

Town of Somerset
Town Council Meeting

6 May 2024

Agenda

1. 7:00 pm – Public Comment Period
2. 7:05 pm – To consider approval of agenda as presented
3. 7:10 pm – Consent Agenda (to consider approval of the items without discussion)
 - a. Approval of Somerset Dolphins Swim Team Schedule
 - b. Introduction and adoption of a Resolution to Designate June as Pride Month
 - c. Approval of the Spring Planting List, as recommended by the Town Arborist. The Arborist is proposing the following trees be planted:
 - (1) 4710 Falstone Avenue – Yoshino Cherry
 - (2) 4807 Essex – White Fringe
4. Non-Consent Agenda
 - a. 7:15 – Permit application submitted by Miriam Rosenthal and Michael Phillips for the removal of four trees at the property located at 5522 Greystone Street
 - b. 7:25 – Permit application submitted by Guido Bracciale and Sharmeen Ahsan-Bracciale, for the construction of a new home at the property located at 4905 Cumberland Avenue
 - c. 7:55 – Building Administrator’s Report
 - d. 8:00 – Potential introduction of a Resolution to Establish a Consent and Release Form for Use of Photographs in Town Media, as recommended by the Communications Committee
 - e. 8:10 – Potential adoption of an Ordinance Adopting the FY25 Budget, as recommended by the Budget Committee
 - f. 8:20 – Potential adoption of a Resolution establishing a Data Policy
 - g. 8:30 – Potential adoption of a Resolution to establish an Opt-Out Compost Program, as recommended by the Environment Committee
 - h. 8:40 – Manager’s Report
 - i. 8:45 – Adjourn

Join Zoom Meeting

<https://us02web.zoom.us/j/86091939743?pwd=TVpNMkk1azROb1l6eTJpSFRTVnJUZZ09>

Meeting ID: 860 9193 9743

Passcode: 491819

Dates that the Swim Team Are Requesting for Exclusive Use of the Pool
- Meets and Banquet -

- 8 June - 7 am-12 pm
- 15 June - 7 am-12 pm
- 29 June - 7 am-12 pm
- 19 June - Beginning at 4:30 pm
- 26 June - Beginning at 4:30 pm
- 10 July - Beginning at 4:30 pm
- 15 July - 5-6:30 pm
- 20 July - 6 am-12 pm
- 21 July - Beginning at 3 pm

Town of Somerset
Resolution to Recognize June as Pride Month

Resolution No.: 5-24-1

Introduced:

Adopted:

Effective:

A RESOLUTION RECOGNIZING PRIDE MONTH IN THE TOWN OF SOMERSET

WHEREAS, the Town of Somerset is committed to fostering a community that celebrates diversity, promotes inclusion, and embraces equality for all its residents; and

WHEREAS, June is internationally recognized as Pride Month, a time to honor the LGBTQ+ community, celebrate their contributions to society, and advocate for their rights; and

WHEREAS, Pride Month commemorates the Stonewall Riots of June 1969, which served as a catalyst for the modern LGBTQ+ rights movement and inspired generations of activists to fight against discrimination and oppression; and

WHEREAS, the Town of Somerset recognizes the importance of creating a safe and supportive environment where individuals of all sexual orientations, gender identities, and expressions can live authentically without fear of prejudice or discrimination; and

WHEREAS, Pride Month provides an opportunity for the Town of Somerset to reaffirm its commitment to promoting diversity, equity, and inclusion in all aspects of community life; and

WHEREAS, the Town of Somerset acknowledges the significant contributions of LGBTQ+ individuals to the fabric of our community, and celebrates the resilience, strength, and courage they demonstrate in the face of adversity;

NOW, THEREFORE, BE IT RESOLVED, by the Town Council, that June is hereby recognized as Pride Month in the Town of Somerset, and the Town Council encourages all residents to participate in Pride Month events, support LGBTQ+ organizations, and promote understanding, acceptance, and equality for all individuals regardless of sexual orientation, gender identity, or expression.

BE IT FURTHER RESOLVED, that the Town Council affirms its commitment to upholding the principles of fairness, justice, and equality, and pledges to continue working towards a future where every person in the Town of Somerset can live openly, authentically, and free from discrimination.

This resolution shall take effect on 1 June 2024

Certified and adopted by the Town Council of the Town of Somerset on this _ day of _, 2024.

Mayor Jeffrey Slavin

Council President Stephen Surko

Attest:

EJ Hardwick, Town Manager/Clerk-Treasurer

Town of Somerset

Tree Planting Spring 2024

Feather and Associates May 3, 2024

Number	Street	Common Name	Scientific Name	Quantity	Size	Comments	Wires	To Replace
4710	Falstone Avenue	Yoshino Cherry	Prunus x yedoensis	1	2-2.5" cal	RR	yes	yes
4807	Essex Avenue	White Fringe Tree	Chionanthus virginicus	1	5-6' ht.	RR	yes	no

RR resident request

Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Town of Somerset
4510 Cumberland Avenue
Chevy Chase, MD 20815

May 3, 2024

Tree Removal Permit – 5522 Greystone Street Elm

I visited the site on Thursday, May 2, 2024.

The tree requested for removal is:

Elm 10" in diameter at 4.5' above ground level.

The tree is hazardous and has a severe lean over the yard. It is on the 5524 Greystone side of the existing fence.

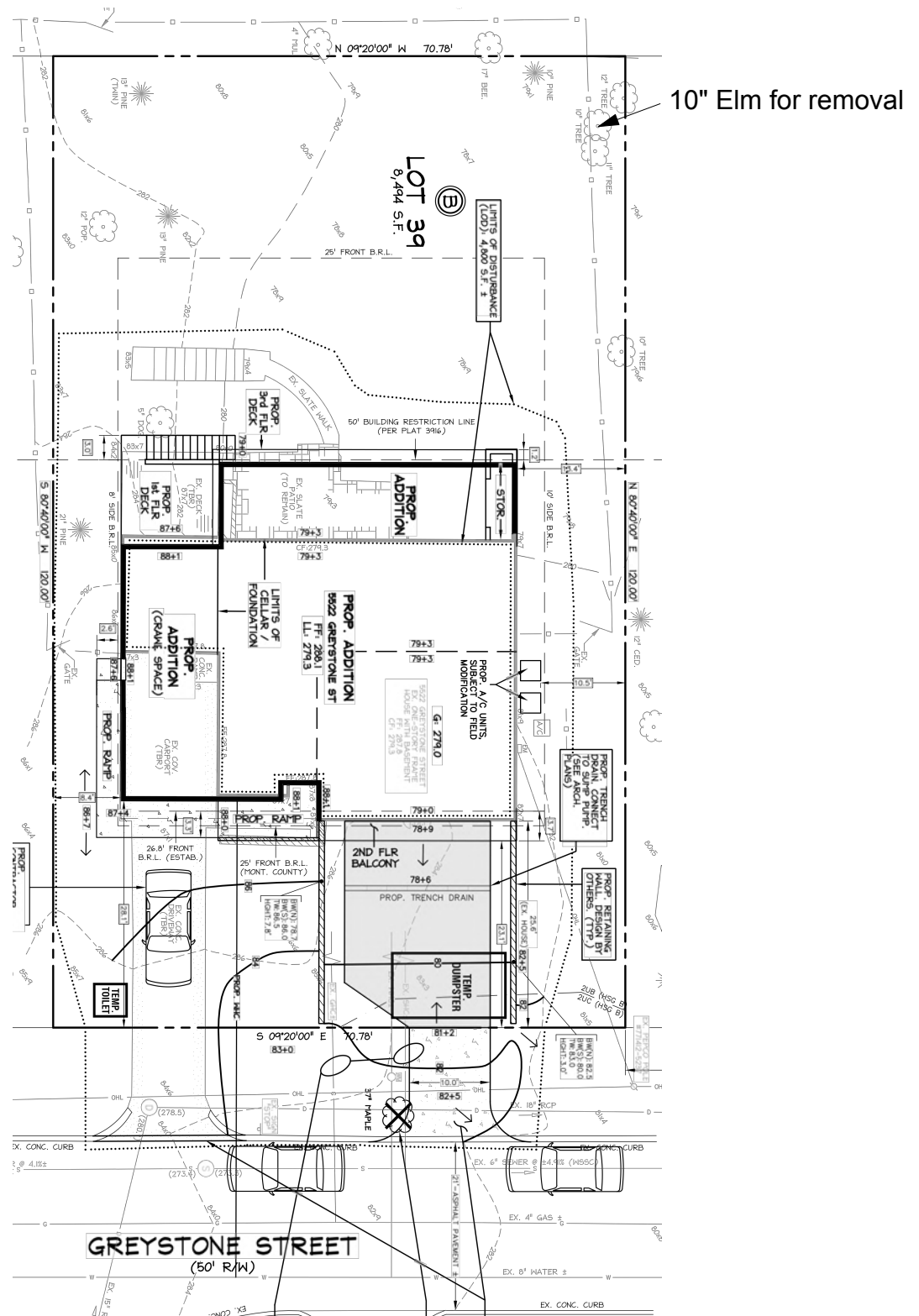
The attached site plan shows the elm on the property at 5522 Greystone.

I recommend removal.



Tolbert V. Feather





Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Town of Somerset
4510 Cumberland Avenue
Chevy Chase, MD 20815

May 2, 2024

Tree Removal Permit – 5522 Greystone Street Tulip Poplar

I visited the site on Tuesday, April 30, 2024.

The tree requested for removal is:

Tulip Poplar 16" in diameter at 4.5' above ground level.

The tree is hazardous; it has girdling roots and some decay in the main trunk.

I recommend removal.



Tolbert V. Feather



Tulip Poplar



Decay in the main trunk, blacking of bark



Girdling roots

Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Town of Somerset
4510 Cumberland Avenue
Chevy Chase, MD 20815

May 2, 2024

Tree Removal Permit – 5522 Greystone Street Spruce

I visited the site on Tuesday, April 30, 2024.

The tree requested for removal is:

Norway spruce 13" in diameter at 4.5' above ground level.

The tree is hazardous, leaning towards the home.

I recommend removal.



Tolbert V. Feather



Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Town of Somerset
4510 Cumberland Avenue
Chevy Chase, MD 20815

May 3, 2024

Tree Removal Permit – 5522 Greystone Street Hemlock

I visited the site on Thursday, May 2, 2024.

The tree requested for removal is:

Hemlock 9" in diameter at 4.5' above ground level.

The tree has 50% of its canopy in poor condition.

I recommend removal.



Tolbert V. Feather



TO: The Town of Somerset Council
FROM: Doug Lohmeyer
DATE OF MEMO: May 1, 2024
SUBJECT: Monthly Status Report

4722 Cumberland Ave.

The architect has submitted a concept plan to make several additions to the existing house. The staff has reviewed the plans and provided comments to the architect. A variance may be required.

4815 Cumberland

The property owner has submitted a building permit application to MCDPS and the Town to remove the ex. house and to construct a new house. The Town permits were issued on Mar. 16, 2024. Construction has begun.

4905 Cumberland Ave.

The property owner has submitted an application to remove the existing house and to construct a new house. The staff is reviewing the updated Site Plan and SWM plans. The plans have been revised to remove the rear detached garage and to lower the height of the proposed roof.

4515 Dorset Ave.

The property owner has submitted an application to construct a detached two car garage at the rear of the house. The Council approved the application on August 7th and the Town permit was issued on Sept. 15, 2023. The work is underway.

4714 Essex Aave.

The staff has had conversations with the architect relating to removing the existing house and to construct a new house. No plans have been submitted to the Town or MCDPS.

4816 Essex Ave.

The property owner has submitted building permit applications to the MCDPS and the Town. They propose to remove a large portion of the building at the rear of the house and make interior improvements. The Town permits were issued on May 6, 2023. Work is underway. The Council approved the variances to enlarge the existing front porch and stoop. The applicant is applying for a Town permit extension.

4702 Falstone

The applicant submitted a plan to modify the existing driveway and apron to accommodate the owner's handicapped vehicle. The Council approved the application on Sept. 11, 2023. The Town issued the driveway apron permit on Apr. 4, 2024 but the work has not begun.

4712 Falstone Ave.

The staff has had conversations with the architect relating to removing the existing house and to construct a new house. No plans have been submitted to the Town or MCDPS.

4906 Falstone Ave.

The property owner submitted an application to remove the ex. deck at the left rear of the house and to construct an enclosed addition at the same location. The plans are now being reviewed by the staff. The property owner may submit a SWM variance.

4806 Grantham Ave.

The property owner has submitted an application to add a second story addition to the existing house. An addition is also proposed at the left rear of the house and a new front porch overhang is also planned. The Council approved the permits on May 1st. The MCDPS permit was issued on June 1, 2023. The Town building permit was issued on July 8, 2023. The construction has begun. The applicant has submitted an acceptable wall check.

5515 Greystone St.

The applicant submitted an application to add a second story to the ex. house. The Council approved the application on Feb. 5, 2024. MCDPS issued their permit on Feb. 12th. The Town permit was issued on Feb. 12, 2024. Work has begun.

5409 Surrey St.

An application was submitted to remove the ex. deck at the rear of the house and to build a new deck in the same location. The Town issued their permits on Oct. 7, 2023. Work began in Feb.

5529 Surrey St.

The property owner submitted an application to add an addition, a deck, and a patio at the rear of the ex. house. The Council approved the application on Feb. 5th and the Town permit was issued on Feb. 12, 2024. Construction has begun.

5528 Trent St.

The property owner plans on removing the existing house and building a new house. The MCDPS building permit is pending. On Sept. 11, 2023, the Council approved the application. The Town issued the building permit on Dec. 19, 2023. Work is ongoing.

5613 Warwick Pl.

The property owner submitted an application to construct a deck at the rear of the house and to replace the ex. driveway and apron. The Council approved the variance on Feb. 5, 2024. The Town permit was issued on Feb. 12, 2024.

Town of Somerset

Resolution to Establish a Consent and Release Form for Use of Photographs in Town Media

Resolution 5-24-2

Introduced:

Adopted:

Effective:

A RESOLUTION ESTABLISHING A CONSENT AND RELEASE FOR USE OF
PHOTOGRAPHS IN MEDIA BY THE TOWN OF SOMERSET

WHEREAS, the Town of Somerset seeks to promote community engagement and public awareness through various media channels, including but not limited to, social media, websites, newsletters, and promotional materials; and

WHEREAS, the use of photographs depicting individuals under the age of eighteen participating in community events, programs, or activities is an effective means of conveying the vibrancy and diversity of the Town of Somerset and showcasing the accomplishments and contributions of its residents; and

WHEREAS, it is important to respect the privacy and rights of individuals under the age of eighteen depicted in photographs used for public dissemination, and to obtain proper consent and authorization prior to their use in any media format;

NOW, THEREFORE, BE IT RESOLVED, by the Town Council, that a Consent and Release for Use of Photographs in Town Media is hereby established to govern the use of photographs depicting individuals under the age of eighteen in the Town of Somerset for promotional, informational, or educational purposes.

BE IT FURTHER RESOLVED, that the Consent and Release for Use of Photographs in Media shall include provisions requiring individuals to grant permission for their likeness to be used in media materials produced or authorized by the Town of Somerset, and to waive any claims or rights to compensation for such use.

BE IT FURTHER RESOLVED, that the the Town of Somerset shall develop and implement procedures for obtaining valid consent from individuals under the age of eighteen prior to the use of their photographs in media materials, and shall maintain appropriate records documenting such consent.

BE IT FURTHER RESOLVED, that the Town of Somerset shall ensure compliance with all applicable laws and regulations governing the use of photographs, including but not limited to, laws concerning the right of publicity, privacy, and copyright.

Certified and adopted by the Town Council of the Town of Somerset on this _ day of _, 2024.

Mayor Jeffrey Slavin

Council President Stephen Surko

Attest:

EJ Hardwick, Town Manager/Clerk-Treasurer

I, _____ (Print name of parent/guardian)

() do

() do not consent

to having the photograph and name of my child _____ (Print name of child)
used in the Somerset Town Journal, social media, or other materials used or created by the
Town.

_____ Signature of parent or Guardian

Communication Committee Recommendation for Safeguarding the Privacy and Confidentiality of Photographs of Town Minor Residents Distributed by Social Media

Background:

At its November 2023 and December 2023 meetings, the Communications Committee discussed the issues regarding the protection of privacy and confidentiality for residents depicted in photographs on the Town's social media outlets, including the Town website. The conversation began as a concern regarding the customary use of such photos (accompanied by the name and street of the resident) in the Town Journal, now shared on the Town's public website.

As the discussion continued, it became clear that the issue is not confined to the Town Journal, but to any photographs of Somerset residents shared over the Town's website and its social media outlets. The committee recognized the problem for all residents, but was particularly concerned about the issue regarding photographs of minor children. It made a recommendation to the Town Council that a consent form be developed for the use of such photos, and the Town Attorney provided a form and presented it at the December 2023 Council meeting .

The committee believes that the initially proposed form is pro forma for use in commercial instances. The committee also believes that the Town of Somerset, as a public entity, is not required to follow the commercial legal standard. Our foremost goal is to develop a policy that respects parents' wish to protect their minor children's identity. The committee is concerned that the form as it stands will likely frighten Town residents, leading to unnecessary refusals to sign it. Therefore, the Committee makes the following recommendations.

Recommendations:

The Committee proposes that Council consider and appropriately codify the numbered recommendations listed below for the use of photos in Town media. The Committee further proposes that once it codifies photo use, that Council authorize the development of an appropriate consent form for use as stipulated in the Town's photo use policy (see #4 below).

The committee recognizes that the Town is not required to obtain consent to use images, photographs, and/or videos taken at public settings where there is no reasonable expectation of privacy. Therefore, the following recommendations focus on photographs in which additional identifying information (e.g., name, street of residence) is provided.

1. The Town should discontinue the mention of streets of residence when identifying any Town residents (minor or adult) by name in the text of any material shared via social media, unless the address is critical to the content (e.g., the identification of a home for which a building permit has been submitted). Town residents can find this information in the Town Directory, which is available only to them.

2. Written consent from a parent or guardian should be obtained for the use of photographs of minor children when the child is identified by name.
3. The consent form should convey the policy intent and protection it offers in simple yes/no language.

a. We provide an example of a possible consent form here:

I, _____
(Print name of parent/guardian)

() do
() do not

consent to having the photograph and name of my child _____
(Print name of child)

used in the Somerset Town Journal or other social media used by the Town.

Signature of parent or Guardian

**Town of Somerset
Budget and Tax Rate Ordinance**

Resolution No.: 4-23-11

Introduced: 1 April 2024

Adopted:

Effective Date:

SUBJECT: AN ORDINANCE TO ADOPT A BUDGET FOR FISCAL YEAR JULY 1, 2024 TO JUNE 30, 2025 AND TO LEVY A TAX ON CERTAIN REAL AND PERSONAL PROPERTY UNDER THE PROVISIONS OF SECTION 6-203 OF THE TAX-PROPERTY ARTICLE OF THE MARYLAND CODE, AS AMENDED

WHEREAS, Maryland Code, Local Government Article, Section 5-202, as amended, grants to the legislative body of every incorporated municipality in Maryland, including the Town of Somerset, general power to pass such ordinances not contrary to the Constitution of Maryland, or the public general law, as deemed necessary in order to assure the good government of the municipality, to protect and preserve the municipality's rights, property, and privileges, to preserve peace and good order, to secure persons and property from danger and destruction, and to protect the health, comfort and convenience of the citizens of the municipality;

WHEREAS, Maryland Code, Local Government Article, Section 5-205, as amended, authorizes the legislative body of each municipal corporation in the State of Maryland to spend money for any public purpose and to affect the safety, health, and general welfare of the municipality and its occupants;

WHEREAS, Maryland Code, Tax-Property Article, Section 6-203, as amended, grants authority to municipal corporations to levy a tax on personal property, land, and improvements thereon, within the municipal corporation;

WHEREAS, Section 83-17 of the Town Charter authorizes the Town Council to pass ordinances not contrary to the Constitution and laws of the State of Maryland or the Town Charter, as it may deem necessary for the good government of the Town; for the protection and preservation the Town's property, rights, and privileges; for the preservation of peace and good order; for securing persons and property from violence, danger, or destruction; and for the protection and promotion of the health, safety, comfort, convenience, welfare, and happiness of the residents of the Town and visitors thereto and sojourners therein;

WHEREAS, pursuant to Section 83-40 of the Town of Somerset Charter, the Town operates on an annual budget;

WHEREAS, Section 83-48 of the Town of Somerset Charter authorizes the Town Council to levy and collect from the owners of real and/or taxable tangible personal property used in a trade or business in the Town, tax on the assessed valuation of the real and/or taxable

tangible personal property used in a trade or business within the boundaries of the Town at a rate or rates set by the Town Council;

WHEREAS, the Mayor and Town Council introduced the following Ordinance in public session assembled on the 1st day of April, 2024;

WHEREAS, the Town Council, after proper notice to the public, considered the following Ordinance at a public hearing held on the ___ day of May, 2024; and

WHEREAS, the Town Council finds that the ordinance as hereinafter set forth is necessary for the good government of the Town; for the protection and preservation the Town's property, rights, and privileges; for the preservation of peace and good order; for securing persons and property from violence, danger, or destruction; and for the protection and promotion of the health, safety, comfort, convenience, welfare, and happiness of the residents of the Town and visitors thereto and sojourners therein.

NOW, THEREFORE, the Town Council does hereby adopt the foregoing uncoded Ordinance.

BE IT ORDAINED AND ORDERED, this ____ day of May, 2024, by the Town Council, acting under and by virtue of the authority given it by the Maryland Code and the Town of Somerset Charter, that the attached Budget be and is hereby adopted.

AND BE IT FURTHER ORDAINED AND ORDERED, that the Town Council of the Town of Somerset, pursuant to the authority granted by the Town Charter and Section 6-203 of the Tax-Property Article of the Maryland Code, hereby levies a tax at the following rates:

- (i) zero dollars and ten cents (\$0.10) per One Hundred Dollars of assessable value (fair market value) on real property subject to taxation;
- (ii) one dollar and zero cents (\$1.00) per One Hundred Dollars of assessed value of assessable business-owned personal property subject to taxation; and
- (iii) one dollar and zero cents (\$1.00) per One Hundred Dollars of assessed value of assessable utility property subject to taxation.

AND BE IT FURTHER ORDAINED AND ORDERED, by the Town Council, acting under and by virtue of the authority granted to it by the Maryland Code, and the Charter of the Town of Somerset, that:

- (1) That the tax levied hereby be certified to the County Council for Montgomery County, Maryland;
- (2) If any part or provision of this Ordinance is declared by a court of competent jurisdiction to be invalid, the part or provision held to be invalid shall not affect the validity of the Ordinance as a whole or any remaining part thereof; and

(3) This Ordinance shall take effect on the 1st day of July, 2024.

ATTEST:

TOWN OF SOMERSET

EJ Hardwick, Manager/Clerk-Treasurer
Town of Somerset

Stephen Surko, President
Town of Somerset

Approved:

Jeffrey Slavin, Mayor
Town of Somerset

Date: _____

Town of Somerset
FY2025
Proposed Budget

	FY 23 Audit	FY 24 BUDGET	FY24 Projections	FY25 Proposed
Revenues				
41000 — PropertyTax	672,422	698,713	745,276	760,182
Property tax rate	.10/1.00	.10/1.00	.10/1.00	.10/1.00
42000 — Intergovernmental**	1,955,975	1,373,262	1,647,296	1,726,070
43000 — Recreation	24,646	25,800	23,642	22,750
44000 — Interest	3,286	47,048	113,882	125,324
45000 — Rental to Residents	550	3,600	3,300	3,600
46000 — Permit	21,788	21,988	17,584	31,080
47000 — Miscellaneous - Rev.	1,273	0	10,394	0
Total revenues	2,679,941	2,170,411	2,561,374	2,669,006
Operatng expenses				
61000 — Personnel	397,897	518,644	512,626	522,769
62000 — Professional Services	380,800	347,949	350,123	398,236
64000 — Civic Affairs	25,302	33,760	21,336	28,294
65000 — Publications	23,296	29,474	22,307	28,157
66000 — Insurance	8,974	9,432	9,184	9,500
67000 — Town Hall/Garage	65,370	56,207	44,396	48,586
68000 — Streets & Sidewalks	129,286	118,891	91,860	114,859
69000 — Trees, G. & P	69,961	88,243	93,118	110,475
70000 — Sanitation	228,233	243,981	226,814	333,912
71000 — Recreation Exp	265,361	276,357	292,891	295,708
72000 — Bank Service Charge	1,000	1,000	1,000	1,000
73000 — Debt Services	111,107	117,473	118,221	129,152
74000 — Misl. Expenses	3,671	3,858	4,675	4,904
75000 - Wynne Case Payment	12,527	12,527	12,527	12,527
76000 — Budget Contingency	40,000	30,000	30,000	30,000
Total operating expenses	1,762,785	1,887,796	1,831,078	2,068,079
Revenues less				
operating expenses	917,156	282,615	730,296	600,927
Capital expenses				
67000 — Town Hall/Garage	61,500	190,250	65,512	70,000
68100 — Streets	460,000	358,375	174,293	734,000
69000 — Trees, G. & P	249,414	277,043	282,906	119,145
71000 — Recreation Exp	336,000	931,330	892,775	189,800
75000 — Environmental	33,000	0	0	0
76000 — Budget Contingency	50,000	30,000	30,000	30,000
Total capital expenses	1,189,914	1,786,998	1,445,486	1,142,945
Beginning-year Reserves	2,609,785	4,174,474	4,174,474	3,459,284
+Rev. less oper. Exp.	917,156	282,615	730,296	600,927
-Capital expenses	1,189,914	1,786,998	1,445,486	1,142,945
End-year Reserves	2,337,027	2,670,091	3,459,284	2,917,266
Rainy Day Fund	1,356,720	1,914,035	1,914,035	2,500,781
Special Capital Fund	0	150,000	150,000	200,000
Wynne Case Special Account	200,439	187,912	187,912	175,385
Unencumbered	779,868	418,144	1,485,995	473,802

Town of Somerset
FY2025
Five Year Plan

	FY 25 Proposed	FY 26 Projection	FY 27 Projection	FY 28 Projection	FY 29 Projection
venues					
41000 — Property tax	760,182	779,186	802,562	830,651	859,724
Property tax rate (\$ per \$100)	0.10	0.10	0.10	0.10	0.10
42000 — Intergovernmental**	1,726,070	1,797,573	1,868,453	1,911,789	2,011,632
43000 — Recreation	22,750	21,950	21,950	21,950	21,950
44000 — Interest	125,324	63,452	64,087	64,728	65,375
45000 — Rental to Residents	3,600	3,600	3,600	3,600	3,601
46000 — Permit	31,080	31,802	32,744	34,881	35,852
47000 — Miscellaneous - Rev.	0	0	0	0	0
total revenues	2,669,006	2,697,564	2,793,396	2,867,599	2,998,134
erating expenses					
61000 — Personnel	522,769	545,670	569,556	590,925	614,311
62000 — Professional Services	398,236	348,468	351,676	355,909	369,337
64000 — Civic Affairs	28,294	31,980	32,709	33,435	34,355
65000 — Publications	28,157	29,350	30,532	31,707	32,925
66000 — Insurance	9,500	9,933	10,362	10,789	11,232
67000 — Town Hall/Garage	48,586	50,778	52,949	55,109	57,349
68000 — Streets & Sidewalks	114,859	115,947	105,025	106,262	107,544
69000 — Trees, G. & P	110,475	115,478	120,434	125,365	130,474
70000 — Sanitation	333,912	349,090	364,125	379,084	394,585
71000 — Recreation Exp	295,708	307,131	318,558	329,876	341,553
72000 — Bank Service Charge	1,000	1,000	1,000	1,000	1,001
73000 — Debt Services	129,152	129,152	129,152	129,152	129,152
74000 — Misl. Expenses	4,904	5,127	5,349	5,569	5,797
75000 - Wynne Case Payment	12,527	12,527	12,527	12,527	12,527
76000 — Budget Contingency	30,000	30,000	30,000	30,000	30,000
total operating expenses	2,068,079	2,081,634	2,133,954	2,196,710	2,272,143
venues less operating					
expenses	600,927	615,930	659,442	670,888	725,991
capital expenses					
67000 — Town Hall/Garage	70,000	50,000	40,000	12,000	5,000
68100 — Streets	734,000	528,333	561,667	561,667	495,000
69000 — Trees, G. & P	119,145	55,000	26,000	26,000	27,000
71000 — Recreation Exp	189,800	62,400	41,500	31,500	61,500
75000 — Environmental	0	0	0	0	0
76000 — Budget Contingency	30,000	30,000	30,000	30,000	30,000
total capital expenses	1,142,945	725,733	699,167	661,167	618,500
	Town Reserves				
inning-year Reserves	3,459,284	2,917,266	2,807,463	2,767,738	2,777,459
+ Rev. less oper. expenses	600,927	615,930	659,442	670,888	725,991
- Capital expenses	1,142,945	725,733	699,167	661,167	618,500
l-year Reserves	2,917,266	2,807,463	2,767,738	2,777,459	2,884,950
ny Day Fund	2,500,781	2,095,188	2,186,274	2,259,467	2,347,576
Special Capital Fund	200,000	250,000	250,000	250,000	250,000
Wynne Case Special Acct.	175,385	162,857	150,330	137,802	125,275
ncumbered	473,802	312,972	233,454	192,946	237,532

Town of Somerset
Resolution Establishing Data Policy

Resolution No.:1-24-4
Introduced: 1 April 2024
Adopted:
Effective Date:

WHEREAS, the Town of Somerset recognizes the importance of protecting personal information lawfully obtained by the Town in accordance with State law; and

WHEREAS, the Town acknowledges the need to establish written policies and procedures to safeguard personal information and mitigate the risk of unauthorized access, use, modification, or disclosure; and

WHEREAS, the Town has developed a comprehensive Data Security Policy outlining security measures, procedures for destruction of records, reporting violations, investigating breaches, notification protocols, containment measures, enforcement actions, and prevention strategies;

NOW, THEREFORE, BE IT RESOLVED by the Town Council of Somerset, Maryland, on this 6th day of May, 2024, that the Town hereby adopts the Data Security Policy as presented, effective immediately.

BE IT FURTHER RESOLVED that all Town staff, the Mayor, Council members, volunteers, and contractors ("responsible parties" or "authorized individuals") are hereby directed to comply with the provisions outlined in the Data Security Policy.

BE IT FURTHER RESOLVED that the Town Manager is authorized and directed to ensure the implementation and enforcement of the Data Security Policy and to oversee any necessary updates or revisions as deemed necessary by the Town Council.

BE IT FURTHER RESOLVED that copies of the adopted Data Security Policy shall be distributed to all responsible parties and made readily available for reference in the Town Office.

BE IT FURTHER RESOLVED that the Town Manager shall ensure that all responsible parties receive appropriate training on the requirements and procedures outlined in the Data Security Policy.

BE IT FURTHER RESOLVED that any prior resolutions or policies in conflict with this Resolution are hereby repealed to the extent of such conflict.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately upon passage.

ADOPTED by the Council of the Town of Somerset on this 6th day of May, 2024.

ATTEST:

TOWN OF SOMERSET

EJ Hardwick, Manager/Clerk-Treasurer

Town of Somerset

Approved:

Stephen Surko, President

Town Council

Jeffrey Slavin, Mayor

Town of Somerset

Date: _____

The Town of Somerset

Data Security Policy

As mandated by State law, the Town of Somerset (hereafter referred to as "Town") hereby establishes the following written policies and procedures for the protection of personal information lawfully obtained by the Town. They apply to all Town staff, the Mayor, Council members, volunteers, and contractors ("responsible parties" or "authorized individuals").

Definitions

For the purposes of this policy, the following words have the meanings indicated.

- 1) "Personal information" means an individual's first name or first initial and last name, personal mark, or unique biometric or genetic print or image, in combination with one or more of the following data elements:
 - a. Social Security number;
 - b. Driver's license number, state identification card number, or other individual identification number issued by a unit;
 - c. Passport number or other identification number issued by the United States government;
 - d. Individual Taxpayer Identification Number; or
 - e. Financial or other account number, a credit card number, or a debit card number that, in combination with any required security code, access code, or password, would permit access to an individual's account.

"Personal information" does not include the following: (1) publicly available information that is lawfully made available to the general public from federal, State, or local government records; (2) information that an individual has consented to have publicly disseminated or listed; or (3) information that is disclosed according to other applicable law or judicial order.

