



CITY COUNCIL AGENDA REGULAR MEETING

**Monday, September 14, 2020
7:00 P.M.**

The City of Montrose is committed to maintaining a safe, welcoming, family-friendly community, with affordable housing, where parents can raise their families; to ensuring our skilled, motivated employees provide high quality public services at a value; to sound stewardship and fiscal responsibility to ensure our city remains strong and prosperous, both now and into the future; to nurturing business-friendly partnerships to promote economic development and local jobs; to thoughtfully address community needs and plan for growth, innovation and sustainable development; and to ethical leadership that is responsive and accountable to our citizens.

Montrose Community Center
200 Center Avenue South
Montrose, Minnesota 55363

1. CALL TO ORDER

2. ROLL CALL

3. INVOCATION

A. Pastor Cathy Jones – House of Grace

4. PLEDGE OF ALLEGIANCE

5. APPROVAL OF AGENDA

6. APPROVAL OF CONSENT AGENDA

A. Minutes

1. August 10, 2020 Regular City Council Meeting – prepared by H. Dahlin
2. August 12, 2020 Special City Council Meeting – prepared by W. Manson
3. August 31, 2020 City Council Workshop – prepared by W. Manson

B. Accounts Payable

1. City, September 14, 2020 – prepared by W. Manson
2. Fire Department, September 14, 2020 – prepared by W. Manson

C. Monthly Utility Adjustments, August, 2020 - prepared by J. Bonniwell

D. Election Judge Appointment

1. Appointment of Additional Election Judges for the General Election.

E. Truth in Taxation Public Meeting Date

1. Set the Truth in Taxation Public Meeting Date for December 14, 2020 at 7:00 pm at the Montrose Community Center.

F. Close City Hall – Tuesday, October 6, 2020 from 9:00 a.m. to 12:00 p.m.

1. Authorize the closing of City Hall on Tuesday, October 6, 2020 from 9:00 a.m. to 12:00 p.m. for City staff training in Cardiopulmonary Resuscitation (CPR).

7. OPEN FORUM

8. WRIGHT COUNTY SHERIFF'S OFFICE

- A. August, 2020 Monthly Report and Hours Report

9. REPORTS AND RECOMMENDATIONS OF CITY DEPARTMENTS, CONSULTANTS, COMMISSIONS, AND COMMITTEES

A. City Council

1. Monthly Activity Report

B. Montrose Fire Department

1. August, 2020 Activity Report
2. Engine 12 Radio/Intercom
 - a. Authorize the Purchase of Headsets for Engine 12 Radio System for Safety and Effective Communication
3. City Brush Pile Discussion
4. Portable Radio Purchase
 - a. Authorize the Replacement of the Portable Radios from Ancom (CARES Funding)
5. Nomex Fire Hoods
 - a. Authorize the Purchase of 30 New Fire Hoods from MES

C. Emergency Management

1. Community Center and Emergency Operations Center Audio/Visual Upgrade
 - a. Authorize the Purchase of New Audio/Visual Equipment (CARES Funding)

D. Park and Recreation Commission

1. September 3, 2020 Park and Recreation Commission Meeting Minutes

E. Planning and Zoning Commission

1. August 12, 2020 Planning and Zoning Commission Meeting Minutes
2. Planned Unit Development Amendment – R Home – Forest Creek Housing Development
 - a. Resolution No. 2020–23 *A Resolution Approving/Denying a Planned Unit Development (PUD) Amendment for Forest Creek*
3. 150 Nelson Boulevard – Parking Lot Deferment Agreement
 - a. Mr. Sid Chantland, 150 Nelson Boulevard - Parking Lot Deferment Agreement
4. City Planner Update

F. City Engineer

1. Year 2020 Street Maintenance Project

- a. Resolution No. 2020-24 *A Resolution Accepting Year 2020 Pavement Improvements Bid and Awarding Contract*

G. Economic Development Authority

1. August 25, 2020 Economic Development Authority Meeting
2. Economic Development Authority Flyer

10. OLD BUSINESS

11. NEW BUSINESS

A. City Hall Business Counter Improvements (CARES Funding)

B. Year 2020 Preliminary Budget and Levy

C. Resolution #2020-21 *A Resolution Authorizing a Decrease to the Levy for Crossover Bond 2010A*

D. Resolution #2020-22 *A Resolution Authorizing a Decrease to the Levy for GO Street Reconstruction Bond 2017A*

12. UPCOMING MEETINGS

A. Montrose Economic Development Authority – Tuesday, September 15, 2020 at 12:00 noon in the Montrose City Hall Conference Room

B. City Council Workshop – Monday, September 28, 2020 at 4:00 p.m. in the Montrose Community Center

C. Park and Recreation Commission Meeting – Thursday, October 1, 2020 at 5:30 p.m. in the Montrose City Hall Conference Room

D. Regular City Council Meeting – Monday, October 12, 2020 at 7:00 p.m. in the Montrose Community Center

E. Planning and Zoning Commission Meeting – Wednesday, October 14, 2020 at 7:00 p.m. in the Montrose Community Center

F. Montrose Economic Development Authority – Tuesday, October 20, 2020 at 12:00 noon in the Montrose City Hall Conference Room

G. City Council Workshop – Monday, October 26, 2020 at 4:00 p.m. in the Montrose Community Center

H. General Election – Tuesday, November 3, 2020 from 7:00 a.m. to 8:00 p.m. in the Montrose Community Center

13. ACKNOWLEDGEMENTS

14. ADJOURNMENT

City of Montrose
 Regular City Council Meeting
 Montrose Community Center
 200 Center Avenue South
 Monday, August 10, 2020
 7:00 P.M.

1. CALL TO ORDER

Pursuant to call and notice the Montrose City Council met in Regular Session on Monday, August 10, 2020 at 7:00 p.m.

Mayor Otto called the meeting to order at 7:00 p.m.

2. ROLL CALL

Present: Mayor Michelle Otto
 Council Member Nicole Andreoff
 Council Member Lloyd Johnson
 Council Member Tom Marszalek
 Council Member Kirby Moynagh

Staff Present: Ms. Wendy Manson, Deputy Clerk
 Mr. Wayne McCormick, Public Works Department Director
 Mr. Jared Voge, City Engineer
 Mr. Ryan Gritman, City Planner
 Mr. James Monge, City Attorney

3. INVOCATION

A. Ms. Therese Marszalek, MA Divinity – Buffalo Covenant Church

Ms. Marszalek administered the Invocation.

4. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was taken.

5. APPROVAL OF THE AGENDA

A. Mayor Otto moved New Business (A). Request for Council Action to directly after the Sheriff's Report.

Council Member Marszalek motioned to approve Agenda as amended for August 10, 2020 Regular City Council Meeting Agenda. Council Member Moynagh seconded the motion. Motion carried 5-0.

6. APPROVAL OF THE CONSENT AGENDA

A. Minutes

1. Accepted the minutes of the July 13, 2020 Regular City Council Meeting.

B. Accounts Payable

1. Approved the August 10, 2020 Accounts Payable for the City of Montrose.

2. Approved the August 10, 2020 Accounts Payable for the Montrose Fire Department.

C. Approved the Monthly Utility Adjustments, July, 2020.

D. Scheduled City Council Workshop for Monday, August 31, 2020 at 4:00 p.m. to be held in Montrose City Hall Conference Room.

Council Member Moynagh motioned to approve the Consent Agenda as presented. Council Member Marszalek seconded the motion. Motion carried 5-0.

7. OPEN FORUM

8. WRIGHT COUNTY SHERIFF'S OFFICE

A. July, 2020 Monthly Report and Hours Report

9. NEW BUSINESS

George and Jennifer Teeter addressed City Council for approval to house 3 dogs at their new home in White Tail Ridge Development. Ms. Jennifer Teeter stated that all 3 dogs will be licensed, with proof of vaccinations upon moving into the City of Montrose. The Teeter's also stated. The back yard will be fenced to contain dogs at all time.

Council Member Moynagh motioned to approve Request for Council Action allowing George and Jennifer Teeter to house 3 dogs on the property. Council Member Marszalek seconded the motion. Motion carried 5-0

10. REPORTS AND RECOMMENDATIONS OF CITY DEPARTMENTS, CONSULTANTS, COMMISSIONS AND COMMITTEES

A. City Council

1. Monthly Activity Report

The City Council Members gave a brief overview of the meetings, activities and/or events they attended.

B. Montrose Fire Department

1. July, 2020 Activity Report

Mr. Kevin Triplett referenced the *Monthly Activity Report* for the month of July, 2020 that was found in the City Council Packet.

2. Hiring Firefighters

Mr. Triplett stated the Montrose Fire Department is seeking dedicated volunteers to serve as firefighters. He encouraged residents to contact the City of Montrose for an application and information if they are interested.

C. Park and Recreation Commission

1. August 6, 2020 Park and Recreation Commission Meeting Minutes

Mayor Otto gave an overview of the items discussed at the August 6, 2020 Park and Recreation Commission Meeting.

2. Community Gathering October 6, 2020 instead of National Night Out

Because of Covid-19 National Night Out was cancelled. The Park and Recreation Commission is planning a Community Gathering to be held on October 6, 2020 with a variety of food trucks being offered with social distancing. This event would allow fellow community members a chance to social distance and enjoy food, fun and fellowship.

3. Flag Attractions at Veteran's Park

Per Council Approval, The Park and Recreation Commission will be purchasing a total of six (6) flags for the following branches of the Military: Army, Navy, U.S. Coast Guard, Marines, Air Force and National Guard. Flag placement will be in Veteran's Park. Ms. Bonniwell will be placing the order for the flags before the next meeting in September.

4. Pop-Up Soccer Net for Community Soccer

Mayor Otto asked for approval to purchase soccer nets for the Regional Park at the cost of approximately \$333.99 per net.

Council Member Moynagh made a motion to approve the purchase of 2(two) soccer nets not to exceed \$800.00. Council Member Andreoff seconded the motion. Motion carried 5-0

5. The Montrose Lions

The Montrose Lions are looking for suggestions on placement for tree's and benches in the community.

6. Fish Sunflower Fields

Fish Sunflower fields are being considered for the Regional Park; location would be off of Aspen Lane.

Council Member Moynagh motioned to approve talks with Fish Sunflower Company for possible future development of Sunflower Fields in the Regional Park off of Aspen Lane. Council Member Johnson seconded the motion. Motion carried 5-0

D. Planning and Zoning Commission

1. July 8, 2020 Planning and Zoning Commission Meeting Minutes

City Planner, Mr. Ryan Gritman gave an overview of the items discussed at the July 8, 2020 Planning and Zoning Commission Meeting. Mr. Gritman also introduced his replacement, Mr. Daniel Elder as the new team member of Northwest Associated Consultants, Inc.

2. Ordinance No. 2020-04 An Ordinance Amending Chapter 70: Peddlers and Solicitors to Establish Additional Standards for Mobile Food Units within the City was approved.

Council Member Moynagh motioned to adopt Ordinance No. 2020-04. An Ordinance Amending Chapter 70: Peddlers and Solicitors to Establish Additional Standards for Mobile Food Units within the City. Council Member Marszalek seconded the Motion. Motion carried. 5-0

3. Resolution No. 2020-19 A Resolution Authorizing Summary Publication of Ordinance No. 2020-04 an Ordinance Amendment to Chapter 70, Peddlers and Solicitors, of the City Code of the City of Montrose was approved.

Council Member Moynagh motioned to adopt Resolution No. 2020-19. A Resolution Authorizing Summary Publication of Ordinance No. 2020-04 an Ordinance Amendment to Chapter 70, Peddlers and Solicitors, of the City Code of the City of Montrose.

E. City Engineer

1. Pavement Management Plan

- a. City Engineer Jared Voge presented the Pavement Management Plan, this plan would be used as a guide and reference for the upcoming street improvements needed in the city starting in 2021.

Council Member Marszalek made a motion to approve Pavement Management Plan, Council member Andreoff seconded the Motion. Motion carried 4-1, Council Member Johnson opposed.

- b. Street Safety

Street Safety was discussed for the specific area of Crystal Lane and First Street. Many residents have expressed concerns about people driving at excessive speeds on this particular street. Council discussed; Extra Patrol, Solar Speed Signs and Yield Signs to help with speed control.

2. Crystal Lane and Mindy Lane Street Improvements

Council Member Moynagh motioned to approve moving forward with the preparation of plans and specs and authorization to obtain bids for Crystal Lane, Mindy Lane, Charity Circle, Crystal Circle and Park Place Circle street improvements and street repairs on Pheasant Ridge Drive and Quail Drive. Council Member Johnson seconded the motion. Motion carried 5-0.

F. Public Works Department

1. Updates

Mr. McCormick stated Fire Barn roof repair will take place this week, also a continuation of sludge removal is still taking place at the Waste Water Treatment Plant.

2. Mr. McCormick stated that he would like to request City Council approve Ordinance No. 2020-05 an Ordinance Amending Various Development and Administrative Fees for the City of Montrose. This approval is for the cost of the new water meters.

Council Member Moynagh made a motion to approve Fee Schedule Ordinance No. 2020-05. An Ordinance Amending Various Development and Administrative Fees for the City of Montrose. Council Member Marszalek seconded the motion. Motion carried 5-0

Resolution No. 2020-20 A Resolution Authorizing Summary Publication of Ordinance 2020-05 An Ordinance Amending Various Development and Administrative Fees for the City of Montrose. was also approved.

Council Member Marszalek motioned to approve Resolution 2020-20. A Resolution Authorizing Summary Publication of Ordinance 2020-05 an Ordinance Amending Various Development and Administrative Fees for the City of Montrose Council Member Andreoff seconded the motion. Motion carried 5-0.

11. OLD BUSINESS

12. NEW BUSINESS

- A. Request for Council Action
- B. Discussion Regarding Data Request and Legal Expenditures

Attorney for the City, Mr. James Monge was present to address issues and cost, of data requested and legal expenditures that the City could occur when providing a resident with information that he or she is requesting but is not willing to pay for. Several options were discussed for providing this resident the requested information. The Council requested, Ms. Manson reach out to the resident inviting them to City Hall to view the documents in question and at that time, copy the documents of choice at the resident's expense.

13. UPCOMING MEETINGS

- A. Primary Election – Tuesday, August 11, 2020 from 7:00 a.m. to 8:00 p.m. in the Montrose Community Center
- B. Planning and Zoning Commission Meeting – Wednesday, August 12, 2020 at 7:00 p.m. in the Montrose Community Center
- C. Montrose Economic Development Authority – Tuesday, August 25, 2020 at 12:00 noon in the Montrose City Hall Conference Room
- D. City Council Workshop – Monday, August 24, 2020 at 4:00p.m. in the Montrose Community Center – CANCELLED
- E. City Council Workshop – Monday, August 31, 2020 at 4:00 p.m. in the Montrose City Hall Conference Room
- F. Park and Recreation Commission Meeting – Thursday, September 3, 2020 at 5:30 p.m. in the Montrose City Hall Conference Room
- G. Planning and Zoning Commission Meeting – Wednesday, September 9, 2020 at 7:00 p.m. in the Montrose Community Center
- H. Regular City Council Meeting – Monday, September 14, 2020 at 7:00 p.m. in the Montrose Community Center
- I. Montrose Economic Development Authority – Tuesday, September 15, 2020 at 12:00 noon in the Montrose City Hall Conference Room
- J. City Council Workshop – Monday, September 28, 2020 at 4:00 p.m. in the Montrose City Hall Conference Room

14. ACKNOWLEDGEMENTS

- A. Mayor Otto and Council Member Moynagh would like to acknowledge the following:
 1. City Planner, Ryan Gritman for his services and dedication.
 2. All Election Judges working the upcoming Election.
 3. Council Candidates running for office.
 4. Montrose Fire Department for continued hard work and dedication.
 5. Wright County Sheriff for continued hard work and dedication protecting and serving our community.

15. CLOSED SESSION – HWY 25 RIGHT OF WAY

Council Member Moynagh motioned to close Public Meeting at 8:15 p.m. Council Member Marszalek seconded the motion. Motion carried 5-0

Closed Session Pursuant to the Attorney – Client Privilege and Minnesota Statutes Section 13D.05 subd. 3 (b) to discuss litigation strategy and settlement negotiations in the Highway 25 Right-of-Way Acquisition litigation.

Council Member Marszalek motioned to reopen Public Meeting at 8:39 p.m. Council Member Moynagh seconded the motion. Motion carried 4-0.

16. ADJOURNMENT

Council Member Marszalek motioned to adjourn the Regular City Council Meeting at 8:40 p.m. Council Member Moynagh seconded the motion. Motion carried 4-0.

Michelle Otto
Mayor
City of Montrose

ATTEST:

Heidi Dahlin
Administrative Assistant
City of Montrose

City of Montrose
 City Council Special City Council Meeting
 Montrose City Hall
 311 Buffalo Avenue South
 Wednesday, August 12, 2020
 3:30 P.M.

1. CALL TO ORDER

Pursuant to call and notice the Montrose City Council met in a Special City Council Meeting on Wednesday, August 12, 2020 at 3:30p.m. at Montrose City Hall.

Mayor Otto called the meeting to order at 3:30 p.m.

2. ROLL CALL

Present: Mayor Michelle Otto
 Council Member Nicole Andreoff
 Council Member Lloyd Johnson
 Council Member Tom Marszalek
 Council Member Kirby Moynagh

Staff Present: Ms. Wendy Manson, Deputy Clerk

3. BUSINESS

A. Labor Negotiations

Council Member Marszalek motioned to close the meeting at 3:32pm pursuant to Minn. Statute § 13D.03 for the purpose of Labor Negotiations. Council Member Moynagh seconded the motion. Motion carried 5-0.
 Deputy Clerk Manson left the meeting.

Council Member Moynagh motioned to close the closed meeting and reopen the Special City Council Meeting. Council Member Marszalek seconded the motion. Motion carried 5-0.

5. ADJOURNMENT

Council Member Moynagh motioned to adjourn the Special City Council Meeting. Council Member Andreoff seconded the motion. Motion carried 5-0.

Michelle Otto
 Mayor
 City of Montrose

ATTEST:

Wendy Manson
Deputy Clerk
City of Montrose

City of Montrose
 City Council Workshop
 Montrose City Hall
 311 Buffalo Avenue South
 Monday, August 31, 2020
 4:00 P.M.

1. CALL TO ORDER

Pursuant to call and notice the Montrose City Council met in a Workshop on Monday, August 31, 2020 at 4:00 p.m.

Acting Mayor Johnson called the meeting to order at 4:00 p.m.

2. ROLL CALL

Present: Acting Mayor Lloyd Johnson
 Council Member Nicole Andreoff
 Council Member Tom Marszalek
 Council Member Kirby Moynagh

Absent: Mayor Michelle Otto

Staff Present: Ms. Wendy Manson, Deputy Clerk
 Mr. Wayne McCormick, Public Works Director
 Mr. Jared Voge, City Engineer

3. DISCUSSION REGARDING THE 2021 DOWNTOWN IMPROVEMENT PROJECT, 1ST STREET NORTH, 2ND STREET NORTH AND EMERSON AVENUE NORTH.

Mr. Jared Voge presented an updated plan for the 2021 Downtown Improvement Project including:

1. At the July 13, 2020 council meeting, an improvement public hearing was held for the Downtown Improvement Project. At the public hearing, property owners provided comment regarding street widths and sidewalk locations. The plans have been revised for the proposed street widths and sidewalk locations based on the comments received. 1st Street S., portions of 2nd Street S. and portions of 3rd Street S. have been reduced from 32' to 28' and the sidewalk on Center Avenue N. has been eliminated.
2. At the August 10, 2020 council meeting, council reviewed the Pavement Management Plan. During the pavement analysis, 1st Street North, 2nd Street North, and Emerson Avenue between First Street North and 2nd Street North were rated as pavement condition 5, or in need of reconstruction. 1st Street North is a collector roadway between Clementa Avenue and Buffalo Avenue/CR 12. Multiple potholes are present and the bituminous is raveling. In addition, the utilities are also in need of repair. 2nd Street North and Emerson Avenue have similar deficiencies. City staff recommends that council consider adding 1st Street North, 2nd Street North, and Emerson Avenue to the 2021 Downtown Improvement Project.

The Council Members present agreed to the changes to the street widths and sidewalks and also to add the additional street improvements to the 2021 Downtown Improvement Project plans.

4. DISCUSSION ON YEAR 2021 PROPOSED BUDGET

Ms. Manson presented the proposed Year 2021 Budget and Levy.

Ms. Manson stated that the proposed Preliminary Levy for the City of Montrose for the year 2021 is \$1,391,245.00; an increase of six percent (6%) or \$78,610 over the year 2020 Levy.

Ms. Manson stated that the estimated tax capacity for the year 2021 is \$2,885,350.00 compared to \$2,576,199.00 for the year 2020. She continued by stating that with estimated tax capacity the tax rate will actually decrease 2.73% which means there would be little or no impact on the year 2021 property taxes.

The City Council reviewed the proposed Budget and Levy with staff. They directed City staff to bring the proposed six percent (6%) increase to the Year 2021 Budget and Levy to the September 14, 2020 Regular City Council Meeting for approval.

4. **ADJOURNMENT**

Council Member Moynagh motioned to the adjourn the City Council Workshop at 4:30 p.m. Council Member Andreoff seconded the motion. Motion carried 4-0.

Michelle Otto
Mayor
City of Montrose

ATTEST:

Wendy Manson
Deputy Clerk
City of Montrose

ACCOUNTS PAYABLE LIST

SEPTEMBER 14, 2020

Payroll	8/10/20 Payroll	12808.35
Payroll	8/24/20 Payroll	12848.93
IRS-Federal Tax Payment	8/10/20 FED/FICA Tax	4514.88
IRS-Federal Tax Payment	8/24/20 FED/FICA Tax	4501.31
MN Dept. of Revenue	8/10/20 State Withholding	792.61
MN Dept. of Revenue	8/24/20 State Withholding	789.38
PERA	8/10/20 Payroll	2677.37
PERA	8/24/20 Payroll	2661.02
*Ameritas Life Ins.	Employee Optical Ins	54.52
MN dept of Revenue	Aug. Sales Tax	1654.00
Payment Service Network	July PSN/ACH	1256.97
Payment Service Network	Aug. PSN/ACH	1264.73
*AFSCME #65	Aug. Union Dues	171.00
Ameripride Services	Uniforms/Floor Mats	388.97
Joan Bauernschmitt	Primary Election Judge Pay	210.00
Baumann Enterprises	Liquor License Refund-COVID 19	975.00
Campbell Knutson	Legal Services	3873.90
Cardmember Services	City Hall Supplies	42.44
Centra Sota	Diesel Fuel	544.20
*Citizens State Bank	Aug. H.S.A. Deposit	2788.00
Comcast	WWTP Internet Service	104.85
CR Electric	Biosolids Removal	5314.00
Delano Rental	Jack Hammer-Playground Equip	100.28
Delta Dental	Sept. Dental Ins.	699.60
Duane Nielson Co.	Calibrate Meters	526.80
Hawkins	Water Chemicals	450.36
Health Partners	Sept. Health Ins	11715.06
Home Depot Pro	Comm. Ctr. Supplies	7.24
*IUOE Local 49	Aug. Union Dues	210.00
Vicky Knop	Primary Election Judge Pay	216.00
Lincoln Nat'l Life Ins	Sept. Life Ins	153.68
Joleen Luhman	Primary Election Judge Pay	210.00
*Madison Nat'l Life	Sept. Disability Ins	365.03
Wendy Manson	Mileage/Election Expenses	258.92
Marco Tech	Printer Mtce Agreement	69.47
Menards	PW/Parks/Water Supplies	42.68
*Metro West Inspections	Bldg Permits/Inspect.	2441.90
Midwest Machinery	JD Tractor Repair	433.05
Mini Biff	Park Biffs	443.70
MN Computer Systems	Copier Mtce. Agreement	286.21
Munson Lakes Nutrition	WWTP Week Killer	195.80
MVTIL Labs	Water Testing	48.20

September 14, 2020

Page 2

MVTL Labs	WWTP Testing	381.30
NW Assoc Consultants	Planners Services	1183.60
Gloria Pageau	Primary Election Judge Pay	216.00
Paumen Computers	Monthly IT/Backup Service	515.00
Pitney Bowes	Postage Machine Equip Rent	131.88
Quill Corp.	Office Supplies	97.97
Randy's Enviro Services	Aug. Refuse/Recycle	16366.92
Ugly Bar	Liquor License Refund-COVID 19	975.00
Wake Sun	Solar Energy	11552.78
Wal-Mart Comm.	Election Supplies	31.56
Wenck Assoc.	Engineering-TH 25	1261.70
Wex Bank	Gas Charges	523.17
Windstream	Telephone Charges	115.82
Wright Cty Recorder	Document Copy	13.00
Wright-Hennepin CO-OP	Electric Charges	264.12
Xcel Energy	Electric & Gas Charges	1360.85

