



CITY COUNCIL MEETING NOTICE
TUESDAY SEPTEMBER 28th, 2021 6:00 P.M.

CITY COUNCIL CHAMBERS

AGENDA

1. ROLL CALL

2. APPROVE AGENDA AS PRESENTED AND/OR AMENDED

3. PRESENTATION/RECOGNITION

- a) William D. Hatfield Award-Iowa Water Environment Association to Public Works Director Jeff Peterson

4. PUBLIC COMMENT (5 MINUTE TIME LIMIT FOR ITEMS NOT ON THIS AGENDA)

5. PUBLIC HEARINGS

- a) Public hearing on proposal to Enter into a Water Revenue Improvement and Refunding Loan Agreement
 - i. Mayor Opens Public Hearing
 - ii. Discussion
 - iii. Motion to Close Public Hearing
- b) Public hearing on the Meadow Lane Investments, LLC Annexation
 - i. Mayor Opens Public Hearing
 - ii. Discussion
 - iii. Motion to Close Public Hearing

6. CONSENT AGENDA – *These are routine business items and will be acted upon by one Roll Call Vote without separate discussion unless a Councilmember or citizen requests an item to be removed or considered separately.*

- a) Approve Minutes from the September 14, 2021, Regular Meeting
- b) Approve Payment of Bills
- c) Approve Resolution No. 21-088 Set Public Hearing for Rezoning of Property for Meadow Lane Investments, LLC
- d) Motion to Approve Purchase of Tree Spade by the Parks & Recreation Department
- e) Motion to Approve Hannah Hawkins for 6 Month Probationary Membership with Huxley Fire & Rescue Department

7. BUSINESS ITEMS

- a) Approve Resolution No. 21-084 Awarding Contract for the Water Treatment Plant Improvements Project and fixing the amount of performance and/or payment bonds
- b) Approve Resolution No. 21-086 Awarding contract for the Water System Improvements-Shallow Well No. 7 Project and fixing the amount of performance and/or payment bonds
- c) Approve Resolution No. 21- 089 Taking Additional Action on Proposal to Enter into a Water Revenue Improvement and Refunding Loan Agreement
- d) First Reading of Ordinance No. 519 on Hard Surface Paving
- e) Approve Resolution No.21-090 for Hale Trailer Site Plan

- f) Approve Resolution No. 21-091 for Huxley Communications Site Plan
- g) Approve Resolution No. 21- 092 FY 2022 Capital Improvement Plan (CIP)
- h) Approve Resolution No. 21-093 Meadow Lane Investments, LLC Annexation
- i) First Reading of Ordinance No. 520 Parking Regulations

8. INFORMATIONAL ITEMS

- a) 32701 560th Avenue Huxley Utility Services and Annexation Update- Tim and Nicole Elliott
- b) Accessory Building Addition Size for 112 Cedar Lane- Jay Johnson
- c) Report on Planning & Zoning Commission Fence Height Review
- d) Report on Community Connectivity Public Input Process
- e) Ballard Plaza Rehabilitation Update

9. CITY ADMINISTRATOR AND DIRECTOR REPORTS

10. MAYOR AND COUNCIL REPORTS

11. ADJOURNMENT

UPCOMING WORK SESSION TOPICS/REGULAR AGENDA ITEMS

Final Report August 2020 Derecho (Oct 5th)
Growth and Annexation Evaluation (Oct 5th)
Space Needs Analysis/Comprehensive Plan (Oct 5th)
FY 2023 Budget
Other Topics of Interest to Mayor and Council

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Council agendas are available to the public at the City Clerk's Office on Monday morning preceding Tuesday's council meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

September 21, 2021

Via Email

Rita Conner
City Administrator/City Hall
Huxley, Iowa

Re: Water Revenue Improvement and Refunding Loan Agreement
Our File No. 419996-62

Dear Rita:

We have prepared and attach proceedings related to the action to be taken on the City's Water Revenue Improvement and Refunding Loan Agreement (the "Loan Agreement") at the September 28th City Council meeting.

The proceedings attached include the following items:

1. Minutes of the meeting covering the public hearing, followed by the resolution taking additional action in connection with the Loan Agreement. This resolution sets forth the City Council's determination to enter into the Loan Agreement in the future, and its adoption constitutes the "additional action" required by the Iowa Code.
2. Attestation Certificate with respect to the validity of the transcript.

On September 28th the City Council should meet as scheduled, hold the hearing on its intention to enter into the Loan Agreement and adopt the attached resolution. The minutes as drafted assume that no objections will be filed or made.

As soon as possible after the City Council meeting, please return one fully executed copy of all of the completed pages in these proceedings. If you have any questions, please contact Erin Regan, Cheryl Ritter or me.

Best regards,

John Danos

Attachments

cc: Jolene Lettow
Chip Schultz

RESOLUTION NO. 21-089

Resolution taking additional action on proposal to enter into a Water Revenue Improvement and Refunding Loan Agreement

WHEREAS, the City of Huxley (the “City”), in Story County, State of Iowa, did heretofore establish a Municipal Waterworks Utility System (the “Utility”) in and for the City which has continuously supplied water service in and to the City and its inhabitants since its establishment; and

WHEREAS, the management and control of the Utility are vested in the City Council (the “Council”) and no board of trustees exists for this purpose; and

WHEREAS, pursuant to a prior resolution of the Council (the “Series 2013B Bond Resolution”), the City has heretofore issued its Water Revenue Refunding Bonds, Series 2013B, dated April 30, 2013 (the “Series 2013B Bonds”) in the aggregate principal amount of \$985,000, a portion of which remain outstanding, maturing on June 1 in the year, and in such amount, and bearing interest at such rate as follows:

<u>Date</u>	<u>Principal</u>	<u>Interest Rate</u>
2022	\$115,000	2.00%

; and

WHEREAS, pursuant to the Series 2013B Bond Resolution, the City reserved the right to call the Series 2013B Bonds maturing in the year 2022 (the “Callable Series 2013B Bonds”) for optional early redemption on June 1, 2019, or on any date thereafter on terms of par and accrued interest; and

WHEREAS, the City heretofore proposed to enter into a loan agreement (the “Loan Agreement”), pursuant to the provisions of Section 384.24A of the Code of Iowa, and to borrow money thereunder in a principal amount not to exceed \$7,425,000 for the purpose of paying the costs, to that extent, of (1) planning, designing and constructing improvements and extensions to the Utility; and (2) current refunding the Callable Series 2013B Bonds; and pursuant to law and duly published noticed published notice of the proposed action has held a hearing thereon on September 28, 2021;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. The City Council hereby determines to enter into the Loan Agreement in the future and orders that Water Revenue bonds or notes be issued at such time, in evidence thereof. The City Council further declares that this resolution constitutes the “additional action” required by Section 384.24A of the Code of Iowa.

Section 2. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section 3. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved September 28, 2021.

Mayor

Attest:

City Clerk

• • • •

On motion and vote, the meeting adjourned.

Mayor

Attest:

City Clerk

ATTESTATION CERTIFICATE

STATE OF IOWA
COUNTY OF STORY
CITY OF HUXLEY

SS:

I, the undersigned, City Clerk of the City of Huxley, do hereby certify that attached hereto is a true and correct copy of the proceedings of the City Council relating to the public hearing and additional action on the City Council's intention of entering into a certain loan agreement in the future.

WITNESS MY HAND this _____ day of _____, 2021.

City Clerk

MINUTES FOR HEARING AND
ADDITIONAL ACTION ON ENTERING
INTO A LOAN AGREEMENT

419996-62

Huxley, Iowa

September 28, 2021

The City Council of the City of Huxley, Iowa, met on September 28, 2021, at 6:00 p.m., in the Council Chambers at City Hall, Huxley, Iowa.

The meeting was called to order by the Mayor, and the roll being called, the following named Council Members were present and absent:

Present: _____

Absent: _____.

This being the time and place specified for taking action on the proposal to enter into a loan agreement and to borrow money thereunder in a principal amount not to exceed \$7,425,000, the City Clerk announced that no written objections had been placed on file. Whereupon, the Mayor called for any written or oral objections, and there being none, the Mayor declared the public hearing closed.

After due consideration and discussion, Council Member _____ introduced the resolution next hereinafter set out and moved its adoption, seconded by Council Member _____. The Mayor put the question upon the adoption of said resolution, and the roll being called, the following Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted as hereinafter set out.

City of Huxley, Iowa



Water Treatment Plant Expansion, Well & Ground Storage Projects

Review of Financing Considerations After Receipt of Construction Bids on Sept. 9, 2021

Scenario A: Assumes \$0 American Rescue Plan Contribution

Scenario B: Assumes \$600,000 American Rescue Plan Contribution

Council Meeting Date: September 14, 2021



Chip Schultz

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**Water Treatment Plant Expansion, Well
& Ground Storage Projects**

**SCENARIO A:
Assumes \$0 Contribution from American Rescue Plan Dollars**

Water Treatment Plant Expansion and Well No. 7 Funding Review
Prepared Based on Construction Bids Received on September 9, 2021

SCENARIO A: Assumes \$0 Contribution from American Rescue Plan Dollars
PRELIMINARY DRAFT; SUBJECT TO CITY COUNCIL, MAYOR & CITY STAFF REVIEW

Sources of Funds		
Water Revenue Bonds [1]	\$6,890,000	Net Water Revenue Bond Proceeds
General Obligation (GO) Bonds	5,291,661	
GO Bonds - Premium	804,653	Original Issue Premium (No Impact on Debt Cap.)
Subtotal - GO Proceeds	6,096,314	Net G.O. Bond Proceeds [Row 20 + 21]
Subtotal - Water & GO	12,986,314	
American Rescue Plan \$	\$0	Subject to Review
TOTAL SOURCES	\$12,986,314	

[1] Water Revenue Bonds are currently estimated to reflect approximately \$200,000 in original issue premium, which is accounted for in above Sources.

PART 3. WATER REVENUE BONDS - Financing-Related Considerations

Summary: Reflects Water Revenue Bond Funding as Provided by, or Planned for, Under Already-Adopted User Rates (in May & June 2021)

- A. Maintain Planned Approach to Water Revenue Bond Issue, Including Net Bond Proceeds of Approximately \$6,890,000 (for Constr./Equip./Engin.)**
- B. Water Utility User Rates Adopted in May and June 2021 (Already Adopted) Will Fund Water Revenue Debt Service.**
- C. No Additional Adjustments in Water User Rates Will be Needed.**
- D. Refunding of Series 2013B Water Revenue Bonds Allows Establishment of Stronger Bond Covenants, Which Better Positions City for First-Ever Bond Rating.**

CITY OF HUXLEY, IOWA

Review of Constitutional / Legal Debt Limit 5% of Actual [100%] Valuation
Relating to General Obligation Debt and TIF Obligations

Date Prepared: 9/14/2021

Scenario A: Includes Existing Debt and \$5,385,000 Par Amount of G.O. Bonds for Water Plant Project
Assumes \$0 from American Rescue Plan Funds

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U		
[Refund on 6/1/2022]															----- [Preliminary] -----		PRELIMINARY DRAFT; SUBJECT TO CHANGE					
Assumed Growth: 5.00%			Original Amount		\$500,000	[1] \$3,720,000	[2] \$4,590,000	\$70,000	\$3,315,000	\$360,000	[2] \$6,855,000	\$3,695,000	\$2,250,000	[to update]	Assumed Amount for Water Plant							
Legal Debt Capacity Review		100% VALUATION and LEGAL DEBT LIMIT		DEBT OBLIGATIONS SUBJECT TO LEGAL DEBT LIMIT													Obligated and Available Legal Debt Limit					
				General Obligation and TIF Debt																		
				Ann. App.				Ann. App.														
Fiscal Year	Valuation Year	100% or Actual Valuation	Legal Debt Limit (5% of Val.)	2003 GO Water Impvts.	2012A GO Ref. 2009 Sewer	2013A Refund 2006C	2015 Note Vehicle Acquisition	2016A GO Ref '10C & '10D	2016 Note Emer. Veh. Acquisition	2017A GO Refund '09A & '10D	2019A GO Kum & Go Ref. '12	2020A GO 560th, HOI Tr., E 1st	TIF Rebate Obligations	PROPOSED DEBT 2022A GO	20__ GO	Amount of Legal Limit Obligated	Percent of Legal Limit Obligated	Available Legal Debt Limit	Percent of Legal Limit Available			
		5.00%																				
	FY 2017-18	1/1/2016	253,336,171	12,666,809	189,000	2,860,000	545,000	43,500	3,315,000	290,000	845,000	-	-	1,217,635	-	9,305,135	73.5%	3,361,674	26.5%			
	FY 2018-19	1/1/2017	287,586,104	14,379,305	160,000	2,685,000	550,000	29,500	3,315,000	258,000	875,000	-	-	1,320,870	-	9,193,370	63.9%	5,185,935	36.1%			
	FY 2019-20	1/1/2018	303,933,996	15,196,700	130,000		575,000	15,000	3,065,000	225,000	900,000	3,695,000	2,250,000	1,614,452	-	12,469,452	82.1%	2,727,248	17.9%			
	FY 2020-21	1/1/2019	345,656,844	17,282,842	99,000		495,000	-	2,810,000	191,000	665,000	3,490,000	2,250,000	1,540,370	-	11,540,370	66.8%	5,742,472	33.2%			
1	FY 2021-22	1/1/2020	367,080,894	18,354,045	67,000		-	-	2,545,000	155,000	805,000	3,305,000	1,930,000	1,500,000	5,385,000	15,692,000	85.5%	2,662,045	14.5%			
2	FY 2022-23	1/1/2021	385,434,939	19,271,747	34,000		-	-	1,915,000	118,000	820,000	2,980,000	1,655,000	1,500,000	5,385,000	14,407,000	74.8%	4,864,747	25.2%			
3	FY 2023-24	1/1/2022	404,706,686	20,235,334	-		-	-	1,265,000	80,000	835,000	2,640,000	1,485,000	1,500,000	4,970,000	12,775,000	63.1%	7,460,334	36.9%			
4	FY 2024-25	1/1/2023	424,942,020	21,247,101	-		-	-	590,000	41,000	295,000	2,295,000	1,310,000	1,500,000	4,445,000	10,476,000	49.3%	10,771,101	50.7%			
5	FY 2025-26	1/1/2024	446,189,121	22,309,456	-		-	-	295,000	-	-	1,945,000	1,135,000	1,500,000	3,895,000	8,770,000	39.3%	13,539,456	60.7%			
6	FY 2026-27	1/1/2025	468,498,577	23,424,929	-		-	-	-	-	-	1,585,000	955,000	1,500,000	3,315,000	7,355,000	31.4%	16,069,929	68.6%			
7	FY 2027-28	1/1/2026	491,923,506	24,596,175	-		-	-	-	-	-	1,220,000	770,000	1,500,000	2,710,000	6,200,000	25.2%	18,396,175	74.8%			
8	FY 2028-29	1/1/2027	516,519,681	25,825,984	-		-	-	-	-	-	850,000	580,000	1,500,000	2,070,000	5,000,000	19.4%	20,825,984	80.6%			
9	FY 2029-30	1/1/2028	542,345,665	27,117,283	-		-	-	-	-	-	470,000	390,000	1,500,000	1,400,000	3,760,000	13.9%	23,357,283	86.1%			
10	FY 2030-31	1/1/2029	569,462,948	28,473,147	-		-	-	-	-	-	240,000	195,000	1,500,000	710,000	2,645,000	9.3%	25,828,147	90.7%			
11	FY 2031-32	1/1/2030	597,936,096	29,896,805	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	5.0%	28,396,805	95.0%			
12	FY 2032-33	1/1/2031	627,832,901	31,391,645	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	4.8%	29,891,645	95.2%			
13	FY 2033-34	1/1/2032	659,224,546	32,961,227	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	4.6%	31,461,227	95.4%			
14	FY 2034-35	1/1/2033	692,185,773	34,609,289	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	4.3%	33,109,289	95.7%			
15	FY 2035-36	1/1/2034	726,795,062	36,339,753	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	4.1%	34,839,753	95.9%			
16	FY 2036-37	1/1/2035	763,134,815	38,156,741	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	3.9%	36,656,741	96.1%			
17	FY 2037-38	1/1/2036	801,291,555	40,064,578	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	3.7%	38,564,578	96.3%			
18	FY 2038-39	1/1/2037	841,356,133	42,067,807	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	3.6%	40,567,807	96.4%			
19	FY 2039-40	1/1/2038	883,423,940	44,171,197	-		-	-	-	-	-	-	-	1,500,000	-	1,500,000	3.4%	42,671,197	96.6%			
20	FY 2040-41	1/1/2039	927,595,137	46,379,757	-		-	-	-	-	-	-	-	-	-	-	0.0%	46,379,757	100.0%			

[1] 2020 to 2031 maturities of 2012 Bonds refunded by the 2019A Bonds on 10/29/2019.

[2] Payments on Annual Appropriation Bonds count in the year in which the debt is certified [i.e., June 1, 2022 payment is certified in FY 2020-21]

[TIF Rebate amounts are estimated]

Historic 100% or Actual Valuation Growth				
Fiscal Year	Valuation Year	100% Valuation	\$ Growth (over prior yr.)	% Growth (over prior yr.)
	FY 2014-15	1/1/2013	213,458,295	
1	FY 2015-16	1/1/2014	225,112,026	11,653,731
2	FY 2016-17	1/1/2015	240,639,287	15,527,261
3	FY 2017-18	1/1/2016	253,336,171	12,696,884
4	FY 2018-19	1/1/2017	287,586,104	34,249,933
5	FY 2019-20	1/1/2018	303,933,996	16,347,892
6	FY 2020-21	1/1/2019	345,656,844	41,722,848
7	FY 2021-22	1/1/2020	367,080,894	21,424,050
	FY 2022-23	1/1/2021		

Average: 8.11%

Scenario A: Assumes \$0 Contribution from American Rescue Plan; Sizing of General Obligation Bonds and Original Issue Premium

Dated Date	01/12/2022		
Delivery Date	01/12/2022		
	Water Treatment Plant - Paid by TIF or \$3.75 Levy	Current Refund 2016 GO due 2022 to 2026	Total
Sources:			
Bond Proceeds:			
Par Amount	5,385,000.00	2,375,000.00	7,760,000.00
Premium	804,652.50	209,269.40	1,013,921.90
	6,189,652.50	2,584,269.40	8,773,921.90
Uses:			
Project Fund Deposits:			
Water Treatment Plant Project Fund	6,096,314.00		6,096,314.00
Refunding Escrow Deposits:			
Cash Deposit		2,545,000.00	2,545,000.00
Delivery Date Expenses:			
Cost of Issuance	92,120.00	38,500.00	130,620.00
Other Uses of Funds:			
Rounding / Contingency	1,218.50	769.40	1,987.90
	6,189,652.50	2,584,269.40	8,773,921.90

GENERAL OBLIGATION BONDS

Sources and Uses of Funds

←
Purpose: Review how bond issue par amount (principal) is arrived at.

BOND PRICING REPORT (New Money Portion)

Purpose: Demonstrates how original issue premium is generated.

BOND PRICING											
CITY OF HUXLEY, IOWA (General Obligation) Water Treatment Plant - Paid by TIF or \$3.75 Levy											
Bond Component	Maturity Date	Amount	Rate	Yield	Price	Yield to Maturity	Call Date	Call Price	Call Date for Arb Yield	Call Price for Arb Yield	Premium (-Discount)
Serial Bond:											
	06/01/2023	415,000	5.000%	0.350%	106.423						26,655.45
	06/01/2024	525,000	5.000%	0.400%	110.912						57,288.00
	06/01/2025	550,000	5.000%	0.500%	115.089						82,989.50
	06/01/2026	580,000	5.000%	0.650%	118.779						108,918.20
	06/01/2027	605,000	5.000%	0.800%	122.097						133,686.85
	06/01/2028	640,000	5.000%	0.950%	125.036						160,230.40
	06/01/2029	670,000	3.000%	1.050%	112.013 C	1.290%	06/01/2028	100.000	06/01/2028	100.000	80,487.10
	06/01/2030	690,000	3.000%	1.150%	111.358 C	1.550%	06/01/2028	100.000	06/01/2028	100.000	78,370.20
	06/01/2031	710,000	3.000%	1.250%	110.708 C	1.757%	06/01/2028	100.000	06/01/2028	100.000	76,026.80
		5,385,000									804,652.50

PRELIMINARY; SUBJECT TO REVIEW. Reflects current estimated yields plus 0.10% (10 basis points)





**Water Treatment Plant Expansion, Well
& Ground Storage Projects**

SCENARIO B:

Assumes \$600,000 Contribution from American Rescue Plan Dollars

Water Treatment Plant Expansion and Well No. 7 Funding Review
Prepared Based on Construction Bids Received on September 9, 2021

SCENARIO B: Assumes \$600,000 Contribution from American Rescue Plan Dollars
PRELIMINARY DRAFT; SUBJECT TO CITY COUNCIL, MAYOR & CITY STAFF REVIEW

PART 2. GENERAL OBLIGATION BONDS - Financing-Related Considerations

Summary: Reflects Funding Water Project Costs (in Part 1) Which Remain After Planned Funding from Water Revenue Bonds [\$600,000 American Res. Pl.]

A. Assumes Approximately \$5,496,300 of Water Project Funding From General Obligation Bonds, Including an Estimated \$725,948 of Original Issue Premium (OIP). Premium Does Not Count against City's Legal Debt Capacity.

B. At Time of Issuance, City Would be Utilizing Approximately 82.6% of its Legal Debt Capacity, from Late November 2021 to June 1, 2022 (~6 months).

C. Effective July 1, 2022, City Would be at Approximately 72% of Legal Debt Capacity. At July 1, 2023, 60.7% of Legal Debt Capacity.

D. General Obligation Bonds for Water Projects are Assumed to be Paid by TIF and Potentially Within (under) \$3.75 Debt Service Levy.

E. \$725,948 of Premium Saves Approximately 4% of Debt Capacity.

PART 3. WATER REVENUE BONDS - Financing-Related Considerations

Summary: Reflects Water Revenue Bond Funding as Provided by, or Planned for, Under Already-Adopted User Rates (in May & June 2021)

- A. Maintain Planned Approach to Water Revenue Bond Issue, Including Net Bond Proceeds of Approximately \$6,890,000 (for Constr./Equip./Engin.)**
- B. Water Utility User Rates Adopted in May and June 2021 (Already Adopted) Will Fund Water Revenue Debt Service.**
- C. No Additional Adjustments in Water User Rates Will be Needed.**
- D. Refunding of Series 2013B Water Revenue Bonds Allows Establishment of Stronger Bond Covenants, Which Better Positions City for First-Ever Bond Rating.**

[1] Water Revenue Bonds are currently estimated to reflect approximately \$200,000 in original issue premium, which is accounted for in above Sources.

A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U																							
[Refund on 6/1/2022]															----- [Preliminary] -----		PRELIMINARY DRAFT; SUBJECT TO CHANGE																										
[to be refunded]															[to update]		Assumed Amount for Water Plant																										
Assumed Growth: 5.00%				Original Amount		\$500,000	\$3,720,000	\$4,590,000	\$70,000	\$3,315,000	\$360,000	\$6,855,000	\$3,695,000	\$2,250,000	\$4,860,000																												
Legal Debt Capacity Review		100% VALUATION and LEGAL DEBT LIMIT		DEBT OBLIGATIONS SUBJECT TO LEGAL DEBT LIMIT												Obligated and Available Legal Debt Limit																											
				General Obligation and TIF Debt																																							
				Ann. App.												Ann. App.																											
				2003 GO		2012A GO		2013A		2015 Note		2016A		2016 Note		2017A GO		2019A GO		2020A GO		TIF Rebate		PROPOSED DEBT																			
				Water		Ref. 2009		Refund		Vehicle		GO Ref		Emer. Veh.		Refund		Kum & Go		560th, HOI		TIF Rebate		2022A		20__																	
				Impvts.		Sewer		2006C		Acquisition		'10C & '10D		Acquisition		'09A & '10D		Ref. '12		Tr., E 1st		Obligations		GO		GO		Legal Limit		Percent of Legal Limit		Available Legal Debt Limit											
				Valuation		5% of Val.)		Impvts.		Sewer		2006C		Acquisition		'10C & '10D		Acquisition		'09A & '10D		Ref. '12		Tr., E 1st		Obligations		GO		GO		Obligated		Obligated		Limit		Available					
				5.00%																																							
				FY 2017-18		1/1/2016		253,336,171		12,666,809		189,000		2,860,000		545,000		43,500		3,315,000		290,000		845,000		-		-		1,217,635		-		9,305,135		73.5%		3,361,674		26.5%			
				FY 2018-19		1/1/2017		287,586,104		14,379,305		160,000		2,685,000		550,000		29,500		3,315,000		258,000		875,000		-		-		1,320,870		-		9,193,370		63.9%		5,185,935		36.1%			
				FY 2019-20		1/1/2018		303,933,996		15,196,700		130,000				575,000		15,000		3,065,000		225,000		900,000		3,695,000		2,250,000		1,614,452		-		12,469,452		82.1%		2,727,248		17.9%			
				FY 2020-21		1/1/2019		345,656,844		17,282,842		99,000				495,000		-		2,810,000		191,000		665,000		3,490,000		2,250,000		1,540,370		-		11,540,370		66.8%		5,742,472		33.2%			
				FY 2021-22		1/1/2020		367,080,894		18,354,045		67,000				-		-		2,545,000		155,000		805,000		3,305,000		1,930,000		1,500,000		4,860,000		-		15,167,000		82.6%		3,187,045		17.4%	
				FY 2022-23		1/1/2021		385,434,939		19,271,747		34,000				-		-		1,915,000		118,000		820,000		2,980,000		1,655,000		1,500,000		4,860,000		-		13,882,000		72.0%		5,389,747		28.0%	
				FY 2023-24		1/1/2022		404,706,686		20,235,334		-				-		-		1,265,000		80,000		835,000		2,640,000		1,485,000		1,500,000		4,485,000		-		12,290,000		60.7%		7,945,334		39.3%	
				FY 2024-25		1/1/2023		424,942,020		21,247,101		-				-		-		590,000		41,000		295,000		2,295,000		1,310,000		1,500,000		4,010,000		-		10,041,000		47.3%		11,206,101		52.7%	
				FY 2025-26		1/1/2024		446,189,121		22,309,456		-				-		-		295,000		-		-		1,945,000		1,135,000		1,500,000		3,515,000		-		8,390,000		37.6%		13,919,456		62.4%	
				FY 2026-27		1/1/2025		468,498,577		23,424,929		-				-		-		-		-		-		1,585,000		955,000		1,500,000		2,995,000		-		7,035,000		30.0%		16,389,929		70.0%	
				FY 2027-28		1/1/2026		491,923,506		24,596,175		-				-		-		-		-		-		1,220,000		770,000		1,500,000		2,445,000		-		5,935,000		24.1%		18,661,175		75.9%	
				FY 2028-29		1/1/2027		516,519,681		25,825,984		-				-		-		-		-		-		850,000		580,000		1,500,000		1,870,000		-		4,800,000		18.6%		21,025,984		81.4%	
				FY 2029-30		1/1/2028		542,345,665		27,117,283		-				-		-		-		-		-		470,000		390,000		1,500,000		1,265,000		-		3,625,000		13.4%		23,492,283		86.6%	
				FY 2030-31		1/1/2029		569,462,948		28,473,147		-				-		-		-		-		-		240,000		195,000		1,500,000		640,000		-		2,575,000		9.0%		25,898,147		91.0%	
				FY 2031-32		1/1/2030		597,936,096		29,896,805		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		5.0%		28,396,805		95.0%	
				FY 2032-33		1/1/2031		627,832,901		31,391,645		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		4.8%		29,891,645		95.2%	
				FY 2033-34		1/1/2032		659,224,546		32,961,227		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		4.6%		31,461,227		95.4%	
				FY 2034-35		1/1/2033		692,185,773		34,609,289		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		4.3%		33,109,289		95.7%	
				FY 2035-36		1/1/2034		726,795,062		36,339,753		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		4.1%		34,839,753		95.9%	
				FY 2036-37		1/1/2035		763,134,815		38,156,741		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		3.9%		36,656,741		96.1%	
				FY 2037-38		1/1/2036		801,291,555		40,064,578		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		3.7%		38,564,578		96.3%	
				FY 2038-39		1/1/2037		841,356,133		42,067,807		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		3.6%		40,567,807		96.4%	
				FY 2039-40		1/1/2038		883,423,940		44,171,197		-				-		-		-		-		-		-		-		-		1,500,000		-		1,500,000		3.4%		42,671,197		96.6%	
				FY 2040-41		1/1/2039		927,595,137		46,379,757		-				-		-		-		-		-		-		-		-		-		-		-		0.0%		46,379,757		100.0%	

[1] 2020 to 2031 maturities of 2012 Bonds refunded by the 2019A Bonds on 10/29/2019.

[2] Payments on Annual Appropriation Bonds count in the year in which the debt is certified [i.e., June 1, 2022 payment is certified in FY 2020-21]

[TIF Rebate amounts are estimated]

Historic 100% or Actual Valuation Growth				
Fiscal Year	Valuation Year	100% Valuation	\$ Growth (over prior yr.)	% Growth (over prior yr.)
	FY 2014-15	1/1/2013	213,458,295	
1	FY 2015-16	1/1/2014	225,112,026	11,653,731
2	FY 2016-17	1/1/2015	240,639,287	15,527,261
3	FY 2017-18	1/1/2016	253,336,171	12,696,884
4	FY 2018-19	1/1/2017	287,586,104	34,249,933
5	FY 2019-20	1/1/2018	303,933,996	16,347,892
6	FY 2020-21	1/1/2019	345,656,844	41,722,848
7	FY 2021-22	1/1/2020	367,080,894	21,424,050
	FY 2022-23	1/1/2021		

Average: 8.11%

Scenario B: Assumes \$600,000 Contribution from American Rescue Plan; Sizing of General Obligation Bonds and Original Issue Premium

Dated Date	01/12/2022		
Delivery Date	01/12/2022		
	Water Treatment Plant - Paid by TIF or \$3.75 Levy	Current Refund 2016 GO due 2022 to 2026	Total
Sources:			
Bond Proceeds:			
Par Amount	4,860,000.00	2,375,000.00	7,235,000.00
Premium	725,947.45	209,269.40	935,216.85
	5,585,947.45	2,584,269.40	8,170,216.85
Other Sources of Funds:			
American Rescue Plan Contribution	600,000.00		600,000.00
	6,185,947.45	2,584,269.40	8,770,216.85
Uses:			
Project Fund Deposits:			
Water Treatment Plant Project Fund	6,096,314.00		6,096,314.00
Refunding Escrow Deposits:			
Cash Deposit		2,545,000.00	2,545,000.00
Delivery Date Expenses:			
Cost of Issuance	85,820.00	38,500.00	124,320.00
Other Uses of Funds:			
Rounding / Contingency	3,813.45	769.40	4,582.85
	6,185,947.45	2,584,269.40	8,770,216.85

GENERAL OBLIGATION BONDS

Sources and Uses of Funds

←
Purpose: Review how bond issue par amount (principal) is arrived at.

BOND PRICING REPORT (New Money Portion)

Purpose: Demonstrates how original issue premium is generated.

BOND PRICING											
CITY OF HUXLEY, IOWA (General Obligation) Water Treatment Plant - Paid by TIF or \$3.75 Levy											
Bond Component	Maturity Date	Amount	Rate	Yield	Price	Yield to Maturity	Call Date	Call Price	Call Date for Arb Yield	Call Price for Arb Yield	Premium (-Discount)
Serial Bond:											
	06/01/2023	375,000	5.000%	0.350%	106.423						24,086.25
	06/01/2024	475,000	5.000%	0.400%	110.912						51,832.00
	06/01/2025	495,000	5.000%	0.500%	115.089						74,690.55
	06/01/2026	520,000	5.000%	0.650%	118.779						97,650.80
	06/01/2027	550,000	5.000%	0.800%	122.097						121,533.50
	06/01/2028	575,000	5.000%	0.950%	125.036						143,957.00
	06/01/2029	605,000	3.000%	1.050%	112.013	1.290%	06/01/2028	100.000	06/01/2028	100.000	72,678.65
	06/01/2030	625,000	3.000%	1.150%	111.358	1.550%	06/01/2028	100.000	06/01/2028	100.000	70,987.50
	06/01/2031	640,000	3.000%	1.250%	110.708	1.757%	06/01/2028	100.000	06/01/2028	100.000	68,531.20
		4,860,000									725,947.45

PRELIMINARY; SUBJECT TO REVIEW. Reflects current estimated yields plus 0.10% (10 basis points)

MINUTES OF MEETING TO AWARD
CONTRACT

419996-62

Huxley, Iowa

_____, 2021

The City Council of the City of Huxley, Iowa, met on _____, 2021, at _____ o'clock __.m., at the _____, in the City, pursuant to adjournment and the rules of this Council.

The Mayor presided and the roll was called showing the following members of the Council present and absent:

Present: _____

Absent: _____.

The City Council further considered proposals received for the proposed Water System Improvements – Shallow Well No. 7 Project and embodied its findings in the resolution next hereinafter referred to.

Council Member _____ introduced the resolution next hereinafter set out, and moved that the said resolution be adopted; seconded by Council Member _____; and after due consideration thereof by the City Council, the Mayor put the question upon the motion and the roll being called, the following named Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the said motion duly carried and the said resolution duly adopted.

