



TOWN OF *Kiawah Island*

TOWN COUNCIL MEETING Municipal Center Council Chambers October 12, 2021; 2:00 PM

Mayor

John D. Labriola

Council Members

F. Daniel Prickett

Maryanne Connelly

John Moffitt

Scott M. Parker, MD

Town Administrator

Stephanie Monroe Tillerson

AGENDA

- I. Call to Order:
- II. Pledge of Allegiance
- III. Roll Call:
- IV. Approval of Minutes:
 - A. Minutes of the Town Council Meeting of September 7, 2021 [Tab 1]
- V. Mayor's Update:
- VI. Citizens' Comments (Agenda Items Only):
- VII. Consent Business:
 - A. To Consider Approval of **Ordinance 2021-11** - An Ordinance to Amend Article 9 - Building and Building Codes, Chapter 1 - General, Division 2 - Construction Documents, Section 9-18. - Submittal Documents and Chapter 4 - Permits, License and Fees, Division 2 - Licenses, Section 9-201. - Licenses, And Section 9-202. - Definitions – **Second and Final Reading** [Tab 2]
 - B. To Consider Approval of **Ordinance 2021-12** - An Ordinance to Amend Article 15 – Burning of Combustible Materials, Chapter 1 – Offenses Against Property, Section 15-105. – Burning of Combustible Materials – **Second and Final Reading** [Tab 3]
- VIII. New Business:
 - A. To Consider Approval of Support to the new Sea Islands MUSC Emergency Center Project In the form of naming rights for the Town of Kiawah Island in the amount of \$1,000,000 over five years [Tab 4]
 - B. To Consider Approval of the Arts and Cultural Events Council Appointments [Tab 5]
 - C. To Consider Approval of the reappointment of Stephan Rolando to the St Johns Fire District Commission
 - D. Discussion the draft **Ordinance 2021-10** - An Ordinance of The Town Council of the Town of Kiawah Island Amending Section 15-306 (Noise) of the Kiawah Island Code of Ordinances – **Discussion only** [Tab 6]
 - E. Discussion of the Kiawah Island Wildlife Office Expansion [Tab 7]
- IX. Executive Session:
 - A. Executive Session Pursuant to Section 30-4-70(a)(1)(2) Concerning a Personnel and Contractual Matter Related to Annual Review of the Town Administrator

Council may act on matters discussed in Executive Session after exiting Executive Session.
- X. Town Administrator's Report:
- XI. Council Member:
 - a. Committee Updates
 - b. General Comments
- XII. Citizens' Comments:
- XIII. Adjournment:



Tab | **1**

TOWN COUNCIL

Agenda Item

TOWN COUNCIL MEETING
Municipal Center Council Chambers
September 7, 2021; 2:00 PM

Minutes

I. **Call to Order:** *Mayor Labriola called the meeting to order at 2:00 pm.*

II. **Pledge of Allegiance**

III. **Roll Call:**

Present at meeting: John D. Labriola, *Mayor*
Dan Prickett, *Mayor Pro Tem*
Maryanne Connelly, *Councilmember*
Dr. Scott Parker, *Councilmember*
John Moffitt, *Councilmember*

Also Present: Stephanie Tillerson, *Town Administrator*
Joe Wilson, *Town Attorney*
Petra Reynolds, *Town Clerk*
Stephanie Braswell, *Communications Manager*
Brian Gottshalk, *Public Works Manager*
Mark Permar, *Representative of Applicant*
Dillon Turner, *Kimley-Horn*

IV. **Approval of Minutes:**

A. Minutes of the Town Council Meeting of August 3, 2021

Mayor Pro Tem Prickett made a motion to approve the minutes of the August 3, 2021 Town Council Meeting. Councilmember Connelly seconded the motion, and the minutes were unanimously approved.

B. Minutes of the Special Call Town Council meeting of August 25, 2021

Mayor Pro Tem Prickett made a motion to approve the minutes of the August 25, 2021 Special Call Town Council Meeting. Councilmember Parker seconded the motion, and the minutes were unanimously approved.

V. **Mayor's Update:**

Mayor Labriola stated that many comments, questions, and suggestions were received over the past weekend that was very helpful. He indicated a question-and-answer sheet put together to address some of the issues and questions raised hopefully was sent out and also available. He stated the annexation process affords any community the ability to influence the developer. At this meeting, Council will consider the first reading of the ordinance to provide for annexation, but the property is **not** being annexed today. The ordinance allows the process to begin and permits the Planning Commission to enter into discussions on the project and with the developer.

Mayor Labriola stated the Planning Commission was comprised of skilled and experienced volunteers who understand the uses and standards that govern this and any other Town project. The Commission is targeted to have their work completed by October 6th. Town Council will rely on the Commission's recommendation for planned development approval and any other subsequent approval on annexation.

VI. Citizens' Comments (Agenda Items Only):

Mayor Labriola opened Citizens' Comments stating there would be an additional period following the developer's presentation.

The specific language of the person who spoke during the Citizens' comment period can be found on audio at the Town Clerk's Office or by viewing the meeting on the Town's YouTube Channel @The Town of Kiawah Island. The person who spoke was:

Ms. Toula DiGiovanni – 51 Cotton Hall

VII. Old Business:

None

VIII. Consent Agenda:

- A. To Consider Approval of the Kiawah Island Intersection and Corridor Study Updated Agreement
- B. To Consider Approval of the Cost for Salary Adjustments for Town Personnel

Councilmember Connelly made a motion to approve the Consent Agenda items A and B. Councilmember Parker seconded the motion and was unanimously passed.

IX. New Business:

- A. To Consider Approval of **Ordinance 2021-14** – An Ordinance to Provide for the Annexation of Property Bearing the TMS 205-00-00-356 Contiguous to the Town of Kiawah Island, in Charleston County and Owned by Haulover Creek Development Company LLC, Into the Town of Kiawah Island – **First Reading**

Mr. Taylor stated on September 2, 2021, the Town received a petition for annexation of property adjacent to the existing boundaries of the Town, owned by Haulover Creek Development Company, LLC. The property included approximately 82 acres adjacent to the Kiawah Island Parkway and the existing Freshfields commercial area.

Mr. Permar, representing the annexation petition applicant, stated his brief comments would be in advance of tomorrow's presentation to the Planning Commission, providing the first opportunity to understand the property, location, and the specifics of the mixed-use project. He indicated the property is currently in the unincorporated portion of Charleston County and has a zoning classification of R4 - low density/ single-family/detached. He indicated the proposal presented to the Planning Commission would outline uses as commercial and residential different from the current zoning. The presentation will include exhibits for standards from the PD (Planned Development) and an abstract conceptual diagram of how the parcel would be used..

Mr. Permar stated that attending the Planning Commission Workshop would be the senior management of the Riverstone Group, which oversees the Goodwin family holdings. They are very familiar with the island, its ties with the Goodwin family and have made significant improvements to the community since the early 1990s.

The specific language of all the persons who spoke following the Ordinance discussion can be found on audio at the Town Clerk's Office or by viewing the meeting on the Town's YouTube Channel @The Town of Kiawah Island. Persons who spoke included:

Mr. Richard Van Atta – 4309 Head Point Court – Kiawah River Estates

Mr. Paul Nelson- 410 Amaranth Road

Ms. Toula DiGiovanni – 51 Cotton Hall

Ms. Rhonda Douglas – 3071 Maritime Forrest Drive – Kiawah River Estates

Mr. Arthur Glaude – 5508 Turtle Cove
Mr. Steve Montagu-Pollock – 3150 Privateer Creek Road – Seabrook Island
Mr. Brad Belt – 151 Bobcat Lane
Dr. John Renner – 281 Tom Watson Lane – Cassique
Mr. Tim Hill – 15 Surfsong Road
Mr. Jerry McGee – 17 Inlet Cove

Councilmember Moffitt stated the important thing about the first step being taken today is to create a forum in which annexation discussions can be taken in a formal capacity. It does not predispose a specific schedule but rather begins the discussions to resolve all the items necessary before moving forward. He indicated the concerns expressed did not change his opinion on the initiation of the annexation.

Councilmember Connelly stated the issue is of great importance, but the public's expectations of the meeting differ from what was taking place. She indicated that the Planning Commission Workshop would provide much more information and start the discussion on the proposed plan and standards. She expressed her confidence that the Commission will thoroughly discuss all the issues which need to be addressed and do what is best for the community.

Councilmember Parker noted that without the initiation of the annexation process, the Planning Commission has no standing to engage in conversations with the developers or applicants and that the process is not limited to one month.

Councilmember Prickett commented on some of the recently raised concerns; He stated that traffic is not the developer's issue at this time, discussing the current road issues, including the efforts taken by the Town for a resolution. He stated that the current schedule might seem hurried, but without starting the process, nothing happens. The Planning Commission and Council will take more time if needed. However long the review process takes, the Planning Commission would make a recommendation to Council for consideration. Council would then make the decision on the planned development and annexation.

Mayor Labriola stated that if the first reading was not approved, the developer would move forward with the process through Charleston County. Without Kiawah's support, the process will take place in a different venue without the benefit of having the review done by the Kiawah Planning Commission hearing the input, suggestions, ideas, and questions from the Kiawah Community.

Mayor Labriola stated that in his opinion, the developer was the best partner considering their investment and long-term commitment to the island and has chosen to work with Kiawah. He indicated that he was confident they would do everything to make the project a success despite the concerns.

Additional comments were made by:
Ms. Toula DiGiovanni – 51 Cotton Hall
Chis Dahlstrom – 7 Angler Hall
Marybeth Mac - 102 Golden Eye Drive

Ms. Tillerson stated that all written public comments she received would be entered into the record and attached as part of the minutes.

Councilmember Parker made a motion to approve the first reading of Ordinance 2021-14 to provide for the annexation of property bearing the TMS 205-00-00-356 Contiguous to the Town of Kiawah Island. Councilmember Moffitt seconded the motion, and it was unanimously passed.

B. To Consider Approval of **Ordinance 2021-11 - An Ordinance to Amend Article 9 - Building and Building Codes, Chapter 1 - General, Division 2 - Construction Documents, Section 9-18. - Submittal Documents**

and Chapter 4 - Permits, License, and Fees, Division 2 - Licenses, Section 9-201. - Licenses, And Section 9-202. – Definitions – **First Reading**

Mr. Spicher stated in the current building ordinance the language under Sections 9-18 and 9-201 were too vague in defining design professionals and included no requirements as to when professional seals were to be provided. When the building ordinance was written, it was intended to apply to architects and engineers licensed by the state and has recently been misconstrued to include interior and graphic designers who are not licensed. The new language found in both Section 9-18 and Section 9-201, along with the new definition of “design professional” found in Section 9-202, now provided the clarity needed.

Mr. Spicher stated on occasion, a design professional or contractor may be under investigation by the SC Department of Investigations, a Division of the Department of South Carolina Labor, Licensing and Regulations. With no mechanism to prevent those individuals under investigation from submitting permitting documents for new projects, the language added allows staff to refuse acceptance of all documents for new projects until a decision is made on a pending investigation.

Councilmember Connelly made a motion to approve the first reading of Ordinance 2021-11 to amend Article 9 - Building and Building Codes, Chapter 1 - General, Division 2 - Construction Documents, Section 9-18. - Submittal Documents and Chapter 4 - Permits, License, and Fees, Division 2 - Licenses, Section 9-201. - Licenses, And Section 9-202. – Definitions. Councilmember Moffitt seconded the motion, and it was unanimously passed.

c. To Consider Approval of **Ordinance 2021-12** - An Ordinance to Amend Article 15 – Burning of Combustible Materials, Chapter 1 – Offenses Against Property, Section 15-105. – Burning of Combustible Materials – **First Reading**

Mr. Spicher stated that in Section 15-105 (a)(2)(a.), “propane” was added to the type of barbecue grills along with the language “associated with a single-family residence” added for clarification.

Mr. Spicher stated that for years, in multifamily structures, the Town permitted the use of electric grills on balconies. It was thought that they did not produce as many grease-laden vapors as a charcoal or gas grill. While electric grills produce less, over time, the grease vapors will adhere to the exterior walls and ceiling areas, producing a fire hazard. He reviewed the codes that require an exhaust system for any cooking equipment that produces smoke or grease-laden vapors and noted that compliance with the code would be extremely difficult to engineer and not cost-effective. The amended language would eliminate the use of electric grills on balconies of multifamily structures, in future projects, due to the fire hazard created.

Mayor Pro Tem Prickett made a motion to approve the first reading of Ordinance 2021-12 to amend Article 15 – Burning of Combustible Materials, Chapter 1 – Offenses Against Property, Section 15-105. – Burning of Combustible Materials. Councilmember Connelly seconded the motion.

Following further discussion, the motion was unanimously passed.

d. To Consider Approval of **Resolution 2021-03** - A Resolution Designating an Authorized Representative and Contact Person for Purposes of the American Rescue Plan Act Of 2021

The resolution designating Ms. Szubert as authorized representative and Ms. Tillerson as the contact person for the American Rescue Plan Act of 2021 was requested by the Municipal Association of South Carolina for non-entitlement municipalities.

Councilmember Parker made a motion to approve Resolution 2021-03 designating an authorized representative and contact person for purposes of the American Rescue Plan Act Of 2021. Councilmember Connelly seconded the motion, and it was unanimously passed.

E. To Consider Approval of the Beachwalker Drive Improvements Design

Mr. Taylor stated concerns with pedestrian traffic and safety along Beachwalker Drive prompted the Town to engage Kimley-Horn to conduct a Pedestrian and Bicycle Safety Analysis for Beachwalker Drive to understand better the issues and how to mitigate them. As a result, Kimley-Horn developed the Beachwalker Drive Pedestrian and Bicycle Safety Action Plan, which identified areas along the bike path and roadway needing improvement. Considering the comments received in community meetings, the plan was refined, and the recommendations presented for Council consideration.

Mr. Turner presented an overview of the study approach, and the observations noted:

- *Pathway Leads Through the Middle of Beachwalker Drive at Kiawah Island Parkway Intersection*
- *Unmarked Pathway at Riverview*
- *Tree Root Breaking Up the Path Asphalt*
- *Pathway Too Narrow for Two Bicyclist*
- *Inconsistent Pathway Widths*
- *Pathway Becomes Part of Vehicular Right-Turn Lane with Limited Sight Distance at Sunlet Blvd and Belmeade Hall*

Mr. Turner also presented conceptals of:

Improvements Near Beachwalker County Park
Improvements Near Belmeade Hall Road.
Improvements Near Sunlet Blvd/Bobcat Lane
Improvements Near Kiawah Island Parkway
Three Options for Parkway Crossing at the Main Gate

Mr. Turner presented a probable construction cost of \$284,000.00 for the recommended improvements along Beachwalker Drive. Ms. Tillerson stated that the Council's support of the proposed budget amount would allow the project to go out for bid with an actual construction cost being presented to the Ways and Means Committee for consideration and then Council for approval.

Councilmember Moffitt made a motion to approve the Beachwalker Drive Improvements Design. Councilmember Parker seconded the motion.

Following discussion, the motion was unanimously approved.

F. To Consider Approval of the Phillips and Jordan Contract Amendment

Mr. Gottshalk stated when the contract with Phillips and Jordan was written and approved in 2015, it expired in the middle of hurricane season. The intention for a new contract to expire in the spring, the contract amendment would provide an extension of the current contract to allow for an RFP (Request for Proposals) to be written and released this winter.

Mayor Pro Tem Prickett made a motion to approve the Phillips and Jordan Contract Amendment. Councilmember Connelly seconded the motion, and it was unanimously approved.

G. To Consider Approval of the Two New Kiawah Island Signs on the Parkway

Mayor Labriola stated the Ways and Means Committee thoroughly discussed the fabrication and installation of two new signs and recommended approval of the proposal from Signarama.

