

PLANNING COMMISSION  
SUMMARY MINUTES  
MAY 13, 2025  
7:00 PM

I. CALL MEETING TO ORDER

Chairman Okum called the meeting to order at 7:00 pm

II. ROLL CALL

Members Present

Al Chang, Steve Galster, Carolyn Ghantous, Michelle McFarland, Joe Ramirez, Meghan Sullivan-Wisecup, and David Okum

Staff Present

Melissa Hays, Chief Building Official

Shawn Riggs, City Engineer

Liz Fields, City Planner

III. PLEDGE OF ALLEGIANCE

IV. MINUTES OF THE PREVIOUS MEETING

A. April 8, 2025

Motion to adopt meeting minutes by Mr. Galster and seconded by Ms. Sullivan-Wisecup

Motion carried by straw poll 7-0.

V. REPORT ON COUNCIL

Ms. Sullivan-Wisecup presented the report on the council meeting held on Wednesday, May 7, 2025.

- Proclamation for Police Week
  - Swore in new officer and introduced new Police staff
- Proclamation for Building Safety Month
- Ordinance No. 10-2025; second reading; passed 5-2
- Ordinance No. 18-2025; second reading; passed 7-0
- Ordinance No. 19-2025; first reading with a public hearing at May 21, 2025, meeting
- Ordinance No. 20-2025; first reading
- Ordinance No. 21-2025; first reading with emergency clause added so ordinance may be enacted immediately if it does pass
- Resolution No. R11-2025 passed 7-0
- Old Business regarding filling of vacancies on committees and commissions via a potential application process. Motion was passed 7-0 to send to Rules and Laws
- New Business was regarding summer schedule. With minor repairs happening over the summer. It was agreed that instead of the full meeting on July 16th, and August 20<sup>th</sup>, the meetings will now be on July 2<sup>nd</sup> and August 20<sup>th</sup> to accommodate for enough time for renovations to be completed.

Mr. Galster asked if there would be any effect on any Boards or Committees that would normally meet in Council Chambers. Ms. Sullivan-Wisecup stated that it was unclear at this time and that she did mention the Planning Commission meeting since it would be conducted during that time period of the July and August meeting. Mr. Uhl stated that they would look into it if the need did occur.

There were no other questions or comments regarding the report on council.

## VI. REPORT ON BZA

Mr. Ramirez presented the report on the BZA meeting held on April 22, 2025.

- Unity Care Group – 305 Cameron Rd.  
Requested a variance to allow for two signs; one ground sign, and one wall sign. Only one sign is permitted per §153.459(B)(5). There was a public hearing with a lot of discussion. Four members decided due to location of buildings and setbacks that a second sign should be allowed. It passed 4-3 vote.
- Brendan Moellmann – 12067 Mallet Dr.  
Requested a variance to enclose garage with zero garage space where one car is the minimum garage size permitted per Table 252-2 of the Springdale Zoning Code. While the variance was denied, resident was prepared to pursue other options in the future.

Mr. Okum asked if there was a chance of pursuing an addition on the back of the house as an option. Mr. Ramirez stated that Mr. Moellmann did state that was a possibility but wanted to pursue the garage option first due to budget constraints.

## VII. CORRESPONDENCE

Ms. McFarland stated that Urban Farming Committee met last week to continue reviewing the legislation regarding bees. Ms. McFarland stated that this is considered a notice that Administration will be providing Planning Commission with draft legislation at the June 2025 meeting to review and make any changes or take recommendations for it. Ms. Hays stated that she will be drafting a piece of legislation regarding suggestions from the Urban Farming Committee which will then give Planning Commission ample time to go over those recommendations and adjust as needed before sending on to Council.

## VIII. OLD BUSINESS

There was no old business to discuss.

## IX. NEW BUSINESS

- A. Beyond Hello – Concept Plan  
12140 Springfield Pike  
(Application #20250116)

Applicant is requesting a concept plan review for an addition to an existing building with proposed marijuana dispensary use.

Ms. Fields stated that the former use for this space was a restaurant, but the proposed use could now be categorized as a retail sales use. Ms. Fields gave her staff comments about this case. She covered the following items.

- Adjustment to elevations based on prior comments before Commission, which are more in line with corridor district
- Material on the addition is proposed to be a brick veneer, which is also in line with corridor district

Mr. Riggs stated that he noticed what had changed was the entrance or exit close to Springfield Pike. While it is currently full-movement access, it will be converted to a right-turn only. All other items remained the same.

Chairman Okum asked if the dumpster enclosure area was the same as before. Mr. Riggs stated that was the case. Mr. Okum also asked if the impervious surface area is less. Mr. Riggs stated that it was not noted on the plans, but it appears that it could be with the conversion in the illustration of the outdoor dining plaza was previously, it would now be converted to a grass lawn as well as the extension of the island to make the full movement access entrance a "right out only". Mr. Riggs thought it could be that they are decreasing the amount of the impervious area, but that it was not noted on the plans. Mr. Okum asked if Planning Commission if there were any questions for staff. There were none.

Mr. Clavelle further explained the concept plan brought forth.

Mr. Okum asked what the remainder of the building be used for.

Mr. Clavelle explained that at this time, there was no plan other than potential leasing of the other portions of the building at a later time.

Mr. Okum stated that screening will be needed for new HVAC units. Mr. Clavelle stated that provisions were made for that. Ms. Hays asked what the Commission's thoughts were as to painting the stucco versus the brick veneer on the existing portion of the structure. Mr. Okum stated that a repaint to the existing structure would be understandable and a reasonable approach as long as the colors were consistent with the brick elevations being completed. They would have to reduce the amount of exposed masonry per the corridor review district as an allowance on that because they would not be compliant with the corridor review district in its entirety. Ms. Fields stated that staff would only require the addition to come into conformance, not the entire building. Mr. Okum mentioned that the parking lot would need to be resurfaced. Ms. Sullivan-Wisecup agreed that the changes made to the exterior of the building from the previous submission are much more agreeable. Mr. Okum asked if there were any objections to the Concept Plan that was submitted. There were none.

No motion was provided since Concept Plan was presented.

B. Master's Supply - Conditional Use  
225 Northland Boulevard  
(**PUBLIC HEARING** Application #20250201)

The applicant is requesting a Conditional Use for outdoor storage at this facility.

While Ms. Hays did not have any further comments, Ms. Fields gave an overview of the applicant's request for outdoor storage. Staff did recommend that outdoor storage shall be screened with a solid fence or wall not to exceed 14 feet. Applicant is proposing a six-foot chain-link fence with slats. That is not permitted screening material in the SS Zoning District. Chain link is only allowed in Springdale industrial zoning districts, so applicant will need to change fence material to wood, vinyl, wrought iron, aluminum, or similar material. Applicant is also proposing that the storage area protrudes past the edge of the building into the parking area which is visible from the street. Staff wants to ensure that storage does not exceed the height of the fence in order for storage material not to be seen beyond the fence line. The second item is that there should be a minimum of 300 feet between the storage area and any residential zoning district or use, and the storage is proposed to be less than 300 feet from the adjacent residential use. The applicant is proposing approximately 233 feet setback to that residential use. Ms. Fields noted that there is a significant amount of landscaping and trees between the applicant and the residential area in question. With the considerations brought forth by staff, if Planning Commission chooses to approve the conditional use, staff would

recommend a number of considerations, one being that Planning Commission grant a waiver to allow that reduced setback between outdoor storage and the residential, second, that the applicant supply a revised fence detail that is consistent with the material requirements of the Zoning Code and that the fence must be opaque, six feet in height, and construction materials and colors that complement the principal building. Third, that no existing landscaping shall be removed to accommodate the outdoor storage as the existing landscaping is screening the rear of the site from the adjacent developments, and last that the storage area that protrudes past the edge of the existing building shall be restricted to the storage and materials that are equal or less than the height of the proposed fence. This also includes the stacking of materials.

Mr. Okum had a question about which residential properties were nearest to the applicant. It was addressed that it was Maple Knoll and the Arbors of Kenilworth Court.

Mr. Riggs stated that most of his comments addressed stormwater which may have come from the clarity of the plans that deal with the rear parking lot. The plans noted that it would be 24,000 square feet of new, heavy-duty asphalt. However, it was not clear as to the limits of it. If it was in addition to what is currently there, or if the parking lot is being extended. Mr. Riggs stated that if there will be an increase in the parking lot, then stormwater requirements will need to be addressed. If parking lot is not increasing in size, then there are no additional issues regarding stormwater. The only stipulations being to repair their asphalt and fence in the existing asphalt area.

Mr. Cheney, Vice President of JTF Construction, General Contractor for Master's Supply. JTF is currently doing the interior work and painting work, with the current proposal being the next phase they hope to work on. Mr. Cheney stated that his location is at 4235 Mulhauser Road. Mr. Cheney gave Planning Commission members several photos. Mr. Cheney stated that the rear area of the property is how it is currently. The intent is to bring in trucks which will off-load their material. Heavy duty asphalt will be incorporated into the site since the current asphalt is in major disrepair. Mr. Cheney also stated that there will also be a change in the pitch of the parking lot. There will be a tie in to help mitigate previous owner's issues with water runoff heading to the building. Mr. Cheney also stated that they are willing to change the fencing material.

Mr. Riggs asked if there was any additional impervious area proposed. Mr. Cheney stated that there was not.

Mr. Galster asked about the loading dock area and which vehicles would be dropping off or receiving inventory. Mr. Cheney further explained the area where the off-loading would occur would involve forklift trucks which would then load individual trucks with materials in the back of the building. Mr. Galster asked the height of some of the other storage racks at the facility. Mr. Holland, Operations Manager of Master's Supply, stated in the area very few racks would be used. Those that are used would be floor racks where pipes will be stored. Remaining storage would be for full bundles of pipes that would not be able to be stored in the building.

Mr. Okum asked what the hours of operation for the forklifts would be operating in that storage area. Mr. Holland stated that the general hours are 8:00 a.m. until 4:30 p.m., with some individuals coming in earlier to load trucks for deliveries about 6:30 a.m. or 7:00 a.m. at the earliest. Mr. Okum did express some concern due to noise level of forklifts backing up. Mr. Holland stated that the inbound inventory is normally received between the hours of 10:00 a.m. and 3:00 p.m. on a limited number of days per week. Mr. Holland stated that the loading of outgoing inventory would not be

loaded with equipment. It would be placed in vehicles by hand. The loading that would occur in the early morning hours is from the warehouse and being loaded on to vehicles which are backed up at the warehouse. Mr. Galster asked for clarification that the forklifts loading supplies on to trucks would be located in the warehouse. That was confirmed by Mr. Holland. applicant. Mr. Galster asked if the applicant was aggregable to not using the forklift in the warehouse before 8:00 a.m. Mr. Holland said that they were. Mr. Galster asked if the applicant had a material preference for the fence. Mr. Cheney stated that the applicant was open to whatever fencing material that Planning Commission preferred. Mr. Okum requested that the applicant provide an illustration of fencing materials. Mr. Okum recommended a wrought iron-type fencing material for the gate system. Mr. Okum further stated that he wanted the applicant to work with staff regarding the fencing material. Mr. Cheney stated that the applicant is happy to provide that information to staff on May 14<sup>th</sup>. Staff asked for clarification regarding whether all fencing needed to be wrought iron or just the gate system. It was clarified that the gate system is to be wrought iron and remainder of fence be a solid material.

Chairman Okum asked for any questions regarding the conditional use and opened up the public hearing regarding the conditional use for this parcel. There were no questions.

There were no questions or comments from the public.

Chairman Okum closed the public portion of the hearing.

The Chair will entertain a motion to approve the following project, Master's Supply, at 225 Northland Boulevard. This is a public hearing, and it is a Conditional Use request. Case # 20250201 per the specifications and designs provided in our meeting packet as exhibits, which were submitted by the applicant prior to this meeting and reviewed by Staff, with the exception of the fencing that was presented. Whereas this motion includes the following conditions Staff, our City Engineer, and our City Planners recommendations and considerations contained in their report. This motion includes a fence system to be solid around the perimeter of the outdoor storage area with iron-like metal gates on the opening. The hours of operation in the storage area shall be limited for forklift operation shall be limited to no earlier than 8:00 a.m. and no later than 6:00 p.m. Whereas all other Zoning Code regulations and conditions not detailed in this motion shall remain in effect. Any changes to the above condition shall constitute a change of the approved plan. Such changes shall require of the Springdale Planning Commission.

Motion to approve by Ms. Sullivan-Wisecup. Seconded by Ms. McFarland.

Motion approved by poll vote 7-0.

C. Active Day Ohio – PUD Major Modification  
865 E. Kemper Rd.  
(Application #20250202)

Applicant is requesting a major modification to a PUD to allow for an adult daycare use, as required per Section 153.255(H)(1) of the Springdale Zoning Code.

Ms. Fields presented her report for application #20250202. While applicant will mainly be doing interior renovations, the applicant will also need to provide an entrance for doors and windows at the front for access to that section of the building. Staff is not concerned but wants to take into

consideration drop-off of individuals and staff would like to see either a covered entrance, or a porte cochere or something that would provide a designated drop-off area with a covered entrance for the people attending this daycare. Additionally, if this use is going to use any fleet vehicles, that will be parked on site, for long periods of time or on a regular basis, then staff would like to see those fleet vehicles be parked in the western-most aisle so they are out of the public eye as much as possible and in a designated space that would not generally take up other customer parking. Both members of Council, Ms. Sullivan-Wisecup, and Ms. McFarland both agreed that it would be a Major Modification. Staff felt it was a change of use which would make it qualify as a major modification. With this, Planning Commission would then make a recommendation to Council on this Major Modification and should consider the items that the applicant established which would be the designated pick up/drop off area in the front, that there is sufficient room for queuing, as well as a covered entrance to protect patrons entering the building and that the fleet vehicles shall be parked or stored on the western edge of the parking lot.

