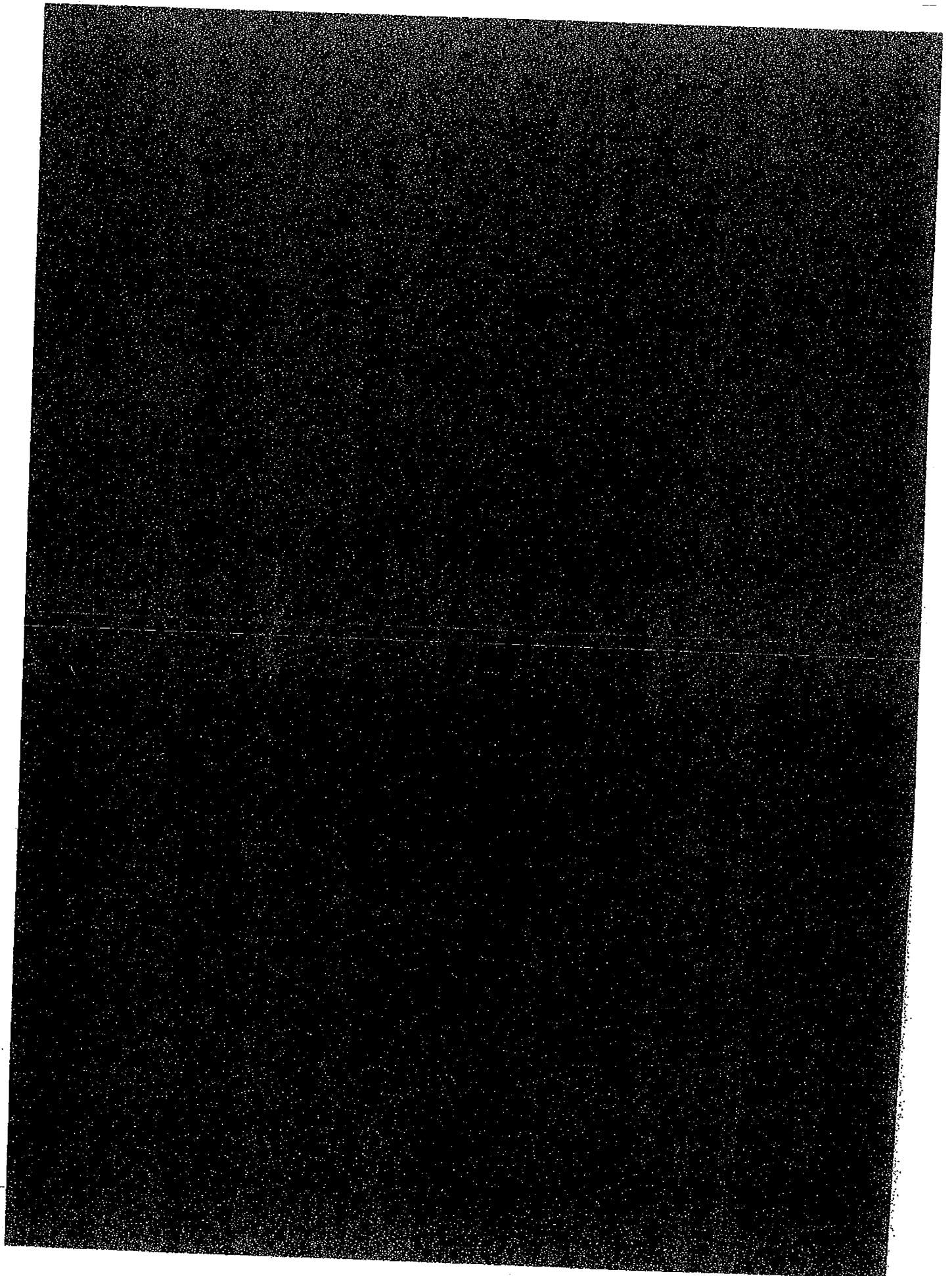
Vernon Frey

James Smullin

WITNESS my hand and the seal of the Township on this 21st day of September 2022.

[SEAL]

By: _____
Daniel Mator
Township Manager



APPOINTMENT: TOWNSHIP SUPERVISOR

AT ITS LAST MEETING, THE BOARD OF SUPERVISORS ACCEPTED DR. JENNIFER MANN'S RESIGNATION FROM THE WEST DEER TOWNSHIP BOARD OF SUPERVISORS AS THE SUPERVISOR FROM DISTRICT #4.

THE TOWNSHIP ADVERTISED THE VACANCY, AND RECEIVED LETTERS OF INTEREST FROM THREE CANDIDATES:

- MICHAEL YOEST
- DAVID HARRISON
- JOSHUA WIEGAND

THE CANDIDATES APPLICATION MATERIALS WERE SUBMITTED TO THE BOARD UNDER SEPARATE COVER.

ARE THE CANDIDATES PRESENT?

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO APPOINT _____ TO FILL THE UNEXPIRED TERM OF TOWNSHIP SUPERVISOR JENNIFER MANN AS THE SUPERVISOR REPRESENTING DISTRICT #4.

	MOTION	SECOND	AYES	NAYES
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

AUTHORIZATION: 2023 BUDGET ADVERTISEMENTS AND BUDGET WORKSHOPS

THE BUDGET SCHEDULE AND ADVERTISEMENTS ARE ATTACHED.

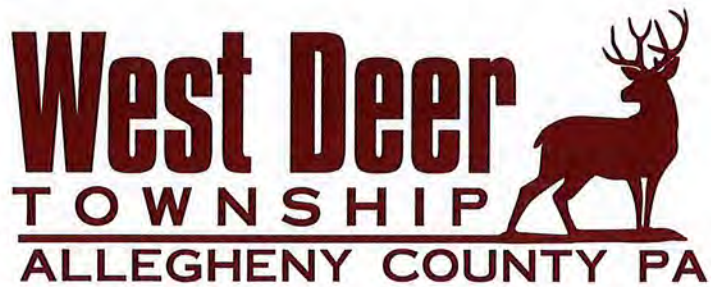
WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO AUTHORIZE THE ADVERTISEMENTS FOR THE 2023 BUDGET AS DICTATED BY – AND IN COMPLIANCE WITH – THE TOWNSHIP CHARTER.

	MOTION	SECOND	AYES	NAYES
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

West Deer Township 2023 Budget Schedule

Item	Target Date	Responsible Party
Municipal pension obligation acknowledgement	8/17/22	Board of Supervisors
Capital budget item requests from Department Heads	9/9/22	Department Heads / Daniel Mator
Budget General Fund	9/30/22	Daniel Mator and Barb Nardis
Budget Ancillary Funds	10/5/22	Daniel Mator and Barb Nardis
Budget Review	10/6/22	Daniel Mator and Barb Nardis
First Draft Budget to Board	10/7/22	Daniel Mator
Committee Budget Workshops (if necessary)	10/10-10/14	Committees, Daniel Mator, and Department Heads
Authorize Advertisement of Budget and Budget Workshops in Newspaper	10/19/22	Board of Supervisors
Submit Advertisements	10/20/22	Jodi French
Revise Budget Per Committee Budget Workshops	10/26/22	Daniel Mator, Barb Nardis, and Department Heads
Second Draft Budget to Board	10/28/22	Daniel Mator
Public Budget Workshop #1	11/2/22	Board of Supervisors, Daniel Mator, and Department Heads
Enter final projections for 2020 (Based on 10/31 YTD)	11/8/22	Barb Nardis
Revise Budget Per Budget Workshop	11/9/22	Daniel Mator, Barb Nardis, and Department Heads
Third Draft Budget to Board	11/11/22	Daniel Mator
Public Budget Workshop #2	11/16/22	Board of Supervisors, Daniel Mator, and Department Heads
Revise Budget Per Budget Workshop	11/17/22	Daniel Mator, Barb Nardis, and Department Heads
Prepare Budget Message	11/23/22	Daniel Mator
Make Final Budget Available for Public Inspection	11/28/22	Jodi French
Final Budget to Board of Supervisors	12/16/22	Daniel Mator
Adopt Final Budget at December Regular Business Meeting	12/21/22	Board of Supervisors
Create budget accounts in ledger	12/31/22	Barb Nardis



Chairman of the Board
Arlind Karpuzi

Vice-Chair of the Board
Shirley Hollibaugh

Township Manager
Daniel J. Mator, Jr.

MEMORANDUM

TO: Pittsburgh Post-Gazette/Legal Ad Dept.
FROM: Jodi French, Administrative Assistant
DATE: September 22, 2022
SUBJECT: **Budget Advertisement**

* * * * *

ADVERTISEMENT DATE: November 3, 2022

The West Deer Township Board of Supervisors will hold a Budget workshop hearing immediately following their regular business meeting to discuss the preliminary 2023 Budget on November 16, 2022. Members of the public are welcome to attend.

The proposed 2023 Budget will be on public display from November 28, 2022 through December 14, 2022 during regular business hours.

The Board will consider the adoption of the 2023 Budget on December 21, 2022 at 7:00 p.m. Members of the public are welcome to attend.

The workshop meeting, adoption vote, and the public inspection will be held at the Township Building located at 109 East Union Road, Cheswick, PA 15024.

Daniel J. Mator, Jr., Township Manager



Chairman of the Board
Arlind Karpuzi

Vice-Chair of the Board
Shirley Hollibaugh

Township Manager
Daniel J. Mator, Jr.

MEMORANDUM

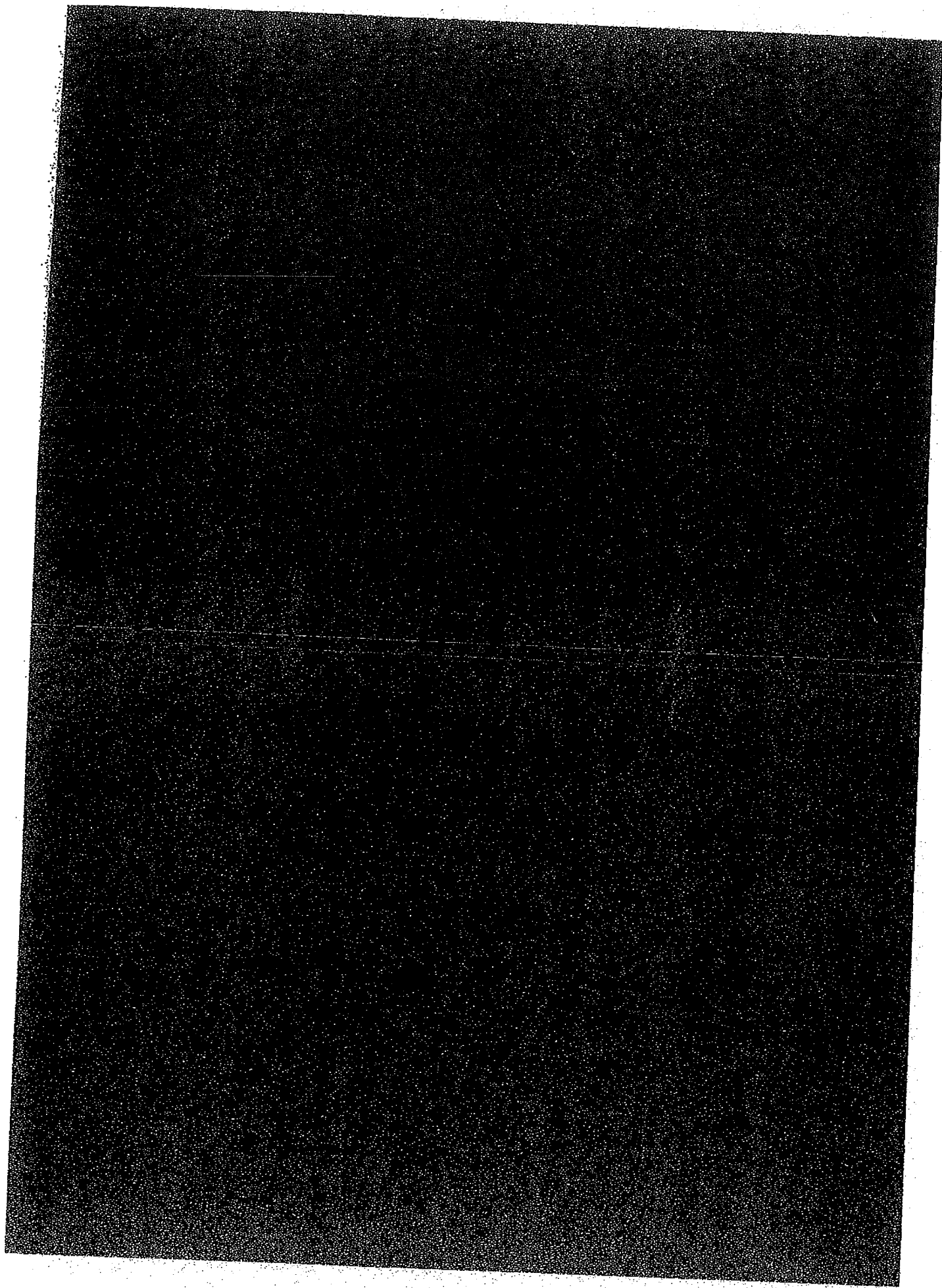
TO: Pittsburgh Post-Gazette/Legal Ad Dept.
FROM: Jodi French, Administrative Assistant
DATE: September 22, 2022
SUBJECT: **Budget Advertisement**

* * * * *

ADVERTISEMENT DATE: October 27, 2022

The West Deer Township Board of Supervisors will hold a Budget workshop hearing at 7:00 p.m. to discuss the preliminary 2023 Budget on November 2, 2022 at the Township Building located at 109 East Union Road, Cheswick, PA 15024. Members of the public are welcome to attend.

Daniel J. Mator, Jr., Township Manager.



**AUTHORIZATION: ADVERTISEMENT OF DEMOLITION OF 17-19
SCHOOL STREET & 1130-1132 EISENHOWER DRIVE**

ATTACHED IS INFORMATION AND PHOTOGRAPHS OF THE STRUCTURES LOCATED AT 17-19 SCHOOL STREET & 1130-1132 EISENHOWER DRIVE.

17 SCHOOL STREET

OWNER: ANNA & ARTHUR REYNOLDS (DECEASED)
LOT/BLOCK #: 1361-M-108

19 SCHOOL STREET

OWNER: LORI CALLWOOD
LOT/BLOCK#: 1361-M-105

1130-1132 EISENHOWER DRIVE

OWNER: HOLY SPIRIT REVIVAL & EVANGELISTIC MINISTRIES
LOT/BLOCK#: 1218-M-126

MR. PAYNE INSPECTED THE PROPERTY AND DETERMINED – PURSUANT TO CHAPTER 90 OF THE TOWNSHIP CODE – THAT THE STRUCTURE IS IN A DANGEROUS CONDITION, AND THAT IT CONSTITUTES A PUBLIC NUISANCE. SPECIFICALLY, THE HOUSE IS IN VIOLATION OF THE INTERNATIONAL BUILDING CODE AND ARTICLE VI OF ALLEGHENY HEALTH DEPARTMENT RULES AND REGULATIONS (SEE ATTACHED “NOTICE OF UNSAFE STRUCTURE”).

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO AUTHORIZE THE TOWNSHIP MANAGER TO ADVERTISE AND SOLICIT BIDS FOR THE DEMOLITION OF THE STRUCTURE LOCATED AT 438 ADLER STREET.

	MOTION	SECOND	AYES	NAYES
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

17-19 School Street

June 10, 2022

Via Certified and Regular U.S. Mail

Anna and Arthur Reynolds
17 School Street
Russellton PA 15076

Via Certified and Regular U.S. Mail

Courtesy Notification
David R Reynolds
68 Crestview Drive
Tarentum PA 15084

Courtesy Notification
Maryann Bryner
710 East Street
Tarentum PA 15084

Lori K Callwood
872 Ashley Road
Gibsonia PA 15044

**Re: Abatement of Nuisance
17-19 School Street (Duplex-attached single-family homes)**

To Whom It May Concern:

Please be advised that pursuant to Chapter 90 of the Code of the Township of West Deer ("Dangerous Buildings"), the Township of West Deer ("Township") has determined that the above-referenced properties located at 17 and 19 School Street (which are attached, Duplex), identified as Block and Lot No. 1361-M-108 and 1361-M-105 ("Property") in the Allegheny County Department of Real Estate, constitutes a dangerous structure and/or public nuisance and the structure located on the Property is a threat to the health, safety and welfare of the residents of the Township for the following reasons:

- Foundation is structurally compromised/failing in multiple sections.
- Visual evidence of pest vectors, animals living in abandoned structure.
- Absence of utilities needed for a habitable structure.
- Overgrowth of vegetation, allowing harboring of animals and pest vectors.
- Missing siding on approximately 1/5 of the structure.
- Soffit and fascia are rotting/falling off of the structure.
- Visual evidence of structural shifting of the foundation at the rear corners of structure.
- Chimney foundation on the #19 side is deteriorated and structurally compromised/failing.
- The North side interior foundation wall on the #19 side has crumbled and is structurally compromised/failing.
- The East side and North side foundation wall of #17 side is deteriorated approximately 8" in depth in some sections.
- Front porch roof on #17 side is collapsing.
- Front porch decking on #17 side has shifted and has vertical downward movement due to crumbling foundation under the North wall.
- Front porch decking is soft and compromised on both sides.
- Rear porch decking is spongy and compromised on the #19 side. The floor joists holding the deck show signs of rot and decay.
- Front porch roof on #17 side is collapsing/sagging and pulling away from the flashing to the house causing deterioration of the exterior wall at that connection point.

