



**PLANNING & ZONING COMMISSION MEETING
HUXLEY CITY HALL COUNCIL CHAMBERS**

**MONDAY JUNE 20, 2022
6:00 P.M.**

AGENDA

1. Roll Call
2. Motion to approve the minutes from the May 16, 2022 Planning & Zoning Commission Meeting
3. Public Comments (5-minutes limit for items not on this agenda)
4. Business Items
 - a. Ankeny Lawn & Landscape Site Plan
 - b. Fjord Plaza Plat 1 Preliminary Plat
 - c. Fjord Plaza Plat 1 Final Plat
5. Informational Items for Planning & Zoning Consideration/Input
 - a. Huxley Code of Ordinances Chapter 166.20 Street Standards and 166.21 Block and Lot Standards <https://huxleyiowa.org/code-of-ordinances-huxley-code/>
 - b. Development Concept-120 Acres, Vicinity of WHY 69 and South Main Avenue
 - c. Huxley Comprehensive Plan-City Council
6. Planning and Zoning Commission Comments
 - a. Next meeting is Monday July 18 at 6 PM.
8. Adjournment

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

Huxley Planning & Zoning Commission Minutes

May 16, 2022

Chairman Roger Bierbaum called the meeting to order at 6:00 P.M.

ROLL CALL: Bierbaum, Murphy, Patterson, Schonhorst, Mosher, Frantz present. Ebel absent.

CITY STAFF PRESENT: Amy Kaplan – Zoning Clerk, Rita Conner- City Administrator.

CONSULTANTS PRESENT: None

GUESTS PRESENT: None

MINUTES APPROVAL: Motion by Patterson, second by Frantz to approve the minutes from the April 18, 2022 meeting. 6 Aye. 0 Nay. MCU.

PUBLIC COMMENTS: None

BUSINESS ITEMS:

Wood Creek Subdivision Preliminary Plat-Story County 2 Mile Review Plat: The Commission reviewed the subdivision and finds it acceptable. Motion by Mosher, second by Patterson to recommend approval to City Council. Mosher, Frantz, Murphy, Bierbaum, Patterson, Schonhorst voted yes. MCU.

City Council referral to P & Z : 507 Timberlane Driveway Paving: After discussion, it was decided that the shortest distance required to pave would be from US HWY 69, to the garage. Motion by Schonhorst, second by Murphy to recommend paving of the driveway from US HWY 69 to the garage only. Mosher, Frantz, Murphy, Bierbaum, Patterson, Schonhorst voted yes. MCU

DISCUSSION ITEMS: None

INFORMATIONAL ITEMS/CITY ADMINISTRATOR COMMENTS:

Future Agenda Items Update: Development south of Huxley city limits on the west side of US HWY 69.

Council Action Update: Conner gave a re-cap of the action taken at the City Council Meetings on topics that were discussed at Planning & Zoning.

PLANNING AND ZONING COMMISSION COMMENTS:

- Next meeting will be in person on Monday June 20th in the Huxley City Council Chambers.
- Paving will begin at Blue Sky Estates yet this year.
- Kimberly Development has decided not to purchase Steve Quick's land at this time. Further discussion to be had between both parties.
- Access to Westview development should be revisited.
- Street width and no driveways on arterials/main collector streets should be a focus point when new development proposals are made.
- Following the construction of a new Public Works facility, the old plant should be demolished, and discussions had on what to do with the land.
- A flag and a light are needed on the flagpole at The Landing.
- A fountain in the pond at The Landing would be a great addition to welcome people into Huxley.
- Trail, grading and native plantings are the plans for the triangle of land remaining next to The Landing.

- Conner will send an email to the Commission regarding the top 5 items Council will focus on which were a result of their goal setting session.
- R1A discussion will be continued.

ADJOURNMENT: Motion – Schonhorst, second-Frantz to adjourn meeting at 6:54 P.M. 6 ayes, 0 nays. MCU.

Amy Kaplan, Zoning Clerk

Roger Bierbaum, Chairman

Date of Approval

PLANNING & ZONING COMMISSION COMMUNICATION

AGENDA HEADING:

Ankeny Lawn & Landscaping Site Plan

SYNOPSIS:

Ankeny Lawn & Landscaping (STR Holdings, LLC 2912 NW Sharmin Drive Ankeny, Iowa 50023) <https://www.ankenylawn.com/about/> has submitted materials for review of a site plan for development in the Blue Sky Business Park off 560th Avenue and Blue Sky Blvd.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=4&PageID=1108&KeyValue=1430100010>

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

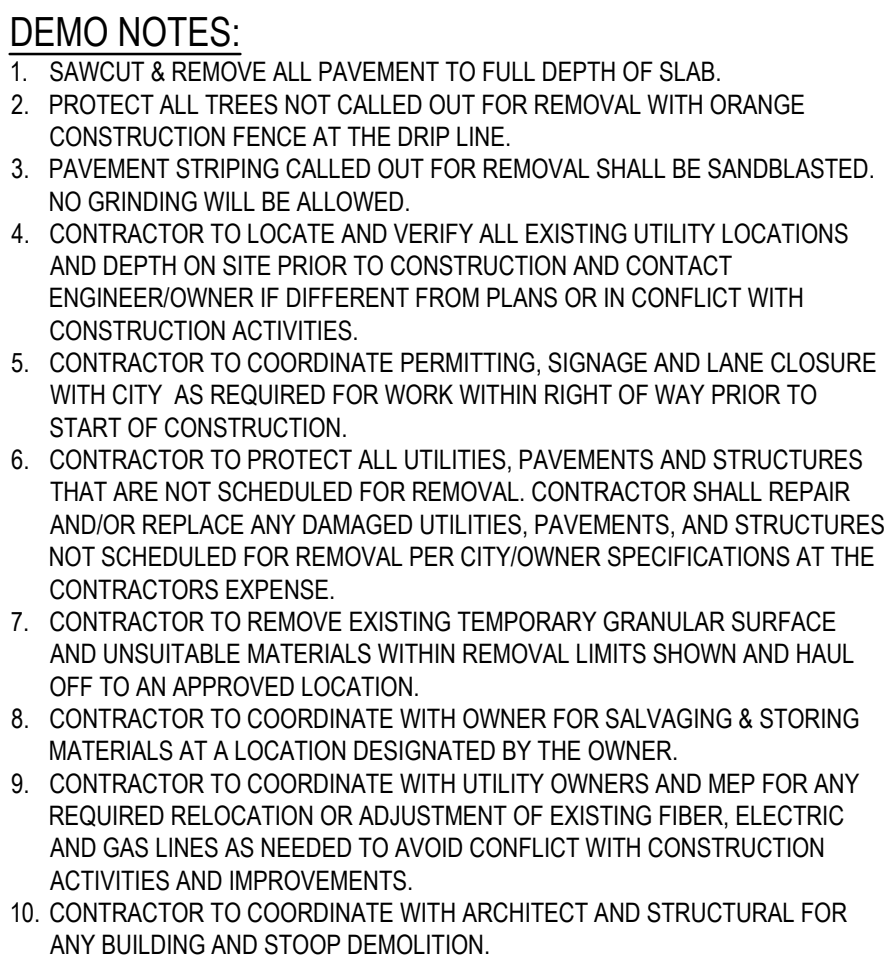
- The business was relocated abruptly from an Ankeny location when a land sale was eminent. The company acquired the site in Huxley and moved their equipment and personnel to the location over the winter 21-22. Staff has been working with the company to operate in a temporary fashion, while requiring good stewardship of the site and surrounding area.
- The company proposes to operate from a temporary storage container until they construct a permanent building, planned for 2023. Elevations for this future building and a date certain for construction initiation should be provided, as well as intent for site access, current and future surface material application timing.

RECOMMENDATION: Review comments were provided by City staff and V &K with the initial submittal. Approval is recommended for the site plan if comments have been addressed.

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- City Council review of Planning & Zoning Commission recommendation for the project.

COVER SHEET



PAVEMENT
REMOVAL LIMITS



REFERENCE NUMBER:

DRAWN BY:
GSA

CHECKED BY
SVS

REVISION DATE:
1st City Sub 2022-05-02
2nd City Sub 2022-06-06

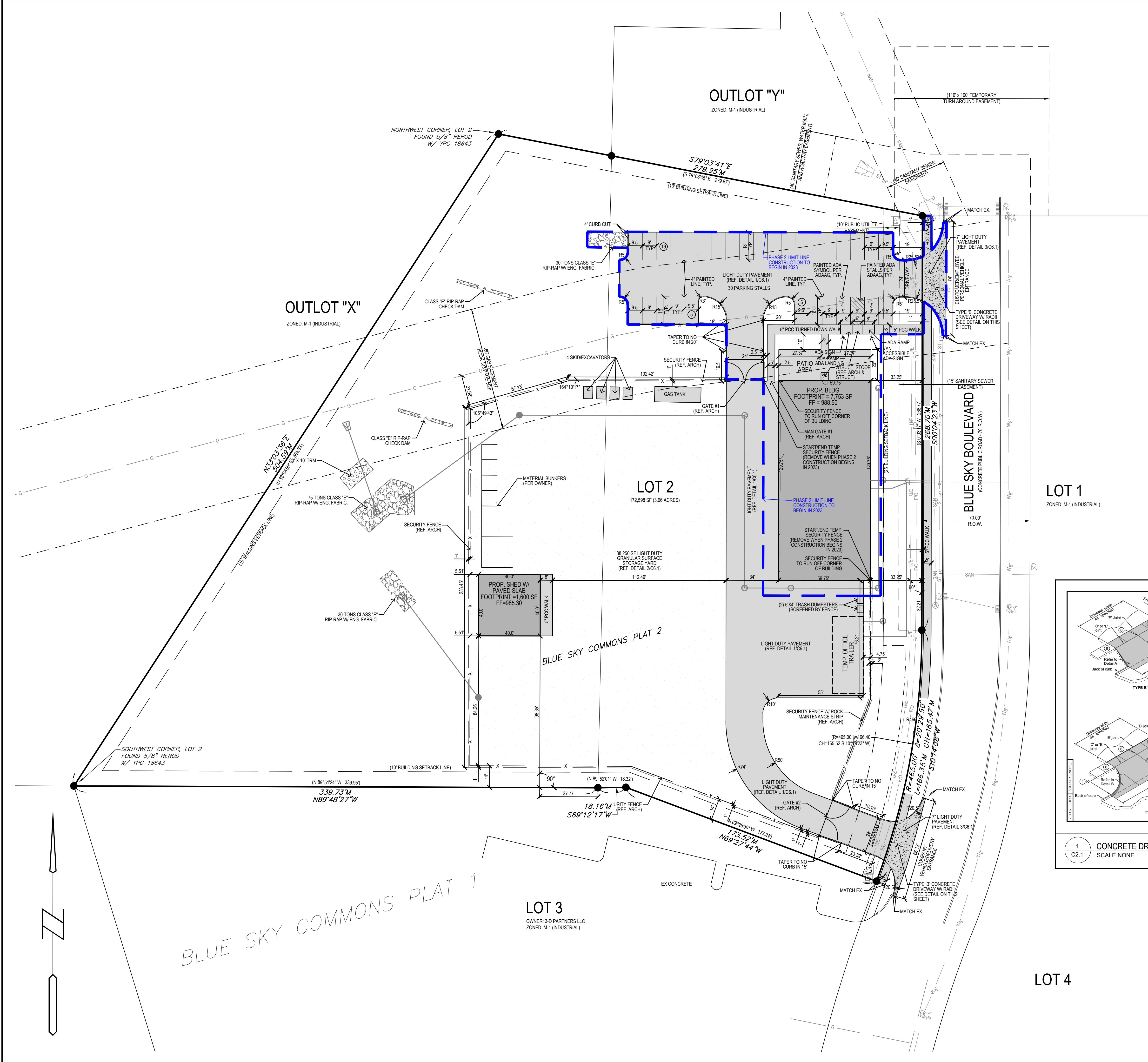
PROJECT NUMBER:
210346

SHEET NUMBER:

C1.1

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0200

Civil Engineering & Land Surveying



GENERAL NOTES:

- CONTRACTOR TO PROVIDE GRADATION TESTING FOR EVERY 200 TONS OF GRANULAR MATERIAL DELIVERED TO THE SITE. GRADATION TESTING IS TO BE CONDUCTED AND REVIEWED BY GEOTECHNICAL FIRM PRIOR TO GRANULAR MATERIAL BEING INSTALLED.
- IF GRANULAR MATERIAL ARE INSTALLED THAT DO NOT MEET THE APPROVED GEOTECHNICAL REPORT AND SPECIFICATIONS, THE CONTRACTOR SHALL AT THEIR OWN EXPENSE, REMOVE AND REPLACE THE DEFICIENT GRANULAR MATERIAL PER SPECIFICATION.
- THE CONTRACTOR SHALL PROVIDE A PERMANENT AND TEMPORARY CONSTRUCTION FENCE PHASING PLAN TO THE OWNER'S REPRESENTATIVE THAT MEETS THE REQUIREMENTS TO PROTECT THE GENERAL PUBLIC AND SECURES THE SITE DURING CONSTRUCTION ACTIVITIES. ANY ADJUSTMENT OR REPAIR TO THE PERMANENT AND TEMPORARY CONSTRUCTION FENCE SHALL BE INCIDENTAL TO THE PROJECT.
- CONTRACTOR TO REMOVE AND REPLACE FENCE AS NEEDED TO ACCOMMODATE PHASING AND CONSTRUCTION ACTIVITIES.

PAVEMENT & ASPHALT PLACEMENT NOTES:

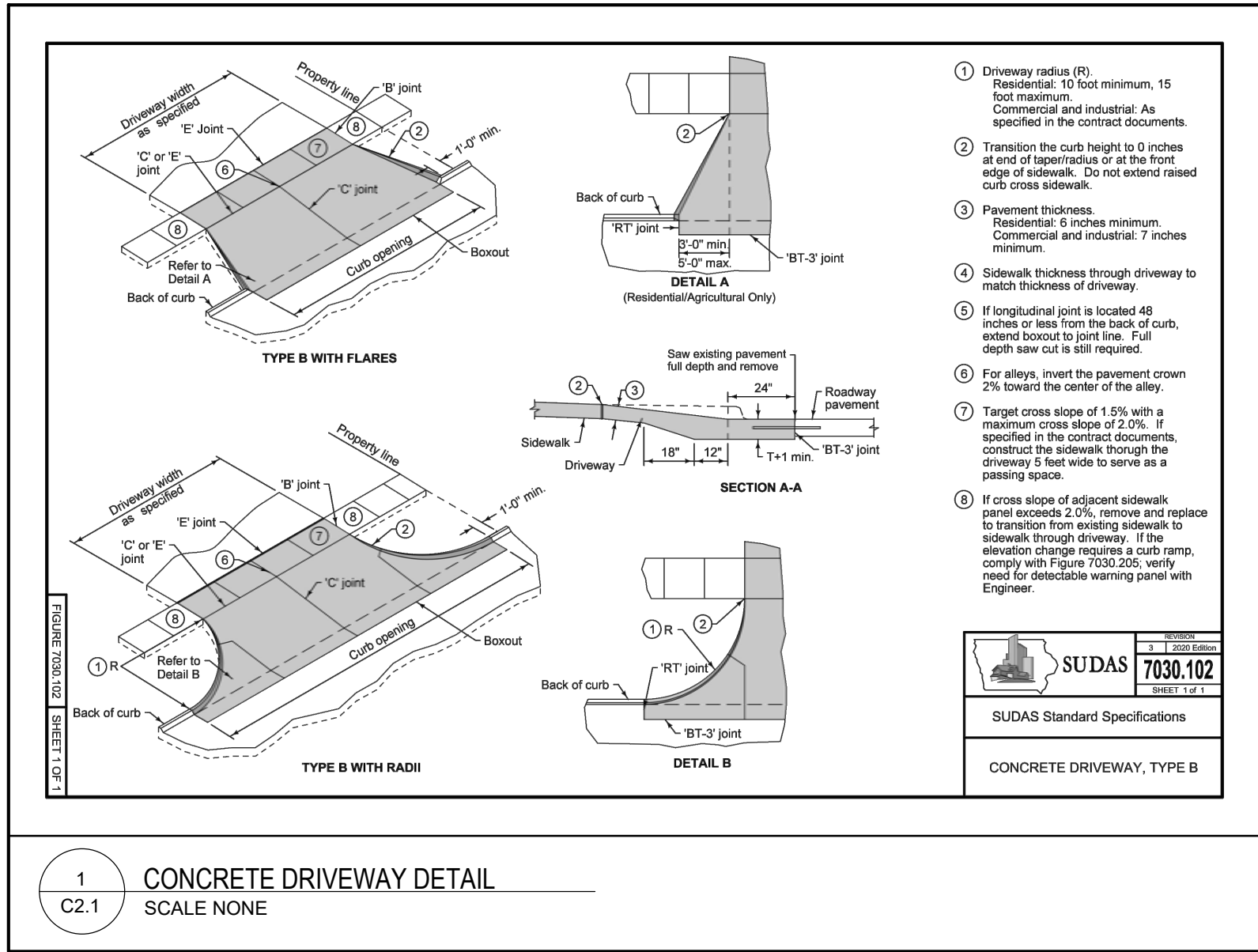
- SEE PROJECT SPECIFICATION 32.13.13 FOR ADDITIONAL INFORMATION ON LASER SPORED REQUIREMENTS.
- CONTRACTOR TO CONNECT TO EXISTING PCC PAVEMENTS WITH IOWA SUDAS TYPICAL BT JOINT.
- CONTRACTOR TO REPLACE PCC PAVEMENTS FOR STORM SEWER INSTALLATION PER SUDAS. CONTRACTOR TO REPLACE PAVEMENTS WITH A MINIMUM THICKNESS THAT IS 1" GREATER THAN THE EXISTING PAVEMENT THICKNESS.

BUILDING & STRUCTURAL NOTES:

- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
- CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOP LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.

