



Agenda

- 1. **Open Meeting**
- 2. **Pledge of Allegiance**
- 3. **Invocation**
- 4. **Roll Call**
- 5. **Minutes**

[July 17, 2024](#)

- 6. **Proclamation** - John J. Jones, City Administrator Retirement (*Mayor Hawkins*)
- 7. **Presentation** - Recognition of Marjorie Underwood Randolph (*Mayor Hawkins*)

8. Committee and Official Reports

Civil Service Commission	Mr. Coleman - Mrs. Darby - Mrs. McNear
Rules and Laws	Mr. Jacobs - Mr. Vanover
Finance Committee	Mr. Vanover – Mrs. Webster
Planning Commission	Mrs. Sullivan-Wisecup – Ms. McFarland
Board of Zoning Appeals	Mr. Gleaves - Mr. Jacobs
Board of Health	Ms. McFarland
Capital Improvements	Mrs. Sullivan-Wisecup
O-K-I	Mr. Anderson
Mayor’s Report	Mayor Hawkins
Administrator’s Report	Mr. Jones - Mr. Uhl
Law Director’s Report	Mr. Braun
Engineer’s Report	Mr. Riggs
Rental Program Committee	Mr. Vanover
Urban Farming Special Committee	Ms. McFarland

9. Communications

10. Ordinances and Resolutions

[Resolution R11-2024](#)
[A RESOLUTION COMMENDING CITY ADMINISTRATOR JOHN J. JONES FOR HIS DEDICATED SERVICE TO THE CITIZENS OF THE CITY OF SPRINGDALE](#)

[Ordinance No. 32-2024 \(Second Reading\)](#)
[AN ORDINANCE AMENDING CHAPTER 98.01 OF THE SPRINGDALE CODE OF ORDINANCES GOVERNING THE ENTERTAINMENT ADMISSION TAX IN THE CITY OF SPRINGDALE](#)

[Ordinance No. 40-2024 \(Emergency Clause\)](#)
[AN ORDINANCE AUTHORIZING AN AGREEMENT BETWEEN THE CITY OF SPRINGDALE AND THE BOARD OF HAMILTON COUNTY COMMISSIONERS FOR MUNICIPAL ROAD FUNDS \(MRF\) RELATIVE TO THE IMPROVEMENT OF WEST CRESCENTVILLE ROAD AND DECLARING AN EMERGENCY](#)

[Ordinance No. 41-2024 \(Emergency Clause\)](#)
[AN ORDINANCE REDUCING AND RECERTIFYING SPECIAL ASSESSMENTS LEVIED FOR THE PURPOSE OF CONSTRUCTING CERTAIN IMPROVEMENTS AND DECLARING AN EMERGENCY](#)

[Ordinance No. 42-2024 \(Emergency Clause\)](#)
[AN ORDINANCE ENACTING AND ADOPTING THE 2024 S-27 SUPPLEMENT TO THE CODE OF ORDINANCES OF THE CITY OF SPRINGDALE, OHIO AND DECLARING AN EMERGENCY](#)

[Ordinance No. 43-2024 \(Emergency Clause\)](#)
[AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO ENTER INTO AN AGREEMENT WITH FYDA FREIGHTLINER CINCINNATI FOR THE PURCHASE OF A 2025 FREIGHTLINER M2 106 TRUCK CAB AND CHASSIS AND DECLARING AN EMERGENCY](#)

Ordinance No. 44-2024 (Emergency Clause)

AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO ENTER INTO AN AGREEMENT WITH W. A. JONES TRUCK EQUIPMENT FOR THE PURCHASE OF A HOOKLIFT UPGRADE AND DECLARING AN EMERGENCY

Ordinance No. 45-2024 (Emergency Clause)

AN ORDINANCE AUTHORIZING THE CITY OF SPRINGDALE, OHIO TO ENTER INTO A THREE-YEAR LEASE-PURCHASE AGREEMENT BY AND BETWEEN FIFTH THIRD BANK AND THE CITY OF SPRINGDALE, OHIO IN A PRINCIPAL AMOUNT OF \$240,000.00 TO FINANCE THE PURCHASE OF A DUMP TRUCK FOR THE CITY OF SPRINGDALE AND AUTHORIZING OTHER DOCUMENTS IN CONNECTION THEREWITH; AND DECLARING AN EMERGENCY

Ordinance No. 46-2024 (Emergency Clause)

AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO EXECUTE A COMMUNITY RECREATION/CONSERVATION PROJECT PASS-THROUGH GRANT AGREEMENT WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES RELATED TO CERTAIN OUTDOOR RECREATION IMPROVEMENTS AND DECLARING AN EMERGENCY

Ordinance No. 47-2024 (First Reading)

AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FOR THE PROPERTY LOCATED AT 505 WEST CRESCENTVILLE ROAD AND APPROVING THE PRELIMINARY DEVELOPMENT PLAN FOR THE PROPERTY

Ordinance No. 48-2024 (First Reading)

AN ORDINANCE APPROVING A MAJOR MODIFICATION TO THE SPRINGDALE LAKE PLANNED UNIT DEVELOPMENT AND APPROVING THE PRELIMINARY DEVELOPMENT PLAN FOR THE PROPERTY LOCATED AT 12021 SHERATON LANE

Resolution No. R12-2024

A RESOLUTION AUTHORIZING THE FILING OF CONTINUING DISCLOSURES WITH THE MUNICIPAL SECURITIES RULEMAKING BOARD RELATED TO THE MARCH 2017 STREET IMPROVEMENT BONDS

11. Communications from the Audience *(Five minutes each speaker, Springdale Code §30.05)*

12. Executive Session

13. Old Business

Discussion - Chapter 30.03 Ordinances and Resolutions

14. New Business

15. Meetings and Announcements

16. Communications from the Audience *(Five minutes each speaker, Springdale Code §30.05)*

17. Recap of Legislative Items

18. Legislation in Development

19. Adjournment

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President of Council Anderson called Council to order on July 17, 2024.

The governmental body and those in attendance recited the Pledge of Allegiance.

President Anderson provided the Invocation.

President Anderson: I would ask that we all take a moment of quiet contemplation in memory of long-time resident, Greg McFarland, husband of Councilmember Michelle McFarland, and father and friend to so many others who passed away this week.

Mrs. Browder took roll call. Council members Anderson, Gleaves, Jacobs, Sullivan-Wisecup, Vanover, and Webster were present. McFarland was not in attendance.

The minutes of the June 19, 2024 meeting were considered. Mrs. Sullivan-Wisecup made a motion to accept the minutes; Mr. Vanover seconded. The minutes were approved with six affirmative votes.

Committee and Official Reports

Civil Service Commission

Mr. Coleman: Springdale Civil Service Commission did meet on July 11th at the Springdale Municipal Building, and those present were Mrs. Darby, Mrs. McNear, also, Mr. Uhl, Ms. Morgan, along with Fire Chief Stanley. Oh, and we did have a guest, Ms. Brienne Branscum who came to observe and was shadowing Ms. Morgan. We started our meeting by looking at the reports, and, of note, was the Fire Marshal hiring process. Ms. Morgan shared that the current Fire Inspector, Mr. Lindsey, had submitted his retirement, and as a result, Ms. Terrah Timmerman will transition from part-time inspector, to full-time Fire Marshall to assume the duties of that position. So, that should be a seamless transition for us. Also, Ms. Morgan reported that Mr. Matthew Richwine had adjusted his starting date within the Patrol Officer position. The Police Department will have reached their full complement of patrol officers with the candidates having completed their background investigation. So, again, that's a good thing that we are fully staffed within the Police Department. Also, Chief Stanley was present to address the commissioners for the Fire Lieutenant promotional process. This process would promote three current Firefighter II/Paramedics to the position of Lieutenant. Chief Stanley outlined the promotions would not change the existing manpower, but, would rather provide an additional level of supervision on each of the unit days. It would increase the safety, and would allow for more professional development of the staff. So, we were certainly in agreement and certainly acknowledged that particular request, even to the point where cost analysis revealed that there is no financial impact to the Fire Department. So, Mrs. Darby made a motion to approve the Fire Lieutenant promotional process timeline, and it was seconded by Mrs. McNear, and, the motion passed 3-0. Our next meeting is scheduled for August 1st, at 2:00 p.m. in the Municipal Building. Any questions? (None)

Rules and Laws	Mr. Jacobs	-	No report
Finance Committee	Mr. Vanover	-	No report

Planning Commission

Mrs. Sullivan-Wisecup: Planning Commission met on Tuesday, July 9th. And, Mr. Galster was not in attendance. We started with Springdale Lake PUD Bodega on 12021 Sheraton Lane. It was a Major Modification, and, that got approved 5-0. The did do some modifications from the first time that they came, so, there will be a drive-thru, and they will have, it's going to be like an Italian bodega, so different Italian-type sandwiches and food, and they will also have an inside grocery store type of thing, like a bodega. Our second thing we had was a Zoning Amendment for chickens and that was withdrawn from the Urban Farming Committee, and, we had voted 5-0 to go ahead and withdraw that. Then, we had the Tri-County Mall PUD Change of Use Major Modification, and that was withdrawn by applicant, and that was everything that I have unless anyone has any questions. (None) Thank you.

Board of Zoning Appeals	Mr. Gleaves	-	No report
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Mayor Hawkins: I just wanted to state that I don't plan on doing a whole bunch of those throughout the course of the next three and a half years. But, it's something for individuals that have made major contributions and left an indelible mark on our City that's going to last long after they're here. So, just wanted to note that. Last thing I want to address is with regard to our agenda tonight as well as Chapter 30.03 of our Codified Ordinances. So there are a number of, everybody has their agenda tonight that has five things listed. We have a number of other things as you review your Internal Memorandum that Administration and I are asking to have Council consider adding to the agenda tonight, and, this is a result of it came to our attention from a Councilmember that we're not consistent with our practices with regard to the Codified Ordinances, and so, we want to be consistent. I do think that the ordinance that we have is archaic in terms of our practices. We've been doing what we've been doing for over a decade and a half talking with some of our folks who were on Council before me, Mr. Vanover, and Mr. Galster, it's probably going on closer to two decades. And there are times where we have those things go on. We had an ordinance with the sale of firearms we weren't following with regard to when Walmart and Dick's were selling firearms. That was brought to folk's attention and we changed it as Vance was coming in. So, I'm asking for Council to look at that, and make an amendment. Currently, our 30.03A would indicate that the Mayor and Administration could only bring forth Administrative ordinances of appointment, and the like only, which would require the approval Council, and, so, there are a lot of things that come through that we're made aware of through the day to day operation, grants, and purchases, and what have you, and, we want to make sure we can go through and do those things as efficiently as possible as we have been. I do think the practice that we've doing for close to two decades was consistent by the predecessors that have been on Council, myself included. That said, we're asking if Council will consider adding on Item Number VI in your packets; An Ordinance Accepting a Bid and Authorizing the Mayor and City Administrator to Enter Into an Agreement with Adleta Construction for the Tri-County Parkway Sidewalk Project. The City has been awarded a \$304,800 funding through Hamilton County Community Revitalization Grant, and we would like to be able to act on that this evening. Item Number VII, we're asking for An Ordinance Levying Special Assessments for the Improvement of Driveway Aprons in the Public Right-of-Way Related to the West Crescentville Road Curb and Concrete Replacement Project and Declaring an Emergency. Again, this is something that we need to act on quickly. We're also asking to add on what's marked as Item Number VIII, An Ordinance Authorizing the Execution of a Grant Agreement with the U.S. Department of Transportation Federal Highway Administration for Participation in the Fiscal Year 2023 Safe Streets and Roads For All Grant Program and Declaring an Emergency. That's a situation where the City grant agreement has now been received and the City needs that to accept those funds. We're asking for you to add Item Number IX which is the Administration again is recommending this. This is something where there's contributions for our health accounts for our full time employees. And, we're looking to have that added on to the agenda this evening, as well as Item Number X which is An Ordinance Authorizing the Execution of a Project Loan Agreement with the State of Ohio Through the Ohio Public Works Commission. This is involving OPWC awarded us financial assistance through the State Capital Improvements Program in the form of a 21 year zero interest loan in the amount of \$1,170,000 and some odd dollars, and then, the last two are items which, I guess technically I they've already been okayed by President Anderson, but, I wanted to make sure A Resolution Authorizing the City Manager to Execute Natural Gas Aggregation Agreement with the Supplier Recommended by the Energy Alliance Incorporated Declaring an Emergency and An Ordinance Authorizing the Mayor and the City Administrator to Approve the Assignment of a Community Reinvestment Agreement and Declaring an Emergency. So, we're asking for Council to add those things to the agenda. I'm personally asking Council to revisit in New Business the matter with regard to 30.03A. With that, that concludes my report. Thank you.

President Anderson: Thank you. And, Council just for administrative purposes, you're aware how we'll handle these tonight. When we get to Ordinances and Resolutions, I will open the floor to make a motion to make the adjustments there. So, we'll add that, or have that discussion during Ordinances, and I'll provide the numbers and the readings so we can all be on the same page. In regards to the New Business request, we can deal with that when we get to New Business, and we can take up and do that formally so we stay on with the agenda. I know it's a lot of change for tonight. It's unusual, but there are a lot of late-breaking items that we want to make sure get taken care of for the City, and we didn't want to delay it by another few weeks. Any questions or anything else for the Mayor's Report? Seeing none, thank you Mayor Hawkins.

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Administrator's Report

Mr. Jones: I think I'll start my report this evening by calling up our Health Commissioner Matt Clayton. He has a few introductions, and I think that perhaps it'd be good timing for him in case he and his colleagues decide they want to leave the meeting since it is quite a long agenda. So, we'll start with Mr. Clayton.

Mr. Clayton: Thank you Mr. Jones. Thank you all for allowing me to come in and talk about the Health Department and our interns tonight. We're currently engaged in a number of grants; federal, state, and local. I have in Council Chambers tonight, ten of our student interns I'm going to introduce. I'd like Ted Ryan Nikontchou Mbianda to stand please. Am I close enough on that sir? Ted is a native of Cameroon, and he's currently a student at Xavier University in the Health Services Administration Program. He's entering his senior year, and, Ted has been with us this summer working in the Mosquito Control Grant Program. Gavin Allen would you please stand. Gavin is also a student in the HSA Program at Xavier University entering his senior year, and, Gavin is a native of Bronx, New York. He actually speaks Chinese fluently, and, Ted speaks French fluently. So, they've been able to provide us with some translation services. These two gentlemen are responsible for Springdale Health having the first West Nile Virus positive mosquito pool in our area last week. I'm not sure that's something to be congratulated for, but.

President Anderson: But, catching it early is important.

Mr. Clayton: Yes. They've been doing great work. Thank you gentlemen. Marley Broenner would you please stand. Marley Broenner is a junior at the University of Cincinnati, and, she's also a Student Orientation Lead and a Student Ambassador. Additionally, Marley is a lifelong resident of the City of Springdale, and she is the granddaughter of Springdale Fire Captain Ken Broenner. She is currently serving as our Reach Coordinator, and that's the Racial and Ethnic Approaches to improving Community Health. Jayla Dixon would you please stand. Jayla is a junior at the University of Cincinnati in the Biology Program, and Jayla is currently at the Springdale Health Department as an Environmental Health Intern. Thank you Jayla. Alexis Meyer is a Health Services Administration Senior at Ohio University, and she is serving as an Environmental Health Intern, and she's also been doing some work on the Health Promotion/Health Education side. Thank you ma'am. Sydney Amos, if you would please stand. Sydney recently finished the Health Services Administration Program at Xavier University, and she came to us in January 2024 to work in Health Promotion and Health Education as an intern. She's currently working in our Community Health Improvement Program, and will be pursuing a Master's in Public Health. Thank you Sydney. Lindsey Dwyer is entering her sophomore year at Elon University in North Carolina. She is a psychology and Spanish major. Lindsey has been working in the Health Promotion and Health Education Program this summer, and, she's been providing Spanish translation for us. Thank you so much. Briana Shamin is a new intern in Health Promotion and Health Education. She is a senior. She's entering her junior or senior year. Sorry. She's entering her junior year at UC and studying biology. Thank you Briana. Aivy Nguyen is entering her last semester at Xavier University in the Health Services Administration Program. She's been with us since December 2023? October 2023. I knew it was somewhere in 2023, and she's working Health Promotion and Health Education. She's assuming the role of Coordinator for our HP Program. Thank you Aivy. And we have Tamsin Day. Tamsin finished the MPH Program at the University of Cincinnati in May. She is currently our Coordinator for Health Promotion and Health Education. And, began her internship at Springdale Health in July 2023. Thank you. Thank you all so much for allowing us to come in and to talk about our student intern programs, and to introduce these interns. They've been doing an amazing job. (applause)

Mr. Jones: So, Mr. President, and Council, I'd like to point out that Mr. Clayton did those introductions with no notes. Very nice. Thank you Matt, and your interns. We have a lot of folks here. We really appreciate your services to our Community. Thank you. Back to what you were talking about, Mr. President, so, it is my last official meeting up here. I feel a little inadequate to say that I've got over 40 years of service in, in comparison to the old timer out there with 50+ years. But, I've worked in three cities, so, I'm in my 24th year. I made a comment to Nicole Browder today that for 24 years, I've sat up on the dais, and the next meeting it will probably seem a little different to me to sit in the audience, but, that will be a fun thing to do. So, with that, I'd like to add a couple of things that Mr. Wilson from Parks and Rec asked me to share. We're closing out on fall sports with regard to sign ups and registration for youth soccer, and volleyball. If you're interested, please get signed up as quickly as possible. We have a Parks Revitalization Grand

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Mr. Vanover: Mr. President, I make a motion that we amend the agenda at the appropriate items as per Administration's request.

Mr. Gleaves: Second it.

President Anderson: Before I open for discussion, I will let you know the ordinances and names as we number them once submitted, assuming that the motion passes. At this point, we have a motion to amend the agenda to add the six requested additional ordinances to our agenda. Is there any questions or discussion? (none)

Motion to amend to add the six requested additional ordinances to the agenda passes with six affirmative votes.

President Anderson: I'll go ahead and pass those out now, and let you know the update to the agenda. So, in your packet, there were four of them that were unnumbered. The first one was an ordinance to accept the bid authorizing the Mayor to enter into an agreement with Adleta for the construction company. That will be referenced as Ordinance No. 33-2024. The next one that was in your packet should have been an ordinance levying special assessments for the improvement of driveway aprons. That will be labeled Ordinance No. 34-2024. The next one in your packet should have been an ordinance authorizing contributions in certain health accounts of full-time employees. That will be labeled Ordinance No. 35-2024. The next ordinance that was in your packet was an ordinance authorizing the execution of a project loan agreement with the State of Ohio. That will be referenced as Ordinance No. 36-2024. Additionally, there were two items that were too urgent, and not distributed in the packet. I'll pass those out now they requested. The first one is the gas aggregation legislation. That will be labeled Ordinance No. 37-2024. There's copies I'll pass out. There's a note at the top, and then the ordinance. There's two copies there, if you can pass them that way. If you could take one of those and pass it down. The loan agreement was 36. Thirty-five is health savings accounts, 34 is levies, 33 is the bid for sidewalks. I'm missing the federal highway administration one.

Mayor Hawkins: Mr. President, if I may. There's another ordinance authorizing the execution of a grant agreement with the U.S. Department of Transportation and Federal Highway. Did that one get marked as well?

Mr. Jacobs (off mic): That's what we just discussed.

Mayor Hawkins: I think the motion is set for six, and I think there's seven. I think there's five in the packet, and the additional two.

President Anderson: Alright. We'll come back to that one. Hang on. Let me pass out the ones that I have to make sure that we stay current, and then we can come back and address that seventh one. I'm passing out now the additional ordinance. This is the CRA agreement. There's two copies going that way. That one is 38-2024, and that's the CRA ordinance. I'll run through them one more time. If you can take a copy and pass it down. So is there a copy of what's the one that's missing. The U.S. Department? So, this one hasn't been called yet. I'll borrow this. This will be 39 when it comes up. Alright, so, to recap, the changes, and, we'll come back and deal with the one that we missed, the number seven. So, so far on the agenda, we've added Item Number 33-2024, and, that was the bid authorizing the Mayor and City Administrator to enter into an agreement with Adleta Construction for Tri County Parkway sidewalk project. That's Ordinance No. 33-2024. Ordinance 34, is an ordinance levying special assessments for improvements of driveway aprons in the public right-of-way related to the Crescentville Road curb and concrete replacement project and declaring an emergency. That's Ordinance No. 34-2024. The next one on the agenda after that would be Ordinance 35-2024, and that's an ordinance authorizing certain health accounts of full-time employees of the City of Springdale related to the City's health insurance plan and declaring an emergency. Then I have Ordinance 36-2024 that's being added to the agenda. That's an ordinance authorizing the execution of a project loan agreement with the state of Ohio through the Ohio public works commission state capital improvements program for the Northland Boulevard reconstruction project and declaring an emergency. I then have Ordinance 37-2024, which I just passed out at the dais, which is an ordinance authorizing the city manager to execute a natural gas aggregation agreement with a supplier recommended by Energy Alliances, Inc. and declaring an emergency. Then, I have Ordinance 38-2024 that's been

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President Anderson (continued): added to the agenda, and that's an ordinance authorizing the Mayor and City Administrator to approve the assignment of a community reinvestment agreement and declaring an emergency. So, that's action that we've taken, and we've added to the agenda. We'll deal with the one that's missing in a second. For your agendas that you're following, since there's a presentation attached to the Energy Alliances option, which is Ordinance 37-2024, we will insert that at the start our ordinances so that we don't have to keep our friend here any longer than necessary, so, Ordinance 37 will be the next item that Council takes up. All the remaining additional ordinances will be added at the end of the ordinance section, after the resolutions. Okay? Alright, now there's the matter that I guess in my packet that I was missing, there's an additional ordinance, a seventh ordinance that was requested in the Mayor's Report, and this was an ordinance authorizing the execution of a grant agreement with the U.S. Department of Transportation Federal Highway Administration for participation in fiscal year 2023 Safe Streets and Roads for All Grant Program and declaring an emergency. That is not currently on our agenda, and the Chair will accept a motion to add it.

Mrs. Sullivan-Wisecup: Move to add.

Mr. Jacobs: Second.

President Anderson: Alright, there's a motion to add Ordinance No. 39 to the agenda, and this would be at the end of the ones that we've added. Any questions or discussion on that? (none) The motion to amend the agenda to add the seventh ordinance, Ordinance No. 39-2024 passes with six affirmative votes. That's a lot of administration. I apologize for that, but, that's just where we are tonight. So, are there any questions about the agenda that we've got going forward before we get into it? Everybody okay? So, with that, as I mentioned, the next ordinance that we will take up is Ordinance No. 37-2024, which is an ordinance authorizing the City manager to execute a natural gas aggregation agreement with a supplier recommended by Energy Alliance. Mr. Jacobs, if you could read the ordinance first, and then we'll open it up for presentation.

Mr. Jacobs (off mic): This is all I've received so far.

President Anderson: It went one way and not the other.

Mr. Jacobs: Okay. Thank you.

President Anderson: Here, take this. This should say "Ordinance", there was a typo on it.

Mr. Jacobs: Other end?

President Anderson: They've got theirs.

Mr. Jacobs: Alright.

President Anderson: Alright, so, we're reading Ordinance 37-2024.

Ordinance No. 37-2024

ORDINANCE AUTHORIZING THE CITY MANAGER TO EXECUTE A NATURAL GAS AGGREGATION AGREEMENT WITH A SUPPLIER RECOMMENDED BY ENERGY ALLIANCES, INC. AND DECLARING AN EMERGENCY

President Anderson: Council, just so you're aware, the document that was passed out had a scrivener's error. It said "resolution". It was read correctly. This is an ordinance that we're passing because it's a contract that we would be signing. Just so you're aware. That was not a mistake, there's a typo on your paper. So, it is an ordinance.

Mr. Vanover made a motion to adopt Ordinance No. 37-2024; Mr. Jacobs seconded.

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President Anderson: Before I open up for discussion from Council, I understand there's a presentation along with this, or, at least an opportunity. So, what I'm going to do is go ahead and leave the floor open for our representative, and then, as part of our question/discussion, we can have any of that addressed. Mr. Uhl did you want to add anything before that?

Mr. Uhl: No. I was just going to introduce our speaker. This is Mr. Dan Deters from Energy Alliances. He met with us last week to bring us up to speed on some potential changes impacting our residents and the amount of money they pay for gas. But, with that, I'll turn things over to Mr. Deters.

Mr. Deters: Thank you, and thank you for having me tonight on such short notice. I appreciate your indulgence. I'll be short, as the meeting is long. So, we decided we were probably not going to engage with Springdale in a gas program this year, or, Middletown, who are both new clients because we have information that Duke, as you, I don't know if they had that little summary that I put out there, okay. They're essentially changing how they buy gas next October of 2025, so, we were kind of just going to let things run. Unfortunately, the utility filed for a 12 cent to 17 cent adjustment for gas costs that needed to be recovered from the last six or eight months that, to make a very long story short, they estimate the usage, they buy the gas. If they don't estimate enough, they buy more. That's why it's called "gas cost recovery", they recover it from the end user. So, the citizens of Springdale are going to start paying that back, actually they're starting this month. We don't know exactly what the adjustment is, but we know it's between 12 and 17 cents. So, aggregations are not subject to those adjustments, and we can bring in a program that starts in October that will keep residents from paying that. Last year's cumulative winter rate was 58.4 cents a CCF (centum cubic feet). We know our rate will be below that, so, the citizens, no matter what Duke's price is, the citizens will pay less than last year for their gas in the winter, and, they won't have to pay that adjustment if that's tacked on, or whatever that may be. And then, in eight months when we get a better handle on how they're going to buy their new gas, we'll come back, and we will have some products and some choices for you at that time. But, at this time, I would ask you to let the City Manager engage in that contract and, as you all know, with the volatility of everything right now, if we had to come back to a meeting, we'd never get a contract signed. So, we got some initial pricing in today; it's in the low to mid 50's type area, so, we know we will be cheaper than last winter. We're still trying to drill that down to get a much better price. We hope we can, and, if the market goes the other way, we won't do it. We'll make sure that the Administration and Council knows that the time isn't right. Thank you for indulging me, and, if there's any questions, I'm happy to answer them.

President Anderson: And, hopefully Council, you see now why we added this. The market was so volatile. It was actually earlier yesterday that we found out this might even be a possibility to help our residents. To be able to add this optional aggregation program. Much like our electric aggregation program, it is an "opt out" system. But, it is already set up that if we do sign the contract, it would be less than last years, and, I know that makes a big difference to a lot of communities. I know I had heard a number of what a typical family should expect to save. I didn't know if those were numbers that you could share, in general, versus the Duke rate; just a ballpark.

Mr. Deters: So, if you're looking at, I mean it's, well, put it this way, it would be about \$12 to \$17 they're not spending on this adjustment at least. So, that's just in the winter. You use 85% of your gas between November 15 and March 15. So, you know, we don't really have the volumes for Springdale totally yet as to what that's going to be. I can give you an exact number based on that estimation once we get that.

President Anderson: But, it is a meaningful difference for our residents. So, thank you for indulging the change in the agenda.

Mayor Hawkins: Two things; one, I want to make sure residents pay attention to when these notices come out. I spoke with a resident this past spring who her rates went up, and, she was upset, and I had explained that when these things go up, we send out notices, folks have the opportunity to opt out of they choose to. The reason why the City does this is because the vast, vast majority of individuals, almost everybody is going to come up with a lower rate. But, there are some instances where you may be able to find something lower than what the aggregate is. But, it's important if you want to do that, you have to pay attention to the mail that comes out to you if you choose to do something different. The second thing is I really want folks to understand

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Mayor Hawkins (continued): Mr. Deters is a great asset with regard to this process. He says all the time if you have a question, if a resident has a question, have them call me, and, he means that earnestly. We've got 11,000 people here. If 11,000 people want to call him and ask him about their rate, somebody else's rate, he's going to answer that phone. And, it's a very unique situation that he's that accessible to our residents. So, I want to note that and I want to thank you for what you do.

Mr. Deters: Thank you. I appreciate that.

President Anderson: And Council realize, there's a lot of people that are very suspicious about these types of programs because there are a lot of bad actors out there trying to grab meters, and lock people in, and slam them. So, we're going to need to work as a group to make sure people understand, and have those questions answered. In the past, we did not renew the gas because we couldn't get a better deal, but the market has changed that it makes a lot of sense, so, this is a great asset.

Mr. Vanover: And also too, be aware that there are going to be people out knocking on your door, and, they're going to try to, being kind, bully you. If you've got questions, reach out, and know that we'll get answers to you. But, well, the action of Duke, and I understand the business, but, you know, if they underestimate their consumption, then, they can reach back and get us; make us pay for their poor guesstimates. And, in the rest of the business world, if you estimate food costs, and yours runs over, it's on you. So, that's one of those things that the utilities have a special agreement with that I don't necessarily agree with, but, if you've got questions, reach out. And, again, the program is set up that you're automatically included. You can opt out, but, and be careful with when people come, because a lot of these programs have hefty cancellation fees. So, the glass isn't always full they way that they describe it. So, again, if you get there, get questions. As a matter of fact, I do it all the time, my first question is, "Have you registered with the City?" Because they have to be registered with the City to be out and about. So, and most of them are not. So, that's, you know, another issue. But, thank you. I've been a big supporter of this for quite a while, and, it's my money.

Mr. Deters: If our supplier that we choose doesn't estimate correctly; tough. They take it. We've moved the risk from the resident to the supplier.

Ordinance No. 37-2024 passes with six affirmative votes.

President Anderson: Next, we'll go back through our regular agenda that was printed, and the additional items that were added will all be in order as described at the end of the agenda.

Ordinance No. 27-2024

AN ORDINANCE AUTHORIZING THE EXECUTION OF A GRANT AGREEMENT WITH THE STATE OF OHIO, OHIO RAIL DEVELOPMENT COMMISSION FOR PARTICIPATION IN THE ORPHAN RAIL CROSSING PROGRAM

Mrs. Sullivan-Wisecup made a motion to adopt Ordinance No. 27-2024; Mr. Vanover seconded.

Ordinance No. 27-2024 passes with six affirmative votes.

Ordinance No. 31-2024

AN ORDINANCE AUTHORIZING THE MAYOR TO EXECUTE AN EMPLOYMENT AGREEMENT WITH BRIAN C. UHL SETTING FORTH CERTAIN TERMS AND CONDITIONS OF EMPLOYMENT AS CITY ADMINISTRATOR AND DECLARING AN EMERGENCY

Mrs. Sullivan-Wisecup made a motion to adopt Ordinance No. 31-2024; Mr. Vanover seconded.

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President Anderson: I do want to make a caution before I open the floor for questions/discussion. Please be aware Council that this ordinance does involve a contract with a public employee. We're certainly able and welcome to ask questions about the contract in the meeting here at the dais. But, I will caution you that if your questions or discussion that you feel is necessary starts getting into any aspects about Mr. Uhl specifically, that's something that's best done in executive session. So, you're welcome to have those conversations as well, but, I would prefer that we move to executive session for that. I'm not asking for that now, but, I want you to be aware that if you start getting into that area of discussion, I will stop you, and, we'll move. Alright. So, at this point, questions or discussion regarding Ordinance 31-2024?

Mayor Hawkins: I'm asking for Council's support with regard to this. Obviously, as Mr. Jones is going into retirement and we will miss him, it's important to note that over the last 12 to 18 months, in particular, but, really since Mr. Uhl got here, Mr. Jones has been working towards having a succession plan and Mr. Uhl has done every task that the City Administrator can do, and Mr. Jones has worked to make sure there's a seamless transition with his retirement, and being very open with regard to knowing when he's going to retire, and trying to go through this process. With me being in this position, there's no question, on my part, with regard to interacting with Mr. Uhl, and, interacting with Ms. Morgan, that we're set up to move forward in a seamless transition in an excellent way. I've made comparisons that this is like getting Kobe Bryant and Shaq. I'll let them figure out who's Kobe and who's Shaq, but, you know, the culture that's been set up by Mr. Jones, the Department Heads, which you see a number of them present tonight, support this continuation of leadership, and, so, I'm hoping that Council will be supportive of this. Thank you.

Mr. Vanover: I'd just make a quick comment that we are the beneficiaries of the prior Mayor and his forethought, because we now have, I said, I've been saying probably for about the last five or six years that we have probably the strongest and best staff that we've ever had. And, I reach back a while. And, that, this ability to make a seamless transition echoes that thought process. So, I heartily welcome this. I wish Mr. Jones well, and we'll get into that at another time, but, know that I fully support this move.

Mr. Jones: I don't want to start repeating things the Mayor or Mr. Vanover said, but, not only do I fully support everything that's been said, we have, for the last four and a half years been working toward this. I mean, obviously I know that, I didn't know at that time if I would work four, five, seven years, whatever it would be, but, from day one, the thing that really worked well for me in my personal agenda, and then ultimately that's worked well with us as a City is Mr. Uhl is a sponge. And, he desired to learn every aspect, every component of the job, and, that was impressive from day one when we interviewed him, and, I said to him, "Okay, now that you're here, what is it you want to do?" He said, "I want to know every single thing you do." And, there it is. And, so, I cannot endorse him enough, and encourage the Council to be supportive of this decision. You guys are really going to benefit not only through Mr. Uhl, but his replacement as well in Stephanie Morgan. Thank you.

Mr. Gleaves: Thank you, Mr. Jones, for doing what you've done. Mr. Uhl, I want to tell you I'm wholeheartedly behind you. I want to thank you for the first time I walked in your office for being so kind, considerate, and, the vibe that I saw right away was created. And, I told you about that vibe. It doesn't happen everywhere. So, let's try to work hard to keep it. I know you will. But, thanks for everything.

Ordinance No. 31-2024 passes with six affirmative votes.

President Anderson: Look forward to working with you for another three years Mr. Uhl.

Mr. Uhl: Thank you for all the kind words. Thank you Mayor Hawkins. I do appreciate your confidence in me. We will continue to move the City forward as we have over the past several years, and, we really appreciate the support that we get from Council, and all the hard work from all of our Department Heads. So, with that, we really established a great team here in the City, and look forward to continuing to advance. Thank you very much.

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Ordinance No. 32-2024

AN ORDINANCE AMENDING CHAPTER 98.01 OF THE SPRINGDALE CODE OF ORDINANCES GOVERNING THE ENTERTAINMENT ADMISSION TAX IN THE CITY OF SPRINGDALE

President Anderson: Alright Council, this was a first reading. Is there any questions or discussion tonight? Not seeing any, we will see this again at our next meeting.

Resolution No. R09-2024

A RESOLUTION ADOPTING THE TAX BUDGET OF THE CITY OF SPRINGDALE FOR THE FISCAL YEAR JANUARY 1, 2025 THROUGH DECEMBER 31, 2025

President Anderson: There is a public hearing attached to the tax budget, so at this point, I will open the public hearing related to Resolution No. R09-2024 regarding the adoption of the tax budget for the City of Springdale. If there's anyone that would like to speak for or against, provide input on the resolution, the floor is now open. It would be just like Communications from the Audience. You'd simply come to the dais, give your name and address, and provide any feedback that you think is relevant to this resolution. The floor is now open. Second call. Third and final call. At this point, I'm closing the public hearing related to Resolution No. R09-2024.

Mr. Vanover made a motion to adopt Resolution No. R09-2024; Mrs. Sullivan-Wisecup seconded.

Mr. Jones: Would just like to thank Katie Smiddy for her work on this tax budget. Brian and I quite often ask what she does to earn her keep, and, we're starting to find out, but I've been curious, so, anyhow, I figure since this was my last meeting, I'd get a little jab in there.

President Anderson: Do we need to move to executive session related to discipline of employee? (laughter)

Mr. Uhl: I would just like to echo those sentiments of Mr. Jones, not all of them, but, I would like to publicly thank you for the work put into this. Katie was also dealing with a public records request regarding one of our TIF's, which required a lot of research, and learning this particular TIF, where the funds were coming from, how they were distributed, etc. It was mind-numbing. I don't know how she did it, but she got that done, and this done before the deadlines, and I really appreciate all your hard work in this. So, thank you very much.

Resolution No. R09-2024 passes with six affirmative votes.

Resolution No. R10-2024

A RESOLUTION CONFIRMING STEVEN GALSTER TO SERVE AS A MEMBER OF THE CITY OF SPRINGDALE PLANNING COMMISSION FOR THE TERM ENDING NOVEMBER 30, 2027

Mrs. Sullivan-Wisecup made a motion to adopt Resolution No. R10-2024; Mr. Gleaves seconded.

Mayor Hawkins: Your packet indicates what's going on. Just quite simply, Mr. Galster has spent many, many years on City Council, he's built up some years of OPERS (Ohio Public Employees Retirement System), he's spent some time on Planning Commission after he came off Council. When you retire, in order to start receiving those benefits, you have to be out of the OPERS system, for a certain period of time. Mr. Galster was going to miss the July meeting because he was going to be out of town anyway, and, so, this was a perfect time for him to do his retirement, and then be able to come back. And, so, asking for Council's support with regard to Mr. Galster. He does a phenomenal job on Planning Commission.

Mrs. Sullivan-Wisecup: I want to absolutely echo that, that on Planning Commission, we absolutely want him back, and I know he wants to be back. He's an asset definitely on our Board. Thank you.

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President Anderson: I'll certainly add to that. I know Mr. Galster also serves as the representative from Planning to the Board of Zoning Appeals, and his experience is very helpful, especially with so many new members on both those boards. He is an asset to the Community. And, we certainly appreciate his willingness to serve again, even after his 30 day retirement. So, we appreciate that.

Resolution No. R10-2024 passes with six affirmative votes.

Ordinance No. 33-2024

AN ORDINANCE ACCEPTING A BID AND AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO ENTER INTO AN AGREEMENT WITH ADLETA CONSTRUCTION FOR THE TRI-COUNTY PARKWAY SIDEWALK PROJECT AND DECLARING AN EMERGENCY

Mrs. Sullivan-Wisecup made a motion to adopt Ordinance No. 33-2024; Mr. Vanover seconded.

Ordinance No. 33-2024 passes with six affirmative votes.

Ordinance No. 34-2024

AN ORDINANCE LEVYING SPECIAL ASSESSMENTS FOR THE IMPROVEMENT OF DRIVEWAY APRONS IN THE PUBLIC RIGHT-OF-WAY RELATED TO THE WEST CRESCENTVILLE ROAD CURB AND CONCRETE REPLACEMENT PROJECT AND DECLARING AN EMERGENCY

Mrs. Sullivan-Wisecup made a motion to adopt Ordinance No. 34-2024; Mr. Vanover seconded.

Ordinance No. 34-2024 passes with six affirmative votes.

Ordinance No. 35-2024

AN ORDINANCE AUTHORIZING CONTRIBUTIONS TO CERTAIN HEALTH ACCOUNTS OF FULL-TIME EMPLOYEES OF THE CITY OF SPRINGDALE RELATED TO THE CITY'S HEALTH INSURANCE PLAN AND DECLARING AN EMERGENCY

Mr. Gleaves made a motion to adopt Ordinance No. 35-2024; Mr. Vanover seconded.

Ordinance No. 35-2024 passes with six affirmative votes.

Ordinance No. 36-2024

AN ORDINANCE AUTHORIZING THE EXECUTION OF A PROJECT LOAN AGREEMENT WITH THE STATE OF OHIO THROUGH THE OHIO PUBLIC WORKS COMMISSION STATE CAPITAL IMPROVEMENTS PROGRAM FOR THE NORTHLAND BOULEVARD RECONSTRUCTION PROJECT AND DECLARING AN EMERGENCY

Mrs. Sullivan-Wisecup made a motion to adopt Ordinance No. 36-2024; Mr. Vanover seconded.

Ordinance No. 36-2024 passes six affirmative votes.

Ordinance No. 38-2024

AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO APPROVE THE ASSIGNMENT OF A COMMUNITY REINVESTMENT AGREEMENT AND DECLARING AN EMERGENCY

Mr. Gleaves made a motion to adopt Ordinance No. 38-2024; Mr. Vanover seconded.

Ordinance No. 38-2024 passes with six affirmative votes.

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Ordinance No. 39-2024

AN ORDINANCE AUTHORIZING THE EXECUTION OF A GRANT AGREEMENT WITH THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION FOR PARTICIPATION IN THE FISCAL YEAR 2023 SAFE STREETS AND ROADS FOR ALL GRANT PROGRAM AND DECLARING AN EMERGENCY

Mrs. Sullivan-Wisecup made a motion to adopt Ordinance No. 39-2024; Mr. Vanover seconded.

Ordinance No. 39-2024 passes with six affirmative votes.

Executive Session – Economic Development and Pending Litigation

Mrs. Sullivan-Wisecup: I would like to make a motion to go into an Executive Session under Article II(D)(1) of the Springdale Charter to discuss Economic Development issues, as well as, to conference with Council related to Pending Litigation.

Mr. Vanover: Second.

Motion to go to Executive Session under Article II(D)(1) of the Springdale Charter to discuss Economic Development issues, as well as, to conference with Council related to Pending Litigation passes with six affirmative votes. Council departed at 8:29 p.m. Council returned at 9:08 p.m.

