



CITY COUNCIL MEETING NOTICE
TUESDAY JUNE 22, 2021 6:00 P.M.

CITY COUNCIL CHAMBERS

AGENDA

- 1. ROLL CALL**
- 2. APPROVE AGENDA AS PRESENTED AND/OR AMENDED**
- 3. PRESENTATION/RECOGNITION**
- 4. PUBLIC COMMENT (5 MINUTE TIME LIMIT FOR ITEMS NOT ON THIS AGENDA)**
- 5. PUBLIC HEARINGS**
 - a) Public Hearing on FY 2021 Budget Amendment
 - b) Public Hearing on Proposed Amendment to the Huxley Urban Renewal Area
 - c) Public Hearing on Proposed Amended Development Agreement with SP Enterprises, LLC d/b/a/ Innovative Technologies
- 6. CONSENT AGENDA – *These are routine business items and will be acted upon by one Roll Call Vote without separate discussion unless a Councilmember or citizen requests an item to be removed or considered separately.***
 - a) Approve Minutes from the June 8, 2021 Regular Meeting
 - b) Approve Payment of Bills
 - c) Approve Resolution No. 21-054 Set Hearing for Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial for July 13, 2021 at 6:00PM
 - d) Motion to Approve Amended Procurement Policy
 - e) Third Reading of Ordinance No. 515 to Increase Water Rates for Water Treatment Plant Expansion and Authorize Mayor to Execute
 - f) Third Reading of Revised Water Conservation Ordinance No. 516 And Authorize Mayor to Execute
 - g) Approve Resolution No. 21-055 Amending the Fiscal Year 2021 Annual Budget
 - h) Approve Resolution No. 21-056 Urban Renewal Plan Amendment for the Huxley Urban Renewal Area
 - i) Approve Resolution No. 21-057 Approving Amended Development Agreement with SP Enterprises, LLC d/b/a/ Innovative Technologies, Authorizing Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement
 - j) Approve Resolution No. 21-058 Directing the City Clerk to File a Property Tax Lien for Collection of Delinquent Court Costs
 - k) Approve Resolution No. 21-059 Setting Salaries for Fiscal Year 2022 for Appointed Officers and Employees of the City of Huxley, Iowa
- 7. BUSINESS ITEMS**
 - a) Approve Resolution No. 21-060 Scooter’s Coffee Site Plan
 - b) Approve Resolution No. 21-061 Ballard Plaza Plat 2 Private Improvements
 - c) Approve Resolution No. 21-062 Ballard Plaza Plat 2 Final Plat
 - d) Approve Resolution No. 21-063 Blue Sky Estates Preliminary Plat**
 - e) Approve Resolution No. 21-064 Blue Sky Commons Plat 2 Final Plat

8. INFORMATIONAL ITEMS

- a) Construction Site Erosion Control and Sediment Control Ordinance
- b) Update on Timeline for Sidewalk Infill Program Scenarios for Financing and Community Engagement
- c) Update on Water Treatment Plant Expansion Project

7. CITY ADMINISTRATOR AND DIRECTOR REPORTS

8. MAYOR AND COUNCIL REPORTS

9. ADJOURNMENT

UPCOMING WORK SESSION TOPICS/REGULAR AGENDA ITEMS

Financing Scenarios and Public Input Process for Proposed Sidewalk Infill Program (Council 20-21
Goal Setting) August 3 Worksession
FY 2022 and Long-Range Capital Improvement Plan July 6th Worksession
Development Agreements and Tax Increment (Council 20-21 Goal Setting)
Final Report 2020 Derecho
City Attorney Overview of Recent Xenia/City of Johnston Decision
Economic Development Incentives-Priority Corridors and Programs
Sanitary Sewer Service Area Study/Annexation
Other Topics of Interest to Mayor and Council

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Council agendas are available to the public at the City Clerk's Office on Monday morning preceding Tuesday's council meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

HUXLEY CITY COUNCIL MEETING MINUTES

Tuesday, June 8, 2021

These minutes are as recorded by the City Clerk and are subject to City Council approval at the next regular council meeting.

COUNCIL MEETING: The Huxley City Council held a meeting on the above date pursuant to rules of the council, notice posted at City Hall and onto website. Mayor Deaton called the meeting to order at 6:00 pm.

ROLL CALL: Easter, Peterson, Kuhn; Roberts in at 6:09 pm; absent - Mulder

AGENDA APPROVAL: Motion by Kuhn, second by Peterson to approve agenda as presented. Roll Call: Easter, Peterson, Kuhn, voted yes. Motion carried.

CITY STAFF PRESENT: Rita Conner – City Administrator, Jolene Lettow – City Clerk, Cathy Van Maanen – Library Director, Gerry Stoll – Police Chief, Jeff Peterson – Public Works Director; Todd Moomaw – Fire Chief, AJ Strumpf – Wastewater Superintendent

CONSULTANTS PRESENT: Forrest Aldrich– city engineer

RECOGNITION: Mayor commended A.J. Strumpf, Wastewater Superintendent, on passing the test and receiving his Grade III Wastewater Certification.

CONSENT AGENDA:

Motion by Kuhn, second by Peterson to approve Consent Agenda as listed below with *Item f* to be pulled from Consent Agenda for separate discussion.

- a. Approve Minutes from the May 25, 2021 Regular Meeting and June 1, 2021 Worksession
- b. Approve Payment of Bills and Treasurer’s Report
- c. Approve Resolution No. 21-052 Set Hearing for FY 2021 Budget Amendment for June 22, 2021
- d. Motion to Approve Cigarette Permits for Fareway and Dollar General
- e. Motion to Approve Chicken Permit for Lindsay and Brian Bates 604 Hickory Drive
- f. *Motion to Approve Purchase of Diesel Mower (FY 2021 CIP) – pulled for separate discussion*
- g. Motion to Approve Wastewater Plant UV Equipment Purchase (FY 2021 CIP)
- h. Second Reading of Ordinance No. 515 to Increase Water Rates for Water Treatment Plant Expansion
- i. Second Reading of Revised Water Conservation Ordinance No. 516
- j. Approve Resolution No. 21-053 Appointment of Police Chief Gerry Stoll and Huxley Fire Rescue Chief Todd Moomaw as Voting Member and Alternate Member, Respectively, to the Story County 911 service Board
- k. Motion to Approve Work to Repair Concession Stand Doors in Centennial Park

Roll Call Items a, b, c, d, e, g, h, i, j, k: Peterson, Easter, Kuhn voted yes. Motion carried.

Claims:

ACCUJET LLC	VAC OUT LIFT STATIONS & CLEAN	1,601.33
ACTIVE911, INC.	ANNUAL SUBSCRIPTION	390.00
ALLIANT ENERGY	GAS & ELECTRIC	9,741.75
AUTOMATIC SYSTEMS CO.	DIAGNOSE ISSUE W/ BLOWER	242.50
BACKFLOW SOLUTIONS, INC.	BSI ANNUAL FEE	495.00
BAKER & TAYLOR ENTERTAINME	BOOKS	155.90
BELLA HOMES	BUILDING PERMIT DEPOSIT REFUND	1,000.00
BRICK GENTRY P.C.	LEGAL FEES	2,575.00
CAROLYN MAI	HOBBY LOBBY REIMBURSEMENT	3.98
CATHY VANMAANEN	LOWES REIMBURSEMENT	10.27
CENTRAL IOWA DISTRIBUTING	DISPENSER & CANISTERS	103.50
CMI INC.	CMI INC.	0.00
COCKERHAM CONCRETE	115 CEDAR WATER MAIN REPAIR	2,838.00
COMPUTER RESOURCE SPECIALI	SERVER	141.20
CONFERENCE TECHNOLOGIES, I	CITY COUNCIL AUDIO SYSTEM	27,018.58
CONTINENTAL CHEMICAL INC.	CONTINENTAL CHEMICAL INC.	0.00
CONTINENTAL MANUFACTURING	CONTINENTAL MANUFACTURING CHEM	25,330.84
COUNTRY LANDSCAPES INC.	TREE SALE	1,391.00
CUSTOM STEEL SERVICE	STEEL TO REBUILD TRAILER GATE	229.59
DEPARTMENT OF THE TREASURY	PCORI FEE	48.26

DICKSON & LUANN JENSEN
EDWARD JONES
FAREWAY STORES, INC.
GARBAGE GUYS
GENERAL INSURANCE AGENCY
HAWKINS, INC.
HOKEL MACHINE SUPPLY
INTERNAL REVENUE SERVICE
IOWA AMERICAN RESCUE
IOWA DOT
IOWA LAW ENFORCEMENT ACADE
IOWA ONE CALL
IOWA TOTAL CARE OF IOWA
IPERS
JERICO SERVICES INC
KADING PROPERTIES
KEMPKER'S TRUE VALUE AND R
KILLIAN'S CUSTOM METAL ROO
MARTIN MARIETTA MATERIALS
MASS MUTUAL RETIREMENT SER
MEADOW LANE INVESTMENTS, L
MEGAN BRENDELAND
MENARDS
MISCELLANEOUS VENDOR
MR. STORAGE, LLC
OTIS ELEVATOR COMPANY
PCC AN AMBULANCE BILLING S
PREMIER
REESE ELECTRIC
SOUTH STORY BANK & TRUST
STAPLES CREDIT PLAN
TASC - CLIENT INVOICES
TREASURER, STATE OF IOWA
U.S. CELLULAR
USA BLUEBOOK
VEENSTRA & KIMM, INC.
VERIZON WIRELESS
VISIONBANK

DICKSON & LUANN JENSEN 4,109.68
IRA 125.00
FAREWAY STORES, INC. 13,255.84
FIRE DEPT TRASH PICKUP 38.00
GEN LIABILITY, PROPERTY, AUTO 113,473.00
WATER TREATMENT CHEMICALS 2,211.15
WELDING WIRE 52.15
FED WITHHOLDING TAX 13,708.10
FORCIBLE ENTRY DOOR PROP 2,500.00
TOILET BRUSH 11.30
MMPI - ROUDEBUSH 150.00
EMAIL LOCATES 120.60
AMBULANCE PAYMENT IN ERROR 13.72
IPERS 8,586.51
DUST SUPPRESSION 1,069.50
KADING PROPERTIES 14,601.64
SEE ATTACHED 623.47
DUGOUT REPOURS 327.45
ROAD STONE 885.33
DEFERRED COMPENSATION 125.00
MEADOW LANE INVESTMENTS, LLC 39,485.07
CERTIFIED MAIL REIMBURSEMENT 7.00
LUMBER FOR STORM REPAIR 430.25
MEYER, AMY :US REFUND 357.24
MR. STORAGE, LLC 11,745.49
MAINT AGREEMENT 6/1-8/31/21 232.68
APRIL AMBULANCE BILLING 379.64
LIBRARY PRINTER CONTRACT 27.50
REBUILD BLOWER #2 MOTOR 2,276.25
SOUTH STORY BANK & TRUST 25,583.78
OFFICE SUPPLIES 227.92
JULY FLEX PLAN ADMIN FEES 69.82
STATE WITHHOLDING 2,256.00
AMBULANCE CELL PHONES 89.44
CREDIT 143.13
ATI GROUP PRELIM PLAT 62,279.48
PD CELL PHONES & MDTs 201.56
VISIONBANK 5,305.38

	<u>Expenses</u>	<u>Revenues</u>
001 General Fund	164,541.59	12,269.67
002 Library	3,454.53	366.00
003 Recreation	2,083.50	2,533.70
004 Fire and Rescue	3,574.66	
014 Ambulance	1,500.47	
110 Street	8,168.93	
125 TIF	126,161.88	
325 E. 1 st Street Construction	3,945.72	
345 Water Plant Expansion	54,276.26	
398 DeRecho Storm	747.21	
600 Water	9,809.08	24,688.59
610 Sewer	8,882.10	<u>26,524.73</u>
Payroll	<u>60,618.69</u>	
Grand Total	\$447,764.62	\$68,907.69

Item f from Consent Agenda: Motion by Easter, second by Peterson to Approve Purchase of Diesel Mower. Councilman Kuhn asked if mowing less visible areas in town could be outsourced to save costs and staff time. Staff explained that hiring summer help is less expensive than outsourcing. Roll Call: Peterson, Easter, Roberts voted yes; Kuhn voted no. Motion carried.

ADJOURNMENT: Motion - Easter, second – Peterson to adjourn meeting at 7:12pm. 4 ayes, 0 nays. Motion carried.

Submitted by: Jolene R. Lettow, City Clerk

6-22-21 Council Claims

	A	B	C
1	VENDOR NAME	DESCRIPTION	GROSS AMOUNT
2	ACCUJET LLC	JET VAC AND CAMERA	\$ 727.88
3	ANKENY SANITATION	CITY TRASH PICKUP	\$ 195.58
4	ARNOLD MOTOR SUPPLY	HEAD LAMP, CAR SOAP, CAN 134A	\$ 44.56
5	AUSTIN SHOEN	BASKETBALL LEAGUE SCOREKEEPER	\$ 48.00
6	AUSTIN STRUMPFER	TESTING FEE REIMBURSEMENT	\$ 30.00
7	BAKER & TAYLOR ENTERTAINMENT	BOOKS	\$ 581.99
8	BOUND TREE MEDICAL	MED SUPPLIES & SUCTION UNIT	\$ 1,073.66
9	BUD'S AUTO REPAIR INC	PD VEHICLE MAINTENANCE	\$ 504.70
10	CAROLYN MAI	REIMBURSEMENTS	\$ 27.60
11	CITY SEWER SOLUTIONS	CUT OBJECT OUT OF PIPE HWY 69	\$ 750.00
12	CLINTON H. THOMPSON	BASKETBALL LEAGUE OFFICIAL	\$ 640.00
13	COMPASS MINERALS AMERICA	COARSE ROCK SALT	\$ 3,775.31
14	CONCRETE TECHNOLOGIES	PAY EST. 6 AND 7-560TH PAVING	\$ 131,890.11
15	CONSUMERS ENERGY	GAS & ELECTRIC	\$ 9,772.00
16	CUSTOM STEEL SERVICE, INC.	CHANNEL FOR BLOWER MOTOR	\$ 216.68
17	DACIA BUSS	MEN'S BASKETBALL OFFICIAL	\$ 75.00
18	DEREK DOEBEL	CAR SHOW TROPHIES	\$ 250.00
19	DOLLAR GENERAL-REGIONS 410	PAPER PLATES	\$ 24.33
20	DOUG CALHOUN	PARTY IN THE PARK PERFORMER	\$ 300.00
21	EDEN HART	BASKETBALL LEAGUE SCOREKEEPER	\$ 156.00
22	FAIRWAY STORES, INC.	FY21 TIF PAYMENT - 2ND HALF	\$ 13,255.84
23	FJELLAND, MATT	YOUTH TENNIS INSTRUCTOR	\$ 1,902.80
24	GALLS, LLC- DBA CARPENTER	UNIFORM PARTS-ROUDEBUSH	\$ 563.15
25	HACH COMPANY	PH GEL PROBE & CHEMICALS	\$ 1,271.10
26	HEARTLAND CO-OP	ROUND-UP & GROUND STERLENT	\$ 119.50
27	HT PLUMBING, INC.	NORD KALSEM BATHROOM REPAIR	\$ 256.50
28	HUXLEY COMMUNICATIONS COOP	PHONE, CABLE, INTERNET	\$ 1,525.96
29	INTERNAL REVENUE SERVICE	PAYROLL TAXES	\$ 13,727.35
30	IOWA DEPARTMENT OF PUBLIC	NCIC APRIL - JUNE 2021	\$ 300.00
31	IOWA DOT	FLAGS, GLASSES, GLOVES, VEST	\$ 489.41
32	IOWA LEAGUE OF CITIES	7/1/21-6/30/22 MEMBER DUES	\$ 2,004.00
33	JACKSON BROWN	BASKETBALL LEAGUE SCOREKEEPER	\$ 72.00
34	KATIE BOLLIG	BASKETBALL LEAGUE SCOREKEEPER	\$ 48.00
35	KERMIT MISKELL & SONS LTD	BLADE PINS, BLADES, CLIPS	\$ 124.20
36	KERRI BYL	BERHOW PARK CANCELLATION	\$ 45.00
37	KEY ELEMENTS CONSULTING	ANKENY ANNUAL WATER WORKSHOP	\$ 150.00
38	KONA ICE OF CENTRAL IOWA	LIBRARY SUMMER KICK-OFF	\$ 246.00
39	LIBERTY READY MIX	M4 CONCRETE	\$ 890.50
40	LIGHT RING, INC.	MANHOLE LIGHT RING & TAILWHIP	\$ 2,399.00
41	LOWE'S	FITTINGS, FERNCO, PIPE	\$ 67.39
42	MARCO, INC.	B/W & COLOR COPIES	\$ 532.46
43	MCFARLAND CLINIC	1ST QRT MEDICAL DIRECTORSHIP	\$ 400.00
44	MUNICIPAL SUPPLY	MARKING PAINT, FLAGS, CLAMP,	\$ 520.75
45	NEW CENTURY FS INC	UNLEADED & DIESEL FUEL	\$ 4,240.66
46	OUTDOOR ENVISIONS	GOLD MULCH	\$ 88.20

6-22-21 Council Claims

	A	B	C
47	PCC BILLING	JAN & FEB AMBULANCE BILLING	\$ 899.09
48	PREI, INC.	BUILDING PERMIT DEPOSIT REFUNDS	\$ 2,000.00
49	PREMIER	LIBRARY COPIER MAINT AGREEMENT	\$ 23.23
50	RACOM	RADIO MAINTENANCE SUPPORT	\$ 2,705.04
51	RISER INCORPORATED	BASKETBALL HOOP REPAIR	\$ 730.00
52	SAFE BUILDING COMPLIANCE &	BUILDING INSPECTIONS	\$ 6,123.61
53	SAGE HOMES, INC.	BUILDING PERMIT DEPOSIT REFUND	\$ 1,000.00
54	SANDRY FIRE SUPPLY	SCBA TESTING & ATTACK HOSE	\$ 8,329.23
55	SATONIUS PARKER	BASKETBALL LEAGUE OFFICIAL	\$ 375.00
56	SKOLD DOOR & FLOOR COMPANY	SERVICE CURTAIN IN SAFE ROOM	\$ 710.00
57	STAPLES BUSINESS CREDIT	OFFICE SUPPLIES	\$ 444.58
58	SYNCB/AMAZON	BOOKS, PROGRAM SUPPLIES, DVDS	\$ 895.00
59	TASC	FLEX BENEFIT PLANS	\$ 577.05
60	TRANE U.S. INC.	STORM DAMAGE REPAIR	\$ 26,948.00
61	TRUCK CENTER COMPANIES	MAINTENANCE ON 206 & 506	\$ 7,642.53
62	VANDER KAMP HOMES	BUILDING PERMIT DEPOSIT REFUND	\$ 1,000.00
63	VERIZON WIRELESS	PUBLIC WORKS CELL PHONES	\$ 332.16
64	WINDSTREAM IOWA COMMUNICAT	SCD DISPATCH PHONE	\$ 80.28
65	Payroll Expense		\$ 63,295.09
66	GRAND TOTAL		\$ 320,433.06
67			
68		FUND TOTALS	
69	001 GENERAL FUND	\$ 24,709.80	
70	002 LIBRARY	\$ 2,824.14	
71	003 RECREATION	\$ 5,790.77	
72	004 FIRE AND RESCUE	\$ 19,454.18	
73	014 AMBULANCE	\$ 2,833.07	
74	110 ROAD USE TAX	\$ 4,235.47	
75	125 TIF	\$ 13,255.84	
76	339 560TH AVENUE PAVING	\$ 131,890.11	
77	345 WATER PLANT EXPANSION	\$ 12.58	
78	398 DERECHO STORM	\$ 26,948.00	
79	600 WATER UTILITY	\$ 11,221.47	
80	610 SEWER UTILITY	\$ 13,962.54	
81	01 PAYROLL EXPENSE	\$ 63,295.09	
82	GRAND TOTAL	\$ 320,433.06	

RESOLUTION NO. 21-054

Resolution Setting the Date of Public Hearing for Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial for July 13, 2021 at 6:00PM

WHEREAS, Janestar of Iowa LLC has submitted application for the rezoning of approximately 78.45 acres of land at the Northeast Quadrant of Highway 210 and Interstate 35; and

WHEREAS, the City is required to conduct a public hearing on the proposed rezoning to allow for public comment; and

WHEREAS, Janestar of Iowa LLC submitted materials demonstrating the area proposed for rezoning from A-1 Agricultural to C-2 Highway Commercial and provided information on property owners within 200'; and

WHEREAS, the City Clerk shall publish the notice of hearing no less than ten (10) days and no more than twenty (20) days prior to the date of the hearing.

WHEREAS, information on the proposed rezoning will be made available for public review no less than ten (10) days and no more than twenty (20) days prior to the date of the hearing.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HUXLEY, IOWA, that the Huxley City Council sets the date of July 13, 2021 at 6:00 p.m. for the public hearing on the Proposed Rezoning and directs the City Clerk to prepare and publish notice of said hearing.

PASSED AND APPROVED this 22nd day of June 2021.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-054** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of May 2021

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

COUNCIL COMMUNICATION

AGENDA HEADING:

Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Janestar of Iowa, LLC (dba Hale Trailer Brake and Wheel Scott McBride, Director of Facilities, 1290 Mid Valley Drive Jessup, PA 18434,) has submitted a rezoning request for 78.45 acres (two lots =31.22 and 31.56 acres, respectively) of land located north of Highway 210 and east of I-35. A link to the subject properties is below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Janestar of Iowa, LLC has also acquired a 7.86 acre parcel directly to the north of the subject properties, which Story County shows as unincorporated. This parcel is not included in the rezoning. The remainder of the property is within the City of Huxley

The 2013 Comprehensive Plan shows the land east of I-35 as a combination of highway commercial, light and general/heavy industrial. The commercial and light industrial sections are shown along Highway 210. The C-2 zoning proposal allows for the business proposed on the site, a phased development of a trailer repair and storage facility. It will also provide the City the ability to work with the applicant on additional commercial development opportunities, as Janestar of Iowa LLC is planning for only 30 acres of the 78.45 to be utilized for the trailer business.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION: YES

- Janestar of Iowa LLC operates as Hale Trailer Brake and Wheel <https://haletrailer.com/>. The proposed site would be the 14th location for the company in the U.S.
- The company is proposing a phased approach to the development of the project, with initial operations including a temporary building and gravel surface lot. Examples of operations in other states have been provided for review of both the temporary building and conceptual future building.
- Staff discussion with the company on the rezoning has included the following topics:
 - Length of term for temporary building
 - Requirement for hard surface paving
 - Access from Highway 210 as an existing major street in the network and potential circulation plan for additional development
 - Future development of the additional acres, potential for additional taxable valuation and businesses for the community.

CITY ADMINISTRATOR COMMENTS: YES

COUNCIL COMMUNICATION

- The property proposed for rezoning is prime business real estate and a front door for the City. The image of the company's operations in Jacksonville is helpful to demonstrate the intent for future site development. Elements that staff has discussed with the company, as well as fencing/screening, landscaping, outside storage and other site plan requirements will be important at the site plan review stage.

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- Planning & Zoning Commission hearing and action on rezoning will be

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- City Council Public Hearing on the proposed rezoning July 13, 2021
- Site plan submittal for City review for the business development
- Work with Janestar of Iowa LLC on a master conceptual plan for the remaining acres

NOTICE OF PUBLIC HEARING OF THE CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY JANESTAR OF IOWA LLC FROM (A-1) AGRICULTURE TO (C-2) GENERAL COMMERCIAL CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

TO: ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

YOU ARE HEREBY NOTIFIED that the City Council is considering the rezoning of certain property in the City of Huxley, Iowa:

A-1 ZONING –PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53”E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25”E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12”E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43”W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

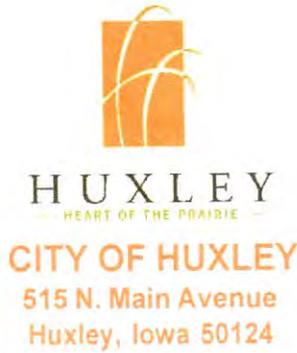
-to-

C-2 ZONING- PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53”E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25”E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12”E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43”W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

LAYMAN'S DESCRIPTION:

North of US Highway 210 and east of Interstate 35.

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a formal hearing before the City Council to consider rezoning in light of the requested rezoning has been set to commence on the 13th day of July 2021 at 6 p.m. in the Huxley City Council Chambers (515 N Main Ave), at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard.



Petition for Rezoning

Property Owner: Janestar of Iowa, LLC

Property Address: Unassigned (NE Quadrant of I-35 and Highway 210)0

Property Zoning: A-1

Requested Zoning: C-2

Legal Description: See Rezoning Exhibit

Please provide a detailed explanation of why this change is being requested:

The property is proposed to be rezoned from A-1 to C-2 zoning to allow for the phased development of A trailer sales, rental, repair and storage facility. The Comprehensive land use for this area is General/Heavy Industrial use which this zoning would be consistent with. A first phase concept plan has been included with this submittal to better show the current development plan.

Additional Notices; Signs. Any person who requests a land use plan amendment or rezoning of property shall cause to be erected at all the street frontages of the property a notification sign, stating a notification message as prescribed by City staff, and intended to inform the public of the proposed change and the time and place of the hearing on said change. Notification signage will be black letters on a white sign board and will be installed in accordance with the following minimum stand:

Speed Limit:	Lettering:	Number of Signs on Each Street Frontage:	Minimum:
20-35 MPH	3 Inches	One per 300'	2' x 2'
36 MPH & Greater	6 Inches	One per 1,000'	4' x 8'

Such signs shall be erected no less than seven days before the hearing before the Plan and Zoning Commission and shall remain in place until the final hearing before the City Council. It shall be the responsibility of the property owner to ensure that the signs are erected and maintained to be visible from the street rights-of-way in accordance with the provisions of this section. The failure on the part of the property owner to erect and maintain the signs may be considered by the Commission and Council, along with all other facts and circumstances, in determining whether the request for rezoning shall be granted. The property owner shall remove the signage within seven days of the date of the final action on the rezoning or land use plan amendment by the City Council. Any person who removes a sign erected by the property owner, without the property owner's consent, shall be guilty of a misdemeanor. *(Subsection 165.44(8) by Ord. 393 - Dec. 08 Supp.)*

I understand that there are no guarantees of passage of this request by the Planning & Zoning Commission or by the City Council. If the request is not granted the fee for variance is nonrefundable. All neighboring property owners within 200 feet will be notified of this variance request, plus a notice will be published in a local newspaper.

See attached sections from the City of Huxley Code of Ordinances.

Signed:  Date: 6/8/21

Please attach:

- List of all property owners and addresses as required by code section 165.44(2).
- Petition for amendment to zoning map fee: \$200

Office Use Only:

Date Submitted: _____

Board Review Date: _____

Council Review Date: _____

Date Hearing Advertised: _____

Decision of the Commission & Council:

CHAPTER 165 ZONING REGULATIONS

CODE OF ORDINANCES, HUXLEY, IOWA

165.44 AMENDMENTS. The regulations imposed and districts created by this chapter may, from time to time, be amended, supplemented, changed, modified or repealed as follows:

1. **Initiation.** The Council may act on its own initiative, with or without prior citizen request, to amend this chapter. Any interested citizen, including the owner of record title or of equitable title to affected property, may petition for amendment of this chapter.

2. **Form of Petition.** A petition to amend this chapter shall state: (i) the legal description of the affected property; (ii) the street address of the affected property; (iii) the existing and proposed designation or regulation; (iv) a concise statement of the purpose of the amendment; and (v) the names and addresses of the owners of record and equitable title located within 200 feet of the boundary of the affected property. A petition shall be dated and signed by its sponsor.

3. **Review of Proposed Amendment.** Within 30 days of receipt by the City, the Commission shall review a petition for amendment and report its recommendations to the Council. The Council may refer self-initiated amendments to the Commission for consideration upon such conditions as it may direct.

4. **Notice and Hearing.** If the Council resolves to consider for passage a proposed amendment to this chapter, the Council shall set a time and date for hearing upon the proposed amendment. Notice of the hearing describing the affected property and purpose of the hearing shall be published at least once not less than seven or more than 20 days prior to the hearing date, but not earlier than the next regularly scheduled Council meeting following the date notice is published. The Clerk shall send notice of the hearing by ordinary mail to owners of property within 200 feet of the boundaries of the affected property.

5. **Protest.** Protest of a proposed amendment must be in writing submitted to the Council before or at the public hearing on the proposed amendment. If 20% or more of the owners of property within two hundred feet of the boundaries of the affected

property file a written protest, the proposed amendment shall not be effective unless three-fourths of the Council members vote in favor of the proposed amendment.

6. **Action by Council.** The Council shall not be required to act upon a proposed amendment. At any time prior to a hearing on a proposed amendment, the Council may either act unfavorably on the proposed amendment or take no action. After a hearing, the Council may act either favorably or unfavorably on the proposed amendment or take no action. If the Council acts unfavorably on the proposed amendment, no petition that is substantially the same as the proposed amendment rejected, shall be submitted for one year after the unfavorable action. Nothing herein shall prevent the Council from acting on its own initiative.

7. **Costs.** The sponsor of a petition for amendment of this chapter shall be liable to the City for the reasonable costs of amending this chapter, including but not limited to the cost of publication of notice, and, unless waived by the Council, shall pay such cost at the office of the Clerk upon demand or shall pay such fee as the Council may prescribe by ordinance.

8. Additional Notices; Signs. Any person who requests a land use plan amendment or rezoning of property shall cause to be erected at all of the street frontages of the property a notification sign, stating a notification message as prescribed by City staff, and intended to inform the public of the proposed change and the time and place of the hearing on said change. Notification signage will be black letters on a white sign board and will be installed in accordance with the following minimum stand:

Speed Limit	Lettering	Number of Signs on Each Street Frontage	Minimum Size
20-35 MPH	3 inches	One per 300'	2' x 2'
36 MPH & greater	6 inches	One per 1,000'	4' x 8'

Such signs shall be erected no less than seven days before the hearing before the Plan and Zoning Commission and shall remain in place until the final hearing before the City Council. It shall be the responsibility of the property owner to ensure that the signs are erected and maintained to be visible from the street rights-of-way in accordance with the provisions of this section. The failure on the part of the property owner to erect and maintain the signs may be considered by the Commission and Council, along with all other facts and circumstances, in determining whether the request for rezoning shall be granted. The property owner shall remove the signage within seven days of the date of the final action on the rezoning or land use plan amendment by the City Council Any person who removes a sign erected by the property owner, without the property owner's consent, shall be guilty of a misdemeanor.

165.45 VIOLATION. Each day a violation of this chapter continues shall be considered a separate offense. The owner or tenant of any building, structure, premises, or part thereof, and any architect, builder, contractor, agent, or other person who commits, participates in, assists in, or maintains such violation may each be found guilty of a separate offense and suffer the penalties provided in this section. Nothing in this section shall prevent the City from taking any other lawful action as is necessary to prevent or remedy any violation.

Rezoning Exhibit - Hale Trailer Property

Huxley, Iowa

Owner / Developer
 Janestar of Iowa, LLC
 551 Cooper Road
 West Berlin, NJ 08091

Comprehensive Land Use
 Highway Commercial

Zoning
 Current: A-1
 Proposed: C-2

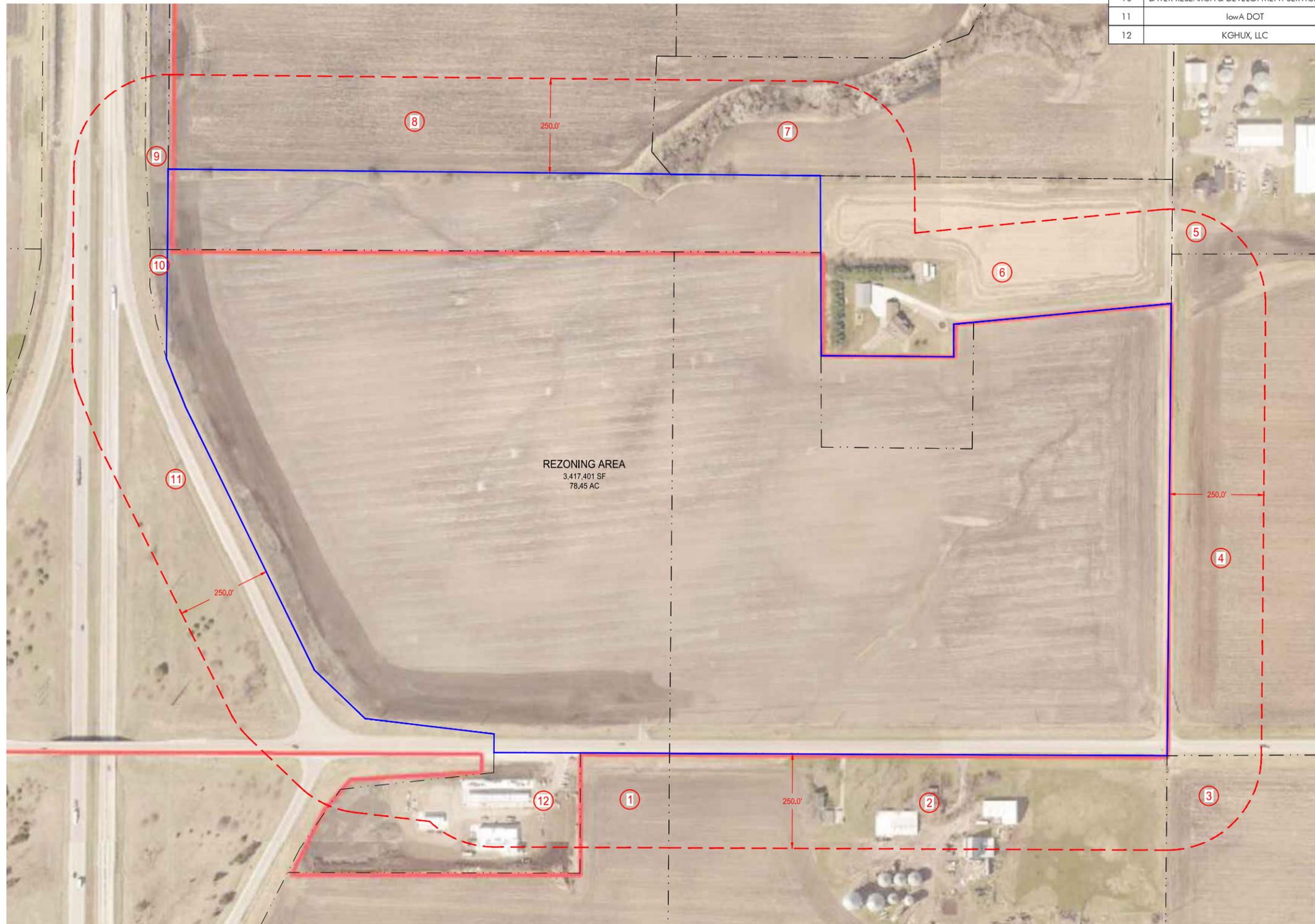
LEGAL DESCRIPTION (FROM DEED 2021-04932)

PARCEL "K" A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND

THE SOUTH HALF (S 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL "J" A PART OF THE E1/2 OF THE SE 1/4 OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

SURROUNDING PROPERTY TABLE (250' BUFFER)

Parcel Number	Name of Property Owner	Mailing Address
1	LEONA LARSON	56800 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
2	LEONA LARSON	56800 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
3	LEONARD & JACQUELINE LARSON	56892 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
4	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
5	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
6	JAMIE & KRISTYN NOBLING	32771 570TH STREET CAMBRIDGE, IA 50046-8501
7	DAVID & DENISE ACCOLA	32587 570TH STREET CAMBRIDGE, IA 80046-8588
8	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
9	BAYER RESEARCH & DEVELOPMENT SERVICES, LLC	800 N LUNDBERGH BLVD ST LOUIS, MO 63167
10	BAYER RESEARCH & DEVELOPMENT SERVICES, LLC	800 N LUNDBERGH BLVD ST LOUIS, MO 63167
11	Iowa DOT	
12	KGHUX, LLC	1459 GRAND AVENUE DES MOINES, IA 50309



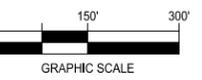
making lives better

1360 NW 121ST. Street
 Clive, Iowa 50325
 515-964-1229
 fax 515-964-2370

NOTICE:
 McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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REZONING EXHIBIT



HUXLEY, IOWA

JUNE 8, 2021

REVISIONS
 .
 .
 .
 .

