

CITY OF HUXLEY

TUESDAY – OCTOBER 10, 2017 – HUXLEY CITY HALL

AGENDA

CITY COUNCIL MEETING – 6:00 PM

PUBLIC NOTICE IS HEREBY GIVEN THAT THE CITY COUNCIL OF THE CITY OF HUXLEY, IOWA, WILL MEET AT THE HUXLEY CITY HALL 515 N. MAIN AVE., HUXLEY, IOWA, FOR THEIR REGULAR COUNCIL MEETING AT 6:00 PM ON TUESDAY THE 10th DAY OF OCTOBER, 2017 TO DISCUSS THE MATTERS ENUMERATED IN THE AGENDA LISTED BELOW.

ROLL CALL – QUORUM PRESENT

- 1.00) COMMENTS FROM THE PUBLIC AND RECEIVING OF PETITIONS AND/OR WRITTEN COMMUNICATIONS TO THE CITY COUNCIL ON AGENDA AND NONAGENDA ITEMS.
- 2.00) PRESENTATION(S):
 - a.) Shon Bruellman – Big Red Truck
- 3.00) PROCLAMATION(S): NONE
- 4.00) CONSENT AGENDA:

ALL ITEMS LISTED WITHIN THIS SECTION ARE CONSIDERED TO BE ROUTINE BY THE CITY COUNCIL AND WILL BE ENACTED BY ONE MOTION. THERE WILL BE NO SEPARATE DISCUSSION OR ACTION ON THESE ITEMS UNLESS A COUNCIL MEMBER OR CITIZEN SO REQUESTS, IN WHICH EVENT, THE ITEM WILL BE REMOVED FROM THE GENERAL ORDER OF BUSINESS. AND CONSIDERED SEPARATELY.

- 4.01) TO APPROVE THE MINUTES FROM THE FOLLOWING MEETINGS:
 - September 26, 2017 -- Regular Council Meeting
 - 4.02) TO APPROVE FINANCIAL REPORTS AND PAYMENT OF BILLS.
 - 4.03) TO APPROVE BEER, WINE AND LIQUOR LICENSES, CIGARETTE PERMITS/ RENEWALS.
 - 4.04) TO APPROVE THE REAPPOINTMENT OF LARRY WILSON TO THE PLANNING AND ZONING COMMISSION.
- 5.00) PUBLIC HEARING(S): NONE

AGENDA ITEMS:

- 6.00) COMMUNITY BETTERMENT:
 - 6.01) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-073 SETTING THE DATE FOR PUBLIC HEARING ON THE ESTABLISHMENT OF THE 2017 IRON BRIDGE URBAN RENEWAL AREA AND THE URBAN RENEWAL PLAN AND PROJECT.
 - 6.02) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-074 SETTING DATE FOR THE PUBLIC HEARING ON THE MEADOW LANE DEVELOPMENT AGREEMENT INCLUDING ANNUAL APPROPRIATION TAX INCREMENT PAYMENTS.

- 6.03) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-075 APPROVING THE FINAL PLAT AND CONSTRUCTION PLANS FOR BLUE SKY COMMONS.
- 6.04) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-076 APPROVING SITE PLAN FOR INNOVATIVE TECHNOLOGY AT 1545 BLUE SKY BOULEVARD.
- 6.05) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-077 APPROVING SITE PLAN FOR CONTINENTAL MANUFACTURING CHEMIST (CMC) AT 1502 BLUE SKY BOULEVARD.
- 6.06) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-078 APPROVING AMENDMENT TO THE BULK REGULATIONS FOR LOT 53 IN PRAIRIE RIDGE PLAT 1 PUD.
- 6.07) DISCUSSION AND POSSIBLE ACTION ON FIRST READING OF ORDINANCE NO. 485 AMENDING THE MUNICIPAL CODE OF THE CITY OF HUXLEY, IOWA, BY AMENDING THE ZONING ORDINANCE TO ADD NEW SECTION 165.47 PROVIDING REGULATIONS FOR SOLAR ENERGY SYSTEMS. POSSIBLE WAIVING OF THE 2ND AND 3RD READING.
- 6.08) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-079 APPROVING TRANSFER OF PROPERTY FROM HUXLEY DEVELOPMENT CORPORATION TO THE CITY OF HUXLEY.

7.00) PUBLIC SAFETY:

- 7.01) DISCUSSION AND POSSIBLE ACTION ON RESOLUTION 17-080 APPROVING APPOINTMENTS OF MEMBERS AS THE CITY OF HUXLEY REPRESENTATIVES TO THE POLK COUNTY JOINT 911 SERVICE BOARD.

8.00) FINANCE: NONE

9.00) LEISURE ACTIVITIES: NONE

10.00) ADMINISTRATIVE BUSINESS: NONE

COMMENTS FROM STAFF, COUNCIL AND MAYOR.

ADJOURNMENT

THIS NOTICE IS HEREBY GIVEN AT LEAST 24 HOURS PRIOR TO THE COMMENCEMENT OF THE MEETING SPECIFIED ABOVE. THIS WAS DONE BY ADVISING THE NEWS MEDIA WHO HAVE FILED A REQUEST FOR NOTICE AND BY POSTING THE NOTICE ON THE WINDOW IN THE LOBBY AREA IN CITY HALL THAT IS ACCESSIBLE AND VIEWABLE TO THE PUBLIC. THIS WAS ALL PURSUANT TO CHAPTER 21 OF THE CODE OF IOWA.

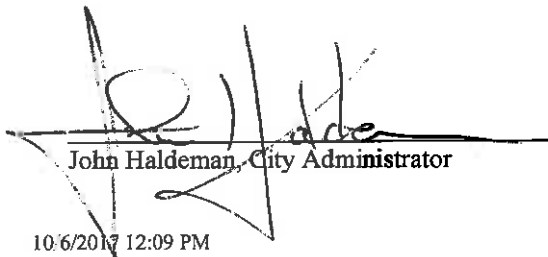
WORKSESSION:

THE CITY COUNCIL WILL MEET FOR AN INFORMAL WORKSESSION TO WORK ON ITEMS AND NOT TAKE ANY ACTION ON THOSE ITEMS DURING THE WORKSESSION.

DISCUSSION TOPICS; THAT THE FOLLOWING TOPICS ARE SUGGESTED AND THEY DO NOT REFLECT ALL POSSIBLE ITEMS THAT COULD BE DISCUSSED OR NOT. THE LISTING BELOW DOES NOT NECESSARILY REFLECT THE ORDER IN WHICH THE ITEMS WILL BE DISCUSSED OR IF THEY WOULD BE DISCUSSED AT THIS MEETING. NO ACTION WILL BE TAKEN ON ANY OF THE ITEMS AND THE LIST MAY CHANGE PRIOR TO OR AT THE MEETING.

1. Iron Bridge
2. Residential Subdivision
3. Food Trucks
4. Development Agreements
5. Building Codes
6. Miscellaneous

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John Haldeman, City Administrator

10/6/2017 12:09 PM

PRESENTATION



ABOUT

The story starts in a little town called West Bend, IA where Shon was born and raised on a farm by his parents Don and Verda Bruellman. His mother was an excellent cook who spent much time in the kitchen preparing food for family and those in the community who would be encouraged by a visit and a meal. Shon learned early on the subtleties of made from scratch, down home cooking and not only did his love for cooking increase as he got older but so did his desire to share his recipes and his food with others. This was achieved initially through his parents bed and breakfast called "The Prairie Oasis" where they would cater and serve groups of 12-50 people for receptions and special events. This grew into Shon and his wife Julie eventually purchasing and operating a restaurant in West Bend called "Shon's Taste Of Home".

In 2014 Shon and Julie found themselves as Empty Nester's ready for a change in life and decided to move to Des Moines. Not only were there more business opportunities in the area, but that was where two of their three children had chosen to live so they thought "Why not?" The idea for the food truck grew from a desire to get back into cooking for people in a different way than they had done before.

With the advent of the pilot food truck program in Des Moines they clipped their toe into the water in the summer of 2015 and started off with a limited menu in The Little Red Food Truck. Finding that the water was warm and welcoming they upgraded to a full size professionally outfitted truck in the spring of 2016 aptly named: "The Big Red Food Truck" where they service the Des Moines metro area with great food, free smiles, and what they hope is a unique and satisfying food truck experience.

In late 2017 they will be partnering with the hottest new spot in Des Moines; The Hall in Valley Junction. Shon's been in ministry for nearly twenty years reaching out to the broken, the hurting and the rejected which is in part what attracted him to The Hall and their mission to not only offer great food to the masses but also to offer a helping hand to those in the homeless community that are in need. Patrons at The Hall will be able to eat the best of the best local food truck food scene; including items from The Big Red Food Truck while they fellowship with friends in the 450 seathall and sip pints of over 50 tap beer varieties.



HOME

ABOUT

MENU

CATERING

EVENTS

ABOUT

OUR MENU

Food

Doner Kebab (Turkish Gyro's)
Grilled Flatbread, Seasoned Meat,
(Beef, Lamb, or Chicken) Lettuce,
Diced Tomato, Onion, Topped With

Mozzarella Sticks
5 Pieces of Fried Cheesy Goodness;
Served With Choice Of Ranch or
Marinara On the Side.

Our Own Tatziki Sauce Infused With
Garlic, Freshly Minced Greek
Oregano, Dill and Feta Cheese.

\$ 8.00

Shon's Famous Fried Taco
Fried Flatbread That's Filled With
Taco Meat and Other Savory
Seasonings. Comes with Lettuce,
Cheese, Salsa and Sour Cream.
Voted "Best Fair Food" at numerous
events!

\$ 8.00

Port Tenderloin
Hand Cut Pork Loin That's
Tenderized and Pounded Flat By Our
Staff; Then Freshly Breaded In
Panko Crumbs AFTER it's Ordered
For Peak Freshness. Served On A
Buttered and Toasted Corn Kaiser
Bun. Possibly The Best Tenderloin
You Will Ever Eat! (Grilled or fried)

\$ 8.00

\$ 5.00

Jumbo Walking Taco Boat
Dorito's, Taco Meat, Lettuce,
Shredded Cheese, Salsa, Sour
Cream. It's a 'Taco In A Bag'...But In
a Boat. This is One That Often Gets
A "WOW!" From New Customers.

\$ 7.00

BRT's Fabulous Fish Taco
Freshly Hand Breaded Flounder Fillet
In Fried Flatbread; Topped With
Shredded Cheese, Cabbage Slaw
Blend and Our Creamy Chipotle Aoili.
One of Our Top Items For Sure!

\$ 9.00

Grilled Jamaican Fish Taco
Blackened Tilapia In Jerk Seasoning,
Cabbage Blend and Cheese Topped
With Chipotle Sauce. Served On
Grilled Flatbread.

\$ 9.00

COMMUNICATIONS AND MONTHLY REPORTS

DAILY OBSERVATION REPORT

UNDERGROUND UTILITIES CONSTRUCTION

DAY: <u>Friday</u>			DATE: <u>9 29 17</u>			WORKING DAY		
WEATHER CONDITIONS						YES	<input checked="" type="checkbox"/>	NO
AM	TEMP	CONDITIONS	PM	TEMP	CONDITIONS	REASON FOR NO WORK		
7	50°	clear						
CONTRACTOR/SUBS			WORK PERFORMED			EMPLOYEES	HOURS	FOREMAN
<u>On Track Cons</u>			<u>water</u>					<u>Matt</u>
EQUIPMENT ON PROJECT		WORKING		AVAILABLE (ON SITE)		DOWN TIME AND/OR EXPLANATION FOR NO WORK		
DESCRIPTION	NUMBER	YES	NO	YES	NO			
<u>hoe</u>	<u>1</u>							
<u>tractor hoe</u>	<u>1</u>							
<u>skid loader</u>	<u>1</u>							
<u>Track</u>	<u>1</u>							
CONTACTS MADE - PERSON/COMPANY				SUBJECTS DISCUSSED - DECISION OR RESULT				
VISITORS ON PROJECT				REPRESENTING				

OPERATIONS	STATION		LENGTH FEET	SOIL TYPE AND CONDITION	PIPE	
	FROM	TO			TYPE/CLASS	DIA
EXCAVATION OR BORING	512+61	515+01	240	wet clay	C900	9"
PLACE STONE						
LAY/PULL PIPE						
BACKFILL AND COMPACTION						
DAILY OBSERVATION NOTES						
<p>crew set 240' of 8' C900 from Sta 512+61 to Sta 515+01, crew set 11.25 Bend Sta 514+87.5 Team Service did compaction tests all pass. All bends, valves and hyd are cover with black plastic paper and tape. crew stop laying pipe and began to back fill and compact ditch. crew will also set silt fence in ditch</p>						
Signed: <i>BB</i>						
TAP OR WYE INFORMATION		STATION/OFFSET		SIZE AND TYPE OF TAP OR WYE	SIZE/TYPE/LENGTH OF SERVICE DEPTH OF SERVICE @ MAIN	
DISTANCE AND DIRECTION FROM	MH# VALVE#	START	START			
STRUCTURE INFORMATION		STRUCTURE TYPE DIMENSION/DIAMETER		SLAB TOP OR RIM ELEVATION	PIPE INVERT ELEVATION AND DIRECTION	
STATION/LOCATION	OFFSET	LT	RT	PRECAST	POURED	

UNDERGROUND UTILITIES CONSTRUCTION

DAY		Thursday		DATE		9 28 17		WORKING DAY					
WEATHER CONDITIONS								YES	X	NO			
A.M.		TEMP.		CONDITIONS		P.M.		TEMP.		CONDITIONS		REASON FOR NO WORK:	
7		40°		clear									
CONTRACTOR(S)				WORK PERFORMED				EMPLOYEES		HOURS		FOREMAN	
On Track Cons				water				5				Matt	
EQUIPMENT ON PROJECT				WORKING		AVAILABLE (ON SITE)		DOWN TIME AND/OR EXPLANATION FOR NO WORK					
DESCRIPTION		NUMBER		YES		NO							
hoe		2											
star hoe		1											
skid loader		2											
Truck		1											
CONTACTS MADE - PERSON/COMPANY				SUBJECT/ISSUE DISCUSSED - DECISION OR RESULT									
VISITORS ON PROJECT				REPRESENTING									
Jeff				City									

OPERATIONS	STATION		LENGTH FEET	SOIL TYPE AND CONDITION	PIPE	
	FROM	TO			TYPE/CLASS	DIA
EXCAVATION OR BORING	507+69	512+69	500			
PLACE STONE						
LAY/PULL PIPE						
BACKFILL AND COMPACTION						

DAILY OBSERVATION NOTES

crew lay about 500'± back fill and compacted soil in ditch,
 Team Service was out did 4 tests all pass.
 crew set Hyd at sta 511+85.
 crew left one lane open for traffic

Signed: *BA*

TAP OR WYE INFORMATION		STATION/OFFSET		SIZE AND TYPE OF TAP OR WYE	SIZE/TYPE/LENGTH OF SERVICE DEPTH OF SERVICE @ MAIN
DISTANCE AND DIRECTION FROM	MH # VALVE #	STA/LT	STA/RT		

STRUCTURE INFORMATION			STRUCTURE TYPE DIMENSION/DIAMETER		SLAB TOP OR RM ELEVATION	PIPE INVERT ELEVATION AND DIRECTION					
STATION/LOCATION	OFFSET		PRECAST	POURED		IN	OUT	N	S	E	W
	LT	RT									

DAILY OBSERVATION REPORT

UNDERGROUND UTILITIES CONSTRUCTION

DAY: <i>Wednesday</i>			DATE: <i>9 27 17</i>			WORKING DAY		
WEATHER CONDITIONS						YES	<input checked="" type="checkbox"/>	NO
A.M.	TEMP	CONDITIONS	P.M.	TEMP	CONDITIONS	REASON FOR NO WORK:		
<i>7</i>	<i>50°</i>	<i>clear</i>						
CONTRACTOR(S)			WORK PERFORMED			EMPLOYEES	HOURS	FOREMAN
<i>On Track Cons</i>			<i>Water</i>			<i>5</i>		<i>Matt</i>
EQUIPMENT ON PROJECT		WORKING		AVAILABLE (ON-SITE)		DOWN TIME AND/OR EXPLANATION FOR NO WORK		
DESCRIPTION	NUMBER	YES	NO	YES/NO				
<i>hce</i>	<i>2</i>	<input checked="" type="checkbox"/>						
<i>Track</i>	<i>1</i>	<input checked="" type="checkbox"/>						
<i>skid loader</i>	<i>2</i>	<input checked="" type="checkbox"/>						
CONTACTS MADE - PERSON/COMPANY				SUBJECT/ISSUE DISCUSSED - DECISION OR RESULT				
VISITORS ON PROJECT				REPRESENTING				
<i>Jeff</i>				<i>City</i>				

OPERATIONS	STATION		LENGTH FEET	SOIL TYPE AND CONDITION	PIPE	
	FROM	TO			TYPE/CLASS	DIA.
EXCAVATION						
OR BORING						
PLACE STONE						
LAY/PULL PIPE						
BACKFILL AND						
COMPACTION						

DAILY OBSERVATION NOTES

Sta. 506+00 start water main again going north, at sta 506+75 water went under fiber line 4'± then to sta 506+91 existing 24" CMP, center 30' pipe under CMP, joints are 10' away from cmp, then at sta 507+12 water again under fiber line, at sta 507+41 set 8" valve, at sta 507+45 set 8" tee. Note: At this point they change, Future hook up to existing 6" crew ran a new 6" 10' out from 8" tee, set a 6" tee on end install new hydr going north and set a new cap over east end of tee. crew lay one more stick of pipe stop work at sta. 507+69. crew back fill and compacted ditch, but no test was done today

Signed: *BB*

TAP OR WYE INFORMATION		STATION/OFFSET		SIZE AND TYPE OF TAP OR WYE	SIZE TYPE LENGTH OF SERVICE DEPTH OF SERVICE @ MAIN
DISTANCE AND DIRECTION FROM	MH# VALVE#	START	START		

STRUCTURE INFORMATION			STRUCTURE TYPE DIMENSION/DIAMETER		SLAB TOP OR RIM ELEVATION	PIPE INVERT ELEVATION AND DIRECTION					
STATION/LOCATION	OFFSET		PRECAST	POURED		IN	OUT	N	S	E	W
	LT	RT									

DAILY OBSERVATION REPORT

UNDERGROUND UTILITIES CONSTRUCTION

DAY: <u>Tuesday</u>		DATE: <u>9 26 17</u>		WORKING DAY	
WEATHER CONDITIONS				YES	NO
A.M.	TEMP.	CONDITIONS	P.M.	TEMP.	CONDITIONS
<u>7</u>	<u>60°</u>	<u>cloudy</u>			
REASON FOR NO WORK					
CONTRACTOR(S)		WORK PERFORMED		EMPLOYEES	HOURS
<u>On Track Cons</u>					
EQUIPMENT ON PROJECT		WORKING		AVAILABLE (ON SITE)	
DESCRIPTION	NUMBER	YES	NO	YES	NO
<u>hac</u>	<u>2</u>				
<u>tractor hoe</u>	<u>1</u>				
<u>skid loader</u>	<u>2</u>				
<u>truck</u>	<u>1</u>				
<u>job trailer</u>	<u>1</u>				
CONTACTS MADE - PERSON/COMPANY		SUBJECT/ISSUE DISCUSSED - DECISION OR RESULT			
VISITORS ON PROJECT		REPRESENTING			
<u>De P</u>		<u>city</u>			

OPERATIONS	STATION		LENGTH FEET	SOIL TYPE AND CONDITION	PIPE	
	FROM	TO			TYPE/CLASS	DIA.
EXCAVATION OR BORING	506+06				C900	8"
PLACE STONE LAY/PULL PIPE						
BACKFILL AND COMPACTION						
DAILY OBSERVATION NOTES						
<p>Sta 506+06 where crew stop work and was not back fill is full of water, crew is pump water out of trench to uncover 8" water main. crew remove mud in trench but no pipe lay today, to wait. crew is working on cleaning road. crew work about 3 hours necessary new hyd.</p>						
Signed: <i>B B</i>						
TAP OR WYE INFORMATION		STATION/OFFSET		SIZE AND TYPE	SIZE/TYPE/LENGTH OF SERVICE	
DISTANCE AND DIRECTION FROM	MH# VALVE #	START	STAIN	OF TAP OR WYE	DEPTH OF SERVICE @ MAIN	
STRUCTURE INFORMATION		STRUCTURE TYPE		SLAB TOP	PIPE INVERT ELEVATION	
STATION/LOCATION	OFFSET	DIMENSION/DIAMETER		OR RIM	AND DIRECTION	
	LT RT	PRECAST	POURED	ELEVATION	IN	OUT N S E W

DAILY OBSERVATION REPORT

UNDERGROUND UTILITIES CONSTRUCTION

DAY: <u>Monday</u>			DATE: <u>9 25 17</u>			WORKING DAY: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		
WEATHER CONDITIONS						YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		
AM	TEMP	CONDITIONS	P.M.	TEMP	CONDITIONS	REASON FOR NO WORK		
7	60°	clear						
CONTRACTOR/ISS			WORK PERFORMED			EMPLOYEES		FOREMAN
<u>On Track</u>			<u>Water 8"</u>			<u>3</u>		<u>Matt</u>
EQUIPMENT ON PROJECT			WORKING		AVAILABLE (ON SITE)	DOWN TIME AND/OR EXPLANATION FOR NO WORK		
DESCRIPTION	NUMBER	YES	NO	YES/NO				
<u>hoe</u>	<u>2</u>	<u>/</u>						
<u>tractor hoe</u>	<u>1</u>	<u>-</u>						
<u>skid loader</u>	<u>1</u>	<u>-</u>						
CONTACTS MADE - PERSON/COMPANY			SUBJECT/ISSUE DISCUSSED - DECISION OR RESULT					
VISITORS ON PROJECT			REPRESENTING					
<u>Jeff</u>			<u>City</u>					
<u>Keith</u>			<u>City</u>					

OPERATIONS	STATION		LENGTH FEET	SOIL TYPE AND CONDITION	PIPE	
	FROM	TO			TYPE/CLASS	DIA.
EXCAVATION OR BORING	503+46	506+06	260'	Black and brown	C900	8"
PLACE STONE						
LAY/PULL PIPE						
BACKFILL AND COMPACTION						

DAILY OBSERVATION NOTES

crew started around 9a 503+46 - laying 8' water main crew lay 1.3 pipes
total of 260' and back fill and compacted soil in ditch sta 506+06
One crewman was VAC for utilities at the corner of Deer Dr and
550th Ave.
Crew setup silt fence in ditch
Crew stop work about 4:00⁺ because of rain


Signed: *LB*

TAP OR WYE INFORMATION		STATION/OFFSET		SIZE AND TYPE	SIZE/TYPE/LENGTH OF SERVICE
DISTANCE AND DIRECTION FROM	MH # VALVE #	START	START	OF TAP OR WYE	DEPTH OF SERVICE @ MAIN

STRUCTURE INFORMATION			STRUCTURE TYPE		SLAB TOP OR RIM	PIPE INVERT ELEVATION AND DIRECTION					
STATION/LOCATION	OFFSET		DIMENSION/DIAMETER		ELEVATION	IN	OUT	N	S	E	W
	LT	RT	PRECAST	POURED							

Story County, Iowa
Compiled by Story County Auditor, Lucy Martin
Levies For Taxes Payable July 1, 2017 to June 30, 2018
Based on Valuations as of January 1, 2016

Consolidated Detail				Township by School District					
	TWP	CITIES EX. AMES	AMES	CONS	TWP	AREA SCHOOL	SCHOOL	TOTAL	
GENERAL BASIC ¹				COLLINS					
GENERAL SUPPLEMENTAL ¹	3.50000	3.50000	3.50000	COLL-MAX	9.57687	1.06154	0.67458	15.04450	26.35749
MH-DD(COUNTY) SERVICES ¹	0.90705	0.90705	0.90705	COLO-NESCO	9.57687	1.06154	0.67458	12.76620	24.07919
DEBT SERVICE ¹	0.50156	0.50156	0.50156	W. MARSHALL	9.57687	1.06154	1.36842	11.50387	23.51070
RURAL SERVICE BASIC ¹	0.17955	0.17955	0.17955	FRANKLIN					
SUBTOTAL ¹	3.17920			AMES	9.57687	0.60777	0.67458	14.34129	25.20051
	8.26736	5.08818	5.08818	GILBERT	9.57687	0.60777	0.67458	18.90541	29.76463
				NEVADA	9.57687	0.60777	0.67458	16.81507	27.67429
				UNITED COM	9.57687	0.60777	0.67458	10.05600	20.91522
TB & BANGS ⁵				GRANT					
AGRICULTURAL EXTENSION ³	0.00310	0.00310	0.00310	AMES	9.57687	0.61041	0.67458	14.34129	25.20315
COUNTY ASSESSOR (ALL BUT AMES) ²	0.08331	0.08331	0.08331	BALLARD	9.57687	0.61041	0.67458	19.59284	30.45470
CITY ASSESSOR (AMES ONLY) ²	0.47310	0.47310		NEVADA	9.57687	0.61041	0.67458	16.81507	27.67693
ASSESSOR SPECIAL APPRAISER ²			0.31814	HOWARD					
ASSESSOR FICA ²				GILBERT	9.57687	0.44822	0.67458	18.90541	29.60508
ASSESSOR IPERS ²				NEVADA	9.57687	0.44822	0.67458	16.81507	27.51474
COUNTY MEDICAL CENTER GENERAL ⁴	0.27000	0.27000	0.27000	ROL-STORY	9.57687	0.44822	0.67458	14.27149	24.97116
COUNTY MEDICAL CENTER FICA ⁴	0.10800	0.10800	0.10800	INDIAN CREEK					
COUNTY MEDICAL CENTER IPERS ¹	0.13750	0.13750	0.13750	COLL-MAX	9.57687	0.52326	0.67458	15.04450	25.81921
COUNTY MEDICAL CENTER AMBULANCE ⁴	0.13750	0.13750	0.13750	LAFAYETTE					
COUNTY MEDICAL CENTER TORT ⁴	0.18450	0.18450	0.18450	GILBERT	9.57687	0.67289	0.67458	18.90541	29.82975
COUNTY MEDICAL CENTER TORT ⁴	0.05000	0.05000	0.05000	ROL-STORY	9.57687	0.67289	0.67458	14.27149	25.19583
TOTAL LEVY	9.57687	6.39767	6.24271	LINCOLN					
				COLO-NESCO					
				COLO-NESCO	9.57687	1.42526	0.67458	12.76620	24.44291
				MILFORD					
				AMES	9.57687	0.77646	0.67458	14.34129	25.36920
				GILBERT	9.57687	0.77646	0.67458	18.90541	29.93332
				NEVADA	9.57687	0.77646	0.67458	16.81507	27.84298
				ROL-STORY	9.57687	0.77646	0.67458	14.27149	25.29940
				NEVADA					
				COLO-NESCO	9.57687	0.61729	0.67458	12.76620	23.63494
				NEVADA	9.57687	0.61729	0.67458	16.81507	27.68381
				NEW ALBANY					
				COLL-MAX	9.57687	0.65750	0.67458	15.04450	25.95345
				COLO-NESCO	9.57687	0.65750	0.67458	12.76620	23.67515
				W. MARSHALL	9.57687	0.65750	1.36842	11.50387	23.10666
				PALESTINE					
				BALLARD	9.57687	0.58630	0.67458	19.59284	30.43059
				RICHLAND					
				COLO-NESCO	9.57687	0.66332	0.67458	12.76620	23.68097
				NEVADA	9.57687	0.66332	0.67458	16.81507	27.72984
				SHERMAN					
				COLO-NESCO	9.57687	0.81000	0.67458	12.76620	23.82765
				UNION					
				BALLARD	9.57687	0.64776	0.67458	19.59284	30.49205
				COLL-MAX	9.57687	0.64776	0.67458	15.04450	25.94371
				NEVADA	9.57687	0.64776	0.67458	16.81507	27.71428
				WARREN					
				COLO-NESCO	9.57687	0.81850	0.67458	12.76620	23.83415
				WASHINGTON					
				AMES	9.57687	0.61324	0.67458	14.34129	25.20598
				BALLARD	9.57687	0.61324	0.67458	19.59284	30.45753
				UNITED COM	9.57687	0.61324	0.67458	10.05600	20.92069



Story
County
IOWA • 1853
Office of the Auditor

* LEVY SET BY EACH CITY COUNCIL (IA Code §384.1)
† CITY HAS TAX INCREMENT FINANCE DISTRICT(S) (IA Code §403.19)
‡ LEVY SET BY AREA COMMUNITY COLLEGE (IA Code §260C.17)
§ LEVY SET BY SCHOOL DISTRICT BOARD OF EDUCATION (IA Code Ch. 257, §298.2, §298.4, §298.18)



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Story County, Iowa
Compiled by Story County Auditor, Lucy Martin
Levies For Taxes Payable July 1, 2017 to June 30, 2018
Based on Valuations as of January 1, 2016



Township Detail

TOWNSHIP	CEMETERY	CEMETERY NON-OWNED	HALL REPAIRS	TORT	FIRE	TOTAL
COLLINS	0.45404				0.60750	1.06154
FRANKLIN		0.00777			0.60000	0.60777
GRANT		0.00155		0.00136	0.60750	0.61041
HOWARD	0.05444	0.04378			0.35000	0.44822
IND CREEK		0.06750			0.45576	0.52326
LAFAYETTE	0.08539				0.60750	0.67289
LINCOLN	1.06896				0.35630	1.42526
MILFORD	0.16896				0.60750	0.77646
NEVADA	0.06944				0.54785	0.61729
NEW ALBANY		0.05000			0.60750	0.65750
PALESTINE		0.06750			0.51880	0.58630
RICHLAND	0.05991	0.02394			0.57947	0.66332
SHERMAN		0.06750	0.13500		0.60750	0.81000
UNION	0.04026				0.60750	0.64776
WARREN	0.20900				0.60750	0.81650
WASHINGTON		0.00574			0.60750	0.61324