RESOLUTION NO. 21-086

Resolution awarding contract for the Water System Improvements – Shallow Well
No. 7 Project

WHEREAS, pursuant to notice duly posted in the manner and form prescribed by resolution of the City Council of the City of Huxley, Iowa, and as required by law, bids and proposals were received by this Council for the Water System Improvements – Shallow Well No. 7 Project (the “Project”); and

WHEREAS, all of the said bids and proposals have been carefully considered, and it is necessary and advisable that provision be made for the award of the contract for the Project;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. The bid for the Project submitted by the following contractor is fully responsive to the plans and specifications for the Project, is heretofore approved by the City Council, and is the lowest responsible bid received, such bid being as follows:

<u>Name and Address of Contractor</u>	<u>Amount of Bid</u>
_____	\$ _____

Section 2. The contract for the Project is hereby awarded to such contractor at the total estimated cost set out above, the final settlement to be made on the basis of the unit prices therein set out and the actual final quantities of each class of materials furnished, the said contract to be subject to the terms of the aforementioned resolution, the notice of hearing and letting, the plans and specifications and the terms of the bidder’s written proposal.

Section 3. The Mayor and City Clerk are hereby authorized and ordered to enter into a written contract with said contractor for the Project, said contract not to be binding until approved by resolution of this City Council.

Section 4. The amount of the contractor’s performance and/or payment bonds is hereby fixed and determined to be 100% of the amount of the contract.

Section 5. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Passed and approved _____, 2021.

Mayor

Attest:

City Clerk

• • • •

On motion and vote, the meeting adjourned.

Mayor

Attest:

City Clerk

MINUTES OF MEETING TO APPROVE
CONTRACT AND BONDS

419996-62

Huxley, Iowa

_____, 2021

The City Council of the City of Huxley, Iowa, met at the _____,
Huxley, Iowa, at _____ o'clock _____.m., on _____, 2021, pursuant to the rules
of the Council.

The meeting was called to order by the Mayor and the roll being called, there were present
the following named Council Members:

Present: _____

Absent: _____.

After due consideration and discussion, Council Member _____
introduced and moved the adoption of the resolution next hereinafter set out, the same being a
resolution approving an executed contract and performance and/or payment bonds for the Water
System Improvements – Shallow Well No. 7 Project. The motion was seconded by Council
Member _____ and passed with record vote as follows:

Ayes: _____

Nays: _____.

Thereupon, the resolution was declared adopted, as follows:

RESOLUTION NO. ____

Resolution approving contract and performance and/or payment bonds for the Water System Improvements – Shallow Well No. 7 Project

WHEREAS, the City Council of the City of Huxley, Iowa, has heretofore awarded a contract for the Water System Improvements – Shallow Well No. 7 Project and fixed the amount of the performance and/or payment bonds to be furnished by such contractor, and instructed and authorized the Mayor and City Clerk to execute the said contract on behalf of the City, subject to the approval of the Council; and

WHEREAS, the said contract has been duly signed by the contractor and by the Mayor and City Clerk, and upon examination by this Council the same appears to be in proper form; and

WHEREAS, the contractor has filed satisfactory performance and/or payment bonds in the required amount;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. The aforementioned contract and performance and/or payment bonds are hereby approved and declared to be binding upon the parties thereto.

Section 2. All resolutions or parts of resolutions in conflict herewith are hereby repealed to the extent of such conflict.

Passed and approved _____, 2021.

Mayor

Attest:

City Clerk

• • • •

There being no further business to come before the meeting, it was upon motion adjourned.

Mayor

Attest:

City Clerk

ATTESTATION CERTIFICATE:

STATE OF IOWA
STORY COUNTY
CITY OF HUXLEY

SS:

I, the undersigned, City Clerk of the City of Huxley, Iowa, hereby certify that the attached is a true, correct and complete transcript of the proceedings had and action taken by the City Council up to the present time in connection with the Water System Improvements – Shallow Well No. 7 Project, including a true, correct and complete copy of the resolutions referred to in such minutes.

WITNESS MY HAND this ____ day of _____, 2021.

City Clerk

September 8, 2021

VIA EMAIL

Rita Conner
City Administrator/City Hall
Huxley, IA

Re: Water System Improvements – Shallow Well No. 7 Project
Our File No. 419996-62

Dear Rita:

We have prepared and attach the proceedings related to the hearing on the plans and specifications, receipt and consideration of construction bids and the award and approval of a contract for the Water System Improvements – Shallow Well No. 7 Project.

The materials attached include the following items:

1. Minutes of the September 14, 2021 City Council meeting covering the hearing on the plans and specifications. If there are no objections filed and if there are no objectors present at the meeting, please insert the word “no” in the blank space provided. If there are objectors, they should be listed with their names and the nature of their objections.
2. Resolution finally approving and confirming plans, specifications and form of contract.
3. Further minutes of the September 14, 2021 City Council meeting to show the filing of the report with respect to the construction bids received for the Project. In the event the City Council desires to consider the proposals for a longer period of time, the minutes include a motion to adjourn the meeting to a later time. If the Council desires to award the contract immediately, this adjournment may be stricken from the minutes by drawing a line through it and the following two paragraphs which convene the subsequent meeting.
4. Resolution awarding the contract and fixing the amount of the performance and/or payment bonds.
5. Minutes of **a later meeting of the City Council**, at which the Council will adopt the resolution approving the contract and performance and/or payment bonds, with the resolution following.
6. Attestation Certificate with respect to the validity of the entire transcript.

As these proceedings are completed, please return one fully executed copy to our office.

If you have any questions, please contact Emily Hammond or me.

Best regards,

John P. Danos

Attachments

cc: Jolene Lettow
Forrest Aldrich
Vince Driscoll
Mark Seip

9-28-21 Council Claims

	A	B	C
1	VENDOR NAME	DESCRIPTION	GROSS AMOUNT
2	A KING'S THRONE, LLC	PORT-O-JOHNS FOR SOCCER FIELD	\$ 305.90
3	AFLAC	AFLAC	\$ 216.96
4	ARNOLD MOTOR SUPPLY	FILTER, GREASE TUBES, WIPERS	\$ 317.33
5	BAKER & TAYLOR ENTERTAINME	BOOKS	\$ 629.96
6	BOLTEN & MENK, INC.	STREET & WATER MAIN	\$ 4,845.50
7	BROWNELLS, INC.	RIFLE PARTS	\$ 738.73
8	BUD'S AUTO REPAIR INC	TIRE FOR PD VEHICLE & VEHICLE REPAIR	\$ 1,224.87
9	CARDMEMBER SERVICE	SEE ATTACHED	\$ 9,165.34
10	CASCADE PUBLIC LIBRARY	DVD	\$ 22.00
11	CENTRAL IOWA IMPACT, LLC	GUN INSPECTION	\$ 50.00
12	CINTAS CORPORATION	FIRST AID SUPPLIES	\$ 43.63
13	COMFORT FOOD CATERING OF H	DOWNTOWN REVITAL TEAM LUNCHEON	\$ 375.00
14	CONSUMERS ENERGY	ELECTRIC	\$ 9,990.08
15	DELTA DENTAL PLAN OF IOWA	DENTAL INSURANCE	\$ 1,395.68
16	DES MOINES STAMP MFG. CO.	NOTARY STAMP	\$ 33.00
17	DOLLAR GENERAL-REGIONS 410	OFFICE SUPPLIES	\$ 33.00
18	EBS	MEDICAL INSURANCE	\$ 17,590.70
19	EDWARD JONES	IRA	\$ 250.00
20	ENVIRONMENTAL RESOURCE ASS	NUTRIENTS RETEST	\$ 104.30
21	FIDELITY SECURITY LIFE	VISION INS	\$ 303.01
22	GALLS, LLC- DBA CARPENTER	PD UNIFORM PARTS	\$ 888.69
23	HEARTLAND CO-OP	SUMMER PROPANE FILL	\$ 112.96
24	INTERNAL REVENUE SERVICE	PAYROLL TAXES	\$ 14,250.34
25	INTERSTATE BATTERIES	REPLACEMENT BATTERIES	\$ 285.90
26	IOWA LAW ENFORCEMENT ACADE	DEF. TACTIC INSTRUCTOR SCHOOL	\$ 432.00
27	IPERS	IPERS	\$ 18,168.40
28	KEYSTONE LABORATORIES	MONTHLY WATER & WW SAMPLING	\$ 207.10
29	KIM REMSBURG	YOUTH SOCCER REFUND	\$ 42.00
30	LINCOLN FINANCIAL GROUP	LIFE & DISABILITY INSURANCE	\$ 1,315.95
31	MARCO TECHNOLOGIES LLC	ADMIN COPIER CONTRACT	\$ 381.75
32	MASS MUTUAL RETIREMENT SER	DEFERRED COMPENSATION	\$ 250.00
33	MENARDS - AMES	LUMBER AND SUPPLIES	\$ 219.12
34	NEW CENTURY FS INC	DIESEL, UNLEADED & SUMMER LP	\$ 4,953.85
35	OVERDRIVE, INC.	BRIDGES E-BOOK CONTENT FEE	\$ 897.06
36	PEPSI-COLA	VENDING PRODUCT	\$ 293.78
37	POPULAR SUBSCRIPTION SERVI	MAGAZINES	\$ 323.07
38	POSTMASTER	BULK POSTAGE	\$ 483.28
39	PREMIER	LIBRARY COPIER FEES	\$ 106.76
40	RUBY REFRIGERATION	FREON, VALVE, LABOR FOR WWTP	\$ 132.95
41	SAGE HOMES, INC.	BUILDING PERMIT DEPOSIT REFUND	\$ 1,000.00
42	STILLWELL SALES, LLC	SKID STEER TREE SPADE	\$ 6,350.00
43	SUNSET LAW ENFORCEMENT	AMMO	\$ 101.45
44	SWANK MOVIE LICENSING USA	COPYRIGHT COMPLIANCE LICENSE	\$ 412.00
45	SYNCB/AMAZON	BOOKS	\$ 391.50
46	TASC	FLEX BENEFIT PLANS	\$ 577.05

9-28-21 Council Claims

	A	B	C
47	THE CLEAN MACHINE OF IOWA,	LIBRARY CARPET CLEANING	\$ 1,650.00
48	TREASURER, STATE OF IOWA	STATE WITHHOLDING	\$ 4,665.00
49	TRENT MEINERS	REIMBURSE REPLACEMENT BATTERIES	\$ 194.73
50	U.S. BANK EQUIPMENT FINANC	COPIER LEASE	\$ 103.22
51	USA BLUEBOOK	LMI KIT, WASH BOTTLES, DETERGENT	\$ 403.43
52	VAN-WALL EQUIPMENT INC.	REAR RIMS FOR JD 2950, PLUG, CABLE	\$ 2,189.72
53	VERIZON WIRELESS	PD & PUBLIC WORKS	\$ 1,009.23
54	WINDSTREAM IOWA COMMUNICAT	DISPATCH PHONE	\$ 80.13
55	Payroll Expense		\$ 62,655.14
56	GRAND TOTAL		\$ 173,162.55
57			
58		FUND TOTALS	
59	001 GENERAL FUND	\$ 40,257.52	
60	002 LIBRARY	\$ 8,315.17	
61	003 RECREATION	\$ 7,401.15	
62	004 FIRE AND RESCUE	\$ 696.90	
63	014 AMBULANCE	\$ 718.77	
64	110 ROAD USE TAX	\$ 12,795.93	
65	345 WATER PLANT EXPANSION	\$ 51.12	
66	398 DERECHO	\$ 6,350.00	
67	600 WATER UTILITY	\$ 14,410.41	
68	610 SEWER UTILITY	\$ 19,510.44	
69	01 PAYROLL EXPENSE	\$ 62,655.14	
70	GRAND TOTAL	\$ 173,162.55	

VISA (8/1/21-8/30/21)

Admin	amazon prime, adobe, pro, zoom, forever envelopes	\$ 429.69
Fire	background check	\$ 15.00
Council	computer monitors, vga adaptors	\$ 1,542.90
Wastewater	northern tool fuel pump, flash drives, iawea conference reg, 12 volt pump, ethernet port switch, bobcat starter rebuild, pop & water, replacement handle	\$ 825.16
Water treatment expans.	permit fee for well	\$ 51.12
Parks & Rec	flag fb jerseys, pennies, first aid supplies mouth guards, bands & slam ball, ink cartridge, climbing ropes, shampoo & bottle, gift cards, program supplies, water balloons, vending products, paper products, facebook ad	\$ 2,785.92
Parks	swing, mats, message center, dewalt impact driver	\$ 2,403.30
PD	arlo go skins and mount, evidence bags, sig sauer armorer class	\$ 556.95
Water	ethernet port switch, pizza for employees, tablet cover, hitch pin, ball, oil	\$ 277.81
Streets	return tire rim, fan belt, sledge hammer, tablet cover	\$ (696.88)
All Depts	adobe acrobat	\$ 407.76
Buildings & Grounds	blinds for rita's office	\$ 323.84
Historical Society	sign (reimbursed from HS)	\$ 98.00
Library	pay pro, best buy, postage, dollar general	\$ 144.77
GRAND TOTAL		\$ 9,165.34

RESOLUTION NO. 21-088

RESOLUTION TO SET HEARING AMENDING THE CITY OF HUXLEY ZONING CODE A-1 TO R-1A FOR LAND OWNED BY MEADOWLANE INVESTMENTS, LLC

WHEREAS, this change was presented to the Huxley Planning and Zoning Commission at their May 17, 2021 meeting; and

WHEREAS, at their meeting on May 17, 2021 the Commission held a hearing which there were no objections; and

WHEREAS, after the Commission concluded their discussion it was then voted to send to the City Council a favorable recommendation; and

WHEREAS, this recommendation now comes before the Huxley City Council where a date will be set for a public hearing on these changes and this hearing must be at a regular meeting of the City Council.

BE IT RESOLVED, THEREFORE, that at 6:00 o'clock p.m. on the 12th day of October, 2021, in the City Council Chambers, City Hall, 515 North Main, Huxley, Iowa, the City Council of the City of Huxley, Iowa, will hold a public hearing on a proposal by Meadow Lane Investments LLC to change the zoning district classification on property owned by Meadow Lane Investments LLC from A-1 Agricultural to R-1A Single Family Residential District. The following is a description of the property:

ANNEXATION DESCRIPTION: BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA.

Petitions relating to the proposed rezoning are on file for public inspection in the City Clerk's office.

At said public hearing, any interested persons may appear and comment to the proposed changes, and the Huxley City Council will consider all comments to said recommended changes. Thereafter, the Huxley City Council will consider the first reading of ordinance pertaining to these changes.

BE IT FURTHER RESOLVED, that the City Clerk is hereby directed to publish said notice of hearing as required by the State Code.

PASSED, ADOPTED AND APPROVED this 28th day of September 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

NOTICE OF PUBLIC HEARINGS OF THE PLANNING & ZONING COMMISSION AND CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY MEADOW LANE INVESTMENTS LLC FROM (A-1) AGRICULTURE TO (R-1A) SINGLE FAMILY RESIDENTIAL CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

TO: ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

YOU ARE HEREBY NOTIFIED that the Planning & Zoning Commission and City Council are considering the rezoning of certain property in the City of Huxley, Iowa:

A-1 ZONING – BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AND CONTAINING 3.60 ACRES (156,816 S.F.)

-to-

R-1A ZONING-BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AND CONTAINING 3.60 ACRES (156,816 S.F.)

LAYMAN'S DESCRIPTION:

South of Oak Bend Road and north of Oak Blvd.

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a virtual hearing before the Planning & Zoning Commission to consider rezoning in light of the requested rezoning has been set to commence on the 17th day of May 2021 at 6 p.m. at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard. Zoom information is located below. The formal hearing at City Council is set to commence on the 12th of October at 6 p.m. in the Huxley City Council Chambers located at 515 N Main Avenue.

Stillwell Sales, LLC
2323 Commercial Ave
Scottsville, KS 67420
Tel 785-738-0340
www.stillwellsales.com



INVOICE #20372

9.16.2021

BILL TO

Huxley Parks &
Recreation
515 N. Main Ave
Huxley, IA 50124
515-597-2515 Heather
Denger

SHIP TO

Same Address

INSTRUCTIONS

Will ship after receipt of payment. Unit is in stock.
Customer must have forklift to unload spade at
delivery site.

QUANTITY	DESCRIPTION	UNIT PRICE	TOTAL
1	New 2021 Baumalight ST324 Skid Steer Tree Spade w/Manual Controls Serial Number: BL1008236		\$5,850.00
	Freight Delivery		\$500.00

SUBTOTAL \$6,350.00

SALES TAX Out of State Delivery Exempt

AMOUNT DUE \$6,350.00

Thank you for your
business!

2021 BAUMALIGHT ST324



USD \$5,850.00

Seller Information


Stillwell Sales, LLC
Scottsville, Kansas 67420

Phone: (785) 738-0340

WhatsApp: Message

Contact: Jon Stillwell

Item Location:

 2339 Commercial Ave
Scottsville, Kansas 67420



[Hide Thumbnails](#)

Description

ST324: Small Fixed Compact 2" Evergreen 1.5" Hardwood Wheeled Skidsteer - 5000 lbs Tracked Skidsteer - 4500 lbs This fixed frame hydraulic tree spade gives you tree-moving power for your smaller skidsteers. The ST324 Small Fixed Compact tree spade features three blades to give you the digging and root ball compacting action necessary for cleaner and more viable transplants.

Specifications

Category	Tree Spade	Year	2021
Manufacturer	BAUMALIGHT	Model	ST324
Quantity	1	Condition	New

Fits To

CATERPILLAR

236

NEW HOLLAND

L218

CARETREE 632



USD \$5,600.00

Seller Information

David Prairie
Chebanse, Illinois 60922

Phone: (678) 756-8791
Contact: David Prairie

Item Location:
📍 1209 E 3400 N Rd
Chebanse, Illinois 60922



[Hide Thumbnails](#)

Description

32" Truncated Tree Spade, Used Very Little, Includes Rear Stabilizers.

Specifications

Category	Tree Spade	Manufacturer	CARETREE
Model	632	Quantity	1
Serial Number	98210	Condition	Used
<div> Show paragraph</div>			

Fits To

BOBCAT

1075, 1075C, 1080, 1080B,
1080C, 1213, 2000, 2400,
2410, 310, 313, 371, 440,
440B, 443, 443B, 444, 450,
450C, 453, 453C, 453F, 463,
463F, 520, 530, 533, 540, 542,
542B, 543, 543B, 553, 553C,
553F, 600, 610, 611, 620, 630,
631, 632, 641, 642, 642B,
643, 653, 700, 720, 721, 722,
725, 730, 731, 732, 733, 741,
742, 742B, 743, 743B, 743DS,
751, 751C, 751F, 751G, 753,
753C, 753F, 753G, 753H,
753HC, 753L, 763, 763C,
763F, 763G, 763H, 763HC,
763HF, 763HG, 773, 773C,
773F, 773G, 773K, 773T,
7753, 825, 833, 843, 843B,
843HC, 853, 853C, 853H,
853HC, 863, 863C, 863F,
863G, 863H, 863HC, 863HF,
864, 864F, 864G, 864HG, 873,
873C, 873F, 873G, 873HG,
883, 883G, 943, 953, 953C,
963, 963G, 974, 975, 980,
A220, A300, FARMBOY,
M200, M310, M371, M400,
M440, M444, M500, M500D,
M500E, M600, M600D,
M600E, M610, M611, M620,
M700, M970, MT50, MT52,
MT55, S100, S130, S150,
S160, S175, S185, S220,



S250, S300, S330, S630,
S650, S70, S750, S770, S850,
T110, T140, T180, T190,
T200, T250, T300, T320,
T630, T650, T750, T770,
T870, 1074, 360, 363, 433,
473, 907, 909, 970

Show As Paragraph

2007 BOBCAT 30TS



USD \$8,900.00

Seller Information

Miramar Bobcat, Inc.
San Diego, California 92126

Phone: +1 714-707-2807
WhatsApp: Message
Contact: Jeff Fuller

Item Location:
📍 9370 Miramar Road
San Diego, California 92126

[Hide Thumbnails](#)

Description

TS30C (30")

Specifications



Category	Tree Spade	Year	2007
Manufacturer	BOBCAT	Model	30TS
Quantity	1	Serial Number	973800123
Condition	Used	Stock Number	M14373A

[Show As Paragraph](#)

Fits To

BOBCAT

T200, T250, T300, T320,
T595, T630, T650, T740,
T750, T770, T870

[Show As Paragraph](#)





Huxley Fire and Rescue

104 Railway
Huxley, Iowa 50124

Huxley Mayor and City Council:

Please consider **Hannah Hawkins** for 6 month Probationary Membership with Huxley Fire & Rescue. Hannah is certified as a Wildland Firefighter and will carry on a family tradition.

Thank You for your consideration,

Todd Moomaw, Chief, Huxley Fire Rescue

ORDINANCE NO. 519

**AN ORDINANCE AMENDING
CHAPTER 165 ZONING REGULATIONS-OFF STREET LOADING AND PARKING**

BE IT ORDAINED by the City Council of the City of Huxley, Iowa, that:

Section 1. Chapter 165, of the Huxley Code of Ordinances; Off Street Loading and Parking is hereby amended as follows:

165.33 Off Street Parking and Loading

C. Areas used for storage of materials or equipment shall be surfaced with HMA, Portland cement pavement, asphalt millings or crushed limestone to provide a durable surface with approved screening and dust control. Customer and employee parking shall be on hard surfaces only.

PASSED AND APPROVED this 28th day of September 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

First Reading:

Second Reading:

Third Reading:

Date Adopted:

Date of Publication by posting:

Huxley Planning & Zoning Commission Minutes

Monday, September 20, 2021

Chairman Roger Bierbaum called the meeting to order at 6:01 P.M.

ROLL CALL: Mosher, Bierbaum, Murphy, Patterson, Frantz present. Ebel and Schonhorst absent.

CITY STAFF PRESENT: Amy Kaplan – Zoning Clerk, Rita Conner- City Administrator, Sydney Steinle- Intern

CONSULTANTS PRESENT: Forrest Aldrich—City Engineer

GUESTS PRESENT: Barry Hale, Scott McBride, Kelly Iversen, Trent Smith, Michael Huff, Lincoln Boehmer.

MINUTES APPROVAL: Motion –Murphy, second –Frantz to approve minutes from the August 23rd, 2021 meeting. 5 Aye. 0 Nay.

PUBLIC COMMENTS: None

PUBLIC HEARING: None

BUSINESS ITEMS:

Amendment to Code of Ordinances: Paved surfacing for storage of materials and off-season equipment-

Motion by Mosher, second- Bierbaum to recommend the following ordinance modification to Council regarding Chapter 165 Zoning Regulations Iowa 977-165.33(5) Off Street Loading and Parking:

- A. As written
- B. As Written
- C. Areas used for storage of materials or equipment shall be surfaced with HMA, Portland cement pavement, asphalt millings or crushed limestone to provide a durable surface with approved screening and dust control. Customer and employee parking shall be on hard surfaces only.

Mosher, Bierbaum, Murphy, Patterson, Frantz voted yes. Motion carried 5/0.

Hale Trailer Site Plan- Motion by Bierbaum, second- Patterson to recommend approval of the site plan to City Council pending the following two concerns addressed by Aldrich:

1. An agreement must be established stating the property cannot be sold until platted, and water/sewer are extended across the driveway and under the monument sign.
2. The Commission would like to acknowledge the inaccessible piece of property to the west that is still owned by Leonard Larson and is currently being farmed.

Mosher, Bierbaum, Murphy, Patterson, Frantz voted yes. Motion carried 5/0.

Barry Hale Sr stated that Hale is a family-owned business with 50+ years of history. He stated the Huxley location will run, grow, thrive just as Hale has at their 14 other locations.

Huxley Communications Site Plan- Motion by Mosher, second- Patterson to recommend approval of the site plan to City Council. Mosher, Bierbaum, Murphy, Patterson, Frantz voted yes. Motion carried 5/0.

Amendment to Code of Ordinances: Zoning requirements for lot width for R-1 and R-1A and Discussion of

Affordable Housing Types- Motion by Patterson, Second- Frantz to table discussion. Mosher, Bierbaum, Murphy, Patterson, Frantz voted yes. Motion carried 5/0.

Action on Recommendation to City Council for Amendment to Code of Ordinances: Fence Height on Corner Lots- After a discussion regarding acceptable fence height in a front yard, the Commission has no desire to change the current fence code. No action taken.

INFORMATIONAL ITEMS/CITY ADMINISTRATOR COMMENTS:

Main Avenue-The Main Avenue Revitalization meetings were a success. In 4-6 weeks, the City will receive a formal report with fiscal resources. It is a strong desire of the City's to implement the plan and not leave in the planning stages. A committee will be established. More details to follow.

FY 2022 Capital Improvement Plan (CIP)- The working draft will be sent to the Commission. Feedback is welcome.

Park and Recreation Board/Planning & Zoning Commission-A joint meeting will be scheduled in the future with a Main Avenue Revitalization and capital projects focus.

Sidewalk/ Trail Connectivity- Public meetings will be held Tuesday September 21st and Thursday September 23rd in the Safe Room from 6-7:30 PM. All are welcome.

PLANNING AND ZONING COMMISSION COMMENTS:

- Murphy asked about the sidewalk at the school. Aldrich indicated that sidewalk design is being worked on and will be installed in the near future.
- Frantz suggested that the Main Avenue Revitalization presentation include the Parks & Recreation Board as the current parks downtown need enhancements and a connection from one park to the other.
- Mosher asked about the new flagpole that was installed on the north side of town. He indicated that the flag was up for one day and has not been up since. Conner indicated that the flagpole will be maintained by Chris Gardner. Murphy has a suggestion on a solar light if needed.
- Murphy indicated that he would like to see the weeds around the "Welcome to Huxley" sign cleaned up.
- Conner introduced Sydney Steinle, the City's intern from Iowa State University.
- Bierbaum indicated the next P&Z Meeting will be Monday October 18th.

ADJOURNMENT: Motion – Patterson, second-Frantz to adjourn meeting at 7:43 P.M. 5 ayes, 0 nays. MCU.

Amy Kaplan, Zoning Clerk

Roger Bierbaum, Chairman

Date of Approval

PLANNING & ZONING COMMUNICATION

AGENDA HEADING:

Site Plan for Hale Trailer (Janestar of Iowa, LLC)

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Janestar of Iowa, LLC (dba Hale Trailer Brake and Wheel Scott McBride, Director of Facilities, 1290 Mid Valley Drive Jessup, PA 18434,) has submitted a site plan for 10.70 acres of land (phase I) located north of Highway 210 and east of I-35. A link to the subject properties is below. <https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

A total of 78.45 acres owned by the company was rezoned earlier this year to C-2, general commercial land use. The 2013 Comprehensive Plan shows the land east of I-35 as a combination of highway commercial, light and general/heavy industrial. The commercial and light industrial sections are shown along Highway 210. The C-2 zoning allows for the business proposed on the site, a phased development of a trailer repair, sales and storage facility. It will also provide the City the ability to work with the applicant on additional commercial development opportunities, as Janestar of Iowa LLC is planning for only 30 acres of the 78.45 to be utilized for the trailer business.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION: YES

- Janestar of Iowa LLC operates as Hale Trailer Brake and Wheel <https://haletrailer.com/>. The proposed site would be the 14th location for the company in the U.S.
- The company is proposing a phased approach to the development of the project, with initial operations including a temporary building. Examples of operations in other states were provided for review of both the temporary building and conceptual future building.
- Staff discussion with the company on the rezoning included the following topics:
 - Length of term for temporary building
 - Requirement for hard surface paving
 - Access from Highway 210 as an existing major street in the network and potential circulation plan for additional development
 - Future development of the additional acres, potential for additional taxable valuation and businesses for the community.
- Staff comments for the site plan include:
 - The Code of Ordinances does not reference a prohibition for use of a building that is considered temporary, or to be replaced by another building at a later date. The building is planned for construction on a foundation with public utilities under a building permit with required inspections and the issuance of an occupancy permit.
 - The owner is proposing hard surface paving of the access drive and parking area adjacent to the building. Granular surface is proposed for the trailer

PLANNING & ZONING COMMUNICATION

parking/storage area. Future development of the site will also propose a mixture of granular and hard surface.

- Future street and ROW dedication through subdivision, extension of utilities.

STAFF COMMENTS: NO

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- City Council site plan September 28, 2021
- Work with Janestar of Iowa, LLC on a master conceptual plan for the remaining acres

RESOLUTION NO. 21-090

RESOLUTION APPROVING HALE TRAILER PLAN

WHEREAS, Janestar of Iowa, LLC has submitted site plan materials for City of Huxley review for the Hale Trailer and Brake project, C-2 zoning district and;

WHEREAS, the Planning & Zoning Commission reviewed and recommended Council approval of the plans for the project at their September 20, 2021 meeting and;

WHEREAS, the Planning & Zoning Commission stated that 1.) an agreement must be established between the City and the company that no land can be sold until platted and water/sewer utilities are extended across the driveway and under the monument sign, and 2.) acknowledgement of the existence of an inaccessible remnant property adjacent to the site to the west that is owned by Leonard Larson and is currently being farmed.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the Hale Trailer site plan with the conditions 1.) an agreement must be established between the City and the company that no land can be sold until platted and water/sewer utilities are extended across the driveway and under the monument sign, and 2.) acknowledgement of the existence of an inaccessible remnant property adjacent to the site to the west that is owned by Leonard Larson and is currently being farmed.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 28th day of September 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-090** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 28th day of September 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

HALE TRAILER SITE PLAN HUXLEY, IOWA



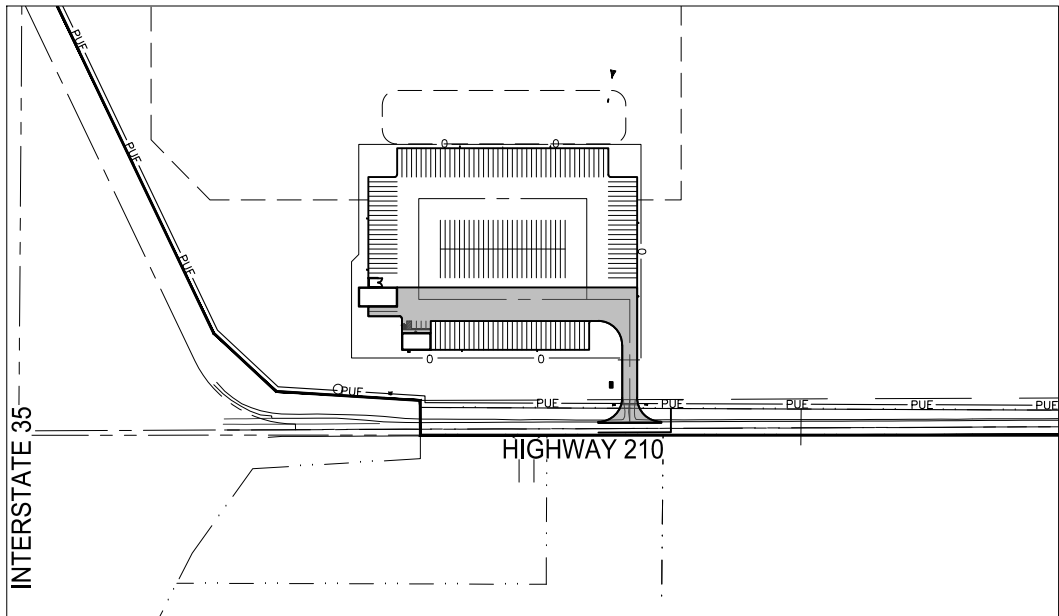
building strong communities.

1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT STATEWIDE URBAN DESIGN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AS ACCEPTED BY THE CITY OF HUXLEY EXCEPT WHERE ALTERED OR AMENDED BY THESE PLANS AND BY CITY OF HUXLEY SUPPLEMENTAL SPECIFICATOINS.



APPLICANT:

HALE TRUCKING
P.O. BOX 1400
VOORHEES, NJ 08043
CONTACT: SCOTT MCBRIDE
EMAIL: SMCBRIDE@HALETRAILER.COM

PROPERTY OWNER:

JANESTAR OF IOWA, LLC
551 COOPER ROAD
WEST BERLIN, NJ 08091

ENGINEER:

MCCLURE ENGINEERING COMPANY
1360 NW 121ST STREET
CLIVE, IOWA 50325
515.964.1229

ZONING:

ZONING:	EXISTING:	A-1
	PROPOSED:	C-2
BUILDING:	FRONT YARD	- 25 FT
	SIDE YARD	- 0 FT
	REAR YARD	- 25 FT
	PRINCIPAL HEIGHT	- 35 FT
	ACCESSORY HEIGHT	- 20 FT

DEVELOPMENT SUMMARY:

GROSS LAND AREA: = 3,296,621 S.F. (75.68 AC.)
PHASE 1 AREA: = 466,092 S.F. (10.70 AC.)