Old Business - None

New Business

President Anderson: We do have one request from Administration that we take up a look at 30.03. This is based off of discussion that we had in our last pre-meeting, we had a meeting about how ordinances are brought together. Mayor Hawkins is asking us to take a look at that, and, see if we can streamline some of the stuff to get it in line with the way we prefer to do things. I believe, Mr. Braun, you have some ideas on how to do that?

Mr. Braun: If Council is comfortable with it, what I can do is do an initial draft and circulate that to everyone, work with President Anderson, and the Mayor, get that language down, and then we'll present it to you in a future meeting for your consideration. I don't think this is something that might need to go to Rules and Laws or anything. I think this is something procedural. Kind of like we did the civility rule where we kind of circulated it, everybody had an opportunity to weigh in on it, and, since this is a procedural rule, we'll try to have that to you by your next meeting.

President Anderson: Does anyone on Council have any concerns about how we'll approach that request? Is that alright? Mayor Hawkins and I will take the first stab at it with Mr. Braun, and then you'll all have a chance to weigh in. Again, it's a procedural thing. I think we can get it squared away. One of the things it will help with is what we saw tonight too. Some of those late changes, the reason we had to do those changes on the fly, at least some of them, was a result of this procedural item where we couldn't just add things without having a discussion and circulating. So, we want to avoid that by updating the Code.

Meetings and Announcements

Mrs. Sullivan-Wisecup: Planning Commission will meet in these chambers at 7:00 p.m. on Tuesday, August 13th.

Mr. Jacobs: On Saturday, the 20th, the Vendor and Craft Market returns to Springdale Elementary. There will be more than 20 different vendors and craft makers there, and, so, I encourage people to check it out. It's from 10:00 a.m. to 2:00 p.m., this Saturday, the 20th.

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Mayor Hawkins: Just again, a reminder on September 11th at 7:00 p.m., it's a Wednesday evening, we'll have a town hall meeting. All elected officials are welcome to be there; don't feel obligated, but you're welcome to be there. I know President Anderson has committed to being there. I'm going to be there. All residents are welcome to give feedback and have informal discussion.

Mr. Gleaves: The July 23rd BZA meeting has been cancelled. The next scheduled meeting is August 27th, right here in these chambers.

Mr. Uhl: Just to reiterate what Mr. Coleman had advised earlier, Civil Service Commission will meet on Thursday, August 1st at 2:00 p.m. in the Council Conference Room.

Communications from the Audience - None

Recap of Legislative Items

Mr. Jacobs: For the items we voted on tonight, I'll be reading the summaries in the order that we voted on them. Ordinance No. 37-2024; An Ordinance Authorizing the City Manager to Execute a Natural Gas Aggregation Agreement with a Supplier Recommended by Energy Alliances, Inc. and Declaring an Emergency passed with six affirmative votes. Ordinance No. 27-2024; An Ordinance Authorizing the Execution of a Grant Agreement with the State of Ohio, Ohio Rail Development Commission for Participation in the Orphan Rail Crossing Program; that passed with six affirmative votes. Ordinance No. 31-2024; An Ordinance Authorizing the Mayor to Execute an Employment Agreement with Brian C. Uhl Setting Forth Certain Terms and Conditions of Employment as City Administrator and Declaring an Emergency. That passed with six affirmative votes. Resolution No. R09-2024; A Resolution Adopting the Tax Budget of the City of Springdale for the Fiscal Year January 1, 2025 through December 31, 2025. That passed with six affirmative votes. Resolution No. R10-2024; A Resolution Confirming Steven Galster to Serve as a Member of the City of Springdale Planning Commission for the Term Ending November 30, 2027 passed also with six affirmative votes. Ordinance No. 33-2024; An Ordinance Accepting a Bid and Authorizing the Mayor and City Administrator to Enter Into an Agreement with Adleta Construction for the Tri-County Parkway Sidewalk Project and Declaring an Emergency. That passed with six affirmative votes. Ordinance No. 34-2024; An Ordinance Levying Special Assessments for the Improvement of Driveway Aprons in the Public Right-of-Way Related to the West Crescentville Road Curb and Concrete Replacement Project and Declaring an Emergency passed with six affirmative votes. Ordinance No. 35-2024; An Ordinance Authorizing Contributions to Certain Health Accounts of Full-Time Employees of the City of Springdale Related to the City's Health Insurance Plan and Declaring an Emergency passed with six affirmative votes. Ordinance No. 36-2024; An Ordinance Authorizing the Execution of a Project Loan Agreement with the State of Ohio Through the Ohio Public Works Commission State Capital Improvements Program for the Northland Boulevard Reconstruction Project and Declaring an Emergency passed with six affirmative votes. Ordinance No. 38-2024; An Ordinance Authorizing the Mayor and City Administrator to Approve the Assignment of a Community Reinvestment Agreement and Declaring an Emergency passed with six affirmative votes. And, Ordinance No. 39-2024; An Ordinance Authorizing the Execution of a Grant Agreement with the U.S. Department of Transportation Federal Highway Administration for Participation in the Fiscal Year 2023 Safe Streets and Roads for All Grant Program and Declaring an Emergency also passed with six affirmative votes.

Legislation in Development

Mr. Jacobs: Items still in development, Item Number II from your Internal Memorandum was addressed by Ordinance No. 32-2024; An Ordinance Amending Chapter 98.01 of the Springdale Code of Ordinances Governing the Entertainment Admission Tax in the City of Springdale. That was a first reading. The rest of the items are from your Internal Memorandum coming up for our next meeting in August. Item Number XI; A Resolution Commending City Administrator John J. Jones for his Dedicated Service to the Citizens of the City of Springdale. Item Number XII; An Ordinance Authorizing the Mayor and City Administrator to Enter Into an Agreement with FYDA Freightliner Cincinnati for the Purchase of a Truck Cab and Chassis and Declaring an Emergency.

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Mr. Jacobs (continued): Item Number XIII; An Ordinance Authorizing the Mayor and City Administrator to Enter Into an Agreement with W.A. Jones Truck Equipment for the Purchase of a Hooklift Upgrade and Declaring an Emergency will also be on the agenda for the August 21st meeting. Item Number XIV; An Ordinance Authorizing the City of Springdale, Ohio to Enter Into a Lease-Purchase Agreement to Finance the Purchase of a Dump Truck and Declaring an Emergency will be at the August 21st meeting as well. Item Number XV; An Ordinance Enacting and Adopting the 2024 S-27 Supplement to the Springdale Code of Ordinances and Declaring an Emergency will also be on tap for the August 21st meeting. Item Number XVI; A Resolution Authorizing the Filing of Continuing Disclosures Related to the March 2017 Street Improvement Bonds, and that will be featured at our August meeting as well. Item Number XVII; An Ordinance Approving a Zoning Map Amendment and Preliminary Development Plan for the Springdale Cinema Apartment Project at 505 W. Crescentville Road; that will have a first reading at the August 21st meeting. Item Number XVIII; An Ordinance Approving a Major Modification to a PUD and Preliminary Development Plan for the Bodega Project at 12021 Sheraton Lane. Unless there's anything else. (None) Thank you.

President Anderson: As a final reminder Council, our August 7th meeting has been cancelled; we're on the summer schedule. So, we'll see you August 21st.

Adjournment

President Anderson: All that's left before us is Item 17.

Mrs. Sullivan-Wisecup: Move to adjourn.

President Anderson: We're adjourned. Thank you everyone for hanging with us.

Council adjourned at 9:17 p.m.

Respectfully submitted,

Nicole Browder
Clerk of Council

Minutes Approved:
Jeffrey Anderson, President of Council

_____, 2024

RESOLUTION NO. R11-2024

A RESOLUTION COMMENDING CITY ADMINISTRATOR JOHN J. JONES FOR HIS DEDICATED SERVICE TO THE CITIZENS OF THE CITY OF SPRINGDALE

WHEREAS, John J. Jones has served as the City Administrator for the City of Springdale for six years and upon retirement has completed 40 years in public service; and

WHEREAS, during his tenure as City Administrator, John J. Jones diligently served under two Mayors and collaborated with a total of 12 city council members, and has attended over 136 council meetings and countless committee meetings; and

WHEREAS, John J. Jones has shown outstanding leadership skills in managing the City, over the past six years, by transforming its interdepartmental culture and strategically developing and promoting the City’s department directors and the administration leadership team for the betterment of City operations and improved service delivery to the residents and businesses of our great City.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That John J. Jones is hereby given the commendation of the Council of the City of Springdale for his outstanding and dedicated service to the City.

Section 2. That the Clerk of Council is directed to certified a copy of this Resolution to John J. Jones.

Section 3. This resolution shall take effect and be in force from and after the earliest period allowed by law.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Approved: _____

Mayor

Date

CERTIFICATE

The undersigned, Clerk of Council, City of Springdale, Ohio, hereby certifies the foregoing to be a true and correct copy of Resolution No. R11-2024, adopted August ____, 2024.

Clerk of Council

ORDINANCE NO. 32-2024

AN ORDINANCE AMENDING CHAPTER 98.01 OF THE SPRINGDALE CODE OF ORDINANCES GOVERNING THE ENTERTAINMENT ADMISSION TAX IN THE CITY OF SPRINGDALE

WHEREAS, the City of Springdale (the “City”) has previously adopted Chapter 98 of the Springdale Code of Ordinances related to the City’s entertainment admission tax; and

WHEREAS, the City seeks to revise the application of the City’s entertainment admission tax defined in Section 98.01 to include additional types of events and activities.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. Chapter 98.01(E) of the Springdale Code of Ordinance shall be amended as follows:

(E) **ENTERTAINMENT.** Any performance by an individual, group or otherwise including, but not limited to, stage shows, musical entertainment, circuses, carnivals, displays, exhibits, exhibitions, trade shows, expos, conventions, demonstrations, and sporting events where an admission fee is charged other than school sponsored sporting events.

Section 2. That this Council hereby finds and determines that all formal actions relative to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and of its Committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. That this Ordinance shall be effective from and after the earliest period allowed by law.

Passed this ____ day of _____, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

ORDINANCE NO. 40-2024

AN ORDINANCE AUTHORIZING AN AGREEMENT BETWEEN THE CITY OF SPRINGDALE AND THE BOARD OF HAMILTON COUNTY COMMISSIONERS FOR MUNICIPAL ROAD FUNDS (MRF) RELATIVE TO THE IMPROVEMENT OF WEST CRESCENTVILLE ROAD AND DECLARING AN EMERGENCY

WHEREAS, Section 153.61, of the Ohio Revised Code provides for agreements between any county and any municipal corporation for joint construction of public improvement; and

WHEREAS, Section 4504.04 of the Ohio Revised Code provides for the application by the municipal corporation, and the allocation and encumbering by the Board of County Commissioners of funds available under Section 4504.05 of the Ohio Revised Code; and

WHEREAS, West Crescentville Road is part of the Comprehensive Map of the Roadways of the County in accordance with Section 4504.03 of the Ohio Revised Code and is in need of improvement; and

WHEREAS, the City of Springdale (the “City”), pursuant to Section 4504.04 Revised Code of Ohio, has made application in writing to the Board of County Commissioners for funds available under Section 4504.05 Revised Code of Ohio. These funds are to cover a portion of the cost of improving West Crescentville Road; and

WHEREAS, the City has filed a copy of the preliminary plans and estimate of cost of such improvement with the County Engineer; and

WHEREAS, the County Engineer has approved such preliminary plans and estimates of cost and found the proposed improvement is conducive to the orderly and efficient flow of traffic within and through the County and so advised the Board of County Commissioners; and

WHEREAS, the Board of County Commissioners has allocated from funds available for such purpose as provided in Section 4504.05 (B) (1) of the Ohio Revised Code for a portion of the cost of such improvement; and

WHEREAS, the Board of County Commissioners shall certify to the County Auditor the amount of any funds allocated to the City of Springdale. Final and detailed plans or statements of work to be done shall be submitted to the County Engineer for approval. Upon approval by the Engineer, the Board of County Commissioners shall have encumbered the moneys necessary to fulfill awarded contractual or other obligations for approved project costs; and

WHEREAS, upon notification by the City that the work on an approved project has commenced, the County Auditor shall draw a warrant for such encumbered amount on the County Treasurer payable to the Finance Officer/Tax Commissioner of the City; and

WHEREAS, the City shall use all moneys received by it under Section 4504.04 of the Ohio Revised Code, for the purpose for which they are encumbered and return for deposit in the fund established by Section 4504.05(B)(1) of the Ohio Revised Code, any moneys not so used; and

WHEREAS, a joint agreement with the Board of County Commissioners for such improvement should be authorized and approved.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That it is hereby declared necessary and in the best interests of the City of Springdale, to execute an agreement with the Board of Hamilton County Commissioners in connection with the proposed improvement of West Crescentville Road (the “Agreement”). A copy of the Agreement is attached as Exhibit A and incorporated herein by reference.

Section 2. The Mayor and the City Administrator are hereby authorized and directed to execute and enter into the Agreement.

Section 3. That this Council hereby finds and determines that all formal actions relative to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and of its Committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 4. That this Ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for said declaration of emergency is the need to execute the Agreement to apply for funding available for the proposed project as soon as possible.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

AGREEMENT

This Agreement made and entered into this ____ day of _____, 2024, by and between the Board of County Commissioners of Hamilton County, Ohio, acting by and through its duly authorized County Administrator, hereinafter referred to as the "COUNTY", and City of Springdale, Ohio, a municipal corporation, acting by and through its duly authorized Mayor and Clerk, hereinafter referred to as "City".

WITNESSETH:

WHEREAS, Crescentville Road is within the corporate limits of City of Springdale and is part of the Comprehensive Map of the Roadways of the COUNTY; and

WHEREAS, said that Crescentville Road is in need of improvement, and that the proposed improvement is conducive to the orderly and efficient flow of traffic within and through the COUNTY.

NOW, THEREFORE, it is mutually agreed between the parties of said Agreement as follows:

1. The City will, in accordance with Sections 153.61, 4504.04 and 4504.05 of the Ohio Revised Code:
 - (a) Prepare necessary estimate, specifications, contract, and construction plans for the improving of Crescentville Road and submit it to the County Engineer for his approval.
 - (b) Acquire all necessary rights-of-way, title of which shall remain in the name of the City.
 - (c) Advertise for bids on the improvement.
 - (d) Award the construction contract.
 - (e) Supervise construction of the improvement.
 - (f) Pay for all costs related to the Improvement of Crescentville Road not covered by Section 2(b).
 - (g) Use all moneys received by it under Sections 4504.04 and 4504.05, Ohio Revised Code, for the purpose for which they are encumbered.
 - (h) Return to the Municipal Road Fund, division (B) (1) of Section 4504.05, Revised Code of Ohio, the Hamilton County Motor Vehicle License Tax Fund, any surplus of the amount cited in Section 2 (b).
 - (i) Maintain and keep in repair said road after completion of improvement at City expense.

2. The COUNTY will, in accordance with Sections 153.61, 4504.04 and 4504.05 of the Ohio Revised Code:

- (a) Have the estimate, specifications, contract, and construction plans for the improvement reviewed by the County Engineer.
- (b) Upon approval of the estimate, specifications, contract, and construction plans for the improvement by the County Engineer, encumber to the City from the Municipal portion of the County Motor Vehicle License Tax Fund, an amount of **\$150,468.00** to cover the cost of the improvement. Said encumbrance is to be subject to final audit, review, and adjustment upon completion of project.
- (c) Advise the County Auditor to draw a warrant for such encumbered amount, upon notification by **City of Springdale** that work on the approved project has commenced, on the County Treasurer payable to the CLERK of **City of Springdale**.

INTENTIONALLY LEFT BLANK

IN WITNESS WHEREOF, the COUNTY and the City have signed this JOINT AGREEMENT as indicated in their respective acknowledgements below.

City of Springdale:

By: _____

Title

Approved as to Form:

By: _____

Title

I, _____, Chief Fiscal Officer of _____, acting pursuant to O.R.C. 5705.41, certify that the funds to meet the obligations of this is contract, have been lawfully appropriated, are in the treasury, or in the process of collection.

By: _____

Date

HAMILTON COUNTY:

By: _____

Hamilton County Engineer

Board of County Commissioners, Hamilton County, Ohio:

By: _____

County Administrator

Approved as to Form:

By:  _____

Assistant County Prosecutor

ORDINANCE NO. 41-2024

AN ORDINANCE REDUCING AND RECERTIFYING SPECIAL ASSESSMENTS LEVIED FOR THE PURPOSE OF CONSTRUCTING CERTAIN IMPROVEMENTS AND DECLARING AN EMERGENCY

WHEREAS, pursuant to a petition filed by the owners of the benefited properties, dated July 27, 2006, ("Petition"), City Council of the City of Springdale ("City Council") passed Resolution No. 11-2006 on August 2, 2006 declaring the necessity of acquiring and constructing certain improvements related to the Pictoria development and adopted the assessments with respect to those improvements by passage of Ordinance No. 41-2006 on August 2, 2006; and

WHEREAS, in accordance with the Petition, the improvements identified in Resolution No. 11-2006 and Ordinance 41-2006 (collectively the "Improvements") have been acquired and constructed on behalf of the City of Springdale (the "City") and in cooperation with the Port of Greater Cincinnati Development Authority ("Port Authority"); and

WHEREAS, pursuant to Chapter 727 of the Ohio Revised Code, the City authorized the assessments be levied and collected for the Improvements; and

WHEREAS, City Council's passage of Ordinance No. 42-2006 on August 2, 2006 levied special assessments against benefited properties and certified said assessments to the Hamilton County Auditor for collection; and

WHEREAS, the Tax Increment and Special Assessment Financing Cooperative Agreement entered into by and among the City, the property owners, and the Port Authority (the "Cooperative Agreement"), dated October 1, 2006 requires the assessments be reduced in accordance with the Cooperative Agreement, which includes reductions for the amount of service payments in lieu of taxes collected pursuant to section 5709.42 of the Ohio Revised Code and other available funds; and

WHEREAS, the City has received the report of the Administrator, as defined in the Cooperative Agreement, detailing the amount of service payments in lieu of taxes and other funds to be available during the years 2024 and 2025 for the purpose of making debt service payments and indicating the amount by which the special assessments to be collected should be reduced for the 2025 collection year; and

WHEREAS, the assessments previously levied and certified to the County Auditor for the 2025 collection year should be reduced and recertified in accordance with the Administrator's report.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That the assessments of the cost and expense of the Improvements plus Administrative Expenses provided for as part of Resolution No. 11-2006 and Ordinance 41-2006, which were previously certified for the 2025 collection year by City Council to the Hamilton County Auditor's Office for certain parcel numbers and in the amounts as set forth in the attached Exhibit A which is incorporated herein by reference, shall be reduced and recertified to the Hamilton County Auditor and shall be levied and collected for collection year 2025 in the amounts set forth on the attached Exhibit B which is incorporated herein by reference. The special assessment activity from 2007 to 2025 is included for informational purposes only and is detailed in the attached Exhibit C which is incorporated herein by reference.

Section 2. The Clerk of Council is hereby directed to deliver a certified copy of this Ordinance to the County Auditor within fifteen days after its adoption on or before September 9, 2024.

Section 3. That it is found and determined that all formal actions of this Council concerning and relating to the adoption of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

Section 4. This ordinance shall take effect on the earliest date allowed by law.

Section 5. That this Ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for said declaration of emergency is the need to reduce the assessments at the earliest possible date consistent with the schedule agreed to by the City.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Mayor

Date

CERTIFICATE

The undersigned hereby certifies that the foregoing is a true and correct copy of an Ordinance adopted on the 21st day of August, 2024, and that on the ___ day of _____, 2024, a date on or before September 9, 2024, a true and correct copy of such Ordinance was filed with the Hamilton County Auditor.

Clerk of Council

RECEIPT

The undersigned hereby acknowledges receipt of the foregoing Ordinance.

County Auditor

Dated: _____

ORDINANCE NO. 41-2024

EXHIBIT A

ASSESSMENTS AS ORIGINALLY CERTIFIED TO THE COUNTY AUDITOR

**SPECIAL ASSESSMENT ROLL
ANNUAL ASSESSMENTS**

City of Springdale, County of Hamilton
State of Ohio
Tax Parcel 599-30-426

Year Assessments Collected	Principal	Bond Service Charges and Administrative Expenses	Annual Assessment	Service Payments In Lieu of Taxes (Credit)	Annual Assessment to be Collected
		(a)		(b)	(c)
2007	\$265,000	\$1,770,598	\$2,035,598	(\$1,997,513)	\$38,084
2008	\$275,000	\$1,347,135	\$1,622,135		
2009	\$285,000	\$1,309,644	\$1,594,644		
2010	\$295,000	\$1,270,787	\$1,565,787		
2011	\$305,000	\$1,230,565	\$1,535,565		
2012	\$320,000	\$1,188,951	\$1,508,951		
2013	\$330,000	\$1,145,312	\$1,475,312		
2014	\$340,000	\$1,100,307	\$1,440,307		
2015	\$355,000	\$1,053,911	\$1,408,911		
2016	\$370,000	\$1,005,465	\$1,375,465		
2017	\$380,000	\$954,993	\$1,334,993		
2018	\$395,000	\$903,131	\$1,298,131		
2019	\$410,000	\$849,218	\$1,259,218		
2020	\$425,000	\$793,255	\$1,218,255		
2021	\$445,000	\$735,217	\$1,180,217		
2022	\$460,000	\$674,468	\$1,134,468		
2023	\$475,000	\$611,669	\$1,086,669		
2024	\$495,000	\$546,795	\$1,041,795		
2025	\$515,000	\$479,186	\$994,186		
2026	\$530,000	\$408,866	\$938,866		
2027	\$550,000	\$336,472	\$886,472		
2028	\$570,000	\$261,344	\$831,344		
2029	\$595,000	\$183,455	\$778,455		
2030	\$615,000	\$102,171	\$717,171		
Total	\$10,000,000	\$20,262,914	\$30,262,914	(\$1,997,513)	\$38,084

(a) Bond service charges and administrative expenses include interest on the bonds at fixed or variable rates, in effect from time to time; letter of credit costs issued to secure repayment of the bonds; reserve funds, replenishment of reserve funds, letter of credit costs issued in lieu of a reserve fund; Port Authority administrative costs and annual fees; trustee fees and expenses; financial administrator fees and expenses; remarketing fees and expenses; legal fees; and all other usual and customary cost of issuance fees and expenses.

(b) Calculation of the credit for Year Assessments Collected 2007 shown in Exhibit C-2. Calculation for subsequent years will be done on an annual basis.

(c) Calculation of Annual Assessment to be Collected is equal to Annual Assessments less Credit, calculated on an annual basis.

ORDINANCE NO. 41-2024

EXHIBIT B

**Port of Greater Cincinnati Development Authority
Phase II Springdale Public Infrastructure Project**

Special Assessments to be Collected in 2025

Parcel ID	Principal Portion of the Special Assessment (Before 2025 Collection)	Balance of Total Annual Assessments (Before 2025 Collection)	Gross Annual Assessments (Collection Year 2025)	Special Assessment Reduction Amount (Collection Year 2025)	Annual Required Assessments (Collection Year 2025)	Balance of Total Annual Assessments (After 2025 Collection)
599-0030-0429-00 ¹	\$3,375,000	\$5,146,494.16	\$994,185.73	(\$642,228.81)	\$351,956.92	\$4,152,308.43
Total:	\$3,375,000	\$5,146,494.16	\$994,185.73	(\$642,228.81)	\$351,956.92	\$4,152,308.43

¹ As described in the related Administrator’s report, the Assessed Lands initially consisted solely of the Pictoria Parcel (Parcel ID 599-0030-0426-00), which was split into the Pictoria Tower Parcel and the Western Plaza Parcels. The Administrator has determined that the Western Plaza Parcels are not specially benefited by the improvement petitioned for by the owner. Accordingly, the Assessed Lands currently consist solely of the Pictoria Tower Parcel (Parcel ID 599-0030-0429-00).

ORDINANCE NO. 41-2024

EXHIBIT C

ASSESSMENTS AS CERTIFIED

**Port of Greater Cincinnati Development Authority
Phase II Springdale Public Infrastructure Project**

**Special Assessment Roll
Annual Assessments**

Year Assessments Collected	Principal	Bond Service Charges and Administrative Expenses	Annual Assessment	Special Assessment Reduction Amount	Annual Assessment to be Collected
2007	\$265,000	\$1,770,598	\$2,035,598	(\$1,997,514.00)	\$38,084
2008	\$275,000	\$1,347,135	\$1,622,135	(\$1,328,411.00)	\$293,724
2009	\$285,000	\$1,309,644	\$1,594,644	(\$1,391,608.00)	\$203,037
2010	\$295,000	\$1,270,787	\$1,565,787	(\$1,148,333.00)	\$417,454
2011	\$305,000	\$1,230,565	\$1,535,565	(\$1,436,750.00)	\$98,814
2012	\$320,000	\$1,188,951	\$1,508,951	(\$1,356,803.00)	\$152,148
2013	\$330,000	\$1,145,312	\$1,475,312	(\$1,294,524.00)	\$180,787
2014	\$340,000	\$1,100,307	\$1,440,307	(\$1,262,305.00)	\$178,002
2015	\$355,000	\$1,053,911	\$1,408,911	(\$1,262,099.00)	\$146,812
2016	\$370,000	\$1,005,465	\$1,375,465	(\$1,143,195.00)	\$232,270
2017	\$380,000	\$954,993	\$1,334,993	(\$1,029,059.00)	\$305,934
2018	\$395,000	\$903,131	\$1,298,131	(\$979,472.00)	\$318,659
2019	\$410,000	\$849,218	\$1,259,218	(\$1,197,829.00)	\$61,389
2020	\$425,000	\$793,255	\$1,218,255	(\$1,145,955.00)	\$72,300
2021	\$445,000	\$735,217	\$1,180,217	(\$1,180,217.00)	\$0
2022	\$460,000	\$674,468	\$1,134,468	(\$1,060,642.00)	\$73,825
2023	\$475,000	\$611,669	\$1,086,669	(\$954,981.00)	\$131,687
2024	\$495,000	\$546,795	\$1,041,795	(\$1,000,842.00)	\$40,953
2025	\$515,000	\$479,186	\$994,186	(\$642,228.81)	351,956.92
2026	\$530,000	\$408,866	\$938,866		
2027	\$550,000	\$336,472	\$886,472		
2028	\$570,000	\$261,344	\$831,344		
2029	\$595,000	\$183,455	\$778,455		
2030	\$615,000	\$102,171	\$717,171		
Total:	\$10,000,000	\$20,262,914	\$30,262,914	(\$22,812,768.18)	\$3,297,837.49

ORDINANCE NO. 42-2024

AN ORDINANCE ENACTING AND ADOPTING THE 2024 S-27 SUPPLEMENT TO THE CODE OF ORDINANCES OF THE CITY OF SPRINGDALE, OHIO AND DECLARING AN EMERGENCY

WHEREAS, the City of Springdale contracts annually with American Legal Publishing Corporation to prepare an update to the Code of Ordinances of the City of Springdale, Ohio (the “City Code”) to reflect changes and ensure that the City Code is in compliance with recent revisions to local, state and federal laws.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That the 2024 S-27 Supplement to the Code of Ordinances of the City of Springdale, Ohio, as prepared and submitted by American Legal Publishing Corporation, a copy of which is on file with the Clerk of Council, who certifies that the codification, renumbering and rearrangement in book form is correct, is hereby adopted and incorporated by reference as if set forth herein in its entirety.

Section 2. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. This Ordinance shall take effect on the earliest date allowed by law.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for the emergency is to enact and adopt the 2024 S-27 Supplement at the earliest possible date to ensure immediate compliance with revisions made to local, state and federal laws since the last update.

Passed this 21st day of August 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

ORDINANCE NO. 43-2024

AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO ENTER INTO AN AGREEMENT WITH FYDA FREIGHTLINER CINCINNATI FOR THE PURCHASE OF A 2025 FREIGHTLINER M2 106 TRUCK CAB AND CHASSIS AND DECLARING AN EMERGENCY

WHEREAS, Sourcewell is a cooperative purchasing entity available for use by all government and education agencies in the United States including the City of Springdale (the “City”); and

WHEREAS, Sourcewell has advertised and received bids for the purchase of various vehicles and equipment; and

WHEREAS, the City seeks to purchase a cab and chassis from the program for use by the City Public Works Department; and

WHEREAS, FYDA Freightliner Cincinnati submitted a bid through the Sourcewell program for a 2025 Freightliner M2 106 Truck Cab and Chassis in the amount of \$99,316.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. The City of Springdale accepts Sourcewell’s specifications for a new cab and chassis and finds that FYDA Freightliner Cincinnati is the lowest and best bidder for the purchase of a 2025 Freightliner M2 106 Truck Cab and Chassis in the amount of \$99,316.

Section 2. That the Mayor and City Administrator are hereby authorized to enter into an agreement with FYDA Freightliner Cincinnati for the purchase of a 2025 Freightliner M2 106 Truck Cab and Chassis for use by the City of Springdale Public Works Department (the “Agreement”). A copy of the Agreement is attached as Exhibit A and incorporated herein by reference.

Section 3. That the Finance Officer/Tax Commissioner is hereby authorized to pay FYDA Freightliner Cincinnati a sum not to exceed \$99,316 for the purchase of a 2025 Freightliner M2 106 Truck Cab and Chassis consistent with the Agreement.

Section 4. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 5. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for the emergency is the immediate need to enable the City to execute the Agreement as soon as possible prior to the expiration of the bid price.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
Phone: 513-346-5520

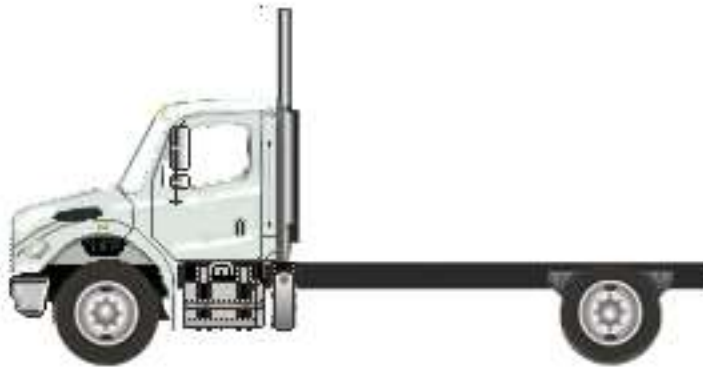
Prepared by:
Mike Bailey
FYDA FREIGHTLINER
CINCINNATI
1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

A proposal for
SPRINGDALE PUBLIC WORKS
ODOT 023-24 Pricing

Prepared by
FYDA FREIGHTLINER CINCINNATI
Mike Bailey

Jul 25, 2024

Freightliner M2 106 Plus



Components shown may not reflect all spec'd options and are not to scale

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
Phone: 513-346-5520

Prepared by:
Mike Bailey
FYDA FREIGHTLINER
CINCINNATI
1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

S P E C I F I C A T I O N P R O P O S A L

Description
Price Level
M2 PRL-28M (EFF:MY25 ORDERS)
Data Version
SPECPRO21 DATA RELEASE VER 049
Vehicle Configuration
M2 106 PLUS CONVENTIONAL CHASSIS 2025 MODEL YEAR SPECIFIED SET BACK AXLE - TRUCK TRAILER TOWING PROVISION AT END OF FRAME WITH SAE J560 LH PRIMARY STEERING LOCATION
General Service
TRUCK/TRAILER CONFIGURATION DOMICILED, USA 50 STATES (INCLUDING CALIFORNIA AND CARB OPT-IN STATES) CARB CLEAN IDLE LABELS NOT FOR INITIAL REGISTRATION IN STATES REQUIRING CARB EMISSIONS CERTIFICATION (INCLUDES 6X4 INCH LABELS ON LOWER FORWARD OF DRIVER DOOR) NONE CONSTRUCTION SERVICE GOVERNMENT BUSINESS SEGMENT DIRT/SAND/ROCK COMMODITY TERRAIN/DUTY: 100% (ALL) OF THE TIME, IN TRANSIT, IS SPENT ON PAVED ROADS MAXIMUM 8% EXPECTED GRADE SMOOTH CONCRETE OR ASPHALT PAVEMENT - MOST SEVERE IN-TRANSIT (BETWEEN SITES) ROAD SURFACE MEDIUM TRUCK WARRANTY EXPECTED FRONT AXLE(S) LOAD : 14600.0 lbs

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
Phone: 513-346-5520

Prepared by:
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FYDA FREIGHTLINER
CINCINNATI
1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

Description

EXPECTED REAR DRIVE AXLE(S) LOAD :
23000.0 lbs
EXPECTED GROSS VEHICLE WEIGHT CAPACITY
: 37600.0 lbs
EXPECTED GROSS COMBINATION WEIGHT :
80000.0 lbs

Truck Service

FRONT PLOW/END DUMP BODY
HENDERSON
EXPECTED BODY/PAYLOAD CG HEIGHT ABOVE
FRAME "XX" INCHES : 32.0 in

Tractor Service

FLATBED TRAILER
SINGLE (1) TRAILER

Engine

CUM L9 300 HP @ 2200 RPM; 2200 GOV RPM,
860 LB-FT @ 1200 RPM

Electronic Parameters

72 MPH ROAD SPEED LIMIT
CRUISE CONTROL SPEED LIMIT SAME AS ROAD
SPEED LIMIT
CUMMINS TRIP INFORMATION REPORTS
ENABLED; LEVEL 1: 4 MPH, LEVEL 2: 7 MPH
ABOVE ROAD SPEED LIMIT
PTO GOVERNOR RAMP RATE - 50 RPM PER
SECOND
FUEL DOSING OF AFTERTREATMENT ENABLED
IN PTO MODE-CLEANS HYDROCARBONS AT
HIGH TEMPERATURES ONLY
ONE TEM PTO SPEED
PTO SPEED 1 SETTING - 800 RPM
PTO MINIMUM RPM - 650
REGEN INHIBIT SPEED THRESHOLD - 0 MPH
PTO 1, DASH SWITCH, ROLLING OPERATION
(ENGAGE WHILE PARKED, ROLL IN NEUTRAL
AFTER ENGAGEMENT)
ENGINE MOUNT PTO, TEM SUPPLIED REQUEST,
DRIVING OPERATION

Engine Equipment

EPA 2010 GHG 2024/CARB 2024 ULTRALOW NOX
CONFIGURATION

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
Phone: 513-346-5520

Prepared by:
Mike Bailey
FYDA FREIGHTLINER
CINCINNATI
1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

Description

STANDARD OIL PAN
ENGINE MOUNTED OIL CHECK AND FILL
SIDE OF HOOD AIR INTAKE WITH FIREWALL
MOUNTED DONALDSON AIR CLEANER
DR 12V 160 AMP 28-SI QUADRAMOUNT PAD
ALTERNATOR WITH REMOTE BATTERY VOLT
SENSE
(2) DTNA GENUINE, FLOODED STARTING, MIN
2000CCA, 370RC, THREADED STUD BATTERIES
BATTERY BOX FRAME MOUNTED
STANDARD BATTERY JUMPERS
SINGLE BATTERY BOX FRAME MOUNTED LH
SIDE UNDER CAB
WIRE GROUND RETURN FOR BATTERY CABLES
WITH ADDITIONAL FRAME GROUND RETURN
NON-POLISHED BATTERY BOX COVER
POSITIVE LOAD DISCONNECT WITH CAB
MOUNTED CONTROL SWITCH MOUNTED
OUTBOARD DRIVER SEAT
POSITIVE AND NEGATIVE POSTS FOR
JUMPSTART LOCATED ON FRAME NEXT TO
STARTER
PROGRESSIVE LOW VOLTAGE DISCONNECT AT
12.3 VOLTS FOR DESIGNATED CIRCUITS
CUMMINS TURBOCHARGED 18.7 CFM AIR
COMPRESSOR WITH INTERNAL SAFETY VALVE
STANDARD MECHANICAL AIR COMPRESSOR
GOVERNOR
AIR COMPRESSOR DISCHARGE LINE
ELECTRONIC ENGINE INTEGRAL WARNING AND
DERATE PROTECTION SYSTEM
CUMMINS ENGINE INTEGRAL BRAKE WITH
VARIABLE GEOMETRY TURBO ON/OFF WITH
BRAKE LAMPS
RH OUTBOARD UNDER STEP MOUNTED
HORIZONTAL AFTERTREATMENT SYSTEM
ASSEMBLY WITH RH B-PILLAR MOUNTED
VERTICAL TAILPIPE
ENGINE AFTERTREATMENT DEVICE,
AUTOMATIC OVER THE ROAD REGENERATION
AND VIRTUAL REGENERATION REQUEST
SWITCH IN CLUSTER
10 FOOT 00 INCH (120 INCH+0/-5.9 INCH)
EXHAUST SYSTEM HEIGHT

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
Phone: 513-346-5520

Prepared by:
Mike Bailey
FYDA FREIGHTLINER
CINCINNATI
1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

Description

RH CURVED VERTICAL TAILPIPE B-PILLAR MOUNTED ROUTED FROM STEP
6 GALLON DIESEL EXHAUST FLUID TANK
100 PERCENT DIESEL EXHAUST FLUID FILL
LH MEDIUM DUTY STANDARD DIESEL EXHAUST FLUID TANK LOCATION
STANDARD DIESEL EXHAUST FLUID PUMP MOUNTING
STANDARD DIESEL EXHAUST FLUID TANK CAP
STAINLESS STEEL AFTERTREATMENT DEVICE/MUFFLER/TAILPIPE SHIELD
HIGH SPEED AIR POWERED ON/OFF ENGINE FAN CLUTCH
AUTOMATIC FAN CONTROL WITH DASH SWITCH AND INDICATOR LIGHT, NON ENGINE MOUNTED
CUMMINS SPIN ON FUEL FILTER
COMBINATION FULL FLOW/BYPASS OIL FILTER
1100 SQUARE INCH ALUMINUM RADIATOR
ANTIFREEZE TO -34F, ETHYLENE GLYCOL PRE-CHARGED SCA HEAVY DUTY COOLANT
GATES BLUE STRIPE COOLANT HOSES OR EQUIVALENT
CONSTANT TENSION HOSE CLAMPS FOR COOLANT HOSES
RADIATOR DRAIN VALVE
NO RADIATOR/OIL PAN GUARD
PHILLIPS-TEMRO 1000 WATT/115 VOLT BLOCK HEATER
BLACK PLASTIC ENGINE HEATER RECEPTACLE MOUNTED UNDER LH DOOR
ALUMINUM FLYWHEEL HOUSING
ELECTRIC GRID AIR INTAKE WARMER
DELCO 12V 38MT HD STARTER WITH INTEGRATED MAGNETIC SWITCH

Transmission

ALLISON 3000 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION

Transmission Equipment

ALLISON VOCATIONAL PACKAGE 146 - AVAILABLE ON 3000/4000 PRODUCT FAMILIES WITH VOCATIONAL MODEL RDS

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
Phone: 513-346-5520

Prepared by:
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FYDA FREIGHTLINER
CINCINNATI
1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

Description

ALLISON VOCATIONAL RATING FOR ON/OFF
HIGHWAY APPLICATIONS AVAILABLE WITH ALL
PRODUCT FAMILIES

PRIMARY MODE GEARS, LOWEST GEAR 1,
START GEAR 1, HIGHEST GEAR 6, AVAILABLE
FOR 3000/4000 PRODUCT FAMILIES ONLY

SECONDARY MODE GEARS, LOWEST GEAR 1,
START GEAR 1, HIGHEST GEAR 6, AVAILABLE
FOR 3000/4000 PRODUCT FAMILIES ONLY

S1 PERFORMANCE PRIMARY SHIFT SCHEDULE,
AVAILABLE FOR 3000/4000 PRODUCT FAMILIES
ONLY

S1 PERFORMANCE SECONDARY SHIFT
SCHEDULE, AVAILABLE FOR 3000/4000
PRODUCT FAMILIES ONLY

2200 RPM PRIMARY MODE SHIFT SPEED

2200 RPM SECONDARY MODE SHIFT SPEED

ENGINE BRAKE RANGE PRESELECT
RECOMMENDED BY DTNA AND ALLISON, THIS
DEFINED BY ENGINE AND VOCATIONAL USAGE

ENGINE BRAKE RANGE ALTERNATE
PRESELECT RECOMMENDED BY DTNA AND
ALLISON, THIS DEFINED BY ENGINE AND
VOCATIONAL USAGE

FUEL SENSE 2.0 DISABLED - PERFORMANCE -
TABLE BASED

DRIVER SWITCH INPUT - DEFAULT - NO
SWITCHES

MAXIMUM ENGINE SPEED FOR PTO
ENGAGEMENT 900 RPM

MAXIMUM ENGINE SPEED FOR PTO
OPERATION 3100 RPM

MAXIMUM OUTPUT SPEED FOR PTO
ENGAGEMENT 700 RPM

MAXIMUM OUTPUT SPEED FOR PTO
OPERATION 3900 RPM - ALLISON 5TH GEN
TRANSMISSIONS

QUICKFIT BODY LIGHTING CONNECTOR AT
END OF FRAME, WITH BLUNTCUTS

ELECTRONIC TRANSMISSION WIRING TO
CUSTOMER INTERFACE CONNECTOR

CUSTOMER INSTALLED CHELSEA 280 SERIES
PTO

PTO MOUNTING, LH SIDE OF MAIN
TRANSMISSION ALLISON

Prepared for:
Mike Huxsoll
SPRINGDALE PUBLIC WORKS
335 NORTHLAND BLVD

SPRINGDALE, OH 45246
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1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