- Physical evidence of termite damage to exposed wood in the missing windowsills area and rear porch decking on #19 side.

You are hereby required to commence the repair or removal of the house within fifteen (15) days of the date of your receipt of this Notice. Such repairs or removal must be completed within thirty (30) days of your receipt of the Notice.

You have the right to appeal this determination by filing a written appeal with the Township within fifteen (15) days of your receipt of this Notice. If an appeal is filed, the Township Board of Supervisors will schedule a meeting to hear your appeal and will issue a final decision of this matter.

If you fail to repair or remove the structure within the time period set forth herein, the Township shall have the right to remove the structure and you will be responsible for the legal fees, administrative costs and demolition costs incurred by the Township as well as a penalty of 10% of all costs, and interest at the rate of 6% per annum from the date of completion of removal of said structure.

A public hearing regarding the condition of the above-referenced property shall be held by the Township Board of Supervisors at its regularly scheduled meeting on July 20, 2022, at 7:00 p.m. The meeting will be held at the Township Municipal Building in the meeting room located at 109 East Union Road, Cheswick PA 15024.

The owners, parties in interest and/or Township residents and taxpayers may appear to present evidence and/or testimony regarding the condition of this Property. After the presentation of all evidence, including that presented by the Township of West Deer Code Enforcement Officer, the Township Board of Supervisors may make a decision regarding the demolition and removal of the structure if it has been found to be dangerous, dilapidated and a threat to the general health, safety and welfare of the Township and its residents.

If you have any questions regarding this Notice, please contact the undersigned at 724-265-2780.

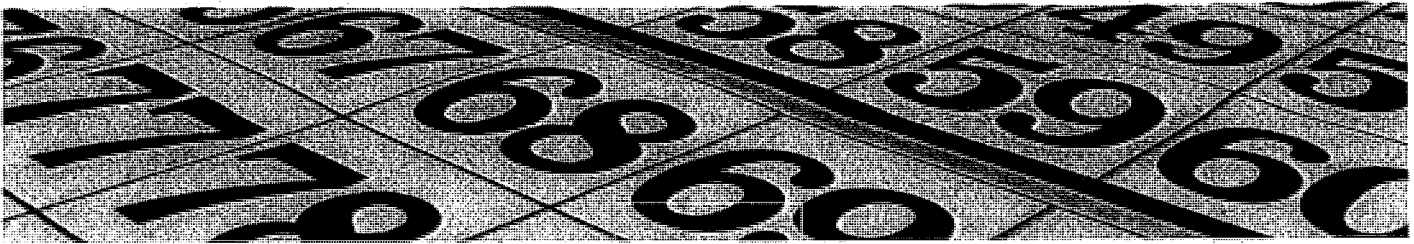
Very truly yours,

William Payne
West Deer Township Code Enforcement Officer



17-19 SCHOOL ST.

8.17.2022



Anna F. Reynolds

April 29, 1923 ~ June 26, 2020 (age 97)

Obituary posted 7/1/20



(mailto:?subject=Obituary%20Listing&body=Obituary%20posted%207/1/20)

Obituary & Services

Tribute Wall

Obituary

Anna F. (Musick) Reynolds, 97 of Russellton, West Deer Township, died Friday June 26, 2020 at St. John Lutheran Senior Care Home, Mars. She was born April 29, 1923 in Homestead to the late John and Anna (Pluski) Musick. Anna grew up in Homestead though has lived in Russellton, West Deer Township for the past 72 years. She was a homemaker and was a member of Transfiguration R.C. Church, Russellton, the Owl's Club Russellton and the West Deer Senior Center, West Deer. She enjoyed playing bingo and spending time with her family.

Survivors include her son ~~David R. (Peggy) Reynolds~~ of West Deer; her daughter ~~Maryann Bryner of Tarentum~~; her grandchildren Jamie L. Reynolds of South Park, Christine M. (Joe) Large of West Deer, James Bryner of OH, Douglas Bryner of New Kensington and Charles Bryner of Tarentum; her siblings Mary Hillard of Butler and Steven Musick of GA.

Besides her parents she was preceded in death by her husband ~~Arthur Reynolds~~, her son Arthur J. Reynolds and her siblings Joseph, John, Michael and George Musick and Margaret Hillard.

Friends received Tuesday from 4-7 PM in the SIWICKI-YANICKO FUNERAL HOME, 23 McKrell Road, Russellton, West Deer Township, where a blessing service will be conducted Wednesday 10 AM with the Rev. James P. Holland officiating. She will be laid to rest next to her husband and near her son in Lakewood Memorial Gardens, Indiana Township. In lieu of flowers the family suggest making contributions to the Funeral Home to help with the funeral expenses. View obituary and leave condolences at www.siwicki-yanickofh.com.

To send flowers to the family or plant a tree in memory of Anna F. Reynolds, please visit our [floral store. \(/obituary/Anna-Reynolds/sympathy\)](http://www.siwicki-yanickofh.com/obituary/Anna-Reynolds/sympathy)

Services

VISITATION

Tuesday
June 30, 2020
4:00 PM to 7:00 PM
Siwicki - Yanicko Funeral Home
PO Box 21 - 23 McKrell Road
Russellton, PA 15076

[Share a memory](#)



Directions (<https://maps.google.com/?q=PO+Box+21+-+23+McKrell+Road,+Russellton,+PA+15076>)



Text Details



Email Details

[Send Flowers](#)

(/obituary/Anna-Reynolds/sympathy)

Plant a Tree



Directions (<https://maps.google.com/?q=PO+Box+21+-+23+McKrell+Road,+Russellton,+PA+15076>)
(/obituary/Anna-Reynolds/1076726/memorial-tree)

BLESSING SERVICE

Wednesday
July 1, 2020

Parcel ID : 1361-M-00108-0000-00
Property Address : 17 SCHOOL ST
RUSSELLTON, PA 15076

Municipality : 952 West Deer
Owner Name : REYNOLDS ARTHUR & ANNA (W)

Decesed - Decesed
Children
Decesed - Arthur J Reynolds
- David R. Reynolds
- Peggy (wife)
- of West Deer
- Maryann Bryner
of Tarentum

School District :	Deer Lakes	Neighborhood Code :	95203
Tax Code :	Taxable	Owner Code :	Regular
Class :	Residential	Recording Date :	
Use Code :	SINGLE FAMILY	Sale Date :	4/6/1944
Homestead* :	No	Sale Price :	\$1,550
Farmstead :	No	Deed Book :	2795
Clean And Green	No	Deed Page :	531
Other Abatement :	No	Lot Area :	3,865 SQFT

* If this property had a recent sale or deed change the 'YES' that is showing may apply to the prior owner.
New owners wishing to receive the abatement must apply.
The deadline to apply is March 1st of each year.
Details may be found on the [County's abatement page](#).

2022 Full Base Year Market Value

Land Value	\$10,100
Building Value	\$33,300
Total Value	\$43,400

2022 County Assessed Value

Land Value	\$10,100
Building Value	\$33,300
Total Value	\$43,400

2021 Full Base Year Market Value

Land Value	\$10,100
Building Value	\$33,300
Total Value	\$43,400

2021 County Assessed Value

Land Value	\$10,100
Building Value	\$33,300
Total Value	\$43,400

Address Information

Owner Mailing : PO BOX 285
RUSSELLTON, PA 15076-0285

Parcel ID : 1361-M-00105-0000-00
Property Address : 19 SCHOOL ST
RUSSELLTON, PA 15076

Municipality : 952 West Deer
Owner Name : CALLWOOD LORI K

School District :	Deer Lakes	Neighborhood Code :	95203
Tax Code :	Taxable	Owner Code :	Regular
Class :	Residential	Recording Date :	9/9/2005
Use Code :	SINGLE FAMILY	Sale Date :	9/9/2005
Homestead* :	No	Sale Price :	\$36,050
Farmstead :	No	Deed Book :	12585
Clean And Green :	No	Deed Page :	154
Other Abatement :	No	Lot Area :	4,181 SQFT

* If this property had a recent sale or deed change the 'YES' that is showing may apply to the prior owner.
New owners wishing to receive the abatement must apply.
The deadline to apply is March 1st of each year.
Details may be found on the [County's abatement page](#).

2022 Full Base Year Market Value

2022 County Assessed Value

Land Value	\$10,200	Land Value	\$10,200
Building Value	\$30,700	Building Value	\$30,700
Total Value	\$40,900	Total Value	\$40,900

2021 Full Base Year Market Value

2021 County Assessed Value

Land Value	\$10,200	Land Value	\$10,200
Building Value	\$30,700	Building Value	\$30,700
Total Value	\$40,900	Total Value	\$40,900

Address Information

Owner Mailing : 872 ASHLEY RD
GIBSONIA, PA 15044-7852



West Deer Township

109 EAST UNION RD
CHESWICK, PA 15024
724-265-3680

COMPLAINT INFORMATION SHEET

To: **Tony & Betty SIMONETTI**
1154 EISENHOWER DR

Complaint Number:
Parcel ID: **1218-M-148**

Date of Inspection:

Date of this Notice: **5/4/2022**

A violation of the code of West Deer Township ordinances of Pennsylvania State Law has been found at the address of

1154 EISENHOWER DR

The law requires that the property owner/tenant maintain the property in compliance with the West Deer Township Code of Ordinance and the Law of the State of Pennsylvania.

Complaint: Garbage/Solid Waste

Description:

5-4-22 Received complaint about junk, debris, empty cans, and gas cans. Will perform a site inspection.

To Resolve:



Chairwoman of the Board
Beverly Jordan

Vice-Chairwoman of the
Board
Shirley Hollibaugh

Township Manager
Daniel J. Mator, Jr.

June 10, 2022

David R Reynolds
68 Crestview Drive
Tarentum PA 15084

Maryann Bryner
710 East Street
Tarentum PA 15084

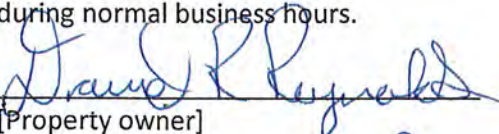
Re: Demolition of 17-19 School Street

Mr Reynolds and Ms. Bryner:

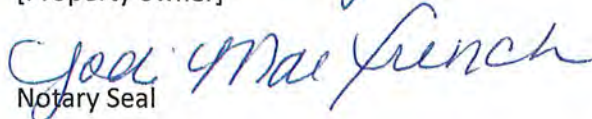
On 5 May 2022, the two-family dwelling located at 17-19 School Street was condemned, posted for repair or removal, and ordered to be secured. It was found that your parents Anna and Arthur Reynolds owned the property at 17 School Street. With the passing of your parents, it is assumed that you are a legal heir to the property.

This letter acknowledges your consent to demolish the structure and lien the property for cost of demolition of the structure and any associated costs. Please respond before 1 June 2022. The Township has enclosed a prepaid envelope for your convenience.

I, David Reynolds, owner of the property, which is the subject of the foregoing notice, have read and understand the contents of this letter. By signing below, I hereby consent to the demolition of all structures on my property located at 17 School Street, Russellton PA in accordance with the terms set forth above. If needed the Township will provide a notary service at the Township Building free of charge during normal business hours.


[Property owner]

6-17-22
Date


Notary Seal

6-17-22
Date

Sincerely,



William Payne
West Deer Township Code Enforcement Officer
724-265-2780

Commonwealth of Pennsylvania - Notary Seal
Jodi Mae French, Notary Public
Allegheny County
My commission expires June 15, 2026
Commission number 1089309
Member, Pennsylvania Association of Notaries

109 East Union Road, Cheswick, PA 15024
724.265.3680
www.westdeertownship.com



Chairwoman of the Board
Beverly Jordan

Vice-Chairwoman of the
Board
Shirley Hollibaugh

Township Manager
Daniel J. Mator, Jr.

June 13, 2022

Lori Callwood/Crawford
872 Ashley Road
Gibsonia PA 15044


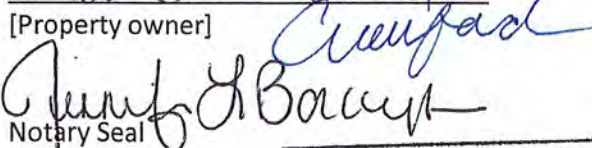
Re: Demolition of 17-19 School Street

Ms. Callwood/Crawford:

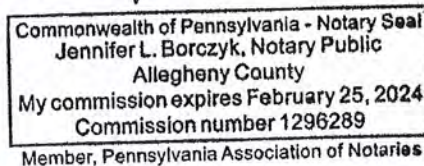
On 5 May 2022, the two-family dwelling located at 17-19 School Street was condemned, posted for repair or removal, and ordered to be secured. Per our conversation today, 5 May 2022, you stated that you are willing to consent with the demolition of your side of the structure and will bear the cost of all asbestos testing, asbestos removal, and removal of your portion of the structure.

This letter acknowledges your consent to demolish the structure and lien the property for cost of demolition of the structure and any associated costs. Please respond before 1 June 2022. The Township has enclosed a prepaid envelope for your convenience.

I, Lori Callwood/Crawford, owner of the property, which is the subject of the foregoing notice, have read and understand the contents of this letter. By signing below, I hereby consent to the demolition of all structures on my property located at 19 School Street, Russellton PA in accordance with the terms set forth above.


[Property owner]

Notary Seal

6/15/22
Date
6/15/22
Date



Sincerely,



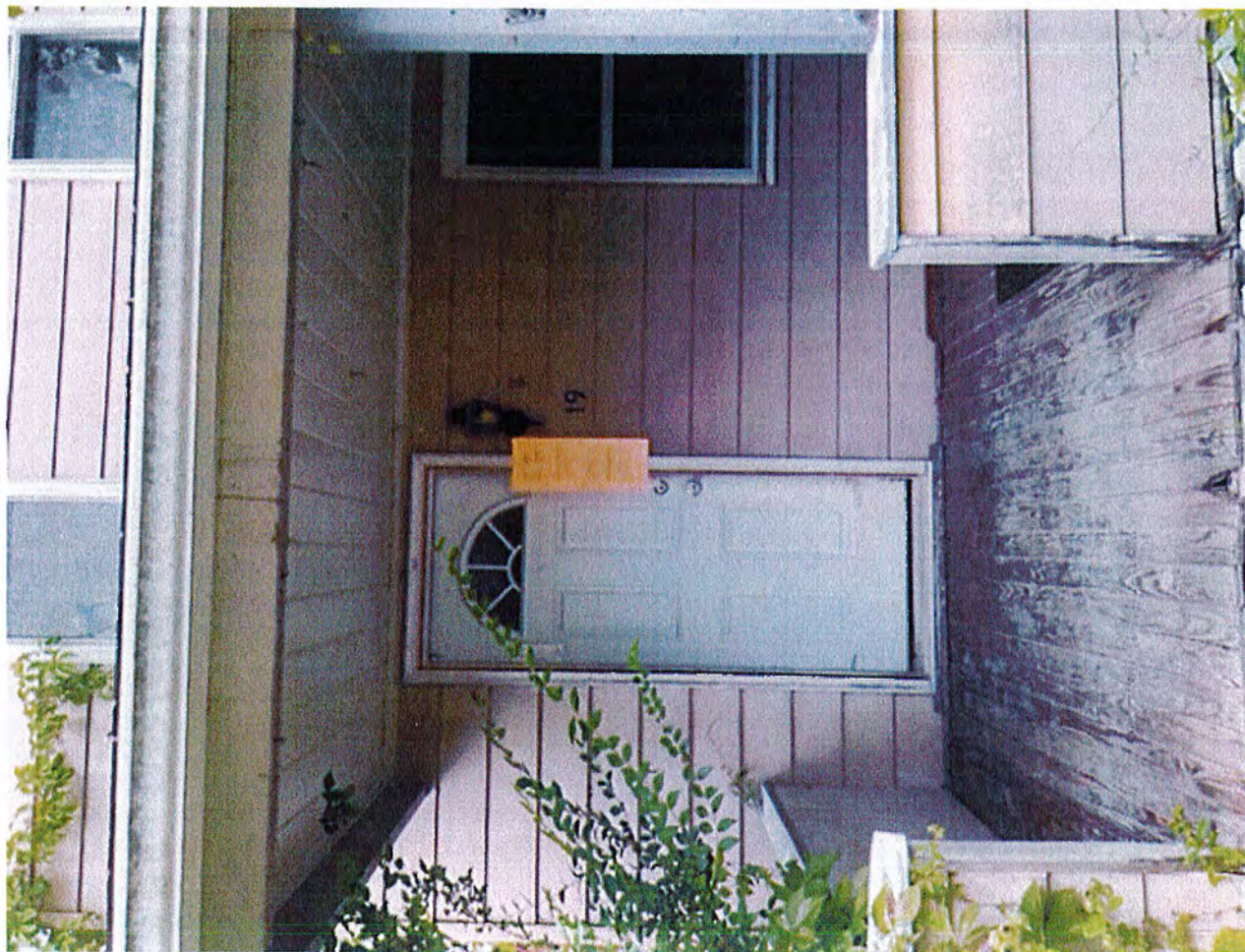
William Payne
West Deer Township Code Enforcement Officer
724-265-2780