Mr. Riggs did not provide a report due to most of this being indoor modifications. The applicant did request a curb cut or curb ramp. With the new door there could potentially be drop-offs as in multiple buses unloading at one time, so, while not a requirement, perhaps some thought should be given to the size of the curb ramp, or maybe multiple curb ramps needed depending on how the unloading process goes. The applicant is also hoping to construct with one of the new entrance doors, a ramp on the sidewalk currently. That will need to be either leveled off, or a handrail added to that ramped sidewalk area. While not a code requirement, a covered entrance is more of a convenience.

Mr. Burch served as the representative for the applicant. He was accompanied by the Director of Facilities, Cain, and the Facilities Director, Chris. Mr. Burch stated that after reviewing the Staff Report, they spoke with the property owner, and the property owner was in agreement with the applicant that the changes were not an issue.

Mr. Okum asked what the average number of clients came to the facility each day. Mr. Burch stated that there would be about 90 per day. There were some questions as to the age of the individuals coming to the facility due to two separate entrances. Mr. Teklinsky, Director of Facilities for Active Day, stated that the two separate entrances refer to elderly individuals in need of daycare, with the other being for younger adults. The number of individuals coming to the facility may vary from day to day due to the level of financial resources each individual has.

Ms. Miller stated that the service lasts five to five and a half hours, going from 9:00 a.m. until 2:00 p.m. with senior care lasting an additional one and a half hours. Mr. Galster asked if daily field trips were included. Normally about 16 people are taken on these field trips, with two buses being used for the trips. Buses are used every day with seven routes. These buses are ten passenger vans with wheelchair accessible spots. The seniors team has MedaCare drops off, public transportation drops off, families also drop off. Most of the time at 9:00 a.m. the other businesses are not open so drop off is not a problem and they are finished loading up by 10:00 a.m. and the afternoon buses are loaded up at 2:00 p.m. and it takes only 20 minutes for all buses to be loaded. Mr. Galster asked about lack of windows or access to the outdoors compared to their current facility. Ms. Miller stated that the outdoor facilities at their current location are not being used and that their curriculum when the individuals arrive is a more scripted curriculum such as pre-vocation skill set, attention span, and daily living skills.

Mr. Ramirez asked if family members of the attendees would require handicap parking due to dropping off. Ms. Miller stated that buses are

normally dropping off the members and family is only dropping off due to a doctor's appointment.

Chairman Okum asked for any questions regarding the major modification to a PUD and opened up the public hearing regarding the major modification to a PUD this parcel. There were no questions.

There were no questions or comments from the public.

Chairman Okum closed the public portion of the hearing.

Ms. Hays asked Mr. Okum for clarification on the carport or porte co chere in regard to if it is to be required or is Planning Commission accepting of the applicant going ahead with submitting their application. Mr. Okum felt that the recommendation from Staff for a drop off area would be appropriate and leave that to Staff. The canopy recommendation Mr. Okum felt should stay as a recommendation from Planning Commission as well.

Ms. Fields stated that with the new information received from the applicant that there is less inclination to require the covered drop off since the individuals are more often dropped off and picked up by the bus service that Active Care provides. Curb ramps to be set up safely, but covered entrance is not as necessary at this point. Mr. Okum stated he would like to look at the entrance possibility for future use down the road as well. Mr. Okum asked if Ms. Fields needed something in the motion to include a canopy over the walkway. Ms. Fields stated that the more direction that Planning Commission can give Staff would stop Staff from bringing Council's recommendations back to Planning Commission which would speed up the process, but if too vague, it might need to come back to Planning Commission. Mr. Okum suggested canopy over the entries to be reviewed and approved by Staff. Ms. Fields thought that was a good idea. Ms. Hays asked that since the applicant has already submitted some of their building plans and would like to get moving on the project, would there be a way to allow them to continue with the internal work, perhaps giving them a timeframe on the canopy in order to get them in their space a bit faster and not being delayed by the potential canopy.

The Chair will entertain a motion to approve the following project; Active Day Ohio Case # 20250202 per specifications and designs provided in our meeting packet as exhibits which were submitted by the applicant prior to the meeting and reviewed by Staff. Whereby this approval, Planning Commission is referring this to City Council for consideration. This motion includes the following conditions; Staff, City Engineer, City Planners recommendations and considerations contained in the report. There shall be a canopy system approved for the site. It shall be over the entries, and this shall be reviewed and approved by Staff. It shall be in place within twelve months of occupancy. Whereas all other Zoning Code regulations and conditions not detailed in this motion shall remain in effect. Any changes to the above conditions shall constitute a change to the approved plan. Such changes shall require approval of the Springdale Planning Commission.

Motion to approve by Ms. McFarland. Seconded by Ms. Sullivan-Wisecup.

Motion approved by poll vote 7-0.

X. PUBLIC COMMUNICATION

There were no public communications presented.

XI. DISCUSSION

Mr. Okum stated that he spoke with Council President Jeff Anderson, and it appears that funding may have been granted for a Zoning Code update for Springdale. If grant funding is finalized and the City of Springdale is awarded grant money, it would be a team effort with an appointee from Planning Commission, an appointee from Board of Zoning Appeals, and a citizen appointee. The determination of how the contract is going to be let, will be based upon the funding amount of grant if awarded. Mr. Okum suggested that the City's Comprehensive Plan and Thoroughfare Plan also be included when discussion of changes to the Code occurs.

XII. CHAIRMAN'S REPORT

There was no chairman's report to present.

XIII. ADJOURNMENT

Motion to adjourn the meeting by Mr. Galster. Seconded by Ms. Sullivan-Wisecup.

Motion carried by straw poll 7-0.

Respectfully submitted,

\_\_\_\_\_, 2025 \_\_\_\_\_  
David Okum, Chairman

\_\_\_\_\_, 2025 \_\_\_\_\_  
Joe Ramirez, Secretary

**Beyond Hello Dispensary  
12140 Springfield Pike  
Concept Plan  
Application PC #20250684  
June 6, 2025**

**Request:**

The applicant is seeking approval for a site plan to convert part of an existing restaurant building into a cannabis dispensary with associated storage. An approximate 1,700 sq. ft. addition is proposed to the front of the building (southern elevation) along with related site improvements such as parking and landscaping modifications. The site is located at 12140 Springfield Pike and is zoned "GB" (General Business) and is located in the Corridor Review District Subarea A.



**Background:**

Per Section 153.253(D)(19), no adult use or medical marijuana dispensary may be established or operated within 500 feet of a school, church, public library, public playground, or public park in the city. The existing building partially meets this requirement, as there is a church property within the 500-foot setback. To comply with this regulation, the applicant proposes to operate the dispensary from the southern end of the existing building and the addition. The northern end of the building will remain vacant for now, though the property owner intends to establish another use in that space in the future.

The existing building is 6,940 sq. ft., and the existing site has 89 parking spaces. With the proposed addition, the new area for the dispensary will be approximately 3,321 sq. ft. in size, and the remaining vacant area will be approximately 5,520 sq. ft.

The following is a summary of the applicable zoning regulations that apply to this site:

1. **Route 4 Corridor Review District Regulations.** Per Section 153.257(l), the CRD regulations shall apply to non-residential additions over 10% of the original floor area. The existing building is 6,940 square feet, and the proposed addition is 1,700 square feet; therefore, the regulations shall apply as the addition exceeds the 10% threshold.
2. **Exterior Design.** The proposed exterior elevations will be a tan-colored brick with dark blue accents. The existing building will also be painted to match the new addition, creating a fluid transition. Windows are proposed for both the front/southern façade and the western façade, as required by 153.257(C)(3)(b). The exterior colors and materials are consistent with the requirements of the Corridor Review District.
3. **Roof.** The existing building has a flat roof, and the proposed addition is designed to match this roof style. This design does not comply with Section 153.257(E)(1)(b), which requires that at least 50% of a structure's site coverage includes a pitched roof. Staff recommends that the Planning Commission grant a waiver from this requirement, as incorporating a pitched roof on the existing building or the proposed addition would be incompatible with the building's architectural character.
4. **Signage**
  - a. The applicant is proposing two wall signs – one on the southern façade and one on the western façade. Since this property is not a corner lot, only one wall sign is permitted. The proposed wall sign is of an appropriate size and design per Section 153.459(C)(2), but is only permitted on the façade facing the public right-of-way (western façade). The applicant will need to submit a new wall sign plan that is consistent with the zoning regulations.
  - b. Pole signs are not permitted on this property, therefore, the applicant will need to submit a new ground sign that meets the requirements of the GB Zoning District and the Corridor Review District. The applicant is permitted to have a ground sign that is:
    - i. A maximum of 7' in height.
    - ii. Includes a base that is brick or stone and is consistent in design with the principal building.
    - iii. Maximum size of 100 square feet.
    - iv. Located in a mulched and landscaped area that includes a variety of plant types and bushes and is equal to or larger than the total sign area.
    - v. The sign must be set back a minimum of 10' from the property line.
    - vi. Up to 50% of the sign can be an electronic sign per Section 153.460.

5. **Lighting.** The applicant is proposing new parking lot lighting. The proposed lighting fixtures are LED and full cut-off fixtures, but they exceed the maximum illumination level at the property line per Table 351-2, which requires a maximum illumination level of 2.5 footcandles. Additionally, all exterior light poles and light fixtures shall be dark and non-reflective in color. The applicant should revise the lighting plans to conform to the regulations of Section 153.351.
6. **Parking.** The property currently provides 89 parking spaces. Per Table 302-2, the dispensary use requires 11 spaces, based on the retail sales standard of 1 space per 300 square feet. At this time, a user for the remaining portion of the building has not been identified. The remaining parking spaces may be allocated to a future tenant, and a determination will need to be made at that time as to whether the existing parking supply is sufficient, appropriate, or excessive based on the proposed use.
7. **Setbacks.** The building addition is subject to the setback regulations of the underlying GB Zoning District (50' front yard setback, 12' side yard setback, and 50' rear yard setback). It appears that the addition meets these requirements, but that will need to be confirmed by the applicant as the setback measurements are not shown on the site plan.
8. **Minimum Green Space.** Per Table 257-1, Subarea A of the Corridor Review District shall have a minimum green space amount of 25%. The plans provided by the applicant don't note the amount of existing and proposed green space, but it appears that the applicant is increasing the amount of green space from what exists today. Due to the existing conditions, staff recommends that the Planning Commission waive this requirement.
9. **Landscaping**
  - a. Street tree plantings are required for the Corridor Review District.
  - b. Landscape requirements must be documented on the Landscape Plan, identifying the required and proposed landscaping improvements.
  - c. The sizes of the existing trees must be indicated on the site plan. The existing trees that are remaining must be labeled "DO NOT DISTURB". Install tree protection during construction.

The Applicant appears to be incorporating the existing trees. However, if trees are removed, the Applicant must provide a summary of the caliper inches of trees that are removed with redevelopment/construction. Tree removal and replacement must be identified per caliper inches removed and replaced. Tree removal for redeveloped sites is one inch replacement for each one inch removed per Section 156.09.
  - d. Bufferyards are required for parking that is adjacent to a right-of way (public street), private street, or adjacent use (non-residential use) per Section 153. 404 (G)(1), Table 404-1. Bufferyard requirements for parking or access drives adjacent to right-of- way, access drives, or adjacent non-residential use are 1 canopy tree per 35' (or 1 small/ornamental tree per 25') and 1 shrub per 3'.

The bufferyard shown does not meet this requirement. Bufferyards are required along Springfield Road, North property line, East property line and the South property line Boulevard (access drive). The following is a summary of the required and proposed bufferyard for West Chesterville Road.

#### Springfield Pike

The requirements for the 223' of parking bufferyard are 9 small trees (small trees because of overhead utilities) and 75 shrubs. Two trees (from the interior island plantings can be credited towards the bufferyard) and 38 shrubs are provided, therefore, an additional 7 trees and 37 shrubs are required.

#### North Property Line

The requirements for the 170' of parking bufferyard are 5 canopy trees and 57 shrubs. There are 0 trees and 11 shrubs provided. Existing development conditions do not make it feasible to install additional plant material because of the existing edge of pavement and existing concrete retaining wall, all proposed to remain. A variance would be required for this requirement.

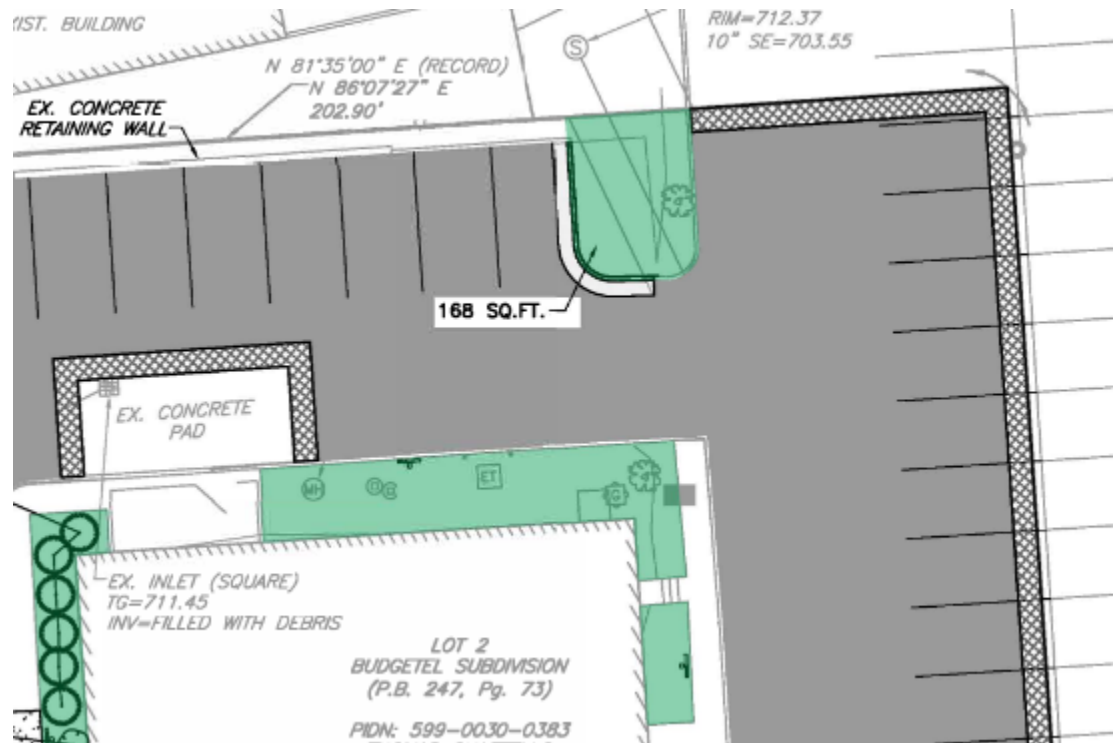
#### East Property Line

The requirements for 262' of parking bufferyard are 8 canopy trees and 88 shrubs. There are 0 trees and 0 shrubs provided. Existing site development conditions do not make it feasible to install plant material because of existing edge of pavement is proposed to remain. A variance would be required for this requirement.