PAVEMENT LEGEND:

	LIGHT DUTY P.C.C. PAVEMENT (REF. SHEET C6.1/DETAIL 1)
	LIGHT DUTY GRANULAR SURFACE (REF. SHEET C6.1/DETAIL 2)
	7' LIGHT DUTY P.C.C. PAVEMENT (REF. SHEET C6.1/DETAIL 3)



ANKENY LAWN CARE
HUXLEY, IOWA

REFERENCE NUMBER:

DRAWN BY:
GSA

CHECKED BY:
SVS

REVISION DATE:
1st City Sub 2022-05-02
2nd City Sub 2022-06-06

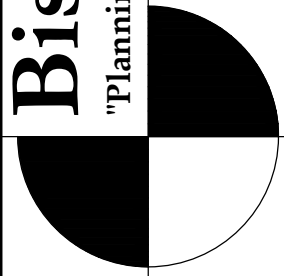
PROJECT NUMBER:
210346

SHEET NUMBER:

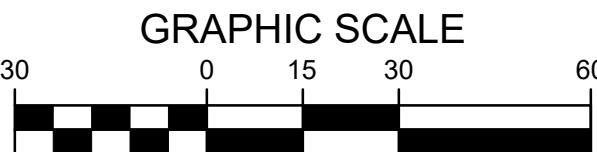
C2.1

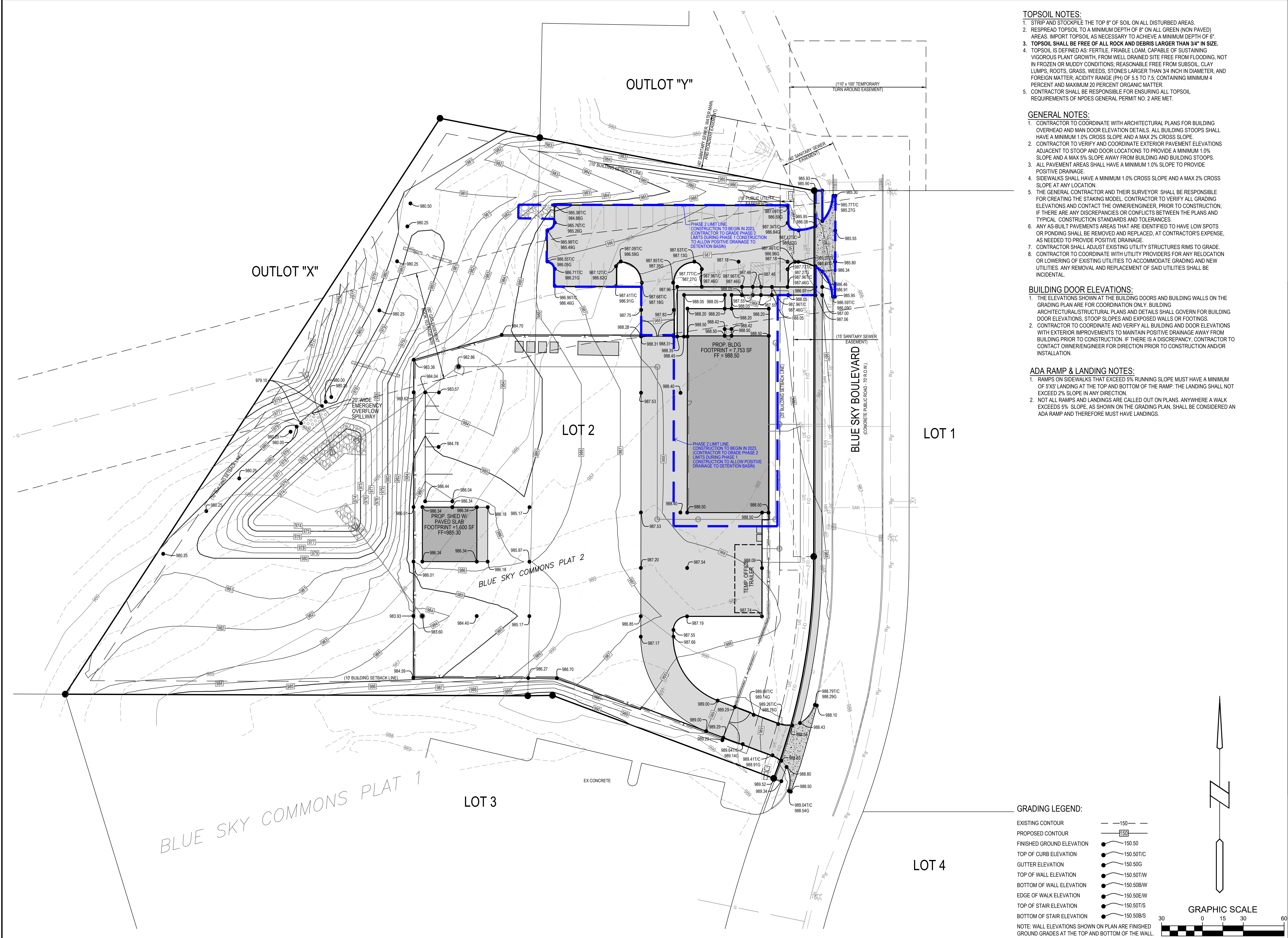
Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515) 276-0467 Fax: (515) 276-0217
Civil Engineering & Land Surveying
Established 1959



LAYOUT PLAN





- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 6".
 3. **TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.**
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- GENERAL NOTES:**
1. CONTRACTOR TO COORDINATE WITH ARCHITECTURAL PLANS FOR BUILDING OVERHEAD AND MAN DOOR ELEVATION DETAILS. ALL BUILDING STOOPS SHALL HAVE A MINIMUM 1.0% CROSS SLOPE AND A MAX 2% CROSS SLOPE.
 2. CONTRACTOR TO VERIFY AND COORDINATE EXTERIOR PAVEMENT ELEVATIONS ADJACENT TO STOOP AND DOOR LOCATIONS TO PROVIDE A MINIMUM 1.0% SLOPE AND A MAX 5% SLOPE AWAY FROM BUILDING AND BUILDING STOOPS.
 3. ALL PAVEMENT AREAS SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
 4. SIDEWALKS SHALL HAVE A MINIMUM 1.0% CROSS SLOPE AND A MAX 2% CROSS SLOPE AT ANY LOCATION.
 5. THE GENERAL CONTRACTOR AND THEIR SURVEYOR, SHALL BE RESPONSIBLE FOR CREATING THE STAKING MODEL. CONTRACTOR TO VERIFY ALL GRADING ELEVATIONS AND CONTACT THE OWNER/ENGINEER, PRIOR TO CONSTRUCTION, IF THERE ARE ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PLANS AND TYPICAL CONSTRUCTION STANDARDS AND TOLERANCES.
 6. ANY AS-BUILT PAVEMENTS AREAS THAT ARE IDENTIFIED TO HAVE LOW SPOTS OR PONDING SHALL BE REMOVED AND REPLACED, AT CONTRACTOR'S EXPENSE, AS NEEDED TO PROVIDE POSITIVE DRAINAGE.
 7. CONTRACTOR SHALL ADJUST EXISTING UTILITY STRUCTURES RIMS TO GRADE.
 8. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR ANY RELOCATION OR LOWERING OF EXISTING UTILITIES TO ACCOMMODATE GRADING AND NEW UTILITIES. ANY REMOVAL AND REPLACEMENT OF SAID UTILITIES SHALL BE INCIDENTAL.
- BUILDING DOOR ELEVATIONS:**
1. THE ELEVATIONS SHOWN AT THE BUILDING DOORS AND BUILDING WALLS ON THE GRADING PLAN ARE FOR COORDINATION ONLY. BUILDING ARCHITECTURAL/STRUCTURAL PLANS AND DETAILS SHALL GOVERN FOR BUILDING DOOR ELEVATIONS, STOOP SLOPES AND EXPOSED WALLS OR FOOTINGS.
 2. CONTRACTOR TO COORDINATE AND VERIFY ALL BUILDING AND DOOR ELEVATIONS WITH EXTERIOR IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING PRIOR TO CONSTRUCTION. IF THERE IS A DISCREPANCY, CONTRACTOR TO CONTACT OWNER/ENGINEER FOR DIRECTION PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- ADA RAMP & LANDING NOTES:**
1. RAMPS ON SIDEWALKS THAT EXCEED 5% RUNNING SLOPE MUST HAVE A MINIMUM OF 5X5' LANDING AT THE TOP AND BOTTOM OF THE RAMP. THE LANDING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 2. NOT ALL RAMPS AND LANDINGS ARE CALLED OUT ON PLANS. ANYWHERE A WALK EXCEEDS 5% SLOPE, AS SHOWN ON THE GRADING PLAN, SHALL BE CONSIDERED AN ADA RAMP AND THEREFORE MUST HAVE LANDINGS.

GRADING LEGEND:

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
FINISHED GROUND ELEVATION	●
TOP OF CURB ELEVATION	●
GUTTER ELEVATION	●
TOP OF WALL ELEVATION	●
BOTTOM OF WALL ELEVATION	●
EDGE OF WALK ELEVATION	●
TOP OF STAIR ELEVATION	●
BOTTOM OF STAIR ELEVATION	●

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

GRAPHIC SCALE

30 0 15 30 60

Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515)276-0467 Fax: (515)276-0217
Civil Engineering & Land Surveying
Established 1959

ANKENY LAWN CARE
HUXLEY, IOWA

REFERENCE NUMBER:

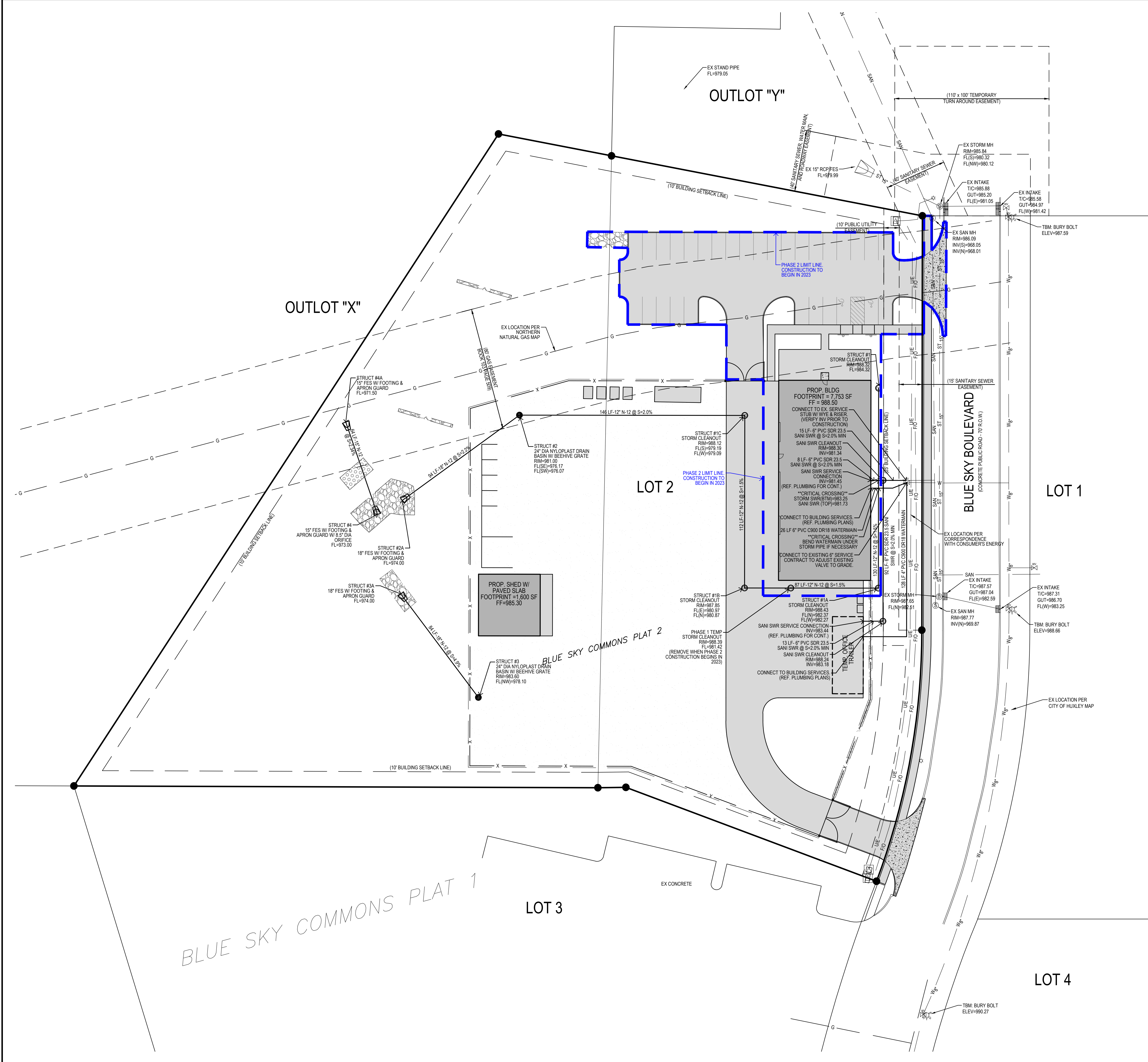
DRAWN BY:
GSA

CHECKED BY:
SVS

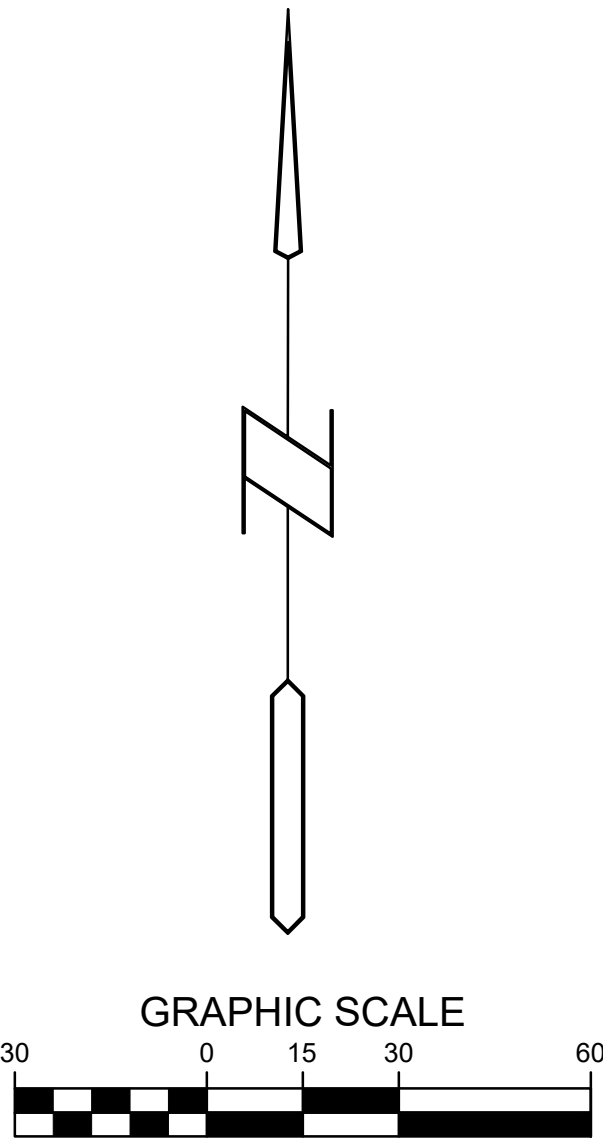
REVISION DATE:
1st City Sub 2022-05-02
2nd City Sub 2022-06-06

PROJECT NUMBER:
210346

SHEET NUMBER:
C3.1



- UTILITY NOTES:
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. NITRILE GASKETS ARE REQUIRED WHERE WATER MAIN CROSSES UNDER STORM SEWER.
 9. C900 PIPE REQUIRED FOR SANITARY SEWER WHERE WATER MAIN CROSSES UNDER SANITARY SEWER.
 10. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES SHALL BE BOLTED DOWN TO THE CASTINGS.
 11. REFER TO MEP & TECHNOLOGICAL PLANS FOR ALL ELECTRICAL/FIBER/CONDUIT/GAS ROUTING & LOCATIONS. SAID UTILITIES HAVE BEEN SHOWN FOR COORDINATION PURPOSES ONLY.
 12. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER FOR SITE SERVICE CONNECTIONS AND ROUTINGS TO AVOID CONFLICT WITH THE BUILDING CONSTRUCTION.
 13. CONTRACTOR TO COORDINATE WITH CITY OF HUXLEY FOR ANY PERMITTING AND CONSTRUCTION REQUIREMENTS FOR WORK WITHIN CITY ROW AND CONNECTION TO PUBLIC UTILITIES PRIOR TO CONSTRUCTION.
 14. CONTRACTOR SHALL ADJUST EXISTING UTILITY RIMS AND STRUCTURES TO GRADE. CONTRACTOR TO REFER TO MEP PLANS FOR ALL LIGHTING FIXTURE, POWER POST AND CHARGING STATIONS TYPES AND LOCATIONS. EXTERIOR LIGHT FIXTURE, POWER POST AND CHARGING STATIONS HAVE BEEN SHOWN FOR COORDINATION ONLY.
 15. CONTRACTOR SHALL INSTALL TRACER WIRE ON THE WATER SERVICE. CONTRACTOR SHALL TERMINATE INFLUSH MOUNTED TRACER WIRE BOX DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB AND USE 3M SCOTCHPLAST SPLICE ENCAPSULATION KIT 3832 FOR ALL TRACER WIRE CONNECTIONS.