17-19 School St. 8.17.2022



17-19 Guttool St. 8.17.2022

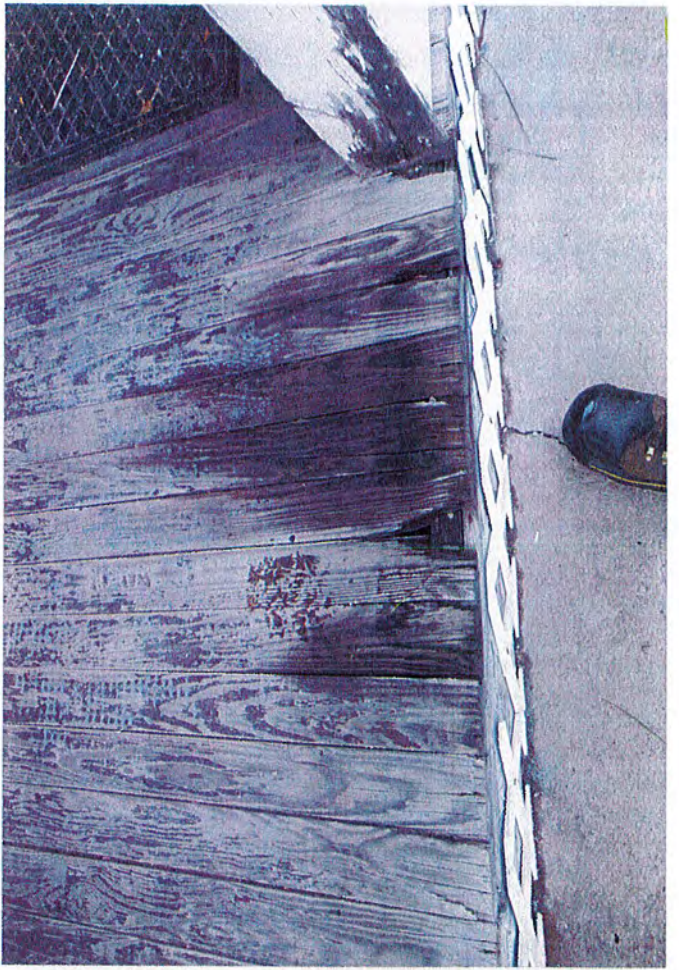


8.17.2022

17-19 SCHOOL ST.









1130-1132 Eisenhower Drive

June 10, 2022

Via Certified and Regular U.S. Mail

Dr. Harrison Mensah
PO Box 10251
Pittsburgh PA 15232

Dr. Harrison Mensah
4072 Woolslayer Way
Pittsburgh PA 15224

Dr. Harrison Mensah
7 Hodge Street
Pittsburgh PA 15213

Via Certified and Regular U.S. Mail

Holy Spirit Revival & Evangelistic Ministries
PO Box 10251
Pittsburgh PA 15232

Holy Spirit Revival & Evangelistic Ministries
4072 Woolslayer Way
Pittsburgh PA 15224

Holy Spirit Revival & Evangelistic Ministries
7 Hodge Street
Pittsburgh PA 15213

**Re: Abatement of Nuisance
1130-1132 Eisenhower (Former Duplex attached single-family homes)**

To Whom It May Concern:

Please be advised that pursuant to Chapter 90 of the Code of the Township of West Deer ("Dangerous Buildings"), the Township of West Deer ("Township") has determined that the above-referenced properties located at 1130-1132 Eisenhower (which are attached, Duplex which may have been converted into a single unit (1132 Eisenhower)), identified as Block and Lot No. 1218-M-126 ("Property") in the Allegheny County Department of Real Estate, constitutes a dangerous structure and/or public nuisance and the structure located on the Property is a threat to the health, safety and welfare of the residents of the Township for the following reasons:

- Visual evidence of pest vectors, animals living in abandoned structure.
- Absence of utilities needed for a habitable structure.
- Overgrowth of vegetation, allowing harboring of animals and pest vectors.
- Missing siding on rear of structure, OSB sheathing is exposed and rotting
- Soffit and fascia are rotting/falling off of the structure.
- Roof is deteriorated and has a hole in it on the rear side of the structure.
- Broken window on the right side of the structure.
- Unsecured structure with side porch window open.
- Insulbrick siding is deteriorating and appears to be from the asbestos era.
- Rear porch roof rafters do not appear to meet code for size or span.
- Holes and gaps in exterior walls allowing pest vector entry to the home as well as water/moisture/weather elements.
- Nuisance structure since at least 2014.

You are hereby required to commence the repair or removal of the house within fifteen (15) days of the date of your receipt of this Notice. Such repairs or removal must be completed within thirty (30) days of your receipt of the Notice.

You have the right to appeal this determination by filing a written appeal with the Township within fifteen (15) days of your receipt of this Notice. If an appeal is

filed, the Township Board of Supervisors will schedule a meeting to hear your appeal and will issue a final decision of this matter.

If you fail to repair or remove the structure within the time period set forth herein, the Township shall have the right to remove the structure and you will be responsible for the legal fees, administrative costs and demolition costs incurred by the Township as well as a penalty of 10% of all costs, and interest at the rate of 6% per annum from the date of completion of removal of said structure.

A public hearing regarding the condition of the above-referenced property shall be held by the Township Board of Supervisors at its regularly scheduled meeting on July 20, 2022, at 7:00 p.m. The meeting will be held at the Township Municipal Building in the meeting room located at 109 East Union Road, Cheswick PA 15024.

The owners, parties in interest and/or Township residents and taxpayers may appear to present evidence and/or testimony regarding the condition of this Property. After the presentation of all evidence, including that presented by the Township of West Deer Code Enforcement Officer, the Township Board of Supervisors may make a decision regarding the demolition and removal of the structure if it has been found to be dangerous, dilapidated and a threat to the general health, safety and welfare of the Township and its residents.

If you have any questions regarding this Notice, please contact the undersigned at 724-265-2780.

Very truly yours,

William Payne
West Deer Township Code Enforcement Officer

Holy Spirit Revival and Evangelist Ministries
C/O Dr. Harrism Mensah
P.O. Box 10251
Pittsburgh, PA 15232

August 02, 2022

To whom it may concern:

Dear Beloved Mr. William Payne (The West Deer Township code enforcement officer. Deer Lake School District. Deer Lake County Tax Officer.)

Greeting in the name of our Lord Jesus Christ. The above ministry wants to write in responding prior to your letter dated June 24, 2022 .

I am writing to let you know that the above ministry is none profit organization obtained the 501(C)3 code from the IRS since 1998, and have then been exempt from tax according to the code.

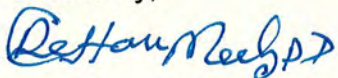
We the church want to write to thank you and the West Deer Township for its member to consider the such church to be able to bring the said property to the code of the West Deer Township expectation.

We want to remodel the church. We have been working on the said structure to bring it to township code. The church is writing to you for your reconsidering us to restore the building so that we could inhabit it for Gods glory.

The ministry already has put together about \$20,000 in roofing and materials to repair the kitchen, the bathroom and we have upgraded the foundation. The church would appreciate it because the said ministry is interested to finish the work by the end of 2022. If God will give us grace. I am looking forward to work with the West Deer Township and Mr. William Payne, Tax office to grant our petition in kind.

May God bless you and the USA

Sincerely,



Dr. Harrism Mensah

412-377-9729

Parcel ID : 1218-M-00126-0000-00
Property Address : 1130-1132 EISENHOWER DR
RUSSELLTON, PA 15076

Municipality : 952 West Deer
Owner Name : HOLY SPIRIT REVIVAL &
EVANGELISTIC MINISTRIES

School District :	Deer Lakes	Neighborhood Code :	95203
Tax Code :	Taxable	Owner Code :	Corporation
Class :	Residential	Recording Date :	8/23/2006
Use Code :	TWO FAMILY	Sale Date :	8/23/2006
Homestead* :	No	Sale Price :	\$8,500
Farmstead :	No	Deed Book :	12965
Clean And Green	No	Deed Page :	467
Other Abatement :	No	Lot Area :	6,950 SQFT

* If this property had a recent sale or deed change the 'YES' that is showing may apply to the prior owner.
New owners wishing to receive the abatement must apply.
The deadline to apply is March 1st of each year.
Details may be found on the County's abatement page .

2022 Full Base Year Market Value

2022 County Assessed Value

Land Value	\$20,200	Land Value	\$20,200
Building Value	\$69,800	Building Value	\$69,800
Total Value	\$90,000	Total Value	\$90,000

2021 Full Base Year Market Value

2021 County Assessed Value

Land Value	\$20,200	Land Value	\$20,200
Building Value	\$69,800	Building Value	\$69,800
Total Value	\$90,000	Total Value	\$90,000

Address Information

Owner Mailing : 4072 WOOLSLAYER WAY
PITTSBURGH , PA 15224-1466



1130-1132 EISENHOWER DR. 8.17.2022.



1130-1132 EISENHOWER DR. 8.17.2022

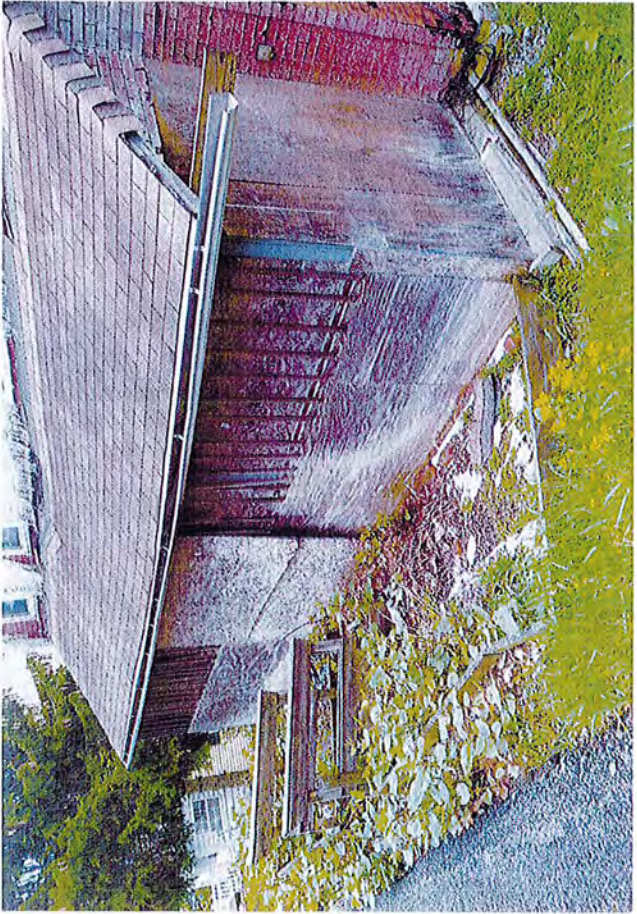


1130-1132 ELSENHOWER DR. 8.17.2022

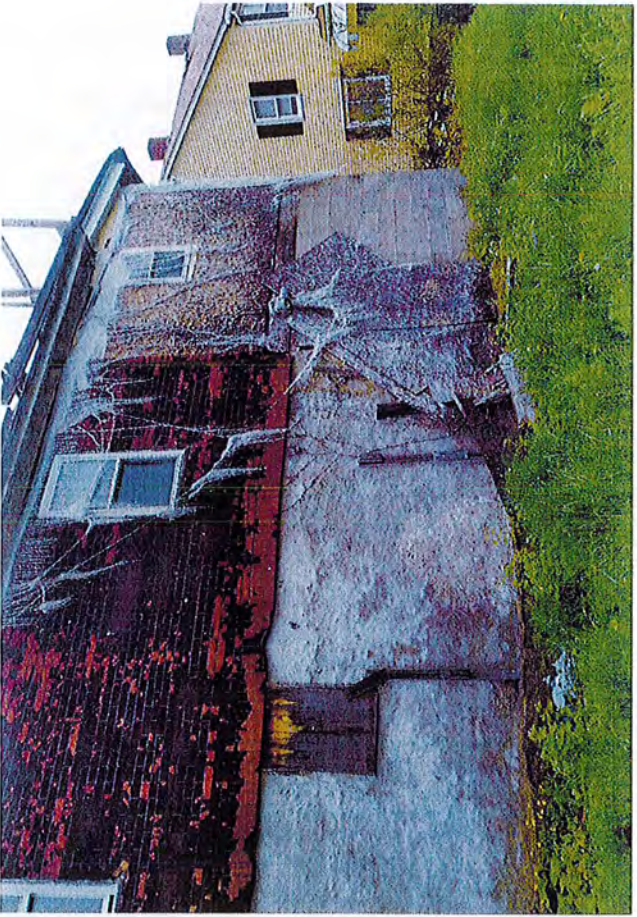
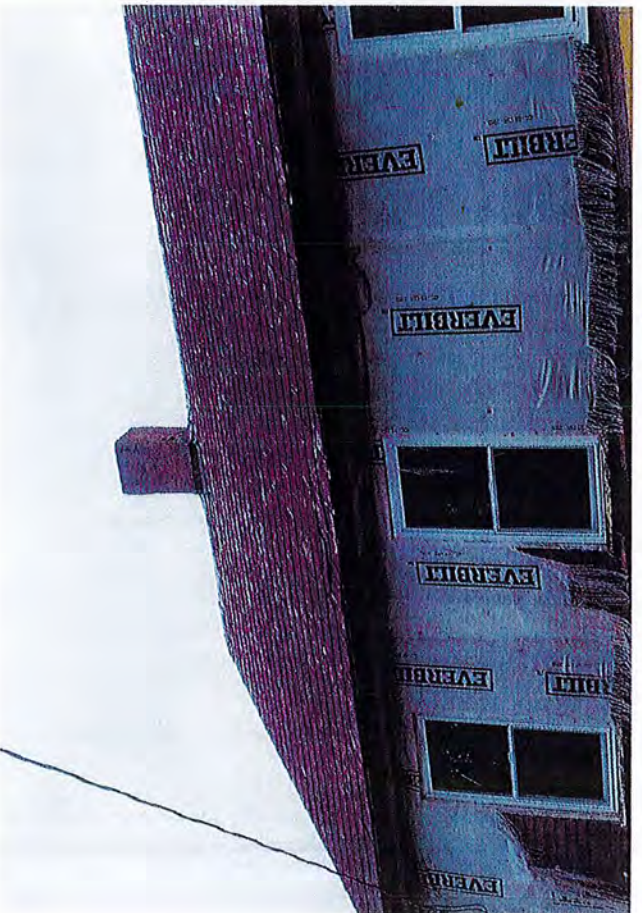
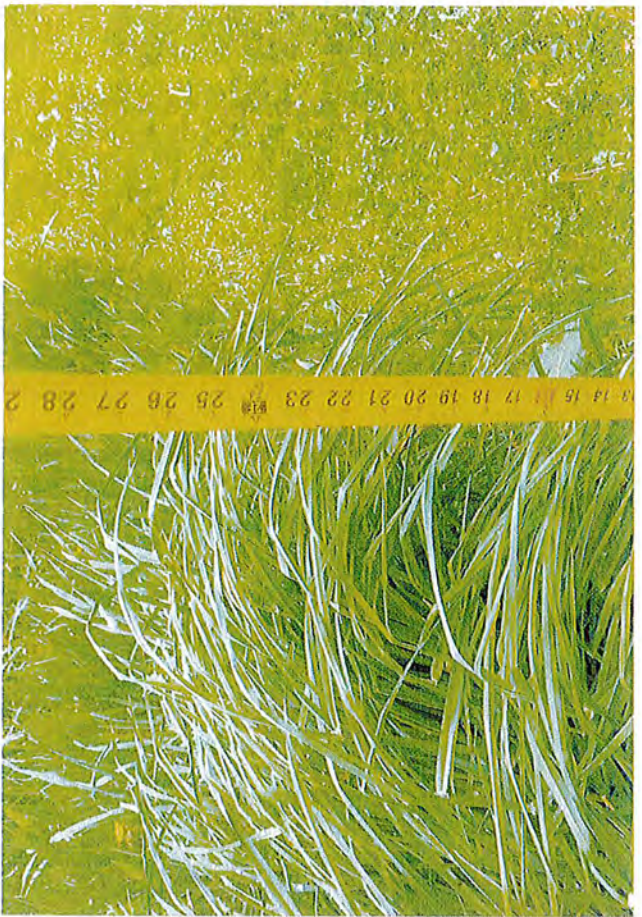