Councilmember Parker made a motion to approve the proposal from Signarama for two new Kiawah Island signs. Mayor Pro Tem Prickett seconded the motion.

Following discussion, the motion was unanimously approved.

- H. **Executive Session - To Obtain Legal Advice on The Procedure to Be Followed for the Suspension and Proposed Revocation of Business License Hearing and Any Other Related Legal Issues - If Necessary**

Councilmember Parker made a motion to move to Executive Session to obtain legal advice on the procedure to be followed for the suspension and proposed revocation of business license. Councilmember Connelly seconded the motion, and it was unanimously passed.

Mayor Pro Tem Prickett made a motion to come out of the Executive Session. Councilmember Parker seconded the motion, and it was unanimously approved.

Mayor Labriola stated no decisions were made, and no actions were taken.

- I. **Hearing on the Suspension and Proposed Revocation of Business License Number SBL 21-000014 Held by Reliable Property Managers, LLC for Repeatedly Engaging in Unlawful Business Activities in the Town Without Proper Inspections and the Hiring of Sub-Contractor Labor**

Mr. Spicher state that Reliable Property Managers, LLC engages in contract work as both a licensed residential builder and property maintenance on the island. He noted that under consideration were the violations that have occurred in the construction services. Town records show that since 2016 Reliable obtained 43 permits. Of the permits issued, 31 projects, Reliable failed to schedule inspections on the work performed, and 16 projects in which they failed to hire sub-contract labor when required. Both are violations of the Town's Municipal Code.

Mr. Spicher stated that Reliable Property Managers, LLC has shown a blatant disregard for the Town ordinances to protect the safety and welfare of the island's residents and requested the revocation of their business license for construction services offered for a period of no less than three years.

Councilmember Moffitt asked if the licensing department informed Reliable of the violations. Mr. Spicher stated the permitting and inspection requirements are required in any jurisdiction in the state and are basic knowledge in the construction industry. Further discussion included the event that led to the record review, the importance of the inspection process in ensuring safety, code compliance, and quality of work performance, and that some projects were properly permitted and inspected.

Ms. Megan Burns, CEO of Reliable Property Managers, LLC, explained that being fairly new to the construction side of their business and thought the proper internal process was in place. She stated that the Kiawah permitting process was different from the Charleston County process and was not aware of any issues with closing any permits. In an effort to rectify the issue, Ms. Burns presented, for the record, an internal document that would follow each step in the permit process to eliminate any future issues. She stated that even though the omissions were not intentional and an internal administrative breakdown, the company is taking full responsibility. She requested the opportunity to correct any issues in the future.

Councilmembers discussed that with Reliable's limited business area of Kiawah, Seabrook, and Kiawah River Estates, the difficulty believing the omissions were not intentional but rather an internal control breakdown that can happen in any business. Rather than revoke their business license, the suggestion was made to offer a probationary period in which random testing can be conducted of their permitting and inspection process and continual omissions reevaluated.

Mayor Pro Tem Prickett made a motion to place Reliable Property Managers, LLC on probation for a period of one year, and any violations observed in that period have the possibility of revoking the business license. Councilmember Parker seconded the motion.

Following further comments, the motion was unanimously approved.

X. Town Administrator's Report:

Mr. Spicher reported the Hazard Mitigation Plan adopted by Council in 2020 has been updated and requires that Council be informed of the updates. He reviewed some of the significant updates:

1. the addition of the new FRIM (Flood Insurance Rate Map) flood maps
2. an account of the new building base on the new maps
3. following procedural requirements, public meetings were held for the plan updates
4. all flood-prone areas of the County are now up to date
5. all hurricane occurrences, including ISIS (Inland Southern Insurance Services), is now part of the manual

XI. Council Member:

- a. Committee Updates
 - b. General Comments
- None

XII. Citizens' Comments:

None

XIII. Adjournment:

Councilmember Connelly made a motion to adjourn the meeting at 4:31 pm. The motion was seconded by Councilmember Parker and was unanimously passed.

Submitted by,

Petra S. Reynolds, Town Clerk

Approved by,

John D. Labriola, Mayor

Date



Tab | 2

TOWN COUNCIL

Agenda Item

THE TOWN OF KIAWAH ISLAND

ORDINANCE 2021-11

AN ORDINANCE TO AMEND ARTICLE 9 - BUILDING AND BUILDING CODES, CHAPTER 1 - GENERAL, DIVISION 2 - CONSTRUCTION DOCUMENTS, SECTION 9-18. - SUBMITTAL DOCUMENTS AND CHAPTER 4 - PERMITS, LICENSE AND FEES, DIVISION 2 - LICENSES, SECTION 9-201. - LICENSES, AND SECTION 9-202. - DEFINITIONS

WHEREAS, the Town of Kiawah Island Municipal Code currently contains Article 9 - Building and Building Codes, and;

WHEREAS, the Town wishes to amend the current Chapter 1 - General, Division 2 - Construction Documents - Section 9-18. - Submittal Documents and Chapter 4 - Permits, License and Fees, Division 2 - Licenses, Sections 9-201. - Licenses, and 9-202. - Definitions

NOW, THEREFORE, BE IT ORDERED AND ORDAINED BY THE COUNCIL OF THE TOWN OF KIAWAH ISLAND, SOUTH CAROLINA, AND IT IS ORDAINED BY THE AUTHORITY OF SAID COUNCIL.

Section 1 Purpose

The purpose of this Ordinance is to amend Article 9 - Buildings and Building Codes, Chapter 1 - General, Division 2 - Construction Documents - Section 9-18. - Submittal Document and Chapter 4 - Permits, License and Fees, Division 2 - Licenses, Sections 9-201. - Licenses and 9-202. - Definitions to provide clarification of the requirements.

Section 2 Ordinance

Article 9 - Buildings and Building Codes, Chapter 1 - General, Division 2 - Construction Documents, Section 9-18. - Submittal Documents is hereby amended as follows:

Sec. 9-18. - Submittal Documents.

Construction documents, special inspection and structural observation programs, and other data shall be submitted in one or more sets with each application for a permit. The construction documents shall be prepared by a South Carolina licensed design professional, for all new construction and extensive renovation projects. The plans submitted for approval shall be completed by both a SC licensed architect and all structural drawings shall be completed by a SC licensed structural engineer. Plans submitted for all new construction shall at minimum include landscape drawings, grading plans, complete architectural drawings, complete structural drawings, mechanical, electrical, and plumbing sheets. Where special conditions exist, the building official is authorized to require additional construction documents to be prepared by a registered design professional.

Exception: The building official is authorized to waive the submission of construction documents and other data not required to be prepared by a registered design professional if it is found that the nature of the work applied for is such that review of construction documents is not necessary to obtain compliance with this code.

Article 9 - Buildings and Building Codes, Chapter 4 - Permits, License and Fees, Division 2 - Licenses, Section 9-201. - Licenses is hereby amended as follows:

Sec. 9-201. – Licenses

- (a) Any person or firm wishing to engage in professional design services shall be required to be licensed by the South Carolina Department of Labor, Licensing and Regulations.
 - 1. All design professionals are required to seal their plan sheets before submitting them for review. Professional seals shall be signed and dated on each page. If the company is a firm, each plan page shall be accompanied by the firm seal.
 - 2. Any professional designer who is under investigation by the South Carolina Department of Investigations a Division of The South Carolina Department of Labor, Licensing and Regulations shall be suspended from further plan submittals until such time a decision has been made by either the Board of Architectural Examiners and or the Board of Engineers and Surveyors.
- (b) Any person or firm that wishes to obtain building permits for work within the Town of Kiawah Island is required to possess a valid state contractor's license issued by South Carolina Labor, Licensing and Regulation Residential Builders Commission and or the Contractor's Licensing Board.
- (c) Any person or firm engaged in the business of performing plumbing, electrical or mechanical work within the Town of Kiawah Island shall possess a valid town business license and a valid South Carolina mechanical contractor license, a valid South Carolina residential specialty license, and a Town of Kiawah Island contractor's license for the type of work to be permitted.
- (d) Contractors duly licensed by the State of South Carolina shall also obtain a contractor's license from the Town of Kiawah Island.
- (e) Any contractor under investigation by the South Carolina Department of Investigations, a Division of The South Carolina Department of Labor, Licensing and Regulations shall be suspended from submitting permits to the Town of Kiawah until such time a decision has been made by either the Residential Builders Commission, and or Contractor's Licensing Board.
- (f) Commencing to perform construction activities on properties within the Town of Kiawah Island when the undertaking is \$200.00 or more prior to obtaining a contractor's license from the State of South Carolina and a permit from the Town of Kiawah Island shall constitute an ordinance violation and shall result in a fine not to exceed \$500.00. Each day the ordinance violation continues constitutes a separate offense.

Article 9 - Buildings and Building Codes, Chapter 4 - Permits, License and Fees, Division 2 - Licenses, Section 9-202. - Definitions is hereby amended as follows:

Sec. 9-202. – Definitions.

- (a) *Alarm Business* means an entity that is licensed by the South Carolina Contractor's Licensing Board to engage in the burglar or fire alarm system business, or both.
- (b) *Design Professional* means an individual who is licensed by the South Carolina Department of Licensing, Labor and Regulations to provide professional design services as an architect or engineer.
- (c) *General Construction* means the installation, replacement, or repair of a building, structure, highway, sewer, grading, asphalt or concrete paving, or improvement of any kind to real property.

- (d) *General Contractors, Building* includes commercial, industrial, institutional, modular, and all other types of building construction, including residential structures. This license classification includes all work under the subclassifications of wood frame structures-Class II, interior renovation, masonry, pre-engineered metal buildings, general roofing, and structural shapes.

Licensees under this classification may perform ancillary work, including grading, associated with the building or structure which the licensee has been engaged to construct. However, if a project includes work performed under a mechanical contractor subclassification or any of these license sub classifications, the licensee must have a license for this work or use a contractor licensed in the appropriate license classification or sub classification to perform the work: swimming pools, bridges, boring and tunneling, water and sewer lines, pipelines, railroad lines, specialty roofing, marine, water and sewer plants, and asphalt paving.

- (e) *Licensed Contractor* means an entity that is licensed by the South Carolina Contractor's Licensing Board to engage in general, mechanical, residential, and or residential specialty contracting within the state.
- (f) *Mechanical Construction* means the installation, replacement, or repair of plumbing, heating, air conditioning, electrical systems.
- (g) *Mechanical Contractor* means an entity which performs or supervises or offers to perform or supervise mechanical construction.
- (h) *Residential Builder* means one who constructs, superintends, or offers to construct or superintend the construction, repair, improvement, of a residential building or structure which is not over three floors in height, and which does not have more than 16 units in any single apartment building.
- (i) *Residential Specialty Contractor* means an independent contractor who is not a licensed residential builder, who contracts with a licensed residential builder, or individual property owner to do work, repairs, improvements which require special skills and involves the use of specialized construction trades or craft. Specialty contractors are prohibited from hiring sub-contract labor.
- (j) *Total Cost of Construction* means the actual cost incurred by the owner, all contractors, subcontractors, and other parties for labor, material, equipment, profit, and incidental expenses for the entire project. This does not include the cost of design services unless those services are included in the construction contract.

Section 3 **Severability**

If any part of this Ordinance is held to be unconstitutional, it shall be construed to have been the legislative intent to pass said Ordinance without such unconstitutional provision, and the remainder of said Ordinance shall be deemed to be valid as if such portion had not been included. If said Ordinance, or any provisions thereof, is held to be inapplicable to any person, group of persons, property, kind property, circumstances or set of circumstances, such holding shall not affect the circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property, or circumstances

Section 4 **Effective Date and Duration**

This Ordinance shall be effective upon its enactment by Town Council for the Town of Kiawah Island.

**PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF KIAWAH ISLAND ON THIS
12th DAY OF OCTOBER 2021.**

John D. Labriola, Mayor

Petra S. Reynolds, Town Clerk

1st Reading - September 7, 2021

2nd Reading – October 12, 2021



Tab | 3

TOWN COUNCIL

Agenda Item

THE TOWN OF KIAWAH ISLAND

ORDINANCE 2021-12

AN ORDINANCE TO AMEND ARTICLE 15 – BURNING OF COMBUSTIBLE MATERIALS, CHAPTER 1 – OFFENSES AGAINST PROPERTY, SECTION 15-105. – BURNING OF COMBUSTIBLE MATERIALS

WHEREAS, the Town of Kiawah Island Municipal Code currently contains Article 15 – Burning of Combustible Materials, and;

WHEREAS, the Town wishes to amend the current Chapter 1 – Offenses against property Section 15-105 – Burning of Combustible Materials.

NOW, THEREFORE, BE IT ORDERED AND ORDAINED BY THE COUNCIL OF THE TOWN OF KIAWAH ISLAND, SOUTH CAROLINA, AND IT IS ORDAINED BY THE AUTHORITY OF SAID COUNCIL.

Section 1 Purpose

The purpose of this Ordinance is to amend Article 15 – Burning of Combustible Materials, Chapter 1 – Offenses Against Property, Section 15-105. – Burning of Combustible Materials to remove the exception allowing electric grill use in multifamily structures.

Section 2 Ordinance

Amend Article 15 – Burning of Combustible Materials, Chapter 1 – Offenses Against Property, Section 15-105– Burning of Combustible Materials is hereby amended as follows:

Sec. 15-105. Burning of combustible materials.

- (a) Open burning is prohibited, except in emergency situations as determined by the town.
- (1) No property owner, property owner guest or any other individual or group of individuals shall be allowed to construct a ceremonial or recreational fire on the beach (i.e., from the dune line to mean low-water mark) or in any open area without first having submitted an application for a permit to the town, setting forth the proposed date, time, location and responsible party for said fire. The application must be reviewed and approved in writing by the St. John's Fire District before being submitted to the town. The town shall notify the applicant in writing of its acceptance or rejection of the permit. No permits shall be granted for any fire on the beach from dusk to dawn between May 1 and October 31.
- (2) Open burning in connection with the preparation of food for immediate consumption will be exempt, provided, however:

- a. The energy source for cooking on any wooden deck associated with a single-family residence is limited to either an electric, propane or bottled gas type barbecue grill, and an effective means to extinguish a fire is immediately available;
 - b. Outdoor cooking on or under any deck, porch, balcony, stairway, or other overhanging portion, or on any ground level or patio area within ten feet of any multifamily structure is hereby prohibited.
 1. Charcoal, propane, portable electric and natural gas outdoor cooking devices shall be strictly prohibited in multifamily buildings.
- (b) Any person violating any provision of this section shall be deemed guilty of an offense and shall be subject to a fine of up to \$500.00 or imprisonment for not more than 30 days, or both, upon conviction. Each day of violation shall be considered a separate offense.

Section 3 **Severability**

If any part of this Ordinance is held to be unconstitutional, it shall be construed to have been the legislative intent to pass said Ordinance without such unconstitutional provision, and the remainder of said Ordinance shall be deemed to be valid as if such portion had not been included. If said Ordinance, or any provisions thereof, is held to be inapplicable to any person, group of persons, property, kind property, circumstances or set of circumstances, such holding shall not affect the circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property or circumstances

Section 4 **Effective Date and Duration**

This Ordinance shall be effective upon its enactment by Town Council for the Town of Kiawah Island.

**PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF KIAWAH ISLAND
ON THIS 12th DAY OF OCTOBER 2021.**

John D. Labriola, Mayor

Petra S. Reynolds, Town Clerk

1st Reading - September 7, 2021

2nd Reading – October 12, 2021



Tab | 4

TOWN COUNCIL

Agenda Item



Request for Town Council Action

TO: Mayor and Members of Council

FROM: Stephanie Monroe Tillerson, AICP, Town Administrator

SUBJECT: MUSC Sea Islands Naming Opportunity

DATE: April 6, 2021

BACKGROUND:

Attached, you will find a proposal for consideration and a letter from the President of MUSC.