Incorporated City Detail

INCORPORATED CITY	GENERAL	DEBT SERVICE	EMPLOYEE BENEFITS	TRANSIT	EMRGNCY	CMIC CENTR	MEM BLDG	INSURANCE	CAPITAL IMPRVMTS	PUB LIB SUPPORT	LOCAL EMG MGMT	AG LAND	TOTAL
AMES/AMES	5.65041	3.34694	0.72660	0.65194									10.37589
AMES/AMES/AG												3.00375	3.00375
AMES/GILBERT	5.65041	3.34694	0.72660	0.65194									10.37589
AMES/GILBERT/AG												3.00375	3.00375
AMES/NEVADA	5.65041	3.34694	0.72660	0.65194									10.37589
AMES/UNITED	5.65041	3.34694	0.72660	0.65194									10.37589
AMES/UNITED/AG												3.00375	3.00375
CAMBRIDGE	8.10000	0.73042											8.83042
CAMBRIDGE/AG												3.00375	3.00375
COLLINS	8.10000		1.99697					2.35739					12.45436
COLLINS/AG												2.96741	2.96741
COLO	8.10000	0.39706	1.89132		0.27000			2.43169					13.09007
COLO/AG												3.00375	3.00375
GILBERT	8.10000		1.45123		0.27000			1.22107					11.04230
GILBERT/AG												3.00375	3.00375
HUXLEY	8.10000	3.75000											11.85000
HUXLEY/AG												3.00375	3.00375
KELLEY	8.10000				0.27000	0.13493		0.74963					9.25456
KELLEY/AG												3.00375	3.00375
MAXWELL	8.10000		0.64667		0.27000			0.72926					9.74593
MAXWELL/AG												3.00375	3.00375
MCCALLSBURG	5.21404	2.07579											7.28983
MCCALLSBURG/AG												3.00375	3.00375
NEVADA	8.10000	1.84799	2.50752		0.27000	0.13500	0.53000	0.55249	0.67500				14.61800
NEVADA/AG												3.00375	3.00375
ROLAND	8.10000	0.94746	1.07165					0.97640					11.09551
ROLAND/AG												3.00375	3.00375
SHELDAHL	2.99190												2.99190
SHELDAHL/AG												2.99383	2.99383
SLATER	8.10000	4.60863	0.98605					0.65737					14.35205
SLATER/AG												3.00375	3.00375
STORY CITY	7.54725	2.67002							0.22361				10.44088
STORY CITY/AG												3.00375	3.00375
ZEARING	8.10000		2.20751					2.66424					12.97175
ZEARING/AG												3.00375	3.00375

Story County School District Detail

SCHOOL DISTRICT	GENERAL	DEBT SERVICE	MGMT	PHYSICAL PLANT/EQ	PHYSICAL PLANT/EQ VOTED	SCHOOL HOUSE	INSTRCTL SUPPORT LEVY	TOTAL
AMES	8.37155	3.87104	0.24045	0.33000	1.34000		0.18825	14.34129
BALLARD	10.81592	4.05000	2.04465	0.33000	0.83714		1.51513	19.59284
COLLINS-MAXWELL	11.18550		0.58990	0.33000	1.34000		1.59910	15.04450
COLO-NESCO	8.20401		1.96697	0.33000	1.34000		0.92522	12.76620
GILBERT	10.78955	4.05000	0.91991	0.33000	1.34000		1.47595	18.90541
NEVADA	11.30065	2.69829	1.30825	0.33000	0.67000		0.50788	16.81507
NORTH POLK	9.78768	4.03694	2.21325	0.33000	1.34000		1.45872	19.16659
ROLAND-STORY	10.00281	2.10844	0.66635	0.33000	0.92965		0.23424	14.27149
UNITED COMMUNITY	7.88064		0.34730	0.33000	1.34000		0.17806	10.05600
WEST MARSHALL	8.12335	1.17906	0.69655	0.33000	1.00000		0.17491	11.50387

Area School Detail

	GENERAL	BONDS & INTEREST	UNEMPLMNT COMP	EARLY RETIREMNT	EQUIP. RPLCMNT	PLANT	TORT	INSURANCE	STANDBY	TOTAL
DMACC - XI	0.20250		0.00062	0.06694	0.09000	0.20250	0.01041	0.10161		0.67458
IOWA VALLEY - VI	0.20250	0.36774	0.01906	0.15164	0.09000	0.20250	0.04170	0.29328		1.36842

**City of Huxley
Huxley Police Department
September 2017
Monthly Report**

9/6/2017 7:55 AM Officer responded to a two vehicle accident on Highway 210 near 560th. A vehicle operated by a Madrid woman was rear ended by a vehicle operated by a Madrid man causing approximately \$4000 in damage. No injuries.

9/6/2017 9:00 PM Officer was called to investigate a reported assault at the 3c's. Two juvenile males participated in a boxing match in the rec. room. Surveillance footage showed this and no charges are appropriate since both were willing participants.

9/7/2017 5:45 PM Officer responded to an out of control teen at the 500 block of N 2nd. A 17 year male was transported to the hospital for treatment.

9/8/2017 1:19 AM Officer stopped a vehicle for a traffic violation on Highway 69 near 300th. The driver of the vehicle, a 20 year old Brayton, IA man, was arrested for OWI. He was transported to the Story County Jail in Nevada.

9/10/2017 1:30 PM Officer received a theft complaint at the 200 block of Oak Blvd. A watch valued at \$225 was taken from the residence by a known suspect. Arrest warrant to follow investigation.

9/10/2017 3:30 PM Officer responded to the 500 block of E 5th St to help a parent with an out of control teen. The officer was able to help to the point he could leave all parties in the same residence with no further problems.

9/14/2017 6:34 PM Officer responded to a family altercation at the 500 block of E 4th Street. A 42 year old Huxley man was arrested for assault and transported to the Story County Jail in Nevada.

9/14/2017 7:20 PM Officer received a Criminal Mischief Complaint at the 100 block of National Drive. Damage to screens and windows were noticed by the tenant that would have had to have taken place within the past hour. No suspects.

9/19/2017 8:50 PM Officer received a criminal mischief complaint at the 200 block of North Main. A vehicle parked on the street had the driver's side window shattered. No suspects.

9/20/2017 5:45 PM Officer responded to a two vehicle accident at the Ballard Plaza. A vehicle operated by a Huxley woman collided with a vehicle operated by a Boone woman causing minimal damage to both vehicles. No injuries.

Monthly Aggregate	January	February	March	April	May	June	July	August	September	October	November	December	Yearly Aggregate
Arrests	5	9	12	12	10	2	3	10	3	0	0	0	66
Traffic Citations	13	23	24	18	10	22	19	29	30	0	0	0	188
Traffic Warnings	60	75	88	82	66	76	58	61	90	1	0	0	657
Parking Tickets	6	17	21	2	4	1	3	0	0	0	0	0	54
Alcohol-.02	0	0	0	0	0	1	0	0	0	0	0	0	1
Alcohol- Consumption	16	12	21	18	18	21	24	11	11	0	0	0	152
Alcohol- Open Container	1	0	2	0	0	1	0	0	0	0	0	0	4
Alcohol-Possession	1	1	0	0	0	0	0	0	0	0	0	0	2
Alcohol-Pub. Intox	0	1	0	1	1	0	0	0	0	0	0	0	3
Alcohol-OWI	2	1	1	2	0	3	2	1	2	0	0	0	14
Animal Call	5	10	5	13	7	14	10	18	10	0	0	0	92
Assaults	0	1	0	2	1	1	3	0	3	0	0	0	11
Assist Fire/Med/Co	21	32	32	22	30	34	26	41	33	0	0	0	271
Assist Motorist	16	6	16	25	12	13	10	4	7	0	0	0	109
Burglary	1	0	0	2	9	0	1	0	0	0	0	0	13
Child Abuse	1	0	0	0	0	0	0	1	2	0	0	0	4
Civil Dispute	2	4	2	3	4	5	4	5	0	1	0	0	30
Criminal Mischief	1	7	0	2	2	0	2	0	3	0	0	0	17
D, P & Q	4	2	5	5	5	3	7	1	1	0	0	0	33
Drug Paraphernalia	0	5	4	2	1	0	2	3	1	0	0	0	18
Disorderly Conduct	0	2	0	0	1	0	3	2	2	0	0	0	10
Domestic	6	0	3	2	11	7	5	0	2	0	0	0	36
Harassment	3	6	0	5	6	3	0	3	3	0	0	0	29
Info. Call	176	166	144	173	194	153	162	181	124	0	0	0	1473
Mental Patient	4	10	9	7	0	4	3	5	3	0	0	0	45
Missing Person	0	2	1	1	0	4	1	1	2	0	0	0	12
Sex Abuse	0	0	1	1	0	0	0	1	0	0	0	0	3
Susp./Rev/Barred Driver	2	2	6	3	3	0	0	1	0	0	0	0	17
Susp. Person	6	7	3	7	10	9	6	9	6	0	0	0	63
Susp. Vehicle	7	7	4	1	7	7	4	6	6	0	0	0	49
Traffic Call	16	17	14	11	11	8	10	17	11	1	0	0	116
Traffic Accident	8	4	6	7	4	4	3	5	4	0	0	0	45
Trespass	1	2	0	2	2	2	0	1	1	0	0	0	11
Theft	5	1	1	8	5	1	4	6	2	0	0	0	33
Unattended Death	0	0	1	1	0	0	0	1	0	0	0	0	3
	0	0	0	0	0	0	0	0	0	0	0	0	0
Total Contacts	389	432	426	440	434	399	375	424	362	3	0	0	3684
Investigations	30	22.5	14.5	29	42	1	24.25	29.5	19.75	0	0	0	212.5
On-Call	6.25	0	0	0	0	0	0	4	0	0	0	0	10.25
Office / Other	250.5	235	260.75	251	236	230.75	217	236.75	225.25	3.25	0	0	2146.25
Patrol / SRO	441.25	413.75	437.5	459.25	434.75	431.5	418.75	457.75	466.5	9.25	0	0	3970.25
	0	0	0	0	0	0	0	0	0	0	0	0	0
Total Hours	728	671.25	712.75	739.25	712.75	663.25	660	728	711.5	12.5	0	0	6339.25

CONSENT AGENDA



H U X L E Y

CITY OF HUXLEY

APPLICATION FOR APPOINTMENT TO BOARDS & COMMISSIONS

The City of Huxley appreciates your interest in serving the community and welcomes your application. Please complete all sections of this application. If you have any questions, please contact the City Clerk's Office at (515)597-2561. Additional information may be found on the city web site at www.huxleyiowa.org. The City of Huxley is committed to providing equal opportunity for citizen involvement.

Please indicate the Boards and/or Commissions on which you would be willing to serve or reappointed to by checking below:

<input type="checkbox"/> Library Board of Trustees	<input type="checkbox"/> Tree Board
<input type="checkbox"/> Zoning Board of Adjustments	<input type="checkbox"/> Parks and Recreation Board
<input checked="" type="checkbox"/> Planning & Zoning Commission	<input type="checkbox"/> Huxley Volunteer Fire Department

Is this a reappointment ☒ Yes ☐ No

If this application is for reappointment please fill out information to the gray line below. New appointment please fill out entire application.

Name: Wilson Larry E. Date: 9/29/17
Last First Middle
Address: 410 N. Central Ave Huxley Ia 50124
Street City State Zip

Occupation: _____

Employer's Name & Address: _____

Work Telephone No: _____ Hours you can be reached: _____

Home Telephone No: 597-2146 Hours you can be reached: _____

Email: lwilson54@gmail.com

How long have you resided in Huxley? 23 yrs

10-10-17 Council Claims

	A	B	C
1	VENDOR NAME	DESCRIPTION	GROSS AMOUNT
2	AFLAC	AFLAC	\$ 4.00
3	ALEXIS FELDMANN	REIMBURSE FOR AMBULANCE PYMT	\$ 25.00
4	ALLIANT ENERGY	GAS AND ELECTRIC	\$ 10,004.57
5	ARNOLD MOTOR SUPPLY	BALL JOINT, TIE ROD KIT, FUEL CAP, GLOVES, TUBES, ETC.	\$ 155.72
6	AVESIS INCORPORATED	VISION INS	\$ 296.93
7	BRICK GENTRY P.C.	LEGAL FEES	\$ 3,600.00
8	BROWN SUPPLY CO. INC.	PVC PIPE	\$ 114.00
9	C & K HEATING	C & K HEATING	\$ 425.00
10	CARPENTER UNIFORM CO.	UNIFORM SHIRTS FOR STOLL & EQUIPMENT FOR OFFICER	\$ 595.47
11	COMPASS MINERALS AMERICA	COURSE ROCK SALT	\$ 3,336.39
12	D & K PRODUCTS	HERBICIDE & FERTILIZER	\$ 2,355.00
13	DELTA DENTAL PLAN OF IOWA	DENTAL INSURANCE	\$ 1,475.66
14	EDWARD JONES	IRA	\$ 250.00
15	EMERGENCY MEDICAL PRODUCTS	MEDICAL SUPPLIES	\$ 49.02
16	HACH COMPANY	MISC. CHEMICALS	\$ 629.77
17	HALBROOK PLUMBING, LLC	PD TOILET & SINK REPAIR	\$ 115.72
18	HEATHER DINGER	TRAVEL REIMBURSEMENT	\$ 99.26
19	HENRY, CRAIG	REIMBURSEMENT	\$ 11.77
20	HUXLEY COOP TELEPHONE CO.	INTERNET, CABLE, PHONE	\$ 1,778.38
21	INTEGRATED PRINT SOLUTIONS	SOFTBALL COED CHAMP SHIRTS	\$ 164.05
22	INTERNAL REVENUE SERVICE	FED WITHOLDING TAX	\$ 8,879.70
23	IOWA DNR	ANNUAL WATER USE FEE	\$ 134.00
24	IOWA DOT	TRASH BAGS, PAPER TOWELS, STATE WALL MAP	\$ 124.85
25	IOWA LAW ENFORCEMENT ACADE	MMPI APPLICANTS	\$ 600.00
26	IOWA MUNICIPAL FINANCE OFF	2017 FALL CONFERENCE	\$ 125.00
27	IPERS	IPERS	\$ 11,374.44
28	JASON KRAMER	YOUTH SOCCER REGIST. REFUND	\$ 65.00
29	KERMIT O. MOLDE	AMBULANCE OVERPAYMENT	\$ 519.08
30	LINCOLN FINANCIAL GROUP	LIFE & DISABILITY INSURANCE	\$ 850.30
31	MADRID AUTOMOTIVE	OIL AND FILTERS	\$ 74.06
32	MARCO, INC.	PRINTER MAINTENANCE AGREEMENT	\$ 191.55
33	MARTIN MARIETTA MATERIALS	TONS OF ROCK	\$ 759.94
34	MARTIN OIL WHOLESALE	UNLEADED AND DIESEL FUEL	\$ 892.68
35	MASS MUTUAL RETIREMENT SER	DEFERRED COMPENSATION	\$ 250.00
36	MISCELLANEOUS VENDOR	UTILITY DEPOSIT REFUNDS	\$ 463.23
37	OXEN TECHNOLOGY	REMOTE LABOR FOR MAT	\$ 67.50
38	QUALITYONE COMMERCIAL CLEA	OCTOBER JANITORIAL SERVICES	\$ 2,161.00
39	RELIASTAR LIFE INSURANCE C	LIFE INSURANCE	\$ 374.14
40	SAFE BUILDING COMPLIANCE &	BUILDING INSPECTIONS	\$ 8,364.83
41	SPORTSMAN'S WAREHOUSE	AMMO FOR DUTY & QUALIFICATION	\$ 201.28
42	STAPLES ADVANTAGE	OFFICE SUPPLIES	\$ 89.64

10-10-17 Council Claims

	A	B	C
43	TASC	FLEX BENEFIT PLANS	\$ 576.22
44	TASC - CLIENT INVOICES	NOVEMBER ADMIN FEES	\$ 66.25
45	TREASURER, STATE OF IOWA	STATE WITHHOLDING	\$ 2,911.00
46	UHS PREMIUM BILLING	MEDICAL INSURANCE	\$ 15,941.80
47	UTILITY EQUIPMENT COMPANY	MISC. SUPPLIES FOR WTP	\$ 1,031.80
48	VEENSTRA & KIMM, INC.	ENGINEERING FEES	\$ 3,314.00
49	VERIZON WIRELESS	PW AND ADMIN CELL PHONES	\$ 281.21
50	Payroll Expense		\$ 39,009.10
51	GRAND TOTAL		\$ 125,179.31
52			
53		FUND TOTALS	
54	001 GENERAL FUND	\$ 43,720.11	
55	002 LIBRARY	\$ 4,903.35	
56	003 RECREATION	\$ 4,558.46	
57	004 FIRE AND RESCUE	\$ 565.17	
58	014 AMBULANCE	\$ 1,152.17	
59	100 PRAIRIE RIDGE DEVELOPM	\$ 250.00	
60	110 ROAD USE TAX	\$ 9,094.77	
61	600 WATER UTILITY	\$ 13,734.04	
62	610 SEWER UTILITY	\$ 8,192.14	
63	01 PAYROLL EXPENSE	\$ 39,009.10	
64	GRAND TOTAL	\$ 125,179.31	

Huxley City Council Minutes

Tuesday, September 26, 2017

These minutes are as recorded by the City Clerk and are subject to City Council approval at the next regular council meeting.

COUNCIL MEETING: The Huxley City Council met in a regular council meeting on the above date pursuant to rules of the council, notice posted at City Hall, posted on website and emailed to news media. Mayor Pro Tem Kuhn called the meeting to order at 6:00 PM.

COUNCIL MEMBERS PRESENT: Jensen, Deaton, Kuhn, Hemmen, Roberts

CITY STAFF PRESENT: John Haldeman-City Administrator, Jolene Lettow-City Clerk, Jeff Peterson-Public Works Director, Mark Pote-Police Chief

CONSULTANT PRESENT: Forrest Aldrich, City Engineer

GUESTS PRESENT: Joyce Hornstein, Jean Saveraid, Jon Garnaas, Trina Radke-Suchan, Kirk Peterson, Darold Primmer, Steve Domino, Chris Gardner

PRESENTATION:

- Joyce Hornstein and Jean Saveraid, representatives from Ballard Community Performing Arts Association (BCPAA), informed council that the association had applied for a Story Community Foundation grant. However, Story County Foundation had notified BCPAA that grant applications could be accepted only by organizations that have 5013(C), non-profit status. The BCPAA is in the process of getting their non-profit status. Story County Foundation informed the association that they would accept the grant application if BCPAA could find a "fiscal sponsor." The representatives asked city council if the City of Huxley would be the fiscal sponsor for the grant. If the grant was approved, the funds would be funneled through the city to the BCPAA. Council discussed and would take action later in meeting.
- Representatives from Community Health Partners, John Garnaas and Trina Radske-Suchan, presented to council a new rural health program they want to extend to Huxley. The representatives explained that they had received grant monies for a pilot program to help reach individuals in smaller communities that do not have access to the medical programs that are available in larger communities. The first program would be a six week course, for Medicare eligible individuals, in a classroom style environment. The topic would focus on diabetes. Dr. Peterson informed council that he had patients that would fit the parameters of the program. The once weekly meetings would be held in the Safe Room. Council discussed and action would be taken later in meeting.

PROCLAMATION:

- Mayor Pro Tem Kuhn read proclamation declaring September 17th as Constitution Day and September 17th through 23rd as Constitution Week.
- Mayor Pro Tem read the proclamation declaring October 4, 2017 as the Healthiest State Annual Walk Day in Huxley, IA. Plans were to start the walk in Railroad Park at 11:30 am and walk to the 3C's Community Center and back.

CONSENT AGENDA:

MOTION-Roberts, Second-Deaton to approve all agenda items as listed.

- Approve September 12, 2017 Regular Council Meeting Minutes
- Approve Financial Reports and Payment of Bills
- Approve Block Party at Meadow Brook Place on October 7, 2017
- Approve Reappointment of Tom Friedrichson to Library Board

Roll Call: Roberts, Kuhn, Jensen, Hemmen, Deaton voted yes. Motion carried.

Claims:

ALISHA BERKLAND	FLAG FB JERSEY REIMBURSEMENT	30.00
ALLIANT ENERGY	GAS AND ELECTRIC	10,004.57
ANKENY SANITATION	CENTENNIAL PARK	305.08
AVESIS INCORPORATED	VISION INS	296.93
BUD'S AUTO REPAIR INC	SERVICE ON FORD	239.50
C & K HEATING	C & K HEATING	425.00
CENTERPOINT LARGE PRINT	LARGE PRINT WESTERN SUBSCRIPTI	42.54
CFI SALES, INC.	FRONT TIRES ON BACK HOE	732.00
COMPASS MINERALS AMERICA	COURSE ROCK SALT	6,704.00
CONSUMERS ENERGY	ELECTRIC	9,351.84
DB IOWA HOLDINGS	LEGAL PUBLICATIONS	319.49
DELTA DENTAL PLAN OF IOWA	DENTAL INSURANCE	1,475.66
DEMCO	BOOK COVERING SUPPLIES	392.24
DOLLAR GENERAL CORPORATION	BOWLS AND PLATES	148.20
EDWARD JONES	IRA	250.00
ELECTRIC WHOLESALE CO.	BULBS AND EYES	101.96
EMERGENCY MEDICAL PRODUCTS	SUPPLIES	311.23
GALL'S, LLC	VEST FOR 658	479.99
GERED BURKHARDT	BACKFLOW TESTING & REPORTING	455.00
HAWKINS, INC.	CHEMICALS FOR WATER TREATMENT	2,086.24
HEATHER DINGER	TRAVEL REIMBURSEMENT	99.26
HEUSS PRINTING INC	EMS FORMS	73.63
INTEGRATED PRINT SOLUTIONS	VOLLEYBALL TSHIRTS	1,013.75
INTERNAL REVENUE SERVICE	FED WITHOLDING TAX	8,879.70
INTERSTATE ALL BATTERY CEN	BATTERIES AND WORK LIGHT	163.99
INTOXIMETERS, INC.	ALCO-SENSOR PRELIM BREATH TEST	395.00
IOWA DOT	METAL AND SIGN	800.41
IOWA LAW ENFORCEMENT ACADE	MMPI AND POST APPLICANTS	300.00
IOWA ONE CALL	EMAIL LOCATES	82.80
IPERS	IPERS	11,374.44
JASON KRAMER	YOUTH SOCCER REGIST. REFUND	65.00
KATHY J. WILSON	SPEAKER SCHEDULED FOR 10-24-17	90.00
KERMIT O. MOLDE	AMBULANCE OVERPAYMENT	519.08
KEYSTONE LABORATORIES	MONTHLY WATER SAMPLING	62.50
LINCOLN FINANCIAL GROUP	DISABILITY INSURANCE	850.30
MARCO, INC.	COPIER/PRINTER MAINT AGREEMENT	359.05
MARTIN OIL WHOLESALE	UNLEADED AND DIESEL FUEL	892.68
MASS MUTUAL RETIREMENT SER	DEFERRED COMPENSATION	250.00
METERING & TECHNOLOGY SOLU	METERS AND ERTS	4,140.00
MISCELLANEOUS VENDOR	DEFORD, ISAAC :US REFUND	463.23
MOODY ELECTRIC, INC.	LIGHT FIXTURE REPAIRS	2,902.05
NAPA AUTO PARTS	FILTERS	158.55
OLD DOMINION BRUSH	GUTTER BROOMS	247.64
PEPSI-COLA	VENDING PRODUCT	306.37
POPULAR SUBSCRIPTION SERVI	MAGAZINE SUBSCRIPTIONS	401.37
RELIASTAR LIFE INSURANCE C	LIFE INSURANCE	374.14
SAFE BUILDING COMPLIANCE &	BUILDING INSPECTIONS	6,182.42
SIGN PRO	GRAPHICS ON FIRE TRAILER	556.40
STAPLES ADVANTAGE	OFFICE SUPPLIES	297.83
SWANK MOVIE LICENSING USA	COPYRIGHT COMPLIANCE SITE LICE	382.00
TASC	FLEX BENEFIT PLANS	576.22
THE OLD FARMER'S ALMANAC	YEARLY ALMANAC	14.90
TREASURER, STATE OF IOWA	STATE WITHHOLDING	2,911.00
UHS PREMIUM BILLING	MEDICAL INSURANCE	15,941.80
VAN-WALL EQUIPMENT INC.	BRUSH CUTTER	32.95
VERIZON WIRELESS	PW CELL PHONES	281.21
WEST DES MOINES PUBLIC LIB	"LOST" BOOK FOR LIBRARY	9.95
WINDSTREAM IOWA COMMUNICAT	PD PHONE AT DISPATCH	70.81
001 GENERAL FUND	16,906.75	
002 LIBRARY	5,007.96	
003 RECREATION	6,983.62	
004 FIRE AND RESCUE	822.11	
014 AMBULANCE	1,009.32	
110 ROAD USE	4,269.58	
402 MAIN AVE STORM SEWER	9,405.00	
600 WATER UTILITY	16,852.98	
610 SEWER UTILITY	9,082.99	

PAYROLL
GRAND TOTAL

41,100.89
111,441.20

MOTION – Deaton, Second Roberts on Resolution No. 17-071 to Set a Date for Public Hearing on Urban Renewal Plan Amendment. Urban Renewal Area will be amended to include Iron Bridge Development. Date for hearing is scheduled for October 24, 2017. Roll Call: Jensen, Kuhn, Deaton, Roberts, Hemmen voted yes. Motion carried.

MOTION – Jensen, Second – Roberts on Resolution No. 17-072 to Set Public Hearing to Approve a Development Agreement with Innovative Technologies, Including Annual Appropriation Tax Increment Payments. Hearing date set for October 24, 2017. Roll Call: Jensen, Kuhn, Deaton, Roberts, Hemmen voted yes. Motion carried.

MOTION – Roberts, Second – Jensen to Approve City of Huxley as Fiscal Sponsor on Grant Application submitted by Ballard Community Performing Arts Association to the Story County Community Foundation. 5 ayes, 0 nays. Motion carried.

MOTION Roberts, Second – Hemmen to Approve the Pilot Rural Health Delivery Program that Community Health Partners would like to offer to Ballard Community. Classroom-style meetings will be held for six weeks on Monday evenings in Safe Room. 5 ayes, 0 nays. Motion carried.

Miscellaneous

- Travis Bakken, Parks and Rec Director, informed council that he had received a call wondering what the status was of the land offer a resident on Ashwood had previously proposed to council. Council directed Mr. Bakken to invite parties involved to future work session.
- Mr. Bakken also briefed council that cross country students were being directed by cross country coach to use 3C's facility without permission. Letter will be sent to school administration.
- Forrest Aldridge, city engineer, reported that Iron Bridge project was moving along at an adequate pace with no problems.
- Jolene Lettow, City Clerk, announced that preliminary draft had been sent by auditors. Staff will review.
- Councilman Kuhn asked if flu shots could be offered to staff. It was explained that free flu shots are provided to staff members at Huxley Physicians office if staff is on company's health insurance plan.
- Councilman Deaton asked that discussion regarding Capital Fund Levy be placed as a topic on future work session.
-

ADJOURNMENT: Motion –Roberts, second – Kuhn to adjourn meeting at 7:12pm. 5 ayes, 0 nays.

WORK SESSION: Mayor Henry called the meeting to order at 7:20 pm.

Huxley Ambulance Service- Council directed councilman Deaton and mayor to meet with officials from surrounding Ballard communities and discuss future sharing of fire department resources.

Iron Bridge – Chris Gardner and Steve Domino approached council regarding various development agreement options. Council discussed. Council directed staff to develop a preliminary agreement for council to review.

ADJOURNMENT: Motion –Kuhn, second – Deaton to adjourn meeting at 8:09pm. 5 ayes, 0 nays.

Craig D. Henry, Mayor

Attest:

Jolene R. Lettow, City Clerk

COMMUNITY BETTERMENT

Prepared by John Danos, Bond Consul and reformatted by John Haldeman, City Administrator for the Huxley City Council meeting on the 10th day of October 2017.

RESOLUTION NO. 17-073

**RESOLUTION SETTING DATE FOR A PUBLIC HEARING ON
DESIGNATION OF THE 2017 IRON BRIDGE URBAN RENEWAL AREA
AND ON URBAN RENEWAL PLAN AND PROJECT**

WHEREAS, a proposal has been made which shows the desirability of designating certain real property situated in the City of Huxley, Iowa (the "City") as the 2017 Iron Bridge Urban Renewal Area (the "Urban Renewal Area") in order to facilitate projects for the promotion of economic development, pursuant to the provisions of Chapter 403, Code of Iowa; and

WHEREAS, under the proposal, the real property (the "Property") described on Exhibit A hereto would be designated as the Urban Renewal Area; and

WHEREAS, this City Council is desirous of obtaining as much information as possible from the residents of the City before making this designation; and

WHEREAS, a proposed urban renewal plan (the "Plan") has been prepared for the governance of projects and initiatives to be undertaken in the Urban Renewal Area and which authorizes an initial urban renewal project to be undertaken therein consisting of providing tax increment financing support to M.R. Properties, L.C. to help pay the costs of the construction of public infrastructure necessary for the development of a residential housing subdivision; and

WHEREAS, it is now necessary that a date be set for a public hearing on the designation of the Urban Renewal Area and on the Plan;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. This City Council will meet at the Huxley City Hall, Huxley, Iowa, on **November 14, 2017, at 6 o'clock p.m.**, at which time and place it will hold a public hearing on the designation of the proposed Urban Renewal Area described in the preamble hereof and on the proposed Plan for said Area.