1130-1132 EISENHOWER DR. 8.17.2022

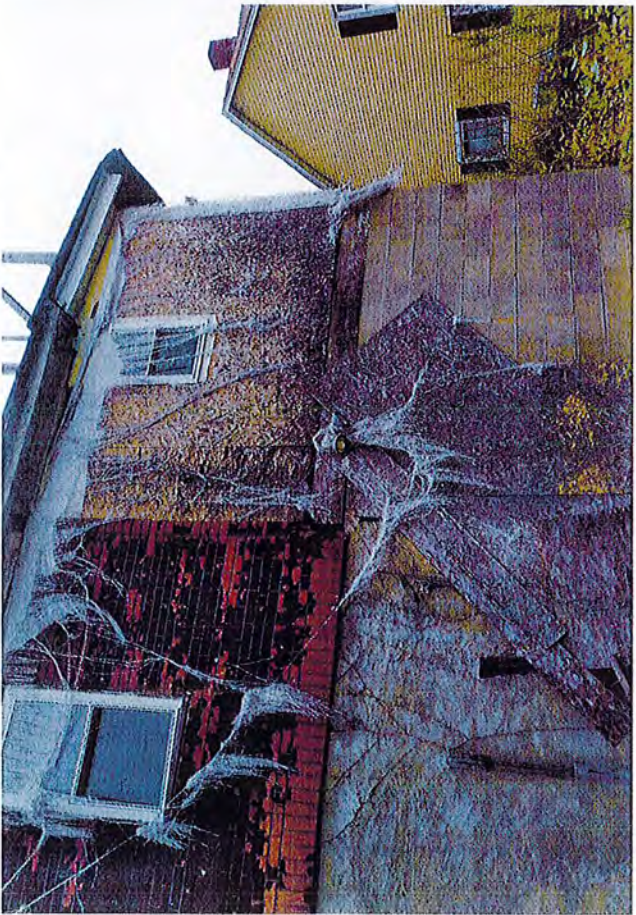




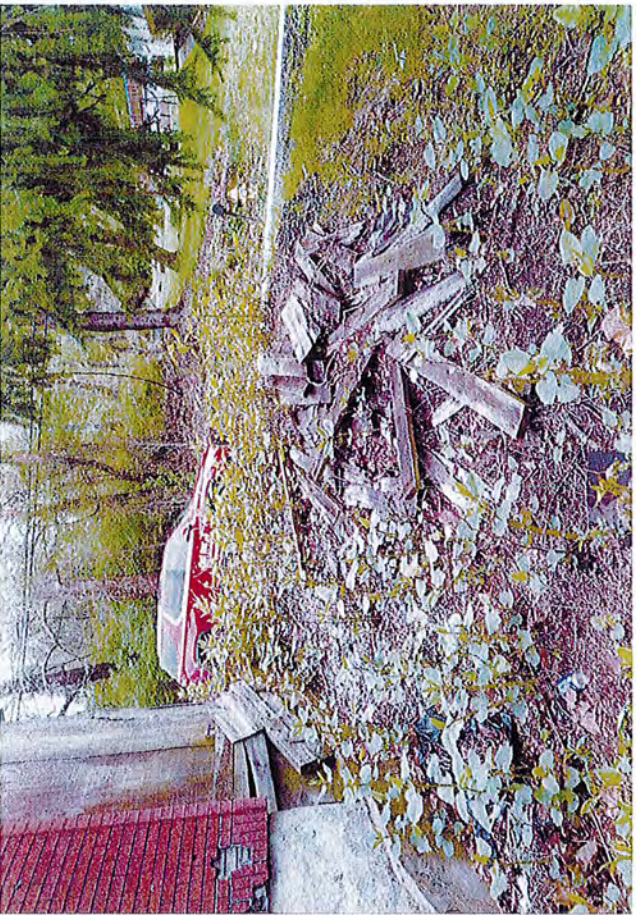
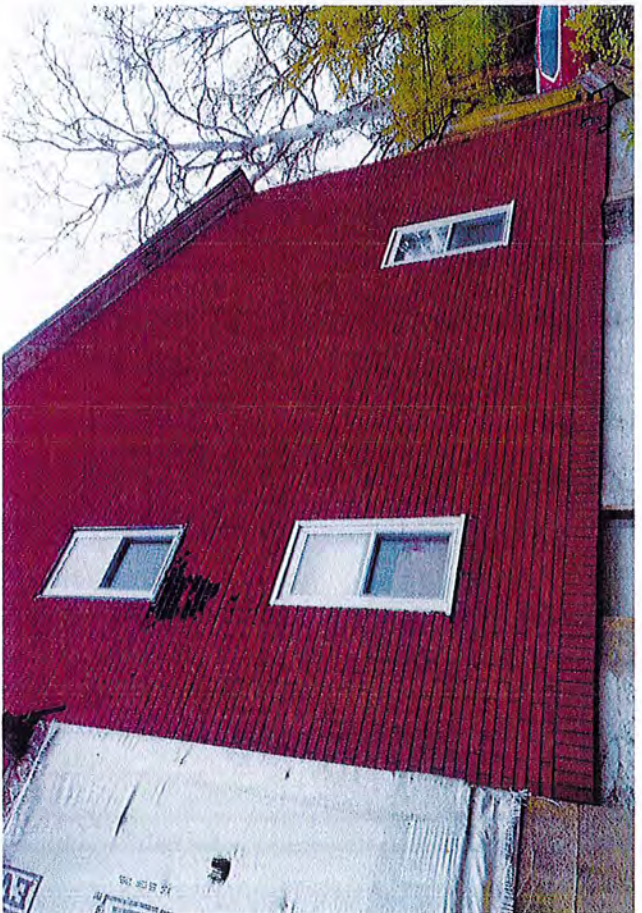
2002



2000.



2002



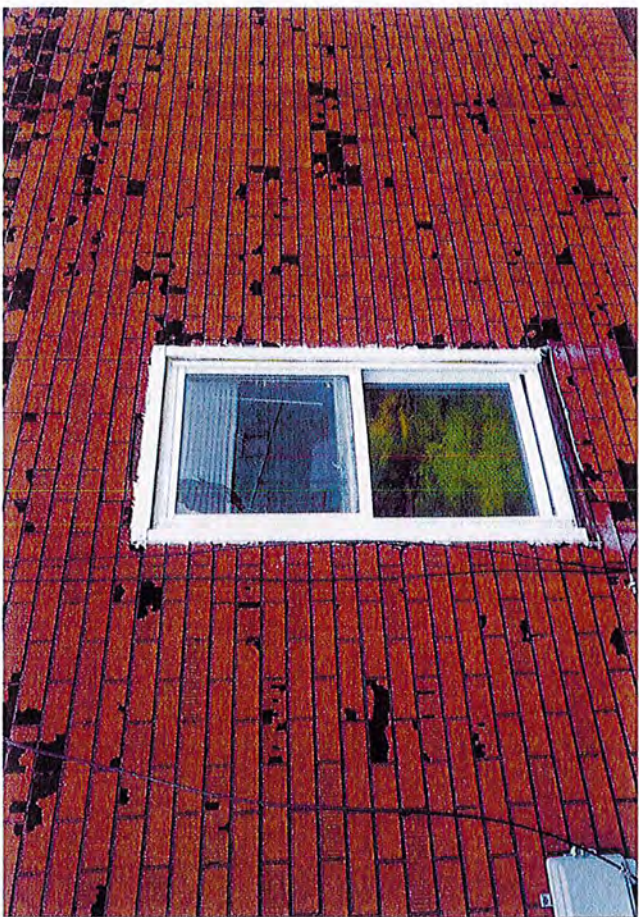
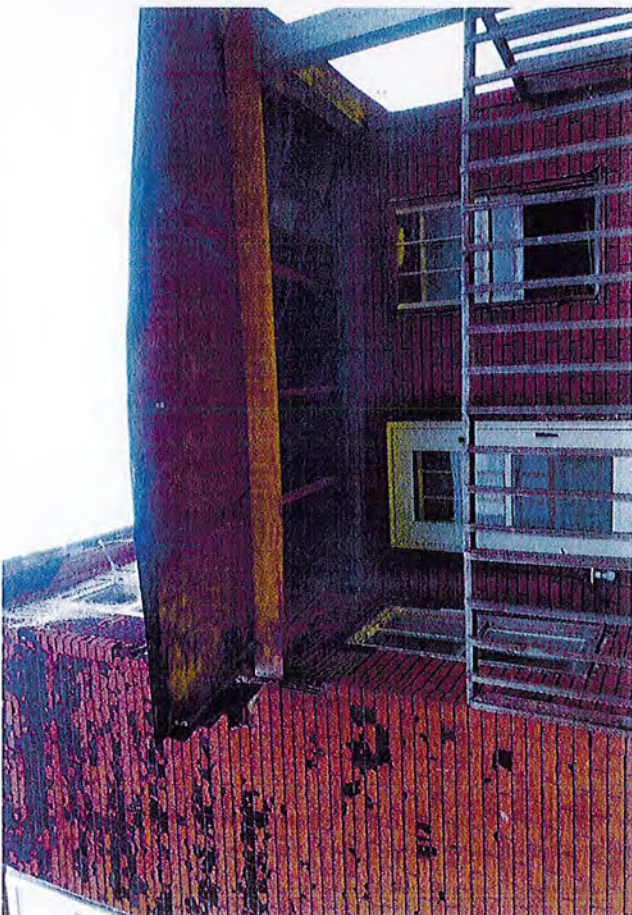
2002.



2002



2002



2200.



West Deer Township

109 East Union Road
Cheswick, PA 15024
(724) 265-3680

COMPLAINT INFORMATION SHEET

P.O. Box 10251

To: **Dr. Harrison mensah**

4072 WOOLSLAYER WAY

Date of Inspection: **6/9/2022**

Complaint Number:

Parcel ID: **1218-M-126**

Date of This Notice **6/9/2022**

P.M.

15232

A violation of the code of West Deer Township ordinances of Pennsylvania State Law has been found at the address of
1132 EISENHOWER DR

The law requires that the property owner/tenant maintain the property in compliance with the West Deer Township Code of Ordinance and the Law of the State of Pennsylvania.

Complaint: Dangerous Structure

Description:

6-6-22 Site visit to evaluate known abandoned structure. No progress has been made with repair in a couple years. The houseware is deteriorating and coming off of structure. Grass is overgrown, front of building is boarded up, gutter that was replaced is not cut off and no down spout attached, shingles on porch roof are overlapped and not cut off on gable ends, shingles are breaking on main roof and visible missing shingles and some holes in roof, Insulbrick siding is deteriorating and appear to be from the asbestos era, exterior sheathing on what appeared to be an old addition is deteriorating and osb is swelling and rotting, holes and gaps in exterior walls allow for pest vectors free access, rear addition roof does not appear to meet code with rafter spans and size being undersized, improper flashing of roofs, open access to home through an open side porch window. This structure has been a nuisance to the community at least since 2014 as the repairs have seemed to completely stop since that time. The owner of the property has been given may opportunities to comply with the Townships requests to repair or remove the structure. This structure is a dangerous, a nuisance and needs to be removed. A notice of demolition letter dated 11-21-13 was sent to the property owner and a response letter dated 12-18-13 was received by the Township from the owner stating the the renovations will be completed within 6 months of the letter date. As of todays date no repairs have been made in many years.

TOWNSHIP OF WEST DEER

CHAIRPERSON
Jeffrey D. Fleming

VICE CHAIRPERSON
Shirley Hollibaugh

TOWNSHIP MANAGER
Daniel J. Mator, Jr.



BOARD OF SUPERVISORS

Tracy Adamik
Richard W. DiSanti, Jr.
Rick W. Florentine
Lawrence K. McManus
Gerry Vaeerwyck

November 21, 2013

Holy Spirit Revival & Evangelistic Ministries
Rev. Mensah Harrison
P.O. Box 10251
Pittsburgh, PA 15232

2013

RE: NOTICE OF DEMOLITION

Property located 1132 Eisenhower Drive, Russellton, PA 15076
Lot/Block #1218-M-126

To Whom It May Concern:

Please be advised that I have inspected the above-referenced property on behalf of the Township of West Deer and have determined pursuant to Township Ordinance 172 that the house located thereon is in a dangerous condition and constitutes a public nuisance. Specifically, the house is in violation of the International Building Code in the following respects:

Section 116: Unsafe Structures and Equipment

Section 116:1 Conditions

- No utilities

SENDER: COMPLETE THIS SECTION		COMPLETE THIS SECTION ON DELIVERY	
<input type="checkbox"/> Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. <input type="checkbox"/> Print your name and address on the reverse so that we can return the card to you. <input type="checkbox"/> Attach this card to the back of the mailpiece, or on the front if space permits.		A. Signature <input checked="" type="checkbox"/> <i>[Signature]</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee	
Article Addressed to: Rev. Mensah Harrison P.O. Box 10251 Pittsburgh, PA 15232		B. Received by (Printed Name) D. Mensah P.O. Box 10251	C. Date of Delivery 11/21/2013
		D. Is delivery address different from item 1? <input checked="" type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
		3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
		4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes	
Article Number Transfer from service label		7008 3230 0001 3732 4810	

Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

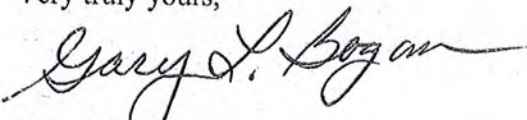
2013

You have the right to appeal my determination by filing a written appeal with me within fifteen (15) days of your receipt of this Notice. If an appeal is filed, the Township Board of Supervisors will schedule a meeting to hear your appeal and will issue a final decision of this matter.

If you do not appeal my determination or commence the repair or removal of the house within the above-stated time periods, the Township will cause the house to be demolished and removed as soon as possible, and the costs and expenses of such demolition and removal shall be borne by you, including demolition and removal costs, legal fees, administrative costs, a penalty of 10% of all costs and interest at 6% from the date of removal.

Please contact me at 724-265-2780 if you have any questions concerning this Notice.

Very truly yours,



Gary L. Bogan
Code Enforcement Officer
West Deer Township

RECEIVED BY THE UNDERSIGNED ON THE

_____ DAY OF _____, 2013:

Name: _____



WEST DEER
Municipal Building
109 East Union I
Cheswick, PA 15

VERIFIED MAIL



7008 3230 0001 3732 4773

412-628-6115

Holy Spirit Revival & Evangelistic Ministries
4072 Woolslayer Way, Rear
Pittsburgh, PA 15224

Signed
12-4-12

JS

11-23

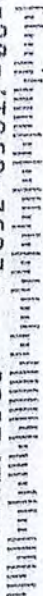


NIXIE 152 SE 1009 0211/30/13

RETURN TO SENDER
NOT DELIVERABLE AS ADDRESSED
UNABLE TO FORWARD

SC: 15024171909 *2632-03617-06-44

15024171909



2013

TOWNSHIP OF WEST DEER

CHAIRPERSON
Jeffrey D. Fleming

VICE CHAIRPERSON
Shirley Hollibaugh

TOWNSHIP MANAGER
Daniel J. Mator, Jr.



BOARD OF SUPERVISORS

Tracy Adamik
Richard W. DiSanti, Jr.
Rick W. Florentine
Lawrence K. McManus
Gerry Vaerewyck

July 17, 2013

2013

Beneficial Mortgage Company of PA
P.O. Box 8621
Elmhurst, IL 60126

RE: NOTICE OF DEMOLITION

Property located 1132 Eisenhower Drive, Russellton, PA 15076
Lot/Block #1218-M-126

To Whom It May Concern:

Please be advised that I have inspected the above-referenced property on behalf of the Township of West Deer and have determined pursuant to Township Ordinance 172 that the house located thereon is in a dangerous condition and constitutes a public nuisance. Specifically, the house is in violation of the International Building Code in the following respects:

Section 116: Unsafe Structures and Equipment

Section 116:1 Conditions

- No utilities
- Gutters falling
- Back & Front porch collapsing
- Roofs collapsing/need replaced
- Windows broke
- Back door opened

Article VI of ACHD Rules and Regulations (Section 651E):

- Nuisance by reason of unrestricted plant growth.

