



CITY COUNCIL MEETING NOTICE

TUESDAY JULY 13, 2021 6:00 P.M.

CITY COUNCIL CHAMBERS

AGENDA

1. ROLL CALL

2. APPROVE AGENDA AS PRESENTED AND/OR AMENDED

3. PRESENTATION/RECOGNITION

4. PUBLIC COMMENT (5 MINUTE TIME LIMIT FOR ITEMS NOT ON THIS AGENDA)

5. PUBLIC HEARINGS

- a. Public Hearing for Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial

6. CONSENT AGENDA – *These are routine business items and will be acted upon by one Roll Call Vote without separate discussion unless a Councilmember or citizen requests an item to be removed or considered separately.*

- a) Approve Minutes from the June 22, 2021 Regular Meeting and the July 6, 2021 Worksession
- b) Approve Payment of Bills
- c) Approve Liquor Permit for Casey's
- d) Motion to Approve Tricia Mills-Roberts for 6-month Probationary Affiliate Membership with Huxley Fire and Rescue
- e) Approve Resolution No. 21-065 Central Iowa Regional Transportation Planning Alliance (CIRTPA) FY 2022 Assessment
- f) Approve Resolution No. 21-066 Annual Contract Renewal with Ames Economic Development Commission
- g) Approve Resolution No. 21-067 Nord Kalsem Community Center Rental Rate Increase
- h) Approve Resolution No. 21-068 Payment Application No. 1 East 1st Street Project
- i) Approve Resolution No. 21-069 Sidewalk Width and Location at 513 Oak Blvd with Condition Concerning Trail Installation
- j) Approve Resolution No. 21-070 Acknowledging Request by ATI Group for Tax Increment Financing in Accordance with the Infrastructure Investment Policy in the City of Huxley, Iowa and Directing Staff to Engage Bond Counsel
- k) Approve Resolution No. 21-071 Revised Site Plan for DZ Condos and Explanatory Affidavit
- l) Second Reading of Ordinance No. 514 Parking Regulations and Request Waiver of Third Reading

7. BUSINESS ITEMS

- a) Approve First Reading of Ordinance No. 517 Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial

8. INFORMATIONAL ITEMS

- a) Overview Huxley Fire Rescue-Story County Service Areas and General Update
- b) 2021 Codification Process

c) Communications and Policy Update-Requesting Council Direction for Next Steps

7. CITY ADMINISTRATOR AND DIRECTOR REPORTS

8. MAYOR AND COUNCIL REPORTS

9. ADJOURNMENT

UPCOMING WORK SESSION TOPICS/REGULAR AGENDA ITEMS

Financing Scenarios and Public Input Process for Proposed Sidewalk Infill Program (Council 20-21
Goal Setting) August 3 Worksession

FY 2022 and Long-Range Capital Improvement Plan August 3 Worksession

Development Agreement Form and Tax Increment (Council 20-21 Goal Setting)

Final Report 2020 Derecho

Economic Development Incentives-Priority Corridors

Sanitary Sewer Service Area Study/Annexation

Other Topics of Interest to Mayor and Council

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Council agendas are available to the public at the City Clerk's Office on Monday morning preceding Tuesday's council meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

HUXLEY CITY COUNCIL MEETING MINUTES

Tuesday, June 22, 2021

These minutes are as recorded by the City Clerk and are subject to City Council approval at the next regular council meeting.

COUNCIL MEETING: The Huxley City Council held a meeting on the above date pursuant to rules of the council, notice posted at City Hall and onto website. Mayor Deaton called the meeting to order at 6:00 pm.

ROLL CALL: Easter, Roberts, Kuhn; Peterson via conference call; absent - Mulder

AGENDA APPROVAL: Motion by Roberts, second by Easter to approve agenda as presented. Roll Call: Easter, Peterson, Kuhn, Roberts voted yes. Motion carried.

CITY STAFF PRESENT: Rita Conner – City Administrator, Jolene Lettow – City Clerk, Cathy Van Maanen – Library Director, Nathan Albaugh – Police Sergeant, Jeff Peterson – Public Works Director; Todd Moomaw – Fire Chief, Heather Denger – Parks and Rec Director

CONSULTANTS PRESENT: Forrest Aldrich– city engineer

PUBLOC HEARINGS:

- FY21 Budget Amendment – Mayor opened meeting at 6:01 pm. There being no discussion from public there was motion made by Kuhn, seconded by Easter to close the hearing. 4 ayes. Motion carried.
- Amendment to Urban Renewal Area – Mayor opened meeting at 6:02 pm. There being no discussion from public there was motion made by Kuhn, seconded by Easter to close the hearing. 4 ayes. Motion carried.
- Amended Development Agreement with SP Enterprises, LLC d/b/a Innovative Technologies - Mayor opened meeting at 6:03 pm. There being no discussion from public there was motion made by Kuhn, seconded by Easter to close the hearing. 4 ayes. Motion carried.

CONSENT AGENDA:

Motion by Roberts, second by Easter to approve Consent Agenda as listed below with *Items d and e* to be pulled from Consent Agenda for separate discussion.

- a) Approve Minutes from the June 8, 2021 Regular Meeting
- b) Approve Payment of Bills
- c) Approve Resolution No. 21-054 Set Hearing for Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial for July 13, 2021 at 6:00PM
- d) *Motion to Approve Amended Procurement Policy*
- e) *Third Reading of Ordinance No. 515 to Increase Water Rates for Water Treatment Plant Expansion and Authorize Mayor to Execute*
- f) Third Reading of Revised Water Conservation Ordinance No. 516 And Authorize Mayor to Execute
- g) Approve Resolution No. 21-055 Amending the Fiscal Year 2021 Annual Budget
- h) Approve Resolution No. 21-056 Urban Renewal Plan Amendment for the Huxley Urban Renewal Area
- i) Approve Resolution No. 21-057 Approving Amended Development Agreement with SP Enterprises, LLC d/b/a/ Innovative Technologies, Authorizing Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement
- j) Approve Resolution No. 21-058 Directing the City Clerk to File a Property Tax Lien for Collection of Delinquent Court Costs
- k) Approve Resolution No. 21-059 Setting Salaries for Fiscal Year 2022 for Appointed Officers and Employees of the City of Huxley, Iowa

Roll Call: Roberts, Easter, Kuhn, Peterson voted yes. Motion carried.

Item d from Consent Agenda: Approve Amended Procurement Policy - Motion by Easter, seconded by Roberts to Approve Amended Procurement Policy. Roll Call: Peterson, Easter, Roberts voted yes; Kuhn voted no. Motion carried.

Item e from Consent Agenda: Third Reading of Ordinance No. 515 to Increase Water Rates for Water Treatment Plant Expansion and Authorize Mayor to Execute. Motion by Roberts, second by Easter to approve ordinance. Roll Call: Roberts, Easter, Peterson voted yes; Kuhn voted no. Motion carried.

Claims:

ACCUJET LLC	JET VAC AND CAMERA	727.88
ANKENY SANITATION	CITY TRASH PICKUP	195.58
ARNOLD MOTOR SUPPLY	HEAD LAMP, CAR SOAP, CAN 134A	44.56
AUSTIN SHOEN	BASKETBALL LEAGUE SCOREKEEPER	48.00
AUSTIN STRUMPFER	TESTING FEE REIMBURSEMENT	30.00
BAKER & TAYLOR ENTERTAINME	BOOKS	581.99
BOUND TREE MEDICAL	MEDICAL SUPPLIES	1,073.66
BUD'S AUTO REPAIR INC	PD VEHICLE MAINTENANCE	504.70
CAROLYN MAI	REIMBURSEMENT	27.60
CITY SEWER SOLUTIONS	CUT OBJECT OUT OF PIPE HWY 69	750.00
CLINTON H. THOMPSON	BASKETBALL LEAGUE OFFICIAL	640.00
COMPASS MINERALS AMERICA	COARSE ROCK SALT	3,775.31
CONCRETE TECHNOLOGIES	CONCRETE TECHNOLOGIES	131,890.11
CONSUMERS ENERGY	GAS & ELECTRIC	9,772.00
CUSTOM STEEL SERVICE, INC.	CHANNEL FOR BLOWER MOTOR	216.68
DACIA BUSS	MEN'S BASKETBALL OFFICIAL	75.00
DEREK DOEBEL	CAR SHOW TROPHIES	250.00
DOLLAR GENERAL-REGIONS 410	PAPER PLATES	24.33
DOUG CALHOUN	PARTY IN THE PARK PERFORMER	300.00
EDEN HART	BASKETBALL LEAGUE SCOREKEEPER	156.00
FJELLAND, MATT	YOUTH TENNIS INSTRUCTOR	1,902.80
GALLS, LLC- DBA CARPENTER	UNIFORM PARTS-ROUDEBUSH	563.15
HACH COMPANY	PH GEL PROBE	1,271.10
HEARTLAND CO-OP	ROUND-UP & GROUND STERLENT	119.50
HT PLUMBING, INC.	NORD KALSEM BATHROOM	256.50
HUXLEY COMMUNICATIONS COOP	PHONE, CABLE, INTERNET	1,525.96
INTERNAL REVENUE SERVICE	FED WITHOLDING TAX	13,727.35
IOWA DEPARTMENT OF PUBLIC	NCIC APRIL - JUNE 2021	300.00
IOWA DOT	FLAGS, GLASSES, GLOVES, VEST	489.41
IOWA LEAGUE OF CITIES	7/1/21-6/30/22 MEMBER DUES	2,004.00
JACKSON BROWN	BASKETBALL LEAGUE SCOREKEEPER	72.00
KATIE BOLLIG	BASKETBALL LEAGUE SCOREKEEPER	48.00
KERMIT MISKELL & SONS LTD	BLADE PINS, BLADES, CLIPS	124.20
KERRI BYL	BERHOW PARK CANCELLATION	45.00
KEY ELEMENTS CONSULTING	ANKENY ANNUAL WATER WORKSHOP	150.00
KONA ICE OF CENTRAL IOWA	LIBRARY SUMMER KICK-OFF	246.00
LIBERTY READY MIX	M4 CONCRETE	890.50
LIGHT RING, INC.	MANHOLE LIGHT RING & TAILWHIP	2,399.00
LOWE'S	FITTINGS, FERNCO, PIPE	67.39
MARCO, INC.	B/W & COLOR COPIES	532.46
MCFARLAND CLINIC	1ST QRT MEDICAL DIRECTORSHIP	400.00
MUNICIPAL SUPPLY	MARKING PAINT, FLAGS, CLAMP,	520.75
NEW CENTURY FS INC	UNLEADED FUEL	4,240.66
OUTDOOR ENVISIONS	GOLD MULCH	88.20
PCC AN AMBULANCE BILLING S	JANUARY AMBULANCE BILLING	899.09
PREI, INC.	BUILDING PERMIT DEPOSIT REFUND	2,000.00
PREMIER	LIBRARY COPIER MAINT AGREEMENT	23.23
RACOM	RADIO MAINTENANCE SUPPORT	2,705.04
RISER INCORPORATED	BASKETBALL HOOP REPAIR	730.00
SAFE BUILDING COMPLIANCE &	BUILDING INSPECTIONS	6,123.61
SAGE HOMES, INC.	BUILDING PERMIT DEPOSIT REFUND	1,000.00
SANDRY FIRE SUPPLY	SCBA TESTING	8,329.23
SATONIUS PARKER	BASKETBALL LEAGUE OFFICIAL	375.00
SKOLD DOOR & FLOOR COMPANY	SERVICE CURTAIN IN SAFE ROOM	710.00
STAPLES BUSINESS CREDIT	OFFICE SUPPLIES	444.58
SYNCB/AMAZON	BOOKS, PROGRAM SUPPLIES, DVDS	895.00
TASC	FLEX BENEFIT PLANS	577.05
TRANE U.S. INC.	STORM DAMAGE REPAIR	26,948.00
TRUCK CENTER COMPANIES	MAINTENANCE ON 206	7,642.53
VANDER KAMP HOMES	BUILDING PERMIT DEPOSIT REFUND	1,000.00
VERIZON WIRELESS	PUBLIC WORKS CELL PHONES	332.16
WINDSTREAM IOWA COMMUNICAT	SCD DISPATCH PHONE	80.28

	<u>Expenses</u>	<u>Revenues</u>
001 General Fund	24,709.80	16,005.27
002 Library	2,824.14	401.65
003 Recreation	5,790.77	13,213.69
004 Fire and Rescue	19,454.18	4,744.82
014 Ambulance	2,833.07	
110 Street	4,235.47	2,870.42
125 TIF	13,255.84	

339	560 th Avenue Paving	131,890.11	
345	Water Plant Expansion	12.58	
398	DeRecho Storm	26,948.00	
600	Water	11,221.47	81,973.21
610	Sewer	13,962.54	<u>90,882.38</u>
	Payroll	<u>63,295.09</u>	
	Grand Total	\$320,433.06	\$210,166.44

BUSINESS ITEMS:

Motion – Roberts, second – Easter to Approve Resolution No. 21-060 Scooter’s Coffee Site. Facility will be connecting to Plaza sanitary sewer. Sidewalk will be installed from Dollar General to Subway. Roll Call: Kuhn, Peterson, Roberts, Easter voted yes. Motion carried.

Motion – Roberts, second – Easter to Approve Resolution No. 21-061 Ballard Plaza Plat 2 Private Improvements. Roll Call: Easter, Roberts, Peterson, Kuhn voted yes. Motion carried.

Motion – Easter, second – Roberts to Approve Resolution No. 21-062 Ballard Plaza Plat 2 Final Plat with 8 Foot Sidewalk to be Installed Within One Year of Recorded Plat. Roll Call: Kuhn, Easter, Roberts, Peterson voted yes. Motion carried.

Motion – Easter, second – Roberts to Approve Resolution No. 21-063 Blue Sky Estates Preliminary Plat to Include Sidewalk Installation on East Side of Urbanized Section with a Park Dedication that Includes Park Board Review. Roll Call: Roberts, Easter, Kuhn, Peterson voted yes. Motion carried.

Motion – Easter, second – Kuhn to Approve Resolution No. 21-064 Blue Sky Commons Plat 2 Final Plat. Plat had been previously approved in 2017. Roll Call: Peterson, Kuhn, Easter, Roberts voted yes. Motion carried.

INFORMATIONAL ITEMS:

Construction Site Erosion Control and Sediment Control Ordinance – developers asked to delay effective date to 2022 due to existing high costs of materials. Staff noted that developers had made improvements. Council directed staff to move forward on project; work on final draft then decide on implementation date. City can enforce fees if necessary. Set final ordinance date for September 1 and provide plans for enforcement.

Update on Timeline for Sidewalk infill Program Scenarios for Financing and Community Engagement -Staff reported additional information was being collected and final plan would be delayed until August council meeting.

Update on Water Treatment Plant Expansion Project - City engineer reported work had begun on the plans and specifications and was hoping to have completed by next July council meeting. Once council approves plans then city can go out for bid.

ADJOURNMENT: Motion - Easter, second – Roberts to adjourn meeting at 7:32pm. 4 ayes, 0 nays. Motion carried.

Submitted by: Jolene R. Lettow, City Clerk

Huxley City Council Work Session Minutes

Tuesday, July 6, 2021

These minutes are as recorded by the City Clerk and are subject to City Council approval at the next regular council meeting.

WORK SESSION: The Huxley City Council met in work session on the above date pursuant to rules of the council, notice posted at City Hall and posted on website. Mayor Kevin Deaton called the meeting to order at 6:03 pm.

COUNCIL MEMBERS PRESENT: Peterson, Kuhn, Mulder, Easter; absent - Roberts

CITY STAFF PRESENT: Rita Conner – City Administrator, Jolene Lettow – City Clerk

WORKSESSION: Discussion held on the following topics:

Fence Project Reimbursement Cost Consideration: Council directed staff to reimburse property owner for materials, not labor. Council discussed code language regarding vision triangle and suggested chain link fence option become discussion item at future work session.

Trails Master Plan and 513 Oak Blvd: Council held discussion with property owner regarding plan for future trail and sidewalk options. Council stated property owner can install 5 foot sidewalk for now but agreement will be provided with stipulations for future plans for bike trail and appropriate changes to sidewalk.

Economic Development Review: Council discussed the possible use of TIF funds and reviewed cost analyses.

Brick Gentry Overview of Xenia Rural Water/City of Johnston Decision: City attorney, Amy Beattie, reported to council the decision made by the Iowa Supreme Court regarding water rights/jurisdictions between rural water entities and cities.

ADJOURNMENT: Motion - Kuhn, second - Peterson to adjourn meeting at 8:37pm. 4 ayes, 0 nays. Motion carried.

Attest:

Kevin Deaton, Mayor

Jolene R. Lettow, City Clerk

7-13-21 Council Claims

	A	B	C
1	VENDOR NAME	DESCRIPTION	GROSS AMOUNT
2	ACCUJET LLC	JET SANITARY LINES	\$ 1,491.71
3	AFLAC	AFLAC	\$ 216.96
4	ALLIANT ENERGY	GAS AND ELECTRIC	\$ 10,134.57
5	ANDREW'S ROOFING COMPANY	ROOF DAMAGE AT PARKS	\$ 23,657.40
6	ANNA DEHAMER	BASKETBALL CAMP COACH	\$ 1,701.80
7	ARNOLD MOTOR SUPPLY	STARTER FOR '14 F150 & CORE, GLOVES	\$ 284.50
8	BAKER GROUP	ROOFING REHAB FROM STORM DAMAGE	\$ 38,081.00
9	BELLA HOMES	BUILDING PERMIT DEPOSIT REFUND	\$ 1,000.00
10	BOLTEN & MENK, INC.	2021 STREET & WATER MAIN	\$ 3,384.00
11	BRICK GENTRY P.C.	LEGAL FEES	\$ 2,395.00
12	CARDMEMBER SERVICE	SEE ATTACHED	\$ 3,364.36
13	CENTRAL IOWA IMPACT, LLC	GUN INSPECTIONS	\$ 425.00
14	CENTRAL IOWA LAWN & LANDSC	SPINDLE	\$ 65.98
15	CINTAS CORPORATION	FIRST AID CABINET REFILL	\$ 85.55
16	CITY OF AMES	RESOURCE RECOVERY	\$ 17,414.50
17	COMPASS MINERALS AMERICA	COARSE ROCK SALT	\$ 7,431.09
18	COMPUTER RESOURCE SPECIALI	IT WORK	\$ 337.50
19	DELTA DENTAL PLAN OF IOWA	DENTAL INSURANCE	\$ 1,490.22
20	DIVISION OF LABOR	ANNUAL INSPECTION & PERMIT FEE	\$ 175.00
21	EBS	MEDICAL INSURANCE	\$ 17,590.70
22	EDWARD JONES	IRA	\$ 250.00
23	FIDELITY SECURITY LIFE	VISION INS	\$ 318.49
24	GALLS, LLC- DBA CARPENTER	POLICE UNIFORM PARTS	\$ 23.80
25	GATEHOUSE-DB IOWA HOLDINGS	LEGAL PUBLICATIONS	\$ 452.53
26	GREENLAND HOMES	BUILDING PERMIT DEPOSIT REFUND	\$ 1,000.00
27	HAWKINS, INC.	WATER TREATMENT CHEMICALS	\$ 3,427.50
28	HEARTLAND CO-OP	ROUND UP & PRAMITOL	\$ 132.38
29	HEATHER DENGER	HOBBY LOBBY REIMBURSEMENT	\$ 36.77
30	HOMES BY ADVANTAGE LLC	BUILDING PERMIT DEPOSIT REFUND	\$ 1,000.00
31	HUXLEY COMMUNICATIONS COOP	PHONE, CABLE, INTERNET	\$ 1,567.96
32	INTERNAL REVENUE SERVICE	PAYROLL TAXES	\$ 13,697.50
33	INTERSTATE ALL BATTERY CEN	FIRE ALARM BATTERIES	\$ 117.00
34	IOWA DNR	ANNUAL PUBLIC WATER SUPPLY FEE	\$ 386.55
35	IOWA MUN. WORKERS' COMP. A	WORKERS COMP INSURANCE	\$ 42,233.00
36	IOWA ONE CALL	EMAIL LOCATES	\$ 103.50
37	IOWA PLAINS SIGNING INC.	STREET SIGNS	\$ 350.00
38	IOWA SIGNAL INC.	STRAIGHTENED SIGN FROM STORM	\$ 390.00
39	IPERS	IPERS	\$ 16,883.74
40	KEMPKER'S TRUE VALUE AND R	SEE ATTACHED	\$ 1,104.41
41	KEY ELEMENTS CONSULTING	ANNUAL WATER WORKSHOP	\$ 600.00
42	KEYSTONE LABORATORIES	PILOT STUDY	\$ 140.50
43	LEXIPOL LLC	ANNUAL POLICIES TRAINING	\$ 3,779.10
44	LINCOLN FINANCIAL GROUP	LIFE & DISABILITY INSURANCE	\$ 1,286.86
45	MANATTS	CONCRETE	\$ 894.75
46	MASS MUTUAL RETIREMENT SER	DEFERRED COMPENSATION	\$ 250.00

7-13-21 Council Claims

	A	B	C
47	MEGAN BRENDLAND	CERTIFIED MAIL REIMBURSEMENT	\$ 7.00
48	MENARDS - AMES	WOOD CONCRETE FORMS	\$ 159.92
49	MISCELLANEOUS VENDOR	UTILITY DEPOSIT REFUNDS	\$ 1,002.90
50	MOSQUITO CONTROL OF IOWA	2021 MISQUITO SPRAYING	\$ 11,535.00
51	NICK SORENSEN	MATERIAL FOR FENCING	\$ 554.31
52	NICKOLAY CONSULTING, LLC	MONTHLY IT SUPPORT/MAILJET	\$ 115.00
53	NOVA FITNESS EQUIPMENT	PREVENTATIVE MAINTENANCE	\$ 418.10
54	OUTDOOR ENVISIONS	GOLD MULCH	\$ 485.10
55	OXEN TECHNOLOGY	MICROSOFT 365 & EXCHANGE	\$ 524.00
56	PCC AN AMBULANCE BILLING S	MAY AMBULANCE BILLING	\$ 135.50
57	POSTMASTER	BULK POSTAGE	\$ 460.01
58	PPG ARCHITECTURAL FINISHES	PAINT FOR WW & WATER TREATMENT	\$ 349.46
59	RACOM	YEARLY SERVICE CONTRACT	\$ 826.20
60	SAFE BUILDING COMPLIANCE &	BUILDING INSPECTIONS	\$ 7,537.61
61	SAHA	EIGHT CHAIRS FOR CONF. TABLE	\$ 100.00
62	SHANA L. STUART	LIBRARY SPACE ASSESSMENT	\$ 2,500.00
63	STAPLES BUSINESS CREDIT	OFFICE SUPPLIES	\$ 71.13
64	STAR EQUIPMENT LTD.	SEALANT, EDGER, SWEDGE, ETC	\$ 1,631.32
65	STEVE PELZ	TWO KOALA KARE CHANGING TABLES	\$ 200.00
66	SYDNEY LAUBER	UPDATED CITY PHOTOS	\$ 300.00
67	TASC	FLEX BENEFIT PLANS	\$ 577.05
68	TASC - CLIENT INVOICES	AUGUST FLEX ADMIN FEES	\$ 68.82
69	TRANE U.S. INC.	MAINTENANCE AGREEMENT	\$ 8,929.75
70	TREASURER, STATE OF IOWA	STATE WITHHOLDING	\$ 4,428.00
71	U.S. BANK EQUIPMENT FINANC	XEROX COPIER	\$ 103.22
72	U.S. CELLULAR	AMBULANCE CELL PHONES	\$ 91.39
73	VAN-WALL EQUIPMENT INC.	SPOOL, HANDLEBAR, BLADES	\$ 13,213.34
74	VEENSTRA & KIMM, INC.	ENGINEERING FEES	\$ 84,796.44
75	VERIZON WIRELESS	PD CELL PHONES & MDTs	\$ 201.56
76	Payroll Expense		\$ 62,780.14
77	GRAND TOTAL		\$ 425,255.45
78		FUND TOTALS	
79	001 GENERAL FUND	\$ 103,586.36	
80	002 LIBRARY	\$ 9,007.85	
81	003 RECREATION	\$ 8,473.77	
82	004 FIRE AND RESCUE	\$ 19,685.96	
83	006 CEMETERY	\$ 50.00	
84	014 AMBULANCE	\$ 2,253.53	
85	110 ROAD USE TAX	\$ 23,332.92	
86	325 E. 1ST ST RECONSTRUCTION	\$ 11,322.16	
87	345 WATER PLANT EXPANSION	\$ 69,446.78	
88	398 DERECHO STORM	\$ 62,128.40	
89	600 WATER UTILITY	\$ 25,320.25	
90	610 SEWER UTILITY	\$ 28,435.48	
91	01 PAYROLL EXPENSE	\$ 62,780.14	
92	GRAND TOTAL	\$ 425,255.45	

7-13-21 Council Claims

	A	B	C
93			
94			
95	Cardmember Services (Visa)		
96	Admin	amazon prime, zoom, adobe acropro, guages for geothermal pump	\$ 148.67
97	Water	1/4" valve, operator license	\$ 249.99
98	Wastewater	batteries, paper towels, operator licenses	\$ 328.90
99	Fire	gas meter sensor	\$ 162.33
100	Library	postage, liquid web, oriental trading, best buy, sams club, walmart, overthrow	\$ 471.31
101	Parks and Rec	exercise bands, weight set, towels, vending supplies, cleaning supplies, allen wrench, flower for planters, city mailer	\$ 1,539.08
102	Streets	trailer jack for disc mower, postage, soap dispenser, wrench sets	\$ 154.08
103	PD	notary renewals, online class	\$ 310.00
104	Total		\$ 3,364.36
105			
106	Kempker's True Value		
107	Parks	flag, deck sprayer, nuts, bolts, driver set, bit, barball mount, outlet kits, elbows, pvc adapter, hose, couplings, thread seal, wasp spray, cap kit, clothesline	\$ 314.40
108	Water	red paint, battery, ziploc bags, air chuck, hose end, nuts & bolts, hose clamp	\$ 176.92
109	Library	paint, battery, paint supplies	\$ 46.83
110	Parks and Rec	insect killer	\$ 24.97
111	Streets	nuts, bolts, drain auger, drain opener, cold patch, sponge gloves	\$ 225.77
112	Waste Water	srans wrap, coupler, wipes, chip brushes, snap link, roller, cycle oil, pulley, gfi cover	\$ 156.56
113	Fire	ant killer	\$ 14.98
114	Admin	grass seed	\$ 143.98
115	Total		\$ 1,104.41

**Huxley RECAP
June, 2021**

<u>Account No.</u>	<u>Account Name</u>	<u>Statement No.</u>	<u>Balance Due</u>
15398.000	Municipal	354234	\$1,450.00
15398.001	Prosecutions		
15398.002	Fire and Rescue		
15398.003	Prairie Ridge		
15398.005	Litigation		
15398.006	Bond Claims		
15398.011	Planning & Zoning		
15398.012	Public Works		
15398.013	Police		
15398.014	Parks		
15398.015	Nuisance Abatement	354235	\$945.00
15398.016	HDC		
15398.017	Library		
15398.018	Development		
Total:			\$2,395.00



BRICK GENTRY P.C.

Attorneys & Counselors At Law
6701 Westown Parkway, Ste 100
West Des Moines, IA 50266

Telephone: 515 274-1450

Facsimile: 515 274-1488

City of Huxley
Attn: Rita Conner
515 North Main Street
Huxley, IA 50124

Statement Date: June 25, 2021
Statement No. 354234
Account No. 15398.000
Page: 1

Re: Municipal
ASB

Fees

05/26/2021	ASB	Review of correspondence regarding Loveland Pond matter.	12.50
05/27/2021	ASB	Review of correspondence from Joseph Wallace regarding DZ Flex Space Condominiums. Correspondence regarding same.	25.00
	ASB	Review of correspondence from Rita Conner regarding Rural Water matters. Correspondence regarding same.	37.50
	ASB	Review of correspondence from Rita Conner regarding same. Correspondence with her.	25.00
	MSB	Correspondence with Rita Conner regarding employment issue; attorney conference with Doug Fulton regarding same.	75.00
05/28/2021	MSB	Correspondence with Rita Conner regarding employment issue.	37.50
06/07/2021	ASB	Review of correspondence and documentation from Rita Conner regarding Rural Water issues.	75.00
	ASB	Phone conference with Rita Conner regarding same.	62.50
06/08/2021	ASB	Review of correspondence and documentation regarding Hale Trailer rezoning.	37.50
	MSB	Correspondence with Chief Stoll regarding employment issue.	75.00
06/09/2021	ASB	Review of correspondence and documentation regarding Hale Trailer rezoning matters.	50.00
06/10/2021	MSB	Correspondence with Rita Conner and Chief Stoll regarding employment issue; research regarding same; review of draft complaint language.	200.00
06/11/2021	ASB	Review of correspondence regarding Pond matter. Correspondence regarding same.	50.00



BRICK GENTRY P.C.

Attorneys & Counselors At Law
6701 Westown Parkway, Ste 100
West Des Moines, IA 50266

Telephone: 515 274-1450

Facsimile: 515 274-1488

City of Huxley
Attn: Rita Conner
515 North Main Street
Huxley, IA 50124

Statement Date: June 25, 2021
Statement No. 354234
Account No. 15398.000
Page: 2

Re: Municipal

	MSB	Correspondence with Rita Conner and Gerry Stoll regarding employment issue; research regarding same.	50.00
06/14/2021	ASB	Review of correspondence from Rita Conner regarding Loveland Pond matter. Review of correspondence from Dave Kuhn regarding same.	25.00
06/15/2021	ASB	Review of correspondence from Rita Conner regarding Rezoning hearing. Legal research regarding same. Correspondence with her.	62.50
	ASB	Review of correspondence from Rita Conner regarding same.	12.50
06/17/2021	ASB	Review of correspondence regarding Parkwood Circle Neighborhood Pond. Correspondence regarding same.	50.00
	ASB	Call from Jamie Bergkamp regarding Blue Sky Commons Plat 2.	37.50
06/18/2021	ASB	Review of correspondence and documents regarding The Landing Agreement for waiver of sidewalk. Preparation of Agreement regarding same.	112.50
	ASB	Review of correspondence and documents from Jamie Bergkamp regarding Big Sky Commons Plat 2. Correspondence regarding same.	87.50
06/22/2021	ASB	Review of correspondence from Forrest Aldrich. Correspondence to Jamie Bergkamp regarding Blue Sky Commons Plat 2.	25.00
	ASB	Review of correspondence and documentation from Jamie Bergkamp. Correspondence regarding same. Calls from and to Jamie Bergkamp.	50.00
06/24/2021	ASB	Review of and revisions to Deferral Agreement for The Landing. Correspondence regarding same.	62.50
06/25/2021	ASB	Review of correspondence from Rita Conner regarding Reimbursement to citizen. Correspondence regarding same.	37.50
	ASB	Review of correspondence regarding Agreement for Deferral of Sidewalk at the Landing. Revisions to Agreement. Correspondence regarding same.	50.00



BRICK GENTRY P.C.

Attorneys & Counselors At Law
6701 Westown Parkway, Ste 100
West Des Moines, IA 50266

Telephone: 515 274-1450

Facsimile: 515 274-1488

City of Huxley
Attn: Rita Conner
515 North Main Street
Huxley, IA 50124

Statement Date: June 25, 2021
Statement No. 354234
Account No. 15398.000
Page: 3

Re: Municipal

ASB Review of correspondence from Forrest Aldrich. Revisions to
Agreement. Correspondence regarding same.
For Current Services Rendered

25.00
1,450.00

Recapitulation

<u>Timekeeper</u>	<u>Title</u>	<u>Hours</u>	<u>Rate</u>	<u>Total</u>
Amy Beattie	Attorney	8.10	\$125.00	\$1,012.50
Matt Brick	Attorney	3.50	125.00	437.50

Total Current Work 1,450.00

Previous Balance \$2,262.50

Payments

06/11/2021 Payment -2,262.50

Balance Due \$1,450.00

Thank you.



BRICK GENTRY P.C.

Attorneys & Counselors At Law
6701 Westown Parkway, Ste 100
West Des Moines, IA 50266

Telephone: 515 274-1450

Facsimile: 515 274-1488

City of Huxley
Attn: Rita Conner
515 North Main Street
Huxley, IA 50124

Statement Date: June 25, 2021
Statement No. 354235
Account No. 15398.015
Page: 1

Re: Nuisance Abatement
ASB

Fees

05/26/2021	MRO	Finalize municipal infraction against 115 S Main.	75.00
06/01/2021	MRO	Email update to Rita regarding Fortner and Jerry's Auto.	25.00
06/04/2021	ASB	Review of correspondence and documentation regarding Duane Fjelland property. Correspondence regarding same.	37.50
	ASB	Review of correspondence regarding Fortner Building. Correspondence regarding same.	25.00
	ASB	Review of correspondence regarding Bud's Auto. File review regarding same. Correspondence regarding same.	37.50
06/07/2021	ASB	Review of correspondence from Rita Conner regarding abatement/municipal infraction for failing to mow. Review of correspondence from Chief Stoll. Legal research. Correspondence regarding same.	50.00
06/09/2021	MRO	Draft infraction against Jerry's.	262.50
06/10/2021	ASB	Review of correspondence regarding Nuisance Abatement procedures. Legal research. Correspondence to Rita Conner regarding same.	62.50
06/11/2021	MRO	Email Rita regarding timing of Sheldahl infraction and costs.	25.00
		For Current Services Rendered	600.00

Recapitulation

<u>Timekeeper</u>	<u>Title</u>	<u>Hours</u>	<u>Rate</u>	<u>Total</u>
Amy Beattie	Attorney	1.70	\$125.00	\$212.50
Matt O'Hollearn	Attorney	3.10	125.00	387.50

Expenses

06/08/2021	Central Iowa Process Servers	65.00
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BRICK GENTRY P.C.

Attorneys & Counselors At Law
6701 Westown Parkway, Ste 100
West Des Moines, IA 50266

Telephone: 515 274-1450

Facsimile: 515 274-1488

City of Huxley
Attn: Rita Conner
515 North Main Street
Huxley, IA 50124

Statement Date: June 25, 2021
Statement No. 354235
Account No. 15398.015
Page: 2

Re: Nuisance Abatement

06/15/2021	Central Iowa Process Servers	45.00
06/15/2021	Central Iowa Process Servers	45.00
	Total Expenses	155.00

Advances

05/27/2021	(FORTNER) Filing fee - Civil Municipal Infraction	95.00
06/09/2021	(RONEY) Filing fee - Civil Infraction	95.00
	Total Advances	190.00

Total Current Work	945.00
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Previous Balance	\$37.50
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Payments

06/11/2021	Payment	-37.50
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Balance Due	<u>\$945.00</u>
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Thank you.