Section 2. The City Clerk shall publish notice of said hearing, the same being in the form attached to this resolution, which publication shall be made in a legal newspaper of general circulation in Huxley, which publication shall be not less than four (4) and not more than twenty (20) days before the date set for the hearing.

Section 3. Pursuant to Section 403.5 of the Code of Iowa, the City Administrator is hereby designated as the City's representative in connection with the consultation process which is required under that section of the urban renewal law.

Section 4. The Plan is hereby submitted to the City's Planning and Zoning Commission for review and recommendations, as required by Section 403.5, Code of Iowa.

Passed and approved October 10, 2017.

Craig D. Henry, Mayor

Attest:

Jolene Lettow, City Clerk

NOTICE OF A PUBLIC HEARING ON DESIGNATION OF THE 2017 IRON
BRIDGE URBAN RENEWAL AREA, AND ON PROPOSED URBAN
RENEWAL PLAN AND PROJECT

Notice Is Hereby Given: That at 6 o'clock p.m., at the Huxley City Hall, Huxley, Iowa, on November 14, 2017 the City Council of the City of Huxley, Iowa (the "City") will hold a public hearing on the question of designating as the 2017 Iron Bridge Urban Renewal Area (the "Urban Renewal Area"), pursuant to Chapter 403, Code of Iowa, the real property situated in the City of Huxley, Story County, State of Iowa, described as follows:

A PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 14; THENCE NORTH 89°46'54" WEST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, 624.70 FEET TO THE SOUTHEAST CORNER OF PARCEL 'F' AS SHOWN ON THE PLAT OF SURVEY RECORDED AS INSTRUMENT NO. 94-12250, IN CERTIFICATE AND FIELD NOTES BOOK 12, PAGE 192, BEING PART OF SAID WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER; THENCE NORTH 89°54'53" WEST ALONG THE SOUTH LINE OF SAID PARCEL 'F', A DISTANCE OF 448.97 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'F'; THENCE NORTH 1°17'09" WEST ALONG THE WESTERLY LINE OF SAID PARCEL 'F', A DISTANCE OF 302.63 FEET TO THE POINT OF BEGINNING; THENCE NORTH 1°03'09" WEST, 415.84 FEET; THENCE SOUTH 45°36'03" EAST, 115.23 FEET; THENCE NORTH 89°01'33" EAST, 119.11 FEET TO SAID WESTERLY LINE; THENCE SOUTH 1°03'38" EAST ALONG SAID WESTERLY LINE, 335.27 FEET; THENCE SOUTH 89°26'20" WEST CONTINUING ALONG SAID WESTERLY LINE, 200.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.61 ACRES (70,214 SQUARE FEET).

AND

A PART OF PARCEL 'F' AS SHOWN ON THE PLAT OF SURVEY RECORDED AS INSTRUMENT NO. 94-12250, IN CERTIFICATE AND FIELD NOTES BOOK 12, PAGE 192, BEING PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 14; THENCE NORTH 89°46'54" WEST ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE NORTHEAST QUARTER, 624.70 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL 'F' AND THE POINT OF BEGINNING; THENCE NORTH 89°54'53" WEST ALONG THE SOUTH LINE OF SAID PARCEL 'F', A DISTANCE OF 448.97 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL 'F'; THENCE NORTH 1°17'09" WEST ALONG THE WESTERLY LINE OF SAID PARCEL 'F', A DISTANCE OF 302.63 FEET; THENCE NORTH 89°26'20" EAST CONTINUING ALONG SAID WESTERLY LINE, 200.00 FEET; THENCE NORTH 1°03'38" WEST CONTINUING ALONG SAID WESTERLY LINE, 541.11 FEET; THENCE NORTH 17°27'17" EAST CONTINUING ALONG SAID WESTERLY LINE, 128.39 FEET; THENCE SOUTH 60°51'55" EAST, 242.03 FEET TO THE EAST LINE OF SAID PARCEL 'F'; THENCE SOUTH 1°04'07" EAST

ALONG SAID EAST LINE, 850.99 FEET TO THE POINT OF BEGINNING AND CONTAINING 6.61 ACRES (287,914 SQUARE FEET).

AND

THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA, EXCEPT PARCEL 'G' AS SHOWN ON THE PLAT OF SURVEY RECORDED AS INSTRUMENT NO. 95-04706, IN CERTIFICATE AND FIELD NOTES BOOK 13, PAGE 74, BEING PART OF THE NORTHEAST QUARTER OF SAID SECTION 14. PROPERTY CONTAINS 17.49 ACRES (761,713 SQUARE FEET).

AND

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 13, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 13; THENCE NORTH 0°54'34" EAST ALONG THE WEST LINE OF SAID SECTION 13, A DISTANCE OF 1318.17 FEET TO THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE SOUTH 89°14'22" EAST ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER, 630.08 FEET; THENCE SOUTH 1°07'21" WEST, 746.09 FEET TO THE CENTERLINE OF 550TH AVENUE; THENCE SOUTHWESTERLY ALONG SAID CENTERLINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 300.00 FEET, WHOSE ARC LENGTH IS 73.71 FEET AND WHOSE CHORD BEARS SOUTH 61°46'21" WEST, 73.53 FEET; THENCE SOUTH 54°44'01" WEST CONTINUING ALONG SAID CENTERLINE, 544.11 FEET; THENCE SOUTHWESTERLY CONTINUING ALONG SAID CENTERLINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 300.00 FEET, WHOSE ARC LENGTH IS 60.99 FEET AND WHOSE CHORD BEARS SOUTH 48°54'32" WEST, 60.89 FEET; THENCE SOUTH 46°54'56" EAST, 33.00 FEET TO THE SOUTHEASTERLY LINE OF AN EXISTING ROADWAY EASEMENT FOR SAID 550TH AVENUE; THENCE SOUTHWESTERLY ALONG SAID SOUTHEASTERLY LINE AND A CURVE CONCAVE SOUTHEASTERLY WHOSE RADIUS IS 267.00 FEET, WHOSE ARC LENGTH IS 171.08 FEET AND WHOSE CHORD BEARS SOUTH 24°43'43" WEST, 168.16 FEET TO THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°05'47" WEST ALONG SAID SOUTH LINE, 35.16 FEET TO THE POINT OF BEGINNING AND CONTAINING 14.12 ACRES (615,229 SQUARE FEET).

AND

A TRACT OF LAND BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, ALL IN TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA, SAID TRACT OF LAND ALSO BEING AN EXISTING ROADWAY EASEMENT FOR 550TH AVENUE AS SHOWN ON THE FINAL PLAT FOR DEER CREEK SUBDIVISION, AN OFFICIAL PLAT IN STORY COUNTY, IOWA, RECORDED AS INSTRUMENT NO. 02904, IN CERTIFICATE AND FIELD NOTES BOOK 109, PAGE 25 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 13; THENCE EAST ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, 57.0 FEET TO THE EASTERLY LINE OF SAID EXISTING ROADWAY EASEMENT FOR 550TH AVENUE; THENCE SOUTHERLY ALONG SAID EASTERLY LINE TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, SAID POINT BEING 41.0 FEET EAST OF THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST ALONG SAID SOUTH LINE, 41.0 FEET TO SAID SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE CONTINUING WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, A DISTANCE OF 25.5 FEET TO THE WESTERLY LINE OF SAID EXISTING ROADWAY EASEMENT FOR 550TH AVENUE; THENCE NORTH ALONG SAID WESTERLY LINE TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SAID POINT BEING 25.5 FEET WEST OF SAID WEST QUARTER CORNER OF SECTION 13; THENCE EAST ALONG SAID NORTH LINE, 25.5 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.3 ACRES MORE OR LESS.

The subject matter of the public hearing will also include a proposed urban renewal plan and project for the Urban Renewal Area identified above, pursuant to Chapter 403, Code of Iowa, a copy of which plan is on file for public inspection in the office of the City Clerk.

The general scope of the proposed urban renewal plan (the "Plan"), as more specifically described therein, includes the following:

Increasing the tax base and promoting economic growth in the City by encouraging economic development, constructing necessary public improvements and assisting private enterprise through tax increment financing incentives in the Urban Renewal Area. The initial project to be undertaken under the Plan will consist of providing tax increment financing support to M.R. Properties, L.C. to help pay the costs of the construction of public infrastructure necessary for the development of a residential housing subdivision.

At the hearing any interested person may file written objections or comments and may be heard orally with respect to the subject matter of the hearing.

Jolene Lettow
City Clerk

• • • • •

On motion and vote the meeting adjourned.

Mayor

Attest:

City Clerk

EXHIBIT A
LEGAL DESCRIPTION
2017 IRON BRIDGE URBAN RENEWAL AREA

A PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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AND

A PART OF PARCEL 'F' AS SHOWN ON THE PLAT OF SURVEY RECORDED AS INSTRUMENT NO. 94-12250, IN CERTIFICATE AND FIELD NOTES BOOK 12, PAGE 192, BEING PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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AND

THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA, EXCEPT PARCEL 'G' AS SHOWN ON THE PLAT OF SURVEY RECORDED AS INSTRUMENT NO. 95-04706, IN CERTIFICATE AND FIELD NOTES BOOK 13, PAGE 74, BEING PART OF THE NORTHEAST QUARTER OF SAID SECTION 14. PROPERTY CONTAINS 17.49 ACRES (761,713 SQUARE FEET).

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AND

A TRACT OF LAND BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 13 AND PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, ALL IN TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN, STORY COUNTY, IOWA, SAID TRACT OF LAND ALSO BEING AN EXISTING ROADWAY EASEMENT FOR 550TH AVENUE AS SHOWN ON THE FINAL PLAT FOR DEER CREEK SUBDIVISION, AN OFFICIAL PLAT IN STORY COUNTY, IOWA, RECORDED AS INSTRUMENT NO. 02904, IN CERTIFICATE AND FIELD NOTES BOOK 109, PAGE 25 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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EASTERLY LINE TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER, SAID POINT BEING 41.0 FEET EAST OF THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE WEST ALONG SAID SOUTH LINE, 41.0 FEET TO SAID SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE CONTINUING WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 14, A DISTANCE OF 25.5 FEET TO THE WESTERLY LINE OF SAID EXISTING ROADWAY EASEMENT FOR 550TH AVENUE; THENCE NORTH ALONG SAID WESTERLY LINE TO A POINT ON THE NORTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER, SAID POINT BEING 25.5 FEET WEST OF SAID WEST QUARTER CORNER OF SECTION 13; THENCE EAST ALONG SAID NORTH LINE, 25.5 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.3 ACRES MORE OR LESS.

Prepared by John Danos, Bond Consul and reformatted by John Haldeman, City Administrator for the Huxley City Council meeting on the 10th day of October 2017.

RESOLUTION NO. 17-074

**RESOLUTION SETTING A DATE OF MEETING AT WHICH IT IS
PROPOSED TO APPROVE A DEVELOPMENT AGREEMENT WITH
MEADOW LANE INVESTMENTS, L.L.C., INCLUDING ANNUAL
APPROPRIATION TAX INCREMENT PAYMENTS**

WHEREAS, the City of Huxley, Iowa (the "City"), pursuant to and in strict compliance with all laws applicable to the City, and in particular the provisions of Chapter 403 of the Code of Iowa, has adopted an Urban Renewal Plan for the Huxley Housing Urban Renewal Area (the "Urban Renewal Area"); and

WHEREAS, this City Council has adopted an ordinance providing for the division of taxes levied on taxable property in the Urban Renewal Area pursuant to Section 403.19 of the Code of Iowa and establishing the fund referred to in Subsection 2 of Section 403.19 of the Code of Iowa, which fund and the portion of taxes referred to in that subsection may be irrevocably pledged by the City for the payment of the principal of and interest on indebtedness incurred under the authority of Section 403.9 of the Code of Iowa to finance or refinance in whole or in part projects in the Urban Renewal Area; and

WHEREAS, the City proposes to enter into a certain development agreement (the "Development Agreement") with Meadow Lane Investments, L.L.C. (the "Developer") in connection with the construction of public infrastructure necessary for the development of a new residential housing subdivision in the Urban Renewal Area; and

WHEREAS, the Development Agreement would provide financial incentives to the Developer in the form of annual appropriation incremental property tax payments in an amount not to exceed \$1,785,000 under the authority of Section 403.9(1) of the Code of Iowa; and

WHEREAS, it is necessary to set a date for a public hearing on the Development Agreement, pursuant to Section 403.9 of the Code of Iowa;

NOW THEREFORE, It Is Resolved by the City Council of the City of Huxley, Iowa, as follows:

Section 1. This City Council shall meet on **October 24, 2017, at 6 o'clock p.m., at the Huxley City Council Chambers,** in the City, at which time and place proceedings will be instituted and action taken to approve the Development Agreement and to authorize the annual appropriation incremental property tax payments.

Section 2. The City Clerk is hereby directed to give notice of the proposed action, the time when and place where said meeting will be held, by publication at least once not less than four (4) and not more than twenty (20) days before the date of said meeting in a legal newspaper of general circulation in the City. Said notice shall be in substantially the following form:

**NOTICE OF MEETING FOR APPROVAL OF DEVELOPMENT AGREEMENT WITH
MEADOW LANE INVESTMENTS, L.L.C. AND AUTHORIZATION OF ANNUAL
APPROPRIATION TAX INCREMENT PAYMENTS**

The City Council of the City of Huxley, Iowa, will meet at the Huxley City Council Chambers, on October 24, 2017, at 6 o'clock p.m., at which time and place proceedings will be instituted and action taken to approve a Development Agreement between the City and Meadow Lane Investments, L.L.C. (the "Developer") in connection with the construction of public infrastructure necessary for the development of a new residential housing subdivision in the Huxley Housing Urban Renewal Area, which the Development Agreement provides for certain financial incentives in the form of incremental property tax payments to the Developer in a total amount not exceeding \$1,785,000 as authorized by Section 403.9 of the Code of Iowa.

The Development Agreement to make incremental property tax payments to the Developer will not be a general obligation of the City, but will be payable solely and only from incremental property tax revenues generated within the Huxley Housing Urban Renewal Area. Some or all of the payments under the Development Agreement may be made subject to annual appropriation by the City Council.

At the meeting, the City Council will receive oral or written objections from any resident or property owner of the City. Thereafter, the City Council may, at the meeting or at an adjournment thereof, take additional action to approve the Development Agreement or may abandon the proposal.

This notice is given by order of the City Council of Huxley, Iowa, in accordance with Section 403.9 of the Code of Iowa.

Jolene Lettow
City Clerk

Section 3. All resolutions or parts of resolutions in conflict herewith are hereby repealed.

Section 4. This resolution shall be in full force and effect immediately upon its adoption and approval, as provided by law.

Passed and approved October 10, 2017.

Craig D. Henry, Mayor

Attest:

Jolene Lettow, City Clerk

• • • •

On motion and vote the meeting adjourned.

Craig D. Henry, Mayor

Attest:

Jolene Lettow, City Clerk

DEVELOPMENT AGREEMENT

This Agreement is entered into between the City of Huxley, Iowa (the "City") and Meadow Lane Investments, L.L.C. (the "Developer") as of the ____ day of _____, 2017 (the "Commencement Date").

WHEREAS, the City has established the Huxley Housing Urban Renewal Area (the "Urban Renewal Area") and has adopted a tax increment ordinance for the Urban Renewal Area; and

WHEREAS, the Developer owns certain property in the Urban Renewal Area, the legal description of which is set out in Exhibit A hereto (the "Property"), and the Developer has undertaken the development of single family housing and duplexes (the "Housing Project") on the Property, including the construction of certain public infrastructure improvements in connection therewith (the "Infrastructure Project"); and

WHEREAS, the Developer has requested that the City provide financial assistance in the form of incremental property tax payments to be used by the Developer in paying the costs of constructing the Infrastructure Project; and

WHEREAS, the Iowa Urban Renewal law requires that any project related to housing which receives tax increment financing assistance must also generate funds to be used to provide assistance related to housing for low and moderate income families; and

WHEREAS, Chapter 15A of the Code of Iowa authorizes cities to provide grants, loans, guarantees, tax incentives and other financial assistance to or for the benefit of private persons;

NOW THEREFORE, the parties hereto agree as follows:

A. Developer's Covenants:

1. Housing Project, Subdivision, and Infrastructure Project Construction.

The Developer agrees to construct the Housing Project on the Property in accordance with the detailed Final Plat previously approved by the City Council on November 22, 2016 and set forth on Exhibit B hereto. Prior to beginning construction of the Housing Project, the Developer will subdivide the Property in accordance with applicable ordinances and regulations.

2. Infrastructure Project Construction and Costs. The Developer has caused the completion of the Infrastructure Project and has dedicated the completed improvement to the City as required by law and local regulation. Furthermore, the City and the Developer agree that the Developer has provided documentation to the satisfaction of the City demonstrating that the costs of the Infrastructure Project to be recovered under this Agreement are equal to at least \$ 874,000.00.

3. **Base Valuation.** The Developer agrees that the taxable base valuation (the "Base Valuation") of the Property for purposes of calculating Incremental Property Tax Revenues, as hereinafter defined, under Section 403.19 of the Code of Iowa and this Agreement shall be the taxable valuation of the Property shown on the Story County tax rolls as of January 1, 2017 (\$_____).

4. **Developer's Certifications – Phases.** The Developer shall have the right to divide the taxable parcels comprising the Property into two (2) phases (the "Phases" and, individually, each a "Phase") for purposes of calculating and administering the Payments, as hereinafter defined. The Developer agrees to certify to the City its intent to begin the process of dividing Incremental Property Tax Revenues, as hereinafter defined, from each Phase. In any year in which the Developer wishes to designate a new Phase, the Developer shall certify to the City, on or before October 15 of that year, the portion of the legal description of the Property to be included in such Phase. The Developer hereby agrees to certify as to the first Phase by no later than October 15, 2018. The Developer hereby acknowledges that the submission of the initial Worksheet, as defined in Section A.5 of this Agreement, for any particular Phase will satisfy the requirements of this Section A.4.

5. **Developer's Certifications - TIF Estimates.** The Developer agrees to certify to the City by no later than October 15 of each year during the Term, as hereinafter defined, beginning October 15, 2018, the estimated amount of Incremental Property Tax Revenues anticipated to be paid with respect to the taxable incremental property valuation for each of then-certified Phases in the fiscal year immediately following such certification (the "Developer's Estimate") factored by 80% (the "Annual Percentage"). Each Developer's Estimate shall then be divided into two figures: (1) 15% shall be designated as the "LMI Amount" (see Section B.4 below); and (2) 85% shall be designated as the "Project Payment Amounts."

In submitting each such Developer's Estimate, the Developer will complete and submit the worksheet (the "Worksheet") attached hereto as Exhibit C. A separate Worksheet must be submitted for each Phase.

For purposes of this Agreement, Incremental Property Tax Revenues are determined by: (1) determining the consolidated property tax levy (city, county, school, etc.) then in effect with respect to taxation of the Property; (2) subtracting (a) the debt service levies of all taxing jurisdictions, (b) the school district instructional support and physical plant and equipment levies and (c) any other levies which may be exempted from such calculation by action of the Iowa General Assembly; (3) multiplying the resulting modified consolidated levy rate times any incremental growth in the taxable valuation of the Property, as shown on the property tax rolls of Story County, above and beyond the Base Valuation; and (4) deducting any property tax credits which shall be available with respect to the incremental valuation of the Property.

Upon request, the City staff shall provide reasonable assistance to the Developer in completing the worksheet required under this Section A.5.

6. **Legal and Administrative Costs.** The Developer hereby acknowledges that the City will cover the initial payment of legal fees and administrative costs (the "Actual Admin Costs") incurred by the City in connection with the drafting, negotiation and authorization of this Agreement, including the necessary amendment to the Urban Renewal Area. Furthermore, the Developer agrees that the City shall withhold an amount (the "Admin Withholding Amount") equal to the lesser of (1) \$15,000 or (2) the Actual Admin Costs from the initial Payments, as hereinafter set forth in order to recover some or all of the Actual Admin Costs.

7. **Larson Drive Bypass Sewer Improvements Costs.** The Developer hereby acknowledges that the City has constructed certain sanitary sewer improvements for the benefit of the Property, and that the City has incurred \$ 317,296.00 of which \$ 137,497.69 are related to the Developers Cost. These costs are related to the "Larson Drive Bypass Sewer Improvements". The Developer hereby agrees that the City will withhold an amount relating to Sanitary Sewer Project equal to \$ 67,748.85 for the initial Payments under Phase One and from the initial Payments under Phase Two in order to recover the "Larson Drive Bypass Sewer Improvements".

8. **Remedy.** The Developer hereby acknowledges that failure to comply with the requirements of this Section A, will result in the City having the right to withhold the Payments under Section B of this Agreement at its sole discretion, such right being additional to the right of annual appropriation as set forth in Section B.2 below.

B. City's Covenants:

1. **Payments.** In recognition of the Developer's obligations set out above, the City agrees to make annual economic development tax increment payments (the "Payments" and, individually, each a "Payment")) to the Developer during the Term, as hereinafter defined, pursuant to Chapters 15A and 403 of the Code of Iowa, provided however that the aggregate, total amount of the Payments shall not exceed the \$1,785,000 (the "Maximum Payment Total"). The Payments shall be funded from the incremental valuation of any given Phase for a period not in excess of ten (10) years after the certification of such Phase. All Payments under this Agreement shall be subject to annual appropriation by the City Council, as provided hereunder.

The Payments shall not constitute general obligations of the City, but shall be made solely and only from Incremental Property Tax Revenues received by the City from the Story County Treasurer which are attributable to the Property with the Housing Project thereon.

Prior to funding any Payments under this Agreement, the City will first withhold from the Incremental Property Tax Revenues an amount equal to the Admin Withholding Amount and the "Larson Drive Bypass Sewer Improvements" amount, if any, then in effect. Once an amount equal to the Admin Withholding Amount plus the Sanitary Sewer Withholding Amount has been withheld by the City as required by this Agreement, the Payments shall be made as hereinafter set forth.

Each Payment shall be in an amount which represents the Incremental Property Tax Revenues received by the City with respect to the incremental valuation of the Property resulting

from the Housing Project during the six (6) months immediately preceding such payment date reduced by the LMI Amount as set forth in Section A.5 above and Section B.4 below.

The Payments with respect to each Phase will be made on June 1 and December 1 of each fiscal year, beginning on the first December 1 for which Incremental Property Tax Revenues become available with respect each Phase, and continuing for a maximum of ten (10) fiscal years for each Phase, or until such earlier time as total Payments equal to the Maximum Payment Total have been made, provided, however, that no Payment shall be made after June 1, 2039.

It is anticipated that new incremental property valuation relative to the Housing Project will go on the property tax rolls as of January 1, 2018, and thus the first Payment would be made on December 1, 2019 with the final Payment to be made no later than the earlier of (i) June 1, 2039; or (ii) the date on which the total Payments remitted equal the Maximum Payment Total.

2. Annual Appropriation. Each Payment shall be subject to annual appropriation by the City Council. Prior to December 1 of each year during the Term, as hereinafter defined, beginning in the City's 2018-2019 fiscal year, the City Council of the City shall consider the question of obligating for appropriation to the funding of the Payment due in the following fiscal year, an amount (the "Appropriated Amount") of Incremental Property Tax Revenues to be collected in the following fiscal year equal to or less than the most recently submitted Developer's Estimate..

In any given fiscal year, if the City Council determines to not obligate the then-considered Appropriated Amount, then the City will be under no obligation to fund the Payments scheduled to become due in the following fiscal year, and the Developer will have no rights whatsoever to compel the City to make such Payments or to seek damages relative thereto or to compel the funding of such Payments in future fiscal years. A determination by the City Council to not obligate funds for any particular fiscal year's Payments shall not render this Agreement null and void, and the Developer shall make the next succeeding submission of the Developer's Estimate as called for in Section A.5 above, provided however that no Payment shall be made under this Agreement after June 1, 2039.

3. Payment Amounts. The aggregate Payments to be made in a fiscal year shall not exceed an amount equal to the corresponding Appropriated Amount (for example, for the Payments due on December 1, 2019 and on June 1, 2020, the aggregate maximum amount of such Payments would be determined by the Appropriated Amount determined for certification by December 1, 2018), provided, however, that no Payment shall exceed the amount of Incremental Property Tax Revenues received by the City from the Story County Treasurer attributable to the taxable valuation of the Property minus the then-effective LMI Amount.

4. Low and Moderate Income Set Aside. On each Payment date, the City shall retain from then-accumulated Incremental Property Tax Revenues received with respect to the Property an amount (the "LMI Amount") equal to such accumulated Incremental Property Tax Revenues multiplied by the minimum percentage required by Section 403.22 of the Code of Iowa. As of the date of this Agreement, the applicable minimum percentage is 15%.

The LMI Amount shall be retained by the City for use in the provision of assistance to low and moderate income families, pursuant to Section 403.22 of the Code of Iowa. The Developer may apply to the City for all or a portion of the funds set aside for assistance to low and moderate income families, provided the Developer can document to the satisfaction of the City that housing units which are located on the Property are occupied or reserved to be occupied by families which meet the required income limits of state law. The City reserves the right to allocate funds accumulated through the LMI Amount in any lawful manner of its choosing.

5. **Certification of Payment Obligation.** In any given fiscal year, if the City Council determines to obligate the then-considered Appropriated Amount, as set forth in Section B.2 above, then the City Clerk will certify by December 1 of each such year to the Story County Auditor an amount equal to the most recently obligated Appropriated Amount for the funding of the Payments and the LMI Amount due in the next succeeding fiscal year.

C. **Administrative Provisions**

1. **Assignment.** Neither party shall have the right to cause the Agreement to be amended, assigned, assumed, sold or otherwise transferred without the prior written consent of the other party. However, the City hereby gives its permission that the Developer's rights to receive the economic development tax increment payments hereunder may be assigned by the Developers to a private lender, as security on a credit facility taken in connection with the Housing Project and/or the Infrastructure Project, without further action on the part of the City.

2. **Successors.** This Agreement shall inure to the benefit of and be binding upon the successors and assigns of the parties.

3. **Term.** The term (the "Term") of this Agreement shall commence on the Commencement Date and end on the date on which the last Payment is made by the City to the Developers under Section B.2 above.

4. **Choice of Law.** This Agreement shall be deemed to be a contract made under the laws of the State of Iowa and for all purposes shall be governed by and construed in accordance with laws of the State of Iowa.

The City and the Developer have caused this Agreement to be signed in their names and on their behalf by their duly authorized officers, all as of the day and date written above.

CITY OF HUXLEY, IOWA

By: _____
Craig D. Henry, Mayor

Attest:

Jolene Lettow, City Clerk

MEADOW LANE INVESTMENTS, L.L.C.

By: _____

EXHIBIT A
Legal Description of Property

Certain real property situated in the City of Huxley, Story County, State of Iowa more particularly described as follows:

All of Meadow Lane Plat 2 East

EXHIBIT B
FINAL PLAT

DRAFT

EXHIBIT C
DEVELOPER'S ESTIMATE WORKSHEET
COMPLETE ONE FOR EACH OPERATIVE PHASE
PHASE ____

- **Contains the following described taxable parcels:**

This Worksheet is being prepared with respect to the Property in Phase ____

(1) Date of Preparation: October ____, 20__.

(2) Assessed Taxable Valuation of Property as of January 1, 20__:

\$ _____.

(3) Base Taxable Valuation of Property (determine as of January 1, 20__):

\$ _____.

(4) Incremental Taxable Valuation of Property (2 minus 3):

\$ _____ (the "TIF Value").

(5) Current City fiscal year consolidated property tax levy rate for purposes of calculating Incremental Property Tax Revenues (the "Adjusted Levy Rate"):

\$ _____ per thousand of value.

(6) The TIF Value (4) factored by the Adjusted Levy Rate (5).

\$ _____ x \$ _____ /1000 (the "TIF Estimate")

(7) TIF Estimate (6) factored by 80%

\$ _____ x .80 = \$ _____ (the "Developer's Estimate")

(8) Developer's Estimate = \$ _____

x .85 = \$ _____ (Project Payments Amount)

x .15 = \$ _____ (Estimated LMI Amount)



Planning and Zoning Commission Minutes

Monday October 2, 2017
Huxley Council Chambers
7:00 P.M.