ACCOUNTS PAYABLE SUBTOTAL	114028.99
---------------------------	-----------

Ameripride	Uniforms/Floor Mats	352.45
*Bolton & Menk	Engineering Services	27562.75
Central Telephone	Annual Mtce Agreement	824.00
*Colonial Life Ins	Aug. Employee Insurance	74.52
Comcast	Internet Service	536.78
Culligan	City Hall Softener Service	66.10
Leah Custer	Utility Overpayment	40.13
Heidi Dahlin	Mileage Reimbursement	107.87
Delano Auto Parts	Pick Up Repairs	201.58
Casey Flatten	Utility Overpayment	40.21
Gopher State One-Call	Water/Sewer Locates	72.90
Hawkins	Water Chemicals	3548.19
Hecksel Machine	Orange Plow Truck Repair	675.00
Marie Jenson	Janitorial Service	250.00
Julie King	Utility Overpayment	174.62
Bryan Kyllonen	Utility Overpayment	19.43
League of MN Cities	2020-21 Membership Dues	3718.00
LMCIT	2019-20 Final Worker's Comp	311.00
LGI Homes	Grading/Driveway Escrow Refund	36000.00
Becky Lind	Comm. Ctr. Rental Refund-COVID	300.00
Dan Marshman	Utility Overpayment	27.80
Menards	Water Tower	50.13
*Metro West Inspections	Bldg Permits/Inspect.	3655.67
Mid MN Hot Mix	Final Pay-Emerson Avenue N	26130.15
Milhausen Auto Repair	F350 Mtce.	60.00
MN Computer Systems	Copier Mtce Agreement	321.36
MN Dept of Health	Water Surcharge Fee	3006.00
MN Mayor's Assoc.	2020-21 Membership Dues	30.00

September 14, 2020

Page 3

Allen Mortensen	Utility Overpayment	95.21
MVTL Labs	WWTP Testing	527.10
*NW Assoc Consultants	Planners Services	1503.95
NEC Cloud	Telephone Charges	186.90
James Notch	Utility Overpayment	107.27
*Paumen Computer Services	Laptop Computers	3735.90
Quality Flow Systems	WWTP Repairs	354.45
R&H Painting	Storm Water Repairs	5073.00
Riteway Business Forms	Utility Bill Cards	663.25
Nick Sanden	Utility Overpayment	97.08
Schwickert's	WWTP/Wellhouse Roof Repairs	4688.00
USA BlueBook	Water/WWTP Supplies	505.25
Utility Consultants	WWTP Testing	86.00
Verizon	Cell Phones	337.37
Wakesun	Solar Energy	11801.75
Wenck	TH 25 Engineering Services	598.50
Wex Bank	Gas Charges	404.86
Windstream	Telephone Charges	115.82
Wright Cty Auditor	Election Protective Shields	788.88
Wright Cty Jrnl Press	Legal Notices	198.38
Xcel Energy	Electric & Gas Charges	1059.06
TOTAL ACCOUNTS PAYABLE		255113.61

 OTTO

BOELTER

MARSZALEK

 JOHNSON

MOYNAGH

ANDREOFF

September 14, 2020

Page 4

* Appendix

Payments received to offset checks written

Payroll Deduction	Aug. Optical Ins.	54.52
Payroll Deduction	AFSCME-Aug. Union Dues	171.00
Payroll Deduction	Aug. H.S.A. Deposit	1388.00
Payroll Deduction	IUOE 49-Aug. Union Dues	210.00
Payroll Deduction	Sept Disability Ins	348.91
Payroll Deduction	Aug. Employee Ins.	74.52
Developer Expenses	Bolton & Menk	1055.00
Building Permits	Metro West Inspections	2441.90
Building Permits	Metro West Inspections	3655.67
Developer Expenses	NW Assoc Consultants	212.20
COVID 19 Relief	Paumen Computers	3735.90

FIRE DEPARTMENT ACCOUNTS PAYABLE LIST

SEPTEMBER 14, 2020

M&M Express Sales	K12 Saw Blades	370.70
SYNCB/Amazon	Office Supplies	31.47
Wex Bank	Gas Charges	152.09
Comcast	Internet Service	97.85
Interstate Battery	FD Supplies	25.20
Midwest Fire	New Tender Chassis	77665.00
MN Computer Systems	Copier Mtce. Agreement	117.00
*Personal Protect Equip	Facemasks	1850.00
Schwickert's	Fire Barn Roof Repair	12080.00
Verizon	FD I-Pad	40.01
Wex Bank	Gas Charges	147.80
TOTAL ACCOUNTS PAYABLE		92577.12

OTTO

BOELTER

MARSZALEK

JOHNSON

MOYNAGH

ANDREOFF

***APPENDIX**

Payments received to offset checks written

COVID 19 Relief	Facemasks	1850.00
-----------------	-----------	---------

CITY OF MONTROSE

Monthly Adjustments

08/31/20 10:27 AM

Page 1

Account	Tran Type	Charge Name	Charge Type	Amount	Date
01-00001919-00-	Adjustment	Garbage Tax	Surcharge	(\$0.05)	8/26/2020
01-00002532-00-	Adjustment	Hang Disconnect N	Service	\$25.00	8/12/2020
01-00003120-00-	Adjustment	Hang Disconnect N	Service	\$25.00	8/12/2020
01-00001202-00-	Adjustment	Hang Disconnect N	Service	\$25.00	8/12/2020
01-00001046-00-	Adjustment	Hang Disconnect N	Service	\$25.00	8/12/2020
01-00001919-00-	Adjustment	Annual State Wa	Service	(\$0.38)	8/26/2020
01-00001919-00-	Adjustment	Storm Water	Service	(\$0.18)	8/26/2020
01-00005044-00-	Adjustment	Garbage- 30 GAL	Service	(\$0.45)	8/26/2020
01-00005044-00-	Adjustment	Garbage Tax	Surcharge	(\$0.04)	8/26/2020
01-00005044-00-	Adjustment	Sewer Collection	Service	(\$1.24)	8/26/2020
01-00005044-00-	Adjustment	WWTP	Service	(\$1.30)	8/26/2020
01-00005044-00-	Adjustment	Annual State Wa	Service	(\$0.49)	8/26/2020
01-00005044-00-	Adjustment	Storm Water	Service	(\$0.23)	8/26/2020
01-00002015-00-	Adjustment	Hang Disconnect N	Service	\$25.00	8/12/2020
01-00001919-00-	Adjustment	Garbage-60 GAL	Service	(\$0.51)	8/26/2020
00-00006010-00-	Adjustment		UR	(\$1.10)	8/18/2020
01-00001919-00-	Adjustment	Sewer Collection	Service	(\$2.39)	8/26/2020
01-00001919-00-	Adjustment	WWTP	Service	(\$2.37)	8/26/2020
01-00001919-00-	Adjustment	Recycle-60	Service	(\$0.08)	8/26/2020
00-00001875-00-	Adjustment		UR	(\$1.42)	8/27/2020
00-00005074-01-	Adjustment		UR	(\$100.77)	8/18/2020
00-00005135-01-	Adjustment		UR	(\$260.96)	8/18/2020
00-00001621-03-	Adjustment		UR	(\$66.14)	8/18/2020
00-00001744-00-	Adjustment		UR	(\$106.02)	8/18/2020
00-00001928-03-	Adjustment		UR	(\$15.46)	8/18/2020
00-00001061-02-	Adjustment		UR	(\$9.72)	8/18/2020
00-00003074-00-	Adjustment		UR	(\$9.72)	8/18/2020
00-00001074-00-	Adjustment		UR	(\$1.80)	8/18/2020
01-00001919-00-	Adjustment	R Water	Service	(\$2.64)	8/26/2020
				(\$460.46)	

((Type="Adjustment")) AND ((Date Between [enter start date] And [enter stop date]))

2020 ELECTION JUDGES

Please appoint the following election judges and/or alternates for the November 3, 2020 General Election for the City of Montrose.

Jean Brenny
Carla Spizzo

Truth in Taxation Public Meeting Dates

City Name: Montrose

Contact Person: Deborah Boelter Phone: 763-575-7425

Public Meeting

Date: 14-Dec-20

Time: 7:00 PM

Listed below is prior year data for (1) the location of the public meeting, (2) the phone number to be published, and (3) the mailing address for written responses. Please review these and check the appropriate box for each item. Fill in any new information as needed.

☒ Information is correct

☐ New Information

1. Location: Montrose Community Center

200 Center Ave South

Montrose, MN 55363

☒ Information is correct

☐ New Information

2. Phone Number: (763) 575-7422

☒ Information is correct

☐ New Information

3. Mailing Address: City of Montrose

311 Buffalo Ave S

PO Box 25

Montrose, MN 55363

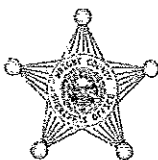
Please return this completed form no later than **September 30, 2020**.

email: christa.pearson@co.wright.mn.us

fax: (763) 682-7873 Attn: Christa Pearson

mail: Wright County Auditor/Treasurer

Attn: Christa Pearson
10 2nd St NW Room 230
Buffalo, MN 55313



Wright County Sheriff's Office

Sheriff Sean Deringer

3800 Braddock Ave. NE, Buffalo, MN 55313
1-800-362-3667 Fax: 763-682-7610



Montrose Monthly Report 2020

Printed on September 1, 2020

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
--------------------------	--------------	-------	----------------	-------------	--------------

911 Abandoned Total: 1

08/26/20 15:10	911 Abandoned	2020067682	Juvenile - Complaint	WP20024039	911
----------------	---------------	------------	----------------------	------------	-----

911 Hang-up Total: 5

08/04/20 07:47	911 Hang-up	2020060256			911
08/09/20 00:17	911 Hang-up	2020061933			911
08/09/20 01:47	911 Hang-up	2020061951			911
08/10/20 07:00	911 Hang-up	2020062198			911
08/12/20 09:00	911 Hang-up	2020062831			911

911 Open Line Total: 17

08/04/20 22:41	911 Open Line	2020060548			911
08/05/20 17:05	911 Open Line	2020060767			911
08/05/20 22:43	911 Open Line	2020060879			911
08/06/20 05:00	911 Open Line	2020060919			911
08/07/20 20:51	911 Open Line	2020061566			911
08/08/20 19:47	911 Open Line	2020061838			911
08/10/20 18:04	911 Open Line	2020062341			911
08/10/20 21:29	911 Open Line	2020062398			911
08/13/20 17:11	911 Open Line	2020063271			911
08/15/20 17:42	911 Open Line	2020063966			911
08/19/20 01:11	911 Open Line	2020065069			911
08/20/20 17:31	911 Open Line	2020065645			911
08/20/20 21:50	911 Open Line	2020065737			911
08/22/20 11:07	911 Open Line	2020066235			911
08/23/20 08:51	911 Open Line	2020066559			911
08/27/20 10:18	911 Open Line	2020067874			911
08/27/20 20:23	911 Open Line	2020068097			911

Abandoned Vehicle Total: 1

08/19/20 01:44	Abandoned Vehicle	2020065075	Abandoned Vehicle	WP20023227	Phone
----------------	-------------------	------------	-------------------	------------	-------

Animal Total: 1

08/10/20 05:40	Animal	2020062190	Animal	WP20022258	Phone
----------------	--------	------------	--------	------------	-------

Animal - Abuse Total: 2

08/06/20 20:57	Animal - Abuse	2020061230	Animal	WP20021937	Phone
08/16/20 18:14	Animal - Abuse	2020064313	Animal - Abuse	WP20022965	Phone

Animal - Barking Dog Total: 2

08/03/20 09:31	Animal - Barking Dog	2020059939	Animal - Barking Dog	WP20021507	Phone
08/19/20 21:07	Animal - Barking Dog	2020065367	Animal - Barking Dog	WP20023332	Phone

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
Animal - Bites - Attacks Total: 2					
08/02/20 17:17	Animal - Bites - Attacks	2020059796	Animal - Bites - Attacks	WP20021454	Phone
08/16/20 18:05	Animal - Bites - Attacks	2020064309	Animal - Bites - Attacks	WP20022959	911
Burglary Total: 1					
08/23/20 02:18	Burglary	2020066529	Suspicious - Circumstances	WP20023678	Phone
Check Welfare Total: 9					
08/01/20 13:28	Check Welfare	2020059408	Check Welfare	WP20021322	Phone
08/05/20 16:37	Check Welfare	2020060760	Check Welfare	WP20021791	Phone
08/08/20 09:35	Check Welfare	2020061695	Check Welfare	WP20022072	Phone
08/11/20 03:15	Check Welfare	2020062442	Check Welfare	WP20022358	911
08/13/20 04:39	Check Welfare	2020063087	Check Welfare	WP20022576	911
08/17/20 20:29	Check Welfare	2020064676	Check Welfare	WP20023096	Phone
08/19/20 04:15	Check Welfare	2020065085	Check Welfare	WP20023231	Phone
08/22/20 17:43	Check Welfare	2020066358	Check Welfare	WP20023633	Phone
08/24/20 13:51	Check Welfare	2020066943	Check Welfare	WP20023818	Phone
Check Welfare; Medical - Abdominal Pain Total: 1					
08/01/20 04:45	Check Welfare; Medical	2020059322	Check Welfare	WP20021290	911
Citizen Aid Total: 5					
08/03/20 14:18	Citizen Aid	2020060015	Citizen Aid	WP20021537	Phone
08/11/20 00:38	Citizen Aid	2020062435	Citizen Aid	WP20022353	Other
08/11/20 14:56	Citizen Aid	2020062594	Suspicious - Circumstances	WP20022418	Phone
08/16/20 02:30	Citizen Aid	2020064137	Citizen Aid	WP20022898	Officer
08/26/20 14:11	Citizen Aid	2020067664	Citizen Aid	WP20024027	911
Civil Complaint Total: 7					
08/05/20 21:36	Civil Complaint	2020060858	Civil Complaint	WP20021818	Phone
08/06/20 17:33	Civil Complaint	2020061137	Civil Complaint	WP20021913	Phone
08/10/20 21:16	Civil Complaint	2020062397	Civil Complaint	WP20022338	Phone
08/16/20 16:41	Civil Complaint	2020064291	Civil Complaint	WP20022950	Phone
08/19/20 17:10	Civil Complaint	2020065284	Theft	WP20023308	Phone
08/25/20 10:51	Civil Complaint	2020067249	Civil Complaint	WP20023909	Phone
08/31/20 21:24	Civil Complaint	2020069521	Civil Complaint	WP20024620	Phone
Civil Process Total: 16					
08/04/20 10:12	Civil Process	2020060290			Officer
08/12/20 15:37	Civil Process	2020062927			Officer
08/14/20 11:05	Civil Process	2020063495			Officer
08/17/20 15:28	Civil Process	2020064558			Officer
08/24/20 16:17	Civil Process	2020066982			Officer
08/25/20 09:27	Civil Process	2020067221			Officer
08/26/20 11:52	Civil Process	2020067612			Officer
08/26/20 15:06	Civil Process	2020067679			Officer
08/27/20 11:49	Civil Process	2020067903			Officer
08/27/20 14:09	Civil Process	2020067959			Officer

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
08/27/20 15:23	Civil Process	2020067990			Officer
08/28/20 10:06	Civil Process	2020068235			Officer
08/28/20 14:04	Civil Process	2020068346			Officer
08/31/20 08:51	Civil Process	2020069269			Officer
08/31/20 09:57	Civil Process	2020069294			Officer
08/31/20 15:22	Civil Process	2020069381			Officer

Commercial General Alarm Total: 1

08/31/20 22:11	Commercial General	2020069542	Commercial General Alarm	WP20024627	Phone
----------------	--------------------	------------	--------------------------	------------	-------

Criminal Damage to Property Total: 4

08/25/20 07:48	Criminal Damage to	2020067205	Criminal Damage to Property	WP20023894	Phone
08/25/20 09:15	Criminal Damage to	2020067218	Criminal Damage to Property	WP20023899	
08/25/20 09:16	Criminal Damage to	2020067219	Criminal Damage to Property	WP20023900	
08/25/20 09:16	Criminal Damage to	2020067220	Criminal Damage to Property	WP20023901	

Disabled Vehicle Total: 1

08/27/20 12:56	Disabled Vehicle	2020067937			911
----------------	------------------	------------	--	--	-----

Disorderly Total: 2

08/21/20 19:05	Disorderly	2020066048	Civil Complaint	WP20023539	911
08/22/20 16:47	Disorderly	2020066343	Civil Complaint	WP20023627	Phone

Domestic Disturbance Total: 10

08/03/20 20:54	Domestic Disturbance	2020060161	Domestic Disturbance	HP20000721	Phone
08/04/20 01:47	Domestic Disturbance	2020060229	Domestic Disturbance	WP20021606	911
08/07/20 13:45	Domestic Disturbance	2020061421	Domestic Disturbance	WP20021988	Phone
08/09/20 15:32	Domestic Disturbance	2020062049	Harassment	WP20022199	911
08/10/20 18:52	Domestic Disturbance	2020062353	Domestic Disturbance	WP20022320	911
08/20/20 15:31	Domestic Disturbance	2020065603	Domestic Disturbance	WP20023401	Phone
08/22/20 18:56	Domestic Disturbance	2020066394	Domestic Disturbance	WP20023640	911
08/24/20 23:44	Domestic Disturbance	2020067149	Domestic Disturbance	WP20023875	Phone
08/26/20 17:45	Domestic Disturbance	2020067741	Domestic Disturbance	WP20024050	Phone
08/27/20 14:05	Domestic Disturbance	2020067958	Domestic Disturbance	WP20024121	Phone

Drugs Total: 2

08/05/20 20:45	Drugs	2020060841	Drugs	WP20021815	911
08/22/20 20:15	Drugs	2020066424	Drugs	WP20023649	911

Fire - Mutual Aid Total: 1

08/22/20 11:59	Fire - Mutual Aid	2020066255			Phone
----------------	-------------------	------------	--	--	-------

Fireworks Total: 3

08/01/20 21:36	Fireworks	2020059590	Fireworks	WP20021383	911
08/02/20 14:41	Fireworks	2020059762	Fireworks	WP20021438	Phone
08/28/20 21:29	Fireworks	2020068484	Fireworks	WP20024275	Phone

Flooding Total: 1

08/14/20 19:26	Flooding	2020063650			Phone
----------------	----------	------------	--	--	-------

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
Fraud - Checks - Cards Total: 1					
08/03/20 12:27	Fraud - Checks - Cards	2020059991	Fraud - Checks - Cards	WP20021527	Phone
Fraud - Internet Total: 2					
08/12/20 08:18	Fraud - Internet	2020062824	Fraud - Internet	WP20022489	Phone
08/14/20 16:05	Fraud - Internet	2020063585	Fraud - Internet	WP20022733	Phone
Juvenile - Complaint Total: 2					
08/06/20 21:17	Juvenile - Complaint	2020061239	Juvenile - Complaint	WP20021941	911
08/13/20 16:51	Juvenile - Complaint	2020063262	Juvenile - Complaint	WP20022627	Phone
Lost - Found Property Total: 2					
08/01/20 09:54	Lost - Found Property	2020059356	Lost - Found Property	WP20021305	911
08/08/20 10:14	Lost - Found Property	2020061705	Lost - Found Property	WP20022076	Phone
Medical - Abdominal Pain Total: 2					
08/07/20 00:37	Medical - Abdominal	2020061284	Medical - Abdominal Pain	WP20021956	911
08/19/20 01:02	Medical - Abdominal	2020065067			911
Medical - Back Pain Total: 1					
08/17/20 16:01	Medical - Back Pain	2020064574			Phone
Medical - Bleeding - Lacerations Total: 2					
08/04/20 20:58	Medical - Bleeding -	2020060520			Phone
08/22/20 15:06	Medical - Bleeding -	2020066308			911
Medical - Breathing Problems Total: 3					
08/05/20 12:32	Medical - Breathing	2020060672			911
08/15/20 10:07	Medical - Breathing	2020063821			911
08/16/20 22:18	Medical - Breathing	2020064372			911
Medical - Diabetic Total: 1					
08/21/20 16:51	Medical - Diabetic	2020066006			911
Medical - Drowning Total: 1					
08/20/20 18:22	Medical - Drowning	2020065667	Medical - Drowning	WP20023428	911
Medical - Fall Under 6 Feet Total: 1					
08/17/20 17:06	Medical - Fall Under 6	2020064598	Intoxicated Person	WP20023077	911
Medical - Seizure Total: 1					
08/18/20 21:16	Medical - Seizure	2020065017			911
Medical - Stroke Total: 1					
08/09/20 08:06	Medical - Stroke	2020061970	Medical - Stroke	WP20022170	911
Medical - Unconscious - Fainting Total: 1					
08/19/20 15:12	Medical - Unconscious -	2020065243	Intoxicated Person	WP20023291	911
Medical - Unknown Total: 2					
08/18/20 14:44	Medical - Unknown	2020064901			Phone
08/18/20 19:10	Medical - Unknown	2020064983			911

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
MVA - Car Deer Total: 2					
08/21/20 01:31	MVA - Car Deer	2020065787			Phone
08/26/20 15:38	MVA - Car Deer	2020067696			Phone
Neighborhood Dispute Total: 1					
08/19/20 01:45	Neighborhood Dispute	2020065076	Criminal Damage to Property	WP20023226	911
Noise Total: 2					
08/22/20 05:11	Noise	2020066163	Noise	WP20023568	911
08/24/20 22:25	Noise	2020067124	Noise	WP20023869	
Off-Road Vehicle Complaint Total: 1					
08/08/20 23:23	Off-Road Vehicle	2020061916	Off-Road Vehicle Complaint	WP20022151	911
Parking Total: 1					
08/31/20 15:08	Parking	2020069375	Parking	WP20024576	
Prowler Total: 1					
08/09/20 00:17	Prowler	2020061932	Prowler	WP20022157	911
Public Disturbance Total: 1					
08/22/20 21:32	Public Disturbance	2020066454	Public Disturbance	WP20023658	Phone
Residential General Alarm Total: 2					
08/01/20 14:51	Residential General	2020059438	Residential General Alarm	WP20021329	Phone
08/25/20 07:22	Residential General	2020067201	Residential General Alarm	WP20023890	Phone
Search Warrant Total: 1					
08/21/20 06:59	Search Warrant	2020065814	Search Warrant	WSIU20023469	Officer
SIA Area Watch Total: 22					
08/05/20 13:03	SIA Area Watch	2020060683			
08/06/20 13:16	SIA Area Watch	2020061036			
08/06/20 15:30	SIA Area Watch	2020061086			
08/07/20 12:02	SIA Area Watch	2020061391			
08/11/20 22:32	SIA Area Watch	2020062755			
08/12/20 01:05	SIA Area Watch	2020062781			
08/12/20 01:13	SIA Area Watch	2020062786			
08/15/20 21:08	SIA Area Watch	2020064055			
08/15/20 21:39	SIA Area Watch	2020064073			
08/17/20 00:33	SIA Area Watch	2020064401			
08/17/20 00:40	SIA Area Watch	2020064402			
08/17/20 23:15	SIA Area Watch	2020064714			
08/18/20 01:05	SIA Area Watch	2020064729			
08/18/20 20:59	SIA Area Watch	2020065013			
08/18/20 23:36	SIA Area Watch	2020065048			
08/24/20 19:46	SIA Area Watch	2020067069			
08/24/20 21:23	SIA Area Watch	2020067109			
08/24/20 23:35	SIA Area Watch	2020067146			

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
08/26/20 00:15	SIA Area Watch	2020067494			.
08/26/20 00:20	SIA Area Watch	2020067495			
08/27/20 20:35	SIA Area Watch	2020068104			
08/29/20 11:11	SIA Area Watch	2020068662			

SIA City Council - City Hall Total: 1

08/10/20 17:59	SIA City Council - City	2020062338			Officer
----------------	-------------------------	------------	--	--	---------

SIA Parks Total: 4

08/05/20 15:28	SIA Parks	2020060726			.
08/11/20 22:35	SIA Parks	2020062757			
08/11/20 22:44	SIA Parks	2020062768			
08/24/20 17:18	SIA Parks	2020067009			

SIA School Check Total: 1

08/05/20 14:20	SIA School Check	2020060703			
----------------	------------------	------------	--	--	--

Suspicious - Circumstances Total: 5

08/06/20 21:09	Suspicious -	2020061234	Suspicious - Circumstances	WP20021942	Phone
08/11/20 12:20	Suspicious -	2020062532	Suspicious - Circumstances	WP20022395	Phone
08/12/20 12:39	Suspicious -	2020062876	Suspicious - Circumstances	WP20022508	Phone
08/21/20 00:16	Suspicious -	2020065770	Suspicious - Circumstances	WP20023451	Phone
08/22/20 10:50	Suspicious -	2020066227	Suspicious - Circumstances	WP20023590	911

Suspicious - Person - Vehicle Total: 8

08/01/20 22:37	Suspicious - Person -	2020059600	Suspicious - Person - Vehicle	WP20021386	Phone
08/06/20 16:06	Suspicious - Person -	2020061099	Suspicious - Person - Vehicle	WP20021902	Phone
08/15/20 01:12	Suspicious - Person -	2020063763	Check Welfare	WP20022780	911
08/20/20 23:06	Suspicious - Person -	2020065755	Suspicious - Person - Vehicle	WP20023448	Phone
08/22/20 15:53	Suspicious - Person -	2020066323	Parking	WP20023620	Phone
08/22/20 20:16	Suspicious - Person -	2020066426			Phone
08/24/20 18:48	Suspicious - Person -	2020067047	Suspicious - Person - Vehicle	WP20023846	Phone
08/27/20 12:49	Suspicious - Person -	2020067934	Suspicious - Person - Vehicle	WP20024116	

Theft Total: 2

08/09/20 16:28	Theft	2020062062	Theft	WP20022206	Phone
08/30/20 09:50	Theft	2020068956	Theft	WP20024436	Phone

Theft - Shoplifting Total: 1

08/01/20 10:48	Theft - Shoplifting	2020059365	Court Order Violation	WP20021309	Phone
----------------	---------------------	------------	-----------------------	------------	-------

Traffic - Complaint Total: 7

08/01/20 17:31	Traffic - Complaint	2020059496	Traffic - Complaint	WP20021350	Phone
08/04/20 08:21	Traffic - Complaint	2020060262	Traffic - Complaint	BP20007107	911
08/04/20 22:44	Traffic - Complaint	2020060549	Traffic - Complaint	WP20021715	Phone
08/06/20 18:26	Traffic - Complaint	2020061167	Traffic - Complaint	WP20021923	Phone
08/08/20 14:14	Traffic - Complaint	2020061763	Traffic - Complaint	WP20022099	911
08/17/20 16:01	Traffic - Complaint	2020064573			Phone
08/28/20 10:08	Traffic - Complaint	2020068237	Traffic - Complaint	WP20024208	Phone