- 2) "Records" means personal information that is inscribed on a tangible medium or that is stored in an electronic or other medium and is retrievable in perceivable form.

Security Measures

To protect personal information from unauthorized access, use, modification, or disclosure, the Town will employ the following security procedures and practices. All records shall be protected with a minimum of two layers of security, which may include but not be limited to, the Town Office door being locked when the Office is not in use; the Town Office computers being

password protected and locked when not in use by authorized individuals; filing cabinets containing personal information being locked when not in use by authorized individuals; and the Town internet service being password protected. The Town will maintain appropriate network security, including firewalls, on all computers.

Destruction of Records

The Town will retain records in the Town Office in accordance with the Town's State-approved document retention schedule. When a record meets the criteria for removal under the retention schedule, it will be purged, destroyed (e.g., by shredding paper files containing personal information), deleted, or returned to the submitting source as required.

Reporting Violations

Responsible parties will promptly and without unreasonable delay report any and all violations of this policy to the Town Manager, Mayor, or Town Council, as appropriate.

Investigating a Possible Breach

The Town Manager or Mayor, or Town contractors, as appropriate, will investigate the circumstances of a possible breach to determine whether the unauthorized acquisition of personal information has resulted in or is likely to result in the misuse of the information. The results of such investigation shall be shared promptly and without unreasonable delay.

If/When a Breach is Confirmed

Notification

The Town Manager or Mayor, as appropriate, will work with the Town's legal counsel to notify impacted individuals promptly and without unreasonable delay. Notification should be made in writing as soon as practicable to the most recent address of the impacted individual(s). Alternatively, notice may be provided by e-mail or telephone.

Notifications shall include the following: (1) to the extent possible, a description of the categories of information that were, or are reasonably believed to have been, acquired by an unauthorized person, including which of the elements of personal information were, or are reasonably believed to have been, acquired; (2) contact information for the responsible party making the notification, including an address, telephone number, and toll-free telephone number

if one is maintained; (3) the toll-free telephone numbers and addresses for the major consumer reporting agencies; and (4) (i) the toll-free telephone numbers, addresses, and Web site addresses for: (a.) The Federal Trade Commission; and (b.) The Office of the Attorney General; and (ii) a statement that an individual can obtain information from these sources about steps the individual can take to avoid identity theft.

Before giving the notification, the responsible party shall provide notice of a breach of the security of a system to the Office of the Attorney General and to the Department of Information Technology.

If, after the investigation is concluded, it is determined that notification is not required, the responsible parties shall maintain records that reflect its determination for 3 years after the determination is made.

Containment

If a breach is confirmed, the Town Manager or Mayor, as appropriate, working with the responsible parties and individuals impacted, shall take the following steps to limit the scope and effect of the breach without unreasonable delay.

- 1) Stop any unauthorized practice;
- 2) Recover the records, if possible;
- 3) Shut down the system that was breached;
- 4) Change passwords;
- 5) Change locks on cabinets or doors;
- 6) Correct weaknesses in security practices; and
- 7) Notify the appropriate authorities including the Montgomery County, MD Police Department, if the breach involves, or may involve, any criminal activity.

Enforcement

If, after a thorough review, any responsible party is found to be in violation of this policy as it pertains to the gathering, collection, use, retention, destruction, or disclosure of records, the Town will:

1. Immediately suspend access to Town information systems by the person(s) involved in the violation.
2. If an individual is a Town employee or contractor, he or she will be referred to the Town Manager for disciplinary action, up to and including termination of employment or their contract with the Town.

3. If the individual is the Town Manager, he or she will be referred to the Mayor or Town Council for disciplinary action, up to and including termination of employment.
4. If appropriate, refer the violation to the appropriate law enforcement authority to initiate a criminal investigation in their sole discretion.

The Town reserves the right to restrict the qualifications and number of individuals having access to Town information and to suspend or withhold service and deny access to any individual.

Prevention

In order to ensure the Town maintains the most current approach to the protection of personal information, this policy may be periodically updated as deemed necessary by the Town Council. It may also be updated following any confirmed breach to implement any resolution plan resulting from an investigation of the circumstances of the breach, its root cause(s), and any remaining risk(s).

The Town Manager, Mayor, or Council, as the case may be, in their sole discretion, may dispense with the above requirements in the rare case of an emergency in order to protect the health, safety, comfort, and welfare of the Town and its residents.

Town of Somerset
A Resolution Encouraging Composting in the Town of Somerset

Resolution No.: 24-4-1

Introduced: 1 April 2024

Adopted:

Effective:

A Resolution Encouraging Composting in the Town of Somerset and Providing Composting
Service as an “Opt Out” Service

WHEREAS, at the Town of Somerset Environment Committee held on December 7, 2023, the committee unanimously voted to recommend to the Town Council the encouragement of all residents to compost; and

WHEREAS, Whereas, the Town of Somerset is committed to promoting sustainability and reducing landfill waste in alignment with our town's pledge to become more environmentally conscious; and

WHEREAS, the Environment Committee has identified food scraps as a significant contributor to landfill waste and recognizes the importance of composting in diverting organic materials from landfills and utilizing them beneficially for agricultural purposes;

NOW THEREFORE, be it resolved by the Town Council of the Town of Somerset hereby endorses and supports the recommendation of the Environment Committee to encourage all residents to compost; and

BE IT FURTHER RESOLVED that the Town shall distribute composting buckets to every household that does not already possess one, unless the family indicates they do not wish to participate in the program; and

BE IT FURTHER RESOLVED that the Environment Committee is tasked with coordinating an education campaign on composting to raise awareness and promote participation among residents; and

BE IT FURTHER RESOLVED that educational information will be shared by the Environment Committee, with an emphasis on the composting service on Earth Day, April 22, 2024; and

BE IT FURTHER RESOLVED that composting will be distributed to households, and the expanded composting program will be launched beginning June, 2024.

This resolution shall take effect on June 3, 2024.

Certified and adopted by the Council of the Town of Somerset on this ____ day of _____, 2024.

Mayor Jeffrey Slavin

Council President Stephen Surko

Attest:

EJ Hardwick, Town Manager/Clerk-Treasurer

Environment Committee Recommends Composting for All Residents

Submitted by Barton Rubenstein, TOS Environment Committee Chair

December 11, 2023

Summary

At the Dec 7, 2023, EC meeting, the Environment Committee unanimously voted to recommend to the Town Council that we encourage all residents to compost.

Background

In accordance with our Town's pledge to become a more sustainable town, the Environment Committee is focused on ways to reduce our landfill garbage. Presently, we have a robust co-mingled recycling program that recycles paper, glass, plastic, and metal. Using your blue bucket to separate recycling from garbage should reduce your landfill considerably. However, food scraps are another huge item that is responsible for a lot of our landfill. Food scraps (which includes meat, vegetables, eggshells, and coffee filter and grinds) are a very important part of our ecosystem and can be used by farmers as fertilizer and as an energy source as well.

Fortunately, we already have a composting service, Compost Crew, that our Town provides for free. The problem is only 40-45% of our town residents use this service. In order to encourage more participation and thus reduce our town's landfill, the Environment Committee is recommending the following:

Recommendation

The Environment Committee recommends that the Town distributes composting buckets to every household that does not already have one — unless the family indicates they do not want one — and sign them up for composting. The Environment Committee will coordinate an education campaign on composting, and bins will be distributed so the expanded program can launch in conjunction with Earth Day, April 22, 2024.

If you have any questions, please contact Barton Rubenstein, EC Chair at bartsher@gmail.com .

Town of Somerset

Manager's Report

May 2024

Introduction -

Since being appointed as Town Manager on 4 April 2024, I have been getting my bearings and settling into the role. I believe I am adapting to the role nicely and have greatly enjoyed serving the Town in this position thus far. In fact, on a personal note if I may, this is what I have been wanting to do for some time, this type of position is what I based my secondary education around. I know that I was not alone in having that small worry in the back of my mind “what if this isn’t what I want to do?” Many people do when they are in school or at the very beginning of their career. I am lucky to say, and hope that Somerset is happy too, that if there was any bit of that thought still dancing in my head it has completely dissipated. I know this is what I want to be doing and I am so grateful I can do so, and learned so, here in Somerset.

Project Updates -

- **LED Streetlight Installation -**

The LED Streetlight Installation project has been completed! The streetlights of the Town of Somerset are now all LED making the Town and its streetscape safer and more environmentally conscious.

- **Bayland Stormwater Study -**

Bayland Consultants & Designers, Inc. has submitted their draft *Town of Somerset Stormwater Mitigation Shared Infrastructure Plan*. The staff is reviewing the plan, and Bayland is prepared to meet with the Council at a future Work Session (as soon as the May Work Session if wanted).

- **Town Pool Renovation -**

Work on the major pool renovation is on schedule! The concrete has been poured and they are preparing to begin plastering. In addition, all new pool furniture has been ordered, new lifeguard chairs have been delivered, work is currently being done on the Pool House's plumbing, and new tiling has been selected.

- **Streets and Sidewalk Master Plan -**

Dewberry has submitted their Scope of Work document to create the street/sidewalk maintenance master plan. As presented in the budget, this process will begin at the beginning of FY2025. The content of this master plan will dictate the next steps of this undertaking.

- Implementation of New Software / .gov Transition

The last several months, me and former Town Manager Matt Trollinger had been in discussions with several software companies to see if we could receive new software that would serve as the next stage in Somerset's online evolution. I expect to shortly sign a contract with a company called Polimorphic. The first tool is a new search function for the Town website that will make it a much more effective tool for residents. The second is a workflow tool that will make the Town Hall more organized and use less paper. In addition, we have been approved by the federal government to have the handle townofsomersetmd.gov! Due to the Town's familiarity with the current domain, we will be advertising the switch over May and June in preparation to make the switch to coincide with the beginning of the new fiscal year in July.

Other Matters -

- Deputy Manager Search

We are currently searching for a new Deputy Town Manager. Like the search for the next Town Manager, Mayor Slavin has asked Councilmember Debbie Heller, Chair Sherry Binderman Kahn, and Board Member Kristen Khanna to assist me with reviewing applicants and interviewing. We will be meeting later this week to review the first round of applications.

- Request for Proposal(s)
 - I have published an RFP for trash and recycling collection services as our current contract with CCI Residential, Inc. (Goode) expires over the summer. The RFP has been published on the State of Maryland's e-Maryland Marketplace Advantage website, the Maryland Municipal League website, and our website. I am hoping to bring the Council a recommendation at the May Work Session to be voted on at the June Council Meeting
 - I have drafted an RFP for major work planned for the Town Tennis Courts and have sent it to the Town Attorney for review. Once that review is complete, I will publish it in-line with our Procurement Policy.
 - I am prepared to begin drafting an RFP for compost collection service as our current contract with Compost Crew is set to expire later this year. I will draft the RFP once the Council makes its final decision on the opt-in versus opt-out compost programs.
 - Our current contract with our pool management company, American Pool, is set to expire at the end of this upcoming pool season. Once the pool renovation is done, I will begin drafting an RFP for pool management for the 2025 pool season.
- Town Hall Notary

I am now in the midst of becoming a notary public in the State of Maryland so that Town Hall may resume its free notarization services to residents. I am hoping to be credentialed either this month or next.

- *2024 Resource Guide & Directory*

The 2024 Resource Guide & Directory has been completed, printed, and in the process of being mailed to the homes of Somerset!

- Youth Council Update

The Somerset Youth Town Council has been meeting once a month at Town Hall and in a short amount of time I have seen them become more outspoken, knowledgeable of local government and Somerset in particular, and excited about the many ways they believe they could serve Somerset. Currently, their last meeting is scheduled to be next week, but I believe the students are preparing to ask the Council to move the Youth Council from time-based to standing. This would be potentially proposed at the May Work Session for a possible vote at the June Council Meeting.

To: Somerset Town Council

From: EJ Hardwick, Town Manager

Date: 3 May 2024

Subject: Recommendation for Approval of Building Permit - 4905 Cumberland

Dear Council President Surko, CM Barr, CM Heller, CM Rovak, and CM Kumar

I recommend approval of the permit submitted by Guido Bracciale and Sharmeen Ahsan-Bracciale for the demolition of the current home and construction of a new home at the property at 4905 Cumberland. This application was first submitted by the applicants on 1 July 2023 and much communication has occurred between Town staff and the applicants. The hearing was initially scheduled for earlier this year but was delayed after the Town's new building height regulations went into effect, meaning they would have to apply for a variance. In addition, two other variances would have been required. In response, the applicants modified their plans by lowering the height via removing a third floor and removing the detached garage, retaining wall, and fence. After thorough review and assessment by Town staff and our contracted technical experts, I am confident that this project aligns with our administrative requirements, building regulations, tree care protocols, and stormwater management guidelines.

Administrative Requirements -

The Town has confirmed compliance with the administrative requirements of the Code. Notably, a parking plan has been submitted, house number certification completed, and the Town delivered notice to neighbors ten days prior to the hearing via first-class US Mail and email.

Building Regulations -

The Town's Building Administrator has reviewed the plans and confirmed that it complies with the Town Code. Notably, setback requirements and building height restrictions have been measured and confirmed for compliance with the Town Code. (Please see Mr. Lohmeyer's memo for more information)

Tree Care Protocols -

The Town Arborist has reviewed the plans and offered Tree Protection and Tree Replacement plans for the project. Notably, trees 1, 12, 13, and 14 have been removed without a proper permit. The site has since had a Stop Work Order posted and the applicants will be fined for their removal. They were, however, slated to be removed if the permit is issued. (Please see Dr. Feather's memo for more information).

Stormwater Management Guidelines -

The Town's stormwater consultant, Bayland Consultants & Designers, Inc. has reviewed the plans and confirmed compliance with the Town's stormwater management code requirements. Notably, the project requires a total of 616.77 EDSv and provides 652.08 ESD.

MONTGOMERY CONSULTING

15111 Players Way - Glenwood, MD 21738 Tel: (301) 908-3220

SUBJECT: 4905 Cumberland Ave. – Building Permit
DATE: April 20, 2024

The property owner proposes to remove the existing house and construct a new house at 4905 Cumberland Ave. The plan includes three covered porches and a SWM bio-retention facility at the rear of the lot.

1. The original MCDPS issued their building permit on Feb. 2, 2024.
2. The MCDPS must re-approve the recently revised building and SWM plans.
3. The area of the lot is 10,375 S. F. or 0.24 acres.
4. According to the Site Plan, the EBL is 27.2 feet from the front property line.
5. The proposed house setbacks are:

Front	27.3 feet
Left	8.3 feet
Right	11.7 feet (totaling 20.0 feet)
Rear	58.4 feet
6. The setbacks for the main building comply with the Town's Code.
7. According to the Site Plan, the peak height of the house is 32.82 feet and the mean height of the house is 27.97 feet.
8. Both building heights comply with the Town Code.
9. The max. building lot coverage is 25.6% and the proposed building coverage is 20.5% (2125 S.F.)
10. A two car driveway is proposed at the right front of the property.
11. The Site Plan indicates the driveway will slope away from Cumberland Ave. at a 6.5 percent slope.
12. The apron must be constructed per the Town's apron detail.
13. Two HVAC units are proposed at the rear of the house.
14. The application included a dumpster, a temp. toilet, a parking plan, and a Boundary Survey.

I recommend the Council approve the demo permit, the building permit, the dumpster permit, the driveway apron permit, and a permit for 2 HVAC units for 4905 Cumberland Ave. I also recommend the applicant provide the Town with a certified wall check and a certified building height survey.

Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Town of Somerset
4510 Cumberland Avenue
Chevy Chase, MD 20815

February 22, 2024
revised 2-29-24
4-9-24, 5-1-24

Tree Removal Permit – 4905 Cumberland Avenue

ON APRIL 4, 2024, TREES #1, 12, 13, and 14 WERE REMOVED WITHOUT A PERMIT.

The trees requested for removal and the reason for removal are given below. Photos and a plan are attached. Sizes in diameter at 4.5' above ground level.

Tree 1 – Red Oak 10" - in the footprint of the proposed driveway

Tree 2 – Japanese Maple 5"

Tree 3 – Flowering Dogwood 5"

Tree 4 – Leyland Cypress 12"

Tree 5 – Leyland Cypress 4"

Tree 6 – Leyland Cypress 17"

Tree 11 – Dawn Redwood 23" – in the footprint of the house.

Tree 12 – Flowering Cherry 6" – in the footprint of the driveway.

Tree 13 – Redbud 4" – in the footprint of driveway/steps.

Tree 14 – Crepe Myrtle 10" – in the footprint of the driveway.

Tree 15 – Norway Spruce 19" – in poor condition; in the footprint of the drywell; removal would be recommended if requested and not associated with a building permit.

Tree 16 – Red Oak 16" – poor condition, in decline; in the footprint of the garage; removal would be recommended if requested and not associated with a building permit.

The following trees are proposed as a reforestation plan.

2 canopy trees (red maple, sugar maple, black gum, oaks), five ornamental trees (flowering cherry, dogwood, redbud), and 5 evergreen tree (holly, white pine, spruce).

Bonding requirements:

12 trees removed x \$500.00 = \$6,000.00

Note: After consulting with the Owner on site, the site plan was modified to save trees 18, 19, 21, 22, and 23. The proposed landscape plan by the Owner is attached. Blue are new trees, C are canopy trees, E are evergreen trees, and O are ornamental trees.




Tolbert V. Feather

7826 Spout Spring Rd., Frederick, MD 21702, tfeather@xecu.net, 240 271 6749, Fax (301) 662-9315
MD Tree Expert License#880, ISA Certification #PD-0715, MD Pesticide Applicator#2070-5937

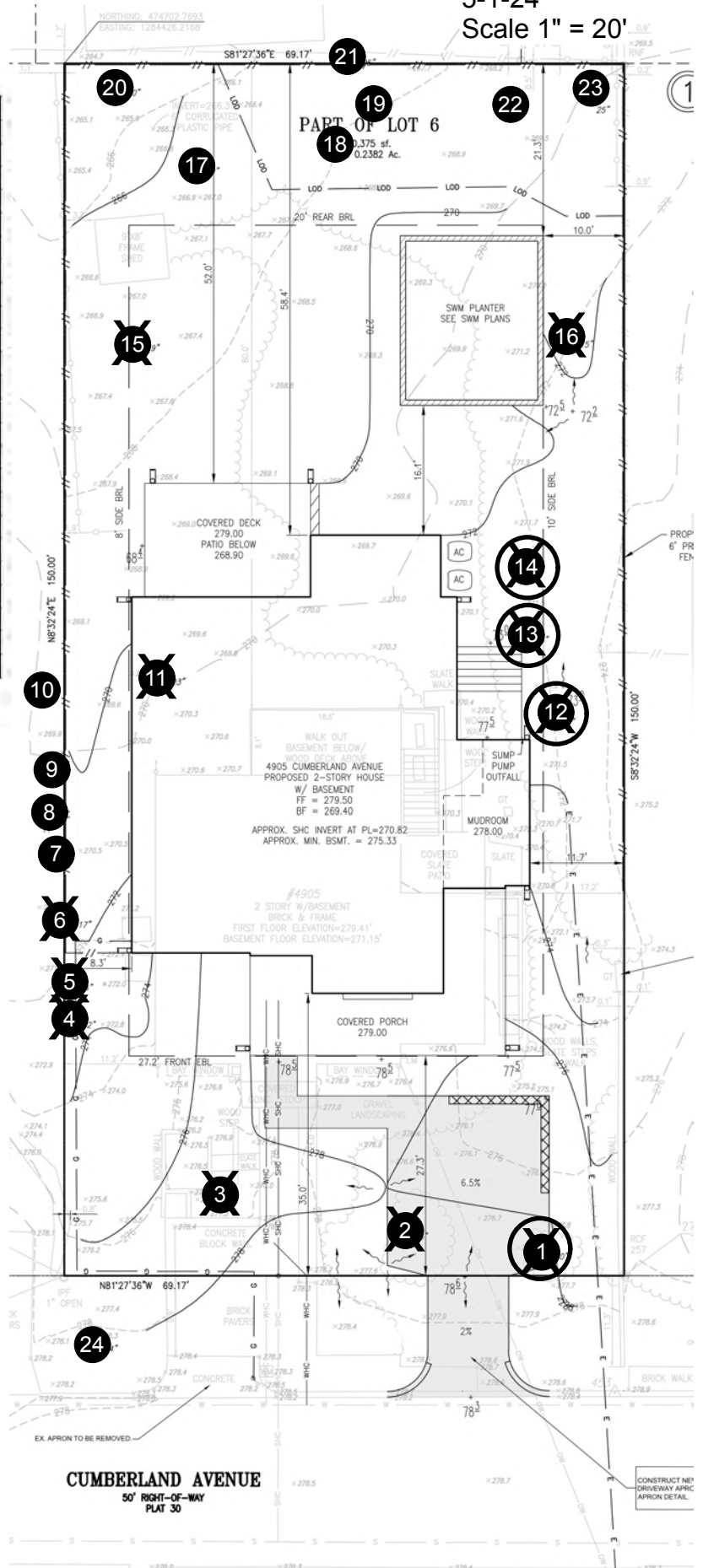
Tree Inventory all trees 4" or greater in diameter.

ID	Tree	Size	Request	Comments
1	Red Oak	10	Remove	WITOUT PERMIT
2	Japanese Maple	5	Remove	
3	Flowering Dogwood	5	Remove	
4	Leyland Cypress	12	Remove	
5	Leyland Cypress	4	Remove	
6	Leyland Cypress	17	Remove	
7	Leyland Cypress	10	Save	Shared tree
8	Leyland Cypress	11	Save	Neighbor's tree
9	Leyland Cypress	13	Save	Neighbor's tree
10	Crabapple	6	Save	Neighbor's tree
11	Dawn Redwood	23	Remove	
12	Flowering Cherry	6	Remove	WITOUT PERMIT
13	Redbud	4	Remove	WITOUT PERMIT
14	Crepe Myrtle	10	Remove	WITOUT PERMIT
15	Norway Spruce	19	Remove	
16	Red Oak	16	Remove	poor condition
17	Redbud	8	Save	
18	Crepe Myrtle	12	Save	multi-stem
19	Dawn Redwood	5	Save	
20	Birch	10	Save	
21	White Oak	22	Save	shared
22	Dawn Redwood	5	Save	
23	White Oak	23	Save	
24	Crepe Myrtle	10	Save	Public Tree

size inch diameter at 4.5' above ground level, multi-stem measured at base

 Trees proposed for removal

 Trees removed without a permit



Red Oak Tree 1



Japanese Maple Tree 2



Dogwood Tree 3



Leyland Cypress Trees 4 -5



Leyland Cypress Tree 6



Dwan Redwood Tree 11



Flowering Cherry Tree 12



Redbud Tree 13



Crepe Myrtle Tree 14



Norway Spruce Tree 15

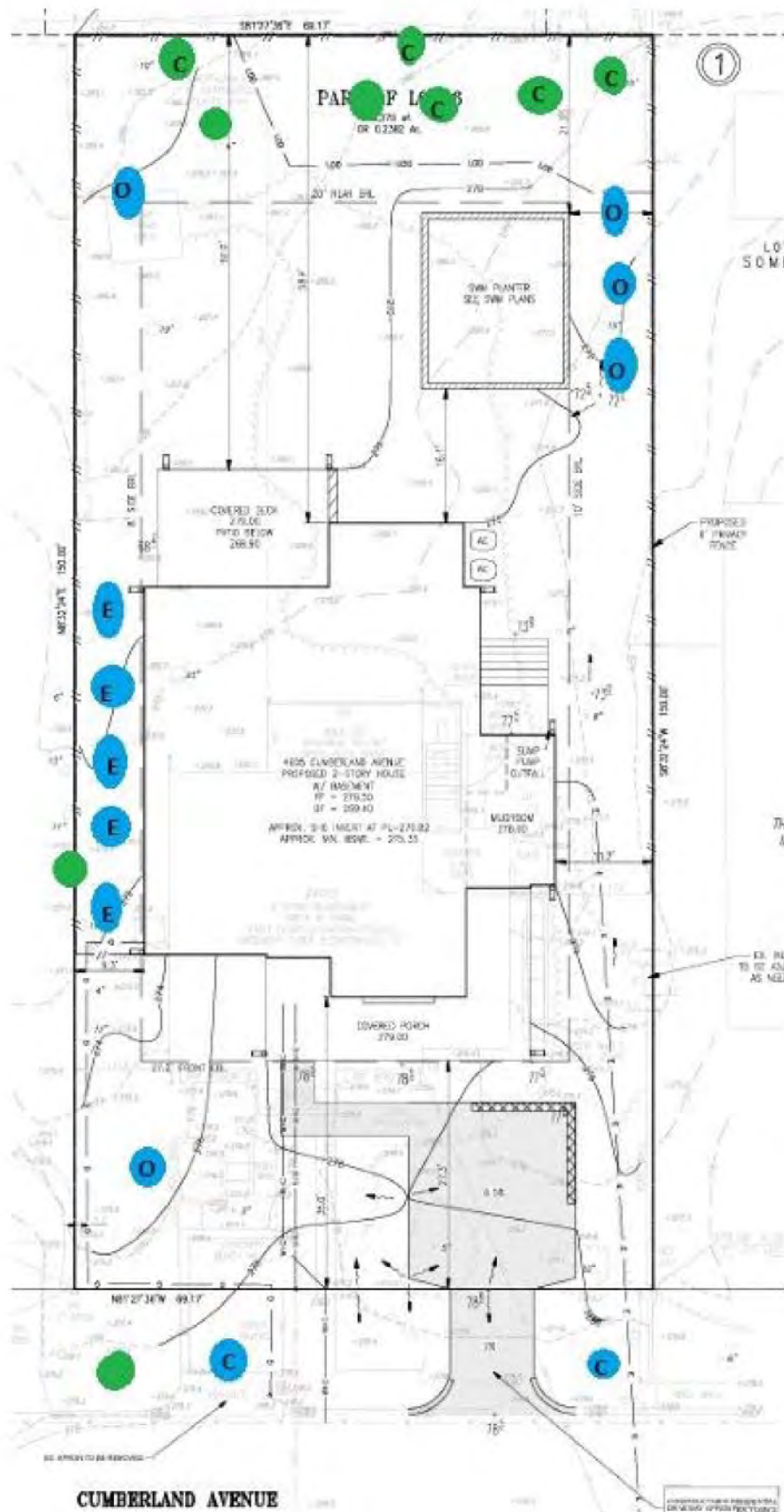


Red Oak Tree 16



Photos taken April 9, 2024, showing the 4 trees removed.





Feather & Assoc.

Tolbert V. Feather, Ph.D.

*Advisors for: Landscape Development
Landscape Management, Plant Pest Management*

Tree Protection Plan
Town of Somerset

February 29, 2024
revised 5-1-24

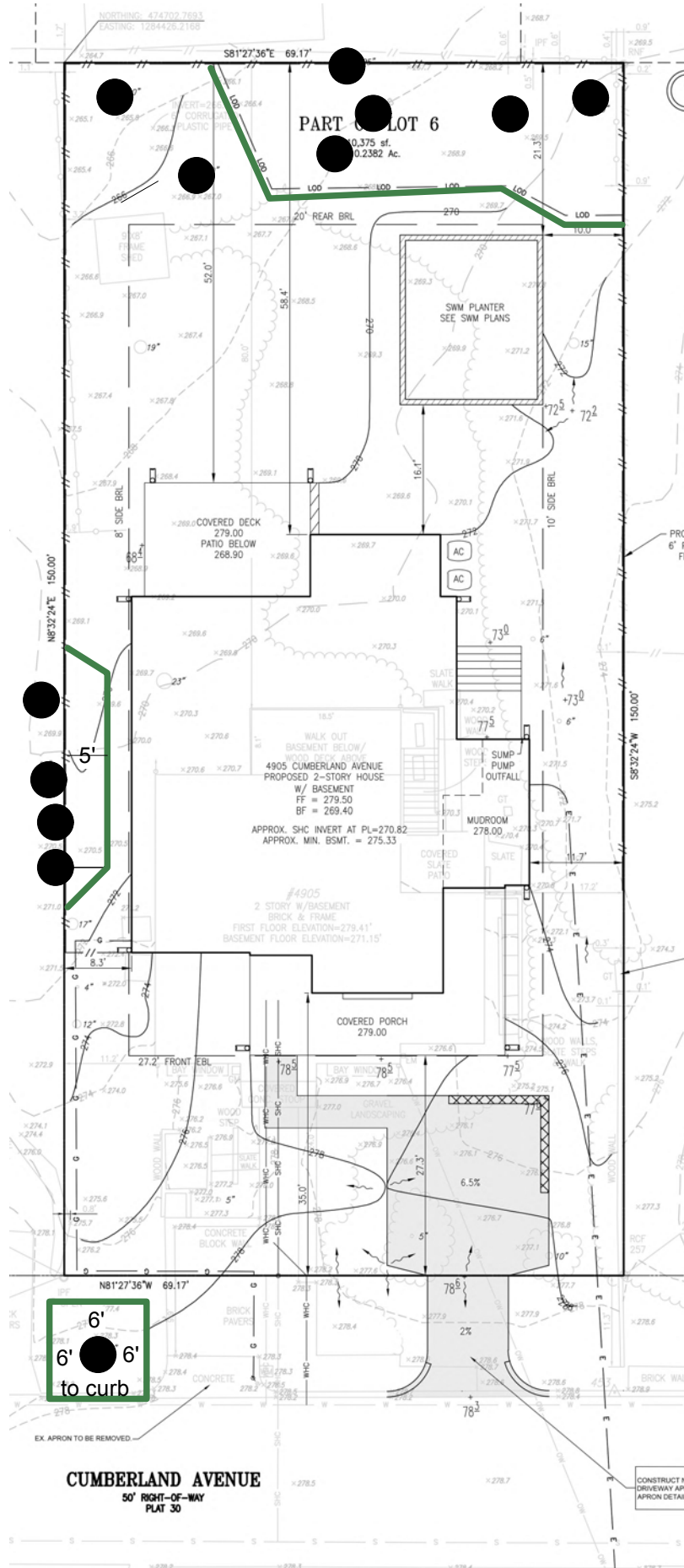
4905 Cumberland Avenue

Attached is a map of the tree protection plan for the residence at 4905 Cumberland Avenue.
On the condition that the Owner complies with the tree protection plan, The Town of Somerset may issue the building permit.

Tree protection shall include:

1. Tree protection fencing shall be installed in the locations shown on the plan. Tree protection fencing shall delineate the tree protection zones. Tree protection fencing shall be 4' tall, continuous, easily visible, and supported with 4"x4" hardwood stakes or steel poles. The fencing shall be clearly and obviously marked with signs in English and Spanish as tree protection zones.
2. The Owner/Contractor shall inform all on-site workers that the tree protection zones shall not be entered. Neither materials nor equipment shall be stored within the tree protection zones. No grading shall be done within the tree protection zones. The grading outside the tree protection zones shall not be changed to divert and collect water within tree protection zones.
3. The silt fence shall follow tree protection fencing.
4. Hand dig pipe trench in the back corner of the property. Conserve any live roots 1" or greater in diameter.
5. The Town of Somerset office shall be notified if any change in the construction plans would impact the protected trees.
6. If excavation (outside of the tree protection zone) exposes roots on protected trees, the damaged roots shall be cleanly cut before backfilling the excavation.
7. The Owner/Contractor shall maintain the fencing until the house and hardscape construction is completed. The fencing may be removed for the preparation and installation of new landscaping.

20



Tree Protection Fencing
Silt fence shall follow tree protection fencing



April 19, 2024

Mr. EJ Hardwick
manager@townofsomerset.com
Town of Somerset, Maryland
4510 Cumberland Avenue
Chevy Chase, Maryland 20815

Re: 4905 Cumberland Ave
Stormwater Management Conditional Approval

Mr. Hardwick:

BayLand Consultants & Designers, Inc. (BayLand) has completed our stormwater management review of the revised permit plans for the proposed stormwater management for the single lot residential development of 4905 Cumberland Ave Chevy Chase Maryland 20815 as transmitted via email to us from the Town on April 17, 2024. We issue our conditional approval of the plans submitted with the understanding that the developer will address the following comments prior to presenting the building permit application to the Town Council for approval.