ENGINEER
C SMITH
 CHECKED BY

DRAWN BY
C SMITH
 FIELD BOOK NO.

DRAWING NO. **EX-01** SHEET NO. **01 / 02**

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HALE
LEASING & FINANCE

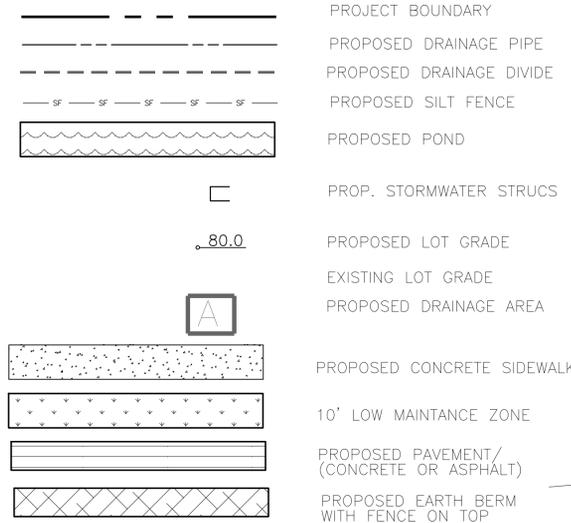
HALE TRAILER BRAKE & WHEEL

HALE
SERVICE
TRAILER BRAKE & WHEEL





LEGEND

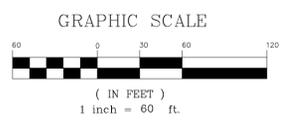
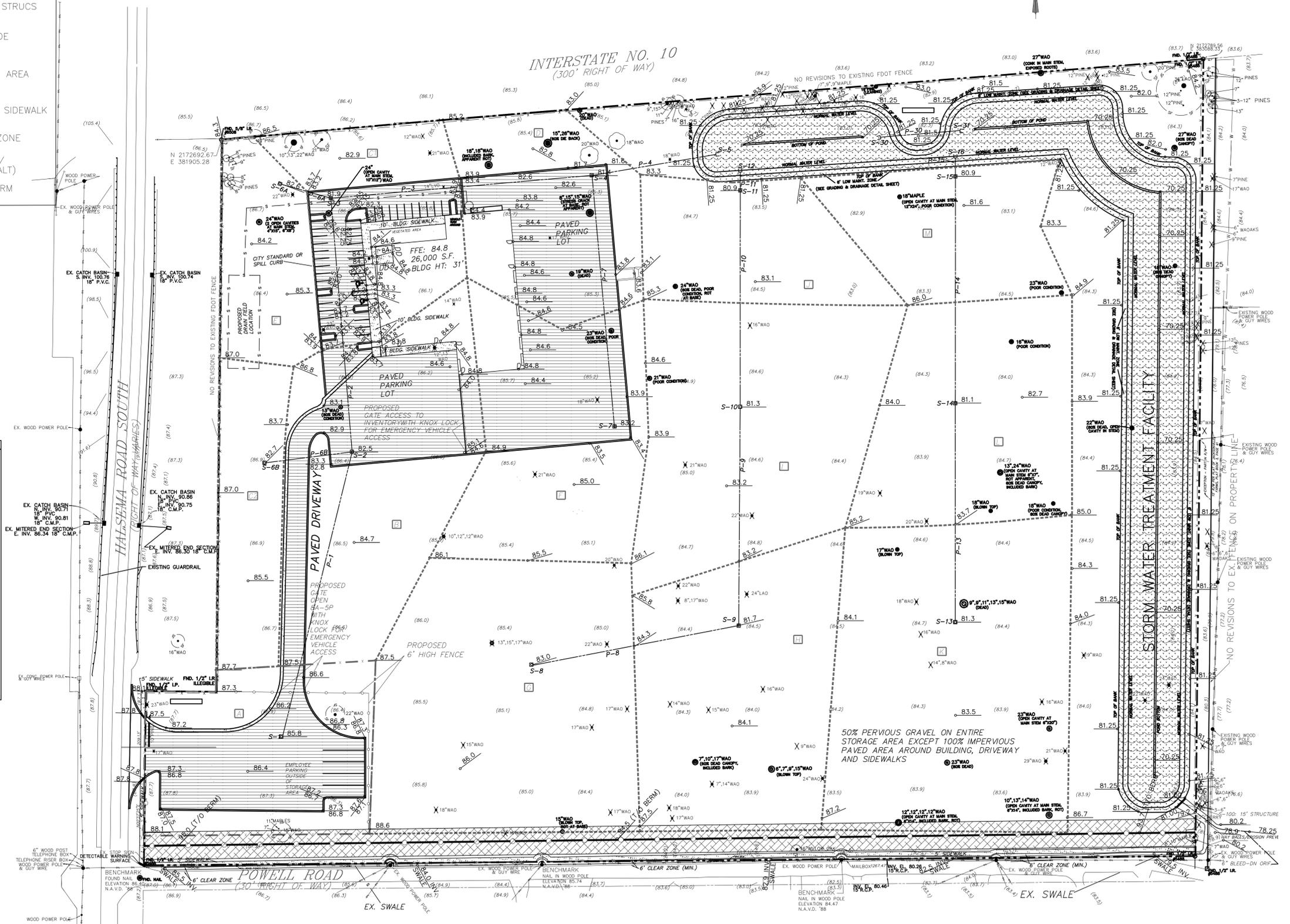


PROJECT BOUNDARY
 PROPOSED DRAINAGE PIPE
 PROPOSED DRAINAGE DIVIDE
 PROPOSED SILT FENCE
 PROPOSED POND
 PROP. STORMWATER STRUCS
 PROPOSED LOT GRADE
 EXISTING LOT GRADE
 PROPOSED DRAINAGE AREA
 PROPOSED CONCRETE SIDEWALK
 10' LOW MAINTANCE ZONE
 PROPOSED PAVEMENT/
 (CONCRETE OR ASPHALT)
 PROPOSED EARTH BERM
 WITH FENCE ON TOP

AREA TABULATION		PIPE TABULATION		
LETTER	AREA in AC.	PIPE NUMBER	PIPE DIAMETER	PIPE LENGTH
A	1.29	P-1	24" RCP	350
B	2.12	P-2	30" RCP	306
C1	0.77	P-3	30" RCP	318
D	0.82	P-4	36" RCP	150
E	0.79	P-6A	15" RCP	62
F	1.78	P-7	18" RCP	305
G	1.54	P-8	18" RCP	251
H	2.10	P-9	30" RCP	263
I	2.03	P-10	30" RCP	258
J	1.88	P-11	36" RCP	22
K	0.50	P-6B	15" RCP	106
L	2.00	P-13	24" RCP	263
M	1.00	P-14	30" RCP	270
N	0.88	P-15	30" RCP	22
		P-17	0" ADS	22
		P-30	36" ADS	96

STRUCTURE	TYPE	TOP OF GRATE	INVERT	PIPE SIZE
1	C INLET	85.80	78.25	24" RCP
2	C INLET	82.50	77.98	24" RCP
			77.48	30" RCP
			78.22	30" RCP
3	E INLET	81.90	76.91	30" RCP
			76.91	30" RCP
			78.16	30" RCP
4	E INLET	81.40	75.86	30" RCP
			75.36	36" RCP
			76.80	18" RCP
5A	MES	82.60	78.38	15" RCP
6	C INLET	83.20	78.71	18" RCP
7	C INLET	83.00	79.50	18" RCP
8	C INLET	81.70	78.22	18" RCP
9	E INLET	81.30	77.22	30" RCP
10	E INLET	81.30	76.75	30" RCP
11	E INLET	80.90	76.75	30" RCP
12	MES		75.22	36" RCP
13	C INLET	82.70	75.16	36" RCP
14	E INLET	81.30	74.97	24" RCP
15	E INLET	81.10	76.49	24" RCP
			75.99	30" RCP
			75.41	30" RCP
16	MES		75.41	30" RCP
30	MES		73.25	36" ADS
31	MES		73.25	36" ADS

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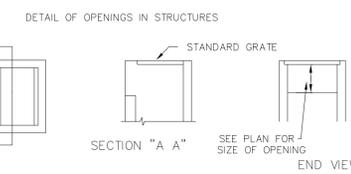
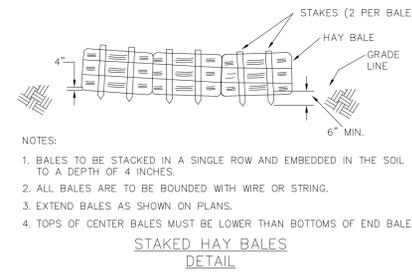
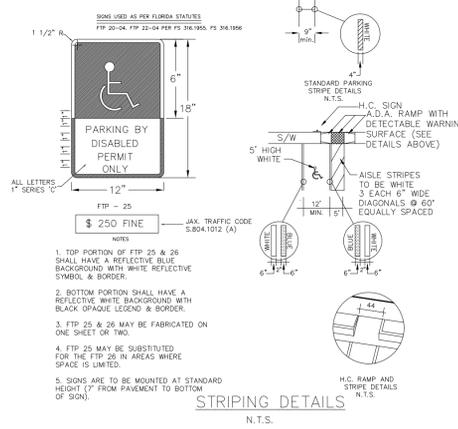
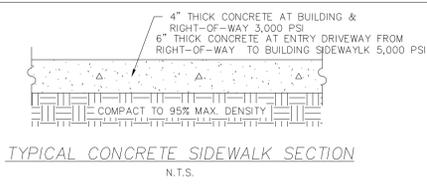
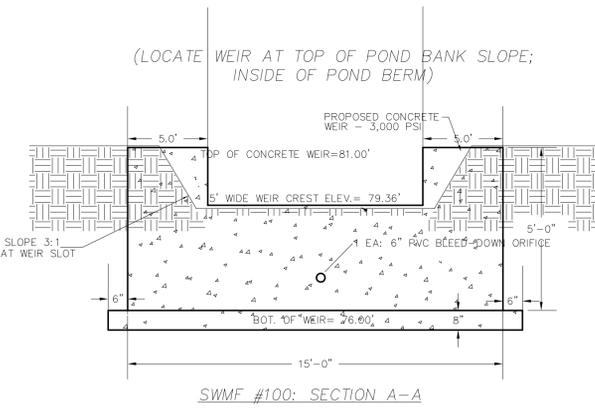
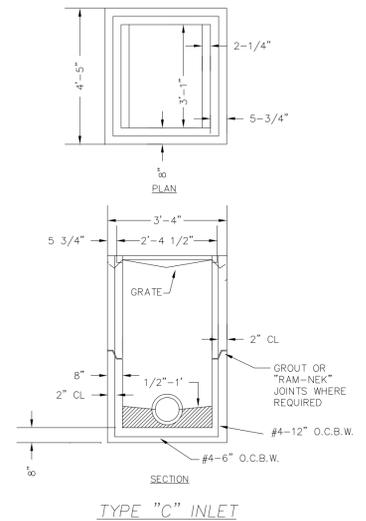
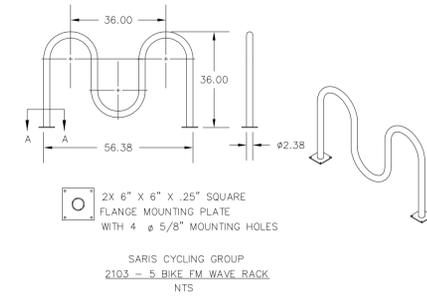
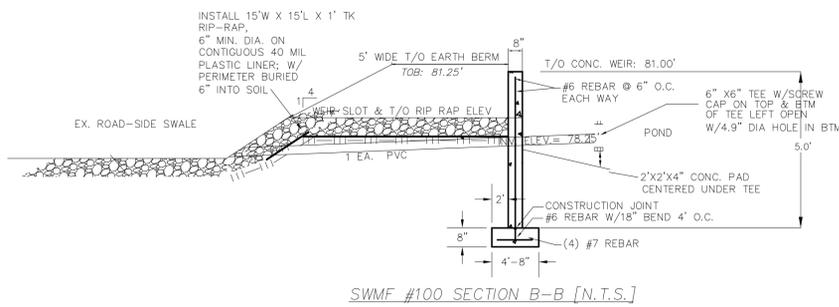
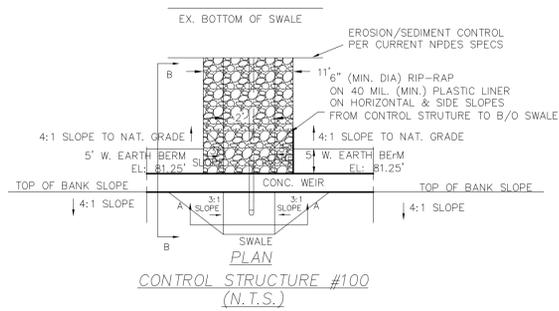


GRADING AND DRAINAGE PLAN
HALE TRAILER
FOR
HALE TRAILER BRAKE & WHEEL, INC.

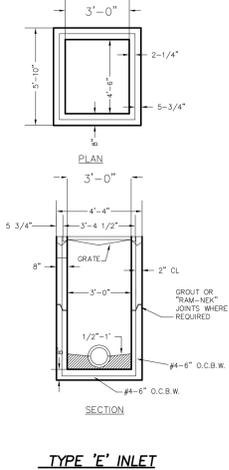
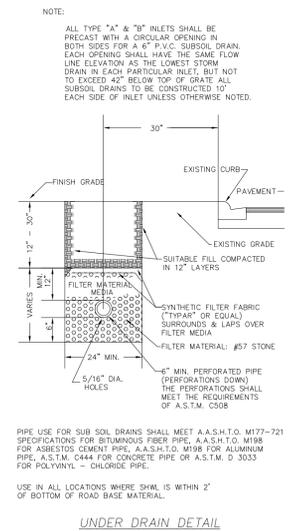
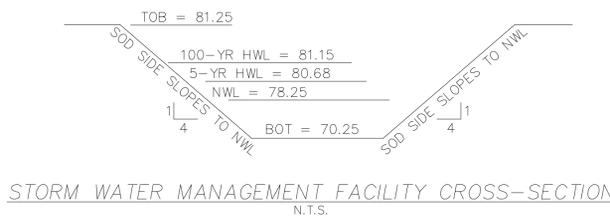
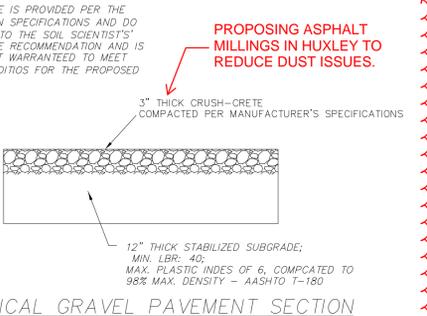
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				3	06/17/14	REVISED PER CLIENT COMMENTS

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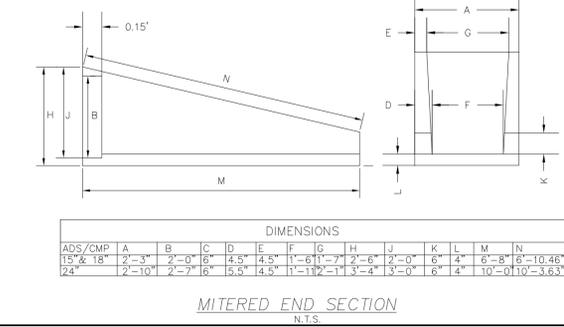
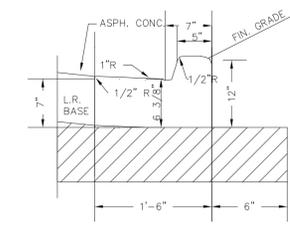
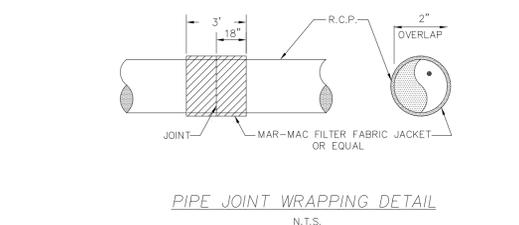
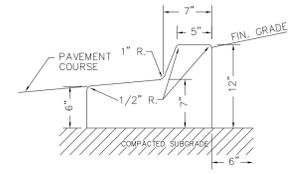
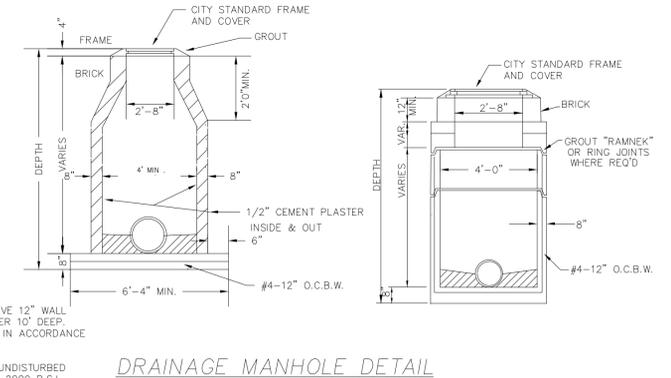
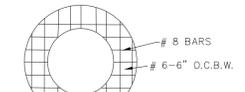
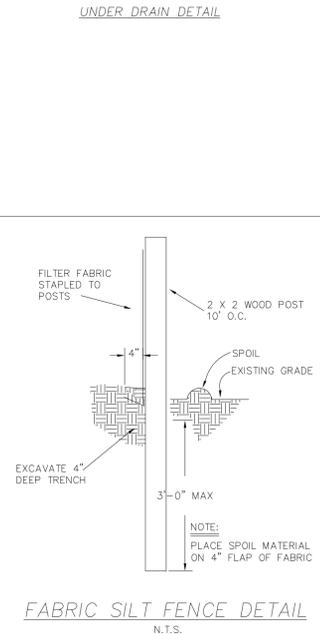
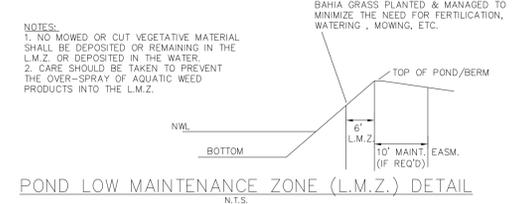
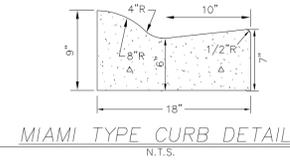
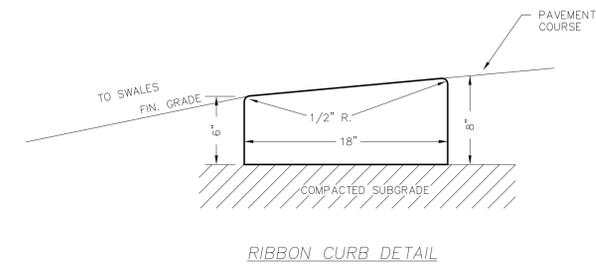
SOLID ROCK
 ENGINEERING CONSULTANTS, INC.
 "CIVIL ENGINEERING FROM THE GROUND DOWN"
 10365 SOUTH HOOD RD. SUITE 206 JACKSONVILLE, FL 32257
 PH: (904) 425-6711 FAX: (904) 425-6710
 EMAIL: jones@solidrock.com
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 9891



PER THE APPROVED PLANNED UNIT DEVELOPMENT, NO REVISIONS ARE PROPOSED TO THE EXISTING PERIMETER FENCE ALONG THE PARCEL'S WEST, NORTH OR SOUTH BOUNDARIES. REFER TO SHEET 4 FOR FENCE AND BERM CONSTRUCTION DESIGN DETAILS TO FOR THE PARCEL'S SOUTH BOUNDARY.



FENCE DETAIL



SOLID ROCK
ENGINEERING CONSULTANTS, INC.
CIVIL ENGINEERING FROM THE GROUND DOWN
10365 SOUTH HOOVER ROAD, SUITE 100, CORONA VILLE, FL 32827
PH: (407) 329-0711 FAX: (407) 329-0712
EMAIL: john@solidrockengineering.com
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 9891

GRADING AND DRAINAGE DETAILS
HALE TRAILER
HALE TRAILER BRAKE & WHEEL, INC.

REV.	DATE	REVISED PER CLIENT COMMENTS	NO REVISIONS	REVISED PER CLIENT COMMENTS
3	06/17/14			
2	11/19/13			
1	07/09/13			

CITY 3008 WMD JJK
DRAWN BY: JJK
DATE: 5/30/13
SCALE: 1" = 60'
JOB NO. 3008
REV. DATE

MANHOLE AND INLET NOTES
1. CONCRETE DESIGN STRENGTH 4000 P.S.I.
2. PIPES MUST BE IN CONSTRUCTION JOINT.
3. BRICK MANHOLES OVER 10' DEEP SHALL HAVE 12" WALL THICKNESS FOR ALL PORTIONS OF WALL OVER 10' DEEP.
4. PRECAST MANHOLES AND INLETS SHALL BE IN ACCORDANCE WITH LATEST EDITION OF A.S.T.M. C478
5. CHAMFER ALL EXPOSED EDGES 3/4".
6. INLETS AND MANHOLES TO BE PLACED ON UNDISTURBED SOIL HAVING A MINIMUM BEARING CAPACITY OF 2000 P.S.I.

James K. Johnson
P.E. # 55938

5
DRAWING NO.

ORDINANCE NO. 515

**AN ORDINANCE AMENDING CHAPTER 93 OF THE CITY OF HUXLEY
MUNICIPAL CODE CONCERNING WATER RATES**

Section 1. Be it ordained by the City Council of the City of Huxley, Iowa, that the following sections and subsections of the Municipal Code of the City of Huxley, Iowa, should be and the same is hereby repealed, and there be enacted in lieu thereof, the following sections and subsections:

Water Rates, Subsection 93.02(1) and (2) shall be repealed in their entirety and in lieu thereof replaced with the following:

	<u>7/1/21</u>	<u>7/1/22</u>	<u>7/1/23</u>	<u>7/1/24</u>	<u>7/1/25</u>
Base Rate:	\$18.15	\$19.15	\$19.15	\$19.15	\$19.15
Flow Charge: (per thousand gallons)	5.93	6.77	7.54	7.77	8.00
2 nd Meter Base Rate:	7.00	8.00	9.00	10.00	10.50
Flow Charge (per thousand gallons)	7.70	9.25	10.75	12.00	13.00

Section 2. All rates and levies associated with this ordinance shall be reviewed again within one year of the implementation of this ordinance.

Section 3. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

Section 4. This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

First Reading May 25, 2021

Roll Call	Aye	Nay	Absent
Rick Peterson	___	___	___
Nate Easter	___	___	___
Greg Mulder	___	___	___
Dave Kuhn	___	___	___
Tracey Roberts	___	___	___

Second Reading June 8, 2021

Roll Call	Aye	Nay	Absent
Rick Peterson	—	—	—
Nate Easter	—	—	—
Greg Mulder	—	—	—
Dave Kuhn	—	—	—
Tracey Roberts	—	—	—

Third Reading June 22, 2021

Roll Call	Aye	Nay	Absent
Rick Peterson	—	—	—
Nate Easter	—	—	—
Greg Mulder	—	—	—
Dave Kuhn	—	—	—
Tracey Roberts	—	—	—

Passed and approved by the Council of the City of Huxley, Iowa, on June 22, 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene R. Lettow, City Clerk

**AN ORDINANCE ESTABLISHING A WATER
CONSERVATION PLAN**

WHEREAS, The City Council of the City of Huxley, Iowa, recognizes that supplies of potable water are essential for the health, safety and welfare of its citizens; and

WHEREAS, the Water Utility has limited capacity and from time to time during and following drought conditions or due to equipment failure, the City's water supply may become significantly and seriously depleted such that there is an insufficient supply of water to meet all customary and usual demands; and

WHEREAS, the City of Huxley, Iowa, deems it essential to protect the safety of its citizens in the event that the limited capacity of the Water Utility may be threatened;

LET IT THEREFORE BE ORDAINED:

Definitions:

Customer: any person, company, or organization using processed potable water supplied by the City of Huxley

Consumed: water that has passed through a customer's meter or is otherwise furnished by the water utility

Domestic water use: water use for personal needs or for household purposes such as drinking, bathing, heating, cooking, sanitation,

Commercial and industrial use: water used to produce goods or to furnish services by any establishment having financial profit as a primary aim.

Large Pools: Those exceeding 1000 gallons in capacity

1.01 WATER SHORTAGES. Under the conditions set forth in this Ordinance, the City Council, in consultation with the City Administrator, Public Works Director, Water Superintendent and water personnel may find, and by Proclamation declare, a public Water Watch, Water Warning or Water Emergency, during which time the following measures and provisions shall be in effect to prevent depleting the water supply for human consumption and sanitation and to produce an orderly and equitable reduction of water consumption.

Immediately upon the issuance of such a Proclamation, regulations and restrictions set forth under this Ordinance shall become effective and remain in effect until the water shortage is terminated and the Proclamation rescinded.

Water uses, regulated or prohibited under the Ordinance, are considered to be non-essential and continuation of such uses during time of water shortage is deemed to constitute a waste of water, subjecting the users to surcharges, disconnection costs and excess consumption fees.

1.02 CONDITIONS.

1. "Water Watch"- A Water Watch may be declared when a water shortage or equipment failure poses a potential threat to the ability of the water system to meet the needs of

its customers currently or in the foreseeable future. Indicators of the need to impose a Water Watch include but is not limited to:

- A. System operating at 75% of pumping capacity;
- B. Moderate decrease in the pumping water level of wells;
- C. Moderate decrease in recovery rate of water level in wells.

2. “Water Warning” – A Stage 1 or Stage 2 Water Warning may be declared when a water shortage or equipment failure poses a serious threat to the ability of the water system to meet the needs of its customers currently and in the foreseeable future. Indicators of the need to impose a Stage 1 Water Warning include but is not limited to:

- A. System operating at 80% pumping capacity; or
- B. Significant decrease in the pumping water level of wells; or
- C. Significant decrease in recovery rate of water level in wells.

Indicators of the need to impose a Stage 2 Water Warning include but is not limited to:

- A. System operating at 85% capacity; or
- B. Severe system emergencies such as a chemical spill; or
- C. Major system failure in feeder mains or treatment plant: or
- D. Other factors which pose a significant threat to the ability of the Utility to furnish adequate supplies of potable processed water.

3. “Water Emergency” – A Water Emergency may be declared when a water shortage or equipment failure poses a severe and immediate threat to the ability of the water system to meet the needs of its customers. Indicators of the need to impose a Water Emergency include but is not limited to:

- A. System operation at 90% and above of pumping capacity; or
- B. Serious decrease in recovery rate of water level in wells.
- C. Major system failure in the feeder mains or treatment plant
- D. Exceeding demand on the treatment plant design capacity: or
- E. Other factors which pose a significant threat to the ability of the Utility to furnish adequate supplies of potable water.

1.03 GENERAL PROCEDURE. In the time during or following drought conditions or equipment failure, the following procedures shall be followed:

1. Water Watch. Under a Water Watch, all customers of the municipal water service are encouraged to limit or curtail all nonessential uses of water in order to conserve precious water resources during the time of shortage.
 - A. No watering of lawns, shrubs or gardens between the hours of 6:00 a.m. and 8:00 p.m.
 - B. No water should be used to fill large outdoor pools or ponds.
 - C. No water should be used to wash streets, parking lots, driveways, sidewalks or building exteriors.
 - D. No water should be used for nonessential cleaning of commercial and industrial equipment, machinery and interior spaces.
 - E. Water should be served at restaurants only upon the request of the customer.
 - F. **Tank load or bulk water sales may be curtailed or eliminated. A permit and approval from the water superintendent will be required.**
2. Water Warning- Stage 1. Under a Stage 1 Water Warning, no person shall use potable processed water of the municipal water service in any manner contrary to the following:
 - A. Outdoor watering or irrigation of lawn is prohibited except on flower and vegetable and/or fruit gardens, trees and shrubs less than four years old and areas which were seeded or sodded within forty-five (45) days prior to issuance of the emergency resolution only between the hours of 8:00 pm and 6:00 am. Installation of sod and seed is prohibited during the stage 1 period.
 - B. Car washing is prohibited except in commercial establishments that provide that service.
 - C. No water shall be used to fill private large pools or ponds.
 - D. No water shall be used to wash streets, parking lots, driveways, sidewalks or building exteriors.
 - E. No water shall be used for nonessential cleaning of commercial and industrial equipment, machinery and interior spaces.
 - F. Water shall be served at restaurants only upon the request of the customer.
 - E. **No water shall be used for tank load or bulk water.**

Water reclaimed or recycled after some other primary use, such as water that has been used for washing or cooling, may be used without restriction. Additionally, water derived from sources other than the City water utility, such as water condensed from the atmosphere by air conditioners or collected from rain or snow, may be used without restriction.

3. Water Warning- Stage 2. Under a Water Warning, no person shall use potable processed water of the municipal water service in any manner contrary to the following:

- A. All outside water use, except for domestic, sanitation, and fire is prohibited.
- B. All commercial and industrial uses of water not essential in providing products or services are prohibited.
- C. Irrigation, of absolutely all forms, is prohibited.
- D. Recreational and leisure water use, including lawn and golf course watering and other incidental or recreational use is prohibited.
- E. Water use not necessary for the preservation of life or the general welfare of the community is prohibited.

4. Water Emergency. Under a Water Emergency, Stage 1 and Stage 2 Water Warning use restrictions will be in effect and, in addition, all violations that occur under a water emergency shall fall under, for a first offense, the second violation rule and shall have double the surcharge rates listed. **During a water warning and a transfer from stage 1 to stage 2 will be considered a new warning and another first offense warning will be issued for any violator.** All violations and misuse of the public drinking water shall be considered a direct threat to public health and service will be discontinued immediately. Service shall resume only when all fines and fees have been paid for. Any further subsequent violations which are considered a threat to the public health shall result in service disconnect and shall only be lifted after requirements for safety assurances have been set in place by the water department and met by the owner once all the fees and fines have been paid.

The City of Huxley Water Department has the right, at any given time with just cause, to disconnect service to various non-vital/recreational services for the purpose of water preservation in times of need. These non-vital /recreational may be, but not limited to: Irrigation for recreational fields and any agreements of irrigation, public restrooms serviced by the City of Huxley, water fountains and spigots provided by the City of Huxley for recreational use, water supply to any campground facilities and water supply to any non-public and public owned and operated pools and splash pads.

1.04 SURCHARGES. The following surcharges shall be applied for violations of water warning use restrictions imposed under this chapter. Violations during a water emergency are considered a minimum B. violation and are double the rates listed below.

- A. First Violation. For a first violation, the utility shall issue a written notice of violation to the water user violating the water use restrictions imposed during a Water Watch, Water Warning **for Stage 1 and Stage 2** or Water Emergency.
- B. Second Violation. For a second violation within a twelve-month period, an administrative surcharge shall be imposed on the customer's account in an amount of one hundred dollars plus two hundred percent (200%) of the fiscal years highest month's water bill.

- C. Subsequent Violations. For any subsequent violation within a twelve month period, an administrative surcharge shall be imposed in an amount equal to five hundred dollars plus two hundred percent (200%) of the fiscal years highest month's water bill, and, in addition, the utility shall Interrupt water service to the customer at the premises at which the violation occurred. Service shall not be restored until the customer has paid the surcharge and the reconnection fee and has provided reasonable assurance that future violations of Water Watch, Water Warning or Water Emergency use restrictions will not occur.

Any customer charged with a violation of the Water Watch, Water Warning or Water Emergency use restriction may request a hearing before the council. The council may conclude that a violation did not occur or that the circumstances under which the violation occurred warrant a complete or partial mitigation of the administrative surcharge.

- 1.05 **WATER APPEAL.** The City Council shall over hear appeals of any action taken pursuant to a Water Watch, Water Warning or Water Emergency; however, if a customer is charged with a municipal infraction relating to this ordinance, that proceeding shall be conducted pursuant to Section 364.22 of the Code of Iowa.
- 1.06 **REDUCTION IN FLOW OF WATER TO ANY PERSON.** The Water Department, under authorization of the City Administrator, may reduce or disconnect the flow of water to any customer determined to be using water in any manner not in accordance with this ordinance during Water Watch, Water Warning or Water Emergency or for any matter that may be deemed a risk to the public health.

This reduction or potential disconnection may occur with or without notice, as judgement of severity has been decided by the City Administrator with the assistance of the Water Superintendent and the Water Department.

1.16 REPEALER CLAUSE.

All ordinances or parts of ordinances in conflict herewith are hereby repealed.

1.17 SEVERABILITY CLAUSE.

If any section, provision, or part of this ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity if the ordinance as a whole or any section, provision or part thereof not adjudged invalid or unconstitutional.

1.18 EFFECTIVE DATE.

This ordinance shall be effective from and after the final passage, approval and publication as provided by law.

RESOLUTION NO. 21- 055

RESOLUTION TO APPROVE AMENDING THE FISCAL YEAR 2021 ANNUAL BUDGET

WHEREAS, the Iowa Legislature adopted legislation that mandates that a city shall prepare and adopt a budget and shall certify taxes; and

WHEREAS, the Iowa Legislature requires each city to conduct a public hearing on the amending budget prior to adoption; and

WHEREAS, the City Clerk has published the budget amendments and notice of hearing no less than ten (10) days and no more than twenty (20) days prior to the date of the hearing; and.

WHEREAS, the Huxley City Council conducted said hearing on June 22, 2021 and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HUXLEY, IOWA, that the Huxley City Council approves the amendments to the **FY 2021 Budget** as attached and directs the City Clerk to submit said budget amendments and all the required prepared work to the appropriate agencies.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

NOTICE OF PUBLIC HEARING - AMENDMENT OF CURRENT BUDGET

HUXLEY

Fiscal Year July 1, 2020 - June 30, 2021

The City of HUXLEY will conduct a public hearing for the purpose of amending the current budget for fiscal year ending June 30, 2021

Meeting Date/Time: 6/22/2021 06:00 PM

Contact: Jolene Lettow

Phone: (515) 597-2561 ext: 201

Meeting Location: Council Chambers

There will be no increase in taxes. Any residents or taxpayers will be heard for or against the proposed amendment at the time and place specified above. A detailed statement of: additional receipts, cash balances on hand at the close of the preceding fiscal year, and proposed disbursements, both past and anticipated, will be available at the hearing.

REVENUES & OTHER FINANCING SOURCES		Total Budget as Certified or Last Amended	Current Amendment	Total Budget After Current Amendment
Taxes Levied on Property	1	1,679,242	0	1,679,242
Less: Uncollected Delinquent Taxes - Levy Year	2	0	0	0
Net Current Property Tax	3	1,679,242	0	1,679,242
Delinquent Property Tax Revenue	4	0	0	0
TIF Revenues	5	2,600,338	0	2,600,338
Other City Taxes	6	482,314	0	482,314
Licenses & Permits	7	138,100	40,000	178,100
Use of Money & Property	8	276,500	63,000	339,500
Intergovernmental	9	485,532	0	485,532
Charges for Service	10	2,171,600	0	2,171,600
Special Assessments	11	1,000	0	1,000
Miscellaneous	12	0	125,235	125,235
Other Financing Sources	13	0	1,433,500	1,433,500
Transfers In	14	648,244	0	648,244
Total Revenues & Other Sources	15	8,482,870	1,661,735	10,144,605
EXPENDITURES & OTHER FINANCING USES				
Public Safety	16	934,744	90,378	1,025,122
Public Works	17	425,568	4,400	429,968
Health and Social Services	18	12,000	0	12,000
Culture and Recreation	19	596,190	53,000	649,190
Community and Economic Development	20	1,460,390	0	1,460,390
General Government	21	531,338	56,600	587,938
Debt Service	22	2,312,054	363,000	2,675,054
Capital Projects	23	0	2,929,595	2,929,595
Total Government Activities Expenditures	24	6,272,284	3,496,973	9,769,257
Business Type/Enterprise	25	1,459,595	0	1,459,595
Total Gov Activities & Business Expenditures	26	7,731,879	3,496,973	11,228,852
Tranfers Out	27	648,244	0	648,244
Total Expenditures/Transfers Out	28	8,380,123	3,496,973	11,877,096
Excess Revenues & Other Sources Over (Under) Expenditures/Transfers Out	29	102,747	-1,835,238	-1,732,491
Beginning Fund Balance July 1, 2020	30	6,176,380	0	6,176,380
Ending Fund Balance June 30, 2021	31	6,279,127	-1,835,238	4,443,889

Explanation of Changes: Revenues: Site Plan Fees, CD Interest, COVID & Derecho Assistance, Story County 560th Funds, Trail Paving Grants, HMGP Generator Fed/State Funds
 Expenses: MPH Speed Sign, Police Patrol Vehicle w Camera, Tasers, Holsters, Repairs to Tornado Siren, Street Lighting, Park Improvements, Council Strategic Planning Session, Main Ave Stormwater Project, Bond Counsel Costs
 Capital Projects: E. 1st Street Reconstruction, 560th Avenue Paving, Trail Paving, HMGP Generator Project, Kum N Go Infrastructure Costs, Water Plant Expansion

COUNCIL COMMUNICATION

AGENDA HEADING:

Items Related to Innovative Technologies

SUBMITTED BY:

Rita Conner, City Administrator

SYNOPSIS:

City Council approved preliminary terms of an amended Urban Renewal Development Agreement with SP Enterprises, LLC d/b/a/ Innovative Technologies. A public hearing is required for amending the Urban Renewal Plan to include the agreement and to have Council approve the final development agreement and use of tax increment.