Services <https://directory.iowa.gov/service/Index?_ga=1.101492737.1604613096.1488473035&ia_slv=1625687485073>

Agencies <https://directory.iowa.gov/?ia_slv=1625687485073>

Social <https://directory.iowa.gov/social/Index?ia_slv=1625687485073>

<https://www.iowa.gov/search/google?ia_slv=1625687485073>

License Application (LE0001965)

Applicant

Name of Legal Entity : CASEY'S MARKETING COMPANY

Name of Business(DBA) : CASEY'S GENERAL STORES #2842

Address of Premises : 902 N HWY 69

City : Huxley

County : Story

Zip : 50124

Business : (515) 597-4443

Mailing Address: PO Box 3001

City : Ankeny

State : Iowa

Zip : 50021-8045

Contact Person

Name : JESSICA FISHER-COMSTOCK, Store Operations

Phone : (515) 446-6404

Email : jessica.fisher@caseys.com

License Information

License Number : LE0001965

License/Permit Type : Class E Liquor License

Term : 12 Month

Effective Date : 2021-08-09

Expiration Date : 2022-08-08

Sub-Permits/Privileges :

Class C Beer Permit

Class B Wine Permit

Sunday Sales

Status of Business

Business Type : Publicly Traded Corporation

Ownership

42-0935283 Casey's General Stores, Inc.

City : ANKENY

State : Iowa

Zip : 50021--804

Position : Owner

% of ownership : 100

U.S. Citizen : Yes

JULIA JACKOWSKI

City : URBANDALE

State : Iowa

Zip : 50322

Position : Owner

% of ownership :

U.S. Citizen : Yes

Michael Richardson

City : PLEASANT HILL

State : Iowa

Zip : 50327

Position : Owner

% of ownership :

U.S. Citizen : Yes

JAMES PISTILLO

City : Urbandale

State : Iowa

Zip : 50323

Position : Owner

% of ownership :

U.S. Citizen : Yes

JOHN SOUPENE

City : Ankeny

State : Iowa

Zip : 50023

Position : Owner

% of ownership :

U.S. Citizen : Yes

Insurance Company Information



Huxley Fire and Rescue

104 Railway
Huxley, Iowa 50124

Huxley Mayor and City Council:

I would like to recommend **Tricia Mills-Roberts** for 6 month Probationary Affiliate Membership with Huxley Fire & Rescue.

She is certified as an Emergency Medical Technician and has worked previously with the Bondurant Fire Department.

Please also consider **Travis Woodbeck** for 6 month Probationary Membership with Huxley Fire & Rescue.

Travis has been a Firefighter for nearly 30 years and just recently left his position as Assistant Fire Chief of the Eagle Grove Fire Department.

Thank You for your consideration,

Todd Moomaw, Chief, Huxley Fire Rescue

RESOLUTION NO. 21-065

**RESOLUTION APPROVING FY 2022 ASSESSMENT TO CENTRAL IOWA
REGIONAL TRANSPORTATION PLANNING ALLIANCE(CIRTPA)**

WHEREAS, the City of Huxley is a member of the Central Iowa Regional Transportation Planning Alliance (CIRTPA) and;

WHEREAS, CIRTPA annually requests that its member governments approve an assessment on a rate of \$0.13 per capita and;

WHEREAS, City of Huxley assessment is based on the 2010 Census population of 3,317 and

WHEREAS, City of Huxley FY 2022 CIRTPA is \$431.00.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

FY 2022 CIRPTA assessment of \$431.00 is hereby approved.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 13th day of July, 2021

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-065** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July, 2021

Kevin Deaton, Mayor

ATTEST:

Jolene R. Lettow, City Clerk



420 Watson Powell Jr. Parkway, Suite 200
Des Moines, Iowa 50309
Phone: 515.334.0075
www.cirtpa.org

June 25, 2021

Rita Conner
City of Huxley
515 N. Main Ave.
Huxley, IA 50124

SUBJECT: CIRTPA FISCAL YEAR 2022 ASSESSMENTS

Dear Rita Conner,

Enclosed is an assessment invoice for City of Huxley, as a member of the Central Iowa Regional Transportation Planning Alliance (CIRTPA), for Fiscal Year 2022 beginning July 1, 2021, and ending June 30, 2022. Member assessments match federal funds that the CIRTPA receives to support the transportation planning activities performed by the CIRTPA for its member governments.

The CIRTPA is applying an assessment rate of \$0.13 per capita to City of Huxley's 2010 Census population figure of 3,317 for the FY 2022 assessment amount of \$431.00 as detailed on the enclosed invoice. Assessments are due and payable July 15, 2021, and the CIRTPA will consider the assessment payment late after August 31, 2021.

Thanks for your cooperation. If you have any questions concerning the assessment, please contact Principal Planner, Andrew Collings at acollings@dmampo.org

Sincerely,

A handwritten signature in blue ink, appearing to read "R. Todd Ashby", is written over a horizontal line.

R. Todd Ashby, AICP
Program Coordinator

Enclosure

cc: CIRTPA TPC Secretary/Treasurer

Boone County • Dallas County • Jasper County • Madison County
Marion County • Polk County • Story County • Warren County
Adel • Boone • Huxley • Indianola • Knoxville • Nevada
Newton • Pella • Perry • Story City • Winterset

CIRTPA

420 Watson Powell Jr. Pkwy
Des Moines, IA 50309 US
515-334-0075
TDeckard@dmampo.org

Invoice**BILL TO**

City of Huxley
515 N. Main Ave.
Huxley, IA 50124

SHIP TO

City of Huxley
515 N. Main Ave.
Huxley, IA 50124

INVOICE #	DATE	TOTAL DUE	DUE DATE	TERMS	ENCLOSED
383	06/25/2021	\$431.00	08/31/2021	Net 30	

SERVICE	DESCRIPTION	QTY	RATE	AMOUNT
Assessment	FY 2022 CIRTPA Assessment	1	431.00	431.00

FY 2022 CIRTPA Assessment

BALANCE DUE

\$431.00

RESOLUTION NO. 21-066

**RESOLUTION APPROVING ANNUAL CONTRACT RENEWAL WITH AMES
ECONOMIC DEVELOPMENT COMMISSION**

WHEREAS, the City of Huxley approved an agreement with the Ames Economic Development Commission (AEDC) on June 25, 2019 by Resolution No. 19-091 and again on June 23, 2020 by Resolution No. 20-058 and;

WHEREAS, the agreement was for the provision of regional marketing services, business retention and expansion meetings with local companies, acting as primary liaison with the Iowa Economic Development Authority for State of Iowa Business Assistance Programs that may benefit Huxley businesses, coordination with City staff on Huxley economic development activities and programs and workforce development, and;

WHEREAS, the FY 2022 contract is proposed for a 5% increase of \$1,500 from \$30,000 to \$31,500.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:
The FY 2022 agreement with the Ames Economic Development Commission is hereby approved.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 13th day of July 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-066** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene R. Lettow, City Clerk

Contract for Regional Marketing and Development Services

THIS AGREEMENT, made and entered into the 13th day of July 2021, by and between the **AMES ECONOMIC DEVELOPMENT COMMISSION (AEDC)** and the **CITY OF HUXLEY**.

This agreement states the City of Huxley will purchase certain services from the AEDC to promote the community as a location for development opportunities.

Purpose

The purpose of this Agreement is to assist and promote Huxley as part of the greater region and advocate for outside funding opportunities.

I. Scope of Services

In consideration for the payment of \$31,500 the AEDC shall provide the following services to the City of Huxley and its citizens during the term of this agreement:

- The AEDC and the Huxley City Administrator will serve as the lead contacts for business representatives hoping to locate in Huxley or to expand existing businesses in the Huxley and surrounding area. In this capacity the AEDC will respond to information requests, coordinate with the city the completion and submittal of state incentive applications, and assist in representing the Huxley community in showing sites and buildings to prospective businesses.
- The AEDC will visit with all major companies to identify challenges and opportunities facing Huxley businesses via the AEDC Business Retention program. Huxley City Administrator participation is welcome as opportunities present.
- The AEDC will serve as the primary marketing entity for business recruitment to highlight the community of Huxley and its business parks including the Huxley Industrial Park, Blue Sky Commons and any other available site or building.
- The AEDC will report two times per year to the Huxley city council on related activities. These will occur in October 2021 and April 2022 and outline AEDC activities related to representing the Huxley community such as number of contacts made with prospective companies, representation at trade shows and marketing trips and website activity based upon the AEDC's electronic marketing efforts.

II. Method of Payment and Duration of Services

Payment for services will be invoiced to the City of Huxley. Services will be for the fiscal year of 2022 (July 1, 2021 to June 30, 2022) **and will not renew automatically.** The Contract for Regional Marketing and Development Services will be reviewed annually. Cancellation of this contract by either party must be made in writing 30 days prior to cancellation.

Ames Economic Development Commission



By:

Daniel A. Culhane, President & CEO

City of Huxley

By: _____
Kevin Deaton, Mayor

COUNCIL COMMUNICATION

AGENDA HEADING:

Approve Hourly Rental Rate for Nord Kalsem

SUBMITTED BY: Heather Denger, Parks and Recreation Director

SYNOPSIS:

Janitorial staff, Parks and Recreation staff and City Office staff have met to discuss rates and usage of Nord Kalsem and the Safe Room. Because of the significantly lower cost of renting Nord Kalsem use of it has increased significantly over the Safe Room. General maintenance and cleaning have therefore increased as well. We are asking that the rate of \$20/hour be increased to \$25/hour for future reservations to help absorb the additional costs of maintenance and cleaning. We are also going to require a 4 hour minimum rental on weekends.

FISCAL IMPACT:

Potentially increased money to improve upkeep as well as future improvements.

ADDITIONAL INFORMATION:

REQUESTED COUNCIL ACTION:

- Approval of the rate increase immediately.

PREVIOUS COUNCIL ACTION(S): NONE

BOARD/COMMISSION ACTION(S): NONE

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- Rate increase immediately on all future reservations.

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Council agendas are available to the public at the City Clerk's Office on Friday afternoon preceding Monday's Council meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

RESOLUTION NO. 21-068

RESOLUTION APPROVING NORD KALSEM COMMUNITY CENTER RENTAL RATE INCREASE

WHEREAS, the City of Huxley owns and operates Nord Kalsem Community Center for rentals by residents for meetings, family events and other uses and;

WHEREAS, rental fees for the center provide for the operation and maintenance of the facility and fee increases are warranted from time to time and;

WHEREAS, the rental is proposed to be increased from \$20 per hour to \$25 per hour on all future reservations beginning July 15th, 2021.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the increase to rental fees at Nord Kalsem Community Center beginning July 15th, 2021

Roll Call	Aye	Nay	Absent
Nate Easter	_____	_____	_____
David Kuhn	_____	_____	_____
Greg Mulder	_____	_____	_____
Rick Peterson	_____	_____	_____
Tracey Roberts	_____	_____	_____

PASSED, ADOPTED AND APPROVED this 13th day of July 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-068** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

COUNCIL COMMUNICATION

AGENDA HEADING:

Approving Payment No. 1 for the East 1st Street Project

SUBMITTED BY:

Rita Conner, City Administrator

SYNOPSIS:

Veenstra and Kimm, Inc (Forrest Aldrich, P.E., 3000 Westown Parkway West Des Moines, Iowa 50266) has submitted pay application No. 1 from Concrete Technologies, Inc (Brian Blackford, President, 1001S. E. 37th Street Grimes, Iowa 50011) in the amount of \$133,063.82 for work completed from April 29, 2021 to July 6, 2021 on the East 1st Street Project.

Additional information is below and in the attachments.

FISCAL IMPACT:

Amount: \$133,063.82

Funding Source: City of Huxley: Org and Fund code provided by the City Clerk/Finance Officer.

ADDITIONAL INFORMATION: YES

- Work in this pay request includes storm sewer, water services and pavement preparation

PREVIOUS COUNCIL ACTION(S): YES

- April 27, 2021 Council Approved Notice to Proceed, Contract and Bonds

RECOMMENDATION: APPROVAL**ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:**

- Continue work on the project
- Inspection and presentation of the public improvements for Council action and acceptance

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Council agendas are available to the public at the City Clerk's Office on Friday afternoon preceding Monday's Council meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

RESOLUTION NO. 21-068

RESOLUTION APPROVING PAYMENT APPLICATION NO. 1 FOR THE EAST 1ST STREET PROJECT

WHEREAS, on April 27, 2021 by Resolution No. 21-034, City Council approved the notice to proceed, contract, and bonds and authorized Mayor to execute the contract with Concrete Technologies for the East 1st Street project and;

WHEREAS, Veenstra & Kimm, Inc. has reviewed the first payment application in the amount of \$133,063.82 for storm sewer, water services and pavement preparation and recommend payment.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Payment No. 1 in the amount of \$133,063.82 is hereby approved.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 13th day of July 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-068** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848(FAX) • 800-241-8000 (WATS)

July 8, 2021

Rita Conner
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

HUXLEY, IOWA
EAST 1ST STREET RECONSTRUCTION
PARTIAL PAY ESTIMATE NO. 1

Attached is an electronic copy of Partial Pay Estimate No. 1 for work on the East 1st Street Reconstruction project, under the contract between the City of Huxley and Concrete Technologies, Inc. dated April 29, 2021. The partial pay estimate is for the period April 29, 2021 to July 6, 2021.

Partial Pay Estimate No. 1 is for storm sewer, water services, and pavement preparation. We have checked the estimate and recommend payment to Concrete Technologies, Inc. in the total amount of \$133,063.82.

Please sign Partial Pay Estimate No. 1 in the space provided and return a signed copy of the partial pay estimate to our office. Please return a signed copy of Partial Pay Estimate No. 1 to Concrete Technologies, Inc. with payment. A signed copy should also be kept for your files.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Jordan Kappos".

Jordan Kappos

JDK
45263/45270

Enclosures

cc: Concrete Technologies, Inc.

*West Des Moines, IA • Coralville, IA • Dubuque, IA • Mason City, IA • Sioux City, IA
Cedar Rapids, IA • Rock Island, IL • Springfield, IL • Liberty, MO • Rochester, MN*

ESTIMATE OF ROAD OR BRIDGE WORK ON NONSTATE ROADS/STREETS
CITY OF HUXLEY - EAST 1ST STREET RECONSTRUCTION

Cost Center:
Type of Work: PCC Pavement - Replace
Date of This Est.: 7/8/2021
Estimate No.: 1
Sheet No.: 3 Total

Contract No.: 85-3630-606
County: Story
Project No.: STBG-SWAP-3630(606)--SG-85 and STBG-SWAP-3630(607)--SG-85
Accounting ID: 37631 and 37632

Payable To: Concrete Technologies, Inc.
Address: 1001 SE 37th Street
Grimes, IA 50111

Project Covered Under General Supplemental Specification GS-15009

LINE NO.	Plan Quantity Item By Specification	ITEMS DESCRIPTION	UNIT OF MEASURE	RATES	QUANTITIES (EWO'S INCLUDED)				AMOUNTS (EWO'S INCLUDED)				% OF CONTRACT
					DIVISION 1 CONTRACT	DIVISION 2 CONTRACT	DIVISION 1 ACTUAL	DIVISION 2 ACTUAL	DIVISION 1 CONTRACT	DISVISION 2 CONTRACT	DIVISION 1 ACTUAL	DIVISION 2 ACTUAL	
0010	2107-0875000	COMPACTION WITH MOISTURE AND DENSITY CONTROL	CY	\$ 8.50	870.00		870.00		7,395.00		7,395.00		100.00%
0020	2115-0100000	MODIFIED SUBBASE	CY	\$ 47.25	435.00		435.00		20,553.75		20,553.75		100.00%
0030	2123-7450000	SHOULDER CONSTRUCTION, EARTH	STA	\$ 284.00	13.40				3,805.60				
0040	2301-1033080	STANDARD OR SLIP FORM PCC PAVEMENT, CLASS C, CLASS 3 DURABILITY, 8 IN.	SY	\$ 54.00	2310.00				124,740.00				
0050	2301-6911722	PCC PAVEMENT SAMPLES	LS	\$ 5,275.00	1.00				5,275.00				
0060	2315-8275025	SURFACING, DRIVEWAY, CLASS A CRUSHED STONE	TON	\$ 42.00	50.00				2,100.00				
0070	2435-0250600	INTAKE, SW-506	EA	\$ 9,715.00	2.00		2.00		19,430.00		19,430.00		100.00%
0080	2502-6745952	REMOVAL OF SUBDRAIN	LF	\$ 7.50	450.00				3,375.00				
0090	2502-8212306	SUBDRAIN, STANDARD, PERFORATED, 6 IN., AS PER PLAN	LF	\$ 18.00	1340.00				24,120.00				
0100	2502-8221006	SUBDRAIN RISER, 6 IN., AS PER PLAN	EA	\$ 510.00	4.00				2,040.00				
0110	2503-0114224	STORM SEWER GRAVITY MAIN, TRENCHED, RCP, 2000D (CLASS III), 24 IN.	LF	\$ 152.00	31.00		31.00		4,712.00		4,712.00		100.00%
0120	2503-0200036	REMOVE STORM SEWER PIPE LESS THAN OR EQUAL TO 36	LF	\$ 21.00	31.00		31.00		651.00		651.00		100.00%
0130	2510-6745850	REMOVAL OF PAVEMENT	SY	\$ 8.75	2310.00		2336.35		20,212.50		20,443.06		101.14%
0140	2510-6750600	REMOVAL OF INTAKES AND UTILITY ACCESSES	EA	\$ 525.00	2.00		2.00		1,050.00		1,050.00		100.00%
0150	2515-2475006	DRIVEWAY, P.C. CONCRETE, 6 IN.	SY	\$ 81.50	192.00				15,648.00				
0160	2515-6745600	REMOVAL OF PAVED DRIVEWAY	SY	\$ 8.50	121.00		121.00		1,028.50		1,028.50		100.00%
0170	2526-8285000	CONSTRUCTION SURVEY	LS	\$ 2,525.00	1.00		1.00		2,525.00		2,525.00		100.00%
0180	2528-2518000	SAFETY CLOSURE	EA	\$ 105.00	10.00		3.00		1,050.00		315.00		30.00%
0190	2528-8445110	TRAFFIC CONTROL	LS	\$ 2,365.00	1.00		1.00		2,365.00		2,365.00		100.00%
0200	2533-4980005	MOBILIZATION	LS	\$ 19,980.00	1.00		1.00		19,980.00		19,980.00		100.00%
0210	2554-0204000	WATER SERVICE STUB, PVC, 4 IN.	EA	\$ 9,200.00	1.00		1.00		9,200.00		9,200.00		100.00%
0220	2554-0204110	WATER SERVICE STUB, COPPER, 1 IN.	EA	\$ 3,675.00	3.00		3.00		11,025.00		11,025.00		100.00%
0230	2599-9999009	TILE LINE REPAIR	LF	\$ 52.50	50.00				2,625.00				
0240	2599-9999010	EXISTING WATER MAIN ABANDON IN PLACE	LS	\$ 3,150.00	1.00		1.00		3,150.00		3,150.00		100.00%
0250	2601-2636044	SEEDING AND FERTILIZING (URBAN)	ACRE	\$ 5,030.00	0.30				1,509.00				
0260	2107-0875000	COMPACTION WITH MOISTURE AND DENSITY CONTROL	CY	\$ 8.50	850.00				7,225.00				
0270	2115-0100000	MODIFIED SUBBASE	CY	\$ 47.50	411.00				19,522.50				
0280	2123-7450000	SHOULDER CONSTRUCTION, EARTH	STA	\$ 285.00	11.00				3,135.00				
0290	2213-7100400	RELOCATION OF MAIL BOXES	EA	\$ 525.00	2.00				1,050.00				
0300	2301-1033070	STANDARD OR SLIP FORM PCC PAVEMENT, CLASS C, CLASS 3 DURABILITY, 7 IN.	SY	\$ 77.00	83.00				6,391.00				
0310	2301-1033080	STANDARD OR SLIP FORM PCC PAVEMENT, CLASS C, CLASS 3 DURABILITY, 8 IN.	SY	\$ 54.00	2126.00				114,804.00				

Contract No.: 85-3630-606
County: Story
Project No.: STBG-SWAP-3630(606)--SG-85 and STBG-SWAP-3630(607)--SG-85
Accounting ID: 37631 and 37632

Payable To: Concrete Technologies, Inc.
Address: 1001 SE 37th Street
Grimes, IA 50111

[illegible]

ESTIMATE OF ROAD OR BRIDGE WORK ON NONSTATE ROADS/STREETS
CITY OF HUXLEY - EAST 1ST STREET RECONSTRUCTION

Cost Center:
Type of Work: **PCC Pavement - Replace**
Date of This Est.: **7/8/2021**
Estimate No.: **1**
Sheet No.: **3 Total**

Payable To: Concrete Technologies, Inc.
Address: 1001 SE 37th Street
Grimes, IA 50111


Contract No.: **85-3630-606**
County: **Story**
Project No.: **STBG-SWAP-3630(606)--SG-85 and STBG-SWAP-3630(607)--SG-85**
Accounting ID: **37631 and 37632**

Project Covered Under General Supplemental Specification **GS-15009**

LINE NO.	Plan Quantity Item By Specification	ITEMS DESCRIPTION	UNIT OF MEASURE	RATES	QUANTITIES (EWO'S INCLUDED)				AMOUNTS (EWO'S INCLUDED)				% OF CONTRACT
					DIVISION 1 CONTRACT	DIVISION 2 CONTRACT	DIVISION 1 ACTUAL	DIVISION 2 ACTUAL	DIVISION 1 CONTRACT	DISVISION 2 CONTRACT	DIVISION 1 ACTUAL	DIVISION 2 ACTUAL	

We, the undersigned certify that the items and amount listed hereon are true and correct to the best of our knowledge.
Concrete Technologies, Inc.

Original Contract Amount \$621,536.85
Approved Contract Amount \$621,536.85 \$ 137,179.19 \$ - 22.07%


(Trent Petersen) 7-8-21
Date

Total Completed To Date = \$ 137,179.19
Amount Retained @ 3% = \$ 4,115.38
Eligible Amount = \$ 133,063.82
Previously Reimbursed = \$ -
Amount Due & Payable = \$ 133,063.82

Veenstra & Kimm, Inc.


Project Engineer (Jordan Kappos) 7/8/2021
Date

City of Huxley

()
Date

RESOLUTION NO. 21-069

**RESOLUTION APPROVING SIDEWALK WIDTH AND LOCATION AT 513 OAK
BLVD WITH CONDITION CONCERNING TRAIL INSTALLATION**

WHEREAS, the property owner at 513 Oak Blvd has requested approval to build a five foot (5') sidewalk at five feet (5') off the curb location; and

WHEREAS, the City Council reviewed the proposal at a work session with direction that the matter be brought to the Council at a meeting for a decision; and

WHEREAS, the City Council, after review of the proposal, is willing to approve the proposal with the understanding that if a trail subsequently is installed by the City at any time, any work needed to the driveway will be the property owner's responsibility.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, that a five foot (5') sidewalk at five feet (5') off the curb location at 513 Oak Blvd is hereby approved.

BE IT FURTHER RESOLVED that if a trail subsequently is installed by the City at any time, any work needed to the driveway will be the property owner's responsibility.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 13th day of July 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-069** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

RESOLUTION NO. 21-070

A RESOLUTION ACKNOWLEDGING REQUEST BY ATI GROUP FOR TAX INCREMENT FINANCING IN ACCORDANCE WITH THE INFRASTRUCTURE INVESTMENT POLICY IN THE CITY OF HUXLEY, IOWA AND DIRECTING STAFF TO ENGAGE BOND COUNSEL

WHEREAS, the City Council of the City of Huxley, Iowa has received a request from ATI Group for Tax Increment Financing for a 152-lot residential subdivision on approximately 46 acres of land between 560th Avenue, East 1st Street and Oak Bend Road. The project would include a variety of product types following the team's review of the Story County Housing Needs Assessment. The developer has been requested to extend Oak Blvd. 1400 feet to 560th and conduct 1300 feet of street improvements to 560th in conjunction with the residential development project; and

WHEREAS, the City Council of the City of Huxley has adopted a policy for providing financial assistance for infrastructure in Huxley; and

WHEREAS, the City Council of the City of Huxley believes that, with the information provided to date, the proposal by ATI Group is in the best interest of the City.

NOW THEREFORE, BE IT RESOLVED that the City Council will consider providing tax increment financing up to 95% reimbursement for qualified infrastructure in the ATI Group project in accordance with the adopted Infrastructure Investment Policy.

BE IT FURTHER RESOLVED that the City Administrator is directed to engage Bond Counsel to prepare the legal proceedings and agreement required in order to provide tax increment financing to ATI Group and bring the matter back to the City Council for further review and discussion.

Roll Call	Aye	Nay	Absent
Rick Peterson	_____	_____	_____
Greg Mulder	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____
Nate Easter	_____	_____	_____

PASSED, ADOPTED AND APPROVED this 13th day of July 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No.21-070** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July 2021.

Kevin Deaton, Mayor

Attest:

Jolene Lettow, City Clerk

RESOLUTION NO. 21-071

RESOLUTION APPROVING REVISED DZ FLEX SPACE CONDOS SITE PLAN AND EXPLANATORY AFFADAVIT

WHEREAS, On March 23, 2021 by Resolution NO. 21-025, City Council approved a site plan for DZ Condos for the construction of 48 condominium garage units in 8 buildings on a 6.41-acre site at 401 Snyder Drive in the Huxley Development Park, M-1 zoning district and;

WHEREAS, the plumbing contractor for the project installed 4" sanitary sewer services rather than the 6" services from the approved site plan and;

WHEREAS, the project engineer has prepared an updated site plan showing the 4" services, provided a letter stating that the 4" services will be adequate for the business uses of the condo units, and an explanatory affidavit identifying the title holder as the entity assuming liability and responsibility for the 4" services and any potential future damages.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the revised DZ Condos Flex Space Condos site plan and explanatory affidavit with the requirement that the developer/owner records both and provides the City with recorded copies.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 13th day of July 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-071** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 13th day of July 2021

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

PLANS OF PROPOSED IMPROVEMENTS FOR

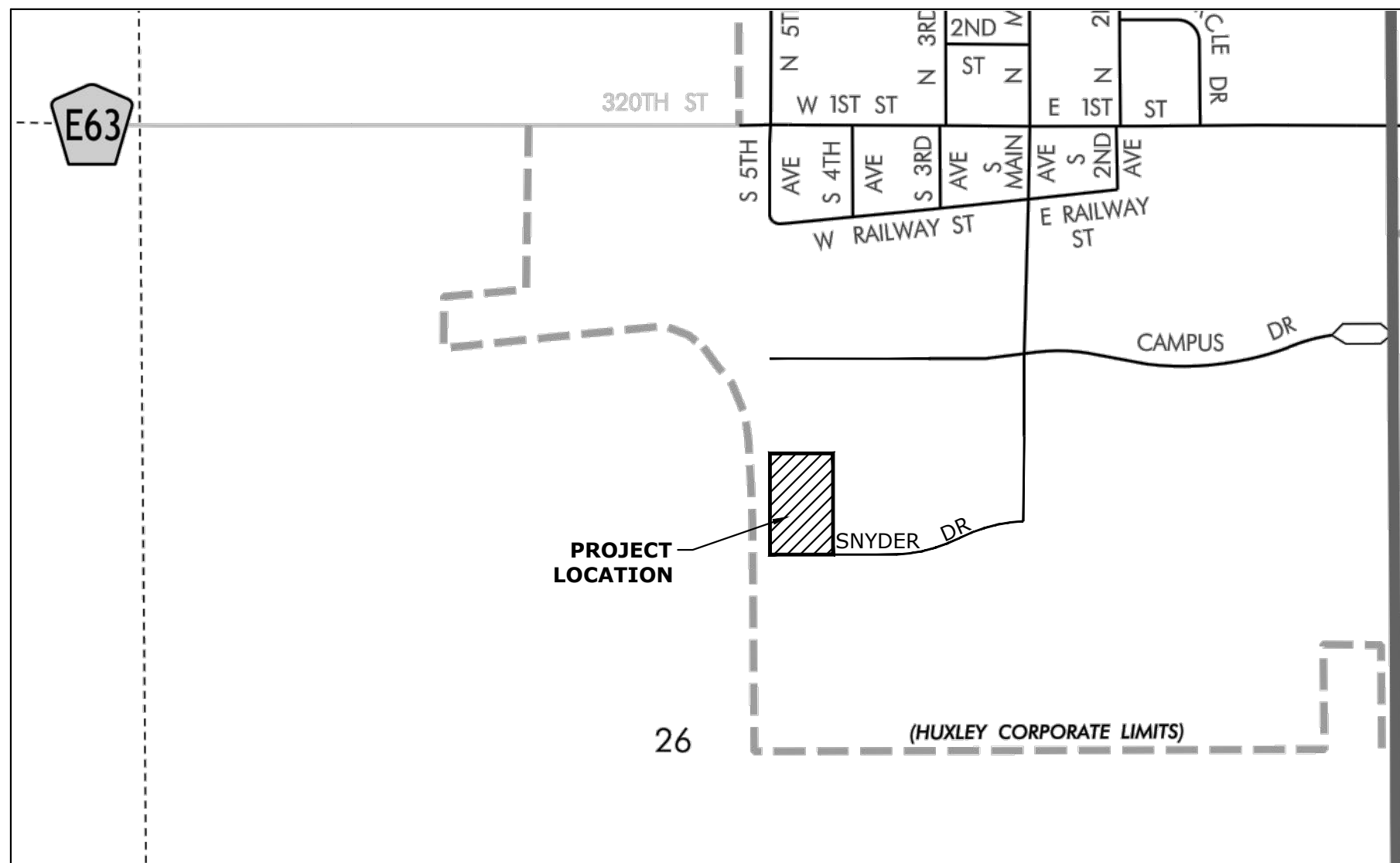
DZ FLEX SPACE

CONDOMINIUM GARAGES

315 SNYDER DR

HUXLEY, IA

NOT TO SCALE LOCATION MAP



INDEX OF SHEETS

No.	Description
G1.01	COVER SHEET
G2.01	GENERAL NOTES / LEGEND
G3.01 - G3.03	TYPICAL DETAILS
G4.01	STORMWATER POLLUTION PREVENTION PLAN
C1.01	EXISTING CONDITIONS & REMOVALS PLAN
C2.01	DIMENSION PLAN
C3.01	GRADING PLAN
C4.01	UTILITY PLAN
C4.02 - C4.07	PLAN AND PROFILE VIEWS
C4.08	BUILDING UTILITY SERVICE (TYP)
C5.01	LANDSCAPE PLAN
C6.01	JOINTING PLAN

SITE PLAN DATA

SITE ADDRESS: 315 Snyder Drive
LEGAL DESCRIPTION: Lot 8 of Huxley Development Corporation Plat 3
OWNER/APPLICANT: Zac Binder
2404 Park Drive
West Des Moines, IA 50265
Phone: 712-260-0693
Email: zacbinder@gmail.com

SITE PLAN PREPARED BY: John Gade, P.E.
FOX Engineering Associates
414 S. 17th Street
Suite 107
Ames, Iowa 50010
Phone: 515-233-0000
Email: jmg@foxeng.com

ZONING: M-1 Industrial
BUILDING SETBACKS:
Front 25 FT
Street Side Yard 10 FT
Interior Side Yard 10 FT
Rear 10 FT

BUILDING USE: The developer anticipates the primary use of each condo unit will be for individual property storage, contractor storage, and contractor offices. In general, all business types per M-1 Industrial zoning will be allowed in these condos.

SURVEY DATUM: All elevations are to NAV 88 unless otherwise noted

FLOOD INFORMATION: This site is not in a regulated floodplain

SITE AREA:	6.41 AC
NEW BUILDING AREA:	79,200 SF
NEW PAVEMENT AREA:	108,828 SF
TOTAL HARD SURFACE:	188,028 SF
TOTAL OPEN SPACE:	91,192 SF 32.7 %
REQUIRED OPEN SPACE:	55,844 SF 20.0 %

PARKING

Service Garage 1 space per 600 s.f.

TOTAL SPACES REQUIRED:	132 Spaces
TOTAL SPACES PROVIDED:	166 Spaces
HANDICAP SPACES REQ'D:	6 Spaces
HANDICAP SPACES PROV'D:	8 Spaces

TRAFFIC ANALYSIS

Daily trips = 50 vehicles per day
Peak Hour = 10 vehicles per hour (AM/PM)
% Trucks = 20%

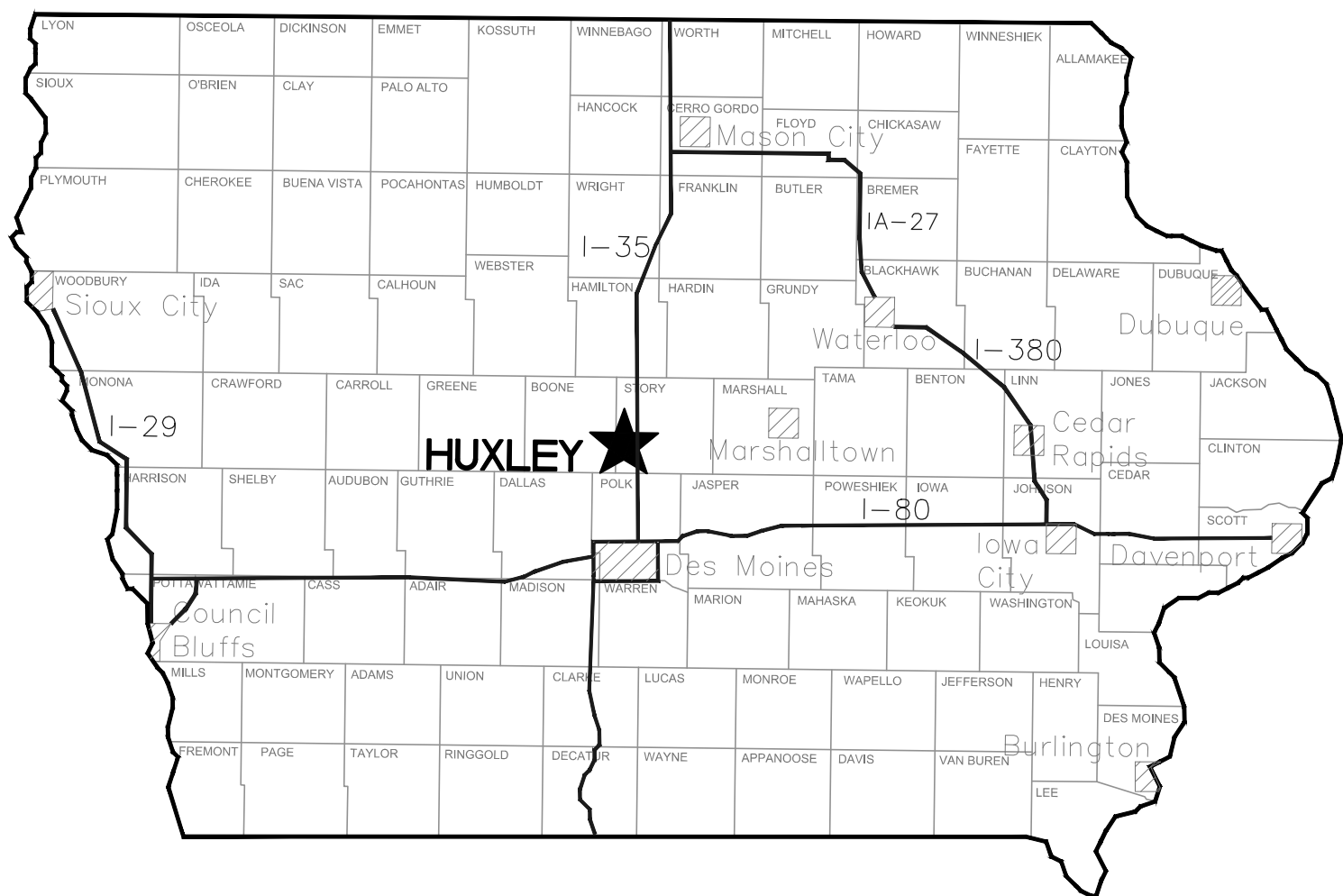
Utility Coordination

The Contractor is responsible to coordinate construction with the following utilities know to have services in the area:

Water and Sewer: Keith Vitthum, City of Huxley (515) 290-7512

Gas and Electric: Jacob Clark, Alliant Energy (515) 268-4412

Phone and Cable: Brant Strumpf, Huxley Communications (515) 203-6716



1-800-292-8989
www.iowaonecall.com



GENERAL NOTE: ALL UTILITIES ARE ONLY GENERALLY LOCATED. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION BEFORE CONSTRUCTION BEGINS.