ANKENY LAWN CARE
HUXLEY, IOWA

REFERENCE NUMBER:
DRAWN BY: GSA
CHECKED BY: SVS
REVISION DATE: 1st City Sub 2022-05-02 2nd City Sub 2022-06-06
PROJECT NUMBER: 210346
SHEET NUMBER: C4.1

Bishop Engineering

"Planning Your Successful Development"

3501 104th Street

Des Moines, Iowa 50322-3825

Phone: (515)276-0467 Fax: (515)276-0217

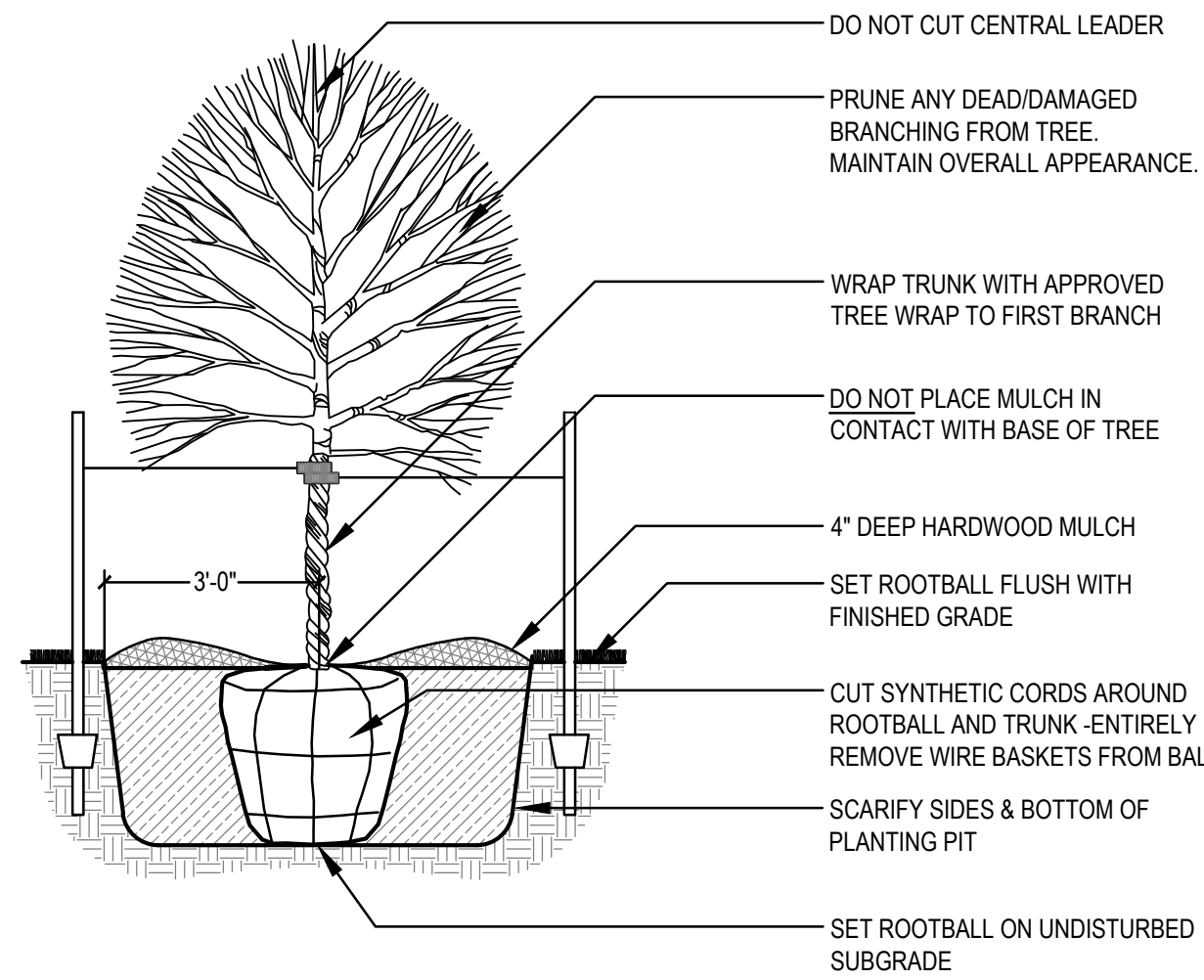
Civil Engineering & Land Surveying

Established 1959

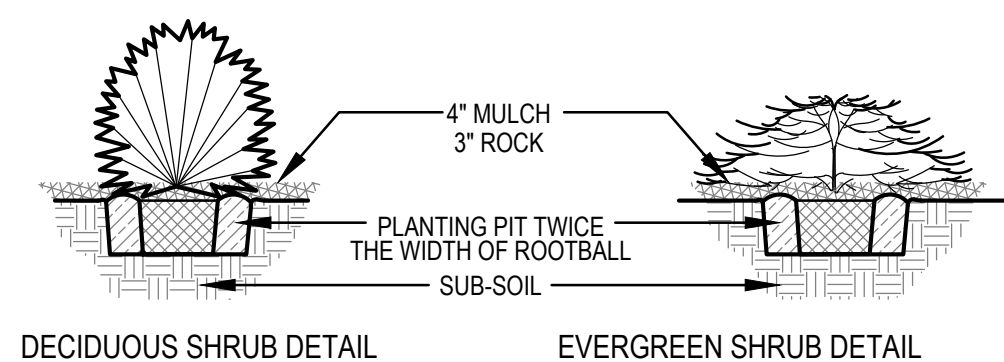
UTILITY PLAN

LANDSCAPE NOTES:

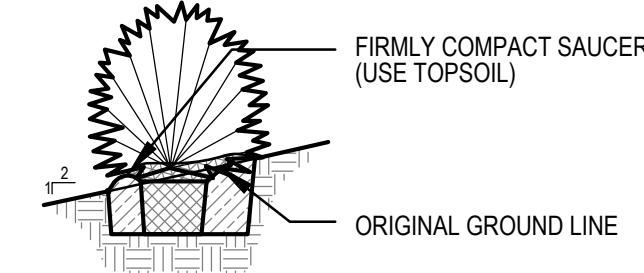
- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SEED ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT O SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL..
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE

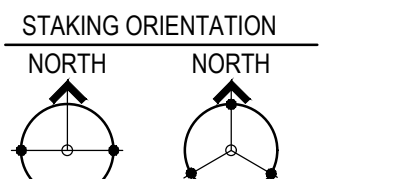


DECIDUOUS SHRUB DETAIL EVERGREEN SHRUB DETAIL



PLANTING ON SLOPES

SHRUB PLANTING (TYP)
SCALE: NOT TO SCALE



STAKING ORIENTATION
NORTH NORTH

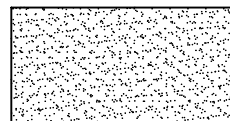
2 STAKES - 3" CAL. & LESS
3 STAKES - GREATER THAN 3" CAL.

USE HOSE GUARDS AROUND TRUNK ON STAKING WIRE. TIE WIRE TO STEEL POSTS PLACED OUTSIDE PLANT PIT..

LEAVE STAKES IN PLACE NO MORE THAN 1 YEAR FROM INSTALLATION. CONTRACTOR RESPONSIBLE FOR REMOVAL.

PLANTING SCHEDULE

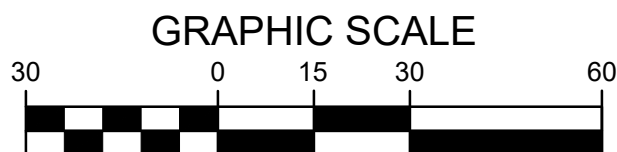
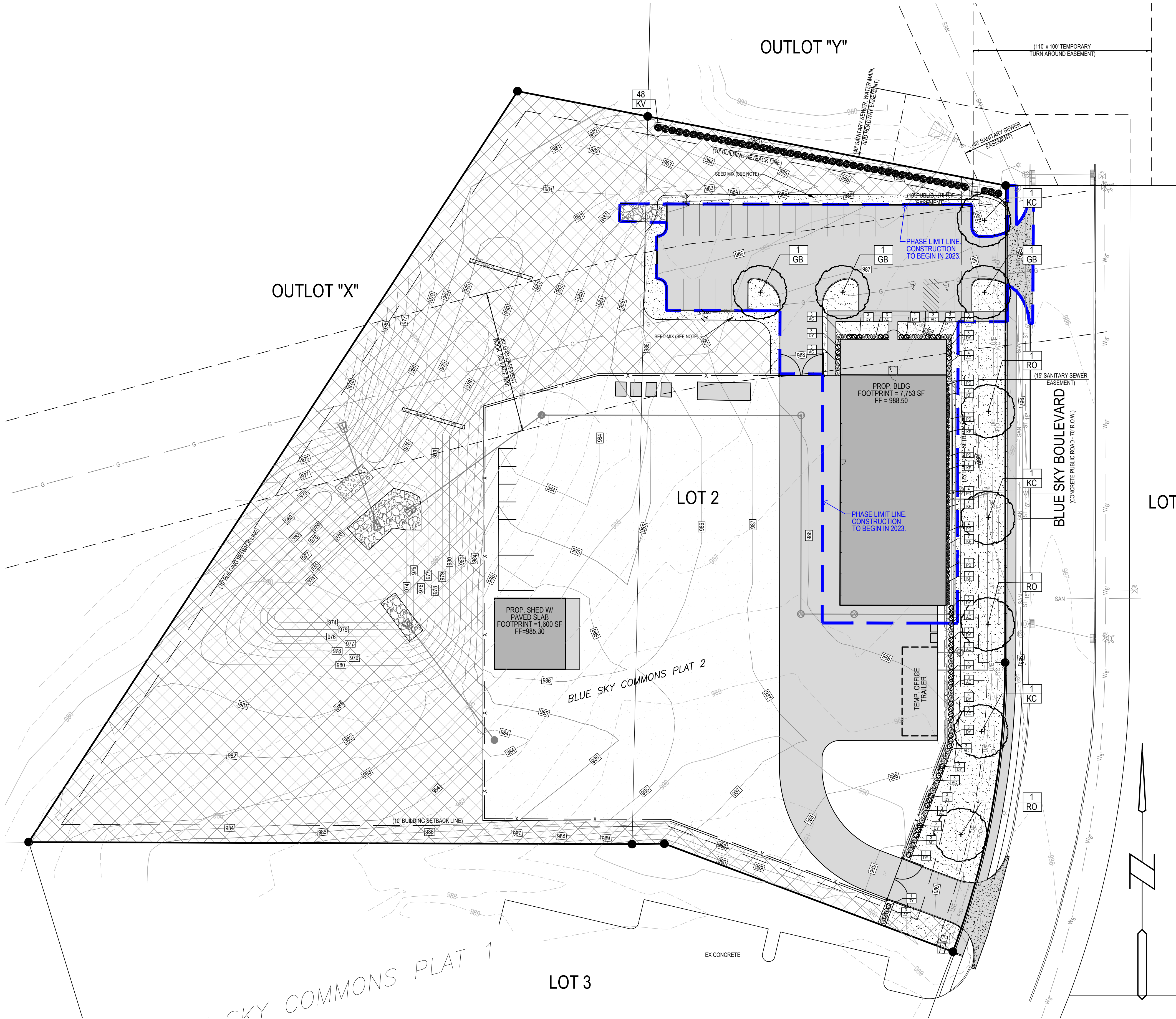
CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
OVERSTORY TREES						
GB	3	GINKGO	GINKGO BIL.OBA	2.0" CAL	B&B	MATCHED SPECIMENS
KC	3	KENT UCKY COFFEETREE	GYMNOLADUS DIOICUS	2.0" CAL	B&B	MATCHED SPECIMENS
RO	3	RED OAK	QUERCUS RUBRA	2.0" CAL	B&B	MATCHED SPECIMENS
SHRUBS						
AC	45	ALPINE CURRRANT	RIBES ALPINUM	#5	CONT	FULL FORM - MATCHED
DY	42	DENSIFORMIS YEW	TAXUS MEDIA 'DENSIFORMIS'	36"	B&B	FULL FORM - MAT CHED
KV	48	KOREANSPICE VIBURNUM	VIBURNUM CARLESII	#5	CONT	FULL FORM - MAT CHED
ORNAMENTAL GRASSES						
KF	42	KARL FOERSTER FEAT HER REED GRASS	CALAMAGROSITIS ACUTIFLORA 'KARL FOERSTER'	#1	CONT	FULLY ROOTED IN CONTAINER
PD	24	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPSIS	#1	CONT	FULLY ROOTED IN CONTAINER