Description

MAGNETIC PLUGS, ENGINE DRAIN,
TRANSMISSION DRAIN, AXLE(S) FILL AND
DRAIN
PUSH BUTTON ELECTRONIC SHIFT CONTROL,
DASH MOUNTED
TRANSMISSION PROGNOSTICS - ENABLED 2013
WATER TO OIL TRANSMISSION COOLER, IN
RADIATOR END TANK
TRANSMISSION OIL CHECK AND FILL WITH
ELECTRONIC OIL LEVEL CHECK
SYNTHETIC TRANSMISSION FLUID (TES-295
COMPLIANT)

Front Axle and Equipment

DETROIT DA-F-14.7-3 14,700# FF1 71.5 KPI/3.74
DROP SINGLE FRONT AXLE
MERITOR 16.5X5 Q+ CAST SPIDER CAM FRONT
BRAKES, DOUBLE ANCHOR, PLATINUM SHIELD
FABRICATED SHOES
NON-ASBESTOS FRONT BRAKE LINING
CAST IRON OUTBOARD FRONT BRAKE DRUMS
FRONT OIL SEALS
VENTED FRONT HUB CAPS WITH WINDOW,
CENTER AND SIDE PLUGS - OIL
STANDARD SPINDLE NUTS FOR ALL AXLES
MERITOR AUTOMATIC FRONT SLACK
ADJUSTERS
TRW TAS-85 POWER STEERING
POWER STEERING PUMP
2 QUART SEE THROUGH POWER STEERING
RESERVOIR
CURRENT AVAILABLE SYNTHETIC 75W-90
FRONT AXLE LUBE

Front Suspension

16,000# FLAT LEAF FRONT SUSPENSION
GRAPHITE BRONZE BUSHINGS WITH SEALS -
FRONT SUSPENSION
FRONT SHOCK ABSORBERS

Rear Axle and Equipment

CUMMINS-MERITOR RS-23-161 23,000# R-
SERIES SINGLE REAR AXLE
6.14 REAR AXLE RATIO

Prepared for:
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335 NORTHLAND BLVD

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Phone: 513-346-5520

Prepared by:
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FYDA FREIGHTLINER
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1 FREIGHTLINER DRIVE
CINCINNATI, OH 45241
Phone: 513-772-7171

Description

IRON REAR AXLE CARRIER WITH STANDARD AXLE HOUSING
MXL 17T MERITOR EXTENDED LUBE MAIN DRIVELINE WITH HALF ROUND YOKES
DRIVER CONTROLLED TRACTION DIFFERENTIAL - SINGLE REAR AXLE
(1) DRIVER CONTROLLED DIFFERENTIAL LOCK REAR VALVE FOR SINGLE DRIVE AXLE
INDICATOR LIGHT FOR EACH DIFFERENTIAL LOCKOUT SWITCH, ENGAGE <5 MPH, DISENGAGE >25 MPH
MERITOR 16.5X8.62 Q+ CAST SPIDER CAM REAR BRAKES, DOUBLE ANCHOR, FABRICATED SHOES
NON-ASBESTOS REAR BRAKE LINING
BRAKE CAMS AND CHAMBERS ON FORWARD SIDE OF DRIVE AXLE(S)
CONMET CAST IRON REAR BRAKE DRUMS
REAR OIL SEALS
HALDEX GOLDSEAL LONGSTROKE 1-DRIVE AXLE SPRING PARKING CHAMBERS
MERITOR AUTOMATIC REAR SLACK ADJUSTERS
CURRENT AVAILABLE SYNTHETIC 75W-90 REAR AXLE LUBE

Rear Suspension

30,000# FLAT LEAF SPRING REAR SUSPENSION WITH HELPER AND RADIUS ROD
SPRING SUSPENSION - NO AXLE SPACERS
STANDARD AXLE SEATS IN AXLE CLAMP GROUP
FORE/AFT CONTROL RODS

Pusher / Tag Equipment

NO PUSHER/TAG BRAKE DUST SHIELDS

Brake System

AIR BRAKE PACKAGE
WABCO 4S/4M ABS WITH TRACTION CONTROL WITH ATC SHUT OFF SWITCH
REINFORCED NYLON, FABRIC BRAID AND WIRE BRAID CHASSIS AIR LINES
FIBER BRAID PARKING BRAKE HOSE
STANDARD BRAKE SYSTEM VALVES

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Description

STANDARD AIR SYSTEM PRESSURE
PROTECTION SYSTEM
STD U.S. FRONT BRAKE VALVE
RELAY VALVE WITH 5-8 PSI CRACK PRESSURE,
NO REAR PROPORTIONING VALVE
BW AD-9SI BRAKE LINE AIR DRYER WITH
HEATER
AIR DRYER MOUNTED INBOARD ON LH RAIL
ALUMINUM AIR BRAKE RESERVOIRS
BW DV-2 AUTO DRAIN VALVE WITHOUT HEATER
- WET TANK

Trailer Connections

NO TRAILER AIR HOSE
NO AIR HOSE HANGER
PLUGGED AIR CONNECTIONS AT END OF
FRAME
PRIMARY CONNECTOR/RECEPTACLE WIRED
FOR SEPARATE STOP/TURN, CENTER PIN
POWERED THROUGH IGNITION WITH STOP
SIGNAL PREWIRE PACKAGE
SAE J560 7-WAY PRIMARY TRAILER CABLE
RECEPTACLE MOUNTED END OF FRAME
NO TRAILER ELECTRICAL CABLE

Wheelbase & Frame

4625MM (182 INCH) WHEELBASE
7/16X3-9/16X11-1/8 INCH STEEL FRAME
(11.11MMX282.6MM/0.437X11.13 INCH) 120KSI
TEM TO EVALUATE AND INSTALL FRAME RAIL
REINFORCEMENT AS NEEDED FOR FRONT
FRAME MOUNTED EQUIPMENT
1650MM (65 INCH) REAR FRAME OVERHANG
FRAME OVERHANG RANGE: 61 INCH TO 70
INCH
CALC'D BACK OF CAB TO REAR SUSP C/L (CA) :
116.54 in
CALCULATED EFFECTIVE BACK OF CAB TO
REAR SUSPENSION C/L (CA) : 113.54 in
CALC'D FRAME LENGTH - OVERALL : 276.48 in
CALCULATED FRAME SPACE LH SIDE : 81.82 in
CALCULATED FRAME SPACE RH SIDE : 83.92 in
SQUARE END OF FRAME
FRONT CLOSING CROSSMEMBER

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Description

LIGHTWEIGHT HEAVY DUTY ALUMINUM ENGINE
CROSSMEMBER
STANDARD CROSSMEMBER BACK OF
TRANSMISSION
STANDARD MIDSHIP #1 CROSSMEMBER(S)
STANDARD REAR MOST CROSSMEMBER
STANDARD SUSPENSION CROSSMEMBER

Chassis Equipment

OMIT FRONT BUMPER, CUSTOMER INSTALLED
SPECIAL BUMPER, DOES NOT COMPLY WITH
FMCSR 393.203
NO MUDFLAP BRACKETS
NO REAR MUDFLAPS
FENDER AND FRONT OF HOOD MOUNTED
FRONT MUDFLAPS
GRADE 8 THREADED HEX HEADED FRAME
FASTENERS
EXTERIOR HARNESSES WRAPPED IN
ABRASION TAPE
CLEAR FRAME RAILS FROM BACK OF CAB TO
FRONT REAR SUSPENSION BRACKET, BOTH
RAILS OUTBOARD

Fifth Wheel

NO FIFTH WHEEL

Fuel Tanks

50 GALLON/189 LITER SHORT RECTANGULAR
ALUMINUM FUEL TANK - LH
RECTANGULAR FUEL TANK(S)
PLAIN ALUMINUM/PAINTED STEEL
FUEL/HYDRAULIC TANK(S) WITH PAINTED
BANDS
FUEL TANK(S) FORWARD
POLISHED STAINLESS STEEL STEP FINISH
FUEL TANK CAP(S)
DETROIT FUEL/WATER SEPARATOR WITH
WATER IN FUEL SENSOR, HAND PRIMER AND
12 VOLT PREHEATER"
EQUIFLO INBOARD FUEL SYSTEM
HIGH TEMPERATURE REINFORCED NYLON
FUEL LINE

Tires

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Description

MICHELIN X WORKS Z 315/80R22.5 20 PLY
RADIAL FRONT TIRES
MICHELIN X MULTI D+ 11R22.5 16 PLY RADIAL
REAR TIRES

Hubs

CONMET PRESET PLUS PREMIUM IRON FRONT
HUBS
CONMET PRESET PLUS PREMIUM IRON REAR
HUBS

Wheels

ALCOA ULTRA ONE 89U64X 22.5X9.00 10-HUB
PILOT 5.99 INSET ALUMINUM FRONT WHEELS
ALCOA ULA18X 22.5X8.25 10-HUB PILOT
ALUMINUM DISC REAR WHEELS
FRONT WHEEL MOUNTING NUTS
REAR WHEEL MOUNTING NUTS

Cab Exterior

106 INCH BBC FLAT ROOF ALUMINUM
CONVENTIONAL CAB
AIR CAB MOUNTING
NONREMOVABLE BUGSCREEN MOUNTED
BEHIND GRILLE
2-1/2 INCH FENDER EXTENSIONS
LH AND RH EXTERIOR GRAB HANDLES WITH
SINGLE RUBBER INSERT
STATIONARY MOLDED IN COLOR FULL GRILLE
FOR CHASSIS WITHOUT INTEGRAL FRONT
FRAME EXTENSIONS
MOLD-IN COLOR HOOD MOUNTED AIR INTAKE
GRILLE
FIBERGLASS HOOD
TUNNEL/FIREWALL LINER
SINGLE 14 INCH ROUND HADLEY AIR HORN
UNDER LH DECK
SINGLE ELECTRIC HORN
SINGLE HORN SHIELD
REAR LICENSE PLATE MOUNT END OF FRAME
INTEGRAL HEADLIGHT/MARKER ASSEMBLY
LED AERODYNAMIC MARKER LIGHTS

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Description

WIRING AND SWITCH FOR CUSTOMER
FURNISHED SNOW PLOW LAMPS WITH DUAL
CONNECTIONS AT BUMPER
DAYTIME RUNNING LIGHTS
INTEGRAL STOP/TAIL/BACKUP LIGHTS
STANDARD FRONT TURN SIGNAL LAMPS
DUAL WEST COAST BRIGHT FINISH HEATED
MIRRORS WITH LED LIGHTS AND LH AND RH
REMOTE
DOOR MOUNTED MIRRORS
102 INCH EQUIPMENT WIDTH
LH AND RH 8 INCH BRIGHT FINISH CONVEX
MIRRORS MOUNTED UNDER PRIMARY
MIRRORS
RH DOWN VIEW MIRROR
STANDARD SIDE/REAR REFLECTORS
RH AFTERTREATMENT SYSTEM CAB ACCESS
WITH POLISHED DIAMOND PLATE COVER
63X14 INCH TINTED REAR WINDOW
TINTED DOOR GLASS LH AND RH WITH TINTED
NON-OPERATING WING WINDOWS
RH AND LH ELECTRIC POWERED WINDOWS
1-PIECE BONDED HEATED WIPER PARK SOLAR
GREEN GLASS WINDSHIELD
2 GALLON WINDSHIELD WASHER RESERVOIR
WITH FLUID LEVEL INDICATOR, FRAME
MOUNTED

Cab Interior

RUGGED TRIM PACKAGE
GRAY & CARBON VINYL INTERIOR "RUGGED"
CARBON WITH PREMIUM GUNMETAL ACCENT
(RUGGED)
MOLDED PLASTIC DOOR PANEL
MOLDED PLASTIC DOOR PANEL
BLACK MATS WITH SINGLE INSULATION
(1)DASH MOUNTED 12V POWER OUTLET,
(1)DASH MOUNTED DUAL USB-C OUTLET
FORWARD ROOF MOUNTED CONSOLE
LH AND RH DOOR STORAGE POCKETS
INTEGRATED INTO MOLDED DOOR PANELS
DIGITAL ALARM CLOCK IN DRIVER DISPLAY
(2) CUP HOLDERS LH AND RH DASH

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Description

M2/SD DASH
5 LB. FIRE EXTINGUISHER
HEATER, DEFROSTER AND AIR CONDITIONER
STANDARD HVAC DUCTING WITH SNOW
SHIELD FOR FRESH AIR INTAKE
MAIN HVAC CONTROLS WITH RECIRCULATION
SWITCH
STANDARD HEATER PLUMBING
VALEO HEAVY DUTY A/C REFRIGERANT
COMPRESSOR
BINARY CONTROL, R-134A
PREMIUM INSULATION
SOLID-STATE CIRCUIT PROTECTION AND
FUSES
12V NEGATIVE GROUND ELECTRICAL SYSTEM
PREMIUM LED CAB LIGHTING
NO SECURITY DEVICE
ALL UNIT(S) KEYED ALIKE WITH CUSTOMER
SPECIFIED KEY NUMBER FT1013
KEY QUANTITY OF 4
LH AND RH ELECTRIC DOOR LOCKS
TRIANGULAR REFLECTORS KIT WITHOUT
FLARES SHIPPED LOOSE IN CAB
PREMIUM ISRINGHAUSEN HIGH BACK AIR
SUSPENSION DRIVERS SEAT WITH 2 AIR
LUMBAR, INTEGRATED CUSHION EXTENSION,
TILT AND ADJUSTABLE SHOCK
BASIC ISRINGHAUSEN HIGH BACK AIR
SUSPENSION PASSENGER SEAT WITH
MECHANICAL LUMBAR AND INTEGRATED
CUSHION EXTENSION
DUAL DRIVER AND PASSENGER SEAT
ARMRESTS
LH AND RH INTEGRAL DOOR PANEL ARMRESTS
BLACK MORDURA CLOTH DRIVER SEAT COVER
BLACK MORDURA CLOTH PASSENGER SEAT
COVER
BLACK SEAT BELTS
ADJUSTABLE TILT AND TELESCOPING
STEERING COLUMN
4-SPOKE 18 INCH (450MM) LEATHER WRAPPED
STEERING WHEEL WITH CHROME SWITCH
BEZELS

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Description

DRIVER AND PASSENGER INTERIOR SUN
VISORS

Instruments & Controls

4 EXTRA PROGRAMMABLE
SWITCHES/INDICATORS
FULLY CONFIGURABLE CENTER INSTRUMENT
PANELS
ENGINE REMOTE INTERFACE WITHOUT
INTERLOCKS
BRIGHT ARGENT FINISH GAUGE BEZELS
LOW AIR PRESSURE INDICATOR LIGHT AND
AUDIBLE ALARM
DUAL NEEDLE PRIMARY AND SECONDARY AIR
PRESSURE GAUGE
DASH MOUNTED AIR RESTRICTION INDICATOR
WITH GRADUATIONS
ELECTRONIC CRUISE CONTROL WITH
CONTROLS ON STEERING WHEEL SPOKES
KEY OPERATED IGNITION SWITCH AND
INTEGRAL START POSITION; 4 POSITION
OFF/RUN/START/ACCESSORY
PREMIUM INSTRUMENT CLUSTER WITH 5.0
INCH TFT COLOR DISPLAY
DIGITAL PANEL LAMP DIMMER SWITCH IN
DRIVER DISPLAY
HEAVY DUTY ONBOARD DIAGNOSTICS
INTERFACE CONNECTOR LOCATED BELOW LH
DASH
2 INCH ELECTRIC FUEL GAUGE
ENGINE REMOTE INTERFACE WITH ONE OR
MORE SET SPEEDS
QUICKFIT POWERTRAIN INTERFACE
CONNECTOR LOCATED BETWEEN SEATS WITH
CAPS
NO ADDITIONAL EXTRA SWITCH ACCUATORS
QUICKFIT PROGRAMMABLE INTERFACE
CONNECTOR(S) BETWEEN SEATS WITH
BLUNTCUTS
ENGINE REMOTE INTERFACE CONNECTOR AT
POWERTRAIN INTERFACE CONNECTOR
ELECTRICAL ENGINE COOLANT TEMPERATURE
GAUGE
2 INCH TRANSMISSION OIL TEMPERATURE
GAUGE

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Description

ELECTRONIC OUTSIDE TEMPERATURE
SENSOR DISPLAY IN DRIVER MESSAGE
CENTER

ENGINE AND TRIP HOUR METERS INTEGRAL
WITHIN DRIVER DISPLAY

PTO CONTROLS FOR ENHANCED VEHICLE
ELECTRIC/ELECTRONIC ARCHITECTURE

NO OBSTACLE DETECTION SYSTEM

NO REVERSE PROXIMITY SENSOR

NO DR ASSIST SYSTEM

(1) BACKUP CAMERA-END OF FRAME MOUNTED
WITH 15 FOOT EXTRA LONG CABLE COILED AT
END OF FRAME

NO VEHICLE STABILITY ADVISOR OR CONTROL

NO LANE DEPARTURE WARNING SYSTEM

ELECTRIC ENGINE OIL PRESSURE GAUGE

1 QUIKFIT PROGRAMABLE MODULE (QPM/XMC)
W/ (4) 20AMP FUSED RELAYS

GENERIC TELEMATICS PREWIRE (CONSTANT
BATTERY POWER/IGNITION/GROUND/J1939);
RP1226 TYPE CONNECTOR AT PASSENGER
SIDE OF DASH END

7" B-PANEL INTERACTIVE TOUCHSCREEN
DISPLAY W/ USB-C, APPLE CARPLAY, ANDROID
AUTO, BLUETOOTH/AM/FM/SXM/WB,
MICROPHONE

DASH MOUNTED RADIO

(2) RADIO SPEAKERS IN CAB

NO AM/FM RADIO ANTENNA

POWER AND GROUND WIRING PROVISION
OVERHEAD

ROOF/OVERHEAD CONSOLE CB RADIO
PROVISION

MULTI-BAND AM/FM/WB/CB LH MIRROR
MOUNTED ANTENNA SYSTEM

INTEROPERABLE SDAR ANTENNA, SHIP LOOSE

STANDARD RADIO WIRING WITH STEERING
WHEEL CONTROLS

ELECTRONIC MPH SPEEDOMETER WITH
SECONDARY KPH SCALE, WITHOUT
ODOMETER

STANDARD VEHICLE SPEED SENSOR

ELECTRONIC 3000 RPM TACHOMETER

DETROIT CONNECT PLATFORM HARDWARE

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Description

3 YEARS DAIMLER CONNECTIVITY BASE PACKAGE ON (FEATURES VARY BY MODEL) POWERED BY DETROIT CONNECT ON CUMMINS ENGINES
(2) TMC RP1226 ACCESSORY CONNECTORS: (1) LOCATED BEHIND PASSENGER SIDE REMOVABLE DASH PANEL (1) CENTER OF OVERHEAD CONSOLE
IGNITION SWITCH CONTROLLED ENGINE STOP
NO HARDWIRE SWITCH #1
NO HARDWIRE SWITCH #2
NO HARDWIRE SWITCH #3
NO HARDWIRE SWITCH #4
PRE-TRIP INSPECTION FEATURE FOR EXTERIOR LAMPS AND SERVICE BRAKES
(1) OVERHEAD MOUNTED LANYARD CONTROL FOR DRIVER AIR HORN
BW TRACTOR PROTECTION VALVE
NO TRAILER HAND CONTROL BRAKE VALVE
DIGITAL VOLTAGE DISPLAY INTEGRAL WITH DRIVER DISPLAY
SINGLE ELECTRIC WINDSHIELD WIPER MOTOR WITH DELAY AND ARCTIC TYPE BLADES
ROTARY HEADLAMP SWITCH, MARKER LIGHTS/HEADLIGHTS SWITCH WITH PULL OUT FOR OPTIONAL FOG/ROAD LAMPS
TWO VALVE PARKING BRAKE SYSTEM WITH WARNING INDICATOR
SELF CANCELING TURN SIGNAL SWITCH WITH DIMMER, HEADLAMP FLASH, WASH/WIPE/INTERMITTENT
INTEGRAL ELECTRONIC TURN SIGNAL FLASHER WITH 40 AMP (20 AMP PER SIDE) TRAILER LAMP CAPACITY

Design

PAINT: ONE SOLID COLOR

Color

CAB COLOR A: L0006EY WHITE ELITE EY
BLACK, HIGH SOLIDS POLYURETHANE CHASSIS PAINT
NO CAB/BODY EXTERIOR DECALS
STANDARD E COAT/UNDERCOATING

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Description

Certification / Compliance

U.S. FMVSS CERTIFICATION, EXCEPT SALES
CABS AND GLIDER KITS

Extended Warranty

CUMMINS ENGINE CARB COMPLIANT: L9 HD1 MD DTY 5 YEARS /
100,000 MILES / 161,000 KM EXTENDED WARRANTY. FEX APPLIES

TC4: MD MODERATE 7 YEARS/100,000 MILES / 161,000 KM
EXTENDED TRUCK COVERAGE. FEX APPLIES

ALLISON 3000 RDS SERIES TRANSMISSION EXTEND WARRANTY, 5
YEARS/UNLIMITED MILES FEX

TOWING: 6 MONTHS/UNLIMITED MILES/KM EXTENDED TOWING
COVERAGE \$750 CAP FEX APPLIES

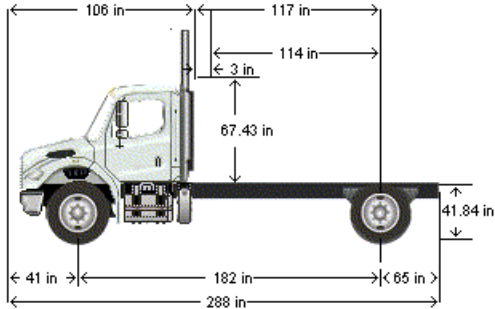
(***) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.

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D I M E N S I O N S



VEHICLE SPECIFICATIONS SUMMARY - DIMENSIONS

Model	M2106
Wheelbase (545)	4625MM (182 INCH) WHEELBASE
Rear Frame Overhang (552).....	1650MM (65 INCH) REAR FRAME OVERHANG
Fifth Wheel (578)	NO FIFTH WHEEL
Mounting Location (577)	NO FIFTH WHEEL LOCATION
Maximum Forward Position (in).....	0
Maximum Rearward Position (in)	0
Amount of Slide Travel (in).....	0
Slide Increment (in).....	0
Desired Slide Position (in).....	0.0
Cab Size (829).....	106 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB
Sleeper (682).....	NO SLEEPER BOX/SLEEPER CAB
Exhaust System (016)	RH OUTBOARD UNDER STEP MOUNTED HORIZONTAL AFTERTREATMENT SYSTEM ASSEMBLY WITH RH B-PILLAR MOUNTED VERTICAL TAILPIPE

TABLE SUMMARY - DIMENSIONS

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Dimensions	Inches
Bumper to Back of Cab (BBC)	106.3
Bumper to Centerline of Front Axle (BA)	40.7
Front Axle to Back of Cab (AC)	65.6
Min. Cab to Body Clearance (CB)	3.0
Back of Cab to Centerline of Rear Axle(s) (CA)	116.5
Effective Back of Cab to Centerline of Rear Axle(s) (Effective CA)	113.5
Back of Cab Protrusions (Exhaust/Intake) (CP)	2.0
Back of Cab Protrusions (Side Extenders/Trim Tab) (CP)	0.0
Back of Cab Protrusions (CNG Tank)	0.0
Back of Cab Clearance (CL)	3.0
Back of Cab to End of Frame	181.5
Cab Height (CH)	67.4
Wheelbase (WB)	182.1
Frame Overhang (OH)	65.0
Overall Frame Length	276.5
Overall Length (OAL)	287.8
Rear Axle Spacing	0.0
Unladen Frame Height at Centerline of Rear Axle	41.8

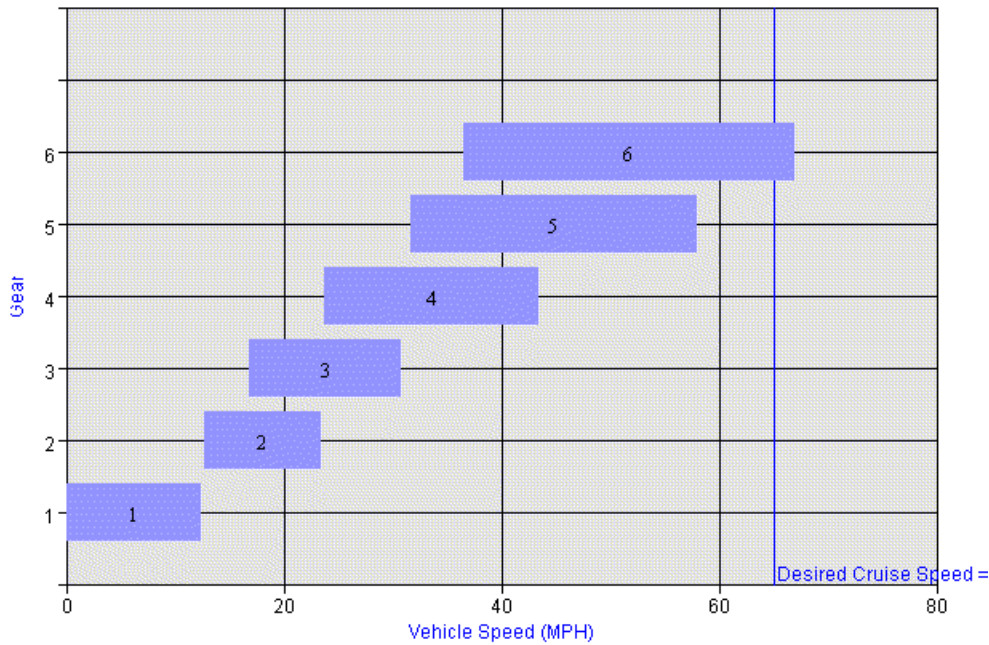
Performance calculations are estimates only. If performance calculations are critical, please contact Customer Application Engineering.

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OPERATING RANGE



VEHICLE SPECIFICATIONS SUMMARY - OPERATING RANGE

Model M2106
 Cab Size (829)..... 106 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB
 Desired Cruise Speed (mph) 65.0
 Engine (101)..... CUM L9 300 HP @ 2200 RPM; 2200 GOV RPM, 860 LB-FT @ 1200 RPM
 RPM at Peak Torque 1200
 Governed RPM..... 2200
 Transmission (342)..... ALLISON 3000 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION
 Gear Ratio: LL N/A
 Gear Ratio: L N/A
 Gear Ratio: 1 3.49

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Gear Ratio: 2 1.86
 Gear Ratio: 3 1.41
 Gear Ratio: 4 1
 Gear Ratio: 5 0.75
 Gear Ratio: 6 0.65
 Gear Ratio: 7 N/A
 Gear Ratio: 8 N/A
 Gear Ratio: 9 N/A
 Gear Ratio: 10 N/A
 Gear Ratio: 11 N/A
 Gear Ratio: 12 N/A
 Gear Ratio: 13 N/A
 Gear Ratio: 14 N/A
 Gear Ratio: 15 N/A
 Gear Ratio: 16 N/A
 Gear Ratio: 17 N/A
 Gear Ratio: 18 N/A
 Auxiliary Transmission (352) NO AUXILIARY TRANSMISSION
 Low Gear Ratio N/A
 High Gear Ratio N/A
 Transfer Case (373) NO TRANSFER CASE
 Low Gear Ratio N/A
 High Gear Ratio N/A
 Rear Axle (420) CUMMINS-MERITOR RS-23-161 23,000# R-SERIES SINGLE REAR AXLE
 Number of Speeds 1
 Rear Axle Gear Ratio(s) 6.14 REAR AXLE RATIO
 Rear Tires (094) MICHELIN X MULTI D+ 11R22.5 16 PLY RADIAL REAR TIRES
 Revolutions per Mile 494

TABLE SUMMARY - OPERATING RANGE

Transmission Gear	Transmission Gear Ratio	Rear Axle Ratio	Overall Gear Ratio	Minimum Speed (MPH)	Maximum Speed (MPH)
1	3.49	6.14	21.43	0	12.5
2	1.86	6.14	11.42	12.8	23.4
3	1.41	6.14	8.66	16.8	30.9
4	1.00	6.14	6.14	23.7	43.5
5	0.75	6.14	4.60	31.7	58.0
6	0.65	6.14	3.99	36.5	67.0

Performance calculations are estimates only. If performance calculations are critical, please contact Customer Application Engineering.

Prepared for:
 Mike Huxsoll
 SPRINGDALE PUBLIC WORKS
 335 NORTHLAND BLVD

SPRINGDALE, OH 45246
 Phone: 513-346-5520

Prepared by:
 Mike Bailey
 FYDA FREIGHTLINER
 CINCINNATI
 1 FREIGHTLINER DRIVE
 CINCINNATI, OH 45241
 Phone: 513-772-7171

Q U O T A T I O N

M2 106 PLUS CONVENTIONAL CHASSIS

SET BACK AXLE - TRUCK
 CUM L9 300 HP @ 2200 RPM; 2200 GOV RPM, 860 LB-FT @ 1200 RPM
 ALLISON 3000 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION
 CUMMINS-MERITOR RS-23-161 23,000# R-SERIES SINGLE REAR AXLE
 30,000# FLAT LEAF SPRING REAR SUSPENSION WITH HELPER AND RADIUS ROD
 DETROIT DA-F-14.7-3 14,700# FF1 71.5 KPI/3.74 DROP SINGLE FRONT AXLE
 16,000# FLAT LEAF FRONT SUSPENSION

106 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB
 4625MM (182 INCH) WHEELBASE
 NO FIFTH WHEEL
 7/16X3-9/16X11-1/8 INCH STEEL FRAME (11.11MMX282.6MM/0.437X11.13 INCH) 120KSI
 1650MM (65 INCH) REAR FRAME OVERHANG
 TEM TO EVALUATE AND INSTALL FRAME RAIL REINFORCEMENT AS NEEDED FOR FRONT FRAME MOUNTED EQUIPMENT

		PER UNIT		TOTAL
VEHICLE PRICE	TOTAL # OF UNITS (1)	\$ 96,029	\$	96,029
EXTENDED WARRANTY		\$ 3,287	\$	3,287
DEALER INSTALLED OPTIONS		\$ 0	\$	0
CUSTOMER PRICE BEFORE TAX		\$ 99,316	\$	99,316

TAXES AND FEES

TAXES AND FEES	\$	0	\$	0
OTHER CHARGES	\$	0	\$	0

TRADE-IN

TRADE-IN ALLOWANCE	\$	(0)	\$	(0)
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BALANCE DUE	(LOCAL CURRENCY)	\$ 99,316	\$	99,316
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COMMENTS:

Projected delivery on ___ / ___ / ___ provided the order is received before ___ / ___ / ___.

APPROVAL:

Please indicate your acceptance of this quotation by signing below:

Customer: X _____ Date: ___ / ___ / ___.

Daimler Truck Financial

Financing that works for you.

See your local dealer for a competitive quote from Daimler Truck Financial, or contact us at Information@dtfoffers.com.

Daimler Truck Financial offers a variety of finance, lease and insurance solutions to fit your business needs. For more information about our products and services, visit our website at www.daimler-truckfinancial.com.

ORDINANCE NO. 44-2024

AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO ENTER INTO AN AGREEMENT WITH W. A. JONES TRUCK EQUIPMENT FOR THE PURCHASE OF A HOOKLIFT UPGRADE AND DECLARING AN EMERGENCY

WHEREAS, Sourcewell is a cooperative purchasing entity available for use by all government and education agencies in the United States including the City of Springdale (the “City”); and

WHEREAS, Sourcewell has advertised and received bids for the purchase of various vehicles and equipment; and

WHEREAS, the City seeks to purchase a new cab and chassis for use by the City’s Public Works Department; and

WHEREAS, in order to utilize the cab and chassis for the operations of the Public Works Department, the City also seeks to purchase a hooklift upgrade for the cab and chassis that includes swap body equipment, a dump body, prewet system, tailgate spreader, and safety warning lights; and

WHEREAS, W. A. Jones Truck Equipment submitted a bid through the Sourcewell program for a hooklift upgrade for the cab and chassis that includes swap body equipment, a dump body, prewet system, tailgate spreader, and safety warning lights in the amount of \$134,181.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That the Mayor and City Administrator are hereby authorized to enter into an agreement with W.A. Jones Truck Equipment for the purchase of a hooklift upgrade that includes swap body equipment, a dump body, prewet system, tailgate spreader, and safety warning lights (the “Agreement”). A copy of the Agreement is attached as Exhibit A and incorporated herein by reference.

Section 2. That the Finance Officer/Tax Commissioner is hereby authorized to pay W.A. Jones Truck Equipment a sum not to exceed \$134,181 for the purchase of the hooklift upgrade consistent with the terms of the Agreement.

Section 3. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 4. That this ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for the emergency is the immediate need to enable the City to execute the Agreement as soon as possible prior to the expiration of the bid price.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

Rev 1 8/14/2024

City of Springdale
Attn: Chris Miller
335 Northland Blvd
Springdale, OH 45246
Single Axle Plow Package
Pricing Per Aebi Schmidt/Monroe Cooperative Purchasing Contract #06222-AEB

Plow Hitch

Monroe 29" Husting Hitch
4" Double Acting Lift Cylinder
Full Sideplate Hitch Reinforcement
12" Channel Bumper Installed
Snow Plow Hitch Installed 100% To Your Specifications-No Exceptions

\$6,995.00

Central Hydraulic System

Certified Power Load Sense System
Chelsea Wet Spline PTO-Hot Shift
Danfoss Load Sense Piston Pump
Freedom 2.2 Electronic Spreader Controller
Pedestal Mounted Air Controls
Low Oil Light In Tower
Stainless Steel Valve Mount Tank
Stainless Steel Hydraulic Lines Run to Front and Rear with JIC Style Compression Fittings
(6) ½" Stainless Steel Quick Couplers
Hydraulic System Tested and Pre-Calibrated
Final Calibration Upon Delivery
Central Hydraulic System Installed 100% To Your Specifications-No Exceptions

\$28,885.00

Hooklift

Swaploader Model 2418 Hooklift Hoist
Dual 5 ½" Double Acting Lift Cylinders

Sliding Jib with 4" Double Acting Cylinder
Slide Through Body Locks
Hoist Installed 100% To Your Specifications-No Exceptions

\$34,098.00

Dump Body

Crysteel Select 10' Stainless Steel Dump Body
5 Year Warranty on Dump Body, Hoist, and Subframe
201 Stainless Steel Construction
Crossmemberless Understructure with I Beam Longsills
One Piece ¼" AR450 Floor
7 Gauge 201 Stainless steel Sides and Ends
Dirt Shedding Upper and Lower Rails
30" Side Height
38" Tailgate
Single Horizontal Side Brace
Dual Horizontal Tailgate Bracing
No Coal Chute
Manual Release Tailgate
24"x88" Fixed Stainless Cabshield Fully Welded with Light Housings
Buyers 3022060 Fold Down Side Ladder
1 ½" Stainless Flat Bar Walk Rails
(2) Grab Handles Shipped Loose and Placed as needed
Inside Step In Drivers Side Front Corner
Greaseable Rear Roller Wheels Installed
54" A-Frame and subframe installed
Dump Body Installed 100% To Your Specifications-No Exceptions

\$29,327.00

Electrical

Truck Lite Heated LED Plow lights Mounted on Hood with Stainless Brackets
All Other Lighting Supplied by Soundoff Signal
(2) Amber/Clear/Green MPower (EMPS2006T-3) LED Strobes Mounted in Fixed Cabshield (Boxed) Side Facing Only
(4) Amber/Clear LED Strobes Installed in Cabshield Facing Front (2), and Rear (2)
(2) Amber/Clear Mini LED Strobes Mounted on Plow Light Brackets

(2) Amber/Clear LED Strobes Mounted in Rear Corner Posts
(2) LED Stop/Tail/Turn Lights Mounted in Rear Corner Posts
(2) LED Back Up Lights Mounted in Rear Corner Posts
(2) LED Amber/Clear Strobes, (2) LED Stop/Tail/Turn Lights, and (2) LED Back up Lights installed in Frame Mounted Stainless Steel Light Boxes
ABL Heated 3000 Lumen LED Spinner Light
Install Customer Supplied Light Bar on Front Face of Cabshield
Install OEM Back Up Camera In Pintle Plate
Body Up Light with Proximity Switch Installed
Power Distribution Panel Installed inside back of cab-Centralized Wiring
97 DB Back Up Alarm
Home Run Wiring with no splices-All Wiring connections soldered and protected with heat shrink sleeves
No Rear Junction Box
All Wiring Installed on Stainless Backbone
Wiring Schematic Furnished Upon Completion
Electrical System Installed 100% To Your Specifications-No Exceptions

\$7,150.00

Pre Wetting System

Monroe PWS Pre Wetting System

Certified Power 240 Gallon Behind The Cab Tank
Stainless Steel Mounting Cradle With Poly Straps
Certified Power Closed Loop Pre Wet Pump
System Flush Kit
Slurry Tube Installed in Spreader Trough
Pre Wet System Installed 100% To Your Specifications-No Exceptions

\$12,032.00

Spreader

Monroe Model MS966-201SS Tailgate Spreader

¾" End Plates
201 Stainless Steel Construction
6" Auger-Direct Drive
Left Hand Discharge
Full Trough Clean Out Pan

Self Leveling 18" Poly Spinner Disc
Inside Tailgate Fins Bolted On
All Stainless Steel Hardware
Spreader Installed 100% To Your Specifications-No Exceptions

\$8,980.00

Pintle Plate

3/4" Pintle Plate Fully Welded
2 1/2" Receiver Tube-Confirm Height Before Ordering
Buyers RM12P 12 Ton Receiver Mount Pintle Hook
1/2" D-Ring For Trailer Brake Away Cable
7 Way RV Trailer Plug
(2) 1" D-Rings
Chassis OEM Taillights Installed Outside of Pintle Plate

\$2,126.00

Miscellaneous

10" Hardwood Sideboards Painted Black
Install Customer Supplied Electric Trailer Brake Controller
Install Customer Supplied Havis Console
Install Customer Supplied 2 Way Radio
Poly Fenders with Stainless Brackets
Red and White Reflective Tape on Lower Rub rails and Tailgate
Chassis Frame Rails and Underside of Dump Body Undercoated
Rear Mudflaps with Stainless Steel Hinged Brackets

\$4,588.00

TOTAL PACKAGE PRICE \$134,181.00

Due to the current volatility of the steel market, prices are not guaranteed past 30 days from date of quote. The chassis supplied for this quote requires a 116" CA with clean frame rails, PTO provision, and stationary grille. Pricing includes pick up and delivery of completed unit unless otherwise noted.

Due to current Federal Emissions Standards, WA Jones will not be held responsible for any chassis that requires exhaust modification. WA Jones will not be held responsible for relocating chassis components that interfere with mounted equipment unless prior documentation is received prior to order. Warranty period of 12 months from receipt of completed truck covering all parts and labor.

We appreciate the opportunity to provide you with a quote for this project. Please feel free to contact me with any questions.

Regards,

Paul Sackett
Municipal Sales Representative
614-595-7394 mobile
paulsackett@wajonestruckequipment.com

W.A. Jones

Truck Bodies and Equipment

Columbia City, IN

www.wajonestruckequipment.com



ORDINANCE NO. 45-2024

AN ORDINANCE AUTHORIZING THE CITY OF SPRINGDALE, OHIO TO ENTER INTO A THREE-YEAR LEASE-PURCHASE AGREEMENT BY AND BETWEEN FIFTH THIRD BANK AND THE CITY OF SPRINGDALE, OHIO IN A PRINCIPAL AMOUNT OF \$240,000.00 TO FINANCE THE PURCHASE OF A DUMP TRUCK FOR THE CITY OF SPRINGDALE AND AUTHORIZING OTHER DOCUMENTS IN CONNECTION THEREWITH; AND DECLARING AN EMERGENCY

WHEREAS, the City of Springdale, Ohio (the “City”) desires to finance the purchase of a dump truck for the purpose of providing public works services in the City (the “Property”); and

WHEREAS, the financing and leasing of the Property will be in the best interest of the City; and

WHEREAS, Fifth Third Bank (“Fifth Third”) has agreed to purchase and/or finance the Property and to lease the Property to the City; and

WHEREAS, the City has agreed to lease the Property from Fifth Third; and

WHEREAS, the City hereby finds and determines that the execution of a Lease-Purchase Agreement in a form to be negotiated to the satisfaction of the Mayor and City Administrator (the “Lease”) and in the principal amount not exceeding the amount stated above for the purpose of acquiring the Property to be described in the Lease, is appropriate and necessary to the functions and operations of the City.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

SECTION 1. That for the purpose of providing a dump truck for the City and the services rendered thereby, this Council hereby determines that it shall lease, under the Lease, the Property from Fifth Third.

SECTION 2. That the City is authorized to lease the Property through Fifth Third.