ENGINEER:

FOX ENGINEERING

414 SOUTH 17TH STREET, SUITE 107

AMES, IOWA 50010

PHONE: (515) 233-0000

FAX: (515) 233-0103



WAIVER REQUESTS: THE FOLLOWING WAIVERS WERE REQUESTED BY THE DEVELOPER AND APPROVED BY COUNCIL:
• 5' SIDEWALK ALONG SNYDER DRIVE (WEST OF THE DRIVEWAY)

THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS 2020) AND THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS PLUS GENERAL SUPPLEMENTAL SPECIFICATIONS; AND APPLICABLE SUPPLEMENTAL SPECIFICATION, DEVELOPMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS, AND ALL APPROPRIATE ADDENDUMS AND REVISIONS SHALL APPLY TO THE CONSTRUCTION WORK ON THIS PROJECT UNLESS NOTED ON THE PLANS OR IN THE CONTRACT.

THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2. THE CONTRACTOR SHALL CARRY OUT THE TERMS AND CONDITIONING OF GENERAL PERMIT NO. 2 AND STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THESE CONTRACT DOCUMENTS. REFER TO SECTION 2602 OF THE DOT STANDARD SPECIFICATION FOR ADDITIONAL INFORMATION.

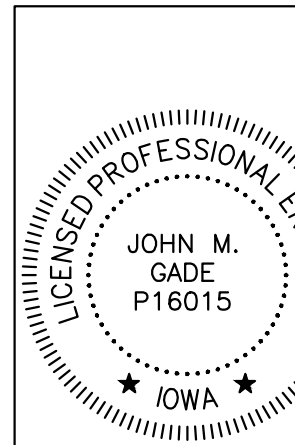
SITE NOTE: ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.

AMENDED SITE PLAN:

The approved site plan dated 4.9.2021 required 6-inch sanitary sewer services. The Contractor installed 8"x6" wyes with a 4-inch reducer to each building. The sanitary sewer service from the wye to each building will be a 4-inch pipe.

The Developer assumes all responsibility for the installation and any damages caused by the 4-inch sanitary sewer service.

Sheets G1.01, G2.01, C4.07, & C4.08



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.
JOHN M. GADE, P.E.
License number 216015
DATE 7/9/2021

My license renewal date is December 31, 2021.

Pages or sheets covered by this seal:

ALL

COVER SHEET
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.

5233-19A

SHEET

G1.01

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



DATE	REVISION	BY	DATE
7/2/2019	1ST SITE PLAN SUBMITTED	JMG	
8/8/2019	2ND SITE PLAN SUBMITTED	JMG	
9/10/2019	3RD SITE PLAN SUBMITTED	JMG	
3/2/2021	4TH SITE PLAN SUBMITTED	SPB	
4/9/2021	5TH SITE PLAN SUBMITTED	SPB	
7/9/2021	AMENDED SITE PLAN FOR SANITARY SERVICES	SPB	
			LAST UPDATE: 7-9-21

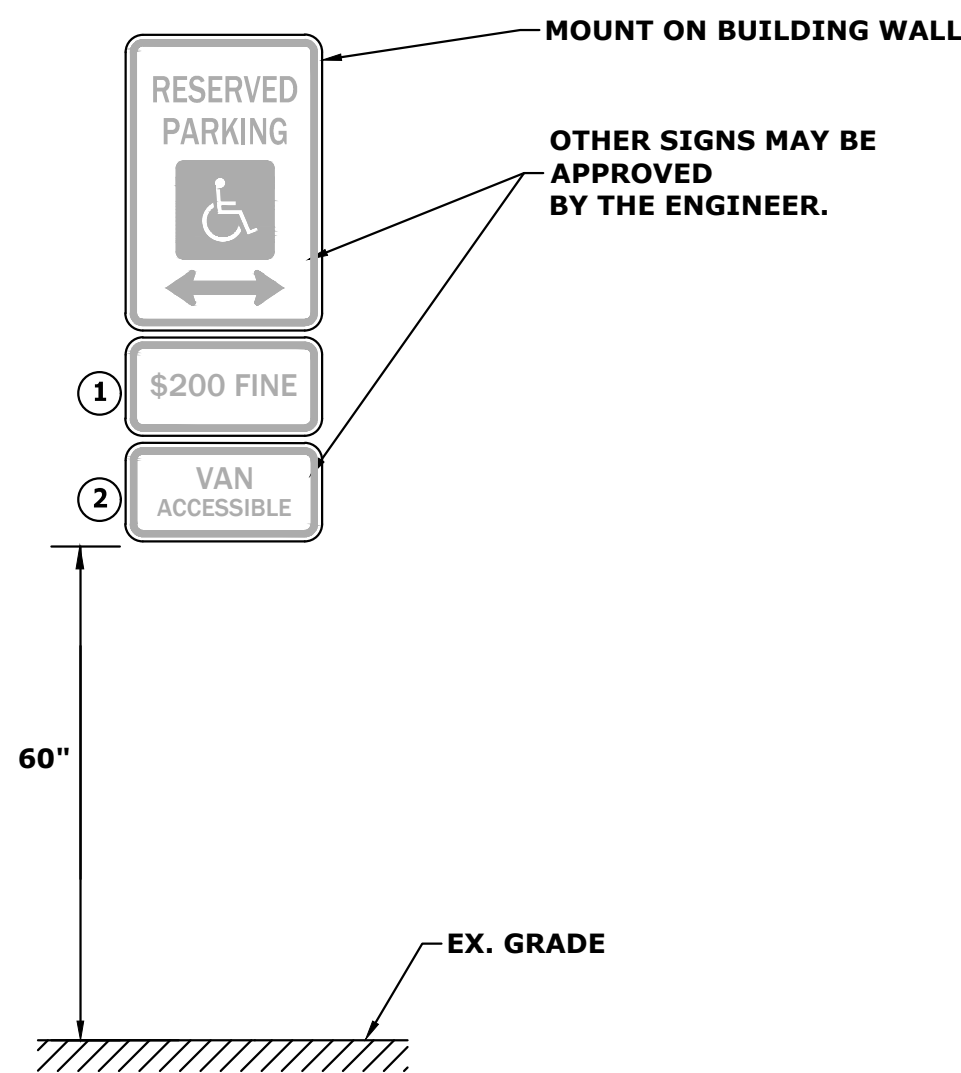
DZ FLEX SPACE

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LAYER MGR NAME	GL01
LAYOUT NAME	GL01

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K:\Iproj\5000\5233-19A DZ Flex Space\Drawings\General\5233-19A COVER.dwg	
PLOT STYLE TABLE FoxGrayScale.ctb	LAYER MNGR NAME G2.01

THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS 2021) AND THE IOWA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS PLUS GENERAL SUPPLEMENTAL SPECIFICATIONS; AND APPLICABLE SUPPLEMENTAL SPECIFICATION, DEVELOPMENTAL SPECIFICATIONS AND SPECIAL PROVISIONS, AND ALL APPROPRIATE ADDENDUMS AND REVISIONS SHALL APPLY TO THE CONSTRUCTION WORK ON THIS PROJECT UNLESS NOTED ON THE PLANS OR IN THE CONTRACT.

1. **\$200 FINE (ALL SIGN LOCATIONS)**
2. **VAN ACCESSIBLE PLACARD SHALL BE PLACED IN FRONT OF VAN ACCESSIBLE STALLS.**
3. **VERIFY THAT SIGNAGE PROVIDED COMPLIES WITH STATE AND LOCAL CODES.**
4. **FIELD VERIFY LOCATIONS OF SIGNS.**

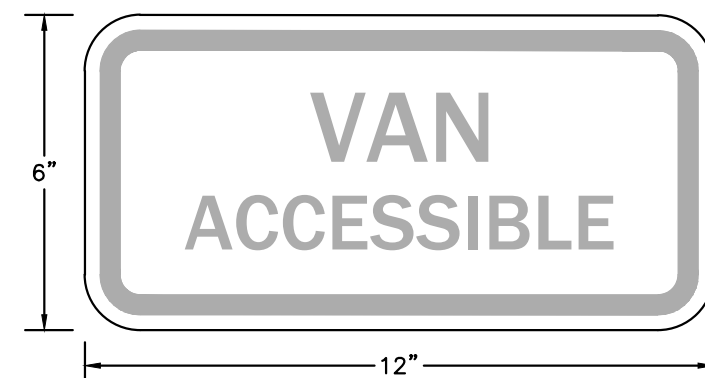


1
G3.01 **HANDICAP SIGN POST DETAIL**
NOT TO SCALE

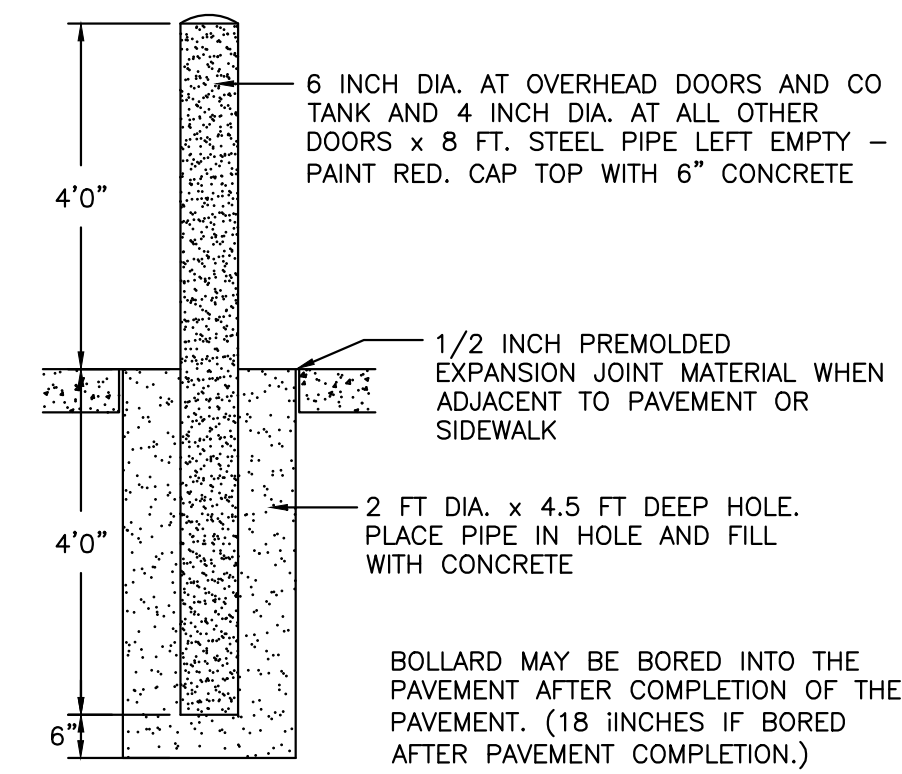
MUTCD SIGN R7-8 (HANDICAP PARKING)
NOT TO SCALE



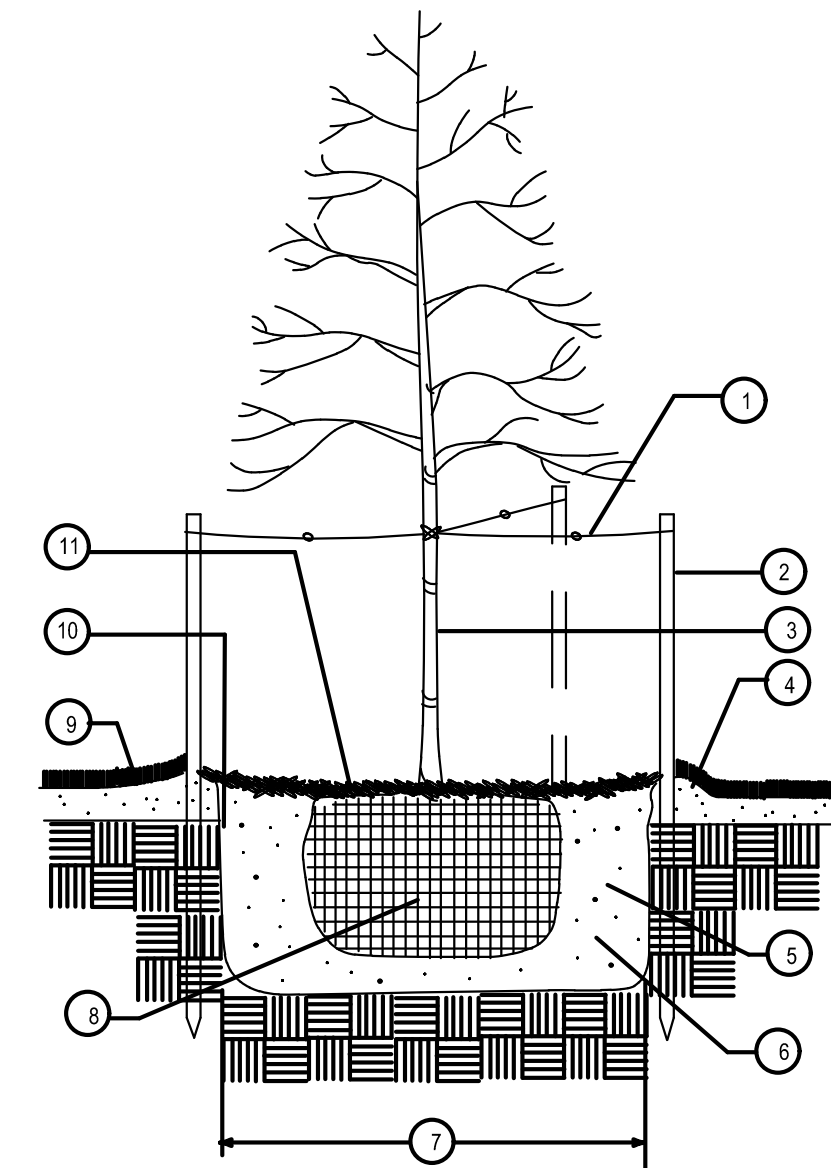
FINE ENFORCEMENT SIGN
NOT TO SCALE



MUTCD SIGN R7-8a (VAN ACCESSIBLE)
NOT TO SCALE



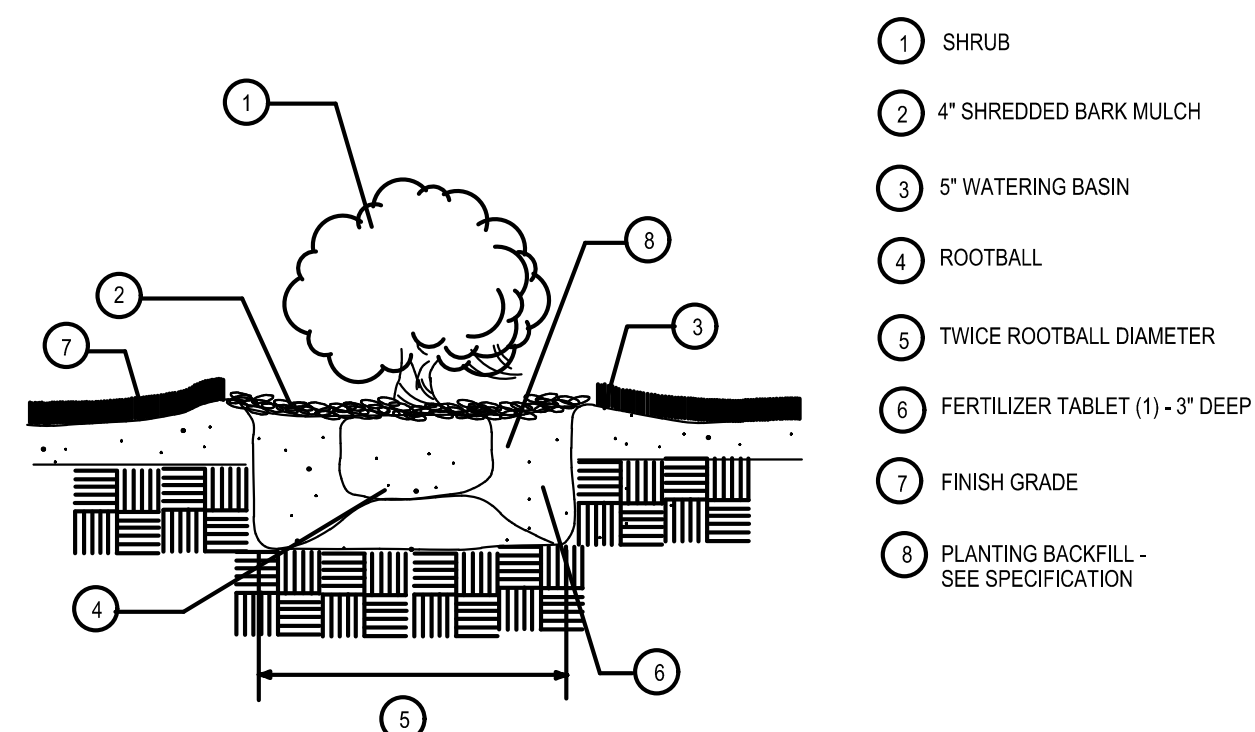
BOLLARD / SIGN POST DETAIL
NOT TO SCALE



- 1 TREE TIE - FASTEN TO TREE TRUNK W/ RUBBER HOSE ABOUT SCAFFOLD BRANCHES
- 2 WOOD STAKE OR WOOD DEADMEN (8-10" EXPOSED) STAKE ON THREE SIDES SPACED 120 DEGREES APART
- 3 TREE TRUNK W/ WRAP
- 4 5" WATERING BASIN
- 5 FERTILIZER TABLETS (3" DEEP)
- 6 PLANTING BACKFILL
- 7 THREE TIMES ROOTBALL DIAMETER (MINIMUM)
- 8 ROOTBALL
- 9 FINISH GRADE
- 10 PLANT PIT W/ ROUGHENED SIDES
- 11 3-4" SHREDDED BARK/HARDWOOD MULCH

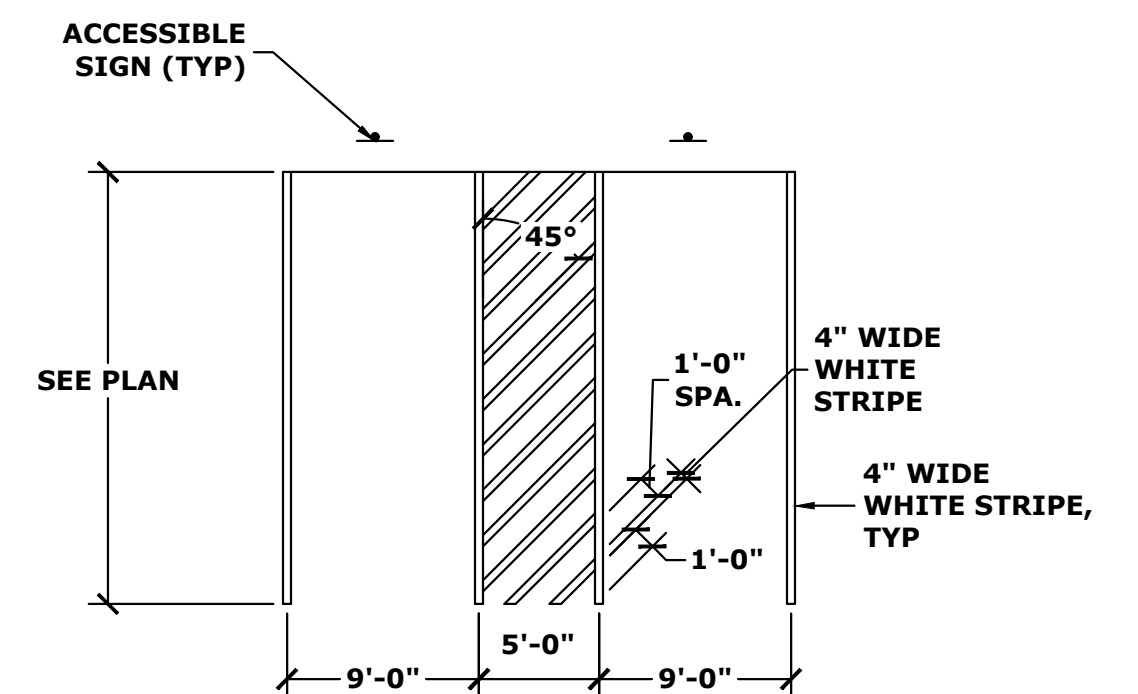
NOTES:

1. THE PLANTING HOLE SHOULD BE SHALLOW AND WIDE TO ALLOW FOR RAPID GROWTH AFTER PLANTING.
2. DO NOT THIN CROWN. PRUNE DAMAGED OR BROKEN BRANCHES AS NEEDED.
3. SET TREE 2-3 INCHES ABOVE FINISHED GRADE.
4. APPLY WATER TO HOLE WHILE BACKFILLING TO ASSURE AIR POCKETS DO NOT FORM.

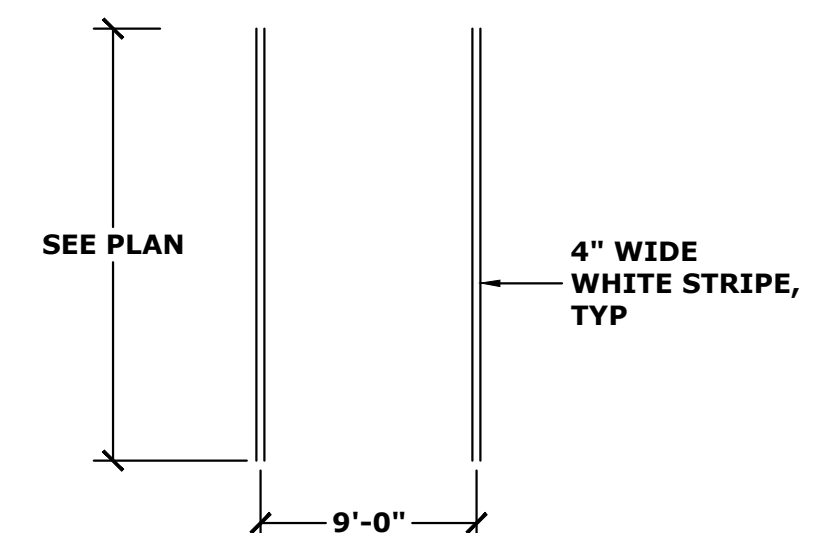


6
G3.01 **SHRUB PLANTING DETAIL**
NOT TO SCALE

7
G3.01 **TYPICAL TREE PLANTING DETAIL**
NOT TO SCALE

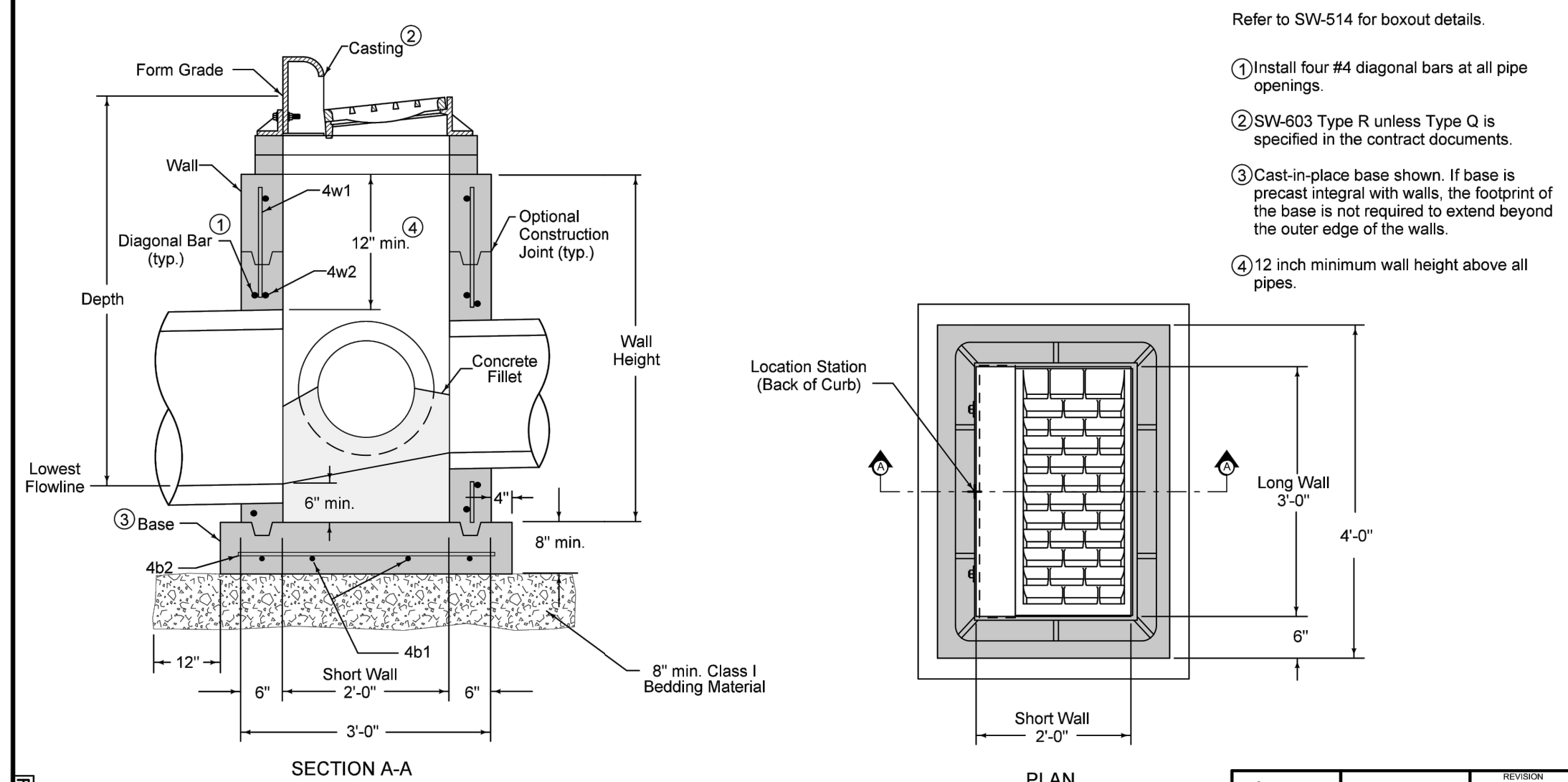


TYPICAL ACCESSIBLE PARKING SPACES







STRIPING PATTERN FOR SINGLE PARKING STALL

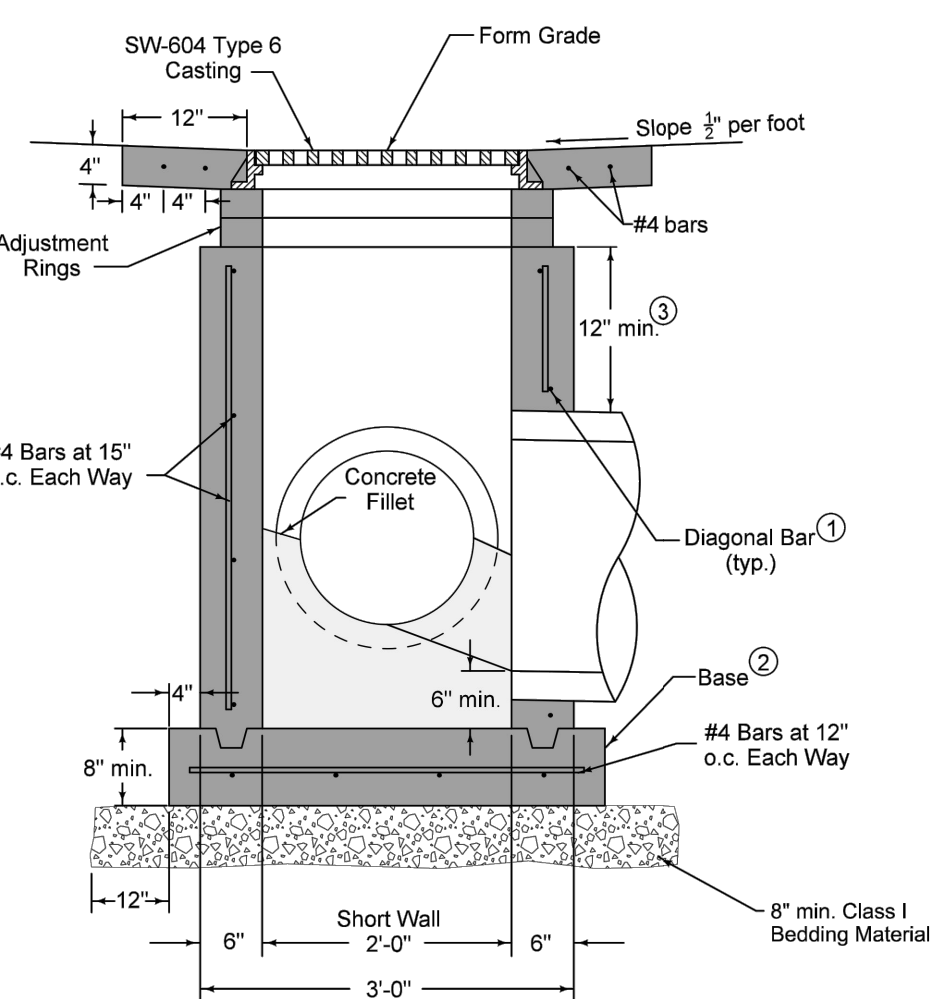
8 G3.01 TYPICAL PAVEMENT MARKING DETAILS



REINFORCING BAR LIST						
Mark	Size	Location	Shape	Length	Count	Spacing
4w1	4	Walls	————	Wall Height minus 4"	14	12"
4w2	4	Long Walls	————	3'-8"	Varies	12"
4w3	4	Short Walls	————	2'-8"	Varies	12"
4b1	4	Base	————	4'-2"	4	10"
4b2	4	Base	————	3'-2"	5	10"

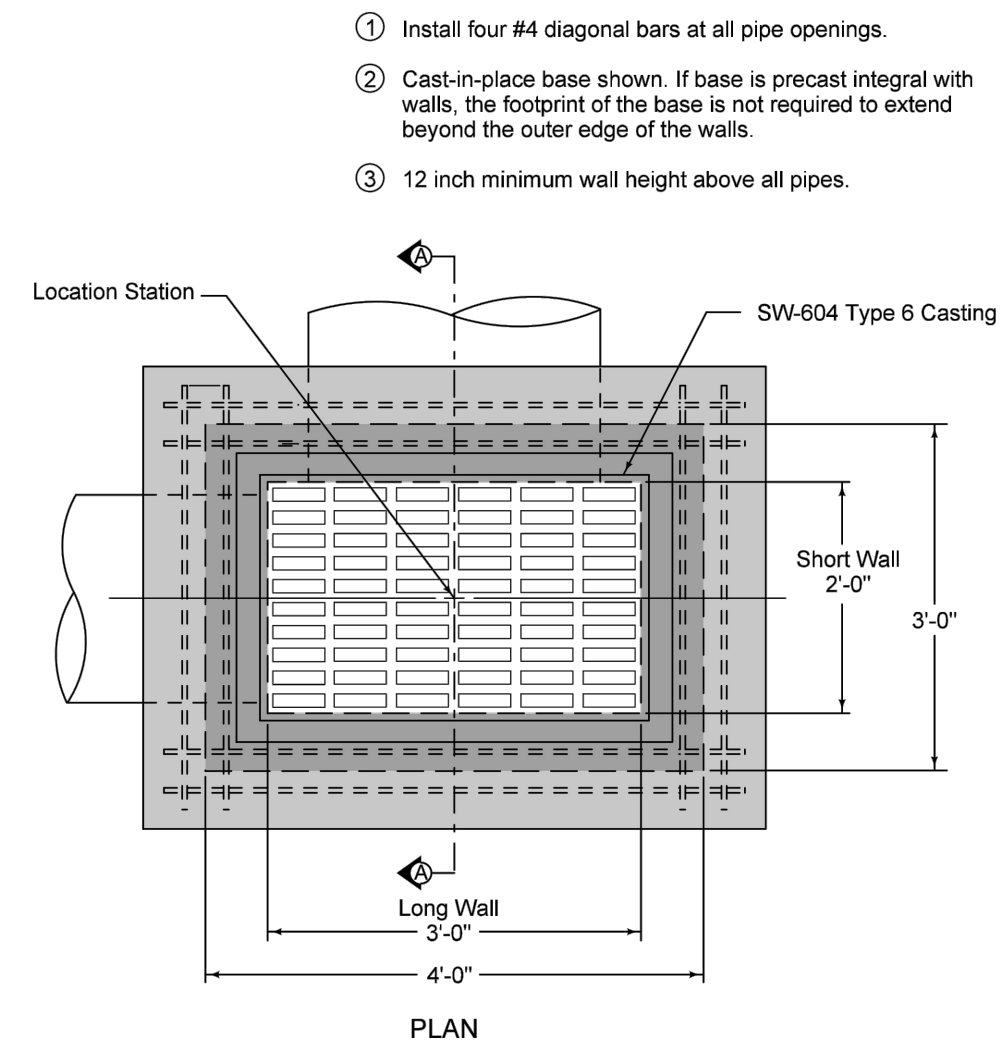
MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

 SUDAS	 IOWA DOT	REVISION	
		3	04-21-20
FIGURE 6010.501	STANDARD ROAD PLAN	SW-501	
REVISIONS: Added Class I Recking Material:		SHEET 1 of 1	
			
PLANS INCHARGE		DESIGN METHOD ENGINEER	
SINGLE GRATE INTAKE			





SECTION A-A

MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"