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
Traffic Stop Total: 42					
08/02/20 00:38	Traffic Stop	2020059627			Officer
08/04/20 01:21	Traffic Stop	2020060225			Officer
08/04/20 13:46	Traffic Stop	2020060357			Officer
08/05/20 15:34	Traffic Stop	2020060729			Officer
08/05/20 23:22	Traffic Stop	2020060885			Officer
08/07/20 00:01	Traffic Stop	2020061277			Officer
08/07/20 10:58	Traffic Stop	2020061370			Officer
08/07/20 19:25	Traffic Stop	2020061548			Officer
08/08/20 16:27	Traffic Stop	2020061801			
08/08/20 22:35	Traffic Stop	2020061905			Officer
08/11/20 14:25	Traffic Stop	2020062577			
08/11/20 14:34	Traffic Stop	2020062582			
08/12/20 01:03	Traffic Stop	2020062779			Officer
08/12/20 10:05	Traffic Stop	2020062842			
08/12/20 13:49	Traffic Stop	2020062895			
08/12/20 14:04	Traffic Stop	2020062899			
08/12/20 17:12	Traffic Stop	2020062963			Officer
08/12/20 22:25	Traffic Stop	2020063050			Officer
08/13/20 19:57	Traffic Stop	2020063345			Officer
08/14/20 13:01	Traffic Stop	2020063523	Traffic Stop	WP20022710	Officer
08/14/20 14:47	Traffic Stop	2020063555			Officer
08/17/20 21:18	Traffic Stop	2020064687			Officer
08/18/20 01:25	Traffic Stop	2020064732			Officer
08/19/20 00:13	Traffic Stop	2020065058			Officer
08/20/20 20:32	Traffic Stop	2020065716			Officer
08/21/20 18:08	Traffic Stop	2020066030			Officer
08/21/20 21:13	Traffic Stop	2020066097			Officer
08/21/20 21:56	Traffic Stop	2020066113			Officer
08/22/20 01:29	Traffic Stop	2020066147			Officer
08/22/20 12:26	Traffic Stop	2020066266			Officer
08/22/20 14:40	Traffic Stop	2020066300			Officer
08/23/20 21:55	Traffic Stop	2020066784			Officer
08/23/20 22:08	Traffic Stop	2020066790			Officer
08/26/20 10:32	Traffic Stop	2020067573			Officer
08/26/20 13:34	Traffic Stop	2020067646			
08/26/20 13:50	Traffic Stop	2020067656			
08/26/20 14:02	Traffic Stop	2020067661			
08/28/20 10:22	Traffic Stop	2020068243			Officer
08/28/20 10:40	Traffic Stop	2020068251	Traffic Stop	WP20024212	Officer
08/28/20 11:26	Traffic Stop	2020068272	Traffic Stop	WP20024215	Officer
08/29/20 11:26	Traffic Stop	2020068666	Traffic Stop	WP20024335	Officer
08/30/20 13:12	Traffic Stop	2020069004			Officer
Trespass Total: 1					
08/18/20 16:21	Trespass	2020064925	Trespass	WP20023188	Phone

Incident Start Date/Time	Initial Call	CFS #	Final Incident	Case Number	How Reported
--------------------------	--------------	-------	----------------	-------------	--------------

Unwanted Person Total: 2

08/04/20 15:40	Unwanted Person	2020060398	Domestic Disturbance	WP20021665	Phone
08/15/20 22:59	Unwanted Person	2020064103	Unwanted Person	WP20022885	911

Unwanted Person; 911 Open Line; Domestic Disturbance Total: 1

08/01/20 04:18	Unwanted Person; 911	2020059319	Unwanted Person	WP20021289	911
----------------	----------------------	------------	-----------------	------------	-----

Warrant - Attempt Total: 4

08/03/20 13:06	Warrant - Attempt	2020059998			
08/14/20 12:05	Warrant - Attempt	2020063514			
08/16/20 06:26	Warrant - Attempt	2020064144	Drugs	WP20022903	Officer
08/31/20 14:35	Warrant - Attempt	2020069365			

Total Records: 231

Montrose/Waverly Patrol Hour Summary

Hours Purchased Per 2020 Contract:	5,856.00
Starting Hours (beginning of month):	2,938.00
M-T-D (detailed below):	521.00
Balance going forward (to next month):	2,417.00
Y-T-D:	3,439.00

Shift Start

Date	Shift Start Time	Shift Stop Date	Shift Stop Time	Schedule	Position	Time Type	Regular Hours
1-Jul-20	0:00	1-Jul-20	2:00	Montrose/Wave	4630	Regular	2.00
1-Jul-20	10:00	1-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
1-Jul-20	20:00	2-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
2-Jul-20	10:00	2-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
2-Jul-20	20:00	3-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
3-Jul-20	10:00	3-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
3-Jul-20	20:00	4-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
4-Jul-20	10:00	4-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
4-Jul-20	20:00	5-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
5-Jul-20	10:00	5-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
5-Jul-20	20:00	6-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
6-Jul-20	7:00	6-Jul-20	11:00	Montrose/Wave	4610	Regular	4.00
6-Jul-20	10:00	6-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
6-Jul-20	20:00	7-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
7-Jul-20	10:00	7-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
7-Jul-20	16:00	8-Jul-20	2:00	Montrose/Wave	4630	Regular	10.00
7-Jul-20	20:00	7-Jul-20	21:30	Montrose/Wave	4620	OT - Regular	1.50
8-Jul-20	10:00	8-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
8-Jul-20	20:00	9-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
9-Jul-20	10:00	9-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
9-Jul-20	20:00	10-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
10-Jul-20	10:00	10-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
10-Jul-20	20:00	11-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
11-Jul-20	10:00	11-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
11-Jul-20	20:00	12-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
12-Jul-20	10:00	12-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
12-Jul-20	20:00	12-Jul-20	22:30	Montrose/Wave	4620	OT - Regular	2.50
12-Jul-20	20:00	13-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
13-Jul-20	10:00	13-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
13-Jul-20	20:00	14-Jul-20	2:00	Montrose/Wave	4630	Regular	6.00
14-Jul-20	10:00	14-Jul-20	20:00	Montrose/Wave	4620	Regular	10.00
14-Jul-20	16:00	15-Jul-20	2:00	Montrose/Wave	4630	Regular	10.00

15-Jul-20	10:00	15-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
15-Jul-20	20:00	15-Jul-20	21:00 Montrose/Wave	4620 OT - Regular	1.00
15-Jul-20	20:30	16-Jul-20	2:00 Montrose/Wave	4630 Regular	5.50
16-Jul-20	10:00	16-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
16-Jul-20	20:00	17-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
17-Jul-20	10:00	17-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
17-Jul-20	20:00	18-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
18-Jul-20	10:00	18-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
18-Jul-20	20:00	19-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
19-Jul-20	10:00	19-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
19-Jul-20	20:00	20-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
20-Jul-20	0:00	20-Jul-20	2:00 Montrose/Wave	4640 Regular	2.00
20-Jul-20	2:00	20-Jul-20	5:15 Montrose/Wave	4640 OT - Regular	3.25
20-Jul-20	2:00	20-Jul-20	5:15 Montrose/Wave	4630 OT - Regular	3.25
20-Jul-20	10:00	20-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
20-Jul-20	20:00	21-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
21-Jul-20	10:00	21-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
21-Jul-20	20:00	22-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
22-Jul-20	10:00	22-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
22-Jul-20	20:00	23-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
23-Jul-20	10:00	23-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
23-Jul-20	20:00	24-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
24-Jul-20	10:00	24-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
24-Jul-20	20:00	25-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
25-Jul-20	10:00	25-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
25-Jul-20	20:00	26-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
26-Jul-20	10:00	26-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
26-Jul-20	20:00	27-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
27-Jul-20	10:00	27-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
27-Jul-20	20:00	28-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
28-Jul-20	10:00	28-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
28-Jul-20	20:00	29-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
29-Jul-20	10:00	29-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
29-Jul-20	20:00	30-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
30-Jul-20	10:00	30-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
30-Jul-20	20:00	31-Jul-20	2:00 Montrose/Wave	4630 Regular	6.00
31-Jul-20	10:00	31-Jul-20	20:00 Montrose/Wave	4620 Regular	10.00
31-Jul-20	20:00	1-Aug-20	0:00 Montrose/Wave	4630 Regular	4.00

TOTAL:	<u>521.00</u>
--------	---------------



Monthly Activity Report Montrose Fire Department

Prepared and Presented by
Kevin Triplett – Fire Chief



Period: 08/01/2020 thru 08/31/2020 (AUGUST)

CALLS

Total Calls: 36

of Calls AUGUST 2019 = 29
2019 vs 2020 (2020 = + 7)

EMS Calls: 25

Other Calls:

- 08/30 - #20179 – Mutual aid to Waverly Fire – Fire Alarm – Waverly City
- 08/24 - #20178 – Weather spotting/standby – Montrose City
- 08/19 - #20172 – Structure Fire / Illegal Burn (\$10,000 loss) – Marysville Twsp
- 08/18 - #20167 – Motor Vehicle Accident w/ injuries – Franklin Twsp
- 08/17 - #20163 – Motor Vehicle Accident w/o injuries – Woodland Twsp
- 08/14 - #20159 – Weather spotting/standby – Montrose City
- 08/14 - #20158 – Weather spotting/standby – Montrose City
- 08/10 - #20157 – Weather spotting/standby – Montrose City
- 08/09 - #20156 – Weather spotting/standby – Montrose City
- 08/08 - #20153 – Weather spotting/standby – Montrose City
- 08/03 - #20145 – Fire Alarm – Marysville Twsp

Total calls to Date 2020 – 179

2019 vs 2020 (2020 = +24)

Total calls this time in 2019 - 155

Call Districts

Montrose City: 23

Franklin Township: 1

Marysville Township: 10

Woodland Township: 1

Other: 1 (Waverly City)

TRAINING:

08/04/2020 – Staff Meeting/Truck Maintenance

08/11/2020 – Relay pump training w/ Waverly Fire Dept - Officers

08/18/2020 – Station cleaning/truck maintenance - Officers

Other Activities, Special Mention, Etc.

08/10/2020 – City Council Meeting (Triplett)

08/19/2020 – Fire Chiefs Meeting - Clearwater (Triplett)

08/22/2020 – Firefighter gathering / MFD off duty noon-midnight

SPECIAL INFO

- RECORD!!! We had 8 calls in a 24 hours period (Previous record was 7 back in the early 1990's during a dry fire season and many grass fires)
- RECORD!!! We had 36 calls for the month – most ever in any given month since at least 2015 likely back to eternity
- ServePro of Wright County was out during the week of 08/17 cleaning the station
- Working w/ city staff in regards to CARES Funding

Acknowledgments

- Waverly Fire for providing mutual aid/standby on 08/22/2020 from noon-midnight
- All firefighters for their hard work & dedication for a very busy month of August

City of Montrose
Park & Recreation Commission
Minutes

September 3, 2020

Pursuant to call and notice the Park & Recreation Commission met on September 3, 2020 at 5:30 p.m. at Montrose City Hall. Those present were Commission Members Sylvia Henry, and Ashlyn Otto, City Council Liaison Michelle Otto, Jessica Bonniwell from Public Works. Commission Member Sue Saman was absent.

Call to Order

The meeting was called to order at 5:30 p.m. by Commission Member Henry.

Approval of Meeting Agenda

Motion was made by Commission Member Henry to approve the agenda with the addition of item "B" under New Business: Holiday Trophies, second by Commission Member Otto.

Motion carried 2-0

Approval of August 6, 2020 Meeting Minutes

Motion was made by Commission Member Otto to approve August 6, 2020 meeting minutes as written, second by Commission Member Henry.

Motion carried 2-0

OLD BUSINESS:

2020 Events

Calendar dates were set for all upcoming Park and Recreation Events for 2020, they are as follows:

Skate Day: Cancelled due to weather

Egg Hunt: Cancelled due to COVID-19

Summer Splash: Cancelled due to COVID-19

Halloween Decorating Contest: October 29, 2020 at 6:00 p.m.

Tree Lighting/Breakfast with Santa/Ornament Decorating: Tentatively December 5, 2020, depending on Montrose Days Celebration Committee

Holiday Decorating Contest: December 22, 2020 at 6:00 p.m.

Night to Unite: October 6, 2020 from 5:00 – 8:00 p.m.

Night to Unite

The Park and Recreation Commission has planned a Night to Unite Event to be held on October 6, 2020 from 5:00 – 8:00 p.m. which will include Food Trucks, activities, and a food drive for community residents. Currently, the following food and activity trucks will be present: Meat & Greet Food Truck, Ktownstreetfoods, Tina's, Trickstertacos, and Art Bar 39 Projects.

Flag Attractions at Vets Park

Flags were ordered by Ms. Bonniwell from Public Works and the flags have been delivered. Public Works will work on installing them in a location near the pond, but not blocked by the tree or City sign. We were hoping to get the flags up in time for Labor Day, but may have to wait until the next military holiday.

Community Garden

Previous issues with the unused garden plots being overrun, and issues with the hoses have been resolved. The plots look okay for now, the Commission will keep checking the plots as the deadline of November 1, 2020 for clearing out the garden plots gets closer.

Soccer Nets for Community Soccer

At the August 10, 2020 Regular City Council meeting the Council made a motion to approve the purchase of two soccer nets in an amount not to exceed \$800.00. Nets have since been ordered and set up in Lent Park for use.

Lions Club – Benches & Trees Donation

Discussion continued on possible placement for benches and trees being donated by the Montrose Lions Club. The Commission has recommended benches for the following locations: Hwy 25 S on the new walking path, 2-3 benches for the new playground area at Forest Creek, Montrose Post Office as a replacement, Aspen Ln & County Rd 12 by the Regional Park, Northridge Park, and the Disc Golf Course. Possible tree planting locations include: Northridge Park, and Forest Creek near the new playground area. The Commission also recommended a variety of Maple Trees or Apple Trees (only if they are sprayed) for types of trees to place at the recommended locations.

Fish Sunflower Fields

Ms. Bonniwell from Public Works, as well as Mayor Otto reached out to Fish Sunflower Fields for more information. It is a busy time of year for them, so they were difficult to get a hold of. Mayor Otto managed to talk to one of the people that run the operation and they said they would come view the potential site later this fall. Mayor Otto also commented that she would like to see the Sunflower Field on the northeast side of the Regional Park.

NEW BUSINESS:

2021 Events:

The Commission set potential dates for events for 2021 as follows:

Skate Day: January 16th or 23rd

Egg Hunt: April 3rd

Summer Splash: June 19th at Northridge Park

Night to Unite: August 3rd

Halloween Decorating Contest: October 29th

Tree Lighting/Breakfast with Santa/Ornament Decorating: December 4th

Holiday Decorating Contest: December 22nd

Potential new events for 2021:

- Movie Night
- Concerts in the Park
- Coin Hunt for Montrose Days
- Medallion Hunt

Holiday Trophies

The Commission has used all of the available trophies for the Holiday Decorating Contests (Halloween and Winter) and need to order more for the upcoming contests:

Commission Member Otto made a motion to approve ordering three years supply for both holidays (total of six trophies) as well as engraving name plaques to be displayed at City Hall, in an amount not to exceed \$100.00, second by Commission Member Henry.

Motion carried 2-0

Adjourn

Motion to adjourn made by Commission Member Henry at 6:16 p.m., second by Commission Member Otto.

Motion carried 2-0

City of Montrose
 Planning and Zoning Commission Meeting
 Montrose Community Center
 200 Center Avenue South
 Wednesday, August 12, 2020
 7:00 P.M.

1. CALL TO ORDER

Pursuant to call and notice the Montrose Planning and Zoning Commission met in Regular Session on Wednesday, August 12, 2020 at 7:00 p.m.

Planning and Zoning Commission Chair, Ms. Tracy Gurneau, called the meeting to order at 7:00 p.m.

2. ROLL CALL

Present: Commissioner Tracy Gurneau
 Commissioner Justin Emery
 Commissioner Sylvia Henry
 Commissioner Mike Scanlon
 Commissioner Shawn Cuff
 City Council Liaison Lloyd Johnson

Staff Present: Ms. Wendy Manson, Deputy Clerk
 Mr. Steve Gritman, City Planner
 Mr. Daniel Elder, City Planner

3. PLEDGE OF ALLEGIENCE

The Pledge of Allegiance was taken.

4. APPROVAL OF THE AGENDA

Commissioner Emery motioned to approve the August 12, 2020 Planning and Zoning Commission Meeting Agenda. Commissioner Henry seconded the motion. Motion carried 5-0.

5. APPROVAL OF THE MINUTES

A. July 8, 2020 Planning and Zoning Commission Meeting Minutes

Commissioner Henry motioned to approve the Planning and Zoning Commission Meeting minutes of July 8, 2020. Commissioner Scanlon seconded the motion. Motion carried 5-0.

6. PUBLIC HEARINGS

A. Consider A Planned Unit Development Amendment – Forest Creek – R Homes – CONTINUATION

Commissioner Gurneau closed the Planning and Zoning Commission Meeting at 7:02 p.m. and opened the Public Hearings at 7:03 p.m.

BACKGROUND

Mr. Steve Gritman was present and explained options that R Homes has submitted for a Planned Unit Development (PUD) Amendment for property located along Breckenridge Lane. Mr. Gritman explained that different options such as style, size and even color do not set a precedent, as each property is unique and the PUD is set for each specific property, not all properties in general. Mr. Jay Roos from R-Home Land Development was also on hand to answer questions or concerns over (PUD) Amendment in question.

Commissioner Scanlon and Commissioner Cuff asked about the design of the house. Mr. Gritman stated that he can see the design of the house being used in a typical housing district; however, the proposed lot size and having the common area would be unique to this project.

Commissioner Scanlon again shared his concerns about setting a precedence for future housing developments if the Planning and Zoning Commission recommends approval of the PUD for the smaller lot size in Forest Creek.

Council Member Johnson shared his concerns about the residents not being able to park their boats and campers on the driveways of the proposed smaller lots and there would also not be enough room for the installation of a parking pad to park their recreational vehicles.

The Commission Members again reviewed the proposed amendment for ten (10) lots on the north side of the Forest Creek Plat.

Commissioner Gurneau closed the Public Hearing at 7:29 p.m. and reopened the Planning and Zoning Commission Meeting at 7:30 p.m.

After much consideration it was decided NOT TO ALLOW (PUD) Amendment to pass.

Commissioner Emery motioned NOT TO ALLOW (PUD) Amendment. Commissioner Cuff seconded the motion. Motion carried 5-0.

7. NO OLD BUSINESS.

8. NEW BUSINESS.

A. Sid Chantland and Gail Wright - Cool Java Coffee Shop Parking Deferment Request

Ms. Wright and Mr. Chantland addressed the Commissioner's to submit a request to defer parking requirements and cost for Cool Java Coffee Shop until a later date. After 2.5 years of financial setbacks, State regulation and Covid-19, owner Mr. Chantland would like to defer the expense of \$25,000 - \$30,000 to bring current parking lot up to code with the Off-Street Parking and Load Requirements for the City of Montrose, until a later date with final completion to be set no later than July 1, 2022. City Planner, Daniel Elder suggested that a Development Agreement be made to hold Mr. Chantland to the agreement of 6 (six) parking spaces to be paved, painted and striped with 1 (one) to be ADA parking stall, and the remaining 6 (six) parking spaces to be completed by July 1, 2022. Also, Mr. Chantland would have to submit a new sketch of the first 6 spaces to be completed along with the application. Commissioner's agreed with Mr. Elder and granted Mr. Chantland the parking lot deferment.

Commissioner Henry made a motion to grant Mr. Chantland and Ms. Wright to Open Cool Java Coffee Shop, contingent upon a signed and executed Development Agreement. Commissioner Scanlon seconded the motion. Motion carried 5-0.

B. City Planner updates

1. Old Casey's Building

City Planner, Daniel Elder is currently trying to follow up with current owner of the property.

2. Commercial lot on East side of town has had some interested party looking into the possibility of opening up a trucking company.

3. Inquiry of 135 Center Avenue, City Planner will talk to prospect early next week.

9. **NEXT MEETING**

A. Wednesday, September 9, 2020 to be held at the Montrose Community Center – 7:00 p.m.

10. **ADJOURNMENT**

Commissioner Emery motioned to the adjourn the Planning and Zoning Commission Meeting at 7:53 p.m.
Commissioner Henry seconded the motion. Motion carried 5-0.

Tracy Gurneau
Chair
City of Montrose

ATTEST:

Heidi Dahlin
Administrative Assistant
City of Montrose



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
Telephone: 763.957.1100 Website: www.nacplanning.com

MEMORANDUM

TO: Deb Boelter, City Administrator
FROM: Daniel Elder, City Planner
DATE: September 8, 2020
RE: Forest Creek PUD – Planning Commission Meeting

At the August 12th Planning & Zoning meeting, the application by R Homes for the Forest Creek Planned Unit Development Amendment (PUD) had a hearing in front of the Planning Commission. At the meeting, the application was presented for the second time to the Planning Commission, who expressed concerns regarding the amendment and allowing lesser setbacks. The Planning Commission expressed concerns about setting a precedent for future housing developments by allowing the smaller size lots. The Planning Commission expressed concern about the smaller lot sizes and setbacks not being able to accommodate parking pads. Based on these concerns, the Planning Commission recommended that the City Council deny the PUD Amendment.

City Planner – Daniel Elder



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
 Telephone: 763.957.1100 Website: www.nacplanning.com

PLANNING REPORT

TO: Montrose Planning Commission
 FROM: Ryan Grittmann & Daniel Elder – City Planner
 DATE: August 5, 2020
 RE: City of Montrose – Planned Unit Development Amendment
 – Forest Creek PUD
 FILE NO: 273.03 - 20.01

BACKGROUND

R Homes has submitted an application for a Planned Unit Development Amendment for property located along Breckenridge Lane north of the Forest Creek Subdivision. The proposed amendment calls for the creation of 10 Single Family Residential lots upon the 11 acre site. The applicants have submitted design changes to the approved homes and changes to the setbacks.

The PUD was originally approved in 2004. At the time, five twinhomes were approved. The PUD was later updated in 2016 with the approval of 10 single-family homes in lieu of the five twinhomes. No changes to the lot configurations were proposed at that time. The applicant is now proposing to build a home model on these lots which differ from the ones that were approved in 2016. An amendment to the PUD is necessary to accommodate the change. It should be noted that no changes to the plat or lot configuration is being proposed with this application.

The site is zoned R-1 Single-Family Residence District with Planned Unit Development District Overlay. Under the R-1 zoning district, single family homes are an allowed use. The subject sites are currently platted but are all vacant lots. The site is adjacent to R-1 Single Family Residence District on all sides.

The following planning report is revised to allow for an analysis requested by the planning commission at the July 8, 2020 meeting. The previous meeting tabled the decision on the application pending the revised information requested.

Attached for reference:

Exhibit A: Applicant Narrative
 Exhibit B: "St. Joseph" Building Plan (Previously Approved Plan)
 Exhibit C: "St. Charles" Building Plan (Proposed Plan)
 Exhibit D: Approved Site Plan from 2016

Exhibit E: Proposed Site Plans / Surveys

ISSUES ANALYSIS

Zoning. The subject site is zoned R-1 Single-Family Residence. Within the R-1 district, single-family homes are an allowed use. The proposed single-family homes are an allowed use within the R-1 zoning district.

Existing Adjacent Uses. The site is surrounded by other single-family uses on the east, south, and west sides. The north side has a stormwater holding pond (Outlot B) and agricultural uses to the north of Outlot B.

Lot Area, Width, and Depth. The ten lots all measure 52.50 feet in width by 92.50 feet in depth for a square footage of 4,856.25 square feet. These are all existing dimensions from the original PUD approval. The applicants are not proposing any changes to the plat, only the approved setbacks and home design.

Setbacks. The previous approval from 2016 had side yard setbacks of 13 feet and 7.5 feet. The new design will reduce these setbacks to 7.5 feet and 5 feet. The reduced setbacks are intended to accommodate the new rambler home design that is proposed rather than the two-story home that was previously approved. It should be noted that these setbacks do not meet the City's requirements for the R-1 district, but the PUD application can allow flexibility in allowing reduced setbacks without the processing of a variance. As a condition of approval, the applicants should work with the City Building Official to ensure there are no issues with the side yard setbacks.

Easements. The wetland area behind the subject sites (Outlot B) contains a drainage and utility easement over the wetland area. Further, Lots 36 and 37 contain drainage and utility easements as well. These easements are intended to provide access to the wetland area. No changes to the easements are proposed.

Maximum Building Height. The maximum building height in the R-1 District is 2 ½ stories or 35 feet. Building height is calculated as the average elevation as measured at the building's corners prior to construction to the top of the highest peak. The following table shows that each building's height will be compliant with the City's requirements:

Lot	Building Height	Compliant
Lot 29	24.1 feet	Yes
Lot 30	23.8 feet	Yes
Lot 31	22.9 feet	Yes
Lot 32	22.9 feet	Yes
Lot 33	21.4 feet	Yes
Lot 34	21.3 feet	Yes
Lot 35	21.6 feet	Yes
Lot 36	21.5 feet	Yes
Lot 37	22.8 feet	Yes
Lot 38	20.5 feet	Yes

Building Type and Design. The original plat that was approved in 2004 for this site contained five twin homes with PUD zoning. The approved PUD was later updated in 2016 to construct ten single-family homes with no changes to the lots. The applicants are now proposing a second amendment to the approved PUD for a different home design. Since the new home design contains a different footprint, a PUD amendment is necessary.