SECTION 3. That, for the purpose of providing the Property and payment of costs of issuance related to the Lease, this Council hereby authorizes and directs the Mayor and City Administrator to negotiate, enter into, execute, and deliver, in each case on behalf of the City, the Lease and any exhibits thereto, in a principal amount of \$240,000.00 payable over a period of three years at an effective interest rate of five and twenty-five hundredths percent (5.25%) per annum. The remaining terms of the Lease shall be negotiated in a form approved by the Mayor and City Administrator in a manner not inconsistent with this ordinance, and the execution thereof by such officials, or either of them, shall be deemed conclusive evidence of such approval. This Council hereby further authorizes and directs the Mayor and City Administrator of the City to execute, on behalf of the City, all other related contracts, agreements, and certificates necessary and incidental to the Lease, and any exhibits thereto. Upon execution, the covenants and promises contained in the Lease and ancillary documents made on behalf of the City shall be conclusively binding on the City and in full force and effect from and after such execution.

SECTION 4. That the City’s obligations under the Lease shall be subject to annual appropriation or renewal by this Council as will be set forth in the Lease, and the City’s obligations under the Lease shall not constitute a general obligation of the City or indebtedness under the Constitution or laws of the State.

SECTION 5. That this Council hereby authorizes and directs the Mayor and City Administrator, or either of them, to execute and deliver a non-arbitrage certificate and such other documents and certificates and to do all the acts and things required of it by the provisions of the Lease to the end that full and complete performance of all of the terms, covenants and provisions of the Lease shall be effected.

SECTION 6. That this Council hereby covenants that it will take such actions in such manner and to such extent, if any, as may be necessary to cause the interest component of rental payments under the Lease to be and remain excludable from gross income for federal income tax purposes. This Council will also submit the appropriate statements or filings to the Internal Revenue Service containing the information required by the Internal Revenue Code, including IRS Form 8038G.

SECTION 7. That, the obligations under the Lease are hereby designated “qualified tax-exempt obligations” for the purpose set forth in Section 265 of the Internal Revenue Code. The City does not anticipate issuing more than \$10,000,000 of qualified tax-exempt obligations during the calendar year 2024.

SECTION 8. The proceeds of the Lease shall be credited to the proper fund or funds as provided in the Lease, and those proceeds are appropriated and shall be used for the purpose for which the Lease is authorized and are hereby appropriated for that purpose.

SECTION 9. There is hereby appropriated, from unappropriated funds currently on deposit in the Street Maintenance Fund, the sum of \$0 to pay the cost of lease payments due or coming due under the Lease for the initial term ending December 31, 2024, and the sum of \$6,500 to pay cost and expenses associated with the Property and the Lease.

SECTION 10. This Council hereby approves the issuance of the obligations for the financing of the Property.

SECTION 11. That it is found and determined that all formal actions of this Council concerning and relating to the adoption of this ordinance were taken in an open meeting of this Council, and that all deliberations of this Council, and of any of its committees that resulted in such formal action were in meetings open to the public, in compliance with all legal requirements including Section 121.22, Ohio Revised Code, and the rules of this Council adopted in accordance therewith.

SECTION 12. That this Ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for the declaration of emergency is the immediate issuance of said lease obligation is required for the orderly and timely financing of the Property referred to herein including obtaining a favorable rate of interest.

Passed this ____ day of August, 2024.

President of Council

Attest: _____
Clerk of Council

Approved:

Mayor

Date

CERTIFICATE

The undersigned hereby certifies that the foregoing is a true and correct copy of Ordinance No. 45-2024.

Clerk of Council

ORDINANCE NO. 46-2024

AN ORDINANCE AUTHORIZING THE MAYOR AND CITY ADMINISTRATOR TO EXECUTE A COMMUNITY RECREATION/CONSERVATION PROJECT PASS-THROUGH GRANT AGREEMENT WITH THE OHIO DEPARTMENT OF NATURAL RESOURCES RELATED TO CERTAIN OUTDOOR RECREATION IMPROVEMENTS AND DECLARING AN EMERGENCY

WHEREAS, the City of Springdale (the “City”) applied for funds from the Ohio Department of Natural Resources (“ODNR”) to be used for certain outdoor recreation improvements including the repair of outdoor bleachers and remodel outdoor bathrooms at the Springdale Community Center to make them ADA-compliant; and

WHEREAS, ODNR has awarded the City a grant in an amount not to exceed \$73,500.00 for the proposed project.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That the Mayor and City Administrator are hereby authorized to execute a Community Recreation/Conservation Project Pass-Through Grant Agreement with the Ohio Department of Natural Resources to accept grant funds totaling \$73,500.00 to be used for certain outdoor recreation improvements (the “Agreement”). A copy of the Agreement is attached as Exhibit A and incorporated herein by reference.

Section 2. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. This ordinance shall take effect on the earliest date allowed by law.

Section 4. That this Ordinance shall be an emergency measure necessary for the preservation of the public peace, health, safety, and general welfare and shall, subject to the terms of Article II(D)(3)(d) of the Charter, be effective immediately. The reason for said declaration of emergency is the need to execute the Agreement to receive the funding and begin the proposed project as soon as possible.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

Capital Improvement Community Park, Recreation/Conservation Project
Pass-Through Grant Agreement
Ohio Department of Natural Resources

This Community Recreation/Conservation Project Pass-Through Agreement (hereinafter referred to as the "Agreement") is made and entered into by and between the State of Ohio, Department of Natural Resources, (hereinafter referred to as "State" or "ODNR"), acting by and through its Director, pursuant to Sections 154.17, 154.22 and 1501.01 of the Ohio Revised Code ("R.C.") and House Bill No. 2, 135th General Assembly of the State of Ohio and the City of Springdale, an Ohio political subdivision (hereinafter referred to as "Grantee") acting by and through its authorized representative.

Notices: All notices, demands, requests, consents, approvals, and other communications required or permitted to be given pursuant to the terms of this Agreement shall be in writing, and shall be deemed to have been properly given when: 1) hand-delivered with delivery acknowledged in writing; 2) sent by U.S. Certified mail, return receipt requested, postage prepaid; 3) sent by overnight delivery service (Fed Ex, UPS, etc.) with receipt; or 4) sent by fax or email, and shall be respectively addressed as follows:

ODNR Contact: Teresa Goodridge Program Manager Ohio Department of Natural Resources Office of Real Estate & Land Management 2045 Morse Road, Building E-2 Columbus, Ohio 43229 Teresa.Goodridge@dnr.ohio.gov	Grantee Contact: Brian Uhl Assistant City Administrator City of Springdale 11700 Springfield Pike Springdale, Ohio 45246 buhl@springdale.org
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Notices shall be deemed given upon receipt thereof and shall be sent to the addresses appearing above. Notwithstanding the foregoing, notices sent by fax or email shall be effectively given only upon acknowledgment of receipt by the receiving party. The parties designated above shall each have the right to specify as their respective address for purposes of this Agreement any other address upon fifteen (15) days prior written notice thereof, as provided herein, to the other parties listed above. If delivery cannot be made at any address designated for notices, a notice shall be deemed given on the date on which delivery at such address is attempted.

WHEREAS, pursuant to House Bill No. 2 the 135th General Assembly of the State of Ohio has appropriated funds in the amount of Seventy-Five Thousand Dollars (\$75,000.00) to make a grant to the Grantee for the costs associated with the construction of a park and recreation or conservation facility in appropriation item C725E2, more fully described as 'Outdoor Sport Court Revitalization - Springdale', (hereinafter referred to as the "Project"). Furthermore, \$1,500.00 of the total Project appropriations will be used by ODNR for the administration of the Project. The Project reference number is **HAMI-081C**; and

WHEREAS, the General Assembly has identified the Parks and Recreation Improvement Fund (Fund 7035), created and existing under R.C. § 154.22(F), as the fund from which these monies will be disbursed; and

WHEREAS, pursuant to R.C. Chap. 154 and Article VIII, Section 2i of the Ohio Constitution, capital facilities lease-appropriation bonds (the "Bonds") have been or will be issued by the Ohio Treasurer of State (the

“Treasurer”) for the purpose of paying the “costs of capital facilities” including acquiring, constructing, reconstructing, rehabilitating, renovating, enlarging and otherwise improving, equipping, and furnishing capital facilities for parks and recreation, all as defined and described in R.C. § 154.01(K). A portion of those Bonds proceeds will be used by ODNR to provide funding to the Grantee for the Project under this Agreement. Because ODNR is funding the Project with proceeds of those Bonds, ODNR requires that the Grantee make certain representations, warranties, and covenants (both affirmative and negative) concerning the Project and use of the grant funds, as more fully described or provided in this Agreement, in order to comply with federal and state laws, regulations, and rules relating to those Bonds and the projects funded with proceeds of those Bonds.

NOW THEREFORE, for the purposes of providing the funds to Grantee pursuant to House Bill No. 2 of the 135th General Assembly, the parties hereto covenant and agree as follows:

- 1. Funding Amount.** ODNR agrees to provide the Grantee Seventy-Three Thousand Five Hundred Dollars (\$73,500.00), via qualifying advance and reimbursement, to be used toward the total cost of the Project. One Thousand Five Hundred Dollars (\$1,500.00) of the amount appropriated for the Project will be retained by ODNR to cover administrative costs. In no event shall ODNR’s payment to Grantee exceed Seventy-Three Thousand Five Hundred Dollars (\$73,500.00). Funds for this Project have been released by the Controlling Board as of _____ and encumbered by Contract Encumbrance Record Number _____ and are so certified by the Director of Budget and Management on _____. Obligations of the State are subject to the provisions of R.C. § 126.07. Any funds provided under this Agreement that are not spent shall be returned in full to the State.
- 2. Project Description.** The Grantee shall use the grant funds for ‘, a project to renovate outdoor recreation facilities at the Springdale Community Center in Springdale, OH, all as more fully described in Exhibit A attached hereto.
- 3. Effective and Termination Dates.** This Agreement shall commence on the date that it is signed by ODNR (the “Effective Date”) and will, unless otherwise earlier terminated as provided herein, expire on the later of: (i) 15 years from the date of the payment of the final Project reimbursement (or Project acquisition if the Project is solely for the acquisition of real property) (“Project Closeout”); or (ii) the date upon which the latest Bond issuance funding or refinancing of the Project is paid in full (the “Term”). Grantee shall complete the Project on or before June 30th, 2026.
- 4. No Restrictions of Record.** Grantee hereby represents and warrants that there are not now, and there will not be, any restrictions of record or otherwise with respect to the Project, including without limitation, any encumbrances, liens, or other matters, which would interfere with or otherwise impair the use of the property as described in the Boundary Map attached hereto as Exhibit B, to be acquired or on which the Project will be located and developed as a public parks and recreation or conservation facility (the “Property”) except for those restrictions permitted below. Grantee represents that it is, or will be, the fee simple owner, or has a lease, or other interest, such as an easement, with a term longer than the Term hereof, on the Property and that the only restrictions of record, or otherwise, with respect to the Property are: (a) all zoning regulations, restrictions, rules and ordinances, and other laws and regulations now in effect or hereafter adopted by any governmental agencies having jurisdiction over the Property, (b) dedicated public rights-of-way identified on Exhibit B, Boundary Map, and (c) the encumbrances, items, and other interests identified in Exhibit C, Title Encumbrances. Grantee hereby represents and warrants that there are not now, and it shall not cause there to be,

any restrictions with respect to the Project or Property, including without limitation, any encumbrances, liens, or other matters, which would interfere with or otherwise impair the use of the Property as a public park, recreation facility, or conservation facility.

5. **Construction Services.** Grantee represents that it will contract for all construction services for the Project and will provide for construction administration. Grantee shall have the full authority to contract with third parties for the design and construction of the Project. Grantee shall secure all necessary permits and licenses for the Project. Grantee warrants that it will cause the Project to be constructed or acquired, as applicable, with all reasonable speed and reasonably adhere to any submitted development timeline. Grantee shall comply with all applicable federal and state requirements relating to the competitive selection of contractors and comply with its own competitive selection policies and procedures. If competitive selection for the Project is not required by law, to the extent reasonably possible as determined by Grantee, Grantee shall employ an open and competitive process in the selection of its contractors. Bid documents designed to be so restrictive to exclude open competitive bidding and bid documents that do not allow for “or equal” provisions may not be acceptable.
6. **Operation, Maintenance, and Upkeep.** Grantee shall be solely responsible for the operation, maintenance, and upkeep of the Project, and shall take all actions reasonably necessary to ensure that the Project is available to the public for the intended parks and recreation or conservation purpose during the Term.
7. **Conveyance of Interest in Project to ODNR.** As security for the performance of Grantee’s obligations under this Agreement, Grantee hereby conveys to ODNR an interest in the Property, consisting of the right to use and occupy the Property and the facilities funded in whole or in part with grant funds under this Agreement upon default of this Agreement by Grantee. This interest shall remain in effect during the Term of this Agreement. Grantee hereby acknowledges and agrees that ODNR may assign or convey such right to use and occupy such facilities to the OPFC or such other State agency selected by ODNR, and Grantee does hereby consent to such assignment or conveyance. In addition, ODNR has entered into a lease with OPFC relating to the Bonds and the Project; provided that, so long as Grantee shall not default under this Agreement, such lease shall not affect the Project or the use of the Property. ODNR acknowledges that, absent a default by Grantee, ODNR has no right to use or occupy the Property or Project. ODNR shall have the right during the Term hereof to enter upon the Property during normal business hours for purposes of inspection of the Project for compliance with this Agreement.
8. **Prohibition Against Disposition.** Grantee shall not dispose of all or any part of the Project or Property funded by ODNR through the Term of this Agreement without the prior written consent of ODNR and OPFC. All notices, demands, requests, consents, approvals, and other communications to OPFC shall be addressed as follows:

Ohio Public Facilities Commission
30 East Broad Street, 34th Floor
Columbus, Ohio 43215
Attn: Assistant Secretary

9. **Joint or Cooperative Use Agreement.** If the Property is owned by a separate nonprofit organization and made available to a state agency for its use or benefit, the nonprofit organization must either own, or have a long-term lease (for at least so long as the latest Bond issuance funding or refinancing of the Project have not been paid in full) of, the Property, and enter into a joint or cooperative use agreement, with and approved by the state agency that meets the requirements of H.B. 2, 135th General Assembly.
10. **Liability; Waiver of Liability.** Grantee shall be solely liable for any and all claims, demands, or causes of action arising from its obligations under this Agreement. Each party to this Agreement must seek its own legal representative and bear its own costs, attorney fees and expenses, in any litigation that may arise from the performance of this Agreement or the Project. It is specifically understood and agreed that ODNR does not indemnify Grantee. Nothing in this Agreement shall be construed to be a waiver of the sovereign immunity of the State of Ohio or the immunity of any of its employees or agents for any purpose. Nothing in this Agreement shall be construed to be a waiver of any immunity of Grantee granted by statute or the immunity of any of its employees or agents for any purpose. In no event shall either party be liable for indirect, consequential, incidental, special, liquidated, or punitive damages, or lost profits. On and after the date of this Agreement, Grantee agrees not to seek any determination of liability against ODNR, OPFC, the Treasurer, or any department, agency, or official of the State in the case of claim or suit arising from the Project including the acquisition of the Property or any future condition, construction, operation, maintenance, or use of the Property or facilities which may be developed in relation to the Project. Grantee forever releases and waives any and all claims, demands, and causes of action it may ever possess or assert against ODNR and its employees, agents, officials, and attorneys arising from, or relating to, the Project.
11. **Insurance.**
- a. Adequate Insurance. Unless otherwise agreed to by ODNR in writing, Grantee shall maintain, or cause to be maintained, at no cost to ODNR, commercial general liability insurance and other insurance, including casualty insurance, and if applicable, professional liability insurance, and builder's risk insurance, to insure Grantee, and ODNR, OPFC, the Treasurer, and the State, as additional insureds, in an amount and type determined by a qualified risk assessor to be sufficient to cover the full replacement costs of improvements funded, in whole or in part, by the State, and for bodily injury, property damage, personal injury, advertising injury, and employer's liability exposures of Grantee. Unless otherwise agreed to by ODNR in writing, such insurance shall remain in force at all times from the Effective Date hereof through the Term of this Agreement.
 - b. Self-Insurance. Instead of providing the general liability and casualty insurance above, Grantee may name ODNR, OPFC, the Treasurer, and the State as additional insureds and/or loss payees, as the coverage requires, under a self-insurance program or joint self-insurance pool created under R.C. §§ 2744.08 or 2744.081, respectively, and operated by or on behalf of Grantee, in order to meet the insurance requirements set forth herein.
12. **Bonded and Insured Employees and Agents.** Prior to any advance (but not reimbursement) payments by ODNR, Grantee will provide ODNR with a document that demonstrates that all employees or agents of Grantee who are responsible for maintaining or disbursing advanced funds acquired through this Agreement will be fully bonded or insured against loss of such funds. The bonding agent or insurer

shall be licensed to do business in Ohio. No part of the funds acquired by Grantee through this Agreement shall be spent to obtain that bonding or insurance.

13. **Public Funds Compliance.** Grantee will assure compliance with all applicable federal, state, and local laws and regulations pertaining to handling, management, and accountability in relation to public funds. All funds received by Grantee under this Agreement shall be deposited in one or more financial institutions that fully insure, secure, or otherwise protect the funds from loss through federal deposit insurance and/or other deposit and/or collateralization strategies that protect the funds against loss. If Grantee is a political subdivision of the State, grant funds shall be held in compliance with R.C. Chap. 135.
14. **Reports and Records.** Grantee shall keep and make all reports and records associated with the Project funded under this Agreement available to the State Auditor, or the Auditor's designee, ODNR, and OPFC for a period of not less than eighteen (18) years after the date of the Project Closeout. These reports and records shall include a description of the Project, a detailed overview of the scope of work, disbursement details (including amount, date, nature/object of expenditure), and vendor information. Grantee acknowledges that the Auditor of State and other departments, agencies, and officials of the State may audit the Project at any time, including before, during, and after completion. Grantee agrees that any costs of audit by the Auditor of State or any other department, agency, or official of the State will be borne exclusively by, and paid solely by, Grantee, and that the funds provided under this Agreement will not be used by Grantee for payment of any audit expenses for any reason at any time.
15. **Restrictions on Expenditures.** Grantee affirmatively states that Grantee is fully aware of the restrictions and guidelines for expending funds granted under this Agreement and intends to comply fully with the same. Grantee will implement appropriate monitoring controls to ensure that funds acquired through this Agreement are expended in accordance with all applicable laws, rules, and requirements.
16. **Determination of Ineligibility.** If it is determined by any audit by the Auditor of State or any department, agency, or official of the State or other agency or entity with legal audit authority that any Project expense is ineligible, or not properly documented, Grantee will repay that amount in full to the State.
17. **Equal Opportunity Compliance.** If Grantee is a political subdivision, Grantee shall comply with the requirements of R.C. § 125.111 for all contracts for purchases under the Project.
18. **Real Property Acquisition.** All appropriations of real property for the Project by Grantee shall be made pursuant to R.C. §§ 163.01 to 163.22, except as otherwise provided in R.C. Chap. 163.
19. **Prevailing Wage.** Except as provided in R.C. § 4115.04, monies appropriated or reappropriated for the Project shall not be used for the construction of public improvements, as defined in R.C. § 4115.03, unless the mechanics, laborers, or workers engaged therein are paid the prevailing rate of wages prescribed in R.C. § 4115.04. Nothing in this section affects the wages and salaries established for state employees under R.C. Chap. 124, or collective bargaining agreements entered into by the State under R.C. Chap. 4117, while engaged on force account work, nor does this section interfere with the use of inmate and patient labor by the State.

20. **Project Nondiscrimination.** Grantee agrees that any facilities that may be developed now or in the future on the lands comprising the Project will be made available to all persons regardless of race, color, sex, religion, national origin, ancestry, age, military status, handicap, or disability on the same terms and conditions.
21. **Employment Nondiscrimination.** Pursuant to R.C. Chap. 4112, Grantee agrees that Grantee and any person acting on behalf of Grantee or a contractor, shall not discriminate, by reason of race, color, religion, sex, sexual orientation, age, disability, military status as defined in R.C. § 4112.01, national origin, or ancestry against any citizen of this State in the employment of any person qualified and available to perform services relating to the Project. Grantee further agrees that Grantee and any person acting on behalf of Grantee or a contractor shall not, in any manner, discriminate against, intimidate, or retaliate against any employee hired for the performance of services relating to the Project on account of race, color, religion, sex, sexual orientation, age, disability, military status, national origin, or ancestry. If required by R.C. § 125.111(B) and O.A.C § 123: 2-3-02, Grantee shall have a valid Certificate of Compliance (COC) from the Ohio Department of Administrative Services, Equal Opportunity Division demonstrating compliance with affirmative action program requirements.
22. **ODNR Right to Terminate.**
- a. **Breach; Notice.** ODNR reserves the right to terminate this Agreement upon written notice to Grantee and to recover any funds distributed by Grantee to contractors or other payees in violation of the terms of this Agreement if Grantee is determined by ODNR to be unable to proceed with the Project, or if Grantee violates any of the terms herein. Failure to comply with any provision of this Agreement may result in demand for repayment of all or a portion of the grant funds paid by ODNR to Grantee under this Agreement. The amount to be repaid will be calculated based on the ratio of (x), the number of months from the event triggering the reimbursement to the final scheduled maturity date of the Bonds, over (y), the total number of months that the Bonds are scheduled to be outstanding. Grantee shall not make any grant repayment unless first consulting with ODNR, and ODNR shall not accept any repayment without first obtaining the approval of the Ohio Public Facilities Commission (“OPFC”).
 - b. **Opportunity to Cure.** ODNR, in its sole discretion, may permit Grantee to cure a breach. Such cure period shall be no longer than twenty-one (21) calendar days. Notwithstanding ODNR permitting a period of time to cure the breach or Grantee's cure of the breach, ODNR does not waive any of its rights and remedies provided to ODNR in this Agreement or as may be permitted by law.
23. **Remittances.** If for any reason funds acquired through this Agreement are required to be paid, repaid, or remitted to the State, they shall be remitted in full by the Grantee within forty-five (45) days of demand to:

Ohio Treasurer of State
30 East Broad Street, 9th Floor
Columbus, Ohio 43215

Any such remittance shall include a copy of this Agreement. A copy of the cover letter transmitting the remittance to the Treasurer of State shall be sent simultaneously to ODNR.

24. Legal, Federal Tax, and Other Compliance.

- a. Reports of Expenditures. Grantee will assure that monies expended under this Agreement are spent in conformity with the intent and purpose of the appropriation, the limitations on use set forth in the legislation containing the appropriation, and R.C. Chap. 154 and all other laws that apply to the expenditure of monies by Grantee. If Grantee is required to submit an annual financial report to the Auditor of State, in accordance with Auditor of State Bulletin 2015-07, then Grantee shall report the funds it acquires through this Agreement as a separate column identified in a manner consistent with the Project description in appropriation item C725E2. If Grantee is not required to submit the aforementioned report, Grantee shall file an annual detailed expenditure report of all expenditures associated with the Project with the Auditor of State by March 1st every year until all funds provided in this Agreement have been spent. The above reports shall be filed in accordance with Auditor of State Bulletin 2015-07.
- b. Compliance with Employment Laws. Grantee agrees to comply with all applicable federal, state, and local laws and regulations, in the conduct of the Project and acknowledges that its employees are not employees of ODNR with regard to the application of the Ohio Public Employees Retirement law, Fair Labor Standards Act minimum wage and overtime provisions, Federal Insurance Contribution Act, Social Security Act, Federal Unemployment Tax Act, Internal Revenue Code, Ohio revenue and tax laws, Ohio Workers' Compensation Act, and Ohio unemployment compensation law.
- c. Compliance with Law; Preservation of Tax-Exempt Status of Bonds. Grantee agrees to use funds provided under this Agreement in accordance with the Ohio Constitution and any state or federal laws and regulations that may apply. Grantee shall repay ODNR any funds improperly expended. Additionally, Grantee agrees to comply with all requirements within its control necessary to preserve the tax status of all tax-exempt or tax-advantaged bonds, the proceeds of which are used to provide the funding to Grantee set forth in this Agreement. Unless otherwise determined by the OPFC, such requirements include, but are not limited to, ensuring that the funds provided under this Agreement finance capital expenditures (as opposed to operating expenses) and are not used to refund or otherwise refinance existing debt of Grantee. Grantee shall be liable for any payments to the Internal Revenue Service or the U.S. Treasury as penalties or to preserve the tax status of tax-exempt or tax-advantaged bonds, and any other costs, resulting in whole or in part from actions taken by Grantee, including the failure of Grantee to comply with federal income tax laws applicable to such bonds. Grantee agrees to consult with OPFC if the Grantee is uncertain as to what expenditures are eligible to be financed with funds provided under this Agreement.

25. Relationship of Parties.

- a. Expenses. Grantee shall be responsible for all of its own business expenses, including, but not limited to, computers, email and internet access, software, phone service, and office space. Grantee will also be responsible for all licenses, permits, employees' wages and salaries, insurance of every type and description, and all business and personal taxes, including income and Social Security taxes and contributions for Workers' Compensation and Unemployment Compensation coverage, if any, unless payment for any such item is specifically provided for herein or in the purchase order.

- b. **No Control Over Means and Methods.** While Grantee shall be required to perform its obligations described hereunder during the term of this Agreement, nothing herein shall be construed to imply, by reason of Grantee's obligations hereunder, that ODNR shall have or may exercise any right of control over Grantee with regard to the means or method of Grantee's performance of its obligations hereunder.
 - c. **Right to Bind.** Except as expressly provided herein, neither party shall have the right to bind or obligate the other party in any manner without the other party's prior written consent.
 - d. **No Agency.** Neither Grantee nor its personnel shall at any time, or for any purpose, be considered as agents, servants, or employees of ODNR or the State of Ohio.
26. **No Finding for Recovery.** Grantee represents and warrants to the ODNR that it is not subject to a finding for recovery under R.C. § 9.24, or that it has taken appropriate remedial steps required under R.C. § 9.24 or otherwise qualifies under that section. Grantee agrees that if this representation or warranty is determined by ODNR to be false, this Agreement shall be void ab initio as between the parties to this Agreement, and any funds paid by the State hereunder immediately shall be repaid in full to the State, or an action for recovery immediately may be commenced by the State for recovery of said funds.
27. **Qualification to Receive Grant.** Grantee affirms that it is a duly authorized federal government agency, municipal corporation, county, or other governmental agency or nonprofit organization, qualified to receive grants under R.C. § 154.22(F). Grantee further affirms that if at any time during the Term of this Agreement, Grantee for any reason becomes disqualified from receiving grants under R.C. § 154.22(F), Grantee will immediately notify ODNR in writing and will immediately cease performance of the Project. Failure to provide such notice in a timely manner shall void this Agreement and may be sufficient cause for the State of Ohio to debar the Grantee from future state grant opportunities as may be permitted by law.
28. **Campaign Contributions.** Grantee hereby certifies that neither it, nor any person described in R.C. § 3517.13 (I) or (J), nor the spouse of any such person, has made, as an individual, within the two previous calendar years, one or more contributions to the governor or the governor's campaign committees totaling in excess of the limitations specified in R.C. § 3517.13.
29. **Ethics Certification.** Grantee, by signature on this document, certifies that it: (i) has reviewed and understands the Ohio ethics and conflict of interest laws as found in R.C. Chap. 102 and in R.C. §§ 2921.42 and 2921.43, and (ii) will take no action inconsistent with those laws. Grantee understands that failure to comply with Ohio's ethics and conflict of interest laws is, in itself, grounds for termination of this Agreement and may result in the loss of other contracts or grants with the State.
30. **Certification of Funds / Non-Appropriation.** It is expressly understood and agreed by the parties that none of the rights, duties, and obligations described in this Agreement shall be binding on either party until all relevant statutory provisions of the Ohio Revised Code, including, but not limited to, R.C. § 126.07, have been met, and until such time as all necessary funds are available or encumbered and, when required, such expenditure of funds is approved by the Controlling Board of the State of Ohio, or in the event that grant funds are used, until such time that ODNR gives Contractor written notice that such funds have been made available to ODNR by ODNR's funding source.

31. **Time Is of The Essence.** Time is of the essence in this Agreement.

32. **Miscellaneous.**

- a. Controlling Law. This Agreement and the rights of the parties hereunder shall be governed, construed, and interpreted in accordance with the laws of the state of Ohio. Grantee consents to jurisdiction in a court of proper jurisdiction in Franklin County, Ohio.
- b. Waiver. A waiver by any party of any breach or default by the other party under this Agreement shall not constitute a continuing waiver by such party of any subsequent act in breach of or in default hereunder.
- c. Successors and Assigns. Neither this Agreement nor any rights, duties, or obligations hereunder may be assigned or transferred in whole or in part by Grantee, without the prior written consent of ODNR.
- d. Conflict with Exhibits. In the event of any conflict between the terms and provisions of the body of this Agreement and any exhibit hereto, the terms and provisions of the body of this Agreement shall control.
- e. Headings. The headings in this Agreement have been inserted for convenient reference only and shall not be considered in any questions of interpretation or construction of this Agreement.
- f. Severability. The provisions of this Agreement are severable and independent, and if any such provision shall be determined to be unenforceable in whole or in part, the remaining provisions and any partially-enforceable provision shall, to the extent enforceable in any jurisdiction, nevertheless be binding and enforceable.
- g. Entire Agreement. This Agreement contains the entire agreement between the parties hereto and shall not be modified, amended, or supplemented, or any rights herein waived, unless specifically agreed upon in writing by the parties hereto. This Agreement supersedes any and all previous agreements, whether written or oral, between the parties.
- h. Execution. This Agreement is not binding upon ODNR unless executed in full and is effective as of the last date of signature by ODNR.
- i. Counterparts. This Agreement may be executed in any number of counterparts, each of which shall be deemed an original, and all of which shall constitute but one and the same instrument.
- j. Electronic Signatures. Any party hereto may deliver a copy of its counterpart signature page to this Agreement electronically pursuant to R.C. Chap. 1306. Each party hereto shall be entitled to rely upon an electronic signature of any other party delivered in such a manner as if such signature were an original.

IN TESTIMONY WHEREOF, Grantee and ODNR have caused this Agreement to be executed by their respective duly authorized officers.

GRANTEE

OHIO DEPARTMENT OF NATURAL RESOURCES

CITY OF SPRINGDALE

OFFICE OF REAL ESTATE & LAND MANAGEMENT

By: _____

By: _____

Printed Name: _____

Printed Name: _____

Title: _____

Title: _____

Date: _____

Date: _____

By: _____

Printed Name: _____

Title: _____

Date: _____

ATTORNEY CERTIFICATION

Community Park, Recreation, or Conservation Project Number: **HAMI-081C**

I, _____, acting as attorney for the
Name and Title of Attorney
_____(“Grantee”), and for the reliance of the
Name of Grantee

Ohio Department of Natural Resources, do certify that from my examination of the Capital Improvement Community Park Recreation or Conservation Project, Pass-Through Grant Agreement (the “Agreement”) and my knowledge of Grantee’s organization, that acceptance of the Agreement by Grantee and the execution thereof by the signing officer has been duly authorized and is proper and in accordance with the laws of the State of Ohio. Grantee is a legally constituted public entity with full authority and legal capacity to perform all obligations and terms of the Agreement. Upon signature by the signing officer, the Agreement, in my opinion, is a legal obligation of Grantee in accordance with the terms thereof, and Grantee possesses the legal authority to fully perform all obligations incurred by Grantee in signing this Agreement. Grantee’s acceptance of the Agreement and the signing officer’s execution thereof,

has has not* been authorized by the governing body of Grantee or has otherwise been authorized by Grantee’s charter. (Resolution or Ordinance No. _____, dated _____, 202__).

*If “has not” is checked above, please indicate the reason: _____

Attorney for Grantee:

Attorney Signature

Attorney Printed Name

Attorney Registration No.

Date Signed

Attorney Address: _____

EXHIBIT C
TITLE ENCUMBRANCES

Encumbrances DO NOT Exist:

I hereby certify, as an authorized representative of City of Springdale (“Grantee”), that there are currently **NO** encumbrances, liens, easements, or restrictions against the Property defined in this Agreement.

Signature of Authorized Representative

Title

Printed Name

Date

Encumbrances DO Exist:

I hereby certify, as an authorized representative of City of Springdale (“Grantee”), that the following encumbrances, liens, easements, or restrictions are the only encumbrances, liens, easements, or restrictions that currently exist against the Property defined in this Agreement (attach an additional page, if needed):

Example: Easement by and between [Name of Grantee] and _____ dated _____ and recorded at Official Record # _____ (Vol. # _____ of Page # _____) of [Name of County] County, Ohio.

1	
2	
3	
4	
5	

Signature of Authorized Representative

Title

Printed Name

Date

ORDINANCE NO. 47-2024

AN ORDINANCE APPROVING A ZONING MAP AMENDMENT FOR THE PROPERTY LOCATED AT 505 WEST CRESCENTVILLE ROAD AND APPROVING THE PRELIMINARY DEVELOPMENT PLAN FOR THE PROPERTY

WHEREAS, the property located at 505 West Crescentville Road consists of approximately 17.813 acres (the “Property”); and

WHEREAS, the Property is currently zoned General Industrial District (GI) and the applicant seeks to rezone the Property to Planned Unit Development District (PUD) for the construction of a multi-family housing development; and

WHEREAS, on June 11, 2024, the Planning Commission met and considered a modification of the existing General Industrial District (GI) to Planned Unit Development (PUD) for the real property located at 505 West Crescentville Road and an amendment to the zoning map of the City of Springdale; and

WHEREAS, the City of Springdale Planning Commission, in considering the application, recommended approval of the zone change for the Property from General Industrial District (GI) to Planned Unit Development (PUD) and recommended approval of the Preliminary Development Plan; and

WHEREAS, on September 4, 2024 after proper notice having been given, Council of the City of Springdale held a public hearing to consider the proposed change in zoning from General Industrial District (GI) to Planned Unit Development (PUD) and the proposed development plan; and

WHEREAS, upon conclusion of the public hearing, the Council of the City of Springdale considered, in an open meeting, the proposed amendment to the City of Springdale Zoning Map and the recommendation of the Planning Commission to change the zoning of 505 West Crescentville Road from General Industrial District (GI) to Planned Unit Development (PUD) and the proposed preliminary development plan.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. The recommendation of the City of Springdale Planning Commission with regard to the property at 505 West Crescentville Road is hereby approved and the amendment to the City of Springdale Zoning Map is granted such that the zoning for the property at 505 West Crescentville Road is hereby changed from General Industrial District (GI) to Planned Unit Development (PUD).

Section 2. The request to approve the Preliminary Development Plan for the property located at 505 West Crescentville Road, which have been reviewed and approved by the Planning Commission in accordance with the exhibits listed and described in the attached Exhibit A, which is incorporated herein by reference, is hereby approved, subject to the conditions of the Planning Commission, and any other conditions or modifications imposed by Council including:

- a. Staff, City Engineer and City Planner’s recommendations and considerations contained in their reports shall apply; and
- b. As a PUD, this shall include Staff, Law Director and City’s approval of covenants as necessary as it pertains to the project; and
- c. All mechanical units shall be screened per code; and
- d. All tree preservation and replacement conditions; and
- e. Applicant shall work with staff to resolve the shortfall of caliper inches; and

- f. The revised property shall include 18-575 square foot units, 18-583 square foot units, and 18-624 square foot units with dedicated bedrooms; and
- g. A portion of the south buffer yard, as depicted on submitted exhibits, which has a buffer yard of 10 feet, may be reduced to 7 feet with the necessary buffering material as required by code; and
- h. The southwest dumpster compactor enclosure near Tire Discounters or Roosters, shall be permitted a reduction in setback from 20 feet to 5 feet with the appropriate buffering and screening as required by code; and
- i. All other zoning code regulations and conditions shall remain in effect and any change to these conditions shall constitute a change in the approved plans. Such changes would require approval from the Springdale Planning Commission.

Section 3. Council hereby finds and determines that all formal actions relative to the passage of this legislation were taken in an open meeting of this Council, and that all deliberations of this Council and of its committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 4. This Ordinance shall take effect on the earliest date allowed by law.

Passed this ___ day of September, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

City of Springdale



Building Department

11700 Springfield Pike
Springdale, OH 45246

(513) 346-5730

Fax (513) 346-5747

June 12, 2024

Mr. Jeff Anderson, President
Springdale City Council
11700 Springfield Pike
Springdale, OH 45246

RE: Recommendation for Approval
Springdale Cinema Apartments - Zoning Map Amendment & Preliminary Development Plan to PUD
505 W Crescentville Rd – Parcel #: 059900300333 / 059900300332
Application # 20240017

Dear Mr. Anderson:

At their meeting on June 11, 2024, the Springdale Planning Commission held a public hearing for the Zoning Map Amendment & Preliminary Development Plan to PUD for the property located at 505 W Crescentville Rd. The property in this application consists of approximately 17.813 acres, which the applicant is requesting to rezone 17.813 acres from “GI” General Industrial District to “PUD” Planned Unit Development District.

Planning Commission moved to approve the Zoning Map Amendment & the Preliminary Development Plan to PUD for the property located at 505 W Crescentville Rd, Application # 20240017 per specifications and designs provided in their meeting packet as exhibits, which were submitted by the applicant prior to the meeting and reviewed by staff.

By this approval, Planning Commission is referring this to the City of Springdale City Council for consideration. This motion includes the following conditions; Our City Engineers’ and City Planners’ recommendations and considerations contained in their report. This shall include staff and our law directors’ approval of covenants as necessary. Supplemental conditions include that all mechanical units shall be screened per code. This motion also includes the tree preservation and replacement conditions. It will include the applicant working with staff to resolve the shortfall of caliper inches. Motion also includes the revised subject property to permit 18 - 575 SF units, 18 - 583 SF units, and 18 - 624 SF units with dedicated bedrooms. A portion of the south buffer yard, as depicted on submitted exhibits, which has a buffer yard of 10 FT, may be reduced to 7 FT with the necessary buffering material as required by code. The southwest dumpster compactor enclosure near Tire Discounters or Roosters, shall be permitted a reduction in setback from 20 FT to 5 FT with the appropriate buffering and screening as required by code.

May 19, 2021

Page 2

Springdale City Council

Recommendation for Approval for Milhaus; Major Modification/Zone Map Amendment & Preliminary
Development Plan to PUD

Sincerely,



Mr. Rich Ellison, Building Inspector

CC: Lawrence C. Hawkins III, Mayor
John Jones, City Administrator
Nicole Browder, Clerk of Council
Joe Braun, Law Director's Office
Carl Lamping, Building Official
Shawn Riggs, City Engineer
Anne McBride, City Planner
Council Members
Planning Commission Members



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Springdale Cinema Apartments **Area of Development:** 18.0377 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 505 W Crescentville Road Springdale, Ohio 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Applicant: Carlee Gourley - Bayer Becker 513-446-8094
(Name) (Daytime Phone Number)

1404 Race Street Suite 204, Cincinnati, Ohio 45202 carleegourley@bayerbecker.com
(Mailing Address: Street No, Street Name, City, State, Zip) (E-mail Address)

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: <https://www.springdale.org/building-department.aspx>

Major Project:
 Application process requires a **Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council**.
 Include [Major Projects Submission Requirements](#) Document with this Application

Minor Project:
 Application process requires a **Meeting and a Decision by Planning Commission**.
 Include [Minor Project Submission Requirements](#) Document with this Application

BZA Hearing:
 Application process requires a **Public Hearing and a Decision by the Board of Zoning Appeals**.
 Include [BZA Submission Requirements](#) document
 Project Types: (Pick 1 Below)

Project Types include the following: (Pick 1 Below)

Project Types include the following: (Pick 1 Below)

Zoning Text or Map Amendments
 Describe Zone Change and Total (Net) Acres Below
 Section 153.202

Concept Plan (Hearing by PC/ No Decision)
 Development Plan Section 153.203
 Conditional Use Permits Section 153.204
 Determination of Similar Uses Sec 153.205

Variance Section 153.205

Planned Unit Development (PUD):
 Preliminary Development Plan Sec 153.255(F)(1)
 Major Modification Section 153.255 (H)(1)

Planned Unit Development (PUD):
 Final Development Plan Section 153.255(F)(5)
 Minor Modification Section 153.255 (H)(2)

Appeal Section 153.208

Transition Overlay District (T-District):
 Preliminary Development Plan sec 153.256(F)(1)
 Major Modification Section 153.256 (G)(1)

Transition Overlay District (T-District):
 Final Development Plan sec 153.256 (F)(5)
 Minor Modification Section 153.256 (G)(2)

Route 4 Corridor Review District Plan
 All new exterior work on properties in the Rt 4 Corridor required to be Approved. Sec 153.257(I)

BRIEFLY DESCRIBE PROJECT: Parcel #'s 599-0030-0332, -0333
(Provide Existing and Proposed Zoning for this Property)

The scope of this project includes a zoning change from General Industrial to Planned Unit Development. The development contains approximately six multifamily buildings and sixteen townhome buildings on an 18 acre site in the City of Springdale. It is intended for the development to consist of about 216 multifamily units and about 90 townhome units with a common clubhouse, amenities, and associated parking.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

By: Paula J. Keough, VP Paula J. Keough, Vice President March 28, 2024
(Signature of Owner/Agent) (Print Name) (Date)



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Springdale Cinema **Total Area/Development:** 18.0377 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 505 W Crescentville Rd Springdale, Ohio 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Area of this Parcel: 3.451 Acres **Parcel ID:** 059900300-332
(From Auditor's Website. Use additional sheets for all associated Parcel Numbers)

Property Owner: NAI Entertainment Holdings LLC 781-461-1600
(Name From Auditor's Website) (Daytime Phone Number)

846 University Ave, Norwood, MA 02062
(Mailing Address: Street No, Street Name, City, State, Zip) (E-mail Address)

Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

OWNER'S AFFIDAVIT

MASSACHUSETTS NORFOLK
 STATE OF ~~OHIO~~, COUNTY OF ~~HAMILTON~~

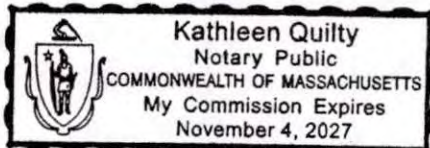
I ~~(we)~~ Paula J. Keough, Vice President of NAI Entertainment Holdings LLC, hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on ~~my~~our application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of ~~my~~our knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.