#### South Property Line – Access Drive

The requirements for 125' of parking bufferyard are 4 canopy trees and 42 shrubs. Two trees and 17 shrubs are provided. An additional 2 trees and 25 shrubs must be added.

- e. Interior landscape areas are required for the parking area at 5 sq. ft. for each 100sq. ft.
- f. Interior landscape islands must meet the minimum plant material requirements (1 tree and 4 shrubs), per Section 153.404(C)(2). All proposed islands do not meet this requirement.
- g. Service structures must be screened a minimum of 1' higher than the service structure per Section 153.404(D). Provide information on height of existing enclosure.
- h. Add parking blocks to minimize encroachment on sidewalks and where plant material should be protected from vehicles pulling into parking spaces.
- i. Clearly identify ground treatment in areas not hatched for seed or sod. Landscape plan must clearly show limits of mulch beds.



Per Section 153.257(l)(3), the Planning Commission shall be authorized to enforce the standards within the CRD. If in any evaluation, the commission finds that any regulations, standards, or factors prescribed by the zoning code are inapplicable because of unusual conditions of the development area, or the nature and quality of the proposed design, the commission may allow an adjustment in such regulations, standards, or factors to be made. Special conditions may be required for the development, provided such adjustment or conditions shall not conflict with the promotion of the public health, safety, and general welfare of the city or the purpose and objectives of the CRD.

**Considerations**

If the Planning Commission chooses to approve this development plan, staff recommends the following considerations:

1. The lighting plan shall be revised to conform to the regulations in Section 153.351.
2. Grant a waiver from Section 153.257(E)(1)(b), which requires for at least 50% of the site coverage of any structure, a pitched residential roof form shall be required for buildings less than or equal to three stories.
3. Grant a waiver from Table 257-1, which requires a minimum green space amount of 25% in Subarea A of the Corridor Review District.

4. Show how any new mechanical units or similar facilities will be screened per the requirements of Section 153.404(D).
5. The sign plan shall be revised to conform to the regulations of Section 153.459.
6. Revise the landscape plan per the staff's comments and the requirements in Section 153.404.

Submitted By:

A handwritten signature in black ink, appearing to read "Elizabeth Fields". The signature is fluid and cursive, with a large loop at the end.

Liz Fields, AICP  
City Planner

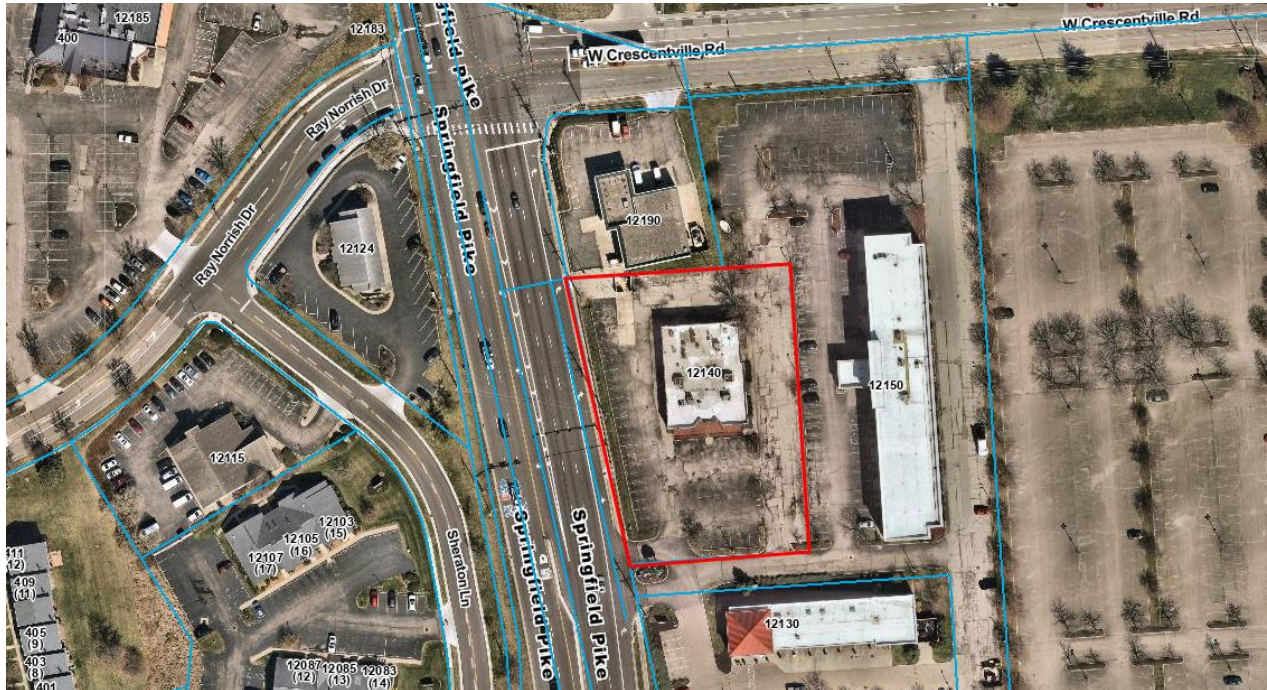
**BEYOND / HELLO- 12140 SPRINGFIELD PIKE**

**PLAN REVIEW PERMIT #20250684**

**25020101.02**

**MAY 21, 2025**

**PLANNING COMMISSION  
ENGINEERING REVIEW**



**PROJECT SITE (Parcel ID 059900300383)**

**REQUEST:** The Applicant is requesting plan approval for the conversion of a portion of an existing restaurant building into a cannabis dispensary and storage. A +/- 1,700 SF addition to the southern portion of the building is proposed along with other site and structure improvements.

A plan review for code compliance of the subject project has been completed. The following reports include items required by codes adopted by the City of Springdale that must be resolved before a building permit can be recommended to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

**A. LAND USAGE (Chapter 150)**

1. The Project site comprises 1.122 acres. The project site is located at the former Bargas Grill & Tap sit-down restaurant.
2. Per §150.12 of the City's regulations, the preliminary plan submission shall be revised to include the following items.

- a. The location by section, township, range, county, and state.
- b. Existing contours with intervals of not more than 5 feet where the slope is greater than 10%, and not more than 2 feet where the slope is less than 10%. Elevations shall be based on sea level datum.
- c. The entire land holding shall be shown as proposed for ultimate development, even though the development may be proposed in phases.
- d. Plan detailing post-construction stormwater best management practices to be constructed, including plan location and details, see Chapter 151, Storm Water Management.
- e. Building setback lines, show graphically along all streets with dimensions.

It should be noted that not all the sheets listed in the sheet table on Sheet C0000 was included in the May 21 , 2025 submission. The applicant shall submit a full plan set.

3. Per §150.13 of the City's regulations, streets shall conform substantially to the thoroughfare plan adopted by the planning commission and any revisions or amendments thereto. According to the City's February 1998 Thoroughfare Plan Map, Springfield Pike (SR 4) is classified as a Major Arterial. Per City regulations 150.13(O), the minimum right-of-way width for Springfield Pike is 100 feet, equal distance on each side of the center line, and shall be dedicated for public use on the record plat.
  - a. The submitted draft Alta Survey dated August 15, 2024, indicates that the existing right-of-way of E. Kemper Road varies (+/- 120' as measured on CAGIS) across the property frontage however the survey plat noted that the width of Springfield Pike is 104.1' from back of curb to back of curb. This is acceptable to Staff.
4. Per City's current Bike and Pedestrian Connectivity Plan (2022), this section of Springfield Pike (SR 4) is recommended to include an 8' wide sidewalk along the eastern (northbound) side. It should also be noted that multi-modal (bike, pedestrian, transit, etc.) connections are encouraged to be part of every development within the city in an effort to eliminate connectivity gaps for all users.
  - a. In 2024, The City of Springdale approved final development plans to redevelop the northeast cinema parking lot to include approximately six multi-family buildings and sixteen townhome buildings on the nearly 18-acre site. A shared-use path is proposed to be constructed along the site's W. Crescentville Road frontage as part of this redevelopment project as recommended by the Bike and Pedestrian Connectivity Plan.
  - b. Due to the right-of-way constraints (retaining wall and overhead sign and utility poles), the existing sidewalk may not be required to be widened along the site's frontage along Springfield Pike (subject to Planning Commission approval).
5. It is recommended that any of the existing pavement to remain with the redevelopment be assessed to determine if any areas of base and/or subgrade repairs are necessary prior to resurfacing.
6. With the proposed change in access, it may be difficult for trash trucks to service the dumpster with the enclosures' current position. It is recommended that trash and delivery truck circulation be evaluated as the drive isles appear to be narrow (not dimensioned).

**B. UTILITY PLANS**

1. Per City regulations §150.32, Greater Cincinnati Water Works (GCWW) shall be responsible for design, review, and inspection of all water mains. Hydrant type shall be approved by the City of Springdale Fire Department.
2. Per City regulations §150.33, Metropolitan Sewer District (MSD) shall be responsible for design, review, and inspection of all sanitary sewers.

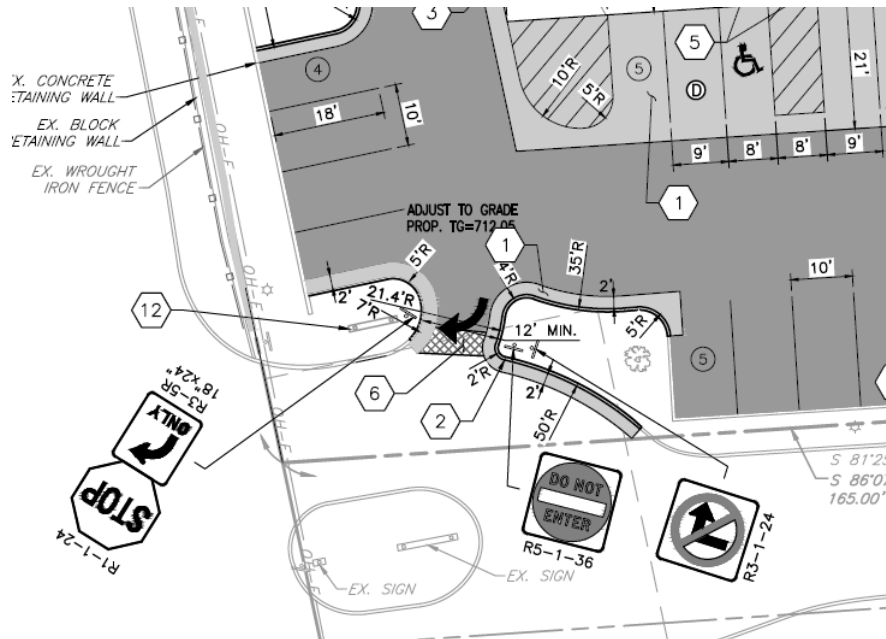
**C. TRAFFIC**

1. The site is currently accessed from Springfield Pike (SR 4) and W. Crescentville Road via a shared access road within the development to the south and east of the project site. Springfield Pike (SR 4) is functionally classified as a principal arterial road with eight lanes. W. Crescentville Road is functionally classified as a minor arterial with four lanes.
2. As previously noted, the site is located at the former Bargas Grill & Tap sit-down restaurant. The applicant shall provide a trip generation assessment or memo that compares the expected trip generations of the proposed use against the current/former restaurant use to determine if the proposed use is expected to produce more peak hour trips and if additional traffic analysis beyond the trip generation assessment is necessary.
  - a. The applicant has provided a letter dated May 20, 2025, that states that the dispensary will generate between 8-12 visits per hour on average and expects a steady stream of traffic. Staff does not feel that this information is sufficient assess the traffic impacts of the proposed development.
  - b. The applicant shall refer to ITE's Trip Generation Manual to complete the trip generation and peak hour traffic assessment of the proposed development for the full building. The trip generation assessment shall be completed by an engineer licensed to practice in the state of Ohio. The trip generation shall be consistent with the uses noted in the proposed floor plan dated May 20, 2025, as shown below.

PROJECT INFORMATION
---------------------

SEPARATED MIXED USE: EXISTING GROUP A-2 (UNOCCUPIED) AND NEW GROUP M ADULT-USE CANNABIS DISPENSARY EXISTING & NEW CONSTRUCTION TYPE: II-B PROPOSED ADDITION HEIGHT: 18'-0" ONE STORY; ALLOWABLE 2 STORIES TOTAL BUILDING AREA: 8,496 S.F.; ALLOWABLE 9,500 S.F. ADDITION AREA: 1,706 S.F. ESTIMATED COST OF CONSTRUCTION: \$1,400,000 PROPOSED CONSTRUCTION SCHEDULE: 16 WEEKS AFTER BUILDING PERMIT ISSUE
--

- c. An example trip generation memo for a previously approved planning application within the City of Springdale is attached to this review letter.
3. The entrance off the shared access drive located near the SR 4 intersection is proposed to be converted to an exit only by extending the landscaping island as shown below.



It is recommended that a stop bar be installed across the exit drive to supplement the proposed installations.