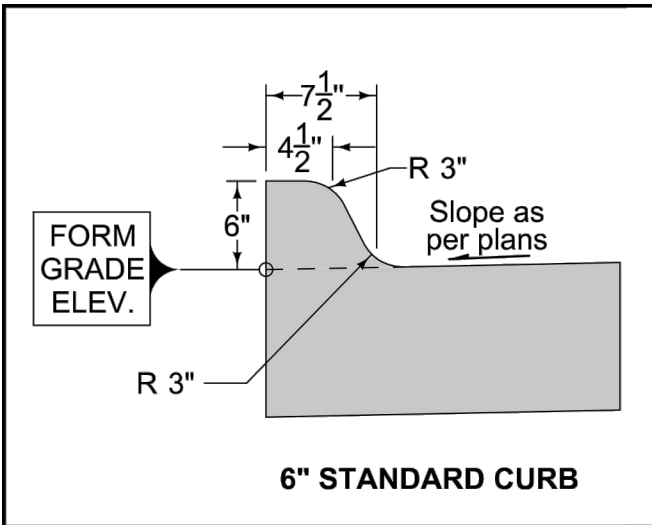
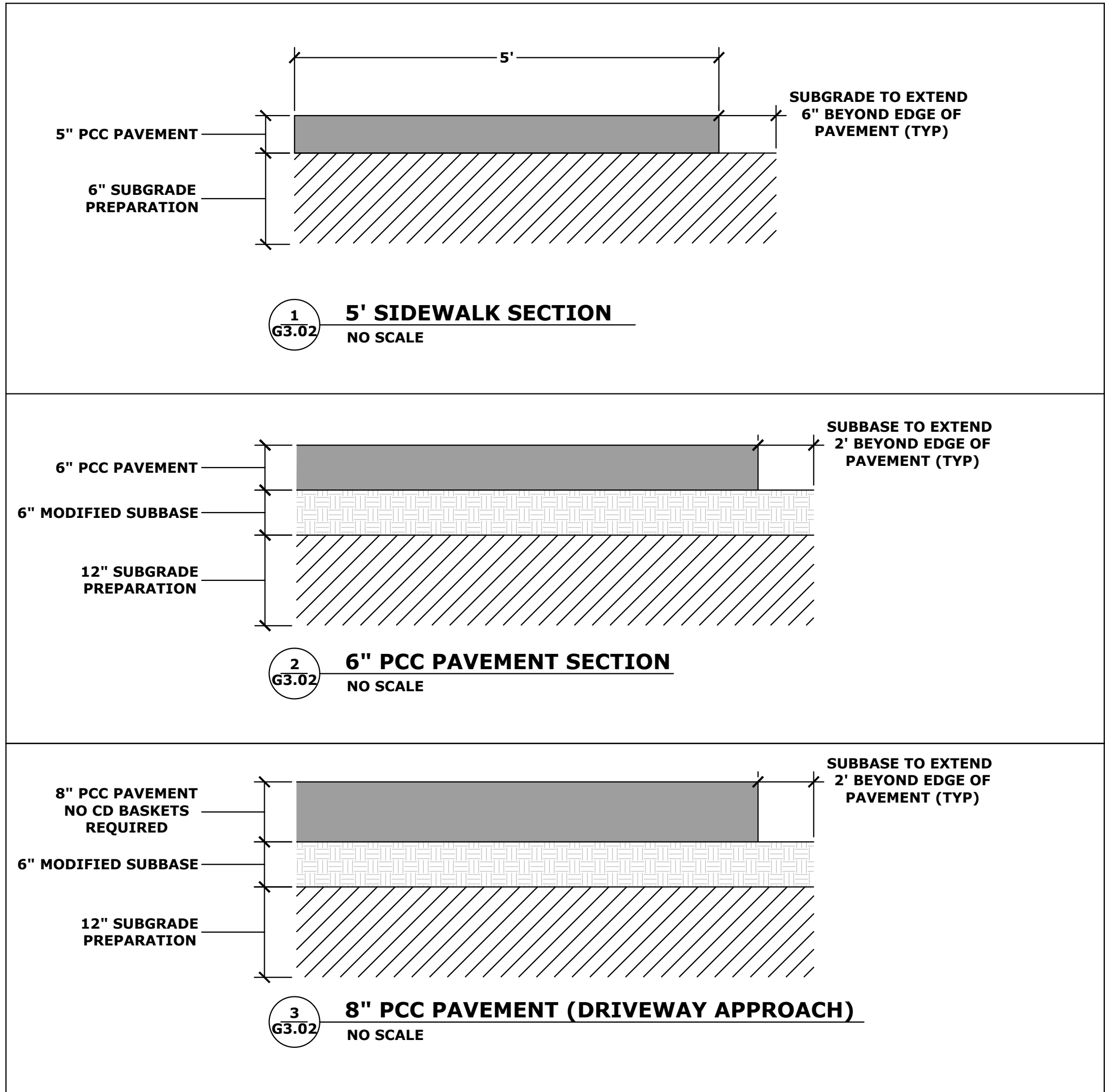
PL

 SUDAS	 IOWADOT	REVISION	
		2	04-21-2011
FIGURE 6010.511	STANDARD ROAD PLAN	SW-511	
		SHEET 1 of 1	

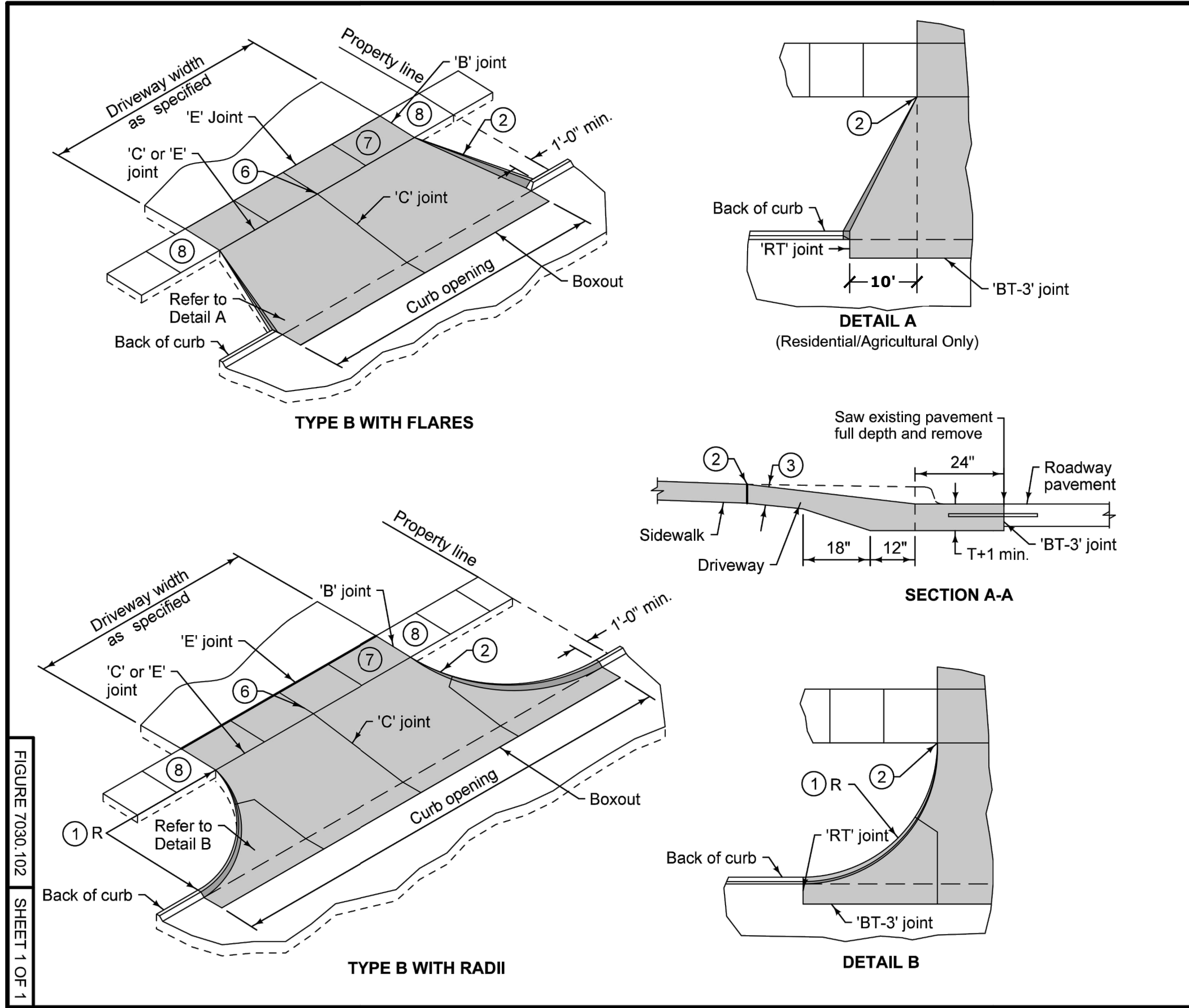
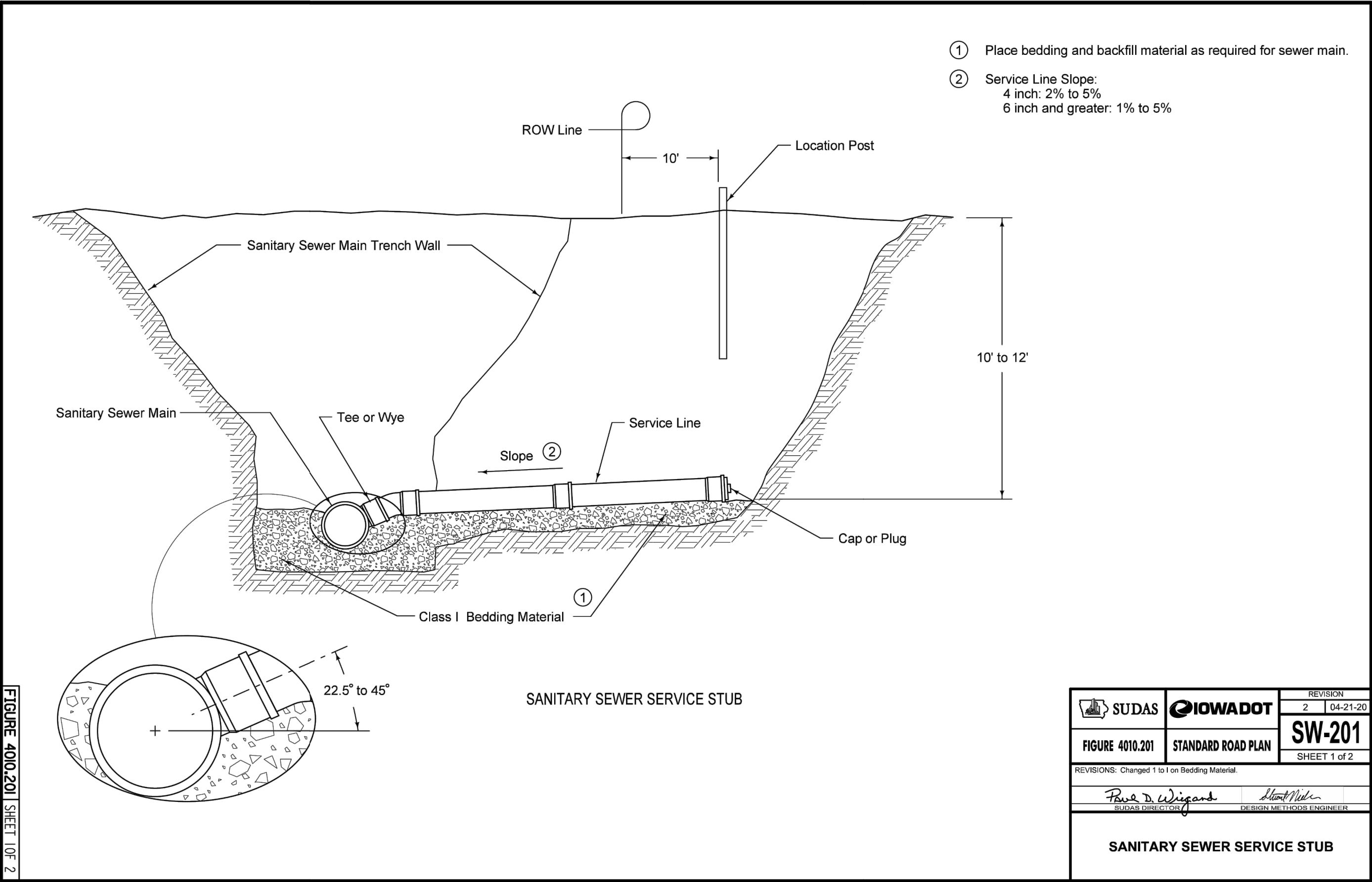
REVISIONS: Added Class 1 Bidding Material.

<i>Russ D. Weigand</i> SUDAS PROJECTS, INC.	<i>Scott Miller</i> DESIGN BUILD PARTNERS, INC.
--	--

RECTANGULAR AREA INTAKE



4 6" STANDARD PCC CURB
NO SCALE



- 1 Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- 2 Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb cross sidewalk.
- 3 Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4 Sidewalk thickness through driveway to match thickness of driveway.
- 5 If longitudinal joint is located 48 inches or less from the back of curb, extend boxout to joint line. Full depth saw cut is still required.
- 6 For alleys, invert the pavement crown 2% toward the center of the alley.
- 7 Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- 8 If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If the elevation change requires a curb ramp, comply with Figure 7030.205, verify need for detectable warning panel with Engineer.

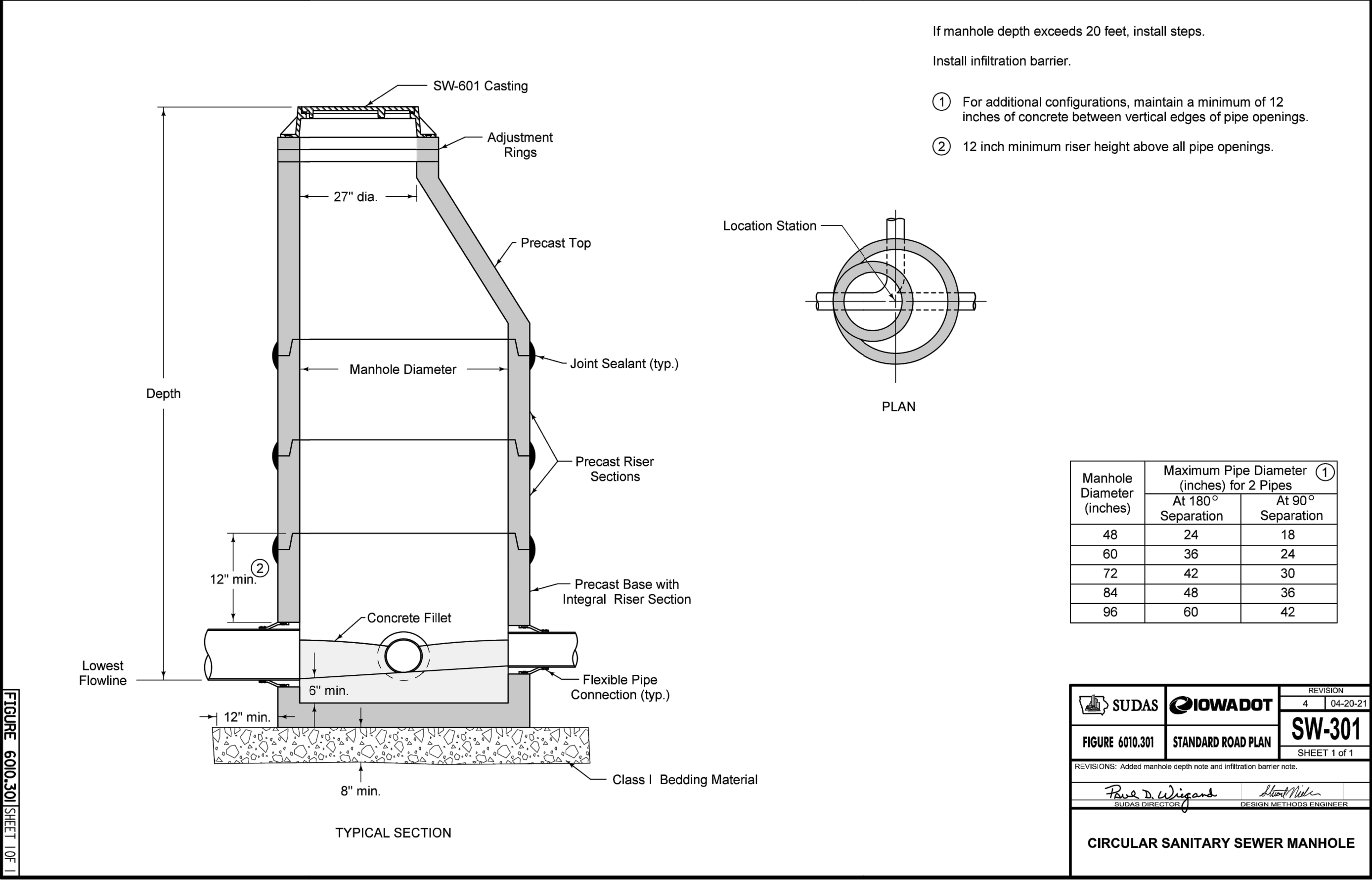
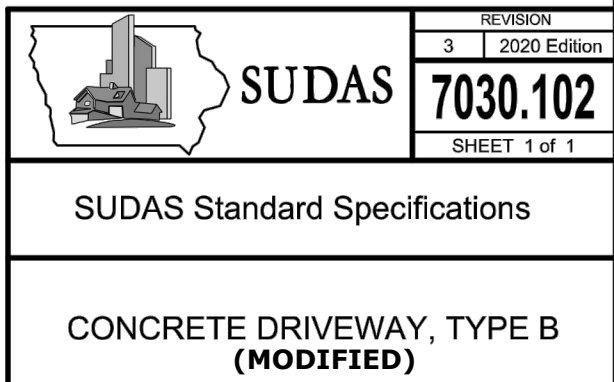
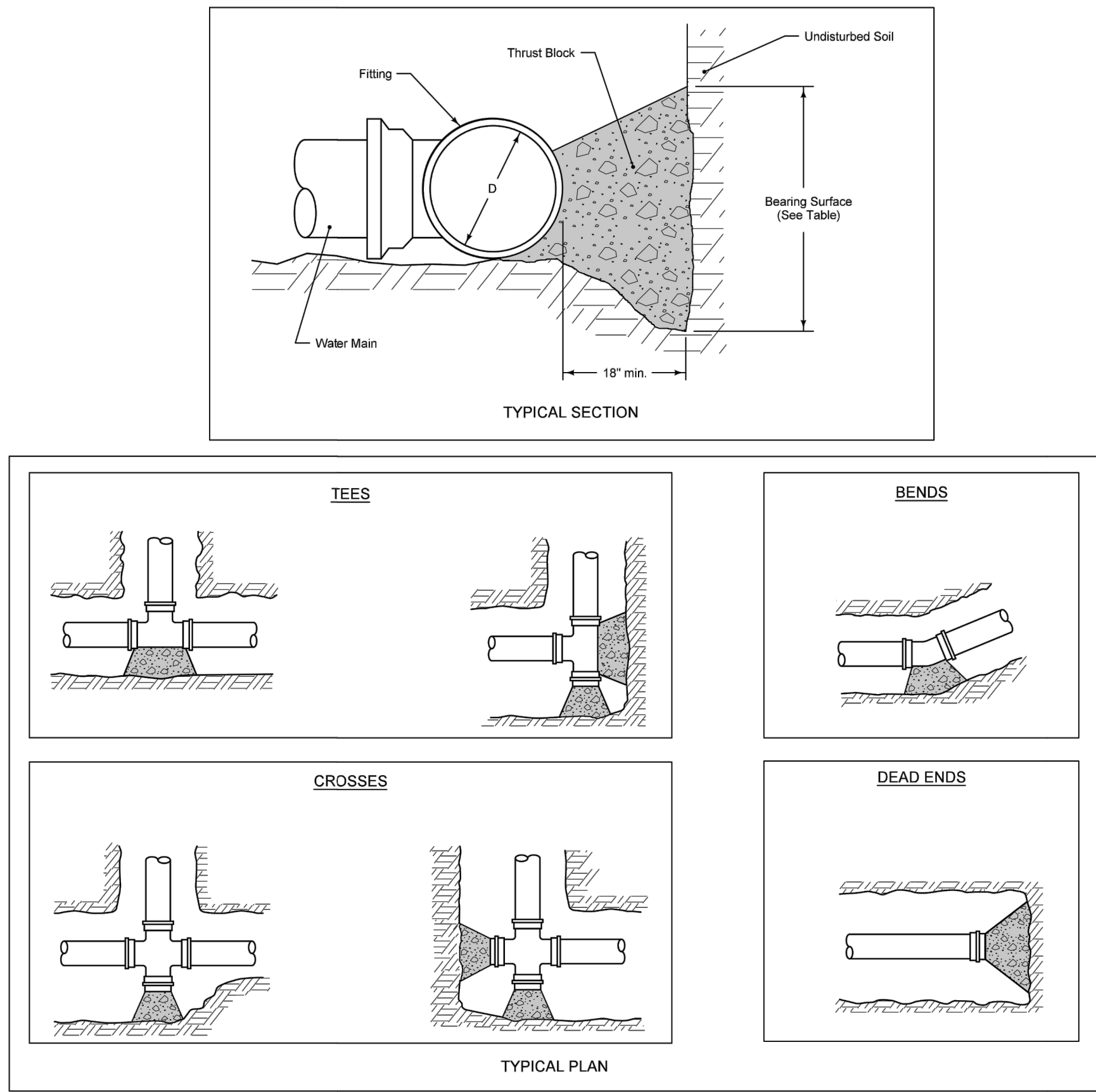


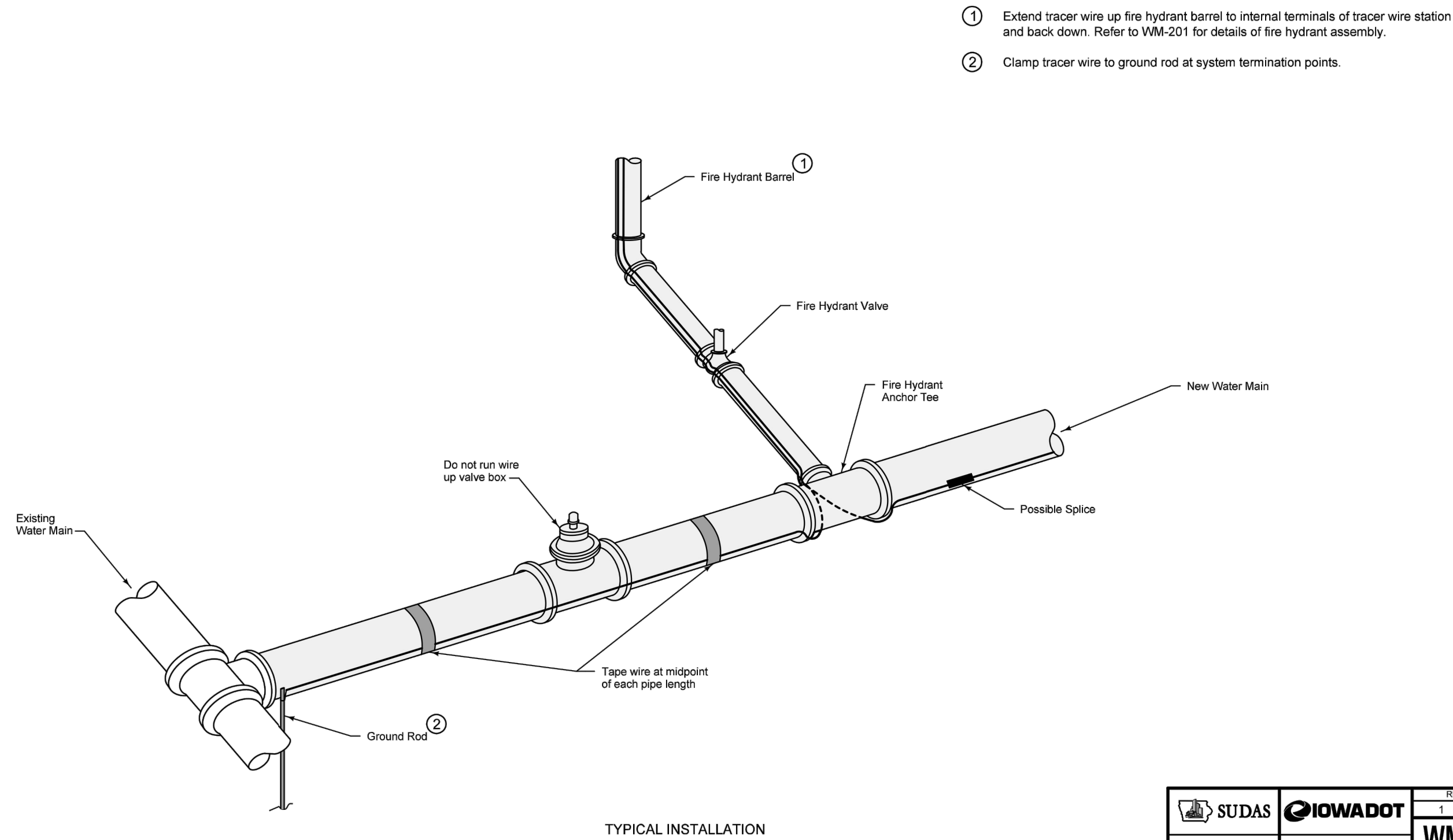
FIGURE 5010.101 SHEET 1 OF 2



		REVISION 1 10-18-16
FIGURE 5010.101	STANDARD ROAD PLAN	WM-101
REVISIONS: Replaced Iowa DOT and SUDAS logos with new logos.		
Brian Smith DESIGN METHODS ENGINEER		
THRUST BLOCKS		

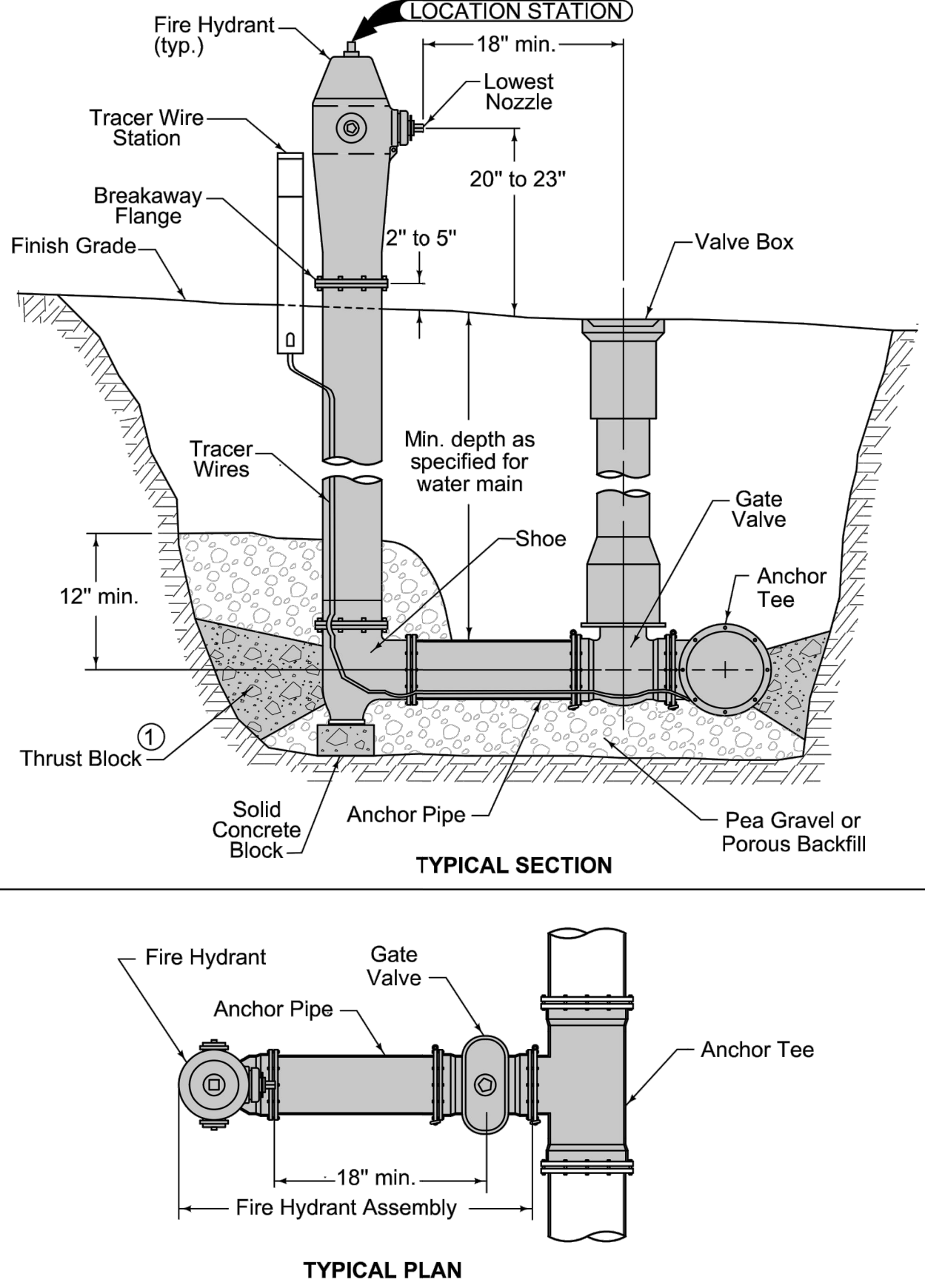
FIGURE 5010.101 SHEET 2 OF 2

FIGURE 5010.102 SHEET 1 OF 1

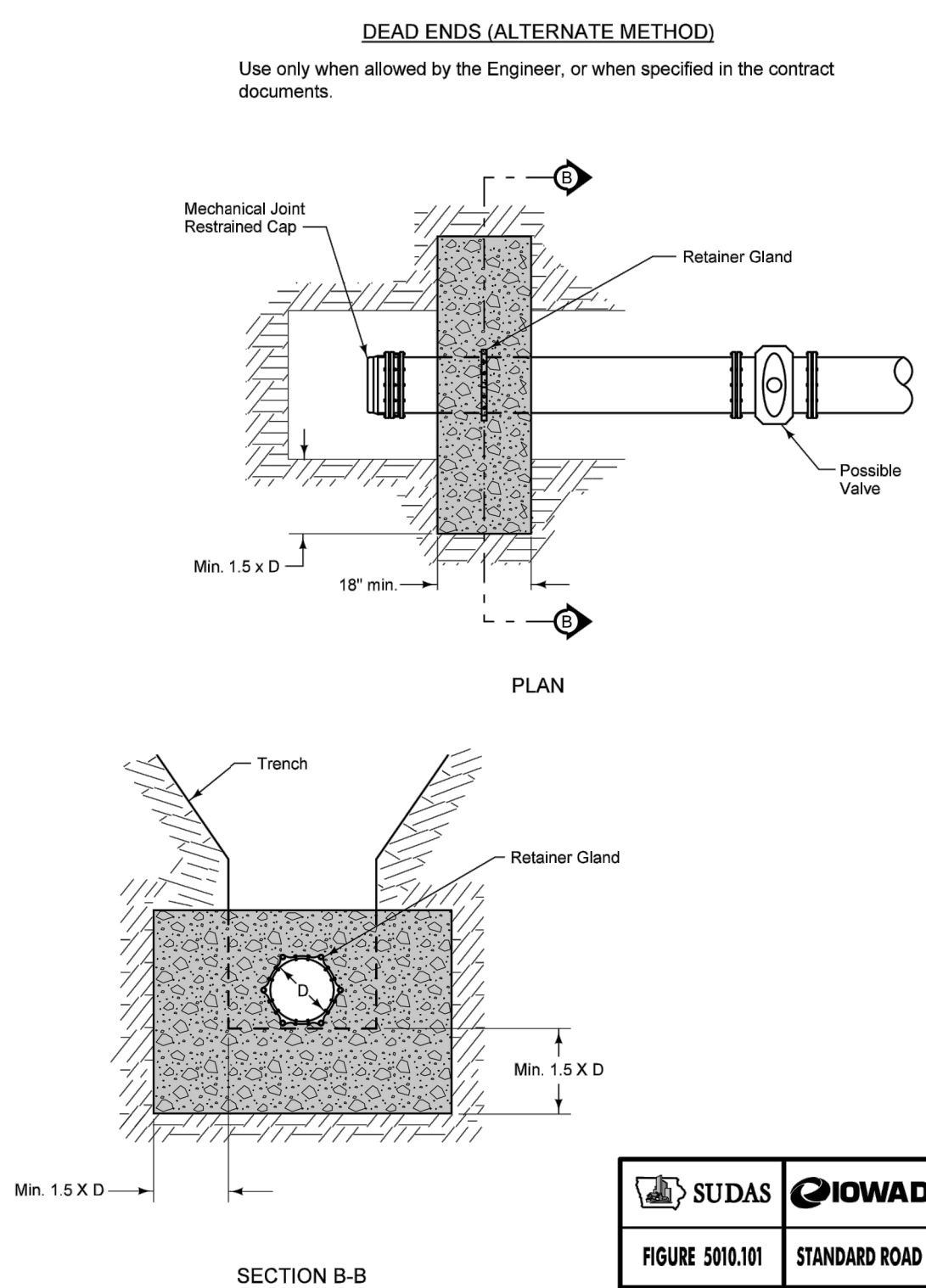
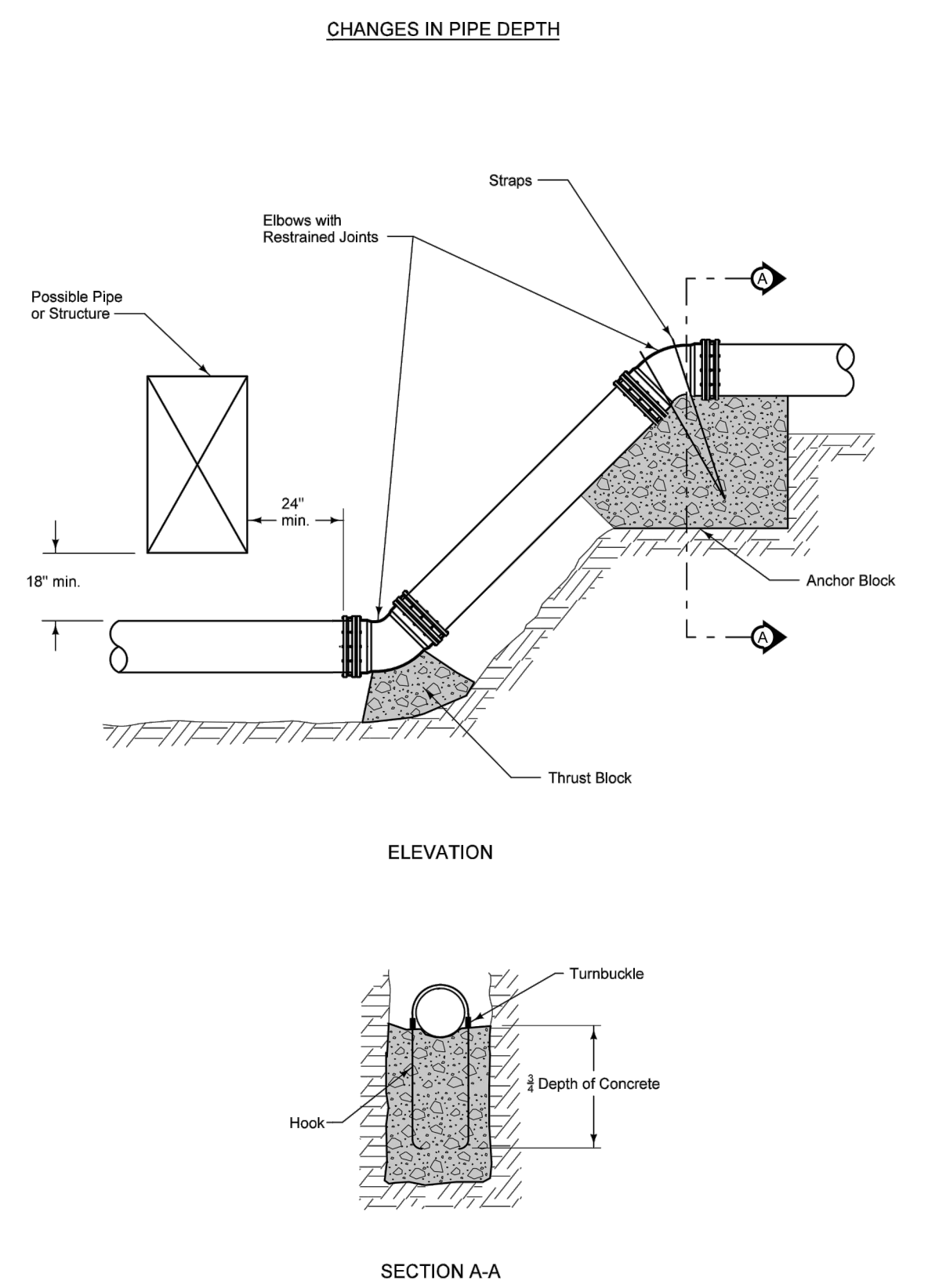