1. Provide documentation of Montgomery County Department of Permitting Services (DPS) review and approval of the revised stormwater management design plans.
 - a. **Staff note: The application can be approved by the Town before DPS, but the permit cannot be issued until DPS approves.**
2. Provide justification why the new driveway with a slope of less than 5% slope is not being constructed of permeable materials.
 - a. **Staff note: the updated plans show the slope at 6.5%.**
3. Review and update plans to correct erroneous details that show the original design such as "Plantarbox Section @ Garage" on Sheet 5. Correct spelling of planter box.
 - a. **Staff note: this has since been corrected.**

If you have questions or concerns, please do not hesitate to contact me at (410) 694-9401 or cstepp@baylandinc.com.

Sincerely,

Christopher Stepp, P.E.
Practice Leader

P:\8_44701_Town of Somerset SW Drainage Plan Review\01 SW Plan Review Services\4815 Cumberland Ave\2023-02-07 Submittal 1\2023-02-10_4815 Cumberland Ave SW First Review.docx



Matthew M. Gordon, Esquire

mgordon@sgrwlaw.com

Direct Dial: 301-634-3150

April 12, 2024

Via Email ron@boltlegal.com

Town of Somerset

Mayor and Council

c/o Ron Bolt

4510 Cumberland Avenue

Chevy Chase, Maryland 20815

RE: 4905 Cumberland Avenue, Chevy Chase (the "Property") – Request for hearing and final action on building permit on May 6, 2024

Dear Ron:

On behalf of my clients Guido and Sharmeen Bracciale (the "Applicant"), please accept this letter as our request for the Mayor and Council to **schedule a public hearing on May 6, 2024** for final action by the Town of Somerset (the "Town") on the above-referenced building permit application for the Property. As described in greater detail below, the Applicant has revised its building permit to: (a) reduce the proposed height of the single-family detached dwelling to comply with the maximum height allowed by Section 112-14(c)(1) of the Town's Building Code; and (b) eliminate the proposed detached garage. Accordingly, the building permit complies with all standards in the Town Building Code (as well as the Montgomery County Zoning Ordinance) and does not require any variances from the Mayor and Council.

Background and Revisions to Building Permit to address Town Comments

By way of background, the Applicant made its initial building permit submission to the Town on September 15, 2023. Since the time of its initial submission, the Applicant diligently coordinated with the Town's staff and consultants to process its building permit in full conformance with the Town's Building Code. Subsequent to the Applicant expending significant time and resources to prepare fully compliant building permit plans, the Town amended its Building Code two (2) times, on December 4, 2023 (changing the maximum building height allowed) and on January 8, 2024 (changing the standards for stormwater planter boxes). The Town's failure to include grandfathering for pending building permit applications as of the date of these changes has

{00698022;1 }

Selzer Gurvitch Rabin Wertheimer & Polott, P.C.

4416 East West Highway • Fourth Floor • Bethesda, MD 20814-4568 Phone:

(301) 986-9600 • Fax: (301) 986-1301 • Toll Free: (888) 986-9600

www.selzergurvitch.com

April 12, 2024

Letter to Town of Somerset re: 4905 Cumberland Ave. Building Permit

Page 2 of 4

resulted in substantial delay, hardship and additional expenses (engineering, architectural, and legal fees) that were unforeseen. Notwithstanding the foregoing, the Applicant has decided to revise its building permit plans to comply with these retroactive changes to the Town's Building Code in lieu of pursuing any variances from the Town. The changes made to the building permit are summarized below.

A. Revised Building Height

As reflected on the updated building permit plans that have been submitted to the Town, the proposed single-family detached dwelling has been reduced to a mean building height of 27'11" (28' maximum allowed) and peak building height of 32-9 ¾" (33' maximum allowed) in full conformance with Section 112-14(c)(1) of the Town's Building Code.

B. Elimination of detached garage

Notwithstanding the fact that the previously proposed detached garage (an accessory structure) would have been exempt from the more stringent setbacks added to Section 112-14(D)(2) of the Town Building Code after the Applicant's building permit had been filed for many months¹, the Applicant has voluntarily eliminated the detached garage and will instead provide an uncovered parking area adjacent to Cumberland Avenue.

Revisions to Building Permit to address comments from Dr. Borek and Dr. Cortese

The Applicant has reviewed the March 28, 2024, letter from Dr. Borek and Dr. Cortese's attorney and intends to work in good faith to amicably resolve those concerns, as described below.

A. Building Height Concern

As described above, the Applicant has agreed to reduce the building height of the proposed home to fully satisfy the maximum allowed by Section 112-14(c)(1) of the Town Building Code, which addresses this concern.

¹ Section 112-114(D)(2)(b) of the Town Building Code exempts "any lot that has a rear lot line adjoining a lot that fronts on Drummond Avenue" from the Town's more stringent accessory building setback standards and expressly provides that these properties **"shall be subject to the provisions of the Montgomery Code regarding setbacks for accessory structures."** The Property has a rear lot line adjoining a lot (4832 Drummond Avenue) that fronts on Drummond Avenue and therefore is only subject to the Montgomery County Zoning Ordinance's accessory structure setbacks. The prior version of the building permit satisfied the Montgomery County Zoning Ordinance's 5' setback for a detached garage and therefore fully complied with the Town Building Code.

April 12, 2024

Letter to Town of Somerset re: 4905 Cumberland Ave. Building Permit

Page 3 of 4

B. Tree No. 1 (10" Red Oak)

The Applicant's contractor mistakenly removed this tree without authorization from the Applicant. As soon as the Applicant learned of the mistake, it took immediate action to have the contractor cease any other activities at the Property until the Town has reviewed and acted on its pending building permit application. While it is not feasible to retain this tree, the Applicant intends to reforest the Property to include a replacement tree, in consultation with the Town arborist. The Applicant's reforestation plan, which has been shared with Dr. Borek and Dr. Cortese's counsel, proposes to mitigate for the 10" red oak and two small ornamental trees (5" each) through planting of two canopy trees and one ornamental tree. The Applicant is committed to working with the Town arborist to determine the appropriate mitigation plantings.

C. Wall and Fencing Details

Since the Applicant has removed the proposed detached garage, it is able to eliminate the retaining wall that was proposed adjacent to Dr. Borek and Dr. Cortese's property. The Applicant has shared updated plans with Dr. Borek and Dr. Cortese's counsel that illustrate this change and address the stormwater runoff concern raised in the March 28, 2024 letter.

Additionally, the Applicant has removed the previous fence details from the building permit application and understands that it will be required to obtain a subsequent permit for a fence in the future. However, given the delays and hardships experienced to date, it is critical that the Applicant be able to move forward with its building permit so that it can commence construction on the single-family dwelling in the near future. When the Applicant develops an updated plan for the fence, it will share those plans with Dr. Borek and Dr. Cortese's counsel prior to filing for the requisite permit. To the extent that the neighboring owner has comments, the Applicant will reasonably address such comments in any future permit submission for a fence.

Conclusion

Based upon the above-mentioned revisions to the building permit, we respectfully request that the Town schedule a public hearing and take final action on the Applicant's building permit on May 6, 2024. Timely resolution and action on this building permit, which has been pending for nearly 7 months, is imperative so please respond to confirm the scheduling of the requested hearing at your earliest convenience.

April 12, 2024

Letter to Town of Somerset re: 4905 Cumberland Ave. Building Permit

Page 4 of 4

Very truly yours,

Selzer, Gurvitch, Rabin, Wertheimer & Polott, P.C.

Matthew M. Gordon

Matthew Gordon

cc: Guido and Sharmeen Bracciale
EJ Hardwick, Town Manager
Michele Rosenfeld, Counsel to Dr. Christopher Borek and Dr. Irene Cortese

Guido & Sharmeen Bracciale
4905 Cumberland Ave
Chevy Chase MD 20815

Somerset Council
4510 Cumberland Ave
Chevy Chase MD 20815

May 3rd, 2024

Dear Mayor Slavin and Esteemed Members of the Town of Somerset Council,

From 2011 to 2018, we were proud homeowners in Somerset, residing at 5800 Deal Place. During that time, we cherished raising our family in the Town and forming lasting friendships with our neighbors. After a six-year hiatus, we eagerly anticipate returning to Somerset and are thrilled to establish our new home, better tailored to our family's needs, at 4905 Cumberland Ave. With great enthusiasm, we embark on a new chapter of our journey, poised to create new memories and forge even deeper connections within the community we hold dear.

We are slated to present our project at the forthcoming Town Council meeting on May 6, 2023. However, our path to this point has been fraught with months of frustration, obstacles, and unnecessary additional costs due to evolving ordinances and a noticeable absence of clear direction from the Town on navigating the approval process. Despite consulting with the Town Manager and experts at each stage of this lengthy and challenging process, it remains inexplicably prolonged.

Below please find a detailed timeline of our project's progression.

- Sept 15, 2023 – Initial submission of project documents including site and tree removal plans.
- Oct 12, 2023 – First rework of the storm water manager plan per Somerset storm water management consultant feedback.
- Nov 28, 2023 – Second rework of the storm water management plan to address Arborist's newly received tree report and neighbor's comments/concerns regarding the driveway and garage.
- Dec 4, 2023 – The Town adopts the height restriction Ordinance and introduces the micro-bio-retention amendment.
- Dec 7, 2023 – Third rework of the storm water manager plan due to the Town's recently updated micro bio retention ordinance.
- Dec 18, 2023 – Updated storm water management submitted to the Town.
- Dec 19, 2023 – The Town informs us of adoption of a new height restriction with subsequent communication that a variance was not necessary as we had applied prior to this date.

- Jan 9, 2024 – The Town’s height restriction ordinance effective date.
- Feb 13-16, 2024 - Montgomery County and Town of Somerset storm water management approvals granted.
- Mar 1, 2024 – Email received from the Town of Somerset Manager stating the Town’s document submission deadline for hearings was updated to the 10th of the month resulting in postponement of our hearing to April 1st from March 4th.
- Mar 5, 2024 – Effective date of the Town Code micro-bio-retention ordinance.
- Mar 6, 2024 – In person meeting with the Town of Somerset Manager with verbal confirmation of a hearing at the April 1st Council meeting without any variances.
- Mar 14, 2024 – Email confirmation from the Town of Somerset Manager regarding April 1st hearing with no variances.
- March 22, 2024 – Town delivered notices to neighboring properties indicating no variance is required for April 1 Council hearing.
- Mar 26, 2024 – Lawyer representing neighbor at 4823 Cumberland Ave requests a postponement of the hearing due to their client's vacation plans.
- Mar 27, 2024 – Town Manager communicates a mistake had been made and a height variance is needed, and our hearing has been dropped from the April 1 Council meeting.
- Apr 1, 2024 – Town Manager memo to the Council indicates a second variance may be needed for the driveway and garage.
- Apr 2, 2024 – Fourth rework of the storm water management plan to address newly discovered variance with updates to the architectural drawings to address height ordinance.
- Apr 3, 2024 – During an in-person meeting, the Town Manager informs us that our hearing has been rescheduled to April 15, 2024. During the discussion it becomes known that a memo had been submitted to the Town by the lawyer representing our neighbor at 4823 Cumberland Ave to the Town, however, due to an error on the part of Town Management this information was not disclosed to us.

After diligently navigating the Town’s procedures in tandem with Town management and experts, we are finally scheduled for a hearing on May 6, 2024. Since April 3, we have undertaken substantial revisions to our proposed home, investing additional time and resources alongside our team of architects and engineers, to refine our project plans to ensure full compliance with Town’s most current regulatory standards by:

- Restructuring our living space and eliminate the entire third level of the home;
- Removing the Town experts approved fence from the application to accommodate our neighbors’ concerns’
- Completely removing the garage;
- And significantly reduced the driveway.

Despite facing numerous obstacles, most of which were beyond our control, we pressed forward. We worked closely with Town management and experts following their guidance at each step in this process. This resulted in our significantly revising the storm water management plan on four separate instances along with two updates to the architectural drawings. We have endured a never-

ending cycle of finding out we are in compliance with all the Town's ordinance only to find out weeks later that we are no longer in compliance. Construction projects are complex with several parties' involvements and cannot be turned around on a dime. We also felt the need to retain a land use attorney to protect and preserve our right to construct a fully conforming house at the property. The Town's changes to its building code, months after we applied for the permit, have resulted in approximately \$20,000 in additional expenses that could not have reasonably been foreseen.

Now, we embarked on a final effort to secure full permit approval by implementing significant alterations to our home as outlined above, with the goal of attaining full approval for our project at the May 6th Council meeting without any additional issues raised.

We look forward to a successful hearing and eagerly anticipate reconnecting with the Somerset community.

Thank you,

Guido and Sharmeen Bracciale

Town of Somerset

House Number Certification

The undersigned building permit applicant hereby certifies, in accordance with Town Code Section 116-6.M, that the house number for the subject property will be displayed in accordance with Montgomery County Code Sec. 22-97, as amended or replaced.

The undersigned acknowledges that the proper display of the house number is critical for the identification of the property by emergency responders.

The undersigned acknowledges and understands that Montgomery County Code Sec. 22-97 (2022 edition) provides, in pertinent part, as follows:

“Sec. 22-97. Address numbers.

(a) The owner of any structure presently existing or constructed in the future must display Arabic numbers designating the address assigned to the structure by the Maryland-National Capital Park and Planning Commission, or by the municipality in which the structure is located. Numbers must be at least five (5) inches high for single-family detached and attached residences and at least six (6) inches high for commercial, industrial or multifamily structures. However, if the numbers designating the address of a single-family residence on April 5, 1988, were at least three (3) inches high, those numbers comply with the size requirement of this section as long as they remain in place. Address displays must be posted on a contrasting background displayed in a conspicuous place that is unobstructed and clearly readable from the street named in the official address of the structure.”

(1982 L.M.C., ch. 30, § 1; 1988 L.M.C., ch. 33, § 1.)

Subject property:

9905 CUMBERLAND
AVE

Applicant:



NOW BUILT 9/15
2:35¹pm

Town of Somerset Permit and Waiver Application

If your home is in the Historic District, please refer to the Historic District instructions in addition to completing applicable permit below.

Street address for which permit applies: 4905 CUMBERLAND Date 7-1-23

Applicant Information:

Name: GUIDO BRACCIALE Phone _____

Address: 4905 CUMBERLAND Cell Phone: 202 210 3688

City, State and Zip: CHEVY CHASE
MD 20815 Email: GUIDO-BRACCIALE@YAHOO.COM

Property Owner Information or Co-Owner Information (if other than applicant)

Name: GUIDO BRACCIALE Phone: _____

Address: 3919 OLIVER ST Cell Phone: 202 210 3688

City State and Zip: CHEVY CHASE
MD 20815 Email: GUIDO-BRACCIALE@YAHOO.COM

Contractor Information:

Name: SAME AS OWNER Phone _____

Address: _____ Cell Phone: _____

City, State and Zip: _____ Email _____

Contractor License Number:

Maryland Home Improvement (for additions) _____

Montgomery County Office of Consumer Protection (for new homes) _____

For Building Permits Only:

Legal description (lot and block) PART OF LOT 6

Date of subdivision plat recordation of lot: SOMERSET HEIGHTS

Disclaimer:

The Town of Somerset makes no warranties or representations as to the currency or accuracy of the content on this site or any other site to which reference is made herein by linking or otherwise. The Town of Somerset assumes no liability or responsibility for any errors or omissions in the content or operation of this or other sites referenced herein. Information on this website may be changed, deleted, added to, or otherwise modified or amended without notice. Your use of and browsing in this site, and any other site to which you may be linked or directed by this site, is at your own risk.

Town documents, including but not limited to the Town of Somerset Charter and Code, appearing on this site may not be the current official version adopted or maintained by the Town. The current official version of all Town documents, including the Town Charter and Code, are available for inspection at the Town Hall and should be consulted prior to any action being taken.

For further information regarding the official version of any Town document, please contact the Town directly at:

4510 Cumberland Avenue Chevy Chase, MD 20815 301-657-3211

town@townofsomerset.com

Property in Somerset's Historic District

If your property is in the Somerset Historic District, please visit the website for Montgomery County's Historic Preservation Commission at http://www.montgomeryplanning.org/historic/instructions/historic_area_work_permits.shtml and become familiar with the process. Town of Somerset strongly suggests that you set up a pre-permit meeting with the Town of Somerset before beginning the permit process with HPC and the County in order to avoid the possibility of having to return to them to apply for a revision. There may be a fee charged for this meeting. Contact the Town Manager to arrange such a meeting. Following your pre-permit meeting with Somerset, take your plans to the County Historic Preservation Office for further instructions. Once you are in their system, they will send your plans to the Local Advisory Panel (LAP). In Somerset, members of the town's council are acting as the LAP. As such, council members will not be making a decision on the building permit. Once the Historic Commission approves the plans and issues the Historic Area Work Permit, they will forward the plans to the Montgomery County permitting office for their permit approval. Once you have both of the county permits, you apply for a Town of Somerset permit and put yourself on the schedule for a Town Council meeting where a decision will be made.

Please ensure that you submit a complete application; incomplete applications will not be reviewed. Refer to the Permit Instruction Sheets for details on how to apply for your particular permit(s). In addition, it is strongly suggested that you consult with the Town Manager about the need for a pre-construction meeting.

Please check the appropriate boxes to indicate the permit(s) for which you are applying. See the Fee Schedule for associated fees and deposits.

Check Box	Town of Somerset Permit	Town Fee	Town Deposit	Neighbor Review Sheet	County Permit	Council or Mayor Approval
<input type="checkbox"/>	Install or replace exterior components for HVAC systems. <u>HVAC Permit Instructions</u>	Yes for Replacement. No if part of bldg permit	Yes*	Yes	Yes	Council (Mayor can approve in an emergency for eventual council approval)
<input checked="" type="checkbox"/>	Building Permit (new homes, additions, porch, stoop, garage, accessory bldg.) <u>Building Permit Instructions</u>	Yes	Yes	Yes	Yes	Council
<input checked="" type="checkbox"/>	Curb Cut, Driveway Apron, Sidewalk <u>Right-of-Way curb cut, driveway apron and curb cut instructions</u>	Yes	Yes*	Yes	No	Mayor**
<input checked="" type="checkbox"/>	Demolition Demolition Permit Instructions	Yes	Yes*	Yes	Yes	Council
<input checked="" type="checkbox"/>	Dumpster or Portable Storage Units <u>Dumpster or Portable Storage Unit Permit Instructions</u>	Yes	Yes*	No	No	Mayor**
<input checked="" type="checkbox"/>	Fences <u>Fence Permit Instructions</u>	Yes	No	Yes Inside and outside of Somerset	Yes if new; No if replacement in kind.	Mayor**
<input type="checkbox"/>	Walls: Permits required for walls more than 12" high <u>Wall Permit Instructions</u>	Yes	Yes	Yes* Inside and outside of Somerset	Yes if wall is more than 30" high	Mayor**

Check Box	Town of Somerset Permit	Town Fee	Town Deposit	Neighbor Review Sheet	County Permit	Council or Mayor Approval
<input type="checkbox"/>	Generator <u>Generator Permit Instructions</u>	Yes	Yes*	Yes	Yes	Council
<input checked="" type="checkbox"/>	Tree Removal <u>Tree Removal Instructions</u>	No	Depends* on number of trees and whether or not there is a reforestation plan.	Yes Inside and outside of Somerset	No	Mayor for 1-2 trees; Council for 3 or more trees;
<input type="checkbox"/>	Waivers <u>Waiver Instructions</u>	Yes	N/A	Town notifies neighbors	Possibly	Council
<input type="checkbox"/>	Application to extend permit	Yes	No	No	Possibly	Depends on type of permit

* If you are applying for a building permit and these items are part of the project, the cumulative deposit will not exceed \$2,000, with the exception of the Tree Reforestation deposit.

**Any item approved by the mayor that is also part of a building project will also require council approval.

Description of work to be done:

NEW BUILD SEE DRAWINGS

TEAR DOWN OF CURRENT PROPERTY ON THE LOT

REMOVAL OF ^{SIX} ~~SEVEN~~ TREES, PLANTING OF FOUR CANOPY TREES PLUS SIX ORNAMENTAL TREES.

LIST OF TREES

①	23"	DAWN REDWOOD	(BACK LEFT CORNER)
②	15"	TREE	APPARENTLY DYING (RIGHT CORNER OF HOUSE)
③	12"	"	(RIGHT CORNER OF PROPERTY)
④	19"	"	
⑤	6"	"	
⑥	10"	"	

Anticipated date for work to commence: OCTOBER 2023

Anticipated date for completion: 7-9 MONTHS AFTER COMPLETION

I certify that I am the owner(s) of the property for which I am applying for a permit, that the application is correct and that construction will comply with the plans submitted. I acknowledge this to be a condition of the issuance of this permit.

Owner Signature  Date 7-1-23

Printed Name GUIDO BRACCIALE

Co-Owner Signature SHARMEEN AHSAAN - Date 7-1-23

Printed Name BRACCIALE

Co-Owner Signature _____ Date _____

Printed Name _____

NEIGHBOR SIGNATURE SHEET

Note to neighbors: Please be aware that your signature on this document does not signify concurrence. It only confirms that you have seen the respective plans. You are welcome to comment on the plans by writing the Mayor or by attending the Council meeting on (applicant to fill in date) _____ when the Council will consider these plans.

Street address of project site: 4905 COMBERLAND
3919 OLIVER ST

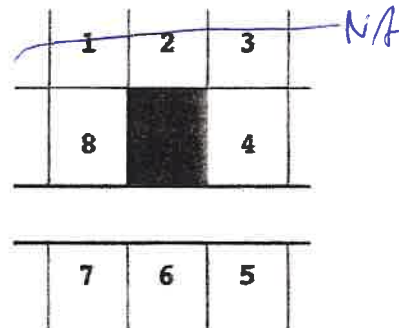
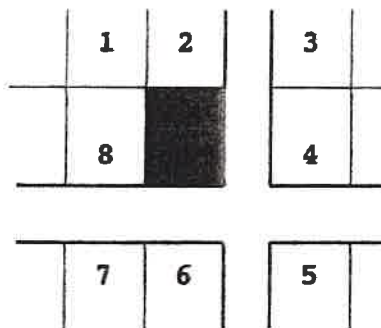
For the neighbor: Please check the box below for the plans that you have seen:

- ☒ Tree removal (include residents inside and outside of Somerset where applicable);
- ☒ External HVAC components, new location or replacement;
- ☒ New Construction (additions and new homes); Review drainage and storm water management plans as well as parking plan if applicable;
- ☐ New curb cut or driveway apron and sidewalk;
- ☒ Demolition
- ☒ Location of Dumpster or Portable Storage Device;
- ☒ Fence: new, relocated or replaced (includes residents inside and outside of Somerset where applicable);
- ☐ Walls (includes residents inside and outside of Somerset where applicable);
- ☐ Generator

Applicant: Using the following map as a key, list the names and addresses of the neighbors who adjoin or confront the property where project is to take place. "Adjoining or confronting" is defined as land that touches the boundary line of another property on at least one point, or which would do so except for an intervening road, street or right-of-way. Then ask neighbor to sign in the appropriate box.

☐ Corner Site

☒ Mid-block Site






1	Printed Name	Address	Signature	Date
2	Printed Name	Address	Signature	Date
3	Printed Name	Address	Signature	Date

NEW BUILT

Neighbor Signature Sheet

3

4	Printed Name Chm Bar	Address 4823 CUMBERLAND	Signature 	Date 7/1/23
5	Printed Name Bill HANLON	Address 4824 CUMBERLAND	Signature WRAH	Date 7/4/23
6	Printed Name Gillermo Israelovich	Address 4800 CUMBERLAND	Signature 	Date 7/5/23
7	Printed Name 	Address 4902 CUMBERLAND	Signature	Date
8	Printed Name Emily Wurtz	Address 4907 CUMBERLAND	Signature Emily Wurtz	Date 7/5/23

Applicant:

I certify that I have shown all the required neighbors the identical full-size plans (unless the cost of proposed work is less than \$25,000 in which case smaller plans can be used) that I have filed or will file with the Town of Somerset and, if applicable, Montgomery County Maryland. I further certify that I have notified the same neighbors of the anticipated date (noted above) that the Town Council, if applicable, will consider my permit application.

APPLICANT SIGNATURE



DATE 7-1-23

PRINTED NAME

GUIDO BRACCIALE

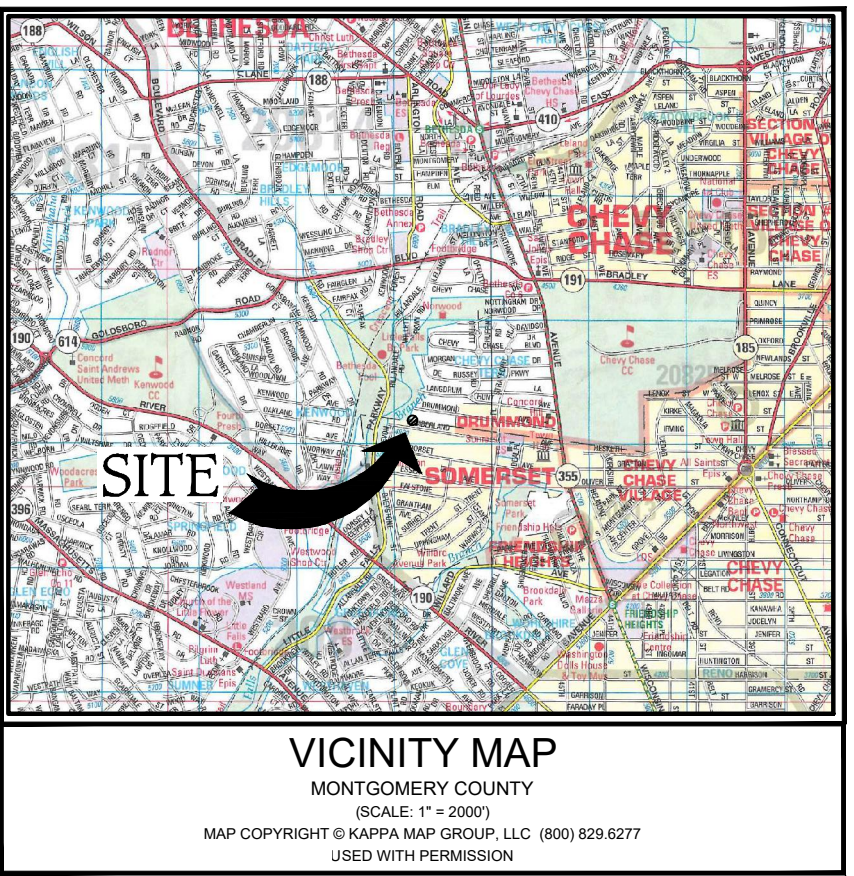
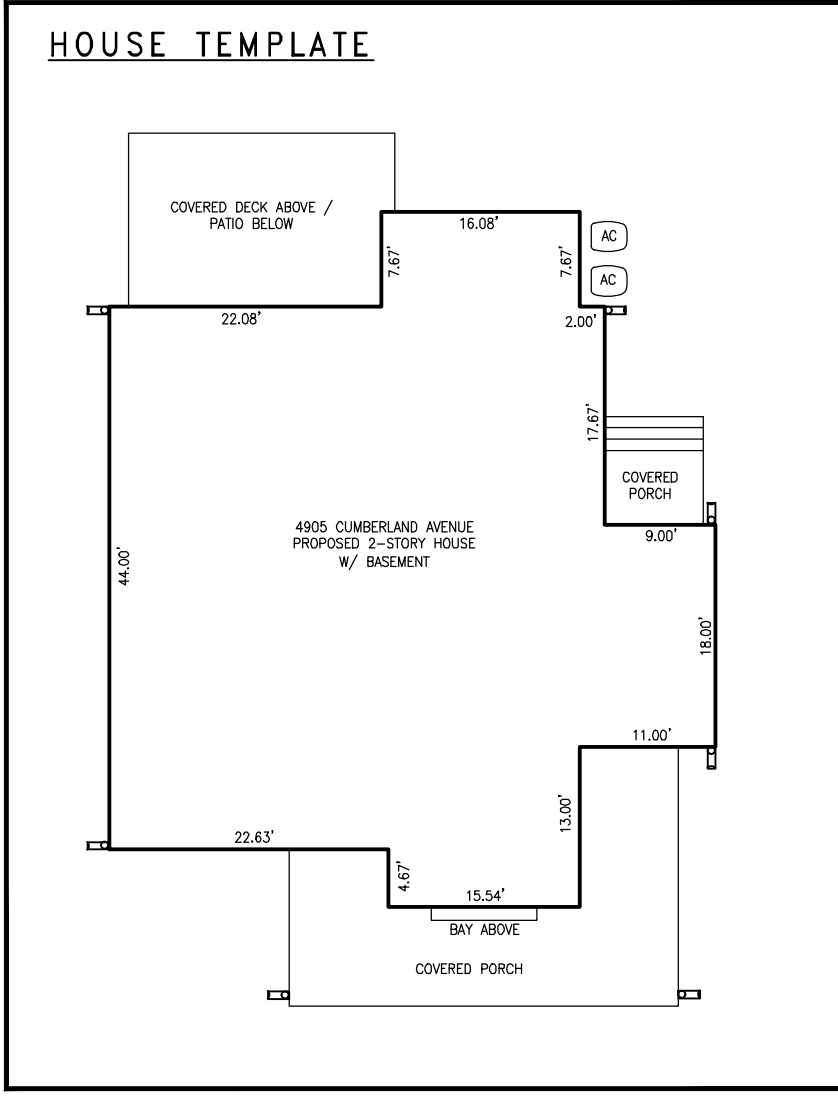
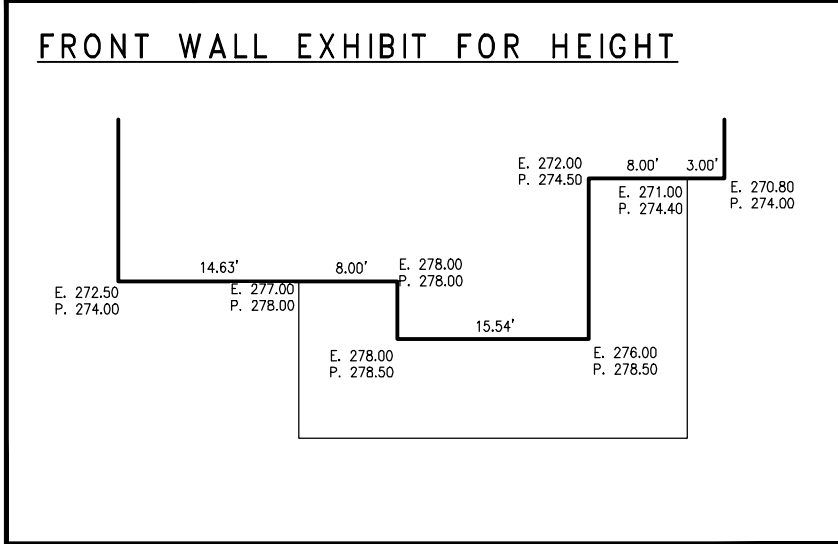
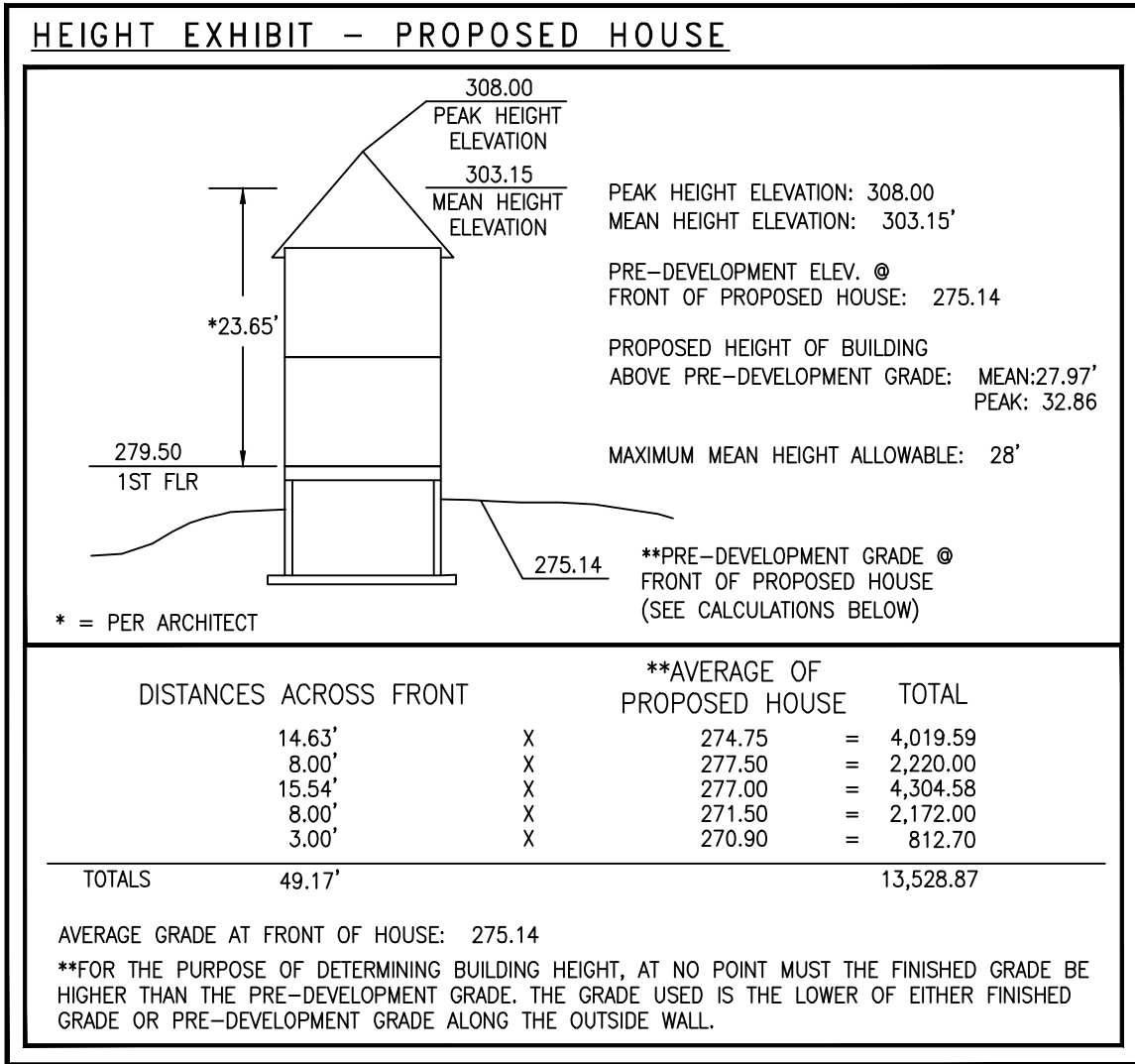
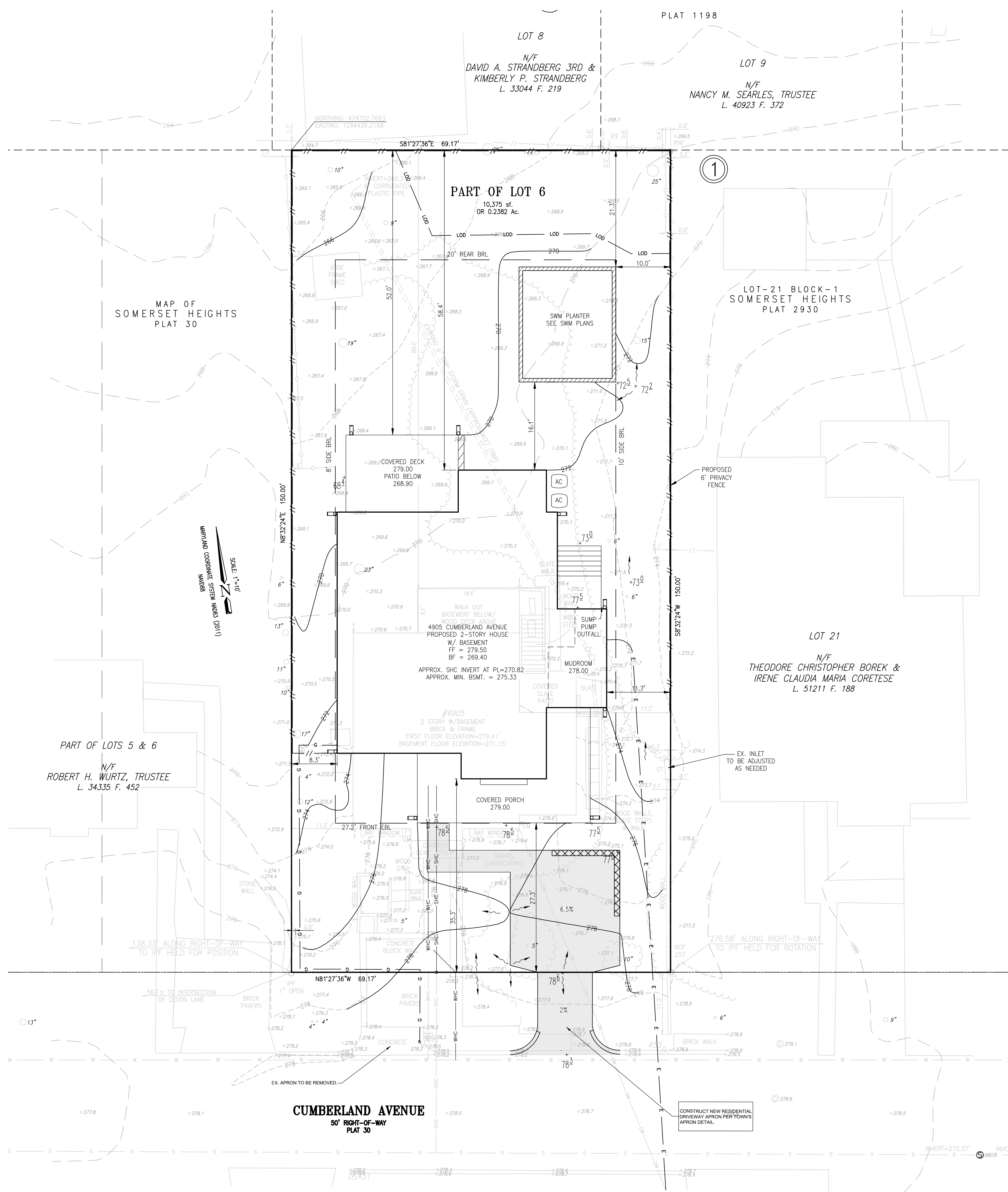
Current Town of Somerset Fee Schedule