1.0) CALL TO ORDER AND ROLL CALL:

Chairman Roger Bierbaum called the P&Z Meeting to order at 7:00 PM. P&Z members present:

Roger Bierbaum	<input checked="" type="checkbox"/>	Larry Wilson	<input checked="" type="checkbox"/>
Cheryl Patterson	<input checked="" type="checkbox"/>	Mark Johnson	<input checked="" type="checkbox"/> arrived at 7:03 PM
Mike Schonhorst	<input type="checkbox"/>	Nate Easter	<input checked="" type="checkbox"/>
Gordon Mosher	<input checked="" type="checkbox"/>		

Staff present: John Haldeman, Zoning Administrator
Amy Kaplan, Zoning Clerk

Consultants present: Jim Nervig, City Attorney
Jeremy Enano, City Engineer

Guests present: Ben Jensen, Jim Elliott, Brent Culp, Mindy Bryngelson, Mack Mattke, Luke Wall,
Don Van Houweling, Rob Crawford, Dan Novelli

COMMISSION AGENDA ITEMS:

2.0) MOTION TO APPROVE THE MINUTES FROM THE FOLLOWING MEETING:

- 2.1) **JULY 12, 2017 REGULAR MEETING** - Motion by Easter and seconded by Wilson to approve minutes. Roll was taken. 5 AYE. 0 NAY

7:03 PM Mark Johnson entered the meeting.

3.0) PUBLIC HEARING: NONE

4.0) DISCUSSION AND RECOMMENDATION ITEMS:

- 4.1) **DISCUSSION AND POSSIBLE RECOMMENDATION ON SITE PLAN FOR INNOVATIVE TECHNOLOGY AT 1545 BLUE SKY BOULEVARD.** Discussion took place regarding the size of the structure and number of parking spaces. All comments by the City's review had been addressed. Motion by Mosher and seconded by Patterson to recommend approval of this site plan to City Council. 6 AYE 0 NAY.
- 4.2) **DISCUSSION AND POSSIBLE RECOMMENDATION ON SITE PLAN FOR CONTINENTAL MANUFACTURING CHEMIST (CMC) AT 1502 BLUE SKY BOULEVARD.** Discussion took place regarding the number of parking spaces and the evaluation of waste coming from this site. All comments by the City's review had been addressed Motion by Patterson and seconded by Wilson to recommend approval of this site plan to City Council and to acknowledge that the board has looked at the number of parking spaces based on the number of employees. 6 AYE 0 NAY.
- 4.3) **DISCUSSION AND POSSIBLE RECOMMENDATION ON APPROVING AMENDMENT TO THE BULK REGULATIONS FOR LOT 53 IN PRAIRIE RIDGE PLAT 1 PUD.** Discussion took place regarding the reason for the change from one lot to six postage stamp lots. All comments by the City's review had been addressed. Void under building to be addressed and tested Motion by Mosher and seconded by Johnson to recommend approval of this site plan to City Council.. 6 AYE 0 NAY.
- 4.4) **DISCUSSION AND POSSIBLE RECOMMENDATION FINAL PLAT FOR BLUE SKY COMMONS.** Discussion took place regarding if the lots can be adjusted to suit. It was asked about the wind generators and why they had not continued. It was pointed out that solar panels have passed wind generators as the preferable alternative energy source. Also the company that had made those previously no longer does. Motion by Easter and seconded by Patterson to recommend approval of this site plan to

City Council as long as the items indicated by the attorney have been met and the letter of credit or bond is satisfied. 6 AYE 0 NAY.

- 4.5) **DISCUSSION AND POSSIBLE RECOMMENDATION FOR ORDINANCE AMENDING THE C-1 NEIGHBORHOOD COMMERCIAL DISTRICT REGULATIONS OF SECTION 165.27 OF THE MUNICIPAL CODE OF THE CITY OF HUXLEY, IOWA, AND THE M-1 INDUSTRIAL DISTRICT REGULATIONS OF SECTION 165.30 OF THE MUNICIPAL CODE OF THE CITY OF HUXLEY, IOWA, TO AUTHORIZE SALE OR DISPLAY OF FIREWORKS AS A PERMITTED USE IN C-1, C-2, C-3 AND M-1 DISTRICTS.** Discussion took place regarding the definition of “display”. Motion by Wilson to table the action to the next meeting on October 23, 2017 to allow legal counsel to update the language. Seconded by Patterson. 6 AYE 0 NAY.
- 4.6) **DISCUSSION AND POSSIBLE RECOMMENDATION ON ORDINANCE AMENDING THE MUNICIPAL CODE OF THE CITY OF HUXLEY, IOWA, BY AMENDING THE ZONING ORDINANCE TO ADD NEW SECTION 165.47 PROVIDING REGULATIONS FOR SOLAR ENERGY SYSTEMS.** Discussion took place regarding the future of solar energy and the impact to the neighbors of a home that has an 18-foot accessory structure. Motion by Wilson and seconded by Johnson to send the amended ordinance to council with the corrections as provided by John. 5 AYE (Bierbaum, Patterson, Wilson, Mosher, Johnson). 1 NAY (Easter).

5.0) **MISCELLANEOUS**

- 5.1) **RESIDENTIAL SUBDIVISION.** Dan Novelli with Kading came and spoke to the board about a condominium complex concept that is in the works on some land on the east side of New Horizons. Condos would be 1,008 square feet consisting of three-bedrooms, one bath and in unit laundry.

6.0) **COMMENTS AND UPDATES**

- No updates on Kreg Tool
- Grading is in progress at Iron Bridge
- Another unit is being built at Bella Vista
- Water main has been installed at Iron Bridge
- Northview development is almost full
- Steve Quick is beginning phase 3 of his development
- Dickson Jensen is holding onto some land north of Centennial
- City of Huxley is waiting on lab results from CMC regarding what CMC would discharge into the waste water system. Based on the results the City will determine if CMC will have a pre-treatment requirement.
- Next P&Z meeting is scheduled for October 23rd at 7:00 PM.

- 7.0) **ADJOURNMENT** – Motion by Wilson to adjourn at 8:40 PM, seconded by Easter. 6 AYE. 0 NAY.

Amy Kaplan, Zoning Clerk

Roger Bierbaum, Chairman

Date of Approval

Prepared by John Haldeman, City Administrator, for the City Council meeting to be held on the
10th day of October, 2017.

RESOLUTION NO. 17-075

**RESOLUTION APPROVING FINAL PLAT AND CONSTRUCTION PLANS FOR
BLUE SKY COMMONS PLAT 2.**

WHEREAS, Don Van Houweling, Interstate Land Property, LLC has. submitted a Final Plat for review and Construction Plans; and

WHEREAS, the Huxley Planning and Zoning Commission reviewed the Final Plat for this location at their October 2, 2017; and

WHEREAS, the Commission voted to recommend approval of the Final Plat plan to the Huxley City Council for their October 10, 2017 meeting.

WHEREAS, the Construction Plans come forward for review and consideration for approval by the Huxley City Council;

WHEREAS, the Construction Plans were reviewed by staff and the City's Engineer and come forward with a recommendation of approval.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HUXLEY, IOWA, that the Huxley City Council has reviewed said Final Plat and the Construction Plans and approve both subject to the following conditions and/or waivers;

1. That the Preliminary Plat remaining be extended for 1 year
- 2.
- 3.

Roll Call	Aye	Nay	Absent
Kevin Deaton	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Craig Hemmen	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dave Jensen	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dave Kuhn	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tracey Roberts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PASSED AND APPROVED this ____ day of October, 2017.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-075** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this __ day of October, 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

September 29, 2017

John Haldeman
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

HUXLEY, IOWA
BLUE SKY COMMONS PLAT 2
SITE PLAN

We have reviewed the plat and construction plans for Blue Sky Commons Plat 2 and find it acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in black ink, appearing to read 'Forrest Aldrich', written over a horizontal line.

Forrest S. Aldrich

FSA:dml
45229-018

cc: Nate Easter, Easter & Associates (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Brent Culp, Snyder & Associates (e-mail)



September 28, 2017

Mr. John Haldeman
City Administrator
City of Huxley
515 N Main Avenue
Huxley, Iowa 50124-9416

RE: FINAL PLAT AND CONSTRUCTION PLANS -2nd SUBMITTAL
BLUE SKY COMMONS PLAT 2
NW ¼, SEC. 30, T82N, R23W
PROJECT NO. 117.0168.01

Dear John:

As requested in your Tech Review Comments dated September 25, 2017, this letter indicates how each comment is being addressed.

Public Works

- Comment 1:** Jeff's email address has been updated to publicworks@huxleyiowa.org.
Comment 2: The Alliant Energy contact has been updated to Joe Loonan, Jr.
Comment 3: If so required with construction, an additional benchmark will be established in Plat 2 prior to relocation of the fire hydrant.
Comment 4: An additional hydrant has been added to the plans to meet the 300-foot hydrant spacing requirement for non-residential developments.
Comment 5: Hydrant spacing radii are shown in the construction plans.
Comment 6: A note has been added to the construction plans identifying the storz nozzle on the pumper for the hydrant.
Comment 7: We have revised the note to indicate that maximum joint deflection and maximum bending radii is per manufacturers recommendations.
Comment 8: A note has been added that the 8-inch water main will ultimately be looped with future development.
Comment 9: The temporary turnaround meets the current SUDAS requirement of a 45-foot radius. End of roadway diamond markers have been added to the end of the temporary turnaround.
Comment 10: The sanitary sewer easement has been widened to 40-foot.

Preliminary Engineering

Final Plat

- Comment 1:** The 10-foot public utility easement has been added adjacent the right-of-way along Blue Sky Blvd.
Comment 2: The sheet coverage has been changed to include both final plat sheets.
Comment 3: The owner information has been updated.
Comment 4: A note has been added to the final plat that Street Lot A will be dedicated to the City of Huxley.

- Comment 5: There are easements identified on the final plat addressing the proposed improvements. Since the drainage area is in a non-buildable outlot, we would request to add drainage easements with future development of that area.
- Comment 6: A note was added on the temporary siltation basin.
- Comment 7: N/A
- Comment 8: We labeled the pie shaped area as a part of Outlot "W".
- Comment 9: We request that the previously approved preliminary plat for Blue Sky Commons be extended past the 1-year timeline for Plat 2.
- Comment 10: The owner will provide the Bond/Letter of Credit under separate cover.
- Comment 11: The attorney will provide the required final plat legal documents under separate cover.

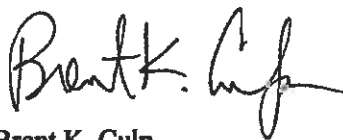
Construction Plans

- Comment 1: The double line was a trail extension that was completed with Plat 1 under a RISE project. Since Plat 2 is a private contract, the trail extension will be completed by the individual lot owner upon site development.
- Comment 2: Storm water detention will be provided by the individual property owners upon site development of the individual lots similar to what was completed with Plat 1.
- Comment 3: A note was added to the construction plans addressing the siltation basin.
- Comment 4: An additional hydrant has been added to the plans to meet the 300-foot hydrant spacing requirement for non-residential developments.
- Comment 5: The sanitary sewer manhole rims are set at the adjacent grade elevation. The rim elevations for the existing manhole and manhole no. 1 appear high because they are identified with a station off-set of the centerline profile grade of Blue Sky Blvd.

If additional questions or comments come forth on this project, please contact me at your convenience. Thank you.

Sincerely,

SNYDER AND ASSOCIATES, INC.



Brent K. Culp

Enclosure

cc: Don Van Houweling, Interstate Land Property, LLC
Jamie Bergkamp, Hefner and Berkamp, PC
file

[illegible]

PLAT DESCRIPTION

[illegible]

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD

AND
VAN-COUNELING, CD ■
182 332ND PLACE
PERRY, IOWA 50220

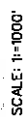
DEVELOPER
INTERSTATE LAND PROPERTIES, LLC,
PO BOX 575
PERRY, IOWA 50220-0575

NOTES

1. THE CRITERION OF CLOSURE FOR THE SUPERVISION BOUNDARY IS LESS THAN 150,000 AND THE CRITERION OF CLOSURE FOR EACH SUPERVISORY UNIT IS LESS THAN 50,000.

2. SUBJECT TO NOTE 5 AS SHOWN IN A SURVEY RECORDED IN SLIDE 387 PAGE 5 STATING AN EXISTING PIPE LINE EASTWARD TO NORTHERN NATURAL GAS COMPANY RECORDED IN BOOK 103 PAGE 519 AL IN SECTION 30-B2-23 IS SUBJECT TO THE N 1/2, NW1/4 AND THE SE1/4, NW1/4 AND THE E 1/4 AC OF THE SW1/4, NW1/4. HOWEVER, THE ONLY GAS LINE THAT WAS LOCATED IN THE FIELD WAS FOUND IN THE N 1/2, NW1/4.

3. STREET LOT A TO BE DEDICATED TO THE CITY OF HUNLEY.
4. TEMPORARY SILTATION BASIN ON OUTLOT "Y" AND OUTLET TLE ON OUTLOT "X" TO BE PRIVATE AND MAINTAINED BY THE RESPECTIVE PROPERTY OWNERS.



VICINITY MAP

BASIS OF BEARING

WEST LINE OF THE SW 1/4 OF THE
NW 1/4 OF SECTION 30-82-23 WAS

© 2000 THE BROAD BENT GROUP

SECTION AREAS

PT. SW 1/4, SW 1/4 SEC. 19-82-23	* 8.47 AC.
PT. SE 1/4, SW 1/4 SEC. 19-82-23	* 8.47 AC.
PT. NW 1/4, NW 1/4 SEC. 10-82-23	* 43.87 AC.
PT. NE 1/4, NW 1/4 SEC. 10-82-23	* 32.93 AC.
PT. SW 1/4, NW 1/4 SEC. 30-82-23	* 0.25 AC.
PT. SE 1/4, NW 1/4 SEC. 30-82-23	* 92.38 AC.
TOTAL	178.07 AC.

ZONING

4-1: INDUSTRIAL DISTRICT

BULK REGULATIONS

MINIMUM LOT AREA = 6,000 SF
MINIMUM LOT WIDTH = NONE
FRONT YARD SETBACK = 25'
REAR YARD SETBACK = 10' EXCEPT ADJACENT N OR C-2 THEN 50'
SIDE YARD SETBACK = 10' EXCEPT ADJACENT R OR C-2 THEN 50'

LEGEND

[illegible]

Terry Cooney, PLS
Licenses Number 19562
My License Renewal Date is December 31, 2017
Points or credits covered by this audit
Points: 3 & 4

Project No: 1170168
Sheet 3 of 8



SNYDER
& ASSOCIATES

SNYDER & ASSOCIATES, INC.

BLUE SKY COMMONS PLAT 2

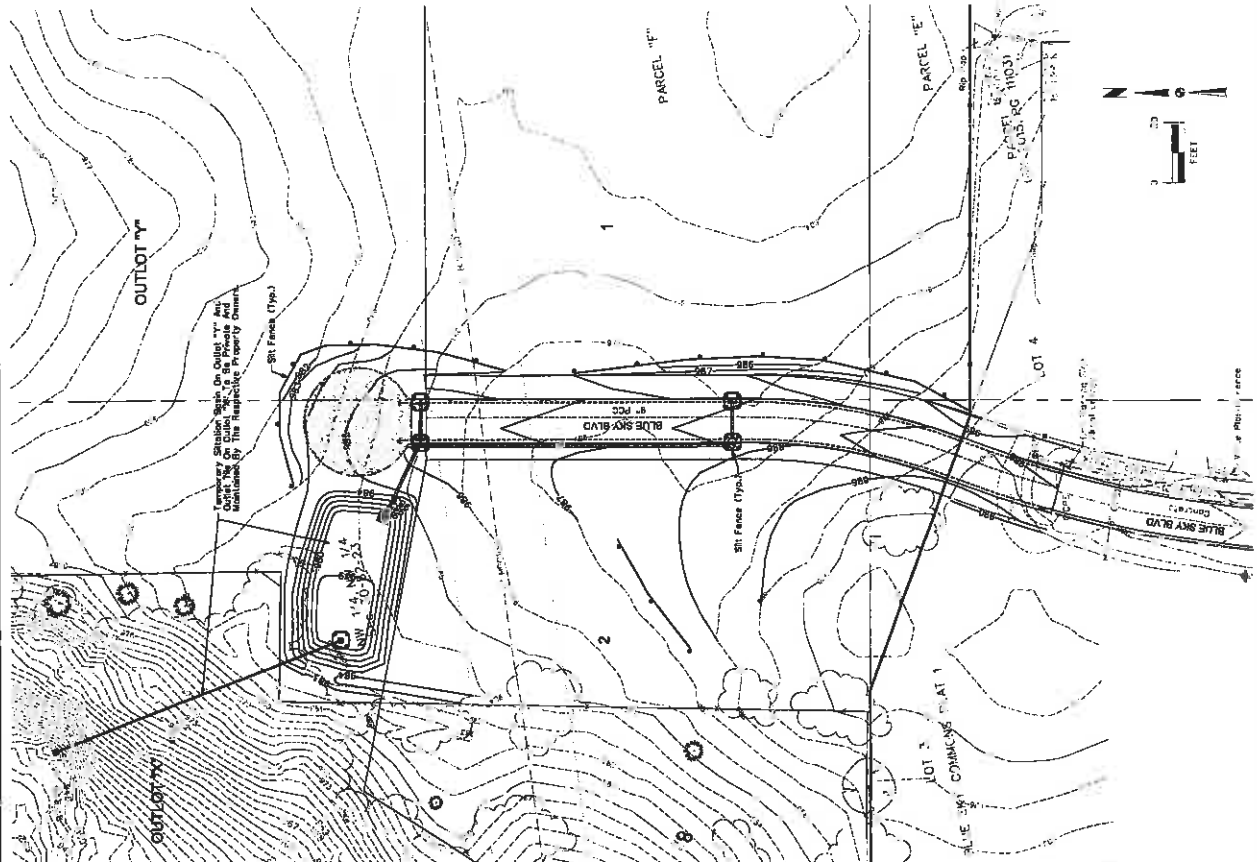
HUXLEY, IOWA

ANKENY, IOWA 50023
515-984-2020 | www.ryan-assoc.com

Project No:	W70865	Sheet 3 of 8
Drawn by:	AWS	Date: 09/15/17
CDD	Checked by:	EAC
Revised per DIT Change	Scale:	1"=100'
DATE BY	DATE BY	DATE BY

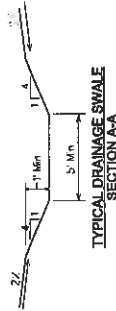
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GRADING NOTES

1. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESURFACE TO MINIMUM 10" DEPTH TO FRESH CLOMBES.
2. ANY EXCESS CUT TO BE SPREAD ON SITE AS DIRECTED BY ENGINEER DURING CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
3. ALL NESTING SITES AND SLOTS TO BE LOOKED AFTER TO REMAIN OPEN.
4. ALL NESTING SITES AND SLOTS TO BE MONITORED BY SUPPLIER. NATURE APPLIED AT RATE RECOMMENDED BY SUPPLIER.
5. EROSION CONTROL: SITE THE SLOPE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE 15% TERGE AND MAINTAIN IN PROBLEM AREAS UNTIL EROSION CONTROL HAS BEEN ESTABLISHED. COMPLETELY EROSION CONTROL.



TYPICAL DRAINAGE SWALE
SECTION A-A

SECTION A-A

QUANTITIES

BENCHMARKS

BENCHMARKS
NORTH AMERICAN VERTICAL DATUM OF 1988

BM1 ELEVATION=988
HURRY BOLT ON

FOUND ELEVATION: 875.81
FOUND USGS MONUMENT SET IN CONCRETE ALONG WEST FENCE, 1/2 MI.
SOUTH OF CP6. AS SHOWN ON SURVEY.

POLLUTION PREVENTION NOTES

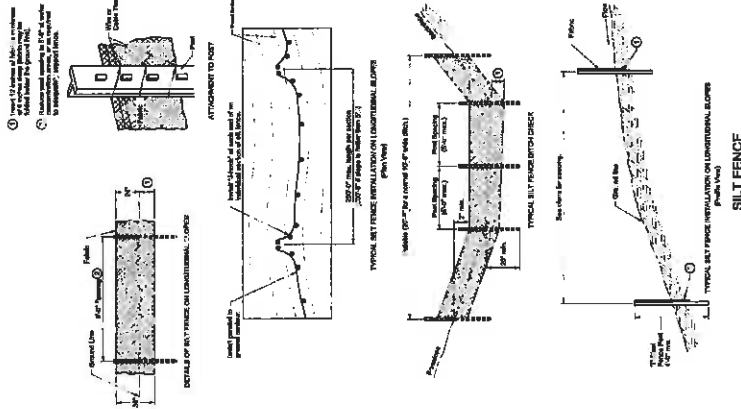
1. GOOD CONSTRUCTION CONTRACTS ARE RECOMMENDED FOR THE POLLUTION PREVENTION AND EMISSION PROTECTION. THE OWNER SHOULD REQUIRE THE CONTRACTOR TO TAKE THE FOLLOWING STEPS TO PROTECT THE ENVIRONMENT:
 - (a) THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PREVENT OFF-SITE POLLUTION OR DEPOSIT AREA, DURING PERFORMANCE OF A RESULT OF PROJECT.
 - (b) DAMAGE CLAIMS AND THE CONTRACTOR SHALL HOLD THE OWNER AND ANOTHER PARTY RESPONSIBLE FOR ANY DAMAGE OR LOSS OF PROPERTY OR PRIVATE WATERFOWL RESULTING FROM UNABLE TO ALLOWING TRAFFIC TO PROCEED FURTHER IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PREVENT OFF-SITE POLLUTION OR DEPOSIT AREA, DURING PERFORMANCE OF A RESULT OF PROJECT.
 - (c) THE CONTRACTOR SHALL HOLD THE OWNER AND ANOTHER PARTY RESPONSIBLE FOR ANY DAMAGE OR LOSS OF PROPERTY, THE CHINESE LAW SHOULD BE USED TO THE CONTRACT TERMS.

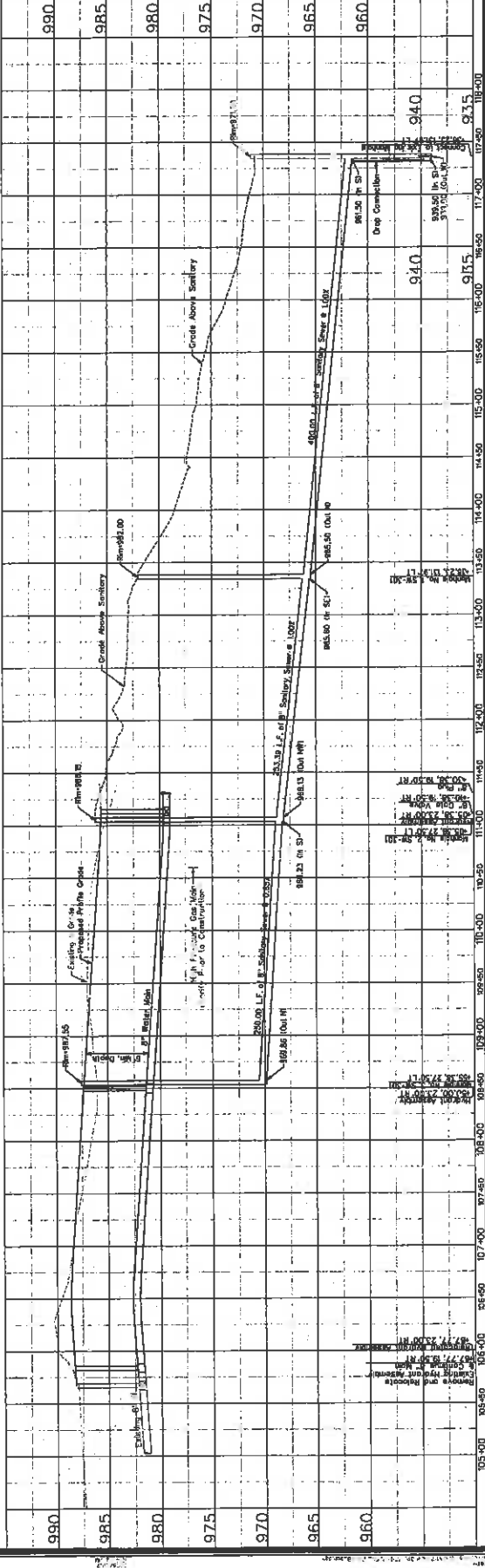
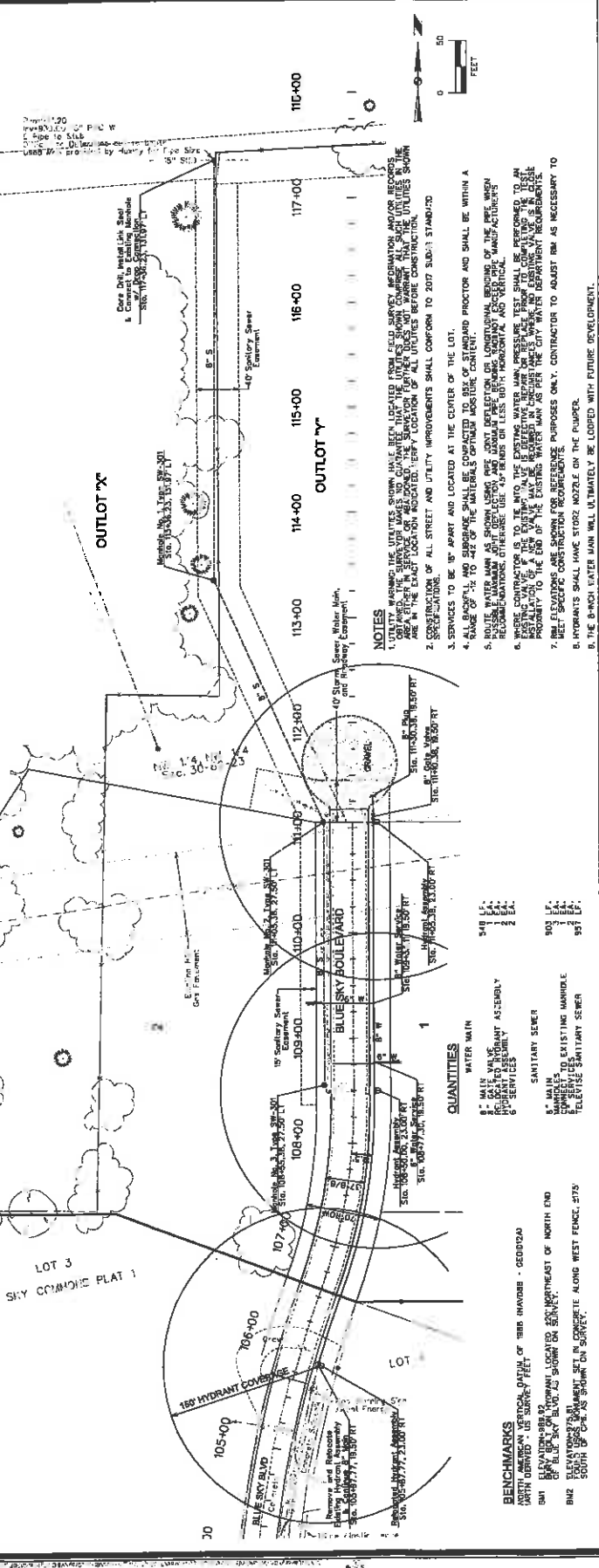
STORM WATER DISCHARGE PERMIT

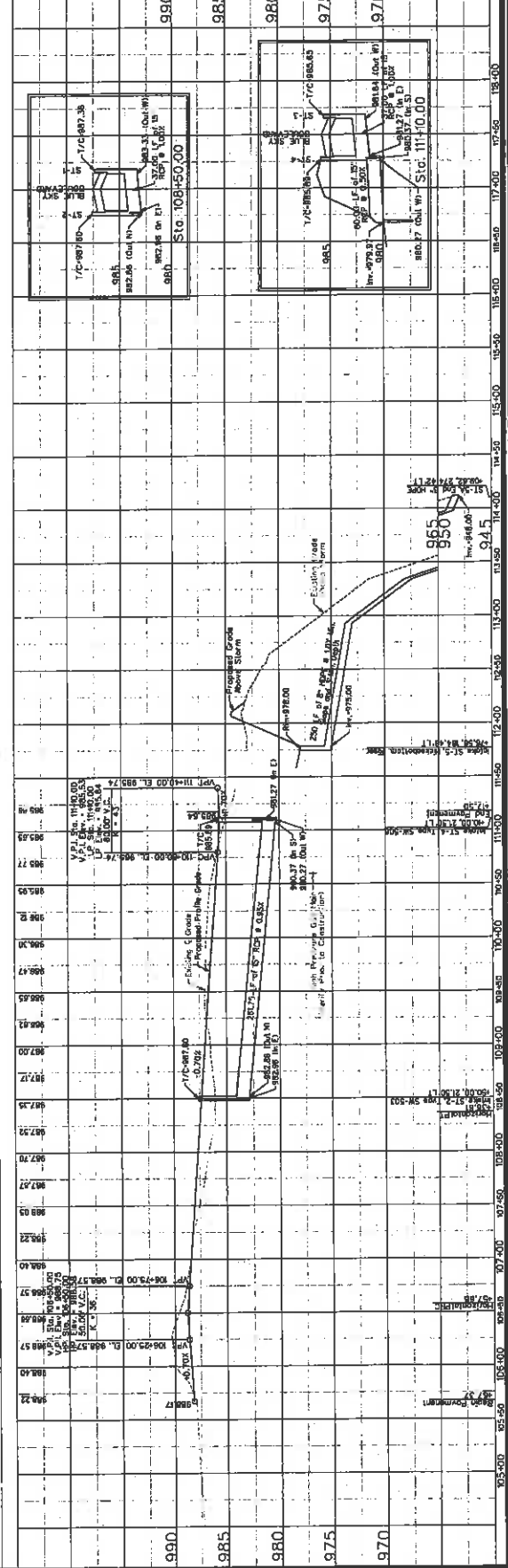
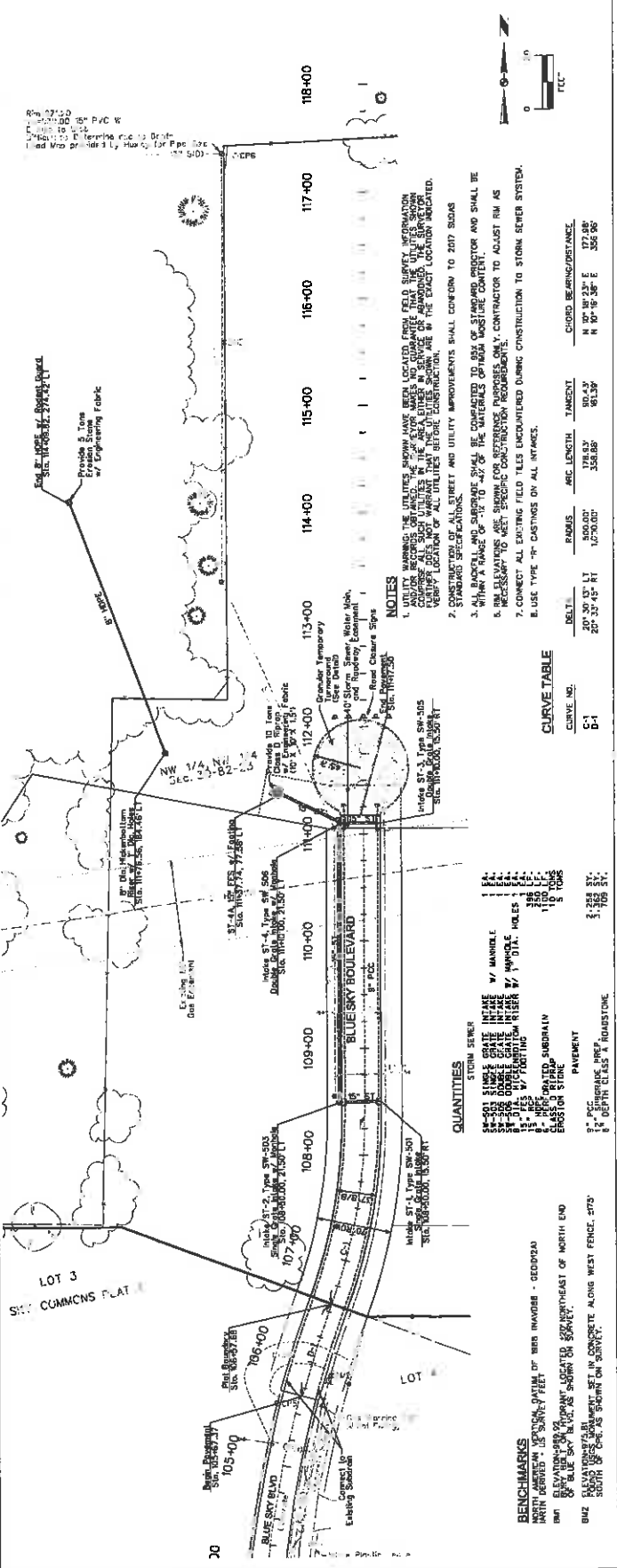
1. THE PROJECT REQUIRES COVERAGE UNDER THE WORKERS COMPENSATION, EMPLOYMENT NO. 2 FOR STATE WATER PROJECTS ASSIGNED TO THE CONSTRUCTION DIVISION OF THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR AND THE INSURANCE AGENT SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION.
2. ALL WORK SHALL BE DONE TO THE SATISFACTION OF THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION.
3. A NOTICE OF DISCONTINUANCE MUST BE FILED WITH THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION. THE CONTRACTOR SHALL OBTAIN THE NECESSARY COVERAGE AND PROVIDE THE EVIDENCE OF INSURANCE TO THE STATE WATER PROJECTS DIVISION.

