



PLANNING & ZONING COMMISSION MEETING

MONDAY FEBRUARY 28, 2021

6:00 P.M.

<https://zoom.us/j/99198672143>

Call in: 312-626-6799

Meeting ID: 991 9867 2143

AGENDA

1. Roll Call
2. Motion to approve the minutes from the October 18, 2021 and January 17, 2022 Planning & Zoning Commission Meeting
3. Public Comments (5-minutes limit for items not on this agenda)
4. Business Items
 - a. Site Plan Pacific Drywall Huxley Industrial Park Parcel B of Lot 7
 - b. Development Concept – Kamp, Woebker, Tollefson East 1st Street & Deerwood Drive
5. Informational Items/City Administrator Comments
 - a. Main Avenue Revitalization
6. Planning and Zoning Commission Comments
8. Adjournment

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

Huxley Planning & Zoning Commission Minutes

Monday, October 18, 2021

Chairman Roger Bierbaum called the meeting to order at 6:01 P.M.

ROLL CALL: Mosher, Bierbaum, Murphy, Patterson, Frantz, Ebel and Schonhorst present.

CITY STAFF PRESENT: Amy Kaplan – Zoning Clerk, Rita Conner- City Administrator.

CONSULTANTS PRESENT: None

GUESTS PRESENT: Adam Schoeppner and Larry Roden.

MINUTES APPROVAL: Motion –Patterson, second –Mosher to approve minutes from the September 20, 2021 meeting. 7 Aye. 0 Nay.

PUBLIC COMMENTS: None

PUBLIC HEARING: None

BUSINESS ITEMS:

North Prairie View Plat 2-Final Plat- Motion by Mosher, second- Schonhorst to recommend approval to City Council. Mosher, Bierbaum, Murphy, Patterson, Frantz, Schonhorst, Ebel voted yes. Motion carried 7/0.

Roden Plat of Survey-Boundary Adjustment-

6:10 PM Roden boundary adjustment called, applicant not present. Item tabled.

6:33PM Applicant arrived. Business item reviewed by Planning and Zoning Commission. Roden indicated his desire is to transfer the boundary line back to its original location in an effort to “clean up the boundary line.” Motion by Ebel, second- Patterson to recommend approval to City Council. Mosher, Bierbaum, Murphy, Patterson, Frantz, Schonhorst, Ebel voted yes. Motion carried 7/0.

INFORMATIONAL ITEMS/CITY ADMINISTRATOR COMMENTS:

Water Treatment Plant Expansion Update- The project was approved by City Council. Efforts underway regarding the City’s bond rating and securing funds.

Main Avenue- The Downtown Committee will be back in the coming weeks. A task force committee has been established and will meet after the presentation.

FY 2022 Capital Improvement Plan (CIP)- The working draft was sent to the Commission. City Council passed a modest CIP. A police vehicle and Fire Department equipment will be the first items to be discussed.

Comprehensive Plan & Space Needs Analysis RFP Update- Steinle is currently talking with other cities to see what they have done. Steinle will provide an analysis of her findings.

PLANNING AND ZONING COMMISSION COMMENTS:

- Bierbaum asked for an update on Council actions taken on items that were discussed by P&Z.
- Bierbaum requested the R1A discussion is placed back on the agenda. It is suggested that no new plats are passed with R1A zoning, instead, PUD zoning going forward. City staff would work with the City Attorney to end R1A zoning and have it written into the code.
- Murphy asked about the basic requirements for a PUD

- Murphy asked who owns the property that the new flagpole is on by the Huxley welcome sign.
- Mosher would like to see a fountain in the pond next to the new restaurant at the Landing. He thinks it would create a beautiful entry into Huxley.
- Bierbaum and Mosher will both be in Arizona for the next meeting. Will have a hybrid meeting, if possible, if not, Zoom.

ADJOURNMENT: Motion – Patterson, second-Ebel to adjourn meeting at 6:50 P.M. 7 ayes, 0 nays. MCU.

Amy Kaplan, Zoning Clerk

Mike Schonhorst, Acting Chairman

Date of Approval

Huxley Planning & Zoning Commission Minutes

Monday, January 17, 2022

Chairman Roger Bierbaum called the Zoom meeting to order at 6:00 P.M.

ROLL CALL: Mosher, Bierbaum, Murphy, Frantz, Schonhorst present. Ebel and Patterson absent.

CITY STAFF PRESENT: Amy Kaplan – Zoning Clerk, Rita Conner- City Administrator.

CONSULTANTS PRESENT: None

GUESTS PRESENT: None.

MINUTES APPROVAL: Error on the agenda. The Commission did not meet in December. Will approve October 18th minutes at February meeting.

PUBLIC COMMENTS: None

PUBLIC HEARING: None

BUSINESS ITEMS:

Stensland Partnership Final Plat (Story County 2 mile Review)

The Commission reviewed the subdivision and finds it acceptable. Motion by Frantz, second by Mosher to recommend approval to City Council. Mosher, Frantz, Murphy, Bierbaum voted yes. Schonhorst abstained.

Continued Discussion of R-1 A and Planned Unit Development (PUD) Zoning

Discussion topics included minimum number of acres, the need for more diverse housing products, tax implications etc. Conner will provide the Commission with examples of PUD areas and code from other cities for review. Continued discussion to be had.

INFORMATIONAL ITEMS/CITY ADMINISTRATOR COMMENTS:

Council Action Update: Conner gave a re-cap of the action taken at the City Council Meetings on topics that were discussed at Planning & Zoning.

Comprehensive Plan—The Comprehensive Plan will be updated as opposed to a new plan.

PLANNING AND ZONING COMMISSION COMMENTS:

- Bierbaum inquired about why Kevin Thompson was appointed to City Council. Conner indicated that Easter had moved out of the community.
- Next meeting will be February 21st. Zoom is preferred in February & March.

ADJOURNMENT: Motion – Schonhorst, second-Frantz to adjourn meeting at 6:32 P.M. 5 ayes, 0 nays. MCU.

Amy Kaplan, Zoning Clerk

Roger Bierbaum, Chairman

Date of Approval

PLANNING & ZONING COMMISSION COMMUNICATION

AGENDA HEADING:

Site Plan Pacific Drywall Huxley Industrial Park Parcel B of Lot 7

SYNOPSIS:

Pacific Drywall Corporation (5121 NE 3rd Street Des Moines, Iowa 50313) has been operating a drywall business at 105 Snyder Drive in the Huxley Development Park. The company's success has prompted the proposed construction of a second building to grow the company's available space for operations, equipment and materials.

The proposed project is proposed to be located on a 2.14 acre site adjacent to the existing building, and will add an estimated 20,800 square feet of warehouse space and 2800 square feet of office space.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

- Review comments were provided to the design and development team by city staff and Veenstra & Kimm, Inc. Review comments have been addressed with the exception of a final review of the lighting plan.
- The current building has no signage identifying it, and the proposed building has no proposed signage. Staff is inquiring with the design and development team on the potential for building signage to identify the company to the public.

RECOMMENDATION: APPROVAL

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- March 8, 2022 City Council review of site plan
- Submittal of building permit package and review of same
- Permit issuance and construction of project
- Final inspection and issuance Certificate of Occupancy



VEENSTRA & KIMM INC.

3000 Westown Parkway
West Des Moines, Iowa 50266

515.225.8000 // 800.241.8000
www.v-k.net

February 25, 2022

Adam Schoeppner
Nilles Associates, Inc.
1250 SW State Street
Ankeny, Iowa 50023

adams@nillesinc.com
(E-Mail Only)

HUXLEY, IOWA
PACIFIC DRYWALL
HUXLEY INDUSTRIAL PARK PARCEL B OF LOT 7
SITE PLAN REVIEW

We have reviewed Pacific Drywall's site plan for Parcel B of Lot 7 of the Huxley Industrial Park and offer the following comment:

1. Provide a photo metric lighting plan.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, appearing to read 'Forrest S. Aldrich'.

Forrest S. Aldrich

FSA:rsb
45229-071

cc: Rita Conner, City of Huxley w/enclosure (e-mail)
Jeff Peterson, City of Huxley w/enclosure (e-mail)
Keith Vitzthum, City of Huxley (e-mail)
Mat Kahler, City of Huxley (e-mail)
AJ Strumpfer, City of Huxley (e-mail)
Amy Kaplan, City of Huxley (e-mail)

TRANSMITTAL SHEET

TO: City of Huxley
Rita Conner

FROM: Adam Schoeppner, PLS

COMPANY: City of Huxley, Iowa

DATE: February 18, 2022

ADDRESS: 515 N. Main Ave
Huxley, Iowa 50124

NO. OF PAGES (INCLUDING COVER):

PHONE NO: 515-963-3550

NAI PROJECT NO: 21267

SUBJECT: Pacific Drywall Site Plan –
Second Submittal

FAX NUMBER:

☐ URGENT

☐ FOR REVIEW

☐ PLEASE COMMENT

☐ PLEASE REPLY

☐ MAIL

☐ FAX

☐ E-MAIL

☐ OTHER _____

NOTES/COMMENTS:

Rita,

Please see the following documents:

No.	Contents
6	24x36 Site Plan – Pacific Drywall
1	Comment Response Letter

Thanks,

Adam Schoeppner, PLS
NILLES ASSOCIATES, INC.