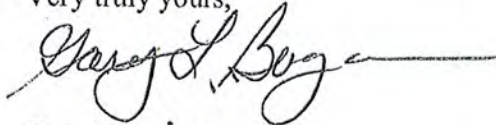
You are hereby required to commence the repair or removal of the house within fifteen (15) days of your receipt of this Notice. Such repairs or removal must be completed within thirty (30) days of your receipt of the Notice.

You have the right to appeal my determination by filing a written appeal with me within fifteen (15) days of your receipt of this Notice. If an appeal is filed, the Township Board of Supervisors will schedule a meeting to hear your appeal and will issue a final decision of this matter.

If you do not appeal my determination or commence the repair or removal of the house within the above-stated time periods, the Township will cause the house to be demolished and removed as soon as possible, and the costs and expenses of such demolition and removal shall be borne by you, including demolition and removal costs, legal fees, administrative costs, a penalty of 10% of all costs and interest at 6% from the date of removal.

Please contact me at 724-265-2780 if you have any questions concerning this Notice.

Very truly yours,



Gary L. Bogan
Code Enforcement Officer
West Deer Township



RECEIVED BY THE UNDERSIGNED ON THE

_____ DAY OF _____, 2013:

Name: _____



Fax Cover Sheet

FedEx Kinko's is now FedEx Office

Date Dec. 18th 2013

Number of pages 4 (including cover page)

To:

Name Mr. Gary L. Bogan

Company West Deer Town

Telephone Municipal Building
724-265-2780

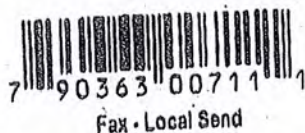
Fax 724-265-2228

Comments Letter for appeal.

From:

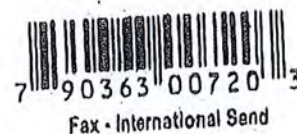
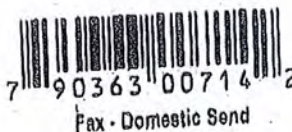
Name Dr. Harrison Mensah
Honorary member of President B.
Barack Obama's Kitchen Cabinet.

Telephone 412-377-9729



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22705

①

DR MENSAH HARRISON
c/o HOLY SPIRIT REVIVAL & EVANGELISTIC MINISTRIES.

P. O. Box 10251

PITTSBURGH, PA. 15232

412-377-9729

Dec. 18-2013

Dear Sir

TO WHOM IT MAY CONCERN.

In the Form of introduction, I am Dr. Harrison Mensah
the Chair Person of the Holy Spirit R.E. Ministries, as
Well as An appointee By President Barack Obama,
as His Honorary Member of ^{the} President Barack
Obama's "Kitchen Cabinet."

Your letter dated Nov 21st 2013, was at few days
ago about the notice of demolition regards the
Property located at 1132 Eisenhower Drive, PA.
15076. Block NO 1218-M-126.

I am writing to notifying the said Board of the
Township of West N. H. - 1

(+)
the above property located at 1132 Eisenhower Drive not to be demolished by the Board.

I am writing an appealing letter to inform the board that the ministry has started working on the building From the effective of Dec. 16-2013,

We have cleaned all of the surrounding weeds and to keep the neighborhood clean.

I am also writing to request that the board ;
including the Code Enforcement Officer Mr.

Gary L. Bogan would consider this letter in good Faith, that within 6 months from January 2014 to June 2014, that we shall complete the work on the building.

① Within First two Month of 2014, the Front roof is going to be replace. as well as the Front gutters.

(3)
(3) Within the 3rd month of 2014, I hope
that with God's help the back would be
repair From the Back roof to the back
windows.

4. I intend that within six month time,
IF all would work well, I shall have the work
done.

(5) The reason also for this appealing is we
wanted to be a part of the said loving —
neighborhood.

Please give ^{me} more time to have the work done.

Thanks for your Consideration.

Sincerely Yours

Dr. Harrison Mensah

Honorary member of

President Barack Obama's "Kitchen Cabinet."

2013

NOTICE OF DEMOLITION

**Property located at 1132 EISENHOWER DRIVE
Lot/Block #1218-M-126**

Be advised that the above-referenced property was inspected on behalf of the Township of West Deer and has been determined pursuant to Township Ordinance 172 that the house located thereon is in a dangerous condition and constitutes a public nuisance. Specifically, the house is in violation of the building code in the following respects:

Section 115: Unsafe Structures and Equipment

Section 115:1 Conditions

- No utilities
- Gutters falling
- Back & Front porch collapsing
- Roofs collapsing/need replaces
- Windows broke
- Back Door opened

**Article VI of ACHD Rules and Regulations (Section 651E):
Nuisance by reason of unrestricted plant growth.**

You are hereby required to commence the repair or removal of the house within fifteen (15) days of your receipt of this Notice. Such repairs or removal must be completed within thirty (30) days of your receipt of the Notice.

You have the right to appeal my determination by filing a written appeal with me within fifteen (15) days of your receipt of this Notice. If an appeal is filed, the Township Board of Supervisors will schedule a meeting to hear your appeal and will issue a final decision of this matter.

If you do not appeal my determination or commence the repair or removal of the house within the above-stated time periods, the Township will cause the house to be demolished and removed as soon as possible, and the costs and expenses of such demolition and removal shall be borne by you, including demolition and removal costs, legal fees, administrative costs, a penalty of 10% of all costs and interest at 6% from the date of removal. Please contact me at 724-265-2780 if you have any questions concerning this Notice.

Gary L. Bogan
Code Enforcement Officer
West Deer Township

Bus minutes

07/17/2013

141

Also discussed/the Chief, Officer Shurina, and Supervisor Vaerewyck met and discussed/compared the cameras & recommended Allegheny Safe Alarms. (11 cameras with capability to increase).

MOTION TO RECESS:

Supervisor Vaerewyck asked for a five-minute recess. Chairman Fleming agreed and called for a five-minute recess.

MEETING CONTINUED:

PARKS & RECREATION BOARD REPORT:

Ms. Marilyn Kirin, Chairwoman, was present and reported on the Parks & Recreation Board:

- Movie at the Park/July 12 – approximately 25-30 attended/Last movie for the season.
- July 19th/Big Fat Jazz concert at Bairdford Park/Free to public, 7:30 pm to 9:00 p.m.
- July 24th/Mandatory Community Days meeting/More vendors and booths this year than ever.
- West Deer Nightmare – Shawn Maudhuit will get the contract to Mr. Mator.
- Playground update at Bairdford Park:
Mr. Mator reported the Public Works Department had performed drainage work at the Bairdford Park playground in preparation for new surface material and -- possibly -- new equipment.
- Tennis lessons

Supervisor DiSanti informed the Board he will be out of town the weekend of Community Days so he won't be able to participate.

ENGINEER'S REPORT:

The Board received the Engineer's Report submitted by Shoup Engineering, Inc. Mr. Scott Shoup was present representing Shoup Engineering, Inc., and summarized: Meeting Attendance; Developments/Rebecca Residence; Miscellaneous/2013 Road Projects.

Mr. Shoup also discussed the replacement/repair of damaged guiderails on McKrell Road.

RESOLUTION #2013-6/DUI GRANT:

Resolution #2013-6 is a Resolution authorizing the Township Manager, Daniel Mator, to sign the DUI Grant on behalf of West Deer Township.

MOTION BY Supervisor Vaerewyck and SECONDED BY Supervisor DiSanti to adopt Resolution #2013-6. Motion carried unanimously 7-0.

2013 DEMOLITION PROJECT/CDBG YEAR 39:

The following three (3) structures are the recommendation by Gary Bogan, Code Enforcement Officer, for the CDBG Program through the North Hills Council of Governments for the 2013 Demolition Project:

- 1) 1132 Eisenhower Drive
- 2) 4687 Gibsonia Road
- 3) 21 Golden Lane -- Alternate

The properties are in violation of the International Building Code, Section 116 (Unsafe Structures and Equipment) and Section 116:1 (Conditions). The properties are also in Violation of Article VI of ACH Rules and Regulations (Section 651E) which is a nuisance by reason on unrestricted plant growth.

MOTION BY Supervisor Vaerewyck to table this for a month to allow the Housing Committee look into these properties further. NO SECOND – Motion fails.

MOTION BY Supervisor DiSanti and SECONDED BY Supervisor Hollibaugh to approve the 2013 Demolition Project for 1132 Eisenhower Drive, 4687 Gibsonia Road, and 21 Golden Lane (Alternate), as per the recommendation of the Code Enforcement Officer and to authorize the Township Engineer to proceed with the Project. Supervisor DiSanti pointed out that the motion is no way a sleight toward the

Housing Committee that is looking at these projects, and stated that his concern dealt with the funding availability and that the property has been condemned under the statutory law. After some discussion, a roll call vote was taken. Members voting yes, Mr. Florentine, Dr. DiSanti, Mrs. Hollibaugh and Mr. Fleming. Members voting no, Mr. Vaerewyck, Mr. Adamik, and Mr. McManus. Motion carried, 4 – yes and 3 – no.

2013 DEMOLITION/TOWNSHIP:

The following two (2) structures are also the recommendation by Gary Bogan, Code Enforcement Officer through the Township for the Budgeted 2013 Demolition Project:

- 1) 99 Orchard Street
- 2) 463 Sycamore Street

The properties are in violation of the International Building Code, Section 116 (Unsafe Structures and Equipment) and Section 116:1 (Conditions). The properties are also in violation of Article VI of ACH Rules and Regulations (Section 651E) which is a nuisance by reason on unrestricted plant growth.

MOTION BY Supervisor Hollibaugh and SECONDED BY Supervisor DiSanti to approve the Budgeted 2013 Demolition Project for 99 Orchard Street and 463 Sycamore Street as per the recommendation of the Code Enforcement Officer and to authorize the Township Engineer to proceed with the project.

A roll call vote was taken. Members voting yes, Dr. DiSanti, Mrs. Hollibaugh, Mr. Florentine, and Mr. Fleming. Members voting no, Mr. Vaerewyck, Mr. Adamik, and Mr. McManus.

Motion carried, 4 – yes and 3 – no.

GUIDERAIL AT YANICKO FUNERAL HOME:

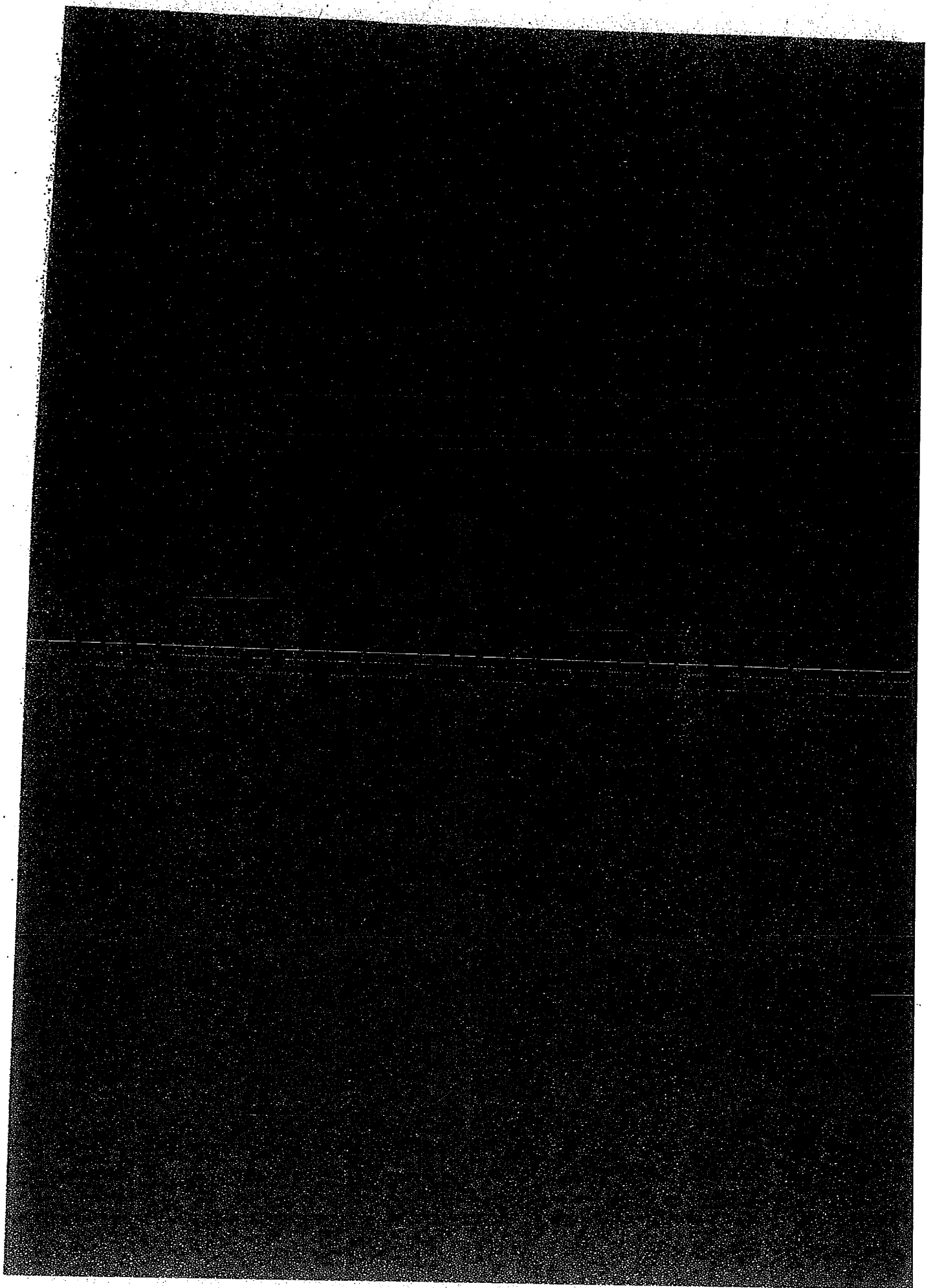
Chairman Fleming explained to Mr. Yanicko that during Executive Session, the Board -- with advice from the Township Solicitor -- discussed legal issues in regard to the project and the Board has not yet come up with a firm direction. Supervisor Vaerewyck added that the Board needs a traffic engineer's report to determine the Board's course of action.

Mr. Yanicko asked what could be done to finish the project. The Solicitor explained the Township is in the process of looking into the legal aspects of cutting the guiderail and that he wasn't aware the project wasn't finished by the County. Mr. Yanicko was then asked if he received a final punch list from the County, and he replied that he did not. Much discussion followed.

COMMITTEE UPDATES:

At this time, each Committee Chairperson reported on their Committee updates:

- 1) Mr. Vaerewyck – Public Safety Committee
Security cameras/Allegheny Safe & Lock Company \$10,855.00 (Motion was made at the last meeting not to exceed \$11,500.00).
- 2) Mr. McManus – Planning, Zoning, & Code Enforcement Committee & North Hills COG
- 3) Mr. Adamik – Engineering & Public Works Committee
- 4) Mrs. Hollibaugh – Financial Legal, and Human Resources Committee
- 5) Mr. Vaerewyck – Housing Committee
Chairman Fleming added that the Housing Committee has put a great deal of effort into researching options and that the Board is looking out for the best interest for the Township. He stated that he drove by and looked at the houses that the Board voted to demolish and voted “yes” based on safety factors. Chairman Fleming thanked the Committee and pointed out that just because the vote went through for the demolition of the two aforementioned houses doesn't mean that, down the road, other houses couldn't be saved.
- 6) Mr. Fleming – Parks & Recreation Committee



**AUTHORIZATION: ADVERTISEMENT OF HEARING FOR ORDINANCE
NO. 449 (WIRELESS COMMUNICATIONS FACILITIES)**

ORDINANCE NO. 449

AN ORDINANCE OF THE TOWNSHIP OF WEST DEER, COUNTY OF ALLEGHENY, COMMONWEALTH OF PENNSYLVANIA, PROVIDING FOR THE AMENDMENT OF THE WEST DEER ZONING ORDINANCE, AS CODIFIED IN PART II, CHAPTER 210, ARTICLE XVIII, § 210-78, ET SEQ., "WIRELESS COMMUNICATIONS FACILITIES" OF THE ZONING ORDINANCE; PROVIDING FOR PURPOSES AND FINDINGS OF FACT RELATED TO THE ADOPTION OF THE AMENDMENT; PROVIDING FOR DEFINITIONS; ESTABLISHING CERTAIN GENERAL AND SPECIFIC STANDARDS RELATING TO THE LOCATION, PLACEMENT, CONSTRUCTION AND MAINTENANCE OF TOWER-BASED WIRELESS COMMUNICATIONS FACILITIES, NON-TOWER WIRELESS COMMUNICATION FACILITIES, AND SMALL WIRELESS COMMUNICATION FACILITIES; PROVIDING FURTHER FOR THE REGULATION OF SUCH FACILITIES WITHIN THE PUBLIC RIGHTS-OF-WAY AND OUTSIDE THE PUBLIC RIGHTS-OF-WAY; PROVIDING FOR THE ENFORCEMENT OF SAID REGULATIONS; AND PROVIDING FOR AN EFFECTIVE DATE.