POLLUTION PREVENTION PLAN:

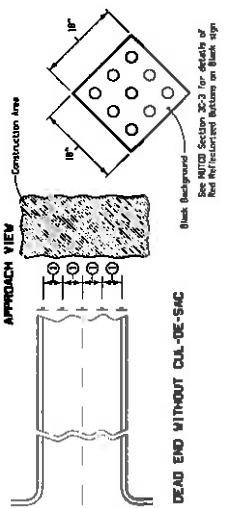
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INSTRUMENTAL DESIGN



GENERAL NOTES

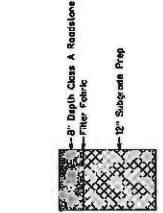
1. Chain layout is intended for posts designed by the Contractor for use with the specified chain link fence or guardrail, additional chain layout may be required for other types of chain link fence or guardrail, additional chain layout to supplement these symbols when a condition such as a natural stream or deep excavation exists.

2. The Contractor may furnish and install either Type I or Type II Posts as specified by the Standard and Supplemental Specifications, for detectors, Post lengths shall be sufficient to provide a minimum of 2'-6" of embedment when installed at the specified mounting height. Notes and methods of construction shall be in accordance with the Standard and Supplemental Specifications as directed by the Engineer.

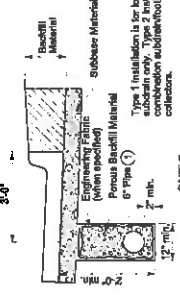
price bid for "Permanent Road Closure (Urban)," each, shall be considered full compensation for furnishing and installing completed unit as shown herein as indicated on project plans and as directed by the Engineer. The cost of "OEAD END" sign shall be included in the price bid for "Permanent Road Closure (Urban)." **Closure (Urban)."**

① Evenly spaced (min. 5', max. 8') as directed by the Engineer.

② Deflector posts, 2'-6" minimum embedment.

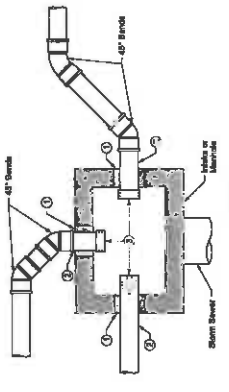


NOTES:
1. CONTRACTOR SHALL PROOF ROLL TURNAROUND PRIOR TO PLACEMENT OF FILTER FABRIC.
TEMPORARY TURNAROUND DETAIL



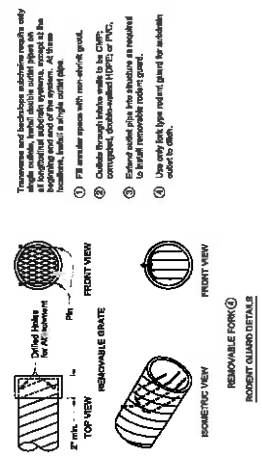
**CASE C
TYPE 1**

SANITARY SEWER SERVICE STUB WITH RISER



PLAN VIEW

OUTLET INTO STRUCTURE



SUBDRAIN OUTLET DETAIL

SUBDRAIN OUTLET DETAIL

Prepared by John Haldeman, City Administrator, for the City Council meeting to be held on the
10th day of October, 2017.

RESOLUTION NO. 17-076

**RESOLUTION APPROVING SITE PLAN FOR A NEW BUILDING
FOR INNOVATIVE TECHNOLOGIES AT 1545 BLUE SKY BLVD.**

WHEREAS, Innovative Technologies has. submitted a site plan for a new building, to be located at 1545 Blue Sky Blvd; and

WHEREAS, the Huxley Planning and Zoning Commission reviewed the site plan for this location at their October 2, 2017; and

WHEREAS, the Commission voted to recommend approval of the site plan to the Huxley City Council for their October 10, 2017 meeting.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HUXLEY, IOWA, that the Huxley City Council has reviewed said site plan and approves the site plan subject to the following conditions and/or waivers;

- 1.
- 2.
- 3.

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
Dave Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

PASSED AND APPROVED this ____ day of October, 2017.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-076** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this ___ day of October, 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

September 27, 2017

John Haldeman
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

HUXLEY, IOWA
INNOVATIVE TECHNOLOGIES SITE
SITE PLAN

We have reviewed the revised site plan for the Innovative Technologies Site and find it acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in black ink, appearing to read 'Forrest S. Aldrich', written over a horizontal line.

Forrest S. Aldrich

FSA:dml
45229—017

cc: Nate Easter, Easter & Associates (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Luke Well, Woodruff Construction (e-mail)
Mindy Bryngelson, Clapsaddle-Garber Associates (e-mail)



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3000 Westown Parkway • West Des Moines, Iowa 50266-1320

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September 27, 2017

John Haldeman
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

HUXLEY, IOWA
INNOVATIVE TECHNOLOGIES SITE
SITE PLAN

We have reviewed the revised site plan for the Innovative Technologies Site and find it acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

Original Signed By
Forrest S. Aldrich

Forrest S. Aldrich

FSA:dml
45229—017

cc: Nate Easter, Easter & Associates (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Luke Well, Woodruff Construction (e-mail)
Mindy Bryngelson, Clapsaddle-Garber Associates (e-mail)



September 18, 2017

Mr. Nate Easter
Easter & Associates

RE: Innovative Technologies Site
1545 Blue Sky Boulevard
Internal City Comments Response
Huxley, Iowa

Mr. Nate Easter,

Attached are updated plan sheets for the Site Plan Review for the Innovative Technologies site. Please find our responses to the Internal City Comments (application date 09/07/2017) below:

Public Works – Jeff Peterson 515-450-1707

1. Comments: We do not allow taps in manholes. Please verify and hook to tap that was provided for lot.
Response: Please see updated plan set. The sanitary sewer routing was updated to hook to the tap provided. Notes were added to field verify location.
2. Comments: Sanitary lateral line should be labeled either 6" Schedule 40 or SDR 23.5.
Response: Pipes were labeled as 6" Sch. 40 on C.200.
3. Comments: Show two inch copper water line. Two inch or less requires Type K copper.
Response: The two inch copper water service is labeled with Note (D) on C.200.
4. Comments: Show 6" fire line. Ductile or DR19 C900.
Response: The 6" fire line, either Ductile or DR19 C900, is labeled with Note (C) on C.200.
5. Comments: Provide and install Watts RPZ backflow assembly for two inch line.
Response: Installation of a Watts RPZ backflow assembly is labeled with Note (D) on C.200.
6. Comments: Provide back flow as per state plumbing code for fire line.
Response: Installation of a back flow for the fire line is labeled with Note (C) on C.200.

September 18, 2017
Mr. Nate Easter
Innovative Technologies Site Plan Review

7. Comments: Label water and sewer on plan
Response: Please see sheet C.200 for the labeling of water and sewer lines.
8. Comments: Add on the plan that not only SUDAS needs to be followed but the City's standards and specifications as well.
Response: Please see Note (5) of the General Utility Notes on C.200
9. Comments: Pressure tests on sanitary manholes and lateral piping will be required.
Response: Please see Note (6) of the General Utility Notes on C.200
10. Comments: Water and sewer will be inspected by water superintendent. Keith Vitzthum 515-290-7512
Response: Please see Note (7) of the General Utility Notes on C.200
11. Comments: Any street signs damaged or removed will be replaced by owner.
Response: Please see Note (8) of the General Utility Notes on C.200
12. Comments: Pipe depth for water main and service line is a minimum of 5.5 feet.
Response: Please see the note under Utility Companies on C.101.
13. Comments: To our knowledge, Joe Loonan Jr. is the contact for both Alliant gas and Alliant electric. Joe Loonan's cell number is 515-450-8600.
Response: The contact for Alliant Energy has been changed on C.101.

Preliminary Engineering – Nate Easter 515-290-4481

1. Comments: Section 167.05, 2E Calls for 1 island per 20 spaces. Since parking stalls provided are just over 20 spaces, we are OK with 1 island.
Response: A landscaped island was added to the middle of the northern parking row. Please see C.200 and C.400 to accommodate this change.
2. Comments: Code calls for a traffic analysis. However, we will not require a full traffic analysis, but would like a statement as to what to expect in delivery vehicles (size, numbers, and times).
Response: The 10 full-time employees will be working typically from 7 AM – 4 PM and will be driving standard cars and trucks. There will typically be 1 freight truck and trailer delivery each day and that is usually in the morning. UPS and FedEx deliveries are daily at their normal times.
3. Comments: Is there any proposed signage? The City will need to review any signage before installation.
Response: At this time we are not sure on the exact method of signage, but it will most likely be building mounted. We will prepare the required application and review at the time when the signage is determined.

September 18, 2017
Mr. Nate Easter
Innovative Technologies Site Plan Review

4. Comments: The general notes state that lighting will be determined by owner. Prior to installation and approval, Owner will need to provide a photometric/lighting plan according to 167.05, 3B for review/approval by the City.
Response: The current plan is for the lighting to be building mounted and we will submit along with the architectural drawings for the building permit. We will submit the proper photometric/lighting plan to the city for approval. Also, the general notes on C.200 were changed to read this required review/approval as well.
5. Comments: A sidewalk from the right-of-way to the front door should be provided.
Response: A sidewalk was added from the front door to the public right-of-way. Please see these changes in C.200 and C.300.
6. Comments: Please mark/designate accessible stalls.
Response: With 25 parking spaces, ADA requires (1) single-accessible stall. This is shown in the front entrance of the building. Please see C.200 and detail 5 on C.500
7. Comments: Gravel vehicular parking isn't allowed by code. Can you elaborate on the intent/desire for the gravel/rock portion of the site?
Response: The gravel portion will be used for temporary storage of equipment. All required parking is met by paved surface. This is in accordance with the standard set by Ditch Witch in the adjacent property.
8. Comments: Please provide documentation of where the CN values for row crops and other number were derived. Also, please provide documentation that the outflow pipe slope in the pond routing matches the pipe slope shown in the plans. Please review pipe velocities on the outlet side of the pond—we want to avoid downstream erosion.
Response: The CN of 85 for Row Crop, 98 for paved surface and 74 for Good (grass cover > 75%) came from the textbook Hydrology & Hydraulic Systems, by Ram S. Gupta. A scanned copy of the table is attached to this letter. The outflow of the detention pipe is 48' @ 0.84%. This slope and length is now reflected in the storm water report. Our hydraflow modeling determines at a 100 year flood it will release at 4.076 cfs. This relates to a velocity (through a 12" CMP pipe) of 5.19 ft/s. To avoid downstream erosion, a 6" nominal size aggregate will be sufficient in controlling a maximum velocity of 5.19 ft/s. See Detail 4 on C.503.
9. Comments: The public street and public utilities need to be extended to the property line.
Response: The street and utilities extension is currently being designed by Snyder and Associates. We will coordinate between our designs on this development.

September 18, 2017
Mr. Nate Easter
Innovative Technologies Site Plan Review

Please contact me with any questions at (515) 232-1784.

Sincerely,

CLAPSADDLE-GARBER ASSOCIATES, INC

A handwritten signature in black ink, appearing to read "Mindy Bryngelson". The signature is fluid and cursive, with a long horizontal stroke at the end.

Mindy M. Bryngelson, P.E.
Vice President

Enclosures

Cc: Luke Wall, Woodruff Construction



September 26, 2017

Mr. Forrest S. Aldrich
Veenstra & Kimm, Inc.

RE: Innovative Technologies Site
1545 Blue Sky Boulevard
Site Plan Review
Huxley, Iowa

Mr. Forrest Aldrich,

Attached are updated plan sheets for the Site Plan Review for the Innovative Technologies site. Please find our responses to the Final Site Plan Review (application date 09/07/2017) below:

1. Comments: The SUDAS Design Standards, section 2G-1, Par. F.1 requires a minimum detention basin bottom cross slope of 2%. The proposed basin has a flat bottom. Please provide a sloped bottom at a minimum of 2% slope or provide a concrete paved swale or channel bottom cunette and subsurface drains. The detention pond volume will need to be recalculated to verify adequate storage is still provided.
Response: Please see updated plan set and storm water report. The detention basin was adjusted to have a minimum of 2% slope towards the CMP outlet pipe.

2. Comments: The same SUDAS Design Standards paragraph requires a 1-foot of freeboard above the emergency spillway discharge or 2 feet of freeboard above the 100 year surface elevation. The proposed freeboard is approximately 3 inches. Please provide 2 feet of freeboard or an emergency spillway with 1 foot of freeboard.
Response: Please see updated plan set. The detention basin has a 100 year surface elevation of 983.93 and top of basin elevation of 985. There is an emergency spillway to the outlet of the CMP pipe on the southwest of the site for storms larger than the 1-foot freeboard. Building FFE is 990.

September 26, 2017
Mr. Forrest Aldrich
Innovative Technologies Site Plan Review

Please contact me with any questions at (515) 232-1784.

Sincerely,

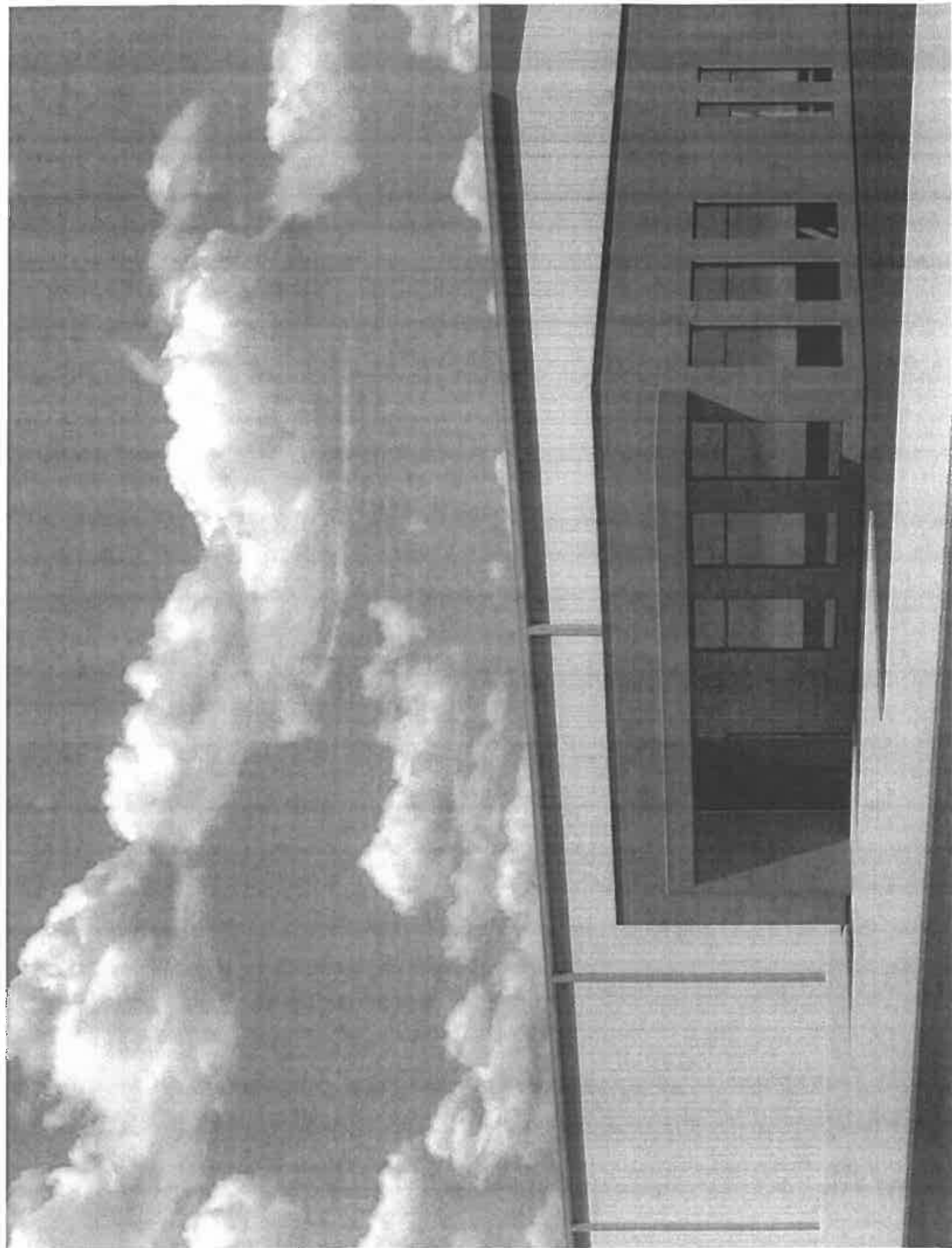
CLAPSADDLE-GARBER ASSOCIATES, INC

A handwritten signature in black ink, appearing to read "Mack M. Mattke". The signature is fluid and cursive, with a long horizontal stroke at the end.

Mack M. Mattke, E.I.

Enclosures

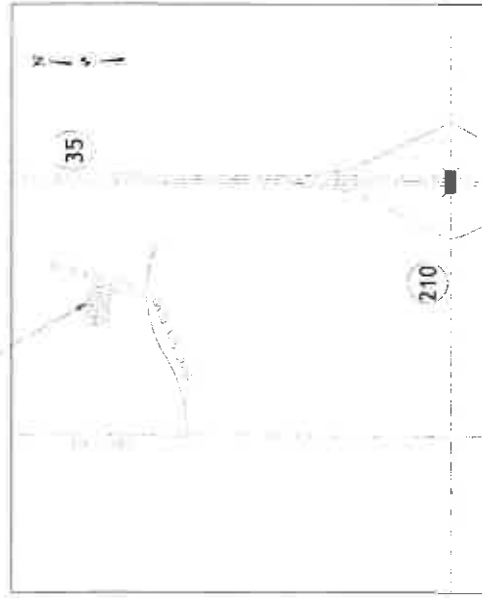
Cc: Luke Wall, Woodruff Construction



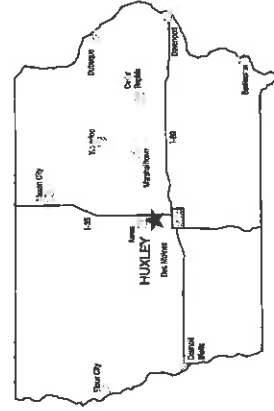
INNOVATIVE TECHNOLOGIES SITE PLAN HUXLEY, IOWA

WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH
THE IOWA STATEWIDE URBAN STANDARD
SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2017
EDITION (SUDAS) AND THE CITY OF HUXLEY STANDARD
SPECIFICATIONS

PROJECT LOCATION



VICINITY MAP
NOT TO SCALE



LOCATION MAP

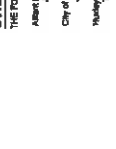
SHEET NO.	DESCRIPTION
C-100	TITLE SHEET
C-101	SYMBOLS, LEGEND AND GENERAL INFORMATION
C-110	EXISTING CONDITIONS & DEMOLITION PLAN
C-200	LAYOUT & UTILITY PLAN
C-300	GRADING PLAN
C-310	STORM WATER POLLUTION PREVENTION PLAN
C-400	LANDSCAPE PLAN
C-500-C-503	DETAILS

		I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer Under the laws of the State of Iowa.
Signature	Wendy M. Engelmann, PE	09/26/2017
Date	10/10/2017	DATE
My license renewal date is December 31, 2017.		C-100-C-503

CGA

Clappsaddle-Garber Associates, Inc.
1523 S. 84th Ave. Suite 101
Ames, Iowa 50010
Phone 515-282-1784
www.cgaassociates.com

LEGEND



LEGAL DESCRIPTION

SECTION 16, TOWNSHIP 36N, RANGE 14E, COUNTY OF HUNTER, IOWA

FIELD WORK COMPLETED: JUNE 17, 2017

DATE OF PREPARATION: SEPTEMBER 15, 2017

NOTES:

1. ALL BEARINGS ARE THE RESULT OF S.P.S. OBSERVATIONS.
2. ALL UNDERGROUND UTILITIES ON THIS SITE HAVE BEEN LOCATED AT 1/2" SCALE OF D SURVEY QUALITY.

CONTROL POINTS:

STATION	COORDINATES	DATE
1	1000000.00 500000.00 500000.00	08/15/17
2	1000000.00 500000.00 500000.00	08/15/17
3	1000000.00 500000.00 500000.00	08/15/17

PROPOSED USE:

1. ALL BEARINGS ARE THE RESULT OF S.P.S. OBSERVATIONS.

2. ALL UNDERGROUND UTILITIES ON THIS SITE HAVE BEEN LOCATED AT 1/2" SCALE OF D SURVEY QUALITY.

OWNER OF RECORD:

34 PARTNERS LLC
1200 WILSON AVENUE
HUNTER, IA 50548

SITE PLAN PREPARED BY:

CLAYTON & SONS ASSOCIATES, INC.
1000 S. 10TH AVENUE, SUITE 101
HUNTER, IA 50548

PROPOSED BUILDING:

TOTAL NUMBER OF BUILDINGS: 1
TOTAL FLOOR AREA: 10,000 SF
TOTAL LOT AREA: 10,000 SF
TOTAL LOT AREA: 10,000 SF
TOTAL LOT AREA: 10,000 SF

SYMBOLS, LEGEND, AND GENERAL INFORMATION

INNOVATIVE TECHNOLOGIES
HUNTER, IOWA

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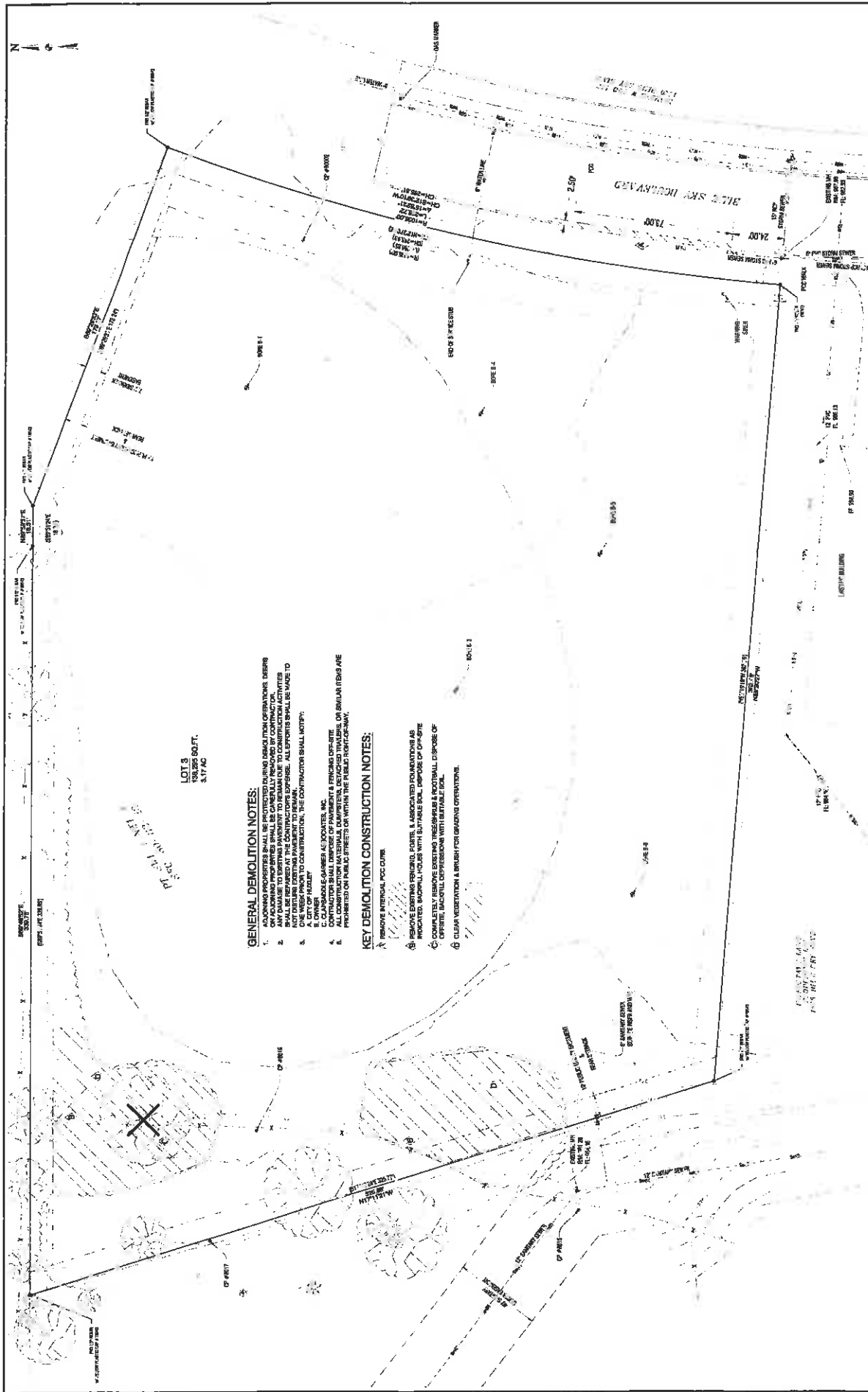
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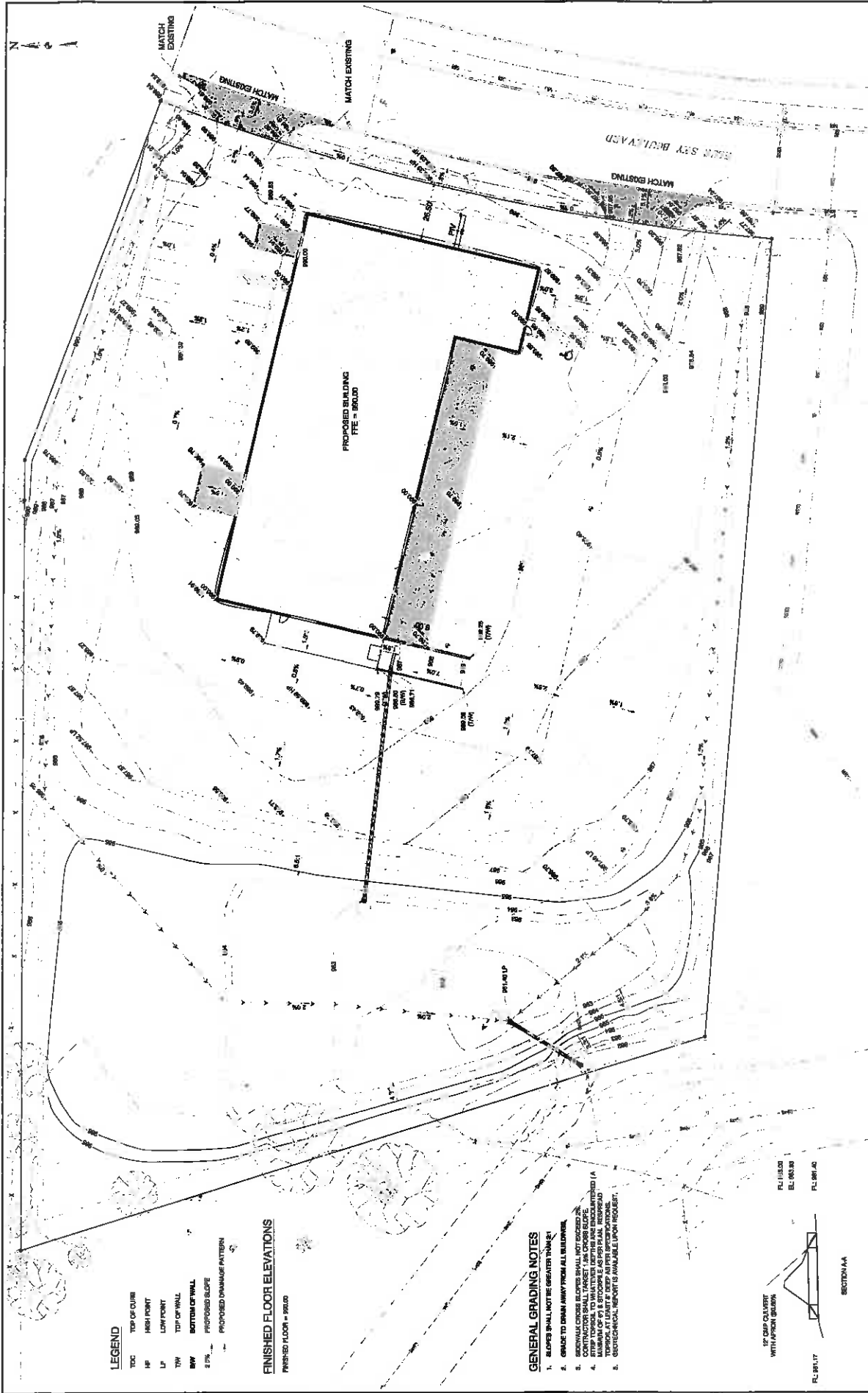