		REVISION 1 10-18-16
FIGURE 5010.102	STANDARD ROAD PLAN	WM-102
REVISIONS: Replaced Iowa DOT and SUDAS logos with new logos.		
Brian Smith DESIGN METHODS ENGINEER		
TRACER SYSTEM		

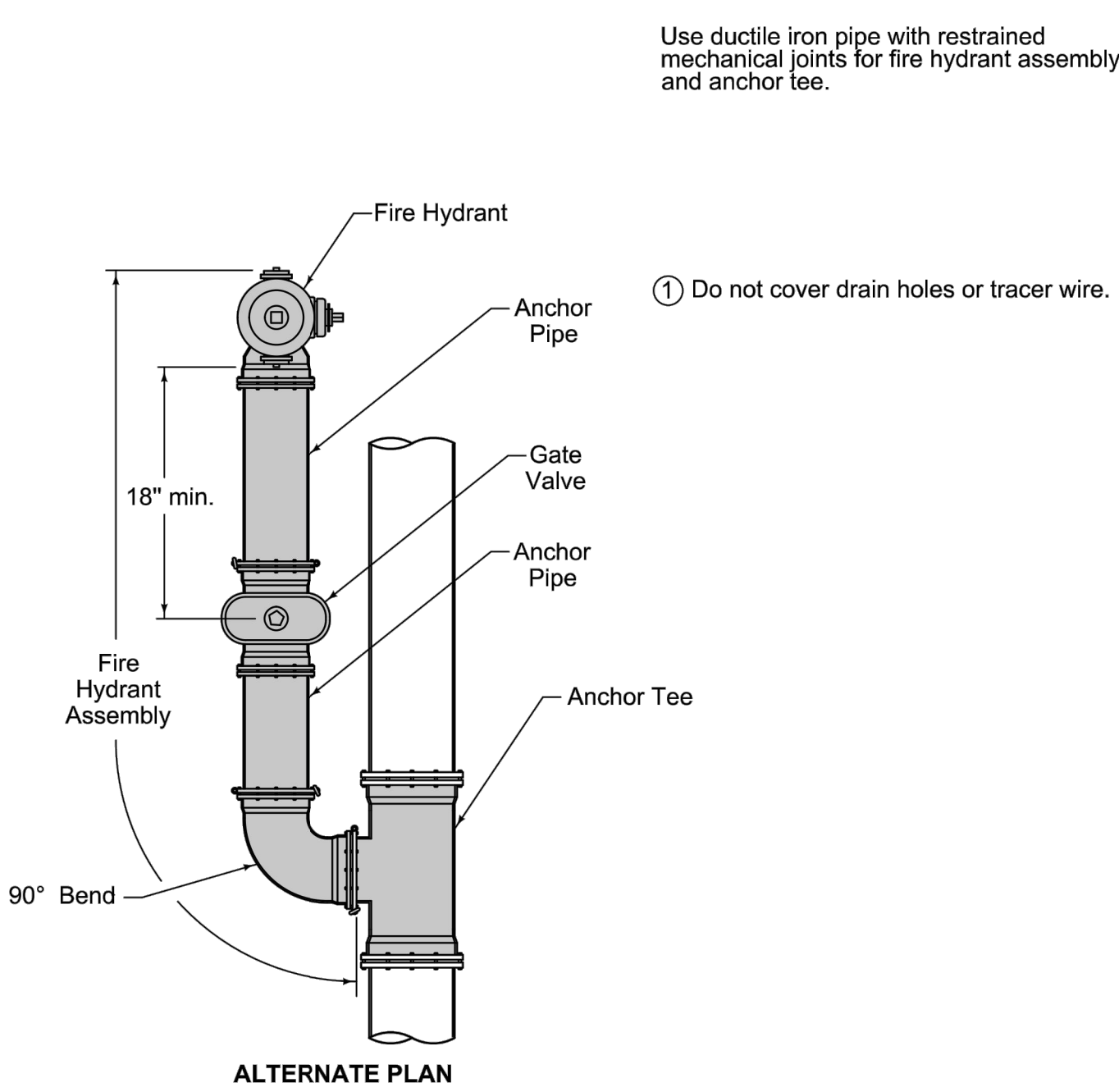
FIGURE 5020.201 SHEET 1 OF 1



		REVISION 2 04-18-17
FIGURE 5020.201	STANDARD ROAD PLAN	WM-201
REVISIONS: Updated SUDAS and DOT logos.		
Brian Smith DESIGN METHODS ENGINEER		
FIRE HYDRANT ASSEMBLY		



		REVISION 1 10-18-16
FIGURE 5010.101	STANDARD ROAD PLAN	WM-101
REVISIONS: Replaced Iowa DOT and SUDAS logos with new logos.		
Brian Smith DESIGN METHODS ENGINEER		
THRUST BLOCKS		



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PLOT STYLE TABLE FoxGrayScale.ctb		LAYER MNGR NAME G4.01	

POLLUTION PREVENTION PLAN

Storm Water Pollution Prevention Plan
Phase 1 - Site Evaluation and Design Development

Existing soil information: See the Story County Soil Survey, SW Quarter of NE Quadrant of Section 26 of T82N, R24W.
Existing runoff quality: Existing data on runoff water quality is not available.
Location of surface water on site: There are no bodies of surface water on site.
Name of receiving stream: Drains to city stormwater on site (unknown tributary), which drains to Ballard Creek
Construction activity description: General soil disturbing activities associated with building and parking lot construction, storm sewer including: excavation, stockpiling, grading, trenching, paving, and seeding.

This Pollution Prevention Plan (PPP) is for the DZ FLEX SPACE; Huxley, Iowa.
This PPP covers approximately 6.41 acres with an estimated 6.41 acres being disturbed.

The PPP is located in an area of 2 types of soil associations (L55 Nicollett loam and L138B Clarion loam Bemis moraine).

Refer to the Plans for locations of typical slopes, ditch grades, and major structural and non-structural controls. A copy of this plan will be on file at the project engineer's office. Runoff from this work will flow into adjacent drainage channels (unnamed tributaries) eventually to the Iowa River.

Potential Sources of Pollution:
Site sources of pollution generated as a result of this work relate to silts and sediment which may be transported as a result of a storm event. However, this PPP provides conveyance for other (non-project related) operations. These other operations have storm water runoff, the regulation of which is beyond the control of this PPP. Potentially this runoff can contain various pollutants related to site-specific land uses. Examples are:

Rural Agricultural Activities:
Runoff from agricultural land use can potentially contain chemicals including herbicides, pesticides, fungicides and fertilizers.

Commercial and Industrial Activities:
Runoff from industrial and commercial land use may contain constituents associated with the specific operation. Such operations are subject to potential leaks and spills which could be commingled with run-off from the facility. Pollutants associated with commercial and industrial activities are not readily available since they are typically proprietary.

Phase 2 - Control Selection/Plan Design

(A) Select Erosion and Sediment Controls

The contractor shall submit specifications for temporary and permanent measures to be used for controlling erosion and sediment. Clearing and grading should not be started until a firm construction schedule is known and can be effectively coordinated with the grading and clearing activity.

The following Stabilization measures will be utilized:
Temporary seeding - Exposed areas subject to erosion should be covered as quickly as possible. Under Iowa's General Permit No. 2., disturbed areas of the construction site that will not be re-disturbed for 21 days or more must initiate stabilization measures by the 14th day after the last disturbance, except as precluded by snow cover. In the event of snow cover, stabilization measures must be initiated as soon as practicable thereafter.
Permanent seeding and planting - Permanent seeding shall be done in accordance with the Seeding Plan. The seeding schedule shall follow SUDAS specifications. Where necessary, temporary seeding shall be utilized for erosion control until permanent seeding can be established.
Mulching - After seeding, mulch shall be installed in accordance with SUDAS specifications. Temporary vegetation may be used as mulch when permanent seeding is completed.
Preservation of Natural Vegetation - Natural Vegetation shall be preserved where possible within the construction limits. Natural vegetation shall not be disturbed outside of the construction limits.
Vegetative Strips - Vegetative strips may be utilized to slow runoff velocities and deposit sediments from disturbed areas.
Soil Retaining Measures - Soil to be reused shall be stockpiled onsite and silt fence shall be utilized to maintain soils onsite.
Minimization of land exposure - Exposure of disturbed land shall be minimized in terms of area and time.
Roadways - Roadways will be surfaced or otherwise stabilized as soon as feasible.
Eight-inch (8") topsoil - Minimum of eight-inches of topsoil is required to be re-spread over disturbed areas that will be re-vegetated.

The following structural practices will be utilized:
Silt Fence - Silt fence shall be placed adjacent to disturbed areas on the downstream side to filter runoff and retain sediment. Additional silt fence shall be provided at the discretion of the engineer.
Rip Rap - Will be installed as noted on the plans to prevent erosion and scouring.
Bonded Fiber Matrix - Will be installed on disturbed slopes as noted on the plans to provide erosion control and facilitate re-vegetation.
Turf Reinforcement Mat - Turf reinforcement mat will be installed on disturbed channel slopes as noted on the plans to provide stability and scour protection and facilitate re-vegetation.

(B) Select other controls

Disposal of construction site waste materials - The contractor will be responsible for making sure that all construction wastes are properly disposed of at facilities permitted to accept these types of wastes.
Treatment or disposal of sanitary wastes generated on-site - The contractor will be responsible for providing sanitary facilities for workers in accordance with local and state requirements. The contractor will be responsible for disposing of sanitary waste in accordance with local and state requirements. Portable facilities shall be secured from tipping over.
Prevent off-site tracking of sediments and generation of dust - The contractor shall prevent the tracking of sediments offsite. The contractor will be responsible for immediate cleanup of any tracked mud or debris.
PCC and HMA Waste - The contractor will be responsible for preventing chemical contamination of soil and water. The contractor shall provide and maintain a containment facility for waste paving material (i.e. PCC washout station).
Materials Management - All materials stored onsite will be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure. See specifications for further recommendations. Waste materials which can easily become airborne will be contained to prevent materials leaving the site. Dumpsters shall have a cover to minimize rain water from entering the container.

The contractor will also be responsible for preventing dust generation from construction activities. The Contractor shall take reasonable measures to prevent unnecessary dust. Earth surfaces subject to dusting shall be kept moist with water or by application of a chemical dust suppressant. Dust prone materials in piles or in transit shall be covered when practical to prevent blowing. Buildings and operating facilities which are affected adversely by dust shall be adequately protected from dust. Existing and new equipment which may be adversely affected by dust shall be adequately protected.

(C) Inspection and maintenance plan

The Contractor will be responsible for installation and all associated costs of erosion and stormwater management controls during the contract period. Details of control measures are shown on the plans.

The Owner will be responsible for filling out an inspection report for the site. Inspections will be conducted every seven calendar days. The inspection reports can be used to record scheduled maintenance. Any changes that may be required to correct deficiencies in the Storm Water Pollution Prevention Plan noted during an inspection should be made as soon as practical after an inspection but in no case later than 7 days after the inspection.

The Contractor is required to maintain all temporary erosion control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. Cleaning of sediment control devices shall begin when the features have lost 30% of their capacity. Perform cleaning and maintenance to PCC wash-out station when station is 75% full.

(D) Control Description

Description of controls can be found in section (A) of the SWPPP. The contractor will be responsible for submitting specifications of the selected controls. The location of determined controls can be found on the plans. Additional controls may be required at the discretion of the engineer.

(E) Schedule of Major Activities

Prior to initiating construction the Contractor shall submit a schedule of major activities including:
1. Land clearing and grading in relation to the corresponding schedule for all excavation work. If at all possible, the clearing should immediately precede the construction activity.
2. Installation and anticipated completion date of each control measure.

(F) Non-Storm Water Discharges

This includes: subsurface drains (i.e. longitudinal and standard subdrains), dewatering activities, slope drains, bridge end drains, discharges from fire fighting activities, fire hydrant flushing, potable water sources (including water line flushing), irrigation drainage and uncontaminated springs or ground water. The velocity of the discharge from these features may be controlled by the use of patio blocks, Class A stone or erosion stone.

Phase 3 - Certification and Notification

Contractor Certification

All contractors and subcontractors, including short-term contractors and subcontractors coming on-site, must sign the contractor certification statement before conducting any professional service at the site identified in the plan. The certification must be signed by an authorized representative (i.e., principal executive officer, vice president, general partner, proprietor, elected official). Upon signing the certification, the contractor or sub-contractor becomes a co-permittee with the owner and other co-permittee contractors. In signing the plan, the authorized representative certifies that the information is true and assumes liability for the plan. Note that Section 309 of the Clean Water Act provides for significant penalties where information is false or the permittee violates, either knowingly or negligently, permit requirements.

The General Contractor will be responsible for collecting and maintaining signatures. The contractor shall provide copies of signed certifications to the owner and engineer upon request and at the termination of the contract.

(A) Notice of Intent (NoI)

The owner or an agent of the owner will fulfill the public notice requirement and submit the Notice of Intent for coverage under General Permit No. 2. The project required the obtaining of a NPDES General Permit for storm water discharge associated with construction activities. The Owner and the Contractor have a copy of this permit. The Contractor and all subcontractors shall be responsible for compliance and fulfilling all requirements of NPDES General Permit #2 including the Storm Water Pollution Prevention Plan.

Phase 4 - Construction/Implementation

The contractor shall follow the schedule as submitted under Phase 2 (E). The contractor shall keep the engineer informed of any deviation of the schedule or plan.

(A) Inspection and Maintenance Reports

A copy of the inspection log shall be maintained at the site.

(B) Records of Construction Activities

In addition to the installation and maintenance of erosion control implementation, the Contractor should keep records of the construction activity on the site. In particular, the contractor should keep a record of the following information:
The dates when major grading activities occur in a particular area.
The dates when construction activities cease in an area, temporarily or permanently.
The dates when an area is stabilized, temporarily or permanently.
These records can be used to make sure that areas, where there is no construction activity, will be stabilized within the required time frame. Records shall be retained for a period of at least three years from the date that the site is finally stabilized.

(C) Plan Updates

The pollution prevention plan shall be updated expeditiously:
• When it does not accurately reflect the site features and operations.
• When the contractor, owner, or engineer observes that it is not effective in minimizing pollutant discharge from the site.
• To include contractors identified after the submittal of the Notice of Intent. These contractors shall certify the plan and be identified as co-permittees and
• To identify any change in ownership or transference of the permit and permit responsibilities.

If, at any time during the effective period of the permit, the IDNR finds that the plan does not meet one or more of the minimum standards established in the general permit, the IDNR will notify the permittee of required changes necessary to bring the plan up to standard. Permittees shall have 3 days after notification to make the necessary changes and submit to the Department written certification that the requested changes have been made.

(E) Report of Hazardous Conditions

Because construction activities may include handling of certain hazardous substances over the course of the project, spills of these substances may create a hazardous condition and are required to be reported. Iowa law requires that as soon as possible, but not more than six hours after the onset of a hazardous condition, the IDNR and local sheriff's office or the office of the sheriff of the affected county be notified. The Owner and engineer should also be informed of the hazardous condition in a timely manner. The contractor is to notify the agencies.
IDNR (515) 725 - 8694 Story Co. Sheriff's office (515) 382-7458

The contractor shall submit a report to the Engineer and other agencies, as required by law, within 14 calendar days of a hazardous condition. The report shall describe the release and the circumstances leading to the release. Steps to prevent the re-occurrence of such releases are to be identified in the plan and implemented.

The SWPPP must be modified within 5 calendar days of knowledge of the release to provide a description of the release and the circumstances leading to the release and to identify and provide for the implementation of steps to prevent the re-occurrence of such releases and to respond to such releases.

(F) Plan Location and Access

Plan location - A copy of the Pollution Prevention Plan must be kept at the construction site from the time construction begins until the site has reached final stabilization.

Retention of records - Retention of records requires that copies of the Storm Water Pollution Prevention Plan and all other reports required by the permit, as well as all of the data used to complete the Notice of Intent, be retained for 3 years after the completion of final site stabilization. Contractor to transfer all records created for the SWPPP to the owner or owner's representative at conclusion of the work.

Access - Although plans and associated records are not necessarily required to be submitted to the IDNR, these documents must be made available upon request (within 3 hours) to the Iowa Department of Natural Resources. If storm water runoff is discharged to a municipal separate storm sewer system, the plans must be made available, upon request, to the municipal operator of the system.

Phase 5 - Final Stabilization and NoD

(A) Final Stabilization

Final stabilization is defined in the general permit as meaning that all soil disturbing activities at the site have been completed, and that a uniform 70% density of perennial vegetative cover for unpaved areas not covered by permanent structures has been established or equivalent permanent stabilization measures (such as the use of rip rap, gabions, or geotextiles) have been employed, or the land has been returned to agricultural production.

The contractor shall notify the permit holder and engineer of final stabilization in accordance with the contract documents. The owner and engineer will review the site before finalizing the contract and taking control of the site. The contractor will be required to provide a copy of all inspection and maintenance logs, schedule of construction activities, and Contractor Certifications to the Owner at this time.


(B) Notice of Discontinuation (NoD)

The permit holder (owner) will be required to submit the Notice of Discontinuation once control of the site has been obtained from the contractor.

REVISION		BY	DATE
1ST SITE PLAN SUBMITTED	DESIGNED	JMG	04/21
2ND SITE PLAN SUBMITTED	DRAWN	SPB	04/21
3RD SITE PLAN SUBMITTED	CHECKED		
4TH SITE PLAN SUBMITTED			
5TH SITE PLAN SUBMITTED			
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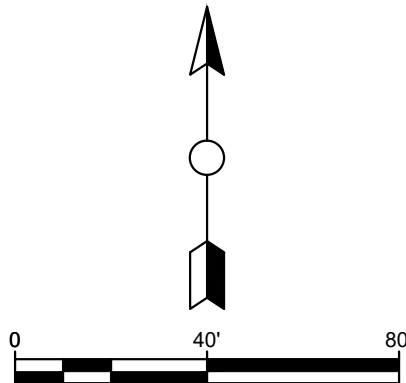
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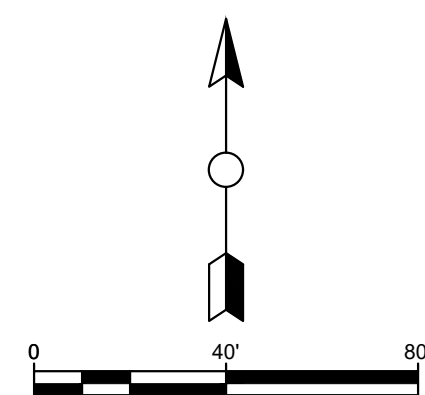
STORMWATER POLLUTION PREVENTION PLAN DZ FLEX SPACE 315 SNYDER DR HUXLEY, IA
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PROJECT NO. 5233-19A
SHEET G4.01



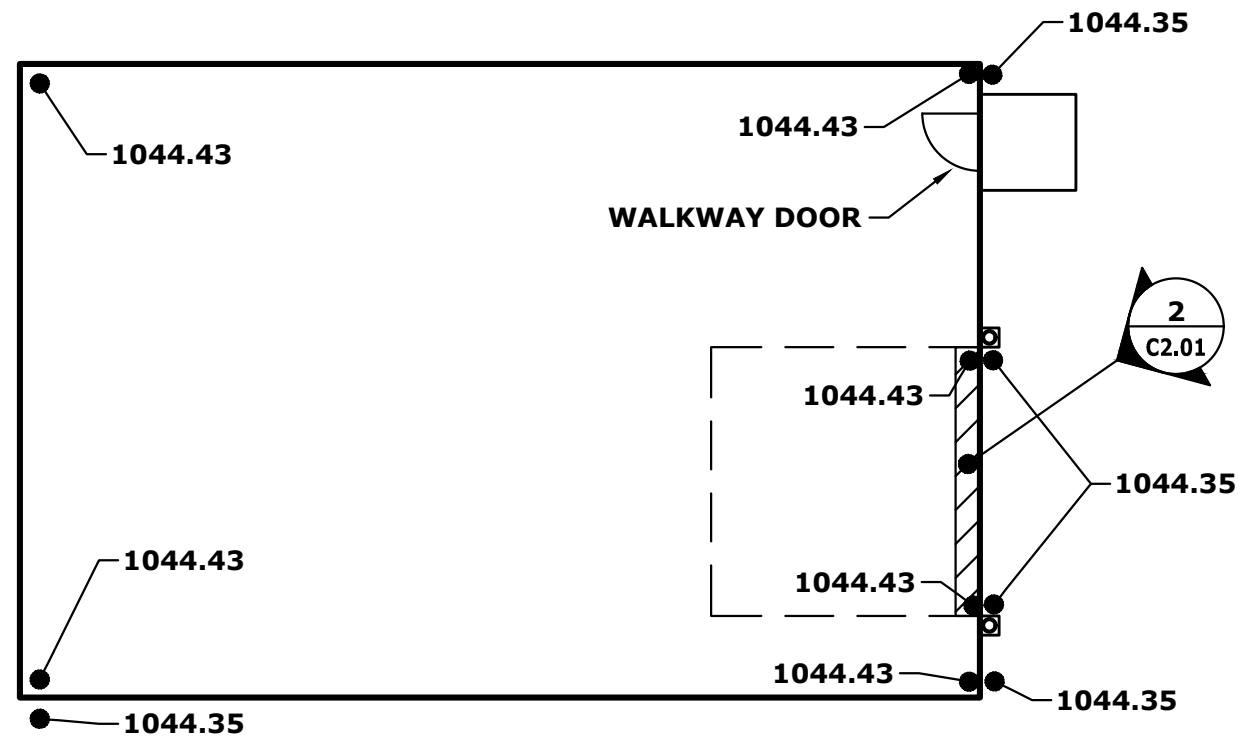
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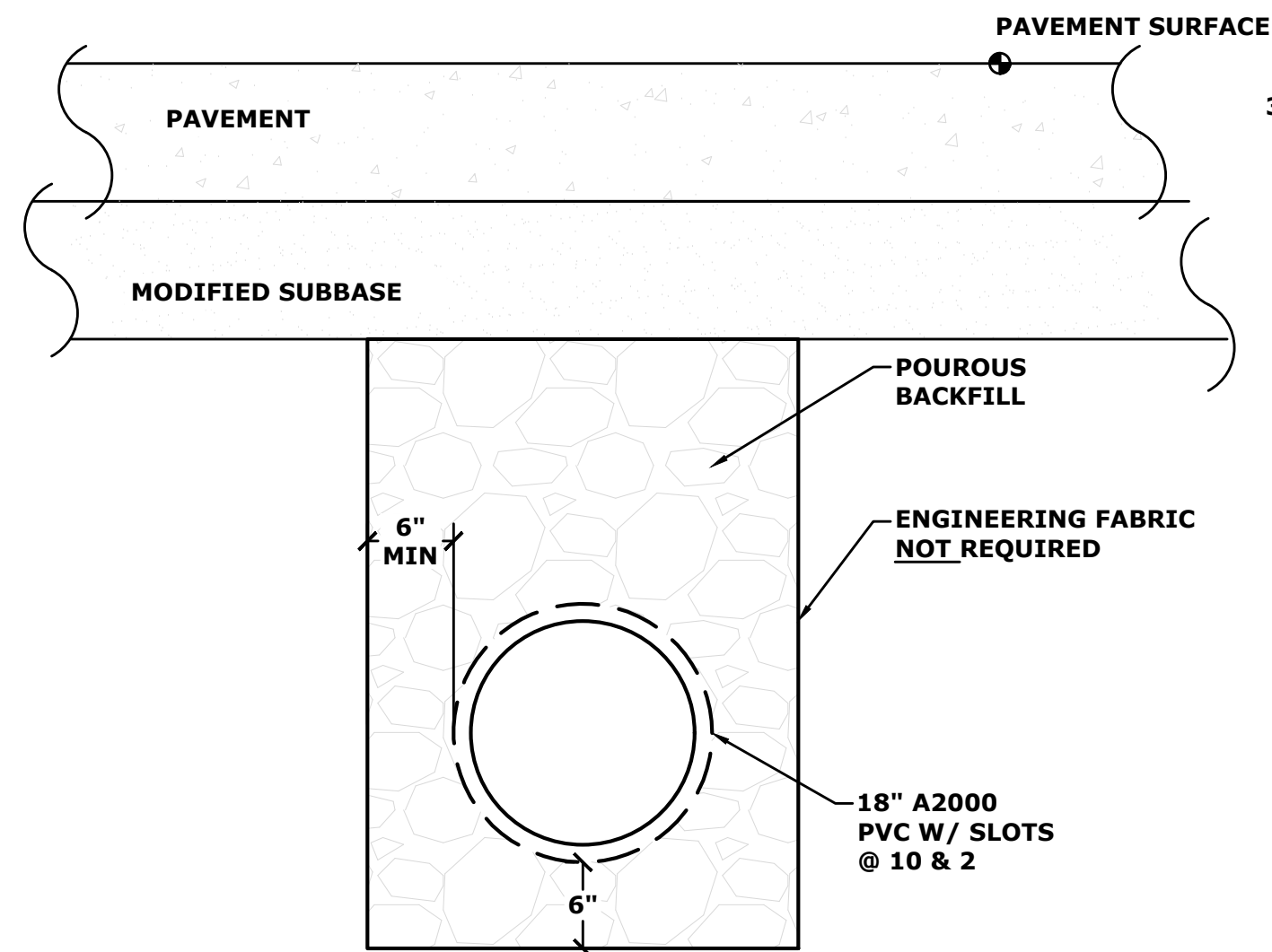


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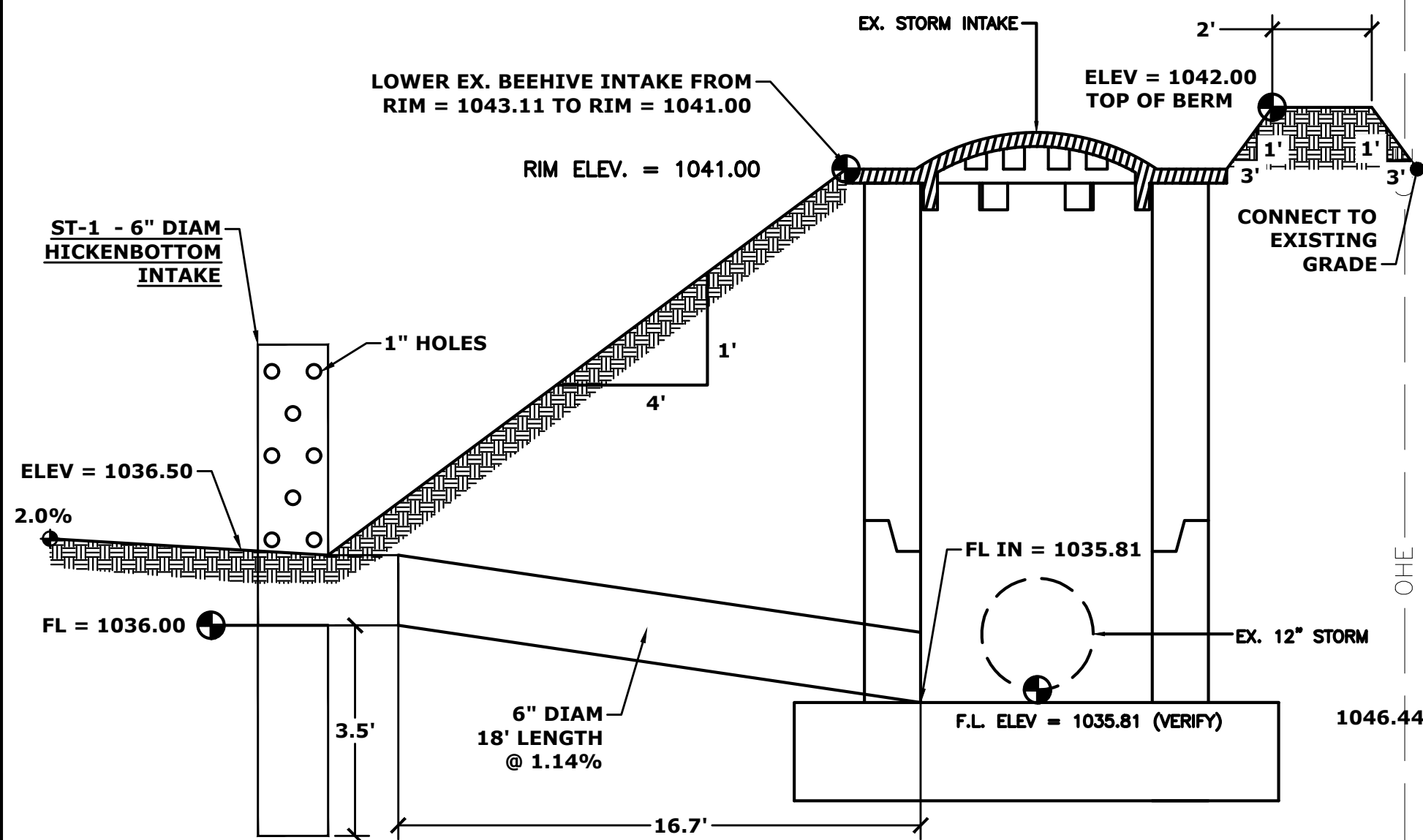
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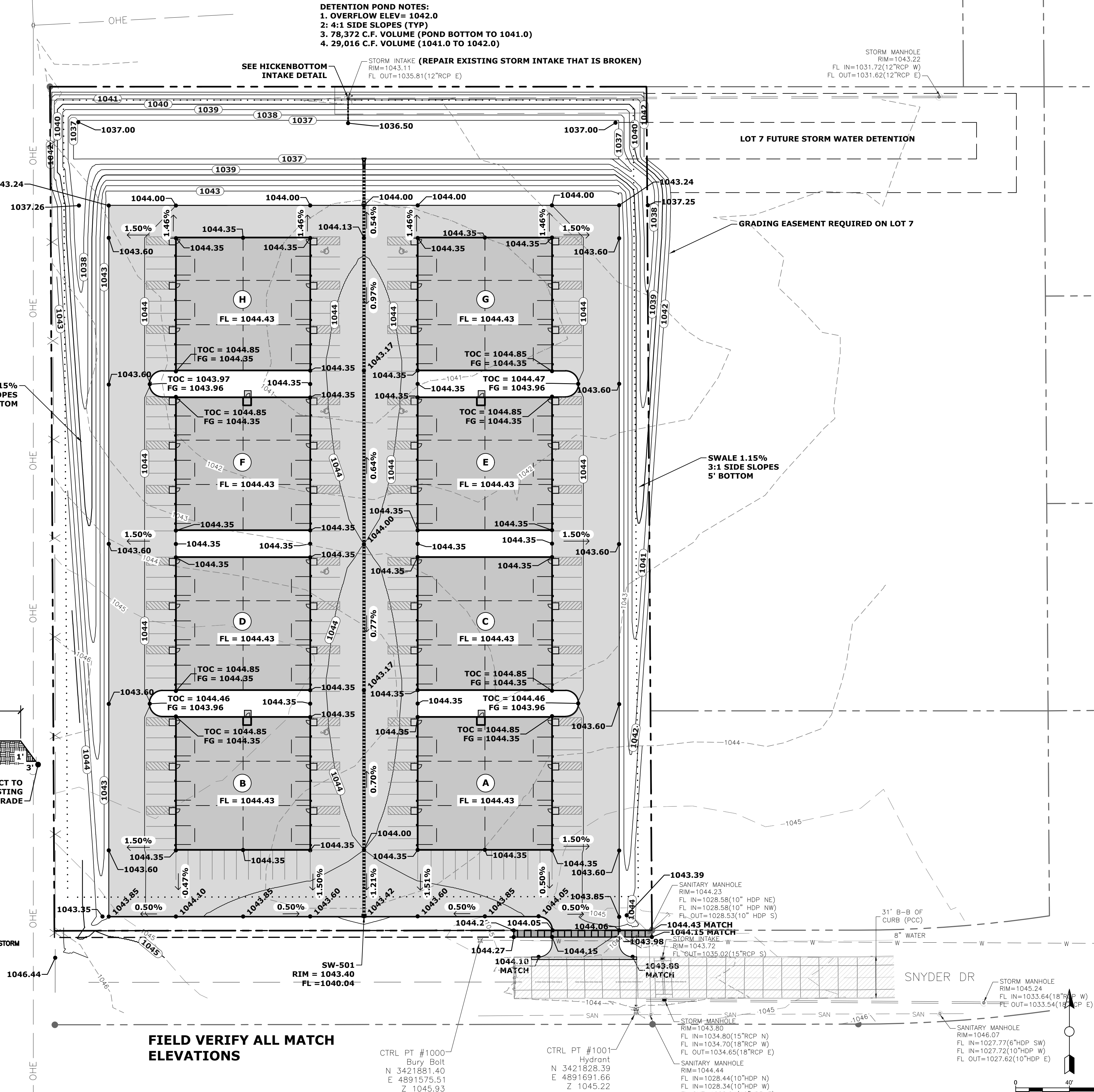
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2
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SUBDRAIN DETAIL
NOT TO SCALE



3
C3.01
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NOT TO SCALE



DETENTION POND NOTES:
1. OVERFLOW ELEV= 1042.0
2. 4:1 SIDE SLOPES (TYP)
3. 78,372 C.F. VOLUME (POND BOTTOM TO 1041.0)
4. 29,016 C.F. VOLUME (1041.0 TO 1042.0)

SEE HICKENBOTTOM INTAKE DETAIL
STORM INTAKE (REPAIR EXISTING STORM INTAKE THAT IS BROKEN)
RIM=1043.11
FL OUT=1035.81(12"RCP E)

STORM MANHOLE
RIM=1043.22
FL IN=1031.72(12"RCP W)
FL OUT=1031.62(12"RCP E)