(ORDINANCE ATTACHED)

AT THIS TIME THE BOARD WOULD NEED TO SET A PUBLIC HEARING.

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO AUTHORIZE THE ADVERTISEMENT OF A PUBLIC HEARING FOR ORDINANCE NO. 449 SCHEDULED OCTOBER 19, 2022 AT 6:30PM.

	MOTION	SECOND	AYES	NAYES
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

AUTHORIZATION: PURCHASE OF ZERO TURN MOWER

THE TOWNSHIP RECEIVED THE ATTACHED QUOTE FROM CRITCHLOW ENTERPRISES, INC. FOR A ZERO TURN MOWER.

MR. MATOR...

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO AUTHORIZE THE PURCHASE OF A ZERO TURN MOWER FROM CRITCHLOW ENTERPRISES, INC IN THE AMOUNT OF \$13,884.78 AS PRESENTED.

	MOTION	SECOND	AYES	NAYES
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

Critchlow Enterprises, Inc.

4825 Route 8

Allison Park, PA 15101

Phone: (724) 443-0260 Fax: (724) 443-0844

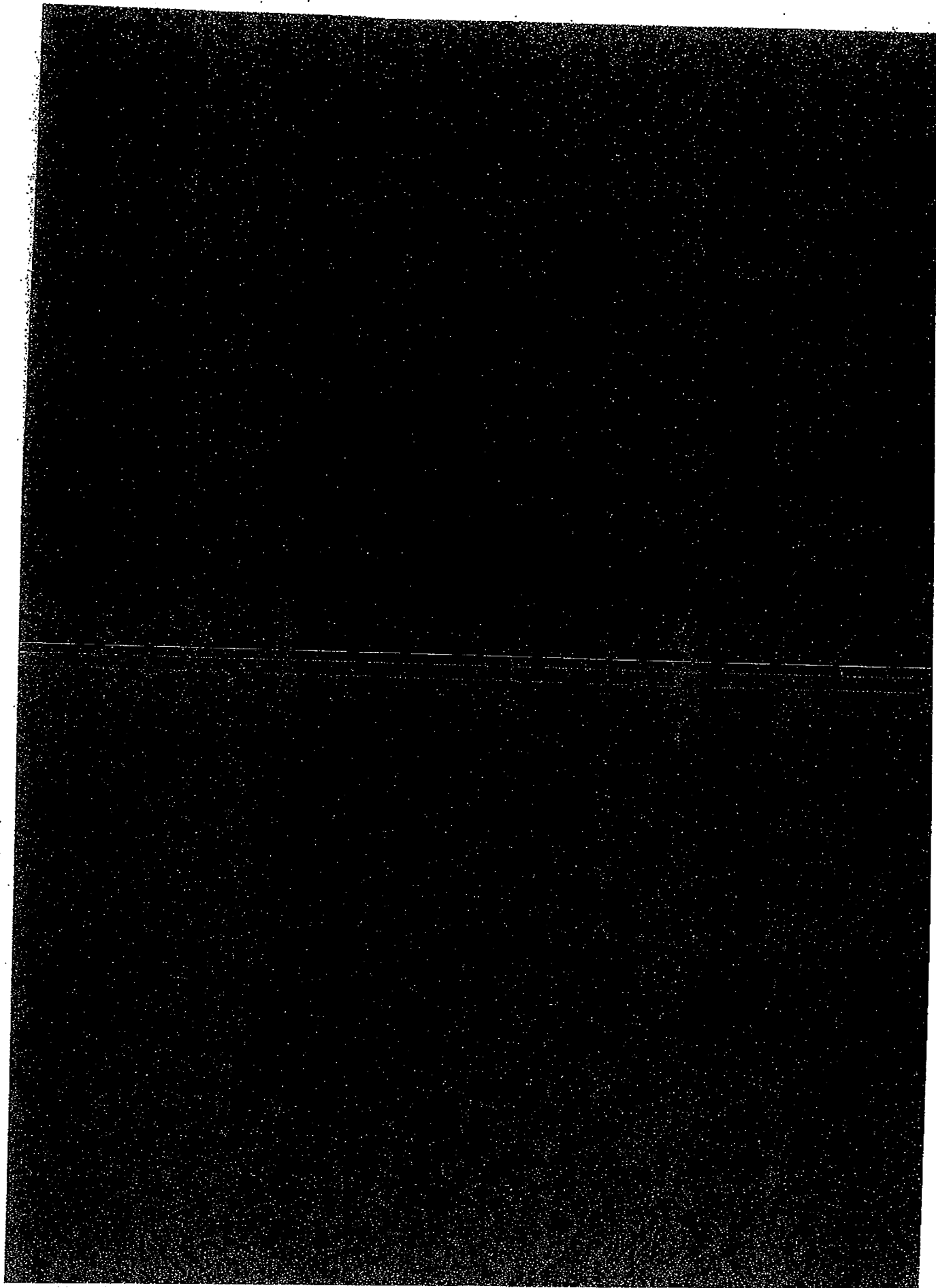
Work in Process**101505****Bill To**WEST DEER TOWNSHIP
109 EAST UNION ROAD
RUSSELLTON, PA 15076**Ship To**

Customer	Contact	Customer Tax Number	Phone	Cell Phone	Transaction	PO Number
5628			(724) 265-3680		Estimate	
Counter Person	Sales Person	Date Printed	Reference	Email Address		Department
Justin	House Account	08/03/22	101505			Parts - Counter Sales
Model		Line	Description	Sticker	Pay Off	Net Amount
992504		GRAU	PRO TURN 672 38.5 EFI KAW	\$17,801.00	\$0.00	\$17,801.00 \$17,801.00
VIN						
Description	Line	Reference		Quantity	Net Each	Amount
Coupon Discount		GOV BID DISCOUNT		-1	\$3,916.22	(\$3,916.22)
Note						
EXPECTED SHIP DATE 10/14/2022						

Invoice Total	\$13,884.78
Sales Tax	\$971.94
Grand Total	\$14,856.72

Notes:

Customer acknowledges receipt thereof:



AUTHORIZATION: HIRING OF PART-TIME POLICE OFFICER

THE BOARD RECEIVED THE ATTACHED MEMORANDUM FROM CHIEF LOPER RECOMMENDING THE HIRING OF MICHAEL HUTCHISON FOR THE POSITION OF PART-TIME POLICE OFFICER.


A SATISFACTORY BACKGROUND CHECK WAS PERFORMED ON THE APPLICANT.

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO HIRE MICHAEL HUTCHISON AS A PART-TIME POLICE OFFICER OF WEST DEER TOWNSHIP.

	MOTION	SECOND	AYES	NAYES
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

INTERDEPARTMENTAL MEMORANDUM

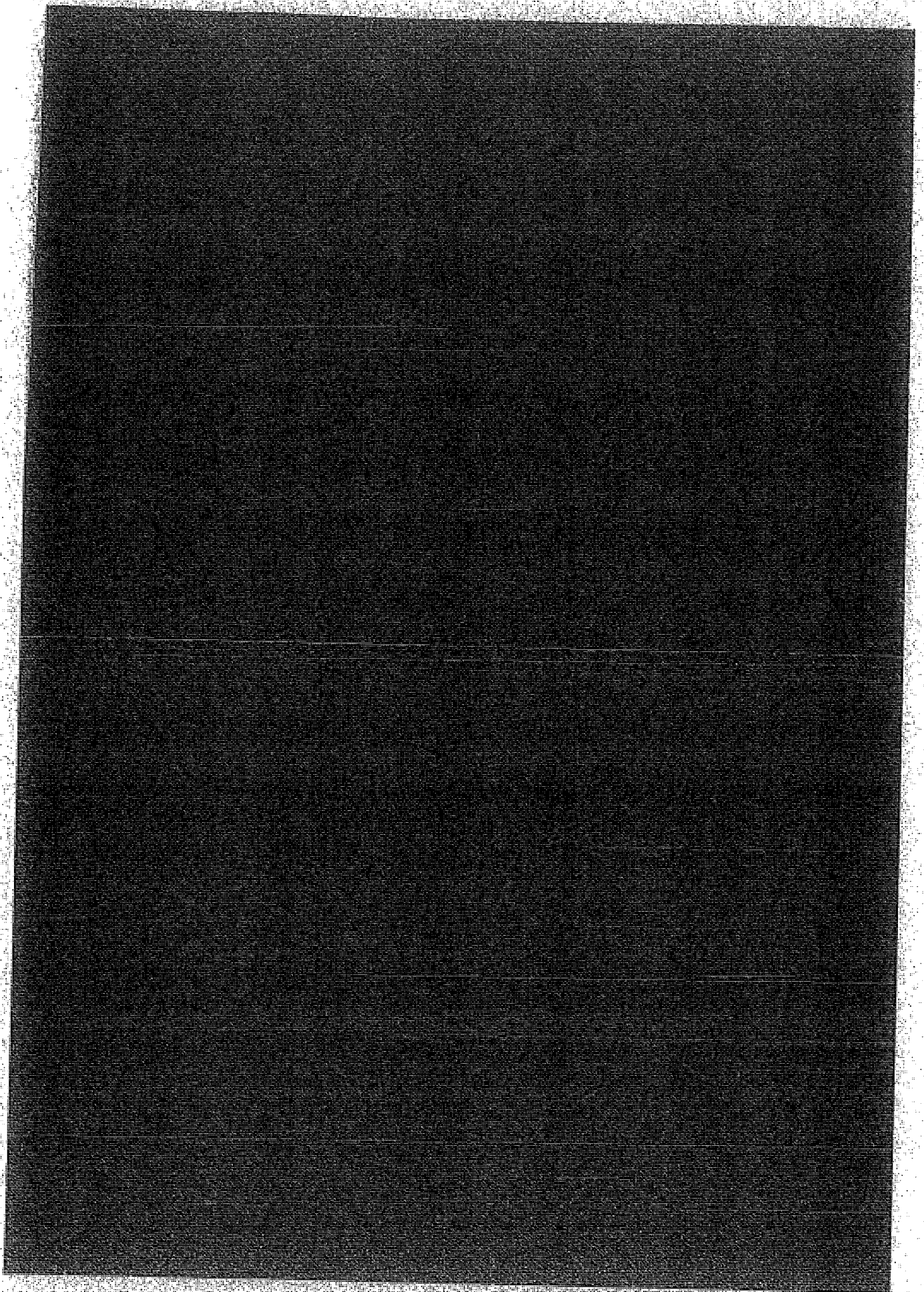
To: Daniel Mator, Township Manager
From: Robert J. Loper, Chief of Police 
Subject: Hiring of Part Time Police Officer
Date: September 14, 2022

Mr. Mator,

The police department is still experiencing staffing issues due to the lack of officers to fill our daily duties and contractual obligations with Deer Lakes School District. I am asking the hiring of a new part time police officer be added to the agenda for the Board of Supervisors meeting scheduled on September 21, 2022.

The police department has been accepting applications for the position of part time police officer. I am requesting the Board of Supervisors hire Michael Hutchison as a part time police officer for West Deer Township. Mr. Hutchison is extremely qualified for this position. Mr. Hutchison is a 23 year veteran of the Penn Hills Police Department, he retired from their service in July of 2021. Mr. Hutchison served as a juvenile detective while employed with Penn Hills Police and eventually retired with the rank of Sergeant. He is currently fulfilling his duties with the Pennsylvania Air National Guard, where he serves as a Master Sergeant responsible for the supervision of security forces securing the 171st Refueling Wing. Mr. Hutchison will retire from the Air Nation Guard at the end of September 2022 with 20 years of service. He is a graduate of Deer Lakes High School and furthered his education by obtaining a Bachelor's of Science degree in Criminology from Indiana University of Pennsylvania.

Mr. Hutchison is able to start with our department on October 4, 2022. With his years of experience as a police officer and general knowledge of township geography, I believe the cost and time of training Mr. Hutchison will be beneficial to the township.



AUTHORIZATION: SALE OF POLICE CAR

THE BOARD IS IN RECEIPT OF A MEMO FROM CHIEF LOPER REQUESTING THE BOARD TO AUTHORIZE THE ADVERTISEMENT FOR THE SALE OF THE FOLLOWING POLICE CAR.

(SEE ATTACHED MEMO)

2007 FORD EXPLORER
V6 AUTOMATIC TRANSMISSION
COLOR: BLUE
MILEAGE: 109,962
INSPECTION IS EXPIRED
AS IS CONDITION

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO AUTHORIZE THE ADVERTISEMENT FOR THE SALE OF THE 2007 FORD EXPLORER, AS IS CONDITION.

	MOTION	SECOND	AYES	NAYES
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____

INTERDEPARTMENTAL MEMORANDUM

To: Daniel Mator, Township Manager
From: Robert J. Loper, Chief of Police
Subject: 2007 Ford Expoler
Date: September 15, 2022

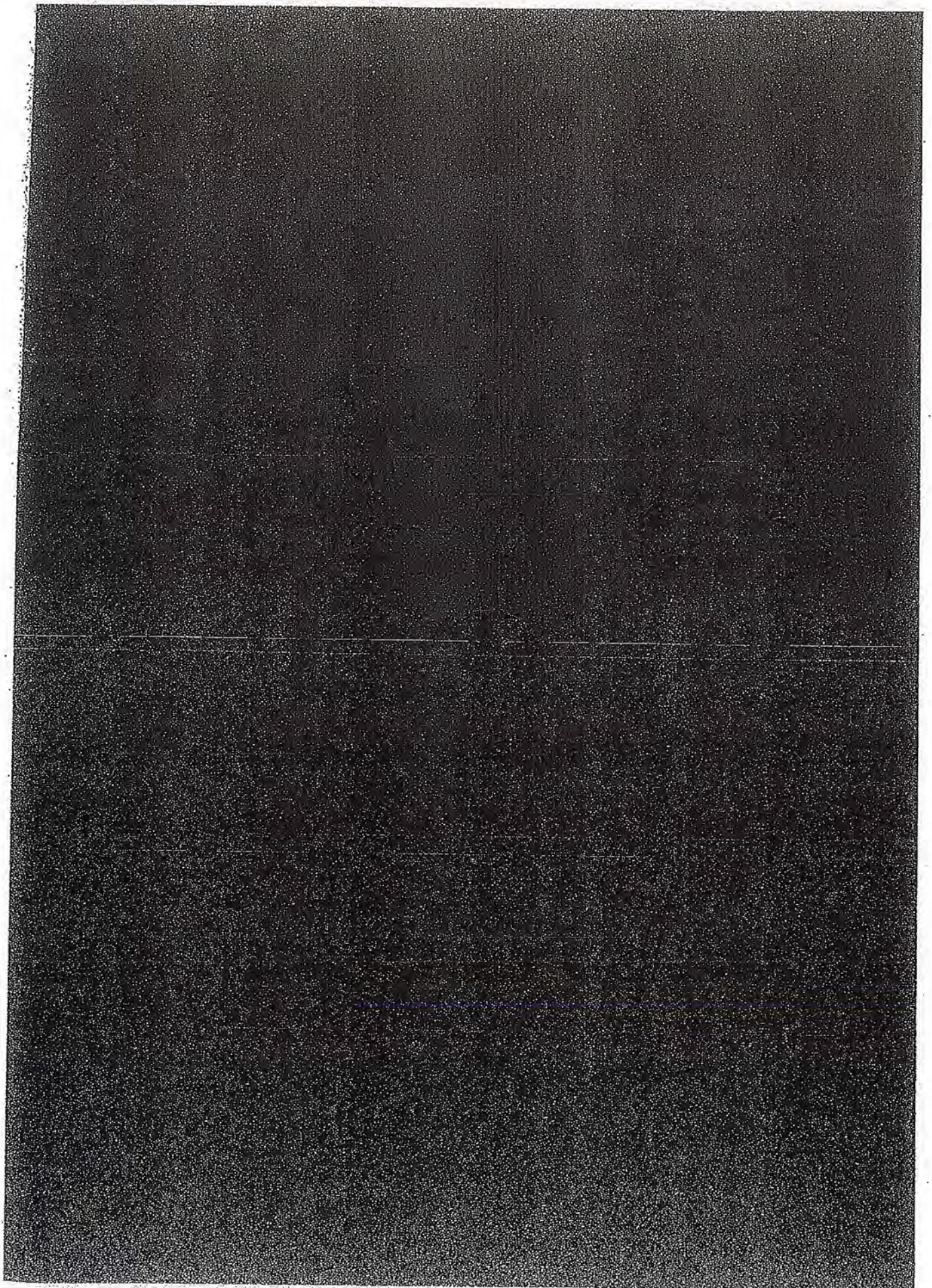
RJL

Mr. Mator,

I have recently taken unmarked police unit #39 out of service. This vehicle is a 2007 Ford Explorer with 109,962 miles. I am requesting that this vehicle go out for bid, being placed on the agenda for the Board of Supervisors meeting scheduled on September 21, 2022.