As of 11/4/2019

CONSTRUCTION	Fee	Deposit
NEW HOME	Greater of \$2,500 or 1/2 Montgomery County fee	\$2,000
DEMOLITION OF A BUILDING, WITH A FOOTPRINT OF:		
·Fewer than 250 square feet	\$250	
·250 square feet or more	\$500	
LATE FEE (16-22 of month)	\$200	
SPECIAL MEETING	\$400	
ADDITIONS WITH TOAL SQUARE FOOTAGE OF:		
·Fewer than 200 square feet	\$200	\$2,000
·200 square feet or more	\$200 + \$1 per square foot above 200	\$2,000
SHED WITH A FOOTPRINT OF:		
·Fewer than 200 square feet	\$75	\$2,000
·200 square feet or more	\$150	\$2,000
PORCH, STOOP, OR DECK	\$75	\$2,000
DETACHED GARAGE	\$200	\$2,000
GENERATOR	\$50	\$2,000
HVAC UNIT	\$50	\$2,000
PERMIT AMENDMENT	\$150	
RIGHT-OF-WAY AGREEMENT	\$150	
WAIVER	\$1,000	
DRIVEWAY APRON, CURB CUT, AND/OR SIDEWALK	\$75	\$1,000
DUMPSTER	\$75	\$1,000
PORTABLE STORAGE UNIT	\$75	\$1,000
WALL	\$75	\$1,000

TREE REMOVAL	Fee	Deposit
1-2 TREES	n/a	n/a
3 OR MORE TREES	n/a	\$500 per tree

ACTIVITY	Fee	Deposit
POOL		
·Morning Swim	\$100 per season; \$5 per class for drop-in	
·Pool Key Tags	free; \$2 replacement fee	
·Pool Guest Fee	\$4 per guest per day	
·Pool Event	\$100	\$250
·Water Aerobics	\$5 per session	
TENNIS	\$25 per year	
TOWN HALL RENTAL	\$50 (per 5 hours)	\$400
TOWN HALL FOR CLASS	\$25/hour	\$400



- GENERAL NOTES**
- SITE:**
- ADDRESS: 4905 CUMBERLAND AVENUE, CHEVY CHASE MD 20815
 - LOT PART OF LOT 6, BLK 1
 - WATER/SEWER: W1, S1
 - TAX MAP: HW21
 - FLOODPLAIN: NONE
 - WSSC GRID: 208HW05
- SURVEY:**
- HORIZONTAL DATUM BASED ON NAD83(2011)
 - VERTICAL DATUM BASED ON NAVD83
 - TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED BY CPJ ON 07-11-2023 & SUPPLEMENTED WITH AVAILABLE GIS INFORMATION.
 - TOPO AT 2' CONTOUR INTERVALS
 - THIS LOT IS NOT ASSOCIATED WITH A PRELIMINARY PLAN
 - NO 100YR FLOODPLAIN/WETLANDS LOCATED WITHIN THE SITE.
 - NO HISTORIC SITE LOCATED WITHIN/ADJACENT TO THE SITE.
- ZONING:**
- SUBDIVISION: SOMERSET HEIGHTS, PLAT #30 RECORDED: 1999
 - PROPERTY ZONED: R-60
 - MAIN STRUCTURE SETBACKS:
 - FRONT YARD: 27.2' EBL
 - SIDE YARD: 8' / 10'
 - REAR YARD: 20'
 - LOT SIZE = 10,375 SQ. FT. (R)
 - MAXIMUM COVERAGE: ALLOWED = 25.625%
 - PROPOSED COVERAGE: 20.48%
- LOT COVERAGE CALCULATIONS:**
- | | | |
|----------------|---|---------|
| PROPOSED HOUSE | = | 2,124.9 |
| | = | 20.48% |
- TOPSOIL MUST BE APPLIED TO ALL PAVED AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDC STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS.

Montgomery Planning
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

2425 Reedie Drive
Floor 14
Wheaton, MD 20902
MontgomeryPlanning.org

July 6, 2023

James A. Mahoney, Trustee
Virginia A. Mahoney, Trustee
4905 Cumberland Avenue
Chevy Chase, MD 20815

Re: Part of Lot 6, Block 1, Somerset Heights (Tax ID# 07-00537121)

Dear Property Owner:

Planning staff has reviewed the deed history supplied to our office by Charles P. Johnson & Associates in regard to the property known as Part of Lot 6, Block 1, Somerset Heights. It is our finding that this part of the lot does not qualify for an exemption to the platting requirement pursuant to Section 50.3.3.B.4 of the Montgomery County Subdivision Regulations. The deed history provided indicates that this part of the lot (containing 10,375 square feet) existed in its present size and shape prior to June 1, 1958 (circa 1928 per deed recorded in Liber 470 at Folio 48). Therefore, the property will not need to be recorded by record plat prior to issuance of a building permit for **single-unit living** (single-family detached dwelling). This finding shall remain valid for a period of two (2) years from the date of this letter; any request for an exemption to the platting requirement for this property made subsequent to the validity date will be considered in accordance with the regulations in effect at that time.

This letter does not waive the authority of any governmental agency and does not guarantee issuance of a building permit or imply exemption status to any other statute. You may wish to contact the Montgomery County Department of Permitting Services to understand any other limitations associated with the issuance of a building permit on this property. This office advises you to also consider the ultimate clearing and grading needed to accommodate a new permitted structure on the property with respect to the applicability of the forest conservation law. If you have any questions regarding this transmittal, please contact me at 301-495-4522.

Sincerely,

Stephen J. Smith
M-NCPPC - IRC Division

cc: Jonathan Jones, M-NCPPC - IRC Division
Dan DeBolt, L.S., Charles P. Johnson & Associates (via email)

LANDSCAPE ARCHITECT CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND TAKEN FROM AVAILABLE PLANS AND RECORDS.

AMY T. SOMMER
REGISTERED LANDSCAPE ARCHITECT
MD #4234
EXPIRES: 10/20/2025

DATE: _____

Seal not valid without signature

UPDATES/REVISIONS:

NO.	DATE	DESCRIPTION

SITE PLAN
4905 CUMBERLAND AVENUE
PART OF LOT 6, BLOCK 1
SOMERSET HEIGHTS
BETHESDA (7th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

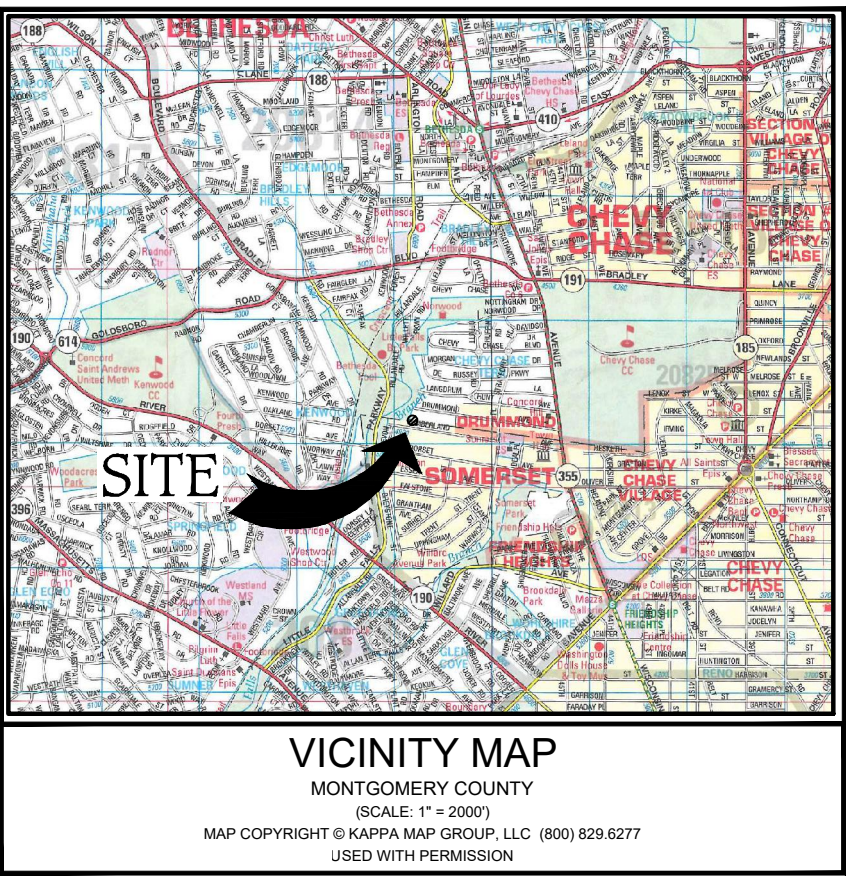
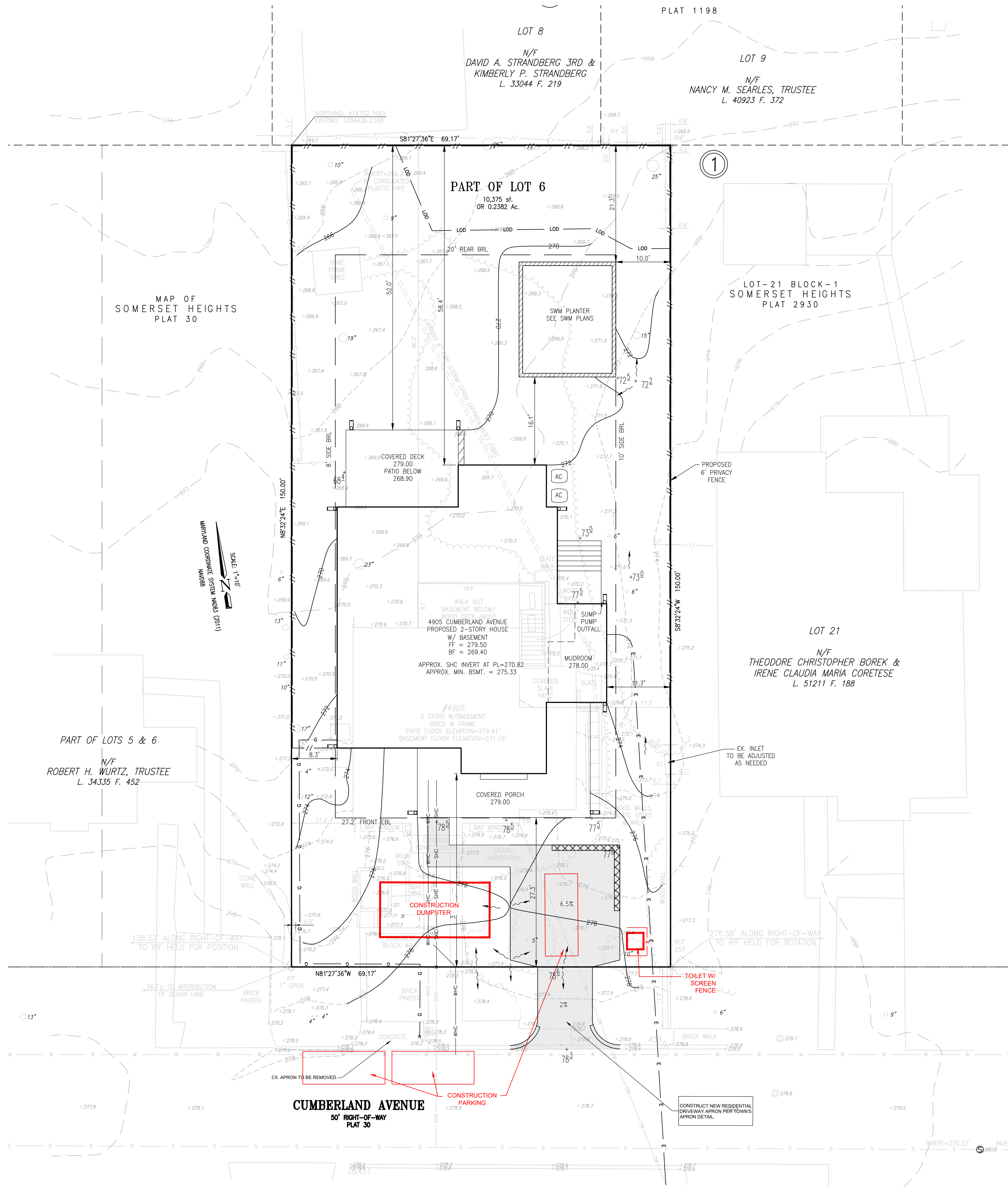
CPJ Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
www.cpj.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

CLIENT: LIZ HOMES
3818 OLIVER STREET
CHEVY CHASE, MD 20815
MR. GUIDO BRACCIOLE
LIZHOMESMD@GMAIL.COM

WSSC GRID: _____ TAX MAP: _____

DESIGN: RPI SHEET: 1 OF 1
DRAFT: RPI
DATE: AUG. 2023 FILE NO.: 2023-1250-21
SCALE: AS NOTED

COPYRIGHT © LATEST DATE HEREON CHARLES P. JOHNSON & ASSOCIATES, INC. ALL RIGHTS RESERVED. UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.



- GENERAL NOTES**
- SITE:**
- ADDRESS: 4905 CUMBERLAND AVENUE, CHEVY CHASE MD 20815
 - LOT PART OF LOT 6, BLK 1
 - WATER/SEWER: W1, S1
 - TAX MAP: H21
 - FLOODPLAIN: NONE
 - WSSC GRID: 208HW05
- SURVEY:**
- HORIZONTAL DATUM BASED ON NAD83(2011)
 - VERTICAL DATUM BASED ON NAVD89
 - TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED BY CPJ ON 07-11-2023 & SUPPLEMENTED WITH AVAILABLE GIS INFORMATION.
 - TOPO AT 2' CONTOUR INTERVALS
 - THIS LOT IS NOT ASSOCIATED WITH A PRELIMINARY PLAN
 - NO 100YR FLOODPLAIN/WETLANDS LOCATED WITHIN THE SITE.
 - NO HISTORIC SITE LOCATED WITHIN/ADJACENT TO THE SITE.
- ZONING:**
- SUBDIVISION: SOMERSET HEIGHTS, PLAT #30 RECORDED: 1899
 - PROPERTY ZONED: R-60
 - MAIN STRUCTURE SETBACKS:
 - *** FRONT YARD: 27.2' EBL
 - *** SIDE YARD: 8' / 10'
 - *** REAR YARD: 20'
 - LOT SIZE = 10,375 SQ. FT. (R)
 - MAXIMUM COVERAGE: ALLOWED = 25.625%
 - PROPOSED COVERAGE: 20.48%
- LOT COVERAGE CALCULATIONS:**
- | | | |
|----------------|---|---------|
| PROPOSED HOUSE | = | 2,124.9 |
| | = | 20.48% |
- TOPSOIL MUST BE APPLIED TO ALL PIERVIOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDC STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

CONSTRUCTION MANAGEMENT SITE PLAN

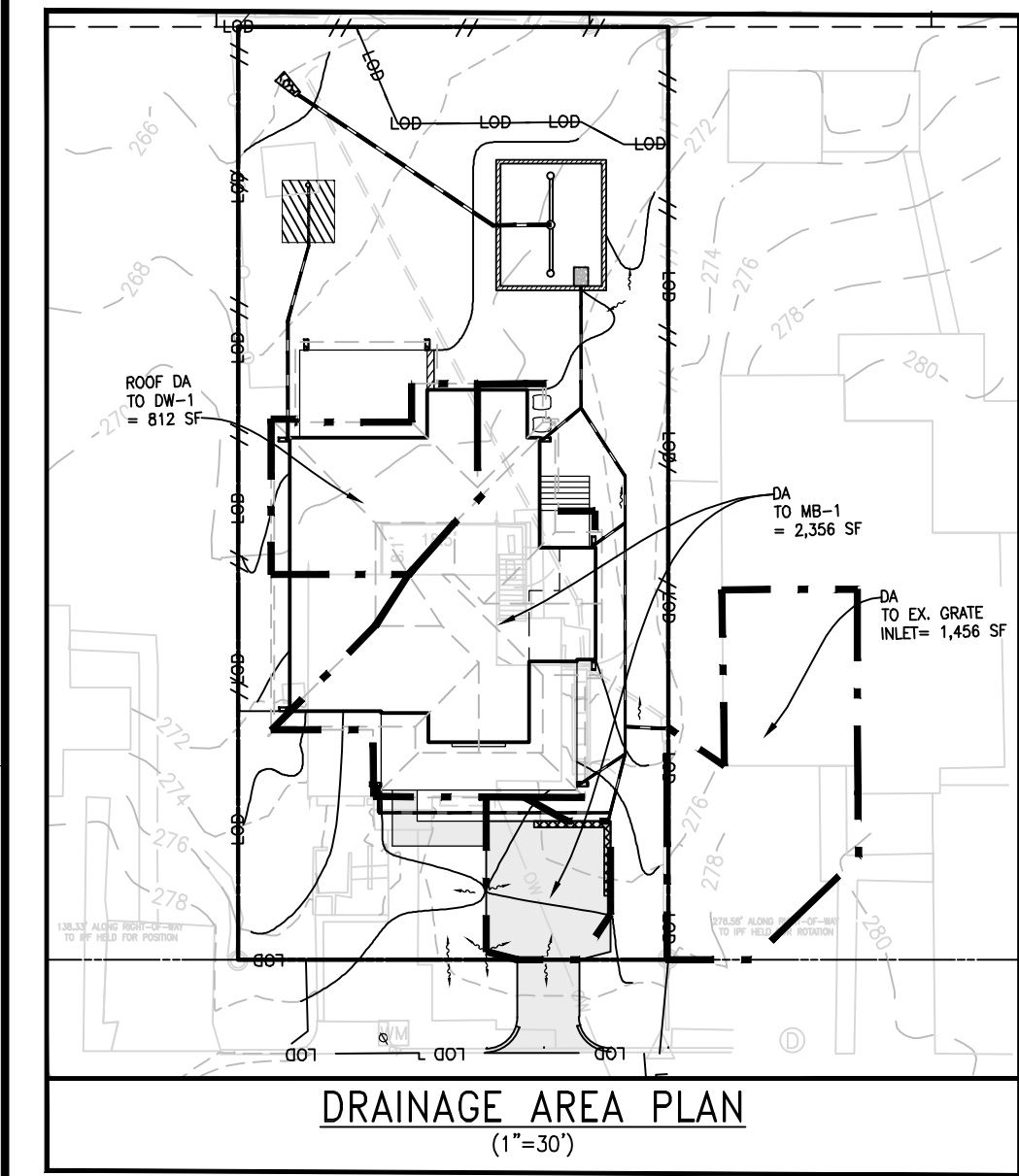
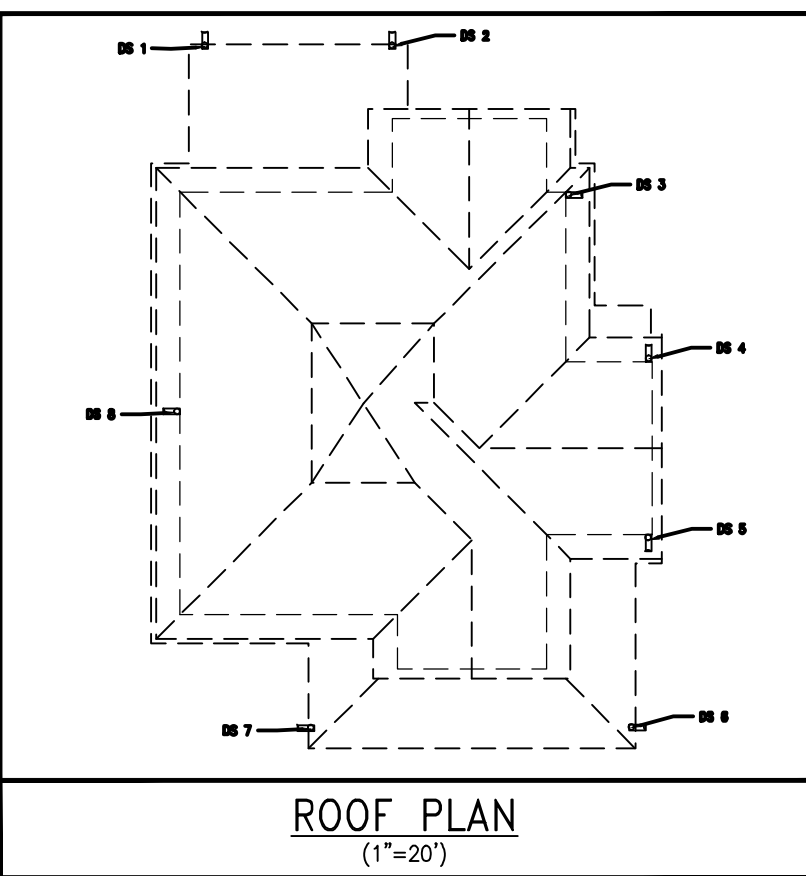
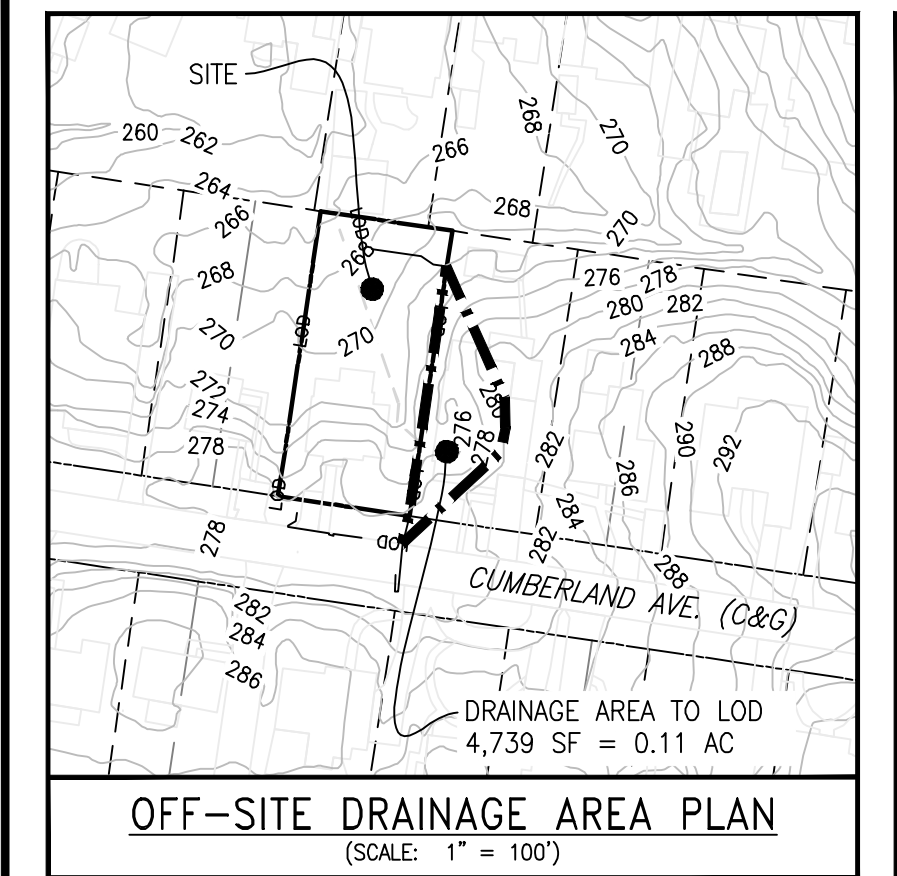
UPDATES /REVISIONS:

SITE PLAN
4905 CUMBERLAND AVENUE
PART OF LOT 6, BLOCK 1
SOMERSET HEIGHTS
BETHESDA (7th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

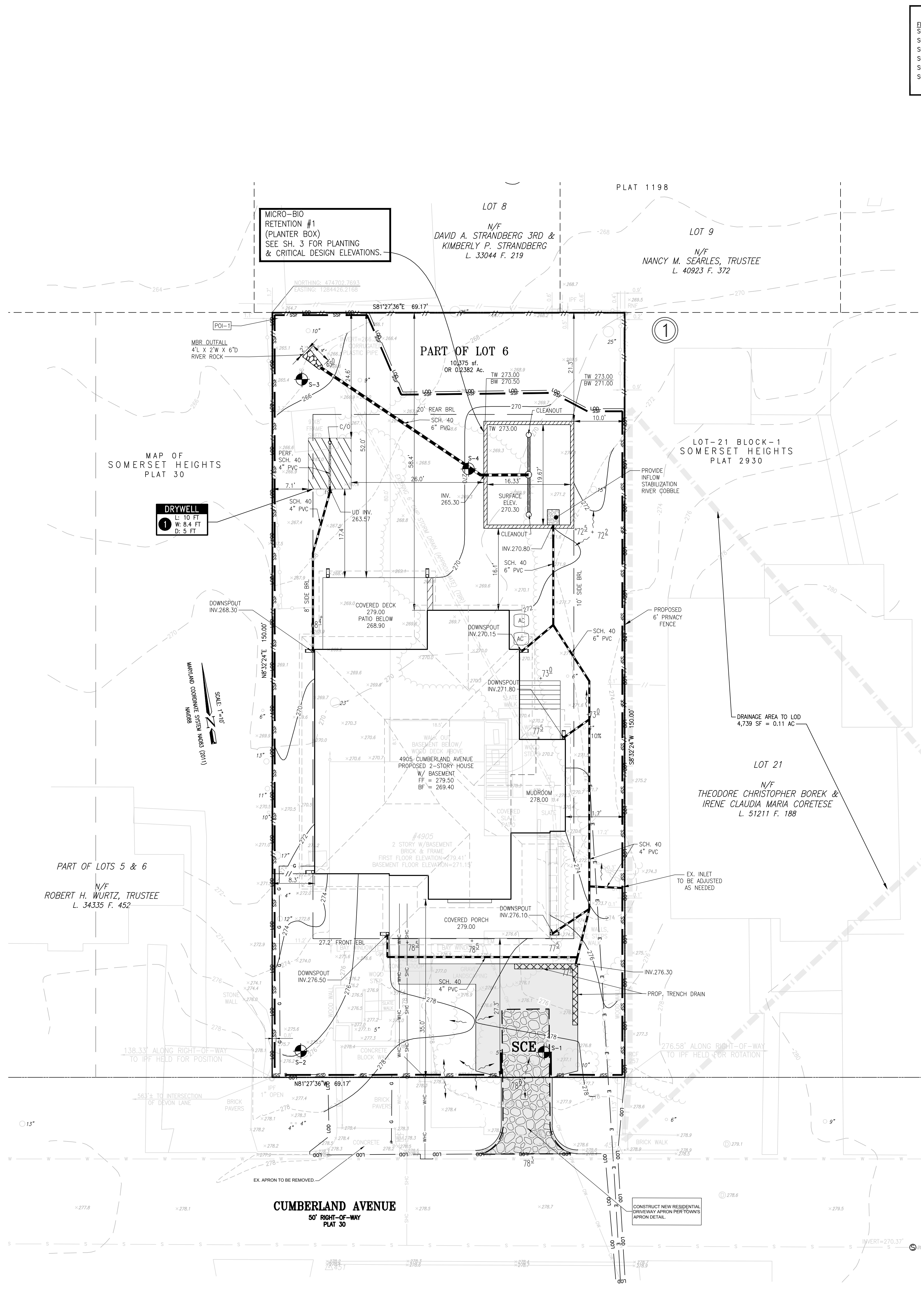
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Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
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CLIENT: LIZ HOMES 3818 OLIVER STREET CHEVY CHASE, MD 20815 MR. GUIDO BRACCIOLE LIZHOMESMD@GMAIL.COM	WSSC GRID: DESIGN: RPI DRAFT: RPI DATE: AUG. 2023 SCALE: AS NOTED	TAX MAP: SHEET: 1 OF 1 FILE NO.: 2023-1250-21
---	---	---

LEGEND	SHC — APPROXIMATE LOCATION OF SEWER HOUSE CONNECTION
--- EXISTING GRADE	WHC — APPROXIMATE LOCATION OF WATER HOUSE CONNECTION
--- PROPOSED GRADE	G — APPROXIMATE LOCATION OF PROPOSED GAS CONNECTION
+ 5' 8" FINISHED GRADE SPOT ELEVATION	E — APPROXIMATE LOCATION OF PROPOSED ELECTRIC CONNECTION
+ 340.0 EXISTING GRADE SPOT ELEVATION	
--- PROPERTY BOUNDARY	
MISS UTILITY CALL "MISS UTILITY" AT 1-800-257-7777. 48 HOURS PRIOR TO THE START OF WORK, THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE. CERTIFICATIONS ON THIS SHEET ARE REQUIRED ON ANY PLAN INVOLVING STORMWATER MANAGEMENT. THE STRUCTURAL CERTIFICATION IS REQUIRED FOR UNDERGROUND STORMWATER MANAGEMENT STRUCTURES WHERE POURED CONCRETE WALLS ARE TO BE UTILIZED, OR ON ANY OTHER STRUCTURE MCCPS DEEMS APPROPRIATE.	