INNOVATIVE TECHNOLOGIES				EXISTING CONDITIONS & DEMOLITION PLAN			
HUXLEY, IOWA				PROJECT NO. 2110			
DATE: 10-25-17				DATE: 10-25-17			
CHECKED: MRS.				DATE: 10-25-17			
APPROVED: TNS				DATE: 10-25-17			



DESIGNED: TNS	DATE: 10-25-17
CHECKED: MRS.	DATE: 10-25-17
APPROVED: TNS	DATE: 10-25-17

PROJECT NO. 2110



LEGEND

TOP OF CURB	TOP OF WALL
ASH POINT	LOW POINT
LP	TOP OF WALL
THW	BOTTOM OF WALL
BMF	PROPOSED SLOPE
2.0%	PROPOSED DRAINAGE PATTERN

FINISHED FLOOR ELEVATIONS

FINISHED FLOOR = 50.00

GENERAL GRADING NOTES

1. SLOPES SHALL NOT BE GREATER THAN 5:1
2. GRADE TO DRAIN AWAY FROM ALL BUILDINGS
3. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%
4. STAIR TOSOLS TO WALKWAYS BEHIND AND ENCOURAGED (A MINIMUM OF 18" IS REQUIRED AS PER ILL. RESURFACING)
5. GEOTECHNICAL REPORT IS AVAILABLE UPON REQUEST

12" SAND CURB CUT
WITH 4" FIBER GLASS



SECTION A-A



GRAPHIC SCALE
0 20 40
0 10 20

PROJECT NO. 2020-001		SHEET NO. 1 OF 1		PROJECT NAME		GRADING PLAN	
DATE: 08-18-20		DESIGNED: JAM		CHECKED: MAB		APPROVED: UAB	
DATE: 08-18-20		DATE: 08-18-20		DATE: 08-18-20		DATE: 08-18-20	
PROJECT LOCATION		PROJECT LOCATION		PROJECT LOCATION		PROJECT LOCATION	
PROJECT LOCATION		PROJECT LOCATION		PROJECT LOCATION		PROJECT LOCATION	

INNOVATIVE TECHNOLOGIES
HUXLEY, IOWA

POLLUTION PREVENTION PLAN

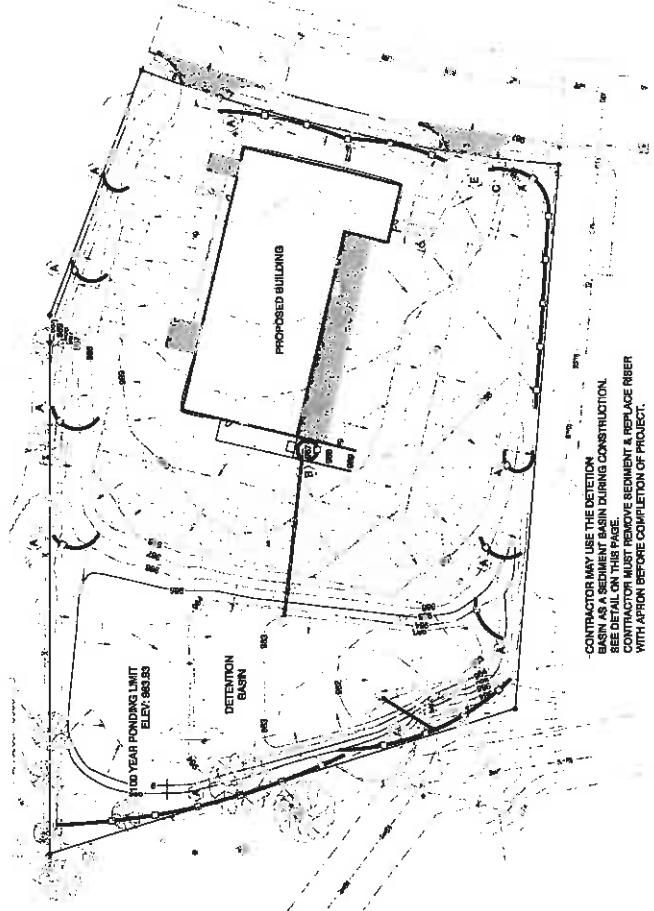
ALL CONTRACTORS/CONTRACTORS SHALL CONDUCT THEIR OPERATIONS IN A MANNER THAT MINIMIZES EROSION AND SLOPE FAILURE. THE POLLUTION PREVENTION PLAN (PPP) IS A REQUIREMENT OF THE STORY COUNTY ZONING ORDINANCE AND IS A PART OF THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT.

1. SITE DESCRIPTION
THE POLLUTION PREVENTION PLAN (PPP) IS FOR INNOVATIVE TECHNOLOGIES IN HUXLEY, IOWA INCLUDING DETENTION BASIN, GRADING, UTILITIES AND LANDSCAPING. THE PORTION OF THE PPP COVERED BY THIS CONTRACT HAS 3.17 ACRES BEING DISTURBED. THE PORTION OF THE PPP COVERED BY THIS CONTRACT HAS 3.17 ACRES BEING DISTURBED.

THE PPP IS LOCATED IN AN AREA OF CLASHING COLLECTOR WASTEWATER SOIL ASSOCIATION. THE ESTIMATED AVERAGE CURVE NUMBER FOR THIS PROJECT COMPLETION WILL BE 60.
REFER TO THIS SHEET, AND THE GRADING SHEETS FOR LOCATIONS OF TYPICAL SLOPES, DITCH GRADERS, AND MAJOR STRUCTURAL AND NONSTRUCTURAL CONTROLS. A COPY OF THIS PLAN WILL BE ON FILE AT THE PROJECT ENGINEER'S OFFICE. RUNOFF FROM THIS WORK WILL FLOW INTO CITY OF HUXLEY STORM SYSTEM.

2. POTENTIAL SOURCES OF POLLUTION
SOURCES OF POLLUTION GENERATED AS A RESULT OF THIS WORK RELATE TO SILTS AND SEDIMENT WHICH MAY BE TRANSPORTED AS A RESULT OF A STORM EVENT. HOWEVER, THIS PPP PROVIDES CONFORMANCE FOR OTHER MATERIALS AND POLLUTANTS THAT MAY BE TRANSPORTED BY THIS RUNOFF. THIS RUNOFF CAN CONTAIN VARIOUS POLLUTANTS RELATED TO SITE SPECIFIC LAND USES. EXAMPLES ARE:

RURAL AGRICULTURAL ACTIVITIES - RUNOFF FROM AGRICULTURAL LAND USE CAN POTENTIALLY CONTAIN CHEMICALS INCLUDING HERBICIDES, PESTICIDES, FUNGICIDES, AND FERTILIZERS.
COMMERCIAL AND INDUSTRIAL ACTIVITIES - RUNOFF FROM COMMERCIAL INDUSTRIAL AND COMMERCIAL LAND USE MAY CONTAIN CONSTITUENTS ASSOCIATED WITH THE SPECIFIC OPERATION. SUCH OPERATIONS ARE SUBJECT TO POTENTIAL LEAKS AND SPILLS WHICH COULD BE COMMINUED WITH RUNOFF FROM THE FACILITY. POLLUTANTS ASSOCIATED WITH COMMERCIAL AND INDUSTRIAL ACTIVITIES ARE NOT READILY AVAILABLE SINCE THEY ARE TYPICALLY PROPRIETARY.



CONTRACTOR MAY USE THE DETENTION BASIN FOR STORAGE OF MATERIALS DURING CONSTRUCTION. SEE DETAIL ON THIS PAGE.
CONTRACTOR MUST REMOVE SEDIMENT & REPLACE RIBER WITH APRON BEFORE COMPLETION OF PROJECT.

3. CONTROLS

PRIOR TO BEGINNING GRADING, EXCAVATION, OR CLEARING AND GRUBBING OPERATIONS, SILT FENCE SHALL BE PLACED ALONG THE PERIMETER OF THE AREAS TO BE DISTURBED AT LOCATIONS WHERE RUNOFF CAN MOVE OFFSITE. VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION SHALL BE PRESERVED. AS AREAS REACH THEIR FINAL LOCATION, SILT FENCE SHALL BE REMOVED. SLOPES SHALL BE PROTECTED WITH SILT FENCE OR EQUIVALENT AS DITCH CHECKS AND TO PROTECT INVADES. TEMPORARY STABILIZING MULCH SHALL BE COMPLETED AS THE DISTURBED AREAS ARE CONSTRUCTED. IF CONSTRUCTION ACTIVITY IS NOT PLANNED TO OCCUR IN A DISTURBED AREA FOR AT LEAST 21 DAYS, THE AREA SHALL BE STABILIZED BY TEMPORARY MULCHING WITHIN 14 DAYS. OTHER STABILIZING METHODS SHALL BE USED OUTSIDE THE SECOND PERIOD.

THIS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.

AS THE WORK PROGRESSES, ADDITIONAL EROSION CONTROL ITEMS SUCH AS STRAW BALE BARRIERS, GENERT TIES, AND OTHER APPROPRIATE MEASURES SHALL BE INSTALLED TO PROTECT THE AREAS OF THE PROJECT. THE MEASURES SHALL BE DETERMINED BY THE ENGINEER AFTER FIELD INVESTIGATION. THE CONSTRUCTION WILL BE COMPLETED WITH THE ESTABLISHMENT OF PERMANENT PERENNIAL VEGETATION OF ALL DISTURBED AREAS.

4. OTHER CONTROLS
IF UNLAWFUL CONSTRUCTION MATERIALS AND CONSTRUCTION MATERIALS SHALL COMPLY WITH APPLICABLE STATE AND LOCAL WASTE DISPOSAL, SANITARY ENGINEER, OR SEPTIC SYSTEM REGULATIONS. IN THE EVENT OF A CONFLICT WITH OTHER GOVERNMENTAL LAWS, RULES AND REGULATIONS, THE MORE RESTRICTIVE LAWS, RULES OR REGULATIONS SHALL APPLY.

5. APPROVED STATE OR LOCAL PLANS

DURING THE COURSE OF THE CONSTRUCTION, IT IS POSSIBLE THAT SITUATIONS WILL ARISE WHERE UNKNOWN MATERIALS WILL BE ENCOUNTERED. WHEN SUCH SITUATIONS ARE ENCOUNTERED, THEY WILL BE HANDLED ACCORDING TO ALL FEDERAL, STATE AND LOCAL REGULATIONS IN EFFECT AT THE TIME.

6. MAINTENANCE

THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES IN PROPER WORKING ORDER, INCLUDING CLEANING, REPAIRING, OR REPLACING THEM THROUGHOUT THE CONTRACT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THE FEATURES HAVE LOST 50% OF THEIR CAPACITY.

7. INSPECTIONS

INSPECTIONS SHALL BE MADE JOINTLY BY THE CONTRACTOR AND THE CONTRACTING AUTHORITY (IF APPLICABLE) EVERY SEVEN CALENDAR DAYS. THE CONTRACTOR SHALL IMMEDIATELY BEGIN CORRECTIVE ACTION ON ALL DEFICIENCIES FOUND. THE FINDINGS OF THIS INSPECTION SHALL BE RECORDED IN THE SWPPP DOCUMENT ON ALL PROJECT DAILY. THIS PPP MAY BE REVISED BASED ON THE FINDINGS OF THE INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POLLUTION PREVENTION PLAN (PPP) FOR THE PROJECT.

8. NON-STORM DISCHARGES

THIS INCLUDES SUBSURFACE DRAINAGE (I.E. LONGITUDINAL AND STANDARD SUBDRAINS), SLOPE DRAINS AND BRIDGE SLOPES. THE VELOCITY OF THE DISCHARGE FROM THESE FEATURES MAY BE CONTROLLED BY THE USE OF PATIO BLOCKS, COARSE STONE OR EROSION STONE.

9. GENERAL NOTES

A. THE ABOVE PLAN IS NOT THE COMPLETE STORM WATER PREVENTION PLAN (SWPPP), BUT RATHER A PART OF THE SWPPP THAT IS TO BE UPDATED REGULARLY BY THE CONTRACTOR. IT IS THE PRIME CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE SWPPP. THE SWPPP SHALL BE REVISED AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ANY DEFICIENCIES, CORRECTING THOSE DEFICIENCIES IMMEDIATELY AND DOCUMENTING SUCH WITH THE SWPPP. ALL EROSION CONTROL ITEMS EXCEPT THE TIEUP REINFORCEMENT MAT SHALL BE REMOVED AT THE END OF THE PROJECT.

B. ALL STOCK PILES NOT INTENDED TO BE REDISTRIBUTED IN 21 DAYS MUST BE REDEED OR OTHERWISE CONTROLLED WITH EROSION CONTROL FEATURES BY THE 14TH DAY AFTER STOCK PILING. STOCK PILE LOCATIONS SHALL BE APPROVED BY THE OWNER.

C. THE GENERAL CONTRACTOR SHALL PROVIDE CONTAINMENT OF ALL SOURCES OF POTENTIAL POLLUTION INCLUDING FUELING AREA, PORTABLE SANITARY FACILITIES, WASTE DEPOSITORY AREAS (JUMPSTER LOCATIONS), AND OTHER POLLUTION SOURCES. ALL AREAS WHERE CONCRETE TRUCKS ARE WASHED OUT SHALL BE DERIVED AND CONTAINED ON SITE. CONCRETE WASHOUT AREA SHALL BE CLEARLY MARKED AND THE CONTRACTOR SHALL MAINTAIN IT. ALL EROSION CONTROL DEVICES MUST BE MAINTAINED AS STATED IN THE POLLUTION PREVENTION PLAN.

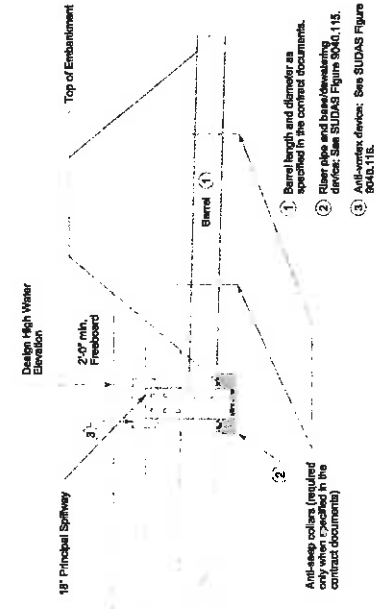
D. CONTRACTOR SHALL TAKE PRECAUTIONS TO INSURE THAT EQUIPMENT, VEHICLES, AND PLANTING OPERATIONS DO NOT DISTURB OR DAMAGE EXISTING GRADES, WALLS, DRAINS, PAVEMENT, UTILITIES, PLANTS, LAWNS, OR OTHER FEATURES. ANY DAMAGE TO EXISTING FEATURES SHALL BE REPAIRED, REPLACED, AND/OR RETURN TO ORIGINAL CONDITION ANY DAMAGED ITEM, WITHOUT ADDITIONAL COMPENSATION.

E. THE CONTRACTOR SHALL PREVENT ACCUMULATION OF EARTH, SILTATION, OR DERRIS ON ADJOINING PUBLIC OR PRIVATE PROPERTY FROM THE PROJECT SITE. REMOVE ANY ACCUMULATION OF EARTH OR DERRIS IMMEDIATELY. THE CONTRACTOR SHALL MAINTAIN THE PROJECT SITE IN A CONDITION OF PREVENTION, REPAIR, REPLACE, AND/OR RETURN TO ORIGINAL CONDITION, WITHOUT ADDITIONAL COMPENSATION.

F. THE COST FOR THIS WORK SHALL BE INCLUDED IN THE CONTRACTORS BASE BID.

10. CONSTRUCTION NOTES:

- INSTALL SILT FENCE OR COMPOST FILLER BOOK - TO BE REMOVED AT THE END OF THE PROJECT.
- INSTALL INLET PROTECTION - TO BE REMOVED AT THE END OF THE PROJECT.
- INSTALL CONCRETE WASHOUT AREA - TO BE REMOVED AND RESTORED AT THE END OF THE PROJECT.
- INSTALL EROSION MAT
- INSTALL FENCED CONSTRUCTION ENTRANCE



SEDIMENT BASIN WITHOUT EMERGENCY SPILLWAY

INNOVATIVE TECHNOLOGIES				STORM WATER POLLUTION PREVENTION PLAN			
HUXLEY, IOWA				PROJECTAL DESIGN DRAWING			
DATE: 08-17-2021	DATE: 08-17-2021	DATE: 08-17-2021	DATE: 08-17-2021	DATE: 08-17-2021	DATE: 08-17-2021	DATE: 08-17-2021	DATE: 08-17-2021
DESIGNED BY: [Signature]	CHECKED BY: [Signature]	APPROVED BY: [Signature]	DATE: 08-17-2021	DESIGNED BY: [Signature]	CHECKED BY: [Signature]	APPROVED BY: [Signature]	DATE: 08-17-2021
CITY OF HUXLEY				CITY OF HUXLEY			

PLANT SCHEDULE

KEY BOTANICAL NAME	COMMON NAME	QTY.	SIZE
Deciduous Overstory Trees			
AF Acer 'Emerald Green'	Emerald Maple	4	6" CMT. 30' APART
AS Acer 'Spartan'	Super Maple 'Full Frame'	2	1" CMT. 25' APART
Shrub			
SA Spiraea 'Branford Gold'	Gold Flame Spirea	12	43 (12' tall)
SA Spiraea 'Branford Gold'	Gold Flame Spirea	23	43 (12' tall)
Grass			
MS Miscanthus Sinensis	Flame Grass	4	8" CMT

LANDSCAPE CONSTRUCTION NOTES:

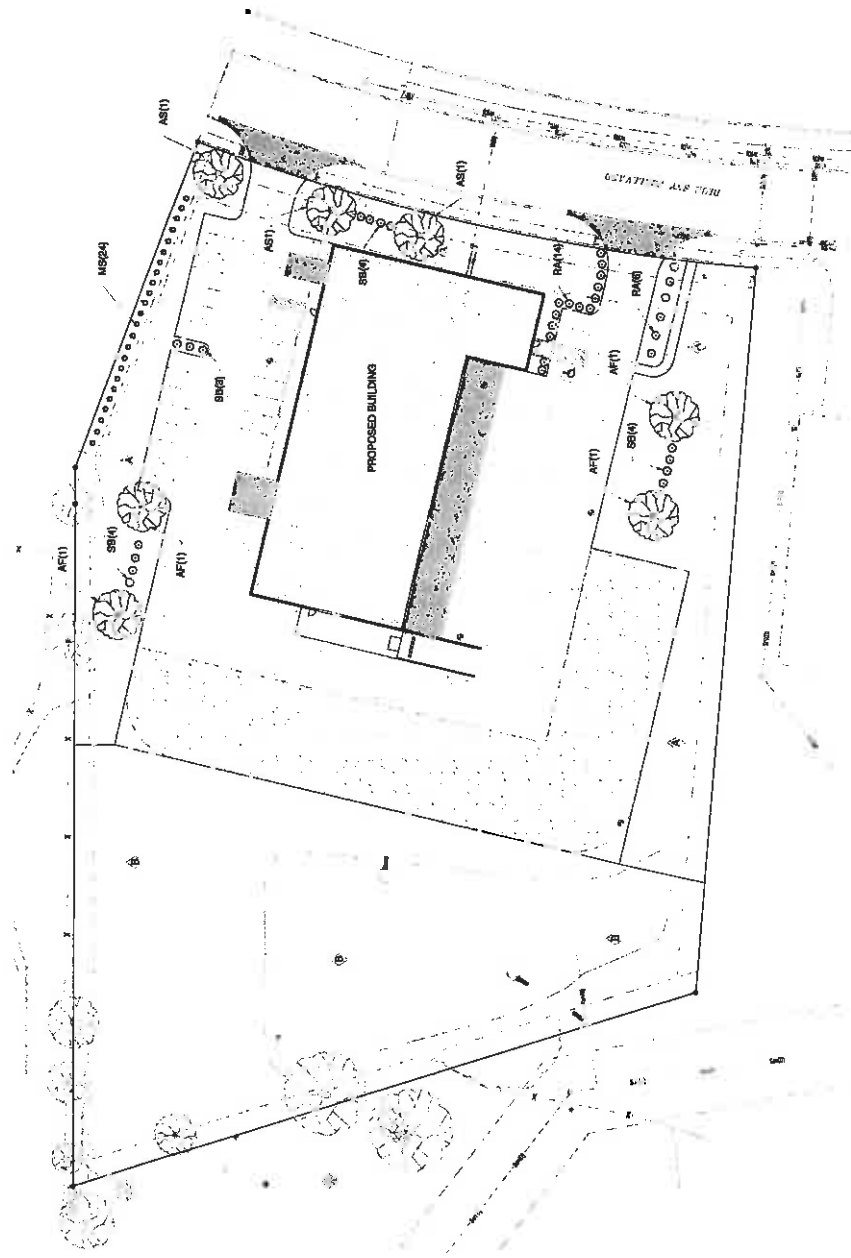
1. TYPE 1 LAWN MATERIAL
2. NATIVE GRASS MIX: BENTONITE GRASS

SITE INFORMATION:

TOTAL SITE AREA = 154,000 S.F.
 LANDSCAPE REMEDIATION AREA = 25,000 S.F. (16.2%)
 PAVED AREA = 12,000 S.F. (7.8%)
 PARKING LOT PAVED AREA = 25,000 S.F. (16.2%)
 DRIVEWAY = 17,000 S.F. (11.0%)
 TOTAL PAVED AREA = 44,000 S.F. (28.8%)
 REMAINING AREA = 110,000 S.F. (71.2%)

LANDSCAPE NOTES:

1. PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL REVEAL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND BIDDING BID ACCORDINGLY.
2. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 2". MULCH PRODUCTS ARE PROHIBITED.
3. PLANT MATERIALS SHALL BE OF THE HIGHEST QUALITY, TO AMERICAN STANDARDS FOR NURSERY STOCK, AND 200-200A, OR MOST RECENT EDITION.
4. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR ROCK CONDITIONS TO THE ENGINEER PRIOR TO THE START OF THE PROJECT. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND WILL BE A CONDITION OF THE PROJECT.
5. SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS UNAVAILABLE. ANY SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO THE START OF THE PROJECT. NAME AND VARIETY OF SUBSTITUTION TO THE ENGINEER FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT MATERIALS.
6. PLANT MATERIALS SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES WITH HAZARD OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES SPECIFIED. PLANT MATERIALS SHALL BE SUPPLIED IN QUANTITY AS SHOWN ON DRAWINGS.
7. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.



DATE	BY	REVISION	DATE
10/15/2014	10/15/2014		
10/15/2014	10/15/2014		
10/15/2014	10/15/2014		
10/15/2014	10/15/2014		



DESIGNED BY	CHECKED BY	DATE
10/15/2014	10/15/2014	10/15/2014
10/15/2014	10/15/2014	10/15/2014
10/15/2014	10/15/2014	10/15/2014

INNOVATIVE TECHNOLOGIES
 HUXLEY, IOWA

LANDSCAPING PLAN

PROJECT NO.	DATE
10/15/2014	10/15/2014
10/15/2014	10/15/2014
10/15/2014	10/15/2014

Prepared by John Haldeman, City Administrator, for the City Council meeting to be held on the 10th day of October, 2017.

RESOLUTION NO. 17-077

**RESOLUTION APPROVING SITE PLAN FOR A NEW BUILDING
FOR CONTINENTAL MANUFACTURING CHEMIST AT 1502 BLUE SKY BLVD.**

WHEREAS, Continental Manufacturing Chemist has submitted a site plan for an existing building, to be located at 1502 Blue Sky Blvd; and

WHEREAS, the Huxley Planning and Zoning Commission reviewed the site plan for this location at their October 2, 2017; and

WHEREAS, the Commission voted to recommend approval of the site plan to the Huxley City Council for their October 10, 2017 meeting with the understanding that parking for this site plan was based on the number of employees

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF HUXLEY, IOWA, that the Huxley City Council has reviewed said site plan and approves the site plan subject to the following conditions and/or waivers;

- 1.
- 2.
- 3.

Roll Call	Aye	Nay	Absent
Kevin Deaton	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Craig Hemmen	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dave Jensen	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Dave Kuhn	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tracey Roberts	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

PASSED AND APPROVED this ____ day of October, 2017.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-077** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this ___ day of October, 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk



VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

September 29, 2017

John Haldeman
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

HUXLEY, IOWA
CONTINENTAL MANUFACTURING CHEMIST (CMC)
1500 BLUE SKY COMMONS
SITE PLAN

We have reviewed the site plan for Continental Manufacturing Chemist (CMC) at 1500 Blue Sky Commons and find it acceptable.

However, the constituents proposed to be discharged into the sanitary sewer collection system are still being evaluated.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in black ink, appearing to read 'Forrest S. Aldrich', written over a light blue grid background.

Forrest S. Aldrich

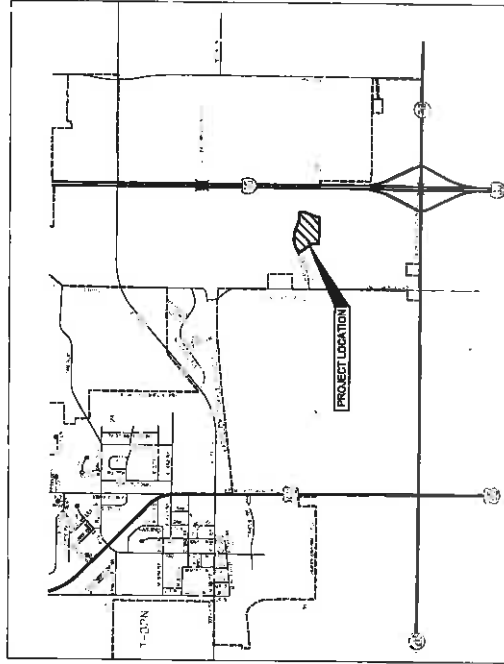
FSA:dml
45229-019

cc: Nate Easter, Easter & Associates (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Eric Cannon, Snyder & Associates (e-mail)

SITE PLAN

FOR

BLUE SKY COMMONS CITY OF HUXLEY, STORY COUNTY, IOWA



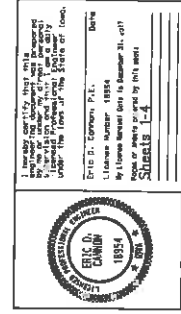
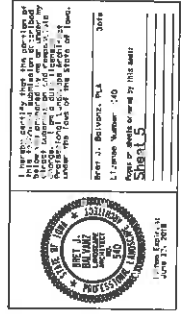
VICINITY MAP

NOT TO SCALE

INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
3. DIMENSION AND UTILITY PLAN
4. GRADING, STORM SEWER AND EROSION CONTROL PLAN
5. PLANTING PLAN

OWNER/DEVELOPER
INTERSTATE LAND PROPERTIES, LLC
PO BOX 575
JACKSONVILLE, FL 32202-0575
(904) 750-3400



Project No. 117.0852
Sheet 1 of 5
Snyder & Associates, Inc.
2727 S.W. Snyder Blvd.
Ankeny, Iowa 50023
515-944-2020 | www.snyder-associates.com

Project No. 117.0852
Sheet 1 of 5
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BLUE SKY COMMONS

DIMENSION AND UTILITY PLAN

SNYDER & ASSOCIATES, INC.