Additional information is below and in the attachments.

FISCAL IMPACT:

Amount: \$250,000 over 7 years

Funding Source: Project generated tax increment from the original building constructed

ADDITIONAL INFORMATION:

- Innovative Technologies performs industrial mechanical work on centrifuges within the renewable energy industry. The company's location in the Blue Sky Business Park has offered a presence of innovation and continued investment.
- The additional investment and employment created is of benefit to the City and can help spur additional interest in the business park.

ADMINISTRATOR RECOMMENDATION: Approval.

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- Each calendar year, Innovative Technologies will provide information to the City per the development agreement

HEARING AND APPROVAL OF 2021
AMENDMENT TO THE HUXLEY
URBAN RENEWAL AREA

419996-64

Huxley, Iowa

June 22, 2021

The City Council of the City of Huxley, Iowa, met on June 22, 2021, at 6:00 o'clock, p.m., at the City Hall Council Chambers, in the City for the purpose of conducting a public hearing on a proposed urban renewal plan amendment.

The Mayor presided and the roll being called the following members of the City Council were present and absent:

Present: _____

Absent: _____.

The City Council investigated and found that notice of the intention of the City Council to conduct a public hearing on the urban renewal plan amendment had been published according to law and as directed by the City Council and that this is the time and place at which the City Council shall receive oral or written objections from any resident or property owner of the City. All written objections, statements, and evidence heretofore filed were reported to the City Council, and all oral objections, statements, and all other exhibits presented were considered.

The following named persons presented oral objections, statements, or evidence as summarized below; filed written objections or statements, copies of which are attached hereto; or presented other exhibits, copies of which are attached hereto:

(Here list all persons presenting written or oral statements or evidence and summarize each presentation.)

There being no further objections, comments, or evidence offered, the Mayor announced the hearing closed.

Council Member _____ moved the adoption of a resolution entitled “Resolution to Approve Urban Renewal Plan Amendment for the Huxley Urban Renewal Area,” seconded by Council Member _____. After due consideration, the Mayor put the question on the motion and the roll being called, the following named Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared the resolution duly adopted and signed approval thereto.

RESOLUTION NO.21-056

Resolution to Approve Urban Renewal Plan Amendment for the Huxley Urban Renewal Area

WHEREAS, as a preliminary step to exercising the authority conferred upon Iowa cities by Chapter 403 of the Code of Iowa (the “Urban Renewal Law”), a municipality must adopt a resolution finding that one or more slums, blighted or economic development areas exist in the municipality and that the development of such area or areas is necessary in the interest of the public health, safety or welfare of the residents of the municipality; and

WHEREAS, the City Council of the City of Huxley (the “City”) has previously created the Huxley Urban Renewal Area (the “Urban Renewal Area”) and adopted an urban renewal plan (the “Plan”) for the governance of projects and initiatives therein; and

WHEREAS, an amendment (the “Amendment”) to the Plan has been prepared which updates the description of the City’s Innovative Technologies Development Project previously approved in the November 28, 2017 Amendment to the Plan; and

WHEREAS, notice of a public hearing by the City Council on the proposed Amendment was heretofore given in strict compliance with the provisions of Chapter 403 of the Code of Iowa, and the City Council has conducted said hearing on June 22, 2021; and

WHEREAS, copies of the Amendment, notice of public hearing and notice of a consultation meeting with respect to the Amendment were mailed to Story County and the Ballard Community School District; the consultation meeting was held on the ___ day of _____, 2021; and responses to any comments or recommendations received following the consultation meeting were made as required by law;

NOW, THEREFORE, It Is Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. It is hereby determined by this City Council as follows:

A. The proposed Amendment and the projects and initiatives described therein conform to the general plan of the municipality as a whole;

B. The proposed economic development projects described in the Amendment are necessary and appropriate to facilitate the proper growth and development of the City in accordance with sound planning standards and local community objectives.

C. It is not anticipated that families will be displaced as a result of the City’s undertakings under the Amendment. Should such issues arise with future projects, then the City will ensure that a feasible method exists to carry out any relocations without undue hardship to the displaced and into safe, decent, affordable and sanitary housing.

Section 2. The Amendment attached hereto and made a part hereof, is hereby in all respects approved.

Section 3. All resolutions or parts thereof in conflict herewith are hereby repealed, to the extent of such conflict.

Passed and approved June 22, 2021.

Mayor

Attest:

City Clerk

(Attach copy of the urban renewal plan amendment to this resolution.)

••••

Upon motion and vote, the meeting adjourned.

Mayor

Attest:

City Clerk

STATE OF IOWA
COUNTY OF STORY SS:
CITY OF HUXLEY

I, the undersigned, do hereby certify that I am the duly appointed, qualified and acting City Clerk of the City of Huxley, and that as such I have in my possession or have access to the complete corporate records of the City and of its officers; and that I have carefully compared the transcript hereto attached with the aforesaid records and that the attached is a true, correct and complete copy of the corporate records relating to the action taken by the City Council preliminary to and in connection with approving the urban renewal plan amendment for the Huxley Urban Renewal Area in the City.

WITNESS MY HAND this ___ day of _____, 2021.

City Clerk



June 16, 2021

VIA EMAIL

Rita Conner
City Administrator/City Hall
Huxley, IA

Re: Huxley Urban Renewal Area (June, 2021 Amendment)
Our File No. 419996-64

Dear Rita:

Attached please find proceedings covering the City Council's action in holding a public hearing on and adopting a resolution to approve the June, 2021 urban renewal plan amendment. The resolution states that the required consultation session has been held with Story County and the Ballard Community School District. If this action has not been taken, please call me immediately.

We will appreciate receiving executed copies of these proceedings as soon as they are available. Please contact John Danos, Severie Orngard, or me if you have any questions.

Kind regards,

Amy Bjork

Attachments

cc: Jolene Lettow

CITY OF HUXLEY, IOWA
URBAN RENEWAL PLAN AMENDMENT
HUXLEY URBAN RENEWAL AREA

June, 2021

The Urban Renewal Plan (the “Plan”) for the Huxley Urban Renewal Area (the “Urban Renewal Area”) is being amended for the purpose of updating the description of the Innovative Technologies Development Project.

1) Update Description of the City’s Innovative Technologies Development Project.

The City approved the Innovative Technologies Development Project in the November 28, 2017 Amendment to the Plan. It is now necessary to update the description of the Innovative Technologies Development Project, as follows:

Name of Project: Innovative Technologies Development Project

Name of Urban Renewal Area: Huxley Urban Renewal Area

Date of Council Approval of the Project: November 28, 2017, as updated June 22, 2021

Description of the Project and Project Location: SP Enterprises, LLC d/b/a/ Innovative Technologies (the “Company”) has proposed to undertake the construction and operation of new manufacturing facilities (the “Development Project”) on certain real property (the “Development Property”) situated in the Blue Sky Commons Business Park in the Urban Renewal Area.

It has been requested that the City provide tax increment financing assistance to the Company in support of the efforts to complete, operate and maintain the Development Project.

The costs incurred by the City in providing tax increment financing assistance to the Company will include legal and administrative fees (the “Admin Fees”) in the estimated amount of \$15,000 (increased from \$7,500 in the November 28, 2017 Amendment).

Description of Public Infrastructure to be Constructed: It is not expected that the City will install public infrastructure improvements in connection with the Development Project.

Description of Properties to be Acquired by the City: It is not anticipated that the City will acquire real property in connection with the Development Project.

Description of Use of TIF for the Project: The City intends to enter into a Development Agreement with the Company with respect to the construction and use of the Development Project and to provide annual appropriation economic development

payments (the “Payments”) to the Company thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Development Property. It is anticipated that the City’s total commitment of incremental property tax revenues with respect to the Development Project will not exceed \$250,000 (increased from \$170,000 approved in the November 28, 2017 Amendment), plus the Admin Fees.

2) Required Financial Information. The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City:	<u>\$17,282,842</u>
Outstanding general obligation debt of the City:	<u>\$</u>
Proposed debt to be incurred under this June, 2021 Amendment*:	<u>\$ 265,000</u>

*It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

HOLD HEARING ON AND APPROVE
AMENDED DEVELOPMENT
AGREEMENT AND TAX INCREMENT
PAYMENTS

(SP Enterprises, LLC d/b/a/ Innovative
Technologies)

419996-64

Huxley, Iowa

June 22, 2021

A meeting of the City Council of the City of Huxley, Iowa, was held at 6:00 o'clock p.m., on June 22, 2021, at the City Hall Council Chambers, in the City, pursuant to the rules of the Council.

The Mayor presided and the roll was called, showing members present and absent as follows:

Present: _____

Absent: _____.

The City Council investigated and found that notice of the intention of the Council to conduct a public hearing on an Amended Development Agreement between the City and SP Enterprises, LLC d/b/a/ Innovative Technologies had been published according to law and as directed by the Council and that this is the time and place at which the Council shall receive oral or written objections from any resident or property owner of the City. All written objections, statements, and evidence heretofore filed were reported to the Council, and all oral objections, statements, and all other exhibits presented were considered.

The following named persons presented oral objections, statements, or evidence as summarized below; filed written objections or statements, copies of which are attached hereto; or presented other exhibits, copies of which are attached hereto:

(Here list all persons presenting written or oral statements or evidence and summarize each presentation.)

There being no further objections or comments, the Mayor announced that the hearing was closed.

Council Member _____ introduced the resolution next hereinafter set out and moved its adoption, seconded by Council Member _____; and after due consideration thereof by the Council, the Mayor put the question upon the adoption of said resolution, and the roll being called, the following named Council Members voted:

Ayes: _____

Nays: _____.

Whereupon, the Mayor declared said resolution duly adopted, as follows:

RESOLUTION _____

Resolution Approving Amended Development Agreement with SP Enterprises, LLC d/b/a/ Innovative Technologies, Authorizing Tax Increment Payments and Pledging Certain Tax Increment Revenues to the Payment of the Agreement

WHEREAS, the City of Huxley, Iowa (the “City”), pursuant to and in strict compliance with all laws applicable to the City, and in particular the provisions of Chapter 403 of the Code of Iowa, has adopted an Urban Renewal Plan for the Huxley Urban Renewal Area (the “Urban Renewal Area”); and

WHEREAS, this Council has adopted an ordinance providing for the division of taxes levied on taxable property in the Urban Renewal Area pursuant to Section 403.19 of the Code of Iowa and establishing the fund referred to in Subsection 2 of Section 403.19 of the Code of Iowa, which fund and the portion of taxes referred to in that subsection may be irrevocably pledged by the City for the payment of the principal of and interest on indebtedness incurred under the authority of Section 403.9 of the Code of Iowa to finance or refinance in whole or in part projects in the Urban Renewal Area; and

WHEREAS, the City has previously entered into a certain development agreement (the “Original Agreement”) with SP Enterprises, LLC d/b/a/ Innovative Technologies (the “Company”) in connection with the construction and operation of new manufacturing facilities on certain real property in the Urban Renewal Area (the “Project”); and

WHEREAS, the City and the Company now propose to amend the Original Agreement in order to (1) adjust the Employment Requirements (as defined in the Original Agreement); (2) increase the amount of incremental property tax payments to be provided to the Company; (3) adjust the time period during which such payments will be made; and (4) make other related changes; and

WHEREAS, an amended development agreement (the “Amended Agreement”) has been prepared to set forth the new understanding between the City and the Company; and

WHEREAS, this City Council, pursuant to Section 403.9 of the Code of Iowa, has published notice, has held a public hearing on the Amended Agreement on June 22, 2021, and has otherwise complied with statutory requirements for the approval of said Agreement; and

WHEREAS, Chapter 15A of the Code of Iowa (“Chapter 15A”) declares that economic development is a public purpose for which a City may provide grants, loans, tax incentives, guarantees and other financial assistance to or for the benefit of private persons; and

WHEREAS, Chapter 15A requires that before public funds are used for grants, loans, tax incentives or other financial assistance, a City Council must determine that a public purpose will reasonably be accomplished by the spending or use of those funds; and

WHEREAS, Chapter 15A requires that in determining whether funds should be spent, a City Council must consider any or all of a series of factors;

NOW, THEREFORE, It Is Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. Pursuant to the factors listed in Chapter 15A, the Council hereby reaffirms that:

(a) The Project will add diversity and generate new opportunities for the Huxley and Iowa economies;

(b) The Project will generate public gains and benefits, particularly in the creation of new jobs, which are warranted in comparison to the amount of the proposed property tax incentives.

Section 2. The City Council further finds and reaffirms that a public purpose will reasonably be accomplished by entering into the Amended Agreement and providing the incremental property tax payments to the Company.

Section 3. The Amended Agreement is hereby approved, and the Mayor and City Clerk are hereby authorized and directed to execute and deliver the Amended Agreement on behalf of the City in substantially the form and content in which the Amended Agreement has been presented to this City Council. Such officers are also authorized to make such changes, modifications, additions or deletions as they, with the advice of bond counsel, may believe to be necessary, and to take such actions as may be necessary to carry out the provisions of the Amended Agreement.

Section 4. As provided and required by Chapter 403 of the Code of Iowa, the City's obligations under the Amended Agreement shall be payable solely from a subfund (the "Innovative Technologies Subfund") which has previously been established, into which shall be paid that portion of the income and proceeds of the Urban Renewal Tax Revenue Fund attributable to property taxes derived from the property described as follows:

Lot Three, Blue Sky Commons, Plat 1, City of Huxley, Story County, Iowa.

Section 5. The City hereby pledges to the payment of the Agreement the Innovative Technologies Subfund and the taxes referred to in Subsection 2 of Section 403.19 of the Code of Iowa to be paid into such Subfund, provided, however, that no payment will be made under the Agreement unless and until monies from the Innovative Technologies Subfund are appropriated for such purpose by the City Council.

Section 6. After its adoption, a copy of this resolution shall be filed in the office of the County Auditor of Story County to evidence the continuing pledging of the Innovative Technologies Subfund and the portion of taxes to be paid into such Subfund and, pursuant to the direction of Section 403.19 of the Code of Iowa, the County Auditor shall allocate the taxes in accordance therewith and in accordance with the tax allocation ordinance referred to in the preamble hereof.

Section 7. All resolutions or parts thereof in conflict herewith are hereby repealed.

Passed and approved on June 22, 2021.

Mayor

Attest:

City Clerk

•••••

On motion and vote the meeting adjourned.

Mayor

Attest:

City Clerk

STATE OF IOWA
STORY COUNTY
CITY OF HUXLEY

SS:

I, the undersigned, Clerk of the aforementioned City, hereby certify that the foregoing is a true and correct copy of the minutes of the Council of the City relating to holding a public hearing and adopting a resolution to approve an Amended Development Agreement.

WITNESS MY HAND hereto affixed this ___ day of _____, 2021.

City Clerk



June 15, 2021

Via Email

Rita Conner
City Administrator/City Hall
Huxley, IA

Re: SP Enterprises, LLC d/b/a/ Innovative Technologies
Amended Development Agreement
Our File No. 419996-64

Dear Rita:

Attached please find proceedings covering the public hearing on the Amended Development Agreement with SP Enterprises, LLC d/b/a/ Innovative Technologies, followed by a resolution approving the Amended Development Agreement and pledging certain incremental property tax revenues to the payment of the City's obligations thereunder.

We would appreciate receiving one fully executed copy of these proceedings as soon as they are available.

Please contact John Danos, Severie Orngard, or me if you have questions.

Kind regards,

Amy Bjork

Attachments

cc: Jolene Lettow

AMENDED DEVELOPMENT AGREEMENT

This Agreement is entered into between the City of Huxley, Iowa (the “City”) and SP Enterprises, LLC d/b/a Innovative Technologies (the “Company”), as of the ___ day of _____, 2021 (the “Commencement Date”).

WHEREAS, the City has established the Huxley Urban Renewal Area (the “Urban Renewal Area”), and has adopted a tax increment ordinance for the Urban Renewal Area; and

WHEREAS, the Company has proposed to lease certain real property which is situated in the City and lies within the Urban Renewal Area and is more specifically described on Exhibit A hereto (the “Property”); and

WHEREAS, the Company has proposed to undertake the construction of a new building (the “Project”) for use in the Company’s manufacturing business operations; and

WHEREAS, the Company has requested that the City provide financial assistance in the form of incremental property tax payments to be used by the Company in paying the costs of constructing and maintaining the Project; and

WHEREAS, the base valuation of the Property for purposes of calculations of Incremental Property Tax Revenues (as hereinafter defined) under Section 403.19 of the Code of Iowa and this Agreement is \$69,300 (the “Base Valuation”); and

WHEREAS, the City and the Company entered into a Development Agreement (the “Original Agreement”) dated November 28, 2017; and

WHEREAS, it is now necessary to amend the Original Agreement to (1) adjust the Employment Requirements (as hereinafter defined); (2) increase the amount of incremental property tax payments to be provided to the Company; (3) adjust the time period during which such payments will be made; and (4) make other related changes; and

WHEREAS, this Amended Development Agreement (the “Agreement”) has been prepared to set forth the updated, mutual understanding between the City and the Company and to replace the Original Agreement; and

WHEREAS, Chapter 15A of the Code of Iowa authorizes cities to provide grants, loans, guarantees, tax incentives and other financial assistance to or for the benefit of private persons;

NOW THEREFORE, the parties hereto agree as follows:

A. Company’s Covenants

1. Project Construction. The Company agrees to cause the construction of the Project on the Property and to maintain and use the completed Project as part of its business operations throughout the Term, as hereinafter defined. The Company has submitted a detailed site plan (the “Site Plan”) for the development of the Project to the City which was approved by

the City Council on October 10, 2017, and is set forth as Exhibit B hereto. The Company agrees to construct the Project in accordance with the Site Plan and to substantially complete such construction by no later than December 31, 2018.

2. Property Taxes. The Company agrees to make or ensure timely payment of all property taxes as they come due with respect to the Property with the completed Project thereon throughout the Term, as hereinafter defined, and to submit a receipt or cancelled check in evidence of each such payment.

3. Company's Certifications. The Company agrees to submit documentation to the satisfaction of the City by no later than October 15 of each year during the Term, as hereinafter defined, commencing October 15, 2021, demonstrating that the completed Project is being used in the operation of the Company's business operations.

4. Property Tax Payment Certification. Furthermore, the Company agrees to certify to the City by no later than October 15 of each year during the Term, as hereinafter defined, commencing October 15, 2021, an amount (the "Company's Estimate") equal to the estimated Incremental Property Tax Revenues anticipated to be paid in the fiscal year immediately following such certification with respect to the taxable valuation of the Property. In submitting each such Company's Estimate, the Company will complete and submit the worksheet attached hereto as Exhibit C. The City reserves the right to review and request revisions to each such Company's Estimate to ensure the accuracy of the figures submitted. For purposes of this Agreement, Incremental Property Tax Revenues are calculated by: (1) determining the consolidated property tax levy (city, county, school, etc.) then in effect with respect to taxation of the Property; (2) subtracting (a) the debt service levies of all taxing jurisdictions, (b) the school district instructional support and physical plant and equipment levies, and (c) any other levies which may be exempted from such calculation by action of the Iowa General Assembly; (3) multiplying the resulting modified consolidated levy rate times any incremental growth in the taxable valuation of the Property, as shown on the property tax rolls of Story County, above and beyond the Base Valuation; and (4) deducting any property tax credits which shall be available with respect to taxable incremental valuation of the Property.

Upon request, the City staff shall provide reasonable assistance to the Company in completing the worksheet required under this Section A.4.

5. Employment Requirements. The Company agrees to meet the following employment requirements (the "Employment Requirements") during the Term, as hereinafter defined, of this Agreement:

A. Base Work Force. As of the Commencement Date of this Agreement, the Company agrees that it has a work force of at least seventeen (17) employees (the "Base Work Force") employed in connection with its operations in the City;

B. Additional Work Force. The Company agrees to establish not less than eight (8) additional employment positions (the "Additional Work Force"), above and beyond the Base Work Force in connection with the Company's business operations in the City by no later than January 1, 2025.

C. Work Force Requirements. From the Commencement Date through January 1, 2025, the Company agrees to maintain the Base Work Force.

From January 1, 2025, and continuing through the remainder of the Term, as hereinafter defined, of this Agreement, the Company agrees to maintain a workforce consisting of the Base Work Force plus the Additional Work Force.

The Company agrees to submit documentation to the satisfaction of the City, by no later than October 15 of each year, commencing October 15, 2021, demonstrating that the Employment Requirements then in effect are being met by the Company. Failure to comply with the Employment Requirements and the reporting requirements set forth in this Section will give the City the right to reduce or withhold Payments, as defined in Section B, below.

6. Legal Fees. The Company hereby acknowledges that the City covered the initial payment of legal fees and administrative costs (the “Actual Admin Costs”) incurred by the City in connection with the drafting, negotiation and authorization of the Original Agreement, including the necessary amendment to the Urban Renewal Area. Furthermore, the Company acknowledges that the City withheld an amount (the “Admin Withholding Amount”) equal to the lesser of (1) \$7,500 or (2) the Actual Admin Costs from the initial Payments, as hereinafter set forth in order to recover some or all of the Actual Admin Costs.

The Company hereby acknowledges that the City will cover the payment of legal fees and administrative costs (the “Additional Admin Costs”) incurred by the City in connection with the drafting, negotiation and authorization of this Agreement, including the necessary amendment to Urban Renewal Plan for the Urban Renewal Area. Furthermore, the Company agrees that the City shall withhold an amount (the “Additional Admin Withholding Amount”) equal to the lesser of (1) \$7,500 or (2) the actual Additional Admin Costs from the initial Payments, as hereinafter set forth in order to recover some or all of the Actual Admin Costs.

7. Default Provisions.

A. Events of Default. The following shall be “Events of Default” under this Agreement, and the term “Event of Default” shall mean, whenever it is used in this Agreement (unless otherwise provided), any one or more of the following events:

- I. Failure by the Company to commence and complete construction of the Project pursuant to the terms and conditions of this Agreement.
- II. Failure by the Company to fully and timely remit payment of property taxes when due and owing.
- III. Failure by the Company to keep the completed Project in service as part of its business operations on the Property throughout the Term, as hereinafter defined.
- IV. Failure by the Company to comply with the Employment Requirements set forth in Section A.5 of this Agreement.

- V. Failure by the Company to comply with the reporting and certification requirements set forth in Sections A.2, A.3, A.4 and A.5 of this Agreement.
- VI. Failure by the Company to observe or perform any other material covenant on its part, to be observed or performed hereunder.

B. **Notice and Remedies.** Whenever any Event of Default described in this Agreement occurs, the City shall provide written notice to the Company describing the cause of the default and the steps that must be taken by the Company in order to cure the default. The Company shall have thirty (30) days after receipt of the notice to cure the default or to provide assurances satisfactory to City that the default will be cured as soon as reasonably possible. If the Company fails to cure the default or provide assurances, the City shall then have the right to:

- I. Pursue any action available to it, at law or in equity, in order to enforce the terms of this Agreement.
- II. Withhold any future Payments provided for under Section B.1 below.

B. City's Obligations

1. **Payments.** In recognition of the Company's obligations set out above, the City agrees to make seven (7) annual economic development tax increment payments (the "Payments") to the Company in each fiscal year during the term of this Agreement, pursuant to Chapters 15A and 403 of the Code of Iowa, provided however that the aggregate, total amount of the Payments shall not exceed \$250,000 (the "Maximum Payment Total"), and all Payments under this Agreement shall be subject to annual appropriation by the City Council, as provided hereunder.

The Payments shall not constitute general obligations of the City, but shall be made solely and only from Incremental Property Tax Revenues received by the City from the Story County Treasurer attributable to the taxable valuation of the Property.

Prior to funding any Payments hereunder, the City shall retain an amount equal to the Additional Admin Withholding Amount from the Incremental Property Tax Revenues received with respect to the Property. Once such amount has been withheld, the Payments shall be funded as described herein.

Each Payment shall not exceed an amount which represents the Incremental Property Tax Revenues available to the City with respect to the Property during the twelve (12) months immediately preceding each Payment date.

Payments will be made on June 1 of each fiscal year, beginning June 1, 2023, and continuing through and including June 1, 2029, or until such earlier date upon which total Payments equal to the Maximum Payment Total have been made.

2. **Annual Appropriation.** Each Payment shall be subject to annual appropriation by the City Council. Prior to December 1 of each year during the Term of this Agreement, commencing in the City's 2021-2022 fiscal year, the City Council of the City shall consider the question of obligating for appropriation to the funding of the Payment due in the

following fiscal year, an amount (the “Appropriated Amount”) of Incremental Property Tax Revenues to be collected in the following fiscal year equal to or less than the most recently submitted Company’s Estimate.

In any given fiscal year, if the City Council determines to not obligate the then-considered Appropriated Amount, then the City will be under no obligation to fund the Payment scheduled to become due in the following fiscal year, and the Company will have no rights whatsoever to compel the City to make such Payment or to seek damages relative thereto or to compel the funding of such Payment in future fiscal years. A determination by the City Council to not obligate funds for any particular fiscal year’s Payment shall not render this Agreement null and void, and the Company shall make the next succeeding submission of the Company’s Estimate as called for in Section A.4 above, provided however that no Payment shall be made after June 1, 2029.

3. Payment Amounts. Each Payment shall be in an amount equal to the corresponding Appropriated Amount (for example, for the Payment due on June 1, 2023, the amount of such Payment would be determined by the Appropriated Amount determined for certification by December 1, 2021), provided, however, that no Payment shall exceed the amount of Incremental Property Tax Revenues received by the City from the Buchanan County Treasurer attributable to the taxable valuation of the Property with the Project thereon.

4. Certification of Payment Obligation. In any given fiscal year, if the City Council determines to obligate the then-considered Appropriated Amount, as set forth in Section B.2 above, then the City Clerk will certify by December 1 of each such year to the Story County Auditor an amount equal to the most recently obligated Appropriated Amount.

C. Administrative Provisions

1. Amendment and Assignment. This Agreement may not be amended or assigned by either party without the written consent of the other party. However, the City hereby gives its permission that the Company’s rights to receive the Payments hereunder may be assigned by the Company to a private lender, as security on a credit facility taken with respect to the Project, without further action on the part of the City.

2. Successors. This Agreement shall inure to the benefit of and be binding upon the successors and assigns of the parties.

3. Term. The term (the “Term”) of this Agreement shall commence on the Commencement Date and end on June 1, 2029 or on such earlier date upon which the aggregate sum of Payments made to the Company equals the Maximum Payment Total.

4. Choice of Law. This Agreement shall be deemed to be a contract made under the laws of the State of Iowa and for all purposes shall be governed by and construed in accordance with laws of the State of Iowa.

The City and the Company have caused this Agreement to be signed, in their names and on their behalf by their duly authorized officers, all as of the day and date written above.

CITY OF HUXLEY, IOWA

By: _____
Mayor

Attest:

City Clerk

SP ENTERPRISES, LLC

By: _____
Its: _____

EXHIBIT A
LEGAL DESCRIPTION OF THE PROPERTY

Certain real property in the City of Huxley, Story County, State of Iowa more particularly described as follows:

Lot Three, Blue Sky Commons, Plat 1, City of Huxley, Story County, Iowa.

EXHIBIT B
SITE PLAN

EXHIBIT C
COMPANY'S ESTIMATE WORKSHEET

- (1) Date of Preparation: October _____, 20____.
- (2) Assessed Valuation of Property as of January 1, 20____:
\$_____.
- (3) Base Taxable Valuation of Property:
\$69,300.
- (4) Incremental Taxable Valuation of Property (2 minus 3):
\$_____ (the "TIF Value").
- (5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):
\$_____ per thousand of value.
- (6) The TIF Value (4) factored by the Adjusted Levy Rate (5).
\$_____ x \$_____/1000 = \$_____ (the "Company's Estimate")

RESOLUTION NO. 21-058

**RESOLUTION DIRECTING THE CITY CLERK TO FILE A PROPERTY TAX LIEN
FOR COLLECTION OF DELINQUENT COURT COSTS**

WHEREAS, notification was sent to owners of property located in Huxley, Iowa for outstanding court costs; and

WHEREAS, a dismissal order was filed in the Story County Clerk of District Court on November 21, 2019 for court costs incurred from an infraction that required demolition of a building at 109 South Main Avenue in Huxley, IA

WHEREAS, the below listed party was also served notices from the City of Huxley to pay the outstanding costs;

NOW, THEREFORE BE IT RESOLVED, that payment has not been received and that the following be attached to the property tax assessment by the Story County Treasurer's Office to be collected in one payment in the amount of \$ 203.00.

Owned by:

Rick Sheldahl

Parcel No. 13-26-210-250

109 South Main Avenue

Amount Due: 203.00

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

Kevin Deaton, Mayor

ATTEST: _____
Jolene R. Lettow, City Clerk

RESOLUTION NO. 21-059

**RESOLUTION SETTING SALARIES FOR FISCAL YEAR 2022 FOR
APPOINTED OFFICERS AND EMPLOYEES OF THE CITY OF HUXLEY, IOWA**

BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF HUXLEY:

SECTION 1. The following positions named, upon completion of annual evaluation, a satisfactory review and completing requirements for the positions, shall be paid the salaries or wages indicated. These wages are less legally required or authorized deductions from the amounts set out below on a bi-weekly basis and also make such contributions to Social Security, Medicare, I.P.E.R.S or other purposes as required by law or authorization of the City Council, all subject to audit and review by the City Council. All employees in the table below will be considered regular full-time and part-time employees. Full-time employees working at least a 40-hour week and part-time less than 40 hours.

<i>POSITION</i>	<i>ANNUAL SALARY OR HOURLY RATE FOR FY 2022 AS OF 6/26/21 Payroll Period</i>	<i>CLASSIFICATION ANNUAL SALARY (SAL) OR HOURLY (HR)</i>
POLICE		
POLICE CHIEF	\$ 78,625.37	ANNUAL SALARY
SERGEANT	\$ 32.66	HOURLY RATE
SERGEANT	\$ 32.35	HOURLY RATE
POLICE OFFICER	\$ 30.19	HOURLY RATE
POLICE OFFICER	\$ 29.90	HOURLY RATE
POLICE OFFICER	\$ 27.75	HOURLY RATE
PUBLIC WORKS		
PUBLIC WORKS DIRECTOR	\$ 89,433.17	ANNUAL SALARY
WATER SUPER/ASST. PWD	\$ 37.42	HOURLY RATE
WASTEWATER SUPERINTENDENT	\$ 30.48	HOURLY RATE
STREET SUPERINTENDENT	\$ 28.63	HOURLY RATE
PUBLIC WORKS EMP. UTILITY II	\$ 23.33	HOURLY RATE
PUBLIC WORKS EMP. UTILITY I	\$ 24.77	HOURLY RATE
PUBLIC UTILITY EMP./PARKS	\$ 21.84	HOURLY RATE
PARKS AND RECREATION		
PARKS & RECREATION DIR.	\$ 64,785.08	ANNUAL SALARY
ADMINISTRATIVE ASSISTANT	\$ 24.38	HOURLY RATE
GROUNDS & MAINT. EMPLOYEE	\$ 16.80	HOURLY RATE
ADMINISTRATION		
CITY ADMINISTRATOR	\$ 110,313.13	ANNUAL SALARY
CITY CLERK/FINANCE OFFICER	\$ 34.53	HOURLY RATE
HR ADMINISTRATIVE COOR.	\$ 34.02	HOURLY RATE
UTILITIES & ZONING/DEP CC	\$ 27.27	HOURLY RATE

SECTION 2. The normal work week for the City of Huxley shall begin on Saturday at 12.01 a.m. and end on the following Friday at midnight.

SECTION 3. Job descriptions, rules and benefits will be provided to each employee and updated as required.

SECTION 4. GROUP HEALTH INSURANCE AND BENEFITS: The City will provide benefits to the City employees as outlined in the City’s Personnel Manual and related resolutions.

SECTION 5. MILEAGE REIMBURSEMENT/AUTO ALLOWANCE: If an employee is asked to travel on behalf of the City they shall use a City vehicle when it is possible to do so. If an employee has to use their own vehicle they shall be reimbursed at the rate set by the IRS for that fiscal year. If it is less to travel by air then that option will be implemented. If it is less costly to travel by air and the employee elects to travel by vehicle and they use their vehicle, the employee shall not receive reimbursement greater than the lesser cost between air and vehicle.

SECTION 6. EFFECTIVE DATE: The effective date of these revisions to the FY22 salaries shall be June 26, 2021.

SECTION 7. COMPENSATORY TIME: An employee may choose to receive comp time or overtime for hours worked over 40 hours in a work week. No employee shall accumulate more than 40 hours of compensatory time in any calendar year. Any employee that has reached the maximum of 40 hours may not select comp time but shall receive overtime for approved hours earned over 40 hours worked or until such time that compensatory time has fallen below 40 hours.

SECTION 8. This resolution declares null and void any sections of previously approved salary resolutions in conflict with sections of this resolution.



PASSED, ADOPTED AND APPROVED this 22nd day of June, 2021.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21** - by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of June, 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

COUNCIL COMMUNICATION

AGENDA HEADINGS:

Scooter's Coffee Site Plan

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

SFAM LLC (1102 Siemer Drive Denison, Iowa 51442) has submitted a site plan for the construction of a 633 square foot 1 story Scooter's Coffee kiosk building on .22 acres adjacent to Ballard Plaza at 602 N US Highway 69. MR Properties (Chris Gardner 506 East 1st Street Huxley, Iowa 50124) has submitted private utility improvements and a final plat for Ballard Plaza Plat 2 also on this agenda. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Private utility improvements will be extended to serve Scooter's Coffee and the .22 acre site will be sold to SFAM, LLC.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

- A revised landscaping plan was submitted June 17, 2021 and is included with the agenda packet
- The coffee shop will add a new commercial service to the Highway 69 Corridor and contribute to the revitalization of Ballard Plaza.