ACTION REQUESTED:

To consider approving a request from MUSC for a naming opportunity for the new MUSC Sea Islands Emergency Center facility. The proposal under consideration is for \$1,000,000 over five years. The naming location would be the Town of Kiawah Island – Garden.

The Town of Kiawah Island Garden –

- High-traffic area that provides outdoor respite space and seating for visitors and family members.
- MUSC Health will collaborate with the Town on the garden's design, providing an opportunity to include local tastes, aesthetics, and cultural references.
- Will have the ability to engage residents through an annual giving component. For example, we could invite them to name decorative sea turtles at the beginning of nesting season each spring.

BUDGET DATA:

Funding source –from General Fund. Through the American Rescue Plan, the Town will receive \$880,000 in total by September/October of 2022. To date, the Town has received \$440,000. These dollars are eligible to be spent on this request.

August 18, 2021

Stephanie Monroe Tillerson
Administrator
Town of Kiawah Island
4475 Betsy Kerrison Pkwy
Kiawah Island, SC 29455

Dear Ms. Tillerson:

Thank you for your interest in our new and exciting Sea Islands project. As I'm sure you know, there has been a critical need for a medical facility like this in your community for a long time. We are extremely grateful to be building partnerships with Kiawah Island and so many others, whose support is so important to meeting this need and making this center a reality.

At this point, we anticipate opening our doors in spring of 2023. From that moment onward, residents of Kiawah Island will have access to 24/7 emergency services and transport, primary care and select specialty care provided by the state's No. 1 hospital, just beyond the entrance to their community. It is difficult to overstate what this will mean to the town and the people who live there. I am so pleased that the town is prepared to take such a strong leadership position in this initiative.

There is much to accomplish between now and then. We will continue to stay in close touch and keep you apprised of our progress along the way. For now, please know how excited we are about our future in your community and by the prospect of working with such a tremendous partner as the Town of Kiawah Island.

Thank you again for your consideration of this community effort. I look forward to talking with you soon.

Best regards,



David J. Cole, M.D., FACS
President

DJC/sdt

Curated Strategic Investment Opportunities for Partnership with MUSC

Prepared for the Town of Kiawah Island

August 2021



All renderings are preliminary and subject to revision

The Sea Islands Project

Fulfilling a critical need for care on Kiawah, Seabrook and Johns islands



Kiawah, Seabrook and Johns islands are located between 11 and 26 miles southwest of downtown Charleston, South Carolina. The islands are separated from the mainland by a vast network of waterways, providing them with a degree of relative isolation when compared to neighboring communities in Charleston County. However, they have seen rapid population growth in recent years.

This growth, along with the islands' geographic isolation, demographics, and community health profiles, has created an urgent need for additional health care services in this part of the South Carolina Lowcountry.

- These islands are geographically isolated. Kiawah is more than 25 miles away from the nearest hospital.
- The community is home to a large population of seniors, who generally have a great need for both outpatient and emergent health care services.
- Double digit population growth is anticipated over the next five years. By 2024 there will be ~31,000 additional 65+ residents in the service area.
- The community also has a large seasonal population of tourists, many of whom have trouble navigating local health care services.
- Every year life is lost or significantly compromised as a result of medical assistance not being readily available in the Sea Islands.
- Since 2016, the incidence of adult chronic diseases has increased.
- Growth of Emergency Department utilization has outpaced population growth in this area.
- Total trauma transports to MUSC have increased by 52% since 2016 for these residents. Injuries related to falls have doubled over the last two years.

Looking ahead to the future

To meet the growing need for emergency and other health care services in this community, MUSC Health is building a new medical facility on Johns Island in the immediate vicinity of Kiawah and Seabrook islands. The 22,740-square-foot facility will have two components: a free-standing emergency room and an adjoining medical office building.



FREE-STANDING EMERGENCY ROOM

- Four exam rooms
- Two trauma rooms
- Fast-track triage
- Full CT scan and radiology services
- Full lab services with quick results
- On-site pharmacy
- Overnight observation capacity
- Direct admission to hospital beds
- Helipad

MEDICAL OFFICE BUILDING

- Primary care
- Specialty care
- Telehealth pods
- Onsite lab and diagnostic treatment
- Physical therapy treatment facilities

Value to the community



The new medical facility will provide residents and visitors alike with convenient and rapid access to MUSC Health's emergency care services, select outpatient services, and some of the nation's top providers in primary and specialty care.

- Access to life-saving medical care
- Enhanced access to MUSC Health's Primary Stroke Center
- Enhanced access to its dedicated accredited Chest Pain Center
- 24/7 access to highly trained board-certified emergency physicians and a network of support personnel, ready to respond to any health crisis
- Shorter wait times than traditional EDs
- State-of-the-art imaging and other technologies
- Convenient access to primary care and other outpatient services

The power of partnership



By making an investment in this facility, the Town of Kiawah Island will be able to meet a critical and long-established need for emergent and outpatient care in this area, in turn further enhancing quality of life for the residents who live there. Specifically, such an investment will help:

- Provide residents with more rapid access to life-saving emergency services, supported by Meducare Medical Transport Service and delivered by a provider that is consistently ranked as the No. 1 hospital in South Carolina by U.S. News & World Report.
- Provide more convenient access to other, non-urgent outpatient services, including primary care, select specialty care, and physical and occupational therapy. The facility also will serve as the home base for a new MUSC Health concierge medicine program.
- Establish a telemedicine program in the community, connecting residents to advanced specialists at MUSC Health's main campus in downtown Charleston.
- Demonstrate the town's commitment to the health and well-being of people living on Kiawah and neighboring communities.
- Minimize the risk and inconvenience associated with long drive times to medical appointments.
- Attract and retain residents who might otherwise choose to live in communities with access to quality medical care.

Curated philanthropic investment opportunities

Town of Kiawah Emergency Department (\$2 million over five years)

- Most prominent onsite signage opportunity, aside from naming the building.
- High-traffic area within the building.
- Opportunity for recurring exposure through ad/marketing materials

Town of Kiawah Island Physical Therapy Room (\$2 million over five years)

- Attached to a high-demand service among community residents.
- One of the largest physical spaces within the facility.
- Plans currently call for the facility to be built on top of the building, providing patients with views of the surrounding Lowcountry landscape and saltmarsh.

Town of Kiawah Island Physical Therapy Lobby (\$1 million over five years)

- The lobby will enjoy similar traffic and exposure as the physical therapy room.

Town of Kiawah Island Garden (\$1 million over five years)

- High-traffic area that provides outdoor respite space and seating for visitors and family members
- MUSC Health will collaborate with the Town of Kiawah Island on the garden's design, providing an opportunity for the inclusion of local tastes, aesthetics and cultural references.
- Will have the ability to engage residents through an annual giving component. For example, we could invite them to name decorative sea turtles at the beginning of nesting season each spring.

Beyond the visibility provided through proximal signage, each of these investments also will be recognized on a donor wall located in a prominent, high-traffic location outside the facility.

Thank you for your consideration of this request. We welcome the opportunity to discuss this exciting project with you in the near future. In the meantime, please feel free to contact us with any questions or comments.



Brian Panique
Senior Director of Principal Gifts
843-792-0861 or 650-285-9922
panique@musc.edu



Tab | 5

TOWN COUNCIL

Agenda Item



TOWN OF *Kiawah Island*®

4475 Betsy Kerrison Parkway | Kiawah Island, SC 29455 | (843) 768-9166 | Fax (843) 768-4764 | www.kiawahisland.org

2021

ARTS & CULTURAL EVENTS COUNCIL

Committee members are appointed by Town Council and serve one year terms.

All terms expire on January 31.

David Wohl, Chairman

157 Governors Drive
Kiawah Island, SC 29455
304-552-9060 cell
Dwohl23@gmail.com

Bill Blizzard

736 B Virginia Rail Road
Kiawah Island, SC 29455
843-768-3303
843-906-7666 cell
billblizzard@gmail.com

Judy Chitwood

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Kiawah Island, SC 29455
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j_e_chitwood@yahoo.com

Becky Hilstad

33 Marsh Edge Lane
Kiawah Island, SC 29455
843-469-3271 cell
bthilstad@aol.com

Van McCollum

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404-401-0678
vanmccollum982@gmail.com

Jodi Rush

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Joan Collar

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843-224-9455 cell
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Kristin Thompson

101 Shoolbred Court
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443-254-8616 cell
kristin@rhetttsbluff.com

Dylan Keith

4752 Tennis Club Lane
Kiawah Island, SC 29455
843-885-4077 cell
dylan@dylan-k.com

Kimberly Adele

4752 Tennis Club Lane
Kiawah Island, SC 29455
843-885-4072 cell
info@cirqueduo.com

Staff Support:

Stephanie Braswell Edgerton

843-768-5113
843-532-3269 cell
sbraswell@kiawahisland.org

DYLAN KEITH

Co-Founder / Cirque Artist / Visual Artist

 dylan@dylan-keith.com

 Kiawah Island, SC

SKILLS

Executive Leadership

Problem-solving

Collaborative Work

Strategic Planning

Project & Personnel Management

Leadership / Training

Vision Setting

Goals Attainment

Show Creation

Artistic Direction

Cirque / Stage Choreography

Juggling Cube Specialist

Elite Cirque Instruction

Aerial Arts and Acrobatics

Photography

Design

PROFILE

Co-Founder, Cirque Artist, and Visual Artist, with expertise in full life-cycle of directing and producing cirque shows — overseeing all creative and business aspects. Partnering with clients to bring their visions to life. Creating and marketing original touring productions.

Multi-disciplinary cirque artist, with act speciality of juggling cube.

Artist, together with nature: experimental fine art nature photography.

EXPERIENCE

Co-Founder / Cirque Artist

Illumine Arts LLC

Managed full life-cycle of custom cirque productions, engaging with clients' teams, leading internal teams, and hiring contractors / securing vendors as needed to create and deliver shows. Created bespoke cirque entertainment for corporate events and foundation galas, meeting with event planners, foundation chairs, and business executives.

- Collaborated with clients to understand and implement vision and goals
- Led an internal and external network of teams to execute productions
- Created bespoke and interdisciplinary arts shows:
show concept / script / choreography / casting / directing / performing
- Sourced & contracted cirque artists, dancers, musicians, actors, visual artists
- Contributed to high ROI for clients, e.g. charity raising \$6.8 million

Built systems and handled full life-cycle of all creative and business aspects for original cirque productions and tours. Marketed / sold 30K+ admissions for summer cirque shows. Shows ran five seasons for child care providers, camps, & schools (not open to public).

- Directed & produced shows: conception, creation, cast, crew, venues
- Planned & managed all logistics / risk management for rehearsals and tours
- Sourced & contracted venues — venues and theaters seating up to 2,800+
- Sourced & contracted AV and FoH staff / collaborated with venues' staff
- Sold out or near capacity each season, with high client retention
- Expanded shows to additional markets in TX and/or OK every other summer

Selected Additional Experience

- Artist, together with nature: experimental fine art nature photography: **Dylan Keith**
- Artist / designer, creating fashion with art: **Dylan K**
- Cirque Instructor (Illumine Arts LLC) with students admitted to summer intensives at:
École national de cirque (National Circus School of Montreal)
- Dancer in *Romeo and Juliet*: **The Dallas Opera**
- Program Director; managed Trevino's Gymnastics / **National Team Training Center**
- Acrobat; performed group acrobatics in showcase troupe touring **North America**

KIMBERLY ADELE

Co-Founder, Director, & Artist

✉ info@cirqueduo.com

📍 Kiawah Island, SC

PROFILE

Co-Founder, Artistic Director, and Cirque Artist, with expertise in full life-cycle of directing and producing cirque shows — overseeing all creative and business aspects. Partnering with clients to bring their visions to life. Creating / marketing original touring productions. Individual cirque act specialities: multi-hula hoops and aerial arts.

SKILLS

Executive Leadership
Collaborative Work
Strategic Planning
Vision Setting
Goals Attainment
Project & Personnel Management
Multi-Hula Hoops Specialist
Aerial Artist
Artistic Direction
Choreography
Show Conception / Script Writing

EDUCATION

I The University of Texas at Austin
Bachelor of Arts in Music
Piano Principal

I Yale University, New Haven, CT
Freshman / Sophomore Coursework
Directed Studies

EXPERIENCE

CO-FOUNDER / ARTISTIC DIRECTOR / CIRQUE ARTIST

Illumine Arts LLC

Managed full life-cycle of custom cirque productions, engaging with clients' teams, leading internal teams, and hiring contractors / securing vendors as needed to create and deliver shows. Created bespoke cirque entertainment for corporate events and foundation galas, meeting with event planners, foundation chairs, and business executives.

- Collaborated with clients to understand and implement vision and goals
- Led an internal and external network of teams to execute productions
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show concept / script / choreography / casting / directing / performing
- Sourced & contracted cirque artists, dancers, musicians, actors, visual artists
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Built systems and handled full life-cycle of all creative and business aspects for original cirque productions and tours. Marketed / sold 30K+ admissions for summer cirque shows. Shows ran five seasons for child care providers, camps, & schools (not open to public).

- Directed & produced shows: conception, creation, cast, crew, venues
- Planned & managed all logistics / risk management for rehearsals and tours
- Sourced & contracted venues — venues and theaters seating up to 2,800+
- Sourced & contracted AV and FoH staff / collaborated with venues' staff
- Sold out or near capacity each season, with high client retention
- Expanded shows to additional markets in TX and/or OK every other summer

SELECTED ADDITIONAL PROJECTS

- Dancer in five operas over three seasons: **The Dallas Opera**
- Actor in cirque shows (theaters, festival shows, etc): **Illumine Arts LLC**
- Cirque instructor (Illumine Arts LLC), with students admitted to summer intensives at: **École national de cirque (Nat'l Circus School of Montreal)**



Tab | 6

TOWN COUNCIL

Agenda Item

TOWN OF KIAWAH ISLAND

ORDINANCE 2021-10

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF KIAWAH ISLAND AMENDING SECTION 15-306 (NOISE) OF THE KIAWAH ISLAND CODE OF ORDINANCES

WHEREAS, the Town of Kiawah Island Code of Ordinances currently contains Article 15, Chapter 3, Section 15-306 governing prohibited noise;

WHEREAS, the Town Council of the Town of Kiawah Island believes that certain adjustments and amendments need to be made to Section 15-306;

WHEREAS, the Town Council wishes to amend Section 15-306 governing prohibited noise;

NOW, THEREFORE, BE IT ORDERED AND ORDAINED BY THE COUNCIL OF THE TOWN OF KIAWAH ISLAND, SOUTH CAROLINA, AND IT IS ORDAINED BY THE AUTHORITY OF SAID COUNCIL.

Section 1 Purpose

The purpose of this Ordinance is to amend Article 15, General Offenses, Chapter 3, Offenses Against Public Safety, by amending Section 15-306 governing prohibited noise.

Section 2 Ordinance

NOTE: Deleted material stuck through, new material in red:

Sec. 15-306. – Prohibited Noise

(a) **Any noise of such character, intensity or duration which substantially interferes with the comfortable enjoyment of persons of ordinary sensibilities occupying, owning or controlling nearby properties, or persons making use of public properties for their intended purposes, is hereby declared to be unlawful and to be a nuisance, and is prohibited.** ~~A person shall be guilty of disturbing the peace when, within the town limits, he makes, continues, or causes to be made or continued, any loud noise of such character, intensity, and/or duration as to disturb, injure, and/or endanger the comfort, repose, health, peace, or safety of others within the town limits.~~

(b) ~~In addition, a~~ Any sound that registers more than 60 dB(A) at the nearest complainant's property line ~~is prohibited~~ between the hours of 11:00 p.m. and 7:00 a.m. daily **is presumed to be unlawful and a nuisance.** Decibels are measured on the "A" weighted network scale "dB(A)" using a sound level meter of standard design and having characteristics established by the American National Standards Institute.