Site Lighting. The submitted plans do not show driveway lights or front porch lights. As a condition of approval, all lighting must comply with Section 1016-8 of the Zoning Ordinance related to exterior lighting.

Parking. By code, single-family lots must provide space to park at least two vehicles off-street. The proposed homes with attached garages and driveway will meet this requirement.

Curb Cut Access. The applicant is proposing 10 new curb cuts (one per home). Each curb cut is approximately 18 feet in width, which meets code. Each curb cut is required to be five feet off the property line; the site plan shows the curb cuts will be at least 7 ½ feet from the property line, which meets Code.

Landscaping. By Code, the area that remains after construction of the homes and driveway areas are completed shall be landscaped with grass, shrubs, trees, or other ornamental landscape materials. As a condition of approval, the applicant shall be responsible for fulfilling this requirement. It should be noted that the developer's agreement states that each lot shall have one tree planted on it unless the lot already has an existing tree.

Grading and Drainage Plan. The approved grading and drainage plans from 2016 for the site directed stormwater to the street, and to Outlot B. The City Engineer is recommending that the applicant submit a revised grading and drainage plan as a condition of approval. While no significant changes are expected in regards to grading and drainage, the submission of a revised plan will be necessary.

Outlot Protection / Wetland Mitigation. The existing outlot to the north of the project, noted as Outlot B, is intended to hold stormwater from this project. The site has an existing silt fence that runs between the project area and the wetland. This silt fence will be required to be maintained throughout the project as well as any other runoff protection. As a condition of approval, the applicants should work with the City Engineer to ensure compliance throughout the project.

Pedestrian Access. The area is served by a sidewalk on the south side of Breckenridge Lane. No new sidewalk is proposed for the north side (project side).

Park Dedication. Since the plat was previously approved in 2004, no new park dedication fee is required as part of this project.

Tree Preservation, Removal and Replacement. The site does not contain any trees, therefore, a tree preservation, removal, and replacement plan is not required.

Neighboring Property Notifications. A notification of the public hearing went out to all property owners within 350 feet of the subject area. The City heard from several property owners who requested more information about the project. In addition, one property owner expressed concern about the proximity of the homes to Outlot B and the reduced distance between homes.

Planned Unit Development Requirements. The City of Montrose lays out 13 requirements for a planned unit development. These requirements are outlined below with Staff comment:

- A. Ownership: An application for PUD approval shall be filed by the landowner or jointly by all landowners of the property included in a project. The application and all submissions must be directed to the development of the property as a unified whole. In the case of multiple ownership, the approved final plan shall be binding on all owners.

Staff Comment: In this case, the PUD is an amendment that was filed by the property owner. This requirement has been satisfied.

- B. Comprehensive Plan Consistency: *The proposed PUD shall be consistent with the City Comprehensive Plan.*

Staff Comment: The Comprehensive Plan notes the need for "infill development". By developing these lots that were platted in 2004, the project is consistent with the Comprehensive Plan's goals.

- C. Utility Plan Consistency: *The proposed PUD shall be consistent with the City's utility (sewer and water) plans.*

Staff Comment: The site has utility access that was installed as part of the original plat and approval. The project is consistent with the City's utility plans.

- D. Common Open Space: *Common open space at least sufficient to meet the minimum requirements established in the Comprehensive Plan and such complementary structures and improvements as are necessary and appropriate for the benefit and enjoyment of the residents of the PUD shall be provided within the area of the PUD development.*

Staff Comment: The open space in this development was approved in 2004. No changes to this layout are being proposed at this time.

- E. Operating and Maintenance Requirements for PUD Common Open Space/ Facilities: *Whenever common open space or service facilities are provided within*

the PUD, the PUD plan shall contain provisions to assure the continued operation and maintenance of such open space and service facilities to a predetermined reasonable standard.

Staff Comment: The operating and maintenance requirements will be performed by the HOA. This is an approved entity to handle the operating and maintenance requirements.

- F. *Staging of Public and Common Open Space: When a PUD provides for common or public open space, and is planned as a staged development over a period of time, the total area of common or public open space or land escrow security in any stage of development shall, at a minimum, bear the same relationship to the total open space to be provided in the entire PUD as the stages or units completed or under development bear to the entire PUD.*

Staff Comment: The PUD does not have staging of public or common open space

- G. *Density: The maximum allowable density variation in a PUD shall be determined by standards negotiated and agreed upon between the applicant and the City. In all cases, the negotiated standards shall be consistent with the development policies as contained in the Montrose Comprehensive Plan. Whenever any PUD is to be developed in stages, no such stage shall, when averaged with all previously completed stages, have a residential density that exceeds one hundred twenty-five (125) percent of the proposed residential density of the entire PUD.*

Staff Comment: The proposed amendment does not change the density of PUD.

- H. *Utilities: In any PUD, all utilities, including telephone, electricity, gas and telecable shall be installed underground.*

Staff Comment: This requirement has been met.

- I. *Utility Connections:*

1. *Water Connections: Where more than one property is served from the same service line, individual unit shut off valves shall be provided as required by the City Engineer.*
2. *Sewer Connections: Where more than one unit is served by a sanitary sewer lateral which exceeds four hundred (400) feet in length, provision must be made for a manhole to allow adequate cleaning and maintenance of the lateral. All maintenance and cleaning shall be the responsibility of the property owners association or owner.*

Staff Comment: Each unit will have their own sewer and water connection. This is subject to review by the City Engineer.

- J. Roadways: All streets shall conform to the design standards contained in the Montrose Subdivision Ordinance, unless otherwise approved by the City Council.

Staff Comment: No changes to the roadways are being proposed.

- K. Landscaping: *In any PUD, landscaping shall be provided according to a plan approved by the City Council, which shall include a detailed planting list with sizes and species indicated as part of the final plan. In assessing the landscaping plan, the City Council shall consider the natural features of the particular site, the architectural characteristics of the proposed structures and the overall scheme of the PUD plan.*

Staff Comment: The landscaping plan was included in the Developer's Agreement from 2004 and shall be adhered to for this project. This will be a condition of approval.

- L. Servicing Requirements: *All development will be carefully phased so as to ensure that all developable land will be accorded to a present vested right to develop at such time as services and facilities are available. Lands which have the necessary available municipal facilities and services will be granted approval in accordance with existing ordinances and development techniques. Lands which lack the available public facilities and services may be granted approval for development, provided that all applicable provisions of this Ordinance, the City Code, and State regulations are complied with.*

Staff Comment: The servicing requirement has been met.

- M. Setbacks:

1. The front and side yard restrictions of the periphery of the planned unit development site at a minimum shall be the same as imposed in the respective districts.
2. No building shall be located less than fifteen (15) feet from the back of the curb line along those roadways which are part of the internal street pattern.
3. No building within the project shall be nearer to another building than one-half (1/2) the sum of the building heights of the two (2) buildings.

Staff Comment: These conditions are not met with the exception of number two. As part of the PUD approval, the City will need to approve the reduced setbacks. It should be noted that the previous plan did not meet these requirements either.

REQUESTED ANALYSIS

At the July 8, 2020 meeting, the Planning Commission asked for information comparing the density of the proposed application compared to the density on the Preserve Plat.

The Preserve Plat, as it was approved, overlays 63 acres of developable land based upon its four tier density requirements. Based upon the approved plat, the development has a density of 3.8 units per acre based upon a proposed 240 units.

The Forest Creek development density was calculated by taking the overall acreage of the plat 11.09 Acres and the number of units at full build out 38. This calculation identifies the density of the proposed development at 3.42 units per acre.

The Preserve Plat has a higher density of units in the development compared to Forest Creek.

SUMMARY AND RECOMMENDATION

The applicants are proposing to amend an existing Planning Unit Development in the Forest Creek neighborhood. The existing approved plan is for 10 single-family homes with common area between each home. The applicants are requesting an amendment to this plan to change the home design from a two-story home to a rambler style home. The change in home design requires an amendment to the approved PUD as the setbacks will change.

Based on our review of the proposed PUD amendment submitted on behalf of R Home, LLC dated June 4, 2020, Staff recommends approval of the PUD amendment with the following conditions:

1. All lighting shall comply with Section 1016-8 of the Zoning Ordinance related to exterior lighting.
2. The area that remains after construction of the homes and driveway areas are completed shall be landscaped according to the Developer's Agreement dated September 15, 2004.
3. The applicant shall submit revised grading and drainage plan that meets the City's requirements for grading and drainage.
4. The applicants shall work with the City Engineer and adhere to any follow-up recommendations made by the City Engineer.
5. The applicants shall adhere to any and all applicable requirements of the Developer's Agreement dated September 15, 2004.
6. The City Council approves the reduced setbacks and waives requirement 1010-2-M.-1. and 1010-2-M.-3.

7. As a Condition of amendment approval City Building Official shall comment and review building plans for any concerns on Side Yard Setbacks.
8. Other comments by Staff

cc. Deb Boelter
Justin Kannas
City Attorney

TO: City of Montrose
FROM: R-Home, LLC
RE: PUD Amendment Request for Lots 29-38, Block 1 Forest Creek
DATE: June 4, 2020

The property that is the subject of this request is zoned R-1 with a conditional use permit for a Planned Unit Development overlay. The lots that are the subject of this request were originally platted as twin home lots that are each 52.5' x 92.5' and share a common wall/lot line; they are still platted as such and the plat is not proposed to be revised. Common space surrounds each pair of twin home lots. In 2016 Paxmar LLC obtained a PUD amendment for Lots 1-26; 29-32 of Block 1 Forest Creek to change the approved building plan from an attached twin unit product to detached units. The amended plans that were approved in 2016 were plans referred to as the "Hickory" home plan and the "St. Henry" home plan. The Hickory plans consisted of a "Hickory I" and a "Hickory II" plan based on options. R-Home built the Hickory II plan within Forest Creek but they did not build any of the St. Henry plans. At some point following the 2016 amendment R-Home changed the plan name of the Hickory II to the "St. Joseph" plan. This change was a name change only; the unit design did not change.

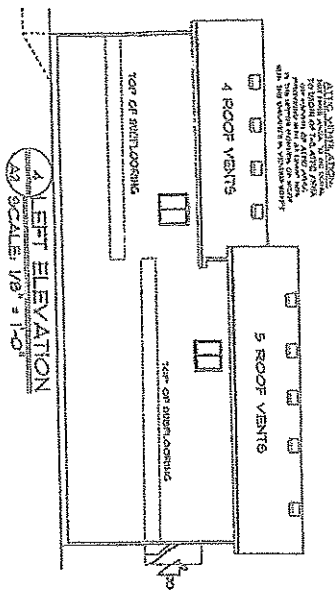
R-Home is requesting a house plan change along with setback change for Lots 29-38, Block 1. The St. Joseph (formerly known as the Hickory II) is a split-level plan that has the potential for 3 finished bedrooms and 2-1/2 baths with a potential for 1,884 square feet of finished space. The overall house footprint is 32' wide by 50' in depth and the garages are three stalls. These units had minimum side yard setbacks of 7.5'.

R-Home would like to amend the allowable build plan to a rambler style based on consumer demand. The rambler plan proposed is called the "St. Charles" plan and has the potential for 3 bedrooms and two bathes and a finishable area of 2,133 square feet. The garages on the St. Charles are two car and the overall house footprint is 40' wide by 48' deep. Due to the wider house width of the St. Charles R-Home is also requesting an amendment to the allowable side yard setbacks. The requested setbacks are 7.5' for a side yard of a common lot line (15' between adjacent units) and 5' for the side yard that is adjacent to common space. The minimum width of platted common space between lots is 5' so the minimum distance between adjacent homes will be 15' on both side of all units.

EXHIBIT A

EXHIBIT B

ST. JOSEPH
(ELEVATION "B")

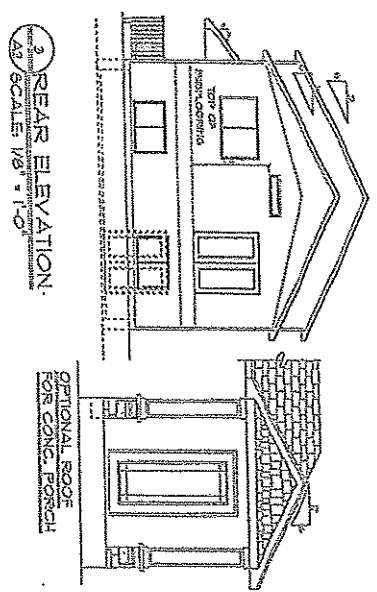


4. LEET ELEVATION
A2 SCALE: 1/8" = 1'-0"

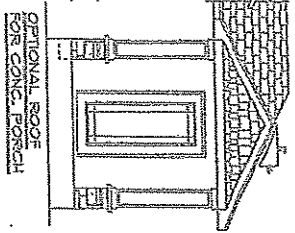
I herewith certify that these plates, specifications, and report was prepared by me as under my official signature and that, as a duly Licensed Professional Engineer under the laws of the State of Tennessee.

D. C. Phillips

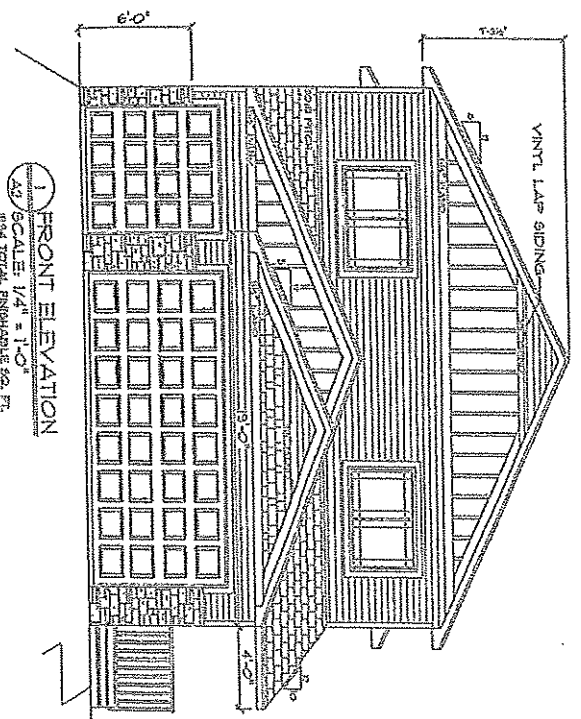
Donaldu C. Phillips, P.E.
 1000 University Dr., Room 4000, Memphis, Tenn. 38150



3 REAR ELEVATION.
DATE: 10/10/01
BY: [illegible]
SCALE: 1/8" = 1'-0"

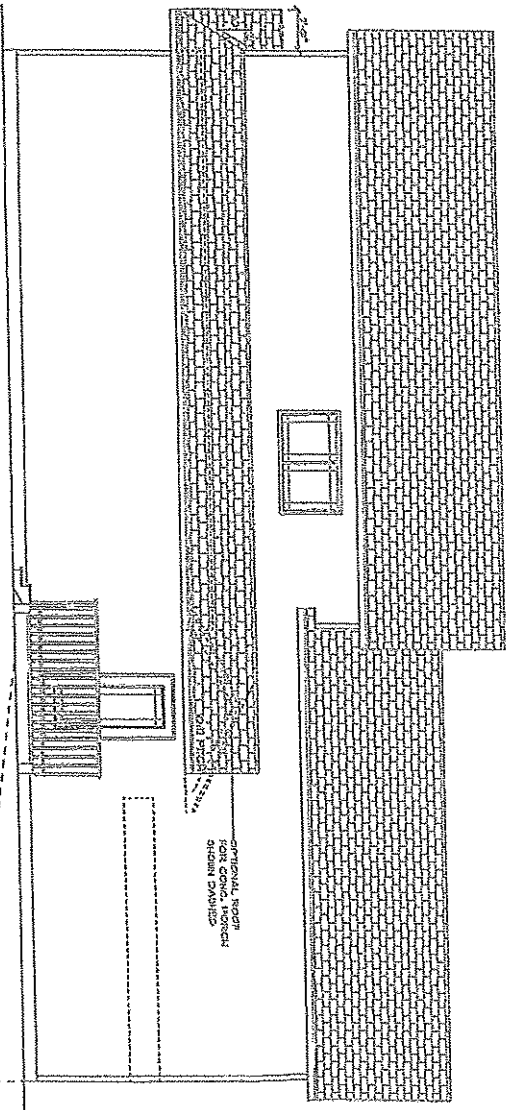


**OPTIONAL. ROOF
FOR CONC. PORCH**



1 FRONT ELEVATION
AS SCALE: 1/4" = 1'-0"
mod. TERRY, PINKSHAW & SONS, FT.

1984 TOTAL FINISHABLE SQ. FT.
FINISHED SQ. FT. - 1939
FUTURE FINISHABLE SQ. FT. - 230
NOTES: SQ. FT. IS TO EXT. OF SHEATHING



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

2011

- NOTE:
☐ THIS PLAN IS FOR CLIMATE ZONE "6"
☐ THIS PLAN IS FOR CLIMATE ZONE "7"

FLASHING NOTE:
DON'TS TO EXCELLENCE

ALL OPERATIONS TO INSPECTOR MUST
BE CANCELED & RE-STARTED
PLAYING IN RECOVERED DIRECTION ALL
ROOF & VERTICAL SURFACES MUST
OR WHERE SHOWN MATERIAL CLIMBERS

1'-0" OVERHANGS & BAYES
1'-0" OVERHANGS & GABLE ENDS
ARCHITECTURAL ASPH SHINGLES
ALUMINUM SOFFIT & FASCIA

VINYL BOARD & BATTEN / 3
(PER ELEVATION)

WINTL CAP SIDING
(ALL SIDES UNLESS NOTED OTHERWISE)
4" CORNER TRIM
(ALL ELEVATIONS)

STONE PER SELECTION
GRADE LINES ON PLAN DO NOT
REFLECT ACTUAL GRADE

COPYRIGHT ©
This plan is copyrighted by Phoenix, LLC.
All figures reproduced are unaltered.
Use shall result in the written penalty of \$2000.

WAVES

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTOR(S), IF HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTOR(S), IF HOMEOWNER TO VERIFY HOUSE MEETS ALL STATE AND LOCAL BUILDING CODES. DUCTIVIA DRAFTING AND Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

OFFICE - 782.344.2372
FAX - 1.800.786.5332
P.O. BOX 243,
BARTON, TN 37613
www.conservativeprinting.com



Distractive
Pressing & Design
The Dressing Room

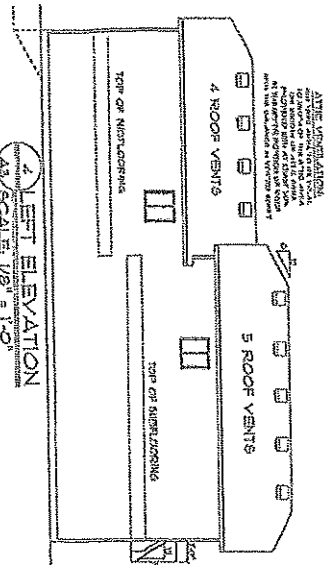
PROJECT #
16-103 St. Joseph

REVISED AS OF:
2/15/2013

DRAWN BY:
NICOLE ELLIOTT
APPROVED BY:

EXHIBIT B

ST. JOSEPH
(ELEVATION "C")

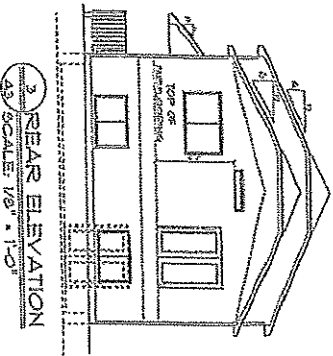


2 LEFT ELEVATION
AS SCALE: 1/8" = 1'-0"

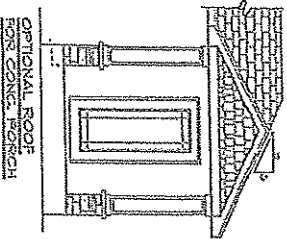
I hereby certify that the above classification or report was prepared by me or under my direct supervision and that it is a truly independent professional judgment under the laws of this State or District.

Douglas E. Dunlap, Jr.

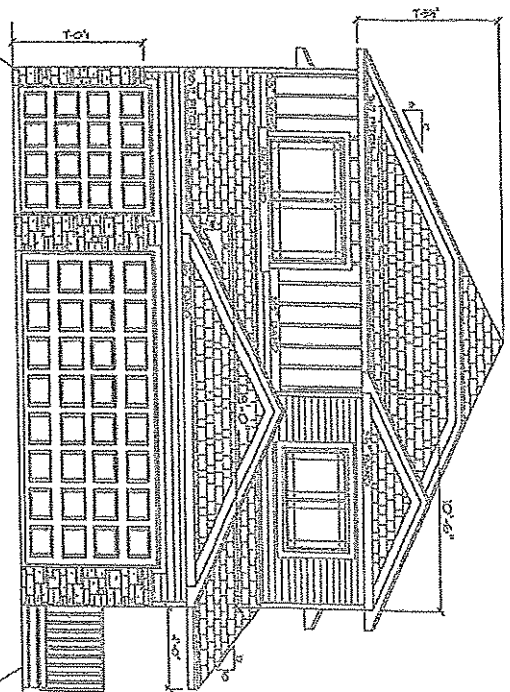
Douglas E. Dunlap, Jr.
 1000 Pennsylvania Ave., N.W.
 Room 1000, N.W.
 Washington, D.C. 20004



3 REAR ELEVATION
43 SCALE: 1/8" = 1'-0"

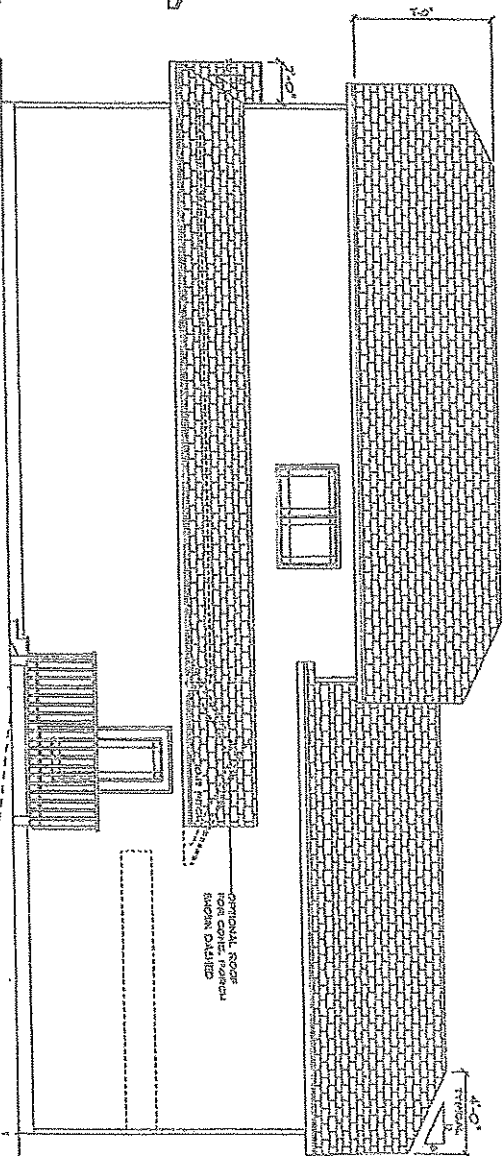


OPTIONAL ROOF
FOR CONC. WORK



1 FRONT ELEVATION
SCALE 1/4" = 1'-0"
TOTAL ROOM FINISHES SHOWN

1954 TOTAL FINISHABLE SQ. FT. -
FINISHED SQ. FT. - 1334
PUPPE UNFINISHABLE SQ. FT. - 520
GROSS SQ. FT. IS TO BCD. OF SHEATHING



2 RIGHT ELEVATION
SCALE 1/4" = 1'-0"

DASHED LINES REPRESENT
WALK-OUT FOUNDATION OPTION

NOTED BY A. H. DODGE, APRIL 18, 1897.
 COLLECTED BY A. H. DODGE, APRIL 18, 1897.
 NOTED BY A. H. DODGE, APRIL 18, 1897.
 COLLECTED BY A. H. DODGE, APRIL 18, 1897.

CONTRIBUTOR to
This paper is a copy written by Professor, Alvin
Wall, Florida State University. Any unauthorized
use without written consent is prohibited. Penalties for
violation are severe.

END

- ☐ THIS PLAN IS FOR CLIMATE ZONE 6
☐ THIS PLAN IS FOR CLIMATE ZONE 7

FLASHING NOTE

ALL OPENINGS TO EXTERIOR MUST
BE GASKETED & FLASHPROOFED
TO RESISTED MINIMUM AIR,
WATER & VIBRATIONAL SOUND RATED PER
CITY HEALTH CODES. HORIZONTAL GLAZEMENTS

1'-0" OVERHANGS & BAYES
1'-0" OVERHANGS & GABLE ENDS

ARCHITECTURAL ASPH. SHINGLES
ALUMINUM SOFFIT & FASCIA

3" FRIEZE BOARD &
ALL FRONT GRABBLING

VINYL BOARD & BATTEN / SHAKES
(PER ELEVATION)

ANTI-LAP OPDING

4" CORNER TRIM
(ALL ELEVATIONS)

4" WINDOW + DOOR TRIM
FRONT ELEVATION ONLY)

STONE PER SELECTION

GRADE LINES ON PLAN DO NOT
REFLECT ACTUAL GRADE

DRAWN BY: NICOLE ELLIOTT	PROJECT # 16-108 SL Joseph
APPROVED BY:	REVISED AS OF: 2/5/2018

Distinctive
Drafting & Design
We Draw Your Vision

607-22-2034-2035
FAX: 1-603-763-0021
P.O. BOX 345
ANDOVER, MA 01810
www.dhcs.state.ma.us

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTORS, & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTORS, & HOMEOWNER TO VERIFY POSSIBLE MEETS ALL STATE AND LOCAL BUILDING CODES. DYNAMIC DRAFTING and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

U.S. V. 1000

I hereby certify that this is the specification
 as required and that I am not aware of any direct
 or indirect interest that I or a child, descendant
 or descendant's descendant have in the claim of this invention.