#### D. STORMWATER MANAGEMENT (Chapter 151)

1. Per §151.03(A), erosion control shall be practiced whenever a parcel is cleared, graded or otherwise disturbed by the movement of earth, regardless of exemptions outlined in § 151.02(B). The installation of the specific Storm Water Management Plan measures shall be accomplished in accordance with the standards and specifications contained in the City Regulations and the latest edition of the [Rainwater and Land Development Manual](#) or [ODOT Location and Design Manual - Volume 2 - Drainage Design](#).
2. Per §151.03(B)(4), no grading work will be permitted on the site until all OEPA and USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved by the City and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' [Rainwater and Land Development Manual](#) or ODOT Location and Design Manual - Volume 2 - Drainage Design. It should be noted that an Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit is not required for sites that include a disturbance area less than 1 acre.
  - a. The site plan shall be revised to include the area of disturbance.
3. Per City regulations 151.04(A)(1), Every Subdivision and land development shall be provided with a Storm Water Management System which is adequate to serve the area and meets the requirements of this chapter and other criteria of the City. Any unsubdivided parcel less than 1 AC. in size is exempt from the detention requirement per § 151.04(D) of these regulations.
  - a. The site's existing stormwater management system is not identified on the submitted site plan dated May 20, 2025. The applicant shall confirm that a stormwater management system currently exists for the site.

4. Per §151.04(B)(2)(a) of the City Regulations, a plan showing the total area contributing runoff to the Project Area being considered shall be submitted with the preliminary plans. This plan shall contain, but is not limited to, the following information:
  - a. A contour plan showing the outline of all areas outside the project area that contributes runoff to it;
  - b. Estimated runoff (Q) before and after development for terminal points along natural streams, proposed open channels, and other strategic points such as existing storm sewers or culverts;
  - c. Location of proposed Detention/Retention areas;
  - d. Location of all post-construction storm water quality best management practices.
  - e. Any other information required by the City to clarify intent.

This information was not provided with the applicant's submission. If the applicant is requesting preliminary plan approval at this time, then the applicant shall submit a revised site plan in accordance with §150.04(B)(2)(a) of the City's regulations.

5. Post construction water quality best management practices (BMP):
  - a. As per the City regulations 151.04(A)(4), sites that have been previously developed where no Post-Construction BMP's were installed are required to provide:
    - i. A 20 percent net reduction of the site's current impervious area, achieved by either the use of pervious pavement or removing the impervious surface.
    - ii. Treatment of at least 20 percent of the WQv.
    - iii. A combination of (a) and (b).

The submitted site plan dated May 20, 2025, does not indicate the existing (previous development) and proposed site impervious areas. It is expected that the proposed site impervious area will be reduced, and the amount of site runoff will be less than the existing condition so that no additional detention (if exists) is required. However, while stormwater quantity mitigation measures may not be necessary, storm water quality will need to be addressed. Installation of such practices as a hydrodynamic separator may be necessary to improve stormwater water quality.

- b. If necessary, per §151.04(A)(7), an Inspection and Maintenance Agreement shall be made between the property owner and the city ensuring that the Post-Construction Stormwater BMP(s) are inspected and properly maintained. An Inspection and Maintenance Agreement will need to be submitted for the proposed post construction water quality measures prior to issuance of the building permit and recorded as a covenant, prior to the Certificate of Occupancy being granted. A template of such an agreement has been upload into iWorQ.
- c. If necessary, a performance bond in the amount of the cost of the Storm Water Management Plan measures shall be required to be filed with the City Finance Director. This bond shall include post-construction best-management practices. Said performance bond shall authorize immediate payment to the City of Springdale upon certification by the City Administrator with the concurrence of the Planning Commission, that necessary emergency work must be done immediately to insure proper water management and sediment control as a result of the landowner's failure to complete or adhere to the approved Stormwater Management Plan as required by § 151.05(E).

November 23, 2020

Carl Lamping  
Springdale Building Department  
11700 Springfield Pike  
Springdale, Oh 45246

**Re: Traffic Memo for CFT Cincinnati**

Dear Carl Lamping,

BHC RHODES has been asked to review the traffic impact of a proposed development on the southwest corner of the intersection of E Kemper Rd and Century Blvd, in the Century Business Park, in Springdale, Ohio. The first phase of development includes a drive-thru Panda Express and an undeveloped building pad. The second phase will develop the building pad.

## EXISTING CONDITIONS

The existing site is a closed Habanero's sit-down restaurant at 925 E Kemper Rd. The land area of the site is 1.742 acres, and the Habanero's is 8,302 square feet (SF). There are two access points to the site. One is off Century Blvd where vehicles can head north or south. The other is off E Kemper Rd and is a right turn only, so vehicles must head east. Kemper Rd is a minor arterial road with eight lanes. Century Blvd is a two-lane local road which provides access to the various establishments south of Kemper. There are multiple points of highway access near the site. About a mile away, Princeton Pike provides access to I-275 east or west. From there, if vehicles head east on I-275, they may transfer to I-75 north or south. They can also access I-75 by taking Kemper Rd east to Chester Rd, then south to E Sharon Rd. Traffic count data from 2019 was obtained from the Ohio Department of Transportation. On Kemper Rd, 2,000 feet from the development site, the weekday AADT was 21,662 vehicles.



Figure 1: Project Location

## PROPOSED CONDITIONS

The proposed site is a Panda Express drive through with an undeveloped building pad. The Panda Express is 2,381 SF and the undeveloped building pad is 15,387 SF. The building pad is in the location of the existing Habanero's, though the area is reduced slightly in the proposed site plan, shown below in Figure 2. There are no proposed access changes or improvements to adjacent roads.

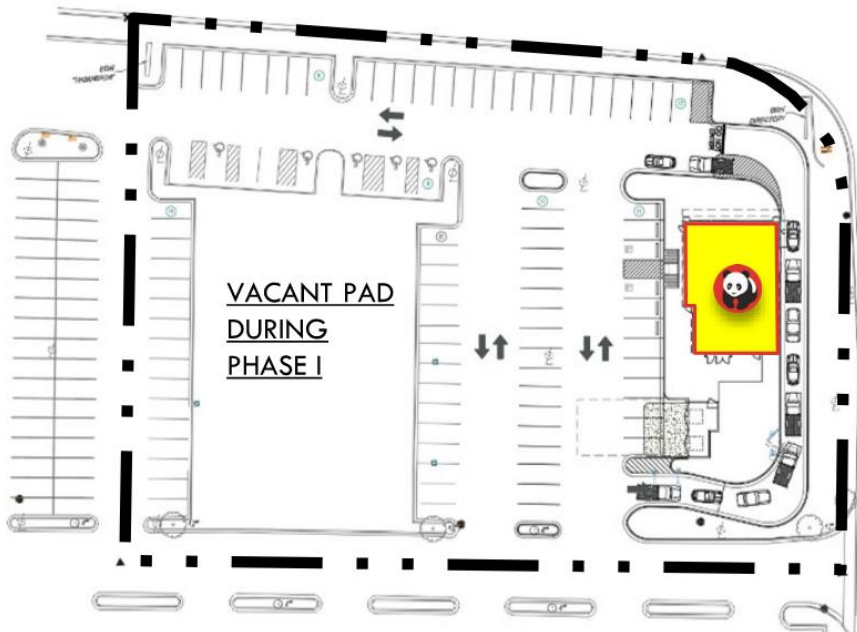


Figure 2: Proposed Site Layout

## FUTURE CONDITIONS

Future development will involve adding a new building to the vacant building pad. Future use has not been finalized. The building pad could accommodate a building footprint of approximately 8,000 SF (based off the size of the original Habanero's). To accurately predict future traffic impacts, multiple possibilities of future building usage are studied, including a 2700 SF fast-food restaurant, an 8000 SF sit-down restaurant, and an 8000 SF retail space.

## ITE TRIP GENERATION

A trip generation analysis was performed using the ITE TripGen web-based app. The 10<sup>th</sup> edition of the ITE Trip Generation Manual was used. The land use code of the existing site is 932 – High-Turnover (Sit-Down) Restaurant. The land use for the Panda Express is 934 – Fast-Food Restaurant with Drive-Through Window. For future development, land use codes 932, 934, and 820 – Shopping Center, are all used. Descriptions of these land uses can be found in the appendix. Since the existing and proposed restaurants do not operate during the AM peak hour, the PM peak hour and weekday total traffic volumes will be compared.

The number of trips generated may be seen in Table 1 for the PM peak hour and weekday total.

Table 1: Trip Generation								
Phase	Land Use	ITE Code	Area (SF)	Avg. Rate	Trips Generated			Trip Change
					Total	Enter	Exit	
PM Peak Hour								
Existing	High Turnover (Sit-Down) Restaurant	932	8302	9.77	81	50	31	
Proposed	Fast-Food Restaurant with Drive-Through Window	934	2381	32.67	78	40	38	-3
Future	Fast-Food Restaurant with Drive-Through Window	934	2700	32.67	88	46	42	+85
	High Turnover (Sit-Down) Restaurant	932	8000	9.77	78	48	30	+75
	Shopping Center	820	8000	3.81	30	14	16	+27
Weekday Total								
Existing	High Turnover (Sit-Down) Restaurant	932	8302	112.18	931	465	466	
Proposed	Fast-Food Restaurant with Drive-Through Window	934	2381	470.95	1121	560	561	+190
Future	Fast-Food Restaurant with Drive-Through Window	934	2700	470.95	1272	636	636	+1462
	High Turnover (Sit-Down) Restaurant	932	8000	112.18	897	448	449	+1087
	Shopping Center	820	8000	37.75	302	151	151	+492

## CONCLUSION

Table 1 shows the number of trips generated by the proposed Panda Express development, and three possible future developments. Of the three future land uses that were analyzed, the fast-food restaurant with a drive-through window generates the most trips. In the PM peak hour, there is an 85 vehicle increase between existing conditions and proposed + future development conditions. Because this is less than the City threshold of 100 trips, no traffic impact study is required for this development.

The maximum future weekday total traffic increase could be 1,462 vehicles. These vehicles will nearly all use Kemper Rd, which will increase the AADT from 21,662 to 23,124. This is a minor increase and does not warrant public improvements.

If there are any questions regarding this traffic memo, please contact me at your convenience at 913-663-1900 or [mark.sherfy@ibhc.com](mailto:mark.sherfy@ibhc.com).

Sincerely,

A handwritten signature in blue ink that reads "Mark Sherfy". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Mark Sherfy, PE, PTOE  
BHC RHODES



**CITY OF SPRINGDALE - BUILDING DEPARTMENT**  
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246  
 PHONE: 513-346-5730 FAX: 513-346-5747  
 WEBSITE: [www.springdale.org/building-department.aspx](http://www.springdale.org/building-department.aspx)  
 EMAIL: [Building@Springdale.org](mailto:Building@Springdale.org)

Application Number

**PLANNING/ZONING APPLICATION**

**Project Name:** Beyond Hello Dispensary  
 (Please provide a common name to describe this project)

**Total Area/Development:** 1.12 Acres  
 (Provide a list of All Parcels associated with Project)

**Project Location:** 12140 Springfield Pike  
 (Street No.) (Street Name)

Springdale, Ohio 45246  
 (Springdale, Ohio) (Zip Code)

**Area of this Parcel:** 1.12 Acres **Parcel ID:** 059900300383  
 (From Auditor's Website; Use additional sheets for all associated Parcel Numbers)

**Property Owner:** 12140 SPRINGFIELD PIKE, LLC  
 (Name From Auditor's Website)

513-260-5838  
 (Daytime Phone Number)

626 OLD STATE ROUTE 74, SUITE A, CINCINNATI, OH 45244  
 (Mailing Address: Street No; Street Name, City, State, Zip)

grp32llc@gmail.com  
 (E-mail Address)

**Note:** Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

**OWNER'S AFFIDAVIT**

STATE OF OHIO, COUNTY OF HAMILTON

I (we) \_\_\_\_\_, hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on my/our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of my/our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.

Nickolas [Signature]  
 Signature

626 Old State Route 74, Suite A  
 Mailing Address

Cincinnati OH 45244  
 City and State

(513) 260-5838  
 Phone

Subscribed and sworn to before

me this 20 day of May, 2025

[Signature]

Notary Public



Nora J. Lewin  
 Notary Public - State of Ohio  
 My Commission Expires 3/3/28



CITY OF SPRINGDALE - BUILDING DEPARTMENT

11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246

PHONE: 513-346-5730 FAX: 513-346-5747

WEBSITE: www.springdale.org/building-department.aspx

EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Beyond Hello Dispensary
(Please provide a common name to describe this project)

Area of Development: 1.12 Acres
(Provide a list of All Parcels associated with Project)

Project Location: 12140 Springfield Pike
(Street No.) (Street Name)

Springdale, Ohio 45246
(Springdale, Ohio) (Zip Code)

Applicant: JREHOH, LLC
(Name)

215-444-3209
(Daytime Phone Number)

301 Yamato Road, Suite 3250, Boca Raton, FL 33431
(Mailing Address: Street No; Street Name, City, State, Zip)

jcarey@jushico.com
(E-mail Address)

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at:
https://www.springdale.org/building-department.aspx

Major Project:
Application process requires a Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council.
Include Major Projects Submission Requirements
Document with this Application
Project Types include the following: (Pick 1 Below)

Minor Project:
Application process requires a Meeting and a Decision by Planning Commission.
Include Minor Project Submission Requirements
Document with this Application
Project Types include the following: (Pick 1 Below)

BZA Hearing:
Application process requires a Public Hearing and a Decision by the Board of Zoning Appeals.
Include BZA Submission Requirements document
Project Types: (Pick 1 Below)

Zoning Text or Map Amendments
Describe Zone Change and Total (Net) Acres Below
Section 153.202

- Concept Plan (Hearing by PC/ No Decision)
Development Plan Section 153.203
Conditional Use Permits Section 153.204
Determination of Similar Uses Sec 153.205

Variance Section 153.206

Planned Unit Development (PUD):
Preliminary Development Plan Sec 153.255(F)(1)
Major Modification Section 153.255 (H)(1)

Planned Unit Development (PUD):
Final Development Plan Section 153.255(F)(5)
Minor Modification Section 153.255 (H)(2)

Appeal Section 153.208

Transition Overlay District (T-District):
Preliminary Development Plan Sec 153.256(F)(1)
Major Modification Section 153.256 (G)(1)

Transition Overlay District (T-District):
Final Development Plan Sect. 153.256 (F)(5)
Minor Modification Section 153.256 (G)(2)

Route 4 Corridor Review District Plan
All new exterior work on properties in the Rt 4 Corridor required to be Approved. Sec 153.257(I)

BRIEFLY DESCRIBE PROJECT:

Partial re-use of existing (A-2) restaurant building as an adult cannabis dispensary (M) including approximately 1,700 S.F. addition. Re-classify building as a Separated Mixed Use A-2/M.