Make: Ford
Model: Explorer
Year: 2007
Mileage: 109, 962
Inspection: 07/2022
Vin: 1FMEU3E67UB55189

This vehicle was taken to Best Wholesale Tire for inspection. It is in operable condition but would not pass inspection at this point due to both driver and passenger side rockers panels being damaged by rust. Also the floor pan in the cargo area is rusted away.



**AUTHORIZATION: UNIONVILLE PLAN OF LOTS PRELIMINARY
SUBDIVISION PLAN**

THE PLANNING COMMISSION RECOMMENDED APPROVAL OF THE UNIONVILLE PLAN OF LOTS PRELIMINARY SUBDIVISION PLAN AT THEIR AUGUST 25, 2022 MEETING.

PROPERTY LOCATION: 328 EAST UNION ROAD CHESWICK, PA
ZONING DISTRICT: R-2 – SEMI-SUBURBAN RESIDENTIAL

TWO-LOT SUBDIVISION: LOTS TO MEASURE 1/4 ACRE MINIMUM.
TOTAL PARCEL TO MEASURE 29.13 ACRES

THE PLANNING COMMISSION RECOMMENDED APPROVAL OF THE UNIONVILLE PLAN OF LOTS PRELIMINARY SUBDIVISION PLAN SUBJECT TO FOLLOWING CONDITIONS:

1. OBTAIN SEWER LINE EASEMENT.
2. PUT SIDEWALK AND TREES IN PERFORMANCE BOND.
3. PLACE ACED LETTER AND RESPONSES IN OVERALL FILE FOR PUBLIC HEARING/SUPERVISOR REVIEW.
4. OBTAIN SCOTT SHOUP'S FINAL REVIEW LETTER.
5. GET HOP PERMIT.
6. OBTAIN REVIEW AND RESPONSE FROM EMS/FIRE DEPARTMENT.
7. DETERMINE WIDTH OF ROAD: 50' OR 60' BASED ON EMS/FIRE DEPARTMENT REVIEW/RESPONSE.

WHAT ACTION DOES THE BOARD WISH TO TAKE.

I MOVE TO APPROVE THE PRELIMINARY SUBDIVISION OF THE UNIONVILLE PLAN OF LOTS AS PER THE RECOMMENDATION BY THE PLANNING COMMISSION.

	MOTION	SECOND	AYES	NAYES
MR. FREY	_____	_____	_____	_____
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____



**West Deer Township Planning Commission
Meeting Report for August 25, 2022**

Project Name: **Case SALD 22-01 – Preliminary Unionville: East Union Rd. Plan of Lots:
David A Lucci/ Victor Wetzel Associates**

Property Location: West Deer Twp. – Allegheny County: 328 E. Union Rd., Cheswick, PA 15024
Parcel # 1360-S-268

Zoned: R-2 – Semi-Suburban Residential

First motion by Mr. Hollibaugh and second motion by Mr. Banks to **RECOMMEND APPROVAL**, voting was unanimous, of **Preliminary Plan of Unionville; East Union Rd. Plan of Lots** with the following conditions:

1. Obtain sewer line easements.
2. Put sidewalk and trees in Performance Bond.
3. Place ACED letter and responses in overall file for Public Hearing/ Supervisor Review.
4. Obtain Scott Shoup's final review letter.
5. Get HOP permit.
6. Obtain review and response from EMS/ Fire Department.
7. Determine width of road: 50' or 60' based on EMS/ Fire Department review/ response.



SHOUP ENGINEERING

FOR OVER 50 YEARS

329 Summerfield Drive, Baden, PA 15005

Phone: 724-869-9560

info@shoupengineering.com

August 31, 2022

Mr. Harmit Bedi
West Deer Township
109 East Union Road
Cheswick, PA 15024

Via Email

Re: Unionville Plan
Preliminary Subdivision (plans revised August 18, 2022)

Dear Mr. Bedi,

I have reviewed the above-referenced preliminary subdivision plan located in the R-2 Zoning District and the following comments should be considered:

1. The applicant has requested a modification of Section 185-25A of the Township's Subdivision and Land Development Ordinance which limits the maximum length of a dead-end street to 1,500 feet. The proposed Curtis Court has a length of 1,646 feet.
2. The development will be subject to a transportation impact fee based on the 47 trips being generated in the peak p.m. hour.
3. Letters should be provided from the Deer Creek Drainage Basin Authority and Oakmont Water Authority indicating the availability of public sewer and water for the development.
4. The applicant is advised that the following items will need to be provided with the application for final subdivision:
 - A. Recording plans
 - B. Final utility and grading plans
 - C. Final road and utility profiles
 - D. Final stormwater management plan
 - E. Final erosion and sedimentation control plan
 - F. Draft covenants and Homeowners Association documents

Mr. Harmit Bedi

Unionville Plan - Preliminary Subdivision (plans revised August 18, 2022)

August 31, 2022

Page 2

5. The applicant is further advised that any final approvals granted by the Township will be conditioned upon the applicant providing the following:
- A. Pennsylvania Department of Transportation Highway Occupancy Permit (HOP)
 - B. Pennsylvania Department of Environmental Protection Sewage Facilities Planning Module approval
 - C. NPDES General Permit from the Allegheny County Conservation District
 - D. Post Construction Stormwater Management Agreement with West Deer Township
 - E. Developer's Agreement with West Deer Township

A written response should be provided by the applicant indicating how each of the above comments has been addressed with submission of revised plans.

If you should have any questions, please do not hesitate to contact me at your convenience.

Sincerely,

SHOUP ENGINEERING INC.



Scott A. Shoup, P.E.

cc: Daniel Mator, via email
Gavin Robb, via email
Dorothy Moyta, via email
Jodi French, via email
Steven Victor -VWA, via email



SHOUP ENGINEERING

FOR OVER 50 YEARS

329 Summerfield Drive, Baden, PA 15005

Phone: 724-869-9560

info@shoupengineering.com

August 15, 2022

Mr. Harmit Bedi
West Deer Township
109 East Union Road
Cheswick, PA 15024

Via Email

Re: Unionville Plan
Preliminary Subdivision Plan (plans dated August 5, 2022)

Dear Mr. Bedi,

I have reviewed the above-referenced preliminary plan located in the R-2 Zoning District and the following comments should be considered:

1. On Drawing Sheet 100, bearings, distances and curve data should be provided along northern property lines and East Union Road.
2. On Drawing Sheet 100, a note should be added that the existing garage building on the site is to be razed and the driveway is to be eliminated.
3. The right-of-way width of East Union Road should be identified on the plans.
4. The enclosed typical road cross section detail should be placed on the plans.
5. The height of the road crown shown on the road section detail on Drawing Sheet 200 and typical utility detail on Drawing Sheets 500 and 502 should be revised to 3.5 inches.
6. The following revisions should be made to the zoning standards table on Drawing Sheet 200 and in the plan narrative:
 - A. R-2 conventional minimum lot area should be 21,780 square feet.
 - B. R-2 conventional minimum lot width should be 100 feet.
 - C. R-2 cluster development minimum front yard setback should be 30 feet.
7. The "10' utility and access easement" along East Union Road at Lots 1 and 45 should be reworded to be "10' utility and pedestrian access easement".

8. The plans should note the driveway access for Lots 1 and 45 must be off of Curtis Court.
9. The 10' storm easement (private) and detention pond access/sanitary sewer easement should be labeled on the sheet 200 series drawings. Also, the storm sewer easement crossing the rear of Lot 29 should be shown.
10. Code Section 185-54.E requires street trees to be planted 40 to 60 feet apart. The plan proposes spacing greater than this requirement. A modification will need to be requested regarding this item.
11. The development will be subject to a transportation impact fee based on the 47 trips being generated in the peak p.m. hour.
12. Drawing Sheet 402 should be labeled "Grading Plan - West" instead of "Grading Plan - East".
13. Letters should be provided from the Deer Creek Drainage Basin Authority and Oakmont Water Authority indicating the availability of public sewer and water for the development.
14. Utility Note 6 on sheet 500 series drawings is not applicable and should be removed.
15. A note should be added to sheet 500 series drawings that all storm sewers located outside of the right-of-way of Curtis Court and the stormwater management facilities shall be privately owned and maintained by the Homeowners Association.
16. Drawing Sheet 501 should be labeled as "Utility Plan - East".
17. Drawing Sheet 600 should be labeled as "Preliminary Erosion and Sedimentation Control Plan".
18. On Drawing Sheet 800 the vertical curve at station 0+00 to 0+50 should be lengthened to provide a vertical curve coefficient K of at least 20.
19. The four items listed under the heading of "Permitted Projects into Required Yards", and shown in the project narrative and on Drawing Sheet 200 are not consistent with zoning ordinance requirements.
20. The applicant is advised that the following items will need to be provided with the application for final subdivision:
 - A. Recording plans

- B. Final utility and grading plans
 - C. Final road and utility profiles
 - D. Final stormwater management plan
 - E. Final erosion and sedimentation control plan
 - F. Draft covenants and Homeowners Association documents
21. The applicant is further advised that any final approvals granted by the Township will be conditioned upon the applicant providing the following:
- A. Pennsylvania Department of Transportation Highway Occupancy Permit (HOP)
 - B. Pennsylvania Department of Environmental Protection Sewage Facilities Planning Module approval
 - C. NPDES General Permit from the Allegheny County Conservation District
 - D. Post Construction Stormwater Management Agreement with West Deer Township
 - E. Developer's Agreement with West Deer Township

A written response should be provided by the applicant indicating how each of the above comments has been addressed with submission of revised plans.

If you should have any questions, please do not hesitate to contact me at your convenience.

Sincerely,

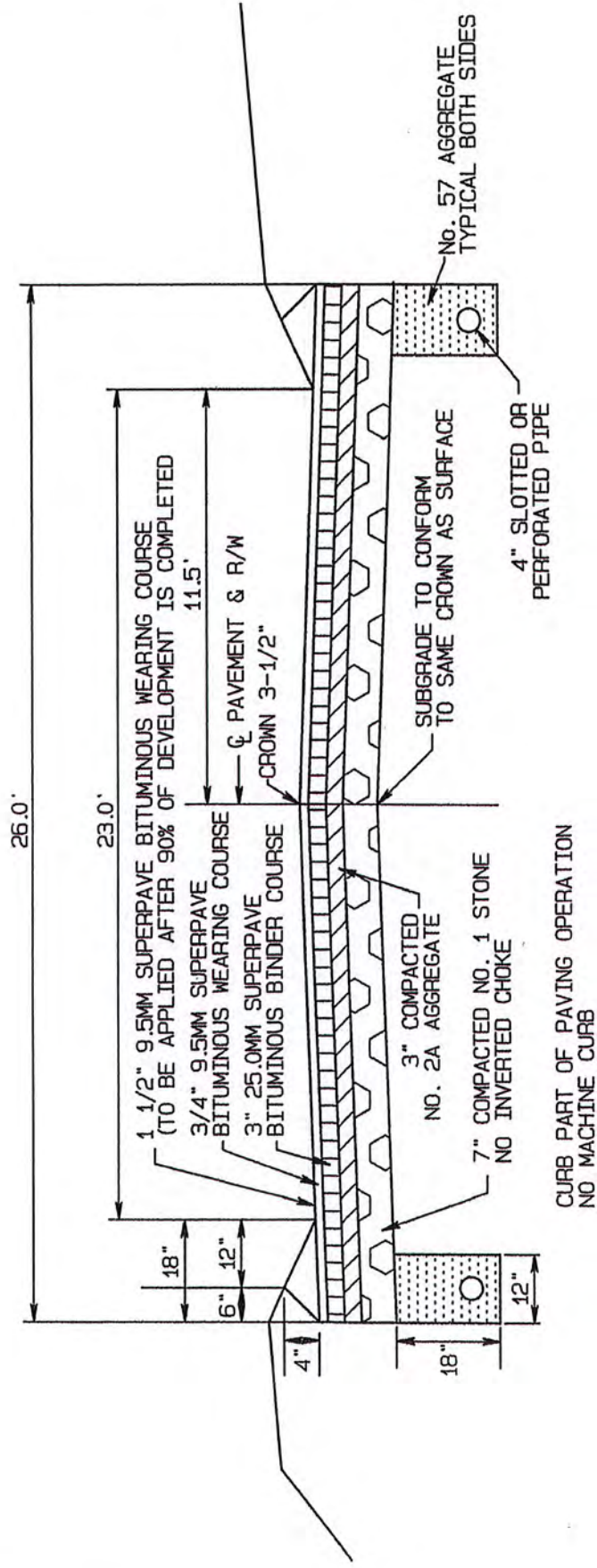
SHOUP ENGINEERING INC.



Scott A. Shoup, P.E.

Enclosure

cc: Daniel Mator, via email
Gavin Robb, via email
Dorothy Moyta, via email
Jodi French, via email
Steven Victor -VWA, via email



NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS, PUBLICATION 408, CURRENT EDITION.

WEST DEER TOWNSHIP

BITUMINOUS ROAD WITH
AGGREGATE BASE
STREETS

SCALE: NONE

DATE: 09/22/20

SHOUP ENGINEERING INC.



WEST DEER TOWNSHIP

109 East Union Road, Cheswick, PA 15024

Phone: (724) 265-2780

Fax: (724) 265-2228

SUBDIVISION AND LAND DEVELOPMENT APPLICATION

(To be submitted to the Department of Code Enforcement and Zoning)

CASE # CUP: SALD 22 - _____

FEE & ESCROW: _____

Application For: ☐ Minor ☒ Preliminary ☐ Final ☐ Sketch Plan

Applicant is (check one) ☐ Property Owner
☐ Attorney for Property Owner
☒ Property Owner's Agent

Property Owner (if not the applicant): Check here if additional property owners and attach additional sheets.

David A. Lucci
Name (please print)
Associate
Title
Victor-Wetzel Associates
Corporate Entity Name
409 Broad Street, Suite 270
Mailing Address
Sewickley, PA 15143
City, State, Zip Code
412-741-2290
Telephone
dlucci@vwla.net
Email

Frank Lokaites
Name (please print)
Owner
Title
North West Land #1016, LP
Corporate Entity Name
375 Gulfside Drive
Mailing Address
Wexford, PA 15090
City, State, Zip Code
724-935-5257
Telephone
frz@comcast.net
Email

DEVELOPMENT INFORMATION:

Development Name: Unionville

Present Zoning District Classification: R-2 Cluster Development

Property Street Address / Location: 292 East Union Road, Cheswick, PA 15024

Parcel Lot and Block No.: 1360-S-00301-0000-00 **Size of the Property:** 29.13

Description / Narrative of Project (Attach Extra Sheets): SEE attached narrative

UNIONVILLE

Preliminary Plan

West Deer Township
Allegheny County, PA

PROJECT NARRATIVE

owner:

Northwest Land #1016, LP
375 Golfside Drive
Wexford, PA 15090

civil engineer:

Eco Land Solutions, LLC
133 Hay Lane
Murrysville, PA 15668

traffic engineer:

David E. Wooster & Associates
Two East Crafton Avenue
Pittsburgh, PA 15205

geotechnical engineer:

ACA Engineering
410 N. Balph Avenue
Pittsburgh, PA 15202

environmentalist:

Palustris Environmental, LLC
140 Lamplighter Drive
Morgantown, WV 26508

landscape architect:

Victor-Wetzel Associates
409 Broad Street, Suite 270
Sewickley, PA 15143

August 5, 2022

UNIONVILLE

Unionville is a proposed 45 single-family lot Cluster Development on a 29.13-acre tract. R-2. It is in the R-2 Zoning District.