 In witness whereof, I have hereunto set my hand
 and the seal of the said office, this _____ day of _____, 19____.

 Director General of Patents and Trademarks
 Ottawa, K1A 0S5, Canada

RESTORATION WORKS—
All details per Tin Restoration Corps
All Material, spraying, 40% CO 2 gas
Disinfectant per Tin Restoration Corps
All cleanup operations are per requirements only

NOTE: ALL SUPPLIES & MATERIALS SHOULD BE OBTAINED ON THE SPENT AIRLIFT.

ORIGIN

INSTRY ALL UNKNOWN R.A.'S PRIOR TO CONSTRUCTION.

RECORDS TO BEIN FALL PRODUCTION PLANT AND

ALL BEARS & HINDS ON THE PLANT ARE

UNRECORDED. THIS DOES

CONSTRUCTED ROAD PROJECTS

IN PRESENT STAGE IS USED

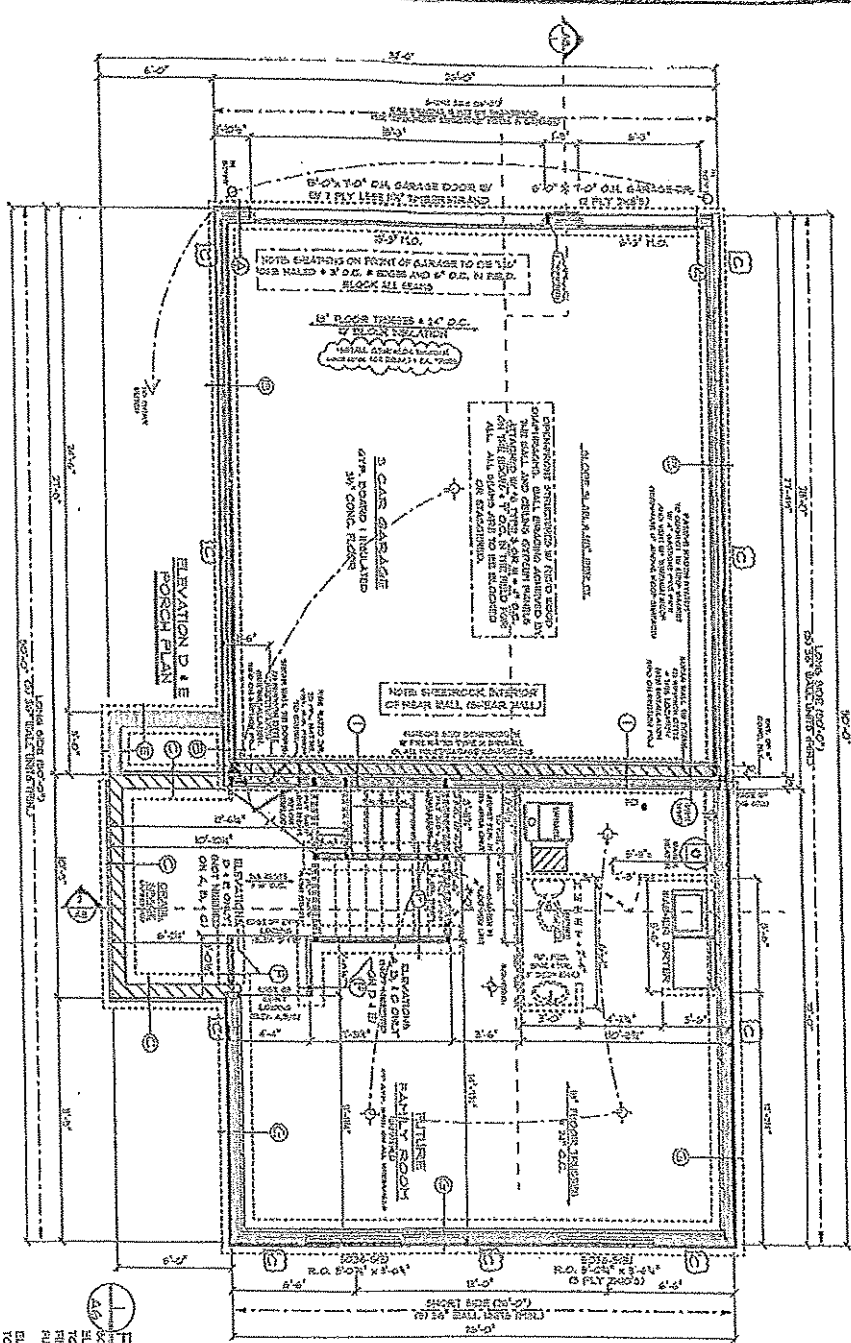
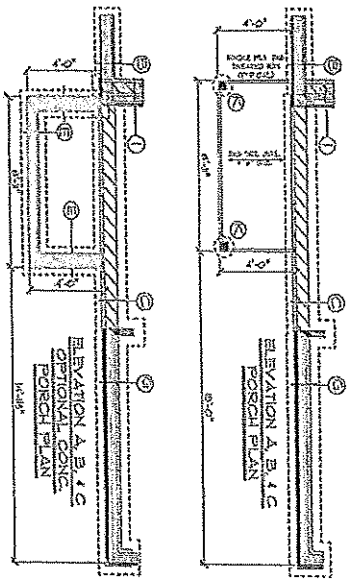
VERY SET & CORN PRIOR TO CONSTRUCTION.

BEYOND READING CAPABLE TO DISCOVER THAT ALL

GRAND AND HINDS WILL DISCOVER

FROM THE RECORDS THAT

WHERE TO CONSTRUCTION



NOTE: SEE LAST PAGE FOR OPTIONAL
FOURD FDN WALL DETAILS

ZONE #7 EPN. NOTES:

- ④ 20A 20B5 - 1" O.D.
1 CORING AT CORING BLK.
6 CORING AT CORING BLK.
ON 20" CORING. FTS
- ⑤ 20A 20B5 - 1" O.D.
1 CORING AT CORING BLK.
6 CORING AT CORING BLK.
ON 20" CORING. FTS
- ⑥ 1 CORING AT CORING BLK.
1 CORING AT CORING BLK.
ON 20" CORING. FTS
- ⑦ 20A 20B5 - 1" O.D.
1 CORING AT CORING BLK.
1 CORING AT CORING BLK.
ON 20" CORING. FTS
- ⑧ 20A 20B5 - 1" O.D.
1 CORING AT CORING BLK.
1 CORING AT CORING BLK.
ON 20" CORING. FTS

ZONE 16 FOUNDATION NOTES:

(A) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(B) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(C) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(D) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(E) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(F) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(G) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(H) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(I) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(J) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(K) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(L) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(M) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(N) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(O) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(P) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(Q) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(R) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(S) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(T) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(U) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(V) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(W) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(X) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(Y) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

(Z) 20% STIFFEN, 18" O.C.
1 CORN. 4" CONC. BLK.
ON 18"X18" CONC. PILE

CIVILIAN CONTRIBUTION NORTH

① 10% ALUM. & 1% D.O.
1 CORN & CONC. BLK
1 CORN & CONC. BLK
ON TOP & CONC. BLK

② 8% ALUM. TREATED POST
ON 10% CORN & CONC. BLK
1% D.O. 10% CORN & CONC. BLK

③ 10% ALUM. 10% CORN & CONC. BLK
ON TOP & CONC. BLK

[illegible]

FOUNDATION PLAN
 1/4" = 1'-0"
 ELEVATION A, B, & C
 TOTAL IRREVERSIBLE CO. FT. = 504
 FINISHED CO. FT. = 34
 FUTURE REVERSIBLE CO. FT. = 580
 ELEVATION D & E
 TOTAL IRREVERSIBLE CO. FT. = 600
 FINISHED CO. FT. = 34
 FUTURE REVERSIBLE CO. FT. = 616

Diagram of a horizontal beam with a pin support at the left end and a roller support at the right end. A downward point load of 10 kN is applied at the center of the beam. The beam is labeled "BENT BEAM" and "10 kN". The distance from the left support to the load is 5 m, and the distance from the load to the right support is 5 m. The total length of the beam is 10 m.

[illegible][illegible][illegible][illegible]

The plan is exciting within my friends, and all rejoice forward, and undoubtedly we shall speak, not without promise of success.

DRAWN BY: NICOLE ELLIOTT	PROJECT # 16-108 St. Joseph
APPROVED BY:	REVISED AS OF: 7/13/2018



Distinctive
Drafting & Design
We'll Draw Your World Right

OFFICE 7437443022
FAX 7437453022
P.O. BOX 343,
INTERMAN, 101 29009
CH2C/Interline Shipping Co.

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTOR(S), HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, CONDITIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTOR(S), HOMEOWNER TO VERIFY HOUSE MEETS ALL STATE AND LOCAL BUILDING CODES, Distinctive Design and Design LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

WILLYS

ST. CHARLES

PROPOSED PLAN

NOTE:

- ☒ THIS PLAN IS FOR CLIMATE ZONE #6
☐ THIS PLAN IS FOR CLIMATE ZONE #7

FLASHING NOTE:

ALL OPENINGS TO EXTERIOR MUST BE FLASHED TO PREVENT LEAKAGE. FLASHING SHALL BE INSTALLED UNDER ALL ROOF & VERTICAL, HORIZONTAL, HATCH, OR OTHER OPENING MATERIAL CHANGES.

1'-0" OVERHANGS & EAVES
 1'-0" OVERHANGS & GABLE ENDS
 (UNLESS NOTED OTHERWISE)

ARCHITECTURAL ASPH SHINGLES
 ALUMINUM SOFFIT & FASCIA
 (PER ELEVATION)

VINYL BOARD & BATTEN
 (PER ELEVATION)

VINYL LAP SIDING

4" CORNER TRIM
 (ALL ELEVATIONS)

4" WINDOW & DOOR TRIM
 (FRONT ELEVATION ONLY)

PRIMEZE BOARD IN FRONT GABLE

STONE PER SELECTION

GRADE LINES ON PLAN DO NOT
 REFLECT ACTUAL GRADE

ELEVATIONS ARE ONLY A
 REPRESENTATION & MAY HAVE SLIGHT
 VARIATIONS AS DICTATED BY BUILDER

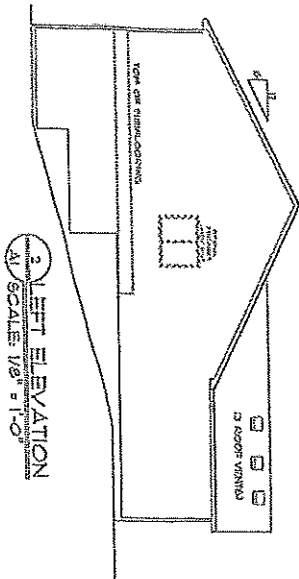
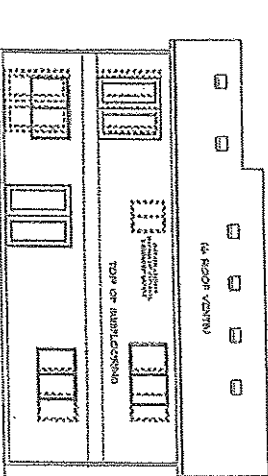
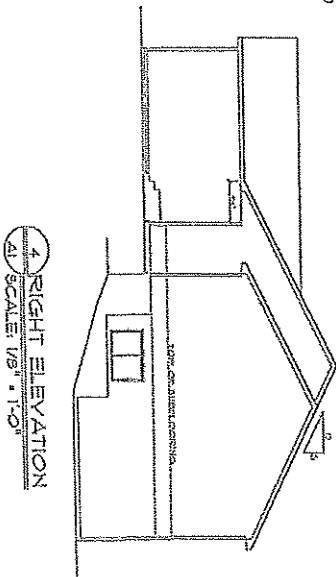
1 FRONT ELEVATION
 1/4" = 1'-0"

TOTAL SQ. FT. - 233
 FINISHED / FINISHABLE SQ. FT. - 1882
 (NOTE: SQ. FT. IS MEASURED
 FROM EXT. OF SHEATHING)

OPTIONAL FLOOR PLANS

TOTAL SQ. FT. 233
 FINISHED SQ. FT. - 1092
 FINISHABLE SQ. FT. - 1875
 (NOTE: SQ. FT. IS MEASURED
 FROM EXT. OF SHEATHING)

EXTEND SIDING OVER
 FOUNDATION INSULATION

2 LEFT ELEVATION
 1/8" = 1'-0"3 REAR ELEVATION
 1/8" = 1'-0"4 RIGHT ELEVATION
 1/8" = 1'-0"

ALL DIMENSIONS ARE IN FEET & INCHES. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

CONTRACTOR'S & OWNER'S SIGNATURES ARE REQUIRED FOR THESE PLANS TO BE USED FOR CONSTRUCTION. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

EXHIBIT C

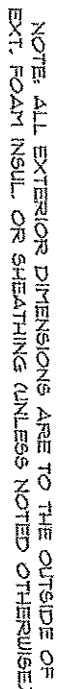
DRAWN BY:
 NICOLE ELIOTT
 APPROVED BY:

PROJECT #
 13-157 GL
 REVISED AS OF:
 3/30/2020
 3/30/2020 1:00 PM

Distinctive
 Drafting & Design
 10000 N. 100th Ave.
 Suite 100
 Greenwood, IN 46030
 Phone: 317.664.1882
 Email: info@distinctivedrafting.com
 Website: www.distinctivedrafting.com

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTOR(S), & HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTOR(S), & HOMEOWNER TO VERIFY HOUSE MEETS ALL STATE AND LOCAL BUILDING CODES. Distinctive Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

1/16/20



This paper is copyright © 1998 by Pearson Education, Inc. All rights reserved. Any unauthorized use without the written permission of Pearson Education, Inc. is prohibited.

PHILADELPHIA, PA. - 2003

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTOR(S), (HOWEVER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTOR(S), (HOWEVER TO VERIFY WORK MEETS ALL STATE AND LOCAL BUILDING CODES. Dinniville Drafting and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

OPTIONAL LAYOUT:
1 BEDROOM

2018年

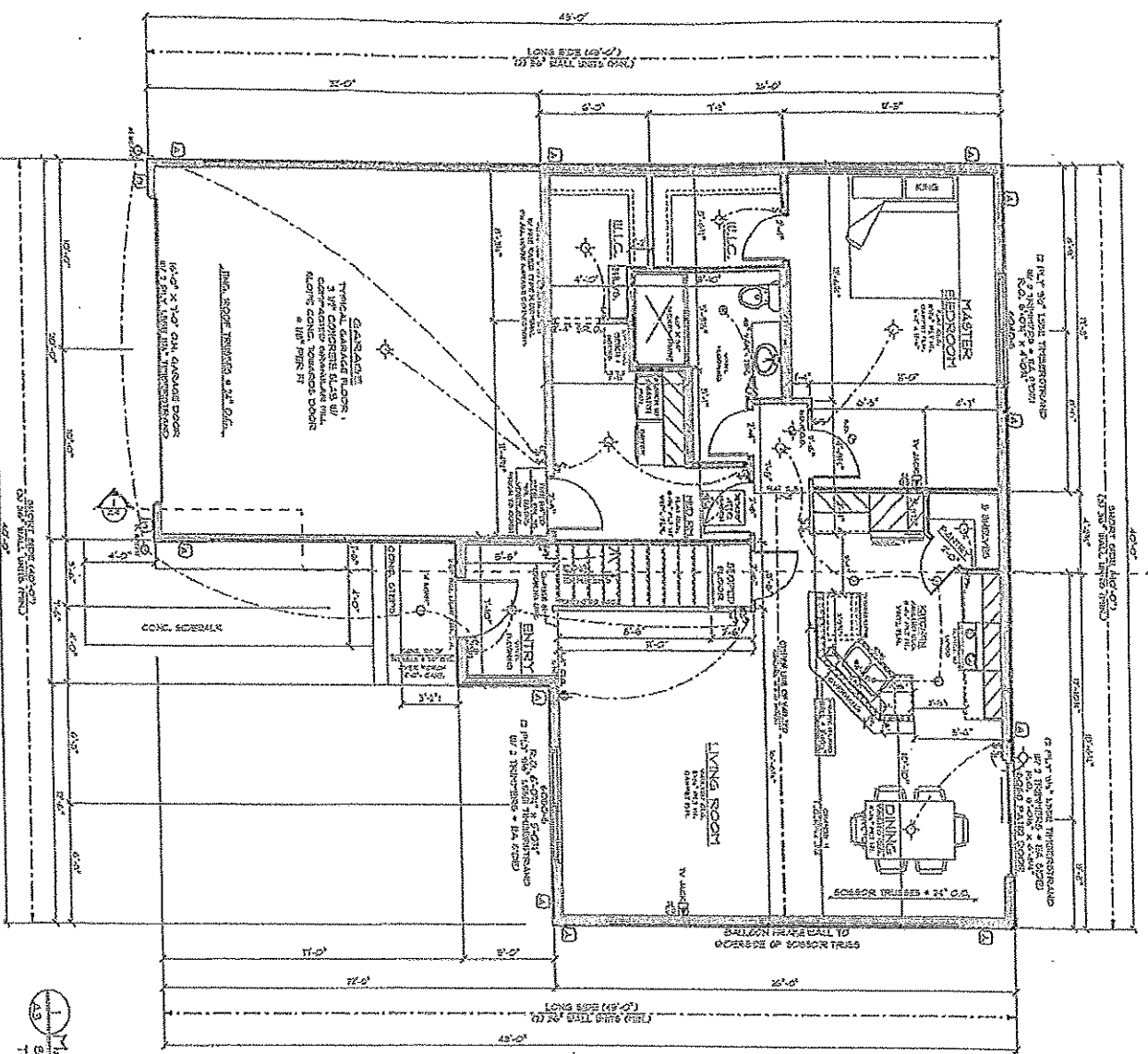
EXHIBIT C

DRAWN BY: NICOLE ELLIOTT	PROJECT # 19-157 GL
APPROVED BY:	REVISED AS OF: 3/30/2020 33001012 / 0124 P



Instinctive
Drafting & Design
Calculating the Future

[illegible]



NOTE... ALL DIMENSIONING IS TO THE EXTERIOR OF THE SHEATHING

1 MAIN FLOOR PLAN
Scales: 1/4" = 1'-0"
TOTAL FINISHED 56. FT.

SCALE: 1/4" = 1'-0"
TOTAL FINISHED SG. FT. = 1020

- [illegible]

NOT IN EVERY
TECH PLANS
DIRECT
OPERATOR
via Drawing
USE PLANS.

COPIES IN THE
THIS IS A COPY OF THE
ALL INFORMATION AND INFORMATION
WAS ABOLISHED IN A SPECIAL PROCESSING OF 1977

EXHIBIT C

DRAIN BY:
NECLE ELLIOTT
APPROVED BY:

PROJECT:	19-157 GL
REVISED AS OF:	3/30/2020
PROJECT LOCATION:	1907022 (10102 E)



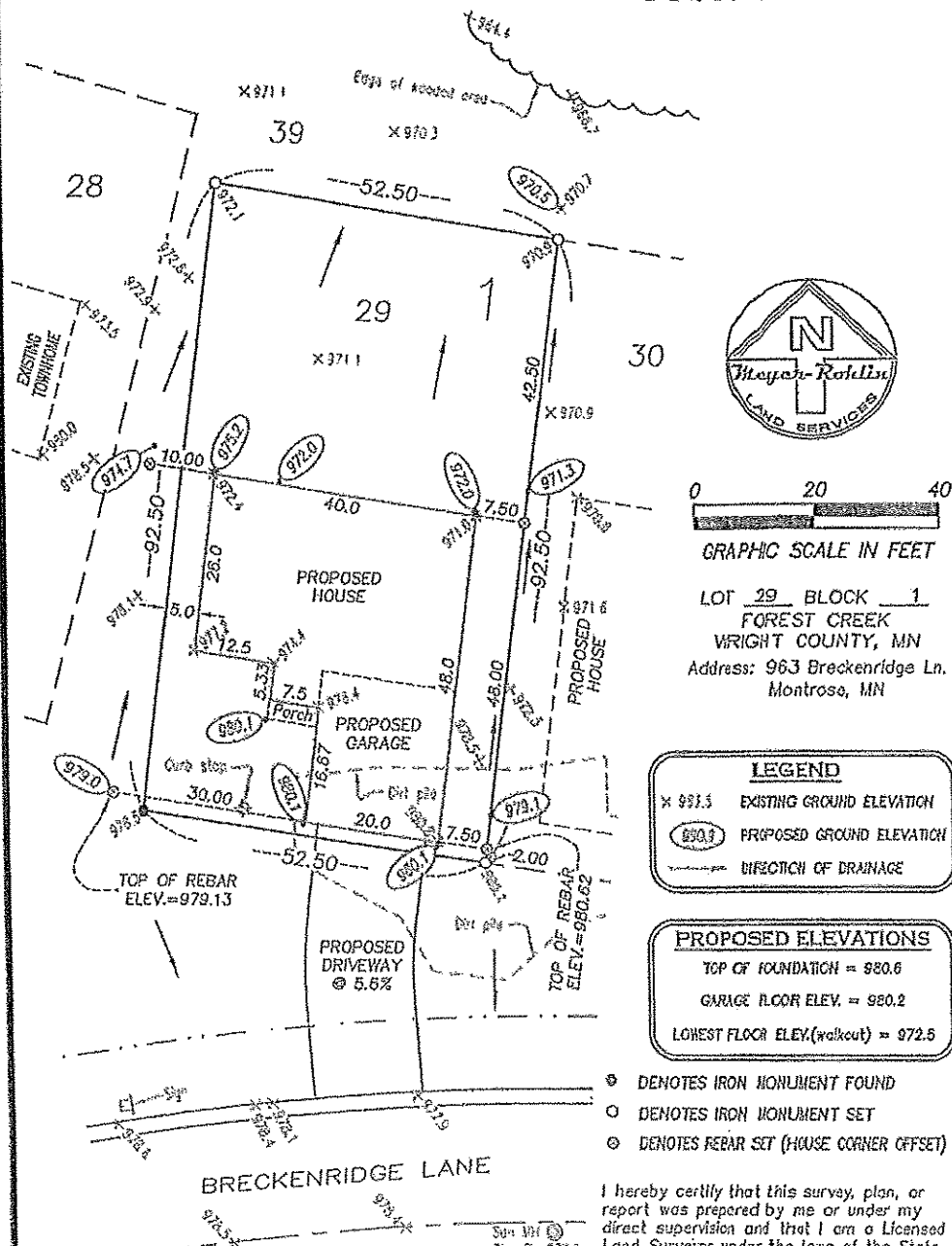
OFFICE 262-344-2222
 262-344-2222
 P.O. BOX 263,
 BOSTON, MA 02113
 262-344-2222

EVERY EFFORT HAS BEEN MADE TO MAKE SURE THESE PLANS ARE CORRECT IN EVERY WAY. BUILDER, GENERAL CONTRACTORS, HOMEOWNER SHOULD REVIEW THESE PLANS TO MAKE SURE ALL NOTES, DIMENSIONS, ERRORS AND OMISSIONS ARE CORRECT BEFORE CONSTRUCTION STARTS. BUILDER, GENERAL CONTRACTORS, HOMEOWNER TO VERIFY HOUSE MEETS ALL STATE AND LOCAL BUILDING CODES. Distinctive Design and Design, LLC IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS ON THESE PLANS.