LOT 7 FUTURE STORM WATER DETENTION

GRADING EASEMENT REQUIRED ON LOT 7

SWALE 1.15%
3:1 SIDE SLOPES
5' BOTTOM

FIELD VERIFY ALL MATCH ELEVATIONS

CTRL PT #1000
Bury Bolt
N 3421881.40
E 4891575.51
Z 1045.93

CTRL PT #1001
Hydrant
N 3421828.39
E 4891691.66
Z 1045.22

SANITARY MANHOLE
RIM=1044.23
FL IN=1028.58(10" HDP NE)
FL IN=1028.58(10" HDP NW)
FL OUT=1028.53(10" HDP S)

STORM INTAKE
RIM=1043.72
FL OUT=1035.02(15"RCP S)

STORM MANHOLE
RIM=1043.80
FL IN=1034.80(15"RCP N)
FL IN=1034.70(18"RCP W)
FL OUT=1034.65(18"RCP E)

SANITARY MANHOLE
RIM=1044.44
FL IN=1028.44(10" HDP N)
FL IN=1028.34(10" HDP W)
FL OUT=1028.24(10" HDP E)

STORM MANHOLE
RIM=1045.24
FL IN=1033.64(18"RCP W)
FL OUT=1033.54(18"RCP E)

SANITARY MANHOLE
RIM=1046.07
FL IN=1027.77(6" HDP SW)
FL IN=1027.72(10" HDP W)
FL OUT=1027.62(10" HDP E)

DATE	BY	DESIGNED	DRAWN	CHECKED	LAST UPDATE
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8/5/2019	JMG				
3/2/2021	SPB				
4/9/2021	SPB				

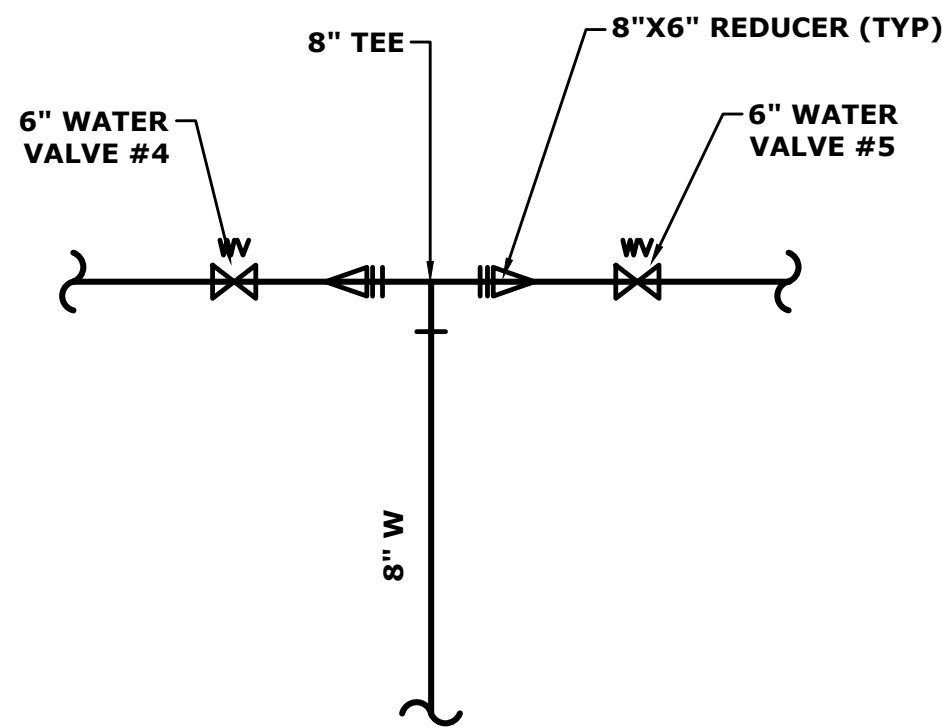
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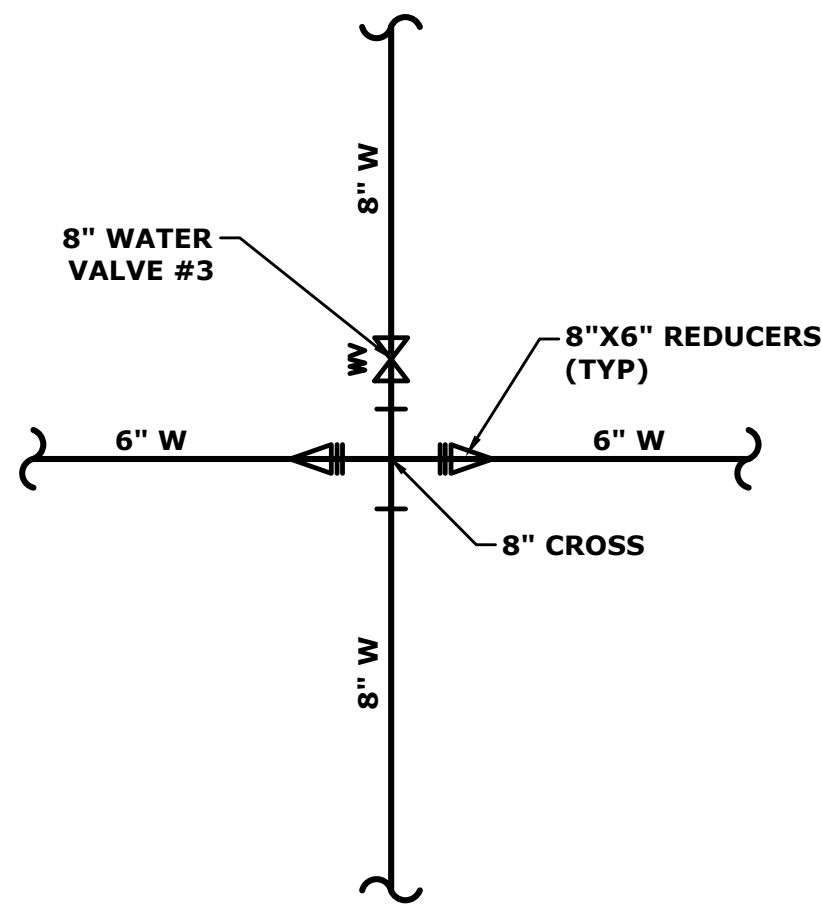
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DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.
5233-19A
SHEET
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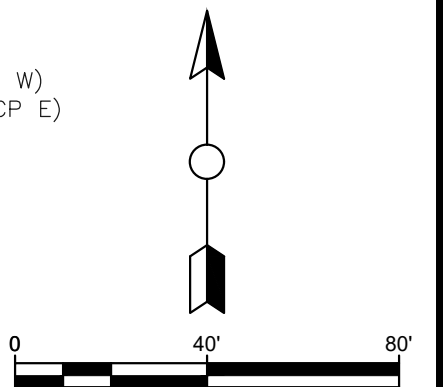
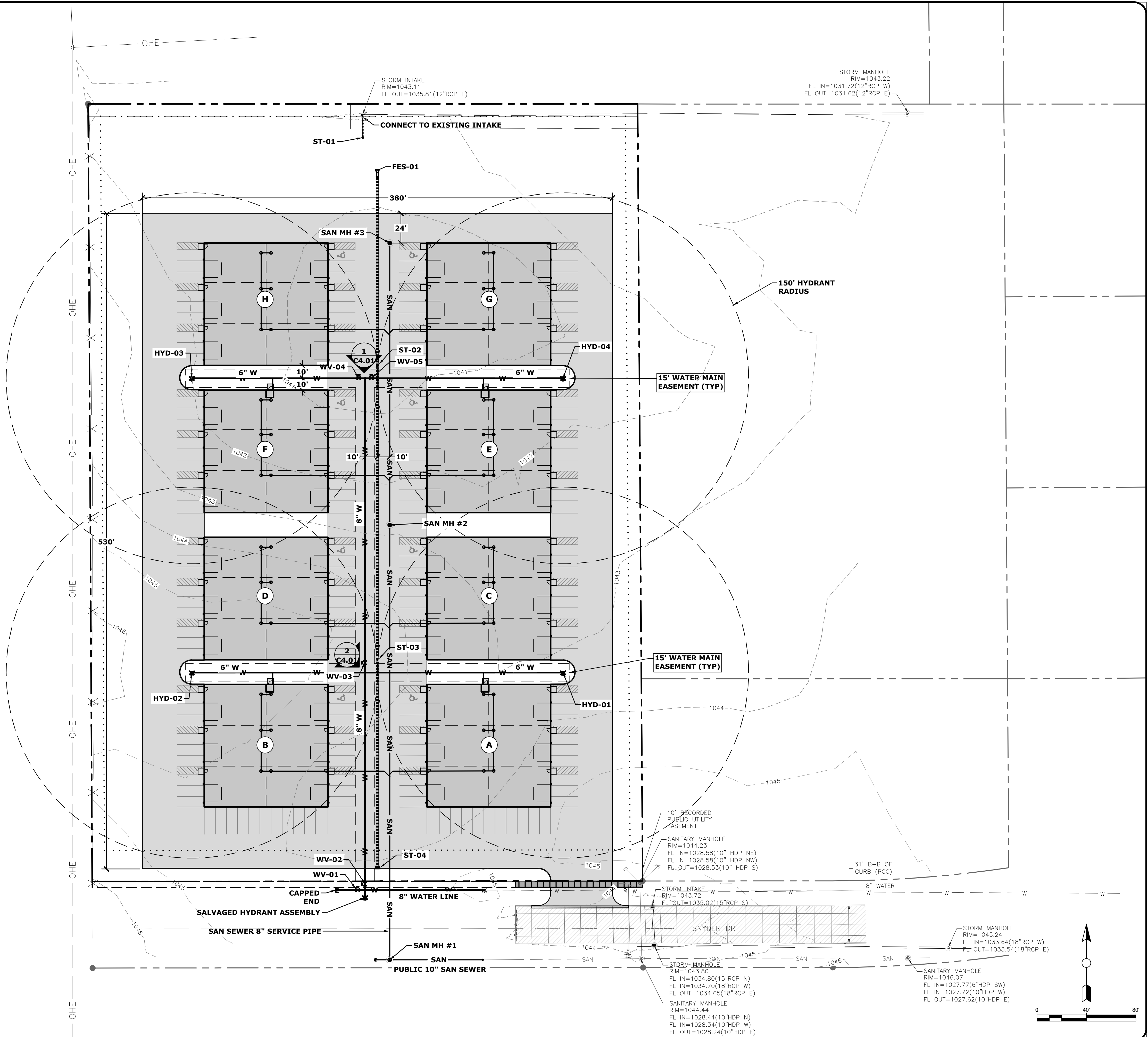
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8" TEE WATER MAIN DETAIL
NOT TO SCALE



2
C4.01
8" CROSS WATER MAIN DETAIL
NOT TO SCALE

WATER NOTES:

1. INSTALL TRACER WIRE ON ALL WATER MAINS. TERMINATE IN FLUSH MOUNT TRACER WIRE BOX 3M SCOTCHPLAST SPLICE ENCAPSULATION KIT 3832.
2. ALL FIRE HYDRANTS SHALL HAVE ASSEMBLY VALVES (SIZE WM-201)
3. IF WATER MAIN IS EXTENDED IN PHASES, A WATER VALVE SHALL BE PLACED AT THE END OF MAIN TO FACILITATE THE FUTURE WATER EXTENSION.
4. THE 8" & 6" WATER MAIN WILL BE OWNED AND MAINTAINED BY THE CITY OF HUXLEY WITHIN 15' WATER MAIN EASEMENT.



REVISION		DATE	BY	DATE
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2ND SITE PLAN SUBMITTED	DRAWN:	8/8/2019	SPB	04/21
3RD SITE PLAN SUBMITTED	CHECKED:	3/2/2021		
4TH SITE PLAN SUBMITTED		4/9/2021		
5TH SITE PLAN SUBMITTED				

UTILITY PLAN	
DZ FLEX SPACE	
315 SNYDER DR	
HUXLEY, IA	

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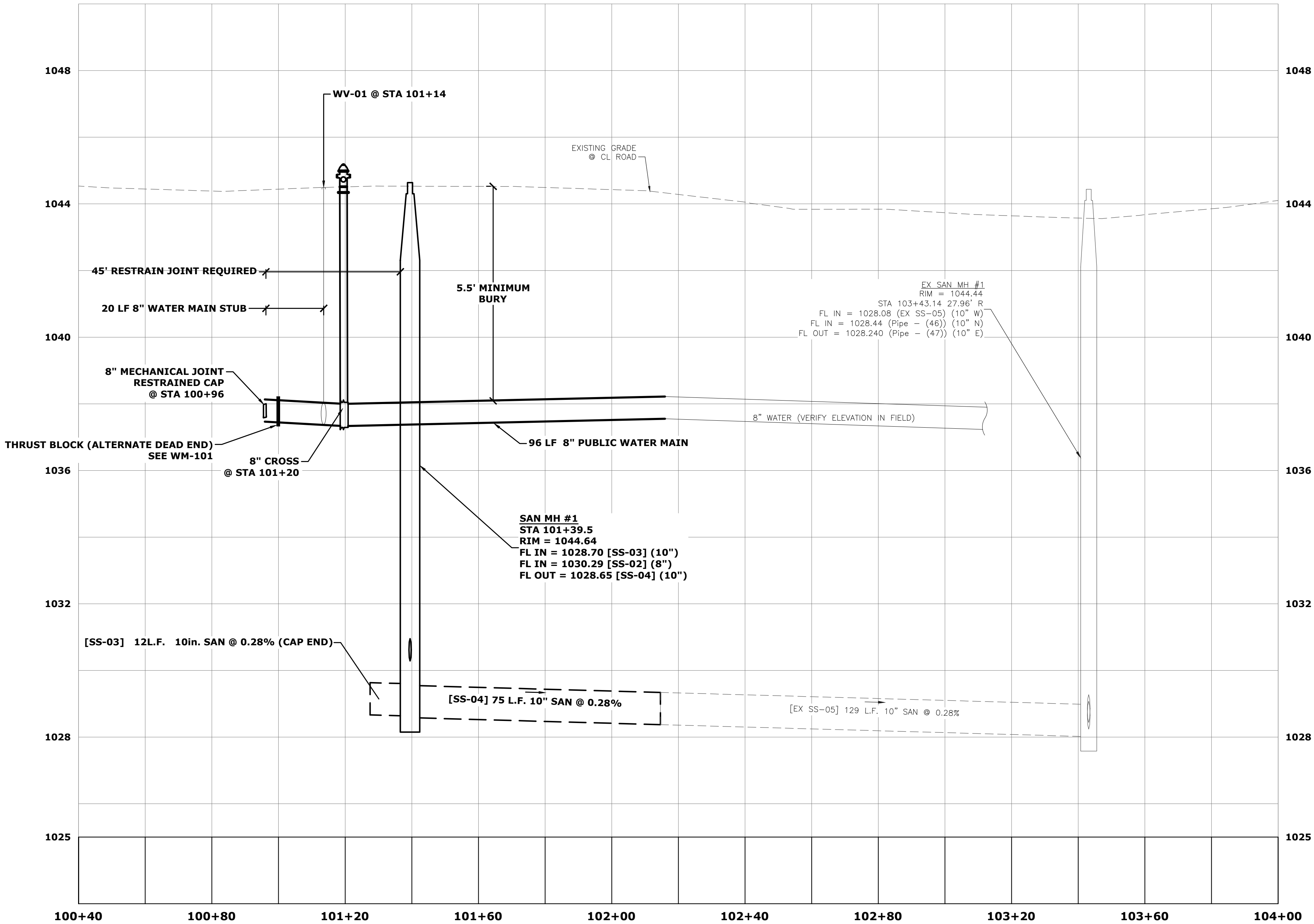


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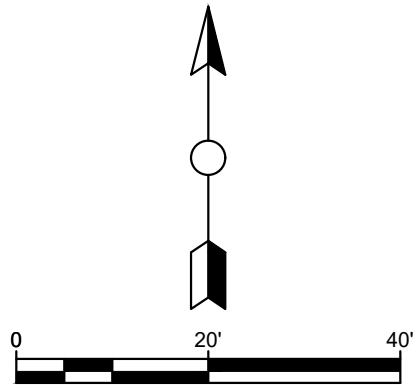
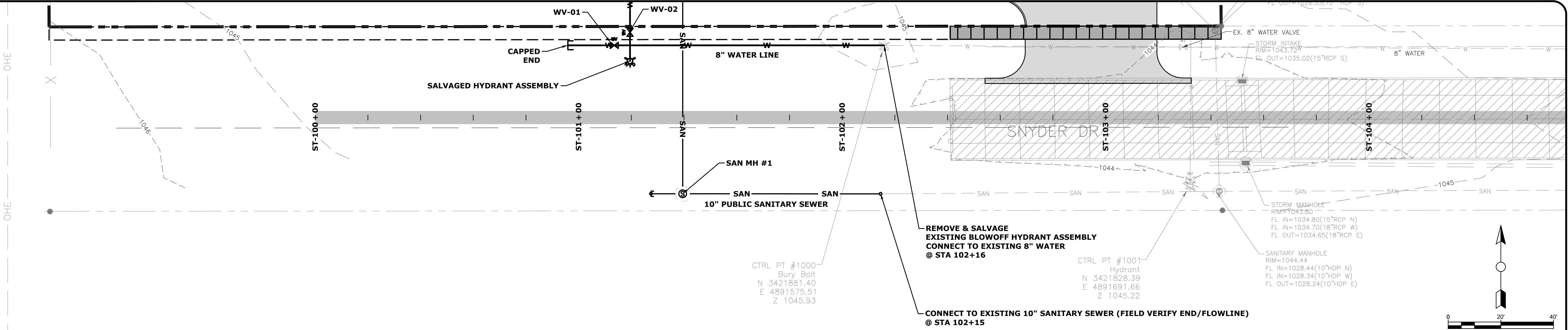
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EX GRADE
PROFILE
GRADE
STATION



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STATION



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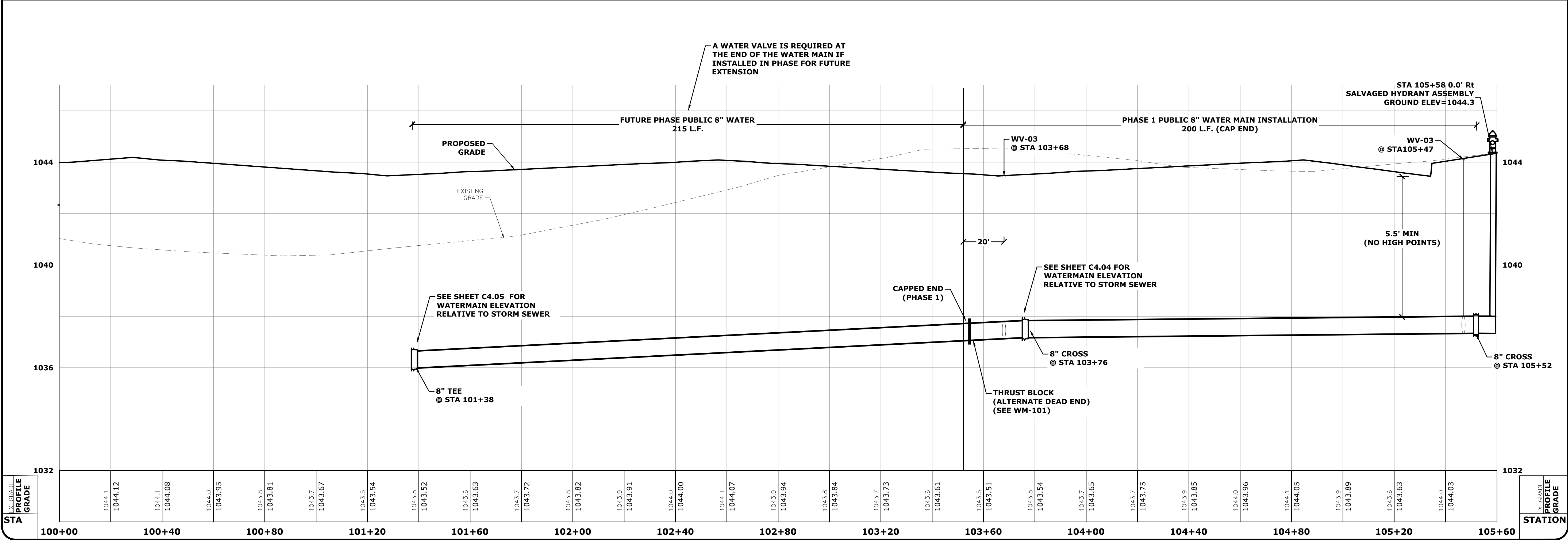
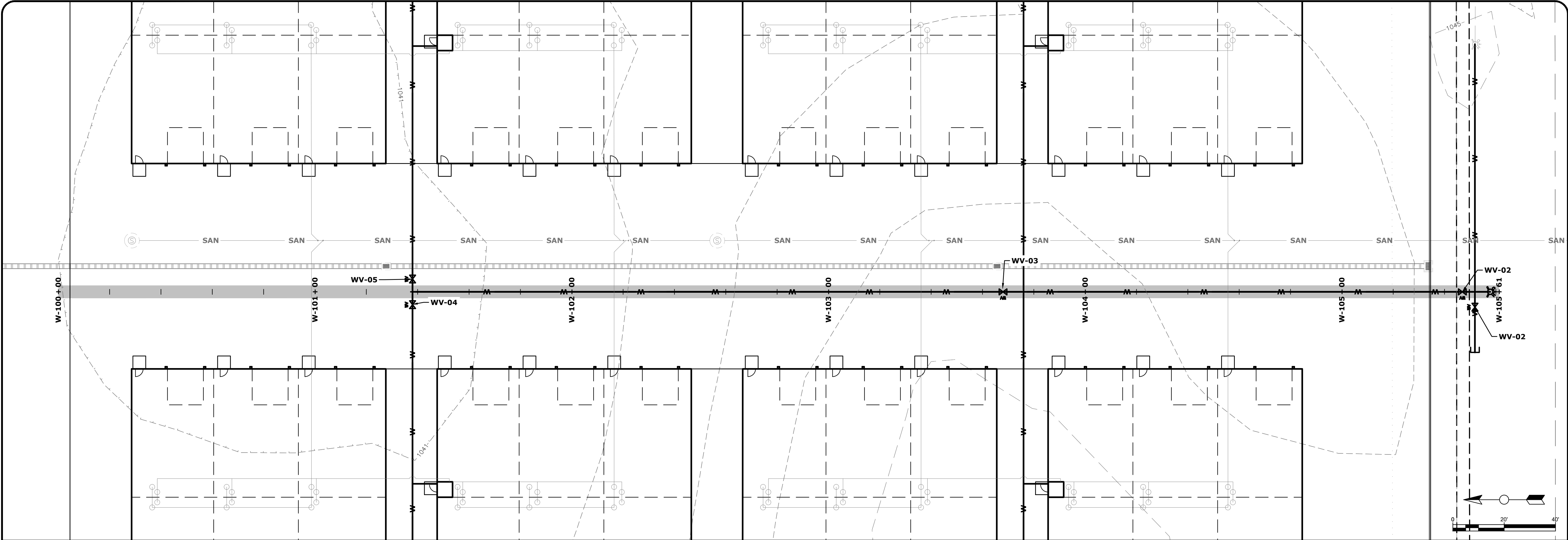
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PUBLIC UTILITY PLAN & PROFILE
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.
5233-19A
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LAST UPDATE: 04/09/23	
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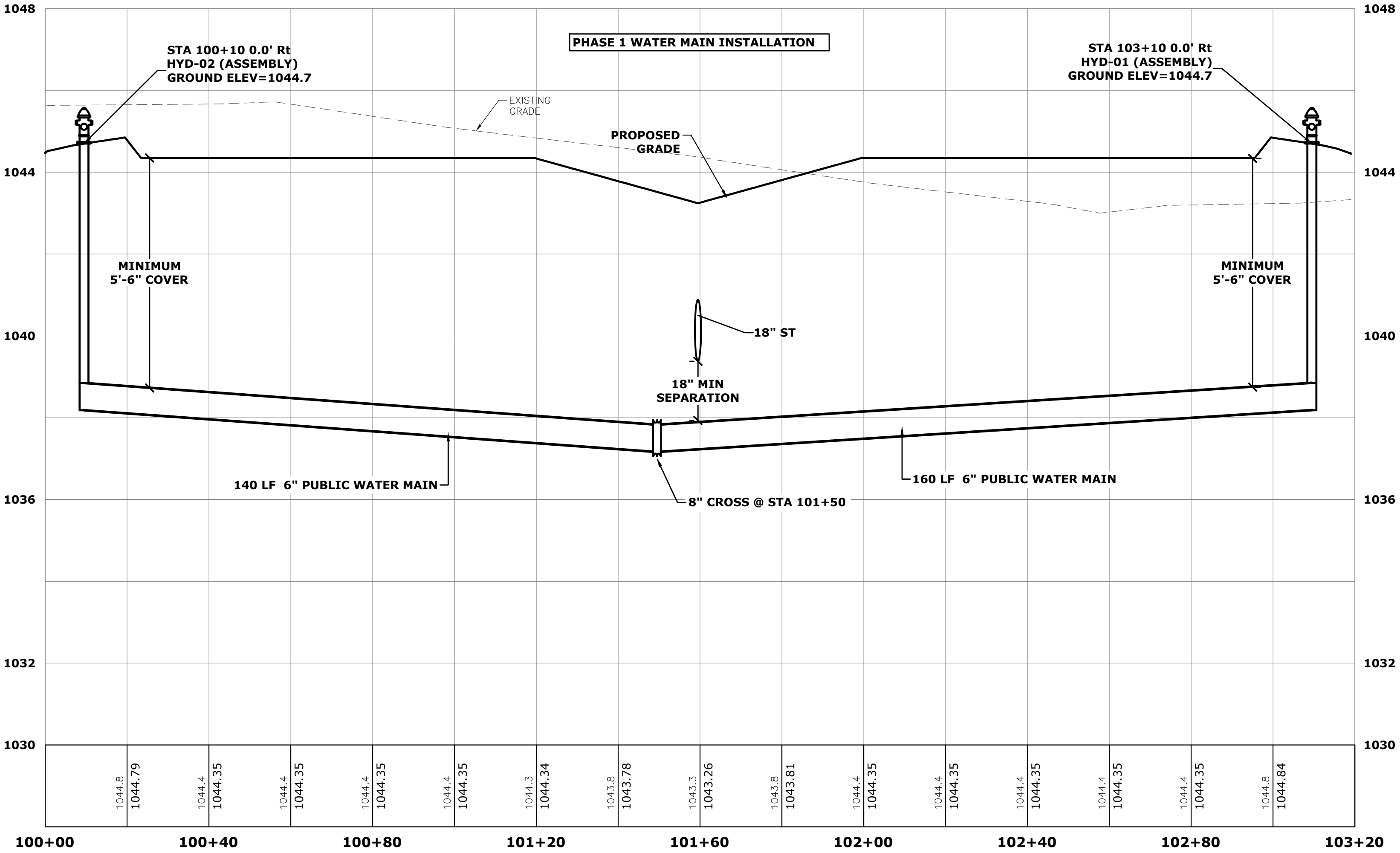


CENTRAL WATER PLAN & PROFILE
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

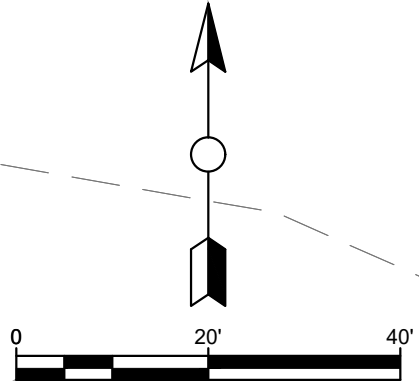
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STATION	GRADE



EX. GRADE	PROFILE
STATION	GRADE



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8/8/2019	JMG	2ND SITE PLAN SUBMITTED
9/2/2019	JMG	3RD SITE PLAN SUBMITTED
3/2/2021	SPB	4TH SITE PLAN SUBMITTED
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		CHECKED:
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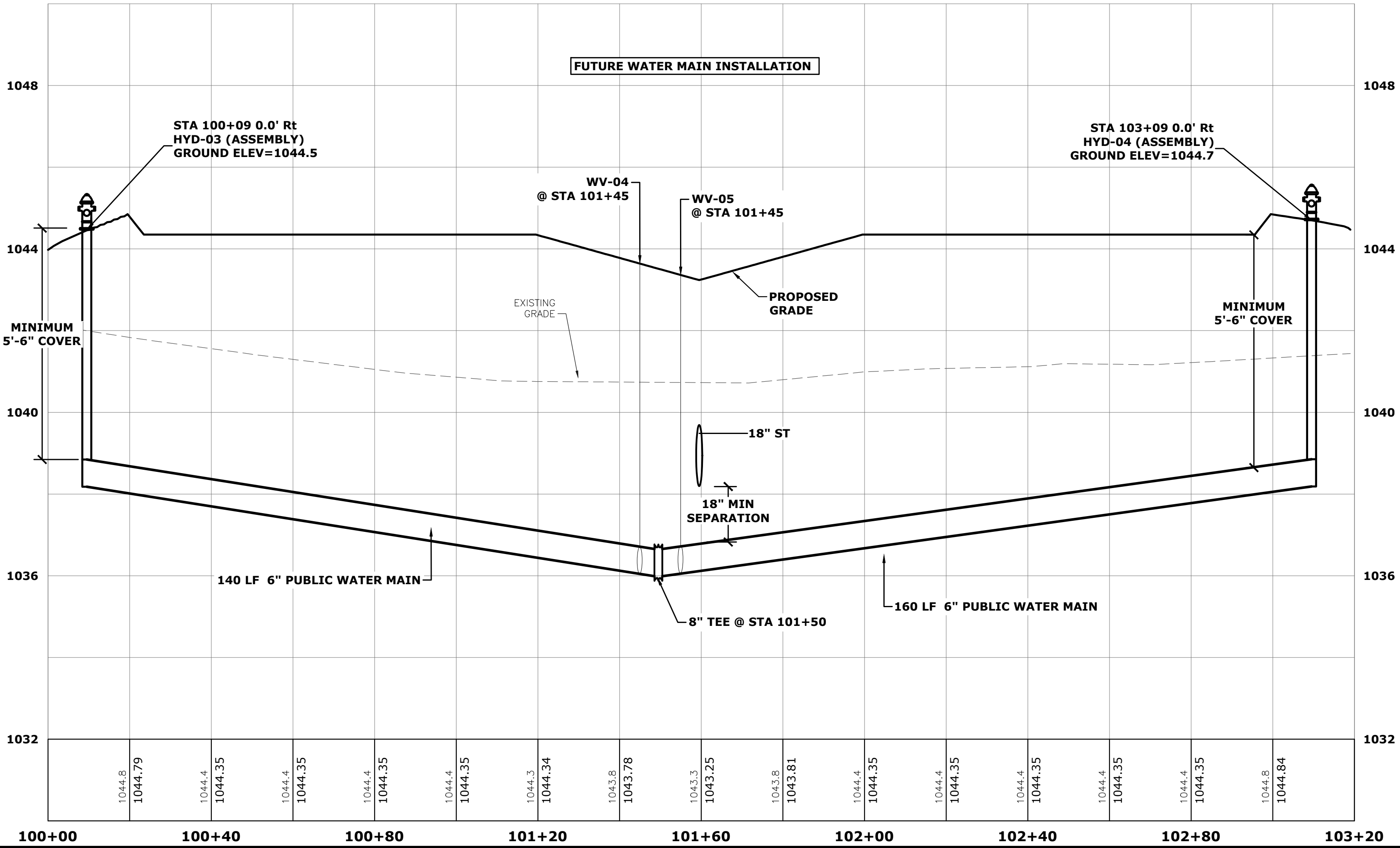


SOUTH WATER PLAN & PROFILE
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

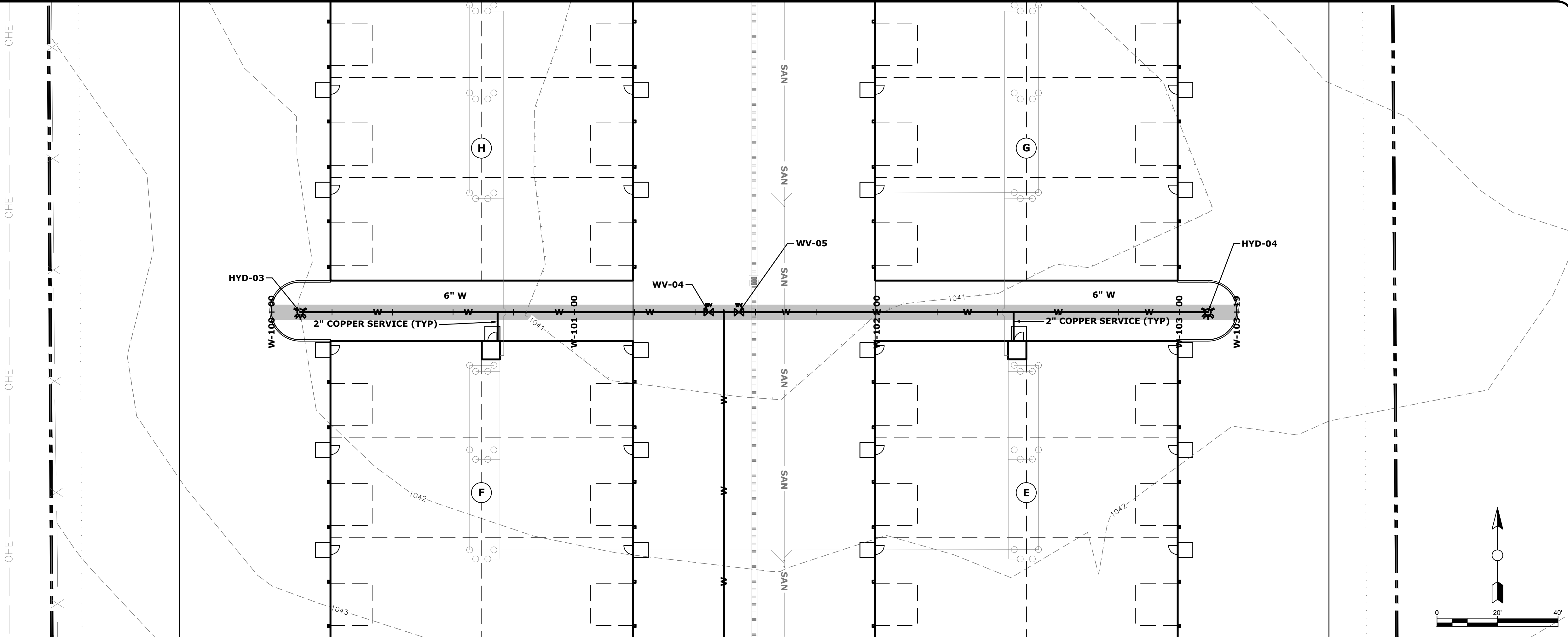
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EX. GRADE	PROFILE
STATION	GRADE



EX. GRADE	PROFILE
STATION	GRADE



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3RD SITE PLAN SUBMITTED	CHECKED:	9/12/2019		
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LAST UPDATE:		04/09/23		