February 11, 2022

Forrest S. Aldrich
Veenstra & Kimm, Inc.
3000 Westown Parkway
West Des Moines, Iowa 50266-1320

RE: Pacific Drywall

Forrest:

This letter accompanies our second submittal of Pet Parents Site Plan. We have addressed your comments as follows (comments in **Red**):

Comment Responses

1. Provide information on the materials to be used for the hydrant lead and water service. **Material information added to note 1 on sheet up-1.**
 2. Use an arch pattern water curb stop box with stainless steel rod. **Information added to note 1 on sheet UP-1.**
 3. Add a “Storz” nozzle to the hydrant. **Hydrant removed from plans. See response to comment 5 for more information.**
 4. Hydrant needs to be as manufactured by Waterous or Clow. **Hydrant removed from plans. See response to comment 5 for more information.**
 5. The hydrant needs to be placed with the street right of way if the hydrant is to be a public hydrant. **Hydrant has been deemed unnecessary and has been removed from the plans. Proposed building will be fully sprinklered and does not need to be fully covered by 200 ft hydrant radius.**
 6. The water service cannot be tapped into the hydrant lead. Provide a separate tap into the public water main for the service. **Hydrant has been removed from plans and water service tapped into public water main.**
 7. Install tracer wire on the water service. Terminate in flush mounted tracer wire box Drainage & Water Solutions Figure No. TWAB. Use 3M Scotchplast Splice Encapsulation Kit 3832 for all tracer wire connections. **Details added to note 1 on sheet UP-1.**
-

8. Provide all final as constructed plans as an electronic pdf format. Provide GIS coordinates for all as constructed utility manholes, valve boxes, curb stops, hydrants and cleanouts in AutoCad format. **Electronic pdf and as-built files will be provided.**
9. Change contact for Alliant Energy to Jacob Clark, Alliant Energy, 515-268-4412. **Contact changed.**
10. Provide a photo metric lighting plan. **Photometric lighting plan will be provided upon completion.**
11. Developer's/Owner's engineer will need to sign off on the project with a written statement that all construction plans and as-builts were completed to the engineer's design, and City supplemental and SUDAS standards before a final C.O. is issued. **Noted.**
12. Provide information on the uses inside the building as far as the need for oil/sand separators and grease interceptors. **Building is intended to be used as office space and storage warehouse space for Pacific Drywall. No waste is expected to be created on site that would require oil/sand filters or grease interceptors.**
13. Provide information on the future use for the north half of the lot that will remain undeveloped including information on property access and extensions of utilities. **The north half of Lot 7 is under different ownership. Therefore, we are unaware of future plans for development/usage. The private drive between Lot 7 and Lots 5 and 6 will be used for access to the north half. An ingress-egress easement, sanitary sewer easement, and watermain easement are all provided along this private drive for utility extension. A 10' PUE is located along the west boundary of Lot 7 for the extension of franchise utilities to the north lot.**
14. Label the owner of Lot 4 on sheet 2. **Owner labeled.**
15. Provide inlet protection to the existing intake located on the north side of Snyder drive east of the site. **Note added to install inlet protection.**

16. The stormwater management plan needs to be updated and modified to comply with the Huxley Industrial Park Stormwater Management Plan dated January 17, 2006 by Fox Engineering. The allowable release rate from this site is 1.0 cfs. **Updated.**
17. Pipe Material is to be pvc SDR 23.5 for 6-inch services and pvc truss pipe for services 8-inch and larger. **Material requirements added to note 2.1 on sheet UP-1.**
18. The 12" sewer ST-0 located within the street right of way needs to be concrete pipe. **Pipe updated to 15" RCP.**
19. Install sidewalk ramps including common square with minimum 7-inch-thick concrete. **Note updated to 7 inches.**

Please review these revisions and comment accordingly. If you have any questions, please contact me and we will work to resolve any remaining issues. Thank you.

Sincerely,

Adam Schoeppner

NILLES ASSOCIATES, INC.

PACIFIC DRYWALL - HUXLEY

PARCEL B OF LOT 7 HUXLEY DEVELOPMENT CORPORATION PLAT 3, HUXLEY, IOWA

SITE PLAN

NAI #21267



EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

SPECIFICATION REFERENCE

THE 2021 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

LEGEND

Existing / Proposed	Existing / Proposed	Existing / Proposed
IR Round iron rebar	1234 Spot elevation	Address
IP Round iron pipe	1234 Spot elevation	Sanitary sewer manhole
PCC Portland cement concrete	1234 Spot elevation	Cleanout
ACC Asphaltic cement concrete	1234 Spot elevation	Storm sewer manhole
FL Pipe flowline elevation	1234 Spot elevation	Storm sewer intake
RCP Reinforced concrete pipe	1234 Spot elevation	Storm sewer beehive
CMP Corrugated metal pipe	1234 Spot elevation	Flared end section
CPP Corrugated plastic pipe	1234 Spot elevation	Water hydrant
PVC Polyvinyl chloride pipe	1234 Spot elevation	Water valve
CIP Cast iron pipe	1234 Spot elevation	Water service shut-off
P.U.E. Public utility easement	1234 Spot elevation	Water main manhole
S.W.F.E. Surface water flowage easement	1234 Spot elevation	Monitoring well
B/B Back of curb to back of curb	1234 Spot elevation	Yard hydrant
Subject boundary line	1234 Spot elevation	Well
Section line	1234 Spot elevation	Gas meter
Proposed boundary line	1234 Spot elevation	Gas valve
Existing boundary line	1234 Spot elevation	Air conditioning unit
Future boundary line	1234 Spot elevation	Electric manhole
Underlying boundary line	1234 Spot elevation	Electric meter
Proposed easement line	1234 Spot elevation	Electric pedestal
Existing easement line	1234 Spot elevation	Electric transformer
Setback line	1234 Spot elevation	Utility hand hole
Barbed wire fence line	1234 Spot elevation	Utility pole
Chain-link fence line	1234 Spot elevation	Utility pole with light
Straw Wattle	1234 Spot elevation	Light pole
Silt fence	1234 Spot elevation	Ground up light
Sanitary sewer & size	1234 Spot elevation	Guy wire
Storm sewer & size	1234 Spot elevation	Traffic signal
Water main & size	1234 Spot elevation	Traffic signal with light
Gas main & size	1234 Spot elevation	Traffic manhole
OHE Overhead electric & wires	1234 Spot elevation	Communication pedestal
OHC Overhead communication	1234 Spot elevation	Telephone booth
UGE Underground electric	1234 Spot elevation	TV pedestal
TV Underground television	1234 Spot elevation	Billboard sign
UGC Underground communication	1234 Spot elevation	Street sign
Contour elevation	1234 Spot elevation	Down spout
Swale flowline	1234 Spot elevation	Tree shrub
Edge of water	1234 Spot elevation	Deciduous tree and trunk diameter
Edge of tree dripline	1234 Spot elevation	Coniferous tree and trunk diameter
Construction limits	1234 Spot elevation	
Construction fence	1234 Spot elevation	

BENCHMARKS

- SANITARY MANHOLE RIM, 32' +/- NORTH OF SNYDER DRIVE, 300' +/- WEST OF DRIVE ON EAST END OF SITE. ELEVATION=1044.39
- CUT "X" IN CENTERLINE OF EAST DRIVE, 24' +/- NORTH OF SNYDER DRIVE, 12' +/- EAST OF BACK OF CURB ON DRIVE ON EAST SIDE OF SITE. ELEVATION=1044.57.

GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:
A. CITY OF HUXLEY
B. BELLA COMMERCIAL
- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2021 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF HUXLEY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF HUXLEY PERSONNEL.
- SIGNS SHALL CONFORM TO THE CITY OF HUXLEY SIGN ORDINANCE.
- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.
- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF HUXLEY, BELLA COMMERCIAL, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.

UTILITY CONTACTS

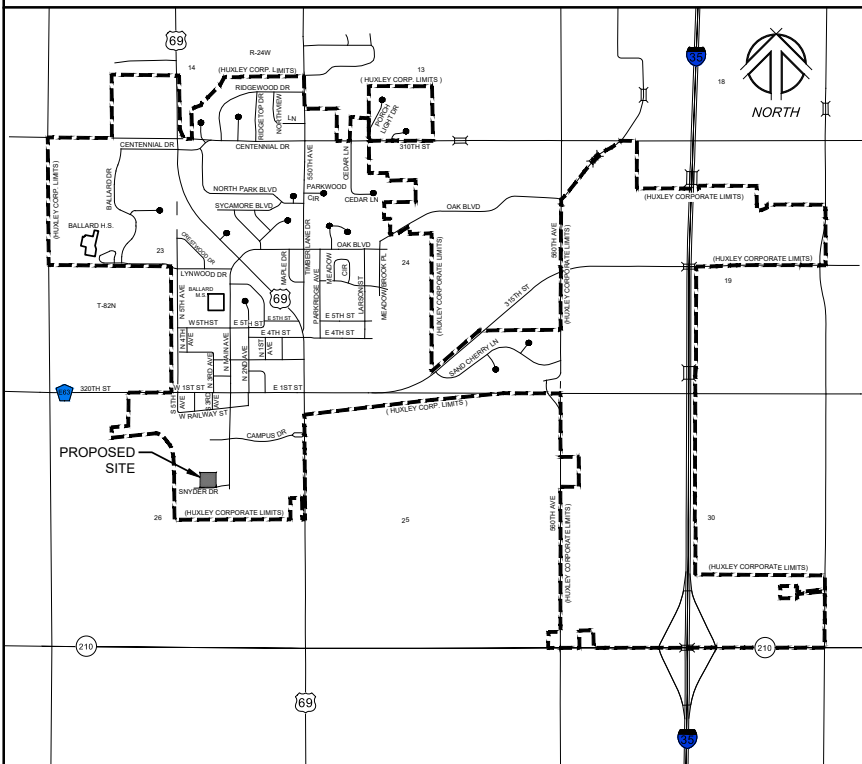
CITY OF HUXLEY WATER AND SEWER
Contact Name: Keith Vitzthum
Contact Phone: 515-290-7512

ALLIANT ENERGY- GAS AND ELECTRIC
Contact Name: Jacob Clark
Contact Phone: 515-268-4412

HUXLEY COMMUNICATIONS - PHONE/CABLE
Contact Name: Brant Strumpher
Contact Phone: 515-203-6716

VICINITY MAP

SCALE: 1" = 2000'