CITY ADMINISTRATOR COMMENTS: YES

- Landscape ordinance will be part of the amendments made to the Code of Ordinances by staff with City Council, to establish minimums and provide additional detail on landscaping goals and community aesthetics

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- Planning & Zoning Commission site plan review Monday June 21, 2021

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- Completion of improvements
- Building construction

RESOLUTION NO. 21-060

RESOLUTION APPROVING SCOOTER’S COFFEE SITE PLAN

WHEREAS, SFAM, LLC has submitted site plan materials for City of Huxley review for the construction of Scooter’s Coffee at 660 N US Highway 69 in the C-2 zoning district and;

WHEREAS, a 633 square foot 1 story kiosk building will be constructed and;

WHEREAS Scooter’s Coffee will add a new commercial service to the Highway 69 Corridor and contribute activity to Ballard Plaza and;

WHEREAS, the Planning & Zoning Commission will review the site plan for the project at their June 21, 2021 meeting and make a recommendation to Council.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the Scooter’s Coffee site plan as presented.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-060** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of June 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

SCOOTER'S COFFEE - HUXLEY

660 N HIGHWAY 69, HUXLEY, IOWA

SITE PLAN

NAI #21091



EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERE TO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SPECIFICATION REFERENCE

THE 2021 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

LEGEND

Existing / Proposed	Existing / Proposed	Existing / Proposed	Existing / Proposed
● ▲	Found monument 5/8" IR with red cap #18530 unless otherwise noted	1334	Address
○ △	Set monument 5/8" IR with red cap #18530 unless otherwise noted	1335	Spot elevation
IR	Round iron rebar	1336	Sanitary sewer manhole
IP	Round iron pipe	1337	Cleanout
PCC	Portland cement concrete	1338	Storm sewer manhole
ACC	Asphaltic cement concrete	1339	Storm sewer intake
FL	Pipe flowline elevation	1340	Storm sewer baffle
RCP	Reinforced concrete pipe	1341	Flared end section
CMP	Corrugated metal pipe	1342	Water hydrant
CPP	Corrugated plastic pipe	1343	Water valve
PVC	Polyvinyl chloride pipe	1344	Water service shut-off
CIP	Cast iron pipe	1345	Water main manhole
P.U.E.	Public utility easement	1346	Monitoring well
S.W.F.E.	Surface water flowage easement	1347	Yard hydrant
B/B	Back of curb to back of curb	1348	Well
---	Subject boundary line	1349	Gas valve
---	Section line	1350	Air conditioning unit
---	Proposed boundary line	1351	Electric manhole
---	Existing boundary line	1352	Electric meter
---	Future boundary line	1353	Electric pedestal
---	Underlying boundary line	1354	Electric transformer
---	Proposed easement line	1355	Utility hand hole
---	Existing easement line	1356	Utility pole
---	Setback line	1357	Utility pole with light
---	Barbed wire fence line	1358	Light pole
---	Chain-link fence line	1359	Ground up light
---	Straw Wattle	1360	Guy wire
---	Silt fence	1361	Traffic signal
---	Sanitary sewer & size	1362	Traffic signal with light
---	Storm sewer and size	1363	Traffic manhole
---	Water main and size	1364	Communication pedestal
---	Gas main & size	1365	Telephone booth
---	Overhead electric & wires	1366	TV pedestal
---	Overhead communication	1367	Billboard sign
---	Underground electric	1368	Street sign
---	Underground television	1369	Down spout
---	Underground communication	1370	Tree shrub
---	Contour elevation	1371	Deciduous tree and trunk diameter
---	Swale flowline	1372	Coniferous tree and trunk diameter
---	Edge of water	1373	
---	Edge of tree dripline	1374	
---	Construction limits	1375	
---	Construction fence	1376	

BENCHMARKS

- TOP OF RIM OF EXISTING SANITARY MANHOLE, LOCATED ON THE SOUTHEASTERLY LINE OF LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2, AT THE WEST EDGE OF THE CONCRETE SIDEWALK, APPROXIMATELY 16 SOUTHWESTERLY OF THE EASTERLY CORNER OF SAID LOT 1. ELEVATION = 1014.88' (NAVD88)
- CUT "X" ON TOP OF THE CONCRETE CURB IN THE NORTH CORNER OF THE FAREWAY PARKING LOT, APPROXIMATELY 88 FEET SOUTHEASTERLY OF BENCHMARK #1 ALONG THE EXISTING SIDEWALK. ELEVATION = 1016.80' (NAVD88)

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
 - CITY OF HUXLEY
 - MR PROPERTIES
- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2021 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF HUXLEY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF HUXLEY PERSONNEL.
- SIGNS SHALL CONFORM TO THE CITY OF HUXLEY SIGN ORDINANCE.
- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.
- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
- PROVIDE TO THE PROJECT ENGINEER, ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF HUXLEY, MR PROPERTIES, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.

UTILITY CONTACTS

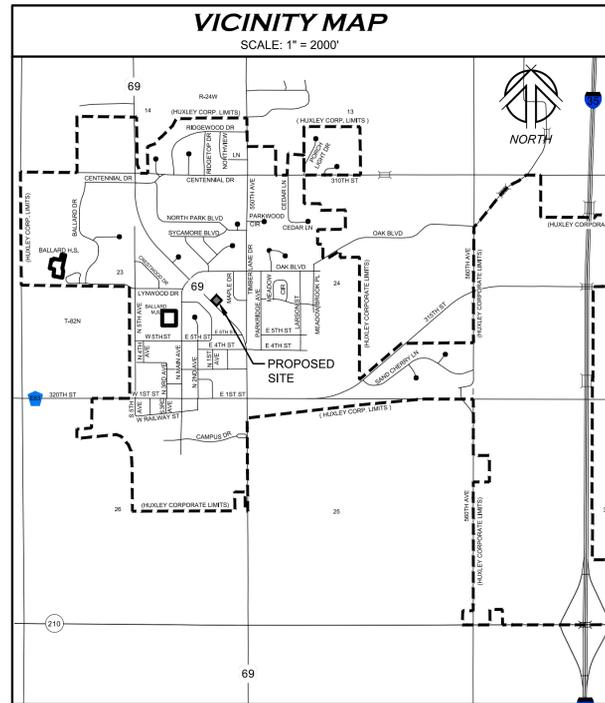
CITY OF HUXLEY WATER AND SEWER
Contact Name: Keith Vitzthum
Contact Phone: 515-290-7512

ALLIANT ENERGY- GAS AND ELECTRIC
Contact Name: Jenni Kroneman
Contact Phone: 515-268-3425

HUXLEY COMMUNICATIONS - PHONE/CABLE
Contact Name: Brant Strumpfer
Contact Phone: 515-203-6716

VICINITY MAP

SCALE: 1" = 2000'



PROJECT SUMMARY

TOTAL SITE AREA:	9,393 SF, 0.22 ACRES
PROPOSED USE:	COFFEE KIOSK / DRIVE-THRU
BUILDING INFORMATION:	1-STORY BUILDING
TOTAL BUILDING COVERAGE:	633 SF
COFFEE HOUSE AREA:	633 SF
TOTAL STALLS REQUIRED	3 SPACES
TOTAL PARKING PROVIDED INCLUDING 1 ACCESSIBLE STALL	4 SPACES
PRIVATE DRIVES & PARKING:	4,461 SF
SIDEWALKS:	1242 SF (INCLUDES R.O.W.) 273 SF (ON LOT)
COMBINED HARD SURFACE:	5,367 SF (57.1%)
OPEN SPACE INFORMATION:	4,299 SF (45.8%)
GREENSPACE:	4,026 SF (42.9%)
PROPERTY ZONING:	C-2
PROPERTY ADDRESS:	660 N HIGHWAY 69

PROPERTY OWNER	DEVELOPER/BUYER
MR PROPERTIES, LC CHRIS GARDNER 506 E 1ST ST HUXLEY, IOWA 50124	SFAM, LLC 1102 SIEMER DRIVE DENISON, IOWA 51442

SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	CV-1	COVER SHEET
2	DP-1	DIMENSION PLAN
3	GR-1	GRADING & EROSION CONTROL PLAN
4	UP-1	UTILITY PLAN
5	LP-1	LANDSCAPE PLAN
6	DT-1	SITE DETAILS

LEGAL DESCRIPTION

LOT 1, BALLARD PLAZA PLAT 2, AN OFFICIAL PLAT, LOCATED IN THE CITY OF HUXLEY, STORY COUNTY, IOWA.
CONTAINING 0.22 ACRES, MORE OR LESS
SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

CONSTRUCTION SCHEDULE

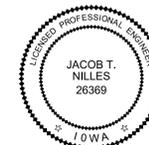
SITE GRADING	SPRING 2021
UTILITY INSTALLATION	SPRING 2021 - FALL 2021
PAVING INSTALLATION	SPRING 2021 - FALL 2021

CERTIFICATIONS



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.
ROGER J. SILVER

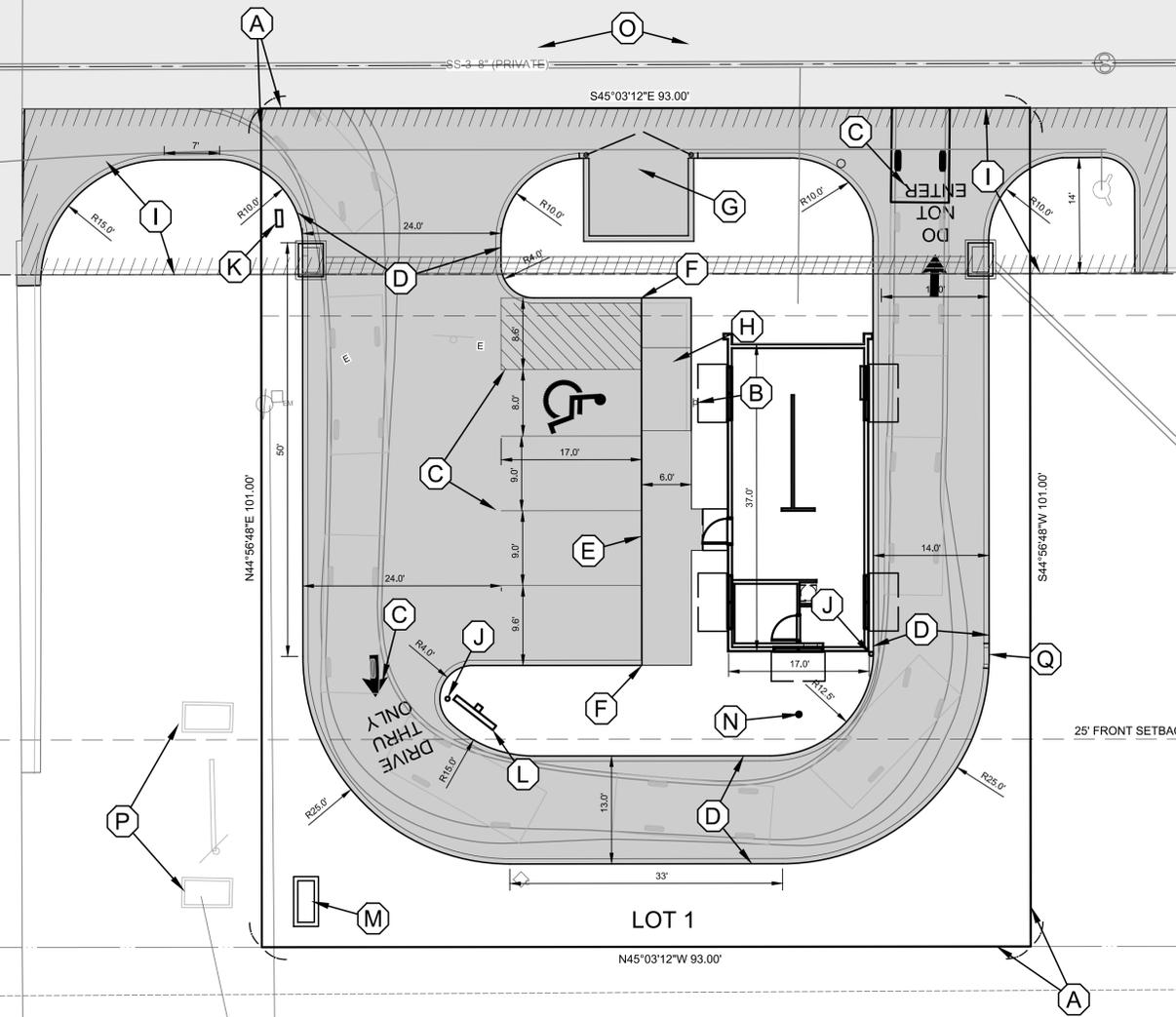
SIGNATURE _____ DATE _____
PAGES OR SHEETS COVERED BY THIS SEAL:
CV-1, LP-1, DT-1



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date _____
Name: Jacob T. Nilles, P.E. No. 26369
My license renewal date is December 31, 2021
Pages or sheets covered by this seal: CV-1, DP-1, GR-1, UP-1, DT-1

PART OF LOT 1
BALLARD PLAZA
EXCEPT PARCEL "A"
OWNERS: BALLARD LLC



DIMENSION PLAN NOTES

- A. PROPERTY LINE.
- B. ACCESSIBLE STALL SIGNS IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7, 12" BEHIND SIDEWALK. SEE DETAIL 4 ON SHEET DT-1.
- C. PROVIDE PAVEMENT MARKINGS AND SYMBOLS AS SHOWN PER SUDAS 8020 AND IDOT SECTION 2527.
- D. 6" STANDARD CURB PER SUDAS FIGURE 7010.102. ALL CONCRETE CURBS SHALL BE INTEGRAL.
- E. CLASS A SIDEWALK CURB (SUDAS FIGURE 7030.202 - DETAIL 3).
- F. CURB CHANGES FROM 6" STANDARD TO (SUDAS FIGURE 7010.102) TO THICKENED EDGE CLASS A SIDEWALK CURB (SUDAS FIGURE 7030.202 - DETAIL 3).
- G. TRASH ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR ENCLOSURE AND GATE DETAILS. DROP CURB IN FRONT OF ENCLOSURE AS SHOWN.
- H. ACCESSIBLE RAMP.
- I. REMOVE EXISTING PAVEMENT. COORDINATE PAVEMENT REMOVAL AND CONSTRUCTION WITH PROPERTY OWNER AND ADJACENT UTILITY INSTALLATION.
- J. BOLLARD. REFER TO DETAIL 6 ON SHEET DT-1.
- K. DIRECTIONAL SIGN. REFER TO ARCHITECTURAL PLANS.
- L. MENU BOARD WITH SPEAKER. REFER TO ARCHITECTURAL PLANS.
- M. MONUMENT SIGN. REFER TO ARCHITECTURAL PLANS. SEPARATE SIGNAGE PERMIT TO BE OBTAINED BY OWNER.
- N. 25' FLAG POLE. REFER TO ARCHITECTURAL PLANS.
- O. PAVEMENT BY OTHERS.
- P. EXISTING MONUMENT SIGN TO BE REMOVED BY OTHERS.
- Q. SLOTTED CURB. REFER TO DETAIL 7 ON SHEET DT-1.

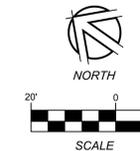
PAVING NOTES

- 1. PARKING LOT AND DRIVE AISLE PAVING SHALL BE NON-REINFORCED P.C.C. WITH THICKNESS OF 6 INCHES. ALL CONCRETE CURBS SHALL BE INTEGRAL TO PAVING SLAB.
- 2. TRASH ENCLOSURE PAD SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 8".
- 3. SIDEWALKS SHALL BE NON REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 5 INCHES.
- 4. ALL PAVING SHALL COMPLY W/ SUDAS SECTION 7010 FOR MATERIALS AND INSTALLATION.
- 5. COMPLY WITH SUDAS SECTION 7030 FOR P.C.C. SIDEWALKS MATERIALS AND INSTALLATION.
- 6. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON STOOPS AND SIDEWALKS ADJACENT TO BUILDING.
- 7. SIDEWALK RAMPS ADJACENT TO PUBLIC STREETS SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 6 INCHES. ALL OTHER SIDEWALKS AND RAMPS SHALL HAVE A MINIMUM THICKNESS OF 5 INCHES.
- 8. ALL TRUNCATED DOME INSERTS SHALL BE CAST IN PLACE REPLACEABLE IN RED MANUFACTURED BY ADA SOLUTIONS, OR APPROVED EQUAL.

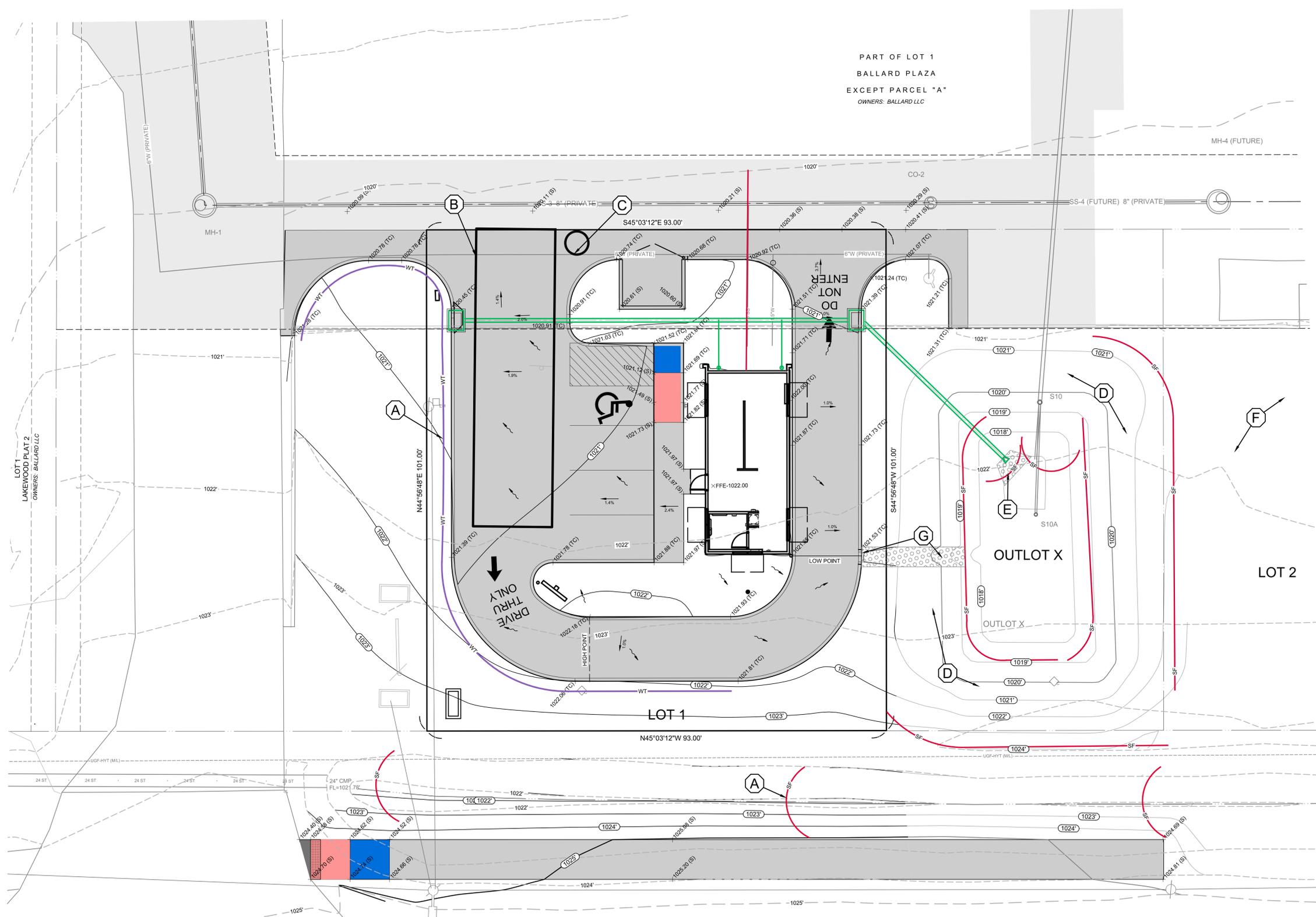
LOT 1
LAKEWOOD PLAT 2
OWNERS: BALLARD LLC

NORTH US HIGHWAY 69

NORTH US HIGHWAY 69



PART OF LOT 1
BALLARD PLAZA
EXCEPT PARCEL "A"
OWNERS: BALLARD LLC



GRADING PLAN LEGEND

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION

- RAMP
- SPECIAL SHAPING
- TURNING SPACE
- MAX 1.5% IN ALL DIRECTIONS

GENERAL GRADING PLAN NOTES

1. ALL EXTERIOR PAVING AREAS SHALL HAVE 12" DEPTH SUBGRADE PREPARATION. SCARIFY AND COMPACT PER GEOTECHNICAL REPORT EXTENDING 2' BEYOND PAVING LIMITS.

GRADING PLAN NOTES

- A. PROVIDE SILT FENCE AND 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED ---SF--- AND ---WT--- RESPECTIVELY. 1000 LF OF SILT FENCE SHOWN. 50 LF OF WATTLE SHOWN. INSTALL PER SUDAS 9040.
- B. CONSTRUCTION ENTRANCE - 16' WIDE X 60' LONG X 12" DEPTH STONE.
- C. CONCRETE WASHOUT AREA.
- D. REGIONAL DETENTION BASIN BY OTHERS. REFER TO PLANS FOR BALLARD PLAZA PLAT 2 IMPROVEMENTS
- E. INSTALL FLEXAMAT ARMORING AT OUTLET LOCATION. MATERIAL SHALL BE FLEXAMAT PLUS BY MOTZ ENTERPRISES OR APPROVED EQUAL. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DETAIL 5 ON SHEET DT-1.
- F. STOCKPILE LOCATION.
- G. SLOTTED CURB AND FLEXAMAT FLUME. REFER TO DETAIL 7 ON SHEET DT-1.

PRELIMINARY - NOT FOR CONSTRUCTION

1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

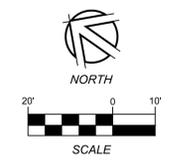
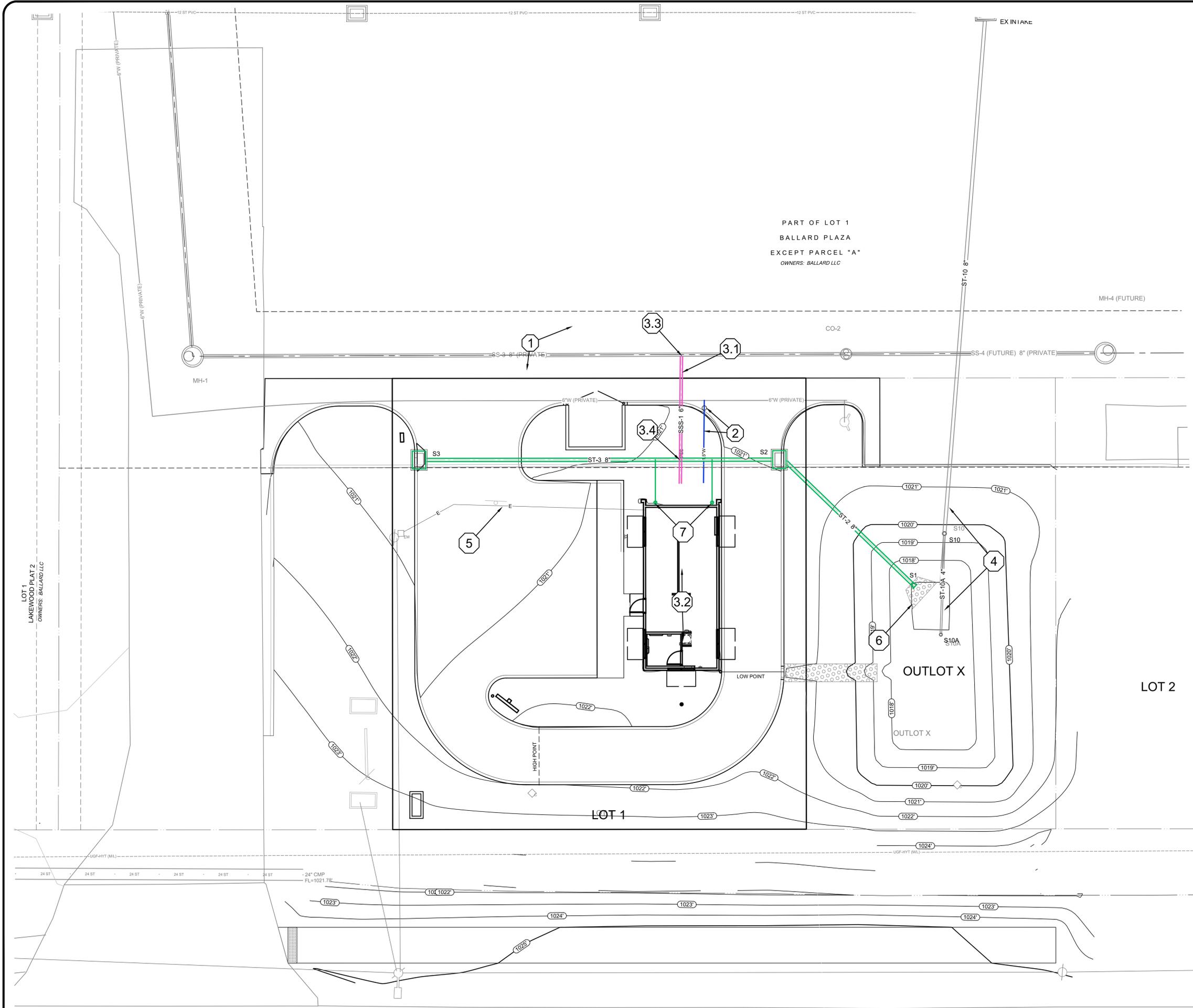
REVISIONS:
1) 10/22/2021 - REVISIONS PER CITY OF HUXLEY COMMENTS
2)
3)
4)
5)
6)
7)

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THE ENGINEER HAS INTENTED THE COUNTY, OR TO OBTAIN AND/OR FOLLOW THE ENGINEER'S ORDINANCES, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

SCOOTER'S COFFEE HUXLEY
600 N. HIGHWAY 69, HUXLEY, IOWA

GRADING & EROSION CONTROL PLAN

PROJECT NAME:	SCOOTER'S COFFEE HUXLEY
DATE:	5/24/2021
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	GR-1
SHEET NO.:	3/6



STORM STRUCTURE TABLE

NAME	DESCRIPTION	RIM/TC	INVERT
S1	FLARED END SECTION	1017.57	INV 1016.80 (ST-2)
S2	(SW-501) SINGLE GRATE INTAKE	1021.43	INV 1017.14 (ST-3) INV 1017.04 (ST-2)
S3	(SW-501) SINGLE GRATE INTAKE	1020.45	INV 1017.64 (ST-3)

STORM PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
ST-2	8" PVC	40 LF	0.60%	1017.04	1016.80
ST-3	8" PVC	83 LF	0.60%	1017.64	1017.14

- UTILITY PLAN NOTES**
- REFER TO PLANS FOR PUBLIC IMPROVEMENTS FOR BALLARD PLAZA PLAT 2 FOR SANITARY SEWER AND WATER MAIN DETAILS.
 - INSTALL ARCH PATTERN WATER CURB STOP BOX WITH STAINLESS STEEL ROD AND EXTEND 1-1/2" WATER SERVICE INTO BUILDING AT A MINIMUM DEPTH OF 5.5'. INSTALL WATTS RPZ BACKFLOW ASSEMBLY ON WATER SERVICE. SERVICE MATERIAL SHALL BE COPPER FROM THE WATER MAIN TO THE METER. STAMP "W" ON CURB WHERE SERVICE CROSSES. REFER TO BUILDING MEP PLANS FOR DETAILS.
 - SANITARY SEWER
 - INSTALL SANITARY SEWER SERVICE PER SUDAS 4010 AT A MINIMUM SLOPE OF 2.0%. MATERIAL SHALL BE SDR 23.5 PVC. INSTALL TRACER WIRE ALONG SANITARY SEWER AND LOOP WIRE DOWN SERVICE. TERMINATE TRACER WIRE USING FLUSH MOUNTED TRACER WIRE BOX DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB. STAMP "S" ON CURB WHERE SERVICE CROSSES.
 - INTERNAL SCHIER GB2 GREASE INTERCEPTOR.
 - INSTALL SERVICE RISER OFF MAIN.
 - CRITICAL CROSSING. MAINTAIN 18" OF SEPARATION BELOW STORM SEWER WITH 6" SANITARY SERVICE. INV STORM - 1017.25
 - BASIN OUTLET STORM SEWER BY OTHERS. COORDINATE PARKING LOT PAVEMENT REMOVAL WITH OWNER DURING PUBLIC IMPROVEMENT UTILITY INSTALLATION.
 - ELECTRIC SERVICE LOCATION. COORDINATE SERVICE LOCATION WITH ALLIANT ENERGY.
 - INSTALL FLEXAMAT AT OUTLET LOCATION. MATERIAL SHALL BE FLEXAMAT PLUS BY MOTZ ENTERPRISED OR APPROVED EQUAL.
 - ROOF DOWNSPOUT

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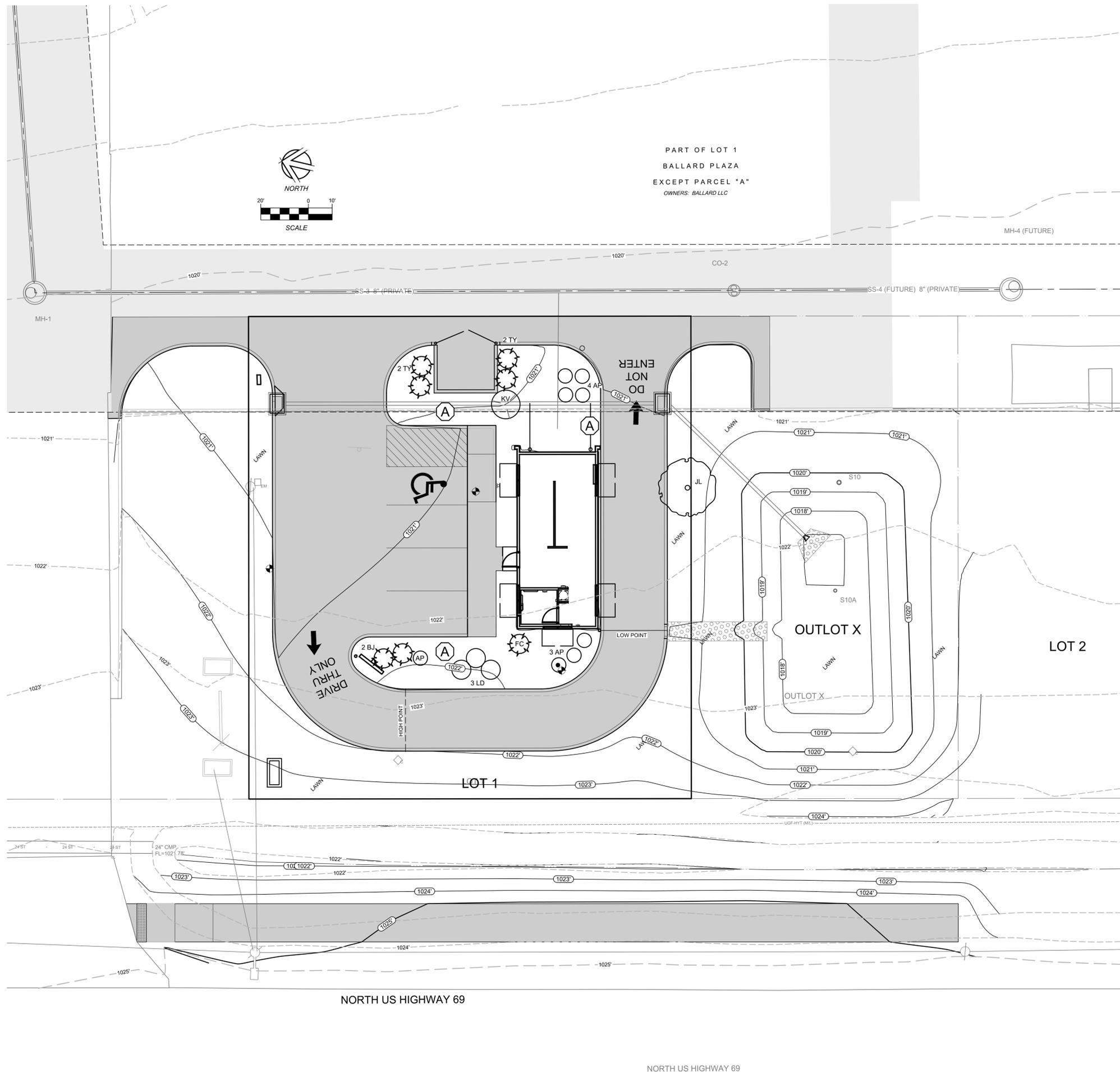
1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone • (515) 965-3322 fax
NILLES ASSOCIATES
 Civil Engineering • Land Surveying
 Landscape Architecture

REVISIONS:
 1) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS
 2) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS
 3) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS
 4) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS
 5) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS
 6) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS
 7) 11/20/2017-REVISIONS PER CITY OF HUXLEY COMMENTS

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PROJECT NAME:
SCOOTER'S COFFEE HUXLEY
 600 N HIGHWAY 69, HUXLEY, IOWA
 UTILITY PLAN

PROJECT NAME	SCOOTER'S COFFEE HUXLEY
DATE	5/24/2021
DRAWN BY	ADS
CHECKED BY	JTN
SHEET NO.	UP-1
SHEET TOTAL	4/6



GENERAL LANDSCAPING NOTES

- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.06 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES.
- NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED OR SODDED AS DIRECTED BY THE PLAN.
- SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9020 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS).
- LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). TYPE 1 PERMANENT LAWN SEED SHALL BE APPLIED PRIOR TO HYDRAULICALLY APPLIED 6PM MULCH.
- ALL PLANTING AREAS SHALL HAVE A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER PLANTING AND ROCK PLACEMENT.

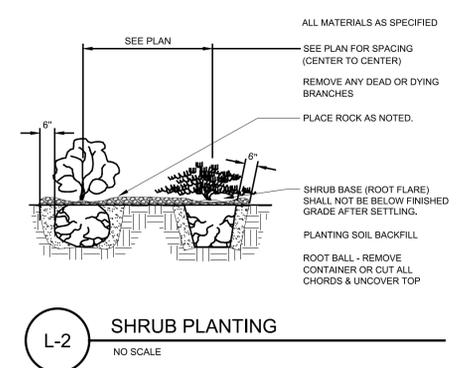
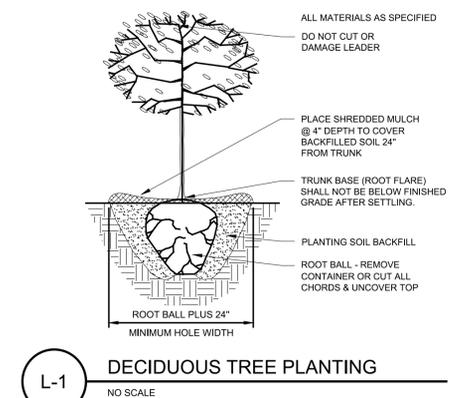
PLANTING SCHEDULE

Key	Common / Scientific name	Minimum Size	No.	Root Comment
JL	Japanese Tree Lilac <i>Syringa reticulata</i>	1 1/2" Caliper	1	B&B or Container
FC	Golden Mop Threadleaf False Cypress <i>Chamaecyparis patarea 'Golden Mop'</i>	18-24" Height	1	Container
BJ	Blue Chip Juniper <i>Juniperus horizontalis 'Blue Chip'</i>	12-15" Height	2	Container
LD	Little Devil Ninebark <i>Physocarpus opulifolius 'Dona May LITTLE DEVIL'</i>	15-18" Height	3	Container
AP	Abbotswood Potentilla - Shrubby Cinquefoil <i>Potentilla fruticosa 'Abbotswood'</i>	18-24" Height	8	Container
TY	Dense Yew <i>Taxus canadensis 'Densiformis'</i>	18-24" Height	4	Container
KV	Spice Island Koreanspice Viburnum <i>Viburnum cedasi 'N.J. Select 2'</i>	18-24" Height	1	Container

LANDSCAPE PLAN NOTES

- A. PLANTING BEDS AS SHOWN SHALL HAVE 1-2" DIAMETER RIVER ROCK AT 2-3" DEPTH PLACED OVER A WATER PERMEABLE WEED BARRIER.