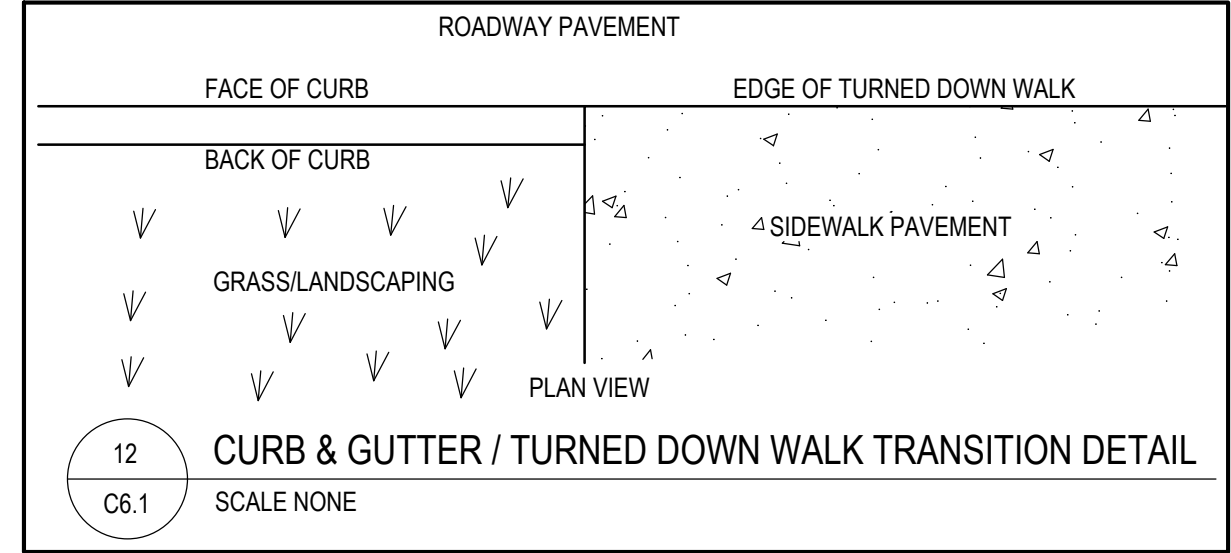
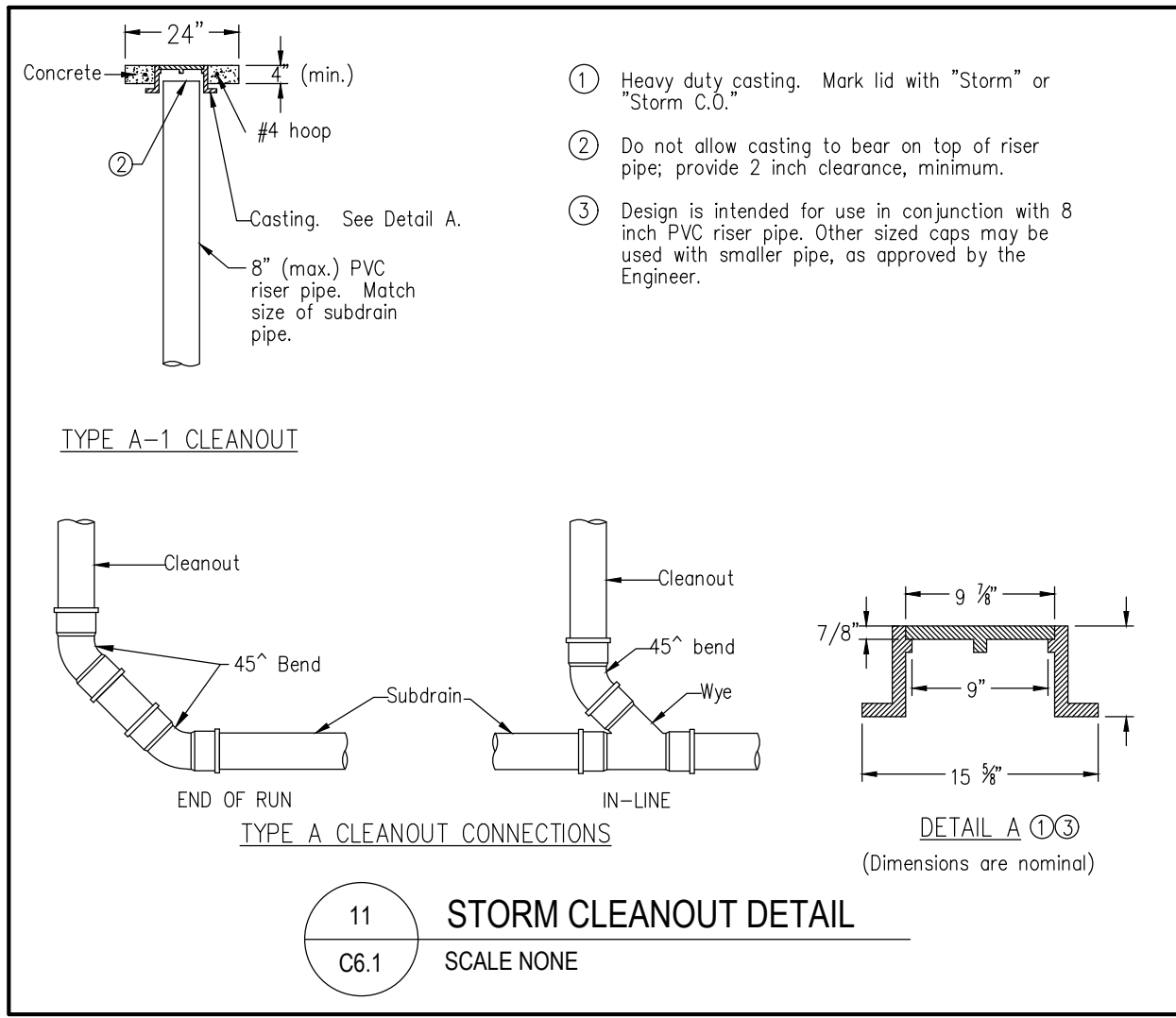
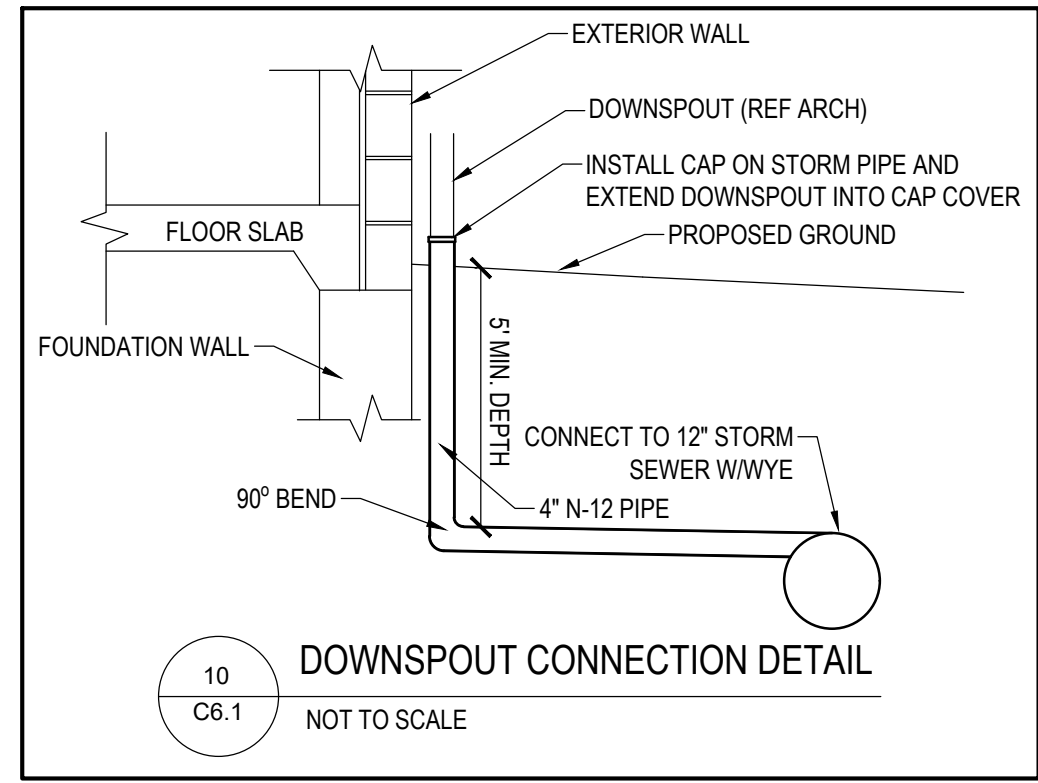
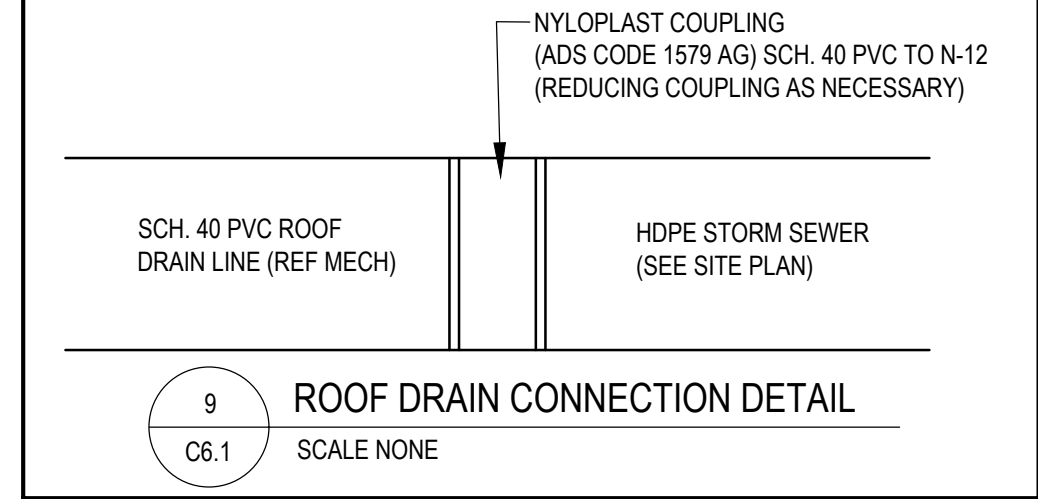
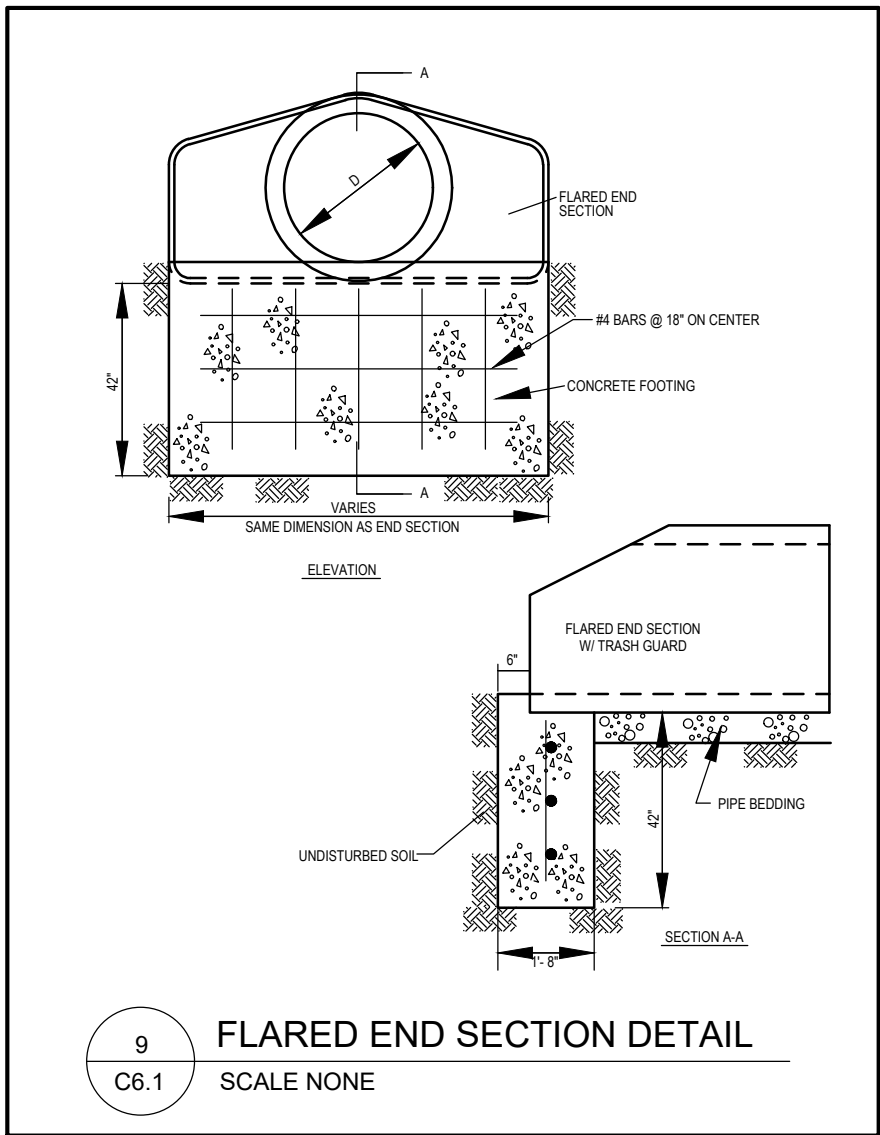
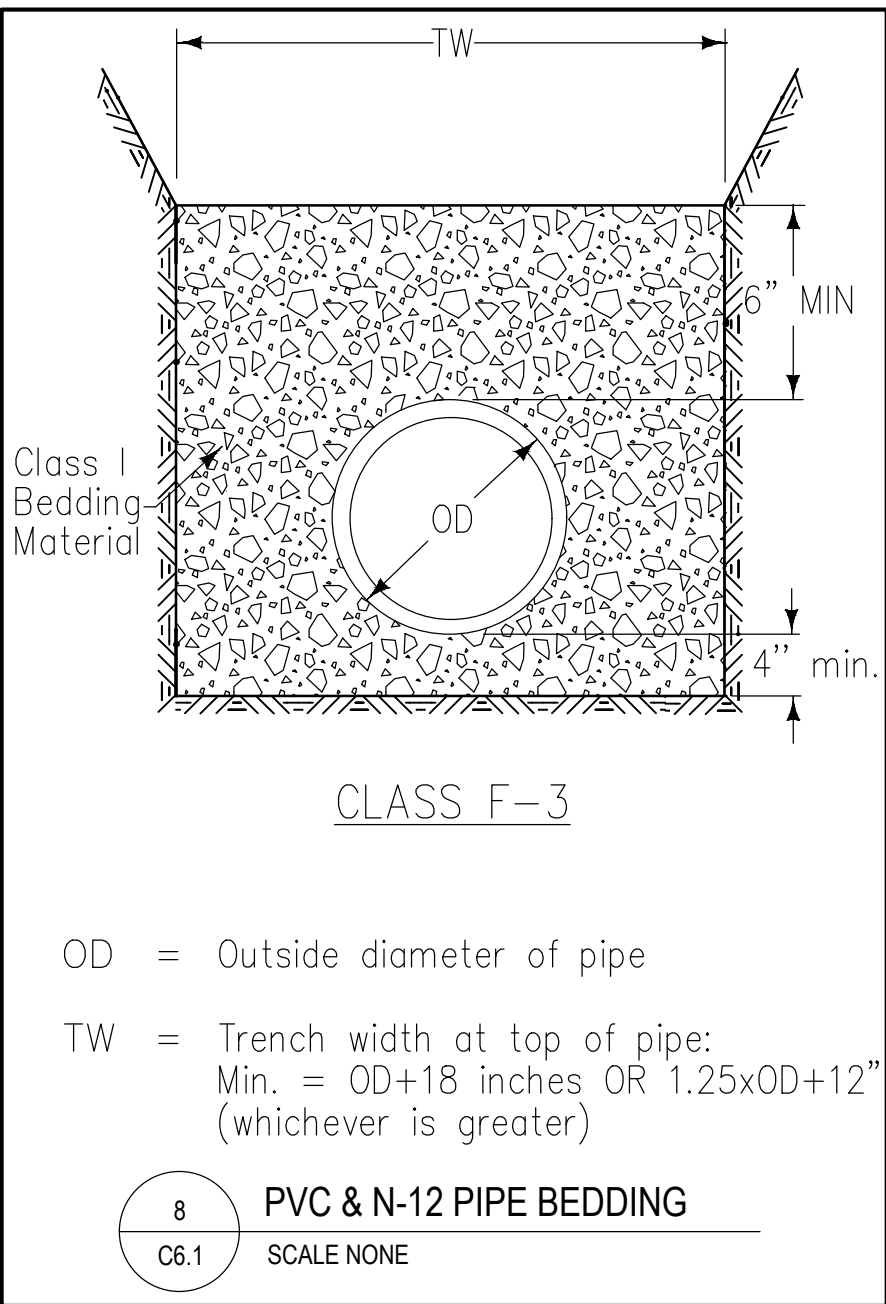
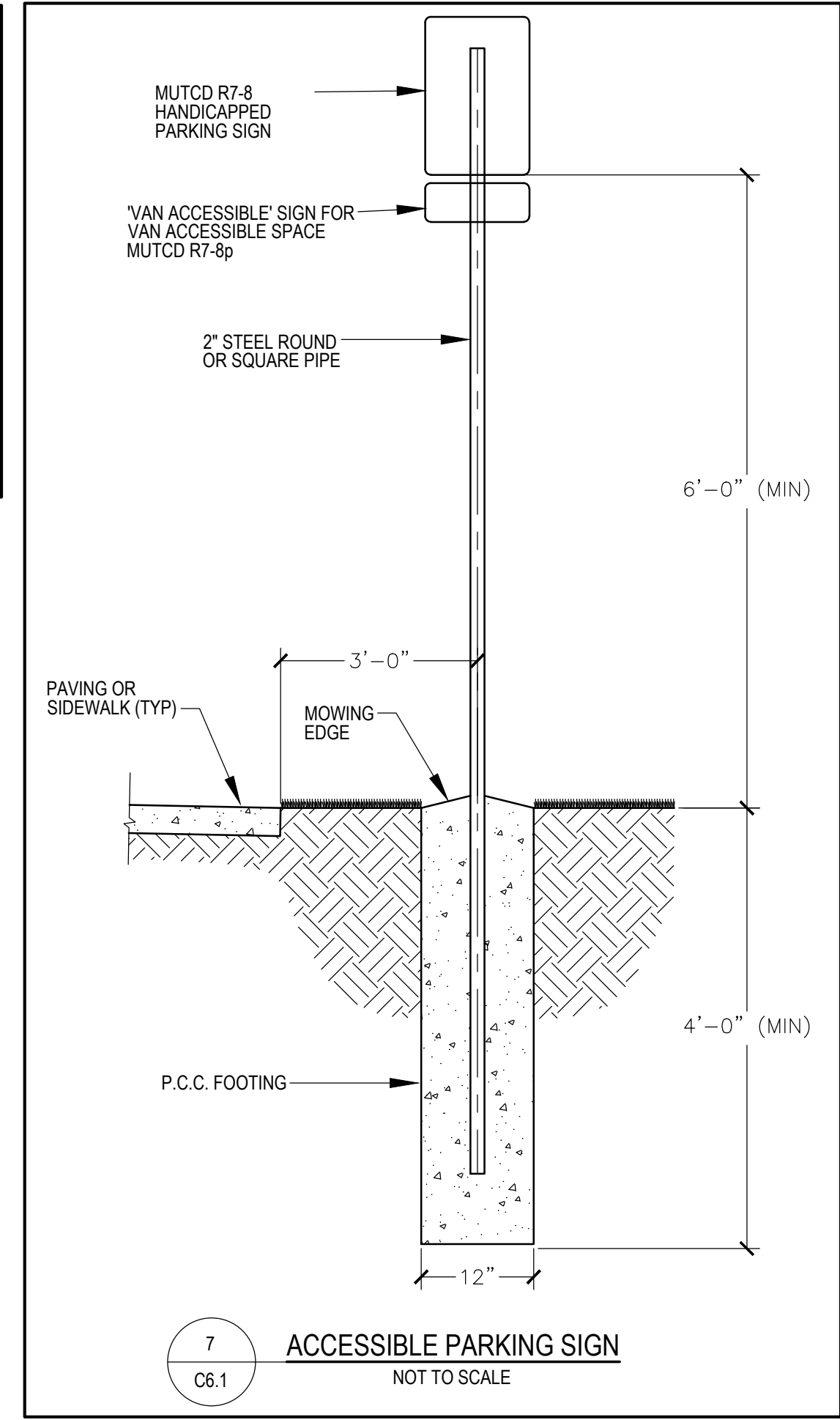
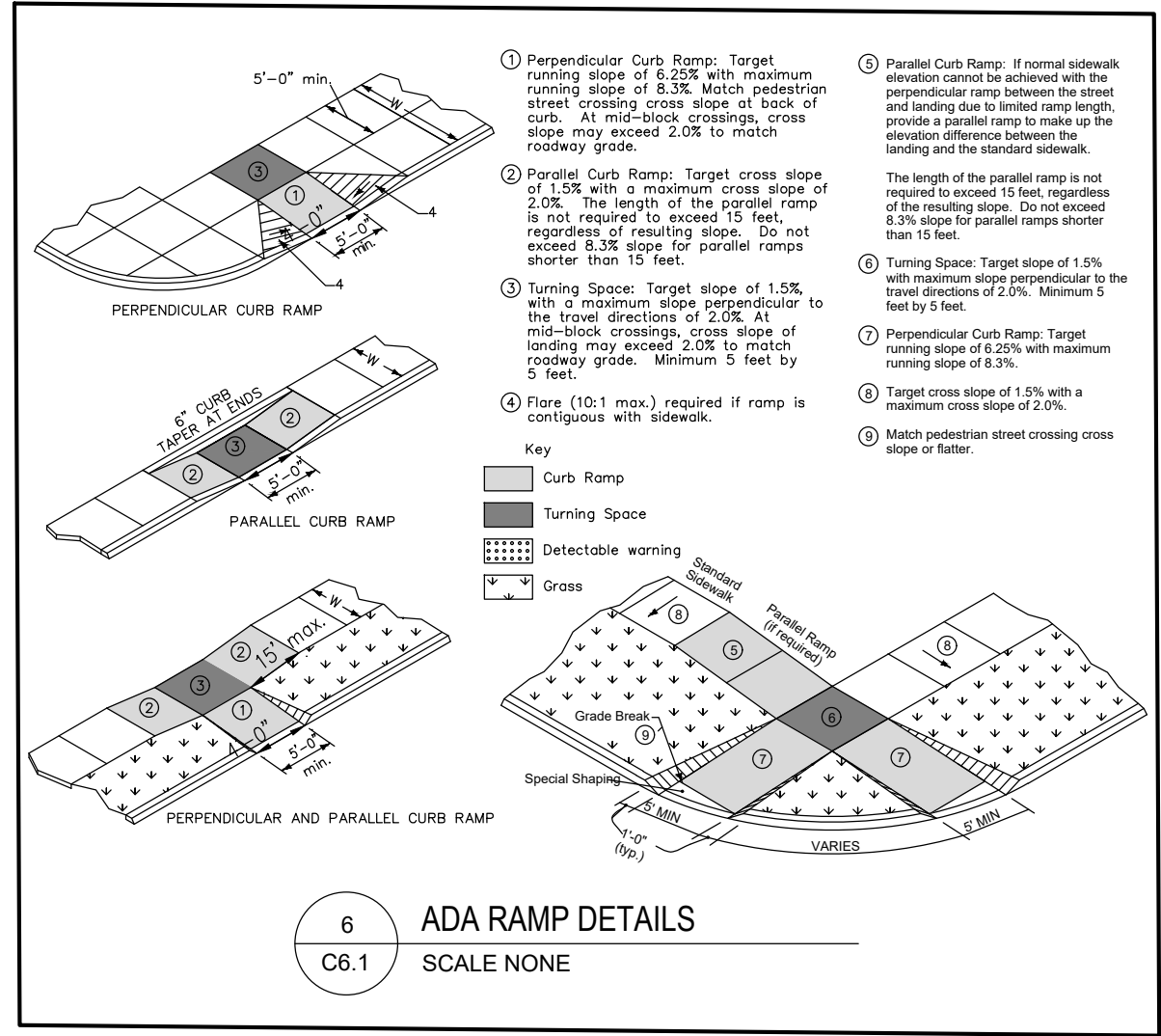
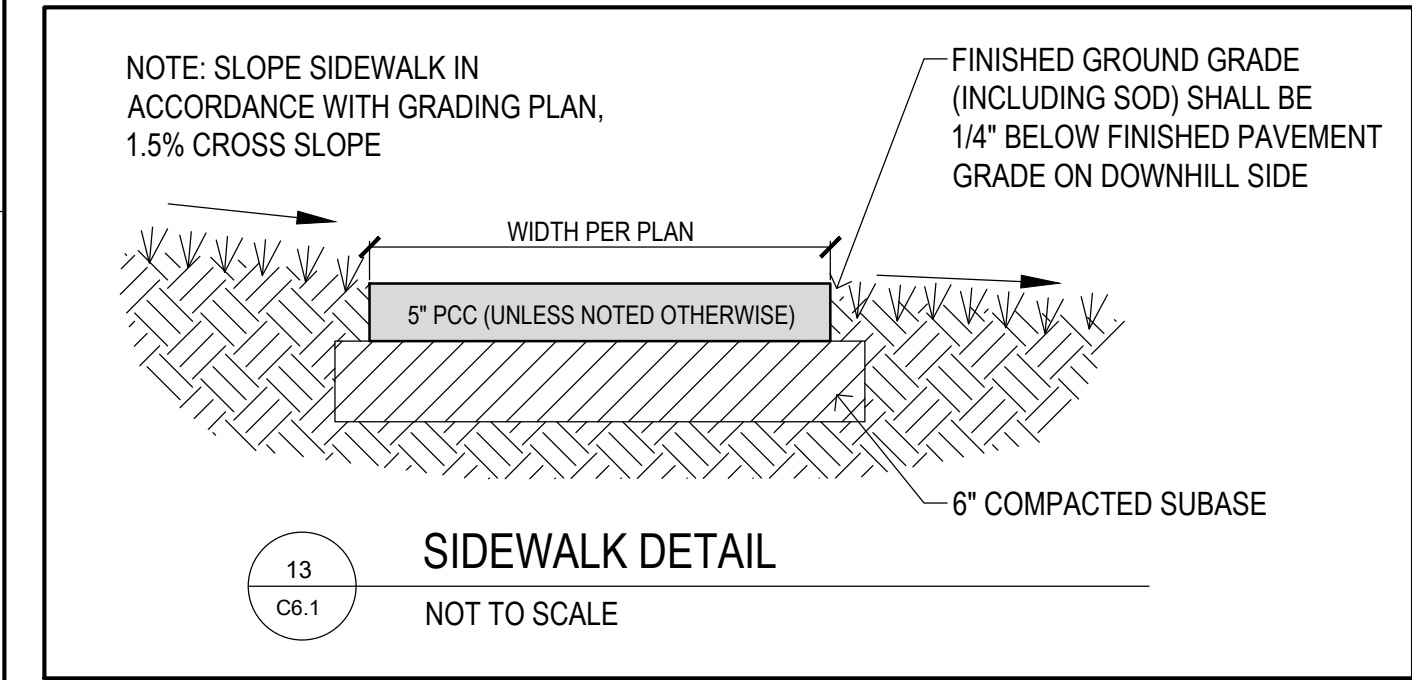