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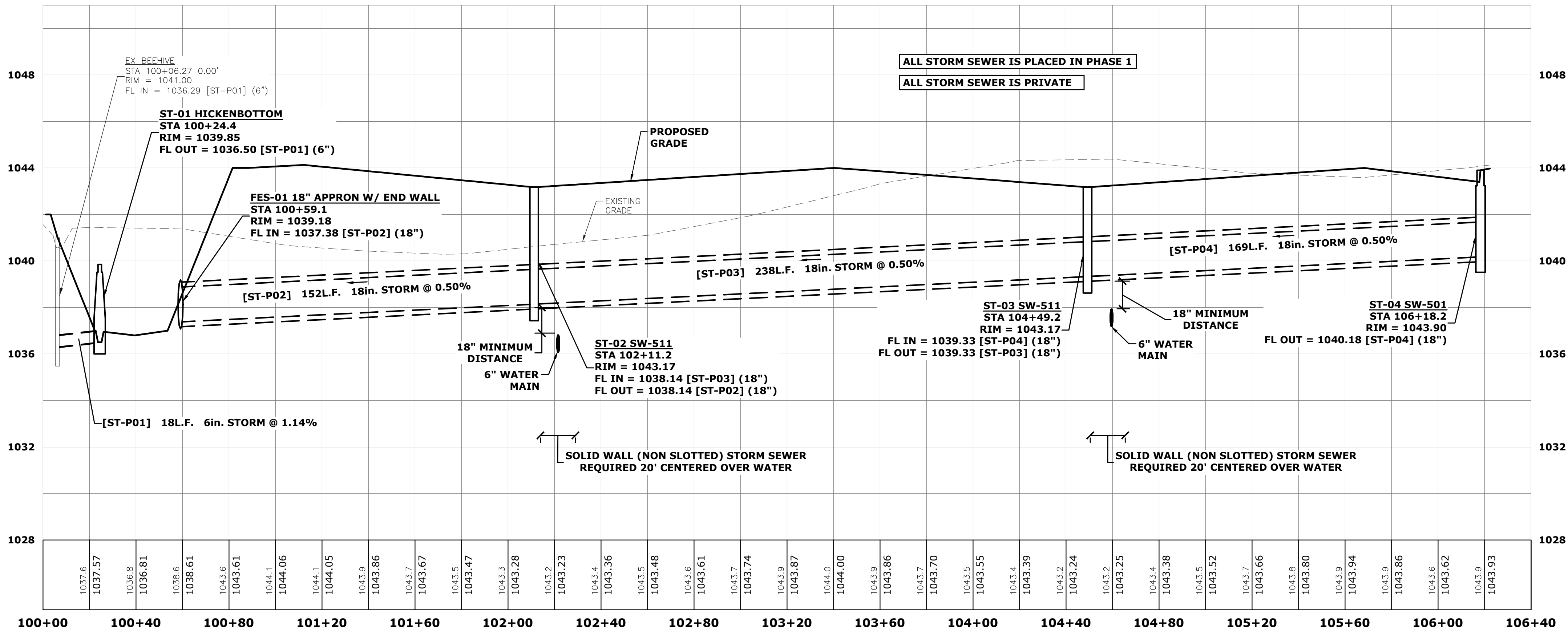
NORTH WATER PLAN & PROFILE
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.
5233-19A

SHEET
C4.05

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PLOT STYLE TABLE	LAYER MNGR NAME
FoxGrayScale.ctb	LAYOUT NAME
	C4.06

EX GRADE
PROFILE
GRADE
STATION



EX GRADE
PROFILE
GRADE
STATION

DATE	BY	REVISION	DATE
7/7/2019	JMG	1ST SITE PLAN SUBMITTED	04/21
8/8/2019	JMG	2ND SITE PLAN SUBMITTED	04/21
3/2/2021	SPB	3RD SITE PLAN SUBMITTED	04/21
4/9/2021	SPB	4TH SITE PLAN SUBMITTED	04/21
		CHECKED:	
		LAST UPDATE:	04/09/23

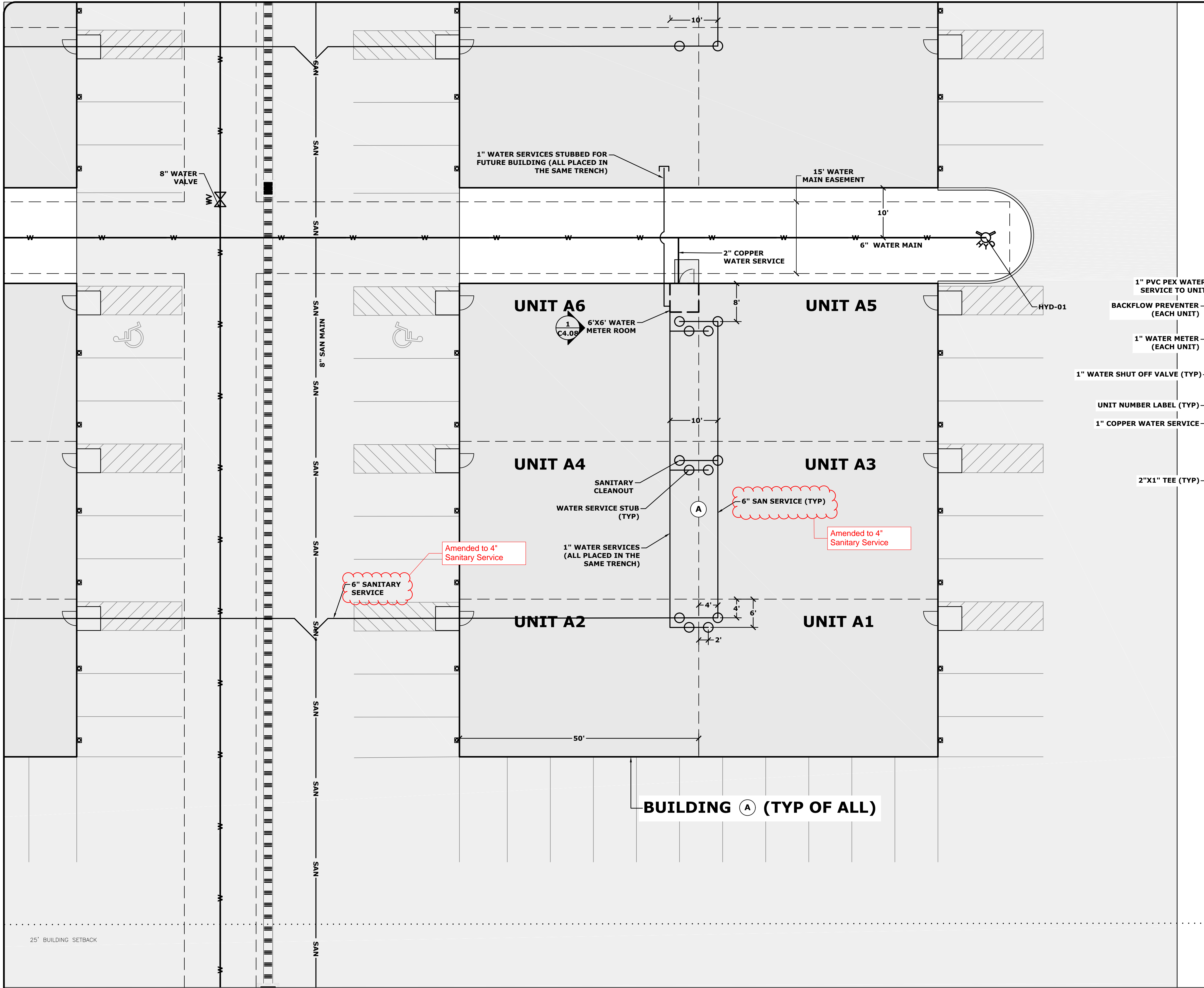
FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



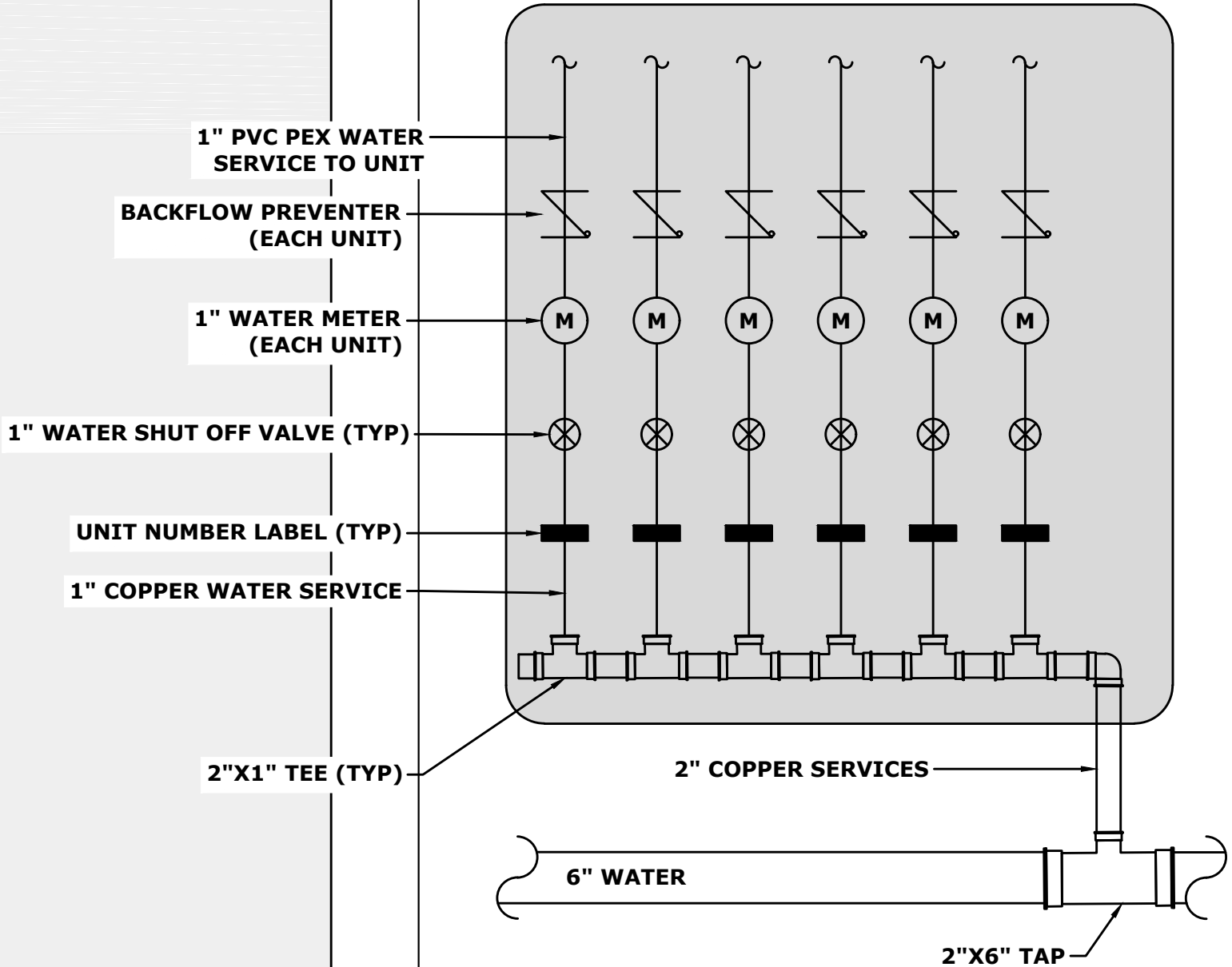
SUBDRAIN PLAN & PROFILE
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.
5233-19A
SHEET
C4.06

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PLOT STYLE TABLE		LAYER MGR NAME	
FoxGrayScale.ctb			

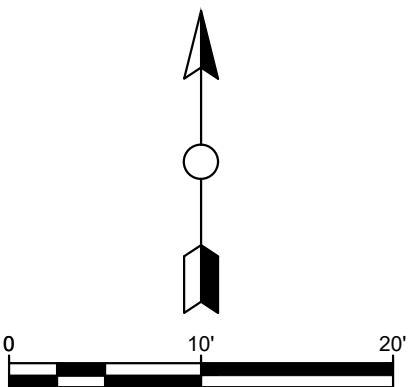


- NOTE:
1. EACH UNIT WILL HAVE ITS OWN WATER SERVICE, METER AND BACKFLOW PREVENTER. THE BACKFLOW PREVENTERS WILL BE WATTS RPZ BACKFLOW ASSEMBLIES. DETAILED CONFIGURATION OF THE INTERIOR PLACEMENT AND LOCATION WILL BE PROVIDED TO THE CITY AS PART OF THE BUILDING PERMIT APPLICATION.
 2. WATER METER SHALL BE FORD KV23 ANGLE METER VALVES.



NOTE:
COPPER WATER SERVICE IS REQUIRED FROM THE 6" WATER MAIN TO THE WATER METER. AFTER THE WATER METER PVC PEX WATER SERVICE CAN BE UTILIZED.

1
C4.08
WATER SERVICE DETAIL
NOT TO SCALE



REVISION		DATE	BY
1ST SITE PLAN SUBMITTED	DESIGNED: JMG	04/21	
2ND SITE PLAN SUBMITTED	DRAWN: SPB	04/21	
3RD SITE PLAN SUBMITTED	CHECKED:		
4TH SITE PLAN SUBMITTED			
5TH SITE PLAN SUBMITTED			
LAST UPDATE: 04/09/23			

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



BUILDING UTILITY SERVICES (TYP)
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.
5233-19A

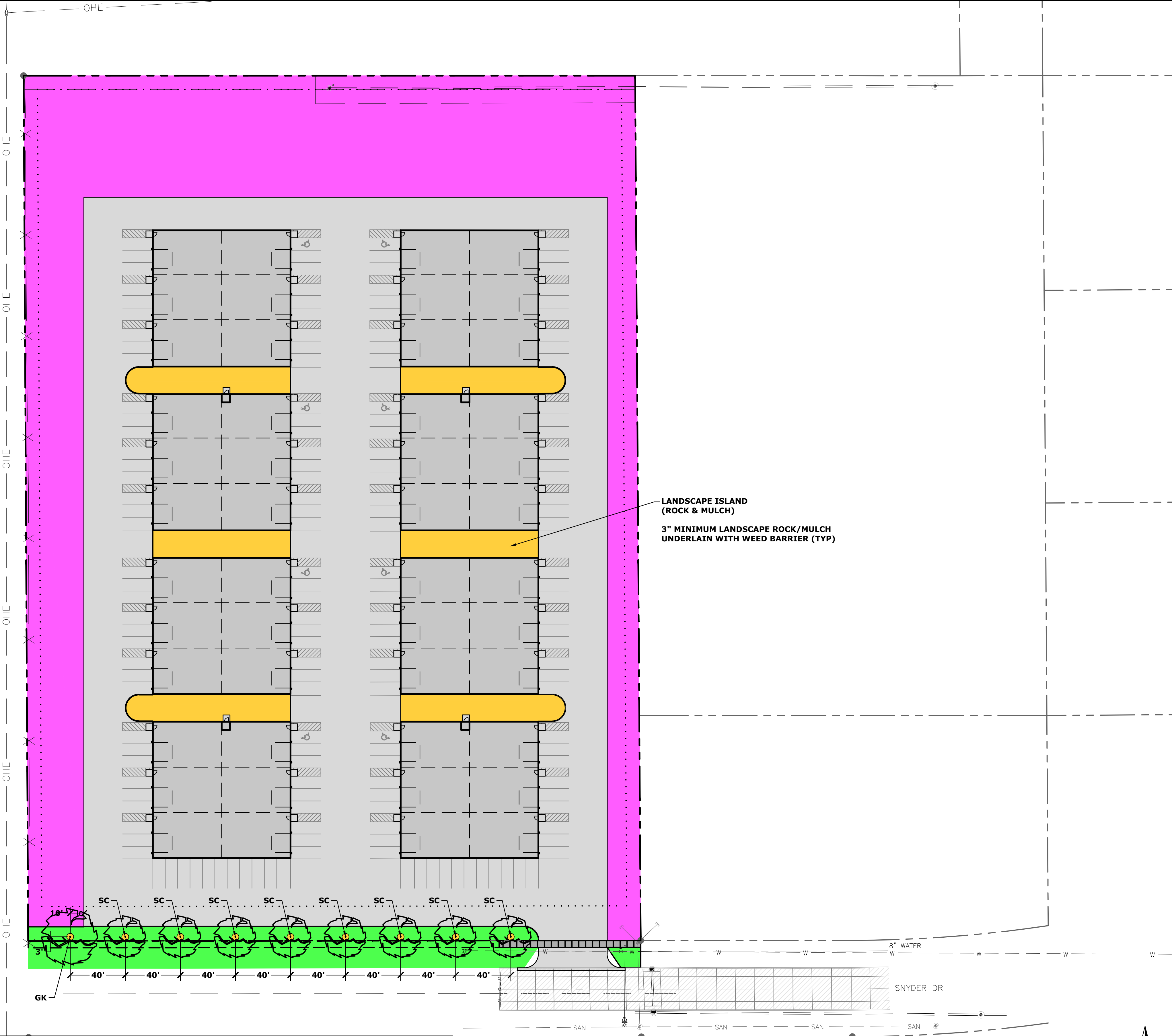
SHEET

C4.08

= GRASS (LAWN)

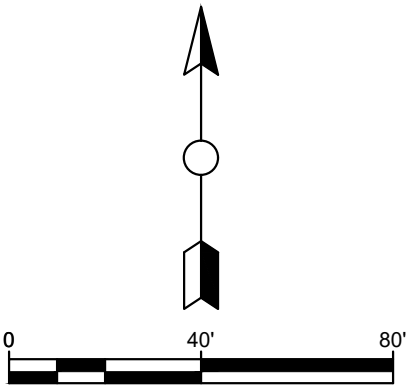
= PRAIRIE GRASS

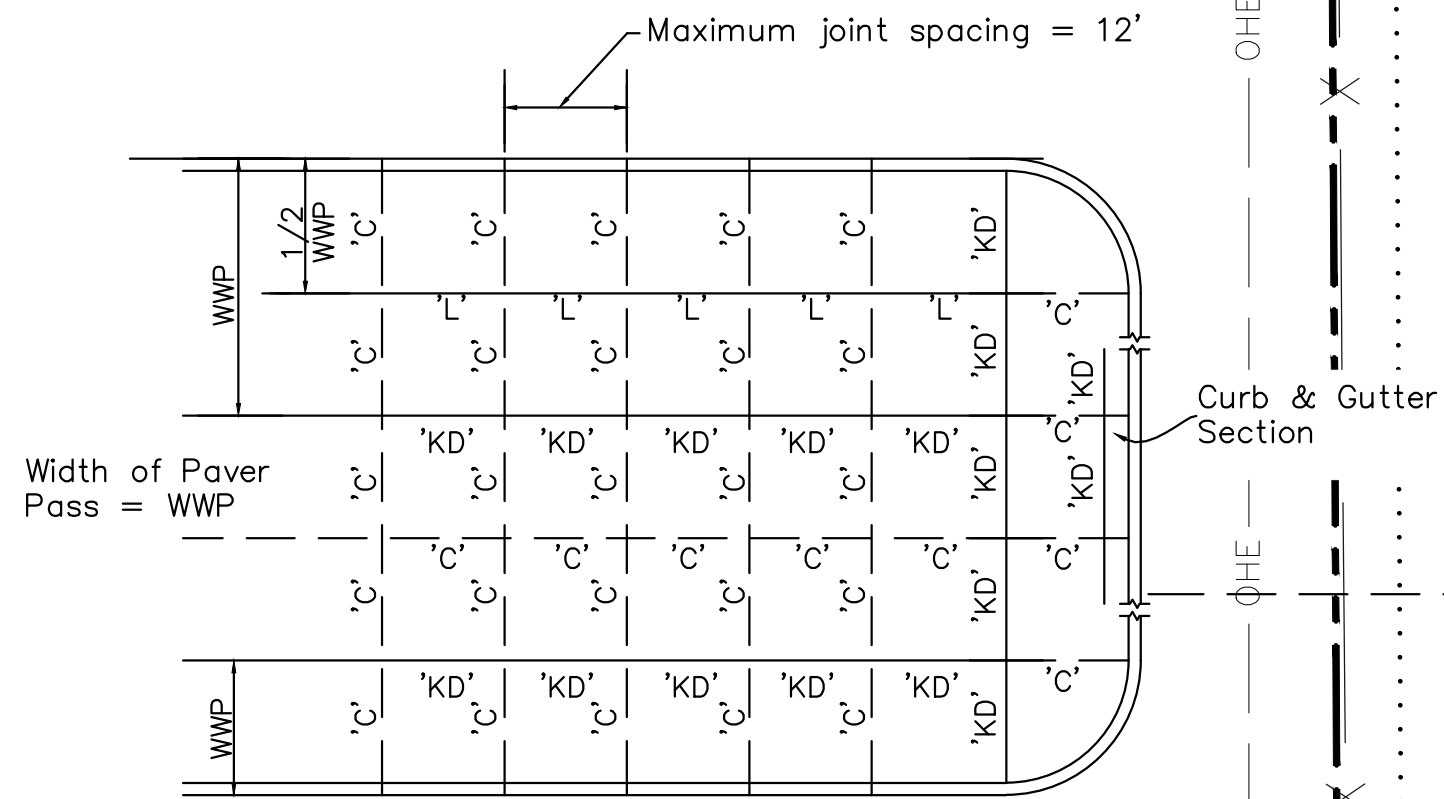
= ROCK & MULCH



LIST OF ALLOWED STREET AND LANDSCAPING TREES

SYMBOL	NUMBER	COMMON NAME	BOTANICAL NAME	SIZE	MATURE HEIGHT	MATURE WIDTH	COMMENTS
GK	1	Ginkgo	Ginkgo biloba	1 ½" Caliper	60	30	Male only. Very reliable tree
SYC	8	Sycamore	Plantanus occidentalis	1 ½" Caliper	100	80	





Note: Refer to I.D.O.T. Standard Road Plans PV-101 SHEETS 1-5 for jointing details.

Note: Exterior of pavement must be tied together using 'KD' type joints. 'KD' joints tying a curb & gutter section to the main pavement are not adequate to tie the exterior together and an additional 'KD' joint is required.

1 C6.01 PCC JOINTS DETAIL NOT TO SCALE

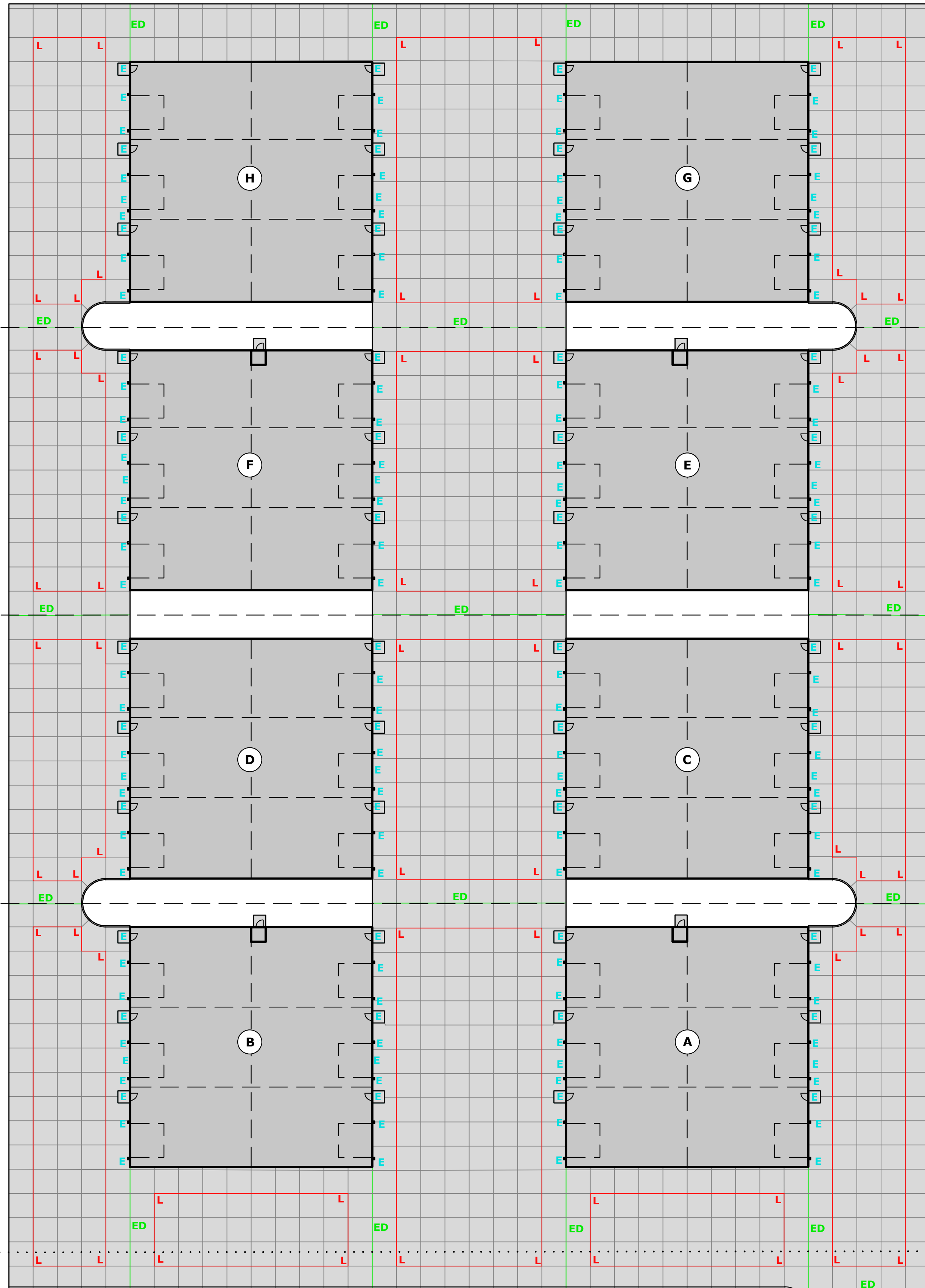
JOINT CONSTRUCTION NOTES:

- ALTERNATE JOINT LAYOUT MAY BE SUBMITTED BY CONTRACTOR FOR REVIEW AND APPROVAL OF THE ENGINEER AT LEAST 2 WEEKS PRIOR TO CONSTRUCTION.

- ALL 'K-T' AND 'ED' JOINTS WHERE PAVEMENT THICKNESS IS DIFFERENT SHALL HAVE THE ADJACENT THINNER PAVEMENT THICKENED AS PER THE DETAIL.

- ALL CURBS SHALL BE TIED AS PER THE JOINT DETAILS.

- ALL JOINTS NOT MARKED OTHERWISE ARE 'C' JOINTS UNLESS AROUND A STRUCTURE OR FIXTURE WHERE REINFORCEMENT IS REQUIRED.



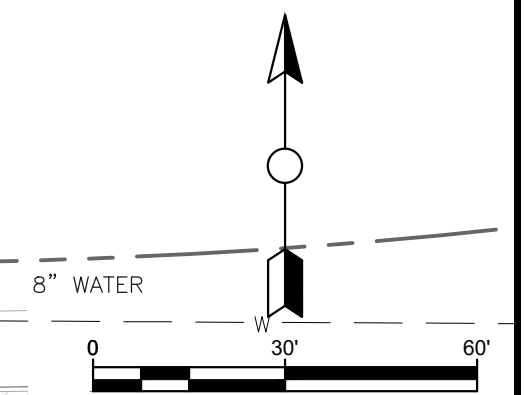
PHASE 4

PHASE 3

PHASE 2

PHASE 1

- = C JOINT
- = L JOINT
- = E JOINT
- = ED JOINT
- = BT-3 JOINT



DATE	BY	DESIGNED	DRAWN	CHECKED	LAST UPDATE
7/7/2019	JMG		SPB		04/09/23
8/8/2019					
3/2/2021					
4/9/2021					

FOX Engineering Associates, Inc.
414 South 17th Street, Suite 107
Ames, Iowa 50010
Phone: (515) 233-0000
FAX: (515) 233-0103



JOINTING PLAN
DZ FLEX SPACE
315 SNYDER DR
HUXLEY, IA

PROJECT NO.
5233-19A

SHEET

C6.01



July 1, 2021

Rita Conner, City Administrator
515 North Main Avenue
Huxley, IA 50124

RE: DZ Flex Space Condominium Garages – Sanitary Sewer Services
FOX Ref. No. 5233-19A

It is come to our attention the plumber, Gregg Edwards, has installed 4-inch sanitary sewer services versus 6-inch per the approved April 9, 2021 Site Plan. The plumber apologizes for this error and we respectively request City Staff allow the installed 4-inch sanitary services for the following reasons:

1. A 4-inch sanitary service can manage the anticipated wastewater flows from each building. Each building has six (6) individual units. Each unit has a bathroom, floor drain, and service sink for a total of 9 fixture per unit (FU) or a total of 54 FU per building. The IBC states the maximum number of fixture units for a 4-inch with a minimum slope of 1/4-inch per foot is 216 FU. Thus the 4-inch sanitary service can handle 4 times additional sanitary sewer flow than code requirements.
2. Huxley has adopted the 2015 International Building Code (IBC) and the code does not require a minimum of 6-inch sanitary sewer service for commercial buildings. The code determines sanitary pipe sizing based on fixture counts. The City of Huxley has also adopted the Iowa Statewide Urban Specifications (SUDAS) for public improvements which requires a 6-inch minimum sanitary sewer service. This project extended an 8-inch sanitary sewer service the development so the project satisfies both the IBC and SUDAS sanitary sewer requirements.
3. Removing and replacing the services could compromise the sanitary sewer. The sewer services are 14-ft deep in areas. These deep excavations could create settlement issues with the pipe and/or the pavement. In addition, it will be a challenge to properly reconnect a 6-inch sewer service to the 8-inch sewer. These issues could create leaks in the pipe which would allow groundwater to infiltrate the sewer system.
4. The cost of replacing the services will be very expensive to the project and will delay the completion.

The plumber has installed the 8-inch sanitary sewer to the development with manholes. The plumber installed an 8"x6" wye at each of the 8-inch sewer connections. A 6"x4" reducer was installed at each wye and due to depth each service was constructed as a riser (45-degree angle). All eight (8) services risers have been installed. The plumber has yet to extend the 4-inch service from the riser to the building.

It is my professional opinion a 4-inch sanitary sewer service is acceptable and appropriate for this project. We respectively request City Staff approve the change in pipe diameter. If desired, FOX can revise and resubmit the site plan with this change.

Respectfully submitted,
FOX Engineering Associates, Inc.

John Gade, P.E.

John Gade, P.E.
Principal, Project Manager

Prepared by: John Gade, 414 South 17th Street, Suite 107, Ames, Iowa 500010, Telephone No. 515-233-0000

Taxpayer Information: DZ Flex Space LLC, 2404 Park Dr, West Des Moines, Iowa, 50265

Return Document to: DZ Flex Space LLC, 2404 Park Dr, West Des Moines, Iowa, 50265

AFFIDAVIT EXPLANATORY OF AMENDED SITE PLAN

STATE OF IOWA)
) ss:
COUNTY OF STORY)

IN RE: TITLE TO:

Lot 8 of Huxley Development Corporation Plat 3

Locally known as: 401 Snyder Dr, Huxley, Iowa

I, Zac Binder, being first duly sworn on oath, depose and state that I am the title holder of record for real estate legally described above and locally known as 401 Snyder Dr, Huxley, Iowa. That on or about March 26, 2019, that we purchased said property and have been in sole possession of the property ever since.

This affidavit is drafted for the sole purposes of stating the title holder assumes any and all responsibility for the installation of a 4-inch sanitary sewer service to each of the eight (8) buildings as shown on the Amended Site Plan dated July 9, 2021. In addition, the title holder assumes all liability for any damages caused by said installation of 4-inch sanitary sewer services.

Attached to this Affidavit is the Amended Site Plan dated July 9, 2021.

Zac Binder

Subscribed and sworn to before me on this _____ day of _____, 2021.

Notary Public in and for the
State of Iowa

ORDINANCE NO. 514

**AN ORDINANCE AMENDING
CHAPTER 69 PARKING REGULATIONS**

BE IT ORDAINED by the City Council of the City of Huxley, Iowa, that:

Section 1. Chapter 69, of the Huxley Code of Ordinances; Parking Regulations Ordinance is hereby amended as follows:

69.08 NO PARKING ZONES

28. Approximately 140' on the west side of Hickory Dr. Southbound from Cypress Drive to Oak Blvd.

29. No parking zone for eastbound traffic from 310 N Park Blvd eastside of driveway to westside curb of Sycamore Blvd. Approximately 70'.

PASSED AND APPROVED this _____ day of ____ 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

First Reading:

Second Reading:

Third Reading:

Date Adopted:

Date of Publication by posting:

COUNCIL COMMUNICATION

AGENDA HEADING:

Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Janestar of Iowa, LLC (dba Hale Trailer Brake and Wheel Scott McBride, Director of Facilities, 1290 Mid Valley Drive Jessup, PA 18434,) has submitted a rezoning request for 78.45 acres (two lots =31.22 and 31.56 acres, respectively) of land located north of Highway 210 and east of I-35. A link to the subject properties is below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Janestar of Iowa, LLC has also acquired a 7.86 acre parcel directly to the north of the subject properties, which Story County shows as unincorporated. This parcel is not included in the rezoning. The remainder of the property is within the City of Huxley corporate boundary.

The 2013 Comprehensive Plan shows the land east of I-35 as a combination of highway commercial, light and general/heavy industrial. The commercial and light industrial sections are shown along Highway 210. The C-2 zoning proposal allows for the business proposed on the site, a phased development of a trailer repair and storage facility. It will also provide the City the ability to work with the applicant on additional commercial development opportunities, as Janestar of Iowa LLC is planning for only 30 acres of the 78.45 to be utilized for the trailer business.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION: YES

- Janestar of Iowa LLC operates as Hale Trailer Brake and Wheel <https://haletrailer.com/>. The proposed site would be the 14th location for the company in the U.S.
- The company is proposing a phased approach to the development of the project, with initial operations including a temporary building and gravel surface lot. Examples of operations in other states have been provided for review of both the temporary building and conceptual future building.
- Staff discussion with the company on the rezoning has included the following topics and concerns which were also shared with the Planning & Zoning Commission:
 - Length of term for temporary building
 - Requirement for hard surface paving
 - Concern for proposed access from Highway 210 as an existing major street in the network and potential circulation plan and transportation network for additional development
 - Future development of the additional acres, potential for additional taxable valuation and businesses for the community.

COUNCIL COMMUNICATION

CITY ADMINISTRATOR COMMENTS: YES

- The property proposed for rezoning is prime business real estate and a front door for the City. The image of the company's operations in Jacksonville is helpful to demonstrate the intent for future site development. Future building hard surface paving elements and access elements as that staff has discussed with the company, as well as fencing/screening, landscaping, outside storage and other site plan requirements will be important at the site plan review stage.