By: Paula J. Keough, VP
 Signature NAI Entertainment Holdings LLC Paula J. Keough, Vice President
846 University Avenue
 Mailing Address
Norwood, MA 02062
 City and State
781-461-1600
 Phone

Subscribed and sworn to before
 me this 28th day of March, 2024

Kathleen Quilty
 Notary Public





CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: Springdale Cinema **Total Area/Development:** 18.0377 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 505 W Crescentville Rd Springdale, Ohio 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Area of this Parcel: 14.362 Acres **Parcel ID:** 059900 3 0 0 - 3 3 3
(From Auditor's Website. Use additional sheets for all associated Parcel Numbers)

Property Owner: NAI Entertainment Holdings LLC 781-461-1600
(Name From Auditor's Website) (Daytime Phone Number)

846 University Ave, Norwood, MA 02062
(Mailing Address: Street No, Street Name, City, State, Zip) (E-mail Address)

Note: Please provide One Affidavit for Each Different Parcel Owner Associated with this Project.

OWNER'S AFFIDAVIT

MASSACHUSETTS NORFOLK
 STATE OF ~~OHIO~~, COUNTY OF ~~HAMILTON~~

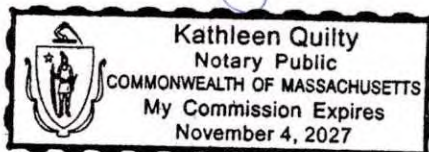
I ~~(we)~~ Paula J. Keough, Vice President of NAI Entertainment Holdings LLC hereby certify that we are the owners of the real estate listed above which is the subject of this application; that we hereby consent to the Planning Commission of the City of Springdale acting on ~~my/our~~ application for the subject real estate. We understand that our application will be considered and processed in accordance with the regulations as set forth by the City of Springdale Building Department and Zoning Code; that we agree to accept, fulfill and abide by those regulations and all stipulations and conditions attached to the property by the Planning Commission of the City of Springdale. The statements and attached exhibits provided are in all respects true and correct to the best of ~~my/our~~ knowledge and belief.

Further, I understand that I am responsible for the review costs incurred by the City as described more specifically in Section 1.2 of the Checklist associated with this Application. I also understand that failure to pay such fees within 30 days of invoice shall halt all processing and review of the site development plans or shall cause suspension of all development activities on the site and shall possibly result in a municipal lien being placed against the property to recover the expenses.

By: *Paula J. Keough VP*
 Signature Paula J. Keough, Vice President
846 University Avenue
 Mailing Address
Norwood, MA 02062
 City and State
781-461-1600
 Phone

Subscribed and sworn to before
 me this 28th day of March, 2024

Kathleen Quilty
 Notary Public



**DESCRIPTION OF REQUEST AND REASONS
FOR ZONING TEXT or MAP AMENDMENTS;
PLANNED UNIT DEVELOPMENT and TRANSITION OVERLAY DISTRICT
PRELIMINARY REDEVELOPMENT PLAN or MAJOR MODIFICATION**

THE APPLICANT SHOULD PREPARE DEFINITIVE STATEMENTS REGARDING THE FOLLOWING: (USE ADDITIONAL SHEETS IF NECESSARY)

- 1) Describe the proposed revisions and the specific changes in the character and conditions of the area which have occurred to make the property no longer suitable or appropriate for the existing Zoning/ Planned Unit Development/ Transition District classification or to make the property appropriate for the proposed Zoning/ Planned Unit Development/ Transition District?**

The applicant, Milhaus Development, LLC, or an affiliate (“Milhaus”), proposes to re-develop the property located at 505 W Crescentville Road, known as Hamilton County Parcel ID No. 599-0030-0332 and -0333, comprising approximately 18.04 acres (the “Property”). The Property previously was utilized by Showcase Cinema De Lux as largely unused, overflow parking.

With the downturn in movie theater traffic since the pandemic and the over-parked nature of the cinema site, this area has largely gone unused for many years. The location of the Property near the intersection of I-275 and Springfield Pike provides an opportunity for new residential construction, thereby announcing the growth of the City of Springdale (the “City”). In its current state, the Property is not being utilized and broadcasts a negative development image of the City, particularly when considering the Property’s prime location near the village core of Springdale.

Having been previously re-zoned from General Business for a planned warehouse project that did not move forward, The Property is currently located within the General Industrial (“GI”) Zoning District; This zoning does not allow for multi-family development, which is the most appropriate use of the Property. A re-zoning of the Property from the GI Zoning District to a PUD will allow vacant land to be redeveloped into an attractive, high quality multi-family development.

- 2) What is the benefit that the neighborhood or community as a whole will derive from this Redevelopment Plan/ Major Modification?**

The community as a whole will receive additional units of multi-family housing which will attract a vibrant population and contribute to the income tax base of the City of Springdale. Additionally, the commercial uses near the property will benefit from walkable patrons close to their businesses. There will also be an added multi-modal path and significant sidewalks created to help connect people around and through the site. Finally, what was once a vacant and underutilized parking lot will be reinvented for residents and their guests to call home.

- 3) Will the site be accessible from public roads which are adequate to carry the traffic that will be imposed upon if the change is granted, or will road improvements be required? Has this project been discussed with regard to traffic design with the City Engineer? When? Who?**

The Property will be accessible from public roads, including West Crescentville Road and Northwest Boulevard. Bayer Becker, the project engineer, has been in communication with the City Engineer and other City staff. Traffic information is included as part of this submission and these details will be finalized as part of the Final Development Plan application.

4) Is the property currently or can it be serviced by public sewer and water and can proper storm drainage be provided?

The Property has access to public water and sewer and those utilities have been contacted for coordination with the proposed redevelopment. We have been informed that these utilities can support the proposed redevelopment. The Property currently has sufficient stormwater capacity. As part of the re-development, Milhaus will install additional water, sewer, and stormwater connections, as necessary.

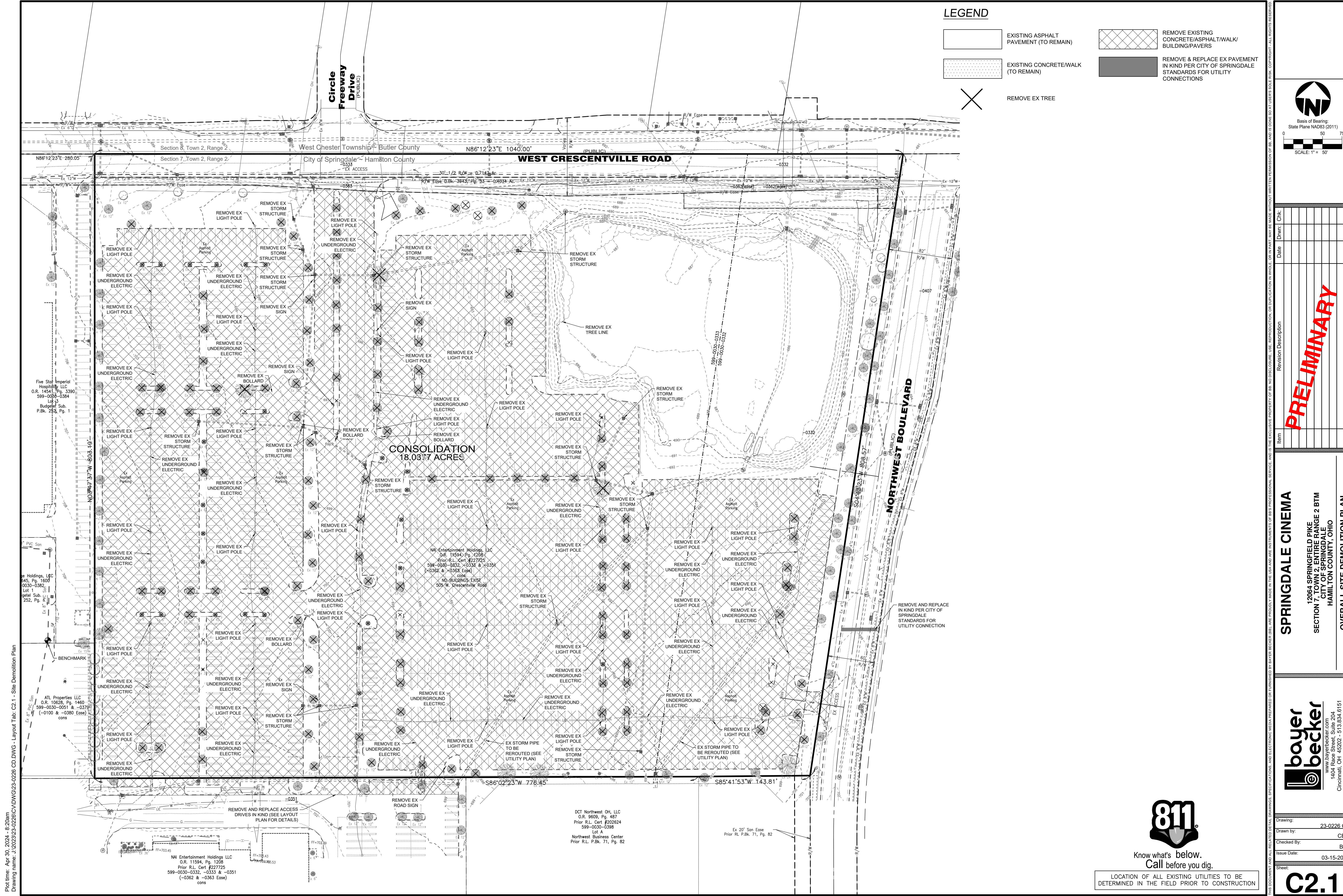
5) What is the anticipated proposed use of the property and what is the character (architectural treatment) of the development? How is this more beneficial to the Community than the current approved conditions?

Milhaus proposes to re-develop the Property into an approximately 306-unit multifamily apartment complex containing various amenities including a clubhouse, swimming pool, dog park, and many outdoor living areas. The architectural treatment of the proposed development will be appealing and utilize high quality materials, including earth-tone brick, hard siding, and board and batten. Further, the proposed development will include two distinct unit types; flats and townhomes. This will attract a diverse renter pool as it will meet the needs of many different renters. Additionally, many of the units will contain patios and balconies, which will provide an energetic and engaging environment for residents.

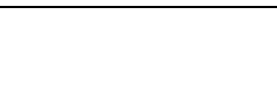

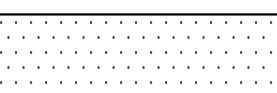

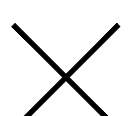
This proposed use of the Property will be more beneficial to the community than its current condition, as it will add high quality multifamily housing and will serve as a gateway to the City of Springdale. The current status as a vacant parking lot is largely a waste for the benefit of the community

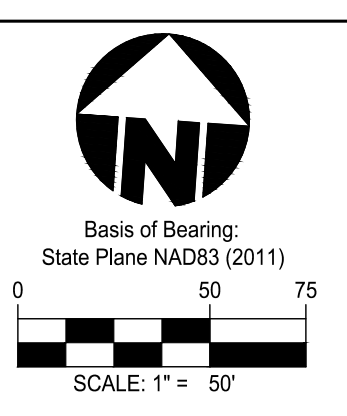
6) How will the proposed revisions/development affect adjacent properties and uses?

The proposed development will have a positive impact on the adjacent properties and uses. Architecturally, it will be aesthetically pleasing and complement the business, housing, and retail uses in the general area. Furthermore, it will encourage a neighborhood feel on the property, rather than serving a largely vacant overflow parking that it currently serves. Additionally, the proposed multifamily development will provide additional housing for customers and employees of the commercial centers and retail businesses surrounding the property.



LEGEND

-  EXISTING ASPHALT PAVEMENT (TO REMAIN)
-  REMOVE EXISTING CONCRETE/ASPHALT/WALK/ BUILDING/PAVERS
-  EXISTING CONCRETE/WALK (TO REMAIN)
-  REMOVE & REPLACE EX PAVEMENT IN KIND PER CITY OF SPRINGDALE STANDARDS FOR UTILITY CONNECTIONS
-  REMOVE EX TREE



Item	Revision Description	Date	Dwn:	Chk:

PRELIMINARY

SPRINGDALE CINEMA
 12064 SPRINGFIELD PIKE
 SECTION 7, TOWN 2, ENTIRE RANGE 2 BTM
 CITY OF SPRINGDALE
 HAMILTON COUNTY, OHIO
 OVERALL SITE DEMOLITION PLAN



Drawing:	23-0226 CD
Drawn by:	CEG
Checked By:	BJS
Issue Date:	03-15-2024
Sheet:	



Know what's below.
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LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION

C2.1

Plot time: Apr 30, 2024 - 8:20am
Drawing name: J:\2023\23-0226\CD\DWG\23-0226 CD DWG - Layout Tab: C2.1 - Site Demolition Plan

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SPRINGDALE REQUIRED BUFFERYARD
COMMENTS 05.21.2024



SITE USAGE

PREVIOUS	Surface Parking Lot
PROPOSED	6 Multi-family buildings - 216 Units 14 Townhome buildings - 90 Units Clubhouse

PARKING COUNTS

REQUIRED	168 1BR unit @ 1.5 spaces/unit = 252 Spaces 138 2+BR unit @ 2 spaces/unit = 276 Spaces Total Required = 528 Spaces
PROVIDED	Surface Parking lots = 281 Spaces On-street = 93 Spaces Garages = 180 Spaces Driveway = 54 Spaces Total Provided = 608 Spaces (1.98/unit) 24 Bicycle Parking Spaces Provided

IMPERVIOUS AREA

TOTAL SITE AREA	785,389 SF (18.03 AC.)	100%
IMPERVIOUS AREA PRE-DEVELOPMENT	556,553 SF (12.78 AC.)	70.9%
IMPERVIOUS AREA POST-DEVELOPMENT	497,682 SF (11.43 AC.)	63.4%



1054 Virginia Street, Suite 210
Indianapolis, Indiana 46203
www.andersonbohlander.com

PREPARED FOR
Milhaus
550 E Washington Street
Indianapolis, IN 46204

PROJECT
Springdale Cinema Site

Springdale, Ohio



ILLUSTRATION PROVIDED BY APPLICANT
05.20.2024

GREEN LINE BUFFERYARD REQUIRED - ADEQUATE BUFFERYARD WIDTH PROVIDED IN EX SITE PLAN

RED LINE BUFFERYARD REQUIRED - ADEQUATE BUFFERYARD WIDTH NOT PROVIDED IN EX SITE PLAN

SHEET TITLE
SITE PLAN - OVERALL

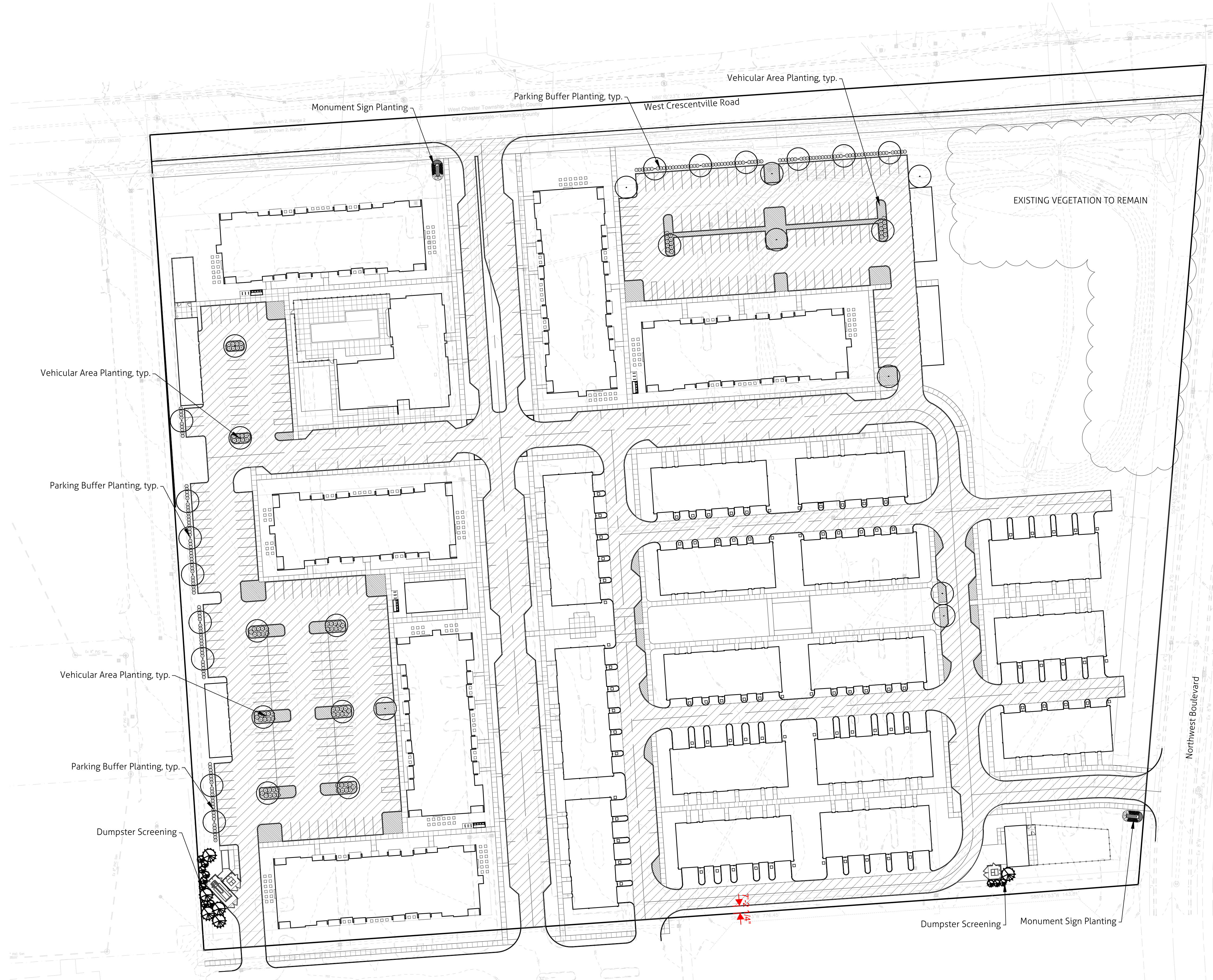


SHEET NUMBER

NOT FOR CONSTRUCTION

LEGEND - PLANTING PLAN

Symbol	Description	Quantity
	Vehicular Use Area	200,315 SF
	Vehicular Landscape Area	Required: 10,015 SF Provided: 10,317 SF
	Vehicular Area Tree (Group A)	Required: 15 Provided: 15
	Vehicular Area Shrubs (Group E)	Required: 90 Provided: 90
	Parking Buffer Tree (Group A)	Required: 1 Tree/35 LF Provided: 1 Tree/35 LF
	Parking Buffer Shrubs (Group E)	Required: 1 Shrub/3 LF Provided: 1 Shrub/3 LF
	Dumpster Screening Shrubs	Required: continuous evergreen planting Provided: Continuous evergreen planting



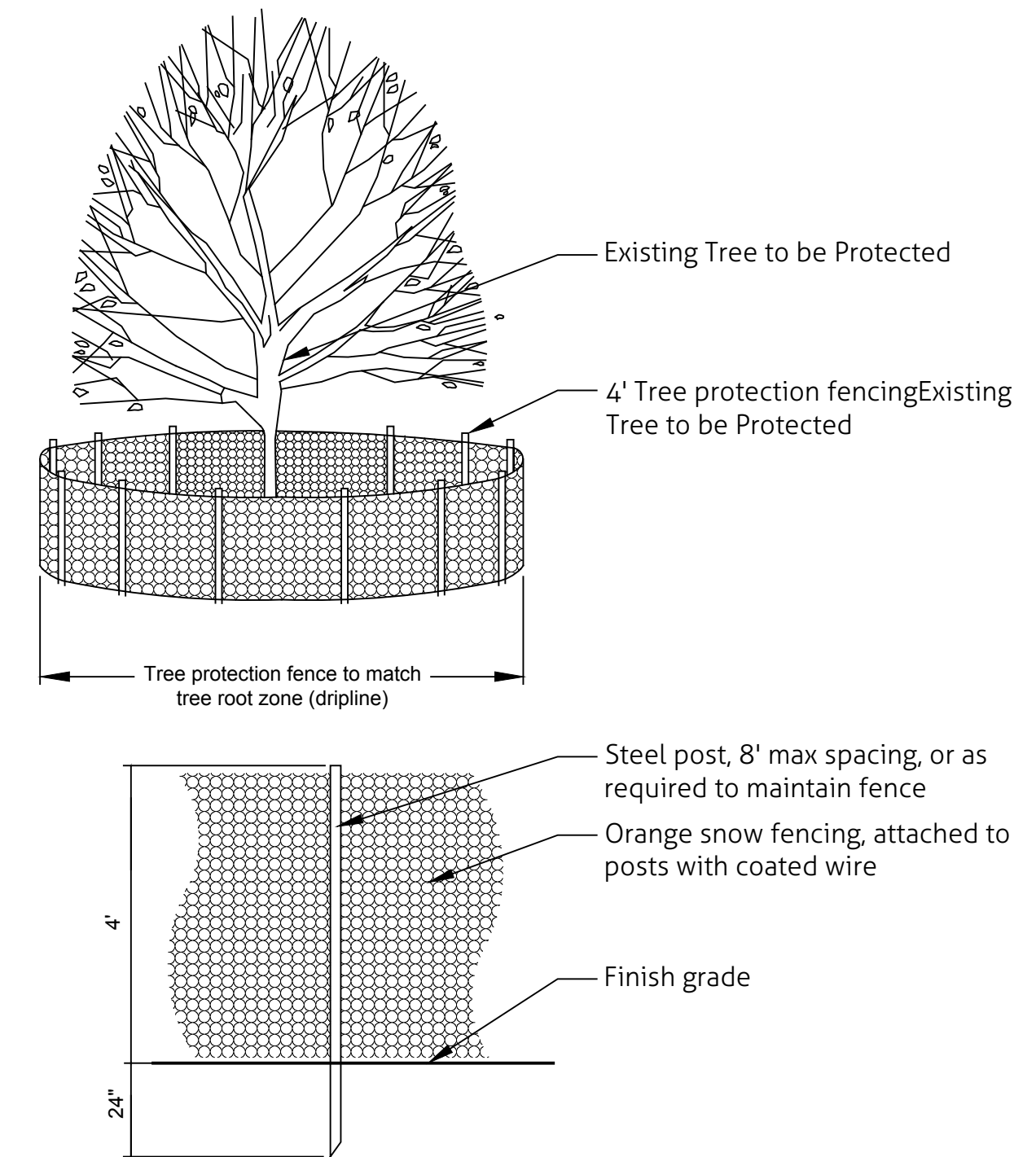


TREE REPLACEMENT

NON-EXEMPT TREES REMOVED	1,272 Caliper Inches
REQUIRED REPLACEMENT	636 Caliper Inches

TREE REMOVAL LEGEND

	Existing trees
	Existing trees to be removed
	Existing trees to remain
	Existing tree removed due to grading/development
	Existing tree removed due to building footprint - Exempt
	Existing tree removed due to poor health - Exempt
	Existing tree removed due to undesirable species - Exempt
	Existing tree to remain



01 | Tree Protection Fencing

Scale: 1/4" = 1'-0"



1054 Virginia Street, Suite 210
Indianapolis, Indiana 46203
www.andersonbohlander.com

PREPARED FOR
Milhaus
550 E Washington Street
Indianapolis, IN 46204

PROJECT
Springdale Cinema Site

Springdale, Ohio

NOT FOR CONSTRUCTION

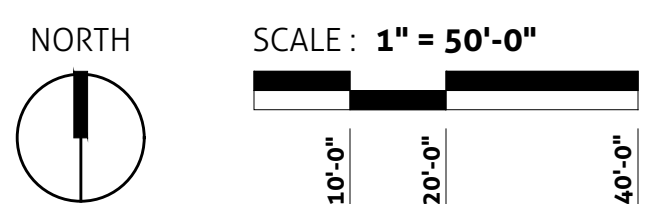
Preliminary PUD Submission
03/29/2024

DRAWN BY:
DMM
CHECKED BY:
JDA

REVISIONS	No.	Date	Issue

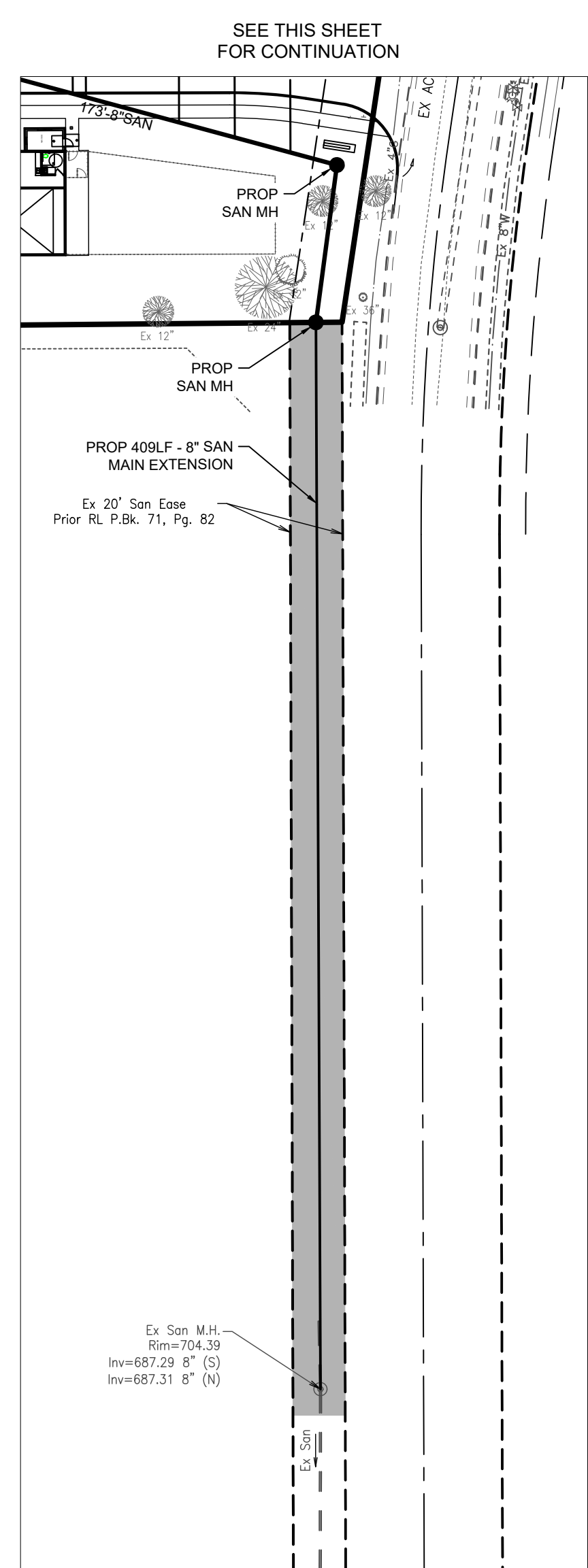
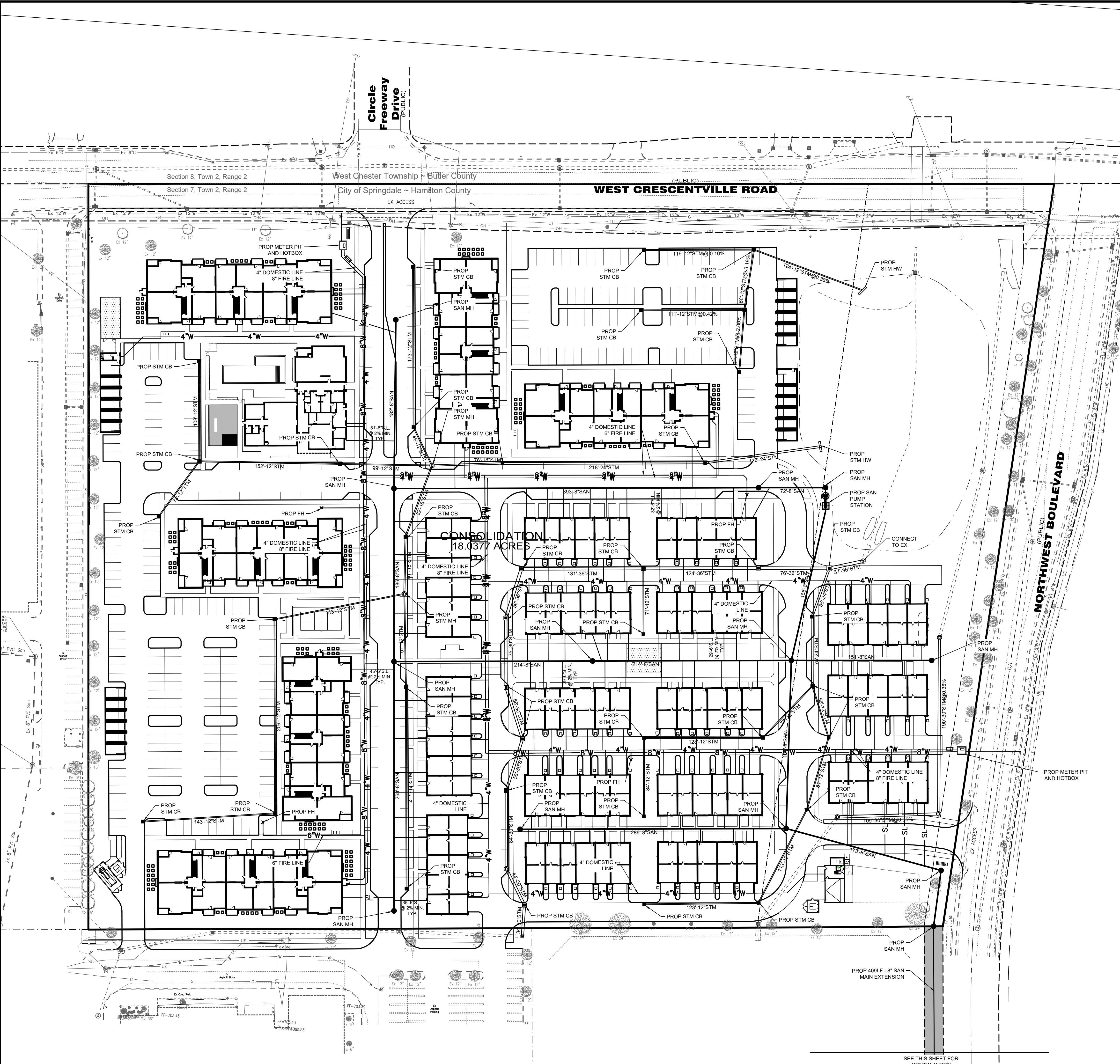
SHEET TITLE

TREE REMOVAL PLAN



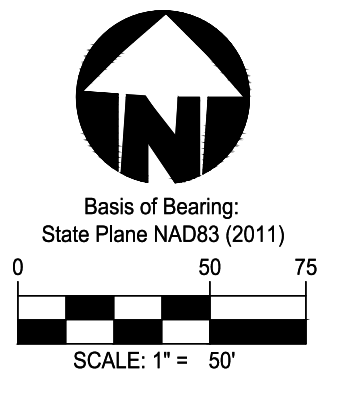
SHEET NUMBER

Plot time: Apr 30, 2024 - 8:28am
 Drawing name: J:\2023\23-0226\CVDWG\23-0226 UT.dwg - Layout Tab: C4.0 - Overall Site Utility Plan



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LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION



Date: _____
 Dwn: _____
 Chk: _____

Revision Description

SPRINGDALE CINEMA
 12064 SPRINGFIELD PIKE
 SECTION 7, TOWN 2, ENTIRE RANGE 2 BTM
 CITY OF SPRINGDALE
 HAMILTON COUNTY, OHIO
 OVERALL SITE UTILITY PLAN



Drawing: 23-0226 UT
 Drawn by: CEG
 Checked By: BJS
 Issue Date: 04-03-24

Sheet: **C4.0**

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PRELIMINARY



DRIVE LANE SUMMARY
 All Drive Lanes are 24' W
 Unless noted otherwise

PARKING DIMENSIONS
 18' D x 9' W - Surface Parking
 21' D x 9' W - Parallel Parking
 20' D x 20.5' W - 2 Car Garage
 20' D x 15.5' W - 1 Car Garage

DRIVEWAY SUMMARY
 8' Driveways: 40 (Not Parkable)
 12' Driveways: 12 (Not Parkable)
 16' Driveways: 5 (Compact)
 21' Driveways: 33 (Parkable)
 Narrow Widths are 9' Wide
 All others are 16' Wide

SETBACKS
 Front (Crescentville) - 50'
 Side Yard (Northwest Blvd) - 35'
 Side and Rear yard - 15'
 33%+ Greenspace
 Max Building Height: 47'0"

TRASH COMPACTOR AND ENCLOSURE

TRASH ENCLOSURE

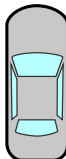
PROGRAM	306 Units 510 Beds
MULTIFAMILY	216 Units
	6 buildings (2 types)
	1 Clubhouse
	54 Studios
	114 One-Beds
	48 Two-Beds
PARKING	360 total (1.67 ratio)
	Garage: 23
	On Street: 57
	Surface: 280
TOWNHOMES	90 Units
	16 buildings (3 types)
	24 Two-Beds
	66 Three-Beds
	6 Ancillary Structures
	6 Outdoor Amenity Options
PARKING	265 total (2.94 ratio)
	Garages: 156
	On Street: 52
	Driveway: 57
TOTAL PARKING	625 total (2.04 ratio)
	Garages: 179
	On Street: 109
	Surface: 280
	Driveway: 57




SPRINGDALE CINEMA | SITE PLAN



TOWNHOMES
 90 Units
 16 buildings (3 types)
 24 Two-Beds
 66 Three-Beds
 6 Ancillary Structures
 6 Outdoor Amenity Options

 **265**
 TOTAL SPACES
 (2.94 RATIO)

 **52**
 ON STREET SPACES

 **156**
 PRIVATE GARAGES

 **57**
 DRIVEWAY SPACES

DRIVEWAY SUMMARY
 ♦ 8' Driveways: 40 (Not Parkable)
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TOWNHOMES
 90 Units
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 24 Two-Beds
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 **265**
 TOTAL SPACES
 (2.94 RATIO)

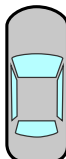
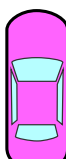



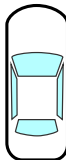
 **52**
 ON STREET SPACES

 **156**
 PRIVATE GARAGES

 **57**
 DRIVEWAY SPACES



TOWNHOMES
 90 Units
 16 buildings (3 types)
 24 Two-Beds
 66 Three-Beds
 6 Ancillary Structures
 6 Outdoor Amenity Options

-  **273**
TOTAL SPACES
(3.03 RATIO)
-  **52**
ON STREET SPACES
-  **156**
PRIVATE GARAGES
-  **57**
DRIVEWAY SPACES
-  **8**
POTENTIAL SPACES
-  **27**
UNCOUNTED SPACES



SPRINGDALE CINEMA | SITE PLAN



**Milhaus Development
The Onyx+ East
Zone Map Amendment
505 West Crescentville Road
Application# 20240017
June 11, 2024**

Request:

A zone map amendment is being requested for 18.04 acres of property at 505 West Crescentville Road. The proposed Concept Plan is for a 306 unit residential development with a clubhouse and amenities. The development is to be a mix of multi-family units (216 units) and two story townhomes (90 two and three bedroom units). Access to the development is to be from the existing access point on Crescentville Road and a point on Northwest Boulevard. There is potential that the development may expand to the south at some point in the future. The property is currently zoned "GI" General Industrial and a zone map amendment to "PUD" Planned Unit Development is being requested to allow the development to move forward. The "Plan Springdale" designates the property for "Industrial Mix" use on the Future Land Use Map. The "Industrial Mix" Future Land Use category indicates that the area should remain as industrial focused with a range of high tech, light industrial flex uses.

Comments:

- 1) The future Land Use Map contained in the 2022 "Plan Springdale" designates this property for "Industrial Mixed Use" which is defined as follows:

This district includes the city's industrial land uses. This area should remain industrial focused with a range of high-tech, light industrial, and flex users. Supportive uses such as fueling stations, office, and personal service uses are also appropriate along the major thoroughfares of this district to support the employees and nearby residents. New developments in this area should be constructed in a sensitive manner by screening loading operations, outdoor storage, and other similar activities from the public roads and adjacent non-industrial properties. Landscaping should be strategically used to soften the industrial developments and to screen any users within this district from adjacent residential neighborhoods.

The applicant provided the following information on changes to the property, area, and market that would make this designation inappropriate.

"The 2 parcels in question were under contract to be sold to an industrial developer while the 2022 Plan Springdale Land Use Map was being created. The potential purchaser had requested a re-zone of the property to Industrial Mixed Use prior to closing on the land, which helped inform the Land Use Map. This was the second

industrial developer that had the lot under contract but failed to close due to lack of demand for the space by industrial tenants. The market for industrial space has shifted over the last 5 years and there is currently a glut of new, unrented industrial space available for rent in the broader Cincinnati market. Additionally, over the last 10 years, we have seen an increase in demand for suburban multifamily housing set within retail and commercial corridors. These newer developments provide tenants with walkable shops, restaurants, and retail close to home. In many cases, it also allows residents to live closer to their workplace. The success of the Array Apartments across the street, as well as projects like Liberty Center Apartments, The Grandstone, One Deerfield, and Mason Grand, prove that residents want to live close to retail centers and make this an attractive site for new multifamily homes.”

- 2) The applicant is proposing 306 multi-family units on the 18.04 acres with a density of 16.96 units per acre. Per Section 153.255 (C) (4), the density permitted is 8 units to the acre based on the RMH District standards (144 units) unless modified by the Planning Commission if the development is in conformance with the purposes and provisions of Section 153.255. The applicant is requesting Planning Commission approval of a density of 17 units per acre. The applicant indicates the following:

“The applicant requests the rezoning include a density of 17 units per acre to allow the redevelopment to be in line with typical new residential projects in the vicinity. New multifamily projects in suburban settings are generally in the 10-30 units per acre range. This is true of the two new projects in Springdale, with the Array project at ~26 units per acre and Row on Merchant at ~21 units per acre. This is also true in the surrounding Cincinnati community, with density at Springs at Liberty Township of ~13 units per acre, Springs at West Chester at ~17 units per acre, Wayne Lofts at ~14 units per acre, and Savoy at the Streets of West Chester at ~24 units per acre.”

- 3) The applicant indicates the studio units will be 500 Square Feet. Section 153.252 (G) (2) requires a minimum dwelling size of 650 Square Feet. Planning Commission will need to determine if 500 Square Feet is appropriate.
- 4) Per Section 153.255 (D) (3), not less than 20% of the gross acreage is to be common open space. The applicant indicates a total of 6.6 acres (36.6%) of the site is to be open space.
- 5) Section 153.302 (P) requires that multi household dwellings provide 1.5 parking spaces per each one bedroom or studio unit, and 2 spaces for units with 2+ bedrooms. Per the applicant, there are to be 168 one bedroom/studio units and 138 two/three bedroom units. Total parking required per Code is 528 spaces per the unit mix provided. The applicant indicates the following parking is to be provided:

Surface Lot Spaces: 280 spaces
On Street Spaces: 109 spaces
Garage Spaces: 179 spaces
Driveway Spaces: 57 spaces
Total: 625 spaces

All parking aisles are to comply with the provisions of Section 153.302 (B) (1). The applicant indicates that driveways for the townhomes vary in length from 8 feet to 21 feet. Driveways that are to be only 8 feet or 12 feet (52 driveways) need to be designated as “No Parking”. Driveways that are 16 feet (5 driveways) are said to be for compact cars, however, per Section 153.302, such spaces are required to be a minimum of 17 feet in length. The proposed single (20' x 15.5') car garages and the double (20' x 20.5') car garages are the minimum suggested by garage suppliers and provides for only minimum vehicle access, and does not allow for storage space within the garage. The applicant has provided the following comments regarding parking:

“A separate packet of information on parking is included with this submission. The dimensions of all drive aisles, driveways, and parking stalls are included in this submission. In this packet, we have updated the site plan to find a solution for the concerns with parking for buildings 2-9 and 13. The initial changes presented at the planning commission (and included in the submission) we have proposed an increase in parking to 626 total spaces. We provided an analysis of where potential tenants and guests would likely park for each building and tried to identify any units that we felt would be under-parked. Through this analysis, we have a final exhibit that shows the addition of 8 additional parking spaces in the southeast corner of the site. As this is a preliminary plan submission and expect some minor changes before the final submission, we ask to work with staff to monitor and make changes to the parking plan in order to have an acceptable parking plan prior to our final development plan submission.”