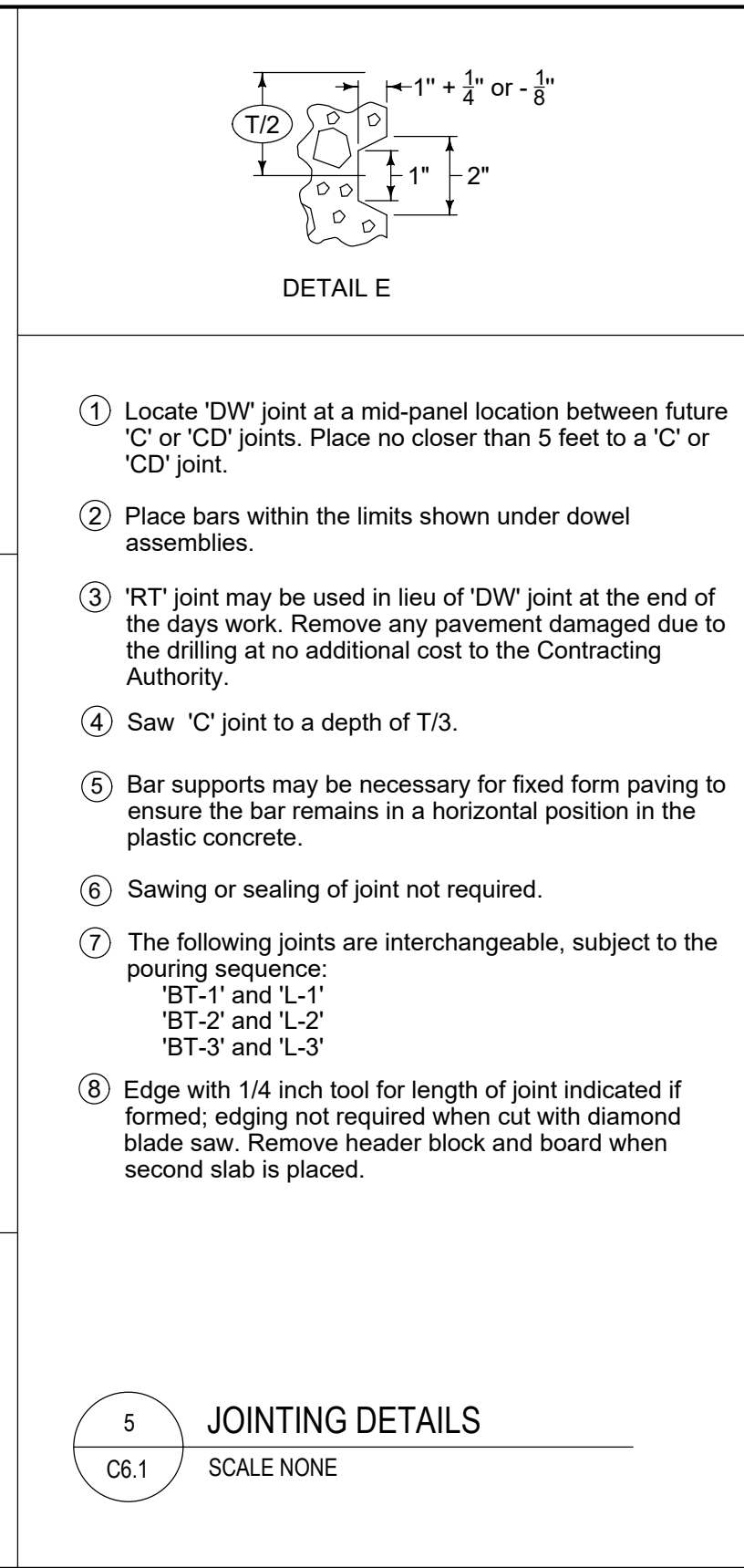
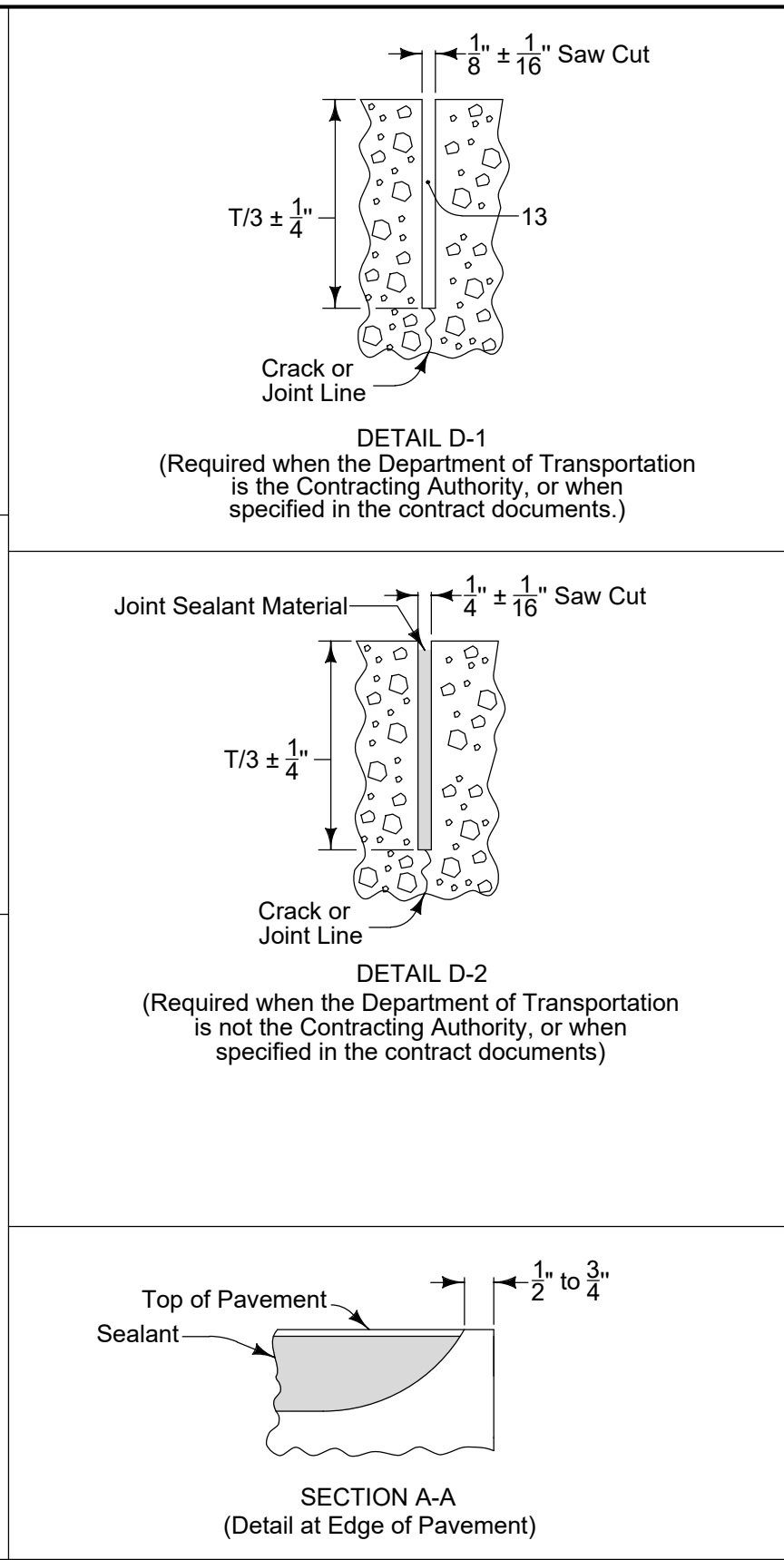
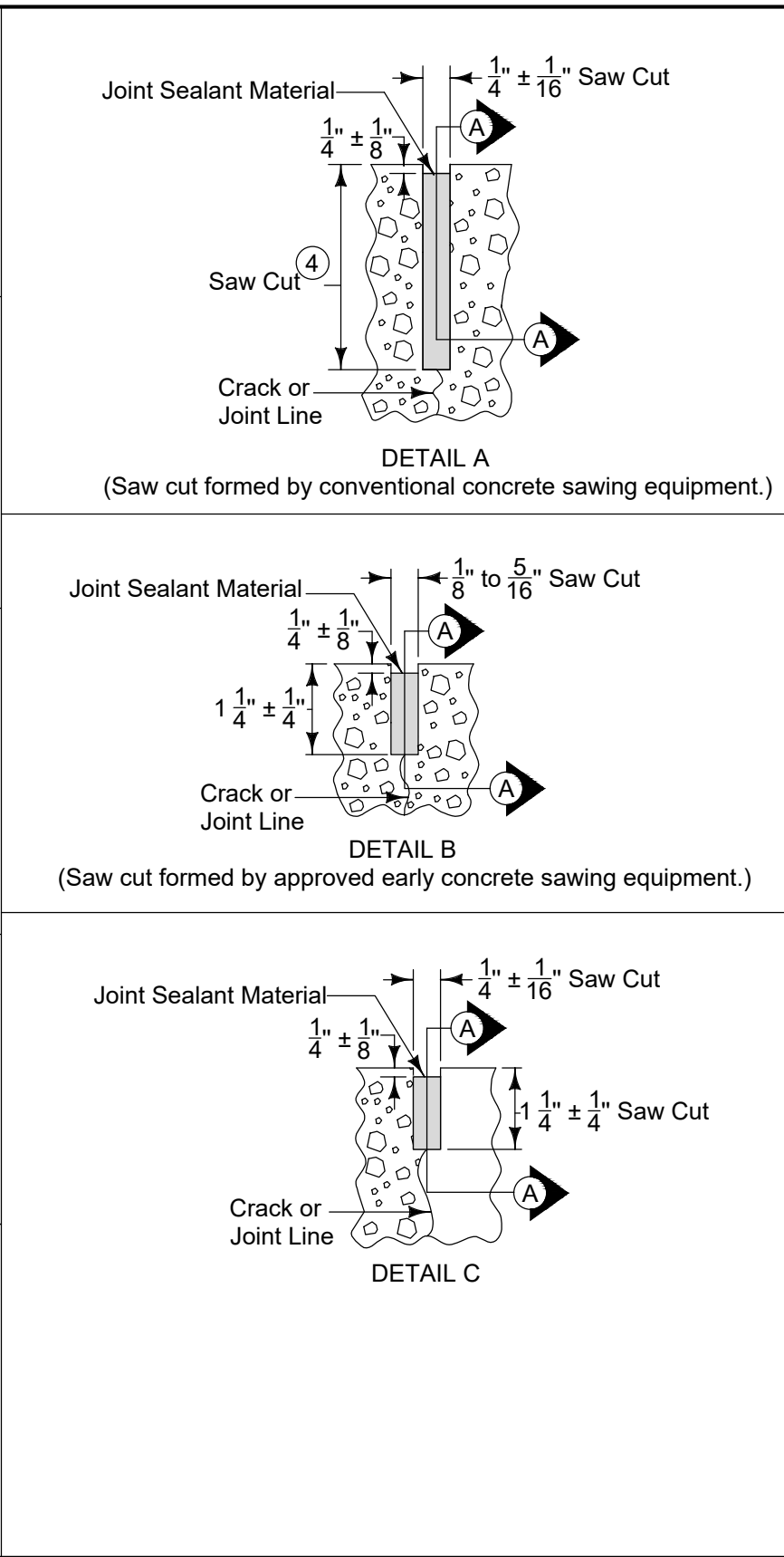
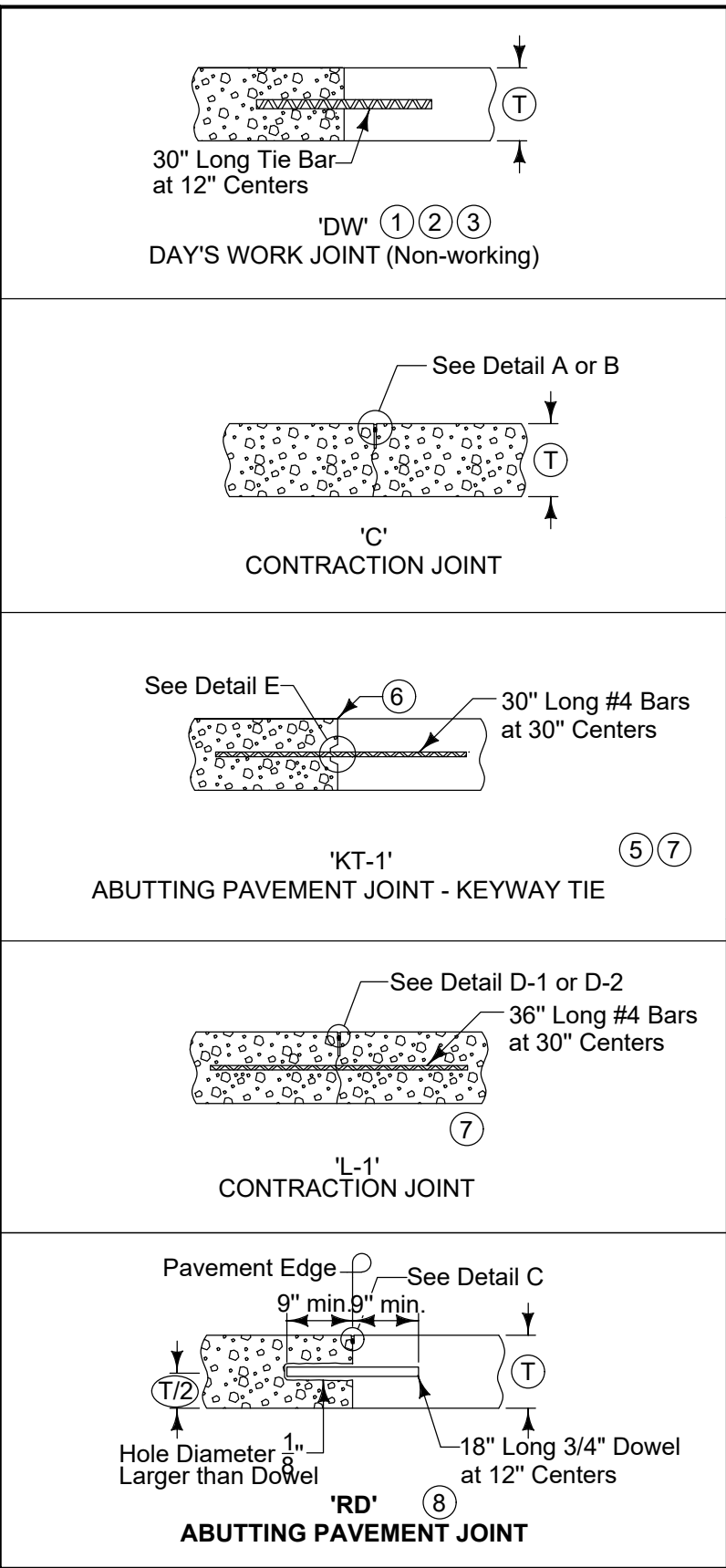
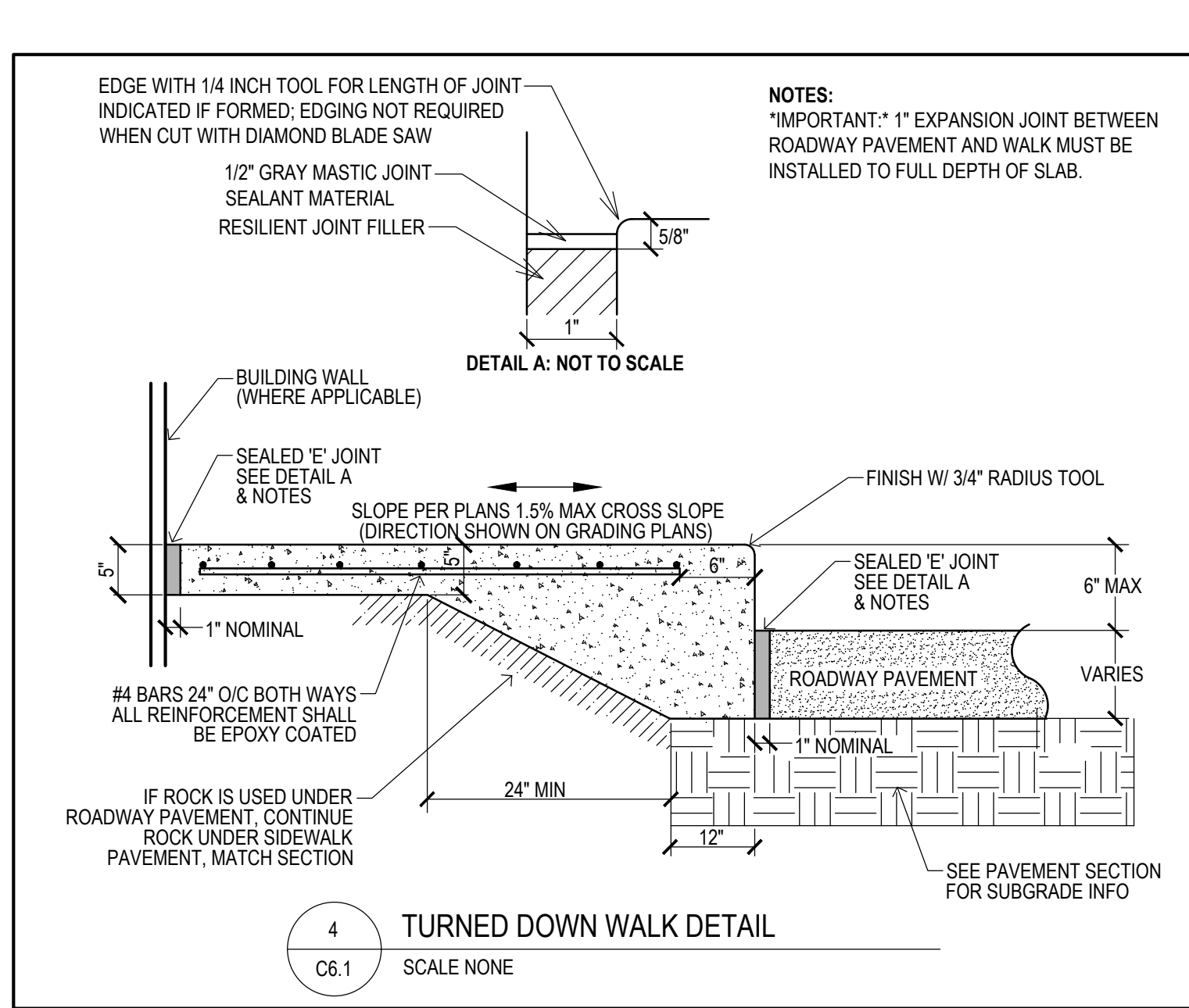
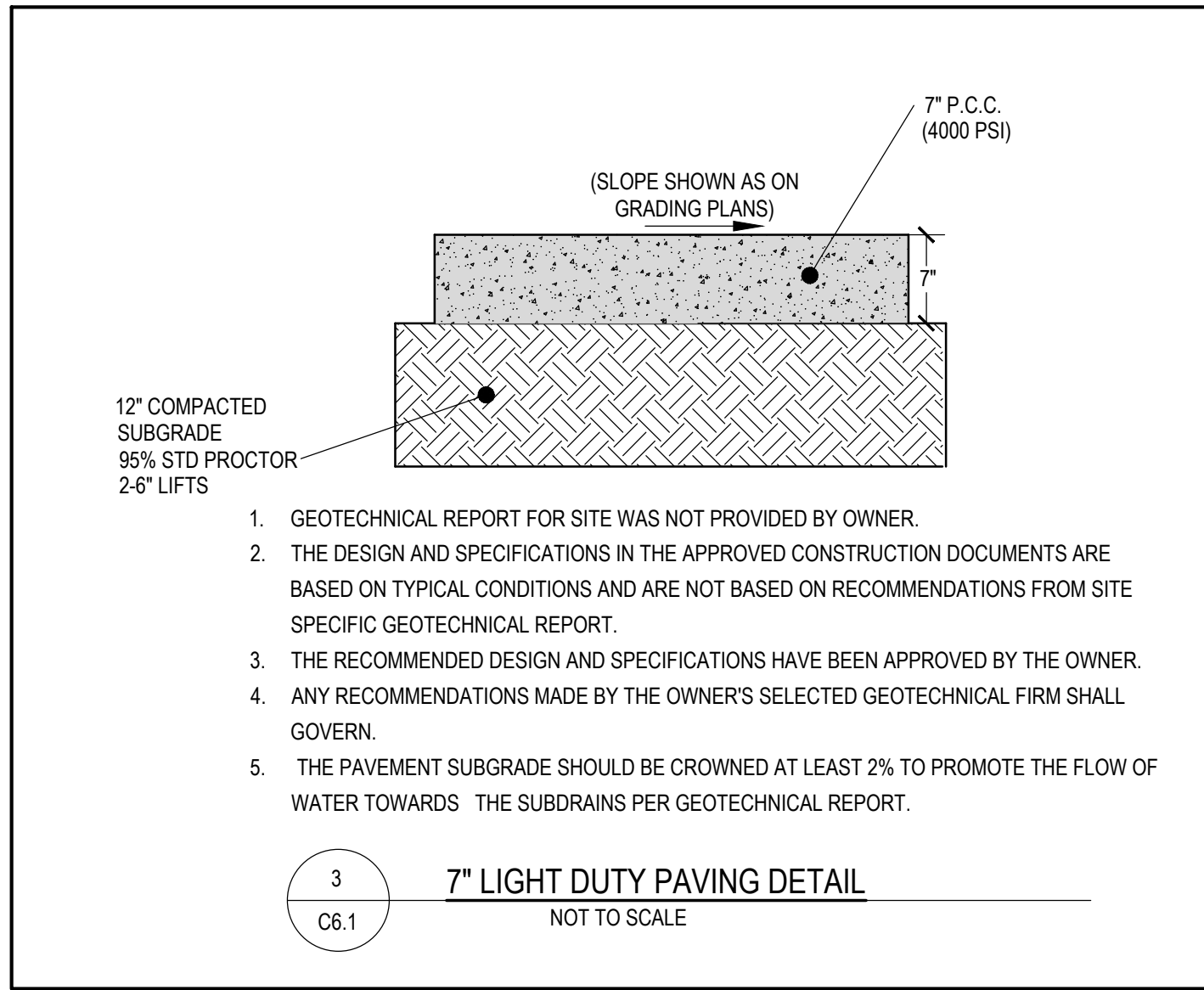
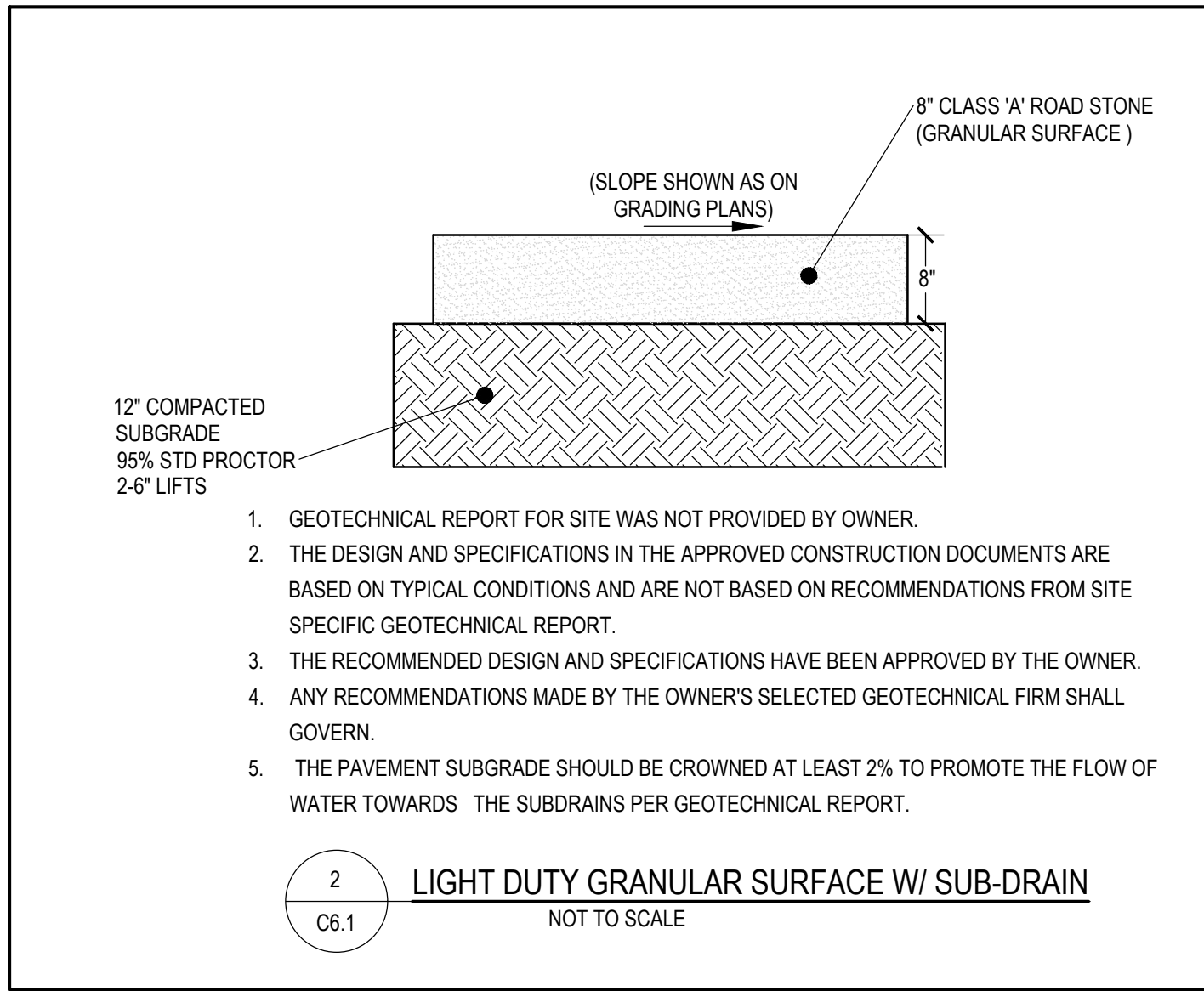
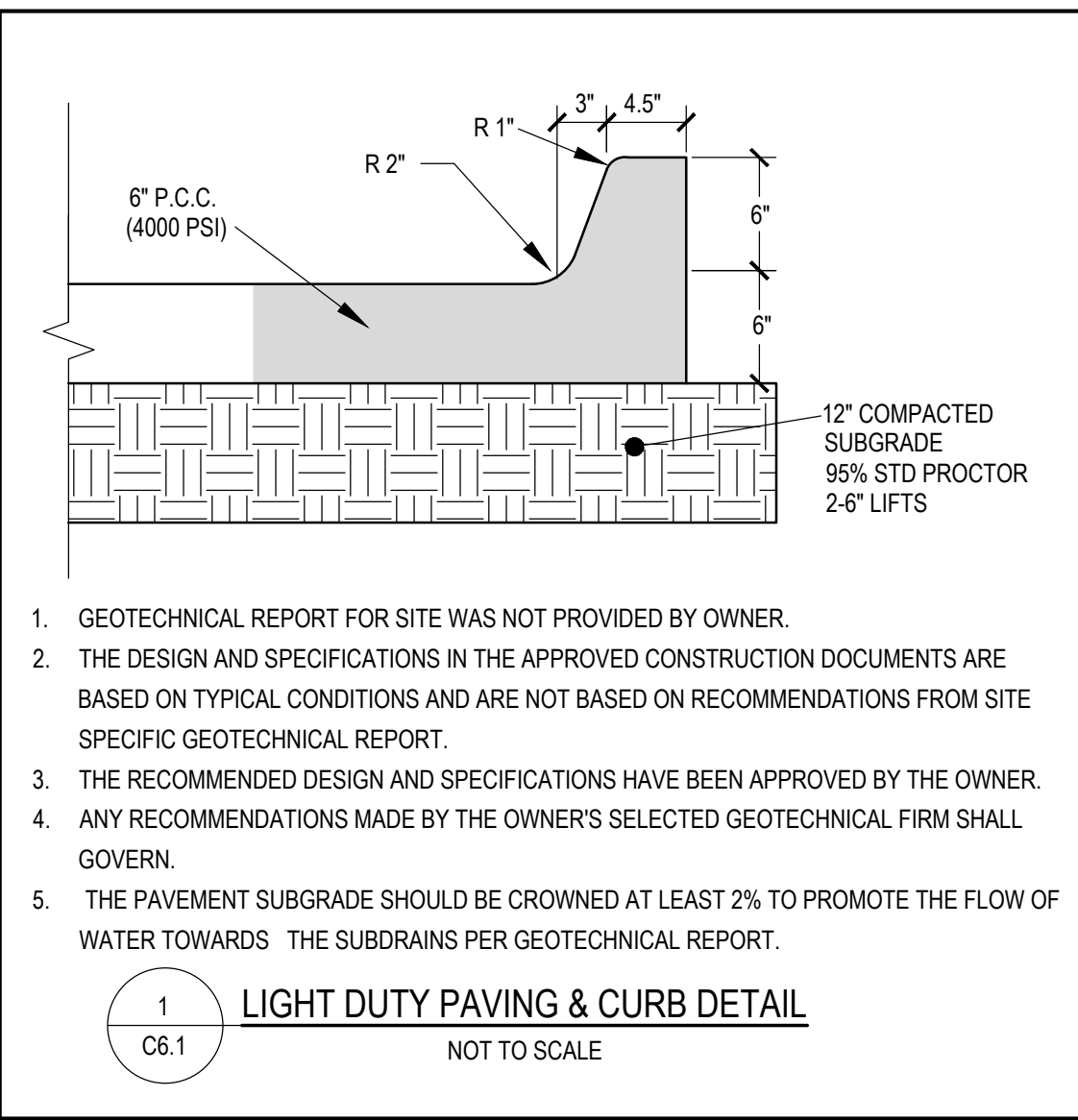