LANDSCAPE DETAILS

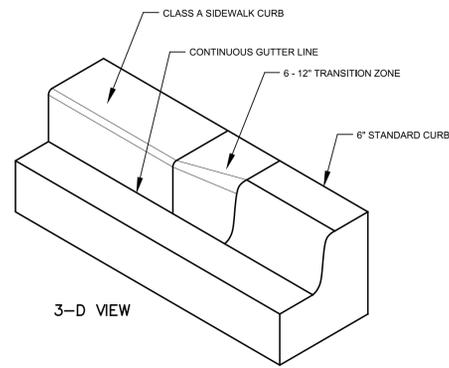


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 1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone • (515) 965-3322 fax
 CIVIL ENGINEERING • LAND SURVEYING
NILLES ASSOCIATES
 Landscape Architecture

REVISIONS:
 1) 11/20/2017 REVISIONS PER CITY OF HUXLEY COMMENTS
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 7) 11/20/2017 REVISIONS PER CITY OF HUXLEY COMMENTS
 NOTE: NILLES ASSOCIATES, INC. WANTS ANY AND ALL PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THE ENGINEERING INTENT OF THIS PLAN, OR TO OBTAIN AND/OR FOLLOW THE CONDITIONS, DIMENSIONS, ACCURACIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

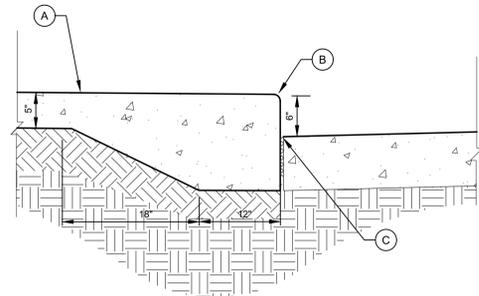
SCOOTER'S COFFEE HUXLEY
 600 N. HIGHWAY 69, HUXLEY, IOWA
LANDSCAPE PLAN

PROJECT NAME:	SCOOTER'S COFFEE HUXLEY
DATE:	5/24/2021
DRAWN BY:	TNB
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	LP-1
SHEET NO.:	5/6



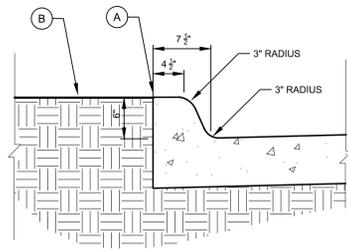
3-D VIEW

1 CURB TRANSITION FROM STANDARD TO CLASS A SIDEWALK
DT-1



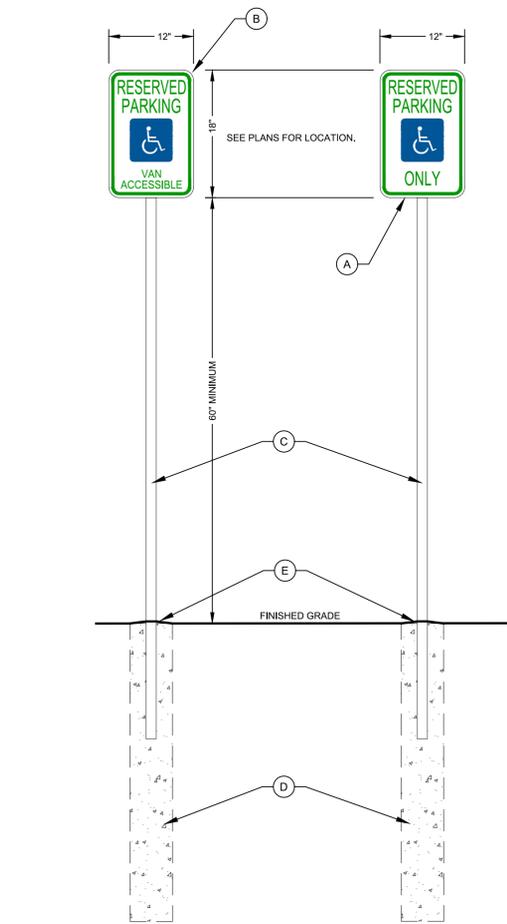
- (A) P.C.C. SIDEWALK
- (B) 1" RADIUS
- (C) SEALED EXPANSION JOINT

2 CLASS A SIDEWALK CURB
DT-1 NO SCALE



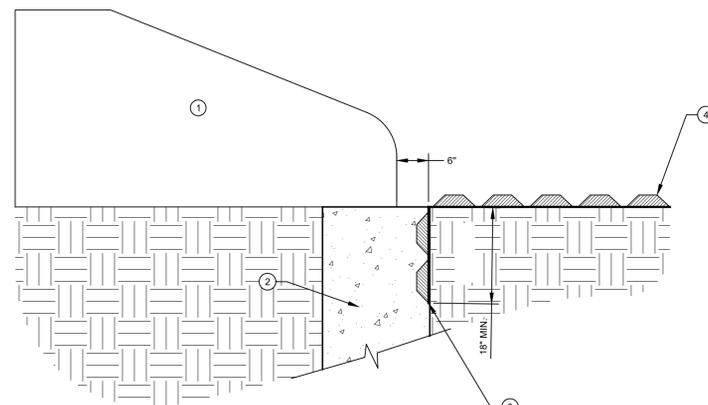
- (A) BACK / TOP OF CURB
- (B) GRADE VARIES REFER TO GRADING PLANS

3 6" INTEGRAL STANDARD CURB
DT-1 NO SCALE



- (A) STANDARD PARKING SIGNS COMPLIANT WITH ADA ACCESSIBILITY GUIDELINES (ADAAG). REFER TO PLAN FOR LOCATION.
- (B) VAN ACCESSIBLE PARKING SIGNS COMPLIANT WITH ADA ACCESSIBILITY GUIDELINES (ADAAG). REFER TO PLAN FOR LOCATION.
- (C) 2" DIAMETER GALVANIZED STEEL POSTS - EMBED INTO FOOTING A MINIMUM OF 12"
- (D) 8" DIAMETER CONCRETE FOOTINGS 42" BELOW FINISHED GRADE..
- (E) SLOPE TOP OF FOOTING 1/4" FROM POST TO PERIMETER.

4 ACCESSIBLE PARKING SIGNS
DT-1 NO SCALE



- ① FLARED END SECTION.
- ② FOOTING
- ③ FLEXAMAT - LEADING EDGE TO BE TUCKED INTO TRENCH PRIOR TO POURING FOOTING.
- ④ FOLLOW FLEXAMAT MANUFACTURERS INSTRUCTIONS AND DETAILS FOR ANCHORING, OVERLAP AND ALL OTHER ASPECTS OF INSTALLATION.

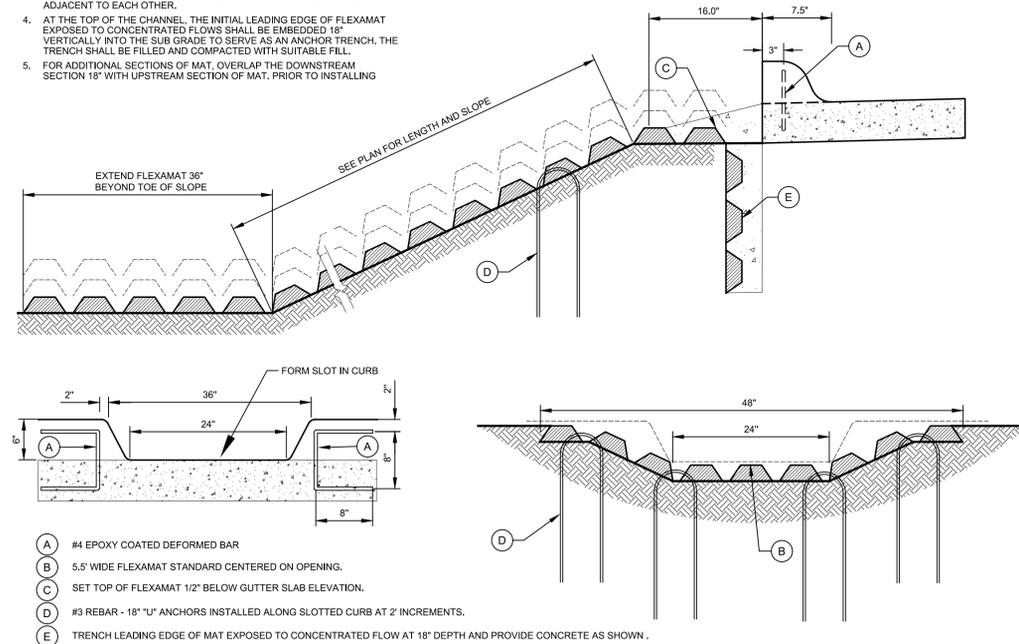
5 FLEXAMAT AT FLARED END SECTION DETAIL
DT-1 NO SCALE

FLEXAMAT PLUS FLUME CONSTRUCTION NOTES:

1. GRADE CHANNEL SO THAT WATER WILL FLOW DOWN THE CENTER OF THE CHANNEL AND BE CONTAINED TO THE CHANNEL. ALL SUBGRADE SURFACES PREPARED FOR PLACEMENT OF MATS SHALL BE SMOOTH AND FREE OF ALL ROCKS, STICKS, ROOTS, OTHER PROTRUSIONS, OR DEBRIS OF ANY KIND. THE PREPARED SURFACE SHALL PROVIDE A FIRM UNYIELDING FOUNDATION FOR THE MATS.
2. APPLY NATIVE WET SEED MIX DIRECTLY TO THE PREPARED SOIL PRIOR TO FLEXAMAT INSTALLATION. USE SEED PER PROJECT SPECIFICATIONS.
3. INSTALL FLEXAMAT PLUS ROLLS. AVAILABLE WIDTHS ARE 4', 5.5', 6', 10', 12', & 16' AVAILABLE IN CUSTOM LENGTHS. FOR WIDER WIDTHS, INSTALL MATS ADJACENT TO EACH OTHER.
4. AT THE TOP OF THE CHANNEL, THE INITIAL LEADING EDGE OF FLEXAMAT EXPOSED TO CONCENTRATED FLOWS SHALL BE EMBEDDED 18" VERTICALLY INTO THE SUB GRADE TO SERVE AS AN ANCHOR TRENCH. THE TRENCH SHALL BE FILLED AND COMPACTED WITH SUITABLE FILL.
5. FOR ADDITIONAL SECTIONS OF MAT, OVERLAP THE DOWNSTREAM SECTION 18" WITH UPSTREAM SECTION OF MAT, PRIOR TO INSTALLING.

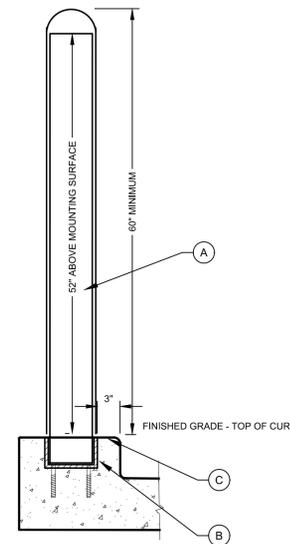
OVERLAP: FLIP UPSTREAM MAT BACK 24". EXCAVATE 2.25" OF SOIL 18" FROM END OF UPSTREAM MAT. DOWNSTREAM SECTION IS LAID IN THE SHALLOW TRENCH, LIGHTLY SPREAD TOPSOIL OVER INITIAL LEADING EDGE, FLIP END OF UPSTREAM MAT OVER THE SOIL COVERED INITIAL LEADING EDGE OF DOWNSTREAM MAT.

6. INSTALL 18" "U" ANCHORS IN 2' INCREMENTS ACROSS THE OVERLAP. INSTALL ANCHORS DIRECTLY BEHIND BLOCKS. "U" ANCHORS CONSIST OF #3 REBAR "U" ANCHOR WITH 18" LEGS.



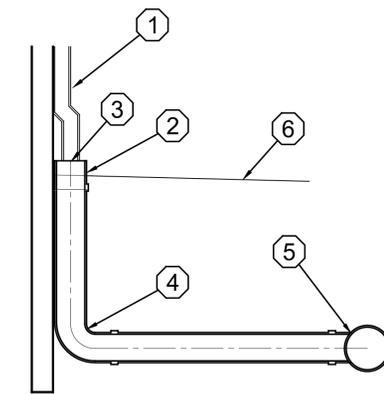
- (A) #4 EPOXY COATED DEFORMED BAR
- (B) 5.5" WIDE FLEXAMAT STANDARD CENTERED ON OPENING.
- (C) SET TOP OF FLEXAMAT 1/2" BELOW GUTTER SLAB ELEVATION.
- (D) #3 REBAR - 18" "U" ANCHORS INSTALLED ALONG SLOTTED CURB AT 2' INCREMENTS.
- (E) TRENCH LEADING EDGE OF MAT EXPOSED TO CONCENTRATED FLOW AT 18" DEPTH AND PROVIDE CONCRETE AS SHOWN.

7 36" SLOTTED CURB AND FLEXAMAT FLUME.
DT-1 NO SCALE



- (A) 6" DIAMETER SCHEDULE 40 STEEL BOLLARD WITH HIDDEN BASE PLATE AND PRIMED FINISH. COVER WITH LDPE THERMOPLASTIC BUMPER POST SLEEVE IN YELLOW COLOR SUCH AS IDEAL SHIELD 2" DOME TOP BOLLARD COVER #BPD-YL-6-60-S OR APPROVED EQUAL.
- (B) FOLLOW MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION AND MOUNTING. IDEAL SHIELD HIDDEN BASE PLATE IS 6" DIAMETER WITH 9 HOLES THAT MUST BE EMBEDDED OR CORE DRILLED INTO CURB.
- (C) MINIMUM OF 3" CONCRETE BETWEEN FACE OF CURB AND HIDDEN BASE PLATE. BOLLARD IS LOCATED AT SPECIAL WIDENED CURB SECTION.

6 6" PROTECTION BOLLARD
DT-1 NO SCALE



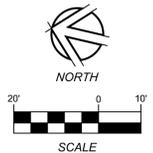
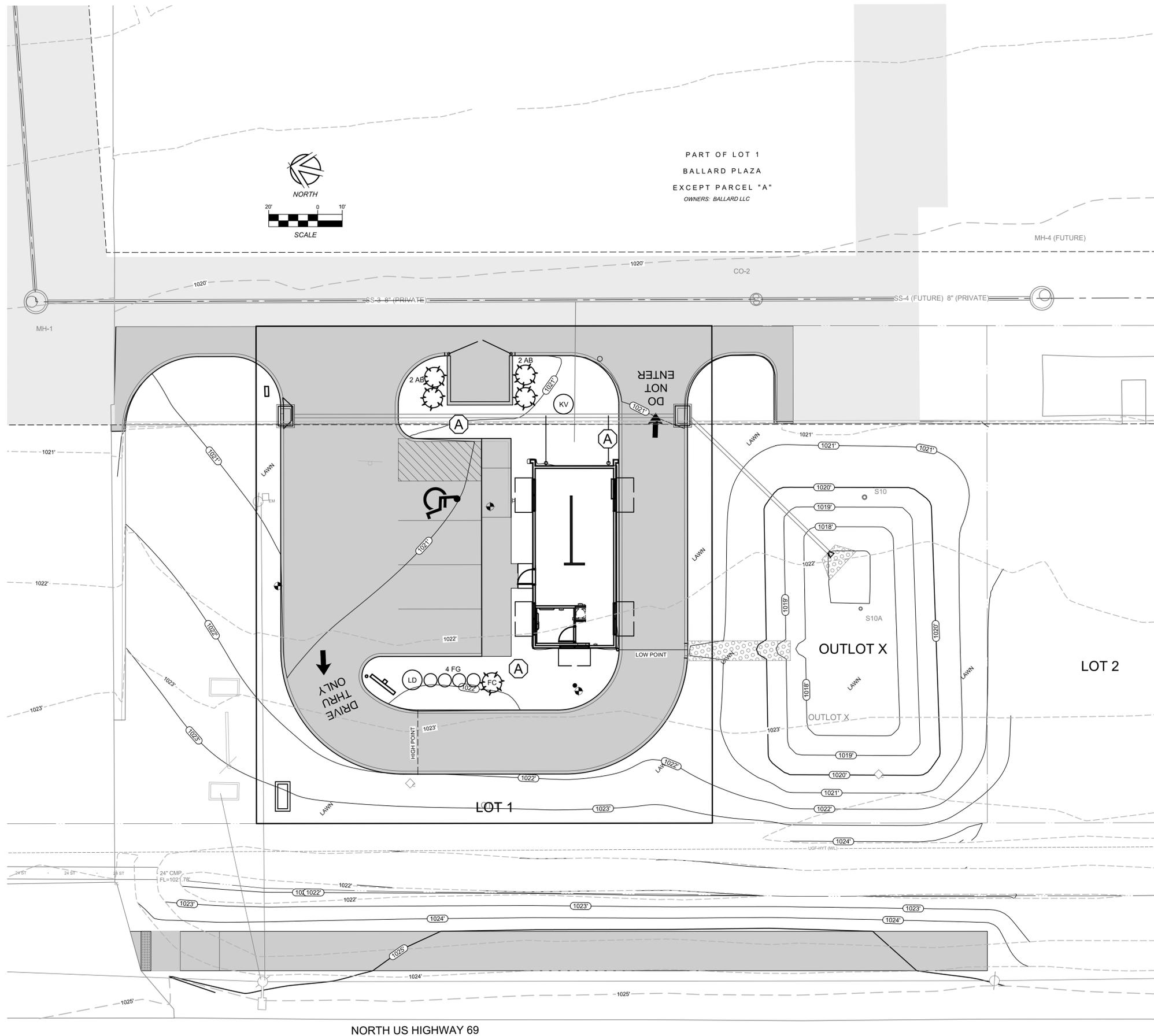
- 1. EXTERIOR DOWNSPOUT ASSEMBLY. DIRECT TO CENTER OF RISER
- 2. 6" PVC RISER. EXTEND 4" ABOVE FINISHED GRADE
- 3. DOWNSPOUT TO EXTEND INTO RISER
- 4. 90° BEND (8" PVC)
- 5. INSTALL INSERTATEE (OR APPROVED EQUAL) ON MAIN STORM SEWER FINISHED GRADE
- 6. FINISHED GRADE

8 DOWNSPOUT CONNECTION
DT-1 NO SCALE

REVISIONS:
 1) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS
 2) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS
 3) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS
 4) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS
 5) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS
 6) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS
 7) 11/20/2017 05:11 REVISIONS PER CITY OF HUXLEY COMMENTS

PROJECT NAME:
SCOOTER'S COFFEE HUXLEY
 600 W. HIGHWAY 60, HUXLEY, IOWA
 SITE DETAILS

PROJECT NAME:	SCOOTER'S COFFEE HUXLEY
PROJECT ADDRESS:	600 W. HIGHWAY 60, HUXLEY, IOWA
PROJECT NO.:	21091
DATE:	5/24/2021
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET NO.:	24" X 36"
SHEET TITLE:	DT-1
SHEET NO.:	6/6



GENERAL LANDSCAPING NOTES

- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9-SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.06 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES.
- NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED OR SODDED AS DIRECTED BY THE PLAN.
- SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9020 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS).
- LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). TYPE 1 PERMANENT LAWN SEED SHALL BE APPLIED PRIOR TO HYDRAULICALLY APPLIED BFM MULCH.
- ALL PLANTING AREAS SHALL HAVE A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER PLANTING AND ROCK PLACEMENT.

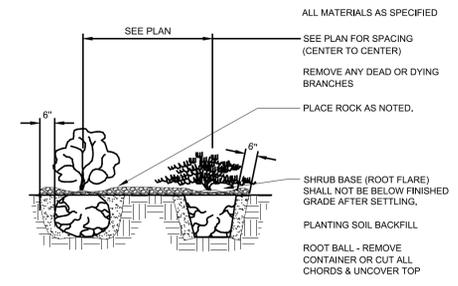
PLANTING SCHEDULE

Key	Common / Scientific name	Minimum Size	No.	Root Comment
FC	Golden Mop Threadleaf False Cypress <i>Chamaecyparis platensis 'Golden Mop'</i>	18-24" Height	1	Container
LD	Little Devil Ninebark <i>Physocarpus opulifolius 'Little Devil'</i>	15-18" Height	1	Container
FG	Dwarf Fountain Grass <i>Pennisetum akiscurvodes 'Hawaii'</i>	15-18" Height	4	Container
AB	Little Giant Dwarf Arborvitae <i>Thuja x media 'Dwarf Little Giant'</i>	15-18" Height	4	Container
KV	Spice Island Koreanspice Viburnum <i>Viburnum cedasi 'N.J. Select 2'</i>	18-24" Height	1	Container

LANDSCAPE PLAN NOTES

- A. PLANTING BEDS AS SHOWN SHALL HAVE 1-2" DIAMETER RIVER ROCK AT 2-3" DEPTH PLACED OVER A WATER PERMEABLE WEED BARRIER.

LANDSCAPE DETAILS



L-2 SHRUB PLANTING
NO SCALE

PRELIMINARY - NOT FOR CONSTRUCTION

1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone • (515) 965-3322 fax
Civil Engineering • Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

1	11/20/2021	11-REVISIONS PER CITY OF HUXLEY COMMENTS
2		
3		
4		
5		
6		
7		

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, FOR ANY PROBLEMS WHICH MAY BE CAUSED BY ANY PERSONS WHOSE ACTIONS OR OMISSIONS ARE NOT WITHIN THE INTENT OF THE CONTRACT, OR TO OBTAIN AND/OR FOLLOW THE ENGINEER'S OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

PROJECT NAME: SCOOTER'S COFFEE HUXLEY
600 N. HIGHWAY 69, HUXLEY, IOWA

LANDSCAPE PLAN

PROJECT NO.: 21091

DATE: 5/24/2021

DRAWN BY: TNB

CHECKED BY: JTN

SHEET SIZE: 24" X 36"

SHEET TITLE: LP-1

SHEET NO.: 5/6



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

June 14, 2021

Rita Conner
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

rconner@huxleyiowa.org

HUXLEY, IOWA
SCOOTER'S COFFEE
SITE PLAN REVIEW

We have reviewed the revised site plan for Scooter's Coffee for conformance with the City of Huxley's site plan ordinance and find it acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Forrest Aldrich".

Forrest S. Aldrich

FSA:kld
45229-064

cc: Jeff Peterson, City of Huxley (e-mail)
Keith Vitzthum, City of Huxley (e-mail)
Mat Kahler, City of Huxley (e-mail)
A.J. Strumpfer, City of Huxley (e-mail)
Chris Gardner, Bella Homes (e-mail)
Adam Schoeppner, Nilles Associates (e-mail)

CITY COUNCIL COMMUNICATION

AGENDA HEADINGS:

Ballard Plaza Plat 2 Private Utility Improvements and Ballard Plaza Plat 2 Final Plat

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

MR Properties (Chris Gardner 506 East 1st Street Huxley, Iowa 50124) has submitted private utility improvements and a final plat for Ballard Plaza Plat 2. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Private utility improvements will be extended to serve Scooter's Coffee and the .22 acre site will be sold to SFAM, LLC.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

- The owner plans additional improvements for the Ballard Plaza property following the construction of the coffee shop.
- Staff is working with the owner on the tenant improvements and exterior façade improvements for the buildings.

CITY ADMINISTRATOR COMMENTS: NONE

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- Planning & Zoning Commission review June 21, 2021

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- Completion of improvements
- Building construction

RESOLUTION NO. 21-061

RESOLUTION APPROVING BALLARD PLAZA PLAT 2 PRIVATE IMPROVEMENTS

WHEREAS, MR Properties, LC has presented the private improvements for Ballard Plaza Plat 2 and;

WHEREAS, staff and Veenstra & Kimm Engineering have reviewed the item and recommend approval and;

WHEREAS, the Planning & Zoning Commission will review the item at their June 21, 2021 meeting and make a recommendation to Council.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the Ballard Plaza Plat 2 Private Improvements as presented.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-061** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of June 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

BALLARD PLAZA PLAT 2

HUXLEY, IOWA

SITE IMPROVEMENTS

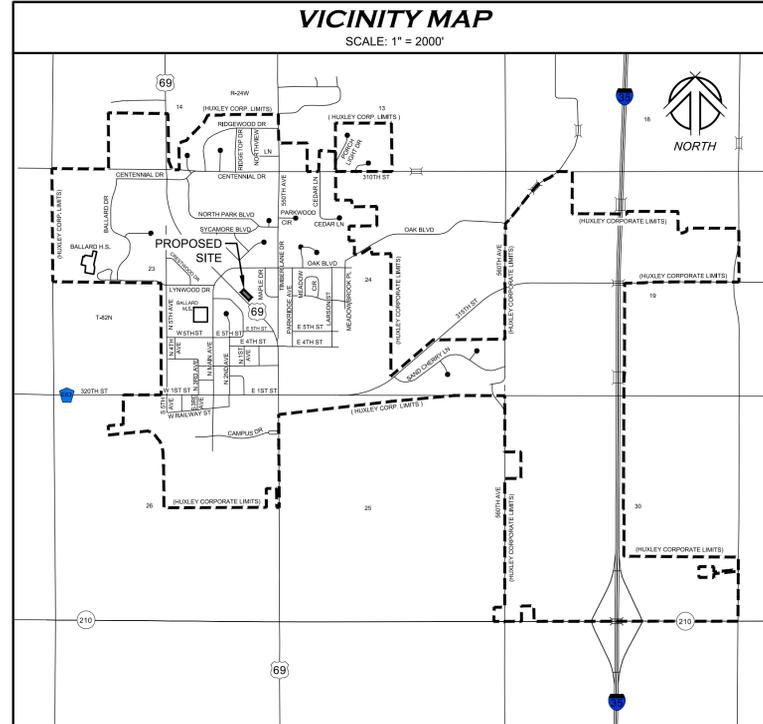
NAI #21064

GENERAL NOTES

ITEM NO.	REFERENCE	DESCRIPTION
GN		GENERAL NOTE NO.1 REPORT ANY ERRORS OR AMBIGUITIES IN CONTRACT DOCUMENTS TO ENGINEER AS SOON AS DETECTED. ENGINEER WILL ANSWER ALL QUESTIONS REGARDING PLANS AND SPECIFICATIONS AND INTERPRET INTENDED MEANING OF CONTRACT DOCUMENTS. ENGINEER'S INTERPRETATION TO BE ACCEPTED AS FINAL.
GN		GENERAL NOTE NO.2 DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS, OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF ANKENY, NILLES ASSOCIATES, AND DRA PROPERTIES BEFORE THE SITE IS FURTHER DISTURBED.
GN		GENERAL NOTE NO.3 PROTECT ALL EXISTING STRUCTURES, EQUIPMENT, PIPING, SLABS AND UTILITIES DURING ALL CONSTRUCTION OPERATIONS UNLESS NOTED OTHERWISE. DAMAGE FROM CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT. IF SUCH DAMAGE OCCURS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
GN		GENERAL NOTE NO.4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THEIR WORK WITH ALL UTILITY COMPANIES SO THAT THEY ARE AWARE OF THEIR SCHEDULES AND CAN LOCATE, PROTECT, OR RELOCATE ANY OF THEIR FACILITIES AS NECESSARY.
GN		GENERAL NOTE NO.5 CONTRACTOR SHALL COMPLETELY REMOVE ALL DEBRIS FROM THE WORK SITE. PRIOR TO SUBSTANTIAL COMPLETION OF PROJECT, REPRESENTATIVES OF THE CITY OF HUXLEY AND NILLES ASSOCIATES SHALL CONDUCT A THOROUGH INSPECTION. ANY ACTIVITIES REQUIRED BY THE CONTRACTOR TO COMPLETE ADDITIONAL CLEANUP SHALL BE AT THE CONTRACTOR'S EXPENSE, WITH NO EXTENSION OF THE CONTRACT TIME.
GN		GENERAL NOTE NO.6 PROTECT EXISTING DRAINAGE TILE LINES ENCOUNTERED DURING CONSTRUCTION. NOTIFY ENGINEER AND CITY WHEN SUCH LINES ARE ENCOUNTERED. MAKE REPAIRS TO LINES DAMAGED BY CONSTRUCTION ACTIVITIES AS DIRECTED BY ENGINEER. ANY TILE LINES ENCOUNTERED ABOVE THE ELEVATION OF THE PROPOSED STORM SEWER SYSTEM SHALL BE CONNECTED TO THE SYSTEM AT THE NEAREST POINT OF INTERSECTION. DOCUMENT LOCATION OF SAID LINES AND REPAIRS NECESSARY FOR INCLUSION IN FINAL PROJECT RECORD DOCUMENTS.
GN		GENERAL NOTE NO.7 EXCEPT AS NOTED, FOR EACH BID ITEM, REFER TO THE LISTED SECTION WITHIN THE 2021 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SPECIFICATIONS MANUAL) FOR PAYMENT AND MEASUREMENT INFORMATION. (i.e. PAYMENT AND MEASUREMENT FOR REFERENCE NUMBER 0400-108-D-1 WOULD BE FOUND IN SUDAS SPECIFICATION SECTION 9040, PART 1.08.D.1.) REFER TO THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS FOR ANY LOCAL AMENDMENTS TO SUDAS WHICH SHOULD BE APPLIED TO THIS PROJECT.
GN		GENERAL NOTE NO.8 ANY WORK, MATERIALS, EQUIPMENT OR LABOR REQUIRED TO COMPLETE THE WORK DESCRIBED WITHIN THIS CONTRACT, WHICH IS NOT DIRECTLY IDENTIFIED WITHIN A CONTRACT BID ITEM (EITHER AS PART OF THE ORIGINAL BID DOCUMENTS, ADDENDA OR CHANGE ORDER AUTHORIZED BY ENGINEER) SHALL BE CONSIDERED INCIDENTAL TO THE WORK, AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR WITHIN OTHER PROJECT COSTS.
GN		GENERAL NOTE NO.9 A CONSTRUCTION OBSERVER SHALL BE ASSIGNED BY THE OWNER TO REVIEW THE PROJECT. THE OBSERVER MAY BE PRESENT ON-SITE DURING PERFORMANCE OF ANY WORK AND SHALL ATTEND ANY ON-SITE MEETING RELEVANT TO COMPETITION OF SAID WORK. WORK, DURING OTHER THAN NORMAL CONSTRUCTION OBSERVATION HOURS, MAY BE ALLOWED IF SCHEDULED 48-HOURS IN ADVANCE WITH THE ASSIGNED CONSTRUCTION OBSERVER AND ONLY AS APPROVED BY ENGINEER (AT THE DIRECTION OF THE ENGINEER).

REFERENCE NOTES

ITEM NO.	REFERENCE	DESCRIPTION
3.01	3010-108-F-0	SECTION 3010 - TRENCH EXCAVATION AND BACKFILL TRENCH COMPACTION TESTING THE CONTRACTOR WILL BE PAID FOR BID ITEM AS PER SUDAS SECTION 3010. RESULTS OF TESTS SHALL BE MADE AVAILABLE TO ENGINEER AS SOON AS THEY ARE AVAILABLE. ENGINEER MAY STOP WORK AT ANY POINT IF THEY BELIEVE TESTING IS NOT OCCURRING OR RESULTS ARE NOT BEING PROVIDED WITHIN A REASONABLE PERIOD, AS CONSTRUCTION PROGRESSES. NO EXTENSION OF THE WORK PERIOD SHALL BE PROVIDED FOR TIME LOST DURING SUCH A WORK STOPPAGE.
4.01	4010-108-A-1	SECTION 4010 - SANITARY SEWERS SANITARY SEWER GRAVITY MAIN, TRENCHED, TRUSS WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 4010. THE WORK INCLUDES TELEVISIONING PER SUDAS SECTION 4060. TRACER WIRE ALONG PIPE AND FLUSH MOUNTED TRACER WIRE BOX (DRAINAGE & WATER SOLUTIONS FIGURE NO. TW4B) ARE REQUIRED AT TERMINATIONS. ALL TRACER WIRE CONNECTIONS SHALL BE MADE WITH 3M SCOTCHPLAST SPLICE ENCAPULATION KIT 3832.
4.02	4010-108-E-0	SANITARY SEWER SERVICE STUB, PVC, 6-INCH WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 4010. STUB SHALL BE MARKED BY A 4 FT. TALL 2" X 4" WOOD BOARD MARKED WITH GREEN PAINT.
4.03-4.05	4020-108-A-1	SECTION 4020 - STORM SEWERS STORM SEWER, TRENCHED WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 4020. THE WORK INCLUDES TELEVISIONING PER SUDAS SECTION 4060.
5.01	5010-108-A-1	SECTION 5010 - PIPE AND FITTINGS WATER MAIN, TRENCHED, C-900 PVC WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5010. FLEXIBLE O-RING GASKET JOINTS SHALL BE INSTALLED ON THE STORM SEWER PIPE AT WATER MAIN CROSSING LOCATIONS PER SUDAS SECTION 5010. TRACER WIRE ALONG PIPE AND FLUSH MOUNTED TRACER WIRE BOX (DRAINAGE & WATER SOLUTIONS FIGURE NO. TW4B) ARE REQUIRED AT TERMINATIONS. ALL TRACER WIRE CONNECTIONS SHALL BE MADE WITH 3M SCOTCHPLAST SPLICE ENCAPULATION KIT 3832.
5.02-5.04	5010-108-C-1	FITTING, DIP WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5010. ALL WATER MAIN FITTINGS SHALL BE LEFT EXPOSED UNTIL THE ENGINEER CAN RECORD AS-BUILT LOCATIONS.
5.05	5010-108-D-0	WATER SERVICE STUBS, 1-1/2" IN. DIA. WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5010. SERVICE MATERIAL SHALL BE COPPER FROM WATER MAIN TO METER. STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD.
5.06	5020-108-A-0	SECTION 5020 - VALVES, FIRE HYDRANTS, AND APPURTENANCES VALVE, GATE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5020.
5.07	5020-108-B-0	TAPPING SLEEVE WITH VALVE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5020.
5.08-5.09	5020-108-C-0	FIRE HYDRANT ASSEMBLY WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5020. INSTALL 5-INCH STORZ NOZZLE ON HYDRANT.
SPECIAL	NOTE	SECTION 6010 - STRUCTURES FOR SANITARY AND STORM SEWERS THE CONTRACTOR SHALL FIELD VERIFY CRITICAL CROSSINGS AND CONNECTIONS TO EXISTING PRIOR TO ORDERING MATERIALS. ALL STRUCTURES ARE ALLOWED AT THE CONTRACTOR'S RISK. NO COMPENSATION WILL BE MADE FOR MODIFYING OR REPLACING STRUCTURES OR STRUCTURE PARTS DUE TO UNKNOWN FIELD CONDITIONS.
6.01	6010-108-A-0	MANHOLES WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 6010. SANITARY SEWER MANHOLE CASTINGS SHALL BE STAMPED "SANITARY". ADJUSTMENT SHALL BE MADE BY USING SUDAS 6010 EXPANDED POLYPROPYLENE (EPP) ADJUSTMENT RINGS. CASTINGS SHALL BE THREE PIECE AND BOLTED TO CONCRETE STRUCTURE WITH INTERNAL CHIMNEY SEAL. CONNECTIONS TO NEW AND EXISTING SEWER PIPES SHALL BE INCIDENTAL TO THIS BID ITEM. ALL MANHOLES THAT INCLUDE A CHANGE IN DIRECTION OF FLOW SHALL BE CONSTRUCTED WITH SWEEPING INVERTS. ALL MANHOLES SHALL INCLUDE STEPS.
6.02	6010-108-B-0	INTAKES WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 6010. CONNECTIONS TO NEW AND EXISTING SEWER PIPES SHALL BE INCIDENTAL TO THIS BID ITEM.
11.01	11020-108-A	SECTION 11020 - MOBILIZATION MOBILIZATION WORK AND MATERIAL SHALL CONFORM TO SUDAS 11020.
11.02	11060-108-A	SECTION 11060 - CONCRETE WASHOUT CONCRETE WASHOUT WORK AND MATERIAL SHALL CONFORM TO SUDAS 11060



LEGEND

Existing / Proposed	Symbol	Existing / Proposed	Symbol	Existing / Proposed	Symbol
Found monument 5/8" IR with red cap #18530 unless otherwise noted	●	Set monument 5/8" IR with red cap #18530 unless otherwise noted	○	Address	1234
Round iron rebar	IP	Round iron pipe	IP	Spot elevation	1234.00
Portland cement concrete	PCC	Asphaltic cement concrete	ACC	Sanitary sewer manhole	SM
Pipe flowline elevation	FL	Reinforced concrete pipe	RCP	Cleanout	CO
Corrugated plastic pipe	CPP	Polyvinyl chloride pipe	PVC	Storm sewer manhole	SSM
Sanitary sewer easement	S.S.E.	Water main easement	W.E.	Storm sewer intake	SSI
Public utility easement	P.U.E.	Surface water flowage easement	S.W.F.E.	Storm sewer baffle	SSB
Back of curb to back of curb	B/C	Subject boundary line	SBL	Flared end section	FES
Section line	SL	Proposed boundary line	PBL	Water hydrant	WH
Existing boundary line	EBL	Future boundary line	FBL	Water valve	WV
Utility hand hole	UHH	Underlying boundary line	UBL	Water service shut-off	WSO
Proposed easement line	PEL	Existing easement line	EEL	Monitoring well	MW
Setback line	SL	Barbed wire fence line	BWFL	Water main manhole	WMM
Chain-link fence line	CLFL	Straw Wattle	SW	Monitoring well	MW
Silt fence	SF	Sanitary sewer & size	SS	Well	W
Storm sewer & size	ST	Water main & size	WM	Gas valve	GV
Water main & size	WM	Gas main & size	GM	Air conditioning unit	ACU
Overhead electric & wires	OHE	Overhead communication	OHC	Electric manhole	EM
Underground electric	UGE	Underground television	UTV	Electric meter	EM
Underground television	UTV	Contour elevation	900'	Electric pedestal	EP
Contour elevation	900'	Swale flowline	SWFL	Electric transformer	ET
Edge of water	EW	Edge of tree drip line	ETDL	Utility pole	UP
Edge of tree drip line	ETDL			Utility pole with light	UPL
				Light pole	LP
				Guy wire	GW
				Traffic signal	TS
				Traffic signal with light	TSW
				Traffic manhole	TM
				Communication pedestal	CP
				Telephone booth	TB
				TV pedestal	TP
				Billboard sign	BS
				Street sign	SS
				Down spout	DS
				Tree shrub	TS
				Deciduous tree and trunk diameter	DT
				Coniferous tree and trunk diameter	CT