HUXLEY, IOWA
2722 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
2020 | www.snyder-associates.com

[illegible]

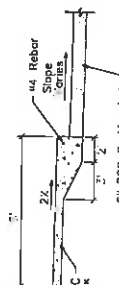
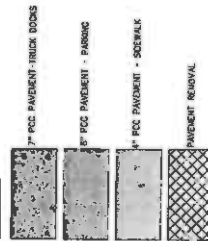
DIMENSION PLAN CONSTRUCTION NOTES

- PROTECT THE FOLLOWING:**
- A. EXISTING UTILITIES
 - B. EXISTING SIDEWALKS
 - C. EXISTING POLE PLANTING
 - D. EXISTING VEGETATION
 - E. EXISTING TREES
- DO NOT REMOVE THE FOLLOWING:**
- A. EXISTING SIDEWALKS
 - B. EXISTING POLE PLANTING
 - C. EXISTING TREES
 - D. EXISTING VEGETATION
- PAVEMENTS PROVIDE THE FOLLOWING:**
- A. 6" MINIMUM PREPARED SUBGRADE, WITH INTERLOCK CURB.
 - B. 4" ASPHALT PAVING STALL LINES.
 - C. 2" DEPTH FILL PAVEMENT
 - D. INTEGRAL CURBS AND WALLS SEE DETAIL.
- PAVEMENT MARKINGS PROVIDE THE FOLLOWING:**
- A. 4" WIDE PAINTED MARKING STALL LINES.
 - B. CENTER TURN ARROWS
 - C. PAINTED STATE OF OHIO APPROVED ACCESSIBLE PARKING SYMBOL.
- SIGNS PROVIDE THE FOLLOWING:**
- A. PROVIDE ONE ACCESSIBLE PARKING SIGNAGE AS FOR ADAAG REQUIREMENTS.
 - B. ALL SIGNS SHALL BE VISIBLE TO TRAFFIC FROM BOTH DIRECTIONS.
 - C. SIGNS SHALL BE MAINTAINED AND SERVICE LOG COORDINATE WITH MECHANICAL PLANS FOR RETAINED ELEVATION AND LOCATION INFORMATION.
- NOTE: ADAPTERS, PROVIDE THE FOLLOWING:**
- A. 8' HIGH CONCRETE WALL BY OTHER.
 - B. IRREGULAR.
 - C. COORDINATE STORM SEWER AND RETAINING WALL CROSSING WITH STRUCTURAL PLANS.

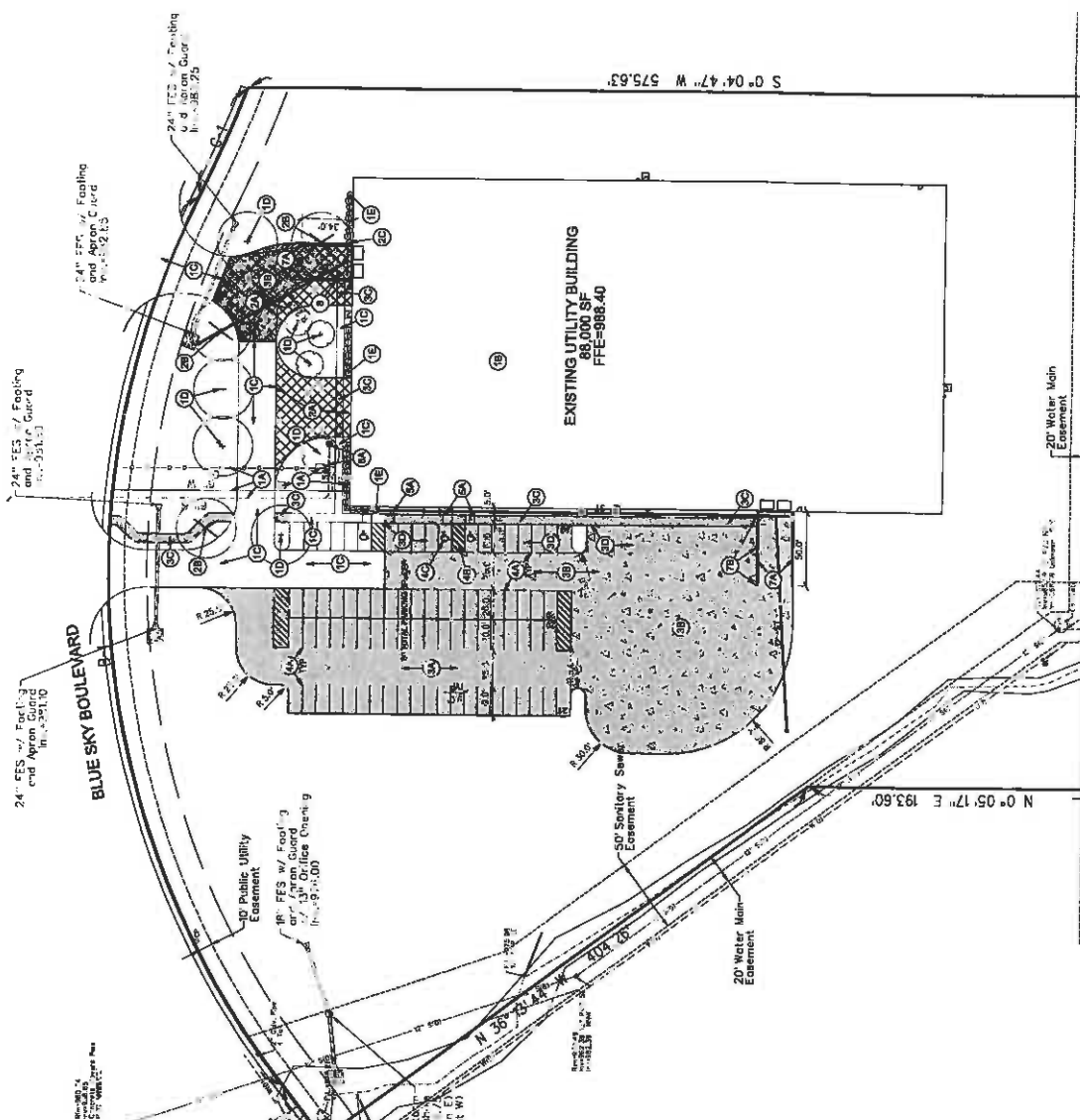
CURVE TABLE

CLAVE	DELTA	RAQU	ARC LENGTH	TANGENT	COORD. DE ARCADE (IN)
A-1	53° 58' 00" LT	1,535.00'	44.32'	72.27°	N 51° 04' 14" E 44.32'
B-1	53° 58' 00" LT	1,535.00'	530.85'	35.285°	N 84° 14' 01" E 508.57'
C-1	53° 58' 00" LT	1,535.00'	79.28'	39.68°	S 60° 30' 00" E 79.28'

LEGEND



1 INTEGRAL CURB AND WALK DETAIL
1 NO SCALE





September 28, 2017

Mr. John Haldeman
City Administrator
City of Huxley
515 N Main Avenue
Huxley, Iowa 50124-9416

RE: BLUE SKY COMMONS – SITE PLAN
COMMENT RESPONSE FOR TECHNICAL REVIEW COMMENTS

Dear John:

On behalf of Interstate Land Properties, LLC please find attached revised site development plan submittal for the Blue Sky Commons project. Included are the following items:

1. Revised Site Plan,
2. Storm Water Drainage Calculations

The following are our written responses to the September 25th, 2017 City comments letter:

1. There will be an average of 4 semis per day between 9am to 3:30pm.
2. A signage packet will be submitted by the owner at a later date.
3. Contractor to coordinate RPZ backflow for service and fire line as part of the building plans.
4. A sampling manhole has been shown in the site plan.
5. No parking lot lighting will be installed. There will only be wall packs.
6. A sidewalk from the right-of-way to front door has been provided.
7. The original storm water management report is included in this submittal.
8. There will be a total of 70 employees and 60 of which is for manufacturing building. As discussed, the site plan includes a total of 80 parking stalls which will provide 10 extra visitor spaces.

Please let me know if you have any questions or require further information. Thank you.


Sincerely,

SNYDER & ASSOCIATES, INC.

A handwritten signature in black ink, appearing to read 'Eric D. Cannon'.

Eric D. Cannon, P.E.

BLUE SKY COMMONS
HUXLEY, IOWA
DRAINAGE CALCULATIONS
PROJECT NO. 117.0852
September 20, 2017
Revised September 28, 2017

	<p>I hereby certify that this Engineering Document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the Laws of the State of Iowa.</p> <table><tr><td>Eric D. Cannon, P.E.</td><td>Date</td></tr><tr><td>License Number 18954</td><td></td></tr><tr><td>My License Renewal Date is December 31, 2017</td><td></td></tr><tr><td>Drainage Study</td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>	Eric D. Cannon, P.E.	Date	License Number 18954		My License Renewal Date is December 31, 2017		Drainage Study					
Eric D. Cannon, P.E.	Date												
License Number 18954													
My License Renewal Date is December 31, 2017													
Drainage Study													

PREPARED BY
SNYDER & ASSOCIATES, INC.
2727 SW SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020

NAME: Blue Sky Commons

NO. 117.0852

SUBJECT: Project Summary

DATE: 09/20/2017

BY LBM CK EDC

PAGE 1 OF

PROJECT SUMMARY

This storm water management plan is submitted in association with the Blue Sky Commons Site plan located in Huxley, Iowa. This report will analyze the storm water features needed for the proposed site improvements. The proposed improvements include docks and parking lot additions with associated storm sewer.

The existing site conditions consist of 8.14 acres of developed site which drains to the existing detention basin on the west side of the property. According to the Blue Sky Commons-Utility Building drainage report (S&A Project No. 110.0531), the proposed improvements were designed to flow to the west and into the detention basin.

The storm water management design took into consideration the required detention according to the 2017 SUDAS design manual standards. As previously mentioned, a detention basin was designed for the entire property to detain the 100-year post-developed storm event while releasing at the 5-year pre-developed release rate. The design for the basin assumed the site to have a total impervious area of 151,550 SF. With the proposed improvements, the site has a total impervious are of 149,360 SF which is less than the assumed area from the original design., The proposed improvements will not be increasing the runoff coefficient therefore, no additional detention will be required for the site.

APPENDIX

- Drainage Calculations for S&A Project No. 110.0531

APPENDIX

**STORM WATER DRAINAGE CALCULATIONS
FOR**

**BLUE SKY COMMONS – UTILITY BUILDING
STORY COUNTY, IOWA
PROJECT NO. 110.0531**

**August 6, 2010
Revised August 12, 2010**

Prepared by:

**SNYDER & ASSOCIATES, INC.
2727 SW Snyder Blvd.
Ankeny, Iowa 50023
(515) 964-2020**

PROJECT: BLUE SKY COMMONS – UTILITY BUILDING

NO. 110.0531

SUBJECT: DRAINAGE CALCULATIONS

DATE 08/06/10

BY EJN CK

PAGE 1 OF

SUMMARY: THIS STORM WATER MANAGEMENT PLAN IS SUBMITTED IN ASSOCIATION WITH THE BLUE SKY COMMONS – UTILITY BUILDING DEVELOPMENT

GIVEN: EXISTING UNDEVELOPED SITE WITH PROPOSED IMPROVEMENTS FOR SITE.
SITE GENERALLY FLOWS IN THE WESTERNLY DIRECTION.

DETERMINE: VOLUME REQUIRED FOR DETENTION BASIN.
OUTLET FOR THE BASIN (ORIFICE PLATE OPENING).
CULVERT SIZES REQUIRED TO CONVEY THE 100-YR STORM EVENT.

ASSUMPTIONS: $C_{H.SURFACE} = 0.95$, $C_{GREEN SPACE} = 0.35$
 $T_c = 5 \text{ MIN.} \Rightarrow I_5 = 5.28 \text{ IN/HR, } I_{100} = 9.48 \text{ IN/HR}$
 $T_c = 15 \text{ MIN.} \Rightarrow I_5 = 3.92 \text{ IN/HR, } I_{100} = 7.12 \text{ IN/HR}$

DETENTION:

TOTAL SITE AREA	516650 SF =	11.86 AC
DEVELOPED	318150 SF =	7.30 AC
FUTURE	162000 SF =	3.72 AC
UNDEVELOPED	36500 SF =	0.84 AC (NOT DETAINED)
DEVELOPED SITE	HARD SURFACE	151550 SF @ $C = 0.95$
	GREEN SPACE	166600 SF @ $C = 0.35$
	TOTAL	318150 SF @ $C = 0.57$ (Use 0.60)
FUTURE SITE (ASSUME 75% HARD SURFACE / 25% GREEN SPACE)	HARD SURFACE	121500 SF @ $C = 0.95$
	GREEN SPACE	40500 SF @ $C = 0.35$
	TOTAL	318150 SF @ $C = 0.80$ (Use 0.80)

DRAINAGE:

AREA #1	FUTURE - 43400 SF = 1.0 AC,
	DEVELOPED - 61500 SF = 1.41 AC
AREA #2	DEVELOPED - 26325 SF = 0.60 AC
$Q_{100,1} =$	FUTURE AREA $1.0 * 9.48 * 0.80 = 7.57 \text{ CFS}$
	DEVELOPED AREA $1.41 * 9.48 * 0.60 = 8.03 \text{ CFS}$
	$Q_{100,1} = 15.60 \text{ CFS}$
$Q_{100,2} =$	DEVELOPED AREA $0.60 * 9.48 * 0.60 = 3.44 + 15.60 = 19.04 \text{ CFS}$



ENGINEERS & PLANNERS
SNYDER & ASSOCIATES

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ST. JOSEPH, MO
(816) 364-5222

BLUE SKY COMMONS - UTILITY BUILDING

DETENTION REQUIREMENTS BASIN 1

PURPOSE: To develop detention volume required based on Design Engineer's Calculations.
 PRECIPITATION ZONE: 5
 TIME OF CONCENTRATION: 15 Min.

5 YEAR UNDEVELOPED FLOWS

DESIGN STORM 5 YR.
 RAINFALL INTENSITY 3.92 in/hr
 DRAINAGE AREA 11.02 Ac.
 COEFFICIENT 'C' 0.30

100 YEAR DEVELOPED NONDETAINED FLOWS

DESIGN STORM RUNOFF 100 YR.
 RAINFALL INTENSITY 7.12 in/hr
 DRAINAGE AREA 0.00 Ac.
 COEFFICIENT 'C' (COMPOSITE)

Hard Surface	0.95	0.00 Ac.
Green Space	0.35	0.00 Ac.
Additional Lot Area (East)	0.80	0.00 Ac.

DETAINED AREA

DRAINAGE AREA 11.02 Ac.
 COEFFICIENT 'C' (COMPOSITE) 0.69

Hard Surface	0.95	3.48 Ac.
Green Space	0.35	3.82 Ac.
Additional Lot Area (East)	0.80	3.72 Ac.

5 YEAR UNDEVELOPED FLOW

12.96 CFS

100 YEAR DEVELOPED NONDETAINED FLOW

0.00 CFS

MAX. ALLOWABLE RELEASE RATE

12.96 CFS

ADJUSTED RELEASE RATE

12.96 CFS

STORAGE VOLUME REQUIRED:

47,578 CF

1.09 Ac-ft

STORAGE VOLUME PROVIDED:

76,294 CF

1.75 Ac-ft

(100 Year)							
DURATION	I	C x A	Q	RUNOFF	RELEASE	STORAGE	
15	7.12	7.62	54.25	48822	11666	37156	
20	6.38	7.62	48.61	58331	15555	42776	
30	4.90	7.62	37.33	67199	23333	43866	
40	4.30	7.62	32.79	78689	31111	47578	
60	3.11	7.62	23.70	85302	46666	38636	
90	2.51	7.62	19.14	103370	68999	33372	
120	1.92	7.62	14.59	105050	93332	11719	
180	1.41	7.62	10.74	116022	139997	-23976	
210	1.31	7.62	10.00	126025	163330	-37305	
240	1.22	7.62	9.26	133363	186663	-53301	
270	1.12	7.62	8.52	138033	209996	-71963	
300	1.02	7.62	7.78	140037	233329	-93292	
330	0.92	7.62	7.04	139374	256662	-117288	
360	0.83	7.62	6.30	136044	279995	-143951	
390	0.80	7.62	6.08	142219	303328	-161109	
420	0.77	7.62	5.86	147599	326661	-179062	
450	0.74	7.62	5.64	152184	349994	-197809	
480	0.71	7.62	5.42	155976	373327	-217351	

Pipe Properties Calculator & Orifice Plate Design

PROJECT: BLUE SKY COMMONS - UTILITY BUILDING

Orifice Equation: $Q = C_d \cdot A \cdot (2 \cdot g \cdot h)^{1/2}$

1. Allowable Release Flow (Q): 12.96 cfs
2. Maximum (100 year) Head (h) Accumulation: 3.84 ft
3. Discharge Coefficient (0.60 - 0.68) 0.60 (Generally 0.60)

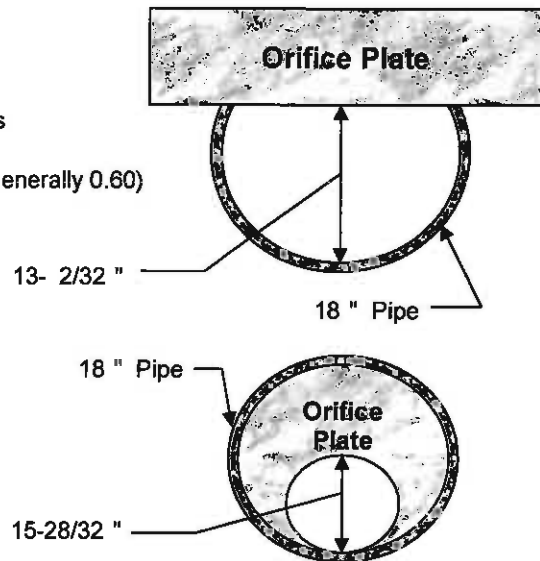
Solving for Area (A): 1.375 ft²

4. Area Value to Look Up 1.375 ft²

5. Cell Outlet Pipe Size: 18 in

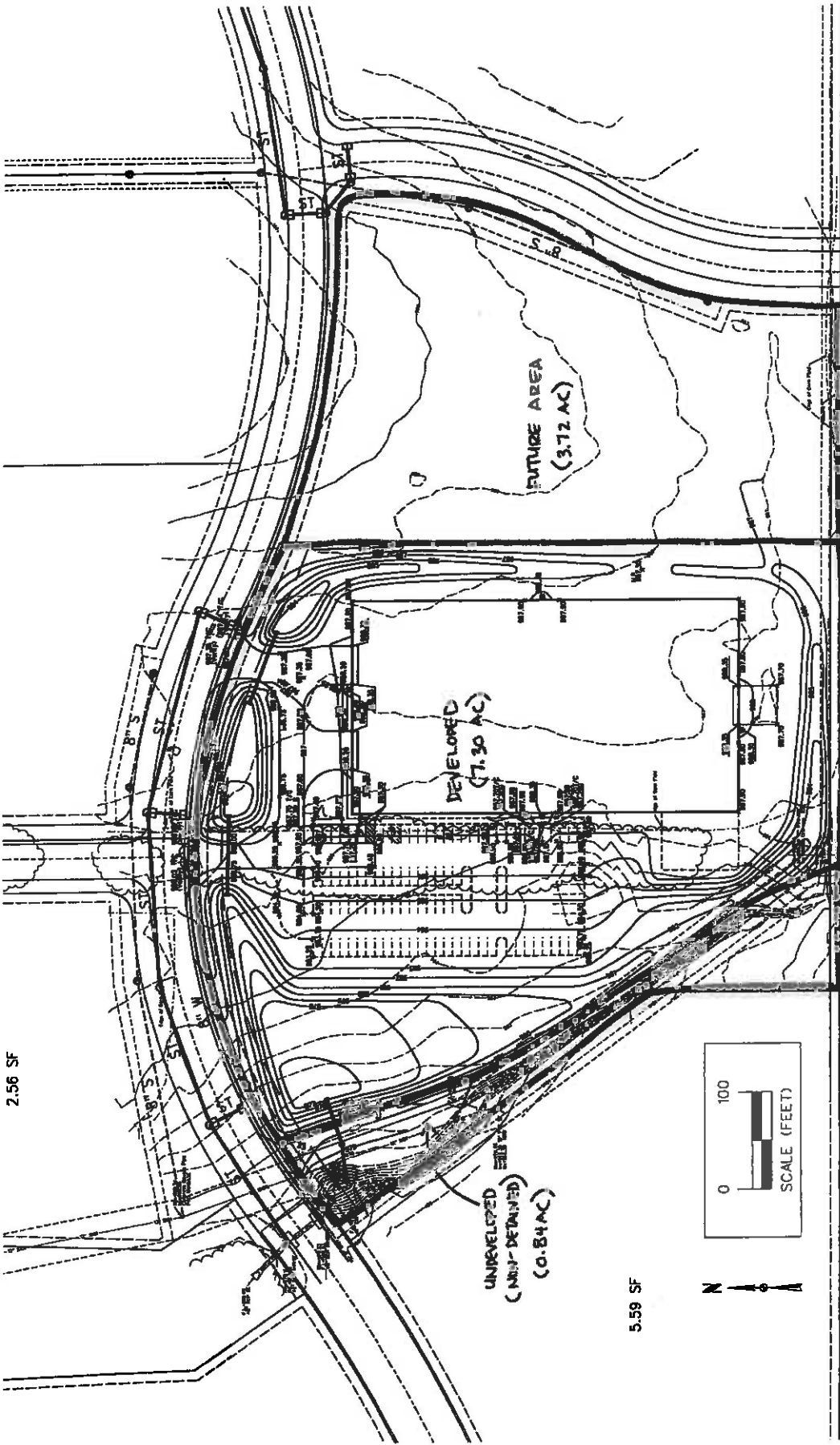
Interpolated Value for Depth = 13- 2/32 in

Circular Orifice Diameter: 15-28/32 in



Depth y (ft)	Depth y (in)	Angle θ	Area A (ft ²)	Wet Perim. P (ft)	AK ^{1/2}
1.000	12	3.821	1.2515	2.866	0.720
1.005	12 2/32	3.835	1.2586	2.877	0.725
1.010	12 4/32	3.850	1.2656	2.887	0.730
1.015	12 6/32	3.864	1.2726	2.898	0.735
1.020	12 8/32	3.878	1.2796	2.909	0.740
1.025	12 10/32	3.892	1.2866	2.919	0.745
1.030	12 12/32	3.907	1.2936	2.930	0.750
1.035	12 13/32	3.921	1.3005	2.941	0.755
1.040	12 15/32	3.936	1.3075	2.952	0.760
1.045	12 17/32	3.950	1.3144	2.963	0.765
1.050	12 19/32	3.965	1.3213	2.973	0.769
1.055	12 21/32	3.979	1.3281	2.984	0.774
1.060	12 23/32	3.994	1.3350	2.995	0.779
1.065	12 25/32	4.008	1.3418	3.006	0.784
1.070	12 27/32	4.023	1.3486	3.017	0.788
1.075	12 29/32	4.038	1.3554	3.028	0.793
1.080	12 31/32	4.053	1.3621	3.040	0.798
1.085	13 1/32	4.068	1.3688	3.051	0.802
1.090	13 3/32	4.083	1.3755	3.062	0.807
1.095	13 4/32	4.098	1.3822	3.073	0.811
1.100	13 6/32	4.113	1.3888	3.084	0.816
1.105	13 8/32	4.128	1.3955	3.096	0.820
1.110	13 10/32	4.143	1.4021	3.107	0.825
1.115	13 12/32	4.158	1.4086	3.119	0.829
1.120	13 14/32	4.173	1.4152	3.130	0.834
1.125	13 16/32	4.189	1.4217	3.142	0.838
1.130	13 18/32	4.204	1.4281	3.153	0.842
1.135	13 20/32	4.220	1.4346	3.165	0.847

Position	Area (ft ²)	y (in)
200	1.2515	12
201	1.2586	12 2/32
202	1.2656	12 4/32
203	1.2726	12 6/32
204	1.2796	12 8/32
205	1.2866	12 10/32
206	1.2936	12 12/32
207	1.3005	12 13/32
208	1.3075	12 15/32
209	1.3144	12 17/32
210	1.3213	12 19/32
211	1.3281	12 21/32
212	1.3350	12 23/32
213	1.3418	12 25/32
214	1.3486	12 27/32
215	1.3554	12 29/32
216	1.3621	12 31/32
217	1.3688	13 1/32
218	1.3755	13 3/32
219	1.3822	13 4/32
220	1.3888	13 6/32
221	1.3955	13 8/32
222	1.4021	13 10/32
223	1.4086	13 12/32
224	1.4152	13 14/32
225	1.4217	13 16/32
226	1.4281	13 18/32
227	1.4346	13 20/32



2.56 SF

5.59 SF

BLUE SKY COMMONS - UTILITY BUILDING
DETENTION AREA MAP

Continental Manufacturing Chemist

1502 Blue Sky Boulevard | Huxley, IA 50124

Project General Notes

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Item	Description	Quantity	Unit	Price	Total
1	Excavation and Backfill	1000	cuyd	1.50	1500.00
2	Foundation	100	sq ft	10.00	1000.00
3	Concrete Slab	1000	sq ft	1.00	1000.00
4	Reinforcing Steel	100	lbs	0.50	50.00
5	Formwork	100	sq ft	2.00	200.00
6	Gravel	1000	cuyd	1.00	1000.00
7	Asphalt	1000	cuyd	2.00	2000.00
8	Landscaping	100	sq ft	1.00	100.00
9	Paint	100	gals	1.00	100.00
10	Roofing	100	sq ft	1.00	100.00
11	Plumbing	100	ft	1.00	100.00
12	Electrical	100	ft	1.00	100.00
13	HVAC	100	ft	1.00	100.00
14	Interior Finishes	100	sq ft	1.00	100.00
15	Exterior Finishes	100	sq ft	1.00	100.00
16	Site Work	100	sq ft	1.00	100.00
17	Permits	100	sq ft	1.00	100.00
18	Insurance	100	sq ft	1.00	100.00
19	Bonding	100	sq ft	1.00	100.00
20	Contingency	100	sq ft	1.00	100.00
21	Subtotal				10000.00
22	Tax				1000.00
23	Total				11000.00

Vacinity Map



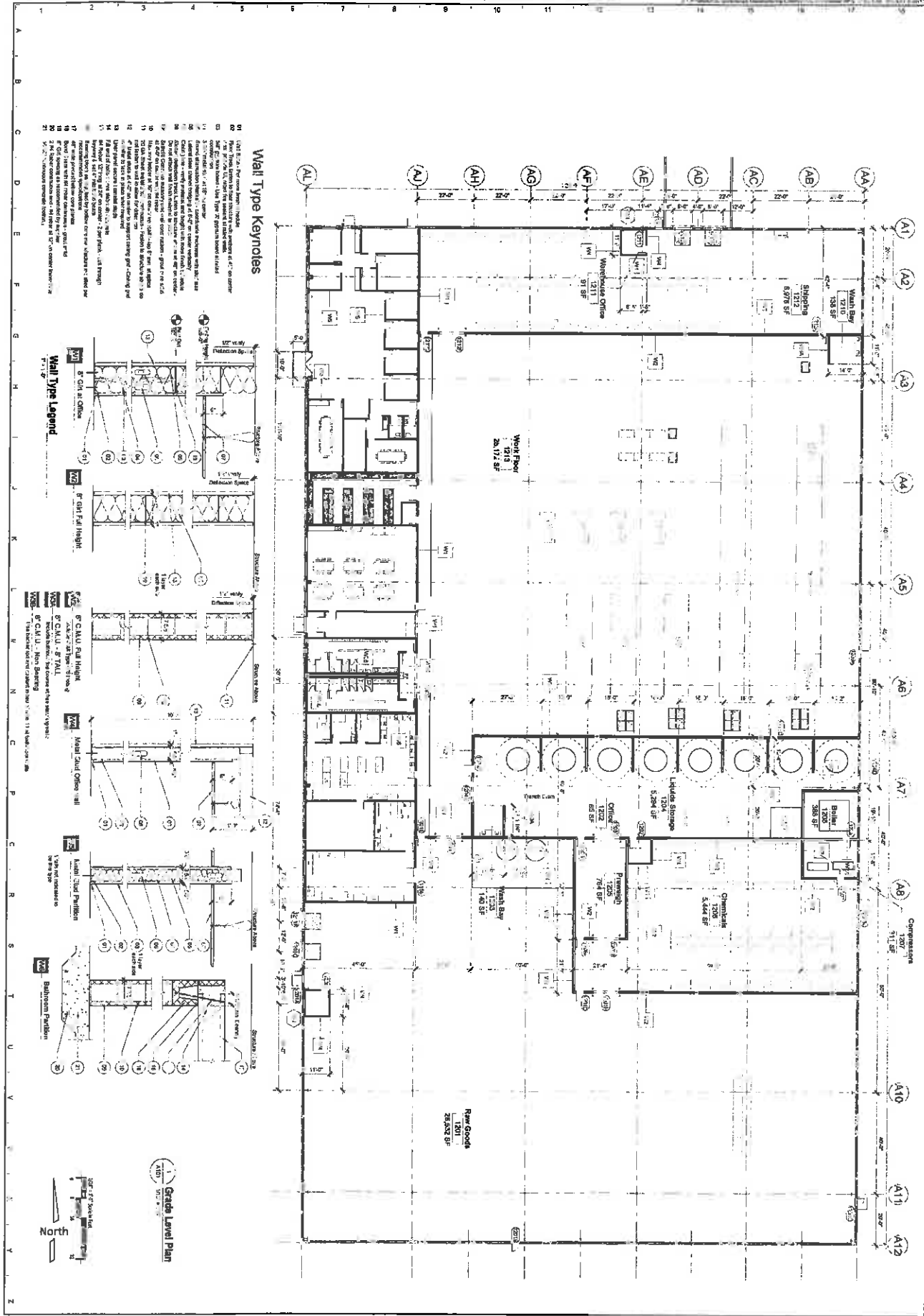
Drawing Index

Sheet	Description
1	General Information
2	Foundation
3	Concrete Slab
4	Reinforcing Steel
5	Formwork
6	Gravel
7	Asphalt
8	Landscaping
9	Paint
10	Roofing
11	Plumbing
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23	Total				11000.00

Continental Manufacturing Chemist

1502 Blue Sky Boulevard | Huxley, IA 50124



Continental Manufacturing Chemist

1502 Blue Sky Boulevard | Huxley, IA 50124

JEKIN BUILDERS, LTD.