PROJECT SUMMARY

TOTAL SITE AREA:	93,249 SF, 2.14 ACRES
PROPOSED USE:	OFFICE / WAREHOUSE
BUILDING INFORMATION:	1-STORY BUILDING
TOTAL BUILDING COVERAGE:	23,600 SF
WAREHOUSE AREA:	20,800 SF
OFFICE AREA:	2,800 SF
TOTAL STALLS REQUIRED	1 SPACE / 5,000 SF GROSS FLOOR AREA = 5 SPACES
TOTAL PARKING PROVIDED	6 SPACES PLUS 1 VAN ACCESSIBLE SPACE
PRIVATE DRIVES & PARKING:	EXISTING = 4,400 SF ADDITION = 31,115 SF TOTAL = 35,515 SF
SIDEWALKS:	0.00 SF (ON-SITE) 1,360 SF (INCLUDING R.O.W)
COMBINED HARD SURFACE:	59,115 SF (63.4%) (ON-SITE) 60,475 SF (INCLUDING R.O.W)
OPEN SPACE INFORMATION:	34,134 SF (36.6%)
GREENSPACE:	34,134 SF (36.6%)
PROPERTY ZONING:	M-1
PROPERTY ADDRESS:	PARCEL B OF LOT 7 HUXLEY DEVELOPMENT CORPORATION PLAT 3

PROPERTY OWNER

PACIFIC DRYWALL CORPORATION
5121 NE 3RD STREET
DES MOINES, IOWA 50313

DEVELOPER

BELLA COMMERCIAL
C/O CHRIS GARDNER
506 E. 1ST STREET
HUXLEY, IOWA 50124

SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	CV-1	COVER SHEET
2	RP-1	REMOVALS PLAN
3	DP-1	DIMENSION PLAN
4	GP-1	GRADING PLAN
5	UP-1	UTILITY PLAN
6	LP-1	LANDSCAPING PLAN
7	DT-1	DETAIL SHEET

LEGAL DESCRIPTION

PARCEL B OF THAT PART OF LOT 7, HUXLEY DEVELOPMENT CORPORATION PLAT 3, AN OFFICIAL PLAT, LOCATED IN THE CITY OF HUXLEY, STORY COUNTY, IOWA.

CONTAINING 2.14 ACRES, MORE OR LESS

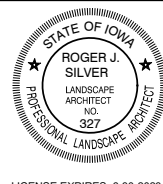
SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

CONSTRUCTION SCHEDULE

SITE GRADING
UTILITY INSTALLATION
PAVING INSTALLATION
LANDSCAPING

SPRING 2022
SPRING 2022 - FALL 2022
SPRING 2022 - FALL 2022
FALL 2022

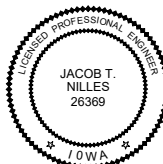
CERTIFICATIONS



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

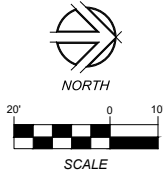
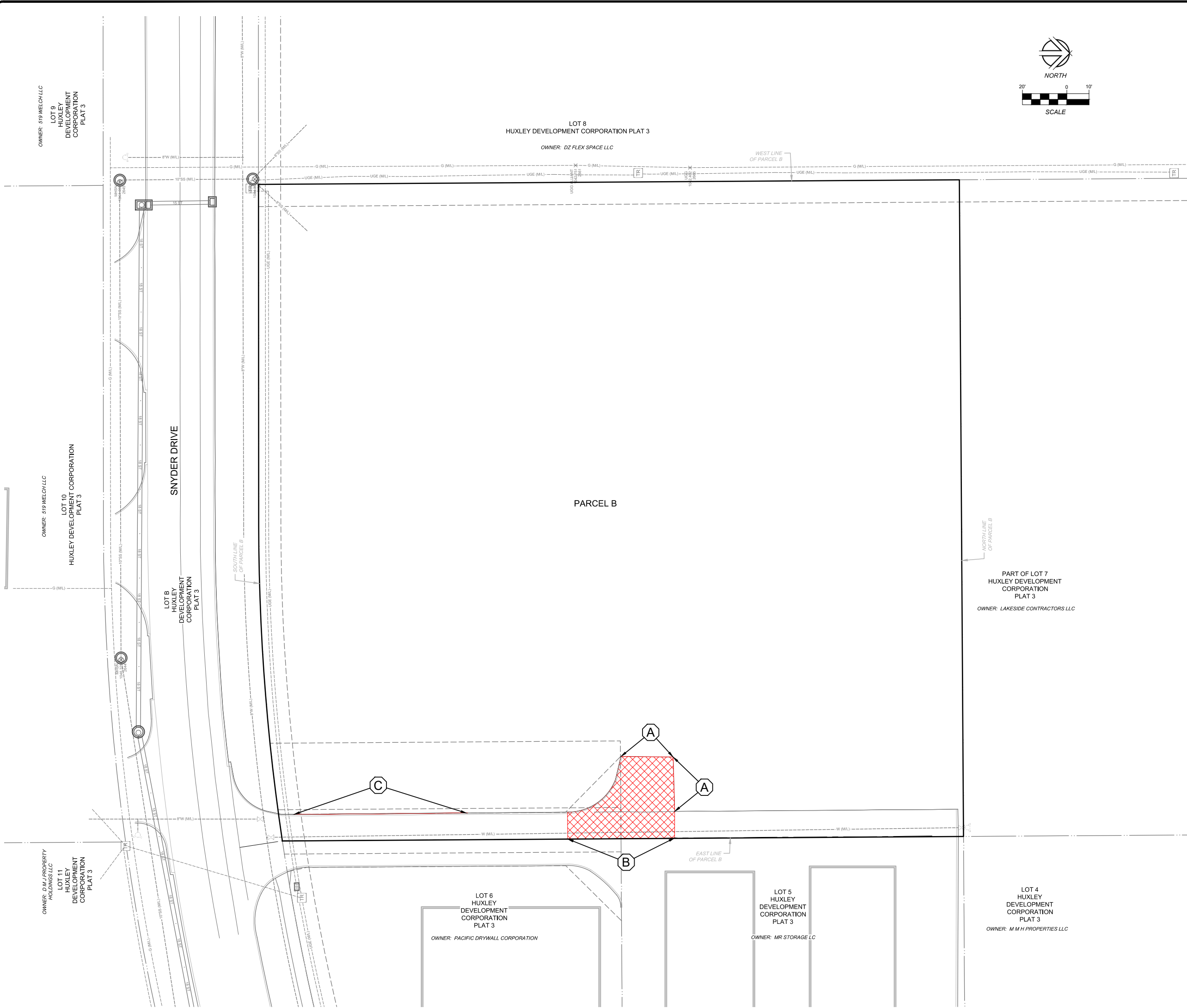
ROGER J. SILVER

SIGNATURE _____ DATE _____
PAGES OR SHEETS COVERED BY THIS SEAL:
CV-1, LP-1



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Signature: _____ Date _____
Name: Jacob T. Nilles, P.E. No. 26369
My license renewal date is December 31, 2023
Pages or sheets covered by this seal: CV-1, RP-1, DP-1, GP-1, UP-1, DT-1