ESTIMATED PROJECT QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
3.01	TRENCH COMPACTION TESTING	LS	1
4.01	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8-INCH	LF	313
4.02	SANITARY SEWER GRAVITY MAIN, TRENCHED, 6-INCH	LF	177
4.03	SANITARY SEWER SERVICE STUB (6-INCH PVC)	EA	2
4.04	STORM SEWER, TRENCHED, PVC, 8-INCH	LF	117
4.05	STORM SEWER, TRENCHED, PVC, 4-INCH	LF	11
4.05	STORM SEWER, TRENCHED, PVC, 4-INCH PERFORATED	LF	23
5.01	WATER MAIN, TRENCHED (C-900 PVC, 6-INCH)	LF	391
5.02	FITTING, DIP, 22.5" BEND	EA	1
5.04	FITTING, DIP, 90° BEND	EA	1
5.05	WATER SERVICE STUB (1-1/2" COPPER)	EA	58
5.06	TAPPING VALVE WITH SLEEVE (6" GATE VALVE)	EA	1
5.08	FIRE HYDRANT ASSEMBLY	EA	1
6.01	CIRCULAR SANITARY SEWER MANHOLE (SW-301, 48-INCH)	EA	2
6.02	INTAKE, 8" NYLOPLAST DRAIN BASIN WITH DOME GRATE	EA	1
9.01	PAVEMENT REMOVAL	SY	1750
11.01	MOBILIZATION	LS	1
11.02	CONCRETE WASHOUT	LS	1

SPECIFICATION REFERENCE

THE 2021 EDITION OF IOWA SUDAS STANDARD SPECIFICATIONS, THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS, AND IDOT STANDARD SPECIFICATIONS WITH GS-15010 REVISIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

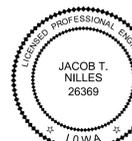
EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HOURS IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

BENCHMARKS

- TOP OF RIM OF EXISTING SANITARY MANHOLE, LOCATED 79 FEET SOUTHWESTERLY OF THE NORTHEASTERLY LINE OF LOT 1, BALLARD PLAZA, 18 FEET SOUTHEASTERLY OF THE NORTHWESTERLY LINE OF SAID LOT 1 AND APPROXIMATELY 36 NORTHWESTERLY OF THE NORTH END OF THE EXISTING BUILDING ON SAID LOT 1. ELEVATION = 1017.88' (NAVD88)



CERTIFICATIONS

I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date: _____
Name: Jacob T. Nilles, P.E. No. 26369
My license renewal date is December 31, 2021
Pages or sheets covered by this seal: A.01, D.01

DEVELOPER	UTILITY CONTACTS
MR PROPERTIES, LC CHRIS GARDNER 506 E 1ST ST HUXLEY, IOWA 50124	CITY OF HUXLEY WATER AND SEWER Contact Name: Keith Vltzthum Contact Phone: 515-290-7512 ALLIANT ENERGY- GAS AND ELECTRIC Contact Name: Jenni Kroneman Contact Phone: 515-268-3425 HUXLEY COMMUNICATIONS - PHONE/CABLE Contact Name: Brant Strumpler Contact Phone: 515-203-6716
	CONSTRUCTION SCHEDULE
	GRADING: SUMMER 2021 UTILITY INSTALLATION: SUMMER 2021 PAVING INSTALLATION: SUMMER 2021 / FALL 2021 FINISH GRADING: FALL 2021

PRELIMINARY - NOT FOR CONSTRUCTION

1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone • (515) 965-3322 fax
Civil Engineering • Land Surveying
Landscape Architecture

NILLES ASSOCIATES

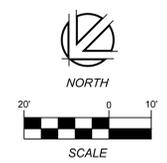
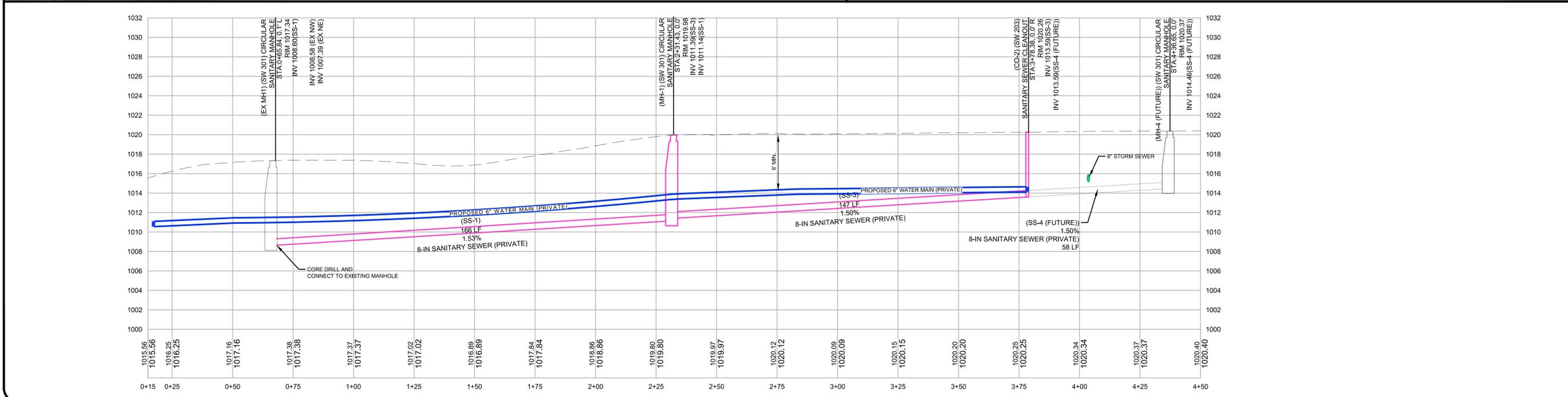
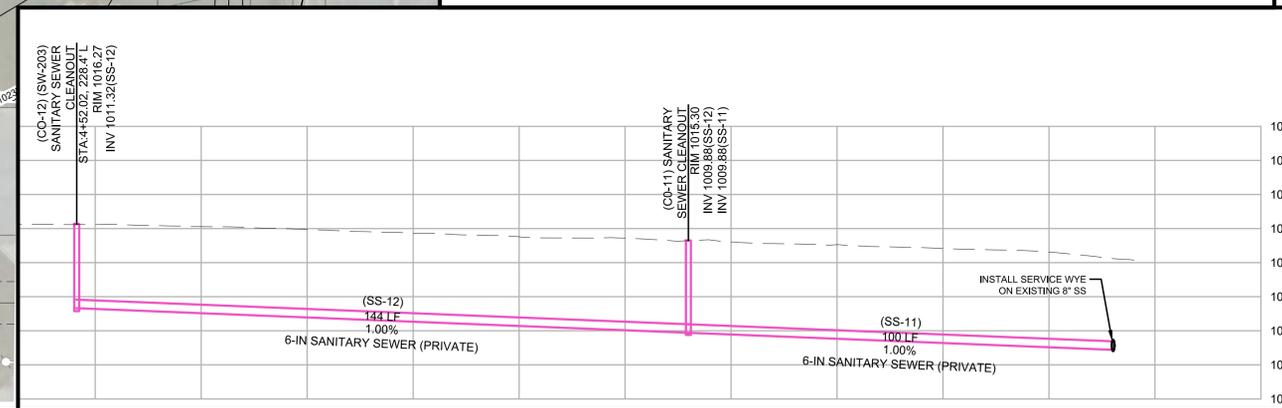
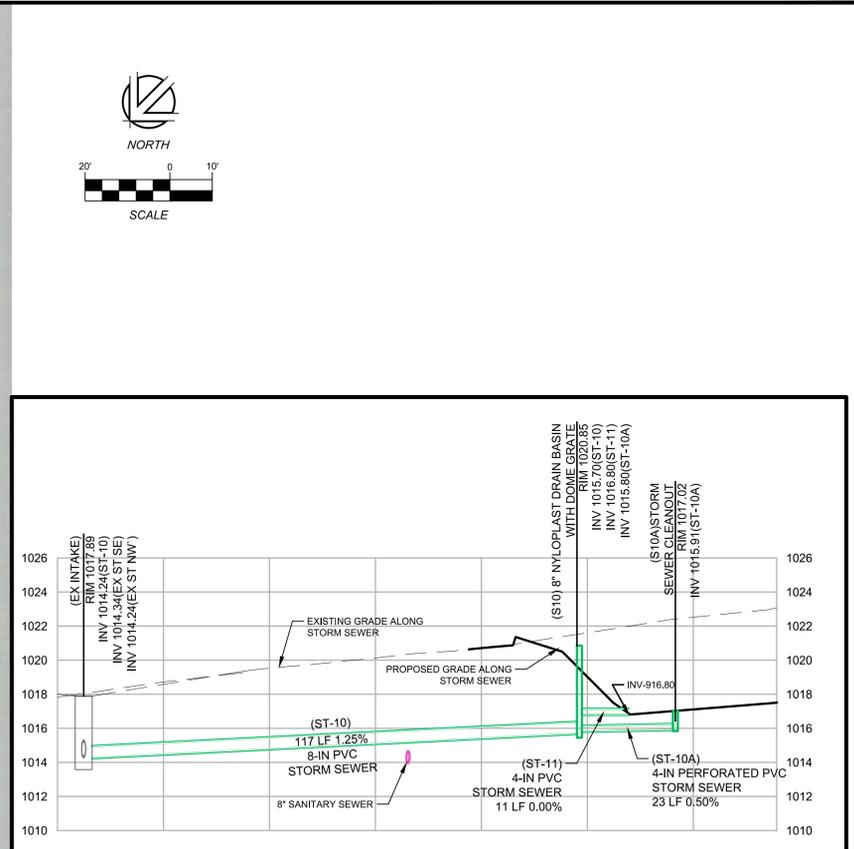
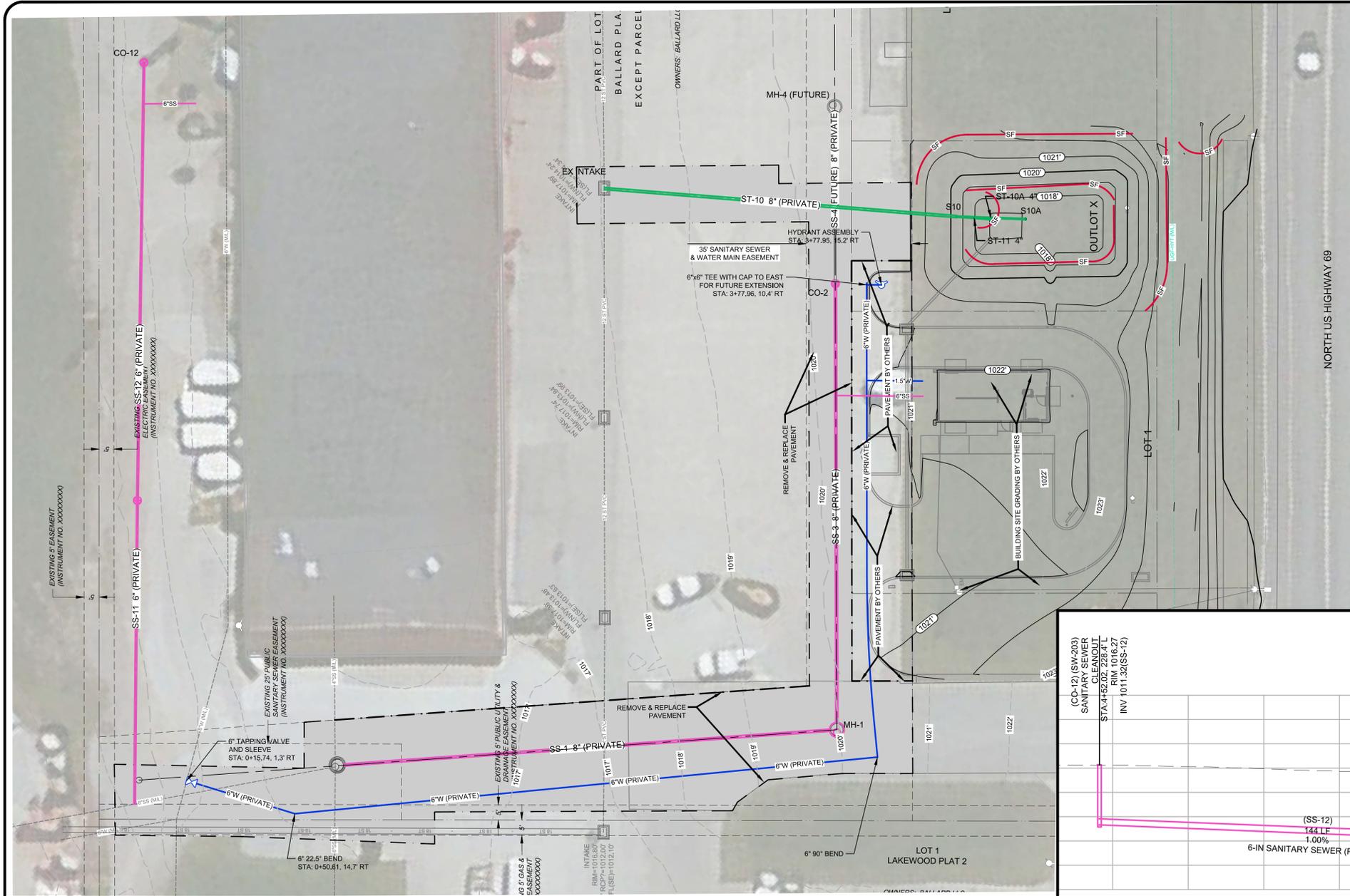
REVISIONS:
1) 11/20/2021 - REVISIONS PER CITY OF HUXLEY COMMENTS
2) _____
3) _____
4) _____
5) _____
6) _____
7) _____

NOTE: NILLES ASSOCIATES, INC. MAKES ANY AND ALL REVISIONS TO THIS PLAN. ANY REVISIONS WHICH ARISE FROM FAILURE TO REVIEW THE PLANS PRIOR TO THE BEGINNING OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND FOLLOWING THE ENGINEER'S COMMENTS, AMENDMENTS, AND/OR CORRECTIONS WHICH ARE ALLEGED.

PROJECT NAME:
BALLARD PLAZA PLAT 2
HUXLEY, IOWA

SHEET NO. / TOTAL SHEETS:
A.01 / 12

NAME: 21064
DATE: 5/21/2021
DRAWN BY: ADS
CHECKED BY: JPN
SHEET SIZE: 24" X 36"
SHEET TITLE: A.01
SHEET NO.: 1/2



PRELIMINARY - NOT FOR CONSTRUCTION

NILLES ASSOCIATES
 1250 SW STATE STREET, SUITE A
 ANKENY, IOWA 50023-2555
 (515) 965-0123 phone - (515) 965-3322 fax
 Civil Engineering - Land Surveying
 Landscape Architecture

REVISIONS:
 1) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS
 2) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS
 3) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS
 4) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS
 5) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS
 6) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS
 7) 11/22/2021 10:11 - REVISIONS PER CITY OF HAWLEY COMMENTS

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S INTENT IS TO PROVIDE A PROFESSIONAL OPINION OF THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER DOES NOT WARRANT THAT THE DESIGN OR CONSTRUCTION OF THE PROJECT WILL BE FREE FROM DEFECTS OR OMISSIONS. INCONSISTENCIES AMONG THE DRAWINGS OR CONFLICTS WHICH ARE ALLEGED.

PROJECT NAME:
BALLARD PLAZA PLAT 2
 HAWLEY, IOWA

UTILITY PLAN & PROFILE

DATE: 5/21/2021
 DRAWN BY: ADS
 CHECKED BY: JPN
 SHEET SIZE: 24" X 36"
 SHEET TITLE: D.01
 SHEET NO.: 2/2

RESOLUTION NO. 21-062

RESOLUTION APPROVING BALLARD PLAZA PLAT 2 FINAL PLAT

WHEREAS, MR Properties, LC has presented Ballard Plaza Plat 2 Final Plat for review and;

WHEREAS, staff and Veenstra & Kimm Engineering have reviewed the plat and recommend approval and;

WHEREAS, the Planning & Zoning Commission will review the site plan for the project at their June 21, 2021 meeting and make a recommendation to Council.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the Ballard Plaza Plat 2 Final Plat as presented.

Roll Call	Aye	Nay	Absent
Nate Easter	—	—	—
David Kuhn	—	—	—
Greg Mulder	—	—	—
Rick Peterson	—	—	—
Tracey Roberts	—	—	—

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-062** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of June 2021.

Kevin Deaton, Mayor

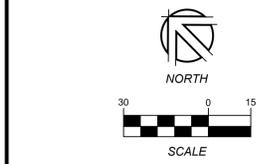
ATTEST:

Jolene Lettow, City Clerk

INDEX LEGEND	
COUNTY:	STORY COUNTY, IOWA CITY: HUXLEY
LOCATION:	BALLARD PLAZA: PART OF LOT 1
PROPRIETOR:	BALLARD, LLC 4611 MORTENSEN ROAD SUITE 106 AMES, IOWA 50014-6228 PHONE: (515) 291-1076
DEVELOPER & REQUESTED BY:	MR STORAGE, LC c/o CHRIS GARDNER PO BOX 242 HUXLEY, IOWA 50124 PHONE: (515) 401-8615
SURVEYOR:	THAREN J. HELGERSON, PLS #18530
SURVEY COMPANY:	NILLES ASSOCIATES, INC.
RETURN TO:	THAREN J. HELGERSON, NILLES ASSOCIATES, INC. 1250 SW STATE STREET, SUITE A ANKENY, IOWA 50023 PH: (515) 965-0123

BALLARD PLAZA PLAT 2

FINAL PLAT



BENCHMARKS

- Top of rim of existing sanitary manhole, located 79 feet southwesterly of the northeasterly line of Lot 1, BALLARD PLAZA, 18 feet southeasterly of the northwesterly line of said Lot 1 and approximately 36 northwesterly of the north end of the existing building on said Lot 1. Elevation = 1017.88' (NAVD88)

LEGEND

- Found monument 5/8" IR with yellow cap #17758 unless otherwise noted
- Set monument 5/8" IR with red cap #18530 unless otherwise noted
- IR Round iron rebar (outside diameter)
- IP Round iron pipe (outside diameter)
- P.U.E. Public Utility Easement
- (R) Record dimension
- 1234 Lot Address
- Subject boundary line
- - - Proposed boundary line
- - - Proposed easement line
- - - Section line
- - - Existing boundary line
- - - Existing easement line

GENERAL NOTES

- The easy line of Lot 1, BALLARD PLAZA, is assumed to bear South 00 degrees 08 minutes 30 seconds East.
- The site lies within Zone X with areas of minimal flood hazard, as shown on the Flood Insurance Rate Map Community Panel Number 19169 C0290 F, with an effective date of January 15, 2021.

ZONING

Zoning: C-2 District - General Commercial District

Bulk Regulations:

- Front Yard Setback - 25 feet
- Rear Yard Setback - 25 feet
- Side Yard Setback - 0 feet unless abutting residential lot, then 15 feet

LEGAL DESCRIPTION

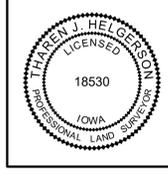
That part of Lot 1, BALLARD PLAZA, an official plat, located in the City of Huxley, Story County, Iowa, and being more particularly described as follows:

Beginning at the southeast corner of said Lot 1, BALLARD PLAZA; thence South 89 degrees 59 minutes 30 seconds West, along the south line of said Lot 1, BALLARD PLAZA, a distance of 31.35 feet, to the northeasterly line of Parcel "A" of said Lot 1, BALLARD PLAZA, as shown on the plat of survey recorded as Instrument No. 03-04561 with the Story County Recorder's Office; thence North 45 degrees 03 minutes 12 seconds West, along said northeasterly line of Parcel "A" of Lot 1, BALLARD PLAZA, a distance of 154.14 feet, to the northwesterly line of Parcel "A" of Lot 1, BALLARD PLAZA; thence South 44 degrees 56 minutes 48 seconds West, along said northwesterly line of Parcel "A" of Lot 1, BALLARD PLAZA, a distance of 90.00 feet, to the southwesterly line of said Lot 1, BALLARD PLAZA; thence North 45 degrees 03 minutes 12 seconds West, said southwesterly line of Lot 1, BALLARD PLAZA, a distance of 383.16 feet, to the northwesterly line of said Lot 1, BALLARD PLAZA; thence North 45 degrees 06 minutes 20 seconds East, along said northwesterly line of Lot 1, BALLARD PLAZA, a distance of 350.00 feet, to the northeasterly line of said Lot 1, BALLARD PLAZA; thence South 45 degrees 03 minutes 12 seconds East, along northeasterly line of Lot 1, BALLARD PLAZA, a distance of 319.93 feet, to the east line of said Lot 1, BALLARD PLAZA; thence South 00 degrees 08 minutes 30 seconds East, along east line of Lot 1, BALLARD PLAZA, a distance of 336.89 feet, to said east line of Lot 1, BALLARD PLAZA and the Point of Beginning.

Containing 3.47 acres more or less.

Said parcel is subject to all easements and restrictions.

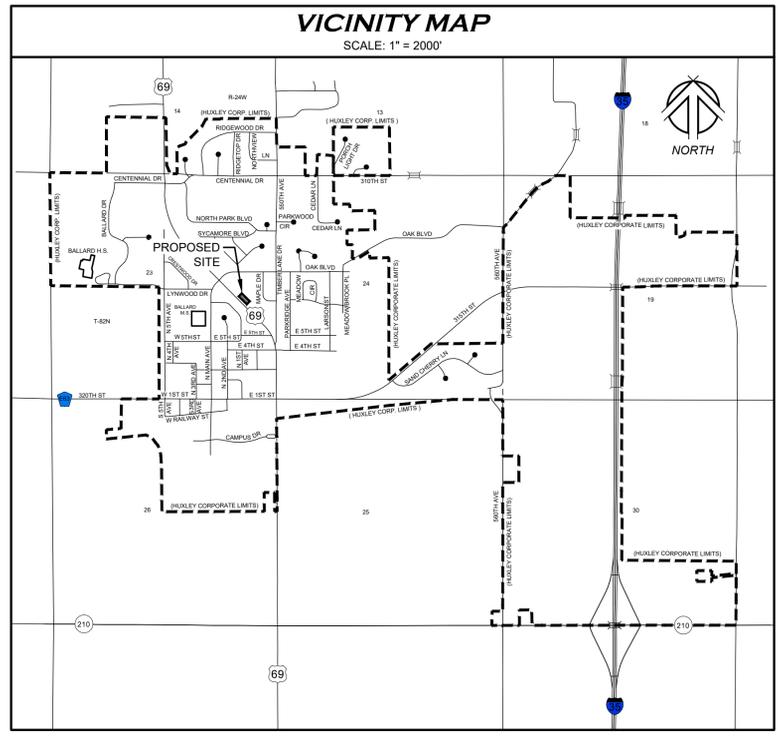
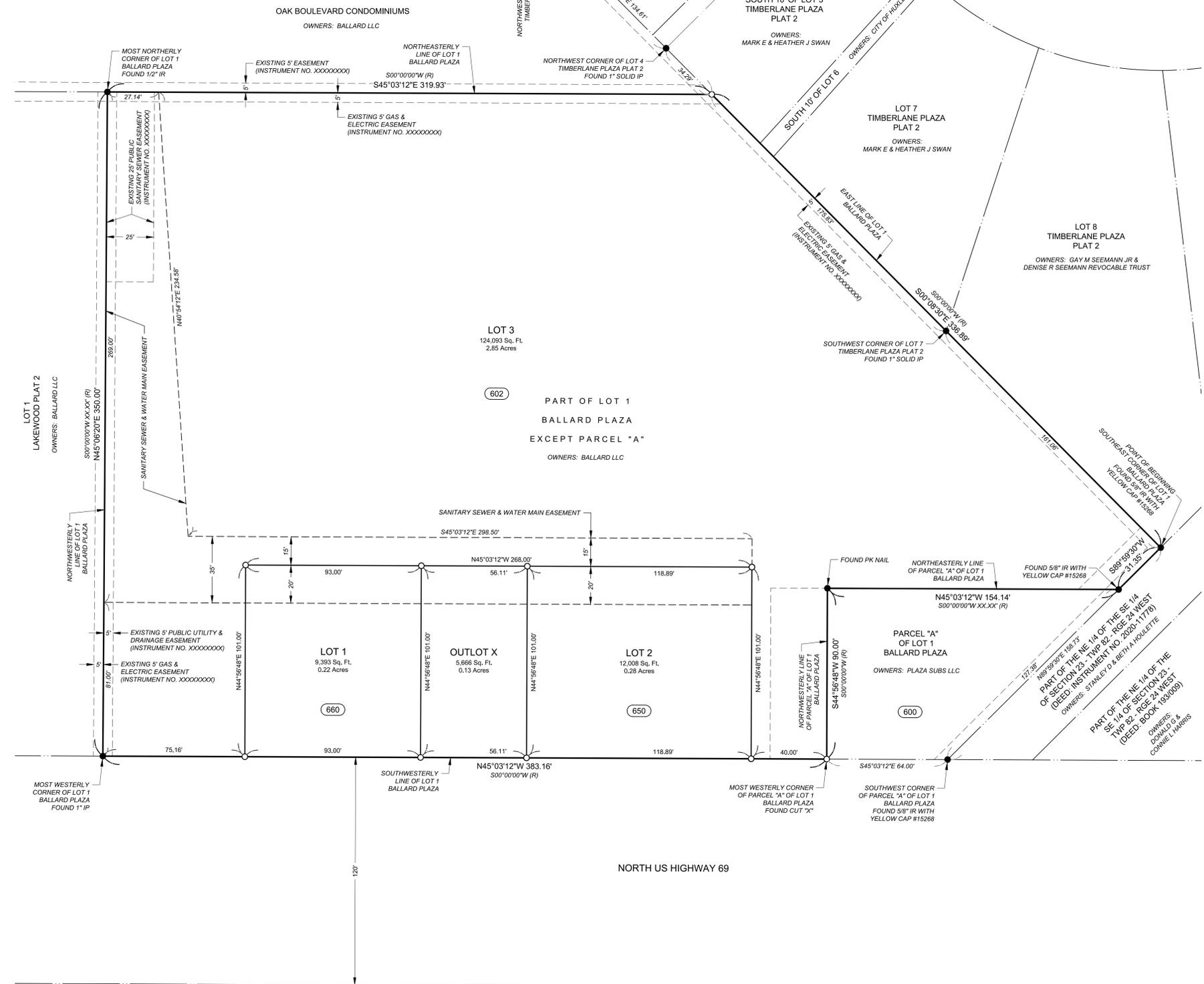
CERTIFICATION



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PAGES OR SHEETS COVERED BY THIS SEAL: SHEET FP-1 ONLY

SIGNATURE: THAREN J. HELGERSON, L.S. NO. 18530
DATE: 04/12/20
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022 DATE OF SURVEY: 04/12/20



1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
PHONE: (515) 965-0123 FAX: (515) 965-3322
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

NO.	DATE	DESCRIPTION
1	04/12/20	ISSUE FOR PERMIT
2	04/12/20	REVISED PER CITY REVIEW COMMENTS
3	04/12/20	REVISED PER CITY REVIEW COMMENTS
4	04/12/20	REVISED PER CITY REVIEW COMMENTS
5	04/12/20	REVISED PER CITY REVIEW COMMENTS
6	04/12/20	REVISED PER CITY REVIEW COMMENTS
7	04/12/20	REVISED PER CITY REVIEW COMMENTS

NOTE: NILLES ASSOCIATES, INC. MAKES NO WARRANTY AS TO THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ENGINEER'S INTENT IS TO PROVIDE A PROFESSIONAL SERVICE TO OBTAIN AND FOLLOW THE ENGINEER'S OBLIGATIONS. INCORPORATIONS, AMENDMENTS, OR CONFLICTS WHICH ARE ALLEGED.

BALLARD PLAZA PLAT 2
LOT 1 BALLARD PLAZA HUXLEY, STORY COUNTY, IOWA

PROJECT NAME: BALLARD PLAZA HUXLEY, STORY COUNTY, IOWA
DESCRIPTION: BALLARD PLAZA HUXLEY, STORY COUNTY, IOWA

NAI NO.:	21064
DATE:	04/29/21
DRAWN BY:	TJH
CHECKED BY:	RAM
SHEET SIZE:	24" X 36"
SHEET TITLE:	FP-1
SHEET NO.:	1/1



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

June 14, 2021

Rita Conner
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

rconner@huxleyiowa.org

HUXLEY, IOWA
BALLARD PLAZA
PLAT 2 REVIEW

We have reviewed the site improvements and final plat for Ballard Plaza Plat 2 and find them acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Forrest S. Aldrich". The signature is fluid and cursive.

Forrest S. Aldrich

FSA:rsb
45229-065

cc: Jeff Peterson, City of Huxley (e-mail)
Keith Vitzthum, City of Huxley (e-mail)
Mat Kahler, City of Huxley (e-mail)
A.J. Strumpfer, City of Huxley (e-mail)
Chris Gardner, Bella Homes (e-mail)
Adam Schoeppner, Nilles Associates, Inc. (e-mail)

CITY COUNCIL COMMUNICATION

AGENDA HEADING:

Blue Sky Estates Preliminary Plat

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Von Houweling, CD II (Don Von Houweling, 14427 Wilden Drive Urbandale, Iowa 50323) has submitted a preliminary plat for the development of 37 single family residential lots east of 560th Avenue and north of the Blue Sky Commons Business Park. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1430100110>

Additional information is below and in the attachments.

ADDITIONAL INFORMATION: YES

- The property was rezoned for residential development earlier this year
- Review comments on the preliminary plat have all been addressed with the exception of :
 - Staff has requested that the developer install urban improvements on the east side of 560th Avenue on a portion of the plat and requests that action taken by P & Z and City Council would include this condition. This will be part of an upcoming discussion with the developer and City Council on a potential development agreement for the use of tax increment for the project.
 - Developer is proposing that the .54 acres of greenspace requirement be dedicated for a future trail extension of on Blue Sky Blvd east of the plat. Staff has been working to evaluate this proposal with the Trails Master Plan and 2013 Comprehensive Plan.

CITY ADMINISTRATOR COMMENTS: NONE

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- April 19, 2021 P & Z review of rezoning request for approximately 33.17 acres in the Blue Sky Commons development, north west of the Blue Sky Commons Business Park, from A-1 and M-1 to R-1.
- May 11, 2021 City Council approval of Ordinance 515 for the rezoning
- June 21, 2021 Planning & Zoning Commission review

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES

- Discussion with developer, Council Economic Development Committee and full Council on potential development agreement terms for the use of tax increment financing
- Public improvement construction
- Review of final plat

RESOLUTION NO. 21-063

RESOLUTION APPROVING BLUE SKY ESTATES PRELIMINARY PLAT

WHEREAS, Van Houweling, CD II has submitted the Blue Sky Estates Preliminary Plat for review and;

WHEREAS, staff and Veenstra & Kimm Engineering have reviewed the preliminary plat and recommend approval with conditions to resolve .54 acres of greenspace dedication as a future bike trail and requested improvements to 560th prior to the submittal of a final plat and;

WHEREAS, the Planning & Zoning Commission will review the preliminary plat at their June 21, 2021 meeting and make a recommendation to Council.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the Blue Sky Estates Preliminary Plat with conditions to resolve .54 acres of greenspace dedication as a future bike trail and requested improvements to 560th prior to the submittal of a final plat.

Roll Call	Aye	Nay	Absent
Nate Easter	___	___	___
David Kuhn	___	___	___
Greg Mulder	___	___	___
Rick Peterson	___	___	___
Tracey Roberts	___	___	___

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-063** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of June 2021.

Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk



City of Huxley
515 N. Main Ave, Huxley, Iowa 50124
(515) 597-2561 Fax: (515) 597-2570
www.huxleyiowa.org

Preliminary Plat Application

<u>Owner:</u> _____	<u>Applicant:</u> _____
<u>Address:</u> _____	<u>Address:</u> _____
_____	_____
<u>Phone:</u> _____	<u>Phone:</u> _____

<u>Engineer/ Surveyor:</u> _____
<u>Phone:</u> _____

<u>Property Address:</u> _____
<u>Current Zoning:</u> _____
<u>Q/Q:</u> _____ <u>Section:</u> _____ <u>Township:</u> _____ <u>Range:</u> _____
<u>Subdivision:</u> _____ <u>Lot #:</u> _____
<u>Story County Parcel Number(s):</u> _____
<u>Size of Lot or Parcel:</u> _____

ACKNOWLEDGEMENT:

The undersigned is/are the owner(s) of the described property on this application, located in the incorporated area of Huxley, Iowa, assuring that the information provided herein is true and correct. I hereby give my consent for the City of Huxley and/or its representatives to conduct a site visit and photograph the subject property.

This development is subject to and shall be required, as a condition of final development approval, to comply with all Interim Development Ordinance policies, requirements and standards that are in effect at the time of final development approval.

Owner: C.D Van Houweling Applicant: C.D Van Houweling

Date: April 28, 2021 Date: April 28, 2021

Application, Fees and Site Plan (if required) must be submitted jointly.

- Fees:
\$100 Application fee
\$50 per re-submission
Legal and Engineering fees reimbursed to the City of Huxley

Proposed Name of Plat:
Blue Sky Estates

Proposed Use:
Single Family Detached Residential

Number of Lots:	For Office Use Only: Associated Zoning case(s):
Number Of Acres:	

PRELIMINARY PLAT PERTINENT INFORMATION REQUIREMENTS

The preliminary plat shall be clearly marked "preliminary plat" and shall show, or have attached thereto the following:

1. Title, scale, north point and date.
2. Proposed name of the subdivision, which shall not duplicate or resemble existing subdivision names in the County.
3. The name and address of the owner and the name, address and profession of the person preparing the plat.
4. A key map showing the general location of the proposed subdivision in relation to surrounding development.
5. The names and locations of adjacent subdivisions and the names of record owners and location of adjoining parcels of unplatted lands. A list of all owners of record of property located within 200 feet of the subdivision boundaries shall be attached.
6. The location of property lines, streets and alleys, easements, buildings, utilities, watercourses, tree masses and other existing features affecting the plat.
7. Existing and proposed zoning of the proposed subdivision and adjoining property.
8. Contours at vertical intervals of not more than two feet if the general slope of the site is less than ten percent and at vertical intervals of not more than five feet if the general slope is ten percent or greater.
9. The legal description of the area being platted.
10. The boundary of the area being platted, shown as a dark line, with the approximate length of boundary lines and the approximate location of the property in reference to known section lines.
11. The layout, lot numbers and scaled dimensions of proposed lots.
12. The location, width and dimensions of all streets and alleys proposed to be dedicated for public use.
13. The proposed names for all streets in the area being platted.
14. Present and proposed utility systems, including sanitary and storm sewers, other drainage facilities, water lines, gas mains, electric utilities and other facilities.
15. Proposed easements, showing locations, widths, purposes and limitations.
16. Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes, or shown for such purpose in the comprehensive plan or other adopted plans.
17. A general summary description of any protective covenants or private restrictions to be incorporated in the final plat.
18. Identification of all adjoin properties, and when the adjoin properties are a part of the recorded subdivision, the name of that subdivision.
19. The existing zoning of the proposed subdivision and of all adjoin properties within 500' of the proposed plat.
20. Any other pertinent information as necessary.
21. The fee, as required by this chapter, shall be submitted with the plat submission.