Reconfigure and re-surface parking lot and reconfigure the West parking lot entrance to be exit-only.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

(12/16/2020) [Signature]
(Signature of Owner/Agent)

Nikolas Grammas
(Print Name)

5-20-25
(Date)

# •Jushi

## Our Vision

To create an integrated global community of wellness, mindfulness, and connections through superior retail experiences and products



# *Beyond Hello*

CANNABIS DISPENSARY

## **TABLE OF CONTENTS**

PROJECT INFORMATION AND DESIGN GUIDELINES  
EXISTING BUILDING SITE  
NEW PROPOSED BUILDING OVERLAY  
MATERIAL BOARD

## **RENDERS**

EXTERIOR BUILDING ELEVATION  
EXTERIOR BUILDING PERSPECTIVE 1  
EXTERIOR BUILDING PERSPECTIVE 2  
EXTERIOR BUILDING PERSPECTIVE 3  
EXTERIOR BUILDING PERSPECTIVE 4  
EXTERIOR BUILDING PERSPECTIVE 5

**PROJECT INFORMATION**

PROPOSED USE: CANNABIS DISPENSARY  
EXISTING BUILDING PROJECT WORK AREA:  
ALTERATION LEVEL 2

CHANGE OF OCCUPANCY CLASSIFICATION:  
SEPARATED MIXED-USE EXISTING  
ASSEMBLY (A2) AND NEW MERCANTILE (M).

HAZARD CATEGORY: EXISTING LEVEL 3 /  
PROPOSED LEVEL 3  
DISPENSARY GROSS AREA: 3,137 S.F.  
ADDITION GROSS AREA: 1,707 S.F

BUILDING SETBACK: COMPLIANT

**ROUTE 4 CORRIDOR DESIGN GUIDELINES**

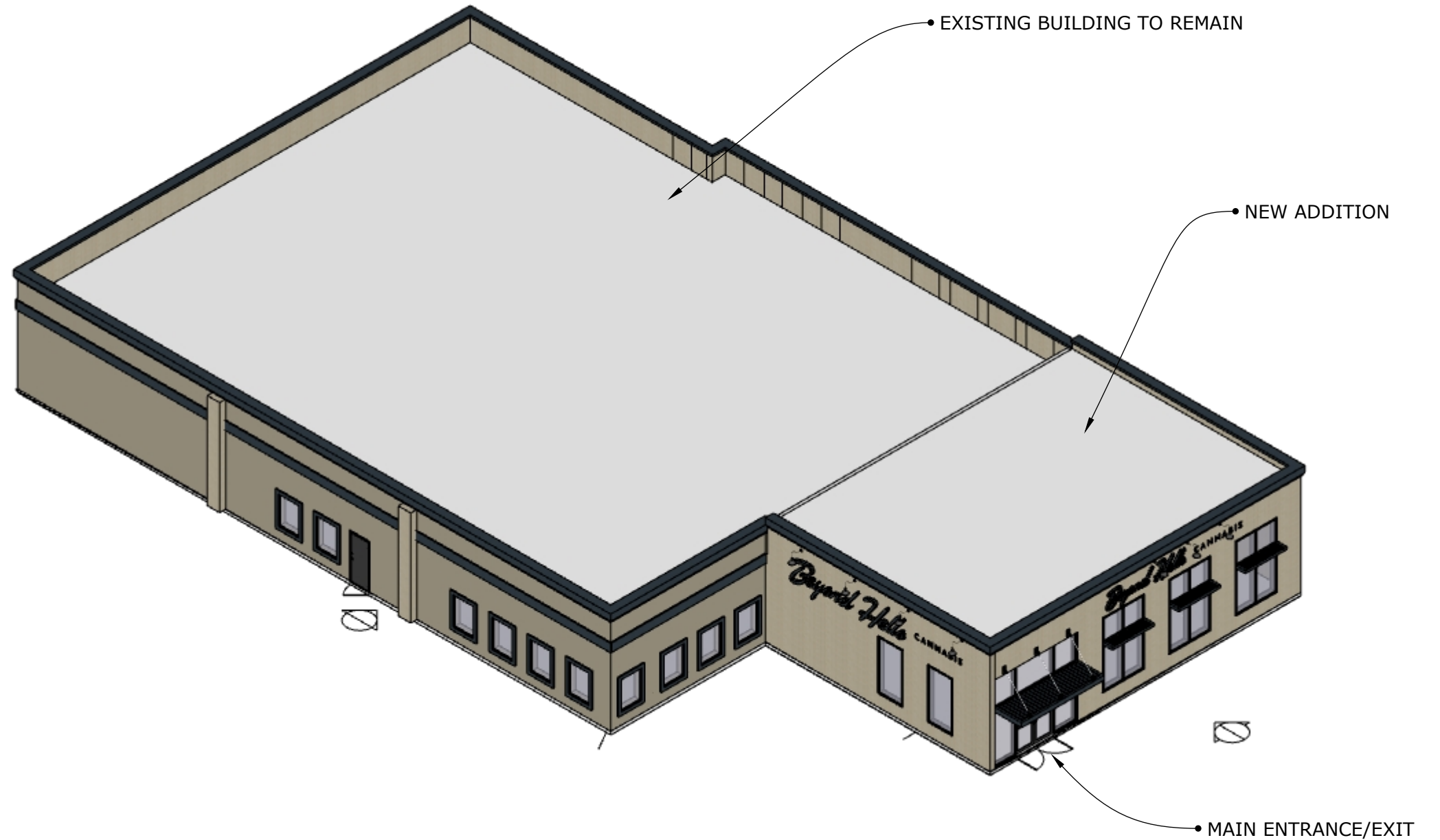
BUILDING MATERIALS: ADDITION IS INTENDED TO  
COMPLEMENT THE EXISTING BUILDING FAÇADE  
SURFACE TEXTURE AND DETAIL.

PROPOSED:  
RECOMMENDED STONE/ MASONRY MATERIALS  
ARE NOT COMPATIBLE WITH EXISTING BUILDING  
MATERIALS AND FORM  
NEW ADDITION FULL HEIGHT MASONRY VENEER PANELS.  
PAINTED EARTH TONE COLORS TBD

MAXIMUM PERMITTED ACCENT COLOR COVERAGE 10% OF  
FAÇADE AREA, THIS SCHEME PROPOSES ADDITIONAL TRIM TO ADD  
INTEREST TO THE EXISTING BUILDING

FENESTRATION MINIMUM 35% OF FAÇADE AREA,  
PROPOSED +/- 38%

BUILDING SIGNAGE COMPLIANT WITH ZONING  
CODE SIGN REGULATIONS



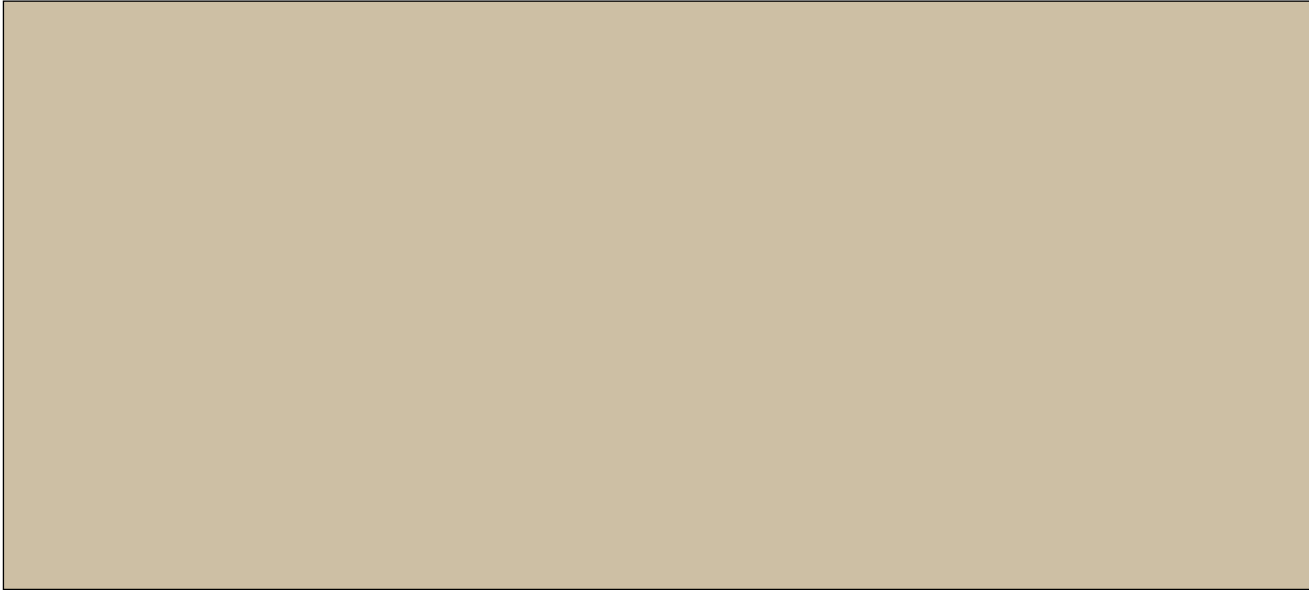
BIRDS EYE VIEW OF PROPOSED BUILDING ADDITION



EXISTING BUILDING SITE

**MATERIAL BOARD**

EARTH TONE PAINT COLOR TO MATCH NEW BRICK VENEER



BRICK VENEER IN EARTH TONE COLOR - TBD



JUSHI BRAND COLOR POLO BLUE - ACCENT COLOR

**Polo Blue**  
2062-10  
An almost-black shade of navy that brings a sophisticated, assured quality to any space.  
LRV <sup>Ⓢ</sup>  
5.67

EXISTING EIFS TO BE PAINTED IN MATCHING EARTH TONE BRICK VENEER COLOR (SEE OPT2 FOR VISUAL REFERENCE)





RENDER IS A VISUAL REPRESENTATION TO ILLUSTRATE THE DESIGN CONCEPT FOR THE FUTURE ADDITION TO AN EXISTING BUILDING SPACE.

PAINT EXISTING COPING POLO BLUE

PAINT EXISTING BUILDING BAND POLO BLUE

EXISTING BUILDING SURFACE TO BE PAINTED IN EARTH TONE COLORS TO MATCH BRICK VENEER PANEL TBD

PAINT EXISTING WINDOW TRIM POLO BLUE (TYP. OF ALL EXISTING WINDOW TRIM)

NEW COPING TO BE PAINTED POLO BLUE

TOP TO BOTTOM BRICK VENEER FINISH

**NORTH ELEVATION**



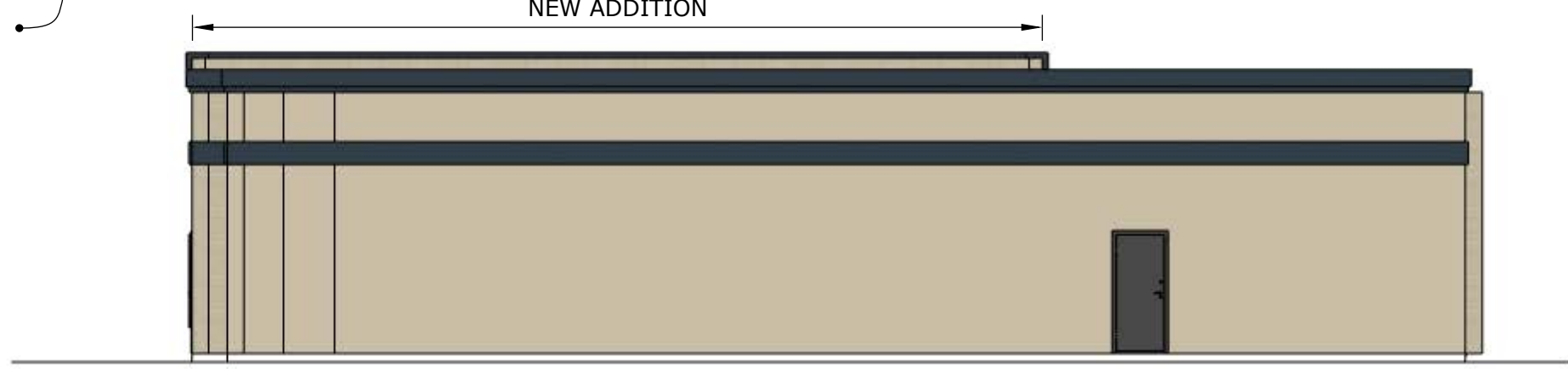
**EAST ELEVATION**



**WEST ELEVATION**



**SOUTH ELEVATION**





EXTERIOR BUILDING PERSPECTIVE 1

RENDER IS A VISUAL REPRESENTATION TO ILLUSTRATE THE DESIGN CONCEPT FOR THE FUTURE ADDITION TO AN EXISTING BUILDING SPACE AND MAY NOT BE AND EXACT REPRESENTATION OF THE SURROUNDING ENVIRONMENT.



EXTERIOR BUILDING PERSPECTIVE 2

RENDER IS A VISUAL REPRESENTATION TO ILLUSTRATE THE DESIGN CONCEPT FOR THE FUTURE ADDITION TO AN EXISTING BUILDING SPACE AND MAY NOT BE AND EXACT REPRESENTATION OF THE SURROUNDING ENVIRONMENT.



EXTERIOR BUILDING PERSPECTIVE 3

RENDER IS A VISUAL REPRESENTATION TO ILLUSTRATE THE DESIGN CONCEPT FOR THE FUTURE ADDITION TO AN EXISTING BUILDING SPACE AND MAY NOT BE AND EXACT REPRESENTATION OF THE SURROUNDING ENVIRONMENT.



EXTERIOR BUILDING PERSPECTIVE 4

RENDER IS A VISUAL REPRESENTATION TO ILLUSTRATE THE DESIGN CONCEPT FOR THE FUTURE ADDITION TO AN EXISTING BUILDING SPACE AND MAY NOT BE AND EXACT REPRESENTATION OF THE SURROUNDING ENVIRONMENT.