DIMENSION PLAN NOTES

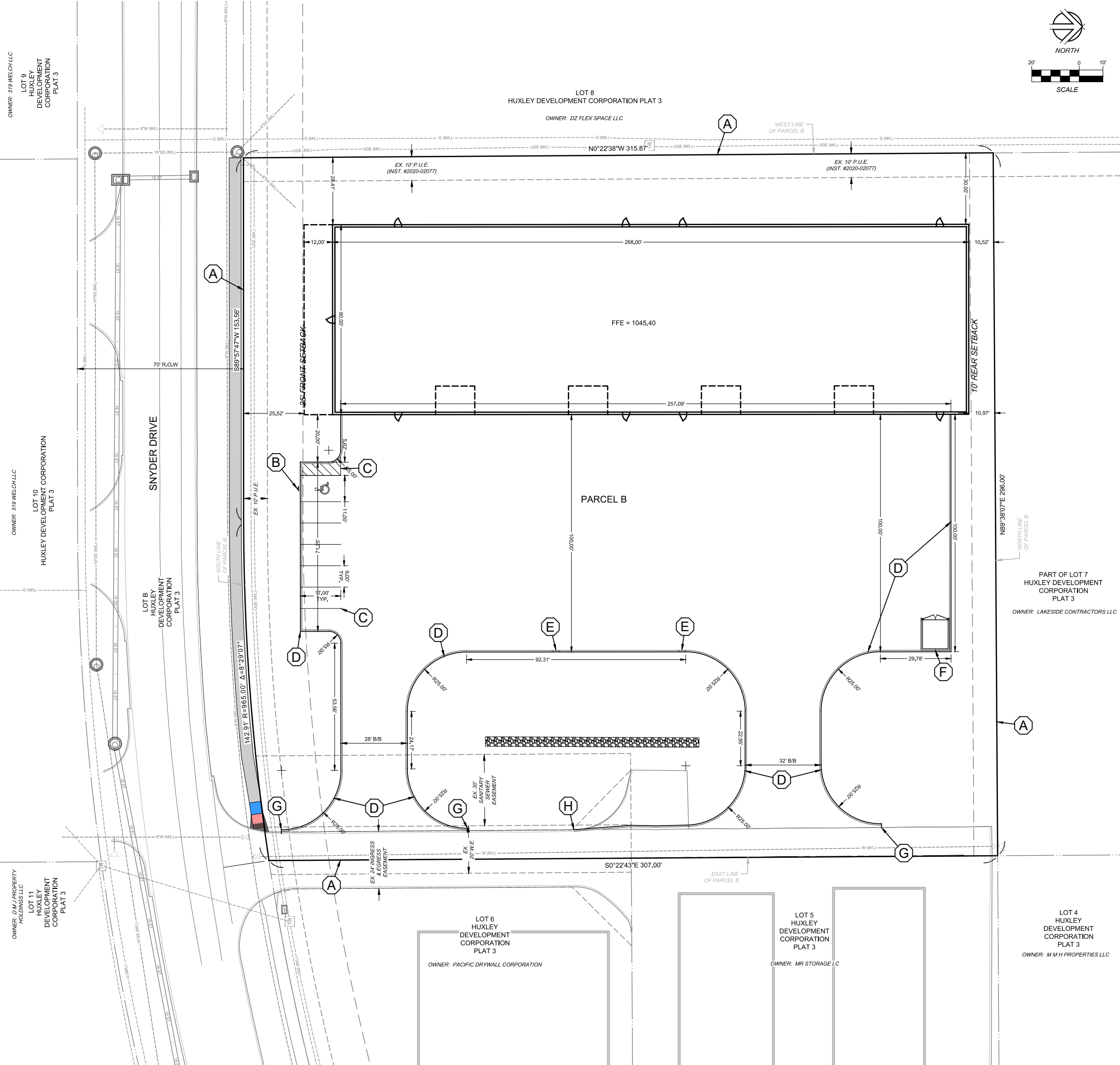
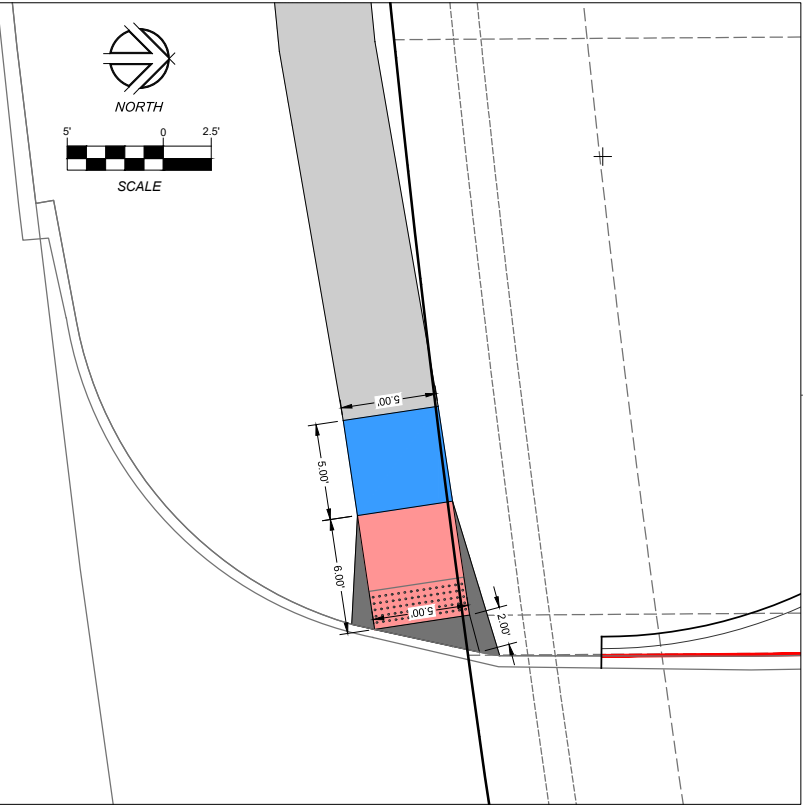
- A. REMOVE EXISTING PAVEMENT PER SUDAS 7040. REMOVE PAVEMENT TO EXISTING JOINT LINE ON PRIVATE DRIVE. APPROXIMATELY 1300 SF TO BE REMOVED. PROTECT ALL OTHER PAVEMENT NOT DESIGNATED FOR REMOVAL. ANY PAVEMENT THAT IS DAMAGED SHALL BE REPLACED AT THE CONTRACTORS EXPENSE.
- B. IF NECESSARY, REMOVE PANELS IN EXISTING DRIVE TO CREATE CLEAN JOINT FOR CONNECTION TO PROPOSED DRIVEWAY TIE-IN AND PLACEMENT OF CURB. REFER TO SHEET DP-1 AND GP-1 FOR MORE INFORMATION ON PROPOSED DRIVEWAY TIE-IN.
- C. REMOVE 78 LF OF EXISTING CURB FOR DRIVEWAY TIE-IN CONNECTION.

DIMENSION PLAN NOTES

- A. PROPERTY LINE.
- B. ACCESSIBLE STALL SIGNS IN ACCORDANCE WITH ANSI A117.1-09 SECTION 502.7. SEE DETAIL 4 ON SHEET DT-1.
- C. PROVIDE PARKING STALL AND LANE STRIPING AS SHOWN PER SUDAS 8020 AND IDOT SECTION 2527.
- D. 6" STANDARD CURB PER SUDAS FIGURE 7010.102. ALL CONCRETE CURBS SHALL BE INTEGRAL.
- E. 36" SLOTTED CURB OPENING. REFER TO DETAIL 3 ON SHEET DT-1 FOR FURTHER INFORMATION.
- F. DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- G. TYPE 'A' DRIVEWAY CONNECTION PER SUDAS 7030
- H. TYPE 'B' DRIVEWAY CONNECTION PER SUDAS 7030.

PAVING NOTES

1. PARKING LOT AND DRIVE AISLE PAVING SHALL BE NON-REINFORCED P.C.C. WITH THICKNESS OF 6 INCHES. ALL CONCRETE CURBS SHALL BE INTEGRAL TO PAVING SLAB.
2. TRASH ENCLOSURE PAD SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 8".
3. SIDEWALKS SHALL BE NON REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 5 INCHES.
4. ALL PAVING SHALL COMPLY W/ SUDAS SECTION 7010 FOR MATERIALS AND INSTALLATION.
5. COMPLY WITH SUDAS SECTION 7030 FOR P.C.C. SIDEWALKS MATERIALS AND INSTALLATION.
6. REFER TO ARCHITECTURAL PLAN FOR ADDITIONAL INFORMATION ON STOOPS AND SIDEWALKS ADJACENT TO BUILDING.
7. SIDEWALK RAMPS ADJACENT TO PUBLIC STREETS SHALL BE NON-REINFORCED P.C.C. WITH A MINIMUM THICKNESS OF 7 INCHES. ALL OTHER SIDEWALKS AND RAMPS SHALL HAVE A MINIMUM THICKNESS OF 5 INCHES.
8. ALL TRUNCATED DOME INSERTS SHALL BE CAST IN PLACE REPLACEABLE IN RED MANUFACTURED BY ADA SOLUTIONS, OR APPROVED EQUAL.



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NILLES ASSOCIATES

REVISIONS
1) 2022-05-17 REVISIONS PER CITY COMMENT
2) 2022-05-17 REVISIONS PER CITY COMMENT
3) 2022-05-17 REVISIONS PER CITY COMMENT
4) 2022-05-17 REVISIONS PER CITY COMMENT
5) 2022-05-17 REVISIONS PER CITY COMMENT
6) 2022-05-17 REVISIONS PER CITY COMMENT
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PACIFIC DRYWALL
HUXLEY, IOWA
DIMENSION PLAN

PROJECT NAME
DESCRIPTION

NAI NO.	21267
DATE	01/11/2022
DRAWN BY	BLH
CHECKED BY	JTN
SHEET SIZE	24" X 36"
SHEET TITLE	DP-1
SHEET NO.	3/7

GRADING PLAN LEGEND

TC - TOP OF CURB ELEVATION
S - TOP OF SLAB ELEVATION

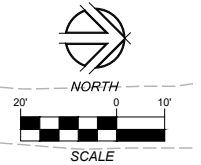
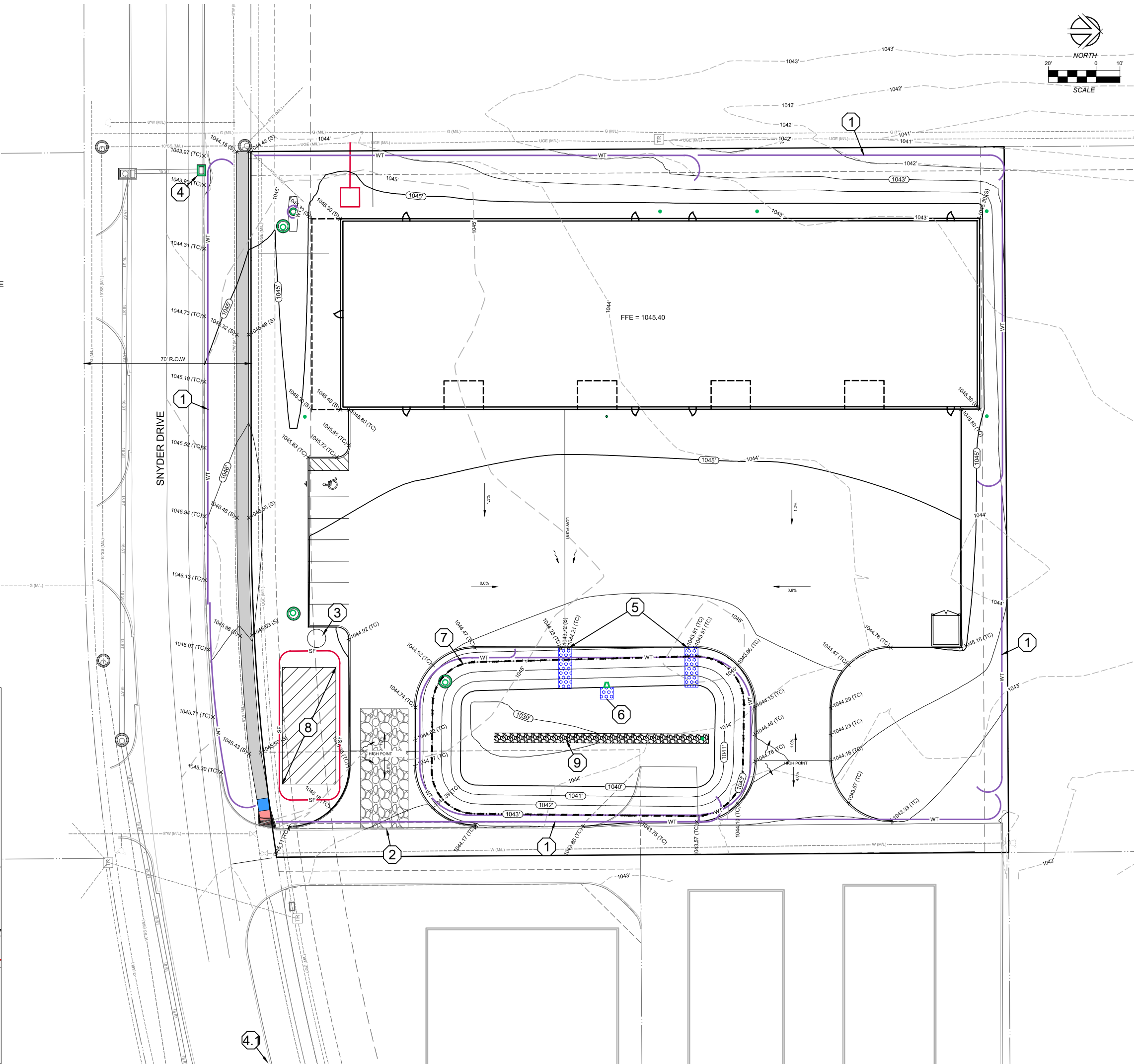
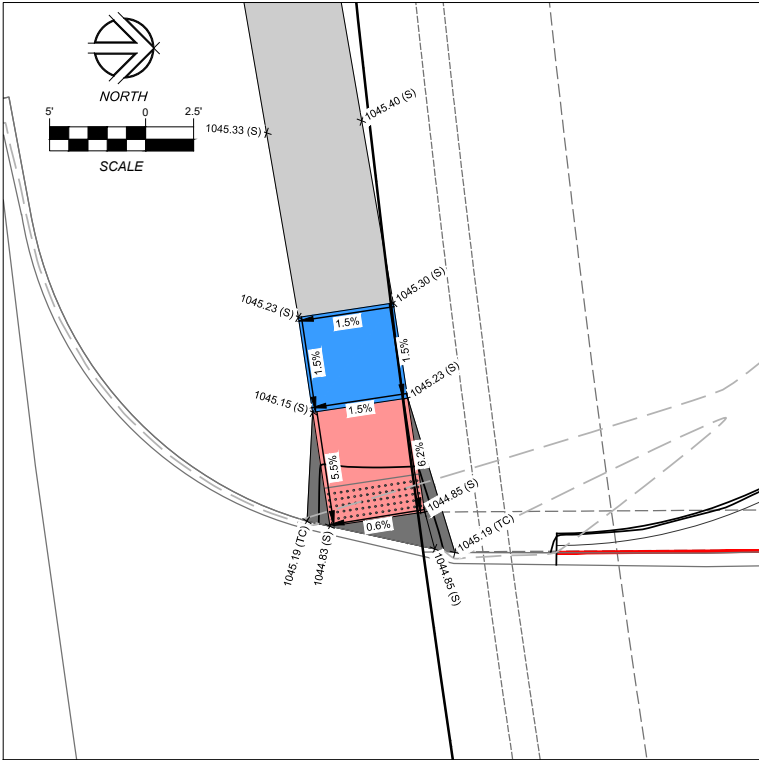
- RAMP
- SPECIAL SHAPING
- TURNING SPACE
- MAX 1.5% IN ALL DIRECTIONS