TREE CANOPY REQUIREMENTS TABLE			
TO BE COMPLETED BY THE CONSULTANT AND PLACED ON THE FIRST SHEET OF THE SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN SET FOR ALL PROJECTS			
EXEMPT: YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> IF EXEMPT UNDER SECTION 55-5 OF THE CODE, PLEASE CHECK THE APPLICABLE EXEMPTION CATEGORY BELOW.			
TOTAL PROPERTY AREA		TOTAL DISTURBED AREA	
10,375 SQUARE FEET		10,543 SQUARE FEET	
SHADE TREES REQUIRED		SHADE TREES PROPOSED TO BE PLANTED	
0		0	
FEE IN-LIEU (TREES REQUIRED - TREES PROPOSED) X \$250		\$0.00	
REQUIRED NUMBER OF SHADE TREES			
AREA (SQ. FT.) OF THE LIMITS OF DISTURBANCE		NUMBER OF SHADE TREES REQUIRED	
FROM		TO	
1		6,000	
6,001		8,000	
8,001		12,000	
12,001		14,000	
14,001		40,000	
IF THE SQUARE FOOTAGE OF THE LIMITS OF DISTURBANCE IS MORE THAN 40,000, THEN THE NUMBER OF SHADE TREES REQUIRED MUST BE CALCULATED USING THE FOLLOWING FORMULA (NUMBER OF SQUARE FEET IN LIMITS OF DISTURBANCE ÷ 40,000) X 15			
EXEMPTION CATEGORIES			
<input type="checkbox"/> 55-5(A) ANY ACTIVITY THAT IS SUBJECT TO ARTICLE 11 OF CHAPTER 22A.		<input type="checkbox"/> 55-5(A) ANY STREAM RESTORATION PROJECT IF THE PERSON PERFORMING THE WORK HAS OBTAINED ALL NECESSARY PERMITS.	
<input type="checkbox"/> 55-5(B) ANY COMMERCIAL LOGGING OR TIMBER HARVESTING OPERATION WITH AN APPROVED EXEMPTION FROM ARTICLE 11 OF CHAPTER 22A.		<input type="checkbox"/> 55-5(F) CUTTING OR CLEARING ANY TREE TO COMPLY WITH APPLICABLE PROVISIONS OF ANY FEDERAL, STATE, OR LOCAL LAW GOVERNING SAFETY OF DAMS.	
<input type="checkbox"/> 55-5(C) ANY ACTIVITY CONDUCTED BY THE COUNTY PARKS DEPARTMENT;		<input checked="" type="checkbox"/> OTHER: SPECIFY PER SECTION 55-5 OF THE COUNTY CODE.	
<input type="checkbox"/> 55-5(D) ROUTINE OR EMERGENCY MAINTENANCE OF AN EXISTING STORMWATER MANAGEMENT FACILITY, INCLUDING AN EXISTING ACCESS ROAD, IF THE PERSON PERFORMING THE MAINTENANCE HAS OBTAINED ALL REQUIRED PERMITS.		PROPERTY LOCATED IN TOWN OF SOMERSET. EXEMPT FROM TREE CANOPY.	



SHEET INDEX		
FILE NAME	SHEET NO.	DESCRIPTION
SCSF0001.PDF	1 OF 6	OVERALL PLAN VIEW
SCSF0002.PDF	2 OF 6	SC DETAILS AND NOTES
SCSF0003.PDF	3 OF 6	SWM DETAILS AND COMPS
SCSF0004.PDF	4 OF 6	PLANTER BOX DETAILS
SCSF0005.PDF	5 OF 6	PLANTER BOX DETAILS
SCSF0006.PDF	6 OF 6	PLANTER BOX COMPS

GENERAL NOTES:

SITE:

- ADDRESS: 4905 CUMBERLAND AVENUE, CHEVY CHASE MD 20815
- LOT PART OF LOT 6, B&K 1
- WATER/SEWER: W1, S1
- TAX MAP: H&Z
- FLOODPLAIN: NONE
- WSSC GRID: 208NW05
- WATERSHED: LITTLE FALLS (USE CLASS 1-P)

SURVEY:

- HORIZONTAL DATUM BASED ON NAD83(2011)
- VERTICAL DATUM BASED ON NAVD83
- TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED BY CPJ ON 07-11-2023 & SUPPLEMENTED WITH AVAILABLE GIS INFORMATION.
- TOPO AT 2' CONTOUR INTERVALS
- THIS LOT IS NOT ASSOCIATED WITH A PRELIMINARY PLAN
- NO 100YR FLOODPLAIN/WETLANDS LOCATED WITHIN THE SITE.
- NO HISTORIC SITE LOCATED WITHIN/ADJACENT TO THE SITE.

ZONING:

- SUBDIVISION: SOMERSET HEIGHTS, PLAT #30 RECORDED: 1899
- PROPERTY ZONED: R-60
- MAIN STRUCTURE SETBACKS:
 - *** FRONT YARD: 26.4' EBL
 - *** SIDE YARD: 8' / 10'
 - *** REAR YARD: 20'
- LOT SIZE = 10,375 SQ. FT. (R)

SEQUENCE OF CONSTRUCTION

1. PRIOR TO CLEARING TREES, INSTALLING SEDIMENT CONTROL MEASURES OR GRADING, A PRECONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES (MCPS) SEDIMENT CONTROL INSPECTOR (240-777-0311, 48 HOURS NOTICE). THE OWNER'S REPRESENTATIVE AND THE SITE ENGINEER, IN ORDER FOR THE MEETING TO OCCUR, THE APPLICANT MUST PROVIDE ONE SET OF APPROVED SEDIMENT CONTROL PLANS TO THE MCPS SEDIMENT CONTROL INSPECTOR AT THE PRECONSTRUCTION MEETING. IF NO PLANS ARE PROVIDED, THE MEETING SHALL NOT OCCUR AND WILL NEED TO BE RESCHEDULED PRIOR TO COMMENCING ANY WORK.
2. THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO CLEARING OF TREES, INSTALLATION OF SEDIMENT CONTROL MEASURES, CONSTRUCTION, OR OTHER LAND DISTURBING ACTIVITIES.
3. CLEAR AND GRUB FOR INSTALLATION OF SEDIMENT CONTROL DEVICES.
4. INSTALL SEDIMENT CONTROL DEVICES: STABILIZED CONSTRUCTION ENTRANCE AND SUPER SILT FENCE (ALL SEDIMENT CONTROL DETAILS ARE ON SHEET 2)
5. DEMOLISH EXISTING DWELLING & FEATURES ON-SITE.
6. INSTALL UNDERGROUND UTILITIES, CONSTRUCT HOUSE AND DETACHED GARAGE, STABILIZE ALL COMPLETE AREAS.
7. INSTALL PLANTER BOXES & DRIVEWELLS. DO NOT CONNECT DOWNSPOUTS TO FACILITIES UNTIL SITE IS FULLY STABILIZED.
8. OBTAIN WRITTEN APPROVAL FROM MCPS INSPECTOR PRIOR TO REMOVAL OF STABILIZED CONSTRUCTION ENTRANCE. THEN INSTALL BASE COURSE OF DRIVEWAY. DO NOT PROCEED UNTIL SEDIMENT CONTROL INSPECTOR VERIFIES INSTALLATION OF BASE COURSE. THEN COMPLETE DRIVEWAY.
9. STABILIZE IMMEDIATELY ALL DISTURBED AREAS ON SITE.
10. WITH INSPECTOR'S APPROVAL AND HOUSE CONSTRUCTION COMPLETE, REMOVE ALL SEDIMENT CONTROL DEVICES AND STABILIZE ANY REMAINING DISTURBED AREAS. SIGN RECORD DRAWING CERTIFICATION AND GIVE PLANS TO INSPECTOR.

NOTES:

1. AREA OF DISTURBANCE: 10,543 SQ. FT.
2. ALL DISTURBED AREAS MUST BE TOPSOILED PER THE MDE "STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS" PRIOR TO FINAL VEGETATIVE STABILIZATION.
3. CONTRACTOR TO LOCATE STAGING/STOCKPILING AREA WITHIN THE LIMITS OF DISTURBANCE AND ON LOT.

RECORD DRAWING CERTIFICATION

A RECORD SET OF APPROVED SEDIMENT CONTROL/STORMWATER MANAGEMENT PLANS MUST BE MAINTAINED ON-SITE AT ALL TIMES. IN ADDITION TO STORMWATER MANAGEMENT ITEMS, THESE PLANS MUST INCLUDE THE NUMBER AND LOCATION OF ALL TREES PROPOSED TO BE PLANTED TO COMPLY WITH THE TREE CANOPY LAW. ANY APPROVED MODIFICATIONS OR DELETIONS OF STORMWATER PRACTICES OR TREE CANOPY PLANTINGS OR INFORMATION MUST BE SHOWN ON THIS RECORD SET OF PLANS AND ON THE TREE CANOPY REQUIREMENTS TABLE. UPON COMPLETION OF THE PROJECT, THIS RECORD SET OF PLANS, INCLUDING HEREON THIS SIGNED RECORD DRAWING CERTIFICATION, MUST BE SUBMITTED TO THE MCPS INSPECTOR. IN ADDITION TO THIS RECORD DRAWING CERTIFICATION, A FORMAL STORMWATER MANAGEMENT AS-BUILT SUBMISSION (1" = 1) IS REQUIRED FOR THIS PROJECT.

IF THIS PROJECT IS SUBJECT TO A STORMWATER MANAGEMENT RIGHT OF ENTRY AND MAINTENANCE AGREEMENT, THAT DOCUMENT IS RECORDED IN MONTGOMERY COUNTY LAND RECORDS AT:

LIBER 61825 FOLIO 488. THIS RECORD DRAWING WILL SERVE AS REFERENCE IN THE RECORDED DOCUMENT.

THIS RECORD DRAWING ACCURATELY AND COMPLETELY REPRESENTS THE STORMWATER MANAGEMENT PRACTICES AND TREE CANOPY PLANTINGS AS THEY WERE CONSTRUCTED OR PLANTED. ALL STORMWATER MANAGEMENT PRACTICES WERE CONSTRUCTED PER THE APPROVED SEDIMENT CONTROL / STORMWATER MANAGEMENT PLANS OR SUBSEQUENT APPROVED REVISIONS.

OWNER/DEVELOPER SIGNATURE _____ DATE _____

FIELD CHECK OF RECORD DRAWING BY MCPS INSPECTOR: INITIALS: _____ DATE: _____

DRAINAGE STATEMENT

I UNDERSTAND THAT DPS APPROVAL OF THIS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN IS FOR DEMONSTRATED COMPLIANCE WITH REQUIRED ENVIRONMENTAL RUNOFF TREATMENT STANDARDS. THIS DPS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN APPROVAL DOES NOT RELIEVE ME OF PROFESSIONAL RESPONSIBILITY. I HAVE ANALYZED THE PROPOSED DESIGN FOR SEDIMENT CONTROL PERMIT NO. 290112 AND HEREBY STATE THAT: IF, UPON MY BACKGROUND, TRAINING AND EXPERIENCE, I HAVE DETERMINED THAT THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN MEET RELEVANT LAWS AND REGULATIONS, I FURTHER ACKNOWLEDGE THAT I HAVE ANALYZED THE FIRST DEVELOPMENT DRAINAGE PATTERNS FOR THIS PROJECT FROM THE STANDPOINT OF MY RESPONSIBILITIES UNDER CURRENT MARYLAND LAW AND HAVE DETERMINED THAT IF PERMISSION IS REQUIRED FROM ADJACENT PROPERTY OWNERS, IT HAS BEEN OBTAINED AND COPIES OF THESE PERMISSIONS HAVE BEEN MADE AVAILABLE TO DPS.

ENGINEER'S SIGNATURE _____ DATE _____

PRINTED NAME _____

DRAINAGE STATEMENT

I UNDERSTAND THAT DPS APPROVAL OF THIS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN IS FOR DEMONSTRATED COMPLIANCE WITH REQUIRED ENVIRONMENTAL RUNOFF TREATMENT STANDARDS. THIS DPS SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN APPROVAL DOES NOT RELIEVE ME OF PROFESSIONAL RESPONSIBILITY. I HAVE ANALYZED THE PROPOSED DESIGN FOR SEDIMENT CONTROL PERMIT NO. 290112 AND HEREBY STATE THAT: IF, UPON MY BACKGROUND, TRAINING AND EXPERIENCE, I HAVE DETERMINED THAT THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN MEET RELEVANT LAWS AND REGULATIONS, I FURTHER ACKNOWLEDGE THAT I HAVE ANALYZED THE FIRST DEVELOPMENT DRAINAGE PATTERNS FOR THIS PROJECT FROM THE STANDPOINT OF MY RESPONSIBILITIES UNDER CURRENT MARYLAND LAW AND HAVE DETERMINED THAT IF PERMISSION IS REQUIRED FROM ADJACENT PROPERTY OWNERS, IT HAS BEEN OBTAINED AND COPIES OF THESE PERMISSIONS HAVE BEEN MADE AVAILABLE TO DPS.

ENGINEER'S SIGNATURE _____ DATE _____

PRINTED NAME _____

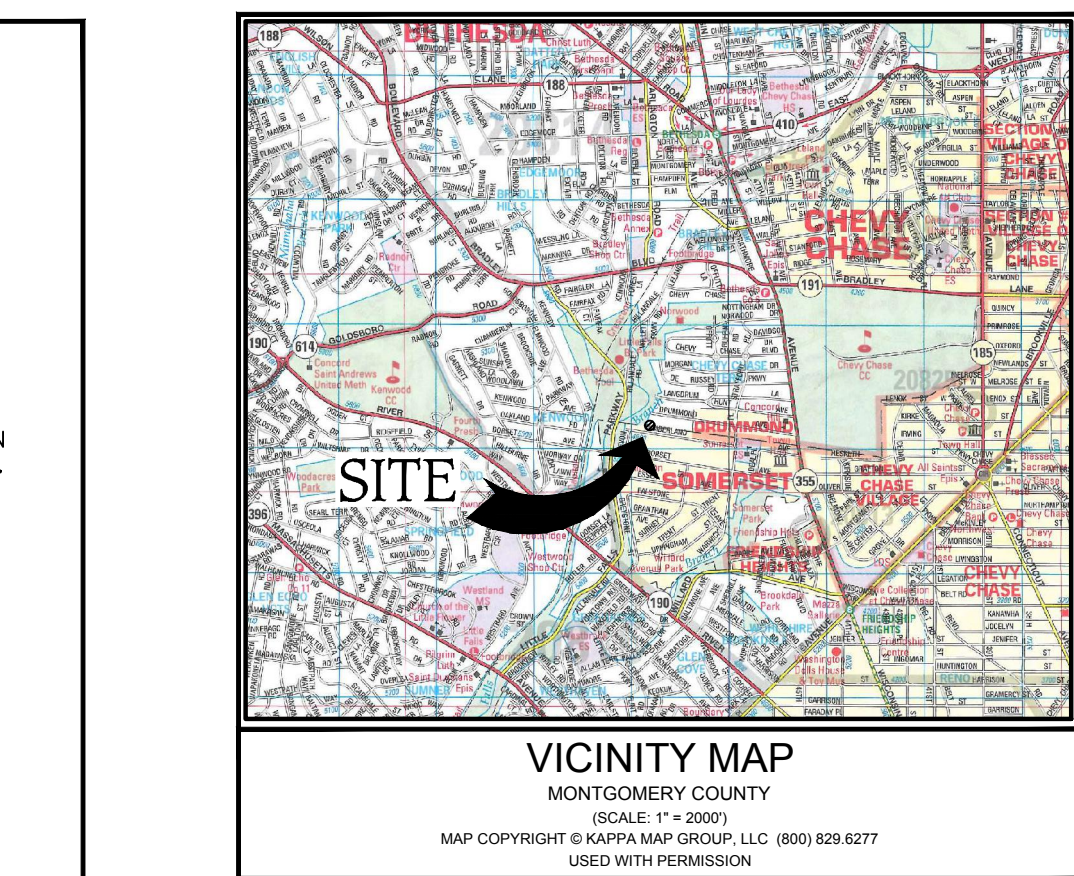
SUBJECT PROPERTY OWNER INFORMATION:

NAME: GUIDO BRACCIALE
ADDRESS: 3919 OLIVER STREET, CHEVY CHASE MD 20815
PHONE NUMBER: 202-210-3688
EMAIL: LLZHOMESMD@GMAIL.COM

REQUIRED PERMITS				
LIST ALL PERMITS REQUIRED BY THE SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN SET FOR ALL PROJECTS.				
PERMITTEE/OWNER OF THIS SITE TO OBTAIN ALL NECESSARY PERMITS PRIOR TO ISSUANCE OF THE SEDIMENT CONTROL PERMIT				
PERMIT #	EXPIRATION DATE	WORK RESTRICTION DATES		

*A COPY OF THE APPROVED ROADSIDE TREES PROTECTION PLAN MUST BE DELIVERED TO THE SEDIMENT CONTROL INSPECTOR AT THE PRECONSTRUCTION MEETING.

**WHEN A NOTICE OF INTENT IS REQUIRED, THE SEDIMENT CONTROL PERMIT MAY NOT BE ISSUED UNTIL COMPLETION OF AUTHORIZATION UNDER THE MDE'S 20-CP PERMIT HAS BEEN SUBMITTED TO DPS.



LEGEND			
---	EXISTING GRADE	---	LIMIT OF DISTURBANCE
---	PROPOSED GRADE	---	APPROXIMATE LOCATION OF PROPOSED WATER HOUSE CONNECTION
---	FINISHED GRADE	---	APPROXIMATE LOCATION OF PROPOSED WATER HOUSE CONNECTION
---	EXISTING GRADE SPOT ELEVATION	---	APPROXIMATE LOCATION OF PROPOSED ELECTRIC LINE
---	EXISTING GROUND	---	APPROXIMATE LOCATION OF PROPOSED ELECTRIC LINE
---	EXISTING DOWN SPOUT	---	DRYWELL (DW)
---	PROPOSED DOWN SPOUT	---	MICRO INFILTRATION TRENCH (MIT)
---	PROPOSED DRAINAGE DIVIDE	---	PROPOSED ROOF DRAIN/ DRYWELL PIPE SCH. 40
---	SOIL BORING LOCATIONS	---	4" PVC
---	STABILIZED CONSTRUCTION ENTRANCE	---	PROPOSED CLEANOUT
---	SILT FENCE	---	PERFORATED SCHEDULE 40 4" PVC PIPE
---	SUPER SILT FENCE	---	CRITICAL ROOT ZONE
---	SMARTFENCE	---	PERVIOUS PAVERS
---	ROOF OVERHANG	---	
---	ROOF RIDGE	---	
---	ROOF VALLEY	---	

TECHNICAL REVIEW OF SEDIMENT CONTROL	
Reviewed	Date
TECHNICAL REVIEW OF STORMWATER MANAGEMENT	
Reviewed	Date
ADMINISTRATIVE REVIEW	
Reviewed	Date
SMALL LOT DRAINAGE APPROVAL	
N/A: <input type="checkbox"/> OR	
Reviewed	Date
NOTE: MCPS APPROVAL DOES NOT NEGATE THE NEED FOR A MDCS ACCESS PERMIT.	
MCPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL. IF THE PROJECT HAS NOT STARTED.	
DPS APPROVAL OF A SEDIMENT CONTROL OR STORMWATER MANAGEMENT PLAN IS FOR DEMONSTRATED COMPLIANCE WITH MINIMUM ENVIRONMENTAL RUNOFF TREATMENT STANDARDS AND DOES NOT CREATE OR IMPLY ANY RIGHT TO OVERT OR CONCENTRATE RUNOFF ONTO ANY ADJACENT PROPERTY. WITHOUT THE PROPERTY OWNER'S OR OTHER RESPONSIBLE PARTY'S PROFESSIONAL LIABILITY OR OTHER RESPONSIBILITY FOR THE ADEQUACY OF THE DRAINAGE DESIGN AS IT AFFECTS UPLAND OR DOWNLAND PROPERTIES.	
290112 SEDIMENT CONTROL PERMIT NO.	
N/A	
SM. FILE NO. STORMWATER MANAGEMENT:	

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NUMBER: 19199

EXPIRATION DATE: 07/16/2025

Not valid without signature

SC AND SWM PLAN
4905 CUMBERLAND AVENUE
PART OF LOT 6, BLOCK 1
L.67214 F.362

SOMERSET HEIGHTS
BETHESDA (7th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

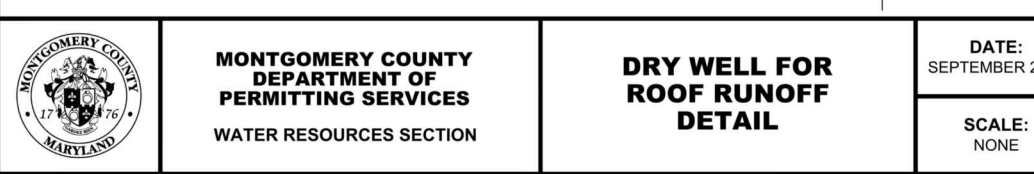
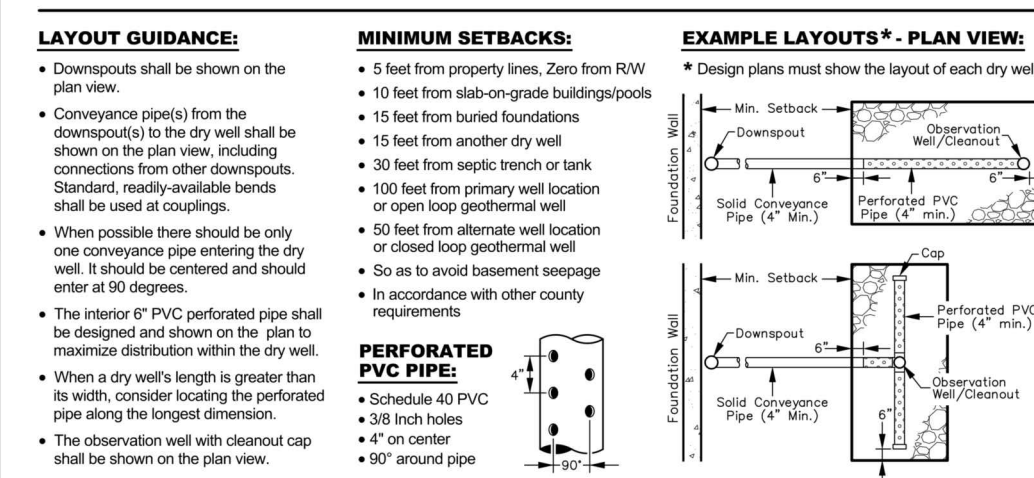
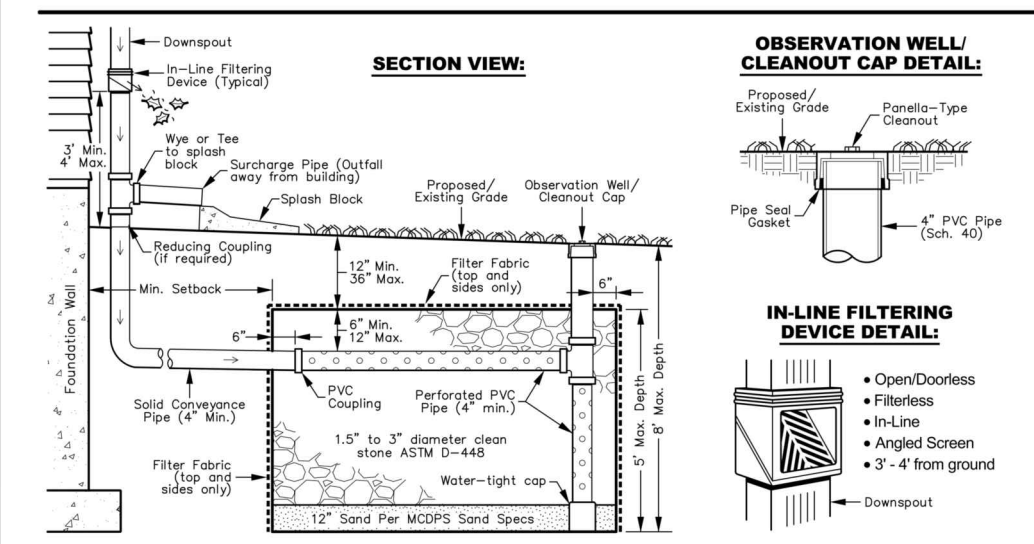
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CLIENT: LIZ HOMES 3919 OLIVER STREET CHEVY CHASE, MD 20815 MR. GUIDO BRACCIALE LLZHOMESMD@GMAIL.COM

WSSC GRID: TAX MAP: DRSKON RPI SHEET 1 OF 6 DRAFT RPI DATE: SEPT. 2023 FILE NO: 2023-1250-28 SCALE: AS SHOWN

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- GENERAL NOTES:**
1. Dry wells may receive water from downspouts only.
 2. Length, width, and depth of each dry well to be as specified by the design engineer and shown on the plan.
 3. Manufactured sand is not acceptable. Refer to the MCDPS Standard Specifications for details.
 4. With the Inspector's approval, dry well locations may be field adjusted for conditions. All adjustments must meet the minimum setbacks.
 5. Impermeable liners may be used when specified by the design engineer and shown on the plan.
 6. Overflow pipes may be used adjacent to the design engineer and shown on the plan. They shall be set at a minimum 2' below the PVE (PVE shall be developed by the design engineer and shown on the plan).
 7. Require entities may be used when specified by the design engineer and shown on the plan.

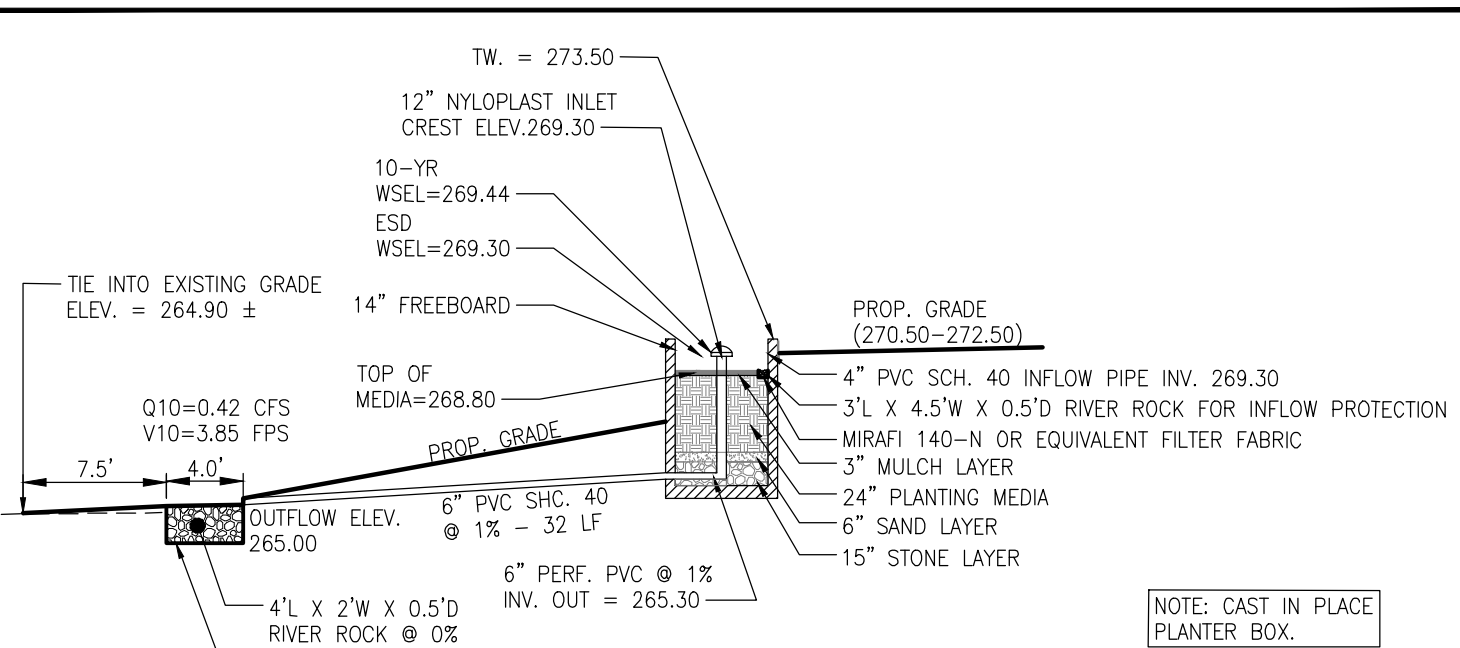


- 1. DRYWELL NOTES:**
1. PRETREATMENT MEASURES MUST BE INSTALLED AT THE GUTTERS TO ALLOW FILTERING OF SEDIMENT, LEAVES, OR OTHER DEBRIS. PROVIDE GUTTER SCREENS OR A REMOVABLE FILTER SCREEN (DOWNWARD LOW END OR APPROVED EQUIVALENT) INSTALLED IN-LINE WITH THE DOWNSPOUT PIPE.
 2. DOWNSPOUTS, WEIR, OR TIE-INS AND SPECIAL BLOCKS ARE REQUIRED.
 3. APPROVED EQUIVALENT FILTER FABRIC SHALL BE PLACED ON THE TOP AND SIDES OF THE FACILITY AS SHOWN ON THE DRY WELL PLAN. UNDER THE DOWNSPOUT, FILTER FABRIC BE ALLOWED TO BE PLACED ON THE BOTTOM OF THE FACILITY OR IN ANY OTHER LOCATION OTHER THAN THOSE SPECIFICALLY APPROVED ON THE PLAN.
 4. A 12-INCH LAYER OF THE AGGREGATE SAND SHALL BE PROVIDED AT THE BOTTOM OF THE DRYWELL. CLEAN SAND C33 OR AASHTO M-6 FINE AGGREGATE CONCRETE SAND IS REQUIRED PER DPS "SAND SPECIFICATIONS" WHICH MUST BE INCLUDED ON THE PLAN.
 5. THE DRY WELL MUST INCORPORATE AN OBSERVATION WELL/CLEAN OUT IN ACCORDANCE WITH THE DRY WELL DETAIL AND THE LOCATION MUST BE AS SPECIFIED IN THE DESIGN AND SHOWN ON THE PLAN.