(c) ~~Loud and/or unnecessary noises in violation of this section include, but are not limited to, the following acts:~~

(+) **Musical Instruments and amplified music.** ~~Loudspeakers, amplifiers, paging systems.~~ The playing, using, operating or permitting to be played, used or operated, any radio receiving set, musical instrument, phonograph, loudspeaker, sound amplifier, or other machine or device for the producing or reproducing of sound **that exceeds the parameters set forth in Subsections (a) and (b) or is audible within a complainant's home between the hours of 11:00 p.m. and 7:00 a.m. is prohibited.** ~~which is cast upon the community streets of the town or upon the private property of another. This section does not prohibit the~~

~~reasonable use of amplifiers or loudspeakers in the course of public addresses which are commercial in character or community sponsored events, provided said events end by 11:00 p.m.~~

(d)

~~(2)~~ Domestic animals, birds. The keeping of any dog, cat, bird, or other animal which habitually barks, howls, chirps, yelps, or cries on a continual or frequent basis over an extended period of time so as to materially disturb persons in the vicinity who are of ordinary sensibilities **is prohibited**

(e) **Construction, maintenance, and operation of machinery.** All construction activities and any maintenance activity, including yard work, that involves the operation of machinery outdoors are prohibited between the hours of 7:00 p.m. and 7:00 a.m. In addition, all construction activity is prohibited on Sundays. Between the hours of 7:00 a.m. and 7:00 p.m. such activities are not subject to the presumption contained in Subsection (b) but are subject to the requirements of Subsection (a) and must be conducted in a reasonable and appropriate manner. The sound produced by emergency repair measures necessary to restore public utilities, or to restore property to a safe condition, or to protect persons or property from imminent danger, following a fire, accident or natural disaster are exempt from the hourly restrictions contained herein.

~~(3) Yelling, shouting. Yelling, shouting, feuding, whistling, or singing on the streets or recreational areas of the town, between the hours of 11:00 p.m. and 7:00 a.m., or at any time and place as to disturb the peace, quiet, comfort or repose of persons in any office, dwelling, or other type of residence.~~

Section 3 Severability

If any part of this Ordinance is held to be unconstitutional, it shall be construed to have been the legislative intent to pass said Ordinance without such unconstitutional provision, and the remainder of said Ordinance shall be deemed to be valid as if such portion had not been included. If said Ordinance, or any provisions thereof, is held to be inapplicable to any person, group of persons, property, kind property, circumstances or set of circumstances, such holding shall not affect the circumstances or set of circumstances, such holding shall not affect the applicability thereof to any other persons, property, or circumstances

Section 4 Effective Date and Duration

This Ordinance shall be effective upon its enactment by Town Council for the Town of Kiawah Island.

PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF KIAWAH ISLAND ON THIS ____ DAY OF _____, 2021.

John Labriola, Mayor

ATTEST:

By: _____
Petra Reynolds, Town Clerk

1st Reading:

2nd Reading:



Tab | 7

TOWN COUNCIL

Agenda Item



Request for Town Council Recommendation

TO: Mayor and Members of Town Council

FROM: Brian Gottshalk, Public Works Manager

SUBJECT: Request to Solicit Bids for Wildlife Office Expansion

DATE: 12 October 2021

BACKGROUND:

As The Town continues to grow, there is a need to accommodate new positions opening up among town staff. Town Staff has contracted with LS3P to design suitable office space in the garage to house the Wildlife Department. This will open up two offices in the Municipal Building.

ANALYSIS:

LS3P has come up with a design that will turn one of the garage bays into a conditioned space that will hold two offices and designed outdoor secured storage in place of the existing car wash area. The design plans are attached.

ACTION REQUESTED:

Town Staff requests that the Town Council supports the attached design plan and allow for them to be posted for bids.

BUDGET & FINANCIAL DATA:

Town Staff will be receiving an estimated cost from the architect by Tuesday that will be shared with the Town Council.

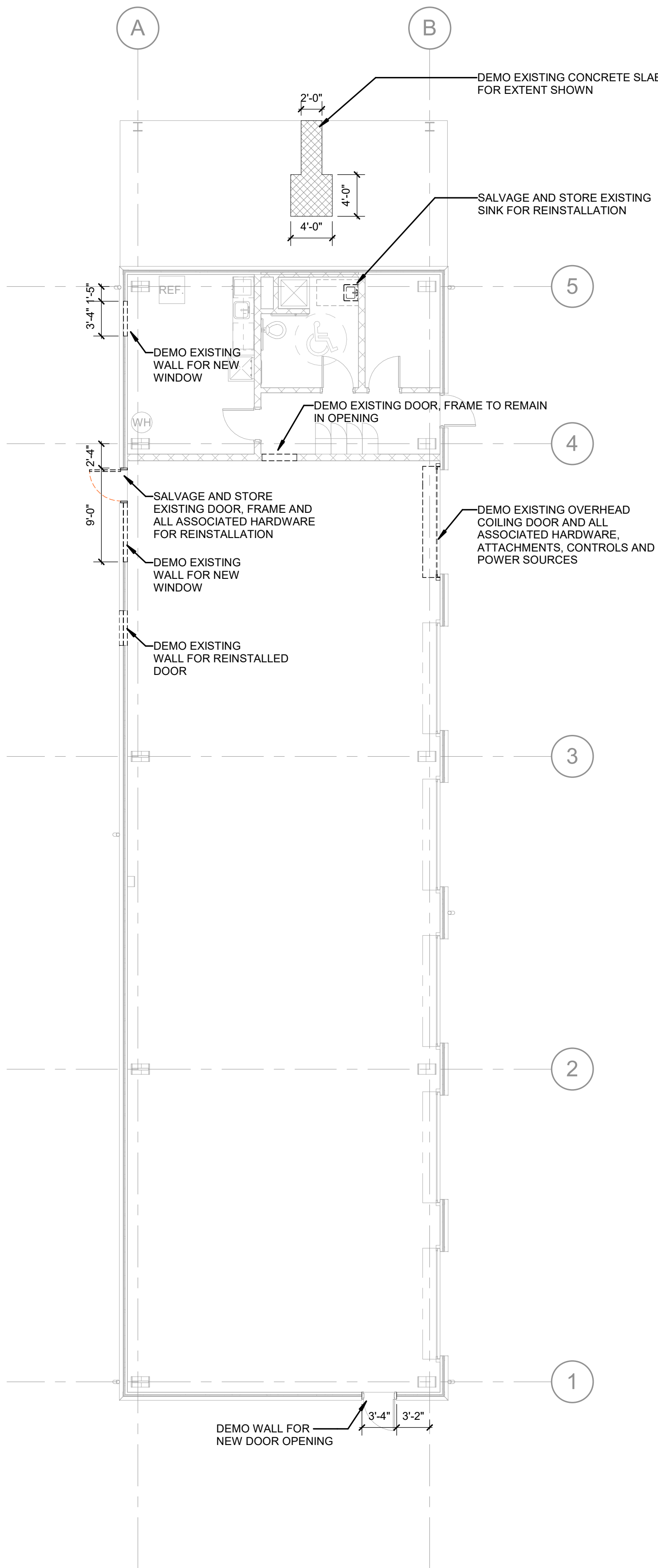
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A1 DEMOLITION PLAN- LEVEL 1
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DEMOLITION PLAN SHEET NOTES

- SEE G-001 FOR SHEET-SPECIFIC GRAPHICS & SYMBOLS.
- NUMBERED KEY NOTES DO NOT IMPLY SEQUENCE. CONTRACTOR TO PERFORM DEMOLITION WORK AS REQUIRED PER WORK SEQUENCE
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON DEMOLITION. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED, STABILIZED AND PROTECTED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT FOR INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD BEARING OR IS ADEQUATELY SHORED AS INDICATED ON STRUCTURAL DRAWINGS PRIOR TO STARTING ANY WORK.
- ERECT BARRICADES, FENCES OR OTHER SECURABLE MEANS TO PREVENT UNAUTHORIZED ACCESS INTO CONSTRUCTION ZONES.
- DO NOT ALLOW MATERIAL AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- TERMINATE AND CAP UTILITIES IN WALLS, CEILINGS, AND FLOORS, NOTED TO BE REMOVED AND NOT INTENDED FOR REUSE.
- PREPARE AND PATCH SURFACES THAT ARE TO RECEIVE NEW FINISHES REQUIRED AFTER REMOVING OR RELOCATING DEVICES, WIRING OR OTHER APPURTENANCES, REFER TO FINISH SCHEDULE FOR NEW FINISHES.
- MAINTAIN EXISTING FINISHES, OPERATIONAL CHARACTERISTICS, AND APPEARANCE OF ITEMS SCHEDULED TO REMAIN OR BE REUSED.
- IN THE EVENT THAT ANY PARTY ENCOUNTERS SUSPECTED ASBESTOS, HAZARDOUS OR OTHER TOXIC MATERIAL AT THE JOB SITE, OR SHOULD IT BECOME KNOWN THAT SUCH MATERIAL MAY BE PRESENT AT THE JOB SITE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ARCHITECT IMMEDIATELY IN WRITING.



ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444



CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
CONSULTANT 3 ADDRESS
CONSULTANT 3 PHONE

NOT FOR
CONSTRUCTION

COPYRIGHT 2020 ALL RIGHTS RESERVED. PRINTED OR
ELECTRONIC DRAWINGS AND DOCUMENTATION MAY
NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN
PERMISSION FROM LS3P ASSOCIATES LTD.

Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
DEMOLITION
FLOOR PLAN-
LEVEL 1

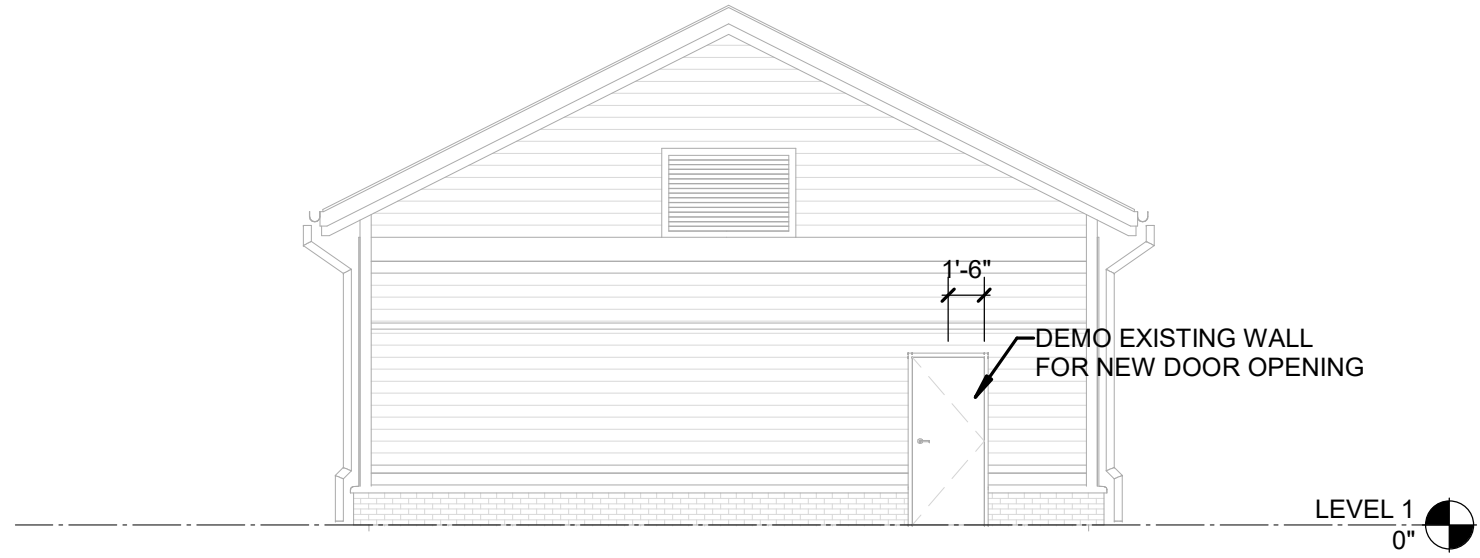
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SUBMISSION: 10/06/21
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SHEET:
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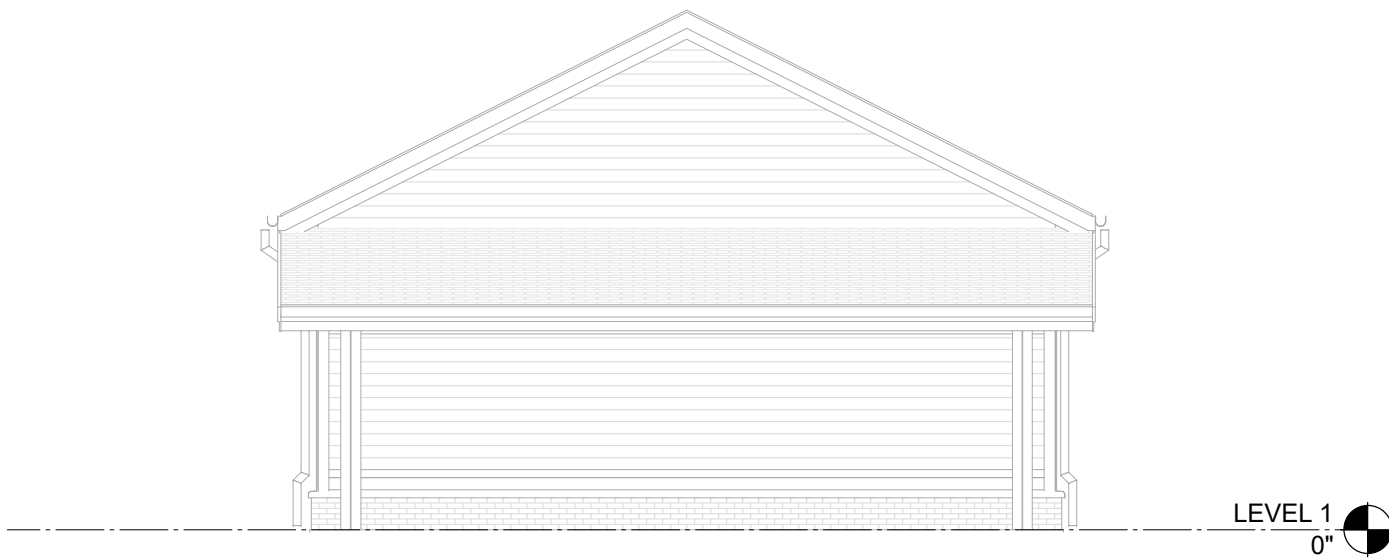
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D1 ELEVATION - SOUTH DEMO

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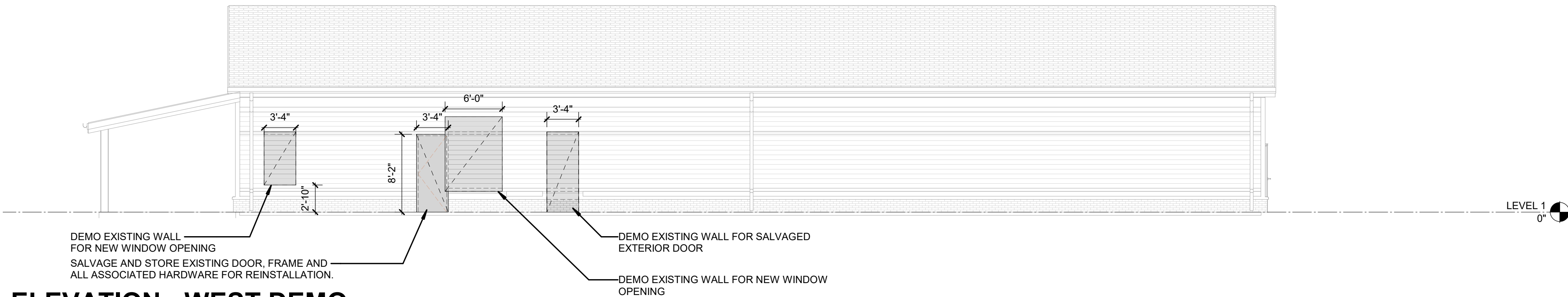
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C1 ELEVATION - NORTH DEMO

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B1 ELEVATION - WEST DEMO

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A



A1 ELEVATION - EAST DEMO

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ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444



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NOT FOR
CONSTRUCTION

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ELECTRONIC DRAWINGS AND DOCUMENTATION MAY
NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN
PERMISSION FROM LS3P ASSOCIATES LTD.

Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
BUILDING DEMO
ELEVATIONS

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ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444



CONSULTANT 2 ROLE
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NOT FOR
CONSTRUCTION

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Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
CONSTRUCTION
SUBSYSTEMS

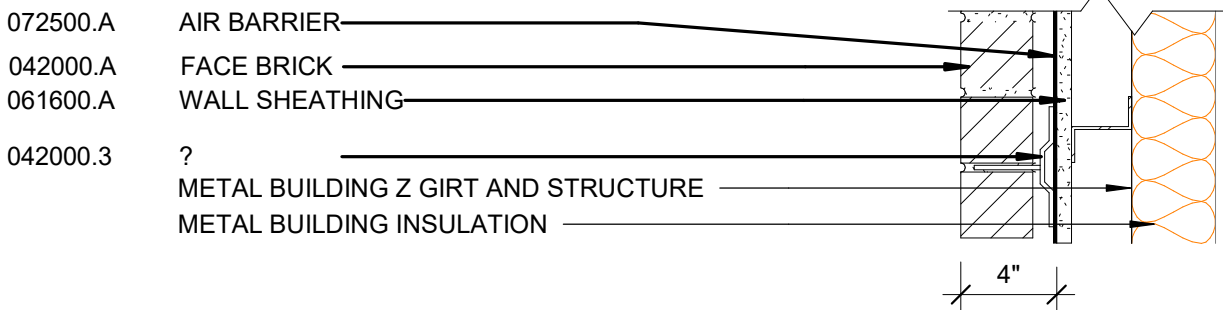
ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:

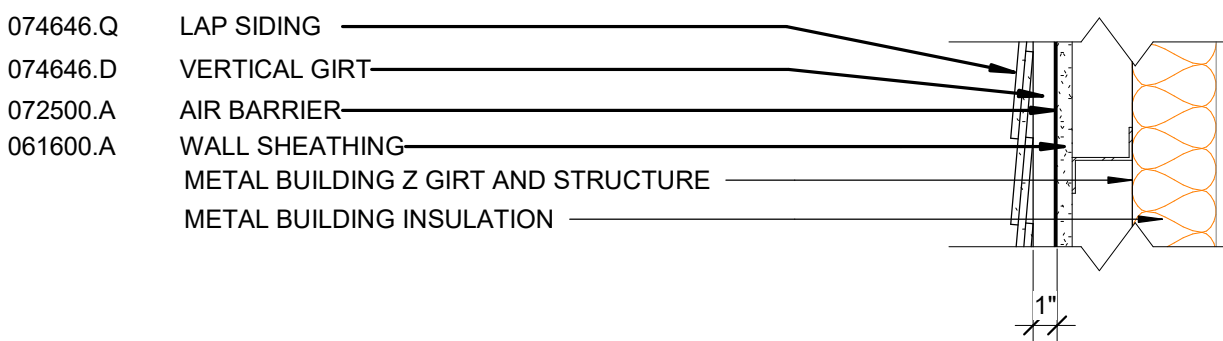
A-001

PROGRESS SET

WG FACE BRICK / METAL BUILDING WALL CONSTRUCTION
(QUEEN BRICK)



W7 FIBER CEMENT SIDING / METAL BUILDING CONSTRUCTION



D

C

B

A

PARTITION TYPES LEGEND (DELETE NOT USED)

- A - METAL STUD BALANCED WALL
B - METAL STUD UNBALANCED WALL
C - METAL STUD CHASE WALL
D - METAL STUD SECURE WALL
E - METAL STUD SECURE RESILIENT WALL
F - METAL STUD FURRED WALL
J - METAL STUD RADIO FREQUENCY (RF) SHIELDING WALL
K - METAL STUD LEAD LINED TWO SIDES WALL
L - METAL STUD LEAD LINED ONE SIDE WALL
S - METAL STUD SHAFT WALL
R - METAL STUD RESILIENT SOUND WALL
M - CONCRETE MASONRY UNIT WALL
T - CONCRETE WALL
W - WOOD STUD BALANCED WALL
X - WOOD STUD UNBALANCED WALL
Y - WOOD STUD FURRED WALL
U - WOOD DOUBLE STUD WALL
V - WOOD STAGGERED STUD WALL
Q - WOOD STUD RESILIENT SOUND WALL
-Z - TWO LAYERS OF GWB ON EACH SIDE FOR SOUND, NON - RATED

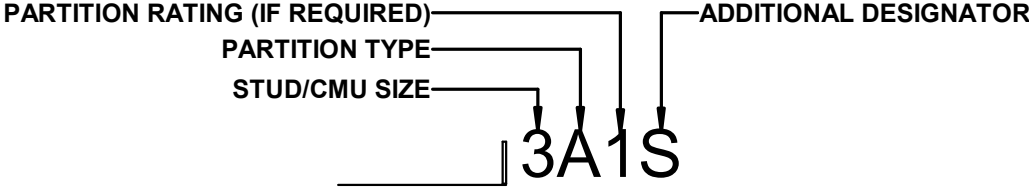
PARTITION FIRE RATING

- 30 - 30 MINUTES RATED FIRE PARTITION
1 - 1HR RATED FIRE BARRIER, UNLESS W/ DESIGNATOR "C,K,P"
2 - 2HR RATED FIRE BARRIER, UNLESS W/ DESIGNATOR "C,W"
3 - 3HR RATED FIRE WALL, UNLESS W/ DESIGNATOR "B"
4 - 4HR RATED FIRE WALL, UNLESS W/ DESIGNATOR "B"
5 - NOT RATED, SMOKE PARTITION

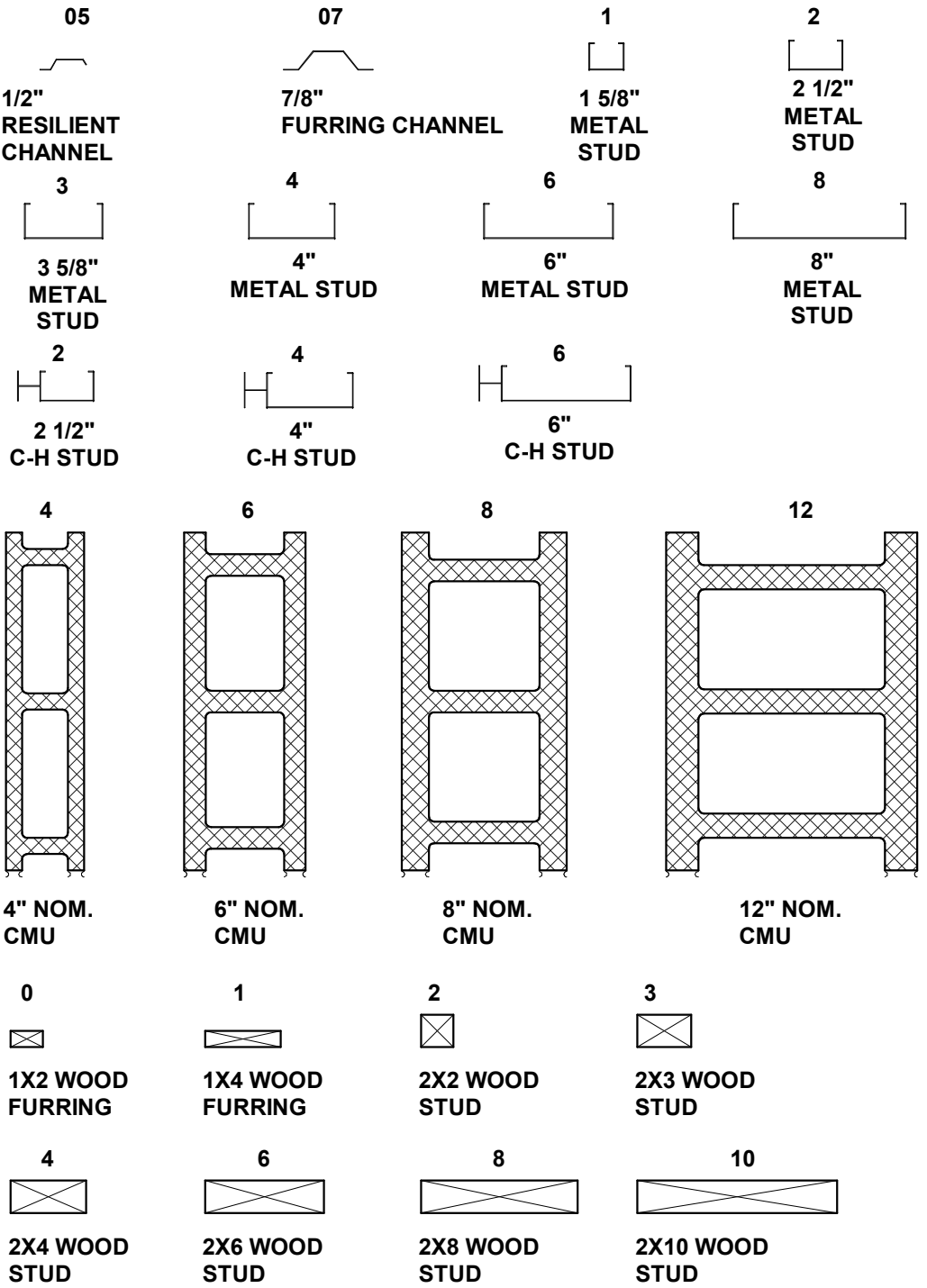
ADDITIONAL DESIGNATORS (DELETE NOT USED)

- B - FIRE BARRIER
C - FIRE/SMOKE BARRIER
W - FIRE WALL
P - FIRE PARTITION
K - SMOKE BARRIER
D - NON-RATED EXTEND TO DECK ABOVE
J - IMPACT RESISTANT GWB PARTITION
S - SOUND ATTENUATION BLANKET IN STUD WALL OR ACOUSTIC FILL IN CMU WALL, PARTITION SHALL EXTEND TO ADJACENT WALLS AND STRUCTURE ABOVE, PROVIDE ACOUSTICAL SEALANT AT BOTTOM, TOP AND SIDES
G - FULLY GROUTED CMU
H - HALF WALL OR PARTIAL HEIGHT WALL
F - RADIO FREQUENCY SHIELDING (USED FOR SECURE PARTITIONS)

PARTITION TAG KEY



PARTITION MATERIAL & SIZE

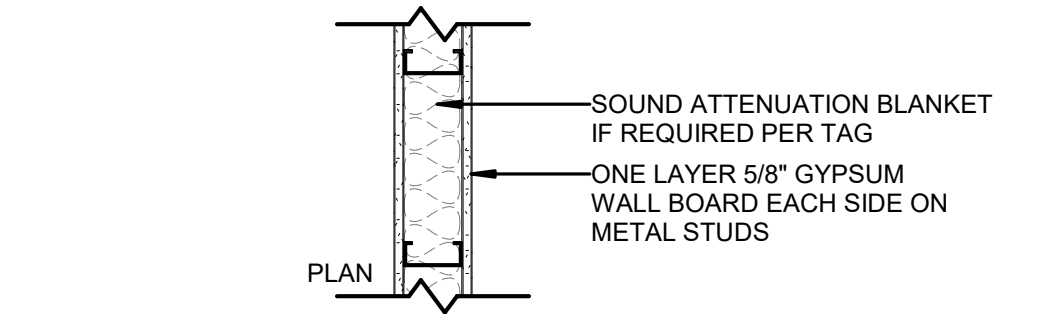


PARTITION NOTES

- ALL NON-DESIGNATED PARTITIONS SHALL BE 3A
- NON-RATED PARTITIONS, EXCEPT THOSE WITH "D" OR "S" DESIGNATOR, GWB SHALL EXTEND 6" ABOVE THE CEILING U.N.O.
- NON-RATED SMOKE PARTITIONS SHALL EXTEND TO THE STRUCTURE ABOVE.
- FIRE RATED PARTITIONS SHALL EXTEND TO THE STRUCTURE ABOVE, SEE UL DETAILS FOR ADDITIONAL REQUIREMENTS
- TYPE "D,E,R,Q" PARTITIONS SHALL EXTEND TO ADJACENT WALLS AND STRUCTURE ABOVE, PROVIDE ACOUSTICAL SEALANT AT BOTTOM, TOP, AND SIDES
- AT WET AREAS, PROVIDE MOISTURE RESISTANT GWB OR MOLD & MOISTURE RESISTANT GWB AT NON-RATED PARTITIONS. PROVIDE FIRE RATED MOISTURE RESISTANT GWB OR FIRE RATED MOLD & MOISTURE RESISTANT GWB AT RATED PARTITIONS.
- ON PARTITIONS RECEIVING WALL TILE (REFER TO FINISH SCHEDULE) PROVIDE CEMENTITIOUS BACKER BOARD BEHIND PORTIONS OF PARTITION RECEIVING TILE ONLY.