- 6) Monument signage is indicated at both the entryways on West Crescentville Road and Northwest Boulevard. Details of the proposed signage need to be provided with the Final Development Plan. The applicant is requesting two ground signs, both of which will comply with the requirements of Section 153.459 (B) (3).
- 7) Two waste facilities are indicated in the southeast and southwest portions of the site. The enclosures are to conform to the requirements of Section 153.254 (G), specifics need to be provided with the Final Development Plan, but would require approval of the Planning Commission.
- 8) The applicant submitted a Planting Plan and Tree Removal Plan and response comments to which staff has the following comments:
 - A) Redevelopment sites require any trees removed to be replaced one caliper inch per every one caliper inch removed, per Chapter 156 Preservation of Trees and Wooded Areas. The Tree Removal Plan identifies 1,272 caliper inches removed and 636 caliper inches required replacement, which is only a 50% replacement calculation. The Tree Removal Plan and Planting Plan would need to be revised to indicate a minimum of 1,272 caliper inches. The applicant is requesting a variance to provide only 50% of the removed caliper inches in lieu of the required 100%. Per Section 156.15, if the site cannot physically accommodate the number of caliper inches required, the Planning Commission can approve a financial contribution to the city’s Tree Program in lieu of a specific number of caliper inches. The applicant submitted the following:

“It is our intent to plant as many new trees as possible on the site while providing common open spaces and amenities to our residents via other green and hardscape spaces. While the current plan shows a 50% reduction, we will work to add trees wherever reasonable to increase this number before our Final Plan submission.

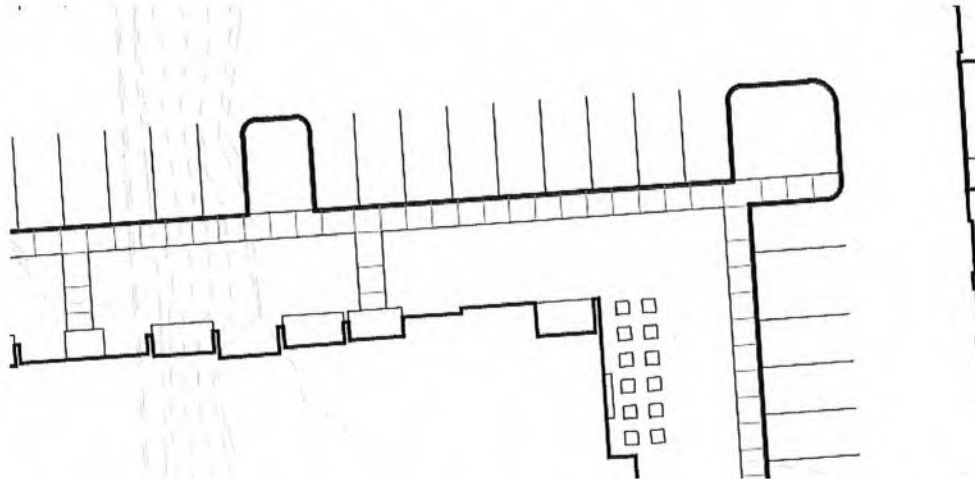
There are a couple of variables in play that make it hard to keep many of the existing trees. First, we will need to fully grade the site to accompany shallow storm and sanitary connections. Trying to save internal trees during this process would be very challenging given the amount of adjacent grading and pavement removal necessary. Additionally, we are studying if the current dry detention basin would be more functional as a wet retention pond. The results of this study will impact the number of trees we ultimately need to remove and replace. The last variable is the coordination and design of the multi-use path along West Crescentville Road and sidewalk along Northwest Blvd. The existing plan does not account for any removal on this path. This will most likely increase the number of trees we need to remove and limit our ability to meet the 50% replanting.

We would propose to work with PC and city staff to balance all these efforts with the use of the City’s Tree Program fund to achieve a workable solution.”

- B) The Site Planting Plan needs to identify tree species and size, only a generic plant references are provided. A Plant Schedule is required per Section 153.402 (B). A plant schedule needs to be provided with the required proposed plant material information. The applicant has indicated they will revise the Landscape Plan and submit it with the Final Development Plan.
- C) The Planting Plan needs to provide a summary of the landscape requirement calculations. The applicant has indicated they will provide this with the landscape summary on the Final Development Plan submission.
- D) Bufferyards are required for parking adjacent to a right-of-way (public or private streets) or adjacent use (non-residential use) per Section 153.404 (G) (1) Table 404-1. Bufferyard requirements for parking or access drive adjacent to non-residential use are one canopy tree per 35’ (or one small/ornamental tree per 25’) and one shrub per 3’.

The bufferyards shown do not meet the requirements of Code. Bufferyards are required along West Crescentville Road, west property line, south property line, and a portion of Northwest Boulevard may require a bufferyard based on how much of the existing vegetation remains. Although there is a proposed bufferyard for West Crescentville Road, it requires an additional three trees and 15 shrubs to meet the requirements of Code. The applicant needs to comply with bufferyard requirements for all parking lots adjacent to other uses/roads, not merely land use (ie: single family versus multi-family). The current Preliminary Development Plan does not provide the bufferyards required.

- E) Interior landscape islands need to meet the minimum plant material requirements (one tree and four shrubs), per Section 153.404 (C) (2). Applicant indicated that the submitted plans meet zoning requirements. All interior landscape islands require one tree and four shrubs, which is not included in the submitted plans. Plans need to be revised to meet the Zoning Code requirements and submitted as a part of the Final Development Plan.
- F) Foundation plantings for the structures should be provided. Applicant indicates they will comply on the Final Development Plan submission.
- G) Parking blocks need to be added to minimize encroachment on sidewalks and where plant material should be protected from vehicles pulling into parking spaces to landscape beds. Applicant indicates they intend to provide a 5' wide walk along back of curb in lieu of installing parking blocks. City will need to review future submissions to see if a 5' sidewalk will be an acceptable solution.



- 9) A Photometric Plan for the site complying with the requirements of Section 153.351 needs to be provided with the Final Development Plan. The applicant confirms that proposed lighting is to be part of the Final Development Plan and will conform with Section 153.351.
- 10) The applicant submitted building elevations and floor plans for the townhouses and multi-unit buildings. The townhouses are to have fiber cement smooth panels and lap siding with some of them having brick accents and pitched roofs with architectural asphalt shingles. The three story apartment building and community building and garages also appear to be constructed using fiber cement siding with brick accents and pitched architectural grade asphalt roofs. The applicant has provided the following additional information:

“The elevations are in flux, as we have redesigned the three-story buildings to a flat-roof design via direction of some in the city’s office. We will work with the city on how to preview these with PC and TC prior to those meetings, so the Final Development Plan is not a complete shock or change to those members.”

- 11) Section 153.254 (C) requires that all ground and roof mounted mechanical equipment be screened. The applicant indicates they will comply with the provisions (1-5) of Section 153.254 (C), and all ground or roof top equipment will be screened by vegetation or parapet walls. The applicant has indicated that the mechanical equipment will be screened per the requirements of Section 153.254 (C), and included on the Final Development Plan.
- 12) The Covenants and Deed Restrictions must be submitted with the Final Development Plan. They are to be reviewed by the Law Director and approved, executed by all parties, and recorded in Hamilton County with a copy being provided to the Building Department prior to the issuance of a Certificate of Occupancy. The applicant is aware of and acknowledges this requirement.

Considerations:

Should Planning Commission choose to recommend approval of the zone map amendment from “GI” to “PUD” and recommend approval of the Preliminary Development Plan for a multifamily development to Council, the following items need to be considered:

- 1) Planning Commission determine that the applicant has demonstrated that there has been significant change in the area, market, or other factors which make the existing recommendation of “Industrial Mixed Use” designation inappropriate on the future Land Use Map contained in the 2022 “Plan Springdale”.
- 2) Planning Commission determine that the proposed density of 17 units to the development is appropriate for the site, comprised of a mixture of apartment-style and townhome-style buildings, and in conformance with the purposes and provisions of Section 153.255.
- 3) Determine what the percentage minimum of the PUD should be devoted to open space, over the 20% required.
- 4) Planning Commission determine if they are satisfied with the parking proposed. Driveways that are not to be used for parking need to be signed “No Parking”, and those for compact cars be a minimum of 17’ in length, and signed for “Compact Cars” only.
- 5) Signage for the development shall comply with the provisions of Section 153.459 (B) (3) with the exception that a second ground mounted sign be permitted on Northwestern Boulevard to meet the design requirements of Section 153.459 (B) (3).
- 6) The proposed waste enclosures in the southwest and southeast portions of the site shall conform to the requirements of Section 153.254 (G), as indicated by the applicant.
- 7) The Landscape Plan be revised per Staff Comments and to meet City requirements. If the applicant is not able to accommodate the entire 1,272 caliper inches of replacement trees on site, those caliper inches can be accounted for in a donation to the City Tree Fund per Section 156.15, as has been done with other developments.

- 8) A Lighting Plan must be submitted with the Final Development Plan, consistent with the requirements of Section 153.351. The applicant has indicated the lighting for the site will comply with Section 153.351.
- 9) All ground and roof mounted equipment will be screened from view consistent with the requirements of Section 153.254 (C), and included on the Final Development Plan.
- 10) Planning Commission determine that the minimum dwelling size of 500 Square Feet is appropriate when 650 Square Feet is required in a multi-family District.
- 11) Planning Commission determine that the proposed building designs and materials are appropriate for the development location or that building designs and materials are to be finalized with the Final Development Plan.
- 12) The Covenants and Deed Restrictions must be submitted with the Final Development Plan. They are to be reviewed by the Law Director and approved, executed by all parties, and recorded in Hamilton County with a copy being provided to the Building Department prior to the issuance of a Certificate of Occupancy. The applicant is aware of and acknowledges this requirement.

Submitted by:

Anne. F. McBride, FAICP
City Planner

MDC #5027

SPRINGDALE CINEMA APARTMENTS
505 W. CRESCENTVILLE ROAD
PLAN REVIEW PERMIT # 20240017
24020104
MAY 20, 2024

PLANNING COMMISSION
ENGINEERING REVIEW #2



PROJECT SITE
(Parcel IDs 599-0030-0332, 599-0332-0333)

REQUEST: The Applicant is requesting a zoning change from General Industrial (GI) to Planned Unit Development (PUD) and preliminary plan approval to redevelop the northeast cinema parking lot to include approximately six multi-family buildings and sixteen townhome buildings on the nearly 18-acre site. The first phase of the development will provide approximately 216 multifamily units and about 90 townhome units with a common clubhouse, amenities, and associated parking. The proposed redevelopment is located in the southwest corner of the intersection of Crescentville Road and Northwest Boulevard.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be

resolved before a building permit can be recommended to commence construction. Please note that Development is to comply with all requirements of the City of Springdale's Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

A. LAND USAGE (Chapter 150)

1. The Applicant shall confirm that parcels 599-30-332 and 599-30-333 are to be consolidated.
 - a. The applicant's review response letter dated April 30, 2024, indicated that a consolidation plat will be completed as needed. The consolidated plat shall be recorded prior to the Certificate of Occupancy being granted.
2. The Applicant shall confirm that all the proposed streets within the site are to be private.
 - a. The applicant's review response letter dated April 30, 2024, indicated that the internal streets will be private streets.
3. Per §150.12 of the City's regulations, please add the following graphic and descriptive items that are normally required to be shown on a subdivision preliminary plan:
 - a. The entire development shall be shown as proposed for ultimate development (including the cinema site as noted in the submitted traffic impact study), even though the development is proposed to be in phases. Only preliminary plans for Phase 1 of the development were submitted.
 - i. The applicant's review response letter dated April 30, 2024, indicated that Phase 2 will not be shown on the plans as it is not under contract or owned by the development team at this time. The zoning change and preliminary plan approval shall be limited to Phase 1.
 - b. The associated public improvements to accommodate the proposed development as recommended in the submitted traffic impact study.
 - i. The applicant's review response letter dated April 30, 2024, indicated that the associated necessary public improvements will be incorporated in the Final PUD submission.
 - c. Layout of streets, including names and widths of proposed streets, and widths of alleys, crosswalk ways, and easements. Proposed street names shall not duplicate or too closely approximate, phonetically, the name of any other street in Hamilton County.
 - i. The applicant's review response letter dated April 30, 2024, indicated that the layout and dimension of streets, alleys, crosswalks, and easements will be provided at final (development plan) submission.
 - d. Typical street cross sections, or half sections, at a scale not smaller than 1/4-inch equals one foot, showing the widths of roadways, pavement composition, and locations, and the width of sidewalks shall be shown when the proposed sections differ from Springdale standards.
 - i. The applicant's review response letter dated April 30, 2024, indicated that street sections will be provided with final (development plan) submission for streets that differ from City of Springdale standards.

- e. Building setback lines, show graphically along all streets with dimensions.
 - i. The applicant's review response letter dated April 30, 2024, indicated that building setback lines with dimensions will be shown on final (development plan) submission.
- 4. Per §150.13 of the City's regulations, streets shall conform substantially to the thoroughfare plan adopted by the planning commission and any revisions or amendments thereto. According to the City's February 1998 Thoroughfare Plan Map, Crescentville Road is classified as a Secondary Arterial. Per City regulations 150.13(O), the minimum right-of-way width for Crescentville Road is 80 feet, equal distance on each side of the center line, and shall be dedicated for public use on the record plat. The minimum right-of-way width for Northwest Boulevard is 60 feet.
 - a. The existing condition site plan dated March 28, 2024, indicates that the existing right-of-way of Crescentville Road varies (80'-102') and the existing right-of-way of Northwest Boulevard also varies (60'-82').
- 5. Per City's current Bike and Pedestrian Connectivity Plan (2022), this W. Crescentville Road is recommended to include a 12' multi-use path or on-road bicycle facilities whereas Northwest Boulevard and Pictoria Drive was recommended to include construction of an 8' sidewalk. It should also be noted that multi-modal (bike, pedestrian, transit, etc.) connections are encouraged to be part of every development within the city in an effort to eliminate connectivity gaps for all users.
 - a. A public multi-use path is required to be constructed along the site's W. Crescentville Road frontage as part of this redevelopment project.
 - i. The applicant's review response letter dated April 30, 2024, indicated that they intend to include the multi-use path as part of this project. Coordination with the utilities will be required to determine the final form of the trail and that a detailed layout of the trail will be included in the final development plan.
 - b. A public sidewalk is required to be constructed along the site's Northwest Boulevard frontage as part of this redevelopment project.
 - i. The applicant's review response letter dated April 30, 2024, indicated that they intend to include the public sidewalk along Northwest Boulevard as part of this project and will be included in the final development plan.
- 6. Per City regulation §93.15, a driveway application and permit are required for work within the public right-of-way. The Applicant will need to include all details for work inside the public right-of-way such as curb replacement, pavement restoration, storm sewer installation/trench backfill, etc., in the final development plans.
- 7. Per City regulation §150.31(F), No part of any driveway or driveway approach within the road right-of-way shall be installed closer than 5 feet to any inlet, fire hydrant, utility pole, or guy wire anchor. It should be noted that the existing traffic signal poles at the Crescentville Road intersection have been damaged numerous times by vehicles due to their location along to the roadway.

B. TRAFFIC

- 1. Direct access to the proposed Springdale Cinema Mixed-Use development will utilize the following existing and redesigned/modified locations:

- a. Pictoria Drive and Site Access #1 (existing Showcase Cinema Drive) Intersection, by way of Springfield Pike (S.R. 4) and Pictoria Drive Intersection – Modified Right-Turn In/Right-Turn Out Drive Intersection.
 - b. W. Crescentville Road and Circle Freeway Drive and Site Access #2 (existing Showcase Cinema Drive) Intersection – Existing Signalized Intersection.
 - c. Northwest Boulevard and Site Access #3 (existing Showcase Cinema Drive) – Existing Unsignalized Intersection.
2. The Applicant submitted a revised draft Traffic Impact Study (TIS) dated April 30, 2024. Based on the analysis contained in this report, no roadway improvements are recommended to accommodate the 2023 Existing Traffic, 2027, 2029, and 2039 No-Build Traffic Projections, however, roadway improvements are recommended to accommodate the 2027, 2029, and 2039 Build Traffic Projections (including site traffic) which are as follows:
- a. Springfield Pike (S.R. 4) and Pictoria Drive Intersection
 - i. Redesign the Springfield Pike (S.R. 4) and Pictoria Drive intersection to provide two-way operations.
 - ii. Provide one (1) northbound right-turn storage lane a total of 125 feet in length (including 50-foot diverging taper).
 - b. Pictoria Drive
 - i. Reconstruct Pictoria Drive to provide a two-lane public roadway from Springfield Pike (S.R. 4) to the existing two-lane cross section at approximately 1,082 feet to the south and east of Springfield Pike (S.R. 4).
 - c. Pictoria Drive and Site Access #1 Intersection
 - i. Redesign the Pictoria Drive and Proposed Site Access #1 intersection to provide two-way traffic operations.
 - ii. Provide one (1) eastbound lane for entering traffic.
 - iii. Provide one (1) westbound lane for exiting traffic.
 - iv. Install a stop sign traffic control devices in the westbound approach to the intersection.
 - d. W. Crescentville Road and Circle Freeway Drive and Site Access #2 Intersection
 - i. Redesign the existing Showcase Cinema Drive (Site Access #2) at the W. Crescentville
 - ii. Road and Circle Freeway Drive to provide the following:
 1. Provide one (1) southbound lane for entering traffic.
 2. Provide one (1) northbound left-turn storage lane for exiting traffic.
 3. Provide one (1) northbound shared through/right-turn lane for exiting traffic.
 - iii. Modify the existing traffic signal to provide appropriate signal timing and phasing.
 - e. Northwest Boulevard and Site Access #3 Intersection
 - i. Existing design sufficient for proposed development. No additional recommended improvements required.
3. The City Traffic Engineer has reviewed the revised TIS and has indicated that all their previous review comments have been addressed however, the TIS shall be revised to identify the which roadway improvements are necessary at the various stages of development. The TIS should note which roadway improvements should be included with the Phase 1 development.

4. The submitted TIS noted that Phase 1 would include 277 Multi-Family Residential Dwelling Units, while the full buildout is to include 507 Multi-Family Residential Dwelling Units and 10,000 Square Feet of Commercial/Retail however the submitted Phase 1 site plan dated March 29, 2024, indicated that Phase 1 of development is to include 306 residential units (216 multi-family + 90 townhome). The applicant shall revise the TIS to reflect the proposed phase 1 development.
5. A cross-access agreement for the connection to the existing Springdale Cinema property to the south for the northbound SR 4 access is required. It should be noted that the existing SR 4 access drive on the Springdale Cinema property is signed to prohibit trucks.

C. PUBLIC IMPROVEMENTS

1. Per City regulations §150.55, in lieu of actual construction of the public improvements, a subdivider may assure the completion of the construction of the public improvements shown on the improvement plan, and as required by this code by (A) Furnishing a performance bond, certified check, or other guarantee of security to the satisfaction of, and in favor of the city council, and in an amount equal to 110% of the city engineer's estimate of the cost of the construction of the physical improvements within that portion of the subdivision submitted for recording, including outlet sewer and water supply where available, as shown on the detailed improvement plan and as required under §150.30 through §150.35. (B) Executing a subdivider's contract.
2. Per City regulations §150.61, Before any improvement is accepted or any responsibility is assumed by the city, a guarantee by the developer or owner in an amount equal to 10% of the cost of the improvement as determined by the City Engineer shall be furnished in the form of a bond, certified check, cashier's check, letter of credit, cash or other security subject to the approval of the city council, and kept on file in the office of the city clerk. The guarantee shall assure the correction of any defect or failure from any cause whatsoever appearing in any public improvement, as shown on the detailed improvement plans, or an improvement required under §150.10 through §150.14, §150.20 through §150.22, and §150.30 through §150.35. The guarantee shall apply for two years after acceptance.

D. UTILITIES

3. Per City regulations §150.32, Greater Cincinnati Water Works (GCWW) shall be responsible for design, review, and inspection of all water mains. Hydrant type shall be approved by the City of Springdale Fire Department.
 - a. The overall utility plan dated April 3, 2024, indicates that a new water service and meter is proposed on the west side of the entrance of W. Crescentville Road and on the north side of the Northwest Boulevard entrance. The applicant shall provide documentation of the associated GCWW water service application/availability letter with the final development plan.
4. Per City regulations §150.33, Metropolitan Sewer District (MSD) shall be responsible for design, review, and inspection of all sanitary sewers.
 - a. The overall utility plan dated April 3, 2024, indicates that a 406 LF 8" sanitary sewer main extension within an existing 20' sanitary easement is proposed to serve

the development. The applicant shall provide a copy of MSD's sewer service application/availability letter with the final development plan.

E. STORMWATER MANAGEMENT (Chapter 151)

1. Per §151.03(A), erosion control shall be practiced whenever a parcel is cleared, graded or otherwise disturbed by the movement of earth, regardless of exemptions outlined in § 151.02(B). The installation of the specific Storm Water Management Plan measures shall be accomplished in accordance with the standards and specifications contained in the City Regulations and the latest edition of the [Rainwater and Land Development Manual](#) or [ODOT Location and Design Manual - Volume 2 - Drainage Design](#).
 - a. The applicant's review response letter dated April 30, 2024, indicated that proper notes and details associated with the site erosion control measures will be provided with the final development plan.
2. Per §151.03(B)(4), no grading work will be permitted on the site until all OEPA and USACE permitting is concluded, the Storm Water Pollution Prevention Plan (SWP3) for the site is approved by the City and the associated bond is submitted to the City. A SWP3 must address all minimum components of the NPDES Statewide Construction Storm Water General Permit (CGP) and conform to the specifications of Ohio Department of Natural Resources' [Rainwater and Land Development Manual](#) or ODOT Location and Design Manual - Volume 2 - Drainage Design. It should be noted that an Ohio EPA Notice of Intent (NOI) for coverage under Ohio Environmental Protection Agency general permit is not required for sites that includes a disturbance area greater less 1 acre.
3. Per City regulations 151.04(A)(1), Every Subdivision and land development shall be provided with a Storm Water Management System which is adequate to serve the area and meets the requirements of this chapter and other criteria of the City. Any unsubdivided parcel less than 1 AC. in size is exempt from the detention requirement per § 151.04(D) of these regulations.
 - a. An existing dry detention located in the northeast portion of the project site has been constructed and is in operation that serves the proposed project site as well as the Springdale Cinema property to the south and adjoining restaurant property (Roosters) to the southwest. The existing dry pond was noted to provide 222,885 CF of stormwater detention.
 - b. The overall utility plan dated April 30, 2024, indicates that proposed development is planned to utilize the existing dry detention pond. Two additional stormwater outlets are proposed to drain to the pond. The applicant shall submit supporting stormwater calculations/report with the final development plan.

The applicant's review response letter dated April 30, 2024, indicated that proper notes and details will be provided with the final development plan.

4. Per §151.04(B)(2)(a) of the City Regulations, a plan showing the total area contributing runoff to the Project Area being considered shall be submitted with the preliminary plans. This plan shall contain, but is not limited to, the following information:
 - a. A contour plan showing the outline of all areas outside the project area that contributes runoff to it;

- b. Estimated runoff (Q) before and after development for terminal points along natural streams, proposed open channels, and other strategic points such as existing storm sewers or culverts;
- c. Location of proposed Detention/Retention areas;
- d. Location of all post-construction storm water quality best management practices.
- e. Any other information required by the city to clarify intent.

The applicant's review response letter dated April 30, 2024, indicated that proper notes and details will be provided with the final development plan.

- 5. Post construction water quality best management practices (BMP):
 - a. The overall site plan dated March 29, 2024, indicates that the existing site includes 12.78 ac of impervious area whereas the proposed site impervious area 11.43 ac, providing an approx. 10.6% reduction in site impervious area.
 - b. Per §151.04(A)(7), an Inspection and Maintenance Agreement shall be made between the property owner and the city ensuring that the Post-Construction Stormwater BMP(s) are inspected and properly maintained. An Inspection and Maintenance Agreement will need to be submitted for the proposed post construction water quality measures prior to issuance of the building permit and recorded as a covenant, prior to the Certificate of Occupancy being granted. A template of such an agreement has been upload into iWorQ.
 - i. The applicant shall also provide documentation of any agreement between the properties that the post-construction stormwater BMP serves.
 - ii. The applicant's review response letter dated April 30, 2024, indicated that proper notes and details will be provided with the final development plan.
 - c. A performance bond in the amount of the cost of the Storm Water Management Plan measures shall be required to be filed with the City Finance Director. This bond shall include post-construction best-management practices. Said performance bond shall authorize immediate payment to the City of Springdale upon certification by the City Administrator with the concurrence of the Planning Commission, that necessary emergency work must be done immediately to insure proper water management and sediment control as a result of the landowner's failure to complete or adhere to the approved Stormwater Management Plan as required by § 151.05(E).
- 6. The applicant is advised that there were several items noted within the City's 2020 basin inspection report that must be addressed in part of the redevelopment if they were not previously addressed. A copy of the City's 2020 basin inspection report has been uploaded into iWorQ for your reference.

ORDINANCE NO. 48-2024

AN ORDINANCE APPROVING A MAJOR MODIFICATION TO THE SPRINGDALE LAKE PLANNED UNIT DEVELOPMENT AND APPROVING THE PRELIMINARY DEVELOPMENT PLAN FOR THE PROPERTY LOCATED AT 12021 SHERATON LANE

WHEREAS, the Council of the City of Springdale, Ohio (“Council”), has previously approved the Springdale Lake Planned Unit Development (“PUD”); and

WHEREAS, the applicant has submitted an application for a major modification to the Springdale Lake PUD and Preliminary Development Plan at 12021 Sheraton Lane to change from office use to retail/restaurant use for the location of a Bodega; and

WHEREAS, at its meeting of July 9, 2024, the Planning Commission recommended approval of the proposed major modification; and

WHEREAS, a public hearing was held by Council on September 4, 2024 pursuant to the requirements of the Zoning Code.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. The major modification to the Springdale Lake PUD and Preliminary Development Plan, which has been reviewed and approved by the Planning Commission in accordance with the exhibits listed and described in the attached Exhibit A, which is incorporated herein by reference, is hereby approved, subject to the conditions of the Planning Commission including:

- A. Staff, City Engineer, and City Planner’s recommendations and considerations contained in their reports. As a PUD, this shall include Staff, Law Director and City’s approvals of Covenants as necessary.
- B. All other Zoning Code regulations and conditions shall remain in effect.
- C. Final Development Plan which shall be reviewed at a later date.

Section 2. That this Council hereby finds and determines that all formal actions relative to the passage of this Ordinance were taken in an open meeting of this Council, and that all deliberations of this Council and of its Committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. That the Clerk of Council is hereby authorized and directed to notify the applicant of Council’s action.

Section 4. That this Ordinance shall be effective from and after the earliest period allowed by law.

Passed this ____ day of September, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date

City of Springdale



Building Department

(513) 346-5730

11700 Springfield Pike
Springdale, Ohio 45246

Fax (513) 346-5747

July 9, 2024

Mr. Jeff Anderson
Springdale City Council
11700 Springfield Pike
Springdale, OH 45246

RE: Recommendation for Approval – BODEGA
Preliminary Plan and Major Modification to PUD
12021 Sheraton Ln
Parcel #: 059900500407

Dear Mr. Anderson:

At their meeting on July 9, 2024, the Springdale Planning Commission held a public hearing for an Amendment to the Springdale Lake PUD for the property located at 12021 Sheraton Ln. to change from office use to retail/restaurant use.

Planning Commission moved to approve the Amendment by a 6-0 vote to the PUD for the property located at 12021 Sheraton Ln., Case Number 20230909, per specifications and designs provided in our meeting packet as exhibits which were submitted by the applicant prior to the meeting and reviewed by staff.

By this approval, Planning Commission is referring this to the City of Springdale City Council for consideration. This motion includes the following conditions; staff, our City Engineers, and City Planners, recommendations and considerations contained in their report. Whereas all other zoning codes and regulations and conditions not detailed in this motion shall remain in effect. Any changes to the above conditions shall constitute a change to the approved plan. Such changes shall require approval of the Springdale Planning Commission. As this is a PUD, this shall include staff and our law directors' approval of covenants as necessary for the development.

Sincerely,

Mr. Carl Lamping
Building Official

CC: Lawrence C. Hawkins III, Mayor
John Jones, City Administrator
Nicole Browder, Clerk of Council
Joe Braun, Law Director's Office
Shawn Riggs, City Engineer
Anne McBride, City Planner
Council Members
Planning Commission Members



CITY OF SPRINGDALE - BUILDING DEPARTMENT
 11700 SPRINGFIELD PIKE SPRINGDALE, OHIO 45246
 PHONE: 513-346-5730 FAX: 513-346-5747
 WEBSITE: www.springdale.org/building-department.aspx
 EMAIL: Building@Springdale.org

Application Number

PLANNING/ZONING APPLICATION

Project Name: BODEGA **Area of Development:** .981 Acres
(Please provide a common name to describe this project) (Provide a list of All Parcels associated with Project)

Project Location: 12021 Sheraton Lane 45246
(Street No.) (Street Name) (Springdale, Ohio) (Zip Code)

Applicant: Sugar Creek Packing Co. 513-560-4457
(Name) (Daytime Phone Number)

4347 Indeco Court Cincinnati, Ohio 45241 eharris2@sugar-creek.com
(Mailing Address: Street No; Street Name, City, State, Zip) (E-mail Address)

APPLICATION FOR: (Pick 1) Please review the applicable Sections of the Zoning Code listed below and the Zoning Map provided online at: <https://www.springdale.org/building-department.aspx>

Major Project:
 Application process requires a **Public Hearing and a Review/Recommendation by Planning Commission; AND a Public Hearing and a Decision by City Council.**
 Include Major Projects Submission Requirements
 Document with this Application

Minor Project:
 Application process requires a **Meeting and a Decision by Planning Commission.**
 Include Minor Project Submission Requirements
 Document with this Application

BZA Hearing:
 Application process requires a **Public Hearing and a Decision by the Board of Zoning Appeals.**
 Include BZA Submission Requirements document
 Project Types: (Pick 1 Below)

Project Types include the following: (Pick 1 Below)

Project Types include the following: (Pick 1 Below)

Zoning Text or Map Amendments
 Describe Zone Change and Total (Net) Acres Below
 Section 153.202

Concept Plan (Hearing by PC/ No Decision)
 Development Plan Section 153.203
 Conditional Use Permits Section 153.204
 Determination of Similar Uses Sec 153.205

Variance Section 153.206

Planned Unit Development (PUD):
 Preliminary Development Plan Sec 153.255(F)(1)
 Major Modification Section 153.255 (H)(1)

Planned Unit Development (PUD):
 Final Development Plan Section 153.255(F)(5)
 Minor Modification Section 153.255 (H)(2)

Appeal Section 153.208


Transition Overlay District (T-District):
 Preliminary Development Plan Sec 153.256(F)(1)
 Major Modification Section 153.256 (G)(1)

Transition Overlay District (T-District):
 Final Development Plan Sect. 153.256 (F)(5)
 Minor Modification Section 153.256 (G)(2)

Route 4 Corridor Review District Plan
 All new exterior work on properties in the Rt 4 Corridor required to be Approved. Sec 153.257(I)

BRIEFLY DESCRIBE PROJECT: The existing property use is commercial office space. Applicant
(Provide Existing and Proposed Zoning for this Property)
is proposing to use the property as a daytime convenience grocery and coffee shop with evening alcohol
service.

The undersigned Property Owner and/or the Applicant (acting as an Agent for the Property Owner), do hereby covenant and agree to comply with all the laws of the State of Ohio, Hamilton County and the ordinances of the City of Springdale pertaining to land usage, buildings and site development.

(12/16/2020)  (Signature of Owner/Agent)

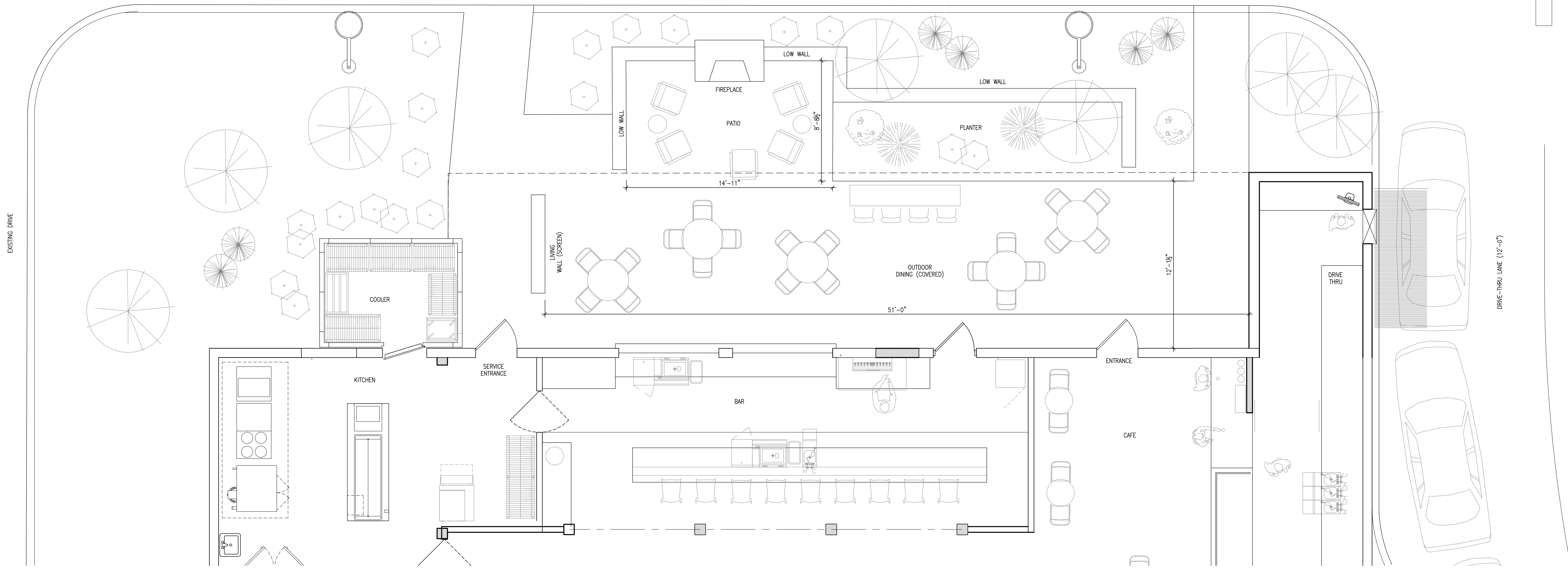
Thomas J Bollinger 12/28/23
 (Print Name) (Date)



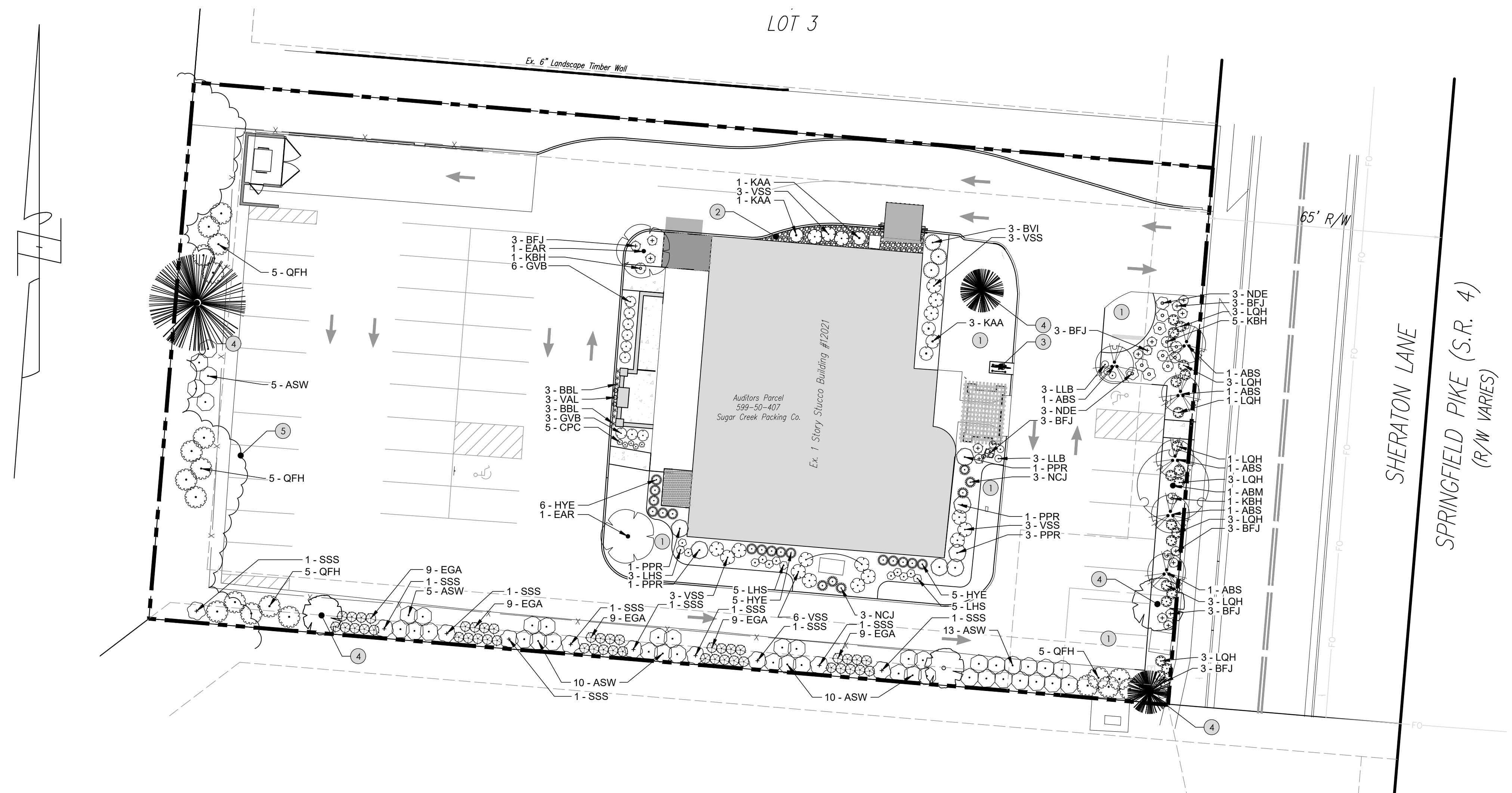


WELCOME TO
BODEGA
CINCY

CONTENT OF THIS DRAWING IS NOT INTENDED TO BE SEPARABLE OR USED FOR ANY PURPOSE OTHER THAN THE INTENDED PURPOSE OF THIS DOCUMENT. NO REUSE OR REPRODUCTION WITHOUT WRITTEN PERMISSION AND ADAPTATION BY THE ARCHITECT FOR THE SPECIFIC PURPOSES INTENDED SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO THE ARCHITECT.