EXTERIOR BUILDING PERSPECTIVE 5

RENDER IS A VISUAL REPRESENTATION TO ILLUSTRATE THE DESIGN CONCEPT FOR THE FUTURE ADDITION TO AN EXISTING BUILDING SPACE AND MAY NOT BE AND EXACT REPRESENTATION OF THE SURROUNDING ENVIRONMENT.



# Beyond Hello

ES13387  
BEYOND HELLO

12140 SPRINGFIELD PIKE  
SPRINGDALE OH





**EZZI SIGNS**  
EST. 2005

16611 West Little York Rd  
Houston, Texas 77084

[EZZISIGNS.COM](http://EZZISIGNS.COM)  
713-232-0771

**PROJECT:**  
BEYONDHELLO

**ADDRESS:**  
12140 SPRINGFIELD PIKE  
SPRINGDALE OH

**DATE:** 03/28/2025

**PROJECT NUMBER:**  
ES13387

**DESIGNER:**  
CHRISTIN R.

**REVISIONS**  
R1: 04/19/25  
DESIGN UPDATE  
R2:

R3:

**APPROVALS / DATE**

**CLIENT:**

**LANDLORD:**



Ⓛ Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

All conceptual renderings are property of Ezzi Signs. Any reproduction, exhibition or use of this drawing is strictly prohibited  
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**SCOPE OF WORK**

1. FABRICATE AND INSTALL - ILLUMINATED CHANNEL LETTERS, RACEWAY MOUNT

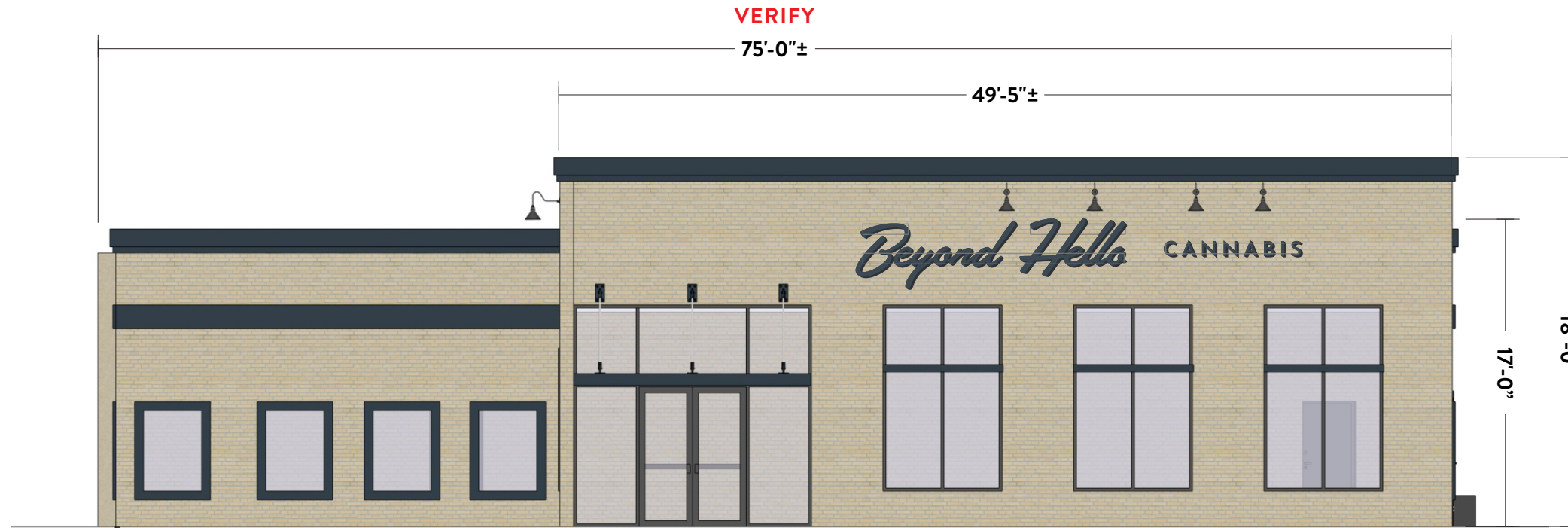
Survey Required



QTY: 1

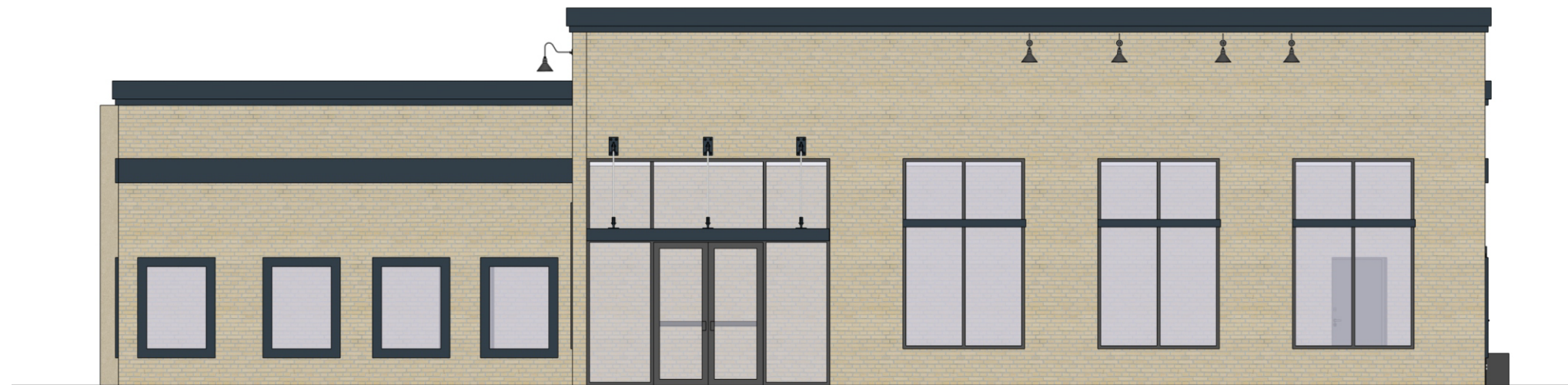


16611 West Little York Rd  
Houston, Texas 77084  
EZZISIGNS.COM  
713-232-0771



**PROPOSED ELEVATION - SOUTH**

SCALE: 1/8" = 1' - 0"



**EXISTING ELEVATION - SOUTH**

SCALE: 1/8" = 1' - 0"

**PROJECT:**  
BEYONDHELLO

**ADDRESS:**  
12140 SPRINGFIELD PIKE  
SPRINGDALE OH

**DATE:** 03/28/2025

**PROJECT NUMBER:**  
ES13387

**DESIGNER:**  
CHRISTIN R.

**REVISIONS**  
R1: 04/19/25  
DESIGN UPDATE  
R2:

R3:

**APPROVALS / DATE**

**CLIENT:**

**LANDLORD:**



Ⓛ Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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**SCOPE OF WORK**

1. FABRICATE AND INSTALL - ILLUMINATED CHANNEL LETTERS, RACEWAY MOUNT

Survey Required

A2

QTY: 1



16611 West Little York Rd  
Houston, Texas 77084

EZZISIGNS.COM  
713-232-0771

**PROJECT:**  
BEYONDHELLO

**ADDRESS:**  
12140 SPRINGFIELD PIKE  
SPRINGDALE OH

**DATE:** 03/28/2025

**PROJECT NUMBER:**  
ES13387

**DESIGNER:**  
CHRISTIN R.

**REVISIONS**  
R1: 04/19/25  
DESIGN UPDATE  
R2:

R3:

**APPROVALS / DATE**

**CLIENT:**

**LANDLORD:**



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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VERIFY

129'-7"±

35'-6"±

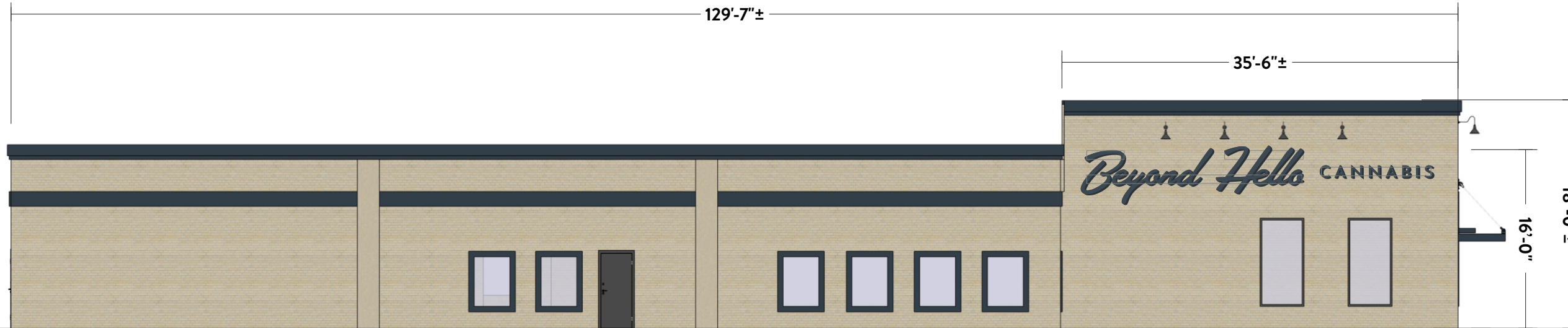
18'-0"±

16'-0"

Beyond Hello CANNABIS

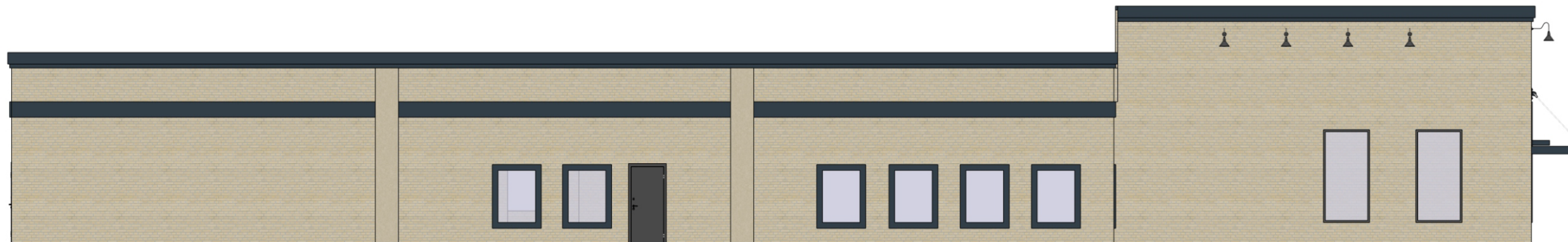
**PROPOSED ELEVATION**

SCALE: 3/32" = 1' - 0"



**EXISTING ELEVATION**

SCALE: 3/32" = 1' - 0"



**SCOPE OF WORK**

1. FABRICATE AND INSTALL - ILLUMINATED CHANNEL LETTERS, RACEWAY MOUNT

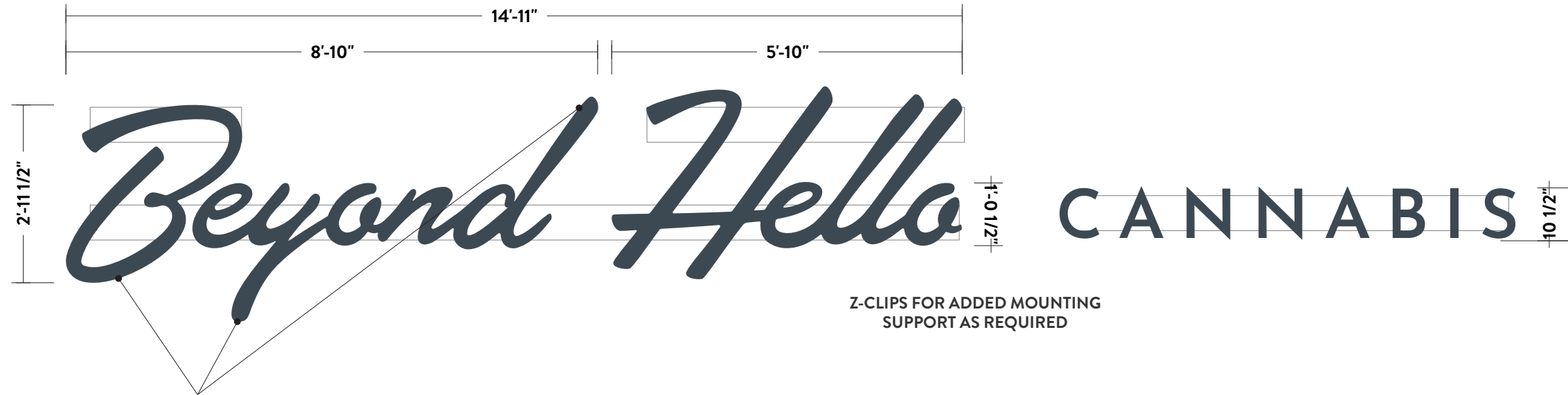
Survey Required



QTY : 2  
65.26 SQ FT



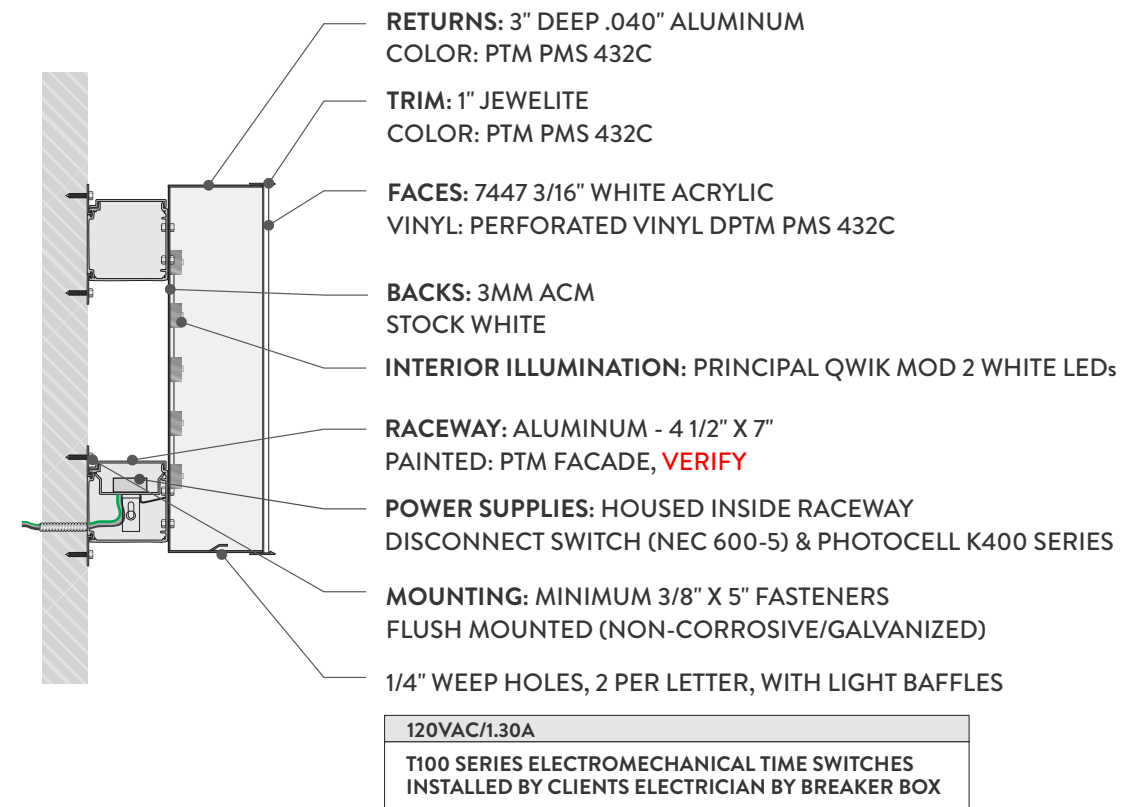
16611 West Little York Rd  
Houston, Texas 77084  
EZZISIGNS.COM  
713-232-0771