PARTITION TAG EXAMPLES

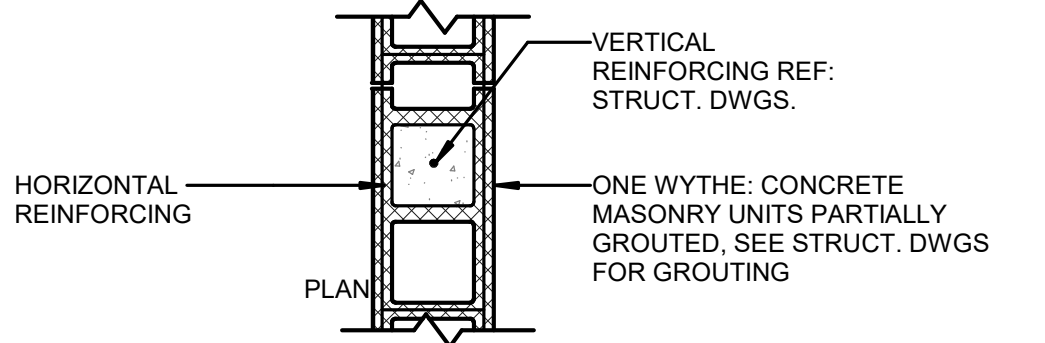
- 3A 3 5/8" METAL STUD, NON-RATED, GWB 6" ABOVE CLG
3AD 3 5/8" METAL STUD, NON-RATED, EXTEND TO DECK ABOVE
3AS 3 5/8" METAL STUD, NON-RATED W/ SOUND ATTENUATION
3A1K 3 5/8" METAL STUD, 1 HOUR RATED SMOKE BARRIER
3A1S 3 5/8" METAL STUD, 1 HOUR RATED FIRE BARRIER W/ SOUND ATTENUATION
3AZS 3 5/8" METAL STUD, NON-RATED, (2) LAYERS OF GWB EACH SIDE W/ SOUND ATTENUATION
3A3 3 5/8" METAL STUD, 3 HOUR RATED FIRE WALL
3A5 3 5/8" METAL STUD, NON RATED SMOKE PARTITION
4S2 4" C-H METAL STUD, 2 HOUR RATED FIRE BARRIER
6MS 6" NOM. CMU W/ ACOUSTIC FILL
8M 8" NOM. CMU, NON-RATED, MIN. COURSING ABOVE CLG
8M3 8" NOM. CMU, 3 HOUR RATED FIRE WALL
12MD 12" NOM. CMU, NON-RATED, EXTEND TO DECK ABOVE



TAG	STUD SIZE	OVERALL THICK	RATING	UL ASSEMBLY	STC	HEAD DETAIL
A3N0	3 5/8"	4 7/8"				

A METAL STUD - ONE LAYER

1" = 1'-0"



TAG	BLOCK SIZE	OVERALL THICK	RATING	UL ASSEMBLY	STC	HEAD DETAIL
M8N0	7-5/8"	7 5/8"				

M CONCRETE MASONRY UNIT (CMU)

1" = 1'-0"



ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444

CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
CONSULTANT 3 ADDRESS
CONSULTANT 3 PHONE



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Kiawah Island Municipal

Complex

Town of Kiawah

4475 Betsy Kerrison Parkway

Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

SHEET NAME:
PARTITION TYPES -
METAL STUD, CMU
AND CONCRETE

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:

A-003

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D

C

B

A

10/6/2021 2:43:51 PM

1

2

3

4

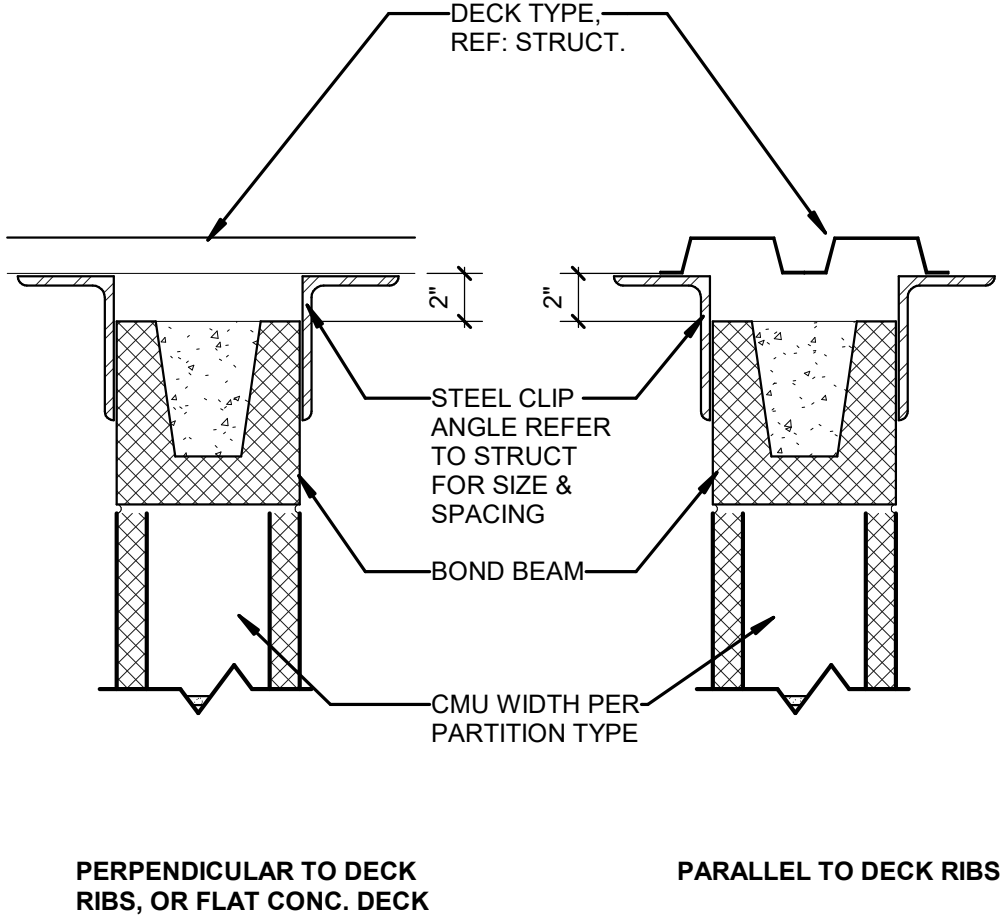
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ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444

CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
CONSULTANT 3 ADDRESS
CONSULTANT 3 ADDRESS
CONSULTANT 3 PHONE



(CMU PARTITION EXPANSION @ DECK)

C5 HEAD TO DECK "2"

1 1/2" = 1'-0"

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Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

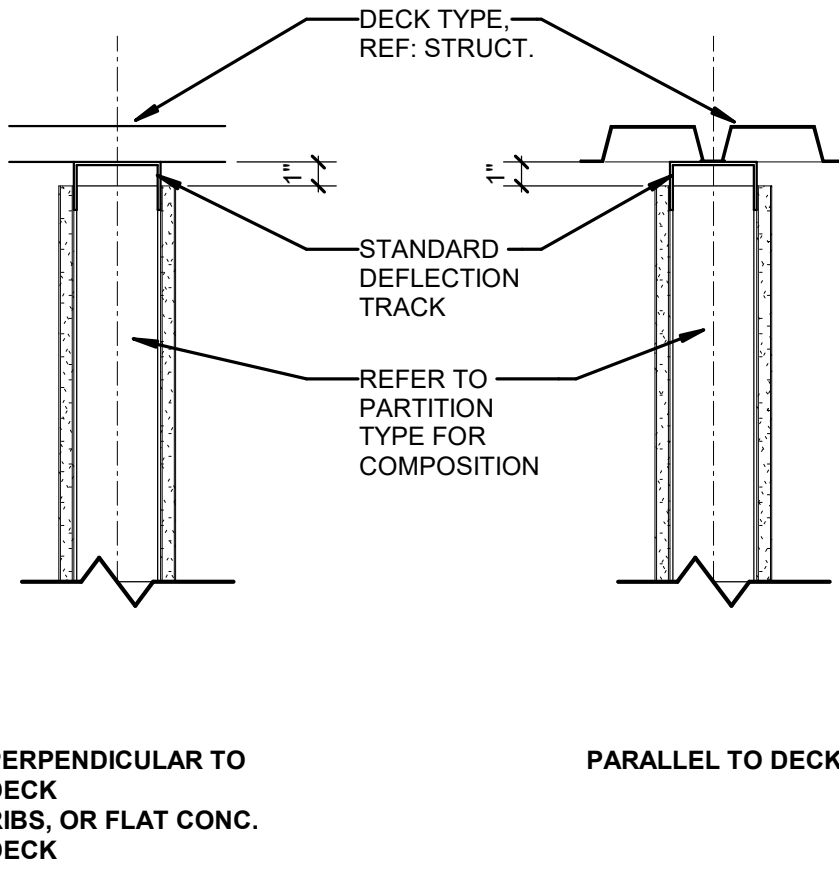
SHEET NAME:
PARTITION DETAILS

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:

A-005

PROGRESS SET



(PARTITION TO DECK)

A5 HEAD TO DECK "1"

1 1/2" = 1'-0"

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D

C

B

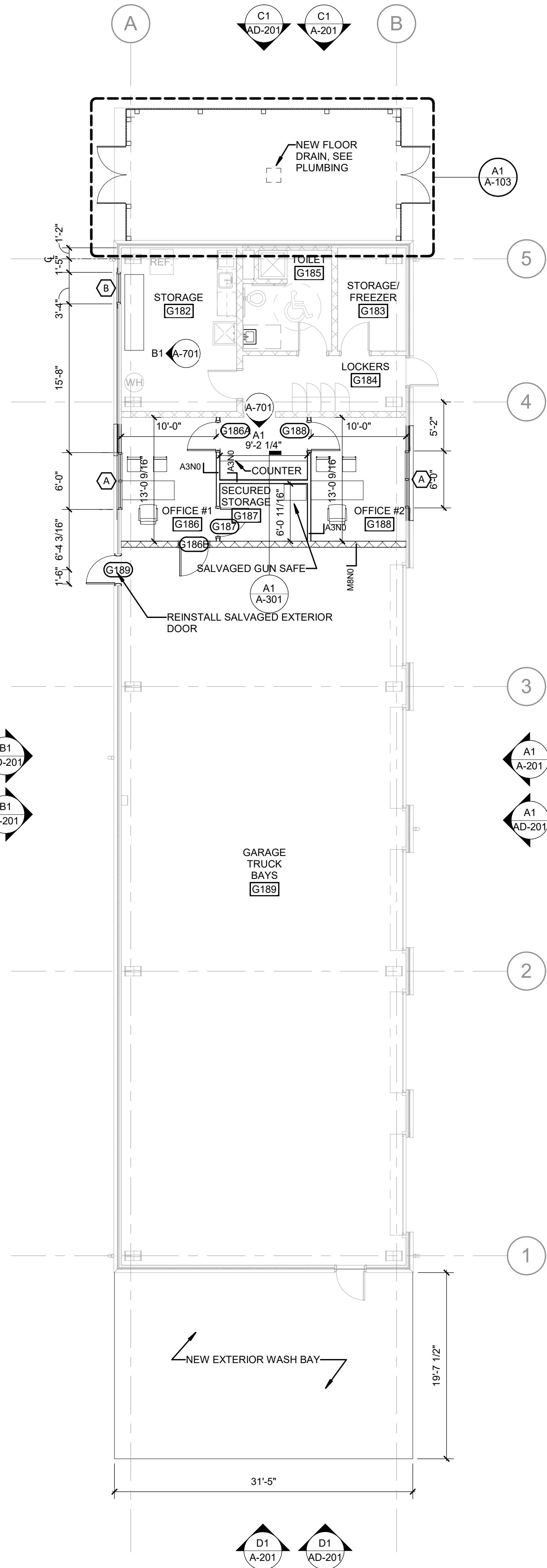
A

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A1

FLOOR PLAN- LEVEL 1

1/8" = 1'-0"



FLOOR PLAN SHEET NOTES

1. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE COURSING, NOT ACTUAL AND ARE TO FACE OF MASONRY.
2. EXTERIOR DIMENSIONS AT STUCCO VENEER ARE TO FACE OF METAL STUD.
3. EXTERIOR DIMENSIONS AT PRECAST ARE TO FACE OF PRECAST
4. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD, FACE OF MASONRY AND CENTERLINES OF COLUMNS, UNO.
5. LOCATE DOOR OPENINGS 4" FROM NEAREST PERPENDICULAR WALL.
6. RATED WALLS/PARTITIONS TO BE CONSTRUCTED TIGHT TO STRUCTURE. ALL PENETRATIONS AND TERMINAL JOINTS ARE TO BE INSTALLED AS SHOWN IN APPLICABLE UL JOINT OR PENETRATION DETAIL.
7. WHERE PARTITIONS OF DIFFERENT FIRE RATINGS INTERSECT, THE HIGHEST RATED PARTITION SHALL CONTINUE THROUGH. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
8. RATED WALLS INTERSECTING EXTERIOR WALLS SHALL EXTEND TO THE INSIDE FACE OF EXTERIOR SHEATHING.
9. INSTALL BLOCKING IN PARTITIONS FOR CASEWORK, WALL MOUNTED EQUIPMENT, TRIM, AND RELATED CONSTRUCTION.
10. SEE LIFE SAFETY PLANS FOR LOCATIONS OF FIRE RATED AND SMOKE WALLS
11. SEE SHEET **A-xxx** FOR CONSTRUCTION SUBSYSTEMS (OR PARTITION SCHEDULE)
12. SEE SHEET **A-xxx** FOR INTERIOR ELEVATIONS, ACCESSORY DESCRIPTIONS & MOUNTING HEIGHTS.
13. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.
14. SEE BUILDING ELEVATION DRAWINGS FOR LOCATION OF EXTERIOR MASONRY CONTROL JOINTS.
15. FIELD VERIFY LOCATION OF INTERIOR WALL & CEILING CONTROL JOINTS REQUIRED IN THE SPECIFICATION WITH ARCHITECT PRIOR TO INSTALLATION.
16. WALLS, INCLUDING GYP. BD. AT PERIMETER OF ROOMS/SPACES WITHOUT CEILINGS, i.e. EXPOSED STRUCTURE, SHALL EXTEND TO STRUCTURE ABOVE.

PARTITION GRAPHICS

GRAPHIC SAMPLE: 1 HOUR RATED CMU FIRE/SMOKE BARRIER:

18M/C

- SEE FILL PATTERN LEGEND FOR FIRE-RESISTANCE RATING
- SEE COLOR LEGEND FOR HEIGHT CONDITION AND FIRE/SMOKE PROTECTION TYPE
- SEE PARTITION TAG AND SCHEDULE FOR COMPLETE PARTITION INFORMATION

FILL PATTERN LEGEND

- 30 MIN-RATED PARTITION
- 1 HOUR-RATED PARTITION
- 2 HOUR-RATED PARTITION
- 3 HOUR-RATED PARTITION
- 4 HOUR-RATED PARTITION

COLOR LEGEND

- NON-RATED PARTITION TO 6" ABOVE CEILING, U.N.O.
- NON-RATED PARTITION TO DECK
- NON-RATED SMOKE PARTITION TO DECK
- RATED SMOKE BARRIER TO DECK
- RATED FIRE PARTITION TO DECK
- RATED FIRE/SMOKE BARRIER TO DECK
- RATED FIRE BARRIER TO DECK
- RATED FIRE WALL TO DECK



ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444

CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
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Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

DATE	DESCRIPTION

SHEET NAME:
FLOOR PLAN-
LEVEL 1

ORIG
SUBMISSION: 10/06/21
CURRENT:

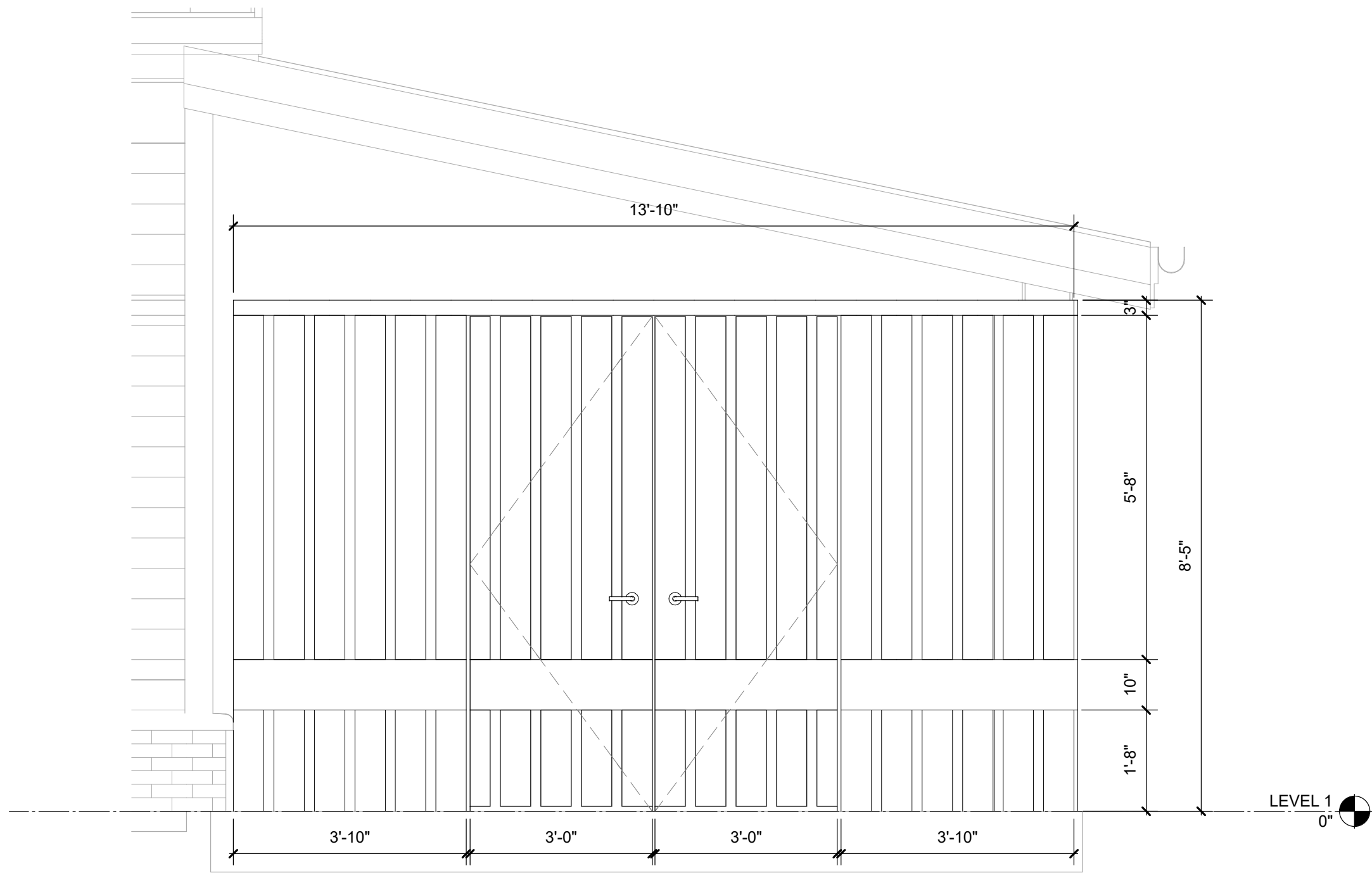
SHEET:
A-101

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D

C

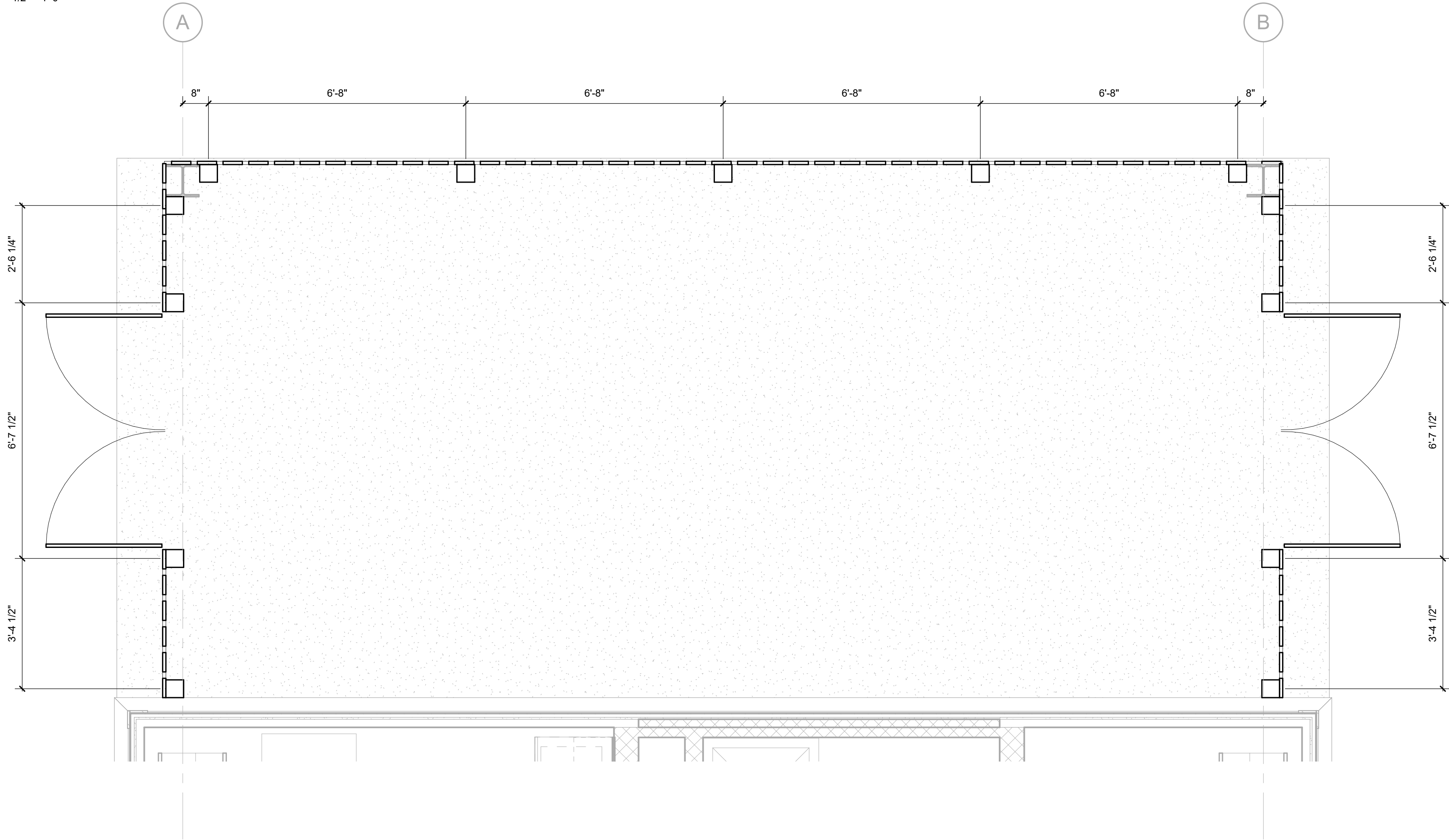


C1 ELEVATION - FENCED SLAB

1/2" = 1'-0"

B

A



A1 FLOOR PLAN - FENCED SLAB

1/2" = 1'-0"

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ARCHITECT
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205 1/2 KING ST
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CONSULTANT 2 ROLE
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CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
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**Kiawah Island Municipal
Complex**
Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
ENCLOSED FENCE

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:
A-103

PROGRESS SET

A-121

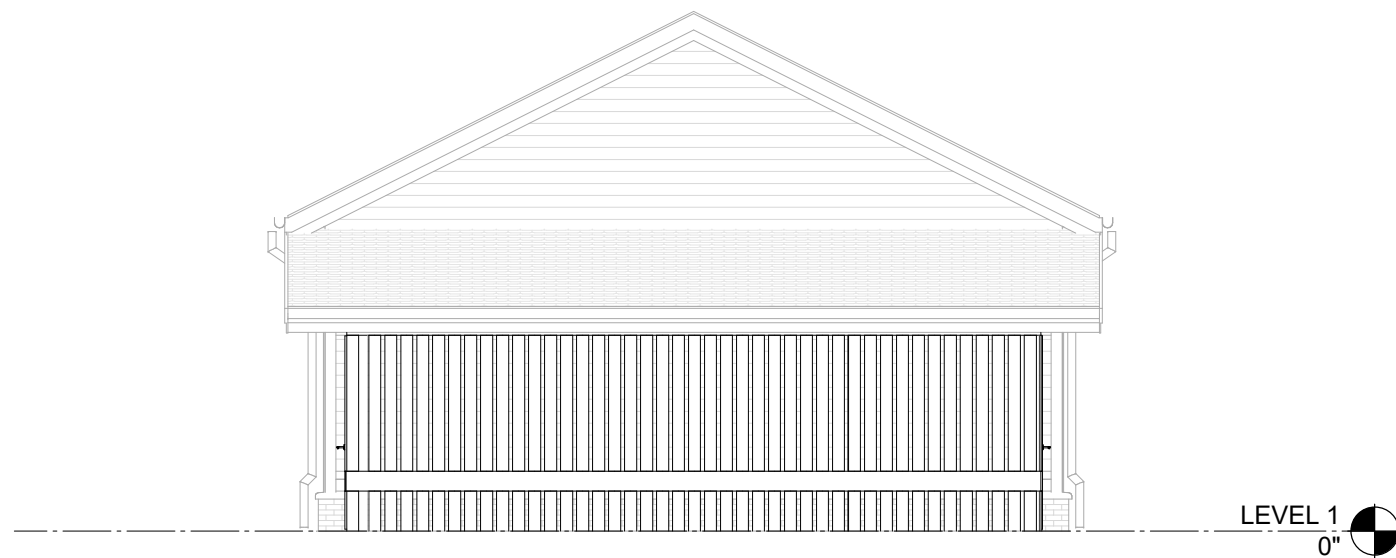
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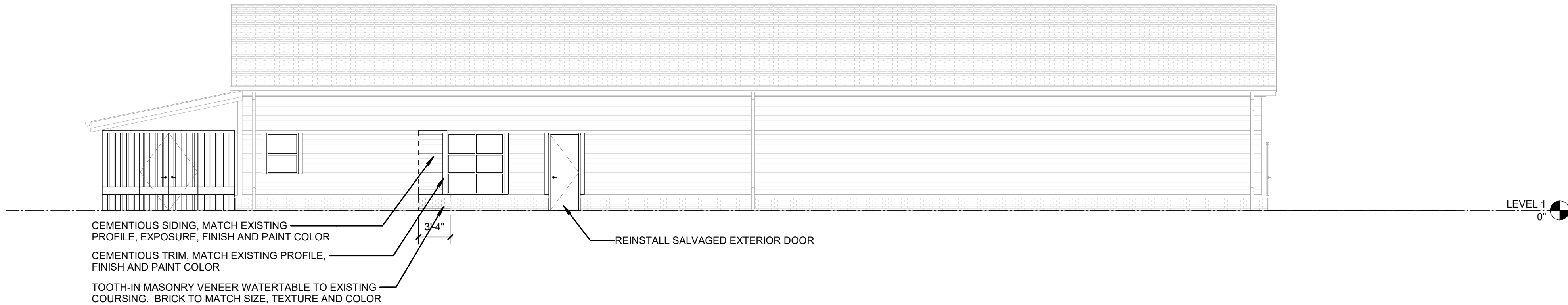
D1 ELEVATION - SOUTH
1/8" = 1'-0"

C



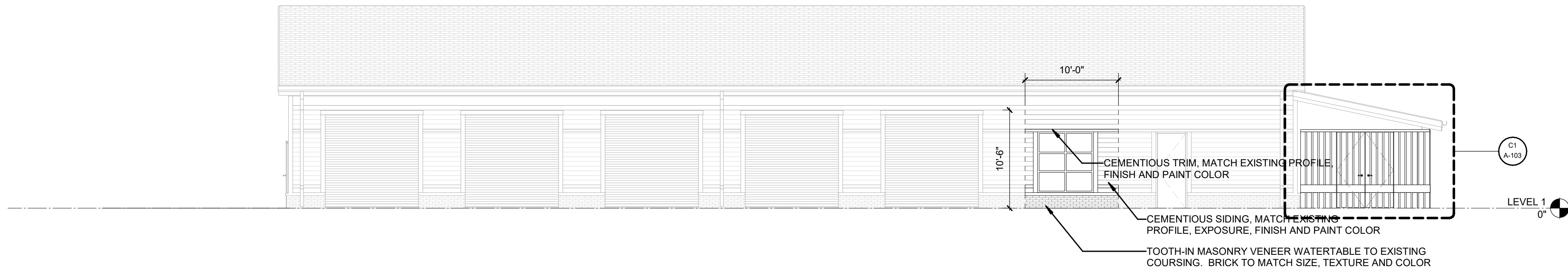
C1 ELEVATION - NORTH
1/8" = 1'-0"

B



B1 ELEVATION - WEST
1/8" = 1'-0"

A



A1 ELEVATION - EAST
1/8" = 1'-0"

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843-577-4444

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CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
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**Kiawah Island Municipal
Complex**
Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
BUILDING
ELEVATIONS

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:
A-201

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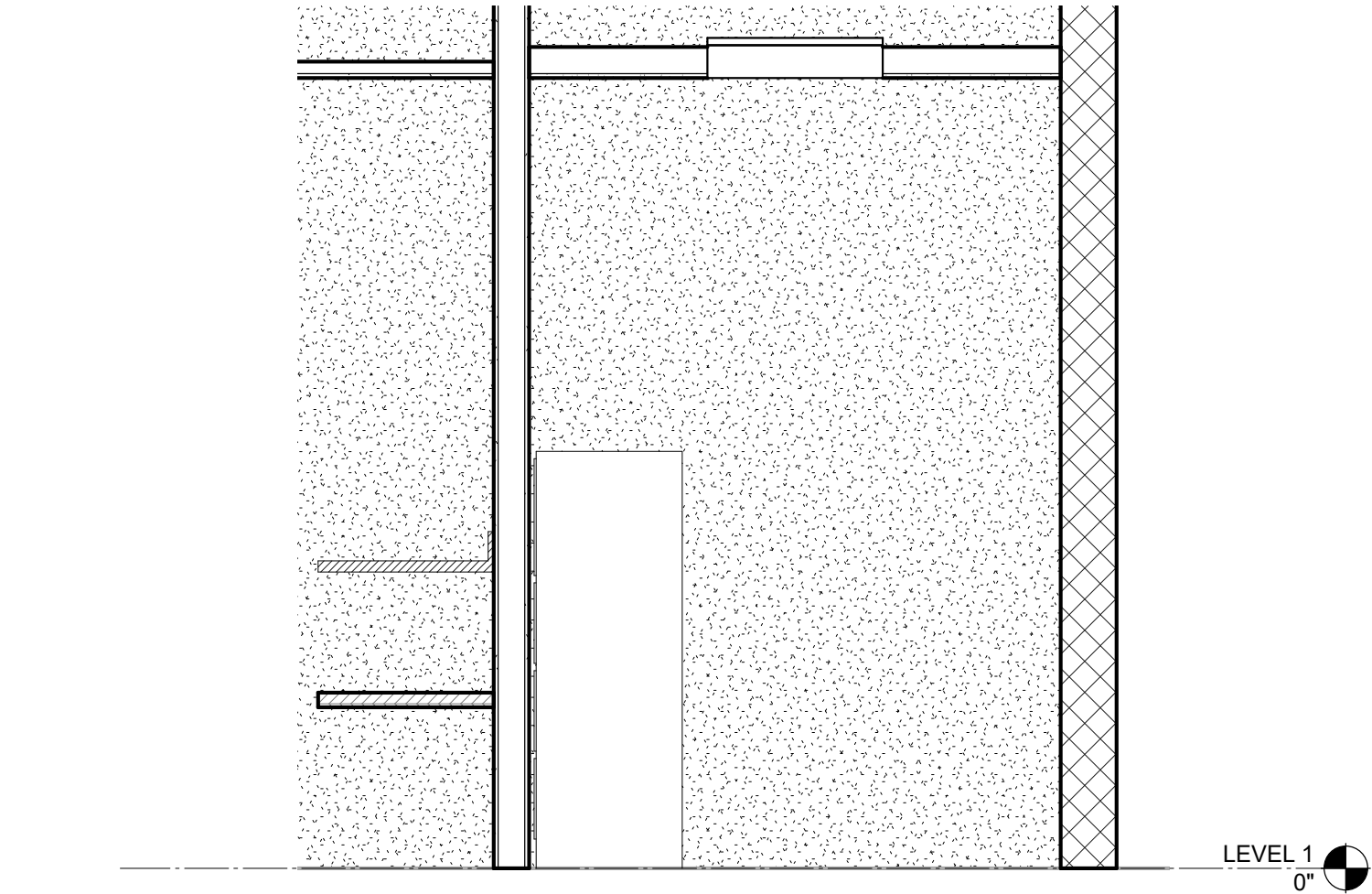
D

C

B

A

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A1 SECTION - SECURED STORAGE
1/2" = 1'-0"

1

2

3

4

5



ARCHITECT
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843-577-4444



CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
CONSULTANT 3 ADDRESS
CONSULTANT 3 ADDRESS
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Kiawah Island Municipal

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Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
BUILDING
SECTIONS