CONSTRUCTION INSPECTION CHECK-OFF LIST FOR MICRO BIORETENTION FACILITY

STAGE	COUNTY INSPECTOR INITIALS/DATE	OWNER DEVELOPER INITIALS/DATE
MANDATORY NOTIFICATION: Inspection and approval of each practice is required at these points prior to proceeding with construction. The permittee is required to give the MCDPS Inspector twenty-four (24) hours notice (DPS telephone 202-777-0311). The DPS Inspector may waive an inspection, and allow the permit/developer to make the required inspection at a prior scheduled arrangement which has been confirmed with the DPS Inspector in writing. Work completed without MCDPS approval may result in the permittee having to remove and reconstruct the unapproved work. Upon completion of the project, a formal Stormwater Management As-Built must be submitted to MCDPS unless a Record Drawing Certification has been allowed instead. Each of the steps listed below must be verified by either the MCDPS Inspector OR the Owner/Developer.		
1. Excavation for Micro Bioretention facility conforms to approved plans		
2. Placement of stone backfill and underdrain system conforms to approved plans		
3. Placement of filter media conforms to approved plans		
4. Connecting pipes, including connection to the facility constructed per the approved plans		
5. Final grading and permanent stabilization conforms to approved plans		

TOTAL NUMBER OF MICRO BIORETENTION FACILITIES INSTALLED PER THIS PERMIT: APPROVED 1 CONSTRUCTED



PLANTER BOX 1 (NTS)

Construction Specs:	
Water Surface Elevation = 269.30	CREST ELEVATION
Filter Bed Elevation = 268.80	FILTER BED ELEVATION
Bottom of Mulch Elevation = 268.80	BOTTOM OF MULCH
Bottom of Planting Soil Elevation = 268.80	TOP OF SAND
Bottom of Sand = 268.30	TOP OF STONE LAYER
UD Invert = 265.30	UNDERDRAIN INV
Bottom of Excavation = 265.05	BOTTOM OF STONE LAYER

MBR OUTFALL	
Friction Method	Manning Formula
Solve For	Normal Depth
Input Data	
Reynolds Coefficient	0.010
Channel Slope	0.000
Diameter	0.50 ft
Discharge	0.42 cfs
Results	
Normal Depth	0.27 ft
Flow Area	0.11 ft²
Wetted Perimeter	0.83 ft
Hydraulic Radius	0.13 ft
Top Width	0.50 ft
Critical Depth	0.33 ft
Percent Full	54.4 %
Channel Slope	0.0000 ft/ft
Velocity	3.86 ft/s
Velocity Head	0.23 ft
Specific Energy	0.50 ft
Froude Number	1.46
Minimum Discharge	0.78 cfs
Discharge Full	0.73 cfs
Slope Full	0.00332 ft/ft

RIPRAP OUTFALL PROTECTION
PER THE MONTGOMERY COUNTY DRAINAGE DESIGN MANUAL, RIPRAP CHANNELS ARE TO BE DESIGNED TO REDUCE THE CHANNEL VELOCITY TO 5 FPS OR LESS. IF THE PROPOSED DESIGN IS CONSIDERED NON-EROSIVE AND A RIPRAP CHANNEL IS NOT REQUIRED.

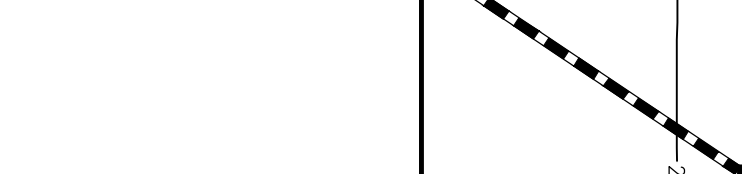
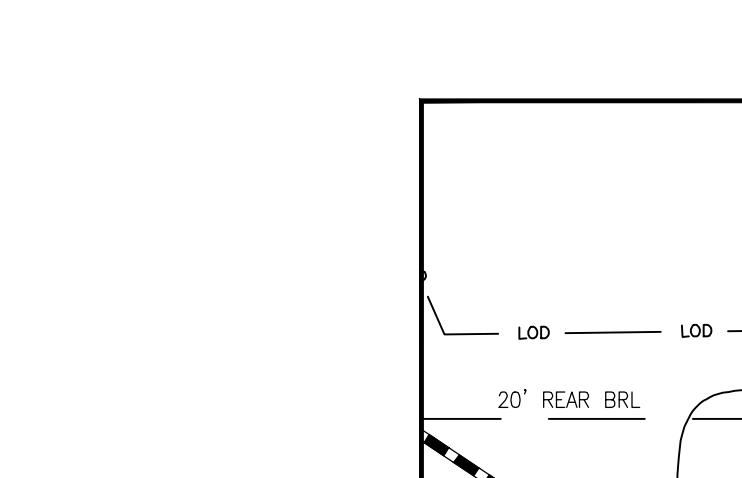
CONCRETE REQUIREMENTS FOR STORMWATER MANAGEMENT STRUCTURES

CONCRETE DESIGN SHALL MEET THE REQUIREMENTS OF ACI 308, ENVIRONMENTAL ENGINEERING CONCRETE STRUCTURES, WITH FREEZING AND THAWING EXPOSURES. CONCRETE SHALL EITHER BE A TYPE 1L CEMENT CONFORMING TO ASTM C-595, OR TYPE 1L OR 1LH CEMENT. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4500 PSI FOR CAST IN PLACE AND 5000 PSI FOR PRE-CAST STRUCTURES. CONCRETE SHALL ALSO BE IN CONFORMANCE WITH THE LATEST EDITION AND ADDENDA OF THE MSHA STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.

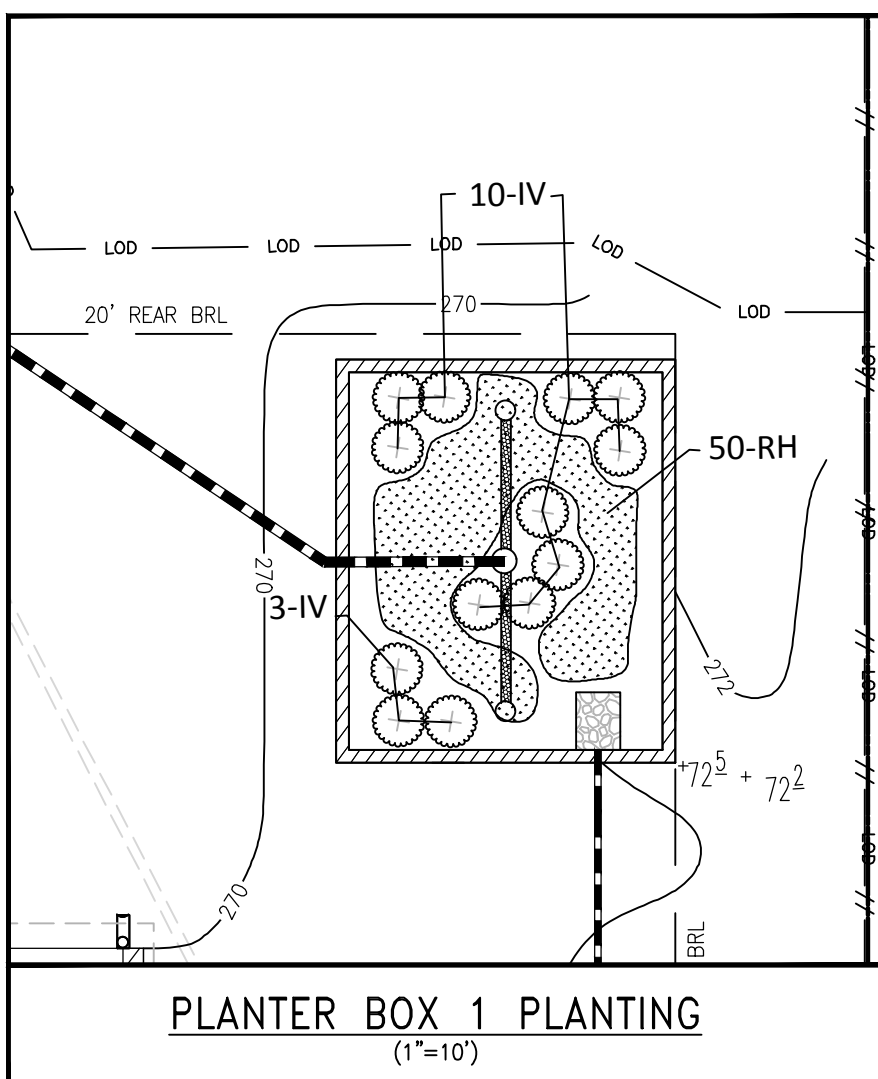
CONSTRUCTION INSPECTION CHECK-OFF LIST FOR DRY WELL/RECHARGE CHAMBER

TYPE	INSPECTOR INITIALS/DATE	OWNER DEVELOPER INITIALS/DATE
MANDATORY NOTIFICATION: Inspection and approval of each practice is required at these points prior to proceeding with construction. The permittee is required to give the MCDPS Inspector twenty-four (24) hours notice (DPS telephone 202-777-0311). The DPS Inspector may waive an inspection, and allow the owner/developer to make the required inspection at a prior scheduled arrangement which has been confirmed with the DPS Inspector in writing. Work completed without MCDPS approval may result in the permittee having to remove and reconstruct the unapproved work. Upon completion of the project, a formal Stormwater Management As-Built must be submitted to MCDPS unless a Record Drawing Certification has been allowed instead. Each of the steps listed below must be verified by either the MCDPS Inspector OR the Owner/Developer.		
1. Excavation for Dry Well/Recharge Chamber conforms to approved plans		
2. Placement of backfill, perforated inlet pipe and observation well conforms to approved plans		
3. Placement of geotextiles and filter media conforms to approved plans		
4. Connecting pipes, including connection to downspout, constructed per the approved plans		
5. Final grading and permanent stabilization conforms to approved plans		

TOTAL NUMBER OF DRY WELLS INSTALLED PER THIS PERMIT: APPROVED 1 CONSTRUCTED

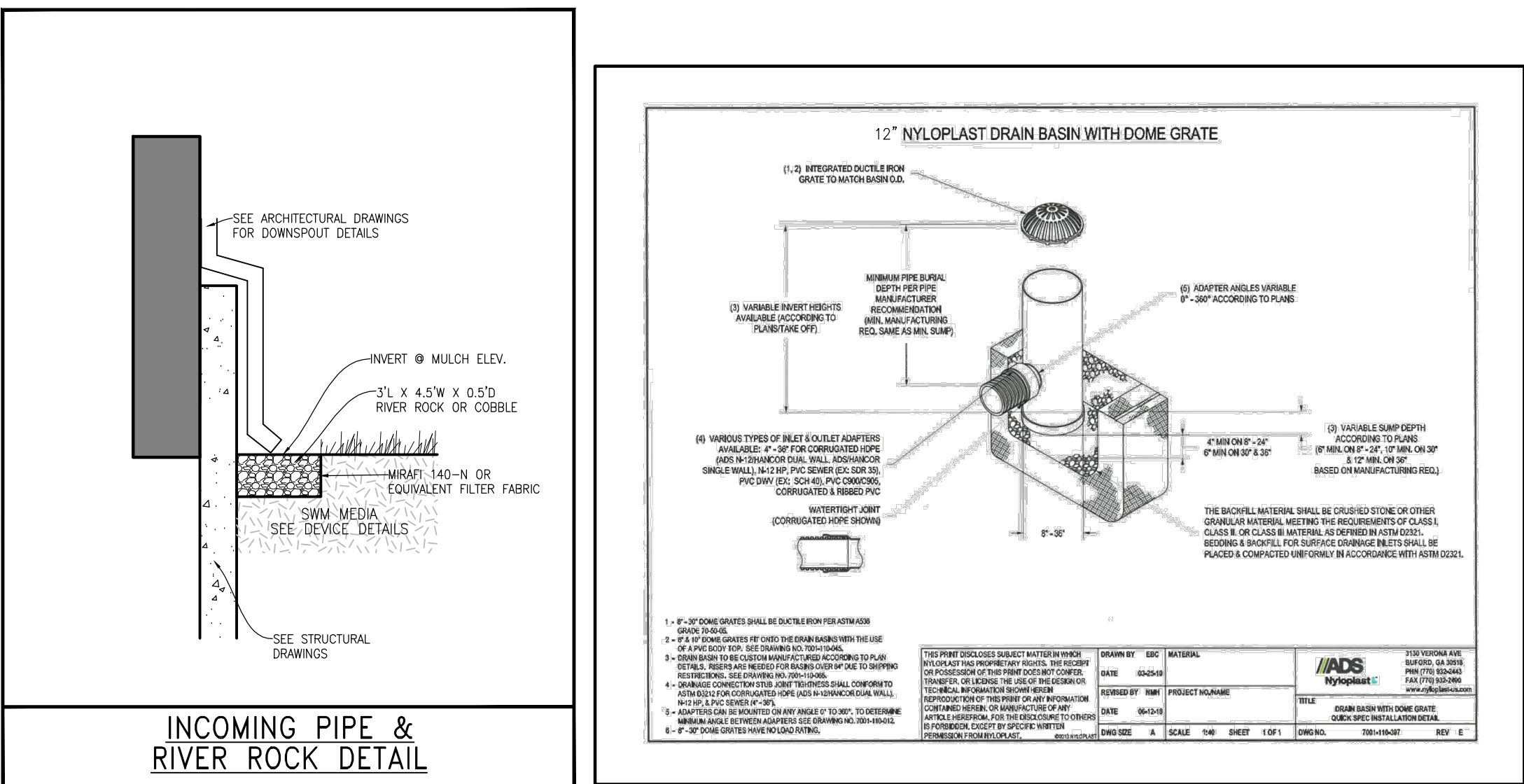


- 1. DRYWELL NOTES:**
1. PRETREATMENT MEASURES MUST BE INSTALLED AT THE GUTTERS TO ALLOW FILTERING OF SEDIMENT, LEAVES, OR OTHER DEBRIS. PROVIDE GUTTER SCREENS OR A REMOVABLE FILTER SCREEN (DOWNWARD LOW END OR APPROVED EQUIVALENT) INSTALLED IN-LINE WITH THE DOWNSPOUT PIPE.
 2. DOWNSPOUTS, WEIR, OR TIE-INS AND SPECIAL BLOCKS ARE REQUIRED.
 3. APPROVED EQUIVALENT FILTER FABRIC SHALL BE PLACED ON THE TOP AND SIDES OF THE FACILITY AS SHOWN ON THE DRY WELL PLAN. UNDER THE DOWNSPOUT, FILTER FABRIC BE ALLOWED TO BE PLACED ON THE BOTTOM OF THE FACILITY OR IN ANY OTHER LOCATION OTHER THAN THOSE SPECIFICALLY APPROVED ON THE PLAN.
 4. A 12-INCH LAYER OF THE AGGREGATE SAND SHALL BE PROVIDED AT THE BOTTOM OF THE DRYWELL. CLEAN SAND C33 OR AASHTO M-6 FINE AGGREGATE CONCRETE SAND IS REQUIRED PER DPS "SAND SPECIFICATIONS" WHICH MUST BE INCLUDED ON THE PLAN.
 5. THE DRY WELL MUST INCORPORATE AN OBSERVATION WELL/CLEAN OUT IN ACCORDANCE WITH THE DRY WELL DETAIL AND THE LOCATION MUST BE AS SPECIFIED IN THE DESIGN AND SHOWN ON THE PLAN.



PLANTER BOX 1-PLANT SCHEDULE

SYM	QUANTITY	Common Name	Scientific Name	Cont.	Cal.	Size (hg.)	Comments
IV	13	Winterberry	Ilex verticillata	3 gal.			
RH	50	Black-Eyed Susan	Rudbeckia hirta			12\"/>	



INCOMING PIPE & RIVER ROCK DETAIL

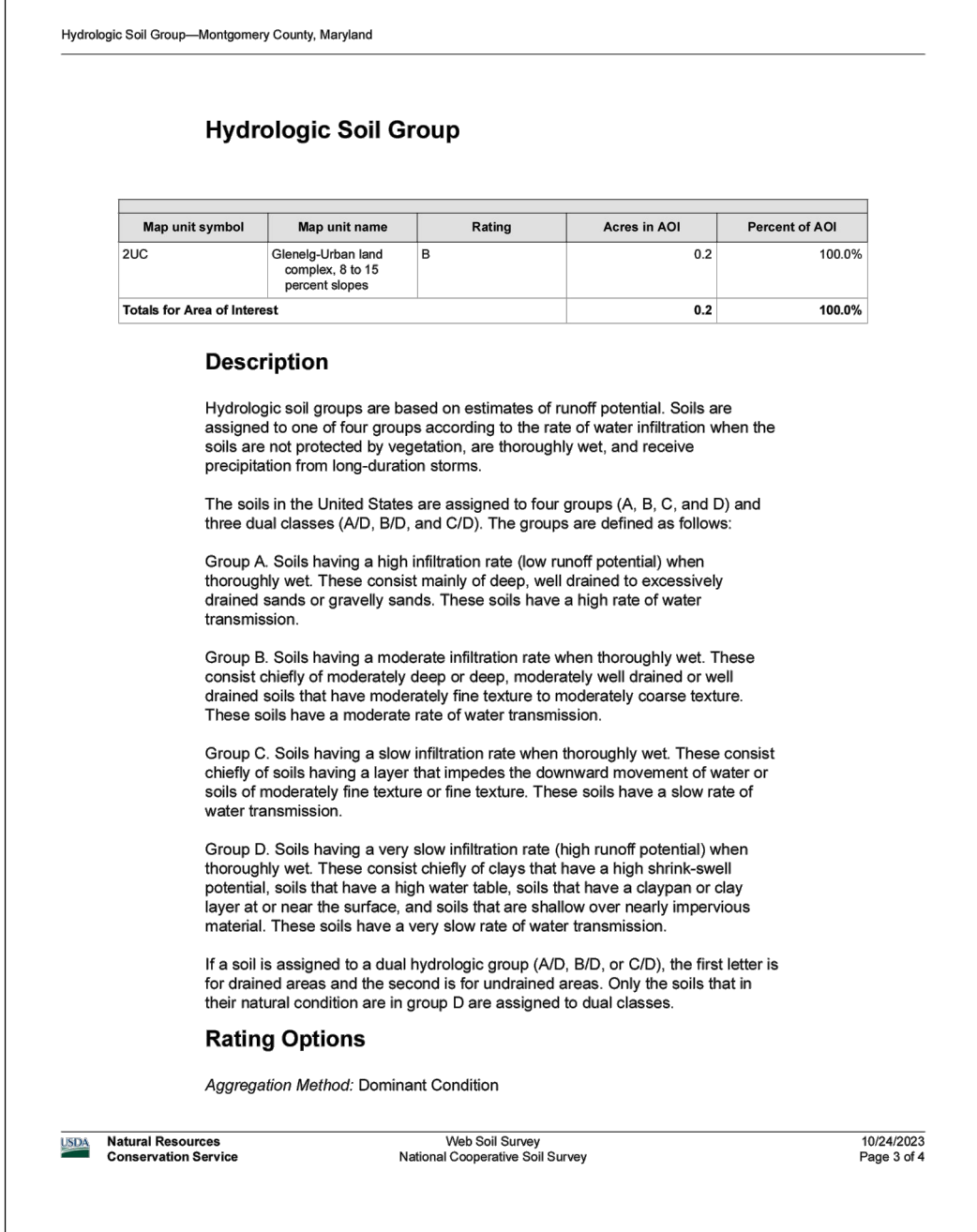
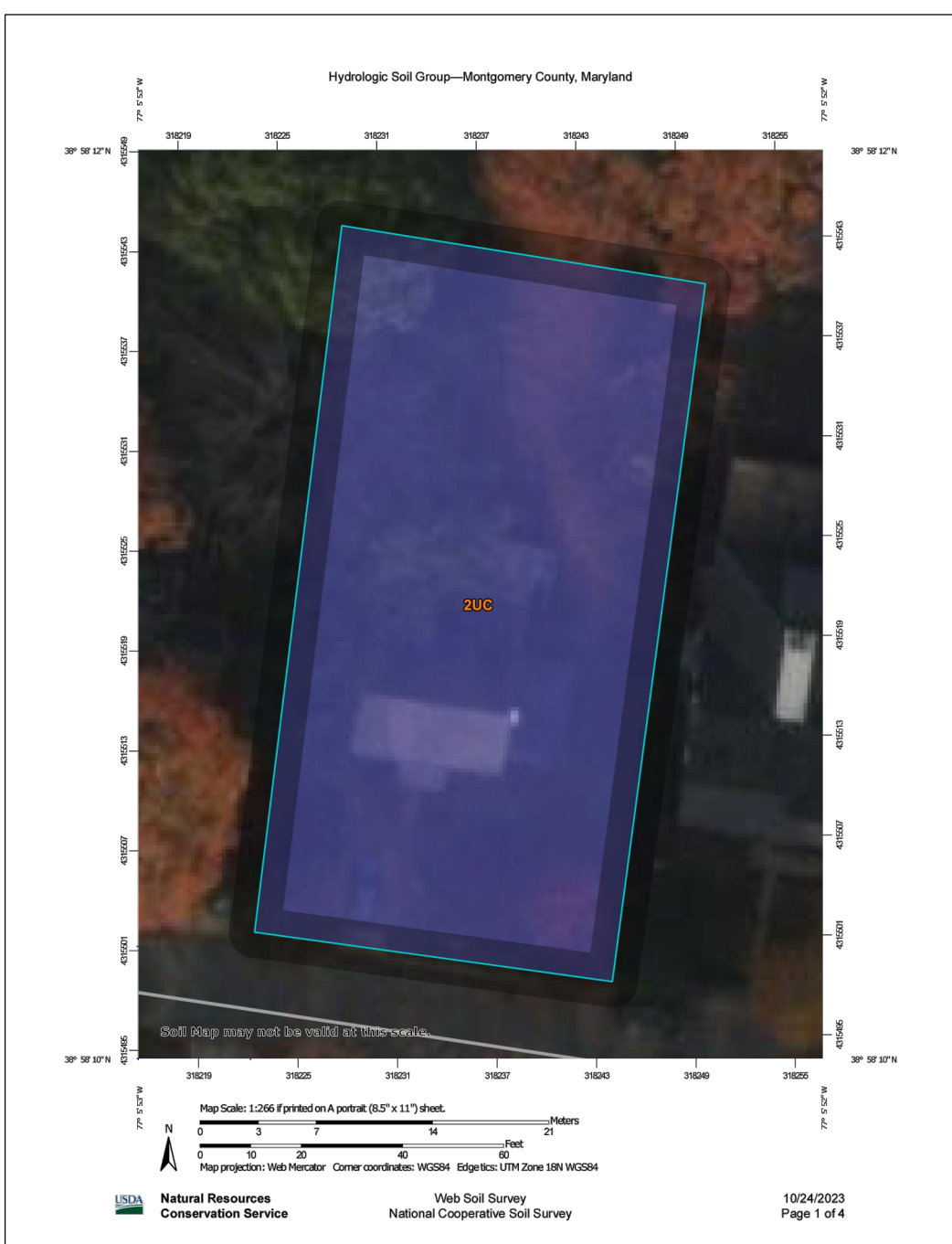
MICRO-BIO MATERIAL SPECS

1. Gravel Bed
The gravel layer surrounding the underdrain pipe(s) must meet MSHA size #7 (Table 901A), and must provide a minimum of 6 inches cover over the pipe(s), and minimum 3 inches under the pipe. No geotextile or filter fabric is allowed to be placed horizontally anywhere within the filter media. The gravel must be clean and must be stored and installed in such a manner that it does not become contaminated with sediment before or after installation.
2. Sand Bed
A minimum 6-inch fine aggregate sand layer shall be provided below the planting medium. ASTM C33 or AASHTO M6 Fine Aggregate Concrete Sand is required per Montgomery County sand specifications.
3. Planting Medium
The planting medium shall be 24"-48" thick and shall consist of 1/3 perlite or Solite, 1/3 compost and 1/3 topsoil. The perlite shall be coarse grade horticultural perlite. The compost shall be high grade compost free of stones and partially composted woody material. The topsoil component shall meet the following criteria: contain no more than 10% clay, 10-25% silt and 60-75% sand and be free of stones, stumps, roots or other similar objects larger than 2 inches.
The first layer of the planting medium shall be lightly tilled to mix it into the 6-inch sand layer, so as not to create a definitive boundary. The planting bed shall be flooded after placement. Any settlement that occurs shall be filled back to the design elevation.
4. Mulch
The mulch layer is an important part of the Micro-Bioretention device. Much of the pollutant removal capacity of the Micro-Bioretention system is within the mulch layer. The surface mulch layer will consist of standard double shredded aged hardwood mulch. The mulch should be applied uniformly to a depth of 3 inches. Yearly replenishing may be necessary. Pine bark is not acceptable.
5. Plant Materials
Plants, through their pollutant uptake and evapo-transpiration of stormwater runoff, play a key role in the overall effectiveness of the Micro-Bioretention device. Both the number and type of tree and shrub plantings for the system may vary, especially where aesthetics or other considerations are critical to site development.
While native plants are encouraged, they are not always appropriate in all situations. While no hard planting rule exists, the plants should be a mix of trees, shrubs and herbaceous materials. However, there should be 2 to 3 shrubs planted per tree and herbaceous plantings shall make up 40% of the total number of plants. Trees determined in OUR PROFESSIONAL OPINION THAT SAFE CONVEYANCE THROUGH THE DOWNSTREAM PROPERTIES WILL BE MAINTAINED, AND THAT THERE IS NO REQUIREMENT OF THE APPLICANT TO OBTAIN WRITTEN PERMISSION FROM THE DOWNSTREAM PROPERTY OWNERS FOR THE FLOW INCREASE AS A RESULT OF THE PROPOSED IMPROVEMENT.

INLET COMPUTATIONS

Inlet Number	Area (sf)	Area (AC)	Impervious (AC)	Previous (AC)	Composite C	Tc (min)	I (in/hr) (10-YR)	Q=CIA (10-YR)
ROOF DRAIN	2.356	0.05	0.05	0.00	0.90	7	6.52	0.32
EX. GRATE INLET	1.456	0.03	0.02	0.02	0.53	10	5.85	0.10
TOTAL TO MBR	3.812	0.08	0.07	0.02				0.42

1. Rational method used for computations per Montgomery County Government Drainage Design Criteria
2. Coefficient, Impervious = .90 (Grass Areas= 0.15) (Open Space= 0.20%)
3. Composite coefficient established per Table 3-5 - "Runoff Coefficients"
4. Rainfall Intensity per Table 3-7 - "Intensity - Duration - Frequency (IDF) Data"



Site Data:

Location: OVERALL			
Site Area (A)	10.375 sf	or	0.24 Ac.
Overall Disturbed Area (LOD)	10.543 sf	or	0.24 Ac.
Soils:	HSG A = 0 sf	or	0.00 Ac. or 0 % of Site
	HSG B = 10.375 sf	or	100 % of Site
	HSG C = 0 sf	or	0 % of Site
	HSG D = 0 sf	or	0 % of Site

Impervious Surface DATA:			
Proposed Overall Impervious	=	3.796 sf	or 0.09 Ac.
Proposed Impervious within LOD	=	3.969 sf	or 0.09 Ac.

Step 1: Determine ESD Implementation Goals

A. Determine Pre-Developed Conditions:			
Soil Conditions and RCNs for "woods in good condition"			
HSG	RCN	Area	Percent
A	30	0.00 Ac.	0.00
B	55	0.24 Ac.	100.00
C	70	0.00 Ac.	0.00
D	77	0.00 Ac.	0.00
* RCN for "woods in good condition" (Table 2-2, TR-55)			
** Actual RCN is less than 30, use RCN = 38			
Composite RCN for "woods in good condition"			
RCN _{COMB} = [(38)(0.00ac)+(55)(0.24ac)+(70)(0.00ac)]/(77)(0.00ac) = 55			
Target RCN for "woods in good condition" = 55			
B. Determine Target P _t Using Table 5.3			
P _t = Rainfall used to size ESD practices			
Proposed Imperviousness (%)			
Description	Area (sf)	Area (AC)	Impervious (AC)
Proposed	10.375	0.24	0.09
Existing	10.375	0.24	0.09
EX. TOTAL	10.375	0.24	0.09
Proposed Imperviousness (%)			
Proposed	10.375	0.24	0.09
Existing	10.375	0.24	0.09
EX. TOTAL	10.375	0.24	0.09

10-YEAR RUNOFF COMPUTATIONS			
Description	Area (sf)	Area (AC)	Impervious (AC)
Proposed	10.375	0.24	0.09
Existing	10.375	0.24	0.09
EX. TOTAL	10.375	0.24	0.09
Proposed Imperviousness (%)			
Proposed	10.375	0.24	0.09
Existing	10.375	0.24	0.09
EX. TOTAL	10.375	0.24	0.09

DOWNSTREAM IMPACT ANALYSIS
BASED ON COMPUTATIONS AND FIELD ANALYSIS OF THE PROPOSED DEVELOPMENT, THERE IS NO ADVERSE IMPACT TO DOWNSTREAM PROPERTIES. THE SITE HAS BEEN DESIGNED TO CONVEY DRAINAGE IN A SAFE AND NON-EROSIVE MANNER. COMPUTATIONS FOR EXISTING AND PROPOSED CONDITIONS ARE PROVIDED. BASED ON ANALYSIS THE RUNOFF FROM THE DEVELOPED CONDITION, DETERMINED IN OUR PROFESSIONAL OPINION THAT SAFE CONVEYANCE THROUGH THE DOWNSTREAM PROPERTIES WILL BE MAINTAINED, AND THAT THERE IS NO REQUIREMENT OF THE APPLICANT TO OBTAIN WRITTEN PERMISSION FROM THE DOWNSTREAM PROPERTY OWNERS FOR THE FLOW INCREASE AS A RESULT OF THE PROPOSED IMPROVEMENT.

SAND SPECIFICATIONS:

1. SAND MUST MEET GRADATION REQUIREMENTS FOR ASTM C-33 FINE AGGREGATE CONCRETE SAND. AASHTO M-6 GRADATION IS ALSO ACCEPTABLE.
2. SAND MUST BE SILICA BASED... NO LIMESTONE BASED PRODUCTS MAY BE USED. IF THE MATERIAL IS WHITE OR GRAY IN COLOR, IT IS PROBABLY NOT ACCEPTABLE.
3. SAND MUST BE CLEAN... NATURAL, UNWASHED SAND DEPOSITS MAY NOT BE USED. OTHERWISE, SAND THAT HAS BECOME CONTAMINATED BY IMPROPER STORAGE OR INSTALLATION PRACTICES WILL BE REJECTED.
4. MANUFACTURED SAND OR STONE DUST IS NOT ACCEPTABLE UNDER ANY CIRCUMSTANCES.