SEED MIX 1: MIX TO BE "SUPER TURF II" BY UNITED SEEDS (OR APPROVED EQUAL). SEED AT A RATE OF 440 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. OVERSEEDING (IF REQUIRED) TO BE INSTALLED AT 220 LBS PER ACRE.

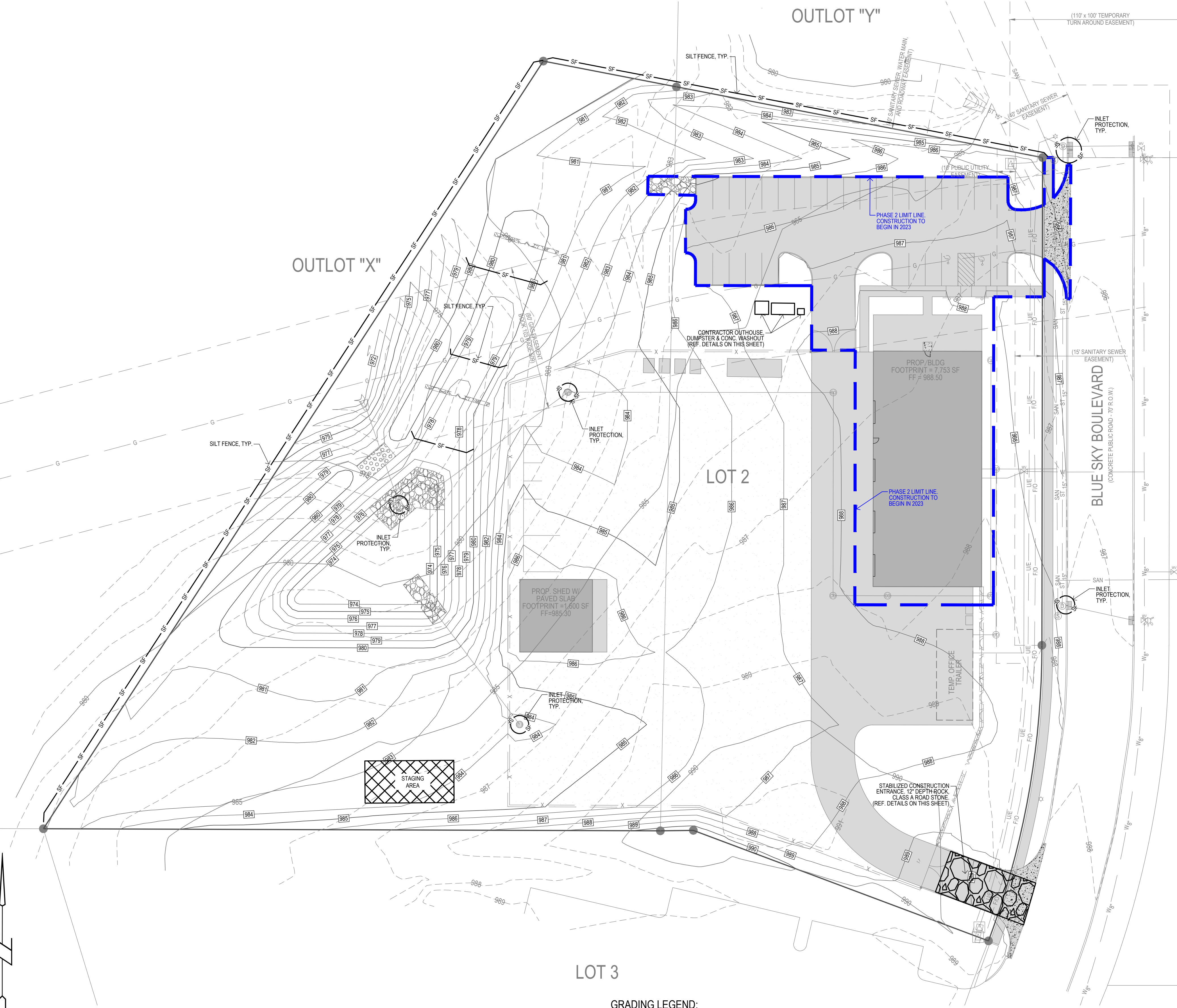


SEED MIX 2: LOW GROW GRASS AND WILDFLOWER MIX: SEED TYPE TO BE "LOW GROW GRASS AND WILDFLOWER MIXTURE" SUPPLIED BY UNITED SEEDS (OR APPROVED EQUAL). INSTALL SEED WITH MECHANICAL DRILL TYPE SEEDER AT A RATE OF 30 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE.