IMPERVIOUS AREA SUMMARY:

PAVED AREA (ASPHALT)	= 45,987 SF (9.9%)
PAVED AREA (GRANULAR)	= 175,174 SF (37.5%)
TOTAL BUILDING AREA	= 5,325 SF (1.2%)
1-STORY MOBILE OFFICE	= 2,125 SF
1-STORY POLE BARN SHOP	= 3,200 SF
TOTAL	= 226,881 SF (48.6%)

PERVIOUS AREA SUMMARY:

OPEN SPACE = 239,211 SF (51.4%)

LEGAL DESCRIPTION:

PARCEL "K" A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND

THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL "J" A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

PARKING:

PEDESTRIAN VEHICLE PARKING:

VEHICLE SPACES =	4
ADA SPACES =	1
TOTAL SPACES PROVIDED =	5

TRAILER PARKING:

TRAILER SPACES PROVIDED = 176

DEVELOPMENT SCHEDULE:

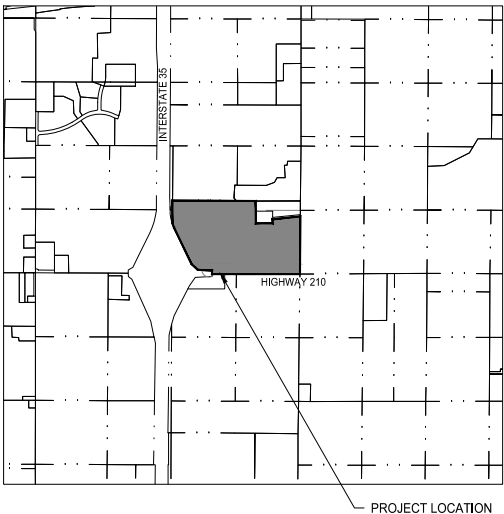
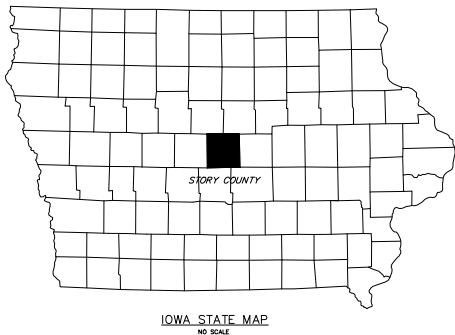
ANTICIPATED START DATE: FALL 2021
ANTICIPATED COMPLETION DATE: SPRING 2022

PROPERTY ADDRESS:

TBD

UTILITY CONTACTS

WATER AND SEWER:	CITY OF HUXLEY KEITH VITZTHUM 515.290.7512
GAS AND ELECTRIC:	ALLIANT ENERGY JENNI KRONEMAN 515.268.3425
PHONE AND CABLE:	HUXLEY COMMUNICATIONS BRANT STRUMPFER 515.203.6716



VICINITY SKETCH

NO SCALE

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS
4	OVERALL SITE PLAN
5	SITE PLAN
6	GRADING PLAN
7	EROSION CONTROL PLAN
8	UTILITY PLAN
9	LANDSCAPE PLAN
10	DETAILS
11	DETAILS



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

GREGORY MICHAEL PFAUF, LA00713 DATE:

MY LICENSE RENEWAL DATE IS JUNE, 2021

PAGES OR SHEETS COVERED BY THIS SEAL:



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

TRENT LUNDY SMITH, PE NO. 26452 DATE:

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL:

HALE TRAILER SITE PLAN

HUXLEY, IOWA
210574
JULY 28, 2021
REVISIONS
AUGUST 30, 2021

ENGINEER
T. SMITH
DRAWN BY
TLS
CHECKED BY
C. SMITH
FIELD BOOK NO.
.

DRAWING NO.
GN-01
SHEET NO.
1 / 11

GENERAL LEGEND

EXISTING / PROPOSED			EXISTING / PROPOSED			EXISTING / PROPOSED		
	SS	SANITARY SEWER MAIN			SANITARY SEWER MANHOLE			BOLLARD (BUMPER POST)
	SS	SANITARY SEWER SERVICE			SANITARY SEWER CLEANOUT			ROADWAY SIGN
	FM	SANITARY SEWER FORCE MAIN			AIR RELEASE MANHOLE/DRAIN MANHOLE			MAILBOX
	ST	STORM SEWER MAIN OR CULVERT			STORM SEWER MANHOLE			WELL
	ST	SECONDARY STORM SEWER MAIN			STORM SEWER CLEANOUT			DECIDUOUS TREE
	ST	SECONDARY STORM SEWER SERVICE			STORM SEWER INTAKE			EVERGREEN TREE
	W	WATER MAIN			STORM SEWER BEEHIVE INTAKE			SHRUB OR BUSH
	W	WATER SERVICE			FLARED END SECTION			TREE OR SHRUB LINE
	E	UNDERGROUND ELECTRIC			FIRE HYDRANT			STUMP
	OHE	OVERHEAD ELECTRIC			WATER VALVE			MONITORING WELL
	T	UNDERGROUND TELEPHONE			WATER VALVE MANHOLE			SOIL BORINGS
	FO	UNDERGROUND FIBER OPTIC			CURB STOP			FLAG POLE
	TV	UNDERGROUND CABLE TV			WATER METER MANHOLE			SATELLITE DISH
	G	GAS MAIN OR SERVICE			YARD HYDRANT			SLOPE INDICATORS
		CONTOUR LINES INTERMEDIATE			ELECTRIC MANHOLE / VAULT			CONTROL POINT
		CONTOUR LINES INDEX			ELECTRIC PEDESTAL / TRANSFORMER			BENCH MARK
		PROPERTY LINE / LOT LINE			OUTDOOR ELECTRIC POWER OUTLET			SECTION CORNER
		SECTION LINE			POWER POLE			IRON PIN SET
		EASEMENT			POWER POLE w/ STREET LIGHT			IRON PIN FOUND
		GUARD RAIL			STREET LIGHT POLE			DRAWING NUMBER
	X	FIELD FENCE			GUY WIRE			
	O	CHAIN LINK FENCE			TRAFFIC SIGNAL			
	O	WOODEN FENCE			TRAFFIC SIGNAL BOX			
	O	ROAD CENTERLINE			TRAFFIC SIGNAL MANHOLE / VAULT			
		GRADING LIMITS			RAILROAD CROSSING SIGNAL			
		CONSTRUCTION LIMITS			TELEPHONE MANHOLE / VAULT			
	AG	AG LINE			TELEPHONE PEDESTAL			
		WATERWAY FLOWLINE			CABLE TV MANHOLE / VAULT			
		TOP OF SLOPE			CABLE TV PEDESTAL			
		BOTTOM OF SLOPE			GAS VALVE			
	X	SILT FENCE						

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
- ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
- CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO ENGINEER PRIOR TO FINAL PAYMENT. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
- THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF HUXLEY TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH HUXLEY STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAND DESIGN SPECIFICATIONS.
- RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
- PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE VOIDS.
- ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE W/THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE.
- CONTRACTOR SHALL SUBMIT A JOINTING LAYOUT PLAN TO PROJECT ENGINEER FOR APPROVAL PRIOR TO PAVING OPERATIONS.

GRADING NOTES:

- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
- CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
- CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
- ALL SPOT ELEVATIONS ARE TO THE TOP OF FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.

UTILITY NOTES:

- ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELVATIONS SHOWN ON THE PLANS.
 - ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED.
 - ALL MANHOLES AND WATER VALVE BOXIES THAT ARE BURIED SHALL BE RAISED TO FINISHED GRADE.
- SANITARY SEWER:
- ALL SANITARY SEWER SEVICES SHALL BE SDR 23.5 IN ACCORDANCE WITH URBAN STANDARD SPECIFICATIONS.
 - MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
 - MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
 - RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.
- STORM SEWER:
- OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL ON-SITE PRIVATE STORM SEWER AND PRIVATE STORM WATER DETENTION / RETENTION AREAS AFTER INSTALLATION.
 - ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLOGY OR TEXT.
- WATER MAIN:
- HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
 - WATER MAIN TO HAVE 5-1/2' BURY, TYP. EXCEPT AT CRITICAL CROSSINGS. NO WATER MAIN SHALL BE INSTALLED MORE SHALLOW THAN 5-1/2'
 - ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
 - ALL HYDRANTS SHALL BE 5-INCH STORZ NOZZLE FIRE HYDRANTS WITH CHAINS INTACT.
 - THE CONTRACTOR SHALL WORK WITH THE CITY OF HUXLEY WHEN OPERATING EXISTING VALVES. WATER SHALL NOT BE TURNED ON WITHOUT PRIOR APPROVAL.
 - WATER CAN NOT BE USED BY THE CONTRACTOR UNLESS IT IS PART OF THE PURIFICATION PROCESS OF THE NEW MAIN OR SERVICE. WATER NEEDED FOR ANY REASON AFTER BACTERIA TESTING HAS BEEN COMPLETED AND PASSED WILL NEED PRIOR APPROVAL FROM THE CITY OF HUXLEY. ANY USAGE OF WATER REQUIRED BY THE CONTRACTOR FOR CONSTRUCTION SHALL BE COORDINATED WITH THE CITY OF HUXLEY PRIOR TO USAGE.
 - CONTRACTOR SHALL NOTIFY HUXLEY WATER WORKS ONE (1) WEEK PRIOR TO CONSTRUCTION OF WATER MAIN.
 - ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION, ON ALL WATERMAIN. STAINLESS STEEL RODDING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING, ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING. MEGA-LUGS ARE NOT TO BE ALLOWED.
 - CONTRACTOR SHALL EXTEND THE WATER SERVICE INTO THE BUILDING TO DESIGNATED PONT IN BUILDING PLANS.
 - WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF HUXLEY).

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



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GENERAL NOTES

HALE TRAILER
SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021

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ENGINEER
T. SMITH

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TLS

CHECKED BY
C. SMITH

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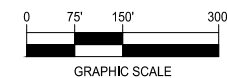
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EXISTING CONDITIONS



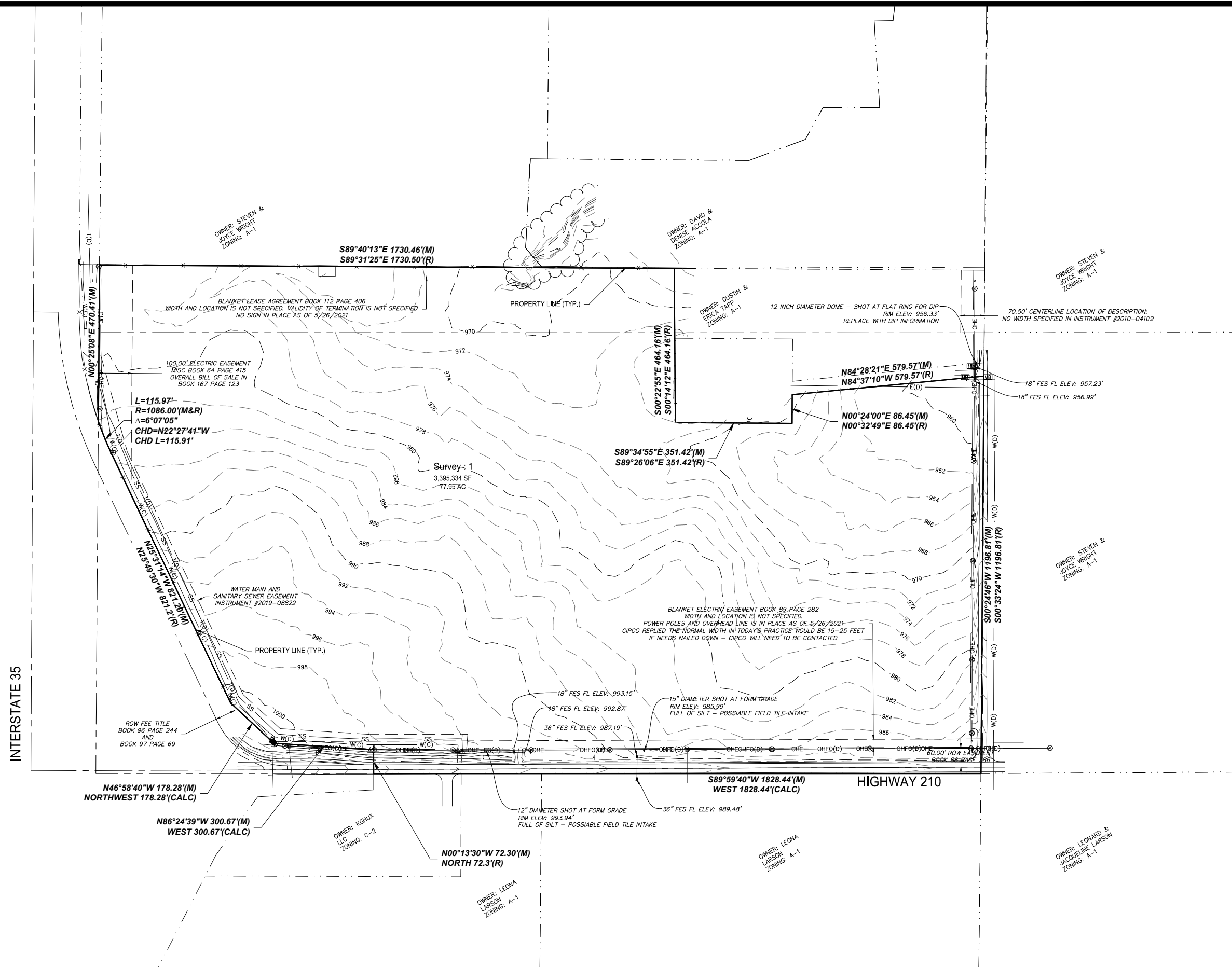
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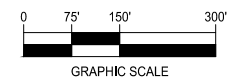
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NOTES:
1) ALL TILE FOUND DURING THE CONSTRUCTION PROCESS SHALL BE REROUTED
OR REMOVED UNTIL DOWNHILL FROM ALL PROPOSED BUILDING STRUCTURES.

OVERALL SITE PLAN



HALE TRAILER
SITE PLAN

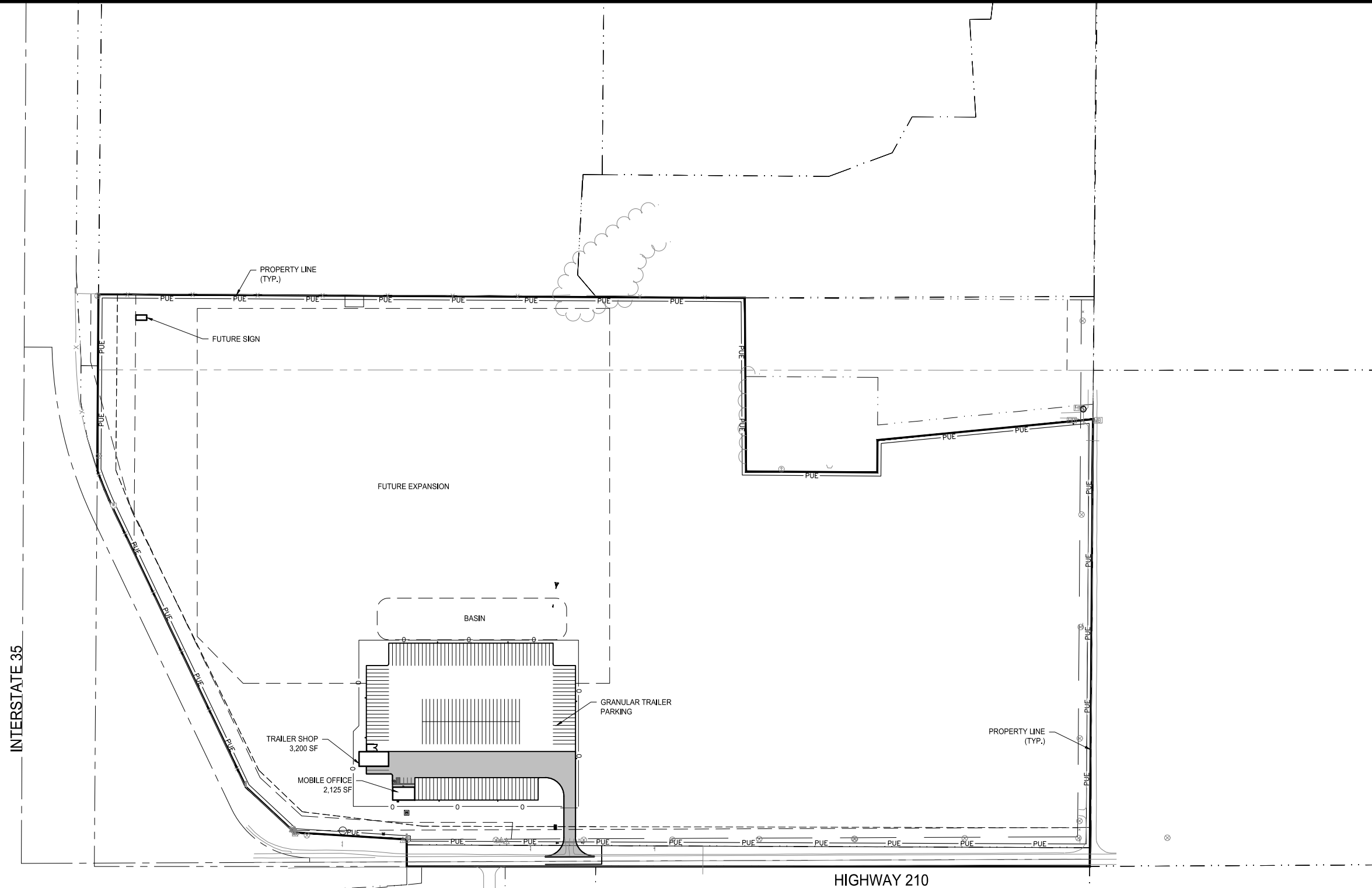
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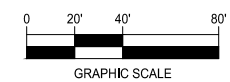
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SITE PLAN



HALE TRAILER SITE PLAN

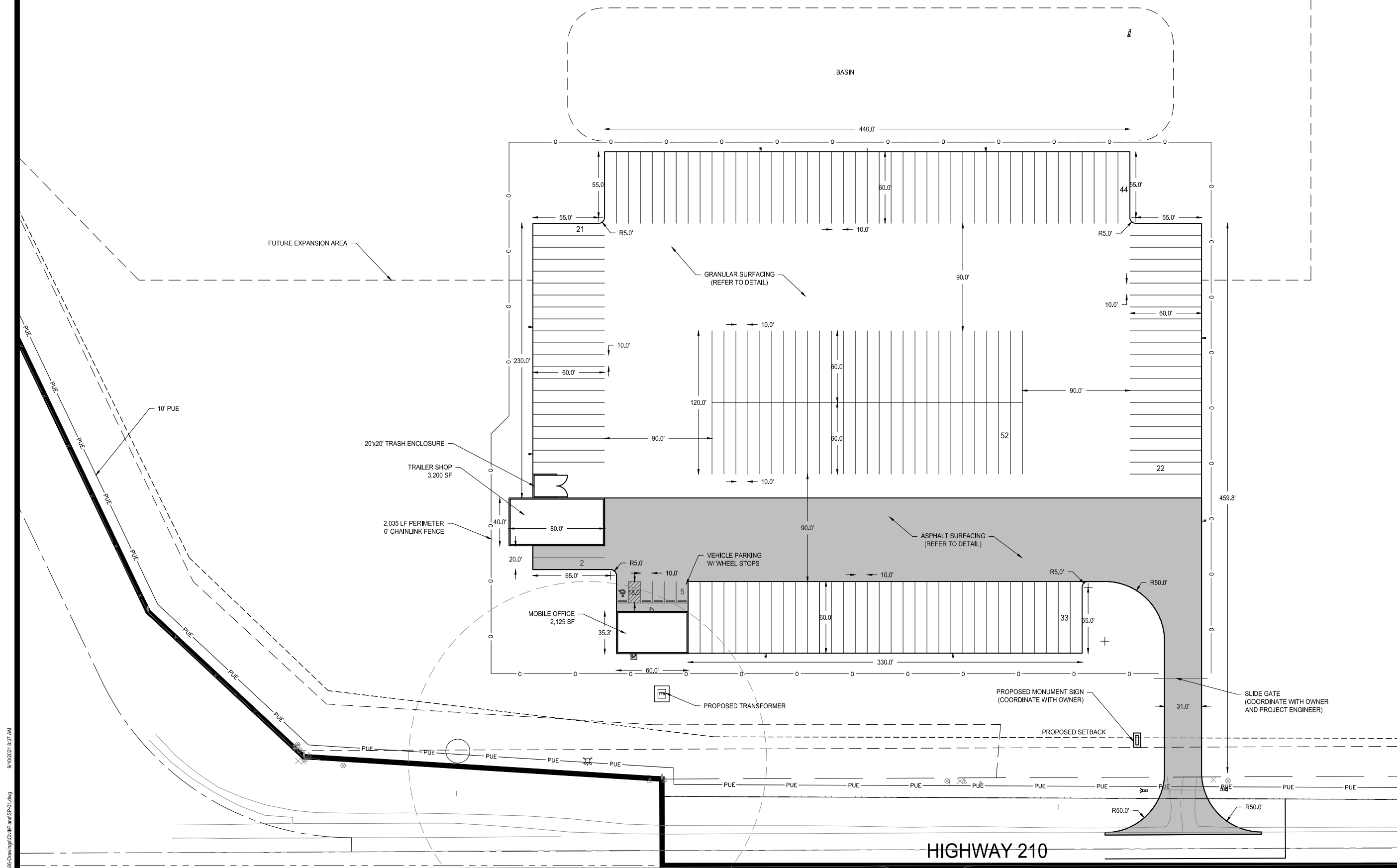
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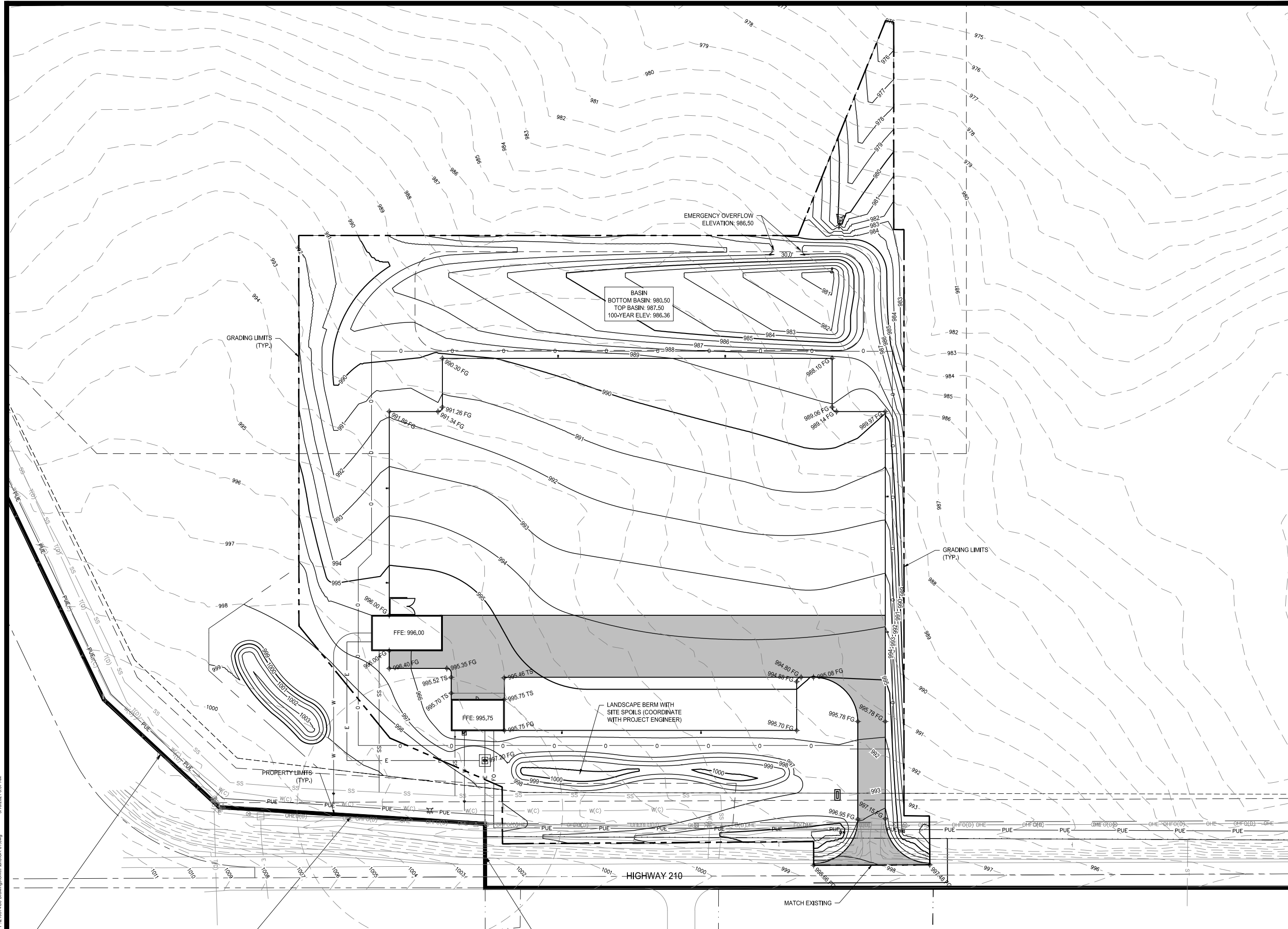
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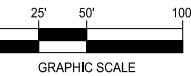
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GRADING PLAN



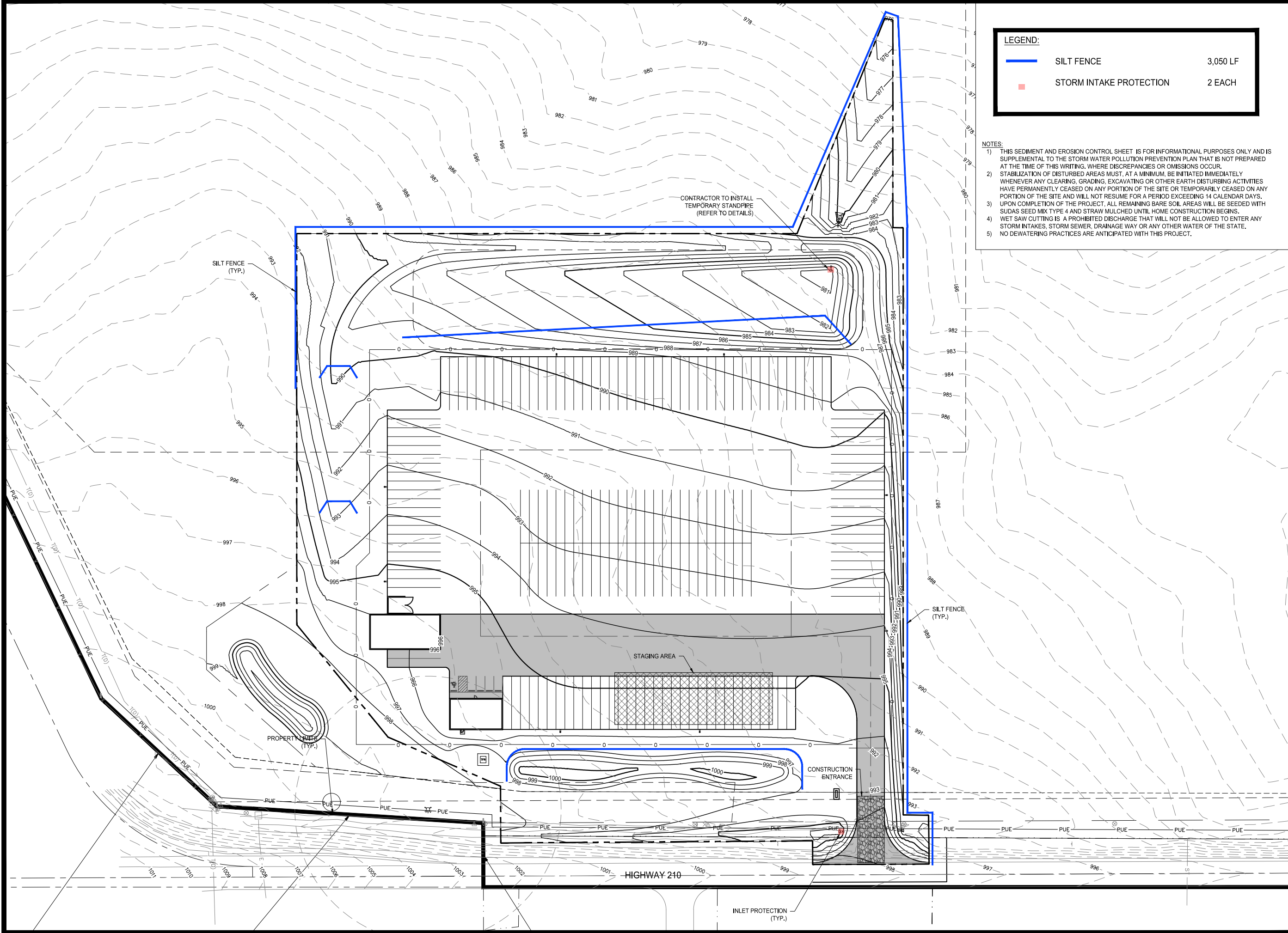
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LEGEND:

	SILT FENCE	3,050 LF
	STORM INTAKE PROTECTION	2 EACH

- NOTES:**
- 1) THIS SEDIMENT AND EROSION CONTROL SHEET IS FOR INFORMATIONAL PURPOSES ONLY AND IS SUPPLEMENTAL TO THE STORM WATER POLLUTION PREVENTION PLAN THAT IS NOT PREPARED AT THE TIME OF THIS WRITING. WHERE DISCREPANCIES OR OMISSIONS OCCUR.
 - 2) STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. UPON COMPLETION OF THE PROJECT, ALL REMAINING BARE SOIL AREAS WILL BE SEEDED WITH SUDAS SEED MIX TYPE 4 AND STRAW MULCHED UNTIL HOME CONSTRUCTION BEGINS.
 - 3) WET SAW CUTTING IS A PROHIBITED DISCHARGE THAT WILL NOT BE ALLOWED TO ENTER ANY STORM INTAKES, STORM SEWER, DRAINAGE WAY OR ANY OTHER WATER OF THE STATE.
 - 4) NO DEWATERING PRACTICES ARE ANTICIPATED WITH THIS PROJECT.