ESD SUMMARY TABLE							
ESD/SWM PRACTICE	DIMENSIONS	DEPTH	SURFACE GRADE TO TOP ELEV.	FACILITY TOP ELEV.	U.D. INV.	FACILITY BOTTOM ELEV.	ESD PROVIDED (sf)
MICRO BIO 1	18.6" x 16.3"	3.75'	268.80	268.80	265.30	265.05	484.94
DRYWELL 1	10' x 8.4'	5'	267.40 to 266.50	264.40	263.57	259.40	812
							167.14
							652.08
							ESD REQUIRED 616.77

By: SE Project No: 2023-1250 Computations By: JESSY CATHLEIGH, AIA

Drainage Area:	10.375 sf
Site Area:	10.375 sf
Overall Disturbed Area:	10.543 sf
Proposed Impervious Area:	3.796 sf
Existing Impervious Area:	3.969 sf
ESD Provided:	652.08 sf
ESD Required:	616.77 sf

Step 1: Compute Volume to Size ESD Practices (V_{ESD})

Total Impervious within LOD (I) = 3.796 ac
I_p = 0.09 ac

ESD_{COMB} = [(P_t * R_{COMB} * A_{LOD}) / (24 * 3600)] * (12 * 12) = 484.94 sf

ESD_{COMB} = 484.94 sf

ESD_{COMB} = 484.94 sf

ESD_{COMB} = 484.94 sf

ESD _{COMB} for "woods in good condition"			
HSG	RCN	Area (sf)	Percent
A	30	0.00	0.00
B	55	10.375	100.00
C	70	0.00	0.00
D	77	0.00	0.00

Step 2: Determine ESD Practice

ESD_{COMB} = (P_t * R_{COMB} * A_{LOD}) / (24 * 3600) = 484.94 sf

ESD_{COMB} = 484.94 sf

ESD_{COMB} = 484.94 sf

ESD_{COMB} = 484.94 sf

Required Minimum Recharge Volume (V_{RC}) for Site:

V_{RC} = 0.09 ac

V_{RC} = 0.09 ac

V_{RC} = 0.09 ac

V_{RC} = 0.09 ac

Required Minimum Recharge Volume (V _{RC}) for Site:			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 3: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 2: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 3: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 4: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 2: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 3: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 5: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 2: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 3: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 6: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 2: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 3: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 7: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 2: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 3: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 8: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 2: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

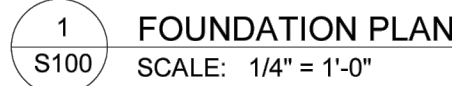
Downspout 3: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).

Downspout 1: 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house).			
HSG	Area (sf)	Recharge Factor	Vol (sf)
A	0.00	0.00	0.00
B	10.375	0.00	0.00
C	0.00	0.00	0.00
D	0.00	0.00	0.00

Step 9: Site Development Design to meet ESD Goals

(A) Downspouts:

The downspouts to be fully the downspouts from the house. The following is a summary of the runoff capacity of the downspouts, using 2.5" in the outlet (from the house) and 2.5" in the downspout (from the house



MARK	DESCRIPTION
(2) ML12	(2) 1 3/4" x 11 7/8" LVL - 1.9E
(2) ML14	(2) 1 3/4" x 14" LVL - 1.9E
(3) ML10	(3) 1 3/4" x 9 1/2" LVL - 1.9E
(3) ML12	(3) 1 3/4" x 11 7/8" LVL - 1.9E
(3) ML14	(3) 1 3/4" x 14" LVL - 1.9E
(3) ML16	(3) 1 3/4" x 16" LVL - 1.9E
(4) ML12	(4) 1 3/4" x 11 7/8" LVL - 1.9E
(4) ML14	(4) 1 3/4" x 14" LVL - 1.9E
(4) ML16	(4) 1 3/4" x 16" LVL - 1.9E

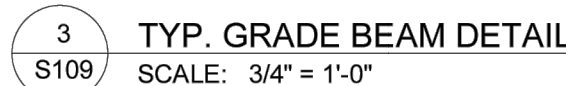
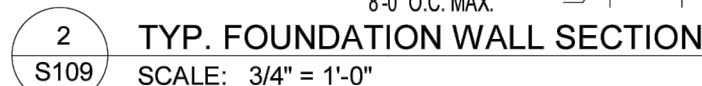
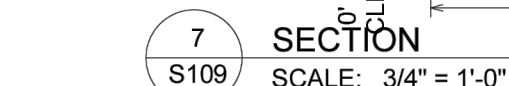
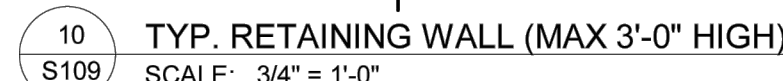
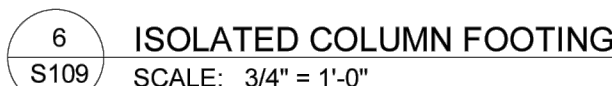
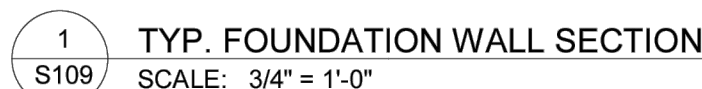
COLUMN FOOTING SCHEDULE	
MARK	DESCRIPTION
F3.0	3'-0" x 3'-0" x 12" CONC. FTG W/ #4 @ 12" O.C. BOTT. EA. WAY
F4.5	4'-6" x 4'-6" x 12" CONC. FTG W/ #5 @ 12" O.C. BOTT. EA. WAY
F5.0	5'-0" x 5'-0" x 12" CONC. FTG W/ #5 @ 12" O.C. BOTT. EA. WAY
F5.5	5'-6" x 5'-6" x 12" CONC. FTG W/ #5 @ 12" O.C. BOTT. EA. WAY
WF36	36" x 16" CONC. FTG. W/ #5 @ 12" O.C. TOP & BOTT. EA. WAY

CONCRETE GRADE BEAM SCHEDULE	
MARK	DESCRIPTION
GB1216	12" x 16" CONC. GRADE BEAM W/ (3) #5 CONT. @ BOTT.

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4905 CUMBERLAND AVE
BETHESDA, MD

Project Title: 4905 CUMBERLAND AVE
Engineer: KAUSHAL KANSARA
Project ID: 23-0294
Project Descr: PLANTARBOX WALL DESIGN

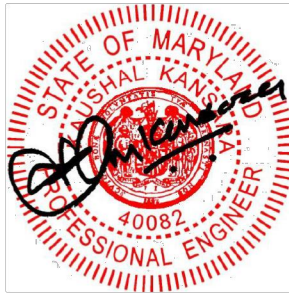
Cantilevered Retaining Wall

DESCRIPTION: PLANTARBOX WALL (WORST CASE)

Criteria		Soil Data	Calculations per ACI 318-14, TMS 402-16, IRC 2018, CBC 2019, ASCE 7-16
Retained Height	= 3.50 ft	Allow Soil Bearing	= 2,000.0 psf
Wall height above soil	= 0.00 ft	Equivalent Fluid Pressure Method	
Slope Behind Wall	= 0.00 : 1	Heel Active Pressure	= 100.0 psf/ft
Height of Soil over Toe	= 18.00 in	Toe Active Pressure	= 30.0 psf/ft
Water height over heel	= 0.0 ft	Passive Pressure	= 384.0 psf/ft
Vertical component of active		Soil Density, Heel	= 110.00 pcf
Lateral soil pressure options:		Soil Density, Toe	= 110.00 pcf
NOT USED for Soil Pressure		Friction Coeff (between Fig & Soil)	= 0.400
NOT USED for Sliding Resistance		Soil height to ignore for passive pressure	= 12.00 in
NOT USED for Overturning Resistance			

Design Summary

Wall Stability Ratios		Stem Construction	Top Stem
Overturning	= 1.70 OK	Design Height Above Fig	ft = 0.00
Sliding	= 1.77 OK	Wall Material Above "ft"	= Concrete
Total Bearing Load	= 1,551 lbs	Thickness	in = 8.00
...resultant ecc.	= 10.18 in	Rebar Size	= # 4
		Rebar Spacing	in = 12.00
		Rebar Placed at	= Edge
Soil Pressure @ Toe		Design Data	
Soil Pressure @ Heel	= 0 psf OK	buFs + faFa	ft = 0.265
Allowable	= 2,000 psf	Total Force @ Section	lbs = 928.9
Soil Pressure Less Than Allowable		Shear....Actual	psf = 12.3
ACI Factored @ Toe	= 1,903 psf	Moment....Actual	ft-lb = 1,116.3
ACI Factored @ Heel	= 0 psf	Moment....Allowable	ft-lb = 5,448.0
Factored Shear @ Toe	= 0.0 psf OK	Shear....Actual	psf = 12.3
Factored Shear @ Heel	= 9.4 psf OK	Shear....Allowable	psf = 82.2
Allowable	= 75.0 psf	Wall Weight	psf = 100.0
Sliding Calcs (Vertical Component NOT Used)		Rebar Depth "ft"	in = 6.25
Lateral Sliding Force	= 918.8 lbs	Lap splice if above	in = 17.09
less 100% Passive Force	= - 1,038.0 lbs	Lap splice if below	in = 8.40
Added Force Req'd	= 0.0 lbs OK	Hook embed into footing	in = 8.40
for 1.5 : 1 Stability	= 0.0 lbs OK	Concrete Data	
		Fc	psi = 3,000.0
		Fy	psi =
Load Factors			
Dead Load	1.200		
Live Load	1.600		
Earth, H	1.600		
Wind, W	1.600		
Seismic, E	1.000		



4905 CUMBERLAND AVE
BETHESDA, MD

Project Title: 4905 CUMBERLAND AVE
Engineer: KAUSHAL KANSARA
Project ID: 23-0294
Project Descr: PLANTARBOX WALL DESIGN

Cantilevered Retaining Wall

DESCRIPTION: PLANTARBOX WALL (WORST CASE)

Footing Dimensions & Strengths			Footing Design Results		
Toe Width		= 0.67 ft	Factored Pressure	Toe	Heel
Heel Width		= 2.33	MU / Upward	= 1,903	0 psf
Total Footing Width		= 3.00	MU / Downward	= 378	0 ft-lb
Footing Thickness		= 12.00 in	MU Design	= 85	888 ft-lb
Key Width		= 0.00 in	Actual 1-Way Shear	= 0.00	8.37 psi
Key Depth		= 0.00 in	Allow 1-Way Shear	= 75.00	75.00 psi
Key Distance from Toe		= 2.00 ft	Toe Reinforcing	= # 4 @ 12.00 in	
			Heel Reinforcing	= # 4 @ 12.00 in	
Fc = 2,500 psi	Fy = 60,000 psi		Key Reinforcing	= None Spec'd	
Footing Concrete Density		= 150.00 pcf	Other Acceptable Sizes & Spacings		
Min. As %		= 0.0018	Toe: Not req'd, MU < S * Fr		
Cover @ Top	2.00	@ Btm = 3.00 in	Heel: Not req'd, MU < S * Fr		
			Key: No key defined		

Summary of Overturning & Resisting Forces & Moments

---OVERTURNING---			---RESISTING---		
Item	Force lbs	Distance ft	Force lbs	Distance ft	Moment ft-lb
Heel Active Pressure	= 1,012.5	1.50	Soil Over Heel	= 640.4	2.17 1,388.6
Surcharge over Heel	=		Stoped Soil Over Heel	=	
Toe Active Pressure	= -93.8	0.83	Surcharge Over Heel	=	
Surcharge Over Toe	=		Adjacent Footing Load	=	
Adjacent Footing Load	=		Axial Dead Load on Stem	=	
Added Lateral Load	=		* Axial Live Load on Stem	=	
Load @ Stem Above Soil	=		Soil Over Toe	= 110.6	0.34 37.0
			Surcharge Over Toe	=	
			Stem Weight(s)	= 350.0	1.00 351.2
			Earth @ Stem Transitions	=	
			Footing Weight	= 450.0	1.50 675.0
			Key Weight	= 2.00	
			Vert. Component	=	
Total	= 918.8	O.T.M. = 1,440.6	Total = 1,550.9 lbs	R.M. = 2,451.8	
Resisting/Overturning Ratio	= 1.70				
Vertical Loads used for Soil Pressure =	1,550.9 lbs				

* Axial live load NOT included in total displayed, or used for overturning resistance, but is included for soil pressure calculation.



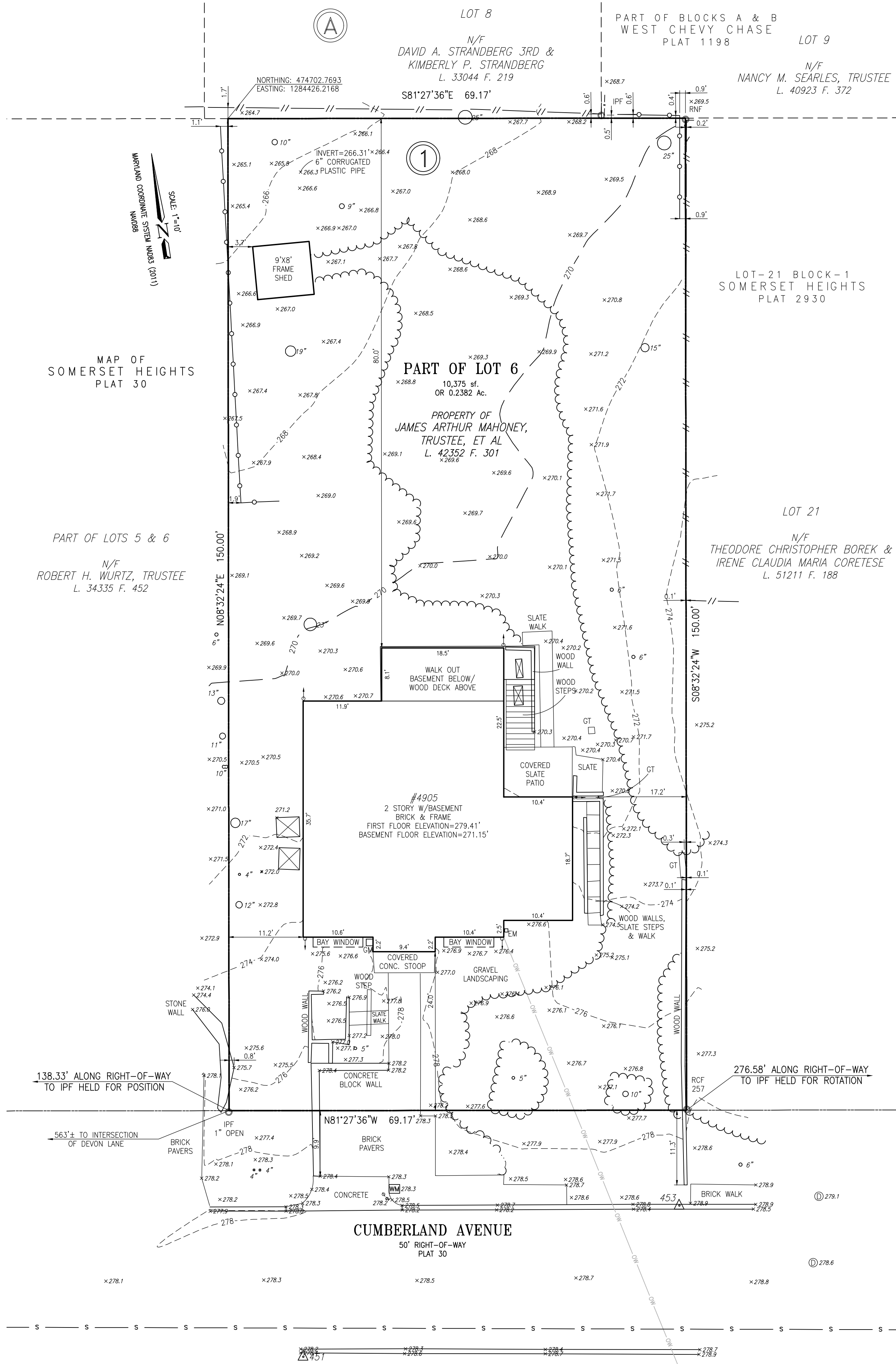
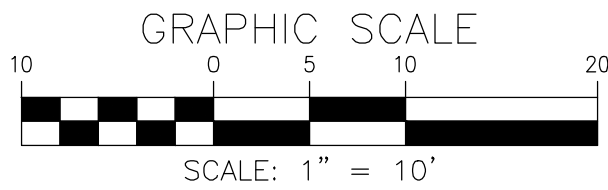
SC AND SWM PLAN - NOTES AND DETAILS
4905 CUMBERLAND AVENUE
PART OF LOT 6, BLOCK 1
SOMERSET HEIGHTS
BETHESDA (7th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

CPJ Associates Charles P. Johnson & Associates, Inc.
Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
www.cpja.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

CLIENT: LIZ HOMES 3818 OLIVER STREET CHEVY CHASE, MD 20815 MR. GUIDO BRACCIOLE LIZHOMESMD@GMAIL.COM		WSSC GRID:	TAX MAP:
DESIGN RPI		SHEET 6	OF 6
DRAFT RPI		DATE SEPT. 2023	FILE NO: 2023-1250-23
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BENCHMARK CHART				
POINT NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
451	474515.9550	1284409.4700	278.49	REBAR & CAP
453	474530.0399	1284469.1044	278.89	X-CUT

- LEGEND
- ① STORM DRAIN MANHOLE
 - ROOF DRAIN SPOUT
 - EM □ ELECTRIC METER
 - WM WATER METER
 - GM □ GAS METER
 - GAS VALVE
 - GT STORM DRAIN GRATE
 - S — BURIED SEWER LINE
 - //— WOOD FENCE
 - X — CHAIN LINK FENCE
 - WIRE FENCE
 - OW— OVER HEAD WIRE
 - LANDSCAPE AREA
 - AIR CONDITIONER UNIT
 - RNF REBAR FOUND
 - RCF REBAR AND CAP FOUND
 - IPF IRON PIPE FOUND
 - SINGLE TREE WITH SIZE
 - TWIN TREE WITH SIZE
 - QUADRUPLE TREE WITH SIZE



NOTES:

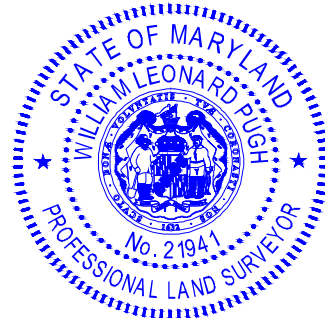
- FOR THE PURPOSES OF ASSESSMENT AND TAXATION, THE SUBJECT PROPERTY IS IDENTIFIED AS PART OF LOT 6, BLOCK 1, SUBDIVISION 0044, AS SHOWN ON TAX MAP HN21 FOR MONTGOMERY COUNTY, MARYLAND, WHOSE TAX ID No. IS 07-00537121, WITH A STREET ADDRESS OF 4905 CUMBERLAND AVENUE, CHEVY CHASE, MD 20815.
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X- AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR MONTGOMERY COUNTY, MARYLAND, MAP No. 24031C04550, EFFECTIVE DATE SEPTEMBER 29, 2006.
- THE FIELDWORK FOR THIS SURVEY WAS STARTED ON JULY 11, 2023, WITH THE LAST DATE OF FIELDWORK BEING JULY 13, 2023.
- ACCORDING TO DELVIN DANIELS, ZONING SPECIALIST FOR MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES, THE SUBJECT PROPERTY IS ZONED R-60.
- THE TOTAL AREA OF THE SUBJECT PROPERTY IS 10,375 SQUARE FEET OR 0.2382 OF AN ACRE OF LAND.
- THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THE SUBJECT PROPERTY.
- COORDINATES SHOWN HEREON WERE ESTABLISHED USING TRIMBLE'S REAL-TIME KEYNETOPS AND THEIR VIRTUAL REFERENCE STATION SYSTEM (VRS) AND ARE BASED ON THE MARYLAND COORDINATE SYSTEM NAD83 (2011) DATUM. THE AVERAGE SCALE FACTOR FOR THE SUBJECT PROPERTY IS 0.99995119. THE AVERAGE PROPERTY ELEVATION BASED UPON NAVD88 VERTICAL DATUM IS 275 FEET, FOR AN ELEVATION FACTOR OF 0.99999170. THE COMBINED FACTOR FOR THE SUBJECT PROPERTY IS 0.99994289. ALL BEARINGS AND DISTANCES SHOWN ARE BASED ON GRID COORDINATES.
- BEARINGS SHOWN HEREON ARE SUBJECT TO A 0.073436" COUNTERCLOCKWISE ROTATION FROM PLAT MERIDIAN (PLAT 30) INTO MARYLAND COORDINATE SYSTEM NAD83 (2011) DATUM.
- ALL DRIVE SURFACES ARE ASPHALT AND ALL CURBS & GUTTERS AND WALKWAYS ARE CONCRETE UNLESS OTHERWISE NOTED.
- PERPENDICULAR DISTANCE TIES FROM THE BUILDING TO THE PROPERTY LINES ARE PLUS OR MINUS TWO-TENTHS OF A FOOT (±0.2').
- FIRST FLOOR, LOWER LEVEL, OR BASEMENT FLOOR ELEVATIONS SHOWN ARE THE ELEVATION OF THE DOOR'S THRESHOLD.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON WAS OBTAINED USING ACCEPTED LAND SURVEYING PRACTICES; THAT THE BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM AVAILABLE DEEDS AND RECORDS; THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED UNDER MY RESPONSIBLE CHARGE AND ARE IN COMPLIANCE WITH COMAR REGULATION 09.13.06.12.

DATE: 7/25/2023

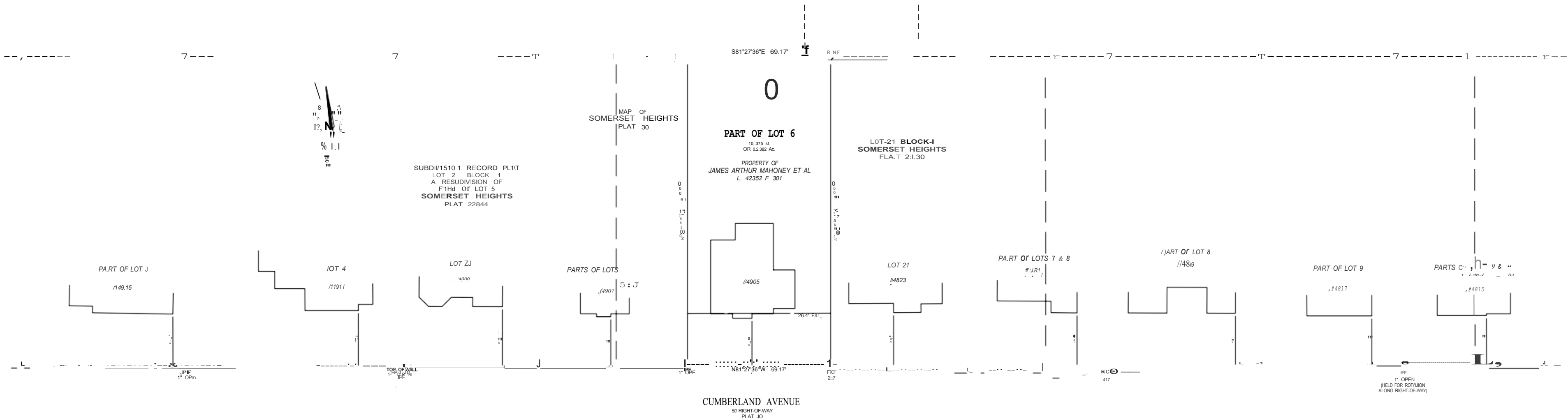
DocuSigned by:
William L. Rugh
F126CDDA51248B
WILLIAM L. RUGH
PROFESSIONAL LAND SURVEYOR
MD LIC. # 21941 EXP. 04/24/2025



BOUNDARY & TOPOGRAPHIC SURVEY 4905 CUMBERLAND AVENUE PART OF LOT 6, BLOCK 1			
SOMERSET HEIGHTS BETHESDA (7th) ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND			
CPJ Charles P. Johnson & Associates, Inc. Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors			
1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394 www.cpjia.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA			
CLIENT: MR. GUIDO BRACCIALE	TAX MAP/WSSC	SITE PLAN NO:	
	DESIGN WLP	SHEET	OF
	DRAFT WAL	1	1
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	SCALE 1" = 10'	2025-1250-080	

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON (IF ANY) HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. UNLESS OTHERWISE NOTED, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



DPS ZONING:
DELM. DNELS
07/12/2023

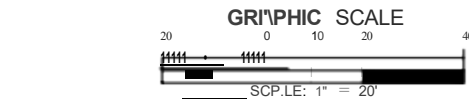
ZONED: R40
SIDEYARD (INDIVIDUAL) 7'
SIDEYARD (COMBINED) 14'
FRONT YARD: 25' OR ESTABLISHED BUILDING LINE, WHICHEVER IS GREATER.
PROJECTION INTO FRONT YARD: COVERED PORCH: 5'
REAR SETBACK: 20'
HEIGHT RESTRICTIONS: 35' TO 100' PEAK TO JOINT TO THE MID POINT OF ROOF

AVERAGE SETBACK CHART		
CUMBERLAND AVENUE		
METHOD 1 - AVERAGE OF LOTS WITHIN 300'		
LOT - BLOCK	ADDRESS	SETBACK DISTANCE
PO 5 - 1	915 CUMBERWIND AVE	28.1 ft
4 - 1	911 CUMBERWIND AVE	27.9 ft
23 - 1	909 CUMBERWIND AVE	29.7 ft
PO5&PO6-	907 CUMBERWIND AVE	24.8 ft
21 - 1	823 CUMBERWIND AVE	20.7 ft
PO7&PO2-	821 CUMBERWIND AVE	20.1 ft
PO 8 - 1	819 CUMBERWIND AVE	20.1 ft
PO 9 - 1	817 CUMBERWIND AVE	21.8 ft
PO 9 & PO 10 - 1	815 CUMBERWIND AVE	21.9 ft
PO 6 - 1	905 CUMBERWIND AVE	SUBJECT LOT

THE E.B.L. FOR 4905 CUMBERLAND AVENUE IS 21.4'

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON WAS OBTAINED USING ACCEPTED LAND SURVEYING PRACTICES THAT THE BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM AVAILABLE DEEDS AND RECORDS, THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED UNDER MY RESPONSIBLE CHARGE AND I AM IN COMPLIANCE WITH COMAR REGULATIONS 09.13.06.12.

DATE: 7/25/2023
WILLIAM C. JOHNSON
PROFESSIONAL LAND SURVEYOR
MD LIC. # 21941 EXP. 04/24/2025

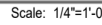


ESTABLISHED BUILDING LINE EXHIBIT
4905 CUMBERLAND AVENUE
PART OF LOT 6, BLOCK 1

SOMERSET HEIGHTS
BETHESDA (7th) ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

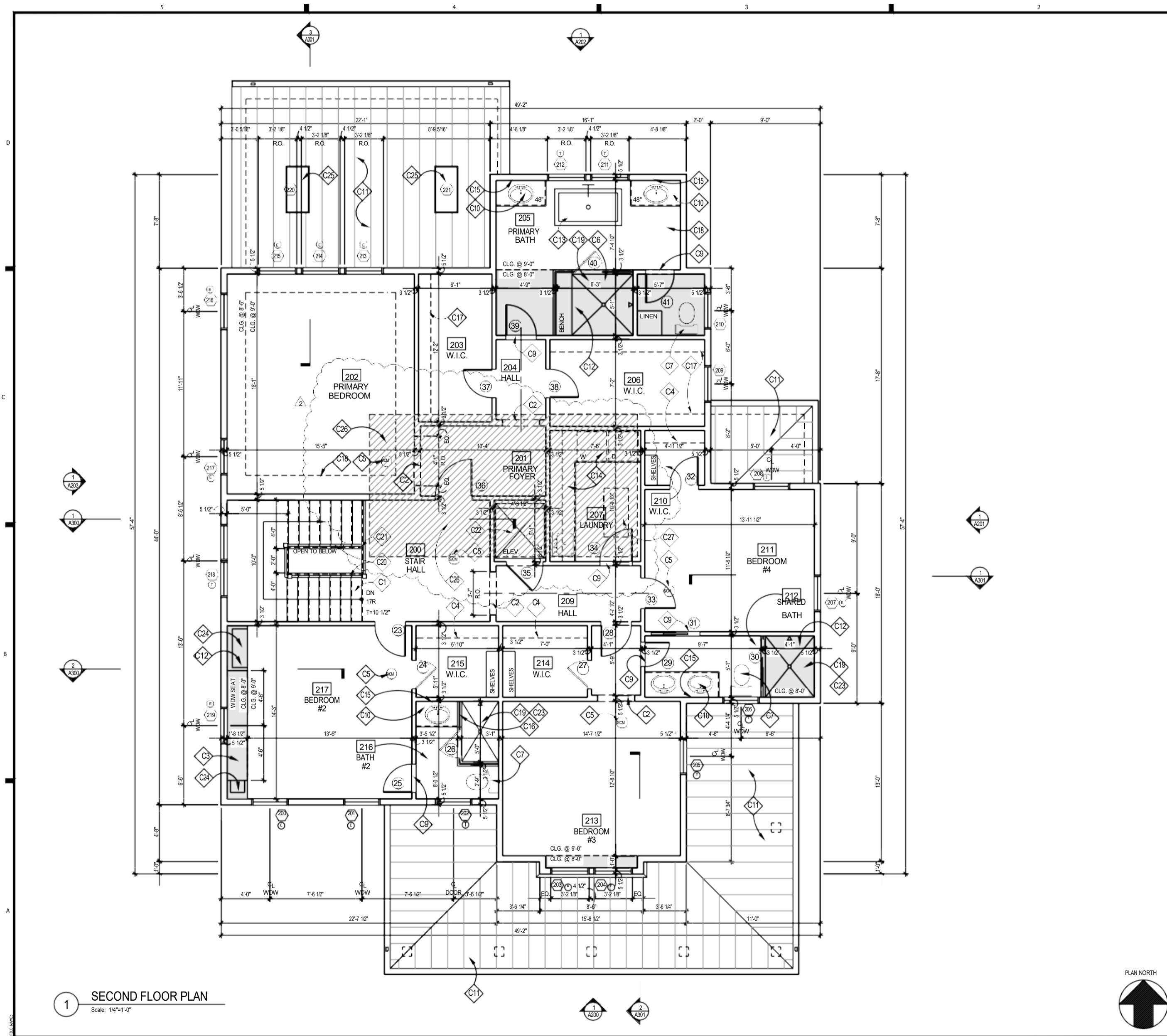
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Professional Land Surveyors - Planners - Landscape Architects - Engineers
1000 Clow Rd., Ste. 200 Silver Spring, MD 20910 301-581-7000 Fax 301-581-8000
www.charlespjohnson.com • email: cpj@cpj.com • holladay@cpj.com • mckelvey@cpj.com • rick@cpj.com

DATE: 07/25/2023	SCALE: 1" = 20'
------------------	-----------------



TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE;
INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN

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CONSTRUCTION NOTES

- C WD. STEPS, 1x RISERS W/ TREADS TO MATCH H.W.F.; WOOD RAILING T.B.S. SEE DETAILS 4,6/A302 FOLLOW IRC 2018 FOR STAIR AND RAILING
- C2 CAGED OPENING @ +1'-7'-0" FINISHED, HEAD TO MATCH WINDOWS
- C3 BUILT-IN WINDOW SEAT, SEE 1/A405
- C4 TYP. CLOSET SHELF + ROD, COORD. W/ OWNER
- C5 SMOKE DETECTOR/ CARBON MONOXIDE COMBO UNIT HARDWIRED WITH BATTERY BACK UP, PER IRC 2018
- C6 PAN FORMED TILE SHOWER W/ SLOPED TILE SEAT 10.14/A303 & TEMPERED GLASS ENCLOSURE. PROVIDE MEMBRANE LINER & 1/2" DUROCK AROUND ALL SIDES; CONFIRM FINAL SHOWER HEAD LOCATION W/ OWNER
- C7 PLUMBING FIXTURES, & ACCESSORIES PER OWNER, TYP.
- C8 (5) EQUALLY SPACED SHELVES, PTD.
- C9 MARBLE THRESHOLD T.B.S. SEE 19/A302
- C10 VANITY W/ SINK, FAUCET & COUNTERTOP, T.B.S.
- C11 STANDING SEAM METAL ROOF BELOW, T.B.S.
- C12 TONED AREAS INDICATE LOWERED CEILING, SEE PLAN FOR HEIGHTS
- C13 FREESTANDING TUB T.B.S. CENTER TUB ON WINDOWS
- C14 LAUNDRY ROOM CABINETS, APPLIANCES + COUNTER TOPS, ETC. T.B.S.; PROVIDE OVERFLOW PAN AND DRAIN UNDER WASHER
- C15 1/4" PLATE GLASS MIRROR FROM TOP OF SPLASH TO 7'-0"; FULL WIDTH OF VANITY
- C16 KNEE WALL BETWEEN SHOWER AND VANITY, F.V. HEIGHT WITH CABINET.
- C17 CUSTOM CLOSET SYSTEM, T.B.D.
- C18 TRAY CEILING ABOVE, SEE PLAN FOR HEIGHTS
- C19 TUB & SHOWER FLOORS AND WALLS SHALL BE FINISHED W/ A NON-ABSORBENT SURFACE AT LEAST 6" ABOVE THE FLOOR, PER IRC 2018
- C20 HANDRAIL @ 34" ABOVE NOSING PER IRC 2018; HANDRAIL GRIP SIZE PER CODE
- C21 36" H. GUARDRAIL/HANDRAIL PER IRC 2018 T.B.S.
- C22 ELEVATOR T.B.S., CONSTRUCT SHAFT PER IRC 2018
- C23 PAN FORMED TILE SHOWER 10.14/A303 & TEMPERED GLASS ENCLOSURE. PROVIDE MEMBRANE LINER & 1/2" DUROCK AROUND ALL SIDES; CONFIRM FINAL SHOWER HEAD LOCATION W/ OWNER
- C24 BUILT-IN BOOKSHELVES, T.B.D.
- C25 VELUX SKYLIGHT, SEE WINDOW SCHEDULE
- C26 TONED AREA INDICATES EXTENT OF ATTIC FOR HVAC
- C27 PULL DOWN ATTIC STAIR PER CODE, SEE SHEET 002