STORM WATER POLLUTION PREVENTION PLAN



- EROSION CONTROL NOTES:**
1. SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 2. SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 3. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 4. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 5. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 6. OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR REVISING AND/OR INSTALLING ADDITIONAL EROSION CONTROL MEASURES/SEEDING AS NEEDED TO ACCOMMODATE THE CONSTRUCTION PHASING AND SWPPP INSPECTOR REQUIREMENTS. SUCH CHANGES SHALL BE INCIDENTAL TO THE PROJECT. ALL CHANGES SHALL BE DOCUMENTED AND RECORDED.

- EROSION CONTROL REMOVAL NOTES:**
1. AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

PROPERTY DESCRIPTION:
(WARRANTY DEED BOOK 2021, PAGE 13936)
LOT TWO (2), BLUE SKY COMMONS PLAT 2, HUXLEY, STORY COUNTY, IOWA

AREA:
172,604 SF (3.96 ACRES)

ADDRESS:
NOT ASSIGNED
BLUE SKY BOULEVARD
HUXLEY, IOWA 50124

OWNER/PREPARED FOR:
SAMUEL RANKIN
ANKENY LAWN AND LANDSCAPES LLC

ZONING:
INFORMATION OBTAINED FROM
HUXLEYIOWA.ORG
THE OFFICIAL CITY OF HUXLEY ZONING MAP
LAST UPDATED AS OF: NOVEMBER 2018

ZONED: M-1 (INDUSTRIAL)

MINIMUM LOT AREA: 6,000 SF
MINIMUM FRONT YARD: 25 FEET
MINIMUM SIDE YARD: 10 FEET*
MINIMUM REAR YARD: 10 FEET*

*EXCEPT WHEN ADJACENT TO R OR C-2 DISTRICTS, THEN 50 FEET

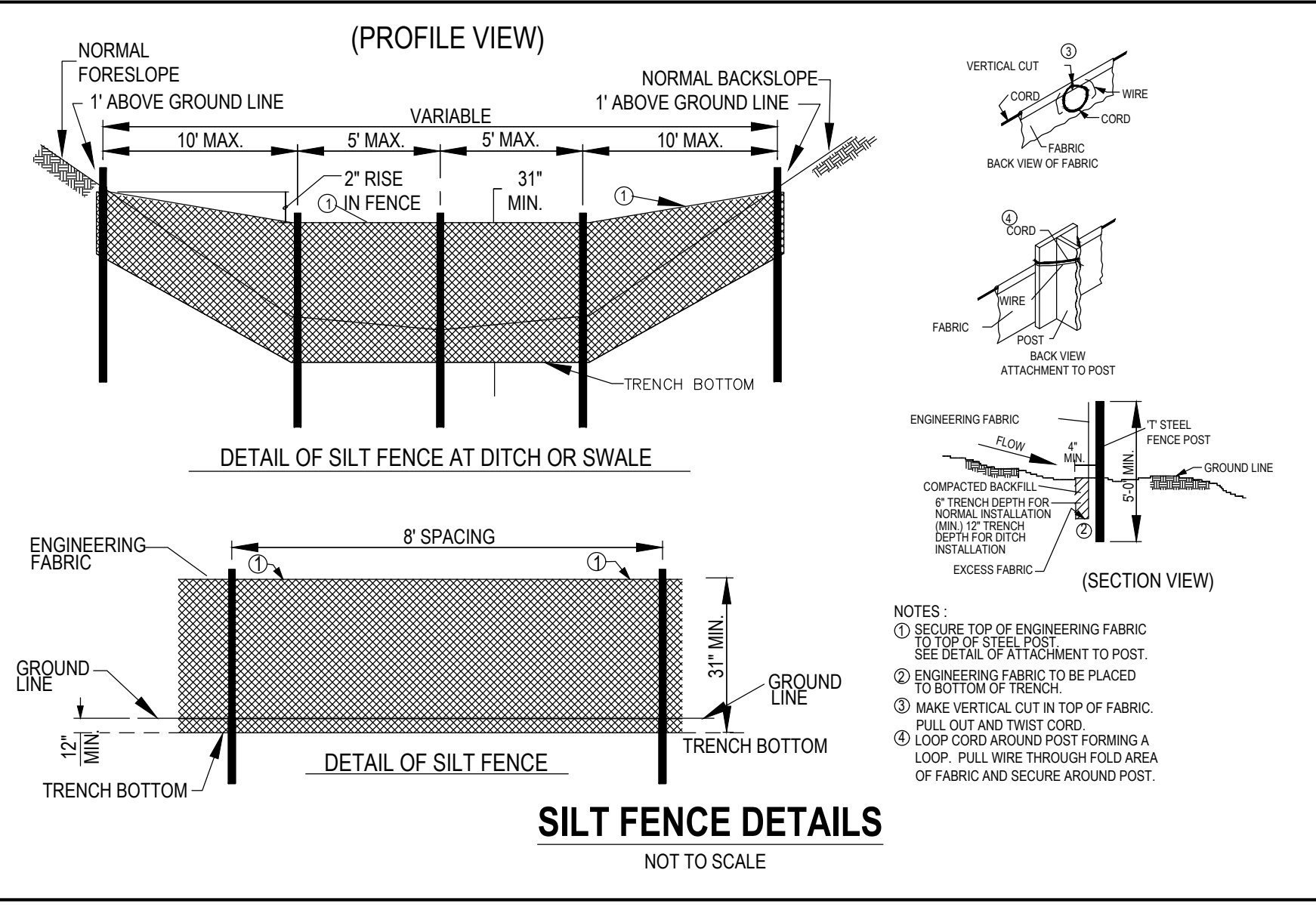
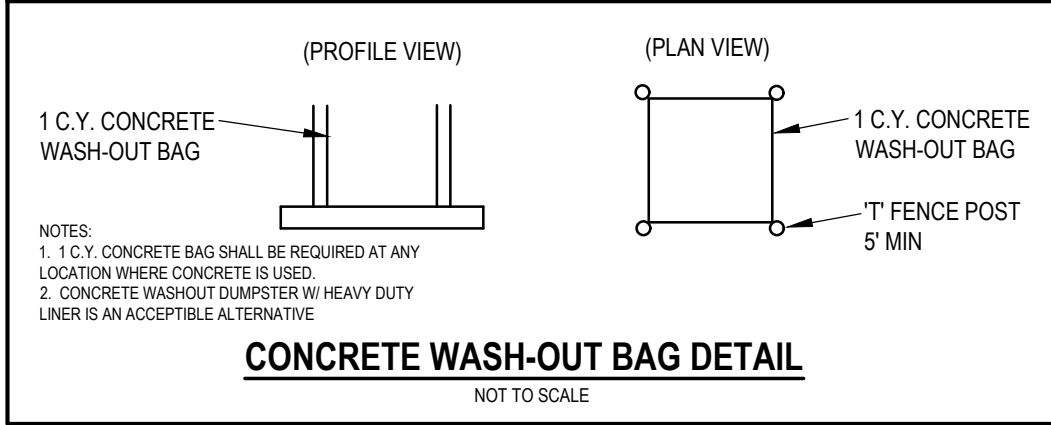
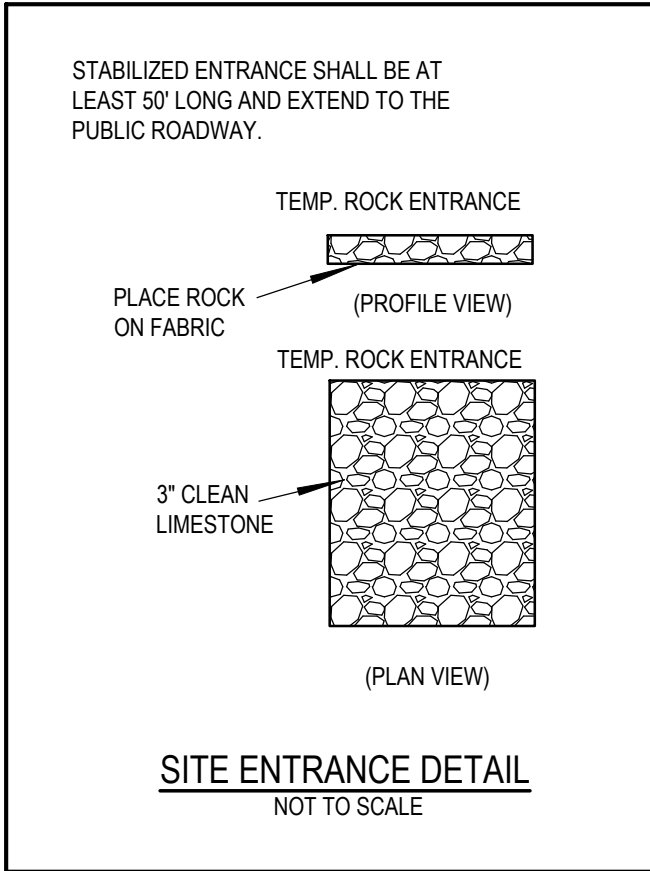
FOR AN OFFICIAL ZONING REPORT PLEASE CALL
THE CITY OF HUXLEY AT (515) 297-2561

SITE CONTROL AND BENCHMARKS:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD88, GEOID 18

POINT # 50134, BURY BOLT ON HYDRANT
NORTHING = 688,267.20
EASTING = 1,619,832.55
ELEVATION = 988.66
DESCRIPTION: EAST OF SOUTHEAST BACK OF CURB INTAKE

POINT # 50155, BURY BOLT ON HYDRANT
NORTHING = 688,521.56
EASTING = 1,619,832.22
ELEVATION = 987.59
DESCRIPTION: EAST OF NORTHEAST BACK OF CURB INTAKE

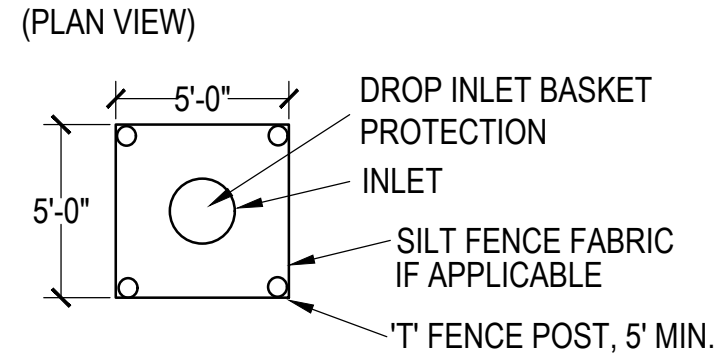
DISTURBED AREA = 3.96 ACRES±



GRADING LEGEND:

- EXISTING CONTOUR** — 150 —
PROPOSED CONTOUR — 150 —
FINISHED GROUND ELEVATION ● 150.50
TOP OF CURB ELEVATION ● 150.50/T
GUTTER ELEVATION ● 150.50G
TOP OF WALL ELEVATION ● 150.50/W
BOTTOM OF WALL ELEVATION ● 150.50B/W
EDGE OF WALK ELEVATION ● 150.50E/W
TOP OF STAIR ELEVATION ● 150.50/S
BOTTOM OF STAIR ELEVATION ● 150.50B/S
- LEGEND:**
— SF — SF — SILT FENCE (TYP)
— 120 — EXISTING CONTOUR
— 120 — PROPOSED CONTOUR
STABILIZED ENTRANCE AT LEAST 50' LONG-12" DEEP CLASS "A" ROAD STONE ON GEOTEXTILE

- NOTES:**
1. SECURE TOP OF FABRIC TO POSTS, USING CABLE TIES OR WIRE.
 2. FABRIC TO BE BURIED 12", AND FOLDED ALONG BOTTOM.
 3. STEEL POSTS TO BE EMBEDDED 28".



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



Bishop Engineering
"Planning Your Successful Development"

3501 104th Street
Des Moines, Iowa 50322-3825
Phone: (515) 276-0467 Fax: (515) 276-0217
Civil Engineering & Land Surveying
Established 1959

**ANKENY LAWN CARE
HUXLEY, IOWA**

SWPPP

REFERENCE NUMBER:

DRAWN BY:

GSA

CHECKED BY:

SVS

REVISION DATE:

1st City Sub 2022-05-02

2nd City Sub 2022-06-06

PROJECT NUMBER:

210346

SHEET NUMBER:

C7.1



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

May 11, 2022

Seth Sunderman
Bishop Engineering Co.
3501 104th Street
Urbandale, Iowa 50322

ssunderman@bishopengr.com
(E-Mail Only)

HUXLEY, IOWA
ANKENY LAWN CARE
BLUE SKY COMMONS PLAT 2 LOT 2
SITE PLAN REVIEW

We have reviewed the site plan for Ankeny Lawn Care and offer the following comment:

1. Provide information on the materials to be used for the water service. Water services 2" or small are to be copper. Water services larger than 2" are to be pvc C900 DR18 or ductile iron.
2. Install tracer wire on the water service. Terminate in flush mounted tracer wire box Drainage & Water Solutions Figure No. TWAB. Use 3M Scotchplast Splice Encapsulation Kit 3832 for all tracer wire connections.
3. Connections to the existing water service with a tapping sleeve and valve is not necessary. The City can isolate the water main if needed.
4. If the building will be sprinkled, we recommend the water service remain 6-inch into the building instead of being reduced to a 4-inch service.
5. Label contacts for inspections and utilities as follows:

Water and Sewer, Keith Vitzthum, City of Huxley, 515-290-7512
Gas and Electric, Jenni Kroneman Stapleford, Alliant Energy, 515-268-3425
Stormwater and SWPPP, Mat Kahler, City of Huxley, 515-822-3800

6. Provide all final as constructed plans as an electronic pdf format. Provide GIS coordinates and shape files for all constructed utility manholes, valve boxes, curb stops, hydrants and cleanouts in AutoCad format.
7. Provide a photo metric lighting plan.
8. Developer's / Owner's engineer will need to sign off on the project with a written statement that all construction plans and as-builts were completed to the engineer's design, and City supplemental and SUDAS standards before a final C.O. is issued.
9. Provide inlet protection to the existing intake located on the west side of Blue Sky Boulevard at the north end of the site.
10. Pipe materials to be pvc SDR 23.5 for 6-inch services and pvc truss pipe for services 8-inch and larger. Minimum size is 6-inch. Change the 4-inch service shown to 6-inch.
11. Gravel parking lots are not allowed per the Zoning Ordinance. A waiver of this requirement will need to be granted from this requirement. Please provide a waiver request including what will be stored and/or parked in these areas.
12. Show the location of the permanent business dumpster and screening details for the dumpster.
13. All driveways need to be radii Type B with minimum 7-inch-thick PCC pavement.
14. Sidewalks through driveways need to be a minimum of 7-inches thick.
15. Show the detention basin emergency overflow weir location and elevations on Sheet C3.1.
16. Weekly SWPPP inspections are to be sent to Mat Kahler by e-mail to streetsupt@huxleyiowa.org.
17. Note 15 under Utility Notes on Sheet C0.1 is not applicable as there are not hydrants on this project.

Seth Sunderman
May 11, 2022
Page 3

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:rsb
45229-075

cc: Rita Conner, City of Huxley (e-mail)
Jeff Peterson, City of Huxley (e-mail)
Keith Vitzthum, City of Huxley (e-mail)
Mat Kahler, City of Huxley (e-mail)
AJ Strumpfer, City of Huxley (e-mail)
Amy Kaplan, City of Huxley (e-mail)
Samuel Rankin, Ankeny Lawn Care (e-mail)
Godwin Agbleze, Bishop Engineering Co. (e-mail)

PLANNING & ZONING COMMISSION COMMUNICATION

AGENDA HEADING:

Fjord Plaza Plat 1 Preliminary and Final Plat

SYNOPSIS:

Mr. Storage LC (Chris Gardner 506 East 1st Street Huxley, Iowa 50124) has submitted materials for review of a preliminary plat and final plat for an estimated 3.17 acre subdivision. The property is currently divided into 2 lots.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=4&PageID=1108&KeyValue=1325101133>

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=4&PageID=1108&KeyValue=1325101140>

The subdivision will create 5 lots of record.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

- The property is proposed for subdivision to create lots that may be sold to other entities.
- There are existing buildings located on the property including Mr. Storage and Bella Homes, storage units and a building that was initially constructed for storage that will now be partially re-used for an athletic training center. This will be undertaken through a change of use permit process administratively.

RECOMMENDATION: Review and discussion by Commission. Approval recommended unless there are additional comments that are not yet addressed, or other questions from the Commission.