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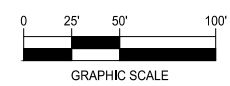
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EROSION CONTROL PLAN



NORTH



HALE TRAILER SITE PLAN

HUXLEY, IOWA
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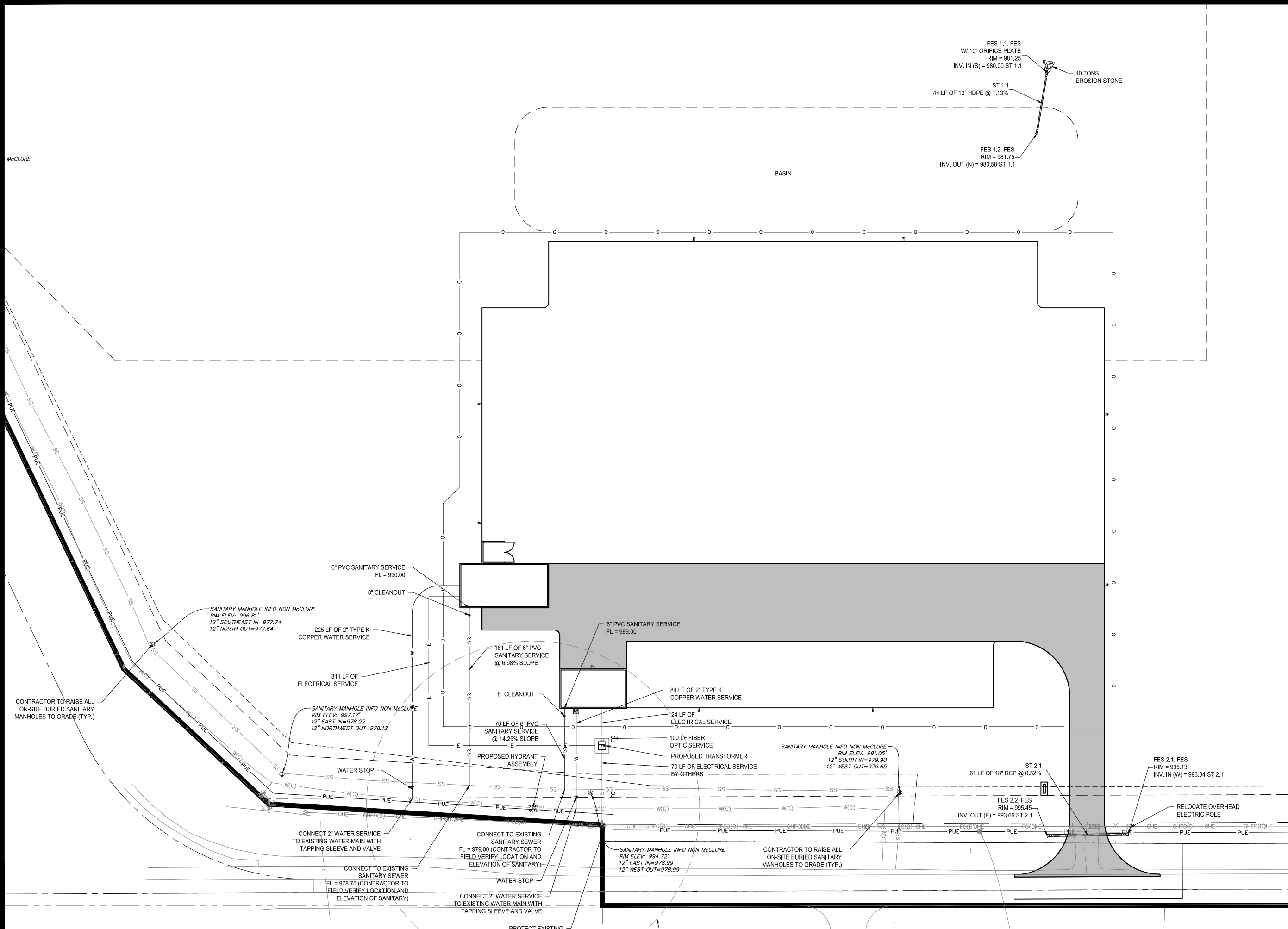
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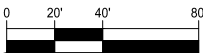
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UTILITY PLAN



NORTH



GRAPHIC SCALE

HALE TRAILER
SITE PLAN

HUXLEY, IOWA

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
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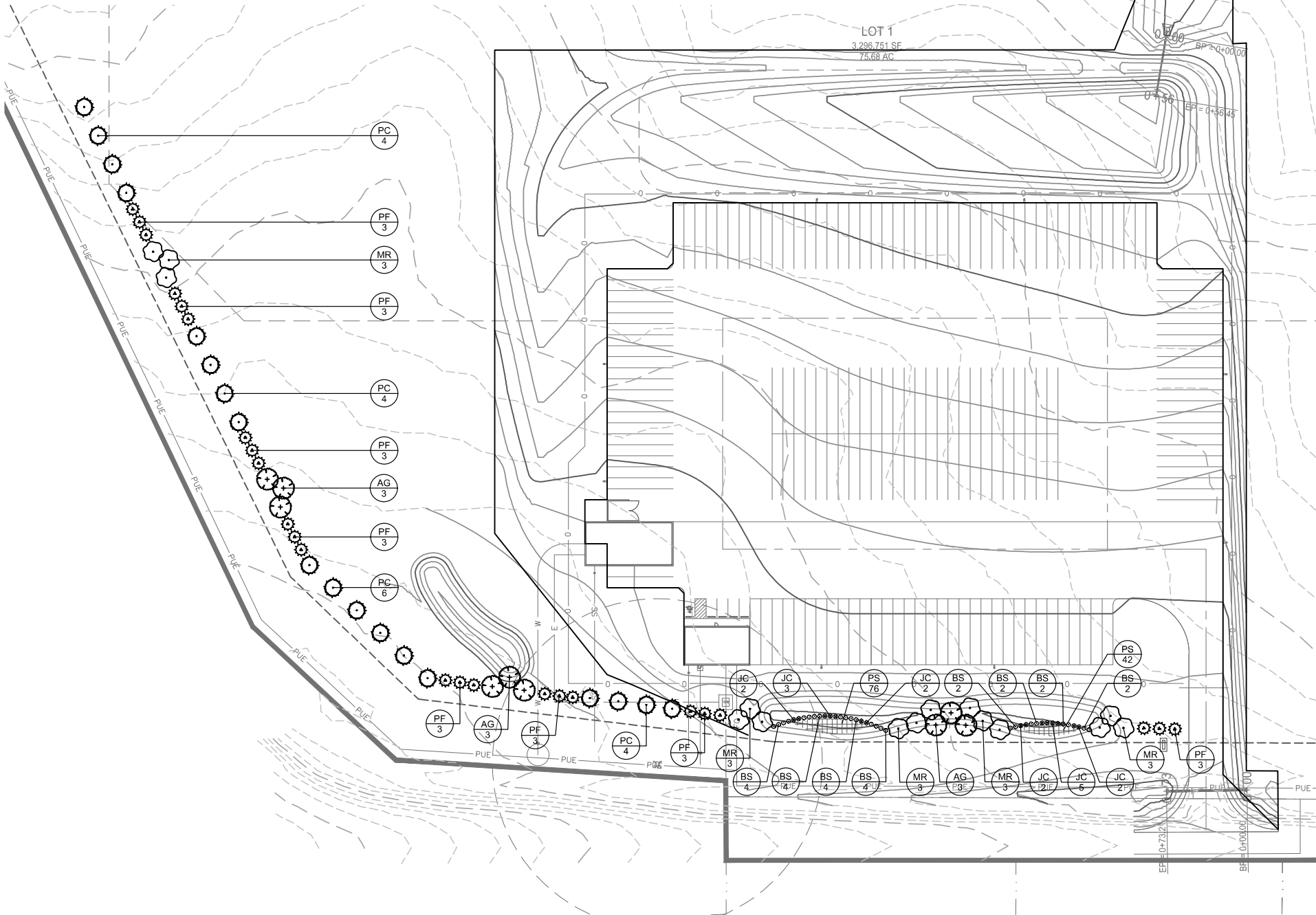
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PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	CAL	
	AG	9	Amelanchier x grandiflora `Autumn Brilliance` / `Autumn Brilliance` Serviceberry	B & B	1.5" Cal	
	MR	15	Malus x `Royal Raindrops`/ Royal Raindrops Crabapple	B & B	1.5" Cal	
	PC	18	Picea pungens / Colorado Spruce	B & B	6" Ht.	
	PF	24	Pinus flexilis `Vanderwolf`'s Pyramid` / Vanderwolf's Pyramid Pine	B & B	6" Ht.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	
	BS	24	Buxus microphylla `Sprinter` / Sprinter Boxwood	1 gal		
	JC	15	Juniperus chinensis `Green Sargent` / Green Sargent Juniper	1 gal		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
	PS	118	Panicum virgatum `Shenandoah` / Shenandoah Switch Grass	1 gal.		36" o.c.



- LANDSCAPE PLAN NOTES:**
1. EXISTING UNDERGROUND (U/G), OVERHEAD (O.H.) UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO VERIFY EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
 2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL GIVE 72 HOURS ADVANCED NOTICE TO ALL THOSE COMPANIES/UTILITIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION SITE.
 3. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
 4. CONTRACTOR SHALL STAKE/LAYOUT PLANT LOCATIONS IN THE FIELD & HAVE APPROVAL BY LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH INSTALLATION.
 5. NO SUBSTITUTIONS (INCL. CULTIVARS) SHALL BE ACCEPTED WITHOUT WRITTEN APPROVAL PER SPECIFICATIONS. PROPOSED PLANT SUBSTITUTIONS REQUIRE APPROVAL OF THE LANDSCAPE ARCHITECT, KANSAS CITY, MO & THE OWNER'S REPRESENTATIVE.
 6. ALL PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSA STANDARDS.
 7. ALL PROPOSED TREES AND SHRUBS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN, FOLLOWING THE LANDSCAPE PLAN ACCURATELY. INSTALL ALL PLANTS PER PLANTING DETAILS.
 8. ALL TREES & MULCH BEDS (UNLESS ROCK MULCH) SHALL RECEIVE 3" MIN. OF SHREDDED DARK PREMIUM HARDWOOD MULCH, AS DETAILED. ADD PREEN OR SNAPSHOT TO BEDS BEFORE & AFTER MULCHING FROM MARCH 1 TO OCTOBER 1. IF WINTER INSTALLATION, RETURN NEXT SPRING & INSTALL PREEN/SNAPSHOT WITH NEW MULCH.
 9. TREE TIES SHALL BE DEWITT 20" STRAPS FOR TREE STAKING. USE 10 GAUGE ELECTRIC WIRE. TREES AND STAKES SHALL BE STRAIGHT, PLUMB AND TALL. TREE STAKES TO BE REMOVED WINTER OF YEAR 2 AFTER INSTALLATION.
 10. CONTRACTOR SHALL THOROUGHLY WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING UNTIL SUBSTANTIAL COMPLETION. CONTRACTOR REQUIRED TO COORDINATE WATERING WITH THE OWNER AFTER SUBSTANTIAL COMPLETION. PROVIDE HOURLY RATE TO WATER THE SITE, IF IRRIGATION NOT INSTALLED OR NOT WORKING.
 11. ALL AREAS OF THE SITE DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS BEDS / PAVEMENT AREAS SHALL BE SEEDED WITH 90% TURF-TYPE TALL FESCUE AND 10% BLUEGRASS MIX SEED.
 12. CONTRACTOR SHALL THOROUGHLY WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING THROUGH SUBSTANTIAL COMPLETION TO ENSURE HEALTHY ESTABLISHMENT. CONTRACTOR REQUIRED TO COORDINATE WATERING WITH THE OWNER AFTER SUBSTANTIAL COMPLETION. PROVIDE HOURLY RATE TO WATER THE SITE, IF IRRIGATION NOT INSTALLED OR NOT WORKING.
 13. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING ALL AREAS OF SEED, ROCK & MULCH AND THE AMOUNTS OF EACH NEEDED FOR OPTIMUM COVERAGE.
 14. NO TREES SHALL BE PLANTED OVER TOP OF ANY UTILITY LINES OR PIPES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO PLANTING AND ANY MODIFICATIONS TO TREE LOCATIONS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND APPROVED BY THE CITY PRIOR TO PLANTING.
 15. ALL PLANT MATERIALS AND IRRIGATION SYSTEM SHALL BE GUARANTEED FOR 1 YEAR FROM DATE OF SUBSTANTIAL COMPLETION. PLANT MATERIALS WILL BE ONE TIME REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
 16. THIS LANDSCAPE PLAN IS DESIGNED TO BE IN CONFORMANCE WITH THE CITY OF HUXLEY, IA UNIFIED DEVELOPMENT ORDINANCE. THE LANDSCAPE ARCHITECT WILL COORDINATE CLOSELY WITH THE CITY OF HUXLEY, IA TO MAKE SURE FINAL DEVELOPMENT AND PERMIT PLANS ARE IN CONFORMANCE WITH THIS CODE.
 17. CONTACT THE MUNICIPAL FORESTRY DIVISION AT 515-283-4105 PRIOR TO PLANTING IN THE PUBLIC RIGHT OF WAY.
 18. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.

2 LANDSCAPE NOTES

NTS



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LANDSCAPE PLAN

HALE TRAILER
SITE PLAN

HUXLEY, IOWA
210574

JULY 28, 2021

REVISIONS
AUGUST 30, 2021
SEPTEMBER 10, 2021

ENGINEER
T. SMITH

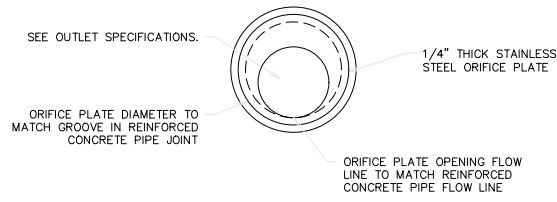
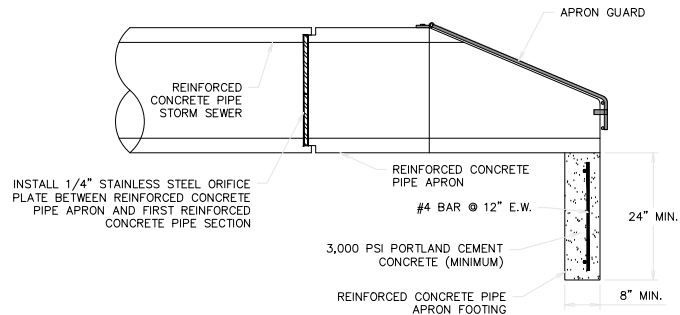
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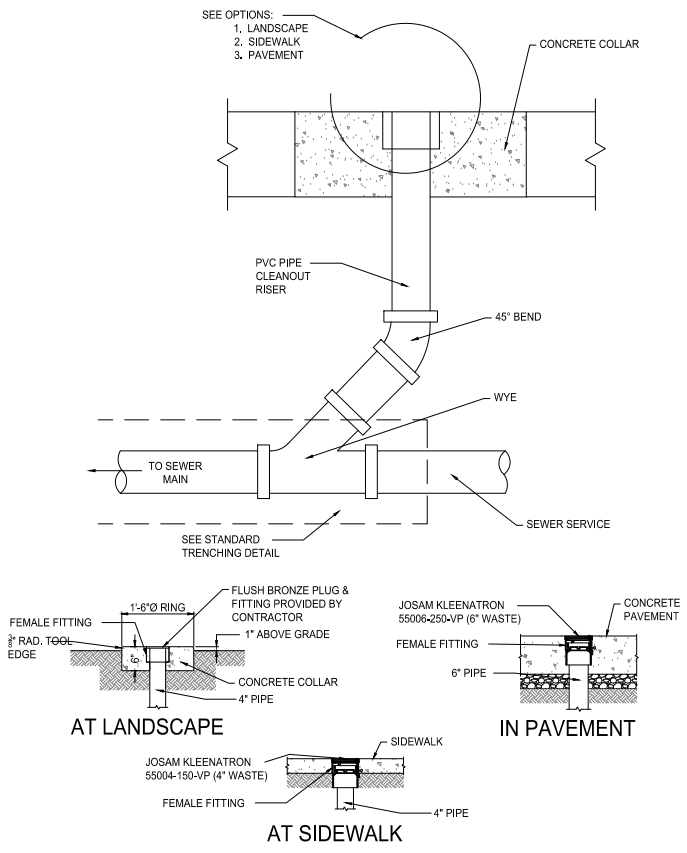
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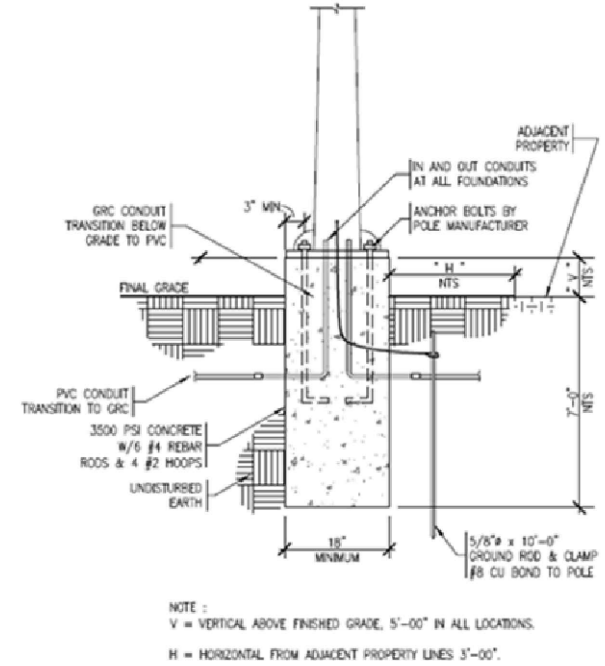
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9 / 11



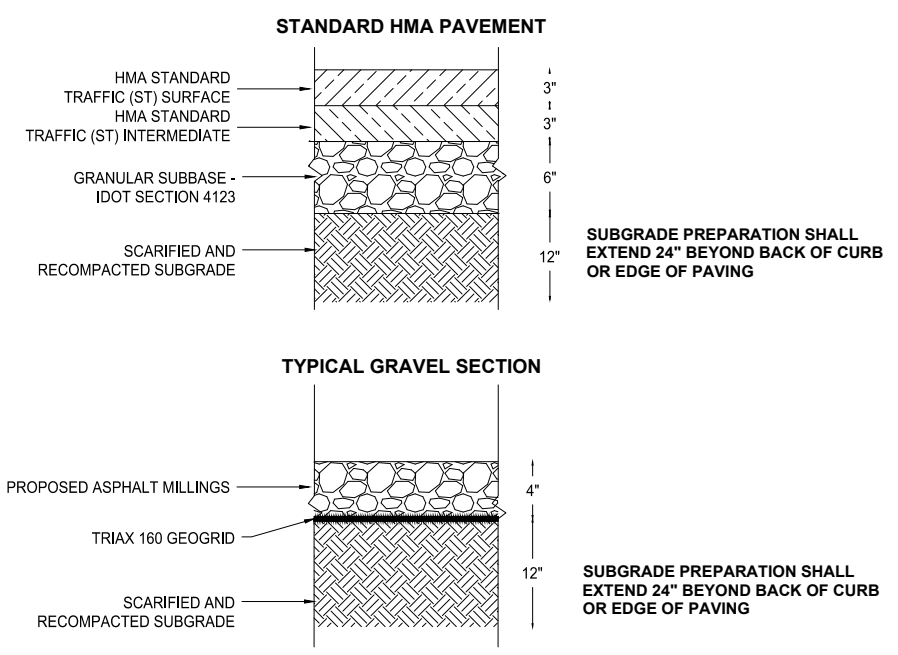
ORIFICE PLATE DETAIL
NOT TO SCALE



SEWER CLEANOUT DETAIL
NO SCALE

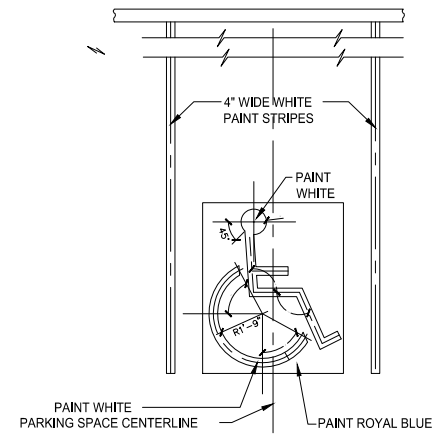


TYPICAL LIGHTING POLE FOUNDATION
NO SCALE



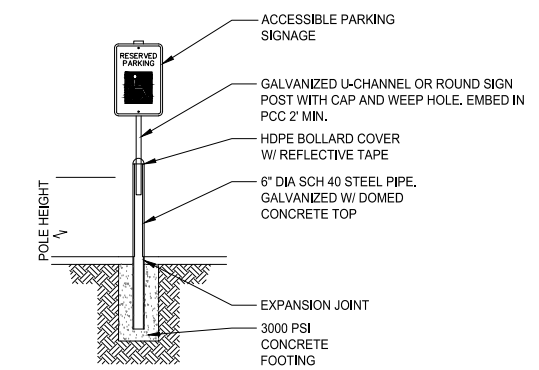
NOTE: GRAVEL PAVMENT CROSS SECTION PROVIDED BY OWNER AND DO NOT CONFORM TO ENGINEERING RECOMMENDATION

PAVEMENT CROSS SECTIONS
NO SCALE



NOTE: CENTER PAINTED SYMBOL IN THE MIDDLE OF PARKING SPACE OPENING.

HANDICAPPED PARKING SPACE PAINT, ACCESSIBILITY AND SIGN DETAILS
NO SCALE



ACCESSIBLE PARKING SIGN DETAIL

building strong communities.

1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

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McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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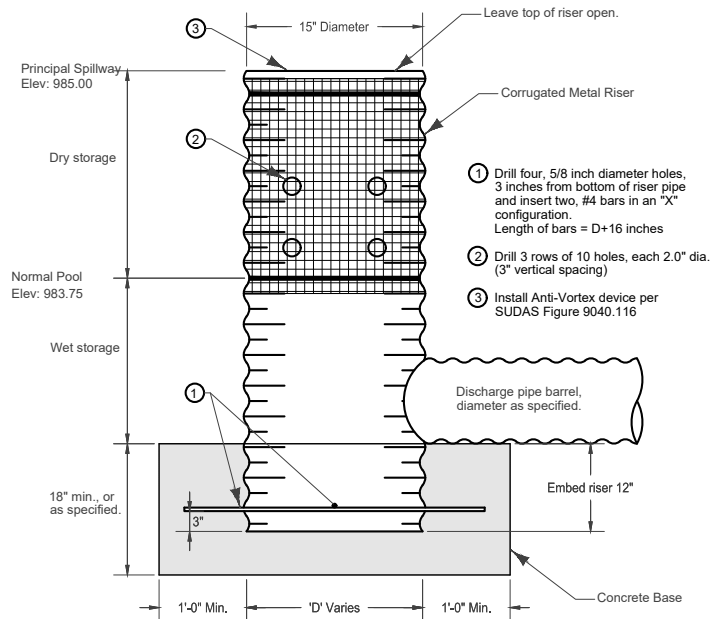
DETAILS

HALE TRAILER SITE PLAN

HUXLEY, IOWA
210574
JULY 28, 2021
REVISIONS
AUGUST 30, 2021

ENGINEER
T. SMITH
DRAWN BY
T.LS
CHECKED BY
C. SMITH
FIELD BOOK NO.
.

DRAWING NO.
DE-01
SHEET NO.
10 / 11



TEMPORARY STANDPIPE - LOWER BASIN

NOT TO SCALE



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ENGINEERING CO.

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DETAILS

HALE TRAILER
SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021

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ENGINEER
T. SMITH

DRAWN BY
TLS

CHECKED BY
C. SMITH

FIELD BOOK NO.
.

DRAWING NO.

DE-02

SHEET NO.

11 / 11



September 17, 2021

Trent Smith
McClure Engineering Company
1360 NW 121st Street
Clive, Iowa 50325

tsmith@mcclurevision.com

HUXLEY, IOWA
HALE TRAILER
SITE PLAN

We have reviewed the revised site plan for the Hale Trailer and offer the following comments:

1. Gravel parking lots are not allowed per the Zoning Ordinance. All parking areas are to be surfaced with asphalt or concrete in accordance with Zoning Ordinance 16.35.5.B. We understand the driveway entrance and the pavement to the office and shop will be paved with 6-inch thick asphalt. However, a waiver will need to be requested to allow for granular surfacing for the trailer parking and storage areas.
2. Obtain and provide to the City an Iowa DOT access permit onto Highway 210.
3. Raise all the buried manholes and water valve boxes on the entire site to grade. Not all of them are shown. There is a buried water valve box that needs raised at the bend west of the driveway entrance. There are two additional manholes along the interstate ramp that also need to be raised in addition to the manholes shown on Drawing No. UT-01.
4. Large expanses of pavement are to be broken up with plant material with one landscaped island equal to a parking space for every 20 parking spaces provided with the option of combining islands into fewer larger islands in accordance with the Site Plan Ordinance 167.05.2.E. A Waiver will need to be requested from the City if this is not going to be provided.
5. Provide information on the planned use for the strip of property not included in the site boundary located in the northwest corner of the site along the interstate.

Trent Smith
September 17, 2021
Page 2

6. Extend the sanitary sewer and water main to the east side of the driveway entrance.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:rsb
45229-069

cc: Rita Conner, City of Huxley (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Keith Vitzthum, City of Huxley (e-mail)
Mat Kahler, City of Huxley (e-mail)
A.J. Strumpfer, City of Huxley (e-mail)



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September 13, 2021

City of Huxley Review
Attn: Forrest S. Aldrich, P.E.
Veenstra & Kimm, Inc.
3000 Westown Parkway
West Des Moines, Iowa 50226

RE: Hale Trailer Site Plan

Dear Mr. Aldrich,

We have received and reviewed comments dated August 9, 2021. Revisions and responses, written in bold type, are as follows:

Engineering

1. The minimum sanitary sewer service size is 6-inch for commercial properties. Change the size of the sewer service from 4-inch to 6-inch.

Revised as requested.

2. Use an arch pattern water curb stop box with a stainless steel rod.

Note requiring arch pattern water curb stop box with stainless steel rod has been added to the general notes.

3. Provide all final as constructed plans as an electronic pdf format. Provide GIS coordinates for all as constructed manholes, valve boxes, curb stops, hydrants and cleanouts in AutoCad format.

Acknowledged. Final plans in electronic format with GIS coordinates will be provided as part of the as-built process.

4. Show contacts for inspections and utilities on the front cover as follows:

Water and Sewer, Keith Vitzthum, City of Huxley, 515-290-7512
Gas and Electric, Jenni Kroneman, Alliant Energy, 515-268-3425
Phone and Cable, Brant Strumpfer, Huxley Communications, 515-203-6716

Added as requested.

5. Add City of Huxley Supplemental Specifications on plans as well as SUDAS in General Notes.

Added to the cover page and general notes as requested.



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6. Provide a photo metric lighting plan.

Photometric lighting plan has been added to the submittal package as requested.

7. Developer's/Owner's engineer will need to sign off on the project with a written statement that all construction plans and as-builts were completed to the engineer's design, and City supplemental and SUDAS standards before final C.O. is issued.

Acknowledged and forthcoming as part of the construction process.

8. Show the location of the permanent business dumpster and screening details for the dumpster.

Screening for temporary dumpster enclosure will be provided by the proposed building and landscape screening as discussed.

9. Provide a site address.

Site address to be provided by Huxley staff when prepared.

10. Provide information on who will be overseeing the SWPPP.

Acknowledged, Forthcoming, SWPPP information will be provided when contractor is selected as part of the bidding process.

11. Gravel parking lots are not allowed per the Zoning Ordinance. All parking areas are to be surfaced with asphalt or concrete in accordance with Zoning Ordinance 16.35.5.B. Asphalt millings are not considered as hard surfacing.

Parking surfacing has been revised according to discussion with City of Huxley staff.

12. Provide 10' wide public utility easements around the perimeter of the property.

Added as requested

13. Provide concrete or asphalt paved driveway entrance.

Asphalt drive has been added as requested.

14. Obtain and provide to the City an Iowa DOT access permit onto Highway 210.

Permit process is underway, traffic impact letter as part of permit process has been added as part of the submittal. Permit will be provided when supplied.



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15. Raise all the buried manholes and water valve boxes on the entire site to grade.

Note has been added to the general notes page as well as the utility page requesting all manholes and water valve boxes to be raised to finished grade as requested.

16. Install hydrants as necessary to provide fire protection. Install 5-inch Storz nozzle on the fire hydrants. Leave chains intact. Show hydrant coverage.

Hydrant assembly has been added as requested. Note has been added to general notes page as requested.

17. Infiltration barrier in the raised sanitary manholes shall be rubber sleeve type with stainless steel bands.

A note has been added requesting rubber sleeve type infiltration barriers with stainless steel bands at all raised sanitary manholes on the general notes page as requested.

18. Provide a traffic analysis for the site.

Traffic counts for the site have been provided and do not warrant a traffic analysis for the site at this moment in time. Traffic analysis may be provided if warranted as site continues to develop.

19. Large expanses of pavement are to be broken up with plan material with one landscaped island equal to a parking space for every 20 parking spaces provided with the option of combining islands into fewer larger islands in accordance with the Site Plan Ordinance 167.05.2.E.

Additional landscaping has been added to screen the site. Interior paving will not be broken up with landscaped materials due to operational hazards of a parking island.

20. Provide the Pond Report for the detention basin in the Stormwater Management Plan.

Pond report summarized on page 18 and added to the appendix as requested.



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Enclosed with this digital submittal, you will find the following:

- Site Plan (5 Half Size, 3 Full Size Copies)
- Stormwater Management Plan (1 Hard Copy)
- Photometric Plan (One Hard Copy)
- Traffic Impact Letter (One Hard Copy)

If you have any questions or require anything further for review, please give me a call at 515.964.1229

Sincerely,

McClure Engineering Company

Trent Smith, PE
Project Manager



DATE 9/9/21 TIME 2:40 PM PROJECT 210574

TO Tony Gustafson, District Engineer, District 1, Iowa DOT

CC Scott McBride, Hale Trailer Brake & Wheel
 Brian Whaley, Access/Utility Specialist, Iowa DOT

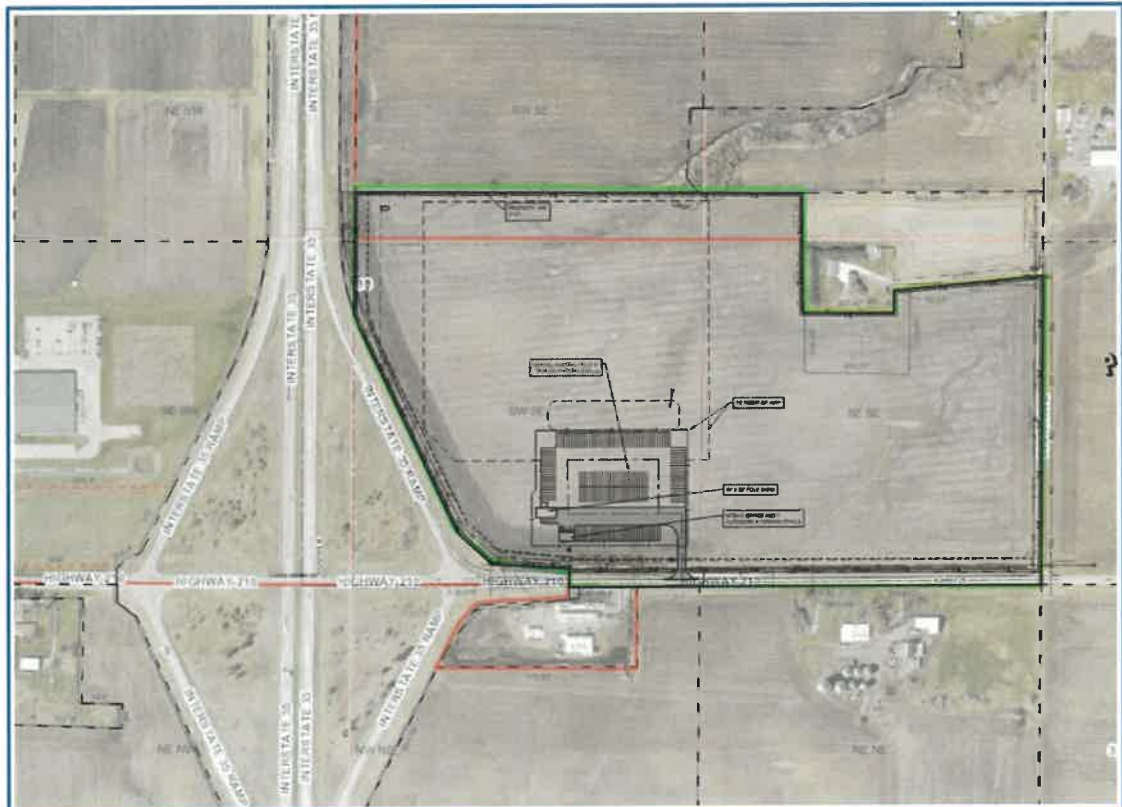
FROM Lisa VanDenBerg, McClure
 Trent Smith, McClure

SUBJECT IA 210 Hale Trailer

INTRODUCTION

Hale Trailer Brake & Wheel has plans to open a facility on IA 210 near the City of Huxley, Iowa. The first phase of the site consists of a 2,200 square-foot (sf) mobile office building and a 3,200-sf pole barn for trailer repair use. The business provides service and repair of trailers and will have considerable on-site storage for the backlog of trailers requiring work.

Figure 1 – Location Map



The final phase of the business will consist of a single 29,000-sf (approximately) housing some office space and the remainder of the space for servicing vehicles and parts storage. The company's mid-size branches have around 15 trips per day (total ins and outs) at full operating capacity. This level will likely take more than a couple years to achieve at this site. Traffic is limited to employee car traffic and two customers per day.

TRIP GENERATION AND DISTRIBUTION

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition was used to estimate the daily weekday AM and PM peak hour trip volumes for the development. The resulting Opening Day total trips were 5 inbound trips and 1 outbound trip in the AM peak hour and 2 inbound trips and five outbound trips in the PM peak hour. The final future year phase total trips were 26 inbound trips and 4 outbound trips in the AM peak hour and 8 inbound trips and 25 outbound trips in the PM peak hour. Trip generation is shown in **Table 1**. The trip generation from the proposed land use development is less than 100 peak hour vehicle trips and has fewer than 500 daily vehicle trips requiring the completion of a traffic impact letter, but not a study per the Iowa Department of Transportation (Iowa DOT) Guidelines for Traffic Impact Analysis Handbook. See **Table 1** for the trip generation calculations.

Table 1 – Trip Generation

Hale Trailer - Phase 1					ADT		AM Peak					PM Peak				
Area #	Code	Use	Unit of Measure	Number	Avg Rate or Eq.	Trips	Avg Rate	Enter		Exit		Avg Rate	Enter		Exit	
1	110	General Light Industrial	1000 ft ²	3.2	4.96	16	0.70	88%	2	12%	0	0.63	13%	0	87%	2
2	712	Small Office Building	1000 ft ²	2.2	16.19	36	1.92	83%	4	17%	1	2.45	32%	2	68%	4
		Trip Ends							5		1			2		5
		Pass-By Trips							0		0			0		0
		New Trips							5		1			2		5

Hale Trailer - Future					ADT		AM Peak					PM Peak				
Area #	Code	Use	Unit of Measure	Number	Avg Rate or Eq.	Trips	Avg Rate	Enter		Exit		Avg Rate	Enter		Exit	
1	110	General Light Industrial	1000 ft ²	21.0	4.96	104	0.70	88%	13	12%	2	0.63	13%	2	87%	12
2	712	Small Office Building	1000 ft ²	8.0	16.19	130	1.92	83%	13	17%	3	2.45	32%	6	68%	13
		Trip Ends							26		4			8		25
		Pass-By Trips							0		0			0		0
		New Trips							26		4			8		25

SITE ACCESS

IA 210 is a 2-lane highway with an average daily volume of approximately 2,830 vehicles per day near the site. The speed limit is posted at 55 miles per hour on this section. The area near the site is undeveloped agricultural.

Access to the site would be via a single access drive on IA 210. The initial drive location for phase 1 of the site would be approximately 880 feet east of the I-35 northbound ramp terminus intersection. The final permanent location for the expanded future development would be located approximately 950 feet east of the I-35 northbound ramp terminus intersection.

Figure 2 shows the initial site development. Figure 3 shows a potential final site layout.