1 OUTDOOR DINING
A-001 SCALE: 1/4"=1'-0"
TRUE NORTH

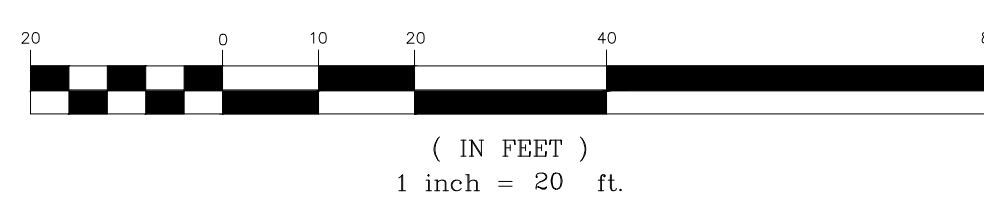


PLANT SCHEDULE PLANTING PLAN

CODE	QTY	BOTANICAL / COMMON NAME	INSTALLATION SIZE	MATURE SIZE	EXPOSURE	REMARKS
GROUP A - CANOPY TREES						
ABM	1	Acer x freemanii 'Jeffersred' / Autumn Blaze® Freeman Maple	2' - 2 1/2' CAL. B&B	40'-50' x 30'-40'	Full Sun - Part Shade	Green foliage turns orange-red to scarlet-red in Fall
GROUP B - SMALL/ORNAMENTAL TREES						
ABS	6	Amelanchier grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	8'-10' B&B	15'-25' x 15'-25'	Full Sun - Part Shade	Bright orange-red fall color
EAR	2	Cercis canadensis / Eastern Redbud	1 1/2' - 2' CAL. B&B	25'-35' x 25'-35'	Full Sun - Part Shade	Deer, clay soil, black walnut tolerant; Showy pink flowers in April; Good fall color
SSS	10	Liquidambar styraciflua 'Slender Silhouette' / Slender Silhouette Sweet Gum	1 1/2' - 2' CAL. B&B	50'-60' x 5'-6'	Full Sun	Minimal fruit, good fall color
GROUP D - SHRUBS (LARGE)						
ASW	43	Calycanthus x 'Aphrodite' / Aphrodite Sweetshrub	#3 CONT.	5'-8' x 4'-6'	Full - Part Sun	Deer tolerant, fragrant bright red flowers from May - June
PPR	7	Hibiscus syriacus 'Gandini Santiago' / Purple Pillar® Rose of Sharon	#3 CONT.	10'-16' x 4'-5'	Full - Part Sun	Deer, drought, and heat tolerant; Purple/pink flowers summer - fall
QFH	20	Hydrangea paniculata 'Bulk' / Quick Fire® Panicle Hydrangea	#3 CONT.	6'-8' x 6'-8'	Full - Part Sun	Pink to White Flowers, Mid Summer thru Late Fall
HYE	16	Taxus media 'Hicksii' / Hicks Yew	24" B&B	8'-10' x 4'-6'	Full Sun - Full Shade	Sun/shade tolerant; columnar evergreen that sheers well
EGA	45	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	#7 CONT.	10'-12' x 3'-4'	Full Sun	Dry soil tolerant, emerald green foliage holds its color throughout winter
GROUP E - SHRUBS (SMALL)						
KAA	5	Azalea hybrids 'Karen' / Karen Azalea	#3 CONT.	3'-4' x 3'-4'	Part Shade	Lavender-pink flowers, Spring
GVB	9	Buxus x 'Green Velvet' / Green Velvet Boxwood	#3 CONT.	3'-4' x 3'-4'	Full Sun - Part Shade	Rabbit and deer tolerant
VSS	18	Clethra alnifolia 'Caleb' / Vanilla Spice® Summersweet	#3 CONT.	3'-6' x 3'-6'	Full Sun - Full Shade	White flowers, Mid Summer
NDE	6	Deutzia gracilis 'Nikko' / Nikko Deutzia	#3 CONT.	1'-2' x 2'-5'	Full Sun - Part Shade	Clay soil tolerant; good fall color, white flowers April - May
KBH	7	Diervilla rivularis 'Kodlak Black' / Kodlak® Black Diervilla	#3 CONT.	3'-4' x 3'-4'	Full Sun - Full Shade	Yellow flowers, Summer, green-purple foliage
LQH	20	Hydrangea paniculata 'SMHPLQF' / Little Quick Fire® Panicle Hydrangea	#3 CONT.	3'-5' x 2'-4'	Full - Part Shade	Pinkish-White flowers, Early - Late Summer
BFJ	21	Hypericum kalmianum 'SMHKBFP' / Blues Festival St. Johnswort	#3 CONT.	2'-3' x 2'-3'	Full Sun	Bright yellow flowers, July - August, blue-green foliage
LHS	13	Itea virginica 'Sprich' / Little Henry Sweetpire	#3 CONT.	1.5'-2' x 2'-3'	Full Sun - Part Shade	Showy fragrant white flowers, Late Spring - Early Summer
NCJ	6	Juniperus chinensis 'Nick's Compacta' / Nick's Compact Juniper	#3 CONT.	2'-3' x 4'-5'	Full Sun	Drought, heat and poor soils tolerant, green foliage with a slightly blue overcast
BVI	3	Viburnum nudum 'Bulk' TM / Brandywine Viburnum	30" - 36" B&B	5'-6' x 5'-6'	Full Sun - Part Shade	Showy edible fruit, good winter interest; White flowers from April to May
PERENNIALS						
BBL	6	Liriope muscari 'Big Blue' / Big Blue Liriope	#1 CONT.	1'-2' x 1'-2'	Full Sun - Part Shade	Rabbit, deer, drought, erosion, and air pollution tolerant; lavender flower from August - September
VAL	3	Liriope muscari 'Variegata' / Variegated Liriope	#1 CONT.	1'-1.5' x 1'-2'	Full Sun - Part Shade	Rabbit, deer, drought, erosion, and air pollution tolerant; purple flower from August to October
LLB	6	Monarda x 'Leading Lady Plum' / Leading Lady Plum Bee Balm	#1 CONT.	10"-14" x 22"-28"	Full - Part Sun	Magenta Purple flowers - Early to Mid Summer
CPC	5	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint	#1 CONT.	1'-1.25' x 1.5'-1.75'	Full Sun	Blue flowers, Late Spring thru Late Summer

NOTE: FIELD LOCATE 10 QUICK FIRE PANICLE HYDRANGEA AND 5 APHRODITE SWEETSHRUB ON WEST PROPERTY LINE TO FILL IN GAPS IN EXISTING VEGETATION.

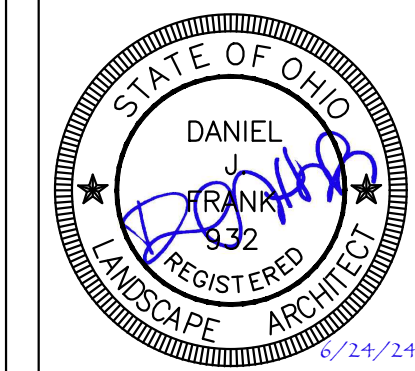
GRAPHIC SCALE



CODED NOTES

- ① SEEDED LAWN
- ② 1 1/2' - 2' DECORATIVE CLEAN GRAVEL
- ③ BIKE RACK
- ④ EXISTING TREE
- ⑤ EXISTING TREELINE

REQUIRED	PROPOSED
§153.257(C)(8) Landscaping. Landscaping requirements shall be subject to § 153.404(F): Landscape Requirements for State Route 5 Corridor Review District	
LANDSCAPING AND BUFFERYARDS	
§153.403 LANDSCAPE MATERIALS AND STANDARDS	
(D)(2) Plants	i) Group A: Canopy trees - 2" min. caliper w/ average mature crown width and height of 25' ii) Group B: Small/ornamental trees - 2" min. caliper; single stem; 1 1/2" cal. & 8' ht; multi-stem; mature crown width and height less than 25'; iii) Group C: Evergreen Trees - 6' ht. x 4' sp. min. w/ average ht. of 20' or greater iv) Group D: Shrubs (large) - deciduous and evergreen; min. 36" ht. x 24" sp.; min of 6' w/in 4 yrs. #3 cont. min.; ornamental grass included v) Group E: Shrubs (small) - deciduous and evergreen; #3 cont. min.; ornamental grass included; interior landscape use-
(E) Diversity of plant material	(2) 20 - 40 trees - 3 species in roughly equal portions (4) Required shrubs shall utilize the same diversity requirements as stated above
§153.404 LANDSCAPE REQUIREMENTS	
(C) Landscape requirements for vehicular use areas	
(1) Vehicular use area landscaping requirements	
a) VUA containing 6 spaces or more shall provide for perimeter landscaping per Table 404-1: Landscape and Bufferyard Requirements	
b) VUA containing more than 5,000sf or 20 or more vehicles, shall provide interior landscaping w/ peninsular or island landscape areas	Total VUA = 22,673 sf. Total parking spaces = 36
(c) For each 100 sf of VUA at least 5 sf of landscape area shall be provided	22,673/100 = 226.73 sf. x 5 = ±1,134 sf. required ±460 sf. provided
(2) Interior landscape requirements	
b) The min. landscape area permitted is 180 sf. and no larger than 350 sf. in VUAs less than 30,000 sf	180 sf. min. area used 350 sf. max. area used
e) Trees - 1 Group A tree or 1 1/2 Group B trees planted in the VUA per 25 parking spaces; min. 1 tree per island	36/25 = 2 Group A tree or 3 Group B trees required 3 Group B trees provided
e)ii) Shrubs - for every 25 parking spaces, in the VUA, 6 Group E shrubs shall be planted in the VUA; min. 4 shrubs per island	36/25 = 1.44 x 6 = 9 shrubs required 16 Group E shrubs provided
(D) Landscape requirements for service structures	
(2) Location of screening	
a) a continuous planting of evergreens or a fence must enclose any service structure on all sides	Service dumpster is enclosed by a wall and fence N/A
(F) Landscape requirements for State Route 4 Corridor Review District (CRD) - In addition to the landscape requirements set forth in Table 404-1: Landscape and Bufferyard Requirements, street tree plantings shall be required across all parcels within the CRD frontage, as described in § 153.257(C)(8). The planting ratio shall be 1 - 2" min. cal. per 35' of frontage with a min. of 5' distance from the ROW.	150 lf. of frontage - 36' of pavement / 35 = 4 trees required 2 trees provided and 2 existing trees to remain
(G) Landscaping and bufferyard requirements	
(1) Table 404-1: Landscape and Bufferyard Requirements defines the minimum buffer requirements between lots based on adjacent zoning districts and uses.	
When a parking area or drive associated with any zone or land use except single household residences is proposed to abut any public or private street/access drive, a minimum bufferyard of 10' front, side and/or rear yard shall be planted with either	1 tree (B) per 25 lf. of parking area or access drive frontage + 1 shrub (D or E) per 3' of frontage (1 tree min.) East boundary - 150 lf. frontage - 36' pavement / 25 = 5 trees required 150 lf. frontage - 36' pavement / 3 = 38 shrubs
When a parking area or drive associated with any zone or land use except single household residences is proposed to abut adjacent property line to a non-residential district use, a minimum bufferyard of 10' front, side and/or rear yard shall be planted with either	1 tree (A) per 35 lf. of parking area or access drive frontage + 1 shrub (D or E) per 3' of frontage (1 tree min.) North boundary - 285 lf. / 35 = 9 trees - 9 tree required; 285 lf. / 3 = 95 shrubs required 1 tree (B) per 25 lf. of parking area or access drive frontage + 1 shrub (D or E) per 3' of frontage (1 tree min.)
When a parking area or drive associated with any zone or land use except single household residences is proposed to abut adjacent property line to a residential district use, a minimum bufferyard of 20' front, side and/or rear yard shall be planted with either	1 tree (A) per 35 lf. of parking area or access drive frontage + double row 6 foot hedge (D) OR 6' wall/fence or 3' earth mound + 3' hedge (D) + 1 tree (A) per 35 lf. or 1 tree (B) per 25 lf. of parking area or access drive frontage OR a double row, staggered planting of trees (C) at 15' O.C. West boundary - 127 lf. / 35 = 4 trees required; 127 lf. / 4 lf./O.C. x 2 = 64 shrubs required 12 trees required; 285 lf. / 4 lf./O.C. x 2 = 143 shrubs required
	West boundary - 0 trees per staff comments and 15 shrubs provided filling in open areas of existing shrubs (behind parking lot) South boundary - 2 existing trees to remain; 10 B trees provided 93 shrubs provided and existing shrubs(behind parking lot)



PUD MODIFICATION PLAN
CROSSINGS OF SPRINGDALE

Date	12-27-23
Drawn By	D.F.
Checked By	D.F.
Scale	1" = 20'

PLANTING PLAN
BODEGA AT SUGARCREEK
CROSSINGS OF SPRINGDALE
SPRINGDALE LAKE SUBDIVISION
CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO

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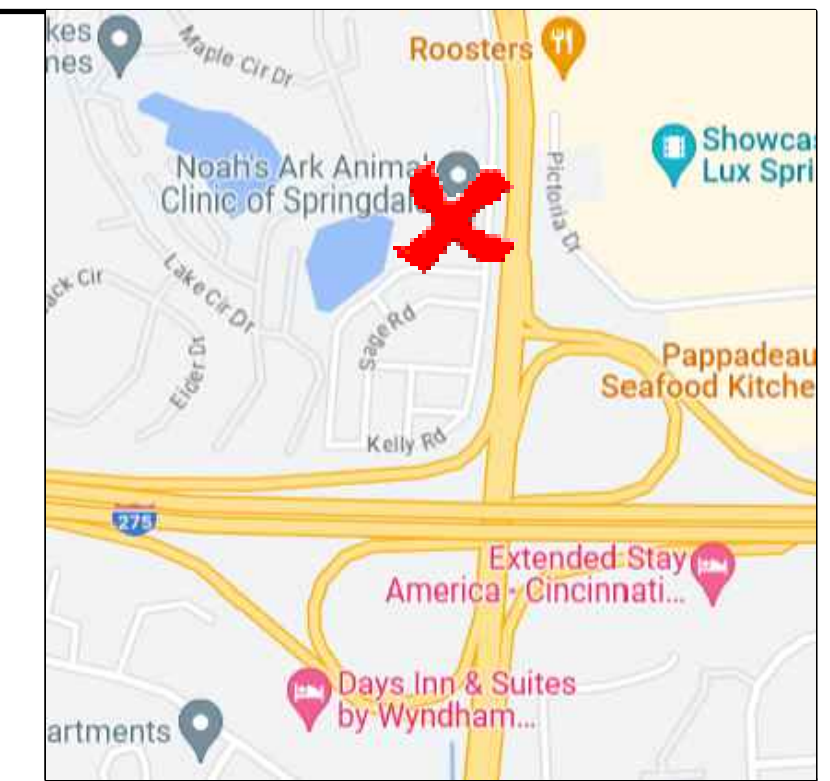


1-800-362-2764



BODEGA AT SPRINGDALE

CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO



VICINITY MAP

GENERAL CONSTRUCTION NOTES

OVERALL: APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO BREAKING GROUND FOR THE PURPOSE OF VERIFYING BY FIELD INSPECTION, THE EXACT LOCATION OF UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL EXERCISE DUE CARE DURING CONSTRUCTION SO AS NOT TO DESTROY ANY TREES, PLANTS, SHRUBS OR STRUCTURES OUTSIDE OF THE INDICATED WORK LIMITS AND THOSE NOT SPECIFICALLY MARKED FOR REMOVAL OR RELOCATION WITHIN THE WORK LIMITS.

ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH "CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION" & CITY OF SPRINGDALE.

UNLESS OTHERWISE NOTED ALL CONSTRUCTION DETAILS SHALL CONFORM WITH THE "STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION" & CITY OF SPRINGDALE.

THE ENGINEER/SURVEYOR DOES NOT ASSUME ANY LIABILITY FOR THE LOCATION OF UTILITIES, INCLUDING INDIVIDUAL SERVICE LINES & PRIVATE MAINS NOT SHOWN ON PUBLIC RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACTLY LOCATING AND PROTECTING ALL UTILITIES, BOTH ABOVE AND BELOW GROUND, THAT EXIST IN THE WORK AREA AND WHICH MAY COME IN CONFLICT WITH HIS OPERATIONS. ANY DAMAGE TO UTILITIES WHICH HAVE BEEN ACCURATELY LOCATED, WHICH IS CAUSED BY THE CONTRACTOR'S OPERATIONS, SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ASSISTANCE IN LOCATING UNDERGROUND UTILITIES CAN BE OBTAINED BY CONTACTING THE UTILITY COMPANIES AT THE LOCATIONS LISTED ON THIS PAGE. IF A DISCREPANCY IS FOUND TO EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

EACH INSTALLING CONTRACTOR IS RESPONSIBLE FOR THEIR OWN COORDINATION OF INSTALLATION OF THEIR SYSTEMS UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR/CONSTRUCTION MANAGER, OR APPROPRIATE PARTY. ABERCROMBIE & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR CONTRACTOR MEANS & METHODS OF CONSTRUCTION ON DRAWINGS.

THE CONTRACTOR SHALL OBTAIN OR VERIFY THAT ALL PERMITS ARE OBTAINED.

THE CONTRACTOR SHALL VERIFY EXISTING SITE INFORMATION AND REQUIRED EARTHWORK.

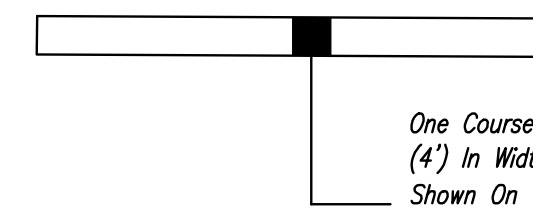
A GEOTECHNICAL INSPECTION IS RECOMMENDED AND ALL RECOMMENDATIONS IN THE GEOTECHNICAL REPORT SHALL BE FOLLOWED.

ALL PROPOSED SPOT ELEVATIONS ARE TO FINISHED GRADE.

TYPICAL PARKING SPACES ARE 9' WIDE AND 18' LONG, UNLESS OTHERWISE NOTED.

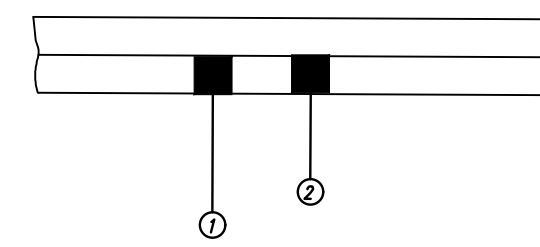
PAVEMENT MARKINGS TO BE HIGH SOLIDS, WATER BASED ACRYLIC PAINT CONTAINING ULTRAVIOLET RESISTANT PIGMENTS, LEAD & CHROMATE FREE, READY MIXED, COMPLYING WITH FTS TT-PP-1952 WITH A DRYING TIME OF LESS THAN 45 MINUTES. PARKING & LANE PARKERS STRIPING TO BE WHITE, HANDICAP SPACES TO BE BLUE, PEDESTRIAN CROSSING LANES & NO PARKING ZONES TO BE YELLOW. APPLY PAINT WITH MECHANICAL EQUIPMENT, AT MANUFACTURER'S RECOMMENDATIONS & AT A MINIMUM WET FILM THICKNESS OF 15 MILS.

CONCRETE SIDEWALK DETAIL



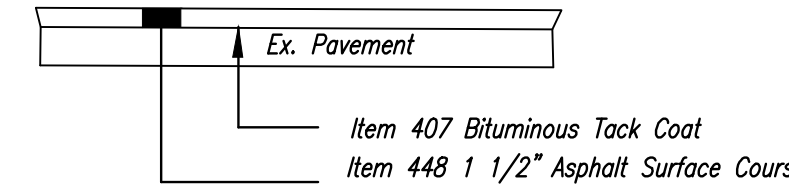
One Course Portland Cement Concrete Sidewalks, Class "C" Concrete, Four Feet (4') In Width And Four Inches (4") In Thickness Shall Be Constructed Where Shown On The Plans Or Typical Sections. One Half Inch (1/2") Full Depth Expansion Joints Shall Be Installed At Intervals Not To Exceed One Hundred Feet (100'). All Sidewalks, Including Curb Ramps, Shall Connect To The Pavement Or Curb With One-Half (1/2") Full Depth Expansion Joint Material Between The Walk And Curb.

CONCRETE PAVEMENT DETAIL



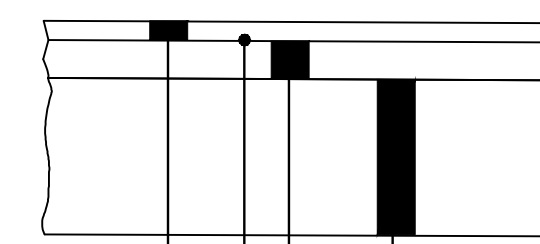
① Class A 3,500 PSI AE Concrete, 8" Thick
② (0007 Item 203) Compacted Subgrade

OVERLAY DETAIL



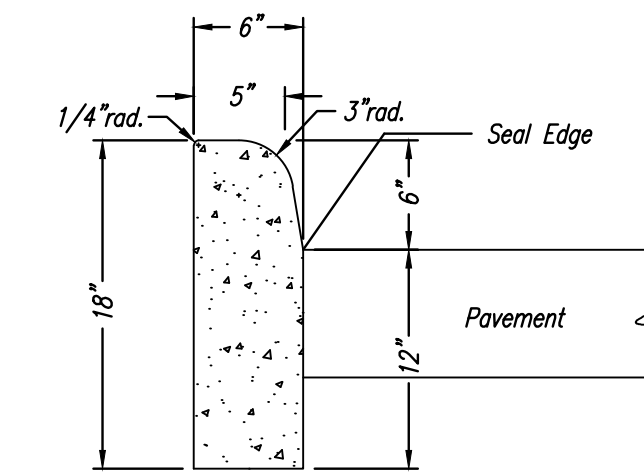
Item 407 Bituminous Tack Coat
Item 448 1 1/2" Asphalt Surface Course

HEAVY DUTY PAVEMENT DETAIL

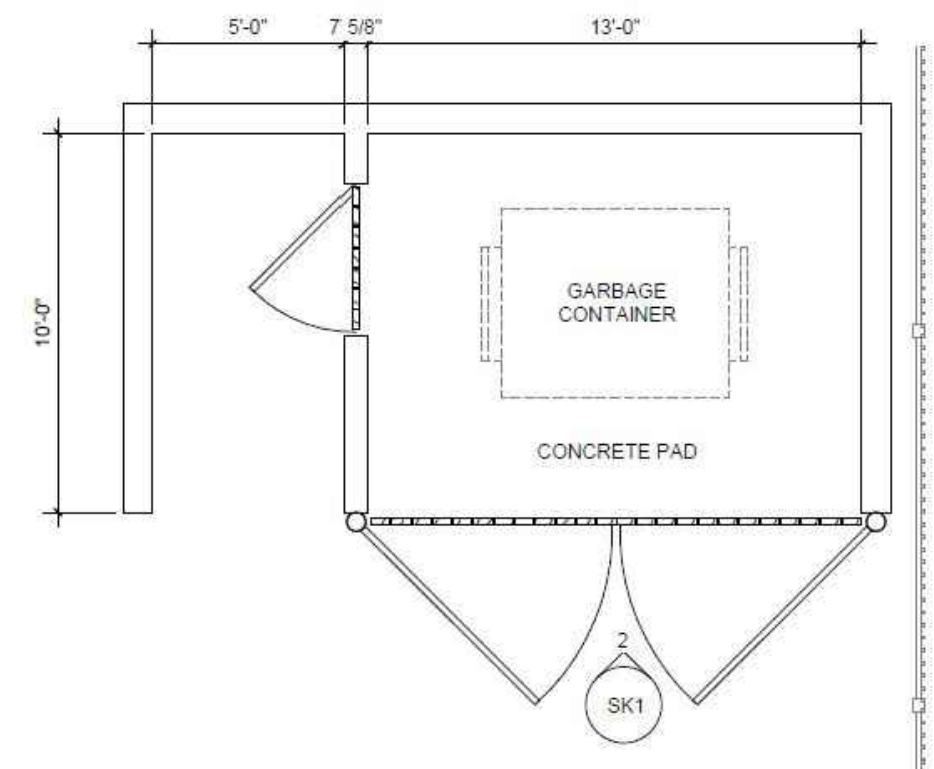
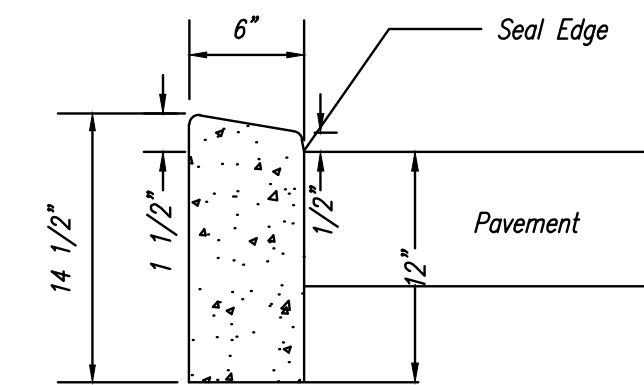


① Item 448 1 1/2" Asphalt Concrete Surface Course, Type 1 (PG 64-22)
② Item 407 Tack Coat
③ Item 448 3" Asphalt Concrete Intermediate Course (1 1/2" Courses) Type 2 (PG 64-22)
④ Item 304 8" Aggregate Base (4" Courses)

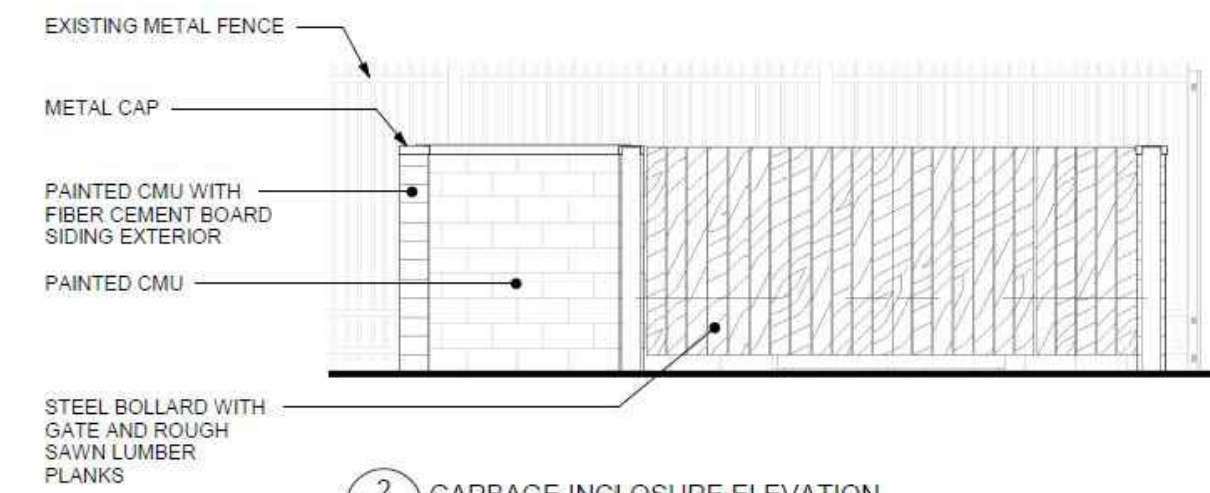
TYPE 6 CONCRETE CURB



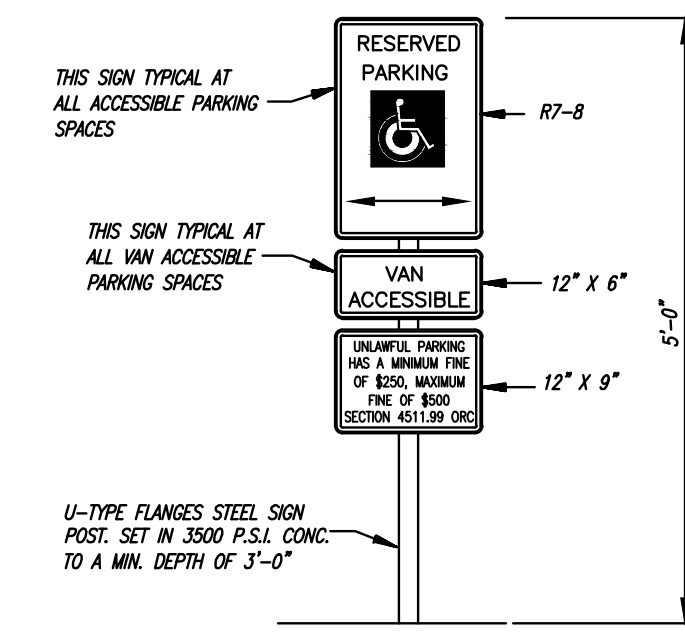
DEPRESSED CURB DETAIL



1 ENLARGED GARBAGE ENCLOSURE PLAN
SK1 1/4" = 1'-0"

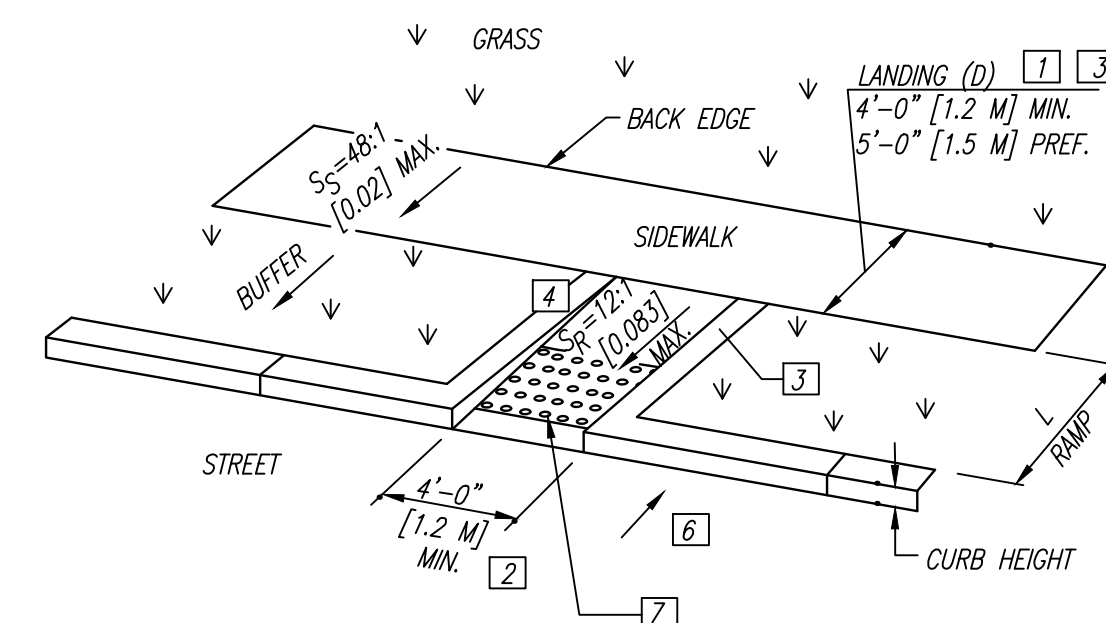


2 GARBAGE ENCLOSURE ELEVATION
SK1 1/4" = 1'-0"



HANDICAP ACCESSIBLE PARKING SIGN

NOTE: SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



COMBINED CURB RAMP DETAIL
Type A2 (Perpendicular With Returned Curb)

LEGEND

- May be reduced to 3'-0" [915] in existing sidewalks if the landing is unconstrained along the back edge.
- May be reduced to 3'-4" [1.02 m] in existing sidewalks to better fit the walk configuration or where site conditions are restricted by narrow walks, pole foundations, drainage inlets, etc. The width may be tapered.
- Where landing width (D) has been reduced to 3'-0" [915] the flared sides shall have a maximum slope of 12:1 [0.083].
Flared sides are not required where the edges of a curb ramp are protected by landscaping or other barriers to travel by wheel chair users or pedestrians across the edge of the curb ramp. However, if the flared sides are used in these areas, they may be of any slope.
- The minimum length of a perpendicular ramp is 6' [2.0 m] from the back of a 6" [150] curb and may be increased where feasible to obtain a flatter ramp slope or to better blend with the walk configuration.
- Gutter counter slopes at the foot of perpendicular curb ramps should not exceed 20:1 [0.05] over a distance of 2'-0" [610] from the curb.
- Detectable Warnings (truncated domes) are to be installed in the location shown. Dimensions of the domes are 24" [610] from the back of the curb by the width of the ramp.

SHEET INDEX:

- | | |
|-------|--------------------------|
| C/100 | TITLE SHEET |
| C/200 | EX. CONDITIONS/DEMO PLAN |
| C/300 | SITE LAYOUT PLAN |
| C/400 | GRADING PLAN |
| C/500 | UTILITY PLAN |
| L/100 | PLANTING PLAN |
| L/200 | PLANTING NOTES & DETAILS |
| A101 | FLOOR PLAN |
| A201 | EXTERIOR ELEVATIONS |

APPLICANT/OWNER:
SUGARCREEK
10860 INDECO DR.
BLUE ASH, OHIO 45241
(513) 985-1160

ARCHITECT:
ATA BEILHARZ ARCHITECTS LLC
1063 CENTRAL AVENUE
CINCINNATI, OHIO 45202
(513) 241-4422



PUD MODIFICATION PLAN
CROSSINGS OF SPRINGDALE

REVISIONS	DATE	BY	CHKD BY	SCALE
1-26-24, RESUBMITTAL/CITY COMMENTS	12-13-23	G.R.	C.A.	NONE
2-27-24, RESUBMITTAL/CITY COMMENTS				
6-27-24, RESUBMITTAL/CITY COMMENTS				

TITLE SHEET
BODEGA AT SUGARCREEK
CROSSINGS OF SPRINGDALE
SPRINGDALE LAKE SUBDIVISION
CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO

Abercrombie & Associates, Inc.
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Job No. 23-0244
Scale C
118

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PUD MODIFICATION PLAN
CROSSINGS OF SPRINGDALE

Date: 12-13-23
Drawn By: C.R.
Checked By: C.A.
Scale: 1" = 20'

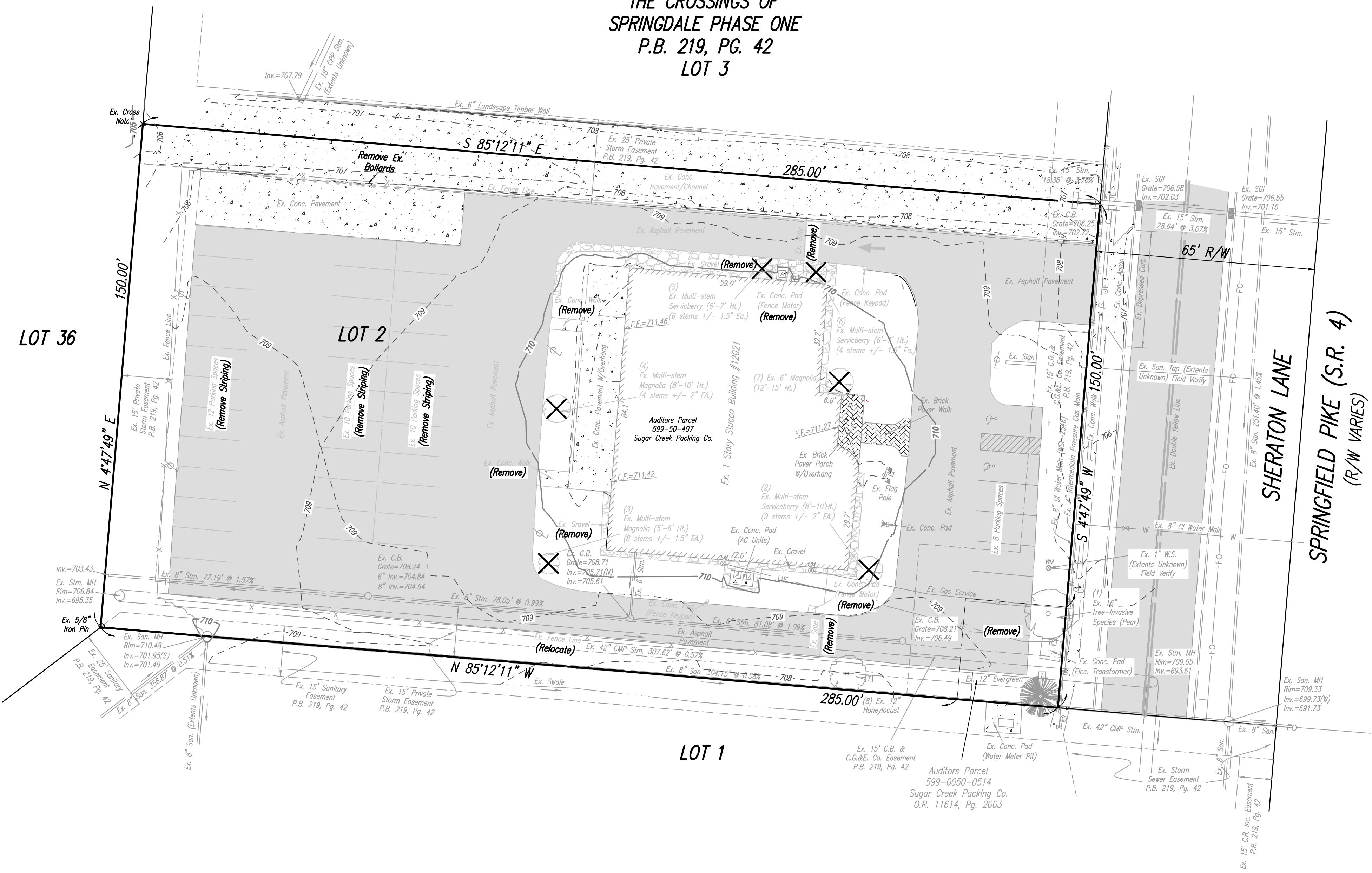
REVISIONS
1-26-24, RESUBMITTAL/CITY COMMENTS
2-22-24, RESUBMITTAL/CITY COMMENTS
6-25-24, RESUBMITTAL/CITY COMMENTS

EX. COND., DEMO & TREE REMOVAL
BODEGA AT SUGARCREEK
CROSSINGS OF SPRINGDALE
SPRINGDALE LAKE SUBDIVISION
CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO

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Job No. 23-0244
119

THE CROSSINGS OF
SPRINGDALE PHASE ONE
P.B. 219, PG. 42
LOT 3



TREE #	TREE QUANTITY	EXISTING TREE TYPE	EXISTING SIZE	COMMENTS
2	1	SERVICEBERRY	Avg. stem size 2"	Multi-stem
3	1	MAGNOLIA	Avg. stem size 1.5"	Multi-stem
4	1	MAGNOLIA	Avg. stem size 2"	Multi-stem
5	1	SERVICEBERRY	Avg. stem size 1.5"	Multi-stem
6	1	SERVICEBERRY	Avg. stem size 1.5"	Multi-stem
7	1	MAGNOLIA	6"	Single stem tree - too close to building

TREES TO REMAIN				
1	1	PEAR TREE	10"	Invasive species in Ohio
8	1	HONEYLOCUST	12"	Single stem tree - South property line
9	1	BLUE SPRUCE	UNKNOWN	12'-15' Ht. by building
10	1	WHITE PINE	12"	South property line
11	1	UNKONWN	Avg. stem size 4"	South property line
12	1	WHITE PINE	12"	West property line

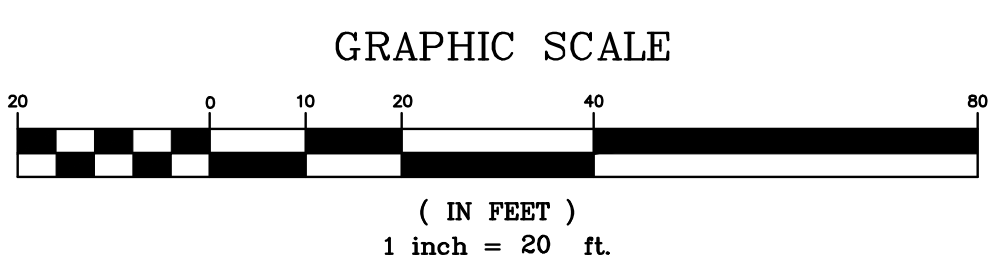
VARIOUS TREES ON WEST PROPERTY LINE TO REMAIN UNDISTURBED.

LEGEND

⊕	Ex. Light Pole
⊖	Ex. Electric Meter
⊞	Ex. Electric Box
⊠	Ex. Telephone Box
⊡	Ex. A.C. Unit
⊢	Ex. Sign
⊣	Ex. Bollard
⊤	Ex. Flood Light
⊥	Ex. Water Valve
⊦	Ex. Water Meter
⊧	Ex. Gas Meter
⊨	Ex. Gas Valve
⊩	Ex. San. MH
⊪	Ex. Storm Sewer Manhole
⊫	Ex. C.B.
⊬	Ex. Catch Basin
⊭	Ex. Catch Basin
⊮	Ex. Single Gutter Inlet
⊯	Ex. Underground Utility Lines
⊰	Ex. Underground Electric
⊱	Ex. Underground Telephone
⊲	Ex. Underground Fiber Optic

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE APPROXIMATE LOCATION ONLY BASED ON FIELD OBSERVATIONS AND AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROTECTION SERVICES AND AGENCIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

ELEVATION DATUM SHOWN IS RELATIVE TO NAVD 88 BASED ON VRS OPS OBSERVATIONS.