WALVER

[illegible]

CERTIFICATE OF SURVEY



LEGEND

- × 991.5 EXISTING GROUND ELEVATION
- 990.9 PROPOSED GROUND ELEVATION
- DIRECTION OF DRAINAGE

PROPOSED ELEVATIONS

- TOP OF FOUNDATION = 980.6
- GARAGE FLOOR ELEV. = 980.2
- LOWEST FLOOR ELEV. (walkout) = 972.5

- ⊙ DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- ⊙ DENOTES REBAR SET (HOUSE CORNER OFFSET)

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 03/25/2020

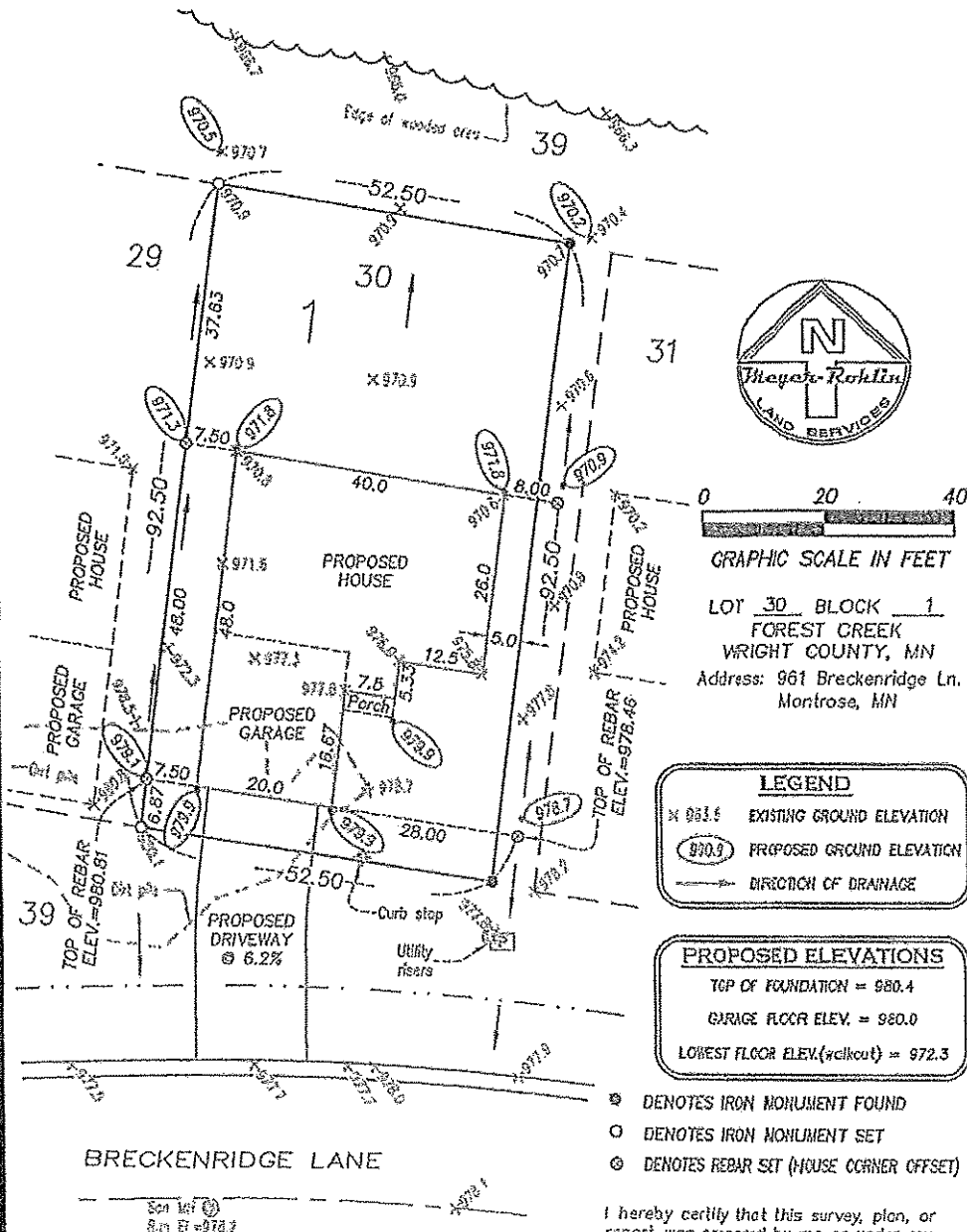
Trace C. McCoy
License No. 44531

SURVEYORS' NOTES:

1. BUILDER AND/OR OWNER SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR THE PROPOSED CONSTRUCTION
2. BUILDER AND/OR OWNER SHALL VERIFY PROPOSED TOP OF FOUNDATION & FLOOR ELEVATION SEPARATION DIMENSIONS AND HOUSE FOOTPRINT DIMENSIONS. NOTIFY MEYER-ROHLIN LAND SERVICES OF ANY DISCREPANCIES PRIOR TO BEGINNING EXCAVATION.
3. THIS SURVEY WAS ORDERED BY AND IS PROVIDED EXCLUSIVELY TO PAXMAR, LLC, FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT FOR THE PROPOSED HOUSE SHOWN HEREON.
4. NO TITLE DOCUMENTATION WAS PROVIDED BY THE CLIENT. EASEMENTS ARE SHOWN ONLY ACCORDING TO THE RECORDED PLAT. EASEMENTS OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREON
5. BENCHMARK: TOP NUT OF HYDRANT @ LOTS 32 & 33, BLOCK 1. ELEVATION = 980.50
6. APPROXIMATE AREA TO BE SODDED = 4,500 SQ. FT.

<p>Meyer-Rohlin LAND SERVICES</p> <p>708 1ST AVENUE NE, #1 BUFFALO, MN 55313 PH. 763.682.1781 WWW.MEYERROHLIN.COM</p>	
DRAWN BY TCM	REVISIONS 03/26/2020
SHEET 1 OF 1 SHEETS	FILE NO. 20180
DATE 03/25/2020	

CERTIFICATE OF SURVEY



SURVEYORS NOTES:

1. BUILDER AND/OR OWNER SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR THE PROPOSED CONSTRUCTION
2. BUILDER AND/OR OWNER SHALL VERIFY PROPOSED TOP OF FOUNDATION & FLOOR ELEVATION SEPARATION DIMENSIONS AND HOUSE FOOTPRINT DIMENSIONS. NOTIFY MEYER-ROHLIN LAND SERVICES OF ANY DISCREPANCIES PRIOR TO BEGINNING EXCAVATION.
3. THIS SURVEY WAS ORDERED BY AND IS PROVIDED EXCLUSIVELY TO PAXMAR, LLC, FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT FOR THE PROPOSED HOUSE SHOWN HEREON.
4. NO TITLE DOCUMENTATION WAS PROVIDED BY THE CLIENT. EASEMENTS ARE SHOWN ONLY ACCORDING TO THE RECORDED PLAT. EASEMENTS OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREON
5. BENCHMARK: TOP NUT OF HYDRANT @ LOTS 32 & 33, BLOCK 1. ELEVATION = 980.50
6. APPROXIMATE AREA TO BE SODDED = 4,100 SQ. FT.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 03/25/2020

Trace C. McCoy
License No. 44531

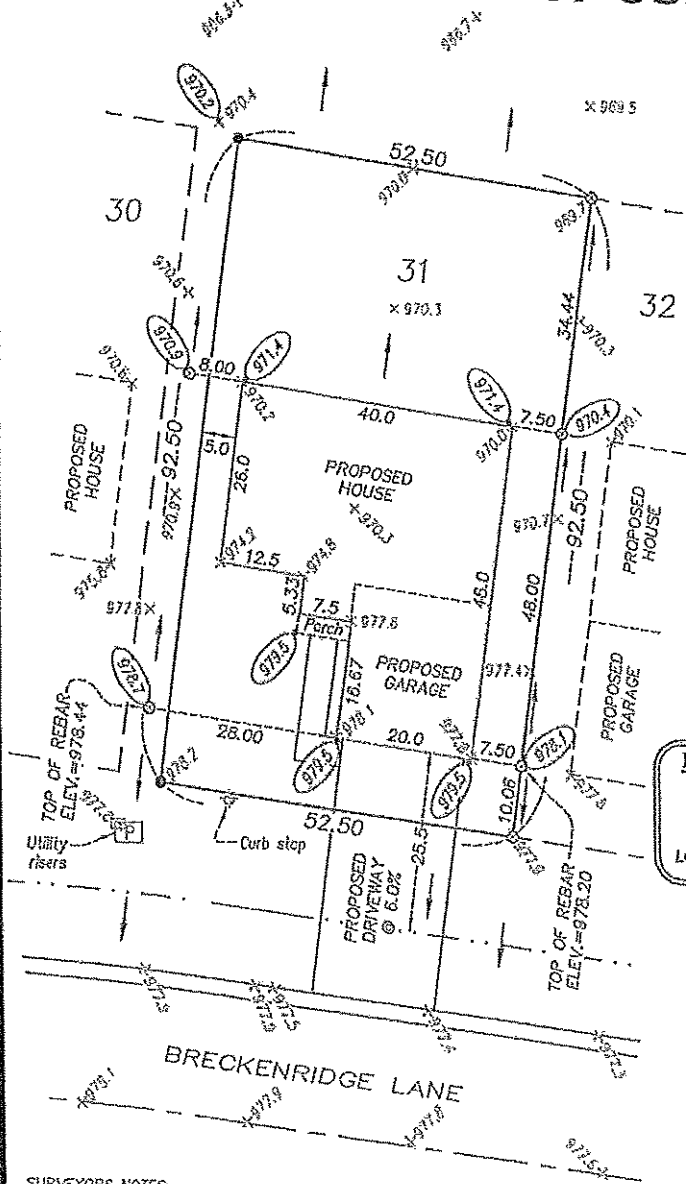


DRAWN BY <u>TCM</u>		REVISIONS _____ _____ _____	
SHEET <u>1</u> OF <u>1</u> SHEETS		FILE NO. <u>20179</u>	
DATE <u>03/25/2020</u>			

CERTIFICATE OF SURVEY

LOT 31 BLOCK 1
FOREST CREEK
WRIGHT COUNTY, MN

Address:
959 Breckenridge Lane
Montrose, MN



PROPOSED ELEVATIONS
TOP OF FOUNDATION = 980.0
GARAGE FLOOR ELEV. = 979.5
LOWEST FLOOR ELEV. (walkout) = 971.9



0 20 40
GRAPHIC SCALE IN FEET

SURVEYOR'S NOTES:

1. BUILDER AND/OR OWNER SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR THE PROPOSED CONSTRUCTION.
2. BUILDER AND/OR OWNER SHALL VERIFY PROPOSED TOP OF FOUNDATION & FLOOR ELEVATION SEPARATION DIMENSIONS AND HOUSE FOOTPRINT DIMENSIONS. NOTIFY MEYER-ROHLIN LAND SERVICES OF ANY DISCREPANCIES PRIOR TO BEGINNING EXCAVATION.
3. THIS SURVEY WAS ORDERED BY AND IS PROVIDED EXCLUSIVELY TO PAXMAR, LLC, FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT FOR THE PROPOSED HOUSE SHOWN HEREON.
4. NO TITLE DOCUMENTATION WAS PROVIDED BY THE CLIENT. EASEMENTS ARE SHOWN ONLY ACCORDING TO THE RECORDED PLAT. EASEMENTS OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREON.
5. APPROXIMATE AREA TO BE SODDED = 3,900 SQ. FT.
6. BENCHMARK: TOP NUT OF HYDRANT @ LOTS 32 & 33, BLOCK 1. ELEVATION = 980.50

- ⊗ DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- ⊙ DENOTES REBAR SET (HOUSE CORNER OFFSET)

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 03/25/2020
Trace C. McCoy
License No. 44531

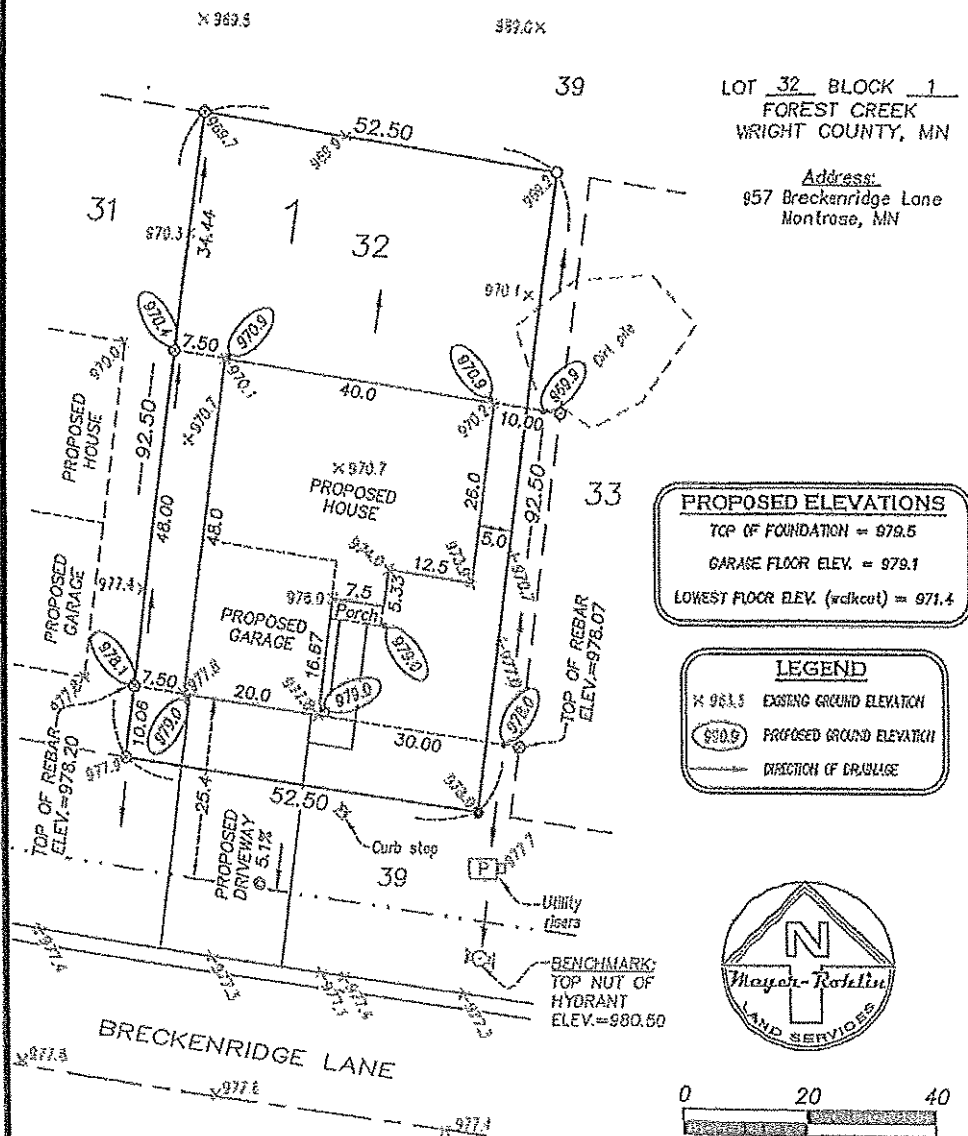
LEGEND
x 963.5 EXISTING GROUND ELEVATION
○ 970.5 PROPOSED GROUND ELEVATION
→ DIRECTION OF DRAINAGE

Meyer-Rohlin LAND SERVICES
700 1st Avenue NE, #1
BUFFALO, MN 55313
PH. 783.682.1781 WWW.MEYERROHLIN.COM

REVISIONS
SHEET 1 OF 1 SHEETS

DRAWN BY AAN DATE 03/25/2020 FILE NO. 20178

CERTIFICATE OF SURVEY



SURVEYORS NOTES:

1. BUILDER AND/OR OWNER SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR THE PROPOSED CONSTRUCTION.
2. BUILDER AND/OR OWNER SHALL VERIFY PROPOSED TOP OF FOUNDATION & FLOOR ELEVATION SEPARATION DIMENSIONS AND HOUSE FOOTPRINT DIMENSIONS. NOTIFY MEYER-ROHLIN LAND SERVICES OF ANY DISCREPANCIES PRIOR TO BEGINNING EXCAVATION.
3. THIS SURVEY WAS ORDERED BY AND IS PROVIDED EXCLUSIVELY TO PAXMAR, LLC, FOR THE PURPOSE OF OBTAINING A BUILDING PERMIT FOR THE PROPOSED HOUSE SHOWN HEREON.
4. NO TITLE DOCUMENTATION WAS PROVIDED BY THE CLIENT. EASEMENTS ARE SHOWN ONLY ACCORDING TO THE RECORDED PLAT. EASEMENTS OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREON.
5. APPROXIMATE AREA TO BE SODDED = 3,900 SQ. FT.

- ⊗ DENOTES IRON MONUMENT FOUND
- DENOTES IRON MONUMENT SET
- ⊙ DENOTES REBAR SET (HOUSE CORNER OFFSET)