Figure 2 – Preliminary Site Layout

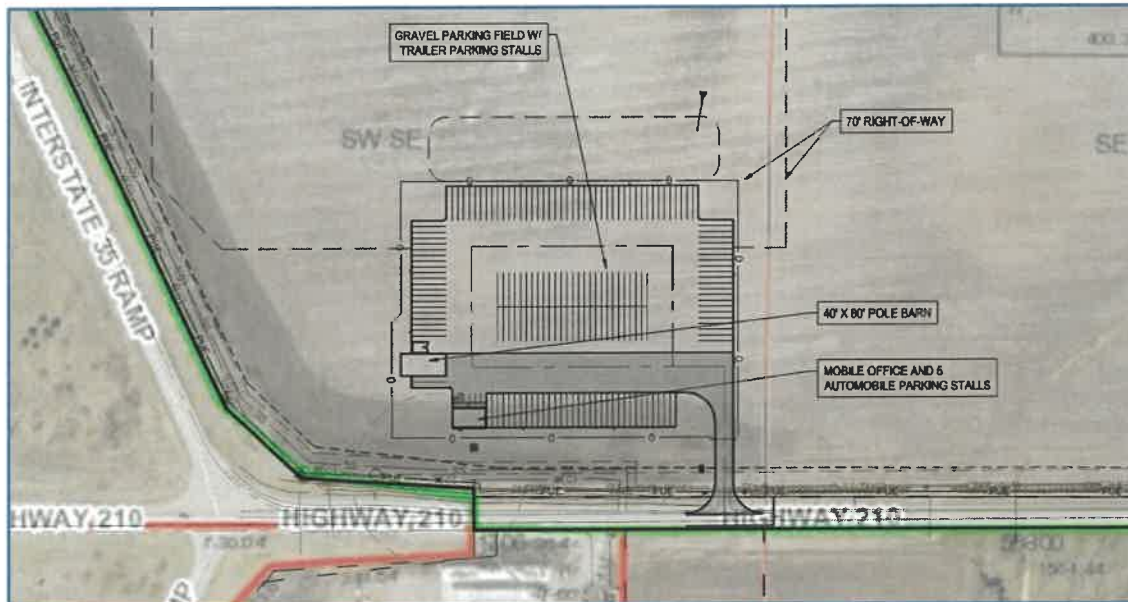
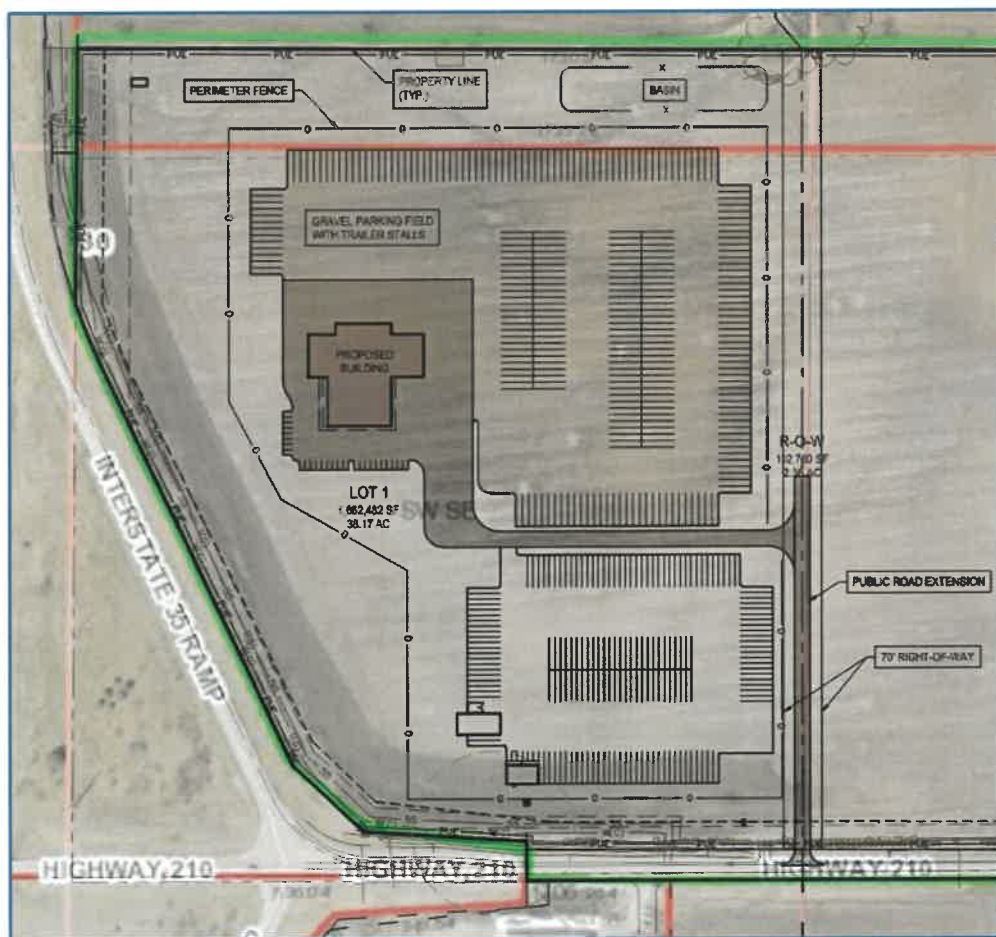


Figure 3 – Potential Full-Build Final Site Layout



PROPOSED TRAFFIC VOLUMES

The trips generated by the development were added to the base traffic volumes for both the AM and PM peak hours. Figure 3 shows the existing peak hour traffic volumes on IA 210. The ultimate 20-year traffic volumes from the full build-out of the site are shown in Figure 4. These represent volumes that would exist if the development occurred with projected future traffic volumes at the current growth rate of 1.5% per year over a 20-year period.

2021 Existing, 2021 Opening Day, 2041 Future No Build and 2041 Future Full Build volume diagrams are contained in the appendix.

Figure 3 – Existing Peak Hour Traffic

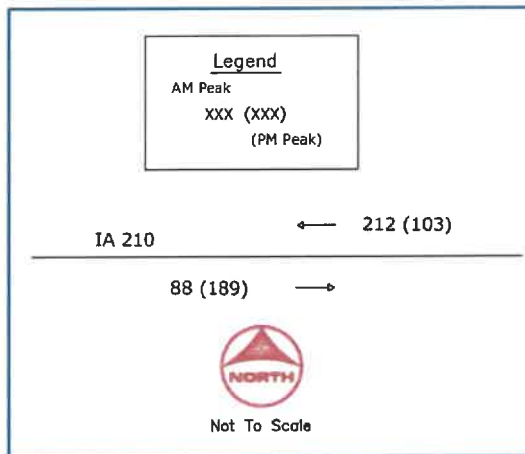
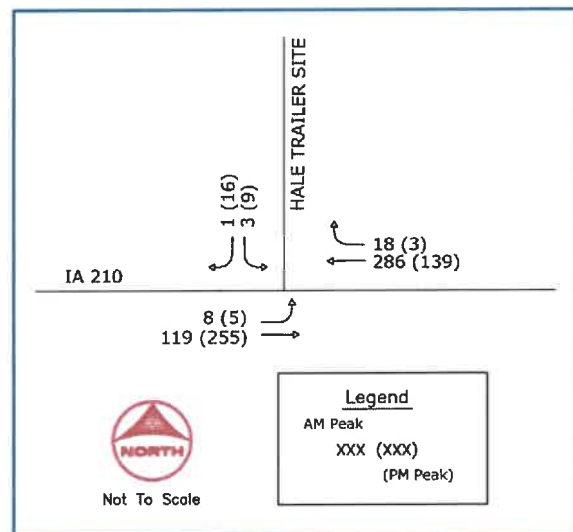


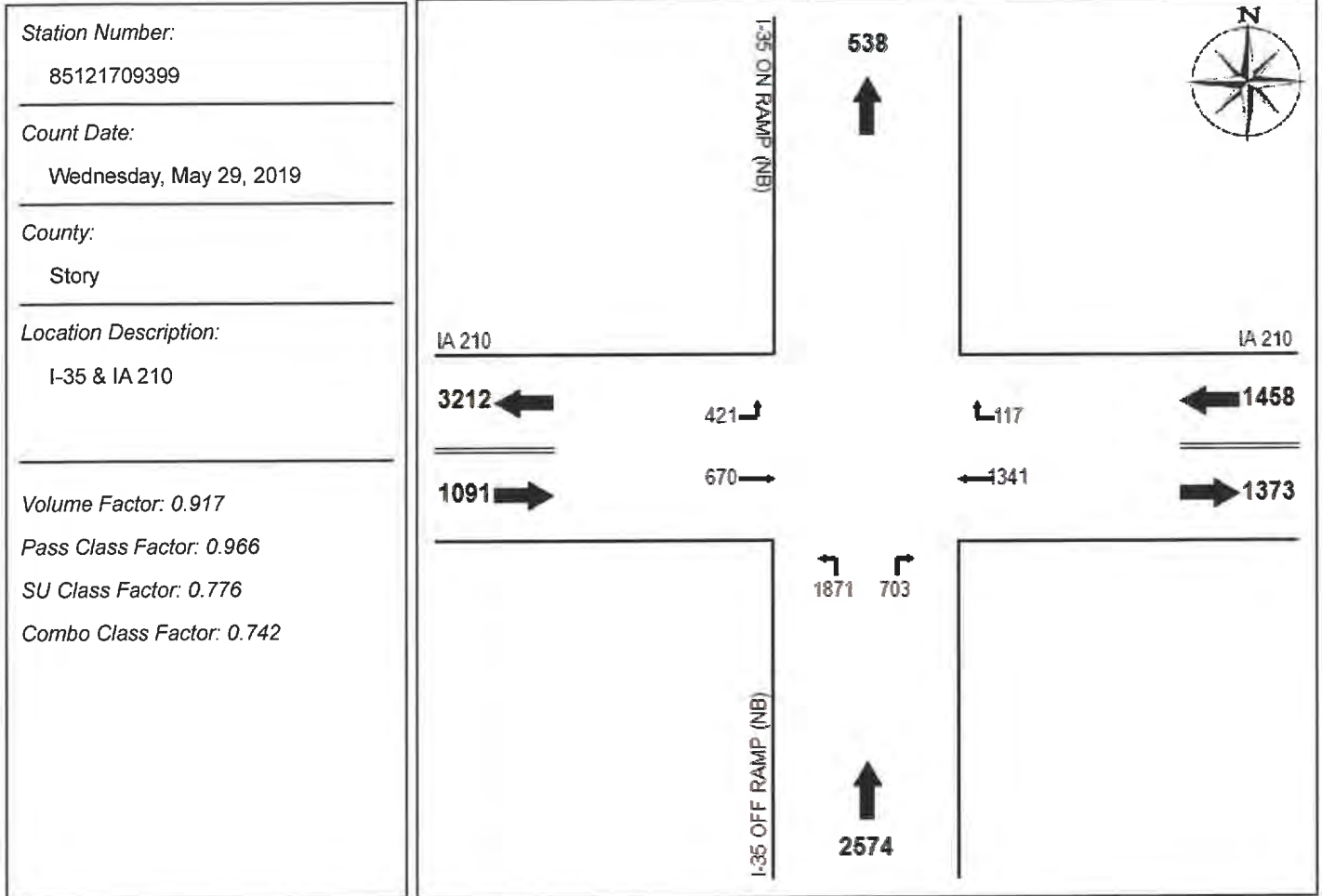
Figure 4 – 20-Year Full Build Out



CONCLUSION

With low projected volumes and minimal friction on mainline, no significant impact is expected as a result of the site.

Iowa Department of Transportation
Turning Movement Traffic Count Summary
 Annualized Daily Traffic For All Vehicles

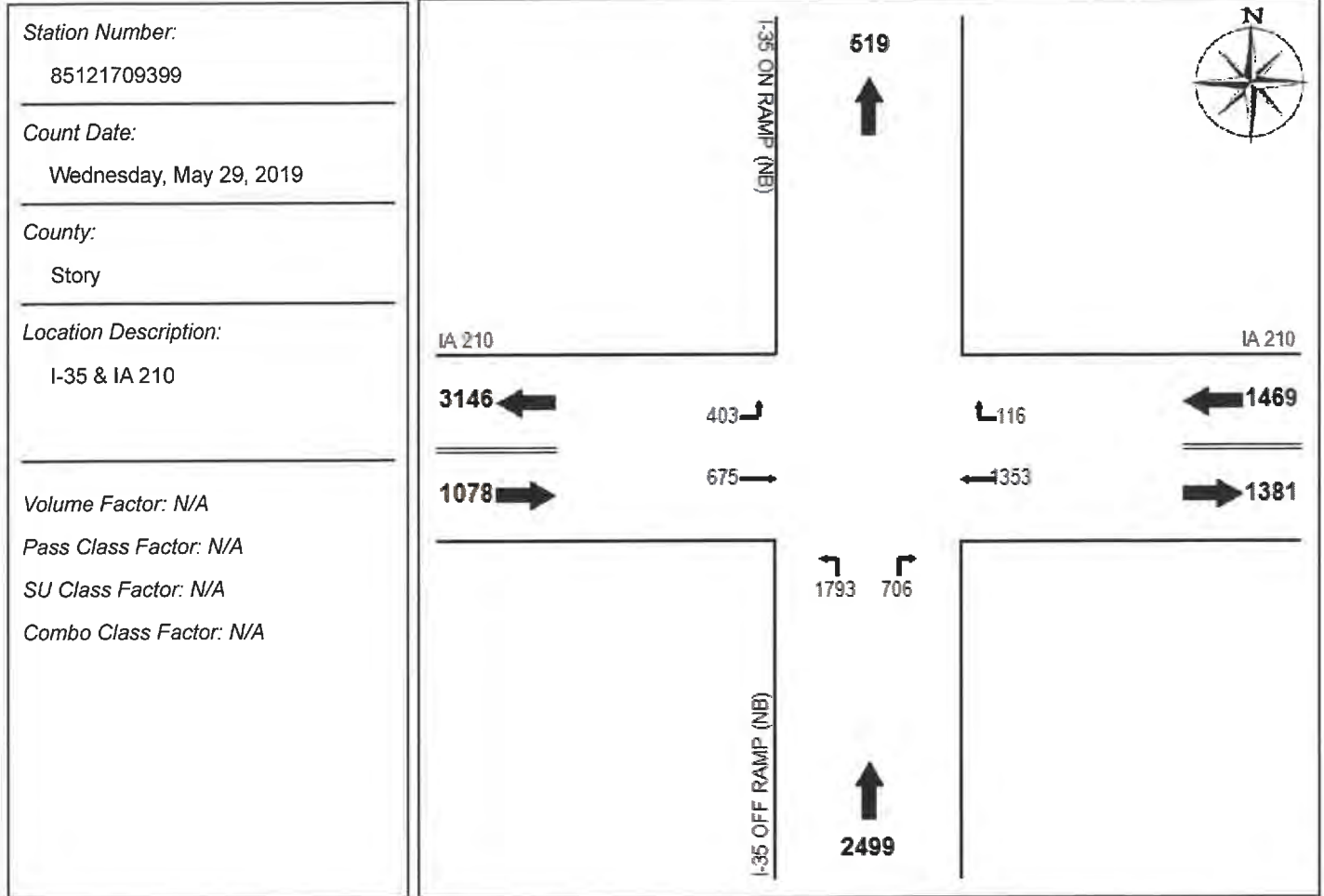


Raw Data-All Vehicles:

	E Leg		S Leg		W Leg	
	T	R	L	R	L	T
00:00	5	0	12	5	0	1
01:00	1	0	4	3	0	0
02:00	2	0	7	2	2	3
03:00	5	0	3	2	2	1
04:00	20	2	3	4	6	0
05:00	61	4	26	2	12	8
06:00	168	15	73	22	38	15
07:00	194	18	169	34	61	54
08:00	95	8	124	22	34	25
09:00	65	9	85	15	19	38
10:00	73	6	81	23	30	27
11:00	62	7	79	27	17	24
12:00	65	5	84	35	11	27
13:00	67	4	100	40	31	35
14:00	59	3	95	36	21	42
15:00	78	6	167	73	31	66
16:00	88	6	233	80	37	80
17:00	93	10	244	99	45	90
18:00	71	7	127	73	22	45

	E Leg		S Leg		W Leg	
	<i>T</i>	<i>R</i>	<i>L</i>	<i>R</i>	<i>L</i>	<i>T</i>
19:00	36	6	81	38	7	28
20:00	45	2	83	39	8	51
21:00	25	3	50	26	5	24
22:00	16	2	25	28	1	12
23:00	3	0	21	6	4	2

Iowa Department of Transportation
Turning Movement Traffic Count Summary
 Vehicle Type: Passenger Vehicles

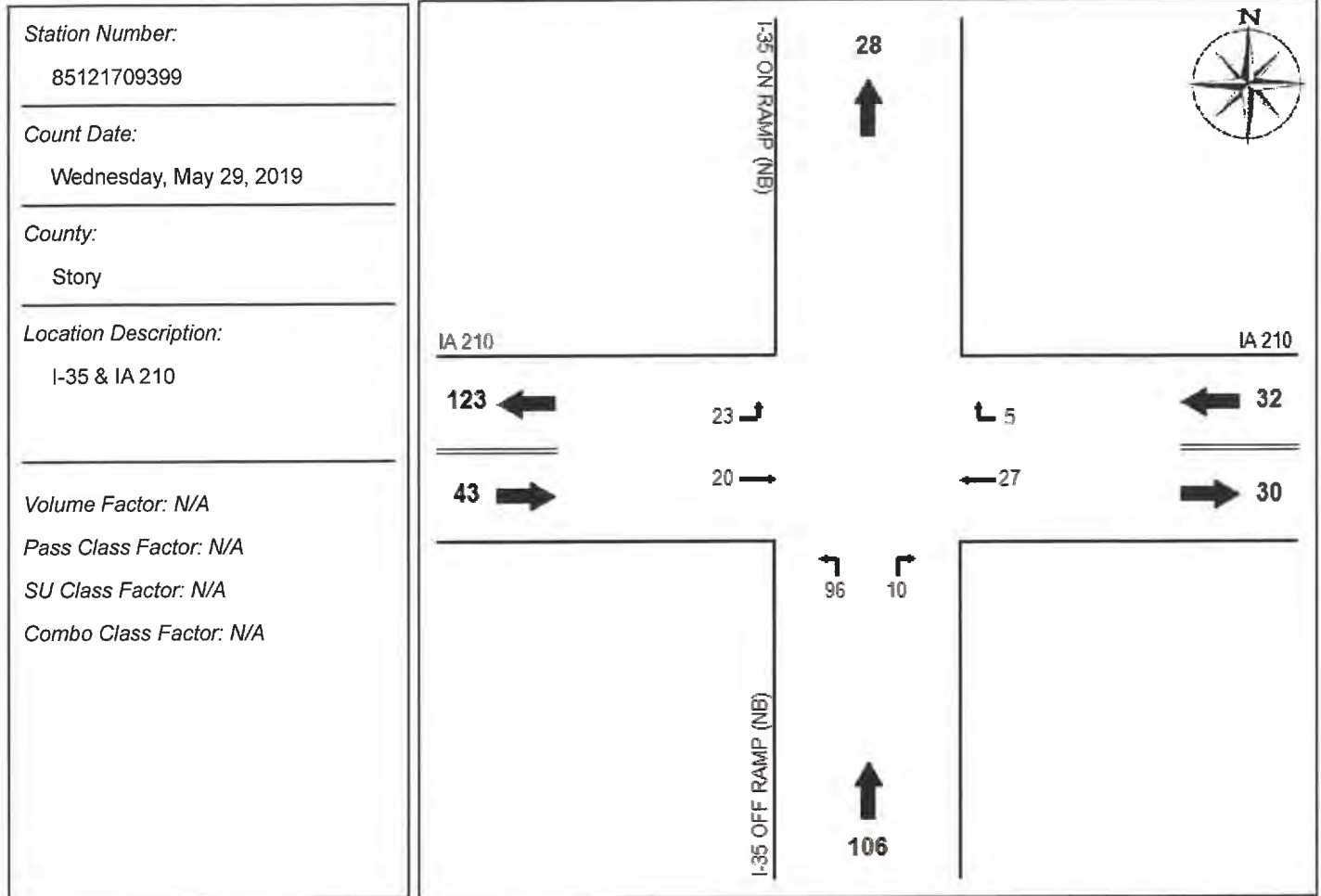


Raw Data-Passenger Vehicles:

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	T	R	L	R	L	T
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02:00	2	0	7	2	2	3
03:00	5	0	3	2	2	1
04:00	17	2	3	4	4	0
05:00	59	4	23	2	12	8
06:00	168	15	68	22	38	14
07:00	189	16	158	30	58	53
08:00	90	8	94	19	28	24
09:00	63	9	64	14	18	36
10:00	69	5	58	20	24	26
11:00	60	7	61	24	15	23
12:00	60	3	71	32	8	23
13:00	64	3	82	39	25	33
14:00	56	3	81	33	17	38
15:00	74	6	157	71	30	65
16:00	86	6	228	80	37	78
17:00	93	9	242	97	41	88
18:00	68	7	124	72	19	45

	E Leg		S Leg		W Leg	
	<i>T</i>	<i>R</i>	<i>L</i>	<i>R</i>	<i>L</i>	<i>T</i>
19:00	36	6	78	38	7	28
20:00	45	2	83	38	8	50
21:00	25	3	48	26	5	24
22:00	16	2	24	28	1	12
23:00	3	0	20	5	4	2

Iowa Department of Transportation
Turning Movement Traffic Count Summary
 Vehicle Type: Single-Unit Trucks

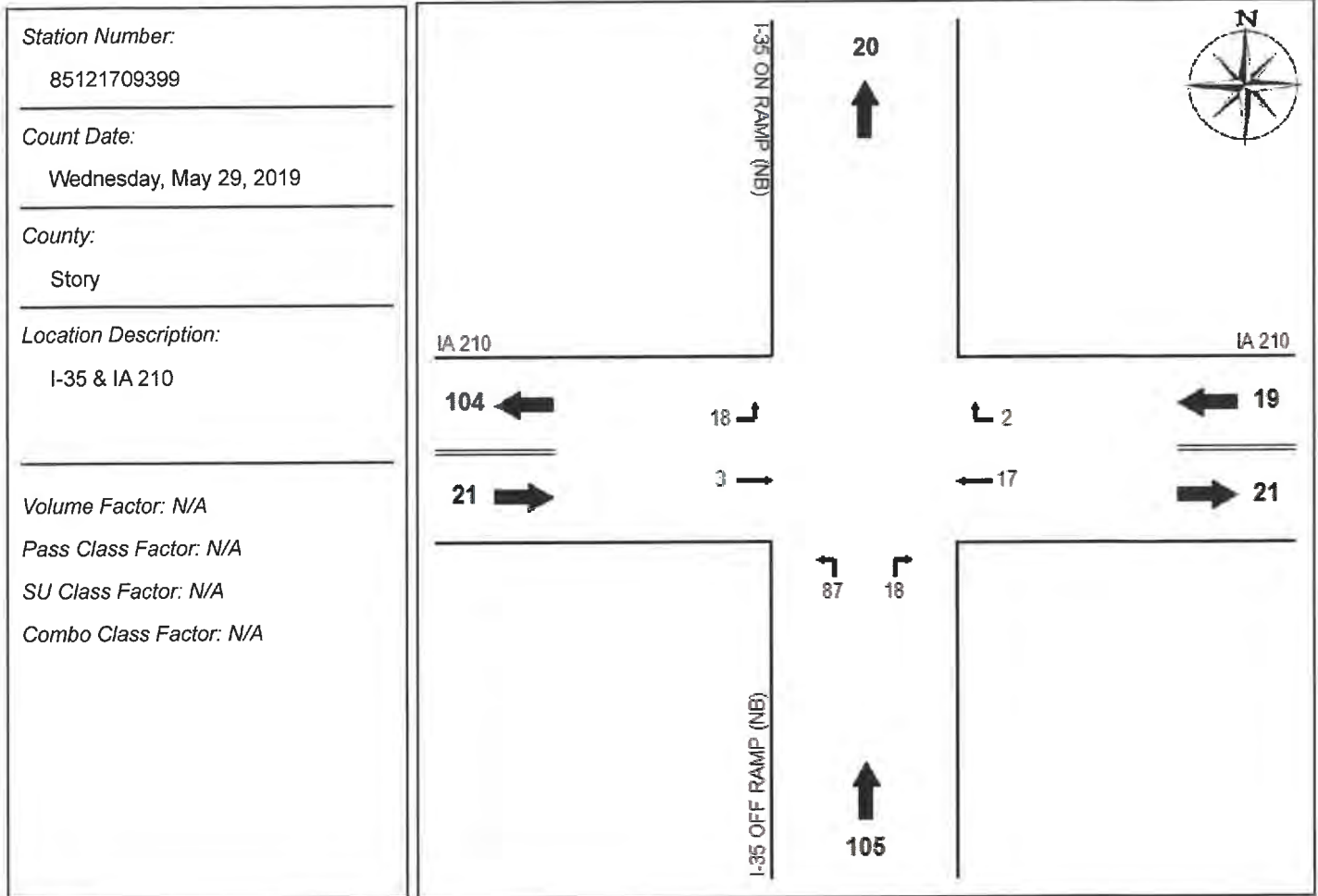


Raw Data-Single-Unit Trucks:

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02:00	0	0	0	0	0	0
03:00	0	0	0	0	0	0
04:00	1	0	0	0	0	0
05:00	1	0	1	0	0	0
06:00	0	0	5	0	0	1
07:00	5	2	6	3	3	1
08:00	2	0	20	0	5	1
09:00	2	0	13	1	0	2
10:00	1	1	14	0	3	1
11:00	1	0	6	2	1	1
12:00	1	1	5	0	2	3
13:00	3	0	6	0	5	1
14:00	1	0	7	1	1	4
15:00	4	0	4	1	0	1
16:00	2	0	3	0	0	2
17:00	0	1	1	0	2	1
18:00	2	0	1	1	1	0

	E Leg		S Leg		W Leg	
	<i>T</i>	<i>R</i>	<i>L</i>	<i>R</i>	<i>L</i>	<i>T</i>
19:00	0	0	2	0	0	0
20:00	0	0	0	1	0	1
21:00	0	0	2	0	0	0
22:00	0	0	0	0	0	0
23:00	0	0	0	0	0	0

Iowa Department of Transportation
Turning Movement Traffic Count Summary
 Vehicle Type: Combination Trucks



Raw Data-Combination Trucks:

	E Leg		S Leg		W Leg	
	T	R	L	R	L	T
00:00	0	0	0	0	0	0
01:00	0	0	0	0	0	0
02:00	0	0	0	0	0	0
03:00	0	0	0	0	0	0
04:00	2	0	0	0	2	0
05:00	1	0	2	0	0	0
06:00	0	0	0	0	0	0
07:00	0	0	5	1	0	0
08:00	3	0	10	3	1	0
09:00	0	0	8	0	1	0
10:00	3	0	9	3	3	0
11:00	1	0	12	1	1	0
12:00	4	1	8	3	1	1
13:00	0	1	12	1	1	1
14:00	2	0	7	2	3	0
15:00	0	0	6	1	1	0
16:00	0	0	2	0	0	0
17:00	0	0	1	2	2	1
18:00	1	0	2	0	2	0

	E Leg		S Leg		W Leg	
	<i>T</i>	<i>R</i>	<i>L</i>	<i>R</i>	<i>L</i>	<i>T</i>
19:00	0	0	1	0	0	0
20:00	0	0	0	0	0	0
21:00	0	0	0	0	0	0
22:00	0	0	1	0	0	0
23:00	0	0	1	1	0	0