GENERAL GRADING PLAN NOTES

- ALL EXTERIOR PAVING AREAS SHALL HAVE 12" DEPTH SUBGRADE PREPARATION. SCARIFY AND COMPACT PER GEOTECHNICAL REPORT EXTENDING 2' BEYOND PAVING LIMITS.

GRADING PLAN NOTES

- PROVIDE SILT FENCE OR 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED ---SF---, ---WT---. 1600 LF OF WATTLE SHOWN. INSTALL PER SUDAS 9040.
- ROCK CONSTRUCTION ENTRANCE . - 20' WIDE X 50' LONG X 12" DEPTH STONE . WORK AND MATERIALS SHALL CONFORM TO SUDAS 9040.
- CONCRETE WASHOUT AREA.
- INSTALL AND MAINTAIN INLET PROTECTION DEVICE PRIOR TO AND FOLLOWING PAVEMENT INSTALLATION.
- INSTALL AND MAINTAIN INLET PROTECTION IN FIRST EXISTING INTAKE EAST OF THE SITE ON THE NORTH SIDE OF SNYDER DRIVE (NOT SHOWN IN PLAN VIEW).
- CURB DROP AND FLEXAMAT FLUME - REFER TO DETAIL 3 ON SHEET DT-1 AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
- INSTALL 5.5'X5' FLEXAMAT AT PIPE OUTLET LOCATION. INSTALL FLEXAMAT PER MANUFACTURERS INSTRUCTIONS AND DETAILS.
- DETENTION BASIN 100-YR WATER ELEVATION - 1043.14.
- SOIL STOCKPILE LOCATION.
- 4'X90' ROCK SUBDRAIN TRENCH. REFER TO DETAIL 4 ON SHEET DT-1 FOR FURTHER INFORMATION.



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REVISIONS	
1	2022-05-17 REVISIONS PER CITY COMMENT
2	
3	
4	
5	
6	
7	

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PACIFIC DRYWALL
HUXLEY, IOWA
GRADING & EROSION CONTROL PLAN

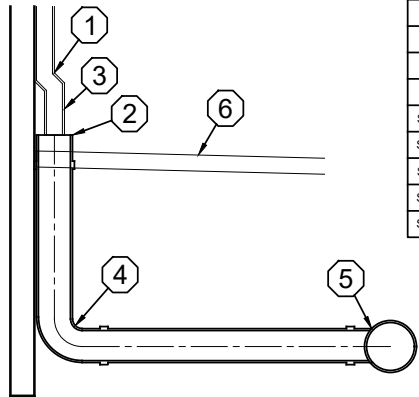
PROJECT NAME	
DATE	01/11/2022
DRAWN BY	BLH
CHECKED BY	JTN
SHEET SIZE	24" X 36"
SHEET TITLE	GP-1
SHEET NO.	4/7

UTILITY PLAN NOTES

- WATER SERVICE CONSTRUCTED WITH ASTM D 1785, SCHEDULE 80 OR ASTM D 2241 SDR 21 PVC PIPE. 39 LF TOTAL 3" WATER SERVICE. CURB STOP BOX TO BE ARCH PATTERN WITH STAINLESS STEEL ROD. TRACER WIRE TO BE INSTALLED ON WATER SERVICE. TERMINATE TRACER WIRE IN FLUSH MOUNTED TRACER WIRE BOX TYPE "DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB". USE 3M SCOTCHPLAST ENCAPSULATION KIT 3832 FOR ALL TRACER WIRE CONNECTIONS. INSTALL PIPE AND FITTINGS PER SUDAS 5010, 5020, 2015 INTERNATIONAL FIRE CODE, AND CITY OF HUXLEY REQUIREMENTS. MAINTAIN DEPTH OF 5.5 FEET MINIMUM. CONSULT BUILDING PLANS FOR FOOTING DEPTH AND EXTENSION OF SERVICES TO METERS.
 - 8" TAPPING VALVE AND SLEEVE.
 - INSTALL "WATTS RPZ BACKFLOW ASSEMBLY" ON WATER SERVICE.
 - 200' HYDRANT RADIUS COVERAGE.
- SANITARY SEWER WORK AND MATERIALS SHALL CONFORM TO SUDAS 4010.
 - CONNECT PROPOSED 8" PVC TRUSS PIPE SANITARY SEWER SERVICE TO EXISTING 8" SANITARY STUB. MATCH SLOPE OF EXISTING SERVICE STUB. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING SANITARY STUB PRIOR TO CONSTRUCTION.
- ELECTRIC SERVICE. COORDINATE TRANSFORMER LOCATION AND CONNECTION TO EXISTING ELECTRIC SERVICE WITH ALLIANT ENERGY.
 - TRANSFORMER LOCATION
 - BUILDING ELECTRIC SERVICE
- PROPOSED GAS SERVICE - FINAL ROUTE AND LOCATION TO BE DETERMINED BY UTILITY PROVIDER AND COORDINATED WITH PACIFIC DRYWALL FOR INSTALLATION.
- PROPOSED COMMUNICATION LINE - FINAL ROUTE AND LOCATION TO BE DETERMINED BY UTILITY PROVIDER AND COORDINATED WITH MR PROPERTIES FOR INSTALLATION.
- STORM SEWER. ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS 4020, 4030, 4040 & 6010
 - CORE DRILL AND CONNECT PROPOSED 12" STORM SEWER TO EXISTING INTAKE. CONNECTIONS SHALL BE WATER TIGHT. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERT ELEVATIONS OF EXISTING STRUCTURE AND PIPES PRIOR TO CONSTRUCTION.
 - CONNECT BUILDING ROOF DRAINS TO 8" STORM SEWER SUBDRAIN USING INSERT-A-TEE OR APPROVED EQUAL. REFER TO BUILDING PLANS FOR EXACT LOCATIONS.
 - 8"X8"X12" PVC TEE.
 - CRITICAL CROSSING. ST-1 INVERT ELEVATION AT CROSSING = 1036.60. MAINTAIN 18" OF SEPARATION BETWEEN STORM SEWER AND WATER SERVICE.
 - CRITICAL CROSSING. ST-7 INVERT ELEVATION AT CROSSING = 1041.44. MAINTAIN MINIMUM 18" OF SEPARATION BETWEEN STORM SEWER AND WATER SERVICE.
 - CRITICAL CROSSING. ST-8 INVERT ELEVATION AT CROSSING = 1041.00. MAINTAIN MINIMUM 18" OF SEPARATION BETWEEN STORM SEWER AND SANITARY SEWER.
 - 6" PERMEABLE PVC SUBDRAIN LOCATED IN 1" CLEAN ROCK BACKFILL.