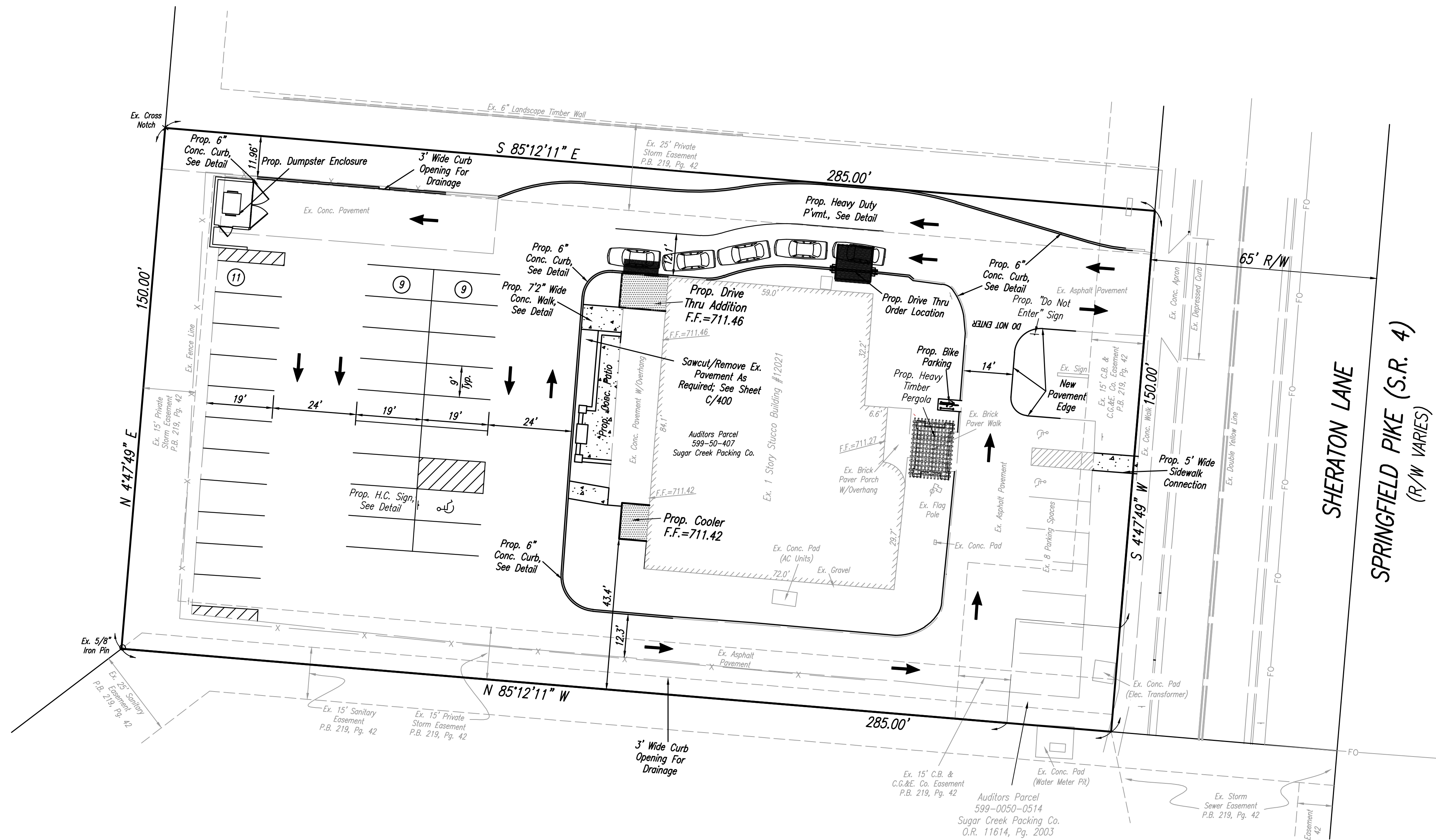


1-800-362-2764



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NORTH RELATIVE TO THE CROSSINGS OF SPRINGDALE PHASE ONE AS RECORDED IN P.B. 219, PG. 42 OF THE HAMILTON COUNTY, OHIO RECORDS.



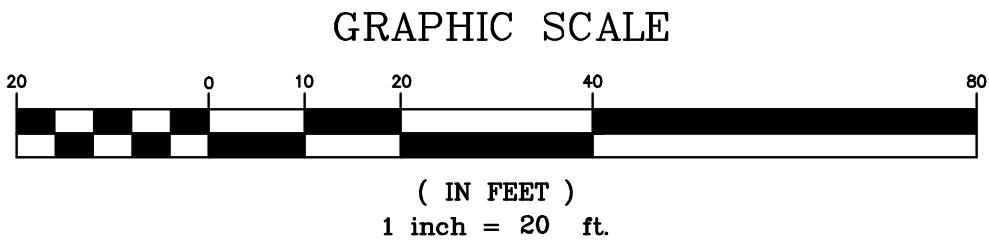
NOTE: SUBJECT PROPERTY & ALL ADJOINING PARCELS ARE ZONED "PUD" & WITHIN THE STATE ROUTE 4 CORRIDOR DISTRICT

ZONING ANALYSIS
 THE INTENT OF THIS PUD MODIFICATION IS TO CHANGE THE USE FROM OFFICE TO ALLOW FOR A "BODEGA" STYLE MARKET WITH A DRIVE THRU PICK UP WINDOW ON THE NORTH SIDE OF NEW BUILDING ADDITION.

TOTAL BUILDING = 5,298 S.F.
 PARKING REQUIRED: RETAIL 1 SPACE/300 S.F.
 = 1,955 S.F./300 = 7 SPACES
 RESTAURANT TO BE DETERMINED

RESTAURANT INFORMATION: CUSTOMERS WILL ORDER & PICK UP AT COUNTER. FOOD SERVED WILL BE BOTH MADE FRESH WHEN ORDERED & PRE-PREPARED. HOURS OF RESTAURANT & DRIVE THRU WILL BOTH BE 6:00 AM - 7:00 PM. ALL DELIVERIES WILL BE CONDUCTED AFTER/BEFORE HOURS RECEIVED BY STORE EMPLOYEE THROUGH REAR ACCESS.

PARKING PROVIDED = 37 SPACES
 GREENSPACE/IMPERVIOUS SURFACE ANALYSIS (BASED ON NET ACREAGE)
 EX. IMPERVIOUS SURFACE RATIO = 32,973 S.F./42,749 S.F. = 77.1%
 PROP. IMPERVIOUS SURFACE RATIO = 32,217 S.F./42,749 S.F. = 75.4%
 REDUCTION IN HARD SURFACE = 1.8%
 PROP. GREENSPACE = 10,532 S.F./42,749 S.F. = 24.7%



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PUD MODIFICATION PLAN
 CROSSINGS OF SPRINGDALE

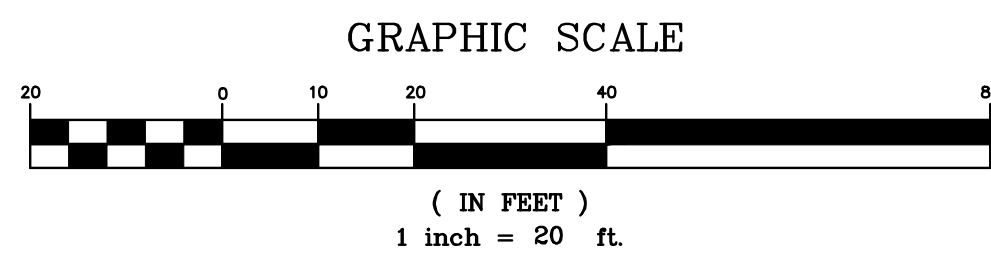
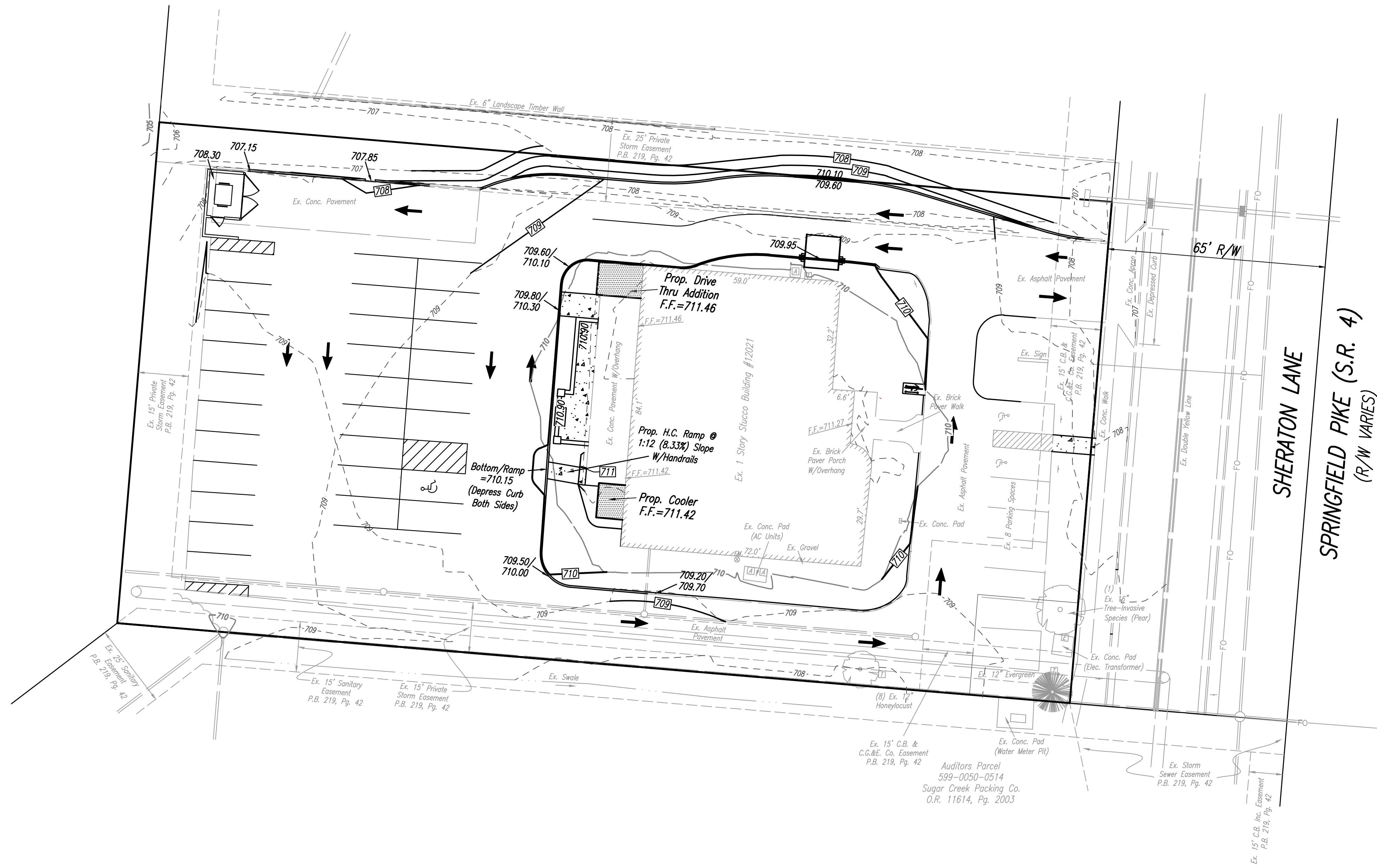
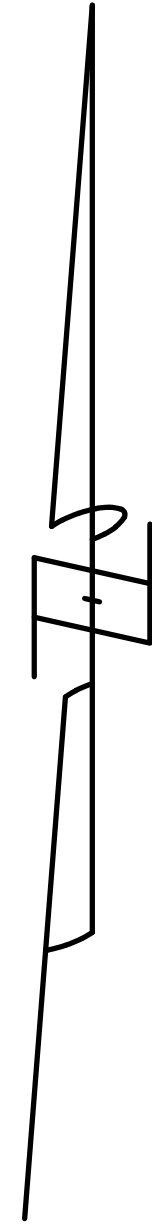
Date: 12-13-23
 Drawn By: G.R.
 Checked By: C.A.
 Scale: 1" = 20'

REVISIONS	DATE	BY	DESCRIPTION
1-26-24			RESUBMITTAL/CITY COMMENTS
2-27-24			RESUBMITTAL/CITY COMMENTS
6-28-24			RESUBMITTAL/CITY COMMENTS

SITE LAYOUT PLAN
 BODEGA AT SUGARCREEK
 CROSSINGS OF SPRINGDALE
 SPRINGDALE LAKE SUBDIVISION
 CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO

Abercrombie & Associates, Inc.
 Civil Engineering + Surveying
 8111 Cheviot Road, Suite 200
 Cincinnati, Ohio 45247
 www.abercrombie-associates.com





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Job No. 23-0244

GRADING PLAN

BODEGA AT SUGARCREEK
CROSSINGS OF SPRINGDALE
SPRINGDALE LAKE SUBDIVISION
CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO

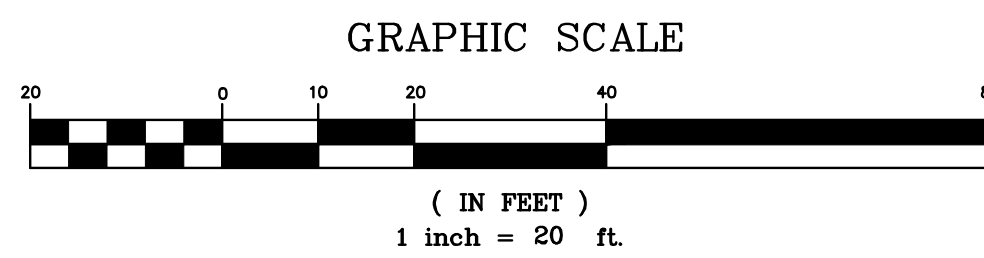
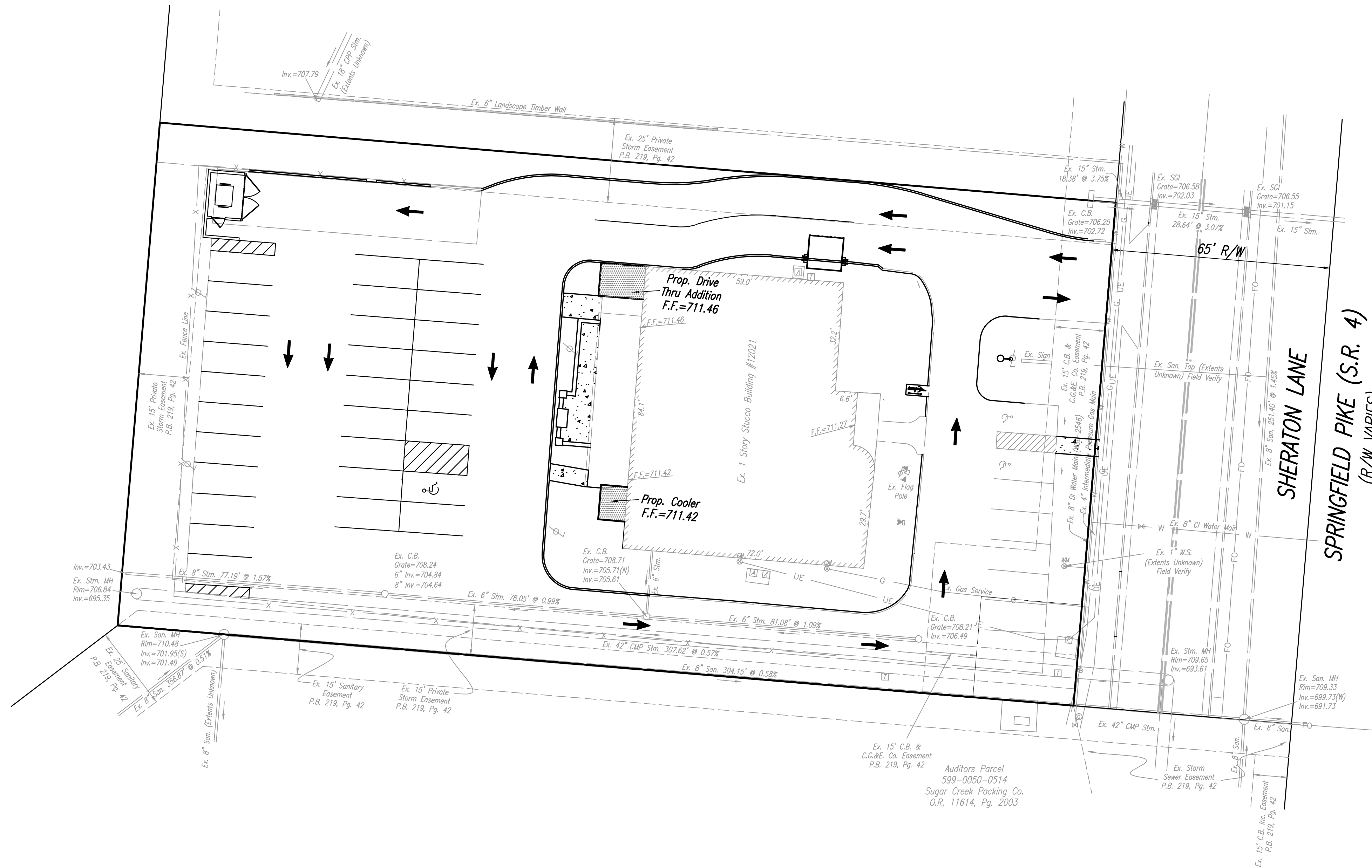
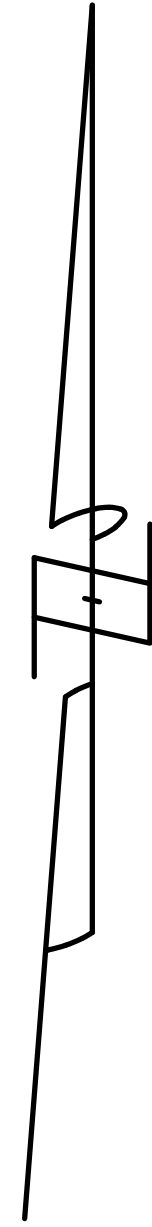
REVISIONS

1-26-24	RESUBMITTAL/CITY COMMENTS
2-27-24	RESUBMITTAL/CITY COMMENTS
6-25-24	RESUBMITTAL/CITY COMMENTS

Date: 12-13-23
Drawn By: G.R.
Checked By: C.A.
Scale: 1" = 20'

PUD MODIFICATION PLAN
CROSSINGS OF SPRINGDALE





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Sheet Title
Project Title
UTILITY PLAN
BODEGA AT SUGARCREEK
CROSSINGS OF SPRINGDALE
SPRINGDALE LAKE SUBDIVISION
CITY OF SPRINGDALE, HAMILTON COUNTY, OHIO

REVISIONS
1-26-24, RESUBMITTAL/CITY COMMENTS
2-22-24, RESUBMITTAL/CITY COMMENTS
6-25-24, RESUBMITTAL/CITY COMMENTS

Date: 12-13-23
Drawn By: G.R.
Checked By: C.A.
Scale: 1" = 20'

DATE: DSGM\CA-STPL

PUD MODIFICATION PLAN
CROSSINGS OF SPRINGDALE





Bodega
12021 Sheraton Lane
PUD Major Amendment / Preliminary Development Plan
Application# 20230909
July 9, 2024

Request:

The applicant is requesting approval to redevelop the former Sugarite office building into a convenience store, coffee shop, and bar. The 0.981 acres located at 12021 Sheraton Lane is located within the “PUD” Planned Unit Development District and is also within SubArea “A” of the “CRD” Corridor Review District. The existing 5,277 square foot building, which was built in 1983, was used by Sugarite as an office. The applicant is proposing to reutilize the building as a bodega/convenience store with a coffee shop by day and bar in the evening. A drive through operation has been moved to the north side of the building/property. The applicant is proposing an outdoor bar and dining area on the north side of the building. The patio would have a number of tables with chairs and a bar strip under cover (612 square feet), as well as additional seating provided outside around a fireplace. Bar service would be available from a pass-thru window to the interior. The patio is to be partially enclosed by a “low wall” with the southern edge adjacent to the proposed walk-in cooler. Since the outdoor area is wider than 10 feet, a decorative railing or fence is required to separate the customer area from vehicular traffic. The outdoor area will need to comply with the provisions of Section 153.253 (E) (8). A 711.5 square foot addition will be added to the northwest corner of the building as part of the drive through. Planning Commission heard this request on March 12, 2024 and tabled the application at the applicant’s request.

Comments

- 1) The applicant is proposing to change the use of the building from office to retail/restaurant per Section 153.255 (H). The two members of Planning Commission who sit on City Council have determined this is a major amendment to the PUD on March 12, 2024.
- 2) The applicant indicates that with the drive thru addition, the proposed building will be 5,988 square feet. The 5,988 square feet is broken down, according to the applicant, as follows:

Retail: 1,955 SF

Interior Restaurant: 3,272 SF

Per Section 153.302 (P) and the information supplied by the applicant on details of the type of restaurant being proposed, it would be classified as a “fast casual restaurant”. Based on the 3,272 square feet of interior fast casual restaurant area, 33 parking spaces would be required. The 1,955 square feet of retail area requires seven

parking spaces. Total required parking, excluding the outdoor dining area, is 40 spaces. The applicant is proposing 37 parking spaces.

The parking areas adjacent immediately to the west and east property lines will be accessed via one way drive aisles. The drive aisle immediately to the west of the building will be a two way drive aisle. Appropriate directional signage needs to be noted regarding circulation patterns. All parking spaces and drive aisles must meet the requirements of Section 153.302 (B).

- 3) The site is within SubArea “A” of the “CRD” Corridor Review District. Current information on building modifications was not provided. Any proposed exterior building modifications would need to conform with the building design guidelines of Sections 153.257 (C) and (E) unless modified by Planning Commission. Since this is an existing building being modified, staff believes only the following standards would pertain:

“CRD” - Section 153.257 (C)

(1) Building Materials

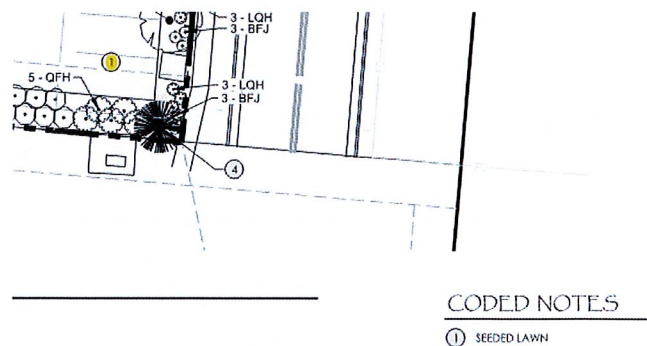
- a) All buildings and structures to be constructed within the CRD shall have an equal level of finish on all sides and shall generally utilize no more than two primary materials with one or two accent materials.
- b) The primary building materials shall be brick and/or stone which shall not be painted or stained. The existing building is EFIS.
- c) A traditional architectural style that respects the character of adjacent residential neighborhoods shall be utilized where applicable.
- d) Minor accenting of a structure or the use of a third building material may be permitted.

(2) Building Color

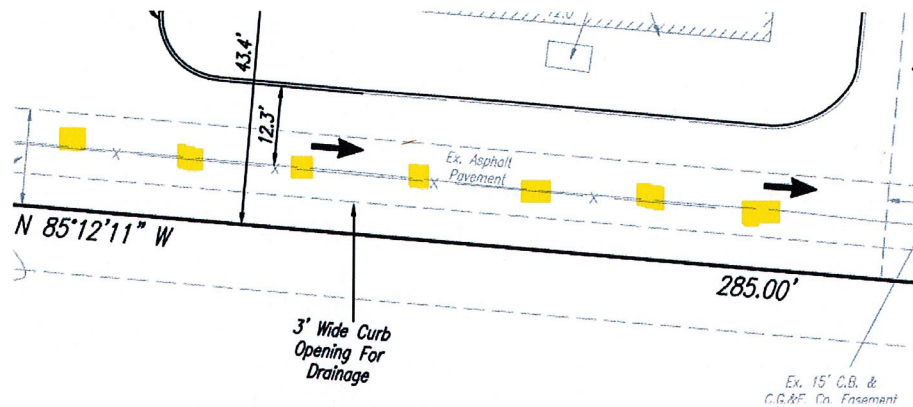
- a) One coordinated color scheme shall be utilized for all structures. Said color scheme shall have a predominant color and may use additional colors to accent, demark, or otherwise provide interest or to achieve a more compatible scale for the individual structure.
- b) Building colors shall primarily consist of earth tones and the use of bright, high chroma shades as dominant building colors shall be prohibited. The specific color selections need to be provided.
- c) The use of non-earth tone accent colors on a building shall be limited to a maximum of 10 percent of any elevation including features on an elevation (columns, archways, canopies, etc.) The percentage of the elevations utilizing non-earthtone colors need to be provided to determine compliance with Section 153.257 (C) (2) (c).

Detailed building modifications, materials, and colors will need to be provided with the Final Development Plan.

- 4) No information was provided regarding signage. With a Final Development Plan submittal, details for ground, wall, and drive thru signage, consistent with the requirements of Section 153.459 (C), Section 153.253 (E) (4), and Sections 153.257 (C) (9) and (E) (2) will need to be submitted.
- 5) Details need to be provided with the Final Development Plan confirming that the proposed drive through comply with all of the provisions of Sections 153.253 (4) and 153.302 (B).
- 6) An exterior cooler is proposed for the southwest corner of the building. No information regarding the exterior finish of the cooler or how it will be screened has been provided. Information needs to be provided with the Final Development Plan.
- 7) The proposed development is reducing the impervious surface area from 77.1% to 75.4% creating 24.7% greenspace. The minimum open space required is 25%.
- 8) The Final Development Plan needs to provide documentation that all new building or ground mounted equipment on the site will be screened per the requirements of Section 153.254 (C).
- 9) A waste container is proposed in the northwest corner of the site. Details of the enclosure were not submitted with the current request. The Final Development Plan needs to provide details for the waste enclosure per the requirements of Section 153.254 (G).
- 10) If there are to be any modifications to pole or building mounted signage, information consistent with the provisions of Section 153.351 needs to be provided with the Final Development Plan.
- 11) A Landscape Plan was submitted. Staff comments are as follows:
 - A) Remove the plan note indicating Lawn in proposed parking area.



- B) Sheet C-300 indicates that the south property bufferyard is used for the conveyance of drainage since the curb is noted “3’ WIDE CURB OPENING FOR DRAINAGE”. If drainage is to be conveyed in the bufferyard, the proposed plantings indicated on the landscape plan are not placed to allow for drainage.



- C) Bufferyards are required for the west and south property line for parking or access drives adjacent to residential use per Section 153. 404 (G) (1), Table 404-1. Bufferyard requirements for parking or access drive adjacent to a residential district or use, requires 20’ wide yard with one canopy tree per 35’ (or one ornamental tree per 25’) and a double row of 6’ hedge.

West Property Line

The requirements for the 127 lf of parking adjacent to a residential use is four canopy trees and approximately 84 shrubs (double row of 6’ hedge). The existing conditions only provides an 18’ wide yard instead of a 20’ yard. Existing trees and treeline are identified on the landscape plan and on Sheet C-200 as Existing Trees to Remain. No additional trees are required, but a 6’ double hedge needs to be added where vegetative buffer does not exist. A total of 15 shrubs were added to the bufferyard, but they are proposed as a staggered offset planting, not a double row of planting. A double row of plantings needs to be provided to provide adequate buffering.

South Property Line

The requirements for the 285 lf of parking adjacent to a residential use is 11 ornamental trees and approximately 170 shrubs (double row of 6’ hedge). The site plan provides a bufferyard that varies from 10’ to 22’ wide yard, instead of a continuous 20’ space bufferyard. The majority of the bufferyard width is 10’. A total of 12 trees (2 existing canopy trees and 10 ornamental trees) and 93 shrubs are provided. No additional trees are required to be added, however a double row of the shrubs need to be provided for the full length of the bufferyard. Additional shrubs need to be added to the south bufferyard to meet the intent of the bufferyard requirements.

D) A bufferyard is required along the north property line. The Applicant is no longer maintaining the existing conditions of the paved swale. The site plans shows that the driveway extends into the paved swale area, however, Sheet C-300 does not indicate the finished condition of the paved swale area. Sheet C-400 indicates the swale area to be regraded on the adjacent property.

The bufferyard is required to be 10' wide. The bufferyard varies from 0' to 13' wide. The required bufferyard for the north property line for parking or an access drive adjacent to a non-residential use per Section 153.404 (G) (1), Table 404-1, are one canopy tree per 35' (or one small/ornamental tree per 25') and one shrub per 3'. The requirements for the 267 lf of bufferyard are eight canopy trees and 89 shrubs. No plant material is proposed.

E) Interior landscaping required is 1,134 sf. Sheet L-100 states they are providing 460 sf interior landscaping. An additional 674 sf of interior landscape area is required. Interior landscape islands must meet minimum plant material requirements (one tree and four shrubs per island), per Section 153.404 (C) (2).

F) Tree removal for redeveloped sites is one inch replacement for each one inch removed per Section 156.09. Sheet C-200 identifies that 26.5" of tree caliper are to be removed. The City has calculated 33 caliper inches are proposed on the current Landscape Plan, which meets the required replacement requirements.

G) A Landscape buffer must be added around the dumpster enclosure for sides that are visible from residential uses (the south and west elevations). To meet the intent of Section 153.254 (G) (9) which provides additional requirements for screening service structures beyond Section 153.404 (D).

Considerations:

Should Planning Commission choose to recommend approval of the requested major amendment to the PUD and the proposed Preliminary Development Plan to Council, the following items should be considered:

- 1) The outdoor patio area comply with all of the requirements of Section 153.253 (E) (8).
- 2) The parking spaces and drive aisles comply with all of the requirements of Section 153.302 (B) and directional signage be provided within the parking areas to provide circulation direction.
- 3) Final Development Plans contain all exterior modifications to the building including building materials and colors consistent with Section 153.257 (C) and (E) unless modified by the Planning Commission.

- 4) Sign details consistent with Sections 153.459 (C), 153.253 (E) (4), and 153.257 (C) (4) and (E) (2) requirements be provided with the Final Development Plan.
- 5) The proposed drive through be compliant with the requirements of Section 153.253 (4) on the Final Development Plan.
- 6) The proposed cooler at the southwest corner of the building have an exterior finish consistent with the requirements of Sections 153.257 (C) and (E) and be screened consistent with the requirements of Section 153.254 (C).
- 7) A minimum of 24.7% of the site be maintained as green space.
- 8) All new building or ground mounted equipment on the site will be screened per the requirements of Section 153.254 (C).
- 9) The proposed waste container screening meet the requirements of Sections 153.254 (G) and 153.404 (D).
- 10) The landscape plan be revised consistent with staff review comments unless modified by Planning Commission.

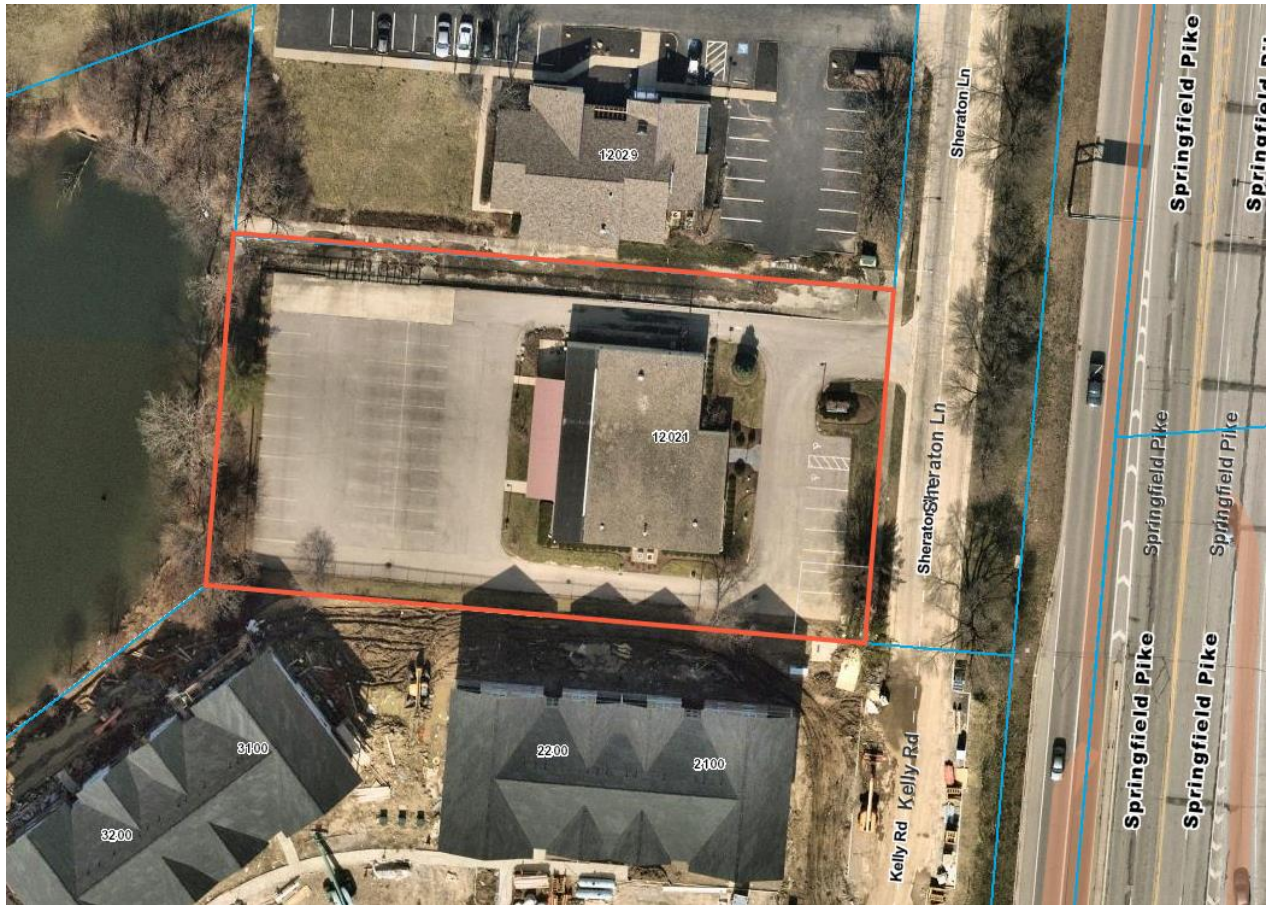
Submitted by:

Anne. F. McBride, FAICP
City Planner

MDC #5028

BODEGA
12021 SHERATON LANE
PLAN REVIEW PERMIT #20230909
24020103
JUNE 25, 2024

PLANNING COMMISSION
ENGINEERING REVIEW



PROJECT SITE

REQUEST: To change the use from office to allow for a “bodega” style market with a drive-thru pickup window on the south side of the new building addition.

A plan review for code compliance for the subject referenced project has been completed. The following reports includes items required by codes adopted by the City of Springdale that must be resolved before a building permit can be issued to commence construction. Please note that Development is to comply with all requirements of the City of Springdale’s Code of Ordinances, specifically Title XV: Land Usage, unless approved otherwise. The items contained herein should not be consider final or all-inclusive and are subject to change pending review of subsequent submittals.

A. LAND USAGE (Chapter 150)

1. Per City regulations 150.13 of the City's regulations, streets shall conform substantially to the thoroughfare plan adopted by the planning commission and any revisions or amendments thereto. The City's current Thoroughfare Plan (1998) classifies Sheraton Lane as a local street with a right-of-way width of typically 50' and that the spacing of access points should be one hundred feet (100') measured from point of curb return to point of curb return. Also, the number of access points should be limited to one per tract except where it can be demonstrated by the developer that an additional curb cut will benefit traffic movement.
 - a. The submitted revised site plan dated June 25, 2024, utilizes the existing entrance apron that was recently reconstructed under the Sheraton Lane Reconstruction Project. A second access is no longer proposed. This is acceptable to staff.
2. Per City's current Bike and Pedestrian Connectivity Plan (2022), this section of Sheraton Lane is classified as an existing road with sidewalks with no specific improvements recommended. Multi-modal (bike, pedestrian, transit, etc.) connections are encouraged to be part of every development within the city in an effort to eliminate connectivity gaps for all users.
 - a. A public sidewalk exists on the west side of Sheraton Lane. The submitted revised site plan dated June 25, 2024, now includes a proposed pedestrian (sidewalk) connection to the public right-of-way. It is recommended that crosswalk markings and signage be installed to provide safer access across the parking drive aisle to the building.

B. TRAFFIC

1. The applicant has submitted a revised Traffic Impact Study (TIS) for the proposed development dated January 25, 2024. The report concluded that the intersection of Ray Norrish Drive at Sheraton Lane has adequate capacity is available at the intersection to handle additional trips generated by the proposed development. The report also determined that a northbound left turn lane or a southbound right turn lane from Sheraton Road into the access drive are not warranted.
 - a. The City Traffic Engineer (TEC) has reviewed the TIS dated January 25, 2024, and agrees that no improvements are required on the public street. TEC's TIS review memorandum dated February 7, 2024, is attached. Since a second access is no longer proposed, The TIS shall be revised to reflect/include the current site plan in the final report.
2. Trucks over 5 Tons empty weight are currently prohibited on Sheraton Lane. Also, the applicant shall demonstrate that the delivery vehicle can maneuver within the site to exit onto Sheraton Lane.
 - a. The Applicant's response letter response letter dated February 27, 2024, indicated that the maximum size of delivery truck will be a standard box truck which can easily maneuver the site and exit onto Sheraton Lane and that Trucks over 5 tons empty weight will not utilize this site. An "Autoturn" simulation is to be provided with the Construction Plans.

C. STORMWATER MANAGEMENT (Chapter 151)

1. Per City regulations 151.03(A), Erosion control shall be practiced whenever a parcel is cleared, graded or otherwise disturbed by the movement of earth.

2. Per City regulations 151.03(B)(4), the installation of the specific Storm Water Management Plan measures shall be accomplished in accordance with the standards and specifications contained in the City Regulations and the latest edition of the [ODNR Rainwater and Land Development Manual](#) or [ODOT Location and Design Manual - Volume 2 - Drainage Design](#).
 - a. The stormwater management plan as required by City regulation 151.03(C) shall be provided with the construction plans. The stormwater management plan shall include but not be limited to detailed plans of all proposed storm water provisions, vegetative practices, erosion and sediment control measures, post-construction storm water quality best management practices, and other protective measures to be constructed in connection with, or as a part of the proposed work shall be provided with the construction plans.
3. Per City regulations 151.04(A)(4), Improvements shall be designed such that, at a minimum, all developed areas are treated with an acceptable post-construction storm water quality best management practice. Practices chosen must be sized to treat the water quality volume (WQv) and to ensure compliance to the maximum extent practicable with Ohio EPA Water Quality Standards (Ohio Administrative Code Chapter 3745-1) and Ohio EPA Construction General Storm Water NPDES discharge permit requirements applicable to the property. The WQv shall be equal to the volume of runoff from a 0.75-inch rainfall. Sites that have been previously developed where no Post-Construction BMPs were installed are required to provide:
 - (a) A 20 percent net reduction of the site's current impervious area, achieved by either the use of pervious pavement or removing the impervious surface.
 - (b) Treatment of at least 20 percent of the WQv.
 - (c) A combination of (a) and (b).

The submitted revised site plans dated June 25, 2024, indicated that the existing site impervious area is 32,973 SF while the proposed site impervious area is 32,217 SF, providing an approximate 2.3% reduction in site impervious area. This is acceptable to Staff.

4. Per §151.05(E), a performance bond in the amount of the cost of the Storm Water Management Plan measures shall be required to be filed with the City Finance Director. This bond shall include post-construction best-management practices. Said performance bond shall authorize immediate payment to the City of Springdale upon certification by the City Administrator with the concurrence of the Planning Commission, that necessary emergency work must be done immediately to insure proper water management and sediment control as a result of the landowner's failure to complete or adhere to the approved Stormwater Management Plan.

MEMORANDUM

DATE: 2/7/24
SUBJECT: BODEGA TIS REVIEW COMMENTS
PREPARED BY: TEC Engineering, Inc.
PREPARED FOR: The City of Springdale

TEC has reviewed the TIS dated 1/25/24.

Background Volumes:

Approved in previous submittal.

Trip Generation/Distribution :

Approved in previous submittal.

Capacity Analysis :

Approved

Turn Lane Analysis:

Approved

Findings and conclusions:

TEC agrees that no improvements are required on the public street.

Since a secondary access is proposed, a site plan showing the access locations should be included in the final report. No additional changes to the report are necessary.

RESOLUTION NO. R12-2024

A RESOLUTION AUTHORIZING THE FILING OF CONTINUING DISCLOSURES WITH THE MUNICIPAL SECURITIES RULEMAKING BOARD RELATED TO THE MARCH 2017 STREET IMPROVEMENT BONDS

WHEREAS, as part of the issuance of the \$8,200,000 of Street Improvement Bonds in March of 2017, the City of Springdale (the “City”) has a continuing disclosure requirement under the Securities and Exchange Commission Rule 15c2-12 (the “Rule”); and

WHEREAS, the Rule requires that certain disclosures be made annually to the Municipal Securities Rulemaking Board under the Electronic Municipal Market Access system (“EMMA”); and

WHEREAS, the filing required to EMMA is an update to certain information and tables that were originally included as part of the Official Statement document from the Bond issue and must be made to EMMA by September 1, 2024.

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Springdale, Ohio, _____ members elected thereto concurring:

Section 1. That Council has reviewed the Annual Information Filing for Fiscal Year 2023 as set forth in the attached Exhibit A which is incorporated herein by reference, and authorizes the City to file such continuing disclosure with the Electronic Municipal Market Access system.

Section 2. That this Council hereby finds and determines that all formal actions relative to the passage of this Resolution were taken in an open meeting of this Council, and that all deliberations of this Council and of its Committees, if any, which resulted in formal action, were taken in meetings open to the public, in full compliance with applicable legal requirements, including Section 121.22 of the Ohio Revised Code.

Section 3. That this Resolution shall take effect and be in force from and after the earliest period allowed by law.

Passed this 21st day of August, 2024.

President of Council

Attest:

Clerk of Council

Approved:

Mayor

Date