Figure A: 2021 Existing Traffic Volumes

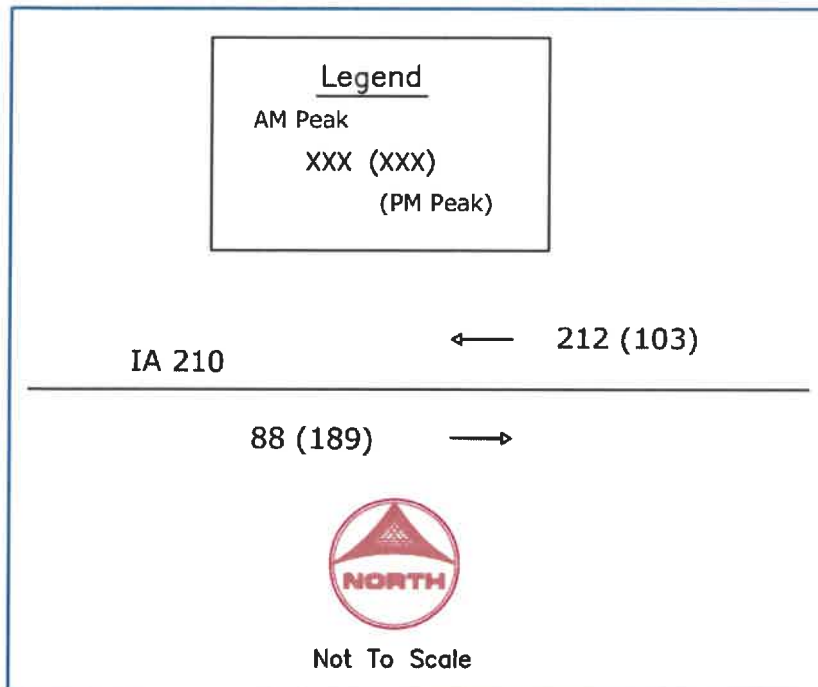


Figure B: 2041 20-Year No Build Volumes

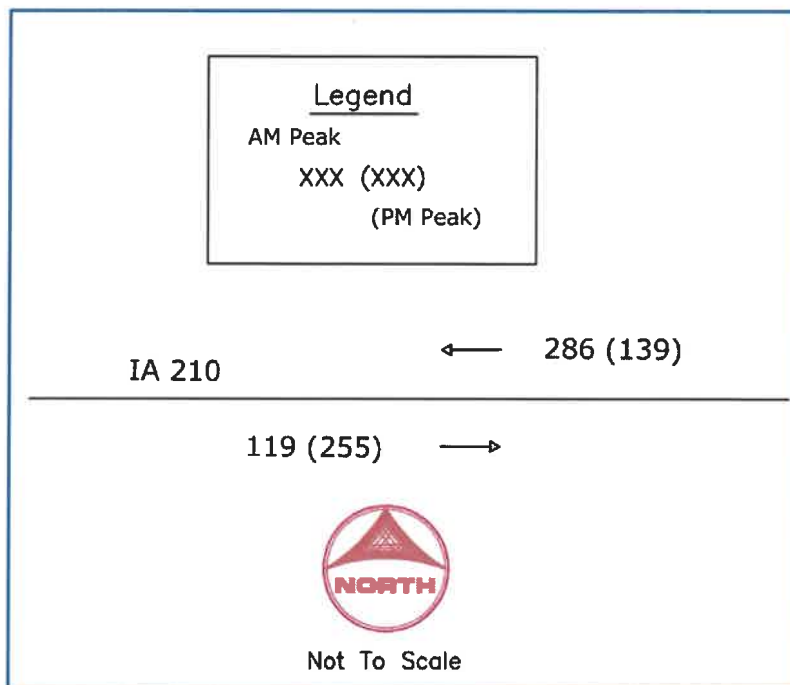


Figure C: 2021 Opening Day Traffic Volumes

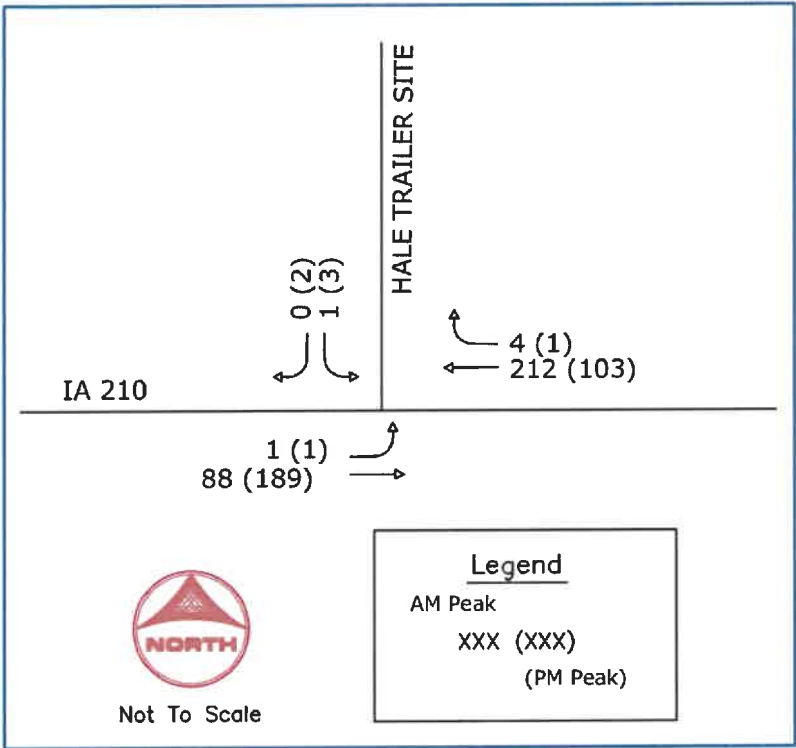
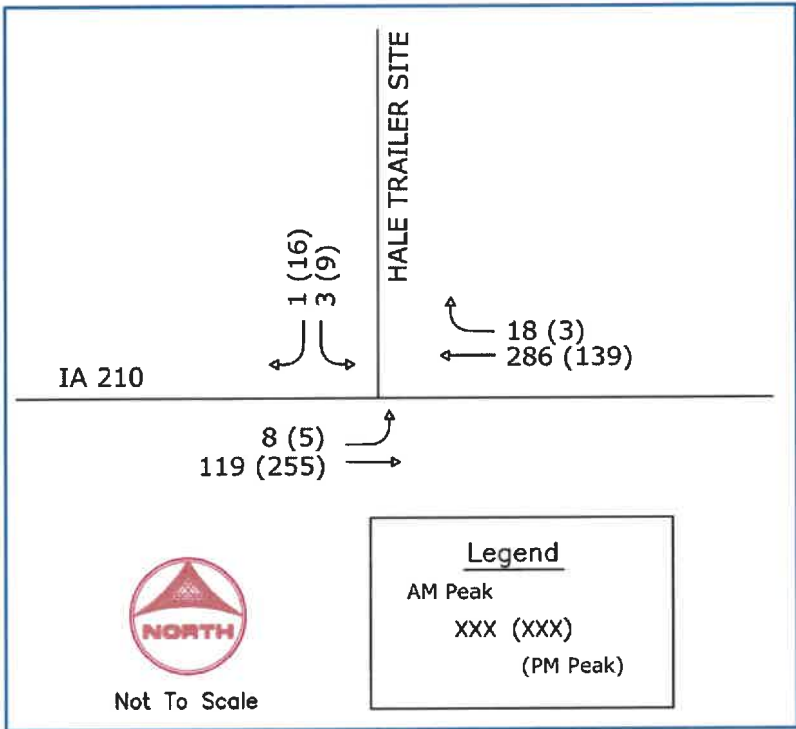
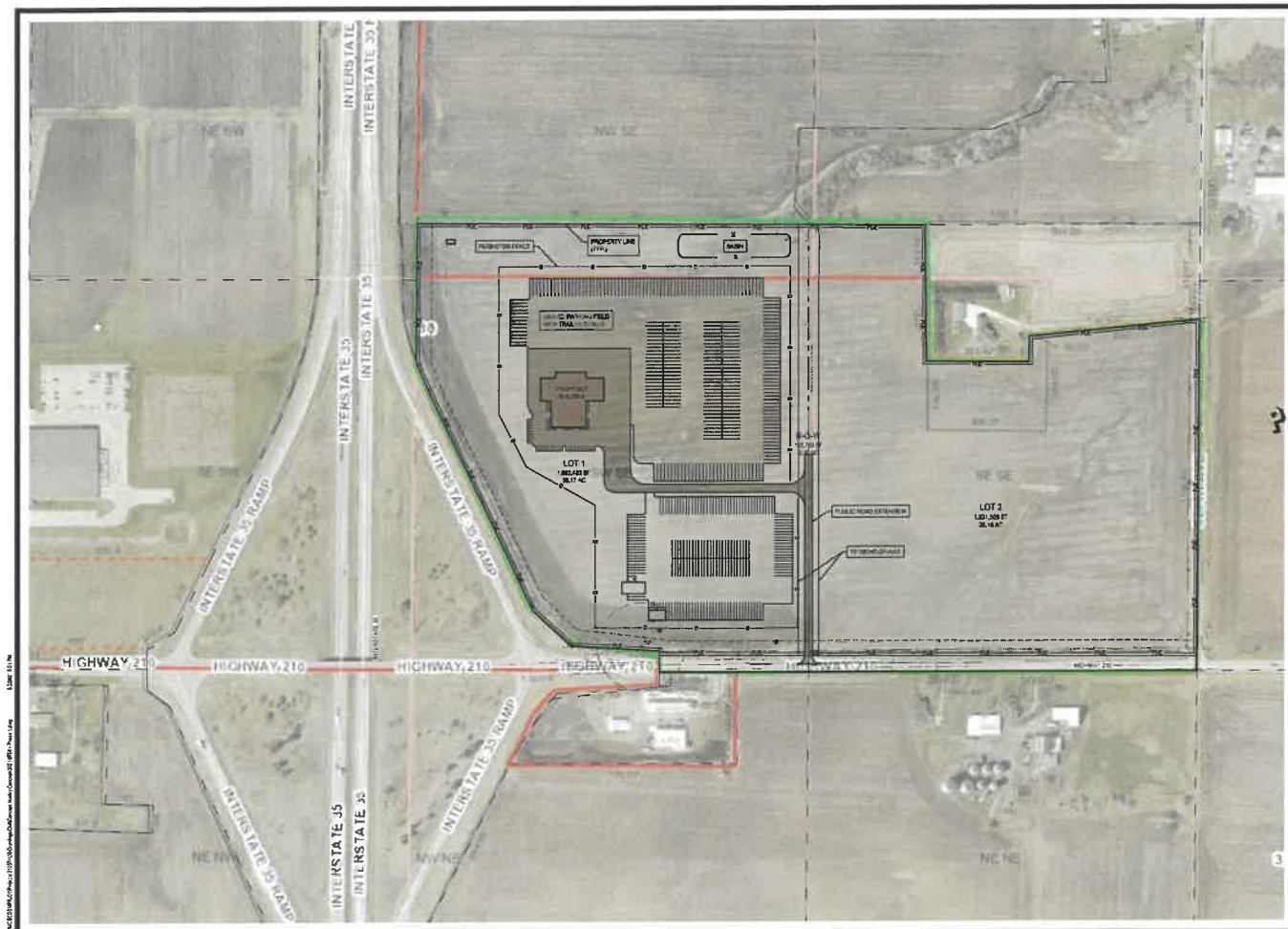


Figure D: 2041 20-Year Full Build-Out Volumes





1345 HWY 121 ST, Ste 100
 Cedar Rapids, IA 52403
 515-544-1229
 Fax: 515-544-1229

NOTES:
 1. The Project is located on a 10-acre site, and all improvements are to be made on the 10-acre site.
 2. The Project is located on a 10-acre site, and all improvements are to be made on the 10-acre site.
 3. The Project is located on a 10-acre site, and all improvements are to be made on the 10-acre site.
 4. The Project is located on a 10-acre site, and all improvements are to be made on the 10-acre site.

PRELIMINARY

PHASE 2



HURLEY, IOWA

JULY 8, 2021

0.000000

DESIGNED BY T. SMITH
 CHECKED BY T. SMITH
 DRAWN BY T. SMITH
 REVISION NO. 000

PROJECT NO. C-02
 SHEET NO. 01 / 01

PLANNING & ZONING COMMUNICATION

AGENDA HEADING:

Site Plan for Huxley Communications

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Huxley Communications (Levi Bappe, General Manager 102 North Main Avenue PO Box 36 Huxley, Iowa 50124,) has submitted a site plan for 2.34 acres of land located the corner of Campus Drive and South Main Avenue. The site will serve to consolidate the operations of HuxComm into one 32,370 sf building. The utility currently occupies four separate sites within the City of Huxley.

Additional information is in the attachments.

ADDITIONAL INFORMATION: NO

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: NO

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- City Council Site Plan Review September 28, 2021

RESOLUTION NO. 21-091

RESOLUTION APPROVING HUXLEY COMMUNICATIONS SITE PLAN

WHEREAS, Huxley Communications has submitted site plan materials for City of Huxley review for their consolidated operations building project, M-1 zoning district and;

WHEREAS, the Planning & Zoning Commission reviewed and recommended Council approval of the site plan for the project at their September 20, 2021 meeting and;

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:
Approval of the Huxley Communications site plan.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 28th day of September 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-091** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 28th day of September 2021.

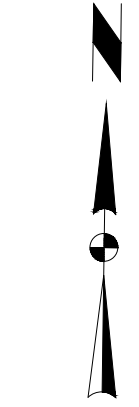
Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

SITE PLANS FOR HUXLEY COMMUNICATIONS

400 SOUTH MAIN AVENUE CITY OF HUXLEY, STORY COUNTY, IOWA



NOT TO SCALE

VICINITY MAP

OWNER / DEVELOPER/ APPLICANT

HUXLEY COMMUNICATIONS
102 NORTH MAIN AVENUE, PO BOX 36
HUXLEY, IA 50124
PH: 515 597 2281
CONTACT: LEVI BAPPE- GENERAL MANAGER
EMAIL: LEVI@HUXLEYCOMMUNICATIONS.NET

CIVIL ENGINEER

SNYDER & ASSOCIATES
2727 SW SNYDER BLVD.
ANKENY, IA 50023

CONTACT: JON HANSON, PE
PH: 515 964 2021 EXT. 2652
EMAIL: JHANSON@SNYDER-ASSOCIATES.COM

INDEX OF SHEETS	
Sheet Number	Sheet Title
C0.0	TITLE
C0.1	PROJECT INFO
C1.0	DIMENSION PLAN
C2.0	GRADING PLAN
C2.1	GRADING DETAILS
C3.0	PLANTING PLAN



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Jon L. Hanson, P.E. _____ Date _____

License Number P15562

My License Renewal Date is December 31, 2022

Pages or sheets covered by this seal:

NOT FOR CONSTRUCTION

HUXLEY COMMUNICATIONS

HUXLEY, IA
Project 2021-XXXX

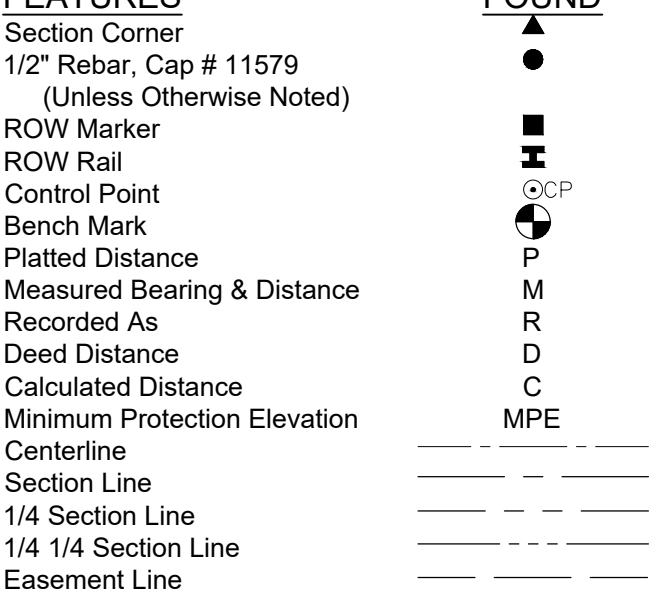
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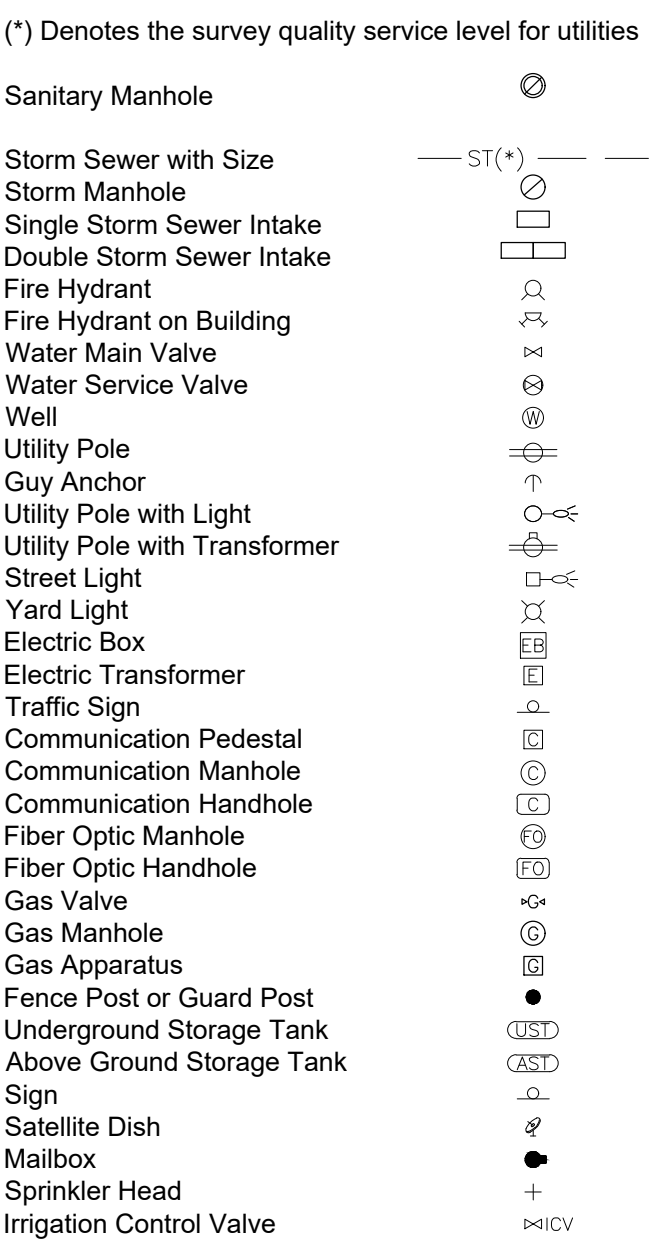
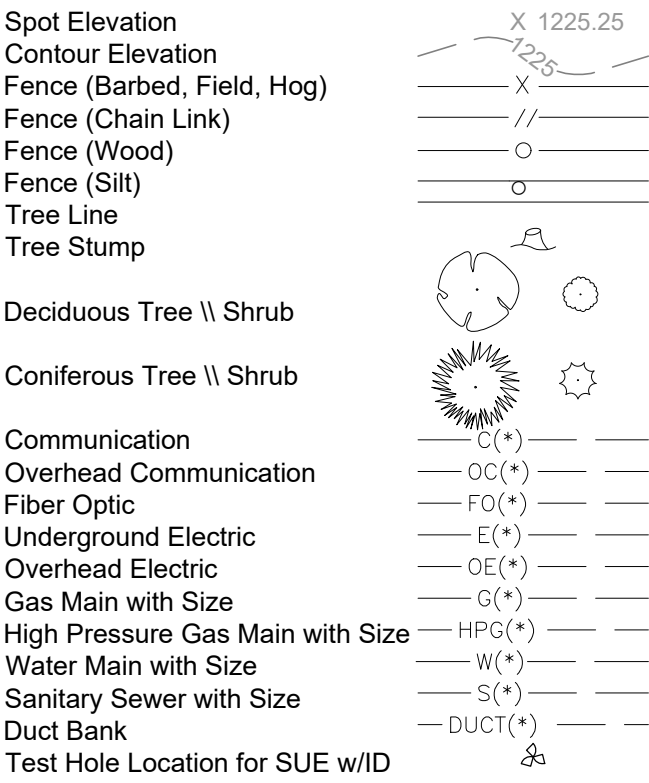
S:\\$Atura\Arch Files\2021-087 - Hontcock County Secondary Roads\Drawings\Hontcock County Secondary Roads.rvt 7/6/2021 3:58:19 PM

LEGEND

FEATURES



FEATURES



UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.
QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.
QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.
QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.
QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552104158.

G1-GAS UE1-BURIED ELECTRIC	ALLIANT ENERGY ALLIANT ENERGY FIELD ENGINEER 800-255-4268 LOCATE IPL@ALLIANTENERGY.COM
S1-SANITARY SEWER ST-STORM SEWER	CITY OF HUXLEY JEFF PETERSON 515-597-2561 PUBLICWORKS@HUXLEYIOWA.ORG
NO RESPONSE	HUXLEY COMMUNICATIONS COOP TERRY FERGUSON 515-597-2281 TERRY@HUXLEYCOMMUNICATIONS.NET
NO RESPONSE	MEDIACOM TIM ADREON 515-233-2318 ADREON@MEDIACOMCC.COM
FO1-FIBER OPTIC	UNITED PRIVATE NETWORKS JOE KILZER 816-425-3556 UPNGIS@UPNFIBER.COM

CONTROL POINTS
IOWA REGIONAL COORDINATE SYSTEM - ZONE 8
NAD83(2011)EPOCH 2010.00 IARTN DERIVED - US SURVEY FEET

CP1 N=7597109.60 E=18530069.80 Z=1033.98
CUT "X" BACK OF CURB INTAKE, WEST SIDE OF MAIN STREET, ±20' NORTH OF DIAMOND SURFACE ENTRANCE.

CP2 N=7597531.56 E=18530066.10 ELEV=1026.85
CUT "X" BACK OF CURB INTAKE, WEST SIDE OF MAIN STREET, ±25' NORTH OF CAMPUS DRIVE.

CP3 N=7597459.37 E=18530579.99 ELEV=1027.90
CUT "X" NORTHEAST CORNER CONCRETE AT WATER VALVE, ±15' NORTH OF CAMPUS DRIVE, EAST BACK OF CURB OF DOCK ENTRANCE OF KREG TOOLS.

CP4 N=7597119.72 E=18530433.00 ELEV=1030.89
FND 1/2" REBAR WITH YELLOW PLASTIC CAP #6586, ±20' NORTHEAST OF FENCE CORNER, SOUTHEAST PROPERTY CORNER, 0.2' NORTHEAST OF 1/2" REBAR YELLOW PLASTIC CAP #6586.

BENCHMARKS
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

BM500 N=7597529 E=18530111 ELEV=1029.17
BURY BOLT ON HYDRANT, ±20' EAST OF MAIN STREET, ±30' NORTH OF CAMPUS DRIVE.

UTILITY INSPECTION CONTACT INFORMATION

WATER SANITARY SEWER	KEITH VITZTHUM CITY OF HUXLEY 515-290-7512
STORMWATER SWPPP	MAT KAHLER CITY OF HUXLEY 515-822-3800
GAS ELECTRIC	JENNI KRONEMAN STAPLEFORD ALLIANT ENERGY 515-268-3425

PROPERTY ADDRESS

400 SOUTH MAIN AVENUE, HUXLEY, IA 50124

PRESENT ZONING CLASSIFICATION

M-1 INDUSTRIAL

PROPOSED ZONING OF SITE

M-1 INDUSTRIAL

LEGAL DESCRIPTION

HDC PLAT 2 LOT 11, HUXLEY

DEVELOPMENT SCHEDULE

PERMETER EROSION CONTROL: SEPT. 2021
SITE GRADING AND UTILITIES: OCT. 2021
BUILDING FOUNDATION: NOV. 2021
BUILDING CONSTRUCTION: DEC. 2021-AUG 2022
SITE PAVING: MAY 2021
FINAL SEEDING AND LANDSCAPING: SEPT. 2022

PROPOSED SITE

TOTAL AREA: 102,136 SF (2.34 AC)

PROPOSED BUILDING INFORMATION

TOTAL NUMBER AND TYPES OF BUILDINGS: 1; COMMERCIAL
NUMBER OF STORIES: 1
TOTAL FLOOR AREA: 32,730 SF
BUILDING HEIGHT: 26'-0"

EXISTING/PROPOSED LAND USE

EXISTING: UNDEVELOPED LOT
PROPOSED: TELECOMMUNICATIONS OFFICE AND SHOP

BULK REGULATIONS

SETBACKS:
FRONT YARD: 25 FEET (30 FEET IN COVENANT)
SIDE YARD: 10 FEET
REAR YARD: 10 FEET

PARKING REQUIREMENTS

1 SPACE PER 400 SF OF GROSS FLOOR AREA FOR BUSINESS.
1 SPACE PER 5,000 SF WAREHOUSE FLOOR AREA.

10,416 SF OF BUSINESS/400 SF = 26 SPACES REQUIRED.
22,314 SF OF WAREHOUSE/5,000 = 5 SPACES REQUIRED.

31 TOTAL PARKING SPACES REQUIRED.
38 TOTAL PARKING SPACES PROVIDED, INCLUDING 2 ACCESSIBLE SPACES.

POLLUTION PREVENTION NOTES

A. POLLUTION PREVENTION AND EROSION PROTECTION

1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.

2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.

2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.

3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES, ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.

2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMPs AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMPs FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.

3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.

4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:

a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.

b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.

c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.

d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.

e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.

f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS, REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.

g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.

h. RESPREAD A MINIMUM OF 8 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.

i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.

k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS

WATER:

- C900 DR18 FOR WATER MAINS
- WATER SERVICES 2" OR LESS WILL BE TYPE K COPPER.
- NO COUPLINGS ON WATER SERVICES UNDER 90'.
- STORZ FITTINGS ON PUMPER NOZZLE ON HYDRANTS.
- FULL DEPTH ARCH PATTERN CURB STOPS BOXES. NO COUPLINGS TO LENGTHEN CURB STOP BOXES. IF COUPLINGS ARE REQUIRED DUE TO NON-STANDARD LENGTHS EXCEEDING 8 1/2 FEET THEN THE COUPLING WILL NEED TO BE APPROVED BY THE WATER SUPERINTENDENT AND WILL NEED TO BE WELDED TO THE CURB STOP BOX AND INSPECTED BY THE WATER SUPERINTENDENT BEFORE BURED.
- VALVCO LOCATER BOXES FOR TRACER WIRES. LOCATION OF BOXES APPROVED BY WATER SUPERINTENDENT OR DESIGNEE.
- ALL TRACER WIRES WILL NEED TO BE TRACEABLE BY THE CONTRACTOR BEFORE THE CITY ATTEMPTS TO TRACE THE LINES FOR FINAL APPROVAL.
- 3M SCOTCHCAST KIT 3832 SPLICE KITS ON TRACER WIRES ONLY.
- ALWAYS CAP OR PLUG THE END OF THE WATER MAIN BETWEEN INSTALLATION OF PIPES TO KEEP GROUND WATER AND DEBRIS OUT OF PIPE.
- CONTRACTOR WILL NOT OPERATE ANY EXISTING VALVES WITHOUT WATER SUPERINTENDENT OF DESIGNEE PRESENT.
- ALL DUCTILE IRON PIPE, FITTINGS, VALVES, AND FIRE HYDRANT ASSEMBLIES WILL BE WRAPPED WITH 8 MIL BLACK POLYETHYLENE WRAP AND TAPED SECURELY.
- STAMP CURBS WITH THE LETTER W FOR WATER SERVICES.
- FORD 1" KV23 VALVES WILL BE REQUIRED AT ALL METER SETS IN THE HOME ON THE SERVICE LINE.
- ALL VALVE BOXES AND HYDRANT BURY LINES WILL BE INSTALLED TO FINAL GRADE.
- NO YARD HYDRANTS ALLOWED.

SEWER:

- SDR 23.5 WITH GASKET BELLS FOR SANITARY LATERALS OR SCHEDULE 40 IN LIEU OF 23.5.
- TRUSS PIPE WITH GASKET BELLS FOR SANITARY MAINS.
- FACILITY FITTINGS ON NEW INSTALLATION FOR LATERALS. EXISTING MAIN TAPS WILL USE ROMAC CB SERVICE SADDLES FOR 4" AND 6" LATERALS.
- MACROS FOR CONNECTING BUTT JOINTS ON SANITARY LATERALS AND COLLECTION MAINS (MAXADAPTERS MAY POSSIBLY BE USED WITH PRIOR APPROVAL FROM PUBLIC WORKS DIRECTOR, WATER OR WASTEWATER SUPERINTENDENT.)
- VALVCO LOCATER BOXES FOR TRACER WIRES.
- MANHOLES IN PAVEMENT WILL REQUIRE INTERNAL CRETEX CHIMNEY SEALS.
- MANHOLES OUTSIDE OF PAVEMENTS WILL BE ALLOWED EXTERNAL CRETEX CHIMNEY SEALS WITH PRIOR APPROVAL FROM CITY ENGINEER.
- 3M SCOTCHCAST KIT 3832 SPLICE KITS ON TRACER WIRES ONLY
- ALL MAINS WILL BE JETTED AND CLEANED WITH ALL DIRT, GRAVEL AND DEBRIS REMOVED BY VACTOR.
- ALL MANHOLES WILL BE CLEANED.
- SANITARY MAINS AND LATERALS WILL BE VIDEOED, AND TAPES TURNED INTO THE CITY FOR REVIEW. CITY PERSONNEL WILL BE PRESENT ON JOB SITE WHILE VIDEOS ARE BEING TAPED.
- STEPS ARE REQUIRED IN ALL MANHOLES. DO NOT ALIGN STEPS OVER FLOW LINES.
- ALL MANHOLES WILL BE INSTALLED AT FINAL GRADE.
- GROUT LIFT HOLES AND JOINTS ON ALL MANHOLES WITH FACTORY APPROVED MATERIAL. PROVIDE MANUFACTURERS SPECS ON APPROVED MATERIAL TO THE CITY.
- ALWAYS CAP OR PLUG THE END OF THE SANITARY MAIN BETWEEN INSTALLATION OF PIPES TO KEEP GROUND WATER AND DEBRIS OUT OF PIPE.
- STAMP CURBS WITH THE LETTER S FOR LATERAL SERVICES.

STORM SEWER:

- RCP FOR PIPES GREATER THAN 8".
- SCHEDULE 40 OR SDR 35 FOR 8" AND LESS.
- ALL STORM SEWER MANHOLE LIFT HOLES AND JOINTS WILL BE PLASTERED SHUT WITH APPROVED MATERIAL. PROVIDE MANUFACTURERS SPECS ON APPROVED MATERIAL TO THE CITY.
- ALL STORM INTAKE JOINTS AND RISERS WILL BE PLASTERED AND FILLED IN ON THE INSIDE AND OUTSIDE ON ALL JOINTS. PROVIDE MANUFACTURERS SPECS ON APPROVED MATERIAL TO THE CITY.
- A2000 NOT ALLOWED.
- CLEAN OUTS FOR STORMS AND SECONDARY STORMS WILL BE THREADED HUB NUT PLASTIC CAPS WITH NEENAH CASTING FRAME R19-76 PLACED OVER THREADED CAP ASSEMBLY AND CASTING BURIED AT FINAL ELEVATION.
- 2" SCHEDULE 40 FOR SUMP PUMP LINES.
- ALL STORM SEWERS MAINS AND MANHOLES WILL BE JETTED AND CLEANED.
- ALL MANHOLES WILL BE INSTALLED AT FINAL GRADE.
- ALL INTAKES WILL BE CLEANED OF MUD, SAND, ROCK AND DEBRIS.
- STORM SEWER COLLECTION MAINS AND SECONDARY LINES WILL BE VIDEOED, AND TAPES TURNED INTO THE CITY FOR REVIEW. CITY PERSONNEL WILL BE PRESENT ON JOB SITE WHILE VIDEOS ARE BEING TAPED.
- PROTECT AND INSTALL SMALL MANHOLE CASTINGS ON CLEANOUTS ON MAIN AND SECONDARY STORM SEWERS 12" AND LESS. CASTING FRAME WITH LID R19-76 NEENAH BRAND.

TRACER WIRE INSTALLED ON WATER, SANITARY AND STORM.

ALL UNDERGROUND UTILITIES WILL BE INSPECTED BEFORE BACKFILLED.

STREETS:

- ALL STREETS WILL BE SWEEP BY MECHANICAL STREET SWEEPER BEFORE ACCEPTANCE FROM THE CITY.
- ALL INTAKES WILL HAVE EROSION CONTROL BASKETS INSTALLED DURING CONSTRUCTION OF THE DEVELOPMENT AND WILL NOT BE REMOVED UNTIL ALL VEGETATION IS ESTABLISHED WITHIN THE RIGHT OF WAY AND APPROVED BY THE CITY ENGINEER AND STAFF TO REMOVE.
- STREETS WILL BE CLEANED DAILY FROM TRACK OUT FROM SITE.
- EROSION CONTROL FABRIC WILL BE INSTALLED BEHIND THE CURB THE LENGTH OF THE PROJECT THAT IS ADJACENT TO THE STREET.
- ALL THE BASKETS WILL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH BASKETS ARE ALLOWED TO BE REMOVED PER SUDAS AND THE CITY.
- ALL ADA TRUNCATED DOMES WILL BE OF RED COLOR AND FIBERGLASS MATERIAL AS APPROVED BY THE CITY.

GENERAL NOTES

1. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY OF HUXLEY SUDAS SUPPLEMENTAL SPECIFICATIONS, AND THE CITY CODE OF HUXLEY, IOWA.

3. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.

4. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.

5. NOTIFY OWNER, ENGINEER, CITY OF HUXLEY AND HUXLEY MUNICIPAL UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.

6. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESS. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.

7. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.

8. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.

9. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.

10. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.

11. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.

12. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.

13. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.

14. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.

16. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, POLK COUNTY, AND THE OWNER PRIOR TO CONSTRUCTION.

17. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.

18. ALL CLEANOUTS, MANHOLES, CURB STOPS, VALVES, AND VALVE TRACER BOXES TO BE INSTALLED AT FINISHED GRADE.

19. CONTRACTOR TO PROVIDE FINAL AS BUILT PLANS TO CITY AS AN ELECTRONIC PDF FORMAT, INCLUDING GIS COORDINATES FOR ALL CONSTRUCTED UTILITY MANHOLES, VALVE BOXES, CURB STOPS, HYDRANTS, AND CLEANOUTS IN ACAD FORMAT.

20. ENGINEER TO PROVIDE WRITTEN VERIFICATION THAT CONSTRUCTION PLANS AND AS BUILT PLANS WERE COMPLETED IN CONFORMANCE WITH THE ENGINEER DESIGN, SUDAS, AND HUXLEY SUPPLEMENTAL SPECS BEFORE A FINAL CO CAN BE ISSUED.



NOT FOR CONSTRUCTION

HUXLEY COMMUNICATIONS

HUXLEY, IA

Project 2021-XXXX

SEPTEMBER 10, 2021

CO.1



APEX STRUCTURAL, LLC
313 Collins Road NE #102
Des Moines, IA 50342
Ph. 319-294-2739

TWIN RIVERS
1000 Illinois Street
Des Moines, IA 50314
Ph. 515-288-3679

SNYDER & ASSOCIATES, INC.
2727 SW Snyder Blvd.
Ankeny, IA 50023
Ph. 515-964-2020

1. EXISTING FEATURES, PROTECT THE FOLLOWING:

- A. PAVEMENTS TO REMAIN.
 - B. PROTECT EXISTING UTILITIES.
 - C. PROTECT EXISTING FENCE. ANY DAMAGE TO FENCE TO BE REPAIRED.
2. REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.

3. PAVEMENTS, PROVIDE THE FOLLOWING:
- A. 7" DEPTH PCC PAVEMENT ON 12" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - B. 6" DEPTH PCC PAVEMENT ON 12" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - C. 5" DEPTH PCC SIDEWALK WITH 6" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR. MINIMUM SIDEWALK WIDTH IS 5'.
 - D. 6" STANDARD CURB. SEE DETAIL.
 - E. PROVIDE TYPE 'B' DRIVEWAY CONNECTION (SUDAS 7030.102)
 - F. PEDESTRIAN RAMP WITH 8.33% MAXIMUM SLOPE PER ADA REQUIREMENTS. INSTALL ADA DETECTABLE WARNING PANELS WHERE SHOWN.
DETECTABLE WARNING PANELS TO BE "ARMOR TILE" PAD, CAST IN PLACE, COLOR RED.
 - G. NO CURB.
 - H. TAPER CURB IN 8'.
 - I. CONCRETE STEPS WITH HANDRAIL. SEE SUDAS TYPE A CONCRETE STEPS (SUDAS 9080.101) FOR DETAILS.
 - J. INTEGRAL SIDEWALK AND CURB. SEE DETAIL.

©CP 3

4. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
- A. 4" WIDE PAINTED PARKING STALL LINES (WHITE).
 - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - C. ACCESSIBLE AISLE. 45 DEG STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.

5. SIGNS, PROVIDE THE FOLLOWING:
- A. PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG AND ANSI A117.1-09 SECTION 502.7 REQUIREMENTS.
- B. PROVIDE ACCESSIBLE PARKING SIGNAGE AS PER ADAAG AND ANSI A117.1-09 SECTION 502.7 REQUIREMENTS.

6. SITE AMENITIES, PROVIDE THE FOLLOWING:
- A. TRASH ENCLOSURE, REFER TO TRASH ENCLOSURE DETAIL ON ARCHITECTURAL PLANS.
 - B. BOLLARDS. SEE DETAIL.
 - C. 6' HIGH CHAIN LINK FENCE.
 - D. 6'H X 16'W (16' CLEAR OPENING) SINGLE CANTILEVER SLIDING GATE (AUTOMATED). PROVIDE GATE WITH REMOTE CONTROL ACCESS AND PUSH BUTTON WITHIN BUILDING INTERIOR.
 - E. 6'H X 16'W (16' CLEAR OPENING) DOUBLE SWING GATE WITH LOCK AND LATCH.
 - F. GENERATOR AND MECHANICAL UNITS. COORDINATE WITH OWNER, ARCHITECT, AND MEP FOR EXACT LOCATIONS AND SIZE PRIOR TO CONSTRUCTION.

7. SITE UTILITIES. COORDINATE UTILITY SERVICES WITH LOCAL PROVIDERS AND ARCHITECTURAL AND MECHANICAL PLANS.
- A. TRANSFORMER PAD WITH MOAT.
 - B. GAS METER.
 - C. ELECTRICAL METER.
 - D. ELECTRIC SERVICE (FOR ILLUSTRATION PURPOSES ONLY).
 - E. GAS SERVICE (FOR ILLUSTRATION PURPOSES ONLY).
 - F. COORDINATE WITH ALLIANT ENERGY TO RELOCATE STREET LIGHT OUTSIDE OF SIDEWALK. MAINTAIN 2' CLEAR FROM EDGE OF SIDEWALK.

8. ROOF DRAINS, SEE ARCHITECTURAL AND MECHANICAL PLANS FOR DETAILS ON LOCATION, SIZE AND ELEVATION PRIOR TO CONSTRUCTION. PROVIDE SPLASH BLOCKS AT ROOF DRAIN LOCATIONS WHERE STORM SEWER IS NOT PROVIDED.