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 03/23/2020

Trace C. McCoy
 Trace C. McCoy
 License No. 44531

Meyer-Rohlin
 LAND SERVICES
 708 1ST AVENUE NE, #1
 BUFFALO, MN 55313
 PH. 763.682.1721 WWW.MEYERROHLIN.COM

REVISIONS

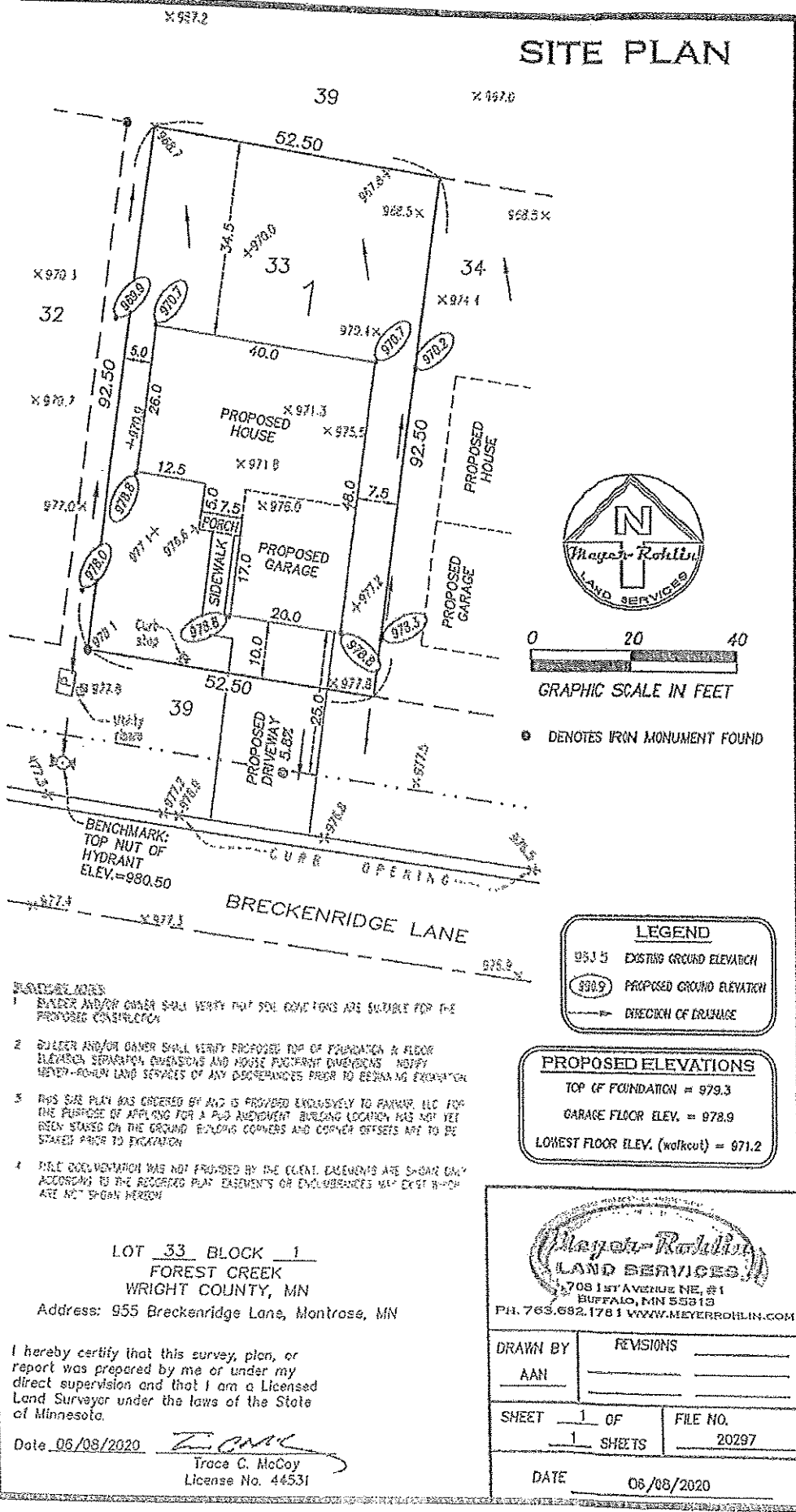
SHEET 1 OF 1 SHEETS

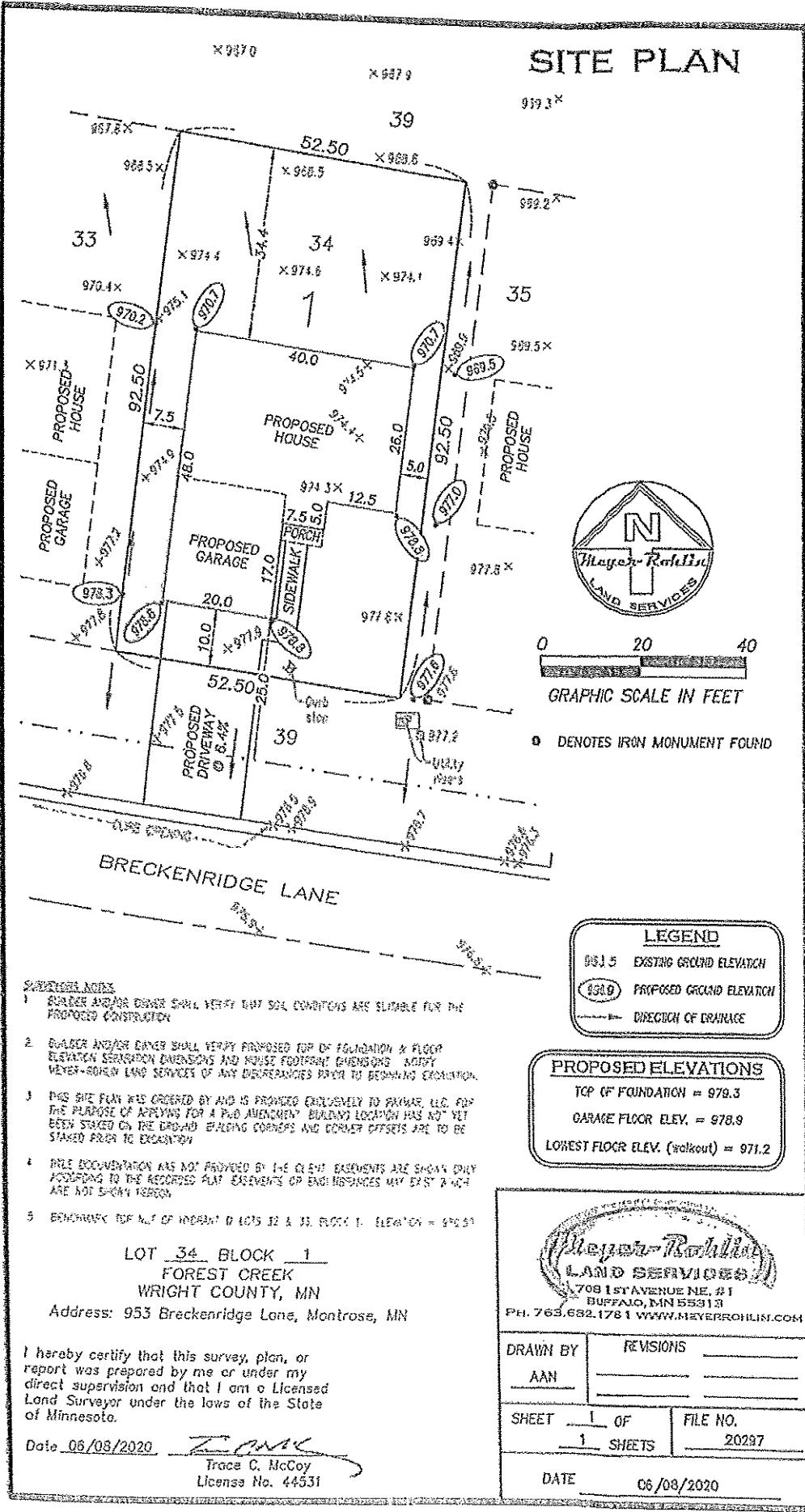
DRAWN BY AAN

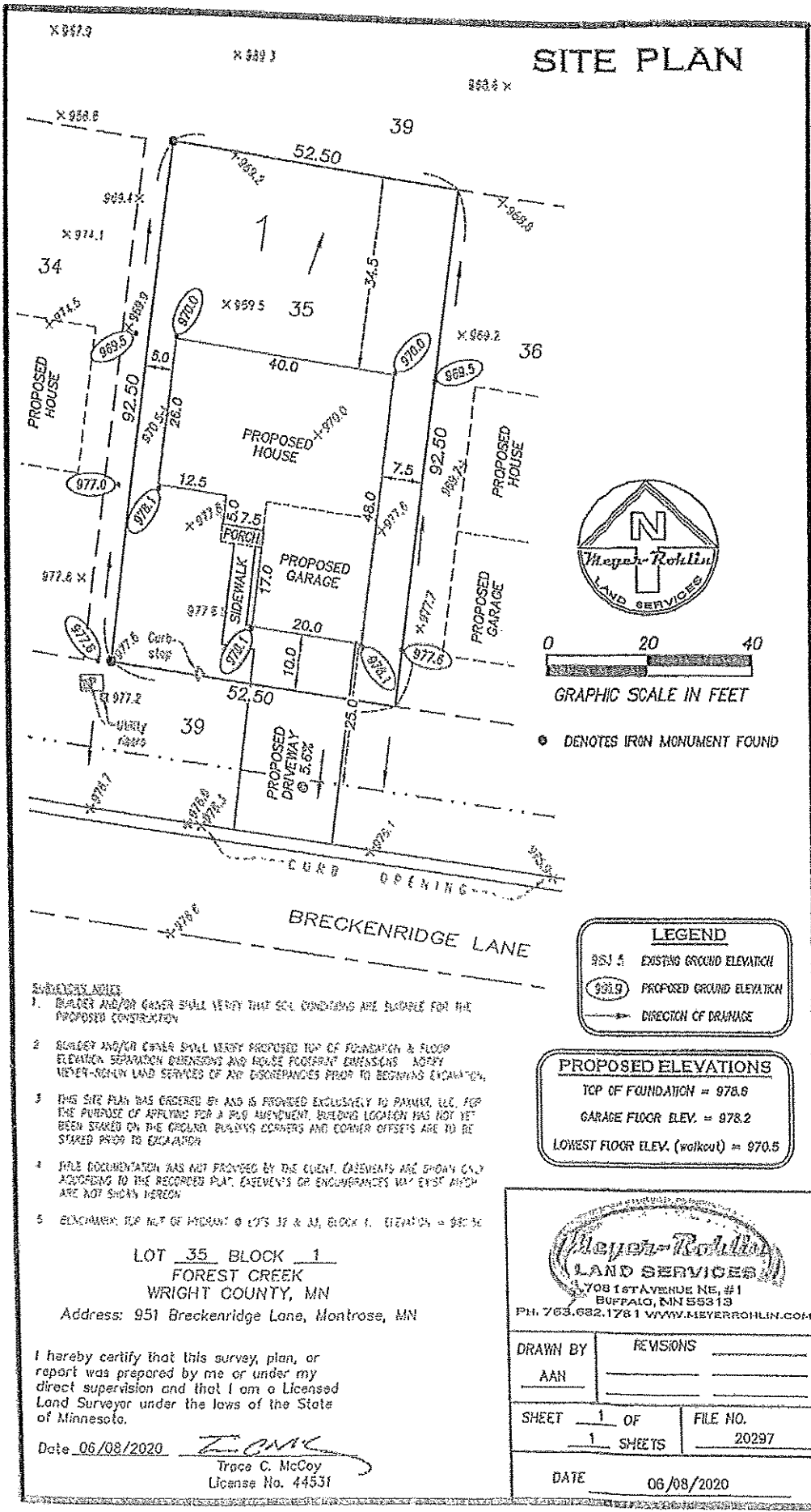
DATE 03/25/2020

FILE NO. 20177

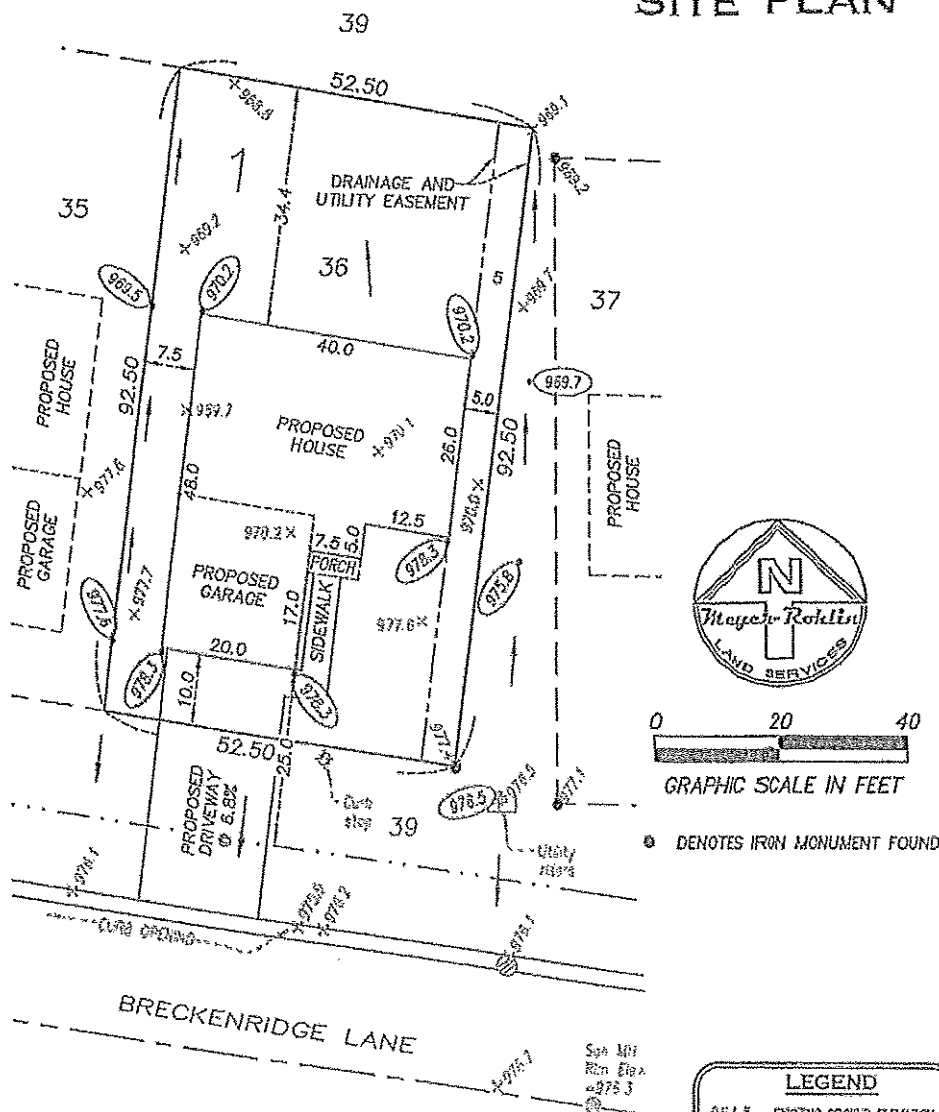
SITE PLAN







SITE PLAN



LEGEND

- 253.5 EXISTING GROUND ELEVATION
 291.9 PROPOSED GROUND ELEVATION
 DIRECTION OF DRAINAGE

PROPOSED ELEVATIONS

TCP OF FOUNDATION = 972.8

GARAGE FLOOR ELEV. = 978.4

LOWEST FLOOR ELEV. (walkout) = 970.7

SOURCES AND REFERENCES

1. BARRIER AND/OR GATER SHALL VERIFY THAT SOIL CONDITIONS ARE SUITABLE FOR THE PROPOSED CONSTRUCTION.
2. BARRIER AND/OR GATER SHALL VERIFY PROPOSED FOR OF FOUNDATION & FLOOR ELEVATION SEPARATION DIMENSIONS AND HOUSE FOOTPRINT DIMENSIONS. NOTIFY MEYER-FOURIN LAND SERVICES OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.
3. THIS SITE PLAN WAS ORDERED BY AND IS PROVIDED EXCLUSIVELY TO RANING, LLC, FOR THE PURPOSES OF APPLYING FOR A PUB AWARDMENT. BUILDING LOCATION HAS NOT YET BEEN STAKED ON THE GROUND. BUILDING CORNERS AND CORNER OFFSETS ARE TO BE STAKED PRIOR TO EXCAVATION.
4. TITLE DOCUMENTATION WAS NOT PROVIDED BY THE CLIENT. EASEMENTS ARE SHOWN ON Y ACCORDING TO THE RECORDED PLAT. EASEMENTS OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREON.
5. BENCHMARK FOR ALL OF MOUNTAIN @ LOTS 32 & 33 BLOCK 1 ELEVATION = 830.50

LOT 36 BLOCK 1

FOREST CREEK

WRIGHT COUNTY, MN

Address: 949 Breckenridge Lane, Montrose, MN

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 05/06/2020

Trace C. McCoy
License No. 44531



708 1ST AVENUE NE, #1
BUFFALO, MN 55313
PH. 763.682.1781 WWW.MEYERROHLIN.COM

DRAWN BY

AAN

REVISIONS

SHEET 1 OF 1

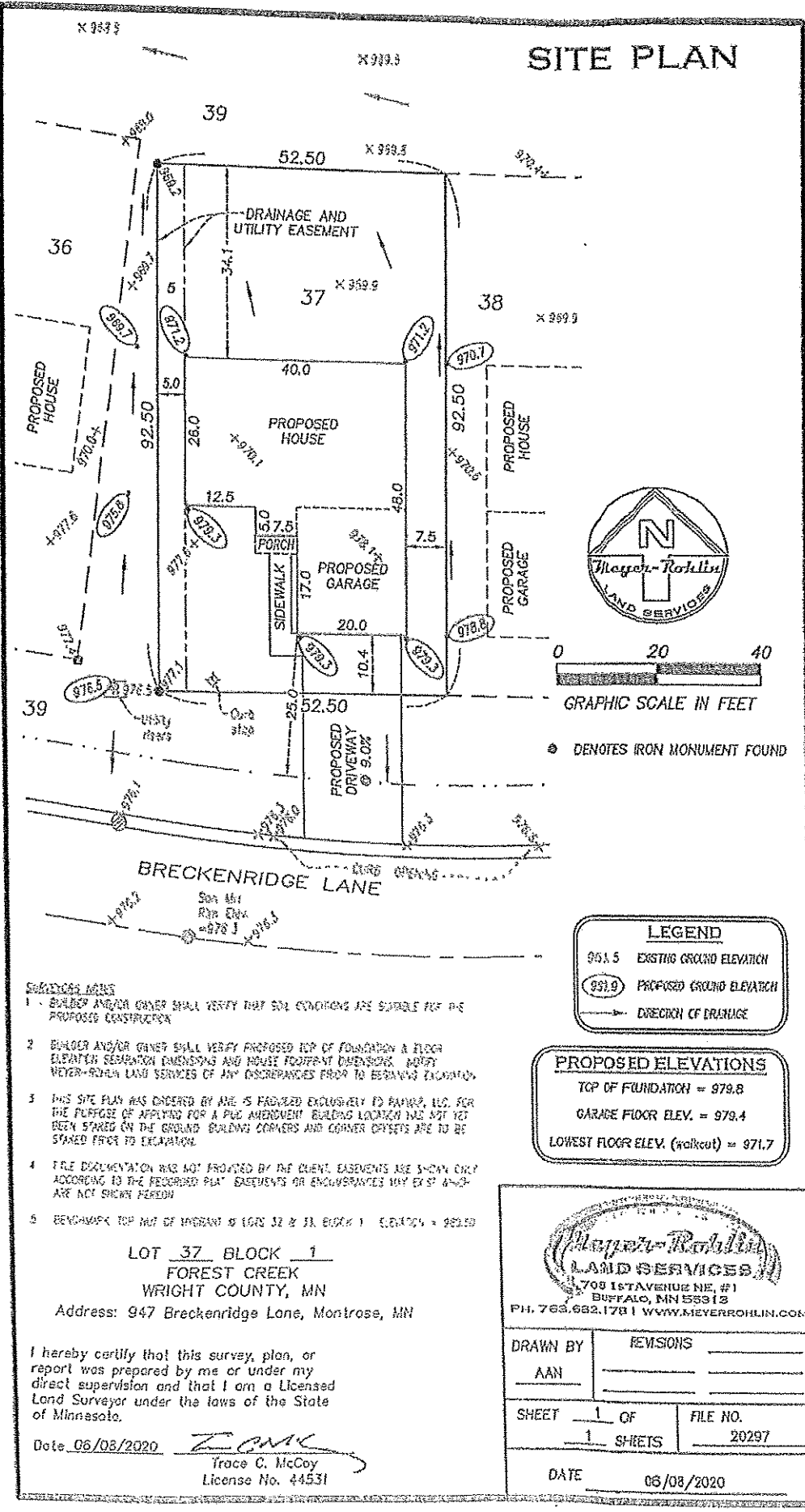
1 SHEETS

FILE NO.

20297

DATE _____

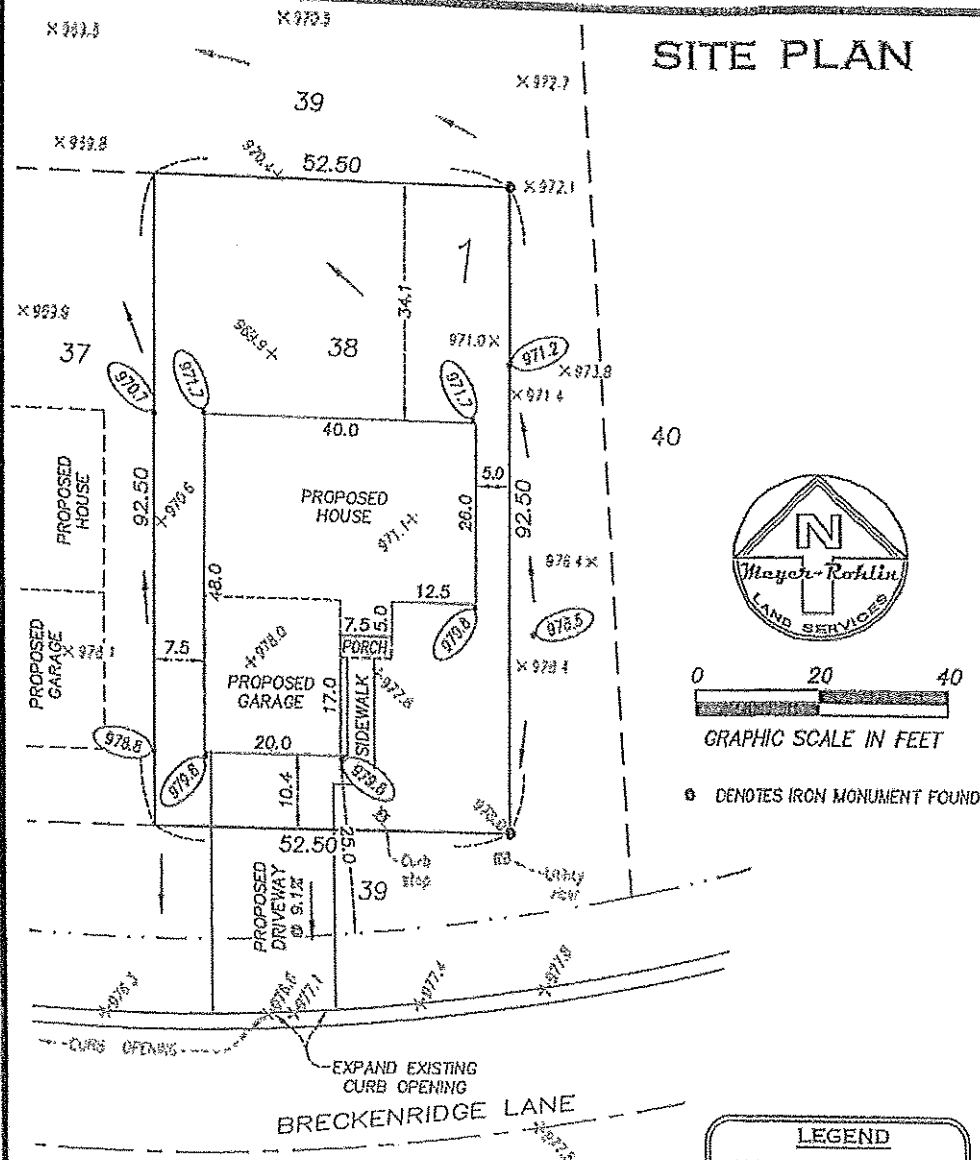
CG /03 /2020



1141 and Project 20257 - Forest Creek 6 in a building 20257 Lot 37.dwg

EXHIBIT E-9

SITE PLAN



2025-12-12

1. BUILDER AND/OR OWNER SHALL VERIFY THAT ALL CONDITIONS ARE SUITABLE FOR THE PROPOSED CONSTRUCTION.
2. BUILDER AND/OR OWNER SHALL VERIFY PROPOSED TOP OF FOUNDATION & FLOOR ELEVATION SEPARATION, DIMENSIONS AND HOUSE FOOTPRINT DIMENSIONS. NOTIFY MEYER-ROBIN LINE SERVICES IF ANY DISCREPANCIES PRIOR TO BEGINNING EXCAVATION.
3. THIS SITE PLAN HAS ORDERED BY AND IS PROVIDED EXCLUSIVELY TO PAVAR, LLC, FOR THE PURPOSE OF APPLYING FOR A PUG AMENDMENT. BUILDING LOCATION HAS NOT YET BEEN STAKED ON THE GROUND. BUILDING CORNERS AND CORNER OFFSETS ARE TO BE STAKED PRIOR TO EXCAVATION.
4. TITLE DOCUMENTATION HAS NOT PROVIDED BY THE CLIENT. EASEMENTS ARE SHOWN ONLY ACCORDING TO THE RECORDED PLAT. EASEMENTS OR ENCUMBRANCES MAY EXIST WHICH ARE NOT SHOWN HEREIN.
5. BEARING: 170' NUT OF HIGHWAY @ 10° 32' 22" E, BULKY 1' ELEVATION = 892.60

LOT 38 BLOCK 1
FOREST CREEK
WRIGHT COUNTY, MN

Address: 945 Breckenridge Lane, Montrose, MN

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a Licensed Land Surveyor under the laws of the State of Minnesota.

Date 06/08/2020

Trace C. McCoy
License No. 44531

LEGEND

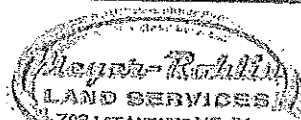
- 951.5 EXISTING GROUND ELEVATION
 991.9 PROPOSED GROUND ELEVATION
 DIRECTION OF DRAINAGE

PROPOSED ELEVATIONS

TOP OF FOUNDATION = 980.3

GARAGE FLOOR ELEV. = 979.9

LOWEST FLOOR ELEV. (wetcut) = 972.2



708 1ST AVENUE NE, #1

BUFFALO, MN 55313

PH. 763.682.1781 WWW.MEYERROHLIN.COM

DRAWN BY

AAN

REVISIONS

SHEET 1 OF

1 SHEETS

FILE NO.

20297

DATE _____

06/08/2020

**COUNTY OF WRIGHT
CITY OF MONTROSE
STATE OF MINNESOTA**

RESOLUTION NO. 2020 - 23

**Resolution Approving a Planned Unit Development (PUD) Amendment
for Forest Creek**

WHEREAS, R Homes (hereinafter referred to as the "Applicant") has applied for approval of a Planned Unit Development (PUD) Amendment for the following legally described property (the "Property"):

Section 26, township 119, range 026, lots 29 through 38, block 1 Forest Creek within the City of Montrose, Wright County, Minnesota; and

WHEREAS, the proposed amendment is to allow setback and design modifications that were incorporated into the Forest Creek PUD; and

WHEREAS, the City approved the Forest Creek PUD in 2004 and amended the PUD in 2016; and

WHEREAS, the development plan included certain standards for construction and setbacks that were required for the development; and

WHEREAS, the Applicant is seeking to modify the design of the homes and the setback requirements to accommodate a different home design; and

WHEREAS, City Staff has reviewed submitted plans and prepared planning reports dated June 30, 2020 and July 27, 2020; and

WHEREAS, the Montrose Planning and Zoning Commission met and held a public hearing at their regularly scheduled meeting on July 8, 2020 and August 12, 2020 to consider the application for a PUD amendment; and

WHEREAS, upon considering the application materials, the July 27, 2020 planning report, public testimony, and applicant testimony the Planning and Zoning Commission closed the public hearing and recommend that the City Council deny the application on a vote of 5 to 0 citing precedence for future housing developments if the Planning and Zoning Commission recommends approval of the PUD for the smaller lot size in Forest Creek; and

WHEREAS, the Montrose City Council met on September 14, 2020 to consider the application for a PUD Amendment; and

WHEREAS, the Montrose City Council has received application materials including a site plan; staff review documents; the Planning and Zoning Commission recommendation; and agrees with the findings and recommendation of the Planning and Zoning Commission and the July 27, 2020 planning report.

NOW, THEREFORE BE IT RESOLVED, that the City Council of the City of Montrose, Minnesota hereby approves the PUD Amendment for R Homes subject to the following Decision:

Decision: Based on the foregoing information and applicable ordinances, the City Council hereby APPROVES the PUD Amendment for R Homes based on the plans dated July 27, 2020, subject to the following conditions:

1. All lighting must comply with Section 1016-8 of the Zoning Ordinance related to exterior lighting.
2. The area that remains after construction of the homes and driveway areas are completed shall be landscaped according to the Developer's Agreement dated September 15, 2004.
3. The applicant submits a revised grading and drainage plan that meets the City's requirements for grading and drainage.
4. The applicants shall work with the City Engineer and adhere to any follow-up recommendations made by the City Engineer.
5. The applicants shall adhere to any and all applicable requirements of the Developer's Agreement dated September 15, 2004.
6. The City Council approves the reduced setbacks and waives requirement 1010-2-M.-1. and 1010-2-M.-3.
7. Other comments by City Staff

Adopted by the City of Montrose City Council this 14th day of September, 2020

Michelle Otto
Mayor
City of Montrose

ATTEST:

Moved by:
Seconded by:

Deb Boelter
City Clerk-Treasurer
City of Montrose

In Favor:
Opposed:

COUNTY OF WRIGHT
CITY OF MONTROSE
STATE OF MINNESOTA

RESOLUTION NO. 2020 - 23

Resolution Denying a Planned Unit Development (PUD) Amendment
for Forest Creek

WHEREAS, R Homes (hereinafter referred to as the "Applicant") has applied for approval of a Planned Unit Development (PUD) Amendment for the following legally described property (the "Property"):

Section 26, township 119, range 026, lots 29 through 38, block 1 Forest Creek within the City of Montrose, Wright County, Minnesota; and

WHEREAS, the proposed amendment is to allow setback and design modifications that were incorporated into the Forest Creek PUD; and

WHEREAS, the City approved the Forest Creek PUD in 2004 and amended the PUD in 2016; and

WHEREAS, the development plan included certain standards for construction and setbacks that were required for the development; and

WHEREAS, the Applicant is seeking to modify the design of the homes and the setback requirements to accommodate a different home design; and

WHEREAS, City Staff has reviewed submitted plans and prepared planning reports dated June 30, 2020 and July 27, 2020; and

WHEREAS, the Montrose Planning and Zoning Commission met and held a public hearing at their regularly scheduled meeting on July 8, 2020 and August 12, 2020 to consider the application for a PUD amendment; and

WHEREAS, upon considering the application materials, the July 27, 2020 planning report, public testimony, and applicant testimony the Planning and Zoning Commission closed the public hearing and recommend that the City Council deny the application on a vote of 5 to 0 citing precedence for future housing developments if the Planning and Zoning Commission recommends approval of the PUD for the smaller lot size in Forest Creek; and

WHEREAS, the Montrose City Council met on September 14, 2020 to consider the application for a PUD Amendment; and

WHEREAS, the Montrose City Council has received application materials including a site plan; staff review documents; the Planning and Zoning Commission recommendation; and agrees with the findings and recommendation of the Planning and Zoning Commission and the July 27, 2020 planning report.

NOW, THEREFORE BE IT RESOLVED, that the City Council of the City of Montrose, Minnesota hereby denies the PUD Amendment for R Homes based on the following:

Decision: Based on the foregoing information and applicable ordinances, the City Council hereby **DENIES** the PUD Amendment for R Homes based on the plans dated July 27, 2020, for the following reasons:

1. Precedence for future housing developments if the City Council recommends approves PUD for the smaller lot size in Forest Creek.
2. The proposed smaller lots not accommodating the installation of Parking Pads.
- 3.

Adopted by the City of Montrose City Council this 14th day of September, 2020

Michelle Otto
Mayor
City of Montrose

ATTEST:

Moved by:
Seconded by:

Deb Boelter
City Clerk-Treasurer
City of Montrose

In Favor:
Opposed:

(reserved for recording information)

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT (the "Agreement") dated _____, 2020, is entered into by and between the **City of Montrose**, a Minnesota municipal corporation ("City"), and **Cool Spot Java**.

RECITALS

A. Cool Spot Java is the fee owner of certain real property located at 150 Nelson Boulevard in the City of Montrose, Wright County, Minnesota and legally described as:

- The West 120 feet of the East 200 feet of the West 233 feet of the Northwest Quarter, Section 01 Township 118, Range 26, Wright County Minnesota.
- The East 80 feet of the West 333 feet of the North 233 of the Northwest Quarter of the Northwest Quarter, Section 1 Township 118, Range 26, Wright County, Minnesota, except U.S. Highway 12, according to Minnesota Department of Transportation Right of Way Plat No. 80-12.

(the "Subject Property").

B. Cool Spot Java owns the existing building on the Subject Property which is used as a coffee shop.

C. Pursuant to Section 1019-5 of the City Zoning Ordinance in and for the City of Montrose ("Zoning Ordinance"), 12 parking spaces are required on the Subject Property. Cool Spot

Java is proposing to provide 6 parking spaces and has requested a deferment for 6 parking spaces.

D. Cool Spot Java has demonstrated that: (i) the proposed use of the Subject Property will have a parking demand less than the required parking under Section 1019-5 of the Zoning Ordinance; and (ii) the Subject Property has sufficient property area under the same ownership to accommodate expansion of parking facilities to meet minimum requirements of the Zoning Ordinance if the parking demand exceeds the actual on-site supply.

NOW, THEREFORE, in consideration of the recitals set forth above and the terms and conditions herein, Cool Spot Java and the City agree as follows:

1. Parking shall only occur in areas designated and constructed for parking in accordance with the Zoning Ordinance.

2. Cool Spot Java hereby unconditionally guarantees to City that it shall construct additional parking spaces upon the Subject Property in accordance with the Zoning Ordinance if the parking demand for the Subject Property exceeds the actual on-site parking supply and that concrete curb and gutter must be installed at the time the additional spaces are striped for parking.

3. When the City, in its sole discretion, determines that the parking demand exceeds the number of constructed parking spaces, the City may terminate the parking deferment granted herein and require Cool Spot Java, upon written notice from the City, to construct 6 additional parking spaces, the construction of which has been deferred pursuant to this Agreement, and install concrete curb and gutter at the time those additional 6 spaces are striped for parking. If Cool Spot Java fails to construct the 6 deferred parking spaces (including concrete curb and gutter) within six (6) months after so requested by the City, the City may rescind the certificate of occupancy for the building located on the Subject Property.

4. **Miscellaneous.**

A. Third parties shall have no recourse against the City under this Agreement.

B. If any portion, section, subsection, sentence, clause, sentence, paragraph, or phrase of this Agreement is for any reason held invalid, such decision shall not affect the validity of the remaining portion of this Agreement.

5. The action or inaction of the City shall not constitute a waiver or amendment to the provisions of this Agreement. To be binding, amendments or waivers shall be in writing, signed by the parties and approved by written resolution of the City Council. The City's failure to promptly take legal action to enforce this Agreement shall not be construed as a waiver or release of any term or condition herein.