1115 South Third Street
Des Moines, IA 50319
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Fax: (515) 281-2810

2007 US EPA A-List

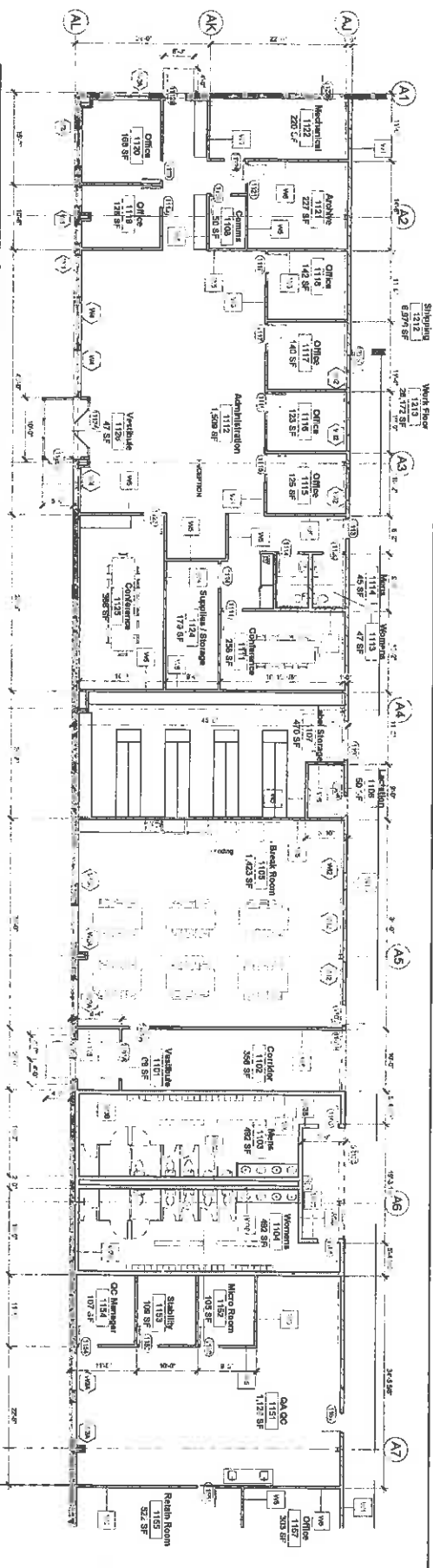
DESIGNER: JENSEN BUILDERS, LTD.
PROJECT NO: 7700
DESIGNED BY: MAF
CHECKED BY: MAF
DATE: 11/11/04
CONTRACT: JENSEN BUILDERS, LTD.
SHEET TITLE: Overall Floor Plan

SHEET NUMBER: **A101**

SHEET OF

2007 US EPA A-List

DESIGNER: JENSEN BUILDERS, LTD.



ROOM FINISH SCHEDULE

Room	Finish	Area	Notes
Medical	1102	200 SF	
Admin	1103	200 SF	
Office	1104	200 SF	
Conference	1105	200 SF	
Storage	1106	200 SF	
...

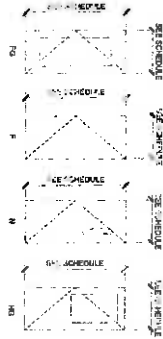
Door and Opening Schedule

Door	Opening	Area	Notes
1102	1103	200 SF	
1103	1104	200 SF	
1104	1105	200 SF	
1105	1106	200 SF	
...

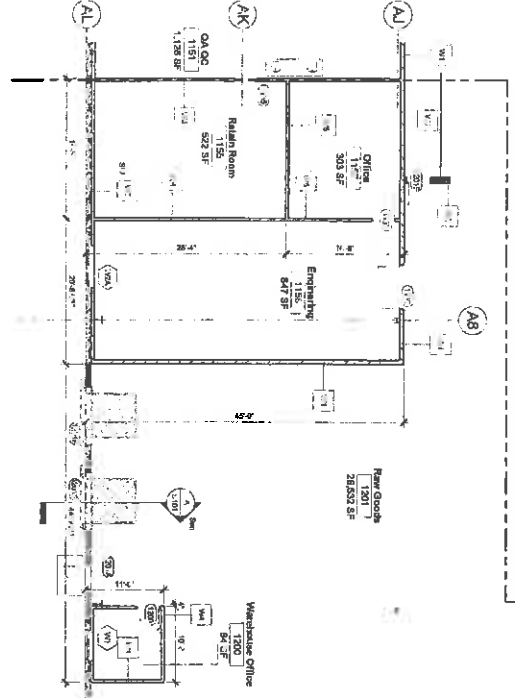
Door Frame Legend



Door Panel Legend



Office Floor Level



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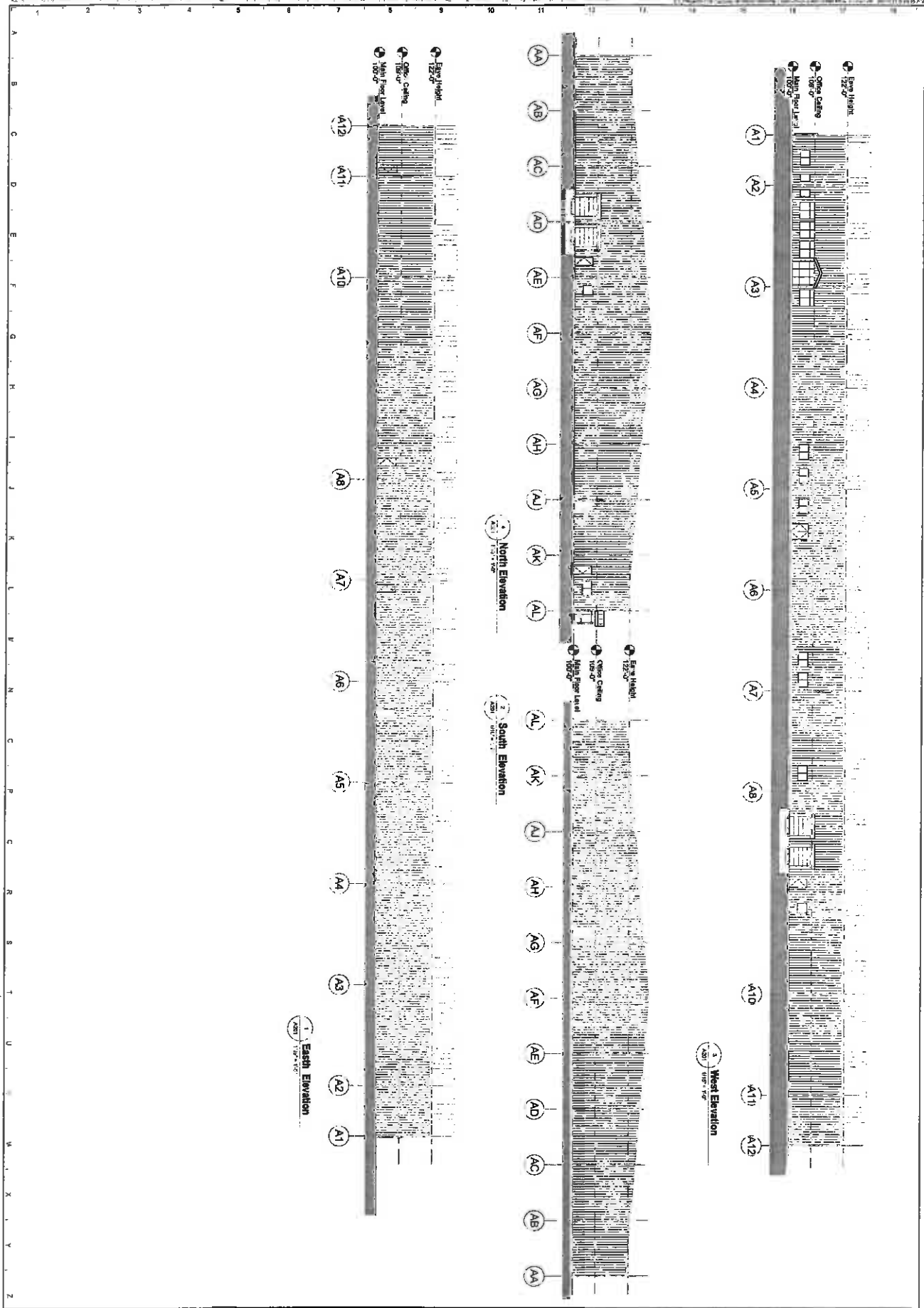
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JENSEN BUILDERS
JENSEN BUILDERS, LTD.
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Fax: (515) 775-5000
www.jensenbuilders.com

PROJECT: Continental Manufacturing Chemist
DATE: 10/1/2017
DESIGNED BY: JVS
CHECKED BY: JVS
APPROVED BY: JVS
DATE: 10/1/2017
PROJECT NO.: 2017-01-09-AM

SHEET NUMBER
A102

PROJECT: Continental Manufacturing Chemist
DATE: 10/1/2017
DESIGNED BY: JVS
CHECKED BY: JVS
APPROVED BY: JVS
DATE: 10/1/2017
PROJECT NO.: 2017-01-09-AM



Continental Manufacturing Chemist

1502 Blue Sky Boulevard | Huxley, IA 50124

JENSEN BUILDERS LTD
 1113 East 1st Street
 Huxley, IA 50124
 Phone: 515.292.2000
 Fax: 515.292.2000

Rev	Date	Description
1	01/11/11	Issued for Construction
2	01/11/11	Revised / Final Set
3	01/11/11	Revised / Final Set
4	01/11/11	Revised / Final Set
5	01/11/11	Revised / Final Set
6	01/11/11	Revised / Final Set
7	01/11/11	Revised / Final Set
8	01/11/11	Revised / Final Set
9	01/11/11	Revised / Final Set
10	01/11/11	Revised / Final Set
11	01/11/11	Revised / Final Set
12	01/11/11	Revised / Final Set

PROJECT NO: 720
 DRAWING NO: 100-000
 CHECKED BY: [Signature]
 DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 SHEET TITLE: [Blank]
 SHEET NO: [Blank]

SHEET NUMBER
A201
 SHEET 01

RESOLUTION NO. 17-078

**RESOLUTION APPROVING AMENDMENT TO BULK REGULATIONS
FOR LOT 53 IN PRAIRIE RIDGE PLAT 1 PUD.**

WHEREAS, the City Council of the City of Huxley believes it to be in the best interest of the City of Huxley to change the bulk regulations for Lot 53 in Prairie Ridge Plat 1 (“Property”) owned by the Prairie Drive LC; and

WHEREAS, the Property is included in the Prairie Ridge 1 PUD Development; and

WHEREAS, there is interest in redevelopment of the Property for Multifamily Residential usage, specifically with postage stamp development of row house units; and

WHEREAS, the City believes that development of the Property for Multifamily Residential usage with postage stamp development of row house units will further the objectives of the Council to preserve and create an environment which will protect the health, safety and general welfare of City residents and maintain taxable values, to encourage and support development which will enhance and make the best possible use of public facilities, resources and investments, and to provide housing that will meet the housing needs of the City of Huxley; and

WHEREAS, the City Planning and Zoning Commission has filed a report with the City Council recommending in favor of the proposed change in the bulk regulations.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Huxley, Iowa, that:

1. The bulk regulations for Lot 53 in Prairie Ridge Plat 1 owned by Prairie Drive LC, as shown on the PUD Master Plan for the Prairie Ridge 1 PUD Development, is hereby amended to the following:
 - a. Bulk regulations shall be as provided in section 165.24(2) of the Multifamily District regulations except with a minimum lot width of 32.00 feet and a minimum square footage of 1,700 square feet to allow for postage stamp development of row house units encompassed within the common lot to be owned and maintained by a home owners association.

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
David Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

PASSED AND APPROVED this 10th day of October 2017.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-078** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this 10th day of October 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk

ORDINANCE NO. 465

**AN ORDINANCE AMENDING THE MUNICIPAL CODE OF THE
CITY OF HUXLEY, IOWA, BY AMENDING THE ZONING
ORDINANCE TO ADD NEW SECTION 165.47 PROVIDING
REGULATIONS FOR SOLAR ENERGY SYSTEMS**

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF HUXLEY, IOWA:

Section 1: **Purpose.** The purpose of this Ordinance is to enact amendments to the Zoning Ordinance providing regulations for solar energy systems.

Section 2: **Amendment.** The Municipal Code of the City of Huxley, Iowa, be and it is hereby amended by the addition to the Zoning Ordinance of a new Section 165.47, entitled "Solar Energy Systems," the text of which provides as follows:

165.47 SOLAR ENERGY SYSTEMS

1. **Intent.** The intent of the regulations of this Section is to balance the need for clean, renewable energy resources with the need to protect the public health, safety and welfare. The regulations of this Section are found to be necessary to ensure that solar energy conversion systems are appropriately designed, sited and installed.
2. **Definitions.** For use in this Section, the following definitions shall be controlling:
 - A. **"Solar Energy System (SES)"** means an aggregation of parts including the base, supporting structure, photovoltaic or solar thermal panels, inverters and accessory equipment such as utility interconnect and battery banks, in such configuration as necessary to convert radiant energy from the sun into mechanical or electrical energy.
 - B. **"Large Solar Energy System (LSES)"** means a solar energy system that has a nameplate rated capacity of over fifteen kilowatts in electrical energy or fifty KBTU of thermal energy for nonsingle-family residential uses and districts and which is incidental and subordinate to a principal use on the same parcel. A system is considered an LSES only if it supplies electrical power or thermal energy solely for use by the owner on the site, except that when a parcel on which the system is installed also receives electrical power supplied by a utility company, excess electrical power generated and not presently needed by the owner for on-site use may be used by the utility company in accordance with section 199, chapter 15.11(5) of the Iowa Administrative Code, as amended from time to time.
 - C. **"Small Solar Energy System (SSES)"** means a solar energy system that has a nameplate rated capacity of up to fifteen kilowatts in electrical energy or fifty KBTU of thermal energy for residential uses and districts and that is incidental and subordinate to a principal use on the same parcel. A system is considered an SSES only if it supplies electrical power or thermal energy solely for use by the owner on the site, except that when a parcel on which the system is installed also receives electrical power supplied by

a utility company, excess electrical power generated and not presently needed by the owner for on-site use may be used by the utility company in accordance with section 199, chapter 15.11(5) of the Iowa Administrative Code, as amended from time to time.

D. “Solar Energy System, Building Mounted” means a SES that is securely fastened to any portion of a building roof, whether attached directly to a principal or accessory building.

E. “Solar Energy System, Ground Mounted” means a SES that is not located on a building and is installed on the ground.

F. “Total System Height for Building Mounted System” means the height above roof surface measured perpendicular to the roof specific to the installation on a sloped roof or the height above the roof surface specific to the installation on a flat roof.

G. “Total System Height for Ground Mounted System” means the height above grade from the highest point, including the supporting structure, related equipment and the collector panels. Adjustable angle systems shall be measured from the highest point when the system is at its maximum vertical extension.

H. “Off Grid” means an electrical system that is not connected to a utility distribution grid.

I. “Solar Access” means a property owner's right to have sunlight shine on his land.

J. “Solar Energy” means radiant energy received from the sun at wavelengths suitable for heat transfer, photosynthetic use or photovoltaic use.

K. “Solar Energy System, Building Integrated” means a solar photovoltaic system that is constructed as an integral part of a principal or accessory building and where the collector component maintains a uniform profile or surface with the building's vertical walls, window openings, and roofing. Such a system is used in lieu of an architectural or structural component of the building. A building integrated system may occur within vertical facades, replacing glazing or other facade material; into semitransparent skylight systems; into roofing systems, replacing traditional roofing materials; or other building or structure envelope systems. To be considered a building integrated solar energy system, the appearance of the collector components must be consistent with the surrounding materials.

L. “Utility Scale Solar Energy System” means a solar energy system that supplies electrical power or thermal energy solely for use by off-site consumers.

M. “Kilowatt” (kW) is equal to 1,000 watts.

N. “Watt” (W) is the International System of Units' standard unit of power, the equivalent of one joule per second.

3. Permitted SES. The following solar energy systems (SES) are permitted in all zoning districts within the City of Huxley, subject to the stated limitations:

A. A building integrated system.

B. A building mounted system attached to the roof of an accessory or primary structure.

- C. A ground mounted system as a detached accessory structure to a primary structure.
 - D. Large solar energy systems (LSES) are not allowed in A-1, R-1 and R-1A districts.
 - E. Utility scale solar energy systems are not allowed.
- 4. Building Permit Required. It shall be unlawful to construct, erect, install, alter or locate any solar energy system (SES) within the City of Huxley, unless approved with a building permit. The application for building permit shall include:
 - A. A site plan showing the location of the system on the site, the area of the base of the system and the total height of the system;
 - B. Standard drawings and dimensional representations of the system and all its components, including the supporting frame and footings;
 - C. A line drawing of the electrical components in sufficient detail to allow for a determination that the manner of installation conforms to the national electrical code; and
 - D. For systems to be mounted on existing buildings, an engineering analysis showing sufficient structural capacity of the receiving structure to support the SES per the applicable code regulations, certified by an Iowa licensed professional engineer.
 - 5. Compliance with All Governmental Regulations. The owner/operator of the SES shall obtain any other permits required by other federal, state and local agencies/departments prior to erecting the system.
 - 6. Installation and Certification. Installation shall be subject to certification by the City building inspector. Installation must be done according to manufacturer's recommendations. All work must be completed according to the applicable building, fire and electric codes. All electrical components must meet code recognized test standards.
 - 7. Color. The base of the SES shall be a neutral color. All surfaces shall be non-reflective to minimize glare that could affect adjacent or nearby properties. Measures to minimize nuisance glare may be required including modifying the surface material, placement or orientation of the system, and if necessary, adding screening to block glare.
 - 8. Lighting. No lighting other than required safety lights or indicators shall be installed on the SES.
 - 9. Signage. No advertising or signage other than the manufacturer's identification logo shall be permitted on the SES.
 - 10. Maintenance. The SES shall be well maintained in an operational condition that poses no potential safety hazard. Should the SES fall into disrepair and be in such dilapidated condition that it poses a safety hazard or would be considered generally offensive to the senses of the general public, the SES may be deemed a public nuisance and will be subject to abatement as such.
 - 11. Displacement of Parking Prohibited. The location of the SES shall not result in the net loss of minimum required parking.

12. Utility Notification. No SES that generates electricity shall be installed until evidence has been given that the utility company has been informed of and is in agreement with the customer's intent to install an interconnected customer owned generator. Off grid systems shall be exempt from this requirement.
13. Interconnection. The SES, if interconnected to a utility system, shall meet the requirements for interconnection and operation as set forth by the utility and the Iowa Utilities Board.
14. Restriction on Use Of Energy Generated. An SES shall be used exclusively to supply electrical power or thermal energy for on-site consumption, except that excess electrical power generated by the SES and not presently needed for on site use may be used by the utility company in accordance with section 199, chapter 15.11(5) of the Iowa Administrative Code.
15. Shutoff. A clearly marked and easily accessible shutoff for any SES that generates electricity will be required as determined by the Fire Marshal.
16. Electromagnetic Interference. All SESs shall be designed and constructed so as not to cause radio and television interference. If it is determined that the SES is causing electromagnetic interference, the operator shall take the necessary corrective action to eliminate this interference including relocation or removal of the facilities, subject to the approval of the appropriate city authority. A permit granting an SES may be revoked if electromagnetic interference from the SES becomes evident.
17. Solar Access Easements. The enactment of this Section does not constitute the granting of an easement by the city. The owner/operator may need to acquire covenants, easements, or similar documentation to assure sufficient solar exposure to operate the SES unless adequate accessibility to the sun is provided by the site. Such covenants, easements, or similar documentation is the sole responsibility of the owner/operator. Should the owner/operator pursue a solar access easement, the extent of the solar access should be defined and the easement document executed in compliance with the regulations contained in Iowa Code chapter 564A (access to solar energy).
18. Removal. If the SES remains nonfunctional or inoperative for a continuous period of one year, the system shall be deemed to be abandoned. The owner/operator shall remove the abandoned system at their expense. Removal of the system includes the entire structure, collector panels and related equipment from the property excluding foundations. Should the owner/operator fail to remove the system, the SES will be considered a public nuisance and will be subject to abatement as such.
19. Nonconforming Systems. An SES that has been installed on or before the effective date of this Section and is in active use and does not comply with any or all of the provisions of this Section shall be considered a legal nonconforming structure under the provisions of the Zoning Ordinance.
20. Unsafe Condition: Nothing in this Section shall be deemed to prevent the strengthening or restoring to a safe condition of any SES or associated building or structure, or any part thereof, declared to be unsafe by the appropriate authority.

21. Bulk Regulations.

A. Location.

(1) No more than one SES may be placed on any zoned lot unless otherwise specifically approved by the City Council.

(2) No SES shall be constructed within twenty feet laterally from an overhead electrical power line, excluding secondary electrical service lines or service drops.

(3) Ground Mounted SES.

(a) No part of an SES shall be located within or over drainage, utility or other established easements, or on or over property lines.

(b) The SES shall be located in accordance with the regulations for detached accessory structures in Zoning Ordinance or not less than one foot from the property line for every one foot of the system height measured at its maximum height, whichever is most restrictive.

(c) A LSES shall not be located in the front yard setback.

(d) A SES shall not be located in any required buffer.

(e) The setback from underground electric distribution lines shall be at least five feet.

(f) No SES shall be located which may obstruct vision between a height of thirty inches and ten feet on any corner lot within a vision triangle of twenty-five feet formed by intersecting street right of way lines.

(4) Building Mounted SES.

(a) The SES shall be set back not less than one foot from the exterior perimeter of the roof for every one foot the system extends above the parapet wall or roof surface.

(b) Should the SES be mounted on an existing structure that does not conform to current setback requirements, the SES shall be installed to meet the current setback requirements applicable to the structure.

(c) The SES shall be designed to minimize its visual presence to surrounding properties and public thoroughfares. Panel arrangement shall take into account the proportion of the roof surface, and panels shall be placed in a consistent manner without gaps unless necessary to accommodate vents, skylights or equipment.

(d) Access pathways for the SES shall be provided in accordance to all applicable building, fire and safety codes.

(e) The SAS shall be located in such a manner that fall protection railings are not required or are not visible from the public thoroughfare.

(5) Building Integrated SES:

- (a) No setback required.
- (b) Access pathways for the SES shall be provided in accordance to all applicable building, fire and safety codes.
- (c) The SES shall be located in such a manner that fall protection railings are not required or are not visible from the public thoroughfare.

B. Height.

(1) Ground Mounted SES. The maximum height of the SES shall not exceed eighteen feet in height as measured from existing grade.

(2) Building Mounted SES.

- (a) The collector panel surface and mounting system shall not extend higher than eighteen inches above the roof surface of a sloped roof.
- (b) The collector panel surface and mounting system shall not extend higher than seven feet above the roof surface of a flat roof.

(3) Building Integrated SES: The collector panel shall maintain a uniform profile or surface with the building's vertical walls, window openings, and roofing.

C. Size.

(1) Size of the SES is calculated by measuring the total surface area of the collector panels for the system.

(2) Ground Mounted SES.

- (a) In A-1, R-1 and R-1A districts, the SES is restricted in size to no more than the allowed area for detached accessory structures on the specific property. The SES would be included in the collective total of all detached accessory structures.
- (b) In all other zoning districts, the SES is restricted in size to no more than fifty percent of the area of the footprint of the largest primary structure.

(3) Building Mounted SES. System size will be determined by the available roof area subject to the installation, minus the required setbacks or access pathways.

(4) Building Integrated SES: System size will be determined by the available building surface area subject to the installation, minus the required access pathways.

Section 3: Repealer. All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed.

Section 4: Savings Clause. If any provision, section, subsection, sentence, clause, phrase or part of this Ordinance shall be adjudged invalid or unconstitutional, such adjudication shall not affect the validity of the Ordinance as a whole or any provision, section, subsection, sentence, clause, phrase or part hereof not adjudged invalid or unconstitutional.

Section 5: Violations and Penalties. Any violation of the provisions of this Ordinance shall be a municipal infraction and shall be punishable as set forth in Chapter 3 of the Municipal Code of the City of Huxley, Iowa.

Section 6: Other Remedies. In addition to the provisions set out in the Violations and Penalties Section herein, pursuant to Section 165.44 of the Zoning Ordinance, the City may proceed in law or in equity against any person, firm or corporation for violation of any section or subsection of this Ordinance.

Section 7: Effective Date. This ordinance shall be in full force and effect after its passage, approval and publication as provided by law.

PASSED AND APPROVED this _____ day of _____, 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk

Publication Date: _____

Record Of Vote

First Reading _____ (Date)

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
David Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

Second Reading _____ (Date)

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
David Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

Third Reading _____ (Date)

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
David Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

RESOLUTION NO. 17-079

**RESOLUTION APPROVING TRANSFER OF REAL PROPERTY BY HUXLEY
DEVELOPMENT CORPORATION IN EXCHANGE FOR RELEASE OF DEBT
EVIDENCED BY PROMISSORY NOTE**

WHEREAS, on August 8, 2017, the City Council of the City of Huxley ("City") directed staff to begin the process of Huxley Development Corporation ("HDC") transferring approximately 28 acres of real estate to the City in exchange for release of the debt owed by HDC to the City; and

WHEREAS, HDC provided an updated abstract that has been examined by the City attorney, provided evidence of release of the Consumers Energy mortgage, provided evidence of payment of the 2016-2017 real estate taxes and a check for the prorated 2017-2018 taxes; and

WHEREAS, HDC has provided fully executed transfer documents that have been reviewed and approved by the City Attorney; and

WHEREAS, the City Council believes it to be in the best interest of the City to accept the real estate in exchange for the debt owed by HDC to the City.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Huxley, Iowa that the City staff is authorized and directed to complete the transaction in accordance with standard real estate practices and state law requirements.

That the Mayor is authorized and directed to sign the Release of Memorandum of Promissory Note, and the City Clerk is further authorized and directed to record the aforementioned document to evidence release of the debt and complete the transaction with Huxley Development Corporation.

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
David Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

PASSED AND APPROVED this ____ day of October 2017.

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-079** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this ____th day of October 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk

PUBLIC SAFETY

RESOLUTION NO. 17-080

**RESOLUTION APPROVING APPOINTMENT OF A MEMBER AND AN
ALTERNATE MEMBER TO THE POLK COUNTY JOINT E-911 SERVICE BOARD**

WHEREAS, the Polk County Joint 911 Service Board enables the orderly development, installation and operation of 911 emergency telephone communications systems and other emergency 911 notification devices;

WHEREAS, the Polk County Board of Supervisors shall maintain a Joint 911 Service Board; and

WHEREAS, the Joint 911 Service Board shall annually submit a listing of members, to include the political subdivision they represent; and

WHEREAS, the board members shall be the liaison between their jurisdiction and the board.

NOW, THEREFORE, BE IT RESOLVED THAT Garrett Fagen (NAME) be appointed as primary member; and

BE IT FURTHER RESOLVED THAT Scott Herman (NAME) be appointed as alternate member; and

BE IT FURTHER RESOLVED that the Member or Alternate Member(s) attend the Board meetings on behalf of the City of Huxley, Iowa.

PASSED, ADOPTED AND APPROVED this ____th day of October, 2017

Roll Call	Aye	Nay	Absent
Kevin Deaton	_____	_____	_____
Craig Hemmen	_____	_____	_____
David Jensen	_____	_____	_____
Dave Kuhn	_____	_____	_____
Tracey Roberts	_____	_____	_____

APPROVAL BY MAYOR

I hereby approve the foregoing **Resolution No. 17-080** by affixing below my official signature as Mayor of the City of Huxley, Iowa, this ___th day of October 2017.

Craig D. Henry, Mayor

ATTEST:

Jolene Lettow, City Clerk