9. WATER SERVICES, PROVIDE THE FOLLOWING:
- A. 8" PRIVATE PVC C900 DR18 WATER SERVICE WITH TRACER WIRE. TERMINATE TRACER WIRE IN A FLUSH MOUNTED TRACER WIRE BOX. DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB. USE 3. SCOTCHPLAST SPLICE ENCAPSULATION KIT 3832 FOR ALL TRACER WIRE CONNECTIONS. MAINTAIN 5.5' BURY DEPTH TO THE TOP OF MAIN.
 - B. CONNECT TO EXISTING 10" WATER MAIN WITH TAPPING VALVE AND SLEEVE. COORDINATE TAP WITH HUXLEY PUBLIC WORKS DEPARTMENT.
 - C. CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - D. HYDRANT ASSEMBLY WITH AUXILIARY VALVE AND 'STORZ' NOZZLE. POSITION HYDRANT TO BE 2' CLEAR OF SIDEWALK.
 - E. ADJUST WATER VALVE TO FINAL GRADE.

10. SANITARY SEWER SERVICES. PROVIDE THE FOLLOWING:
- A. CONNECT TO EXISTING 10" SANITARY SEWER WITH ROMAC CB SERVICE SADDLES. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. COORDINATE TAP WITH HUXLEY PUBLIC WORKS DEPARTMENT.
 - B. 6" PVC SDR 23.5 SANITARY SEWER SERVICE LINE AT 1.10% MINIMUM SLOPE (1/8" PER FOOT). TERMINATE TRACER WIRE IN A TRACER WIRE BOX, DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB. USE 3, SCHOTCHPLAST SPLICE ENCAPSULATION TRACER WIRE CONNECTIONS.
 - C. SANITARY CLEANOUT (SUDAS TYPE SW-203).
 - D. CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - E. CRITICAL CROSSING.

11. ROOF DRAIN. COORDINATE LOCATION AND OUTLET ELEVATION WITH ARCHITECTURAL PLANS.
A. PROVIDE 6" PVC DOWNSPOUT LEADER TO ATTACH TO STORM SEWER.

PROVIDE A MINIMUM OF 2 INCHES OF COVER FOR ALL REINFORCING.

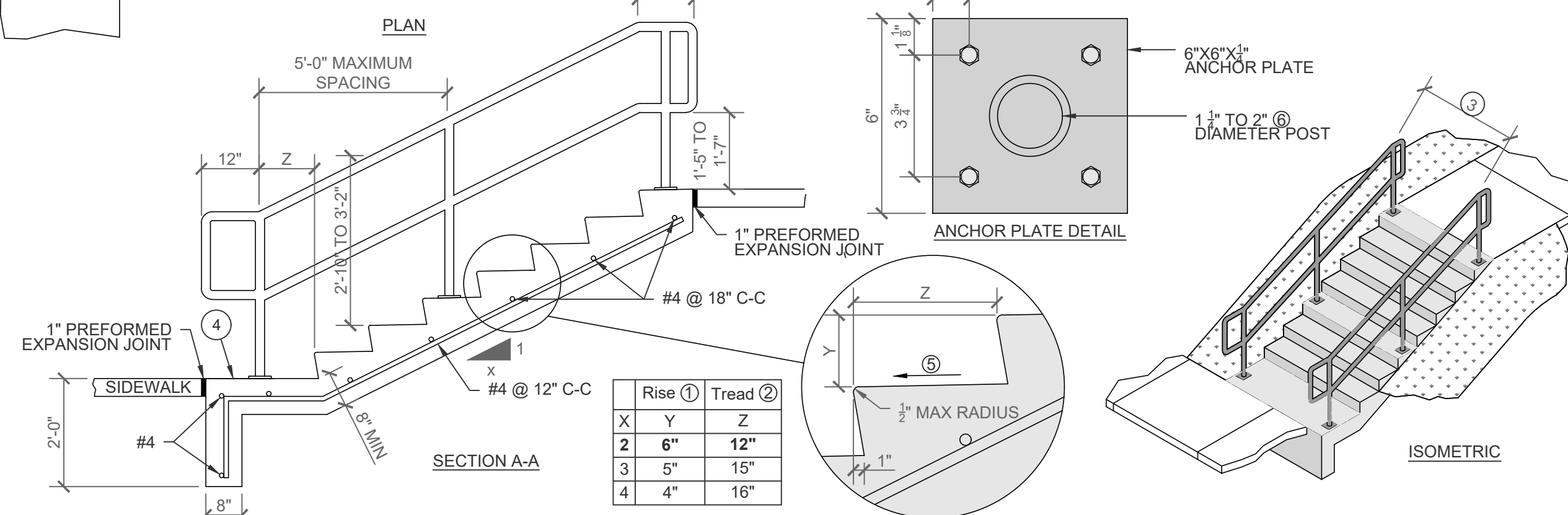
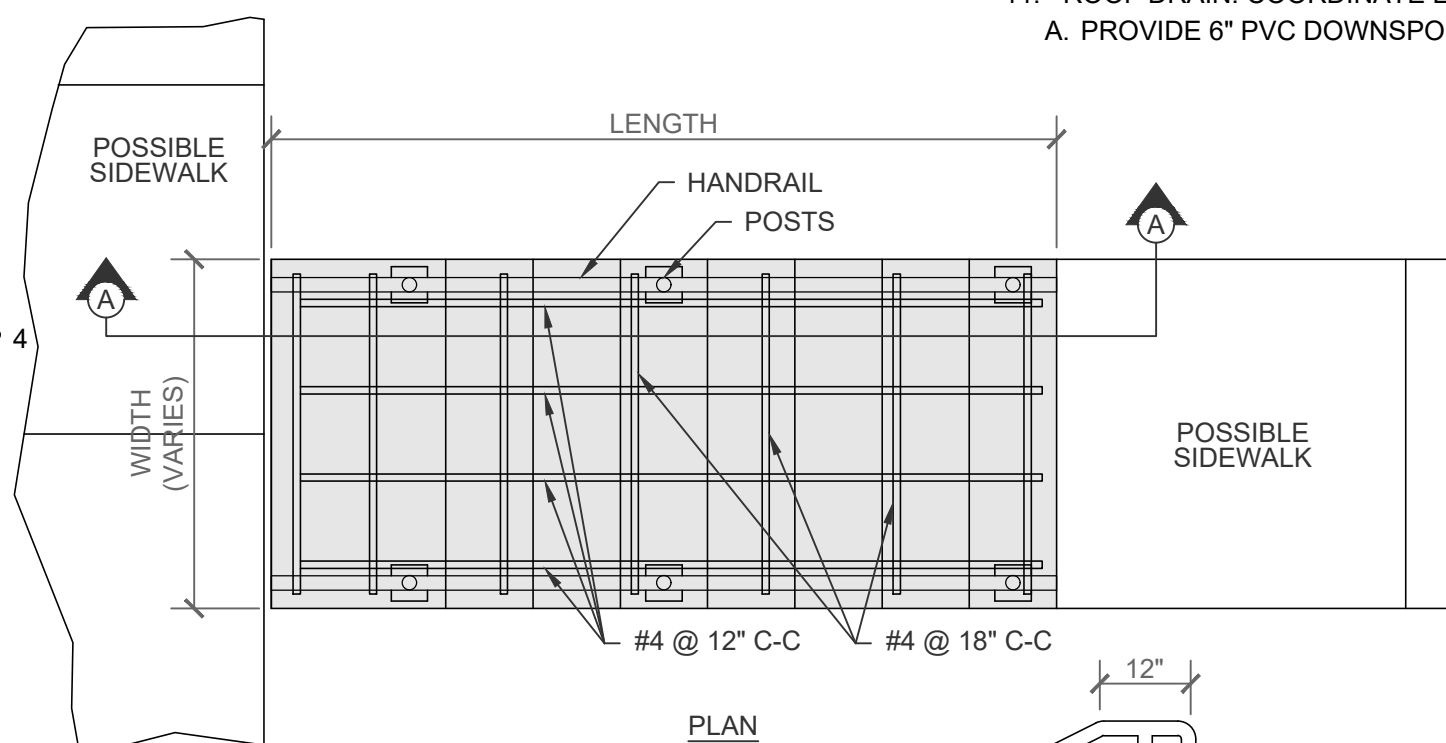
ENSURE ALL RISERS ARE AN EQUAL HEIGHT AND ALL TREADS ARE AN DEPTH WITHIN A FLIGHT OF STAIRS.

- ① MINIMUM RISER HEIGHT IS 4 INCHES. MAXIMUM RISER HEIGHT IS 7 INCHES.
- ② MINIMUM TREAD DEPTH IS 11 INCHES.
- ③ MATCH EXISTING SIDEWALK WIDTH.
- ④ CONSTRUCT CROSS SLOPE OF LANDING TO MATCH ADJACENT SIDEWALK.
- ⑤ SLOPE TREAD 1% MINIMUM TO 2% MAXIMUM IN ANY DIRECTION.
- ⑥ WELD POST TO ANCHOR PLATE WITH $\frac{1}{4}$ INCH WELD. GRIND WELD TO PROVIDE SMOOTH SURFACE, FREE OF BURRS.



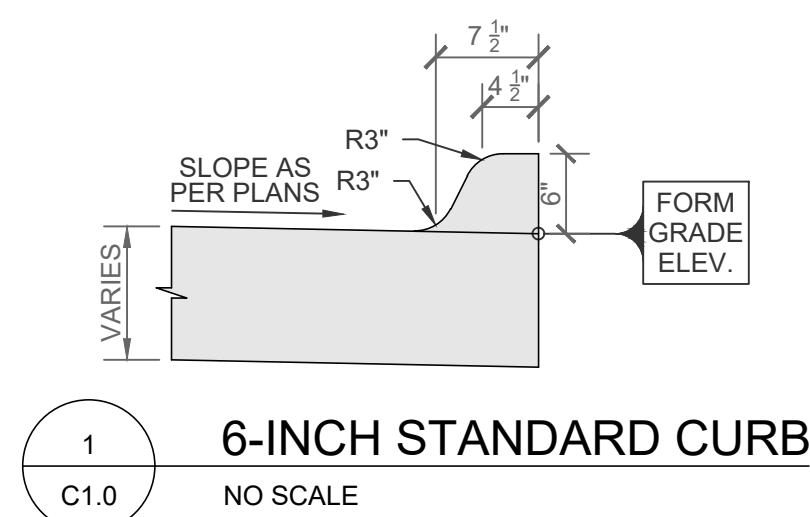
- 5" PCC PAVEMENT
- 6" PCC PAVEMENT
- 7" PCC PAVEMENT

— REMOVE AND DISPOSE
APPROXIMATELY 0.25
ACRES OF GRAVEL



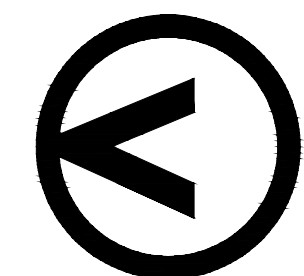
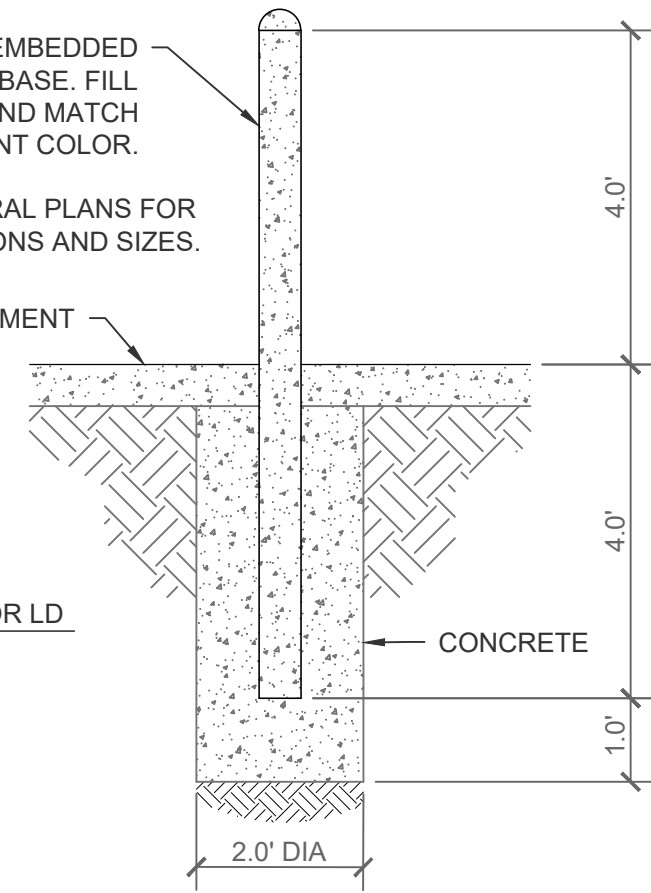
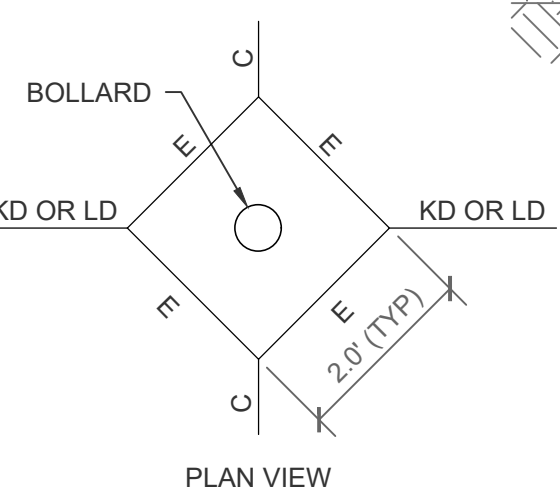
TYPE A CONCRETE STEPS WITH HANDRAIL (SUDAS 9080.101)

Hand	Hand	Hand	Hand
3	C1.0	NO SCALE	



PIPE BOLLARD DETAIL

NO SCALE



APEX STRUCTURAL, LLC
373 Collins Road NE #10
Cedar Rapids, IA 52402
Ph. 319-294-2739

TWIN RIVERS
1000 Illinois Street
Des Moines, IA 5031
Ph. 515-288-3679

SNYDER & ASSOCIATES, INC.
2727 SW Snyder Blvd.
Ankeny, IA 50023
Ph. 515-964-2020

NO.	NAME
-----	------

NOT FOR CONSTRUCTION

HUXLEY COMMUNICATIONS

HUXLEY, IA

HUXLEY, IA
Project # 2021-XXX

SEPTEMBER 10, 2021

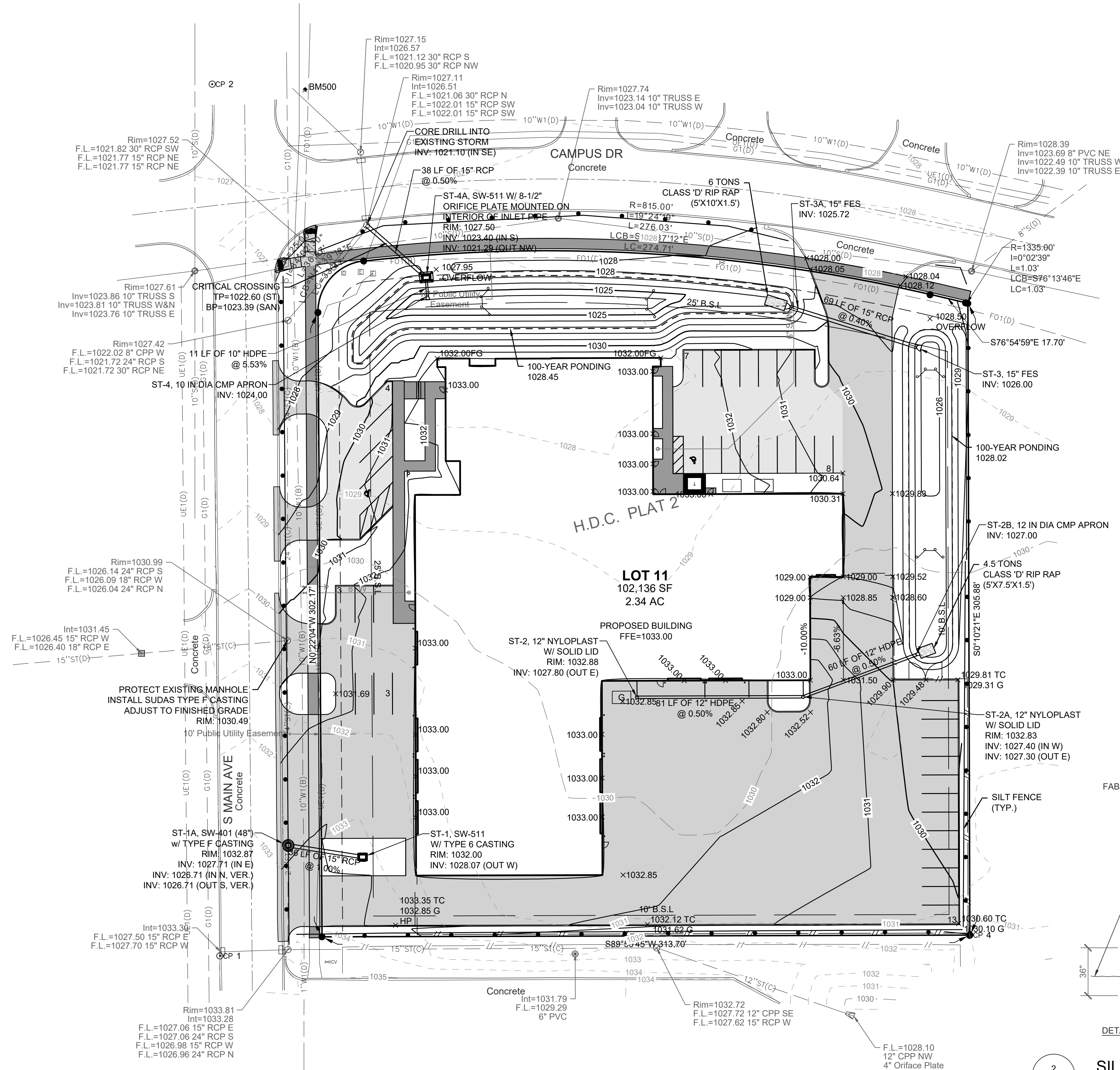
C1.0

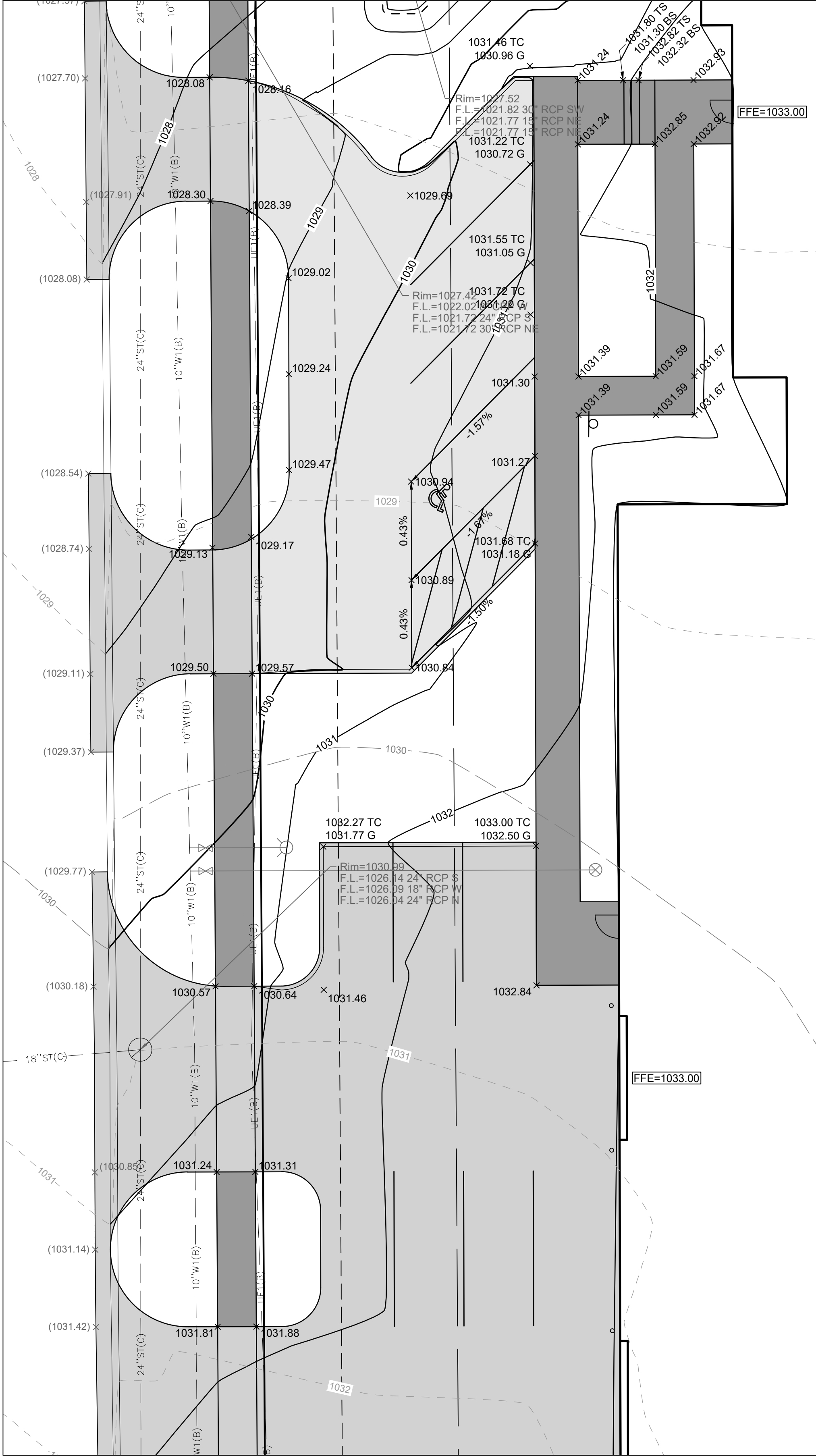
GRADING NOTES

- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES. SEPARATE CLAYS FROM TOP SOIL IN SEPARATE PILES. SEAL PILES BY WHEEL TRACKING.
- EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- THE VOLUME OF THE EXISTING DETENTION BASIN WILL NEED TO BE VERIFIED AND PROVIDED TO THE CITY BEFORE A FINAL C.O. IS ISSUED.
- SWPPP TO BE OVERSEEN BY THE GENERAL CONTRACTOR OR THEIR DESIGNATED EROSION CONTROL CONTRACTOR.
- INSTALL AND MAINTAIN SILT FENCE ALONG SOUTH MAIN AVE AND CAMPUS DRIVE CURB LINES AS PER CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS.

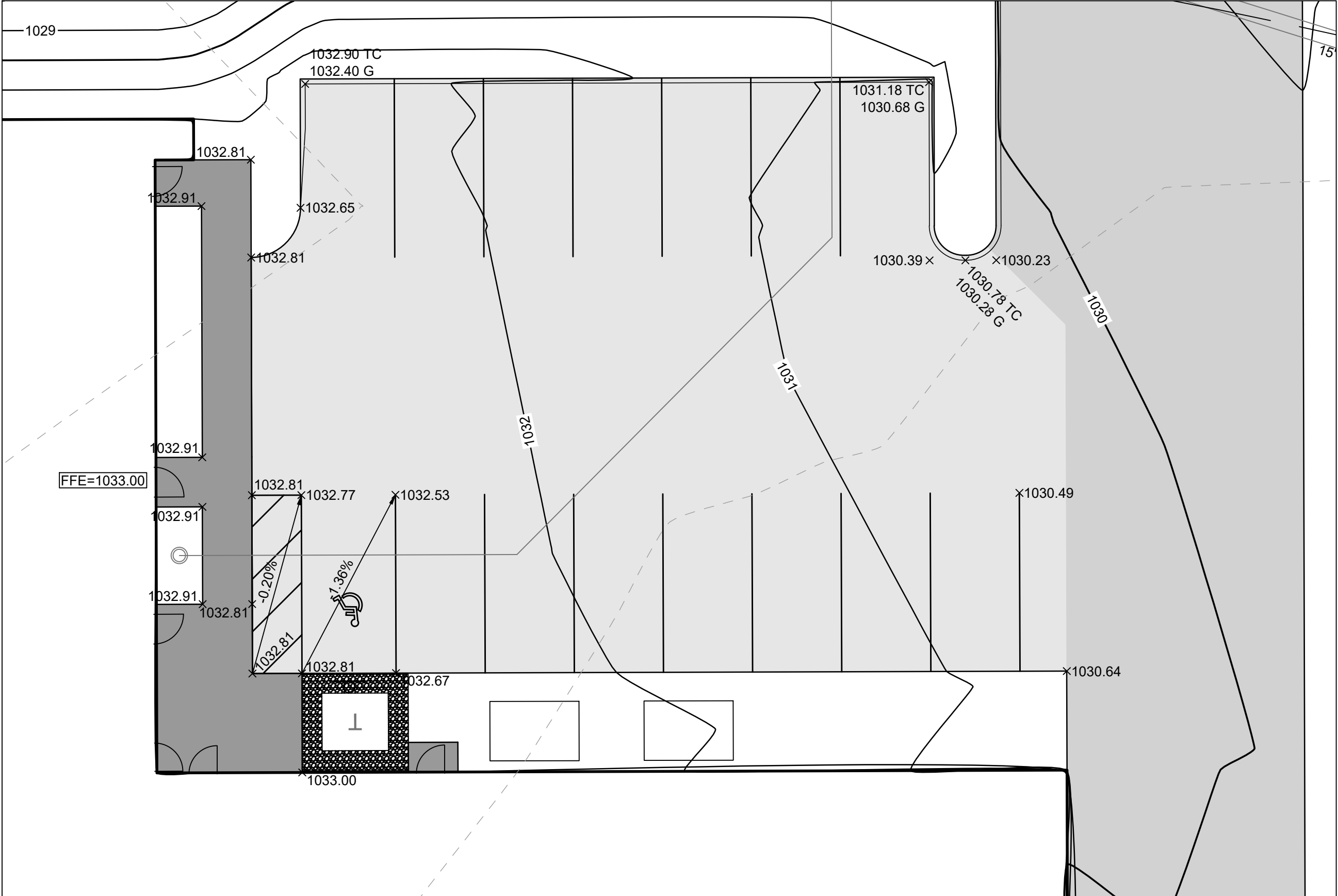
QUANTITIES

SEEDING AND MULCHING	= 0.50 AC
SILT FENCE	= 1200 LF
BELOW GRADE INLET PROTECTION	= 2 EA

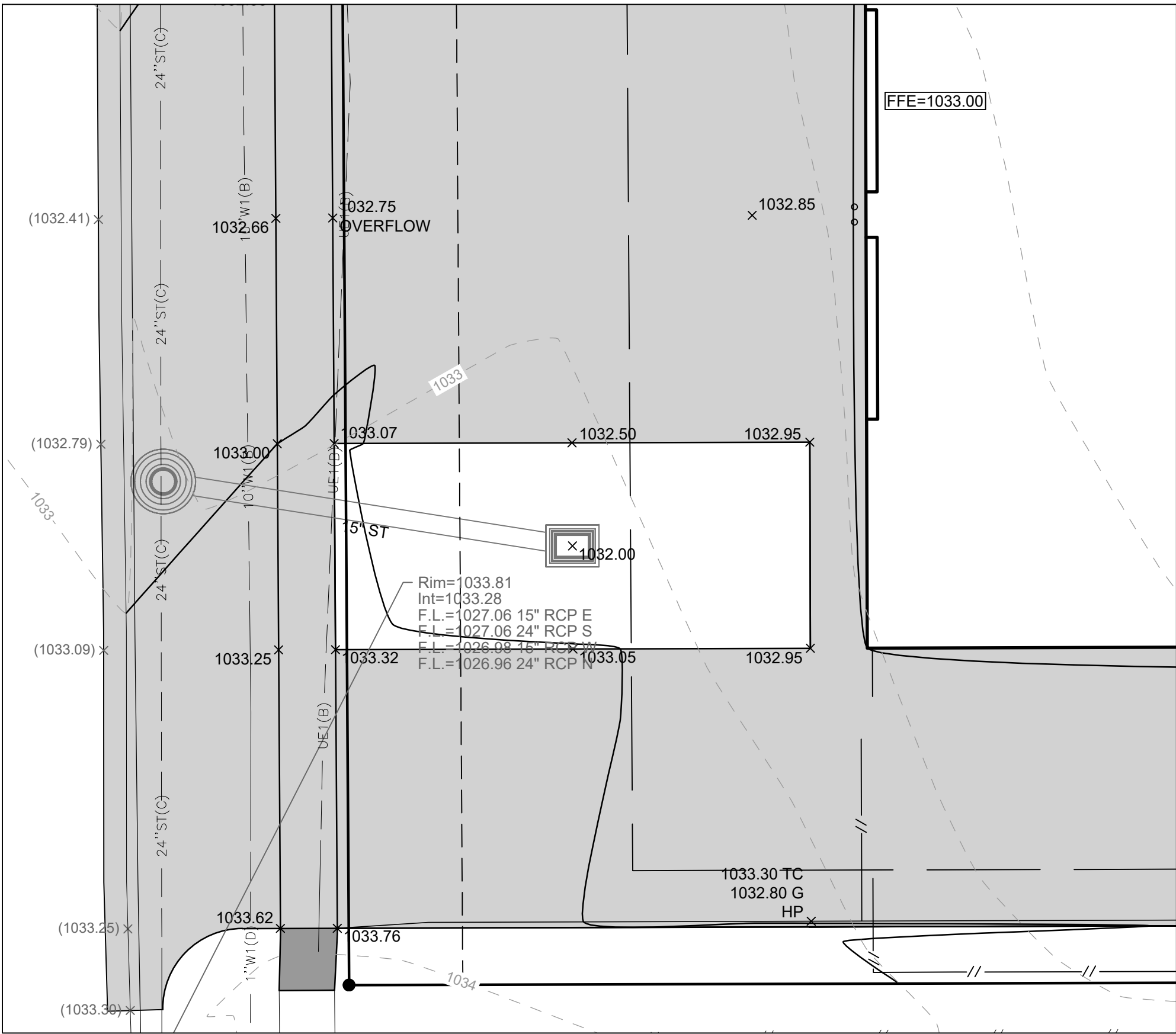




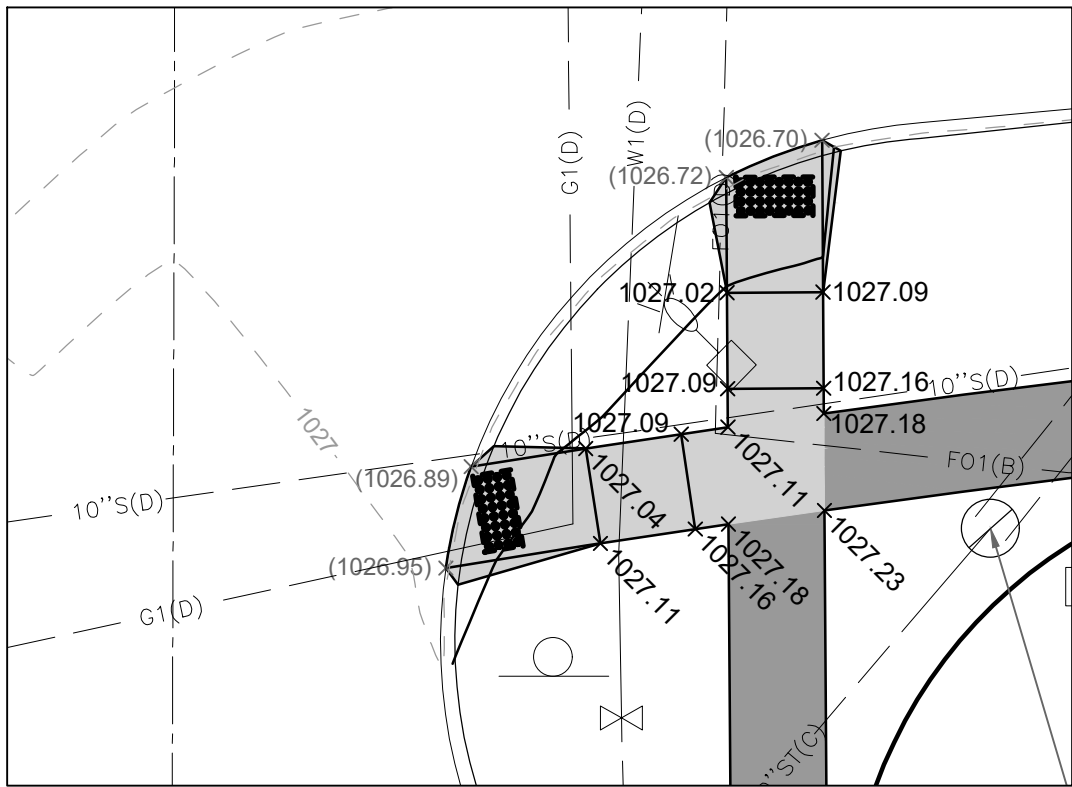
DETAIL A
1" = 10'



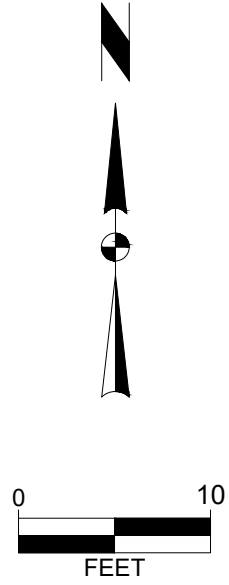
DETAIL B
1" = 10'



DETAIL C
1" = 10'