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- City Council review of Planning & Zoning Commission recommendation

INDEX LEGEND
COUNTY: STORY COUNTY, IOWA CITY: HUXLEY
LOCATION: AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY: LOTS 1 AND 2 RAILROAD SUBDIVISION NO. 1: LOTS 2 AND 3 SECTION 25 - TWP 82 NORTH - RGE 25 WEST: PARCEL "G" OF NW 1/4 OF NW 1/4
PROPRIETOR: MR STORAGE LC c/o CHRIS GARDNER 506 E 1ST STREET HUXLEY, IOWA 50124 PHONE: (515) 401-8615
DEVELOPER & REQUESTED BY: BELLA HOMES, LLC 506 E 1ST STREET HUXLEY, IOWA 50124
SURVEYOR: ADAM D. SCHOEPPNER, PLS #26306
SURVEY COMPANY: NILLES ASSOCIATES, INC.
RETURN TO: ADAM D. SCHOEPPNER NILLES ASSOCIATES, INC. 1250 SW STATE STREET, SUITE A ANKENY, IOWA 50023 PHONE: (515) 965-0123

GENERAL NOTES

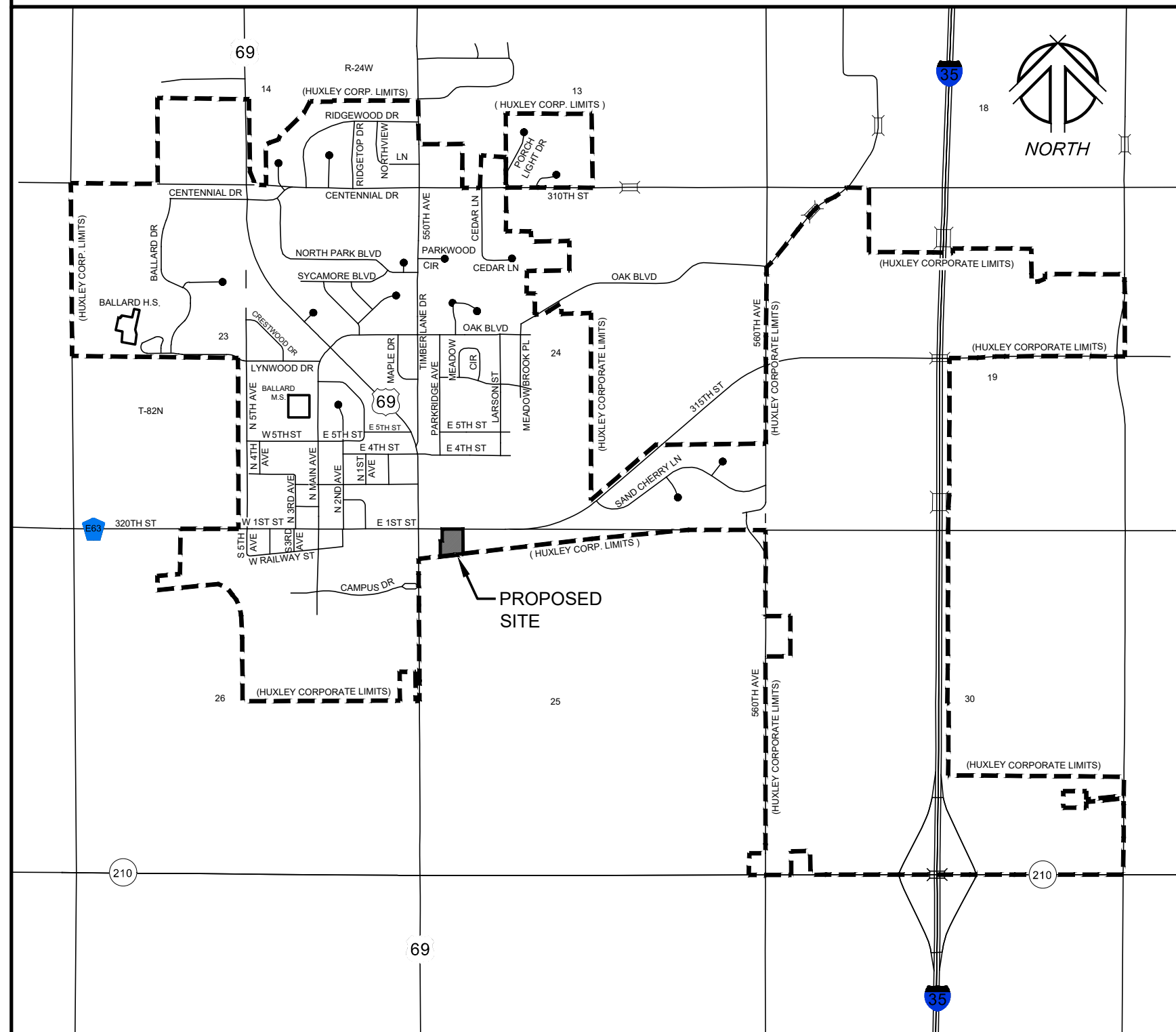
- The north line of AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY, is assumed to bear South 89 degrees 45 minutes 21 seconds East.
- The site lies within Zone X with areas of minimal flood hazard, as shown on the Flood Insurance Rate Map Community Panel Number 19169 C0290 F, with an effective date of January 15, 2021.

LEGEND

▲	Found section corner monument unless otherwise noted	Sanitary sewer manhole
●	Found monument 1/2" IR unless otherwise noted	Cleanout
○	Set monument 5/8" IR with blue cap #26306 unless otherwise noted	Storm sewer manhole
⊙	Set mag nail in pavement	Storm sewer intake
⊙	Round iron rebar (outside diameter)	Storm sewer beehive
⊙	Round iron pipe (outside diameter)	Flared end section
1234	Address	Water hydrant
PCC	Portland cement concrete	Water valve
ACC	Asphaltic cement concrete	Water service shut-off
FL	Pipe flowline elevation	Water main manhole
x 900.0'	Spot elevation	Monitoring well
RCP	Reinforced concrete pipe	Yard hydrant
CMP	Corrugated metal pipe	Well
PCP	Corrugated plastic pipe	Gas meter
PVC	Polyvinyl chloride pipe	Gas valve
CIP	Cast iron pipe	Air conditioning unit
TRAN	Electric transformer on pole	Electric manhole
DROP	Electric drop on pole	Electric meter
P.U.E.	Public Utility Easement	Electric pedestal
---	Subject boundary line	Electric transformer
---	Proposed boundary line	Utility hand hole
---	Existing property line	Utility pole
---	Proposed easement line	Light pole
---	Existing easement line	Utility pole with light
X	Barbed wire fence line	Light pole with double arm
o	Chain-link fence line	Light pole with single arm
o	Wood fence line	Ground light
SS	Retaining wall	Traffic signal
ST	Storm sewer and size	Traffic signal with light
W	Water main and size	Traffic manhole
G	Gas main and size	Communication pedestal
OHE	Overhead electric & wires	Telephone booth
OHC	Overhead communication	TV pedestal
UGE	Underground electric	Billboard sign
UTV	Underground television	Street sign
900'	Contour elevation	Basketball hoop
---	Swale flowline	Bollard (typical)
---	Edge of water	Down spout
---	Edge of tree dripline	Handicap parking stall
---		Tree shrub
---		Deciduous tree
---		Coniferous tree
---		Coniferous tree and trunk diameter

VICINITY MAP

SCALE: 1" = 2000'



LEGAL DESCRIPTION

Those parts of Lots 1 and 2, AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY, an official plat; AND Lots 2 and 3, RAILROAD SUBDIVISION NO. 1, an official plat; AND PARCEL "G" of the Northwest Quarter of the Northwest Quarter of Section 25, Township 82 North, Range 25 West of the 5th P.M., as shown on the plat of survey recorded in Slide 469, Page 5; all of which is located in the City of Huxley, Story County, Iowa, and being more particularly described as follows:

Beginning at the northeast corner of said Lot 2, AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY; thence South 00 degrees 32 minutes 33 seconds East, along the west line of PARCEL 'A' of Lot 3, said AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY and Lot 4, said RAILROAD SUBDIVISION NO. 1, as shown on the plat of survey recorded in Book 14, Page 151, a distance of 375.50 feet, to the south line of said RAILROAD SUBDIVISION NO. 1; thence South 84 degrees 00 minutes 42 seconds West, along said south line of RAILROAD SUBDIVISION NO. 1, a distance of 90.03 feet; thence South 05 degrees 59 minutes 18 seconds East, continuing along said south line of RAILROAD SUBDIVISION NO. 1, a distance of 20.00 feet; thence South 83 degrees 59 minutes 08 seconds West, continuing along said south line of RAILROAD SUBDIVISION NO. 1, a distance of 264.22 feet, to the west line of said Lot 2, RAILROAD SUBDIVISION NO. 1; thence North 00 degrees 25 minutes 54 seconds West, along said west line of Lot 2, RAILROAD SUBDIVISION NO. 1 and its northerly extension, a distance of 250.86 feet, to the south line of PARCEL 'C' of part of said Lot 1, AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY and part of said Northwest Quarter of Section 25, as shown on the plat of survey recorded in Slide 96, Page 3; thence South 89 degrees 55 minutes 08 seconds East, along said south line of PARCEL 'C', a distance of 29.65 feet, to the east line of said PARCEL 'C'; thence North 00 degrees 04 minutes 52 seconds East, along said east line of PARCEL 'C', a distance of 183.00 feet, to the north line of said AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY; thence South 89 degrees 45 minutes 21 seconds East, along said north line of AUDITOR'S PLAT OF FJORD SUBDIVISION TO THE TOWN OF HUXLEY, a distance of 318.65 feet, to said west line of Parcel 'A' and the Point of Beginning.

Containing 3.17 acres more or less.

Said parcel is subject to all easements and restrictions.

ZONING

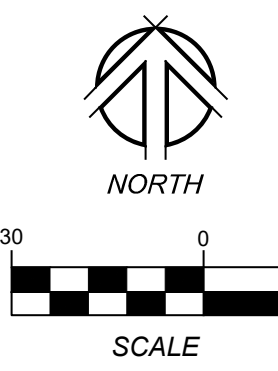
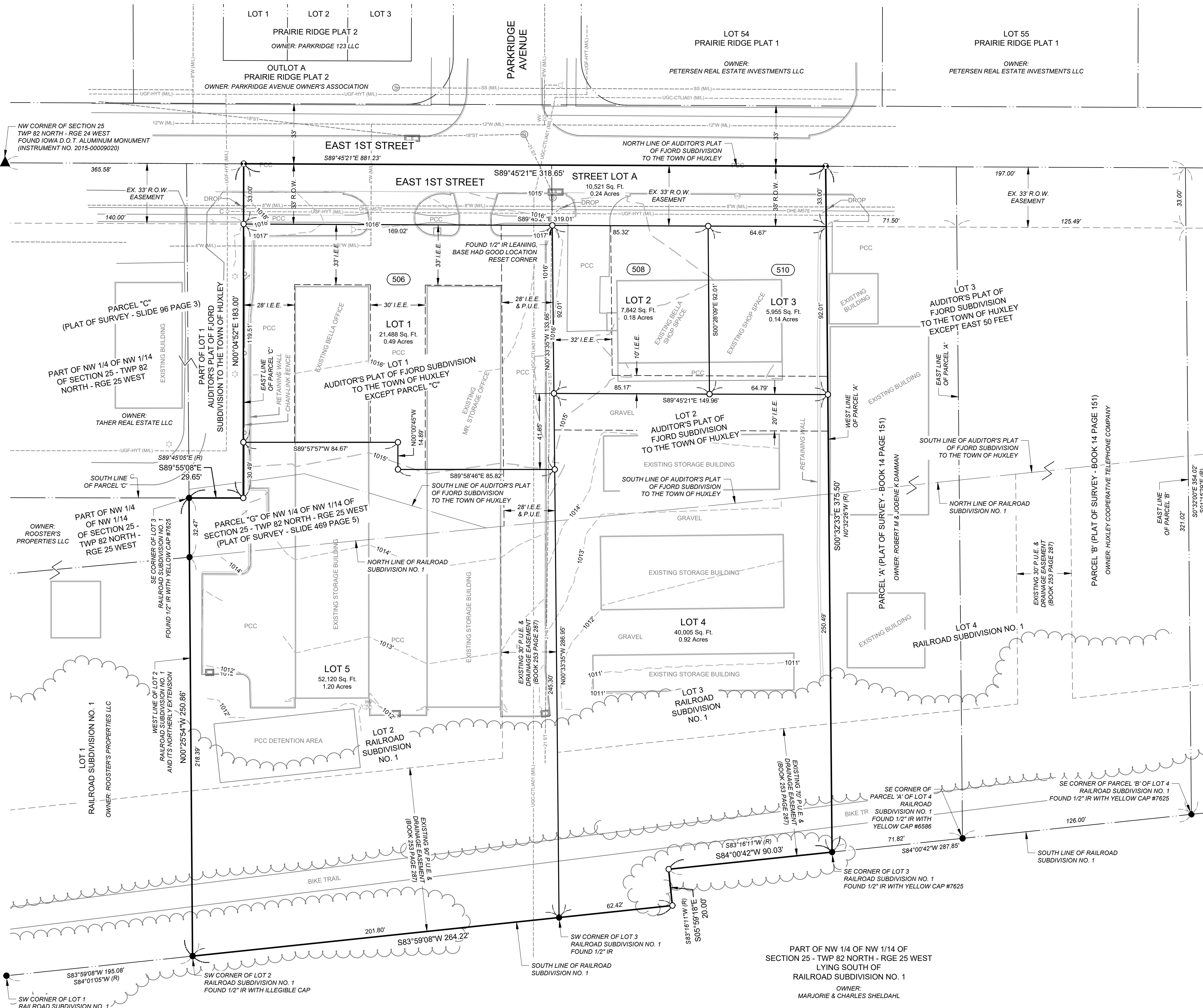
Zoning: M-1 District - Industrial District

Bulk Regulations:

- Front Yard Setback - 25 feet
- Rear Yard Setback - 25 feet
- Side Yard Setback - 10 feet
- Minimum Lot Area - 6,000 square feet

BENCHMARKS

- Top of rim of existing storm sewer manhole, located on the north side of East 1st Street at the intersection with Parkridge Avenue. Elevation = 1014.85' (NAVD88)
- Top of rim of existing storm sewer manhole, located south of the south curb line of East 1st Street, lying 15 feet north of the northeast corner of Lot 1. Elevation = 1015.34' (NAVD88)



1250 SW STATE STREET, SUITE A
ANKENY, IOWA 50023-2555
(515) 965-0123 phone - (515) 965-3322 fax
Civil Engineering - Land Surveying
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:
1)
2)
3)
4)
5)
6)
7)

FJORD PLAZA PLAT 1
EAST 1ST STREET HUXLEY, STORY COUNTY, IOWA

PRELIMINARY PLAT

PROJECT NAME:	
DATE:	05/11/22
DRAWN BY:	TJH
CHECKED BY:	ADS
SHEET SIZE:	24" X 36"
SHEET TITLE:	PP-1
SHEET NO.:	1/1



HUXLEY

— HEART OF THE PRAIRIE —

MAJOR STREETS

Legend

- Major Arterial - Existing
- Minor Arterial - Existing
- Minor Arterial - Future
- Major Collector - Existing
- Major Collector - Future
- Parkway
- Local Street - Future
- Planning Boundary
- Corporate Boundary

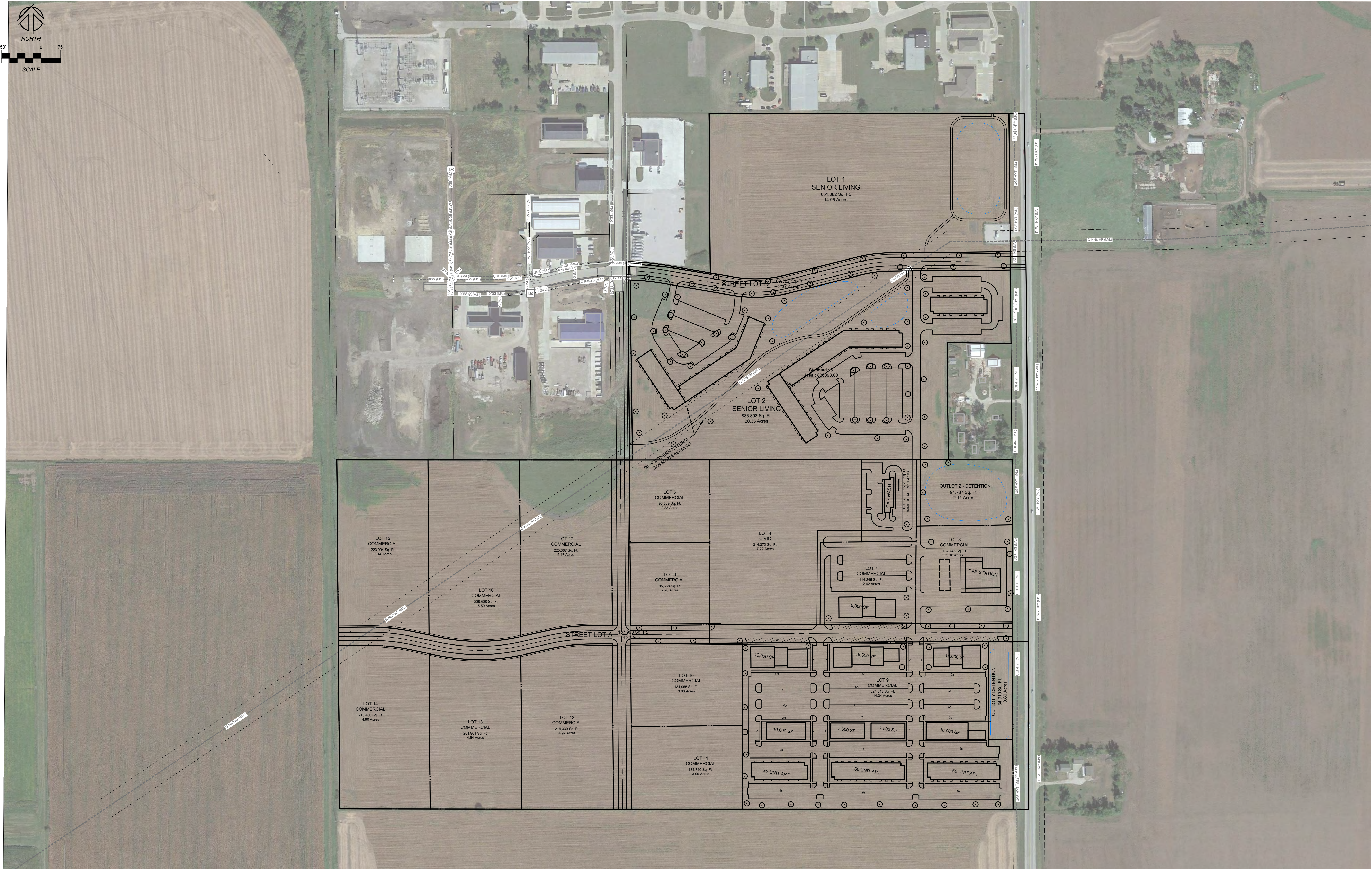
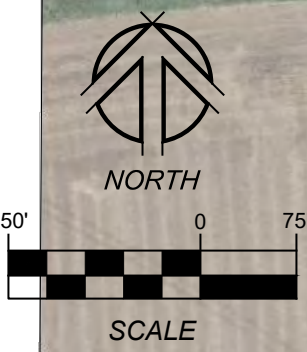
2013 Comprehensive
Plan Update
Figure 7-5



0 1,000 2,000 4,000 Feet



SNYDER & ASSOCIATES
Engineers and Planners



HUXLEY BUSINESS PARK