Z-CLIPS FOR ADDED MOUNTING  
SUPPORT AS REQUIRED

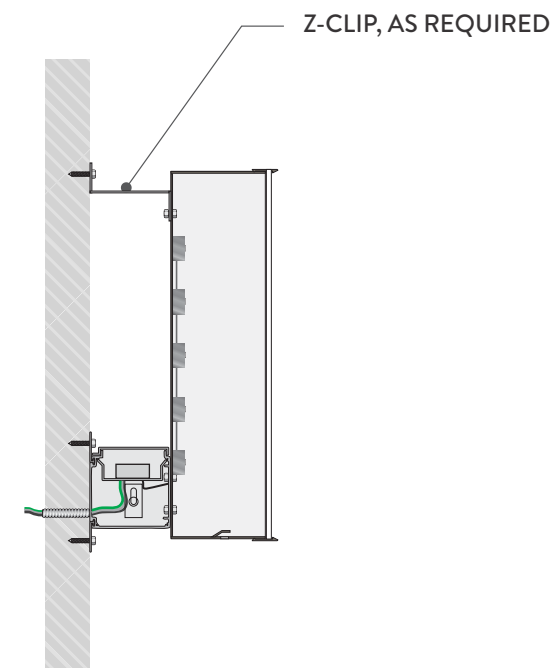
**DESIGN**

SCALE: 1/2" = 1' - 0"



120VAC/1.30A  
T100 SERIES ELECTROMECHANICAL TIME SWITCHES  
INSTALLED BY CLIENTS ELECTRICIAN BY BREAKER BOX

CHANNEL LETTERS on RACEWAYS - TYPICAL DETAIL  
SCALE: NTS



Z-CLIP - TYPICAL DETAIL  
SCALE: NTS

PROJECT:  
BEYONDHELLO

ADDRESS:  
12140 SPRINGFIELD PIKE  
SPRINGDALE OH

DATE: 03/28/2025

PROJECT NUMBER:  
ES13387

DESIGNER:  
CHRISTIN R.

REVISIONS  
R1: 04/19/25  
DESIGN UPDATE  
R2:

R3:

APPROVALS / DATE

CLIENT:

LANDLORD:



UL Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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**SCOPE OF WORK**

1. FABRICATE AND INSTALL - NEW D/F, POLE SIGN WITH ILLUMINATED CABINET & EMC UNIT

**Survey Required**



QTY: 1

121 SQ FT



**EZZI SIGNS**

EST. 2005

16611 West Little York Rd  
Houston, Texas 77084

[EZZISIGNS.COM](http://EZZISIGNS.COM)  
713-232-0771

**PROJECT:**  
BEYONDHELLO

**ADDRESS:**  
12140 SPRINGFIELD PIKE  
SPRINGDALE OH

**DATE:** 03/28/2025

**PROJECT NUMBER:**  
ES13387

**DESIGNER:**  
CHRISTIN R.

**REVISIONS**  
R1: 04/19/25  
DESIGN UPDATE  
R2:

R3:

**APPROVALS / DATE**

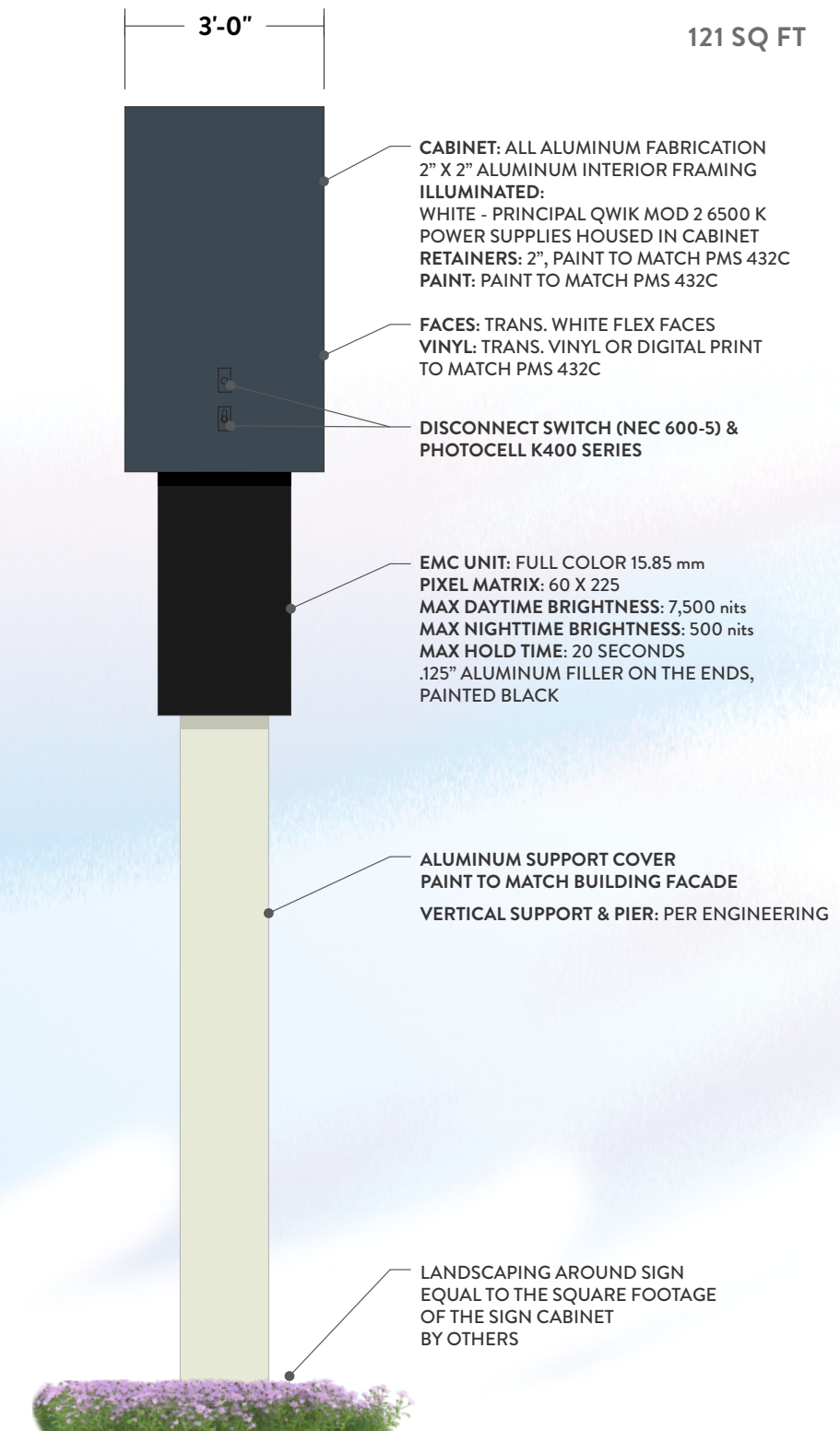
**CLIENT:**

**LANDLORD:**



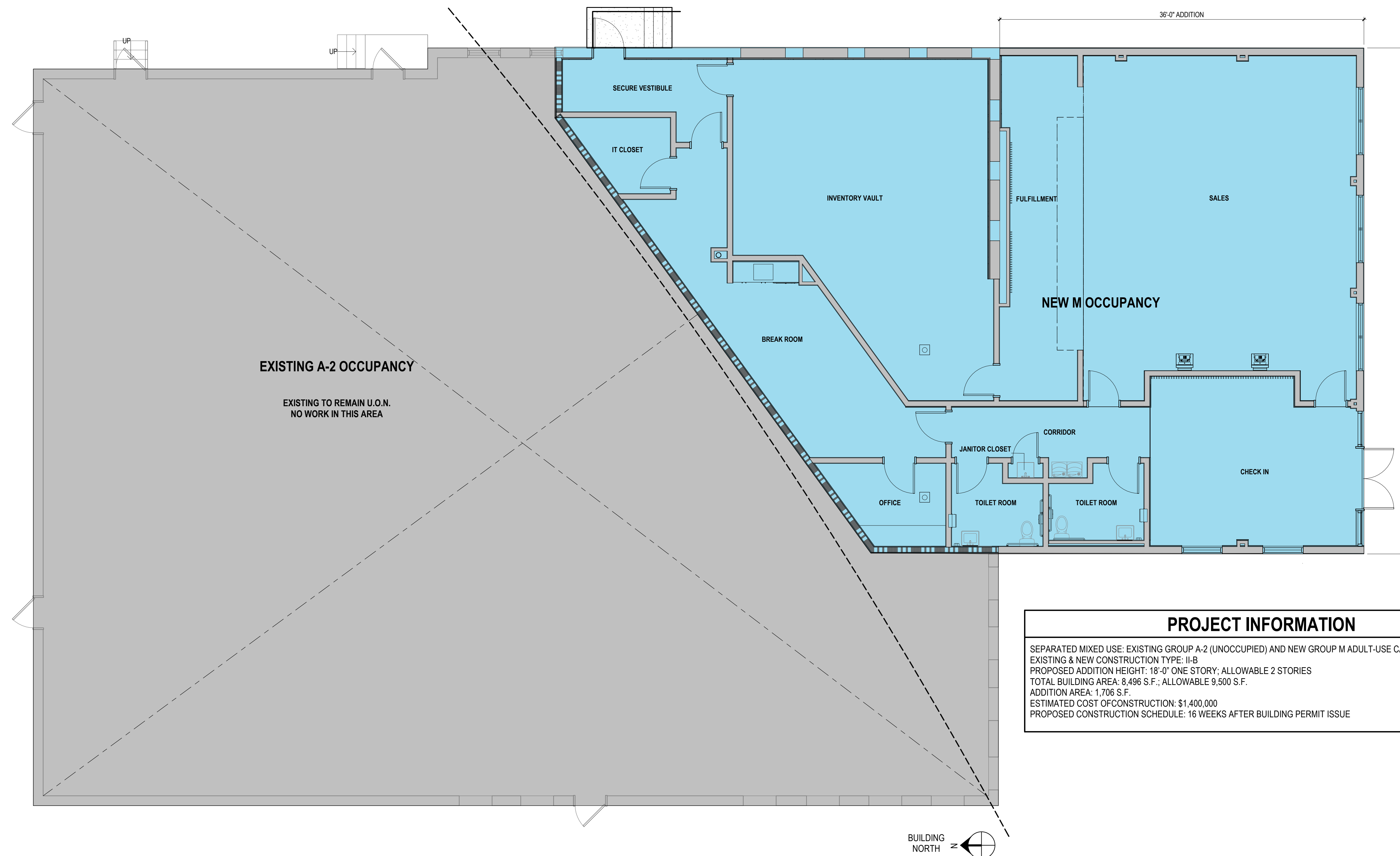
**UL** Installation requirements. This sign is to be installed in accordance with the requirements of article 600 of the national electrical code and other applicable local codes. This includes proper grounding and bonding. The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

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**DESIGN**

SCALE: 3/8" = 1' - 0"



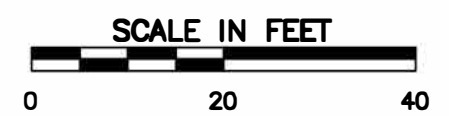
PROJECT INFORMATION
SEPARATED MIXED USE: EXISTING GROUP A-2 (UNOCCUPIED) AND NEW GROUP M ADULT-USE CANNABIS DISPENSARY
EXISTING & NEW CONSTRUCTION TYPE: II-B
PROPOSED ADDITION HEIGHT: 18'-0" ONE STORY; ALLOWABLE 2 STORIES
TOTAL BUILDING AREA: 8,496 S.F.; ALLOWABLE 9,500 S.F.
ADDITION AREA: 1,706 S.F.
ESTIMATED COST OF CONSTRUCTION: \$1,400,000
PROPOSED CONSTRUCTION SCHEDULE: 16 WEEKS AFTER BUILDING PERMIT ISSUE