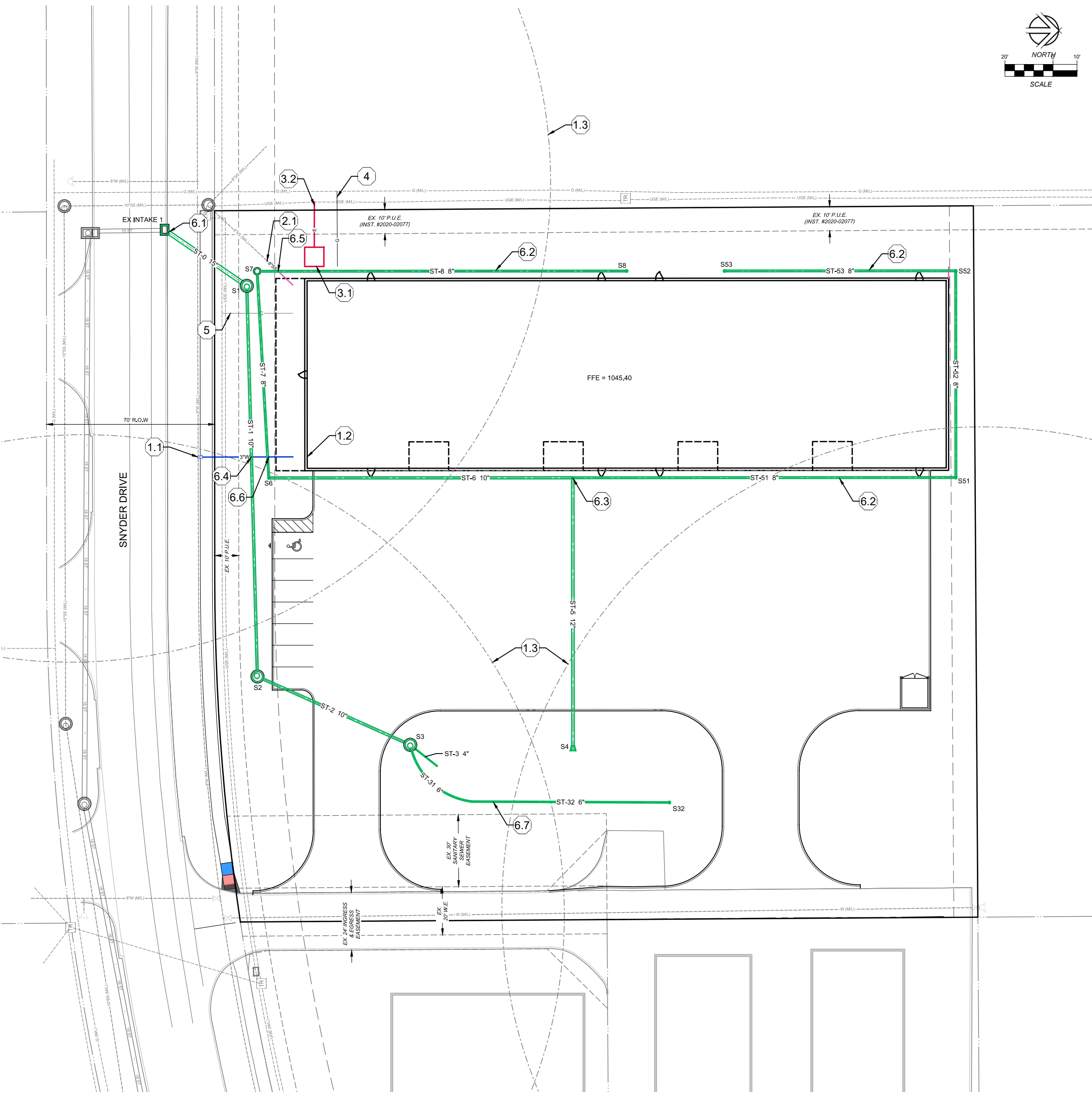
STORM STRUCTURE TABLE			
NAME	DESCRIPTION	RIM/TC	INVERT
S1	48" CIRCULAR STORM SEWER MANHOLE	1044.43	INV 1036.28 (ST-0) INV 1036.38 (ST-1)
S2	48" CIRCULAR STORM SEWER MANHOLE	1045.32	INV 1036.97 (ST-2) INV 1036.87 (ST-1)
S3	48" CIRCULAR STORM SEWER MANHOLE W/ SW-604 TYPE 3B GRATE CASTING.	1043.20	INV 1038.31 (ST-3) INV 1037.20 (ST-2) INV 1037.30 (ST-31)
S4	12" FLARED END SECTION	1041.11	INV 1040.00 (ST-5)
S6	STORM SEWER CLEANOUT, TYPE A	1045.12	INV 1040.97 (ST-6) INV 1040.97 (ST-7)
S7	(SW-512) CIRCULAR AREA INTAKE	1043.90	INV 1041.31 (ST-7) INV 1041.41 (ST-8)
S8	STORM SEWER CLEANOUT, TYPE A	1045.26	INV 1042.03 (ST-8)
S32	STORM SEWER CLEANOUT, TYPE A	1039.28	INV 1037.78 (ST-32)
S51	STORM SEWER CLEANOUT, TYPE A	1044.75	INV 1041.61 (ST-52) INV 1041.61 (ST-51)
S52	STORM SEWER CLEANOUT, TYPE A	1044.55	INV 1042.04 (ST-53) INV 1042.04 (ST-52)
S53	STORM SEWER CLEANOUT, TYPE A	1045.26	INV 1042.52 (ST-53)

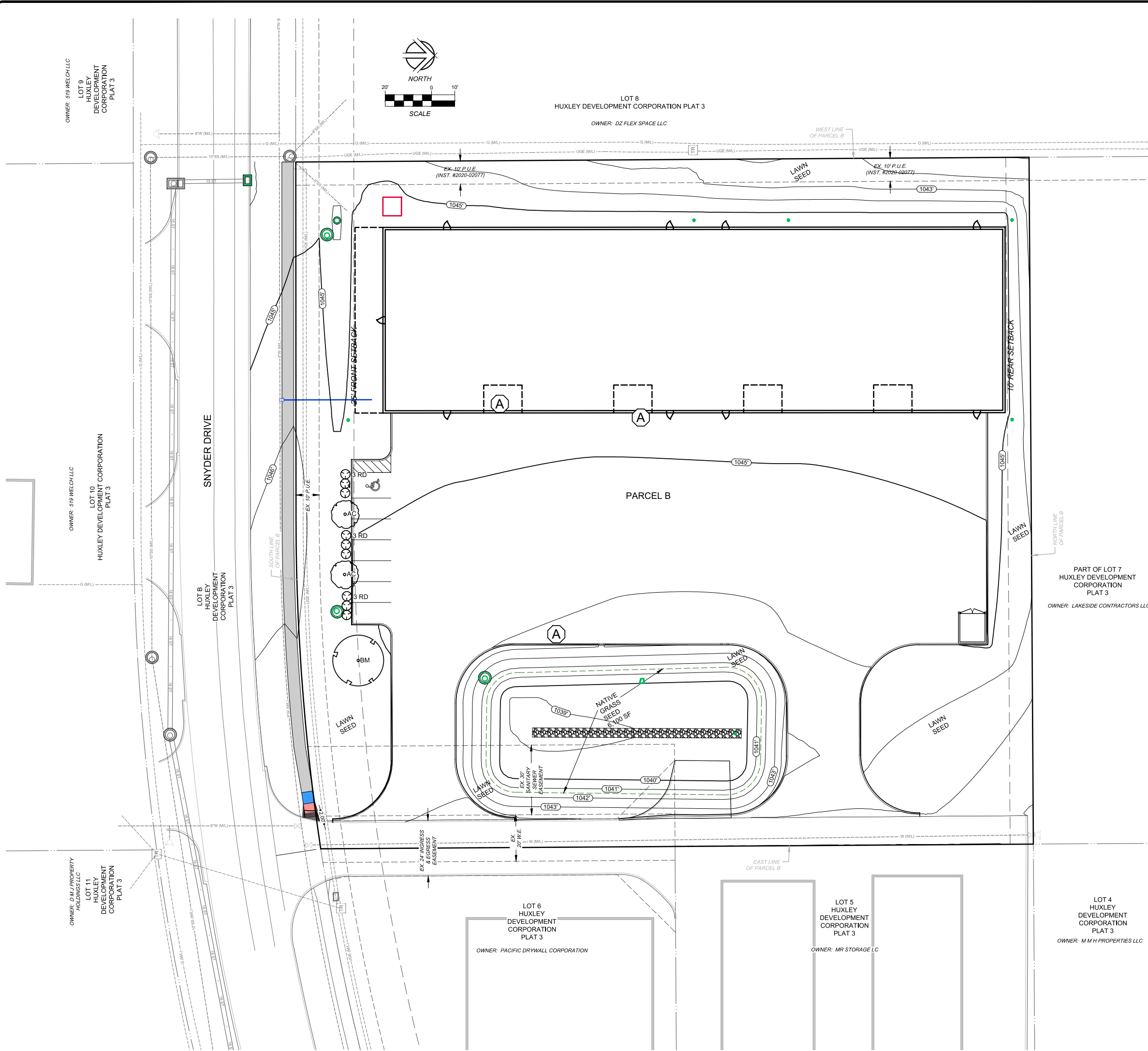
STORM PIPE TABLE					
NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
ST-0	15" RCP	41 LF	2.22%	1036.28	1035.36
ST-1	10" PVC	163 LF	0.30%	1036.87	1036.38
ST-2	10" PVC	70 LF	0.33%	1037.20	1036.97
ST-3	4" PVC	14 LF	3.42%	1038.80	1038.31
ST-5	12" PVC	114 LF	0.40%	1040.46	1040.00
ST-6	10" PVC	127 LF	0.40%	1040.97	1040.46
ST-7	8" PVC	86 LF	0.40%	1041.31	1040.97
ST-8	8" PVC	154 LF	0.40%	1042.03	1041.41
ST-31	6" PVC	37 LF	0.35%	1037.43	1037.30
ST-32	6" PVC	82 LF	0.43%	1037.78	1037.43
ST-51	8" PVC	159 LF	0.72%	1041.61	1040.46
ST-52	8" PVC	86 LF	0.50%	1042.04	1041.61
ST-53	8" PVC	96 LF	0.50%	1042.52	1042.04



- EXTERIOR DOWNSPOUT ASSEMBLY, DIRECT TO CENTER OF RISER
- 6" PVC RISER, EXTEND 4" ABOVE FINISHED GRADE
- DOWNSPOUT TO EXTEND INTO RISER
- 90° BEND (8" PVC)
- INSTALL INSERTATEE (OR APPROVED EQUAL) ON MAIN 8" TILE
- FINISHED GRADE