DETAIL D
1" = 10'



NOT FOR CONSTRUCTION

HUXLEY COMMUNICATION

HUXLEY, IA
Project # 2021-XXX

SEPTEMBER 10, 2021

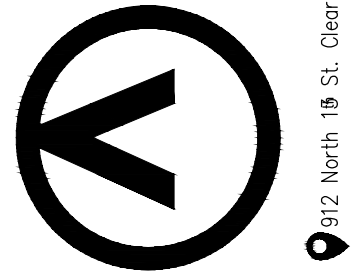
C2.1

NO.	NAME	DATE
1		
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9		
10		

SNYDER & ASSOCIATES, INC.
2727 SW Snyder Blvd.
Ankeny, IA 50023
Ph. 515-964-2020

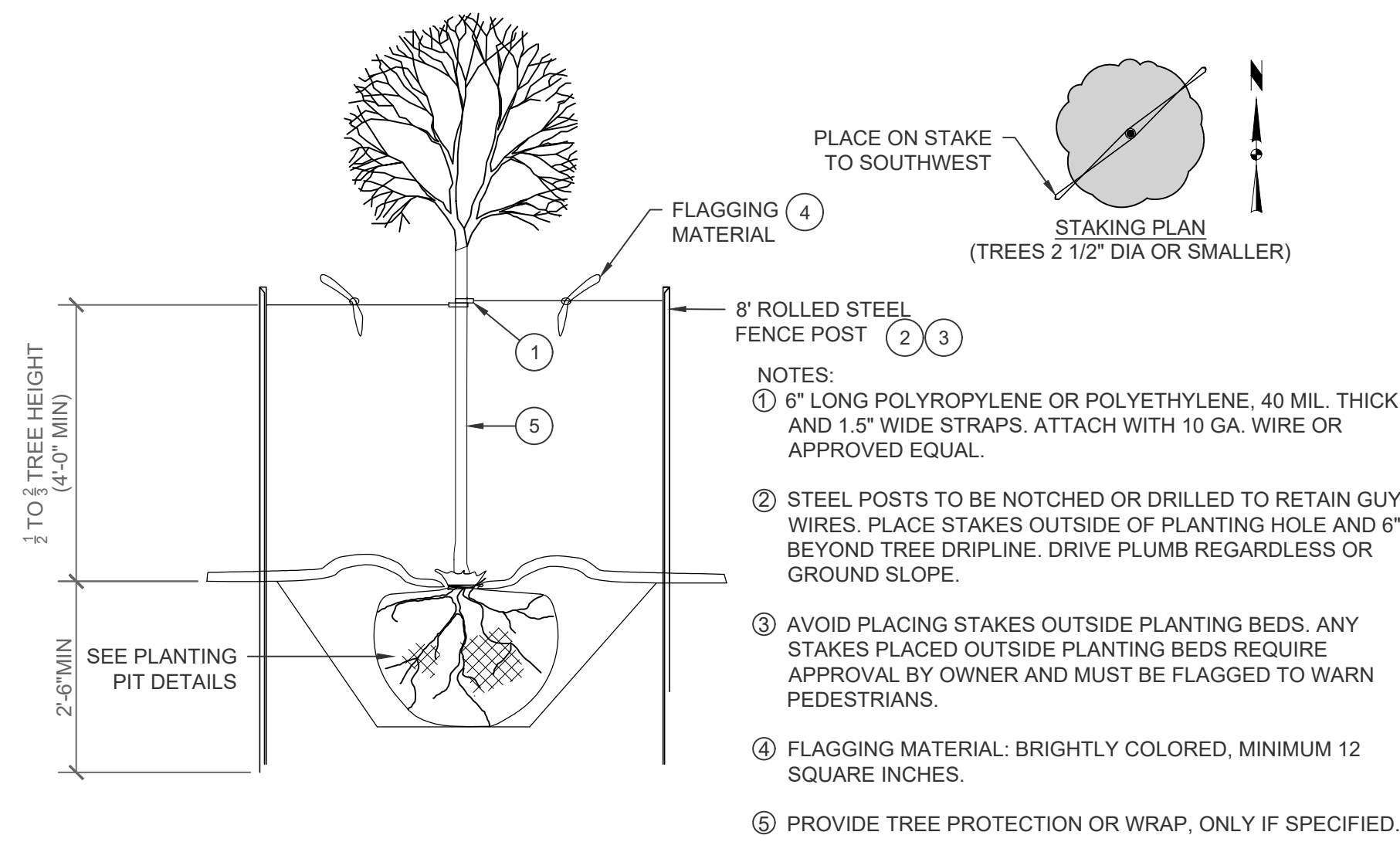
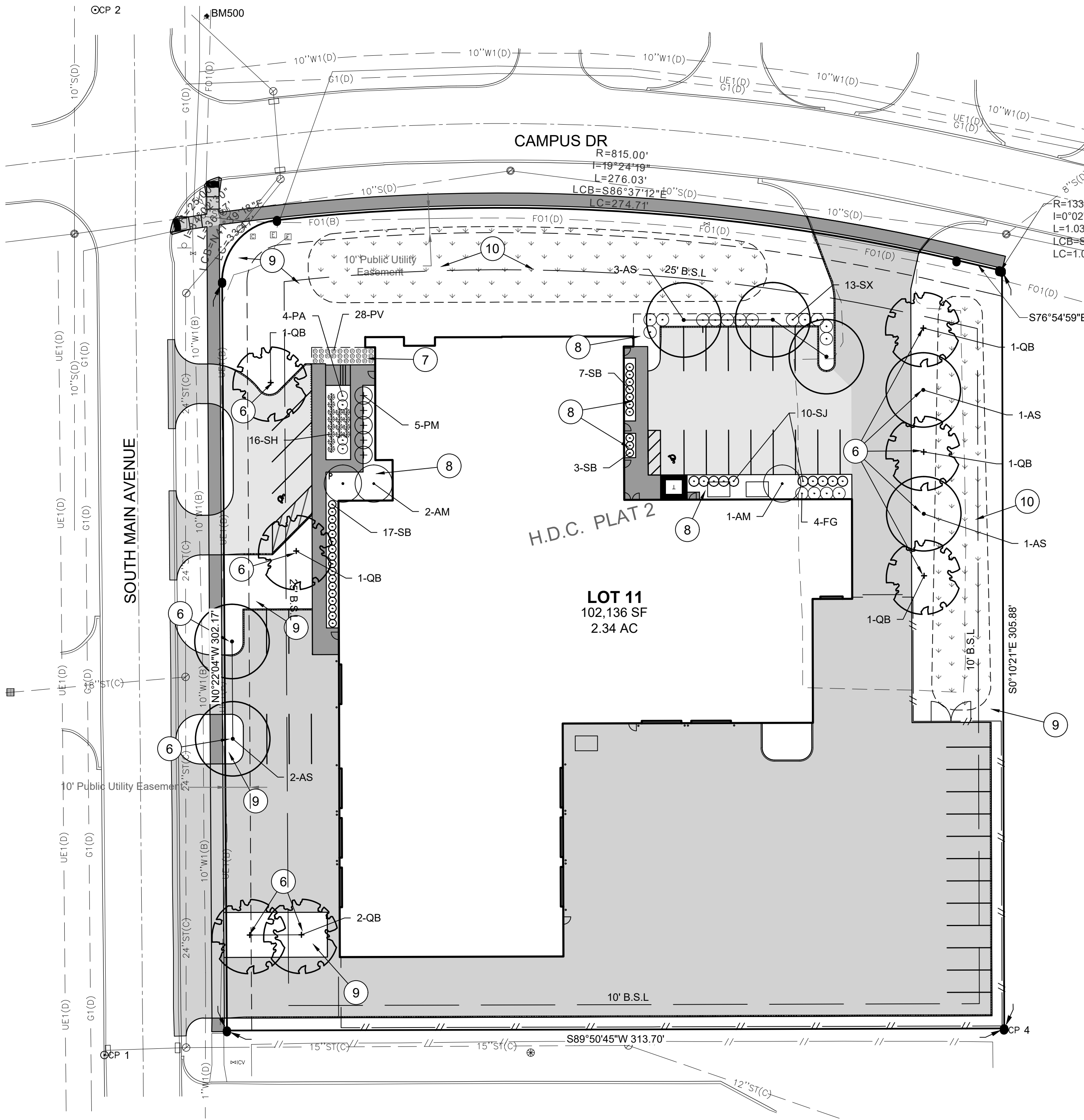
TWIN RIVERS
100 Illinois Street
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APEX STRUCTURAL, LLC
313 Collins Road NE #102
Cedar Rapids, IA 52402
Ph. 319-294-2739

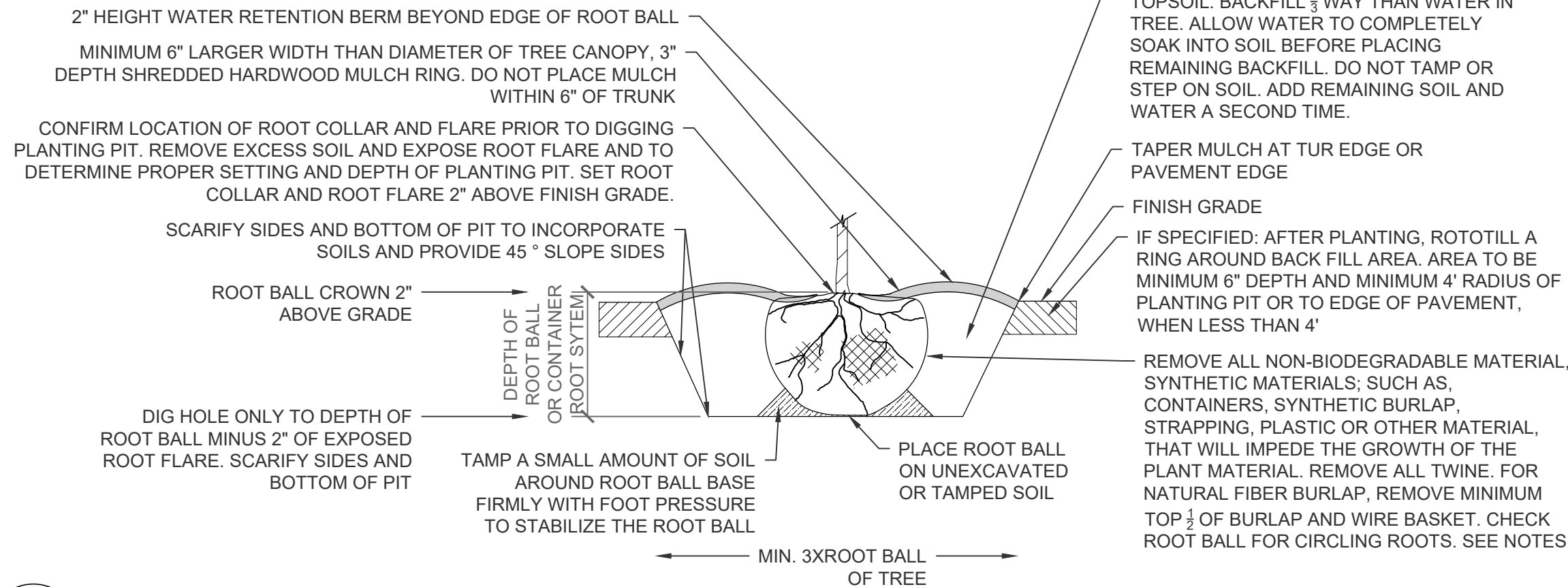


ATURA
architecture

912 North 18 St, Clear Lake, IA 50428
info@ATURArchitecture.com



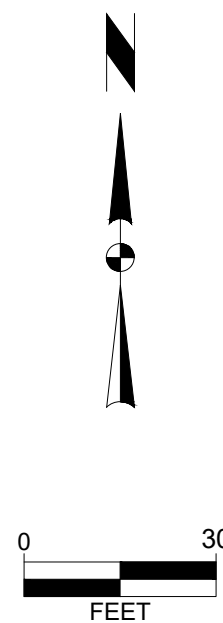
2 DECIDUOUS TREES STAKING DETAIL
C500 NO SCALE



1 TYPICAL TREE PLANTING PIT DETAIL
C500 NO SCALE

PLANT SCHEDULE					
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENTS
CANOPY TREES					
7	AS	Acer saccharum 'Fall Fiesta'	SUGAR MAPLE 'FALL FIESTA'	1 1/2" Cal.	B&B
7	QB	Quercus bicolor	SWAMP WHITE OAK	1 1/2" Cal.	B&B
ORNAMENTAL TREES					
3	AM	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	1 1/2" Cal.	B&B
DECIDUOUS SHRUBS					
4	FG	Fothergilla 'Mt. Airy'	DWARF FOTHERGILLA	18" Ht.	#3 CONT. (5' O.C.)
27	SB	Spiraea betulifolia 'TorGold'	GLOW GIRL SPIREA	18" Ht.	#3 CONT. (3' O.C.)
10	SJ	Spiraea japonica	JAPANESE SPIREA	18" Ht.	#3 CONT. (4' O.C.)
13	SX	Syringa X penda	BLOOMERANG LILAC	18" Ht.	#3 CONT. (5' O.C.)
EVERGREEN SHRUBS					
5	PM	Pinus mugo var. pumilio	DWARF MUGO PINE	12" Ht.	#3 CONT. (7' O.C.)
PERENNIALS/GRASSES					
4	PA	Salvia yangii	RUSSIAN SAGE	N/A	#1 CONT. (3' O.C.)
28	PV	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	N/A	#1 CONT. (2.5' O.C.)
16	SH	Sporobolus heterolepis	PRAIRIE DROPSEED	N/A	#1 CONT. (3' O.C.)

- NOTES:
- PROVIDE A WIDE SHALLOW SAUCER-SHAPED PLANTING HOLE TO THE DIAMETER SPECIFIED IN DETAIL. TREES PLANTED IN NARROW DEEP PLANTING HOLES WILL HAVE TO BE REMOVED AND REPLANTED.
 - CHECK FOR CIRCLING ROOTS IN ROOT BALL PRIOR TO PLANTING. IF CIRCLING ROOTS ARE FOUND, CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT FOR REVIEW. REMOVE ALL ADVENTITIOUS AND GIRDLING ROOTS. PLANTS WITH CIRCLING ROOTS THAT IMPEDE THE HEALTHY ESTABLISHMENT OF THE TREE WILL BE REJECTED.
 - ROOT COLLAR IS NOT ALWAYS LOCATED AT THE TOP OF ROOT BALL. VERIFY LOCATION OF ROOT COLLAR PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IF ROOT COLLAR IS NOT LOCATED AT THE TOP OF ROOT BALL FOR REVIEW. REMOVE SOIL ABOVE TOP STRUCTURAL ROOTS TO TRUNK FLARE. PLANTS WITH BURIED ROOT COLLARS THAT IMPEDE THE HEALTHY ESTABLISHMENT OF THE TREE WILL BE REJECTED.
 - SET TREE PLUMB. MAINTAIN THROUGHOUT WARRANTY. REMOVE ALL FLAGGING AND LABELS AFTER OWNER APPROVAL.
 - PRUNE BROKEN, DEAD OR POOR BRANCHING. TREE PRUNING TO BE CONDUCTED BY A CERTIFIED ARBORIST AND IN ACCORDANCE WITH ANSI STANDARDS. TREES SHOULD BE TRIMMED TO PROVIDE A MINIMUM 7' HT CLEARANCE ALONG STREET AND SIDEWALKS.
 - WATER TREE IMMEDIATELY AFTER PLANTING.



PLANTING PLAN CONSTRUCTION NOTES

- UTILITY WARNING:
- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN A MIN 3-FOOT PERIMETER RING AROUND ALL TREES NOT LOCATED IN PLANTING BEDS. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN DEFINED PERENNIAL BED. WHERE BED ABUTS TURF, USE METAL EDGER IN PLANT BED AREAS SHOWN ON PLAN.
- PROVIDE 2-INCH DIA. RIVER ROCK PLACED TO A DEPTH OF 4-INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT. WHERE BED ABUTS TURF, USE METAL EDGER IN PLANT BED AREAS SHOWN ON PLAN.
- SEED AND HYDROWMULCH ALL AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS PERMANENT LAWN SEED MIX, UNLESS NOTED OTHERWISE.
- PROVIDE DETENTION BASIN SEED MIX, TO AN ELEVATION OF 1028.00

PROFILE PRODUCTS LLC., 750 LAKE COOK ROAD - SUITE 400
BUFFALO GROVE, IL 60089
1-800-368-1180
WWW.PROFILEPRODUCTS.COM OR APPROVED EQUAL

PROVIDED BY PRAIRIE MOON NURSERY.
WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL.
SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.

September 10, 2021

Amy Kaplan
Zoning Clerk
515 N. Main St.
Huxley, Iowa 50124

RE: HUXLEY COMMUNICATIONS SITE PLAN (1955 SE OAK DR.)
SITE PLAN SUBMITTAL COMMENT RESPONSE LETTER
S&A PROJECT NO. 121.0686.01

Dear Amy:

On behalf of Huxley Communications, please find accompanying the revised site plan documents for the above referenced project as per City comments dated Sept. 7, 2021. We respectfully request the City's acceptance of these documents. As requested, we have addressed all items of the review as follows:

1. The water main is to be PVC C900 DR18. **Note 9.A on Sheet C1.0 updated.**
2. The fire hydrant is to have a "Storz" nozzle. **Note 9.D on Sheet C1.0 updated**
3. Connect the fire hydrant to the public water main and not to the water service. **Hydrant and water service revised to be separate taps to the water main.**
4. Terminate the tracer wire on the water service in a flush mounted tracer wire box, Drainage & Water Solutions Figure No. TWAB. Use 3M Scotchplast Splice Encapsulation Kit 3832 for all tracer wire connections. **Note 9.A. on Sheet C1.0 updated.**
5. Provide all final as constructed plans as an electronic pdf format. Provide GIS coordinates for all as constructed utility manholes, valve boxes, curb stops, hydrants and cleanouts in AutoCad format. **Note 19 added on Sheet C.01**
6. Label contacts for inspections and utilities as follows: **Huxley City contacts added to Sheet C.01.**

Water and Sewer, Keith Vitzthum, City of Huxley, 515-290-7512

Gas and Electric, Jenni Kroneman Stapleford, Alliant Energy, 515-268-

3425 Stormwater and SWPPP, Mat Kahler, City of Huxley, 515-822-3800

7. Provide a photometric lighting plan. **Photometric plan is forthcoming from lighting designer.**
8. Add a note to the plans that all cleanouts, manholes, curb stops and valve tracer boxes will be installed at final grade. **Note 18 added to Sheet C.01.**
9. Developer's/Owner's engineer will need to sign off on the project with a written statement that all the construction plans and as-builts were completed to the engineer's design, and City supplemental and SUDAS standards before a final C.O. is issued. **Note 20 added to Sheet C.01.**


10. Provide information on who will be overseeing the SWPPP. **Note 4 added to C.01. The General contractor or the designated erosion control subcontractor will oversee the SWPPP.**
11. Pipe material for the sanitary sewer service is to be PVC SDR 23.5. **Note 10.B on Sheet C1.0 updated.**
12. Insert-a-Tees are not allowed for the sanitary sewer service connections. Use connections as allowed in the Huxley Supplemental Specifications. **Note 10.A on Sheet C1.0 updated.**
13. The storm sewer from the existing storm manhole to the intake No. ST-4A needs to be RCP and not HDPE. **The storm sewer pipe material updated to be RCP**
14. The storm sewer in the southwest corner of the site should be 12-inch RCP instead of 8-inch HDPE and should be connected to the existing storm sewer with a manhole. **ST-1A storm manhole added, storm pipe changed to 15" RCP and storm intake changed to be SW-511.**
15. The Stormwater Management Plan analyzes the two detention basins as separate basins. With a free flowing 15-inch culvert between the basins, the basins are more likely to act as one combined basin. The calculations need to be evaluated with this possibility in mind. For example, the high-water level of the downstream north basin of elevation 1028.45 is shown to be higher than the high-water level of the upstream east basin of elevation 1028.02. Hydraulically this will not happen as the water in the north basin will backup water into the east basin. **Hydraulic model corrected and reran to provide 100 yr. H.W. elevation of 1028.02' in the upper east basin and 1027.22' in the lower north basin.**
16. The Stormwater Management Plan in the North Pond Report assumed an 8.5-inch orifice. The site plans are showing a 9-inch orifice to be installed. Clarify which size orifice is to be used. **Plan updated to match the 8.5" orifice in the SWMP.**
17. We understand the detention basins on the north and east sides of the site are over detaining to account for the under detained flows in the southwest corner of the site. Please verify this assumption. **Hydrograph No. 8 added to the SWMP that combines the non-detained are with the outflow from the north basin to demonstrate compliance. Total 100yr site release with non-detained flows = 3.94 cfs. Maximum allowable site release = 4.65 cfs**
18. Provide a drainage map of the site showing drainage basin sizes and downspout locations as part of the Stormwater Management Plan. **Updated map provided.**
19. Please verify all of the parking and storage areas will be paved. There is a "GRAVEL" label in the middle of the north driveway on Sheets C1.0 and C2.0 that contradicts Note 3A. **The gravel label was removed. A call was added to remove the existing 0.25 Ac. of existing gravel and move offsite. All driveways need to be radii Type B with minimum 7-inch-thick PCC pavement. The 5 new driveway approaches along Main St. were revised to be constructed as SUDAS Type "B" drive approaches.**
20. Provide a scale for the site plan drawings. **Scale bar added to all plan sheets**

21. The maximum driveway width in the SW corner is not labeled but appears to exceed the maximum allowable width of 36 feet. **The main driveway throat width reduced to 38' width in response to email received from City staff on 9/8/2021.**
22. Sidewalks through driveways need to be a minimum of 7-inches thick. **Where sidewalks pass through drive approaches, the thickness is identified as 7" PCC.**
23. Label all sidewalks to be 5-feet wide both on the plans and in the notes. **Note 3C on Sheet C1.0 updated. All sidewalks drawn at a minimum width of 5'.**
24. Install sidewalk ramps including common square with minimum 7-inch-thick concrete. **The concrete thickness for the sidewalk ramp at the corner of Main and Campus increased to 7" PCC**
25. A streetlight pole and utility handhold box may need to be relocated at the intersection of Main and Campus to accommodate the pedestrian ramps. Please verify. **Note 7.F. on Sheet C1.0 added to address relocating the streetlight outside of the sidewalk.**
26. Verify the existing driveway slope off of Campus Drive meets the required cross slope for a sidewalk. **Sidewalk section of drive approach to be full depth sawcut and reconstructed to be cross-slope compliant by ADA standards.**
27. The existing storm sewer manhole casting in the west driveway will need to be replaced with a floating 3-piece casting. **Call out note added on Sheet C2.0 to replace this casting with Type F casting.**

If additional questions or comments come forth on this project, please contact me at your convenience. Thank you.

Sincerely,

SNYDER & ASSOCIATES, INC.



Jon L. Hanson, PE

cc: Jarrod Jasperson, ATURA Architecture
Levi Bappe, Huxley Communications
Michael Huff, Dean Snyder Construction

RESOLUTION NO. 21-092

RESOLUTION APPROVING FY 2022 CAPITAL IMPROVEMENT PLAN

WHEREAS, Council has reviewed the long-range Capital Improvement Plan developed by staff including the projects for FY 2022 and;

WHEREAS, the total estimated cost of the projects is \$17,321,078 and will be funded through financing sources in the accompanying table to this resolution and;

WHEREAS, work on the FY 2022 Capital Improvement Plan will be conducted between October 1 and June 30 , 2021.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

The FY 2022 Capital Improvement Plan is hereby approved.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 28th day of September.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-092** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 28th day of September

Kevin Deaton, Mayor

ATTEST:

Jolene R. Lettow, City Clerk

FY 2021 Capital Improvement Plan

Public Works		Cost Estimate	Funding Source	
Streets				
North 4th Avenue (4"water)		\$190,883.33	Road Use Tax/WWW	
East 4th Street from Highway 69 to North 2nd Ave. and water main		\$236,488.11	Road Use Tax/WWW	
Cypress Drive		\$87,354.20	Road Use Tax/WWW	
East 5th from Parkridge Ave to Berhow Park		\$84,430.22	Road Use Tax/WWW	
Cedar Lane		\$140,339.14	Road Use Tax/WWW	
Total		\$739,495.00		
Sidewalk Infill		\$50,000.00	Potential public assess bond/TIF/LMI	
Water				
Water Plant Expansion/Well Field Expansion				
Engineering		\$450,000.00	Water Enterprise Fund	
Total		\$450,000.00		
Wastewater				
Diesel Mower		\$20,000.00	WW Enterprise Fund	
Upgrade UV Bulbs and Quartz Jackets		\$15,000.00	WW Enterprise Fund	
Line Sanitary Main on West 3rd		\$35,000.00	WW Enterprise Fund	
Manhole rehab		\$20,000.00	WW Enterprise Fund	
Camera trailer		\$187,500.00	WW Enterprise Fund	
Total		\$277,500.00		
Parks & Recreation				
FY 2021 was a repair year from Derecho		Include with Derecho Report	Insurance proceeds, grants, FEMA	
Police				
Patrol Vehicle		\$65,500.00	General Fund	
Radar Units		\$3,000.00	General Fund	
Patrol Cameras		\$10,000.00	General Fund	
Body cameras		\$5,600.00	General Fund	
Tasers		\$4,800.00	General Fund	
AEDs		\$2,000.00	Grant funds	
Total		\$90,900.00		
Fire-EMS				

Generator		\$15,000.00	General Fund	
Knox Keyhole		\$5,000.00	General Fund	
Expansion Design		\$18,000.00	General Fund	
Total		\$38,000.00		

Administration/3C's Building

HVAC Controls		\$25,565.00	General Fund	
New roof		\$205,407.00	Insurance-Derecho	
Total		\$230,972.00		

Total projects	\$1,876,867.00
Not completed	
Sidewalk infill	\$50,000
FD Generator	\$15,000
FD Expansion Design	\$18,000
North 4th Avenue (4"water)	\$190,883.33
East 4th	\$236,488.11
Cypress Drive	\$87,354.20
East 5th	\$84,430.22
Cedar Lane	\$140,339.14

\$822,495

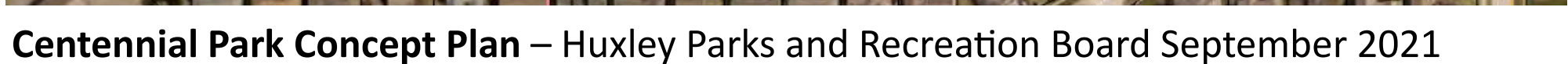
Total Expenditure \$1,054,372.00

FY 2022 Capital Improvement Plan

	Cost Estimate	Funding Source
Public Works-Streets		
East 1st Street Rehabilitation (1500' x 28'=4667 Sq. Yds.)(1500'x28' = 4667 S.Y.)		CIRPTA Grants, Spring 2020 Bond
(Funded and Work completed)	\$621,536.00	
Mill and 2" Overlay		
East 3rd Street from Highway 69 to North 3rd Ave. (1856' x 26' = 5362 Sq. Yds.)	\$139,412.00	Road Use Tax/WWW
North 2nd Avenue from East 5th Street to Cul-de-sac (800' x 26' = 2311 Sq. Yds.)	\$60,000.00	Road Use Tax/WWW
East 5th from Highway 69 to Preston Drive (677' x 26' = 1965 Sq. Yds.)	\$51,090.00	Road Use Tax/WWW
North 3rd Ave. from West 1st Street to West 3rd Street (754' x 26' = 2178 Sq. Yds.)	\$56,526.00	Road Use Tax/WWW
	\$307,028.00	
Sidewalk infill and Public Area Paving Work		Evaluation of assessment, TIF, LMI
Centennial Park North Park Drive Entrance & Trail	\$25,467.00	
Connection near 560th-Sand Cherry HOINT	\$12,000.00	
Railway Sidewalk Connection	\$5,000.00	
	\$42,467.00	
Public Works-Water		
Water Plant Expansion/Well Field Expansion	\$15,352,140.00	Summer 2021 Bond Issuance, GO/ TIF, ARA
Total	\$15,352,140.00	
Public Works-Wastewater		
Jetter	\$120,000.00	WW Enterprise Fund
Lining and lateral launching	\$40,000.00	WW Enterprise Fund
Manhole Rehab	\$20,000.00	WW Enterprise Fund
Barnacle removal and main lining under 69 on E 5th to Timberlane	\$30,000.00	WW Enterprise Fund
Upgrade 2500 Utility Truck	\$60,000.00	WW Enterprise Fund
Total	\$270,000.00	
Police		
Patrol Vehicle	\$48,374.00	General Fund
Total	\$48,374.00	
Parks & Recreation		

Splash Pad Planning, Design, Construction after January 1, 2021	\$340,000.00	Kreg Donation, General Fund, TIF
Sewer and Drainage-Berhow Park	\$85,000.00	WW Enterprise Fund
Larson Restroom	\$57,000.00	General Fund/WW Enterprise Fund
Centennial Sewer	\$75,000.00	WW Enterprise Fund
Total	\$557,000.00	
Fire-EMS		
Replace 2002 Ford 606 Attack Truck	\$150,000.00	General Fund
EMS Vending Machine-Medical Supplies	\$15,000.00	General Fund
Total	\$165,000.00	
Administration/3C's Building/Library		
Space Needs Analysis and Comprehensive Plan	\$45,000.00	General Fund
Total	\$45,000.00	

TOTAL \$17,321,078.00





RESOLUTION NO. 21-093

**A RESOLUTION ANNEXING A CERTAIN PARCEL OF REAL ESTATE
OWNED BY MEADOW LANE INVESTMENTS, LLC**

WHEREAS, Meadow Lane Investments, LLC has filed an application requesting that the following described real estate be annexed to the City of Huxley Iowa:

LEGAL DESCRIPTION:

ANNEXATION DESCRIPTION: BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA.

LAYMAN'S DESCRIPTION:

North of Oak Blvd and South of Oak Bend Road

NOW THEREFORE, BE IT RESOLVED by the City Council of the City of Huxley Iowa, that the above-described real estate should be annexed and is hereby annexed to and made a part of the City of Huxley, Iowa.

DATED at Huxley Iowa, this 28th day of September 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

**NOTICE OF PUBLIC HEARING ON ANNEXATION OF PROPERTY OWNED BY
MEADOWLANE INVESTMENTS LLC INTO THE CITY OF HUXLEY, IOWA**

TO: ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF ANNEXATION UNDER THE PROVISIONS OF IOWA CODE SECTION 368.7.

YOU ARE HEREBY NOTIFIED that Meadow Lane Investments, LLC, titleholders of several parcels of land legally described as follows: **MEADOWLANE INVESTMENTS LLC**,

ANNEXATION DESCRIPTION: BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA.

LAYMAN'S DESCRIPTION: North of Oak Blvd and South of Oak Bend Road

have requested Annexation of said parcels to the City.

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a hearing before City Council on the above-described Annexation has been set to commence on the 28th day of September at 6:00 p.m. in the City Council Chambers, 515 N. Main Avenue in the City of Huxley, Iowa, at which time and place any person wishing to speak for or against said Annexation will be given the opportunity to be heard.

Submitted by: Jolene Lettow, City Clerk

**APPLICATION FOR VOLUNTARY ANNEXATION
TO THE CITY OF HUXLEY, IOWA**

To: The City of Huxley, Iowa

THE UNDERSIGNED, Meadow Lane Investments LLC, Owner of all of the property legally described in Exhibit "A" attached hereto and by this reference made a part hereof, respectfully request that the property identified in Exhibit "A" identified as Area "A"(3.60 acres), said property being located South of Oak Bend Road and east of Prairie View Drive (hereafter "Subject Property") be annexed and become a part of the City of Huxley, Iowa.

The Application for Voluntary Annexation will be presented by resolution to the City Council of Huxley, Iowa, at a duly convened meeting on the 25th day of May, 2021.

Owner:

Dated: _____ By: _____

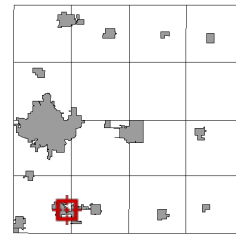
Owner:

Dated: _____ By: _____

Please note that, pursuant to Section 312.3(4), Iowa Code (2007), the Mayor and City Council are required to certify to the State Treasurer of the State of Iowa the population of any areas annexed since the last federal census.



Overview



Legend

-  Parcels
-  Lots
-  Townships
-  Sections
-  Quarter Quarters
-  Corporate Limits
-  Road Centerlines

Concerning Assessment Parcels and Platted Lots Within the City of Ames Jurisdiction:

The solid parcel boundary lines represent the legal description as recorded and are not necessarily the official platted lot lines. Dashed lines are official platted lots. If a parcel contains dashed lines, please contact the Ames Planning & Housing Department (515-239-5400) to determine which lines can be recognized for building permit or zoning purposes. If you have questions regarding the legal description or parcel measurements, please contact the Story County Auditor's office (515-382-7210).

Date created: 2/11/2021

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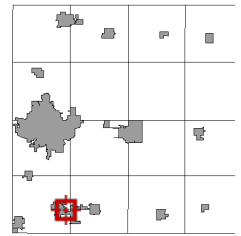


Beacon™

Story County, IA / City of Ames



Overview



Legend

- Parcels
- Lots
- Townships
- Sections
- Quarter Quarters
- Corporate Limits
- Road Centerlines

Concerning Assessment Parcels and Platted Lots Within the City of Ames Jurisdiction:

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