EXISTING CONDITIONS

This property is undeveloped and was part of the East Union Church property. A portion of their property will be subdivided for the proposed subdivision. The majority of the property is open and has been maintained as lawn. There is an existing garage that is being used for storage by the church that will be razed for the development. There is a watercourse that runs east to west through the southern end of the property. There are also two wetlands along the watercourse. (See Palustris Environmental, LLC's report). The watercourse and wetlands will not be disturbed by this development.

There are also woodlands located along its western side and eastern side of the property. The high point of the property is located at the northeast side near East Union Road at elevation 1164. The low point is at the southwest side of the property at the watercourse at elevation 1042. All the utilities are along East Union Road, (S. R. 1025) except for the sanitary sewer. A sanitary sewer easement is being proposed from the property owner to the west into the development.

PRELIMINARY LAND DEVELOPMENT

Unionville is a proposed 45 lot cluster, single-family development. Access will be off of East Union Road with one proposed public street, Curtis Court, that will end into a cul-de-sac. The water, gas and electric needed to serve the development will be extended and constructed within the proposed street utility right-of-way. The existing sanitary located on the western adjacent property will be extended by a proposed sanitary sewer easement along the watercourse to serve the development. Stormwater will be collected and piped to one detention facility, where it will infiltrate the 2-year storm and slowly release at a rate less than the current site runoff. (See the Stormwater Report from Eco Land Solutions for details).

A geotechnical investigation was performed by ACA Engineering. Borings were taken and samples were tested to confirm the stability of the site. The proposed Grading Plan follows the standards in the ACA Report. ACA will provide geotechnical monitoring during the site grading.

A 5' sidewalk will be constructed along the existing frontage of East Union Road and along both sides of the proposed Curtis Court. One CBU – Central Mailbox Unit - with two on-street parallel-parking spaces will be proposed near the entrance.

A pedestrian nature trail is being proposed to connect the proposed sidewalk along East Union Road to the detention access road between Lots 29 and 30.

The HOA will maintain the open space, trail and the detention facility.

The development will be done in one phase with construction in 2024.

**EAST UNION CHURCH
CLUSTER RESIDENTIAL DEVELOPMENT**
West Deer Township

	R-2 CONVENTIONAL DEVELOPMENT	R-2 CLUSTER DEVELOPMENT	EAST UNION CHURCH
ZONING STANDARDS			
allowed use	single family	single family	single family
density	2 ac	4 ac	1.5 du/ ac
bldg height	35 ft	35 ft	35 ft
min lot area	43,560 sq ft	10,890 sq ft	10,973 sq ft
min lot width	150 ft	70 ft	72 ft
min front yard	35 ft	0.3 ft	30 ft
min rear yard	40 ft	30 ft	30 ft
min side yard	15 ft	12 ft	12 ft
min side on corner lot	35 ft	20 ft	20 ft

Permitted Projections into required yards

1. Typical architectural features, including, but not limited to bay windows, window sills, cornices and eaves, shall be permitted to project into required yards no more than 18".

2. Decks and unenclosed porches without enclosed habitable foundations shall be permitted to project into required front and side yards no more than 3 feet and into the required rear yard no more than 20 feet as long as a minimum of five feet remain between the structure and the lot line.

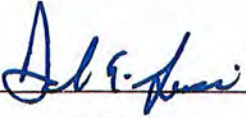
3. Steps and open fire escapes shall be permitted to project into required yards no more than three feet.

4. Awnings and/ or sunscreens shall be permitted to project into required front and side yards no more than three feet.

LANDSCAPE
PRIMARY ENGINEER AND / OR ARCHITECT INFORMATION

Name of Firm: Victor-Wetzel Associates Phone: 412-741-2290
Contact Name: David A. Lucci Contact Email: dlucci@vwla.net
Address: 409 Broad Street, Suite 270
City: Sewickley State: PA Zip Code: 15143

I, David A. Lucci, hereby depose and say that all of the statements contained in the application and supporting materials submitted is true to the best of my knowledge and belief.


Applicant's Signature

8-5-22
Date

APPLICATION MATERIAL CHECK LIST:

- ☒ Completed Subdivision/Land Development Application form
- ☒ Specific detailed description / narrative of the project
- ☒ Two (2) folded sets of plans full size 24" x 36" (D size)
- ☒ Twelve (12) folded set of plans of 11" x 17" at initial submission
- ☒ A digital copy in pdf format on a flash drive
- ☐ Two (2) copies of Storm Water Management Plan, if applicable
- ☒ Two (2) copies documents and data as required under West Deer Code, § 185-15-B and § 185-15-C
- ☒ Two (2) copies of renderings/building elevations, if applicable
- ☐ Any additional information requested by the Director
- ☒ Application fee and escrow payment

Thank you.

PRELIMINARY SUBDIVISION PLANS FOR UNIONVILLE

DATE: AUGUST 5, 2022

WEST DEER TOWNSHIP
ALLEGHENY COUNTY, PENNSYLVANIA

OWNER
NORTHWEST LAND, LP
375 GOLDSIDE DRIVE
WESTFORD, PA 15090
PHONE: 724-935-5557

LANDSCAPE ARCHITECT
VICTOR WITTE ASSOCIATES
400 BROAD STREET, SUITE 270
SEWICKLEY, PA 15143
PHONE: (412) 741-2290

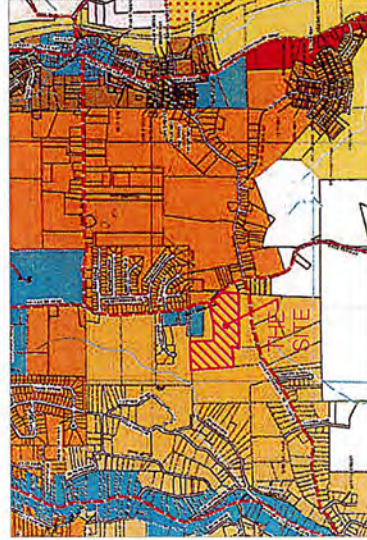
ENGINEERS
ECO LAND SOLUTION, LLC
133 MAY LAKE PA 15068
PHONE: (412) 357-2927

TRAFFIC ENGINEER
WOODSTER AND ASSOCIATES, INC.
2 EAST CRAFTON AVENUE
PITTSBURGH, PA 15201
PHONE: (412) 921-3303

GEOTECHNICAL ENGINEER
ALCA ENGINEERING, INC.
410 N. DALLMAN AVENUE
PITTSBURGH, PA 15201
PHONE: (412) 741-1926

DRAWING SCHEDULE

SHEET	PAGE	DATE
C-000	OVERALL PRELIMINARY PLAN, COVER & LOCATION SHEET	8-5-22
C-100	NATURAL RESOURCE AND EXISTING CONDITIONS PLAN	8-5-22
C-200	PRELIMINARY SUBDIVISION PLAN	8-5-22
C-301	PRELIMINARY SUBDIVISION PLAN - EAST	8-5-22
C-302	PRELIMINARY SUBDIVISION PLAN - WEST	8-5-22
C-350	PRELIMINARY ARCHITECTURAL ELEVATIONS	8-5-22
C-400	PRELIMINARY LANDSCAPE PLAN - WEST	8-5-22
C-401	PRELIMINARY LANDSCAPE PLAN - EAST	8-5-22
C-402	PRELIMINARY GRADING PLAN - WEST	8-5-22
C-403	PRELIMINARY GRADING PLAN - EAST	8-5-22
C-500	PRELIMINARY UTILITY PLAN - WEST	8-5-22
C-501	PRELIMINARY UTILITY PLAN - EAST	8-5-22
C-600	PRELIMINARY SEDIMENT CONTROL PLAN	8-5-22
C-700	PRELIMINARY COMPOSITE PLAN	8-5-22
C-800	ROAD PROFILE	8-5-22



LOCATION MAP
SCALE: 1" = 1200'



OVERALL SUBDIVISION PLAN
SCALE: 1" = 80'

LANDSCAPE LEGEND

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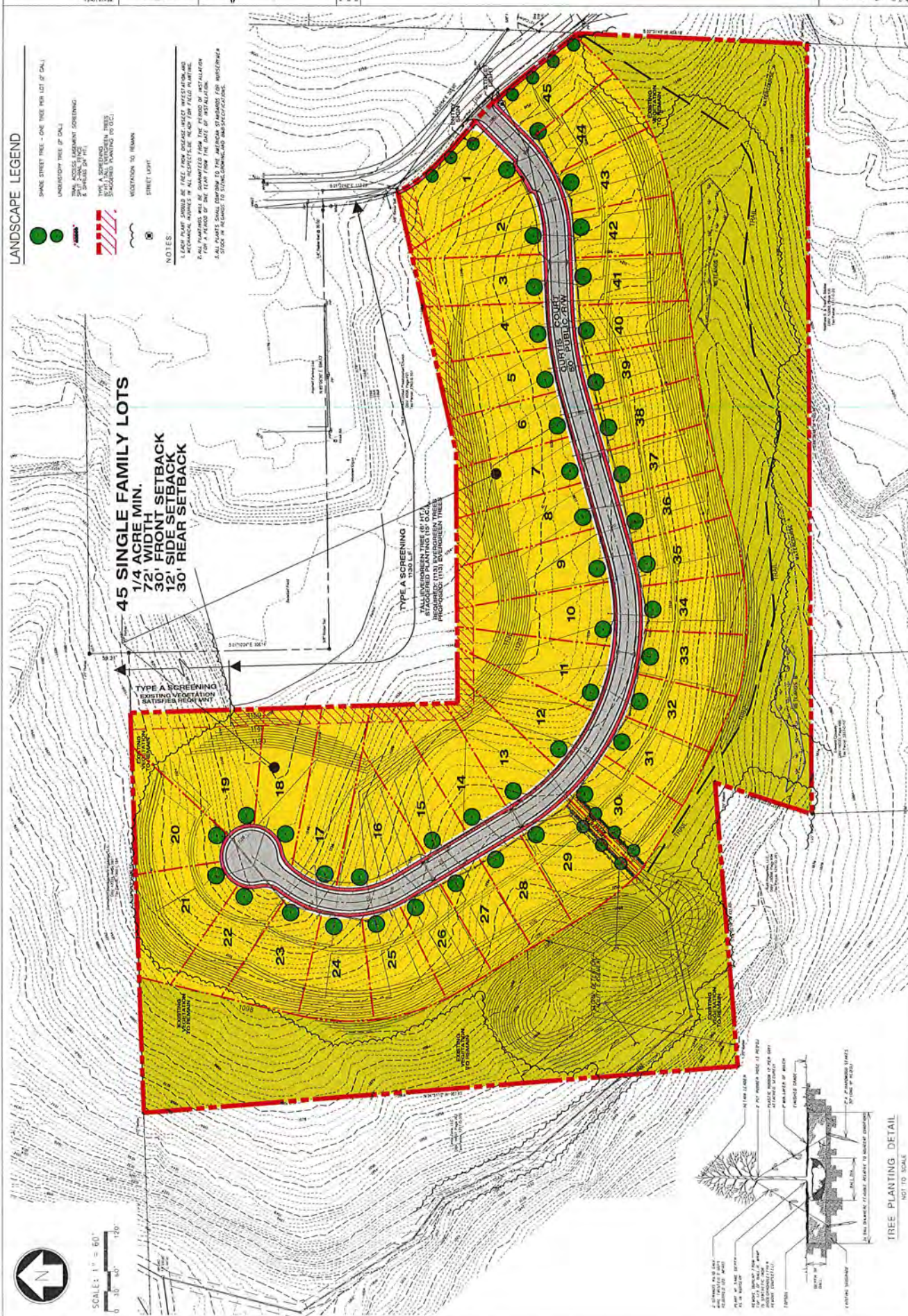
NOTES:

1. EACH PLANT SHOULD BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES IN ALL RESPECTS, BE READY FOR FIELD PLANTING.
2. ALL PLANTINGS MUST BE GUARANTEED FROM THE PERIOD OF INSTALLATION FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION.
3. ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARDS FOR NURSERYMEN'S STOCK IN REGARD TO SIZING, GROWING, AND HARBORING SPECIFICATION.

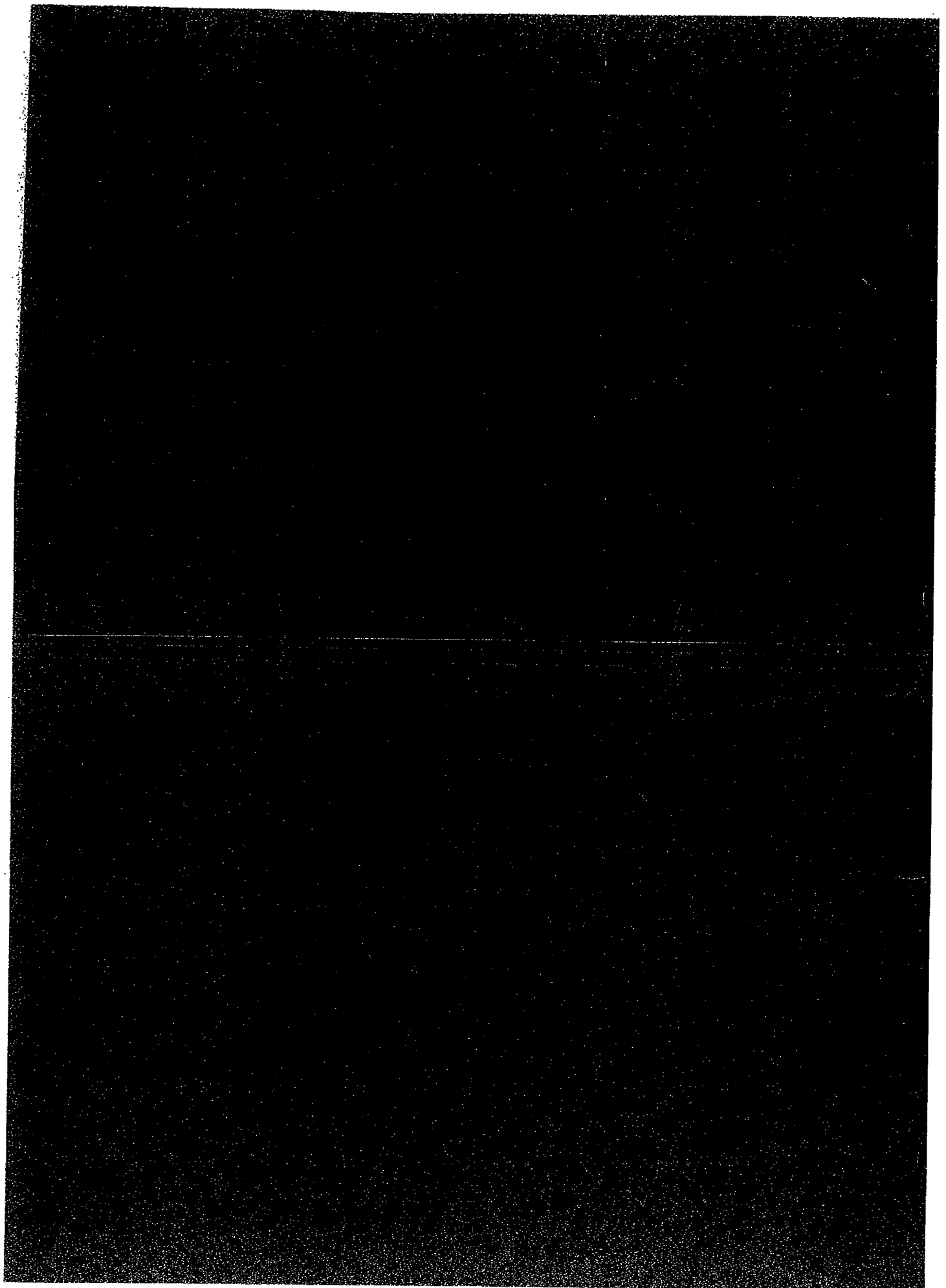
5 SINGLE FAMILY LOTS
1/4 ACRE MIN.
72' WIDTH
30' FRONT SETBACK
12' SIDE SETBACK
30' REAR SETBACK

TYPE A SCREENING
EXISTING VEGETATION
SATISFIED RECOMMEND

TYPE A SCREENING
1130 L.F.



TREE PLANTING DETAIL



DISCUSSION: ZONING ORDINANCE

MR. ROBB AND MR. MATOR...

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

I MOVE TO ADJOURN AT _____ P.M.

	MOTION	SECOND	AYES	NAYES
MRS. HOLLIBAUGH	_____	_____	_____	_____
MR. SMULLIN	_____	_____	_____	_____
MR. FREY	_____	_____	_____	_____
MRS. JORDAN	_____	_____	_____	_____