All infrastructure and development improvements will be in accordance with SUDAS

PRELIMINARY PLAT PERTINENT INFORMATION REQUIREMENTS

Any other pertinent information, which may include a site plan, deemed necessary by the Zoning Administrator, to ensure a complete review of the proposed preliminary plat.

Landscaping plan, if applicable, as outlined in Chapter 168 of the City of Huxley Municipal Code.

Stormwater Pollution Prevention Plan (SWPPP)

BLUE SKY ESTATES

PRELIMINARY PLAT - 2021

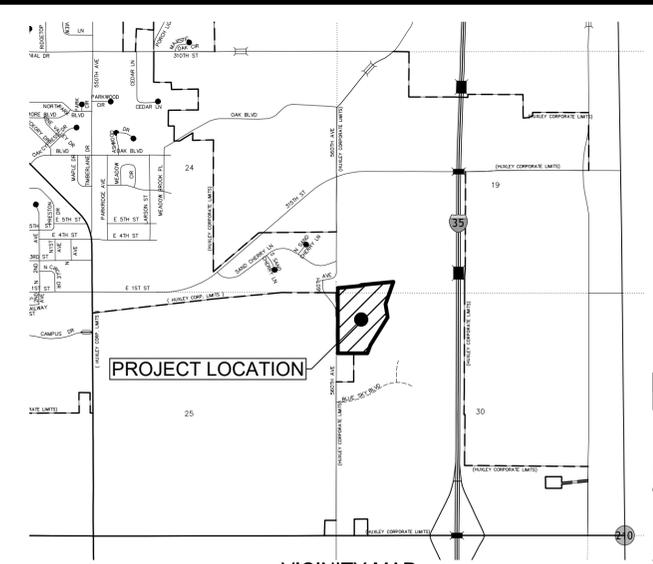
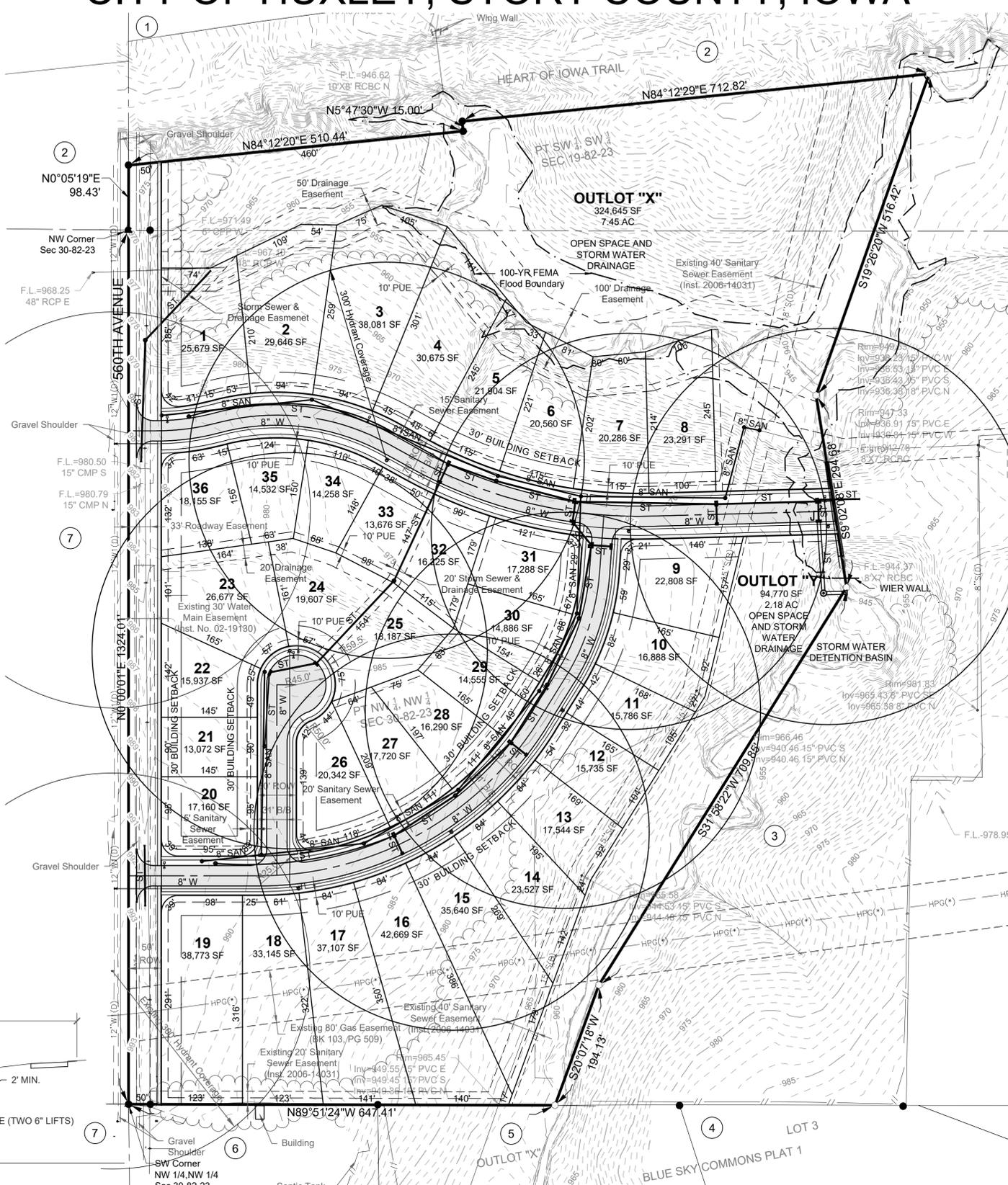
CITY OF HUXLEY, STORY COUNTY, IOWA

LEGEND

FEATURES	FOUND	SET
Section Corner 1/2" Rebar, Cap # 11579 (Unless Otherwise Noted)	●	○
ROW Marker	■	□
ROW Rail	○	○
Control Point	○	○
Bench Mark	○	○
Platted Distance	P	P
Measured Bearing & Distance	M	M
Recorded As	R	R
Deed Distance	D	D
Calculated Distance	C	C
Public Utility Easement	PUE	PUE
Minimum Protection Elevation	MPE	MPE
Centerline	—	—
Section Line	—	—
1/4 Section Line	—	—
1/4 1/4 Section Line	—	—
Easement Line	—	—

FEATURES	EXISTING	PROPOSED
Spot Elevation	X 1225.25	X 1225.25
Contour Elevation	X 1225	X 1225
Fence (Barbed, Field, Hog)	X	X
Fence (Chain Link)	—	—
Fence (Wood)	—	—
Fence (Silt)	—	—
Tree Line	—	—
Tree Stump	—	—
Deciduous Tree \ Shrub	○	○
Coniferous Tree \ Shrub	●	●
Communication	C	C
Overhead Communication	OC	OC
Fiber Optic	FO	FO
Underground Electric	E	E
Overhead Electric	OE	OE
Gas Main with Size	G	G
High Pressure Gas Main with Size	HPC	HPC
Water Main with Size	W	W
Sanitary Sewer with Size	S	S
Duct Bank	DUCT	DUCT
Test Hole Location for SUE w/D	⊗	⊗

(*) Denotes the survey quality service level for utilities



PROPERTY DESCRIPTION

A PART OF THE NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30 AND A PART OF THE NORTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19 LOCATED SOUTH OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY ALL IN TOWNSHIP 82 NORTH, RANGE 23 WEST OF THE 5TH P.M. NOW INCLUDED IN AND FORMING A PART OF THE CITY OF HUXLEY, STORY COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 0° 01' 19" EAST ALONG THE WEST LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 1,324.01 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30 AND BEING THE SOUTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19; THENCE NORTH 0° 05' 19" EAST ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, A DISTANCE OF 98.43 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY; THENCE NORTH 84° 12' 20" EAST ALONG SAID SOUTH LINE 510.44 FEET; THENCE NORTH 5° 47' 30" WEST CONTINUING ALONG SAID SOUTH LINE 15.00 FEET; THENCE NORTH 84° 12' 29" EAST CONTINUING ALONG SAID SOUTH LINE 712.82 FEET; THENCE SOUTH 19° 26' 20" WEST 516.42 FEET; THENCE SOUTH 9° 02' 08" EAST 294.68 FEET; THENCE SOUTH 31° 58' 22" WEST 709.85 FEET; THENCE SOUTH 20° 07' 18" WEST 194.13 FEET TO THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 89° 51' 24" WEST ALONG SAID SOUTH LINE OF THE NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 647.41 FEET TO THE POINT OF BEGINNING AND CONTAINING 33.17 ACRES (1,444,842 S.F.).

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

OWNER

VAN HOUWELING, CD II
14427 WILDEN DR
URBANDALE, IA 50323
CONTACT: DON VAN HOUWELING
PHONE: 515-465-5681

DEVELOPER

INTERSTATE LAND PROPERTIES, LLC
14427 WILDEN DR
URBANDALE, IA 50323
CONTACT: DON VAN HOUWELING
PHONE: 515-465-5681

SURVEYOR

SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD.
ANKENY, IA 50023
515-964-2020
TERRY COADY, P.L.S.

ZONING

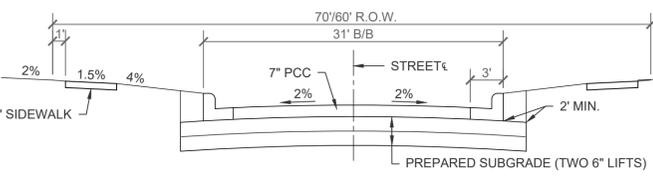
EXISTING: A-1 AGRICULTURE HOLDING DISTRICT
M-1 INDUSTRIAL DISTRICT
PROPOSED: R-1 SINGLE-FAMILY RESIDENTIAL DISTRICT

BULK REGULATIONS

MINIMUM LOT AREA	10,000 SF
MINIMUM LOT WIDTH	80'
FRONT YARD SETBACK	30'
REAR YARD SETBACK	25'
SIDE YARD SETBACK	1-1/2 STORIES
	2 OR 3 STORIES
	8' EACH SIDE
	10' EACH SIDE

NOTES

- OUTLOTS "X" AND "Y" TO BE RETAINED BY CURRENT OWNER.
- THE GREEN SPACE DEDICATION REQUIREMENT: 36 LOTS X 2.980 INDIVIDUALS X 0.005 ACRES/INDIVIDUAL = 0.5364 ACRES.



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Terry Coady, P.L.S. Date: _____
18643
License Renewal Date is December 31, 2021
Pages or sheets covered by this seal: _____

TERRY COADY
LICENSED PROFESSIONAL LAND SURVEYOR
IOWA
18643

DRAFT

MARK	REVISION	DATE	BY
1	REVISED PER CITY COMMENTS	6-10-21	AWJS

Checked By: TLC
Engineer: BKC
Technician: AWS
Date: 04-27-2021
Scale: 1"=100'
T-R-S: 30N-82W-23
Project No: 121.0211.01
Sheet C100

BLUE SKY ESTATES
PRELIMINARY PLAT - 2021
HUXLEY, IOWA

2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.

SNYDER & ASSOCIATES

Project No: 121.0211.01
Sheet C100



June 14, 2021

Rita Conner
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

rconner@huxleyiowa.org

HUXLEY, IOWA
BLUE SKY ESTATES
PRELIMINARY PLAT

We have reviewed the revised preliminary plat for Blue Sky Estates and offer the following comments that we recommend be discussed with the Planning & Zoning Commission:

1. Our comment letter requested that curb and gutter be installed along the east side of 560th Avenue for that portion of the plat that fronts 560th Avenue. The developer is objecting to this request because of the expense. This item is part of a larger question of what the City sees for the long-term vision for 560th Avenue.
2. The greenspace requirements of this plat is calculated to be 0.54 acres. The developer is requesting this greenspace be dedicated for a future trail extension on Blue Sky Boulevard to the east of this plat. This item is part of a larger question of what the City sees for a trail system east of 560th Avenue and south of the Heart of Iowa Trail.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Forrest S. Aldrich".

Forrest S. Aldrich

FSA:rsb
45229-063

Rita Conner
City of Huxley
June 14, 2021
Page 2

cc: Don Van Houweling, (e-mail)
Chad DeVore, Snyder & Associates (e-mail)
Brent Culp, Snyder & Associates (e-mail)
Jamie Bergkamp, Bergkamp, Hemphill & McClure (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Keith Vitzthum, City of Huxley (e-mail)
Mat Kahler, City of Huxley (e-mail)
A.J. Strumpfer, City of Huxley (e-mail)
Amy Kaplan, City of Huxley (e-mail)

RESOLUTION NO. 21-065

RESOLUTION APPROVING BLUE SKY COMMONS PLAT 2 FINAL PLAT

WHEREAS, Planning & Zoning Commission reviewed the Final Plat on October 2, 2017 and recommended approval to City Council and;

WHEREAS, City Council approved the Final Plat by Resolution No. 17-075 on October 10, 2017 and;

WHEREAS, the Final Plat is now being prepared for recording and a new Resolution was requested from the owner to provide to the Story County Auditor.

NOW, THEREFORE, IT IS RESOLVED by the City Council of the City of Huxley, Iowa, as follows:

Approval of the Blue Sky Commons Plat 2 Final Plat as presented.

Roll Call	Aye	Nay	Absent
Nate Easter	---	---	---
David Kuhn	---	---	---
Greg Mulder	---	---	---
Rick Peterson	---	---	---
Tracey Roberts	---	---	---

PASSED, ADOPTED AND APPROVED this 22nd day of June 2021.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 21-065** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 22nd day of June 2021.

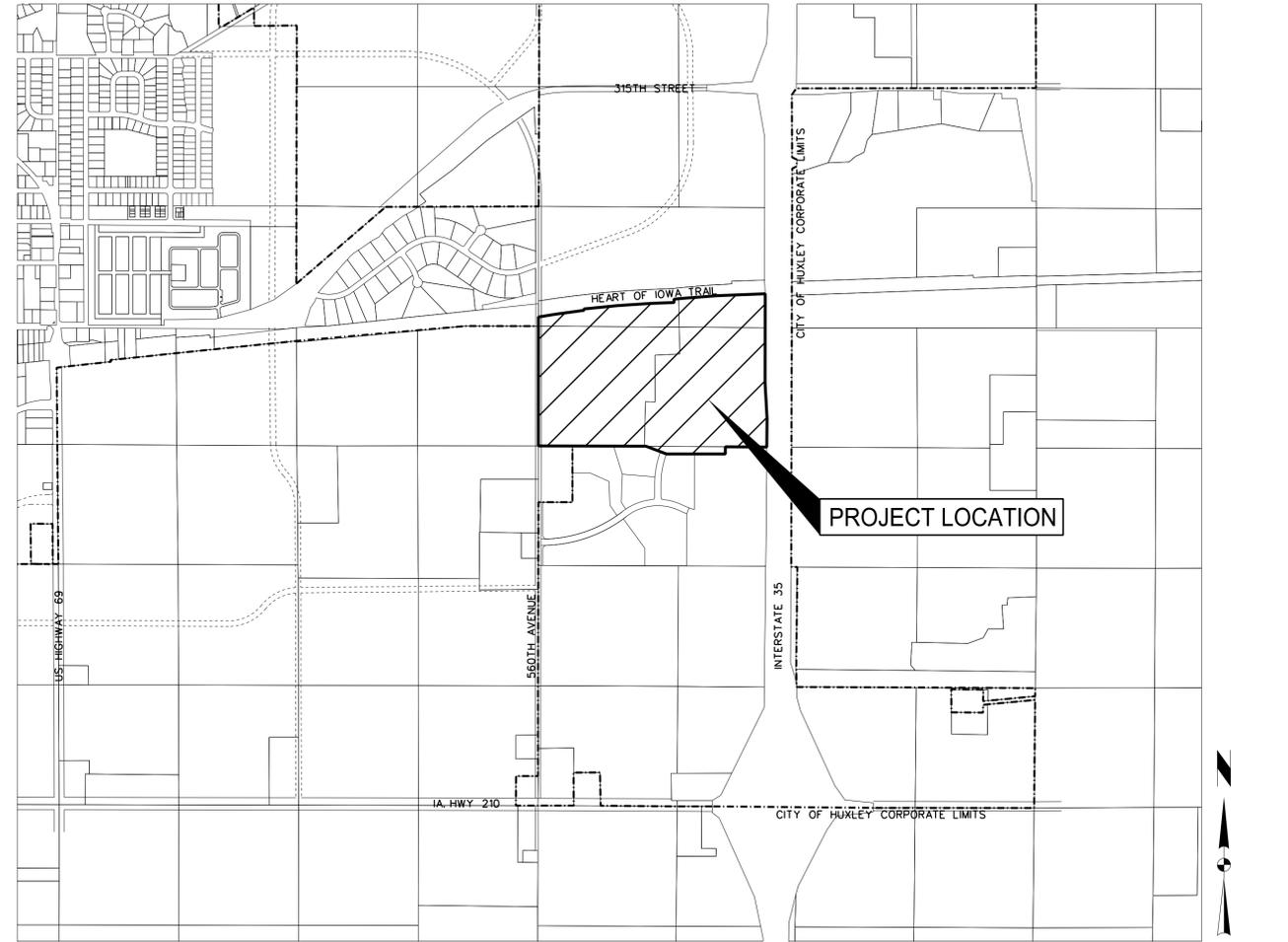
Kevin Deaton, Mayor

ATTEST:

Jolene Lettow, City Clerk

BLUE SKY COMMONS PLAT 2

FINAL PLAT



VICINITY MAP

SCALE: 1:1000'

PLAT DESCRIPTION

BLUE SKY COMMONS PLAT 2
FINAL PLAT DESCRIPTION

OWNER

LOT 1
KEEN PROJECT SOLUTIONS, LLC.
1524 SOUTH BELL AVENUE, SUITE 102
AMES, IOWA 50010

LOT 2
INTERSTATE LAND PROPERTIES, LLC.
PO BOX 575
PERRY, IOWA 50220-0575

AND

VANHOUEWELING, CD II
362 332ND PLACE
PERRY, IOWA 50220

OUTLOT "X"
INTERSTATE LAND PROPERTIES, LLC.
PO BOX 575
PERRY, IOWA 50220-0575

OUTLOT "Y"
VANHOUEWELING, CD II
362 332ND PLACE
PERRY, IOWA 50220

DEVELOPER

INTERSTATE LAND PROPERTIES, LLC.
PO BOX 575
PERRY, IOWA 50220-0575

NOTES

1. THE ERROR OF CLOSURE FOR THE SUBDIVISION BOUNDARY IS LESS THAN 1:10,000 AND THE ERROR OF CLOSURE FOR EACH INDIVIDUAL LOT IS LESS THAN 1:5,000.
2. SUBJECT TO NOTE 5 AS SHOWN IN A SURVEY RECORDED IN SLIDE 387 PAGE 5 STATING AN EXISTING PIPE LINE EASEMENT TO NORTHERN NATURAL GAS COMPANY RECORDED IN BOOK 103 PAGE 509 ALL IN SECTION 30-82-23 IS SUBJECT TO THE N 1/2, NW1/4 AND THE SE1/4, NW1/4 AND THE E 6.11 AC OF THE SW1/4, NW1/4. HOWEVER, THE ONLY GAS LINE THAT WAS LOCATED IN THE FIELD WAS FOUND IN THE N 1/2, NW1/4.

LEGEND

Survey

- Section Corner
- 1/2" Rebar, Yellow Plastic Cap #18643 (Unless Otherwise Noted)
- ROW Marker
- ROW Rail
- Control Point
- Bench Mark
- Platted Distance
- Measured Bearing & Distance
- Recorded As
- Deed Distance
- Calculated Distance
- Minimum Protection Elevation
- Centerline
- Section Line
- 1/4 Section Line
- 1/4 1/4 Section Line
- Easement Line

Found

- ▲
-
-
-
- CP
- c
- P
- M
- R
- D
- C
- MPE

Set

- △
-
-
-

ZONING

M-1: INDUSTRIAL DISTRICT

BULK REGULATIONS

MINIMUM LOT AREA = 6,000 SF
MINIMUM LOT WIDTH = NONE
FRONT YARD SETBACK = 25'
REAR YARD SETBACK = 10' EXCEPT ADJACENT R OR C-2 THEN 50'
SIDE YARD SETBACK = 10' EXCEPT ADJACENT R OR C-2 THEN 50'

BASIS OF BEARING

WEST LINE OF THE SW 1/4 OF THE NW 1/4 OF SECTION 30-82-23 WAS USED AS THE BASIS OF BEARING.

SECTION AREAS

PT. SW 1/4, SW 1/4 SEC. 19-82-23 = 6.07 AC.
PT. SE 1/4, SW 1/4 SEC. 19-82-23 = 8.42 AC.
PT. NW 1/4, NW 1/4 SEC. 30-82-23 = 43.67 AC.
PT. NE 1/4, NW 1/4 SEC. 30-82-23 = 32.93 AC.
PT. SW 1/4, NW 1/4 SEC. 30-82-23 = 0.25 AC.
PT. SE 1/4, NW 1/4 SEC. 30-82-23 = 1.24 AC.
TOTAL = 92.58 AC.

AREA ABOVE RESERVED FOR RECORDER'S STAMP

INDEX LEGEND

SURVEYOR'S NAME:
TERRY L. COADY
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023
515-964-2020
TLCOADY@SNYDER-ASSOCIATES.COM
SERVICE PROVIDED FOR:
INTERSTATE LAND PROPERTIES, LLC.
SURVEY LOCATED:
SW 1/4 SEC 19-80N-23W
NW 1/4 SEC 80-80N-23W
REQUESTED BY:
INTERSTATE LAND PROPERTIES, LLC.
RETURN TO:
TERRY L. COADY
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BOULEVARD
ANKENY, IOWA 50023

BLUE SKY COMMONS PLAT 2

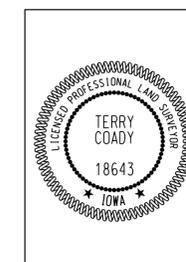
FINAL PLAT

SNYDER & ASSOCIATES, INC.

HUXLEY, IOWA

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

MARK	REVISION	DATE	BY
Engineer: CDD	Checked By: BKC	Scale: 1"= 100'	
Technician: AWS	Date: 09/15/17	Field Bk:	Pg:
Project No: 1170168			Sheet 3 of 8



I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Terry Coady, PLS _____ Date _____
License Number 18643
My License Renewal Date is December 31, 2017
Pages or sheets covered by this seal:
Sheet 3



Project No: 1170168

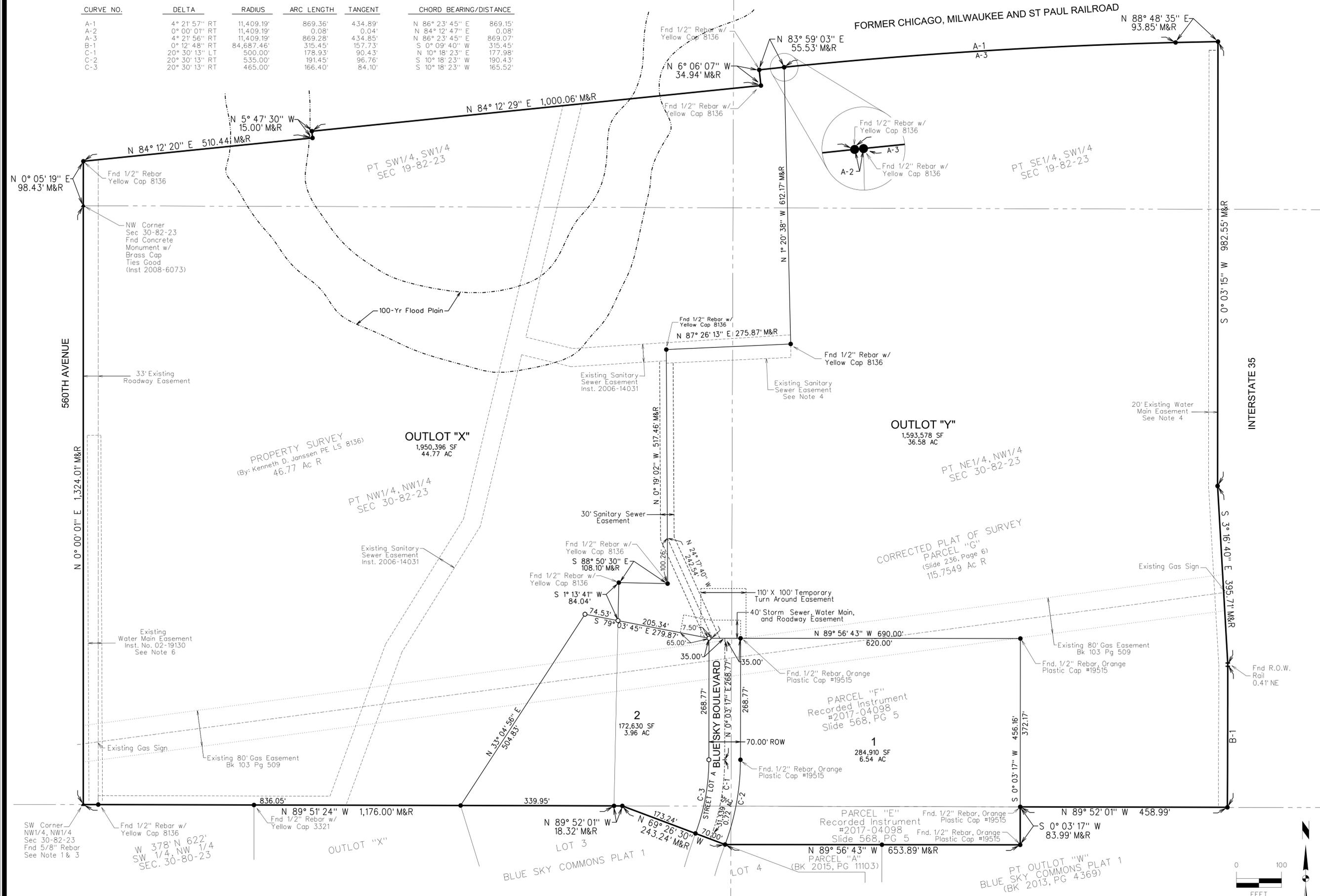
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CURVE TABLE

CURVE NO.	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/DISTANCE
A-1	4° 21' 57" RT	11,409.19'	869.36'	434.89'	N 86° 23' 45" E 869.15'
A-2	0° 00' 01" RT	11,409.19'	0.08'	0.04'	N 84° 12' 47" E 0.08'
A-3	4° 21' 56" RT	11,409.19'	869.28'	434.85'	N 86° 23' 45" E 869.07'
B-1	0° 12' 48" RT	84,687.46'	315.45'	157.73'	S 0° 09' 40" W 315.45'
C-1	20° 30' 13" LT	500.00'	178.93'	90.43'	N 10° 18' 23" E 177.98'
C-2	20° 30' 13" RT	535.00'	191.45'	96.76'	S 10° 18' 23" W 190.43'
C-3	20° 30' 13" RT	465.00'	166.40'	84.10'	S 10° 18' 23" W 165.52'



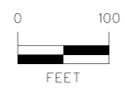
MARK	REVISION	DATE	BY
Engineer: CDD	Checked By: BKC	Scale: 1" = 100'	
Technician: AWS	Date: 09/15/17	Field Bk:	
Project No:	1170168		

BLUE SKY COMMONS PLAT 2
FINAL PLAT
HUXLEY, IOWA
SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

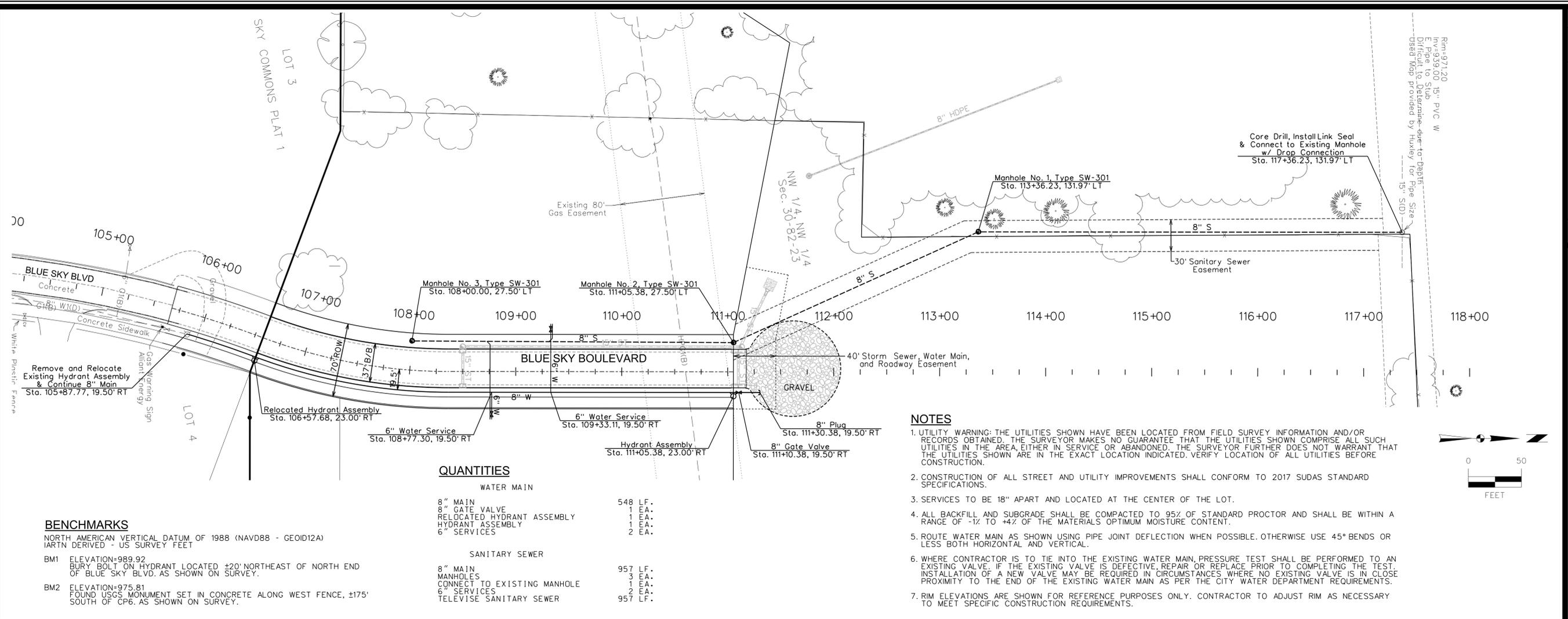


SNYDER & ASSOCIATES

Project No: 1170168
 Sheet 4 of 8



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QUANTITIES

WATER MAIN	
8" MAIN	548 LF.
8" GATE VALVE	1 EA.
RELOCATED HYDRANT ASSEMBLY	1 EA.
HYDRANT ASSEMBLY	1 EA.
6" SERVICES	2 EA.
SANITARY SEWER	
8" MAIN	957 LF.
MANHOLES	3 EA.
CONNECT TO EXISTING MANHOLE	1 EA.
6" SERVICES	2 EA.
TELEWISE SANITARY SEWER	957 LF.

BENCHMARKS

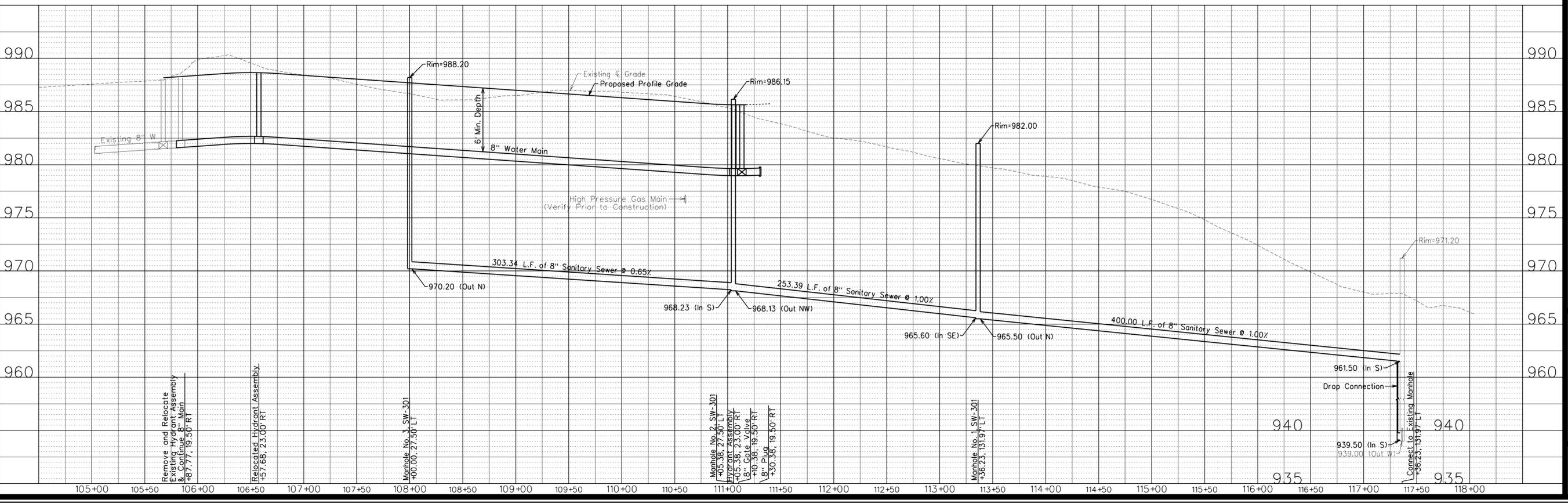
NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
 IARTN DERIVED - US SURVEY FEET

BM1 ELEVATION=989.92
 BURY BOLT ON HYDRANT LOCATED ±20' NORTHEAST OF NORTH END OF BLUE SKY BLVD. AS SHOWN ON SURVEY.

BM2 ELEVATION=975.81
 FOUND USGS MONUMENT SET IN CONCRETE ALONG WEST FENCE, ±175' SOUTH OF CP6. AS SHOWN ON SURVEY.

NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO 2017 SUDAS STANDARD SPECIFICATIONS.
- SERVICES TO BE 18" APART AND LOCATED AT THE CENTER OF THE LOT.
- ALL BACKFILL AND SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR AND SHALL BE WITHIN A RANGE OF -1% TO +4% OF THE MATERIALS OPTIMUM MOISTURE CONTENT.
- ROUTE WATER MAIN AS SHOWN USING PIPE JOINT DEFLECTION WHEN POSSIBLE. OTHERWISE USE 45° BENDS OR LESS BOTH HORIZONTAL AND VERTICAL.
- WHERE CONTRACTOR IS TO TIE INTO THE EXISTING WATER MAIN PRESSURE TEST SHALL BE PERFORMED TO AN EXISTING VALVE. IF THE EXISTING VALVE IS DEFECTIVE, REPAIR OR REPLACE PRIOR TO COMPLETING THE TEST. INSTALLATION OF A NEW VALVE MAY BE REQUIRED IN CIRCUMSTANCES WHERE NO EXISTING VALVE IS IN CLOSE PROXIMITY TO THE END OF THE EXISTING WATER MAIN AS PER THE CITY WATER DEPARTMENT REQUIREMENTS.
- RIM ELEVATIONS ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO ADJUST RIM AS NECESSARY TO MEET SPECIFIC CONSTRUCTION REQUIREMENTS.