6. This Agreement shall run with the land and may be recorded against the title to the Subject Property.

7. Required notices shall be in writing and shall be either hand delivered to Cool Spot Java its successors and assigns, or mailed to Cool Spot Java by certified mail at the following address: P.O. Box 460 Montrose, Minnesota 55363. Notices to the City shall be in writing and shall be either hand delivered to the City Administrator or mailed by certified mail in care of the City Administrator at the following address: P.O. Box 25, Montrose, Minnesota 55363.

*{The remainder of this page is intentionally left blank.
Signature pages to follow.}*

CITY OF MONTROSE

BY: _____
Michelle Otto, Mayor

ATTEST:

Deborah Boelter, City Clerk

(CITY SEAL)

STATE OF MINNESOTA)
)ss.
COUNTY OF WRIGHT)

The foregoing instrument was acknowledged before me this _____ day of _____, 2020 by Michelle Otto and Deborah Boelter respectively the Mayor and City Clerk of the City of Montrose a Minnesota municipal corporation, on behalf of the City.

Notary Public

COOL SPOT JAVA

BY: _____
Sid Chantland
Its: Owner

STATE OF MINNESOTA)
)ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2020, by Sid Chantland, the Owner of Cool Spot Java.

NOTARY PUBLIC

THIS INSTRUMENT WAS DRAFTED BY:
CAMPBELL KNUTSON
Professional Association
Grand Oak Office Center I
860 Blue Gentian Road, Suite 210
Eagan, Minnesota 55121
Telephone: 651-452-5000
JJM



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4150 Olson Memorial Highway, Ste. 320, Golden Valley, MN 55422
Telephone: 763.957.1100 Website: www.nacplanning.com

MEMORANDUM

TO: Deb Boelter, City Administrator
FROM: Daniel Elder, City Planner
DATE: September 8, 2020
RE: Property Developments Old Casey's & The Preserve

Mr. Trelstad purchased the property at 300 Nelson Blvd (Old Casey's) from Casey's back in July of 2019. He wishes to use the location for the outdoor sale of log splitters and equipment. Staff informed the owner that the property needs rezoned to B-2 and requires a CUP. Currently, working with the owner to help compile all the needed information to comply. The owner was interested in learning what the EDA could do to help with the business's opening, and City staff informed the owner that the EDA would work him after the costs of the application were finalized. Mr. Trelstad has been provided an example of the scale drawing needed for the application and that we are willing to work with him to get the property developed.

The Preserve development is moving forward with Brummer Properties showing interest in the development of the site. It has currently hired an engineering firm to develop a new site plan for the location and is in talks with the MNDNR to comply with the wetland regulations and redo the four-tier zoning that is currently in place. The City should expect to hear from the development company in the near future.

City Planner – Daniel Elder




**BOLTON
& MENK**

Real People. Real Solutions.

2040 Highway 12 East
Willmar, MN 56201-5818

Ph: (320) 231-3956
Fax: (320) 231-9710
Bolton-Menk.com

MEMORANDUM

Date: September 8, 2020
To: Honorable Mayor Otto and Members of the City Council
City of Montrose, Minnesota
From:  Jared Voge, P.E.
City Engineer
Subject: 2020 Pavement Improvements
City of Montrose, Minnesota
BMI Project No.: W18.122484

On September 8, 2020 we received six (6) bids for the 2020 Pavement Improvements project. The bids ranged from \$151,735.60 to \$199,897.56. The low bidder for the project is Knife River Corporation of Sauk Rapids, Minnesota. A bid abstract for the project is attached for your review. I recommend that the City Council award the bid for the 2020 Pavement Improvements project to Knife River Corporation of Sauk Rapids, Minnesota in the amount of \$151,735.60. A resolution has been enclosed for council consideration.

Please feel free to contact me if you have any questions.

JAV/kg

ABSTRACT OF BIDS **2020 PAVEMENT IMPROVEMENTS** **CITY OF MONTROSE, MN** **BMI PROJECT NO. W18.122484**

BID DATE: 9/8/2020
 TIME: 1:00 PM

ITEM NO.	ITEM DESCRIPTION	APPROX. QUANT.	UNIT	Engineer's Estimate		Kille River Corporation		Allied Blacktop Company		Mohau Trucking LLC		Valley Paving, Inc		Mid Minnesota Hot Mix		Ornd Midwest Inc. dba Minnesota Paving & Materials	
				UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT	UNIT PRICE	AMOUNT
1	2021.503 MODIFICATION	1	LSMP 51UM	\$8,000.00	\$8,000.00	\$12,500.00	\$12,500.00	\$13,250.00	\$13,250.00	\$15,000.00	\$15,000.00	\$6,500.00	\$6,500.00	\$3,000.00	\$3,000.00	\$4,500.00	\$4,500.00
2	2231.600 BITUMINOUS STREET PATCH	388	SQ YD	\$90.00	\$34,920.00	\$39.00	\$15,252.00	\$12.50	\$4,850.00	\$49.00	\$19,012.00	\$6.00	\$2,328.00	\$17,072.80	\$17,072.80	70.25	\$27,237.00
3	2232.504 MIL BITUMINOUS SURFACE (1.7")	13942	SQ YD	\$2.15	\$29,975.30	\$1.89	\$26,450.42	\$1.83	\$25,511.86	\$0.75	\$10,456.50	\$2.00	\$27,884.00	\$18,340.50	\$18,340.50	1.68	\$23,423.56
4	2380.509 TYPE 3/ 9.5 WEARING COURSE MKC (1.8")	1300	TON	\$70.00	\$91,000.00	\$62.00	\$80,600.00	\$78.50	\$102,050.00	\$81.00	\$105,300.00	\$82.00	\$106,600.00	\$106,600.00	\$106,600.00	82.50	\$107,250.00
5	REPLACE CONCRETE CURB & GUTTER	348	LIN FT	\$45.00	\$15,660.00	\$50.00	\$17,400.00	\$52.20	\$18,170.40	\$48.00	\$16,704.00	\$47.00	\$16,356.00	\$48.50	\$16,718.00	\$48.50	\$16,718.00
6	SALVAGE AND REINSTALL CURBING	4	DASH	\$300.00	\$1,200.00	\$250.00	\$1,000.00	\$600.00	\$2,400.00	\$550.00	\$2,200.00	\$300.00	\$1,200.00	\$2,000.00	\$2,000.00	600.00	\$2,400.00
7	SALVAGE AND REINSTALL CURBING	1	LSMP 50UM	\$2,500.00	\$2,500.00	\$3,500.00	\$3,500.00	\$4,500.00	\$4,500.00	\$5,000.00	\$5,000.00	\$1,800.00	\$1,800.00	\$2,000.00	\$2,000.00	1,200.00	\$2,400.00
TOTAL AMOUNT BID:					\$199,178.30		\$151,775.40		\$174,033.86		\$173,172.10		\$178,946.40		\$182,415.58		\$199,897.56

NOTES:
 (1) 17 TRUCK TRAILER CURBING
 (2) INCLUDES REPAIRS, HOT COAL, CURB & GUTTER
 CONSTRUCTION, SPICED, AND TUNE
 (3) CATCH BASIN FRAME AND CASTINGS ONLY

COUNTY OF WRIGHT
CITY OF MONTROSE
STATE OF MINNESOTA

RESOLUTION NO. 2020 - 24

Council Member _____ introduced the following Resolution and moved for its adoption:

**RESOLUTION ACCEPTING YEAR 2020 PAVEMENT IMPROVEMENTS BID AND
AWARDING CONTRACT**

WHEREAS, pursuant to an advertisement for bids for the Year 2020 Pavement Improvements, bids were received, opened and tabulated according to law, and the following bids were received complying with the advertisement:

<u>Company</u>	<u>Bid</u>
Knife River Corporation, Sauk Rapids, MN	\$151,735.60
Allied Blacktop Company, Maple Grove, MN	\$171,033.86
Molnau Trucking LLC, Norwood, MN	\$171,172.50
Valley Paving, Inc, Shakopee, MN	\$178,964.00
Mid Minnesota Hot Mix, Annandale, MN	\$182,415.50
OMG Midwest Inc. dba Minnesota Paving & Materials, Rogers, MN	\$199,897.56

AND WHEREAS, it appears that Knife River Corporation of Sauk Rapids, Minnesota is the lowest responsible bidder;

NOW, THEREFORE, BE IT RESOLVED that the City Council of Montrose, Wright County, Minnesota resolves as follows:

1. The Mayor and City Clerk-Treasurer are hereby authorized and directed to enter into a contract with Knife River Corporation of Sauk Rapids, Minnesota in the name of the City of Montrose for such construction, according to the plans and specifications therefore approved by the City Council and on file in the office of the City Clerk-Treasurer, for a total contract amount of \$151,735.60.
2. The City Clerk-Treasurer is hereby authorized and directed to return forthwith to all bidders the deposits made with their bids, except that the deposits of the successful bidder and the next lowest bidder shall be retained until a contract has been signed.

The foregoing resolution was duly seconded by Council Member _____,
upon a vote being taken thereon, the following members voted in favor thereof:
_____, the following members voted against:
_____; the following members abstained: _____; the following
members were absent: _____.

WHEREUPON, said Resolution was declared duly passed and adopted this 14th day of September, 2020.

Michelle Otto
Mayor
City of Montrose

ATTEST:

Deborah Boelter
City Clerk-Treasurer
City of Montrose

City of Montrose
Economic Development Authority Meeting
Montrose Community Center
200 Center Avenue South
Tuesday, August 25, 2020
12:00 P.M.

1. CALL TO ORDER

Pursuant to call and notice the Montrose Economic Development Authority (EDA) met in Regular Session on Tuesday, August 25, 2020 at 12:00 p.m.

Council Member Marszalek called the meeting to order at 12:00 p.m.

2. ROLL CALL

Present: Council Member Tom Marszalek
Council Member Kirby Moynagh
EDA Member Patrick Baumgard
EDA Member Sonya Tourville

Absent: EDA Member Joe Rasmussen

Staff Present: Ms. Heidi Dahlin, Administrative Assistant

3. APPROVAL OF AGENDA

Council Member Moynagh motioned to approve the Tuesday, August 25, 2020 Economic Development Authority Agenda. Ms. Tourville seconded the motion. Motion carried 4-0.

4. APPROVAL OF MINUTES

A. June 16, 2020 Economic Development Authority Meeting Minutes

Mr. Baumgard motioned to approve the Tuesday, June 16, 2020 Economic Development Authority Meeting minutes. Council Member Moynagh seconded the motion. Motion carried 4-0.

5. TREASURER'S REPORT

A. Account Payable – Economic Development Authority – August 25, 2020

Mr. Baumgard motioned to approve the August 25, 2020 Accounts Payable for the Economic Development Authority. Council Member Marszalek seconded the motion. Motion carried 4-0.

6. OLD BUSINESS

No questions or comments on Old Business

7. NEW BUSINESS

A. EDA Flyer updates

Council Member Marszalek submitted a sample of a possible flyer he designed, flyer looked good, however we need to include more information about Montrose – Wavery Chamber of Commerce.

B. Updates on work with Jolene Foss – Wright County EDA on acquiring Aldi's

Council Member Marszalek will continue talks with Jolene Foss with his goal on acquiring Aldi's, perfect spot would be along highway 12, just in front Craft Pattern. Other possible business would be Kwik Trip if Aldi's would not be interested.

C. Discussion on Job description for Intern was discussed

We are looking for contacts for web and graphic design, that could help with securing a possible intern or designing a new web site. Sonya will contact a web designer she knows (Damon Kocina) and see who he would recommend to help us move forward with a job description and ideas to update our web site.

8. NEXT MEETING

A. Tuesday, September 15, 2020 at 12:00 noon

9. ADJOURNMENT

Ms. Tourville motioned to the adjourn the Economic Development Authority Meeting at 12:45 p.m. Mr. Baumgard seconded the motion. Motion carried 4-0.

Council Member Tom Marszalek
President
City of Montrose Economic Development Authority

ATTEST:

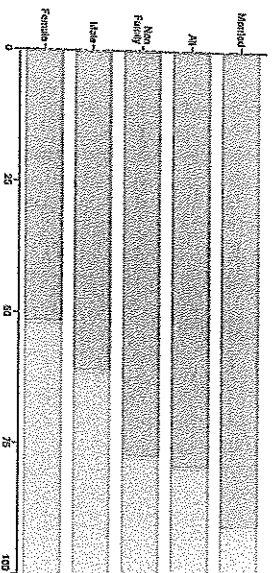
Heidi Dahlin
City of Montrose
Administrative Assistant



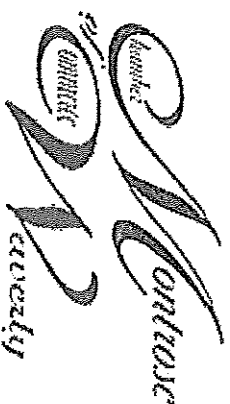
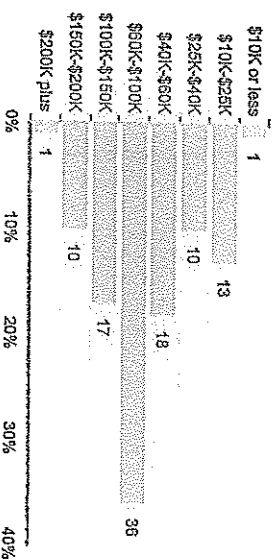
Housing

Our affordable housing has created an extremely desirable community environment to those commuting into the Cities or for those who seek a quieter lifestyle.

Montrose Renter vs Owner Occupied by Household Type



Household Income Distribution



Montrose - Waverly Chamber of Commerce

Contact:

info@montrosewaverlychamber.org

P.O. Box 421

Montrose, MN 55363

Economic Development Authority

Contact:

Patrick Baumgard

patrick@bankwaverly.com

Tom Marszalek

tmarszalek@montrose-mn.com

Kirby Moynagh

kmoyagh@montrose-mn.com

Joe Rasmussen

joe-rasmussen@CarpentryContractors.com

Sonya Tourville

sonyatourville@yahoo.com

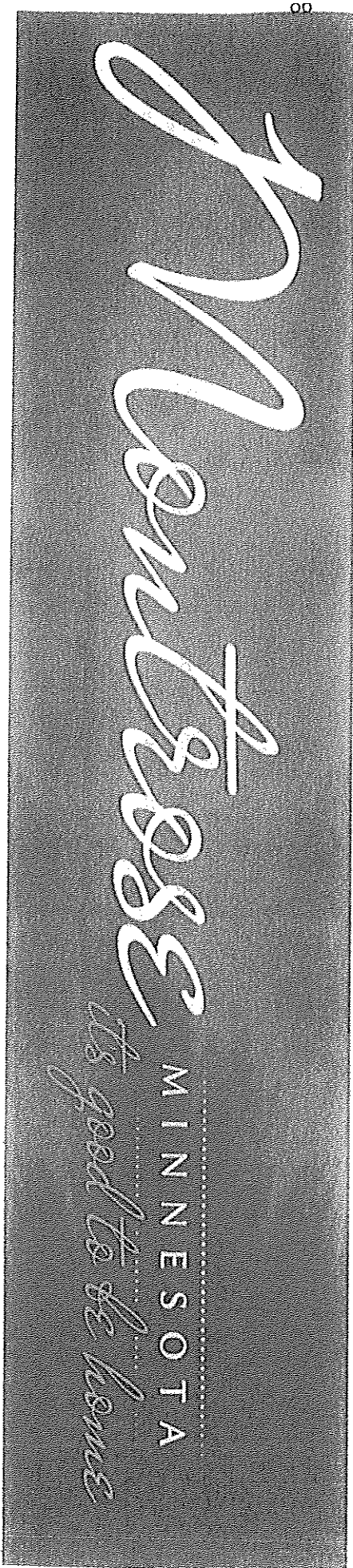


Nestled among a serene agricultural splendor, the City of Montrose, located in Wright County, is an example of the distinctive and thriving small-town atmosphere. Home to nearly 3,300 residents, the city is also home to commercial and industrial communities.

The village of Montrose, officially incorporated in 1881, was located on the Great Glacier Trail (which would become today's U.S. Highway 12) approximately 30 miles west of Minneapolis. Montrose was surrounded by beautiful prairies and lakes.

As time went by, growth of the community followed. New businesses and residents came to town. While some things have changed since the early days, the strong sense of community values remain. The City of Montrose believes that residential quality of life is shaped by the people who live here, community businesses, volunteer groups and service oriented associations.

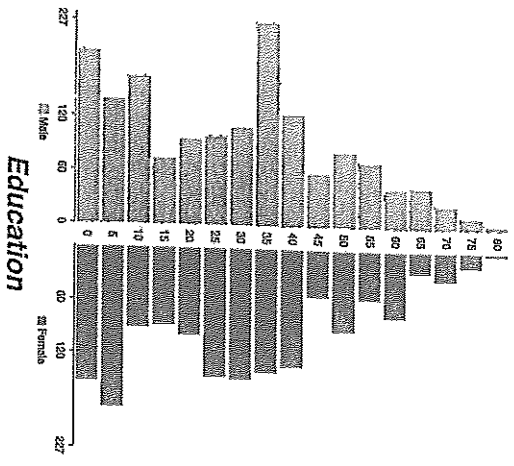
Our many parks, greenspaces and trails provide a beautiful and peaceful escape.



Demographics

- * Population - 3290 **
- * Median Age - 29.6
- * Families with kids under 18 - 66%
- ** worldpopulationreview.com

Montrose Population Pyramid 2020



- Buffalo-Hanover-Montrose Schools
- Montrose Elementary School of Innovation
- Buffalo Community Middle School
- Buffalo High School
- Wright Technical Center

Transportation

- * Traffic Flow **

Table 2-1. Trip Generating Data					
Scenario	Zone	AM Peak	PM Peak	Daily Total	
2010 No-Build	ADLR	709	1,414	983	28,633
2010 Build	ADLR	1,253	2,149	1,774	41,734
2010 Median Build	ADLR	3,749	4,212	6,332	116,355
2010 Full Build	ADLR	4,283	4,968	7,332	131,774
	ADLR	5,023	6,975	10,100	178,202
	Total	6,477	7,734	11,089	193,764

** Data obtained from the September 2017 revision to our A.U.A.R. (Alternative Urban Areawide Review) available on the City of Montrose website. (www.montrose-mn.com)

- * Freight Railroad - BNSF
- * Bus Service
- Trailblazer Transit provides general public transportation and serves to Sibley, McLeod, and Wright Counties.

- * Minneapolis-St. Paul Intl. Airport
- 47 miles - 55 minutes

Available Land

- * Montrose Business Park - US Hwy 12 & Clementia Ave.

29.31 acres - Zoned I-2 Industrial and B2 Highway Business - US Hwy 12 visibility - subdivided sites available

- * SW Corner of US12 & MN 25

144 acres - Visibility and access to US Highway 12 and MN Hwy 25 - Commercial & Residential - Sewer & Water access - mixed use development potential

- * Third St. S. between Arizona & Zephyr
- 3.52 acres - Zoned B-2 Hiway Business District - US Hwy 12 access & frontage

- * County 12 - North of 55th St. SW
- 45 acres developmental land - concept platted for 115 single family homes

07

MEMORANDUM

TO: MONTROSE CITY COUNCIL

FROM: HEIDI DAHLIN

SUBJECT: BIDS FOR FRONT COUNTER / FRONT GLASS RENOVATION

DATE: SEPTEMBER 14, 2020

Please review the one (1) bid we received for the Front Counter / Front Glass Renovation.

Over the last three (3) weeks I have contacted a total of seventeen (17) different contractors seeking bids for the front counter / front glass renovation, I only received one (1) bid back. All contractors that I contacted either did not return my calls or simply did not have the time or the interest to come and bid out the job.

It is my recommendation that the Council approve the bid submitted by Creative Builders Inc. for the amount of \$22,500.00.

Please contact me if you have any additional questions.



Creative Builders Inc.

5958 Fenning Ave Se

Delano Mn 55328

612-760-2242

Estimate

Date	Estimate #
8/21/2020	1679

Name / Address
City of Montrose

Item	Description	Total
BID PRICE	Front office work	
	Scope of work Remove front counter cabinet and glass Install new cabinet with file storage below Install two recess lights above counter Quarts counter top 36x48 bullet resistant glass Install pull down window shade Remove and cap off drinking fountain Paint lobby	22,500.00
Thank You		
Total		\$22,500.00

Signature

E-mail

creativebuilders13@yahoo.com

2021 Proposed Levy

A preliminary levy proposal has been prepared for your consideration:

The proposed levy for the City of Montrose for 2021 is \$1,391,245 which is a 6% increase or \$78,610 over 2020. With the estimated increase in the tax capacity the tax rate will decrease by 2.73% which means there should be little or no impact on the 2021 taxes.

This is the proposed levy and is not the final levy. The city council will have an opportunity to review the proposed levy prior to submittal of the final levy in December, 2020.

Below is a list of major items the levy includes:

- Police Protection 10 hours/day @ \$81.75/hour = \$298,388
- Legal Services = \$30,000
- City Hall Parking Lot = \$80,000
- Single Axle Plow Truck Municipal Lease = \$30,000
- City Hall Server = \$35,000
- Capital Improvement Fund-Future Street Improvements = \$468,940

2021 BUDGET COMPARISON

General Fund	2021	2020
Council	\$30,880.00	\$31,350.00
Elections	\$3,000.00	\$6,000.00
Administration	\$225,150.00	\$209,275.00
Assessing	\$27,000.00	\$27,000.00
Legal	\$30,000.00	\$35,000.00
P&Z	\$84,250.00	\$93,100.00
Buildings	\$11,500.00	\$11,500.00
Police	\$298,388.00	\$286,395.00
Building Inspect/Permits	\$35,000.00	\$56,000.00
Emergency Mgmt.	\$12,440.00	\$12,440.00
Animals	\$300.00	\$300.00
Public Works/Streets	\$269,400.00	\$260,900.00
General Fund Total	\$1,027,308.00	\$1,029,260.00
Park & Rec (General)	\$156,175.00	\$146,975.00
Park Development	\$150,000.00	\$100,000.00
EDA	\$50,000.00	\$30,000.00
Community Center	\$33,640.00	\$33,800.00
Debt Service	\$343,310.00	\$385,000.00
Capital Projects	\$533,940.00	\$355,000.00
Total Budget excluding Enterprise Funds	\$2,294,373.00	\$2,080,035.00
Less: LGA	-\$632,828.00	-\$618,500.00
Other Revenue	<u>-\$270,300.00</u>	<u>-\$148,900.00</u>
TOTAL LEVY	\$1,391,245.00	\$1,312,635.00

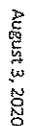
This is a 6% increase or \$78,610

Return by: September 30, 2020
City Taxes Voted

levy the following amount to be raised by taxation for the City of Montrose for the payable year 2021.

Do not include any Disparity Reduction Aid or Fiscal Disparity taxes.

Deborah Boelter, Clerk/Treasurer



CITY OF MONTROSE

RE: Bond Register/Debt Levy Supplement

CITY OF MONTROSE					
RE: Bond Register/Debt Levy Supplement					
BOND ISSUED	ORIGINAL PRINCIPAL	DATE ISSUED	DEBT LEVY PER BOND RESOLUTION FOR PAY 2020	ADDITIONS OR REDUCTIONS TO LEVIED AMOUNT	CERTIFIED DEBT LEVY 2020
G.O. TAXABLE WATER REVENUE NOTE OF 2019					
G.O. STREET RECONSTRUCTION BOND, SERIES 2017A			\$61,399	(1,399)	60,000
G.O. Crossover Refunding Bonds, Series 2012B			\$108,310		108,310
G.O. IMPROVEMENT Crossover Refunding Bonds, Series 2012A					
G.O. REFUNDING BONDS, SERIES 2010A			205,585	(30,585)	175,000
G.O. WATER REVENUE NOTE OF 2010					
G.O. SEWER REVENUE NOTE OF 2003					
G.O. SEWER REVENUE NOTE OF 2002					
TOTAL			375,294	-31,984	343,310

I hereby certify that the above schedule of bond levies to be spread on payable 2021 tax rolls agrees with your records and is true and correct. Copies of any resolutions which increase or reduce these levies are attached.

Please sign and date, then return to the Wright County Auditor/Treasurer's Office with your Levy Certification.

Sincerely,

Robert G. Thurata

Robert J. Hivala

Wright County Auditor/Treasurer

Signature

Date:

CITY OF MONTROSE
COUNTY OF WRIGHT
STATE OF MINNESOTA

RESOLUTION 2020-21

RESOLUTION AUTHORIZING DECREASE TO LEVY FOR CROSSOVER
BOND 2010A

WHEREAS, The City of Montrose was dependent upon assessments to repay Crossover Bond 2010A, and

WHEREAS, The City of Montrose has reserve funds to apply to the annual payment, and

NOW THEREFORE, BE IT RESOLVED; that the City of Montrose 2021 Levy for the Crossover Bond 2010A will be decreased by \$30,585.00.

Approved this 14th day of September, 2020.

Signed: _____
Michelle Otto, Mayor

Attest: _____
Wendy Manson, Deputy Clerk

CITY OF MONTROSE
COUNTY OF WRIGHT
STATE OF MINNESOTA

RESOLUTION 2020-22

RESOLUTION AUTHORIZING DECREASE TO LEVY FOR G.O. STREET
RECONSTRUCTION BOND 2017A

WHEREAS, The City of Montrose levies to pay annual bond payments for G.O. Street Reconstruction Bond 2017A, and

WHEREAS, The interest on the bond was less than anticipated, and

NOW THEREFORE, BE IT RESOLVED; that the City of Montrose 2021 Levy for the G.O. Street Reconstruction Bond 2017A will be decreased by \$1,399.00.

Approved this 14th day of September, 2020.

Signed: _____
Michelle Otto, Mayor

Attest: _____
Wendy Manson, Deputy Clerk