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- Planning & Zoning Commission hearing and action on rezoning was June 21, 2021.
- Minutes from the meeting are included with Council packet information

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- Site plan submittal for City review
- Work with Janestar of Iowa LLC on a master conceptual plan for the remaining acres

NOTICE OF PUBLIC HEARING OF THE CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY JANESTAR OF IOWA LLC FROM (A-1) AGRICULTURE TO (C-2) GENERAL COMMERCIAL CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

TO: ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

YOU ARE HEREBY NOTIFIED that the City Council is considering the rezoning of certain property in the City of Huxley, Iowa:

A-1 ZONING –PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

-to-

C-2 ZONING- PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

LAYMAN'S DESCRIPTION:

North of US Highway 210 and east of Interstate 35.

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a formal hearing before the City Council to consider rezoning in light of the requested rezoning has been set to commence on the 13th day of July 2021 at 6 p.m. in the Huxley City Council Chambers (515 N Main Ave), at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard.



Petition for Rezoning

Property Owner: Janestar of Iowa, LLC

Property Address: Unassigned (NE Quadrant of I-35 and Highway 210)0

Property Zoning: A-1

Requested Zoning: C-2

Legal Description: See Rezoning Exhibit

Please provide a detailed explanation of why this change is being requested:

The property is proposed to be rezoned from A-1 to C-2 zoning to allow for the phased development of A trailer sales, rental, repair and storage facility. The Comprehensive land use for this area is General/Heavy Industrial use which this zoning would be consistent with. A first phase concept plan has been included with this submittal to better show the current development plan.

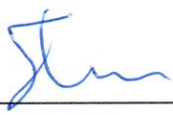
Additional Notices; Signs. Any person who requests a land use plan amendment or rezoning of property shall cause to be erected at all the street frontages of the property a notification sign, stating a notification message as prescribed by City staff, and intended to inform the public of the proposed change and the time and place of the hearing on said change. Notification signage will be black letters on a white sign board and will be installed in accordance with the following minimum stand:

Speed Limit:	Lettering:	Number of Signs on Each Street Frontage:	Minimum:
20-35 MPH	3 Inches	One per 300'	2' x 2'
36 MPH & Greater	6 Inches	One per 1,000'	4' x 8'

Such signs shall be erected no less than seven days before the hearing before the Plan and Zoning Commission and shall remain in place until the final hearing before the City Council. It shall be the responsibility of the property owner to ensure that the signs are erected and maintained to be visible from the street rights-of-way in accordance with the provisions of this section. The failure on the part of the property owner to erect and maintain the signs may be considered by the Commission and Council, along with all other facts and circumstances, in determining whether the request for rezoning shall be granted. The property owner shall remove the signage within seven days of the date of the final action on the rezoning or land use plan amendment by the City Council. Any person who removes a sign erected by the property owner, without the property owner's consent, shall be guilty of a misdemeanor. *(Subsection 165.44(8) by Ord. 393 - Dec. 08 Supp.)*

I understand that there are no guarantees of passage of this request by the Planning & Zoning Commission or by the City Council. If the request is not granted the fee for variance is nonrefundable. All neighboring property owners within 200 feet will be notified of this variance request, plus a notice will be published in a local newspaper.

See attached sections from the City of Huxley Code of Ordinances.

Signed:  Date: 6/8/21

Please attach:

- List of all property owners and addresses as required by code section 165.44(2).
- Petition for amendment to zoning map fee: \$200

Office Use Only:

Date Submitted: _____

Board Review Date: _____

Council Review Date: _____

Date Hearing Advertised: _____

Decision of the Commission & Council:

CHAPTER 165 ZONING REGULATIONS

CODE OF ORDINANCES, HUXLEY, IOWA

165.44 AMENDMENTS. The regulations imposed and districts created by this chapter may, from time to time, be amended, supplemented, changed, modified or repealed as follows:

1. Initiation. The Council may act on its own initiative, with or without prior citizen request, to amend this chapter. Any interested citizen, including the owner of record title or of equitable title to affected property, may petition for amendment of this chapter.

2. Form of Petition. A petition to amend this chapter shall state: (i) the legal description of the affected property; (ii) the street address of the affected property; (iii) the existing and proposed designation or regulation; (iv) a concise statement of the purpose of the amendment; and (v) the names and addresses of the owners of record and equitable title located within 200 feet of the boundary of the affected property. A petition shall be dated and signed by its sponsor.

3. Review of Proposed Amendment. Within 30 days of receipt by the City, the Commission shall review a petition for amendment and report its recommendations to the Council. The Council may refer self-initiated amendments to the Commission for consideration upon such conditions as it may direct.

4. Notice and Hearing. If the Council resolves to consider for passage a proposed amendment to this chapter, the Council shall set a time and date for hearing upon the proposed amendment. Notice of the hearing describing the affected property and purpose of the hearing shall be published at least once not less than seven or more than 20 days prior to the hearing date, but not earlier than the next regularly scheduled Council meeting following the date notice is published. The Clerk shall send notice of the hearing by ordinary mail to owners of property within 200 feet of the boundaries of the affected property.

5. Protest. Protest of a proposed amendment must be in writing submitted to the Council before or at the public hearing on the proposed amendment. If 20% or more of the owners of property within two hundred feet of the boundaries of the affected

property file a written protest, the proposed amendment shall not be effective unless three-fourths of the Council members vote in favor of the proposed amendment.

6. Action by Council. The Council shall not be required to act upon a proposed amendment. At any time prior to a hearing on a proposed amendment, the Council may either act unfavorably on the proposed amendment or take no action. After a hearing, the Council may act either favorably or unfavorably on the proposed amendment or take no action. If the Council acts unfavorably on the proposed amendment, no petition that is substantially the same as the proposed amendment rejected, shall be submitted for one year after the unfavorable action. Nothing herein shall prevent the Council from acting on its own initiative.

7. Costs. The sponsor of a petition for amendment of this chapter shall be liable to the City for the reasonable costs of amending this chapter, including but not limited to the cost of publication of notice, and, unless waived by the Council, shall pay such cost at the office of the Clerk upon demand or shall pay such fee as the Council may prescribe by ordinance.

8. Additional Notices; Signs. Any person who requests a land use plan amendment or rezoning of property shall cause to be erected at all of the street frontages of the property a notification sign, stating a notification message as prescribed by City staff, and intended to inform the public of the proposed change and the time and place of the hearing on said change. Notification signage will be black letters on a white sign board and will be installed in accordance with the following minimum stand:

Speed Limit	Lettering	Number of Signs on Each Street Frontage	Minimum Size
20-35 MPH	3 inches	One per 300'	2' x 2'
36 MPH & greater	6 inches	One per 1,000'	4' x 8'

Such signs shall be erected no less than seven days before the hearing before the Plan and Zoning Commission and shall remain in place until the final hearing before the City Council. It shall be the responsibility of the property owner to ensure that the signs are erected and maintained to be visible from the street rights-of-way in accordance with the provisions of this section. The failure on the part of the property owner to erect and maintain the signs may be considered by the Commission and Council, along with all other facts and circumstances, in determining whether the request for rezoning shall be granted. The property owner shall remove the signage within seven days of the date of the final action on the rezoning or land use plan amendment by the City Council. Any person who removes a sign erected by the property owner, without the property owner's consent, shall be guilty of a misdemeanor.

165.45 VIOLATION. Each day a violation of this chapter continues shall be considered a separate offense. The owner or tenant of any building, structure, premises, or part thereof, and any architect, builder, contractor, agent, or other person who commits, participates in, assists in, or maintains such violation may each be found guilty of a separate offense and suffer the penalties provided in this section. Nothing in this section shall prevent the City from taking any other lawful action as is necessary to prevent or remedy any violation.

Rezoning Exhibit - Hale Trailer Property

Huxley, Iowa

Owner / Developer
Janestar of Iowa, LLC
551 Cooper Road
West Berlin, NJ 08091

Comprehensive Land Use
Highway Commercial

Zoning
Current: A-1
Proposed: C-2

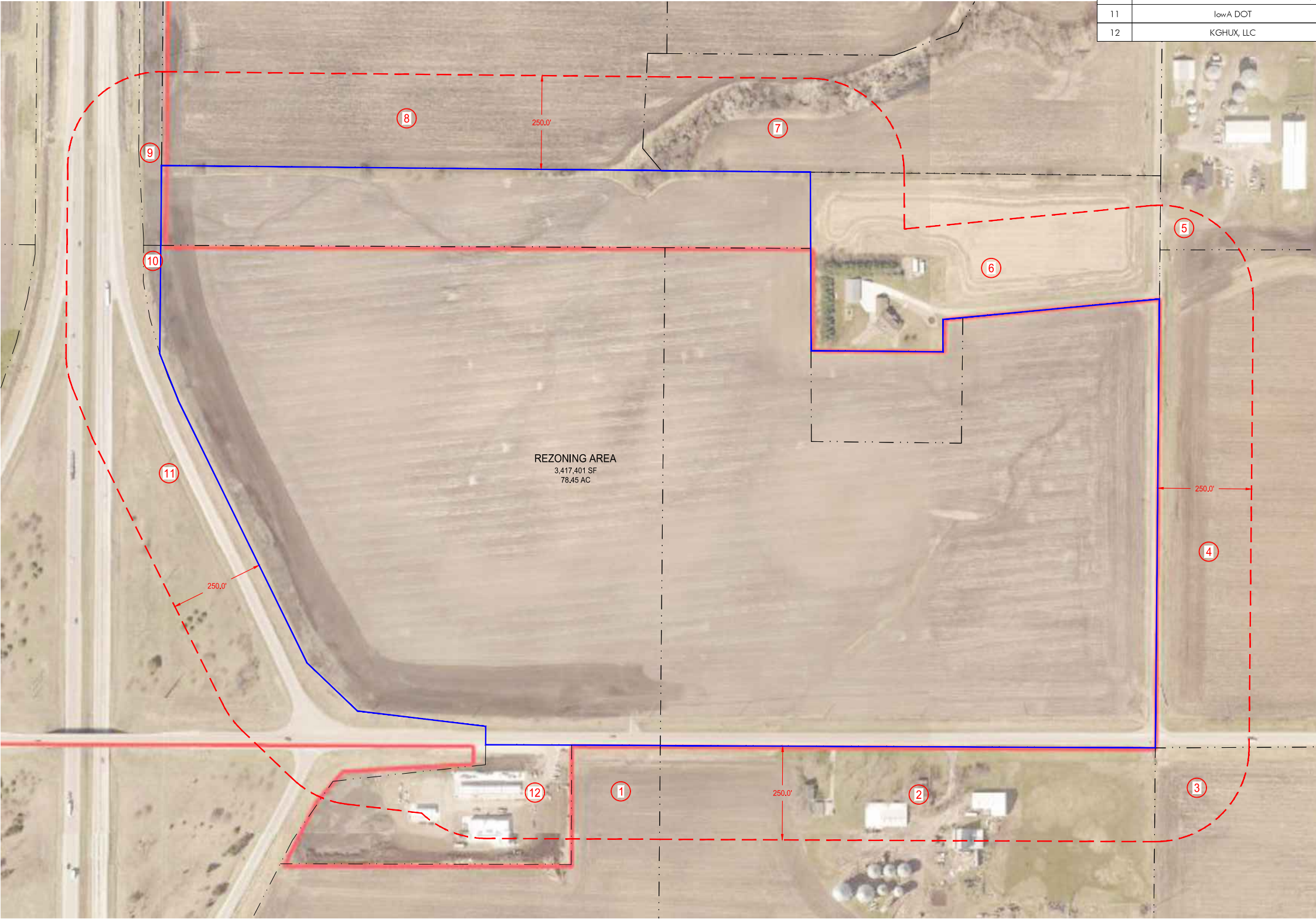
LEGAL DESCRIPTION (FROM DEED 2021-04932)

PARCEL "K" A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND

THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL "J" A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

SURROUNDING PROPERTY TABLE (250' BUFFER)

Parcel Number	Name of Property Owner	Mailing Address
1	LEONA LARSON	56800 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
2	LEONA LARSON	56800 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
3	LEONARD & JACQUELINE LARSON	56892 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
4	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
5	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
6	JAMIE & KRISTYN NOBLING	32771 570TH STREET CAMBRIDGE, IA 50046-8501
7	DAVID & DENISE ACCOLA	32587 570TH STREET CAMBRIDGE, IA 80046-8588
8	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
9	BAYER RESEARCH & DEVELOPMENT SERVICES, LLC	800 N LINDBERGH BLVD ST LOUIS, MO 63167
10	BAYER RESEARCH & DEVELOPMENT SERVICES, LLC	800 N LINDBERGH BLVD ST LOUIS, MO 63167
11	Iowa DOT	
12	KGHUX, LLC	1459 GRAND AVENUE DES MOINES, IA 50309




McCLURE™
making *lives* better

1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

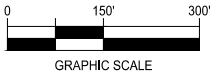
NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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REZONING
EXHIBIT



NORTH



HUXLEY, IOWA

JUNE 8, 2021

REVISIONS

- .
- .
- .
- .

ENGINEER
C SMITH

DRAWN BY
C SMITH

CHECKED BY

FIELD BOOK NO.

DRAWING NO.

SHEET NO.

EX-01

01 / 02









ORDINANCE NO. 515

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY
OF HUXLEY, IOWA, BY REZONING PROPERTY OWNED BY
JANESTAR OF IOWA LLC FROM A-1 (AGRICULTURAL) TO C-2
(GENERAL COMMERCIAL).**

WHEREAS, on the 21st day of June 2021, the Planning and Zoning Commission of the City of Huxley, Iowa, recommended to the City Council that the below described property be considered for rezoning from A-1 (Agricultural) to C-2 (General Commercial); and

WHEREAS, on the 13th day of July 2021, after due notice and hearing as provided by law, the City Council now deems it reasonable and appropriate to rezone said property.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE
CITY OF HUXLEY, IOWA:**

Section 1: That the Municipal Code of the City of Huxley, Iowa, be and it is hereby amended by rezoning from the present A-1 (Agricultural) to C-2 (General Commercial) for the following described real property:

A-1 ZONING –PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

-to-

C-2 ZONING- PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE

PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

Section 2: All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 3: This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND APPROVED this _____ day of _____, 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

Publication Date: _____

Record Of Vote of Ordinance No. 517

First Reading _____

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
Dave Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

Second Reading _____

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
Dave Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

Third Reading _____ (Date)

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
Dave Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

STATE OF IOWA
COUNTY OF STORY
CITY OF HUXLEY

SS:

I, the undersigned, City Clerk of the City of Huxley, Iowa, do hereby certify that the attached is a true, correct and complete copy of all the records of the City Council of the City relating to the adoption of an ordinance entitled "Ordinance No. 517. An Ordinance Amending Chapter 165 of the Huxley Municipal Code of Iowa.

WITNESS MY HAND this ____ day of _____, 2021.

Jolene Lettow, City Clerk



P.O. Box 5
515 North Main Avenue
Huxley, Iowa 50124

Phone 515/597-2552
Fax 515/597-2554

huxleylibrary@huxleyiowa.org
huxleyiowa.org/public-library

Library Report, July, 2021

- We ended the school year as it began, with strictly on-line check outs and delivery and pick-up at the school office. At this time, school administration has not decided how they want to proceed for the 2021-22 school year. Hopefully, students can return to visiting the library.
- June 9, we hosted author Pattie Stockdale in the library. She talked with a group of 20 guests about her book and writing.
- June 11 was the kick-off for the summer reading program. We hosted over 100 on the city hall lawn with painting, yard games, Kona Ice treats and picking up summer program information.
- June 14 was the official ribbon cutting, hosted by the Ames Chamber, at the Storywalk®. Over 50 people were in attendance. Two representatives from the State Library of Iowa were present. From a follow-up email from our Library District Consultant: "Your Storywalk® is surely a wonderful addition to your city, and yesterday's ceremony was a testament to the fine work you've done in "building community" at Huxley. School kids, families, local businesses, police, public works, parks & rec, and city admin all came together alongside the library to accomplish the installation of your new Storywalk®. Impressive!!"
- Our summer reading program is back! At this writing we have completed 2 full weeks. Counting both children and adults, week one 329 attendees, and week two, 327. We serve public library patrons as well as The Whistle Stop, Lily Pad, and Tender Years.
- Our reading program for adults is a passive program with an opportunity to enter a drawing for local gift certificates. We are also hosting a book club discussion at Fenceline in June, July, and August. The first meeting in June was well attended by both library patrons and Fenceline customers. A successful partnership!
- As of June 28, we've issued 35 new library cards. This is 4 times the monthly average, so we are indeed back and in the public eye!
- We continue to offer curbside service for delivery of materials.

Cathy Van Maanen
Director of Library Services



Huxley Fire and Rescue

104 Railway
Huxley, Iowa 50124

June 2021 Report Huxley Fire Rescue

Promote Trust, Service Before Self, Positive Solutions

-In 2021 Huxley Fire & Rescue has responded to 244 calls for service, 42 of those were in the month of June

-Huxley EMS First Responders were dispatched to 31 calls in June.

-Huxley Ambulance #731 responded to 11 calls in June

-Huxley Fire responded to 8 calls in June

-Burn Permit; 203 Campus Drive West, 6/1/2021

-Mutual Aid (included in totals above)

-EMS First Responder & Fire calls to Kelley

-EMS/Medical Assist, 39644 US Hwy 69, Ames 6/3/2021

-EMS/Medical Assist, 6100 W. Lincoln Way # 40, 6/8/2021

-EMS/Medical Assist, 1020 Giddings St. 6/9/2021

-EMS/Medical Assist, 5508 Lincoln Hwy, 6/18/2021

-EMS calls to Slater

-EMS/Medical Assist, NW 142nd Ave. & NW 144th, (Polk County) 6/4/2021

-EMS/Medical Assist, 701 Linn St. 6B, 6/4/2021

-EMS/Medical Assist, 106 10th St. 6/4/2021

-EMS/Medical Assist, 704 4th Ave. 6/9/2021 (No Slater Responders)

-EMS/Medical Assist 406 Willow St. 6/23/2021

-EMS/Ambulance calls to Ames

-EMS/Ambulance, 1407 University Ave. Ames, 6/3/2021

-EMS/Ambulance, 534 South Duff Ave. Ames. 6/3/2021

-EMS/Ambulance, 2300 Oakwood Road, 6/30/2021

Fire Call to Boone County/Madrid

-Fire, Other (Field Fire) Hwy 210 & U Ave. 6/12/2021 (No Madrid Responders)

Monthly Event/activities

Activity/Training Start Actual Date	Activity/Training Event Name	Activity/Training Total Hours	Activity/Training Attendee Count
06/01/2021	Business Meeting June 2021		11
06/01/2021	Cabinet Meeting		1
06/03/2021	Training: Firefighter I, Basic Firefighter Skills Training	3	2
06/05/2021	Event: Fireworks Safety Class, Other Public Fire & Safety Education Activities	2	8
06/06/2021	Event: Outreach Meeting	1	3
06/06/2021	Event; Officer, Fire Department Meeting	1	5
06/07/2021	Event Cabinet Meeting		1
06/08/2021	Event; 206 to Harrison's Truck Center, Vehicle Checks or Maintenance	0	2
06/08/2021	Event; City council Meeting	1	1
06/09/2021	Fire Fighter 1	0	1
06/11/2021	Event; Meeting with City Administrator	1	2
06/12/2021	Event; Parade Activities, Cambridge Firemen's Days	0	3
06/14/2021	Training; Fire Fighter 1; Fire Dynamics	3	2
06/15/2021	Event; Pick up 206, Maintenance Activities - Other	1	2
06/15/2021	Event; Interview Tricia Mills Robert, Fire Department Meeting	1	10
06/15/2021	Training: Pump Operations, Driver Training	2	11
06/16/2021	Training; Fire Fighter 1, Extinguishers, PPE	3	2
06/17/2021	Event: Party in the Park, car show, Public Fire Education	2	5
06/21/2021	Event; Department Head Cabinet Meeting	2	2
06/21/2021	Training; Fire Fighter 1-Ropes and Ground Ladders	4	2
06/22/2021	Event: City Council Meeting	1	1
06/22/2021	Training: ALS for the BLS Provider EMS Continuing Education Hours	2	12
06/23/2021	Training: Fire Fighter, Forcible Entry	0	1
06/28/2021	Event; Meeting with Mary Greeley	1	2
06/28/2021	Event; Department Head Cabinet Meeting	2	1
06/28/2021	Training; Fire Fighter 1 Search & Rescue	4	1
06/29/2021	Event; Meeting with Kelley/Westory	1	2
06/29/2021	Event; Interview with Travis Wellbeck	0	6
06/30/2021	Training; Fire Fighter 1, Tactical Ventilation	4	1

Report Filters

Activity/Training Start Actual Date: is between '6/1/2021' and '6/30/2021'



Huxley Fire and Rescue

104 Railway
Huxley, Iowa 50124

Regionalization Strategy

Regionalization was a goal set forth by Huxley City Council. The direction Huxley Fire & Rescue is taking toward this objective is; **Lead Discussions, Build Partnerships and Reduce Costs.** Meetings have included Cambridge Fire & Rescue, Kelley Fire Department, Mary Greeley Medical Center, Slater Emergency Medical Services and Slater Fire Department.

Kelley Fire Department has indicated an interest in sharing Emergency Medical Services (EMS) after phasing out their First Responder program. The current offer to the Kelley/Westory Fire Agency is: Huxley Fire & Rescue would provide EMS transport/Ambulance service, as well as EMS First Responders to cover a portion of the Kelley fire protection area. The only cost to Kelley would be to individual patients who are billed after being transported by Huxley Ambulance #731. This is the current arrangement with Slater. Huxley First Responders and Ambulance, when in service, are dispatched to Slater. Training is delivered by Huxley EMS providers once a month and Continuing Education Hours are awarded. All Story County EMS providers, regardless of department or certification level, are invited to attend.

Fire Protection sharing/regionalization is primarily carried out with "Four Town Training." Those towns being; Cambridge, Kelley, Slater and Huxley. The training is typically held the first Sunday of each month. Every town in Story County has signed a 28E Mutual Aid agreement, and Huxley and Slater Fire currently share Automatic Mutual Aid. Previous meetings with the **Four Towns** found interest in Training, and Leveraged Purchasing.

Huxley Fire & Rescue will continue to **Lead Discussions and Build Partnerships with the intention of reducing taxpayer burden.**

Calls For Service by Nature Code

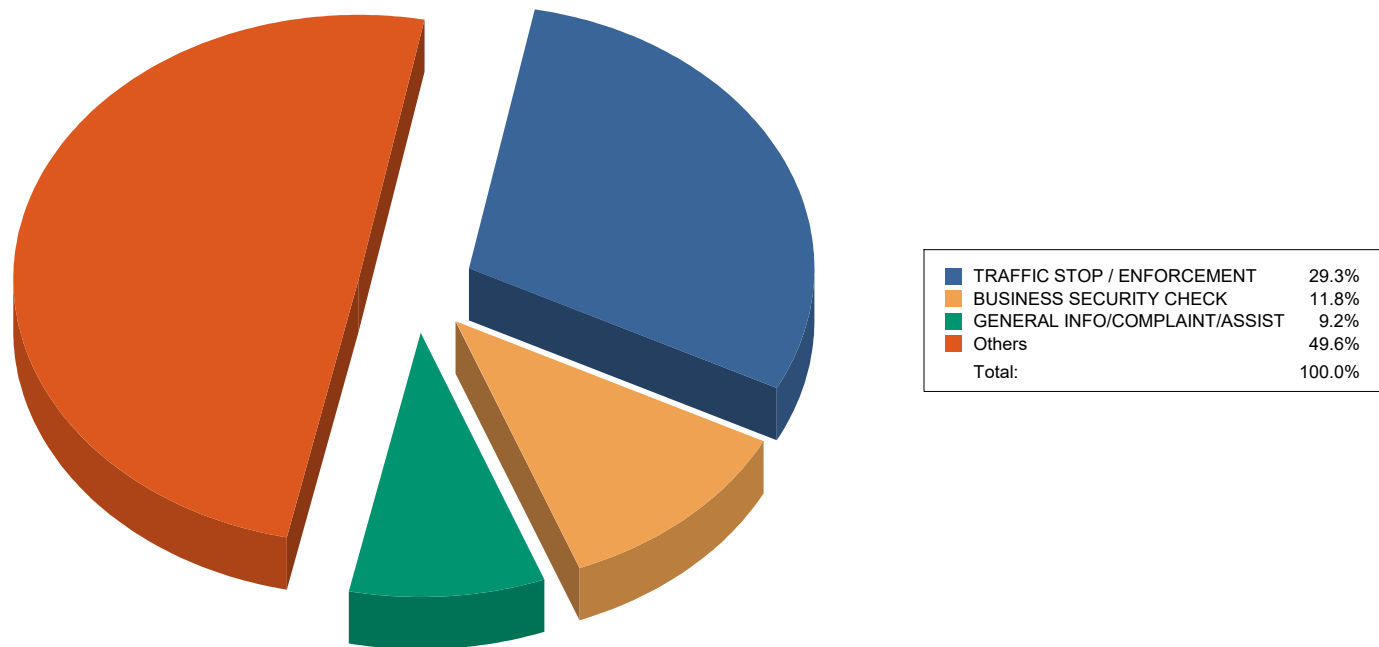
Huxley Police
6/01/21 to 6/30/21

911 HANG UP / INCOMPLETE CALL	Number of CFS:	1	Percentage of Total:	0.18%
ANIMAL CALL	Number of CFS:	16	Percentage of Total:	2.90%
ATTEMPT SUICIDE / SUICIDE	Number of CFS:	2	Percentage of Total:	0.36%
BURGLARY / ATTEMPTED BURGLARY	Number of CFS:	1	Percentage of Total:	0.18%
BUSINESS SECURITY CHECK	Number of CFS:	65	Percentage of Total:	11.78%
CHILD WELFARE CHECK	Number of CFS:	4	Percentage of Total:	0.72%
CITIZEN CONTACT	Number of CFS:	1	Percentage of Total:	0.18%
CITY CODE ENFORCEMENT	Number of CFS:	37	Percentage of Total:	6.70%
CIVIL MATTER	Number of CFS:	4	Percentage of Total:	0.72%
DISTURBANCE & NOISE PARTY	Number of CFS:	1	Percentage of Total:	0.18%
DOMESTIC DISPUTE	Number of CFS:	5	Percentage of Total:	0.91%
EQUIPMENT/SIGN MALFUNCTION	Number of CFS:	2	Percentage of Total:	0.36%
EXTRA PATROL	Number of CFS:	2	Percentage of Total:	0.36%
FIGHT IN PROGRESS	Number of CFS:	1	Percentage of Total:	0.18%
FINGER PRINTING	Number of CFS:	12	Percentage of Total:	2.17%
FIRE ALARM	Number of CFS:	4	Percentage of Total:	0.72%
FIRE OTHER	Number of CFS:	2	Percentage of Total:	0.36%
FIREWORKS COMPLAINT	Number of CFS:	2	Percentage of Total:	0.36%
FOLLOW UP	Number of CFS:	17	Percentage of Total:	3.08%
GENERAL ALARM BANK / RESIDENTI	Number of CFS:	2	Percentage of Total:	0.36%
GENERAL ASSAULT	Number of CFS:	2	Percentage of Total:	0.36%
GENERAL INFO/COMPLAINT/ASSIST	Number of CFS:	51	Percentage of Total:	9.24%
HARASSMENT	Number of CFS:	4	Percentage of Total:	0.72%
JUVENILE TROUBLE	Number of CFS:	3	Percentage of Total:	0.54%
LAW DEPARTMENT ASSIST	Number of CFS:	4	Percentage of Total:	0.72%
LITTERING	Number of CFS:	1	Percentage of Total:	0.18%
LOST OR FOUND PROPERTY	Number of CFS:	5	Percentage of Total:	0.91%
MEDICAL ASSIST/AMBULANCE CALL	Number of CFS:	19	Percentage of Total:	3.44%
MISSING PERSON / RUNAWAY	Number of CFS:	1	Percentage of Total:	0.18%
MOTOR VEH CRASH / INJURY	Number of CFS:	2	Percentage of Total:	0.36%
MOTOR VEH CRASH/PROP DAMAGE	Number of CFS:	5	Percentage of Total:	0.91%
MOTORIST ASSISTANCE	Number of CFS:	13	Percentage of Total:	2.36%
OPEN DOOR	Number of CFS:	1	Percentage of Total:	0.18%
OPERATING WHILE INTOXICATED	Number of CFS:	1	Percentage of Total:	0.18%
OUTREACH	Number of CFS:	5	Percentage of Total:	0.91%
PARKING ENFORCEMENT/COMPLAINT	Number of CFS:	8	Percentage of Total:	1.45%
RECKLESS DRIVER	Number of CFS:	19	Percentage of Total:	3.44%

SALVAGE VEHICLE INSPECTION	Number of CFS:	20	Percentage of Total:	3.62%
SCAM	Number of CFS:	2	Percentage of Total:	0.36%
SUBJECT WITH WEAPON	Number of CFS:	1	Percentage of Total:	0.18%
SUSPICIOUS PERSON/VEH/ACTIVITY	Number of CFS:	10	Percentage of Total:	1.81%
THEFT / FRAUD / FORGERY	Number of CFS:	4	Percentage of Total:	0.72%
THEFT OF MOTOR VEHICLE	Number of CFS:	2	Percentage of Total:	0.36%
TRAFFIC HAZARD	Number of CFS:	6	Percentage of Total:	1.09%
TRAFFIC STOP / ENFORCEMENT	Number of CFS:	162	Percentage of Total:	29.35%
TRESPASS	Number of CFS:	1	Percentage of Total:	0.18%
TRUANCY	Number of CFS:	2	Percentage of Total:	0.36%
VANDALISM / CRIMINAL MISCHIEF	Number of CFS:	4	Percentage of Total:	0.72%
VEHICLE IN DITCH	Number of CFS:	2	Percentage of Total:	0.36%
VIOLATION OF NO CONTACT ORDER	Number of CFS:	1	Percentage of Total:	0.18%
WELFARE CHECK	Number of CFS:	10	Percentage of Total:	1.81%

Total CFS:	552
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Percentage of CFS by Nature Code



City of Huxley
Huxley Police Department
Report for June 2021

June 1st, 2021 11:36 AM

Officer stopped a vehicle for a traffic violation on Main near Water Street in Cambridge. The driver of the vehicle, a 30 year old Des Moines man, was suspended from driving by the DOT. He was cited and released with a court date for Driving While License Suspended.

June 1st, 2021 7:48 PM

Officer responded to a medical emergency at the 600 block of Sycamore in Cambridge. A Cambridge juvenile was life flighted to the hospital.

June 6th, 2021 7:07 PM

Officer responded to a fight in progress at the 3Cs. The altercation was the result of a disputed call made by a referee during a recreational league game. Victim declined charges. All participants were made to leave the facility and the game was ended by the officer.

June 6th, 2021 11:07 PM

Officer received a complaint about a lost wallet at the 600 block of Highway 69. Within the wallet was a bank card. Two attempts were made to use the bank card at both Casey's stores. Surveillance footage is being gathered in an attempt to identify the suspect.

June 7th, 2021 7:15 AM

Officer responded to a report of a violation of a no-contact order and criminal mischief at the 1500 block of Blue Sky Blvd. A Madrid woman was arrested for Violation of a No-Contact Order, Harassment 1st, Criminal Mischief, Possession of a Controlled Substance, Interference with Official Acts, and Possession of Drug Paraphernalia. She was transported to the Story County Jail in Nevada.

June 9th, 2021 3:13 AM

Officer received a complaint at a storage unit located at the 300 block of Railway of criminal mischief. A storage unit belonging to a Huxley resident had the lock broken and the unit entered. The victim determined that it was her brother who did the damage and declined charges as the two share the unit.

June 9th, 2021 9:54 PM

Officer was alerted to a possible intoxicated driver at the North Casey's. Contact was made with an Ames juvenile who was referred into Juvenile Court for Operating While Intoxicated. He was released to his mother.

June 11th, 2021 11:14 PM

Officer responded to a single vehicle accident on Highway 210 near Interstate 35. A vehicle driven by an Ames man struck an animal causing minimal damage.

June 12th, 2021 11:45 AM

Officer responded to a two vehicle accident on Highway 69 near Highway 210. No injuries after a vehicle rear ended another causing disabling damage to both involved vehicles.

June 15th, 2021 11:21 AM

Officer received a criminal mischief complaint at the 500 block of E 1st Street. A Huxley woman had found scratches on her vehicle. No suspects.

June 15th, 2021 1:53 PM

Officer responded to a domestic altercation between parents and their 14 year old son at the 600 block of Meadow Brook Place. All parties agreed they could cohabitate with no further issues after the officer was able to calm the situation.

June 16th, 2021 9:25 PM

Officer stopped a vehicle for a traffic violation on 560th near Blue Sky Blvd. The driver of the vehicle, a 32 year old Adel man, was arrested for OWI. He was transported to the Story County Jail in Nevada.

June 17th, 2021 9:11 PM

Officer received a complaint of possible animal neglect at the 500 block of E 1st Street. Contact was made with the owners and the conditions were investigated. The owners agreed to rehome the animals that evening.

June 20th, 2021 2:05 AM

Officer responded to a fight in progress at the 200 block of 9th Street in Cambridge. A minor altercation between a Cambridge man and an Urbandale man took place. Both parties declined charges and went their separate ways.

June 21st, 2021 8:35 AM

Officer responded to a Criminal Mischief complaint at the 100 block of River Street in Cambridge. The reporting party noticed a large scratch on the right front quarter to his vehicle. This could have taken place at any time during the last month as the vehicle had not been moved in that amount of time.

June 22nd, 2021 7:26 PM

Officer stopped a vehicle for a traffic violation on Highway 210 near 560th Ave. The driver of the vehicle, a 60 year old Ames woman, was arrested for OWI. She was transported to the Story County Jail in Nevada.

June 23rd, 2021 10:12 AM

Officer received a forgery complaint at the 100 block of Iron Drive. Two fraudulent credit card charges were made in the Coralville area. Address and email used for transaction was gathered and the investigation is ongoing.

June 23rd, 2021 5:28 PM

Officer stopped a vehicle on E 1st Street for a traffic violation. The driver of the vehicle, a 59 year old Huxley man, was arrested for OWI. He was transported to the Story County Jail in Nevada.

June 25th, 2021 10:17 AM

Officer responded to an unattended death at the 200 block of Sycamore Blvd. No foul play suspected.

June 27th, 2021 1:34 AM

Officer received a report of a runaway juvenile at the 100 block of Oak Blvd. The juvenile was located later that morning at the 200 block of Oak and returned to her mother.

June 28th, 2021 8:55 PM

Officer responded to a domestic altercation at the 400 block of E 3rd Street. The victim, a Huxley man, declined charges for simple domestic assault. His girlfriend elected to stay at her own residence in the Des Moines area.

June 29th, 2021 12:02 PM

Officer responded to the 600 block of Meadow Circle for an unattended death. Under investigation.

June 29th, 2021 4:59 PM

Officer received a theft complaint at the 100 block of Water Street. A home made two-axle trailer was taken from the property some time during the day.

June 30th, 2021 8:16 AM

Officer stopped a vehicle for a traffic violation on Highway 210 near 560th. The driver of the vehicle, a 23 year old Des Moines man, was suspended from driving by the DOT. He was cited and released with a court date for Driving While License Suspended.

Gerry Stoll

Chief of Police