NOTE:

- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
- SEE DETAIL SHEET FOR TYPICAL FRAMING DETAILS
- PROVIDE MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.):

- ELEVATOR SHAFT
- 205 PRIMARY BATH
- 207 LAUNDRY
- 212 SHARED BATH
- 216 BATH #2

WALL TYPES

TYPICAL NEW EXTERIOR WALL: 2x6 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET "EC001" FOR INSULATION LOCATION & INFORMATION) W/ 1/2" EXTERIOR SHEATHING, AIR & WATER RESISTIVE BUILDING WRAP, & SIDING; SEE ELEVATIONS. INTERIOR FINISH TO BE 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION: U.N.O. 2x4 WOOD STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN

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(240)333-2001 FAX
WWW.GTMARCHITECTS.COM



SAD



C Q V X D Q

4905 CUMBERLAND

CHEVY CHASE, MD 20815

OZQA

D A A A

SCHEMATIC DESIGN	08/14/23
SOMERSET PRE MEETING	09/14/23
SOMERSET PRE MTG. RESUB.	09/20/23
PERMIT SET	10/10/23
REVISIONS	01/08/24
TOS REVIEW	04/09/24

I W X D A V Q D D A

GTM Project No.	23.0442
Checked By	RJV
Drawn By	DER
Scale	AS NOTED

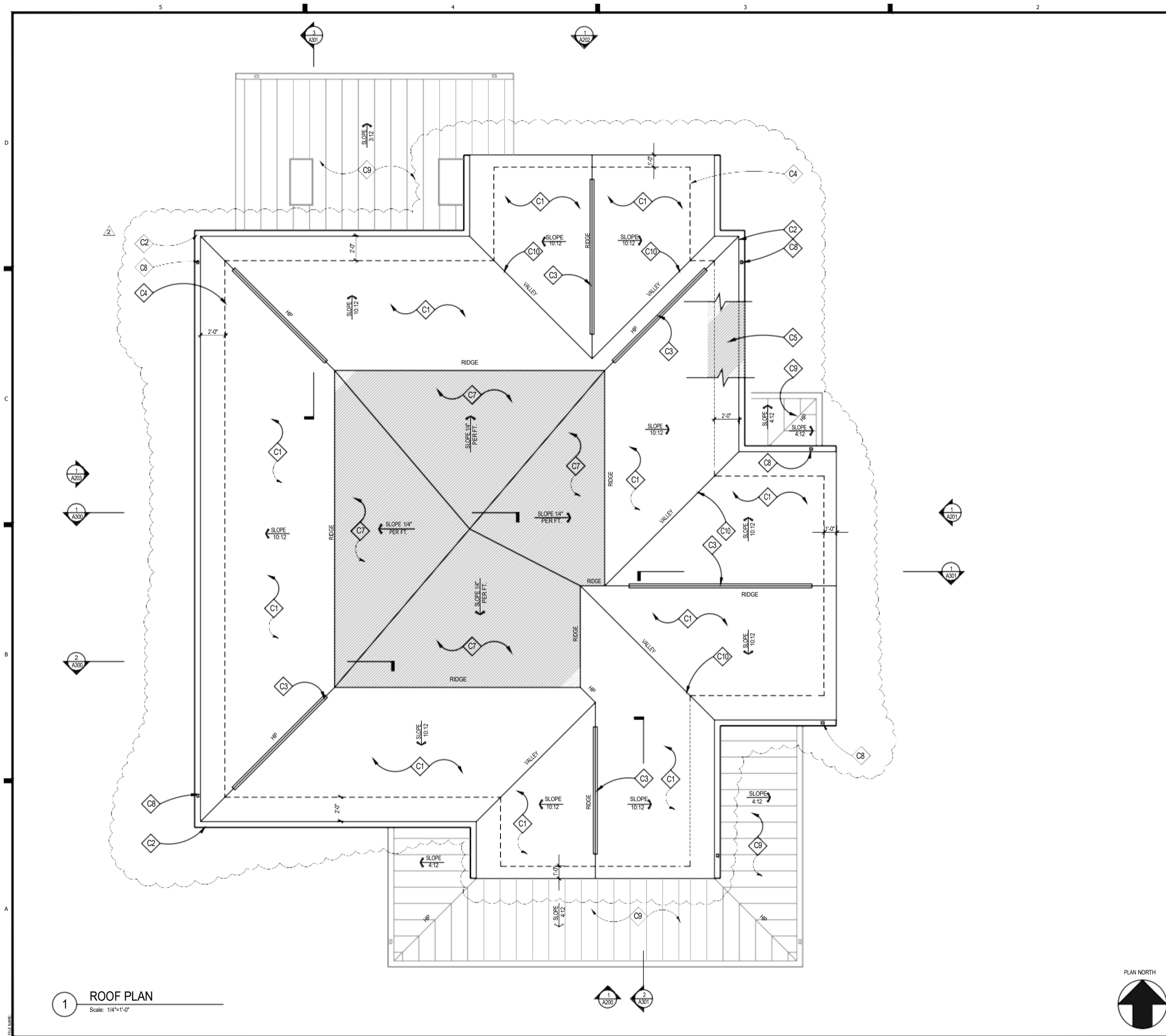
S A A T A

SECOND FLOOR PLAN

S A A N .

A102

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CONSTRUCTION NOTES

- C1 40 YEAR ASPHALT SHINGLES T.B.S., TYP.
- C2 SEAMLESS ALUMINUM OGEE STYLE GUTTER W/ LEAF GUARD, COLOR & MATERIAL T.B.S.
- C3 RIDGEHIP VENT BY COR-A-VENT OR APPROVED EQUAL; OMIT IF USING SPRAY FOAM INSULATION
- C4 DASHED LINE INDICATES FACE OF STUD BELOW, TYP.
- C ICE AND WATER GUARD AT ALL EAVES, VALLEYS, AND LOW SLOPE ROOFS; SEE GENERAL ROOFING NOTE #1 THIS SHEET
- C6 DORMER
- C7 RUBBER ROOF MEMBRANE SYSTEM AT $\frac{1}{2}$ \"/>
- C8 4\"/>
- C9 STANDING SEAM METAL ROOF, T.B.S.
- C10 METAL VALLEY FLASHING, SEE 15A303
- C11 SKYLIGHT, SEE WINDOW SCHEDULE

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GTM

Seal



Consultant

Pro e t

**4905
CUMBERLAND**

CHEVY CHASE, MD 20815

Owner

De e l o e r

SCHEMATIC DESIGN	08/14/23
SOMERSET PRE MEETING	09/14/23
SOMERSET PRE MTG. RESUB.	09/20/23
PERMIT SET	10/10/23
REVISIONS	01/08/24
TOS REVIEW	04/09/24

IssueDes r t onDate

GTM Project No. 23.0442

Checked By RJV

Drawn By DER

Scale AS NOTED

SheetT tle

ROOF PLAN

SheetNo.

A103

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LEGEND

 LOW SLOPE ROOF, PROVIDE ICE & WEATHER GUARD

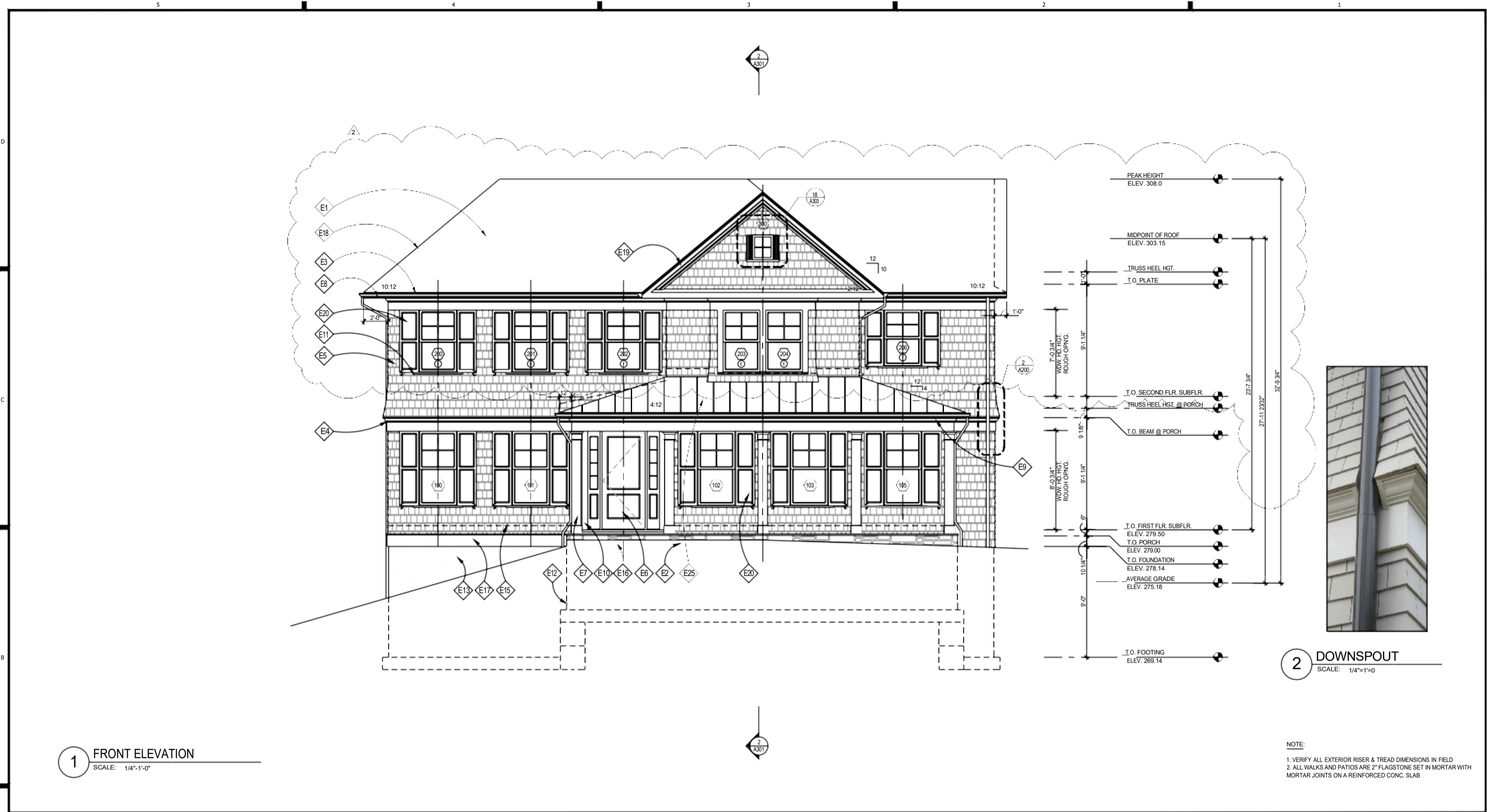
GENERAL ROOFING NOTES

- PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24\"/>
- SEE FRAMING PLAN FOR OVERBUILD AREAS
- DOTTED LINE INDICATES LINE OF BUILDING BELOW

PLAN NORTH



1 ROOF PLAN
Scale: 1/4\"/>



ELEVATION NOTES

- | | | | | | |
|----|--|-----|--|-----|--|
| E1 | 40 YR. ASPHALT SHINGLE ROOF, T.B.S. | E10 | PTD. AZEK 5/4x6 WINDOW/DOOR TRIM (ON 1/2" BLKG. W/ ARTISAN SHINGLES OR EQUAL) | E19 | PTD. AZEK GABLE RAKE, SEE SIM. DETAIL '4/A303' |
| E2 | STONE VENEER, COLOR AND STYLE T.B.S. | E11 | PTD. AZEK HISTORIC SILL AZM-6930 | E20 | OPERABLE SOLID-CORE COMPOSITE SHUTTERS & HARDWARE T.B.S., TYP. |
| E | OVERSIZED K-STYLE GUTTER (ON 1x6 PTD. FASCIA BD.) & 4" RD. DOWNSPOUT | E12 | LINE OF FOOTING/FOUNDATION WALL BELOW, TYP. SEE FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION | E21 | EGRESS WDW WELL COVER AS REQUIRED BY IRC 2018 |
| E4 | HOUSE TRIM BAND W/ SWOOP, SEE DETAIL '19/A303' | E13 | PTD. PARGED CONC. FOUNDATION WALL | E22 | PTD. AZEK 4:12 BAY EAVE, SEE DETAIL '20/A303' |
| E5 | PTD. CEDAR SHINGLES W/ MITERED CORNERS, INSTALL PER MANUFACTURER | E14 | NOT USED | E23 | NOT USED |
| E6 | STAIN GRADE FRONT DOOR T.B.S. | E15 | CONCEALED ALUMINUM FLASHING @ ALL VERTICAL TRANSITIONS; EXTEND 8" MIN. BEHIND VENEER, TYP. | E24 | NOT USED |
| E | PTD. 10" SQUARE HB&G PERMACAST COLUMN CUT FROM 9'-0" STOCK W/ #54504 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP. | E16 | STAIRS TO GRADE, STONE RISERS W/ FLAGSTONE TREADS, F.V. RISE AND RUN | E25 | STANDING SEAM METAL ROOF, T.B.S. |
| E8 | PTD. AZEK 10:12 EAVE, SEE DETAIL '5/A303' | E17 | PTD. AZEK SKIRT BD.; SEE DETAIL '12/A303' | | |
| E | PTD. AZEK 4:12 FRONT PORCH EAVE SEE DETAIL '9/A303' ALIGN W/ TOP OF WINDOWS AND PORCH COLUMNS | E18 | RIDGE/HIP VENTS BY COR-A-VENT OR APPROVED EQUAL, TYP.; REMOVE IF USING SPRAY FOAM INSULATION | | |

GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH, AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY.

AZEK PRODUCTS EXPAND AND CONTRACT WITH CHANGES IN TEMPERATURE.

PROPERLY FASTENING AZEK MATERIAL ALONG ITS ENTIRE LENGTH WILL MINIMIZE EXPANSION AND CONTRACTION.

WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18 FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.



WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

FOR ADDITIONAL INFORMATION: VISIT WWW.AZEK.COM OR CALL 877-ASK-AZEK.

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Seal



Consultant

Project

4905 CUMBERLAND

CHEVY CHASE, MD 20815

Owner

Developer

SCHEMATIC DESIGN	08/14/23
SOMERSET PRE MEETING	09/14/23
SOMERSET PRE MTG. RESUB.	09/20/23
PERMIT SET	10/10/23
REVISIONS	01/08/24
TOS REVIEW	04/09/24

Issue Description Date

GTM Project No. 23.0442

Checked By RJV

Drawn By DER

Scale AS NOTED

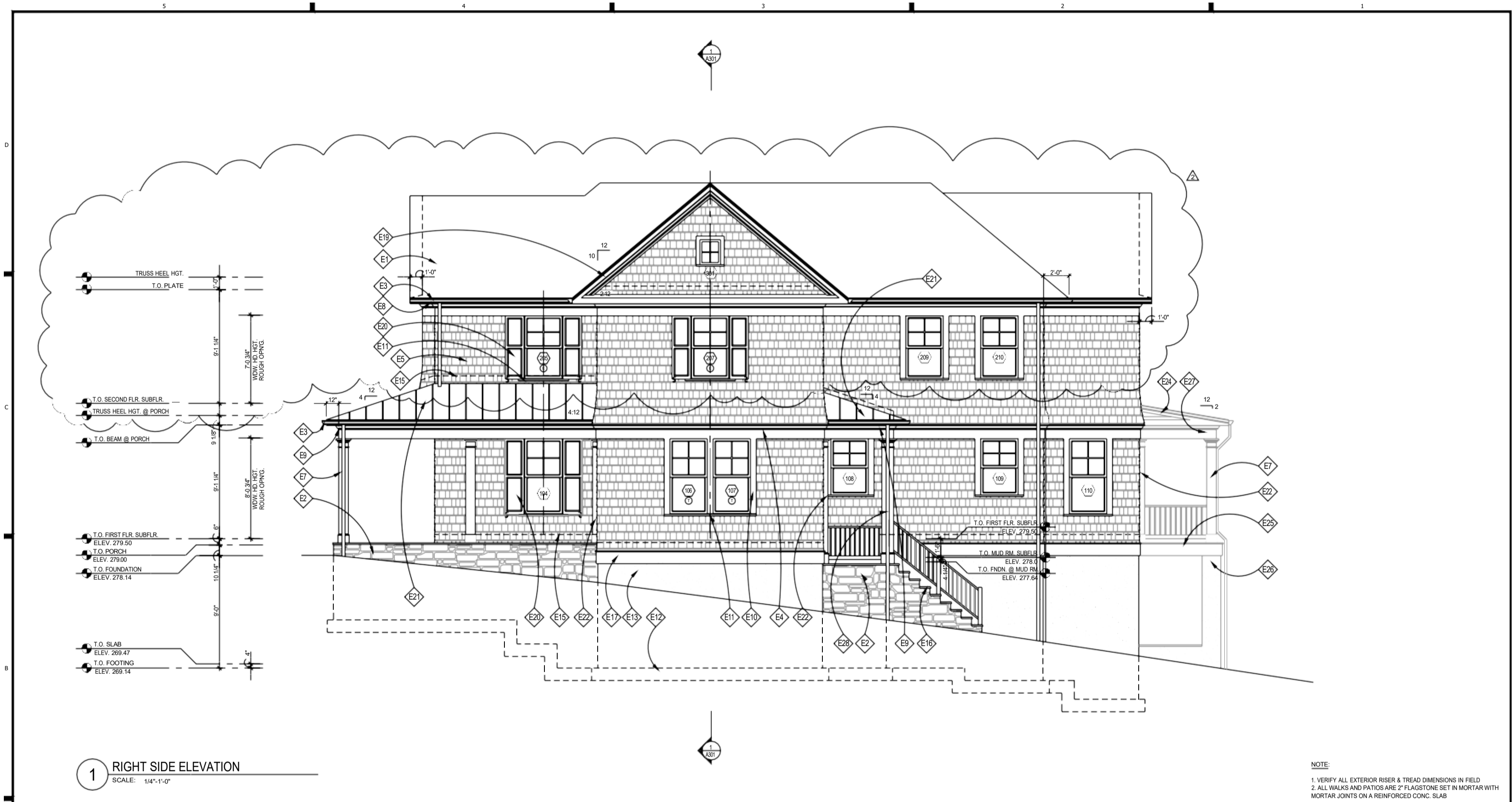
Sheet Title

FRONT ELEVATION

Sheet No.

A200

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ELEVATION NOTES

- E1 40 YR. ASPHALT SHINGLE ROOF, T.B.S.
E2 STONE VENEER, COLOR AND STYLE T.B.S.
E OVERSIZED K-STYLE GUTTER (ON 1x6 PTD. FASCIA BD.) & 4" RD. DOWNSPOUT
E4 HOUSE TRIM BAND W/ SWOOP, SEE DETAIL '19/A303'
E5 PTD. CEDAR SHINGLES W/ MITERED CORNERS, INSTALL PER MANUFACTURER
E6 HVAC UNITS, COORDINATE W/ OWNER AND CIVIL DRAWINGS
E7 PTD. 10" SQUARE HB&G PERMACAST COLUMN CUT FROM 9'-0" STOCK W/ #54504 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP.
E8 PTD. AZEK 10:12 EAVE, SEE DETAIL '5/A303'
E PTD. AZEK 4:12 FRONT/SIDE PORCH EAVE SEE DETAIL '9/A303' ALIGN W/ TOP OF WINDOWS AND PORCH COLUMNS

- E10 PTD. AZEK 5/4x6 WINDOW/DOOR TRIM (ON 1/2" BLKG. W/ ARTISAN SHINGLES OR EQUAL)
E11 PTD. AZEK HISTORIC SILL AZM-8530
E12 LINE OF FOOTING/FOUNDATION WALL BELOW, TYP. SEE FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION
E13 PTD. PARGED CONC. FOUNDATION WALL
E14 NOT USED
E15 CONCEALED ALUMINUM FLASHING @ ALL VERTICAL TRANSITIONS; EXTEND 8" MIN. BEHIND VENEER, TYP. STAIRS TO GRADE, STONE RISERS W/ FLAGSTONE TREADS, F.V. RISE AND RUN
E16 PTD. AZEK SKIRT BD., SEE DETAIL '12/A303'
E17 RIDGE/HIP VENTS BY COR-A-VENT OR APPROVED EQUAL, TYP.; REMOVE IF USING SPRAY FOAM INSULATION
E18

- E19 PTD. AZEK GABLE RAKE, SEE DETAIL '4/A303'
E20 OPERABLE SOLID-CORE COMPOSITE SHUTTERS & HARDWARE T.B.S., TYP.
E21 STANDING SEAM MTL. ROOF T.B.S.
E22 PTD. 10" SQUARE HB&G PERMACAST PILASTER CUT FROM 9'-0" STOCK W/ #54504 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP.
E23 PTD. AZEK BAY EAVE, SEE DETAIL '20/A303'
E24 PTD. AZEK PORCH RAKE, SEE SIM. DETAIL '3/A303'
E25 COMPOSITE WOOD DECKING W/ PTD. AZEK 1x12 TRIM BAND
E26 CONC. PIER, SEE STRUCTURAL DRAWINGS
E27 PTD. AZEK 2:12 REAR PORCH EAVE SEE DETAIL '10/A303' ALIGN W/ TOP OF WINDOWS AND PORCH COLUMNS

- E28 PTD. 12" SQUARE HB&G PERMACAST COLUMN CUT FROM 9'-0" STOCK W/ #54504 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP.

GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

THE GLUE JOINT SHOULD BE SECURED WITH A FASTENER AND/OR FASTENED ON EACH SIDE OF THE JOINT TO ALLOW ADEQUATE BONDING TIME.

AZEK ADHESIVE HAS A WORKING TIME OF 10 MINUTES AND WILL BE FULLY CURED IN 24 HOURS.

IF STANDARD PVC CEMENTS ARE USED, KEEP IN MIND THESE PRODUCTS TYPICALLY CURE QUICKLY WHICH WILL RESULT IN LIMITED WORKING TIME AND MAY REDUCE ADHESIVE STRENGTH, AS SUCH THEY ARE NOT ACCEPTABLE.

FOR BEST RESULTS, SURFACES TO BE GLUED SHOULD BE SMOOTH, CLEAN AND IN COMPLETE CONTACT WITH EACH OTHER.

TO BOND AZEK TO OTHER SUBSTRATES, VARIOUS ADHESIVES MAY BE USED. CONSULT ADHESIVE MANUFACTURER TO DETERMINE SUITABILITY. AZEK PRODUCTS EXPAND AND CONTRACT WITH CHANGES IN TEMPERATURE.

PROPERLY FASTENING AZEK MATERIAL ALONG ITS ENTIRE LENGTH WILL MINIMIZE EXPANSION AND CONTRACTION.

WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18 FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.



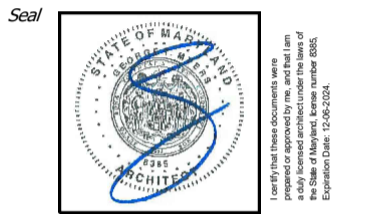
WHEN GAPS ARE GLUED ON A LONG RUN OF AZEK, ALLOW EXPANSION AND CONTRACTION SPACE AT ENDS OF THE RUN.

INSTALL PER AZEK.

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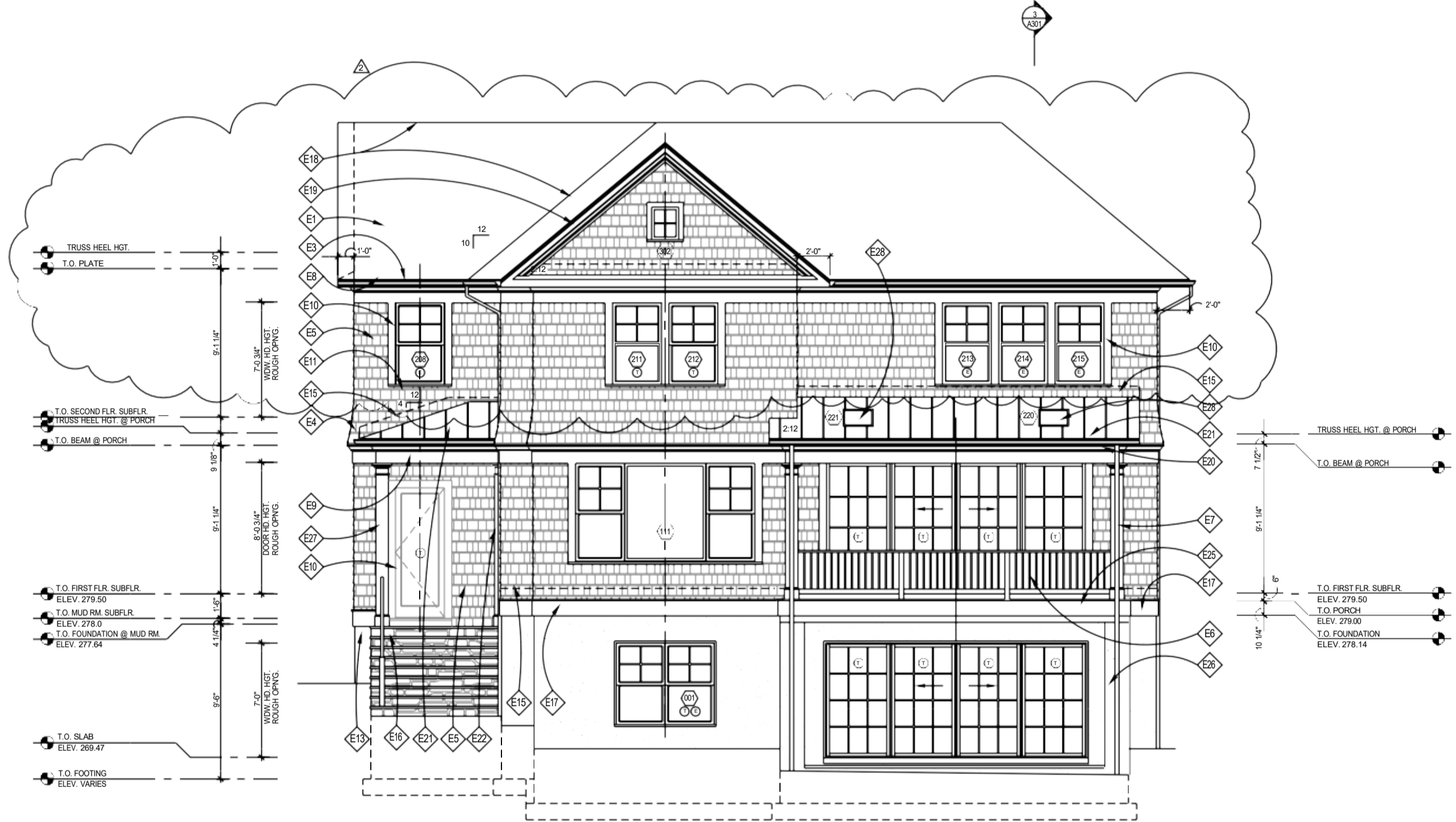
Drawn By DER

Scale AS NOTED

Sheet Title

RIGHT SIDE ELEVATION
Sheet No. **A201**

5 4 3 2 1



1 REAR ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
2. ALL WALKS AND PATIOS ARE 2" FLAGSTONE SET IN MORTAR WITH
MORTAR JOINTS ON A REINFORCED CONC. SLAB

ELEVATION NOTES

- E1 40 YR. ASPHALT SHINGLE ROOF, T.B.S.

E2 STONE VENEER, COLOR AND STYLE T.B.S.

E OVERSIZED K-STYLE GUTTER (ON 1x6 PTD. FASCIA BD.) & 4" RD. DOWNSPOUT

E4 HOUSE TRIM BAND W/ SWOOP, SEE DETAIL '19/A303'

E5 PTD. CEDAR SHINGLES W/ MITERED CORNERS, INSTALL PER MANUFACTURER

E6 RAIL SYSTEM, T.B.S.

E7 PTD. 10" SQUARE HB&G PERMACAST COLUMN CUT FROM 9'-0" STOCK W/ #54504

E8 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP.

E PTD. AZEK 10:12 EAVE, SEE DETAIL '5/A303'

E PTD. AZEK 4:12 SIDE PORCH EAVE SEE DETAIL '9/A303' ALIGN W/ TOP OF WINDOWS AND PORCH COLUMNS
- E10 PTD. AZEK 5/4x6 WINDOW/DOOR TRIM (ON 1/2" BLKG. W/ ARTISAN SHINGLES OR EQUAL)

E11 PTD. AZEK HISTORIC SILL AZM-6500

E12 LINE OF FOOTING/FOUNDATION WALL BELOW, TYP. SEE FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION

E13 PTD. PARGED CONC. FOUNDATION WALL

E14 NOT USED

E15 CONCEALED ALUMINUM FLASHING @ ALL VERTICAL TRANSITIONS; EXTEND 8" MIN. BEHIND VENEER, TYP.

E16 STAIRS TO GRADE, STONE RISERS W/ FLAGSTONE TREADS.

E17 F.V. RISE AND RUN

E18 PTD. AZEK SKIRT BD., SEE DETAIL '12/A303'

E19 RIDGE/HIP VENTS BY COR-A-VENT OR APPROVED EQUAL, TYP.; REMOVE IF USING SPRAY FOAM INSULATION
- E19 PTD. AZEK GABLE RAKE, SEE DETAIL '4/A303'

E20 PTD. AZEK 3:12 REAR PORCH EAVE SEE DETAIL '10/A303' ALIGN W/ TOP OF WINDOWS AND PORCH COLUMNS

E21 STANDING SEAM MTL. ROOF T.B.S.

E22 PTD. 10" SQUARE HB&G PERMACAST PILASTER CUT FROM 9'-0" STOCK W/ #54504

E23 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP.

E24 PTD. AZEK BAY EAVE, SEE DETAIL '20/A303'

E25 PTD. AZEK PORCH RAKE, SEE SIM. DETAIL '3/A303'

E26 COMPOSITE WOOD DECKING W/ PTD. AZEK 1X10 TRIM BAND

E27 CONC. PIER., SEE STRUCTURAL DRAWINGS

E28 PTD. 12" SQUARE HB&G PERMACAST COLUMN CUT FROM 9'-0" STOCK W/ #54504

E29 NECK MOLD & TUSCAN CAP & SQ. BASE, TYP.
- E28 VELUX FIXED SKYLIGHT, SEE WINDOW SCHEDULE

GENERAL AZEK TRIM NOTES

GLUE ALL AZEK TO AZEK JOINTS SUCH AS WINDOW SURROUNDS, LONG FASCIA RUNS, ETC., WITH AZEK ADHESIVE TO PREVENT JOINT SEPARATION.

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WHEN PROPERLY FASTENED, ALLOW 1/8" PER 18 FOOT OF AZEK PRODUCT FOR EXPANSION AND CONTRACTION. JOINTS BETWEEN PIECES OF AZEK SHOULD BE GLUED TO ELIMINATE JOINT SEPARATION. SEE "GLUING" DIAGRAM BELOW.

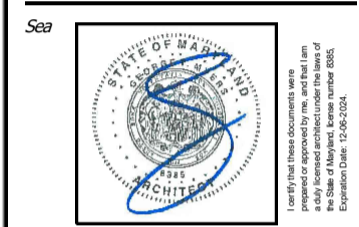


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Sheet Title

REAR
ELEVATION
Sheet No.
A202
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