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:
A-301

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ARCH- DOOR SCHEDULE- CORE AND SHELL																						
DOOR		DOOR PANELS											DOOR FRAME									
NUMBER	FIRE RATING (MIN)	PANEL TYPE		PANEL DIMENSIONS		TOTAL OF PANELS		THICKNESS	UNDERCUT	FINISH 1	FINISH 2	TYPE	FACE DIMENSIONS		DEPTH	FINISH 1	FINISH 2	HEAD	JAMB	HW SET	COMMENTS	
		PANEL 2	PANEL 1	WIDTH		HEIGHT	WIDTH						HEIGHT	JAMB WIDTH								HEAD HEIGHT
LEVEL 1																						
EXT1			FENCE DOOR	3'-0"		8'-1 3/4"	3'-0 153/256"	7'-0"	1"	0"	Pine	* Finishes - Exterior - Metal Trim - (USA - Polar White)	FRM-00AL(CW)	0"	0"	1"	Pine	<By Category>				
EXT2			FENCE DOOR	3'-0"		8'-1 3/4"	2'-11 51/64"	7'-0"	1"	0"	Pine	* Finishes - Exterior - Metal Trim - (USA - Polar White)	FRM-00AL(CW)	0"	0"	1"	Pine	<By Category>				
EXT3			FENCE DOOR	3'-0"		8'-1 3/4"	3'-0 153/256"	7'-0"	1"	0"	Pine	* Finishes - Exterior - Metal Trim - (USA - Polar White)	FRM-00AL(CW)	0"	0"	1"	Pine	<By Category>				
EXT4			FENCE DOOR	3'-0"		8'-1 3/4"	2'-11 51/64"	7'-0"	1"	0"	Pine	* Finishes - Exterior - Metal Trim - (USA - Polar White)	FRM-00AL(CW)	0"	0"	1"	Pine	<By Category>				
G186A			PNL-F-WD	3'-0"		7'-0"	3'-0"	7'-0"	1 3/4"	0"	<By Category>	<By Category>	FRM-00HM1	2"	2"	5 3/4"	<By Category>	<By Category>				
G186B			PNL-F-WD	3'-0"		7'-0"	3'-0"	7'-0"	1 3/4"	0"	<By Category>	<By Category>	FRM-00HM1	2"	2"	8 1/2"	<By Category>	<By Category>				
G187			PNL-F-WD	3'-0"		7'-0"	3'-0"	7'-0"	1 3/4"	0"	<By Category>	<By Category>	FRM-00HM1	2"	2"	5 3/4"	<By Category>	<By Category>				
G188			PNL-F-WD	3'-0"		7'-0"	3'-0"	7'-0"	1 3/4"	0"	<By Category>	<By Category>	FRM-00HM1	2"	2"	5 3/4"	<By Category>	<By Category>				
G189			PNL-F-WD	3'-0"		8'-0"	3'-0"	8'-0"	1 3/4"	0"	<By Category>	<By Category>	FRM-00HM1	2"	2"	8 5/8"	<By Category>	<By Category>			SALVAGED EXTERIOR DOOR	



ARCHITECT
LS3P
205 112 KING ST
CHARLESTON, SC
843-577-4444



CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
CONSULTANT 3 ADDRESS
CONSULTANT 3 ADDRESS
CONSULTANT 3 PHONE

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Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

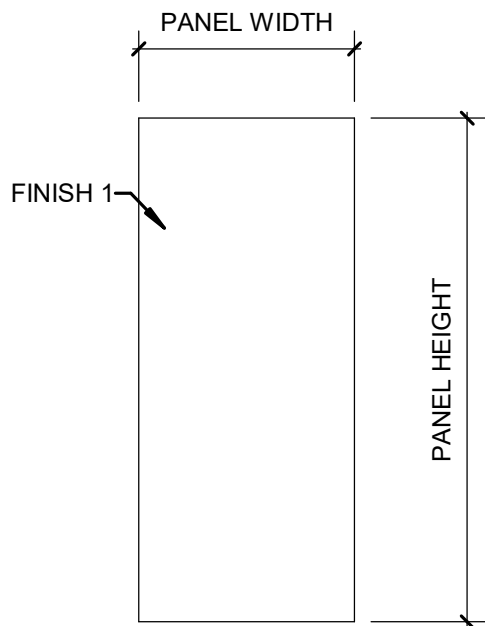
SHEET NAME:
DOOR AND
WINDOW
SCHEDULES

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:

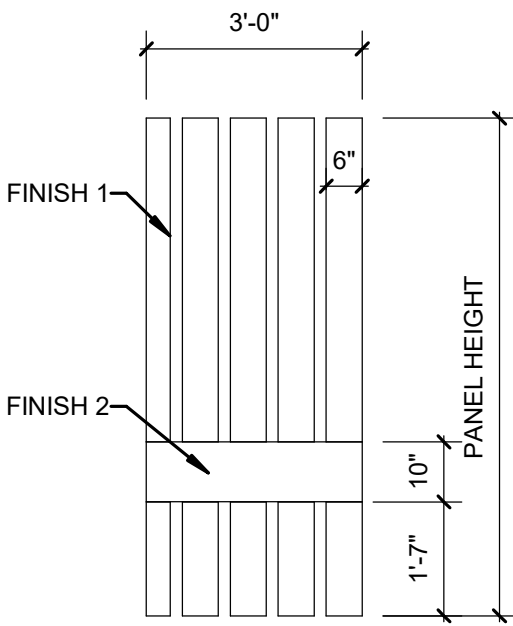
A-601

PROGRESS SET



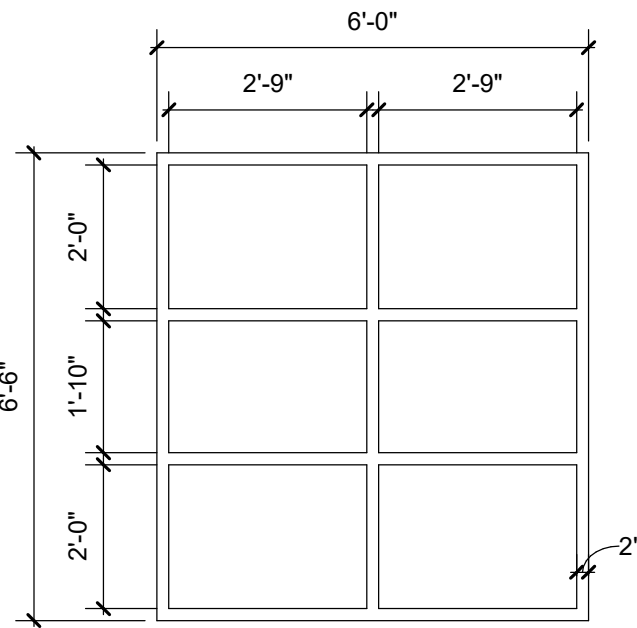
A1 PNL-F-WD
3/8" = 1'-0"

1



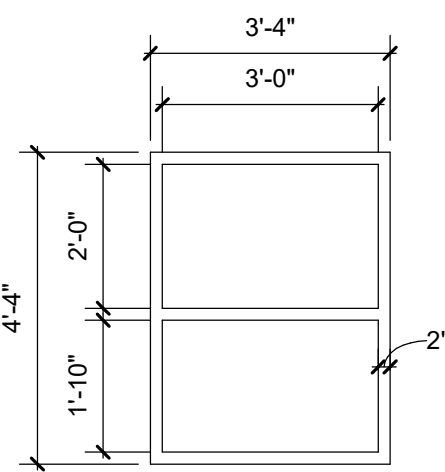
A2 FENCE DOOR
3/8" = 1'-0"

2



A3 WINDOW TYPE A
3/8" = 1'-0"

3



A4 WINDOW TYPE B
3/8" = 1'-0"

4

5

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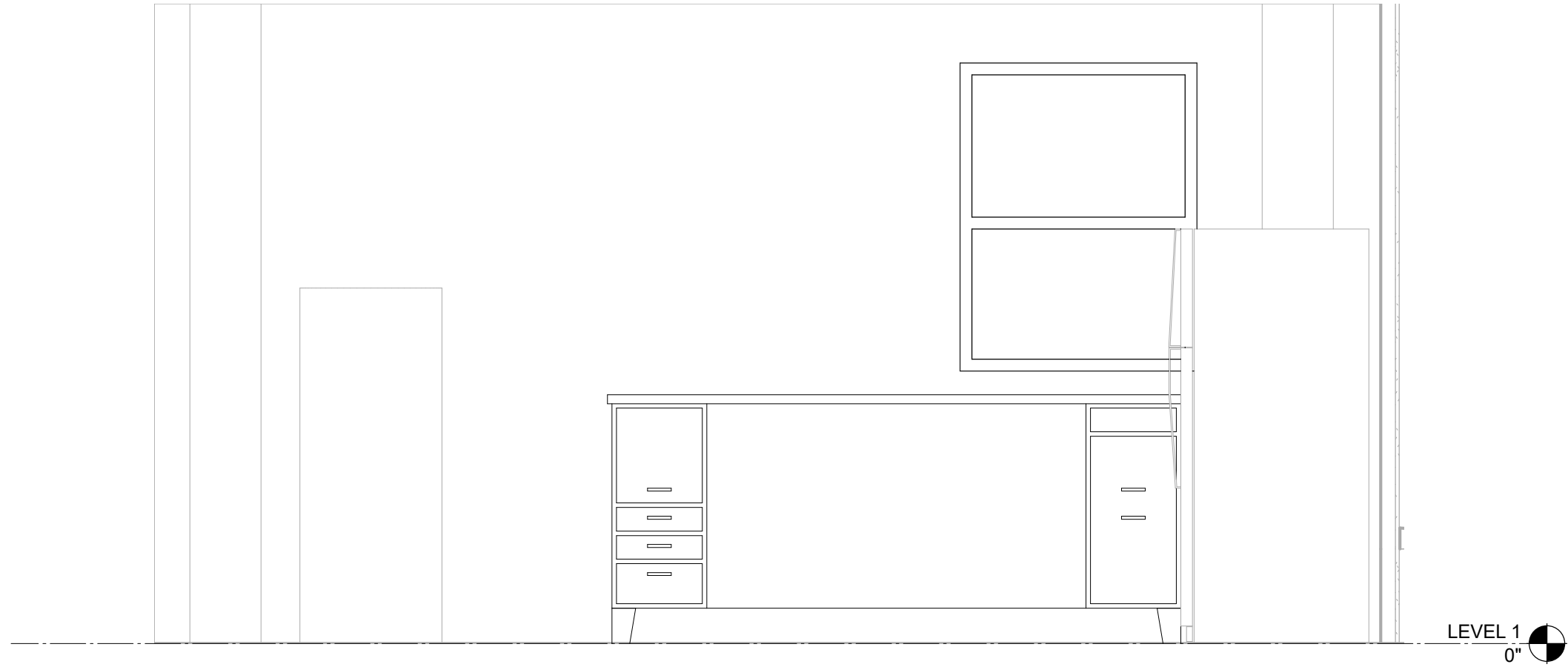
D

C

B

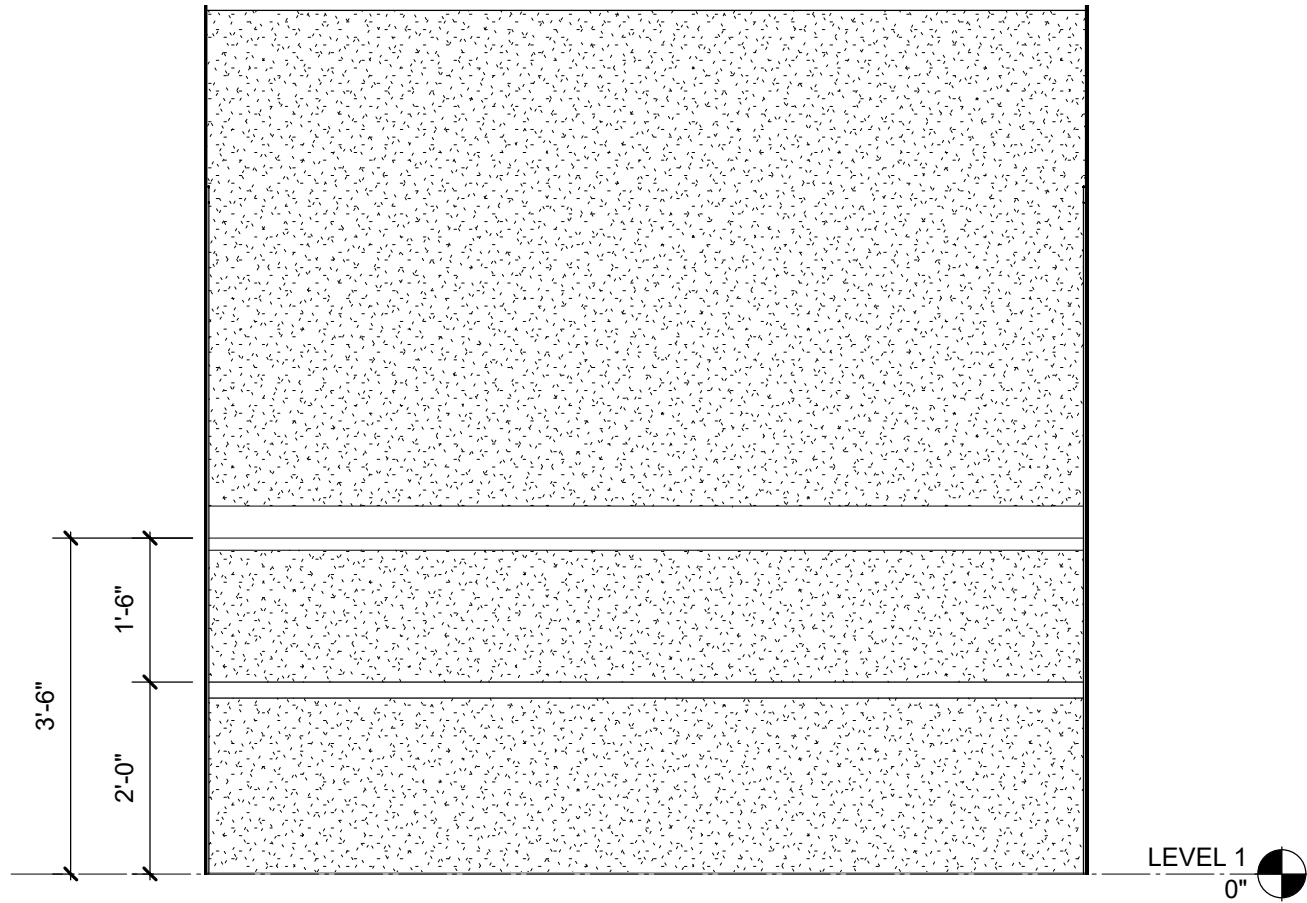
A

10/6/2021 2:44:00 PM



B1 ELEVATION - OFFICE

1/2" = 1'-0"



A1 ELEVATION - FOYER

1/2" = 1'-0"



ARCHITECT
LS3P
205 1/2 KING ST
CHARLESTON, SC
843-577-4444



CONSULTANT 2 ROLE
CONSULTANT 2 FIRM
CONSULTANT 2 ADDRESS
CONSULTANT 2 ADDRESS
CONSULTANT 2 PHONE

CONSULTANT 3 ROLE
CONSULTANT 3 FIRM
CONSULTANT 3 ADDRESS
CONSULTANT 3 ADDRESS
CONSULTANT 3 PHONE

NOT FOR
CONSTRUCTION

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Kiawah Island Municipal

Complex

Town of Kiawah
4475 Betsy Kerrison Parkway
Kiawah Island, SC 29455

LS3P PROJECT:1701-151810

Δ	DATE	DESCRIPTION

SHEET NAME:
INTERIOR
ELEVATIONS

ORIG
SUBMISSION: 10/06/21
CURRENT:

SHEET:

A-701

PROGRESS SET