MARK	REVISION	DATE	BY
Engineer: CDD	Checked By: BKC	Scale: 1"=50'	Field Bk:
Technician: AWS	Date: 09/15/17	Project No.: 1170168	Sheet 6 of 8

BLUE SKY COMMONS PLAT 2

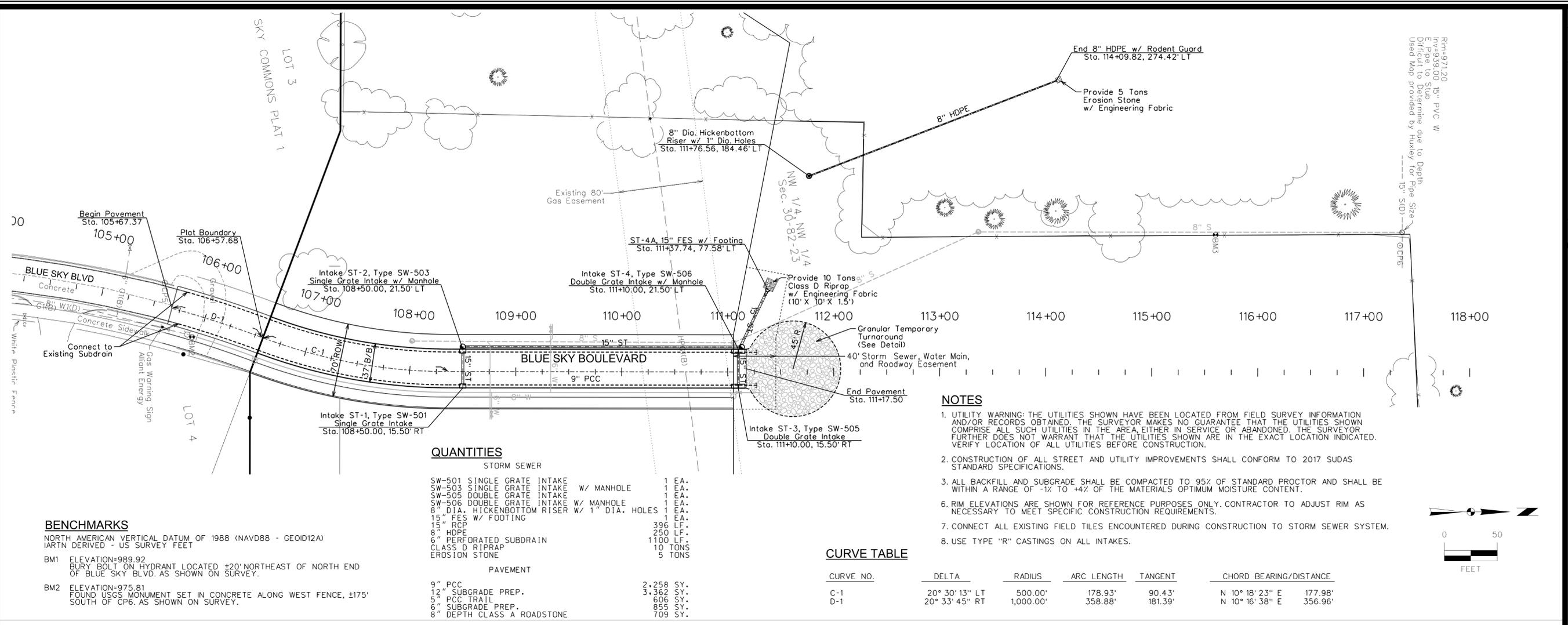
SANITARY SEWER AND WATER MAIN PLAN AND PROFILE

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

Project No: 1170168
 Sheet 6 of 8

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BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
 IARTN DERIVED - US SURVEY FEET

BM1 ELEVATION=989.92
 BURY BOLT ON HYDRANT LOCATED ±20' NORTHEAST OF NORTH END OF BLUE SKY BLVD. AS SHOWN ON SURVEY.

BM2 ELEVATION=975.81
 FOUND USGS MONUMENT SET IN CONCRETE ALONG WEST FENCE, ±175' SOUTH OF CP6. AS SHOWN ON SURVEY.

QUANTITIES

STORM SEWER		
SW-501 SINGLE GRATE INTAKE	1 EA.	
SW-503 SINGLE GRATE INTAKE W/ MANHOLE	1 EA.	
SW-505 DOUBLE GRATE INTAKE	1 EA.	
SW-506 DOUBLE GRATE INTAKE W/ MANHOLE	1 EA.	
8" DIA. HICKENBOTTOM RISER W/ 1" DIA. HOLES	1 EA.	
15" FES W/ FOOTING	1 EA.	
15" RCP	396 LF.	
8" HDPE	250 LF.	
PERFORATED SUBDRAIN	1100 LF.	
CLASS D RIPRAP	10 TONS	
EROSION STONE	5 TONS	

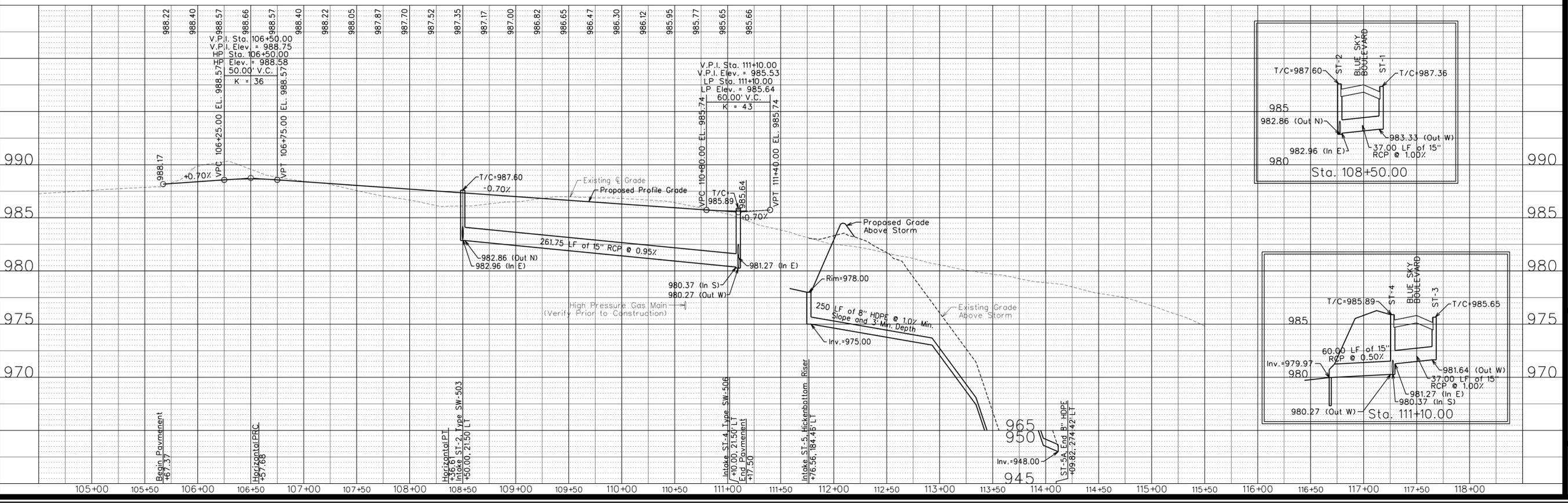
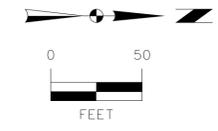
PAVEMENT		
9" PCC	2,258 SY.	
12" SUBGRADE PREP.	3,362 SY.	
PCC TRAIL	606 SY.	
SUBGRADE PREP.	855 SY.	
8" DEPTH CLASS A ROADSTONE	709 SY.	

NOTES

- UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFY LOCATION OF ALL UTILITIES BEFORE CONSTRUCTION.
- CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO 2017 SUDAS STANDARD SPECIFICATIONS.
- ALL BACKFILL AND SUBGRADE SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR AND SHALL BE WITHIN A RANGE OF -1% TO +4% OF THE MATERIALS OPTIMUM MOISTURE CONTENT.
- RIM ELEVATIONS ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO ADJUST RIM AS NECESSARY TO MEET SPECIFIC CONSTRUCTION REQUIREMENTS.
- CONNECT ALL EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION TO STORM SEWER SYSTEM.
- USE TYPE "R" CASTINGS ON ALL INTAKES.

CURVE TABLE

CURVE NO.	DELTA	RADIUS	ARC LENGTH	TANGENT	CHORD BEARING/DISTANCE
C-1	20° 30' 13" LT	500.00'	178.93'	90.43'	N 10° 18' 23" E 177.98'
D-1	20° 33' 45" RT	1,000.00'	358.88'	181.39'	N 10° 16' 38" E 356.96'



	MARK	REVISION	DATE	BY
	Engineer: CDD	Checked By: BKC	Scale: 1"=50'	
	Technician: AWS	Date: 09/15/17	Field Bk:	
			Project No: 1170168	Sheet 7 of 8

BLUE SKY COMMONS PLAT 2

PAVEMENT AND STORM SEWER PLAN AND PROFILE

SNYDER & ASSOCIATES, INC.

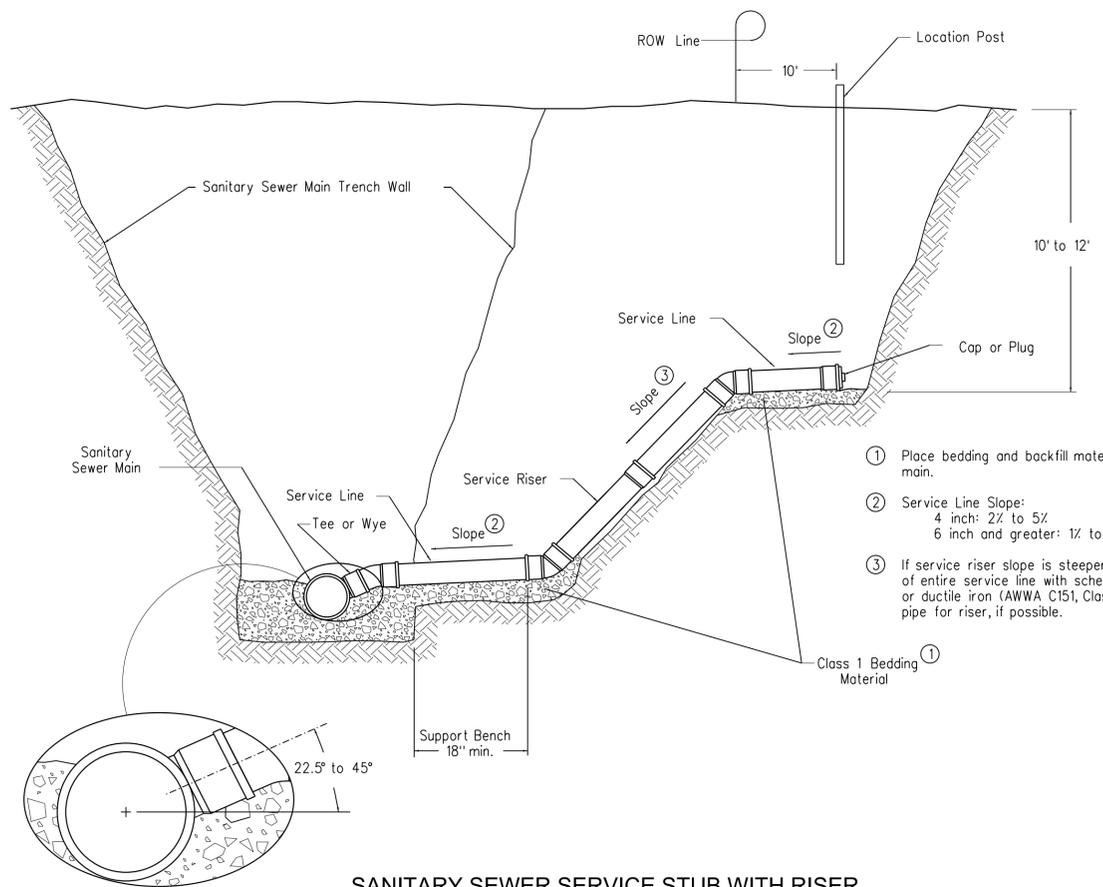
SNYDER & ASSOCIATES

HUXLEY, IOWA

2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

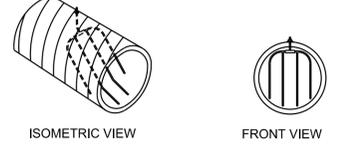
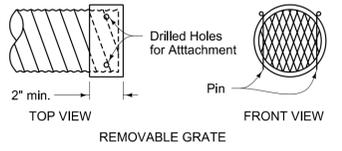
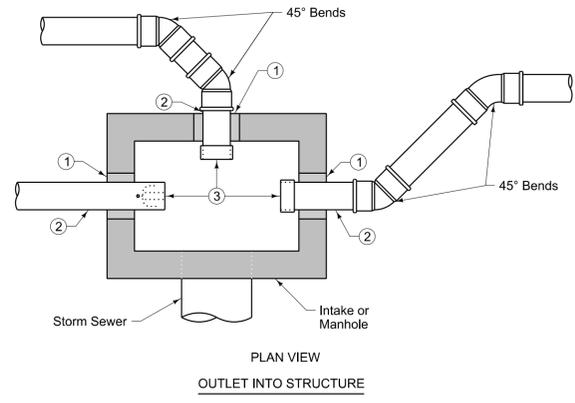
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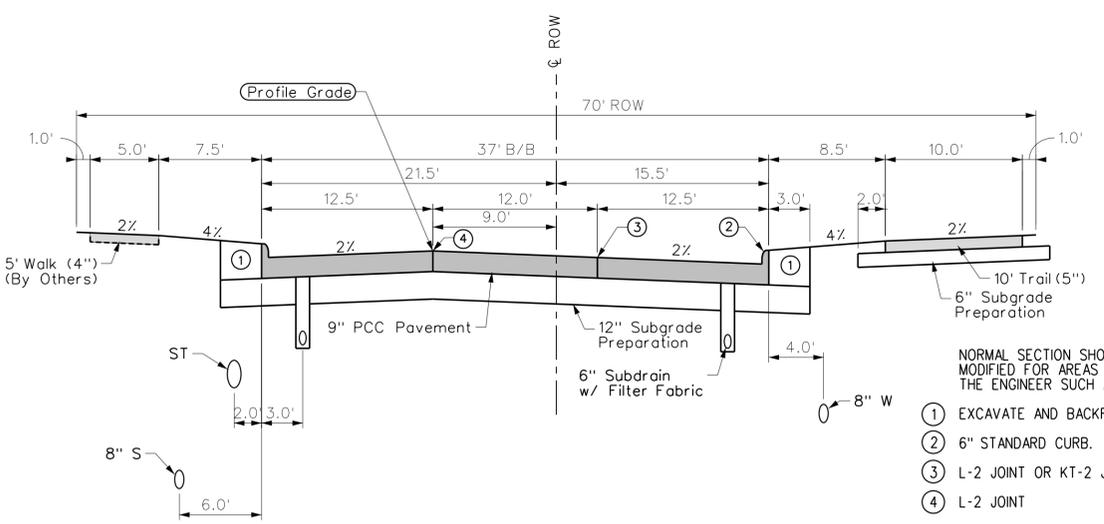
- ① Place bedding and backfill material as required for sewer main.
- ② Service Line Slope:
 4 inch: 2% to 5%
 6 inch and greater: 1% to 5%
- ③ If service riser slope is steeper than 1:1, construct riser of entire service line with schedule 40 PVC (ASTM D 1785) or ductile iron (AWWA C151, Class 52). Use single length of pipe for riser, if possible.

SANITARY SEWER SERVICE STUB WITH RISER



- Transverse and backslope subdrains require only single outlets. Install double outlet pipes on all longitudinal subdrain systems, except at the beginning and end of the system. At these locations, install a single outlet pipe.
- ① Fill annular space with non-shrink grout.
 - ② Outlets through intake walls to be CMP; corrugated, double-walled HDPE; or PVC.
 - ③ Extend outlet pipe into structure as required to install removable rodent guard.
 - ④ Use only fork type rodent guard for subdrain outlet to ditch.

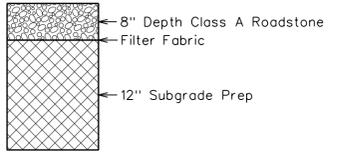
SUBDRAIN OUTLET DETAIL



**BLUE SKY BOULEVARD
 LOOKING NORTH**

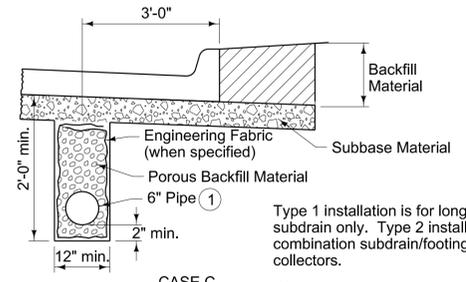
NORMAL SECTION SHOWN MAY BE APPROPRIATELY MODIFIED FOR AREAS SPECIFICALLY DESIGNATED BY THE ENGINEER SUCH AS INTERSECTIONS.

- ① EXCAVATE AND BACKFILL 3'.
- ② 6" STANDARD CURB.
- ③ L-2 JOINT OR KT-2 JOINT.
- ④ L-2 JOINT



NOTES:
 1. CONTRACTOR SHALL PROOF ROLL TURNAROUND PRIOR TO PLACEMENT OF FILTER FABRIC.

TEMPORARY TURNAROUND DETAIL



**CASE C
 TYPE 1
 SUBDRAINS**

- Type 1 installation is for longitudinal subdrain only. Type 2 installation is for combination subdrain/footing drain collectors.
- ① Place perforations down for all installations.

MARK	REVISION	DATE	BY
Engineer: CDD	Checked By: BKC	Scale: 1"=20'	Field Bk:
Technician: AWS	Date: 09/15/17	Project No: 1170168	Sheet 8 of 8

BLUE SKY COMMONS PLAT 2

MISCELLANEOUS DETAILS

HUXLEY, IOWA

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 1170168
 Sheet 8 of 8

Prepared by John Haldeman, City Administrator, for the City Council meeting to be held on the 10th day of October, 2017.

RESOLUTION NO. 17-075

RESOLUTION APPROVING FINAL PLAT AND CONSTRUCTION PLANS FOR BLUE SKY COMMONS PLAT 2.

WHEREAS, Don Van Houweling, Interstate Land Property, LLC has. submitted a Final Plat for review and Construction Plans; and

WHEREAS, the Huxley Planning and Zoning Commission reviewed the Final Plat for this location at their October 2, 2017; and

WHEREAS, the Commission voted to recommend approval of the Final Plat plan to the Huxley City Council for their October 10, 2017 meeting.

WHEREAS, the Construction Plans come forward for review and consideration for approval by the Huxley City Council;

WHEREAS, the Construction Plans were reviewed by staff and the City's Engineer and come forward with a recommendation of approval.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HUXLEY, IOWA, that the Huxley City Council has reviewed said Final Plat and the Construction Plans and approve both subject to the following conditions and/or waivers;

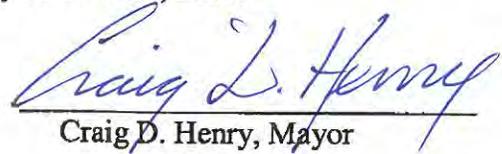
1. That the Preliminary Plat remaining be extended for 1 year
- 2.
- 3.

Roll Call	Aye	Nay	Absent
Kevin Deaton	<u> ✓ </u>	—	—
Craig Hemmen	<u> ✓ </u>	—	—
Dave Jensen	<u> ✓ </u>	—	—
Dave Kuhn	<u> ✓ </u>	—	—
Tracey Roberts	<u> ✓ </u>	—	—

PASSED AND APPROVED this 10th day of October, 2017.

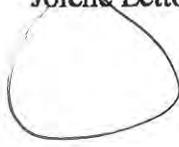
APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-075** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 10th day of October, 2017.


Craig D. Henry, Mayor

ATTEST:


Jolene Lettow, City Clerk



COUNCIL COMMUNICATION

AGENDA HEADING:

June 22 Information Items and Upcoming Worksessions

SUBMITTED BY:

Rita Conner, City Administrator

SYNOPSIS:

Construction Site Erosion and Sediment Control Ordinance

Staff has circulated the draft ordinance to developers, investors, banking community, realtors, builders and the Huxley Development Corporation Board of Directors. Input has stated concerns of additional costs and a request to wait until the 2022 construction season to implement this process step, due to the increased costs in materials. Site stewardship has generally improved with the focus on the matter and the circulation of the ordinance. Staff is requesting Council direction on whether to proceed with the ordinance at this time.

Sidewalk Infill Program and Public Information Process

Staff has been working on the scenarios and have included our consultants to assist with the information preparation, including updated maps and review of the financing scenarios. We have further developed the level of information that is needed to effectively convey the subject to the public. At this time, staff is proposing to bring this item back to the August 3 Council worksession for review. The bid and financing process for the water treatment plant expansion, as well as work on finalizing the FY 2022 and long range CIP drafts, RFPS for services are overlapping and will impact the amount of time to develop the correct level of information to provide options to Council and begin community engagement.

Update on Water Treatment Plant Expansion Project and Timeline

Work is continuing on the design and preparation for bid letting process, as well as taking the bond to market and issuing debt. An update will be provided at the June 22 meeting.

Upcoming July 6 and August 3 Worksessions

In addition to returning in August with the sidewalk infill program, the following are proposed:

- FY 2022 and Long Range CIP
- Results of Sanitary Sewer Service Study and Review of Draft Annexation Map
- Overview from Brick Gentry on Xenia vs City of Johnston decision
- Development Agreement Proposed terms and financial assistance requests following Economic Development Committee Review
- Review of RFPs for Comprehensive Plan and Space Needs Analysis
- Early Overview of FY 2022 Budget Process and Personnel
- Codification and Code of Ordinance Amendments

CHAPTER ____

CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL

____.01 PURPOSE	____.07 INSPECTION & ENFORCEMENT
____.02 DEFINITIONS	____.08 MONITORING PROCEDURES
____.03 LANDS TO WHICH CHAPTER APPLIES	____.09 PENALTIES
____.04 REQUIREMENTS FOR COSESCO PERMIT & FEES	____.10 LIMITS OF LIABILITY
____.05 TERMINATION OF A COSESCO PERMIT	____.11 APPEAL
____.06 AUTHORITY FOR INSPECTIONS	

____.01 **PURPOSE.** It is the purpose of this chapter to establish requirements through a permit process to assure that any land disturbing activity is identified. In addition, construction sites that may cause adverse impacts to water quality, such as, but not limited to, building materials, concrete truck washout, chemicals solid waste and sanitary waste shall be subject to the provisions of this ordinance. The applicant shall provide and maintain measures to prevent pollution of private and public property by practice of proper soil erosion and sediment control to prevent or minimize water quality impacts.

____.02 **DEFINITIONS. For the purposes of this chapter terms used shall be defined as follows:**

1. "NPDES" means the National Pollutant Discharge Elimination System managed by the State of Iowa Department of Natural Resources.
2. "COSESCO" means the Construction Site Erosion and Sediment Control managed by the City of Huxley.
3. "Disturbed Area" means the part of a site on which land-disturbing activities take place. All land area that is to be disturbed at any time during the project is to be counted in determining the disturbed area, even if part of the land will be stabilized before another part is disturbed.
4. "Enforcement Officer" means the City Engineer, Public Works Director, Public Works Street Superintendent, Building Official or their authorized representative.
5. "SWPPP" means Storm Water Pollution Prevention Plan.
6. "SUDAS" means Statewide Urban Design and Specifications.

____.03 **LANDS TO WHICH CHAPTER APPLIES**

1. If the total disturbed area of the site is one acre or more, or the disturbed area of the site is less than one acre but part of a larger common plan of development that will disturb one acre or more, the applicant will be required to obtain a COSESCO permit from the City and a NPDES General Permit #2 from the Iowa Department of Natural Resources (IDNR). Application requirements in subsection _____.04.1-6 of this ordinance.

2. If the total disturbed area of the site is less than one acre, the applicant may be required to obtain a COSESCO permit from the City when a site plan is submitted with a Building Permit application. The Enforcement Officer shall have the authority to determine the need for a COSESCO permit. The site plan shall identify erosion control measures that shall include, but are not limited to:

- a. Graveled access
- b. Silt fence; or filter sock along the perimeter of developed land.
- c. Inlet protection
- d. Temporary seeding and or mulch

3. If the total disturbed area of the site is less than one acre, and not part of improvements associated with a building permit, the applicant may be required to obtain a COSESCO permit from the City. The Enforcement Officer shall have the authority to determine the need for a COSESCO permit. Application requirements are defined in subsection _____.04.7.

____.04 REQUIREMENTS FOR COSESCO PERMIT AND FEES

1. An applicant in possession of a State NPDES General Permit #2 issued by the IDNR shall immediately submit to the City full copies of the materials described below as a basis for the City to determine issuance of a City COSESCO Permit:

- a. Applicant's plans, specifications and supporting materials previously submitted to the IDNR in support of applicant's application for the State NPDES General Permit #2;
- b. Applicant's authorizations issued pursuant to applicant's State NPDES General Permit #2; and
- c. A Storm Water Pollution Prevention Plan (SWPPP) prepared in accordance with this ordinance.

2. Every SWPPP submitted to the City in support of an application for a City COSESCO Permit:

- a. Shall comply with all current minimum mandatory requirements for SWPPPs promulgated by the IDNR in connection with issuance of a State NPDES General Permit #2; and
- b. Shall, if the applicant is required by law to file a Joint Application Form, PROTECTING IOWA WATERS, IOWA DEPARTMENT OF NATURAL RESOURCES AND U.S. ARMY CORPS OF ENGINEERS, comply with all mandatory minimum requirements pertaining to such applications; and
- c. Shall comply with all other applicable state or federal permit requirements in existence at the time of application; and

- d. Shall be prepared by a licensed professional engineer or landscape architect or a professional in erosion and sediment control or a representative of the local Soil and Water Conservation District, credentials shall be in a manner acceptable to the City; and
- e. Shall include within the SWPPP a signed and dated certification by the person preparing the SWPPP that the SWPPP complies with all requirements of this ordinance.

3. In addition to the SWPPP requirements stated in subparagraph _____.04.2 which constitute minimum mandatory requirements imposed by the United States Environmental Protection Agency NPDES Permit Program, every SWPPP submitted to the City in support of an application for a City COSESCO Permit shall comply with standard design criteria identified in the Statewide Urban Design Standards and Specifications (SUDAS) and City of Huxley Supplemental Specifications Manual, as adopted by resolution by the Huxley City Council, including but not limited to design, location, and phased implementation of effective, practicable storm water pollution prevention measures, and shall also:

- a. Assure that stockpiles of soil or other materials subject to erosion by wind or water are covered, vegetated, or otherwise effectively protected from erosion and sedimentation in accordance with the amount of time the material will be on site and the manner of its proposed use; no stockpiling is allowed in the street; and
- b. Assure that all temporary erosion and sediment controls shall not be removed until the City has determined that the site has been permanently stabilized; and
- c. Assure that all disturbed sites be permanently stabilized with 70% perennial cover as measured by the USDA line transect method; and
- d. Identify methods to prevent sediment damage to adjacent properties and sensitive environmental areas such as water bodies, plant communities, rare, threatened and/or endangered species habitat, wildlife corridors, green ways, etc.; and
- e. Provide for design and construction methods to stabilize steep or long continuous slopes; and,
- f. Include measures to control the quantity and quality of storm water leaving a site before, during and after construction; and g. Provide for stabilization of all waterways and outlets; and,
- h. Protect storm sewer infrastructure from sediment loading/plugging; and
- i. Specify precautions to be taken to contain sediment when working in or crossing water bodies; and
- j. Assure stabilization of disturbed areas, including utility construction areas, as soon as possible; and
- k. Protect outlying roads from sediment and mud from construction activities, including tracking; and l. Provide for disposal of collected sediment and floating debris.

4. Issuance by the City of a City COSESCO Permit shall be a condition precedent for the issuance of a City building permit or Site Plan approval, when required.

5. For so long as a construction site is subject to a State NPDES General Permit #2 or a City COSESCO Permit, the applicant shall provide the City with current information as follows:

a. The name, address and telephone number of the person on site designated by the owner who is knowledgeable and experienced in erosion and sediment control and who will oversee compliance with the State NPDES General Permit #2 and the City COSESCO Permit;

b. The name(s), address(es) and telephone number(s) of the contractor(s) and/or subcontractors(s) that will implement each erosion and sediment control measure identified in the SWPPP.

c. Applicant's failure to provide current information shall constitute a violation of this ordinance.

6. Developers can transfer State NPDES General Permit #2 and the City COSESCO Permit responsibility to homebuilders, new lot owners, contractors and subcontractors. Transferees must agree to the transfer in writing, must agree to fulfill all obligations of the SWPPP, the State NPDES General Permit #2 and the City COSESCO Permit. Absent such written confirmation of transfer of obligations, the developer remains responsible for compliance on any lot that has been sold. A developer shall notify the City of any application to the IDNR for release of any property from a General Permit #2 pursuant to 567 IAC 64.6(6) or any similar successor provision.

a. City COSESCO Permit transfer fee is payable upon submission before approval of the transfer is granted by the Enforcement Officer. Transfer fee is as defined in the BUILDING PERMIT and INSPECTION FEE SCHEDULE as adopted by resolution by the Huxley City Council.

b. Inspection of the site will be conducted and found to be in compliance before a transfer of the City COSESCO Permit is approved.

7. Application Procedure for a City COSESCO Permit.

a. Applications and Transfer Requests for City COSESCO Permits shall be made on forms approved by the City, which may be obtained from the Building, Utility and Zoning Clerk.

b. An applicant for a City COSESCO Permit shall pay an application and inspection fee at the time of application. The amount of this fee is prescribed in the BUILDING PERMIT and INSPECTION FEE SCHEDULE as adopted by resolution by the Huxley City Council.

c. The City COSESCO Permit shall be subject to the regulations of Chapter ___ of this Code of Ordinances that dictate the Building Permit timelines of validity, expiration and renewal. A renewal fee is prescribed in the BUILDING PERMIT and INSPECTION FEE SCHEDULE as adopted by resolution by the Huxley City Council.

d. Upon receipt of an application for a City COSESCO Permit, the City shall either find that the application complies with this ordinance and issue a City COSESCO Permit in accordance with this ordinance, or that the application fails to comply with this ordinance, in which case the City shall provide a report identifying non-compliant elements of the application.

e. Issuance by the City of a City COSESCO Permit shall be a condition precedent for the issuance of a City building permit or site plan approval, when required.

____.05 TERMINATION OF A CITY COSESCO PERMIT. Application for termination of a City COSESCO Permit shall be made in the following manner:

1. The applicant shall either:

a. Present a written request and a copy of the Notice of Discontinuation for sites that require a NPDES General Permit #2 to the Enforcement Officer upon establishment of permanent erosion control measures, or

b. Make a verbal request for sites that do not require a NPDES General Permit #2 to the Enforcement Officer upon establishment of permanent erosion control measures.

2. The Enforcement Officer shall conduct a final inspection of the site and notify the applicant if the termination request is approved by

a. Returning an approved copy of written request

b. Sign off on the Inspection Report Record and issue a temporary or final Certificate of Occupancy as applicable.

c. Issue a notice of approval if not part of the building permit process.

3. If the termination request is not approved,

a. The Enforcement Officer shall provide the applicant a written report identifying non-compliant elements of the site and

b. The applicant shall be charged a re-inspection fee as adopted by resolution by the Huxley City Council and

c. This termination request procedure shall be repeated until all elements are found to be in compliance.

____.06 AUTHORITY FOR INSPECTIONS. The Enforcement Officer, bearing proper identification or credentials shall be permitted to enter all properties for the purpose of inspection in accordance with the provisions of this Code of Ordinances. While performing the necessary work on private properties, the Enforcement Officer shall observe all safety rules applicable to the location.

____.07 INSPECTION & ENFORCEMENT PROCEDURES FOR CITY COSESCO PERMITS. The Enforcement Officer shall conduct all inspections required under this ordinance.

1. Applicant shall notify the City when all initial erosion control measures required by applicant's SWPPP have been accomplished on-site.
2. Sites that require a COSESCO Permit and a NPDES Permit #2 shall require the City to conduct an inspection for the purpose of determining compliance with this ordinance at least once per calendar quarter. Within a reasonable time thereafter the Enforcement Officer shall provide a written report to the applicant identifying any non-compliance issues found. The applicant shall immediately commence corrective action and shall complete such corrective action within seventy-two (72) hours of receiving the City's report. Failure to take corrective action in a timely manner shall constitute a violation of this ordinance.
3. The enforcement official shall issue a Stop Work order to terminate activities due to failure by the applicant to implement or maintain pollution control measures. Construction shall not occur on the site at any time when the City has identified conditions of non-compliance.
4. Construction activities undertaken by an applicant prior to resolution of all discrepancies specified in the written report shall constitute a violation of this ordinance and may provide cause for the City to report violations of NPDES Permit #2 to the Iowa Department of Natural Resources.
5. All fines and fees must be paid before final platting is approved if appropriate, or any Certificates of Occupancy temporary or final are released.

___ .08 MONITORING PROCEDURES FOR CITY COSESCO PERMITS. Upon issuance of a City COSESCO Permit, an applicant has an absolute duty to monitor site conditions and to report to the Enforcement Officer any change of circumstances or site conditions. The applicant shall be responsible to know what change of circumstances or site conditions pose a risk of storm water discharge in a manner inconsistent with applicant's SWPPP, State NPDES General Permit #2 and/or City COSESCO Permit.

1. The applicant shall make such report to the Enforcement Officer immediately but in any event within twenty-four (24) hours of the change of circumstances or site conditions.
2. Failure to make a timely report shall constitute a violation of this ordinance.
3. Any third party may also report to the City site conditions which the third party reasonably believes pose a risk of storm water discharge in a manner inconsistent with applicant's SWPPP, State NPDES General Permit #2 and/or City COSESCO Permit. Any concerned third party should contact the City at the storm water hotline telephone number identified on the City's website.
4. Upon receiving a report pursuant to the previous subsections, the Enforcement Officer shall conduct an inspection of the site as soon as reasonably possible and thereafter shall provide the applicant with a report identifying the conditions of non-compliance. The applicant shall immediately commence corrective action and shall complete such corrective action within seventy-two (72) hours of receiving the City's report. Failure to take corrective action in a timely manner shall constitute a violation of this ordinance, whereupon the Enforcement Officer shall immediately commence enforcement actions specified in subsection ___ .09 Penalties.
5. The Enforcement Officer may conduct at least one unannounced inspection during the course of construction to monitor compliance with the State NPDES General Permit #2 and the City

COSESCO Permit. If the inspection discloses any significant non-compliance, the Enforcement Officer shall provide the applicant with a report of non-compliance and may notify the IDNR. The applicant shall immediately commence corrective action and shall complete such corrective action within seventy-two (72) hours of receiving the City's report. Failure to take corrective action in a timely manner shall constitute a violation of this ordinance, whereupon the Enforcement Officer shall immediately commence penalty actions specified in subsection ____.09 Penalties.

____.09 **PENALTIES.** Violation of any provision of this ordinance may be enforced by civil action including an action for injunctive relief. The Enforcement Officer upon the advice of the City Attorney shall undertake enforcement pursuant to this section.

1. Violation of any provision of this ordinance may also be enforced as a municipal infraction within the meaning of Chapter _ Municipal Infractions, pursuant to the City's Code of Ordinance.
2. Violation of any provision of this ordinance which causes damage to any party due to failure of the applicant to provide or maintain erosion control measures the applicant shall be responsible to restore the affected area to its original state. The City of Huxley shall assess additional fees to the applicant on a time and material basis for any and all cleanup conducted by the City to correct these areas to original state.

____.10 **LIMITS OF LIABILITY.** The City of Huxley shall not be responsible for the direct or indirect consequences to the applicant or any third parties for non-compliant conditions undetected or detected by inspection.

____.11 **APPEAL** The applicant may address administrative decisions by staff and enforcement actions of the Enforcement Officer by submitting an appeal to the Huxley City Council pursuant to the following rules:

1. The appeal must be filed in writing with the city clerk within five (5) business days of the decision or enforcement action.
2. The written appeal shall specify in detail the action appealed from, the errors allegedly made by the Enforcement Officer giving rise to the appeal, a written summary of all oral and written testimony the applicant intends to introduce at the hearing, including the names and addresses of all witnesses the applicant intends to call, copies of all documents the applicant intends to introduce at the hearing, and the relief requested.
 - a. The City Clerk shall notify the applicant and the Enforcement Officer by ordinary mail, and shall give public notice in accordance with Chapter 21, Iowa Code, of the date, time and place for the regular or special meeting of the Huxley City Council at which the hearing on the appeal shall occur. The hearing shall be scheduled for a date not less than four (4) nor more than twenty (20) days after the filing of the appeal. The rules of evidence and procedure, and the standard of proof to be applied, shall be the same as provided by Chapter 17A, Code of Iowa. The applicant may be represented by counsel at the applicant's expense. The Enforcement Officer may be represented by the city attorney or by an attorney designated by the City Council at City expense.