- GENERAL LANDSCAPE NOTES:**
1. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
  2. CONTRACTOR SHALL REQUEST UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF WORK. VERIFY ALL EXISTING UTILITIES AND CONDITIONS PRIOR TO ANY EXCAVATION AT LEAST 72 HOURS PRIOR TO LANDSCAPE INSTALLATION.
  3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
  4. CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT/RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
  5. NO CHANGES TO THE SITE LANDSCAPE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
  6. CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. PLANT MATERIAL DELIVERED TO SITE SHALL BE STORED IN SECURE LOCATION NOT IN CONFLICT WITH OTHER CONSTRUCTION OPERATIONS AND MAINTAINED UNTIL TIME OF INSTALLATION.
  7. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN ASSOCIATION OF NURSERY STOCK, ANSI Z60.1-2004\*, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  8. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
  9. ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED AT GRADE LEVEL.
  10. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN SHALL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE OR SHRUB.
  11. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
  12. CONTRACTOR TO REMOVE ALL LANDSCAPE DEBRIS FROM PLANTING OPERATIONS FROM THE PROJECT SITE. NO OPEN BURNING SHALL BE PERMITTED ON SITE.
  13. THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED AND PLANTING BEDLINE OUTLINES DEFINED FOR APPROVAL BY OWNER(S).
  14. THE LANDSCAPE CONTRACTOR SHALL REFER TO CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  15. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE (1) CALENDAR YEAR FROM THE TIME OF SUBSTANTIAL COMPLETION OF PROJECT. AT THE END OF THIS PERIOD, ANY PLANT MATERIAL DEEMED UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL COST TO OWNER.
  16. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT SCHEDULE, THE PLANS SHALL TAKE PRECEDENCE.
  17. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
  18. STAKES AND OR GUY WIRES SHALL BE REMOVED AFTER ONE (1) YEAR OF INSTALLATION.
  19. ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT, WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO OWNER.
  20. IF PLANT SPECIES SPECIFIED ARE FOUND TO BE UNAVAILABLE OR NOT IN SUFFICIENT QUANTITIES AT TIME OF PLANTING, THE CONTRACTOR MAY SUBSTITUTE SPECIES UPON WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
  21. LANDSCAPING SHALL BE SUBSTANTIALLY INSTALLED PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT FOR THE PRINCIPAL STRUCTURE ON LOT, WEATHER PERMITTING, OR, IN THE EVENT OF ADVERSE WEATHER CONDITIONS, WITHIN NINETY (90) DAYS FOLLOWING THE COMMENCEMENT OF THE NEXT SUCCESSIVE PLANTING SEASON FOLLOWING ISSUANCE OF OCCUPANCY PERMIT.
  22. ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEED REMOVAL, MULCHING, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF PLANTINGS AND TURF AREAS.

- PLANTING SOIL PREPARATION NOTES:**
1. BEFORE MIXING, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
  2. MIX SOIL AMENDMENTS AS SPECIFIED ON PLANTING DETAILS. MIX FERTILIZERS WITH TOPSOIL AT DELAYS INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS.
  3. FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE.  
PROVIDE SPECIFIED FERTILIZER AT A RATE OF:  
SHADE TREE: 2 POUNDS PER INCH OF CALIPER  
SMALL TREE: 1 POUND PER INCH OF CALIPER
  4. FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.  
APPLY SPECIFIED COMMERCIAL FERTILIZER AT RATES AND THOROUGHLY MIX INTO UPPER 2" OF TOPSOIL. PROVIDE SPECIFIED FERTILIZER AT THE FOLLOWING RATES:  
SHRUBS: 1/4 POUND PER FOOT HEIGHT OR SPREAD  
EVERGREENS: 1/8 POUND PER FOOT HEIGHT OR SPREAD  
HERBACEOUS PLANTS: 1/8 POUND PER PLANT.
  5. FOR PARKING LOT ISLANDS EXCAVATE MIN. 24" DEPTH TO REMOVE ALL CONSTRUCTION DEBRIS. BACKFILL WITH BLENDED MIX OF 60% TOPSOIL, 30% COMPOST AND 10% SAND MIX. COMPACT BACKFILL IN 6" LIFTS TO PREVENT SETTLING AFTER PLANT INSTALLATION.
  6. GROUNDCOVER AND PERENNIAL PLANT BED PREPARATION: TILL SOIL IN BEDS TO A MINIMUM DEPTH OF 8" AND MIX WITH SPECIFIED FERTILIZERS. USED FERTILIZER AT A RATE OF 2 POUNDS PER 100 SQ.FT.
  7. FINAL GRADING AND PLACEMENT OF TOPSOIL FOR TURF & PLANTING AREAS:  
A. LOOSEN SUBGRADE AND TURF AREAS TO A MINIMUM DEPTH OF 4"- 6". REMOVE STONES MEASURING OVER 1-1/2" IN ANY DIMENSION. REMOVE STICKS, ROOTS, RUBBISH AND OTHER EXTRANEUS MATTER. LIMIT PREPARATION TO AREAS WHICH WILL BE PLANTED PROMPTLY AFTER PREPARATION.  
B. SPREAD TOPSOIL TO MINIMUM DEPTH REQUIRED TO MEET LIMBS, GRADES, AND ELEVATIONS SHOWN, AFTER LIGHT ROLLING AND NATURAL SETTLEMENT.  
C. MINIMUM DEPTH OF TOPSOIL SHALL BE 4" UNLESS OTHERWISE INDICATED. IN TREE AND SHRUB PLANTING AREAS THERE SHALL BE 18"-24" TOPSOIL AROUND THE PLANT, AT LEAST IN AN AREA EQUAL TO THE PLANT'S MATURE CANOPY SIZE.  
D. PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF TOPSOIL REQUIRED. WORK INTO REMAINING OF TOPSOIL.  
E. ALL TURF AREAS ADJACENT TO WALKS, CONTRACTOR TO HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION.  
F. AREAS ADJACENT TO STRUCTURES AND CURB ISLANDS, SHALL BE FREE OF GRAVEL AND DEBRIS. LOOSE COMPACTED HARDPAN- MIN. DEPTH OF 18" BEFORE PLACEMENT OF TOPSOIL.

DEVELOPMENT REVIEW  
MAY 20, 2025  
NOT FOR CONSTRUCTION



NOTE: THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND SHALL CONTACT THE OHIO UTILITIES PROTECTION SERVICE A MINIMUM OF 2 WORKING DAYS AND NO MORE THAN 10 WORKING DAYS PRIOR TO DIGGING AT 8-1-1 OR 1-800-362-2764. NOTE THAT NOT ALL UTILITIES ARE MEMBERS, THEY WILL HAVE TO BE CALLED DIRECTLY. NO EXCAVATION SHALL COMMENCE UNTIL ALL UTILITIES HAVE BEEN LOCATED.

NOTE: PRIOR TO ANY EXCAVATION FOR PROPOSED UNDERGROUND UTILITIES, THE CONTRACTOR SHALL EXPOSE AND VERIFY THE LOCATIONS (HORIZONTAL AND VERTICAL) OF ALL EXISTING UTILITIES IN THE PROJECT AREA. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER AND THE APPROPRIATE UTILITY COMPANY.

**REFERENCE**

1. TOPOGRAPHIC SURVEY IS BASED ON A FIELD SURVEY PERFORMED BY CIVIL & ENVIRONMENTAL CONSULTANTS, INC. IN MARCH 2025.



NO.	DATE	REVISION RECORD	DESCRIPTION

10300 Alliance Road  
Suite 300  
Cincinnati, OH 45242  
Ph: 513.985.0226  
www.cecinco.com

**C&E**  
Civil & Environmental  
Consultants, Inc.

**BEYOND HELLO DISPENSARY  
BUILDING ADDITION  
12140 SPRINGDALE PIKE  
SPRINGDALE, OH 45246**

LANDSCAPE PLAN	
DATE:	YOR
DRAWN BY:	REL
CHECKED BY:	361-052
PROJECT NO:	BMB
APPROVED BY:	
DRAWING NO.:	<b>C700</b>





May 20, 2025

City of Springdale  
Planning Commission  
11700 Springfield Pike  
Springdale, OH 45256

RE: 12140 Springfield Pike Springdale, OH 45256

Dear Planning Commission,

Beyond Hello is a current Dispensary Operator in the State of Ohio. Jushi has been granted a license from the Ohio Division of Cannabis Control to operate an adult use at 12140 Springfield Pike Springdale, OH 45256. We feel this former restaurant property is ideal for our use given its size, accessibility, ample parking and multiple lanes of egress. We estimate that a dispensary located here will generate between 8-12 visits per hour on average. With enough parking to serve those interested in entering our sales floor, we expect a steady stream of consistent traffic, free from any bottlenecks or congestion. Those wishing for a more expedited experience can place an online pre-order for pick up and most often be in and out of the dispensary in under 3 minutes. We believe a traditional retail location with proper ingress and egress, on a trafficked and well-lit commercial corridor that is close to several highway access points, makes good sense when considering: the safety of our employees and customers and the general economic development that will benefit the community at large. We look forward to beginning construction

Sincerely,

A handwritten signature in black ink that reads "Justin Carey". The signature is written in a cursive, flowing style.

Justin Carey  
Sr. Vice President of Real Estate

Please indicate, to the best of your knowledge, whether any of the following apply to the Landlord entity or ownership group of the above leased space.

An **“Immediate Family Member”** means a husband or wife; a birth or adoptive parent, child or sibling; a stepparent, stepchild, stepbrother, or stepsister; a father-in-law, mother-in-law, son-in-law, daughter-in-law, brother-in-law, or sister-in-law; a grandparent or grandchild; or a spouse of a grandparent or grandchild.

Landlord or ownership group is/is comprised of... (Check all that apply)

- A physician
- An Immediate Family Member (see above) of a physician
- A legal entity which one or more physicians have any ownership interest
- A legal entity which one or more physicians immediate family members’ have any ownership interest
- A person or legal entity that is otherwise in a position to influence where other people receive healthcare goods or services
- An Immediate Family Member of a person who is otherwise in a position to influence where other people receive healthcare goods or services
- A legal entity owned by a referral source or someone who is in a position to influence where other people receive healthcare goods or services
- A legal entity owned by Immediate Family Member of a referral source or someone who is otherwise in a position to influence where others receive healthcare goods or services
- None of the above

Please explain any relationships checked:

**ATTESTATION**

As the Landlord or officer of the Landlord, I have identified any qualifying relationships above to the best of my knowledge.

Printed Name	
Signature	
Date	

City of  
**SPRINGDALE**  
BUILDING DEPARTMENT

June 5, 2025

TO: Springdale Planning Commission

FROM: Melissa Hays, Chief Building Official



SUBJECT: Keeping of bees in residential areas

*Background*

The Urban Farming Committee met on June 7, 2025, to discuss the permission of bees. The Committee discussed and reviewed various examples of zoning legislation regarding bee keeping in residential areas. At the Committee's request, Staff has drafted a zoning text amendment based upon the Committee's recommendations and suggestions.

*Request*

The proposed legislation would permit the keeping of bees on lots 7,500 square feet or larger. A permit would be required by the City, as well as registration with the State of Ohio as required by Chapter 909 "Apiaries" of the Ohio Revised Code. There are a number of conditions that must be met for the City permit to be approved. If an applicant is not able to adhere to the requirements, the appeal process would be through the Board of Zoning Appeals.

If Planning Commission finds the proposed amendment to 153.252(F)(6)(d) appropriate, a positive recommendation should be made to City Council.

153.252(F)(6)(d) The keeping of bees in residential areas is permitted under the following conditions:

- i. In order to have beekeeping privileges within the city, all beekeepers are required to maintain and register their hives as set forth in Chapter 909 “Apiaries” of the Ohio Revised Code.
- ii. All beekeepers are required to register with the City of Springdale setting forth the location of their hives and number of colonies of bees.
- iii. Any lot used for beekeeping must have a minimum size of 7,500 square feet. Lots between 7,500 and 15,000 square feet are permitted up to 4 hives. One additional hive is permitted per additional 5,000 square feet. Two (2) additional temporary hives are allowed for hive separation or new swarm establishment purposes. Such temporary hives shall be removed from the property within two (2) weeks.
- iv. Hives shall be placed in the rear yard of the property with a minimum setback of 30 feet from a public or private street, sidewalk or roadway. Hives must be located a minimum of 75’ from any primary residence. Hives shall have a minimum setback of 20 feet to an abutting property line.
- v. A fresh water source shall be maintained within 15 feet of the hives.
- vi. Hives will not be counted towards the total number of accessory structures permitted.
- vii. The owner of the hive(s) must be a resident in a dwelling located on the same lot on which the hive(s) are registered. Hives are only permitted on lots with single family residential units located on them.
- viii. The maintenance of each colony shall meet the following conditions:
  - a. Colonies shall be maintained in readily movable frame hives.
  - b. Each hive must conspicuously display the Apiary Identification Number assigned pursuant to Chapter 909 of the Ohio Revised Code on no less than the base and the box. The identification number shall be on a side that is visible without moving or lifting of said hive.
  - c. Adequate space shall be maintained in the hive to prevent overcrowding and swarming.
  - d. Colonies shall be requeened following any swarming or aggressive behavior or seized and destroyed without remuneration.
  - e. A flyway barrier 6 feet in height shall be provided to shield any part of a property line that is within 30 feet of a ground hive. The barrier shall consist of a wall, fence, dense vegetation or a combination thereof, such that honeybees will fly over rather than through the material to reach the colony.

Vegetative solutions are recommended to provide additional opportunity for foraging and pollination.

- i. Any required flyway barrier must continue parallel to the property line of the lot upon which the apiary is located for 10 feet in any direction beyond the extent of the hives.
  - ii. If a barrier of dense vegetation is to be used, the initial planting shall be four feet in height at the time of installation.
- ix. A permit providing the privilege to keep bees within the City of Springdale shall be provided by the City of Springdale to a beekeeper once it is established that the necessary requirements outlined in this ordinance are satisfied.
- x. Beekeeping privileges may be revoked from any property by written notification to the property owner by the City of Springdale. Revocation must be done with cause, however, the cause need not to be the fault of the beekeeper, nor be a factor that is under the control of the beekeeper. The City may revoke beekeeping privileges for any condition or combination of circumstances that jeopardizes, endangers or otherwise constitutes an actual potential or perceived menace to public health or safety.