D-1 DOWNSPOUT CONNECTION
NO SCALE





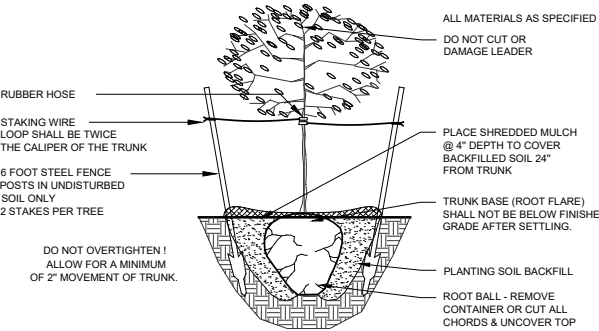
GENERAL LANDSCAPING NOTES

- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.08 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES.
- NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED.
- LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). TYPE 1 PERMANENT LAWN SEED SHALL BE APPLIED PRIOR TO HYDRAULICALLY APPLIED BFM MULCH.
- ALL PLANTING AREAS SHALL HAVE A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER PLANTING AND ROCK PLACEMENT.
- WARM-SEASON NATIVE GRASS SEEDING SHALL BE SUDAS TYPE 3 (PERMANENT WARM-SEASON SLOPE AND DITCH MIXTURE), AND FOLLOWED BY BFM HYDROMULCH IN ACCORDANCE WITH SUDAS SPECIFICATIONS.

PLANTING SCHEDULE

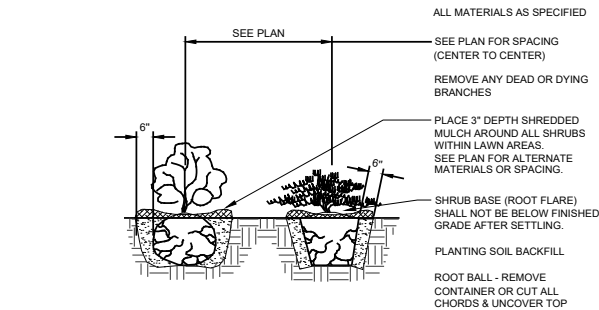
TREES & SHRUBS				
Key	Common / Scientific name	Minimum Size	No.	Root Comment
BM	Autumn Blaze Maple <i>Acer 4 Freemanii 'Jefferson'</i>	1 1/2" Caliper	1	Container
AC	Adirondack Crabapple <i>Malus 'Adirondack'</i>	1 1/2" Caliper	2	Container
DD	Dwarf Red Twig Dogwood <i>Cornus sericea 'Flamingo'</i> ARCTIC FIRE	15-18" Height	9	Container

LANDSCAPE DETAILS



L-1 TREE PLANTING & STAKING DETAIL

NO SCALE



L-2 SHRUB PLANTING

NO SCALE

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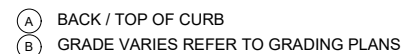
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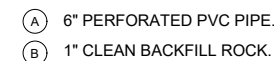
PACIFIC DRYWALL
HUXLEY, IOWA
LANDSCAPING PLAN

PROJECT NAME
DESCRIPTION

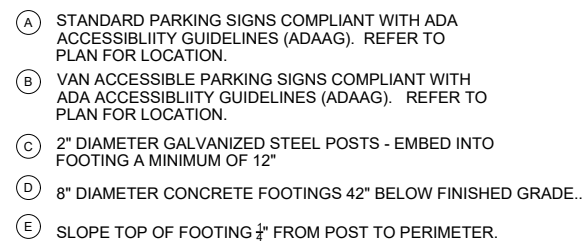
NAI NO: 21267
DATE: 01/11/2022
DRAWN BY: TNB
CHECKED BY: JTN
SHEET SIZE: 24" X 36"
SHEET TITLE: LP-1
SHEET NO: 6/7



1 6" INTEGRAL STANDARD CURB
DT-1 NO SCALE



4 BASIN SUBDRAIN CROSS SECTION DETAIL
DT-1 NO SCALE



2 ACCESSIBLE PARKING SIGNS
DT-1 NO SCALE

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REVISIONS:

.) 2022-02-17 REVISIONS PER CITY COMMENT

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PACIFIC DRYWALL
HUXLEY, IOWA
DETAIL SHEET

PROJECT NAME:	DESCRIPTION:
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NAI NO.:	21267
DATE:	01/11/2021
DRAWN BY:	BLH
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	DT-1
SHEET NO.:	7/7

PLANNING & ZONING COMMISSION COMMUNICATION

AGENDA HEADING:

Development Concept East 1st Street & Deerwood Drive

SYNOPSIS:

Michael Kamp (30361 560th Avenue Cambridge, Iowa 50046), Adam Wuebker (56122 300th Street Cambridge, Iowa 50046) and Steve Tollefson (30314 560th Avenue Cambridge, Iowa 50046) are proposing a development concept for approximately 4.65 acres of property located between 520 and 600 East 1st Street, generally at the south side of the intersection of Deerwood Drive and East 1st Street.

The development team is asking two questions before they move further forward with due diligence of developing the property:

- The property is zone M-1. A rezoning to a land use allowing for development of 6 duplexes is requested. Would rezoning be supported by the City of Huxley?
- The City's 2013 Comprehensive Plan Major Streets Plan shows Deerwood Drive as a north-south connecting street that would cross the subject property. Would development of the property and relocation or realignment of the street be supported by the City of Huxley?

ADDITIONAL INFORMATION:

- City Council had a presentation of the general development concept January 11 and was generally supportive of the development team continuing to explore the concept.
- City staff has met with the development team to review variables of land use, zoning, utilities, transportation, access and stormwater management.
- The 2013 Major Streets Plan has been discussed and is provided to the Planning & Zoning Commission with packet information. Staff and the development team have reviewed the larger street network. Future neighborhood street connections to the south, and the existing/planned street network to the north have been generally evaluated.
- Planned modified connection to Heart of Iowa Nature Trail by Lilypad has been reviewed.

RECOMMENDATION:

- Consider compatibility with area zoning and land use (mixed use, medium density residential, mobile home, neighborhood commercial and general industrial).
- Potential for additional rezoning/redevelopment of M-1 uses to the west could be considered, with communication to owners on future interests for these properties.
- Ability to provide workable design for site access, parking and maneuvering of vehicles would need to be considered, along with the broader street network connectivity referenced above.

Meeting with the Huxley City Council on 1/11/2022 at 6:00 P.M. to discuss rezoning property.

Proposal to rezone approximately 4.5 acres known as the Railroad Subdivision No. 1 from commercial to single family & duplex residential

The property is located on the south side of East First street between the Manatts concrete plant and the Lily Pad.

Developers:	Michael Kamp 30361 560th Avenue, Cambridge, IA 50046 515-460-4250	Adam Wuebker 56122 300th Street, Cambridge, IA 50046 515-460-4454	Steve Tollefson 30314 560th Avenue, Cambridge, IA 50046 515-979-7413
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Project description

Build approximately six duplexes to either own & operate or sell.

Duplexes will be built with 55 plus clientele in mind but not limited to 55 plus.

Duplexes will be single story slab on grade with the possibility of some walkout basements.

The developers will general contract the units and do a significant amount of work themselves with a vested interest in quality construction. Developers may own and operate them for years.

Some details regarding the units may include:

Each unit of a duplex will be somewhere between 1,200 and 1,700 square feet.

Garages will be larger two car.

Units may be built to resemble single family homes.

The units may not all be the same design.

The colors may differ.

Zero entry.

Hallways, doors, and bathrooms to accommodate special needs.

Storm shelter in each unit.

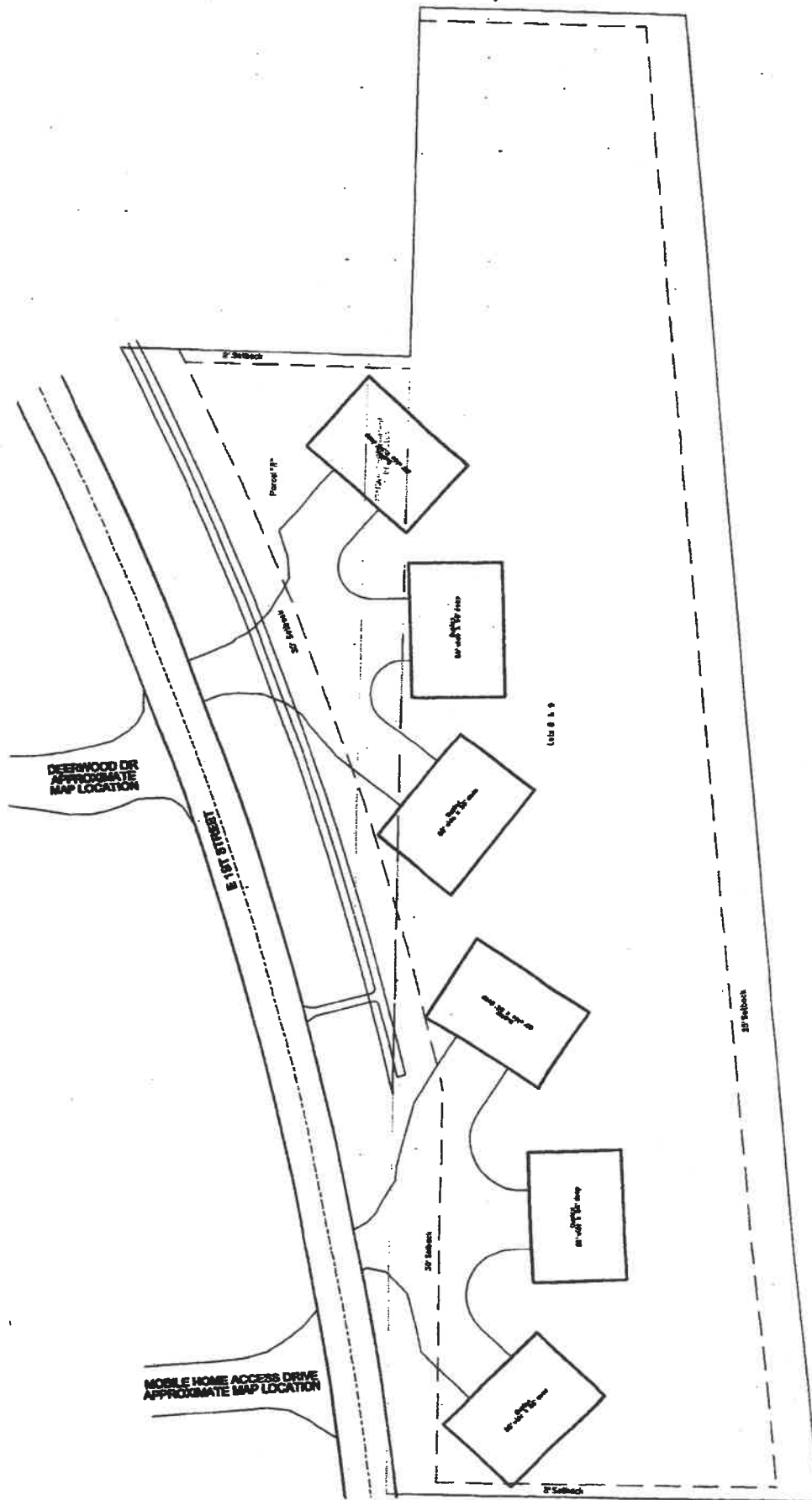
Additional project details may include:

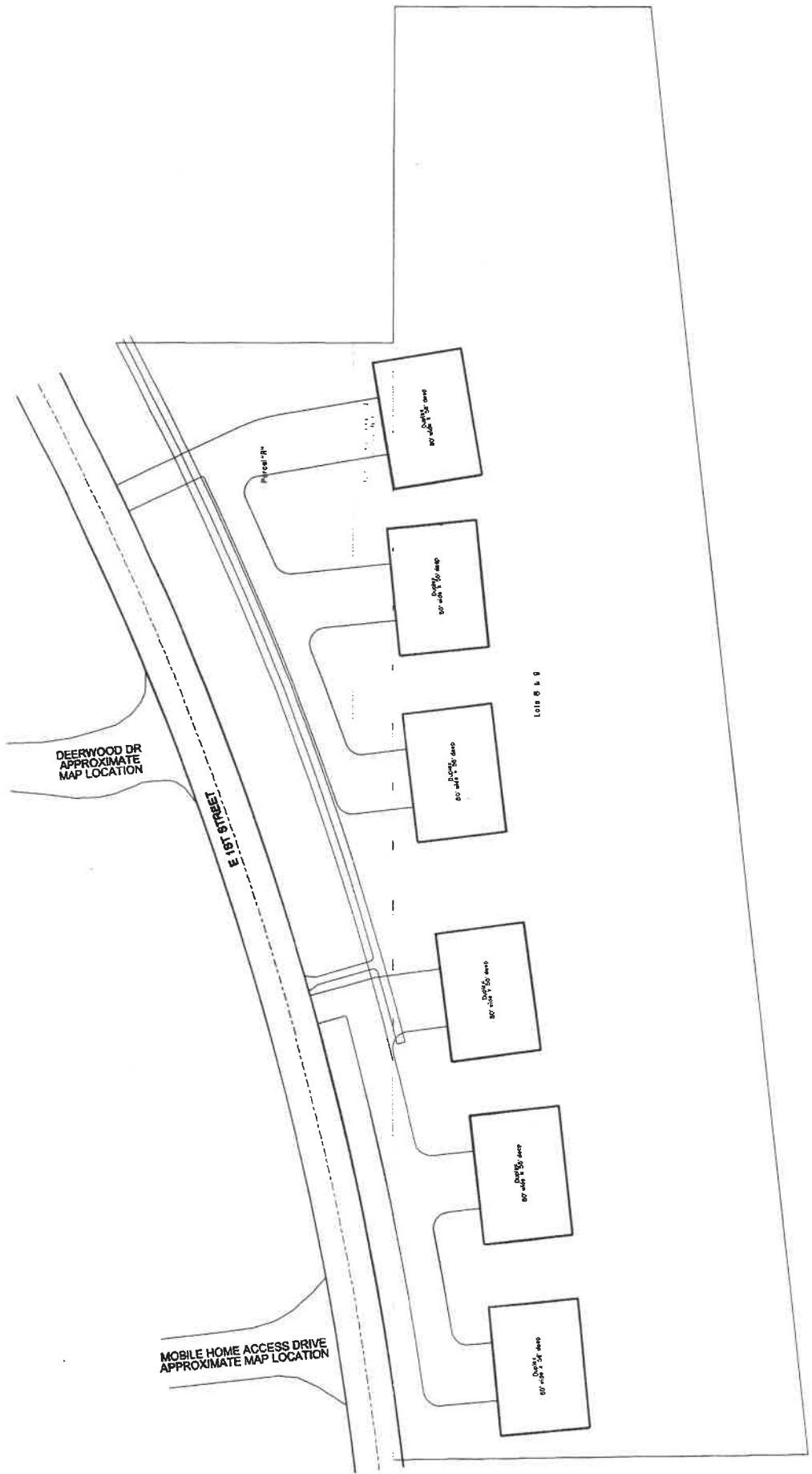
Common area with a covered patio and fire pit.

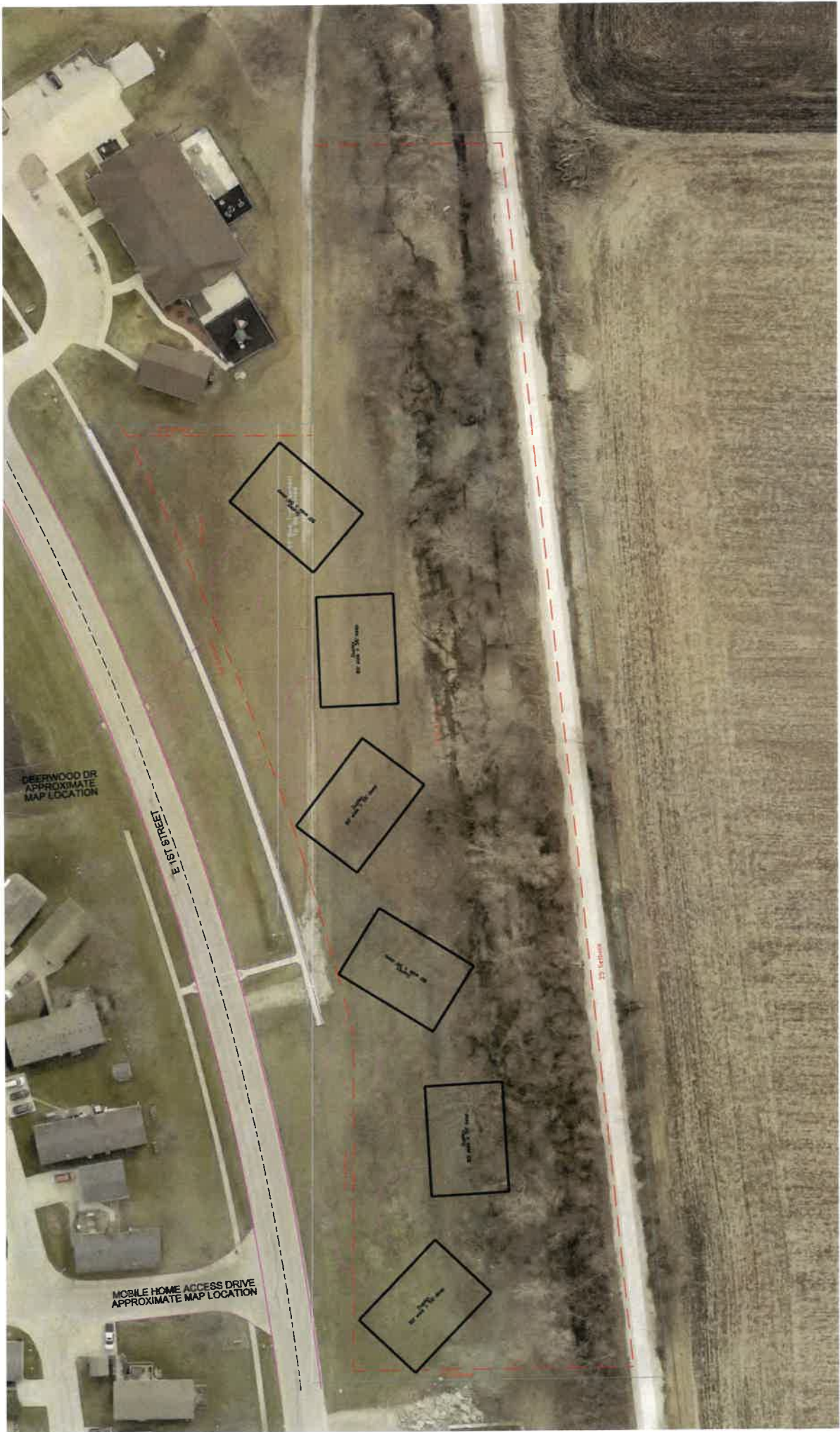
Access to the bike trail by bridge over the ravine.

Mowing and snow removal included.

- The initial reason for pursuing residential housing was due to a need that we saw not only in our community, but in general for accessible living, also known as universally designed homes. The benefits of universally designed homes, specific to the older population is that it allows them to maintain independence and dignity for longer. It serves as a transitional space between a house and assisted living; thus eliminating the stigma & high costs associated with assisted living. The bike path and other residential homes in the area also help to connect that population to their community and remain active, which may further delay the need for assisted living services.
- The concept of universally designed homes also means that it is built for all ages, across the lifespan. The same features that make the duplex accessible to an older adult can make the duplex more functional and practical for those with small families. People choose to move to Huxley due to its location between two major Iowa cities. These duplexes would be a great opportunity for the small family to live with ease, close to a daycare, bike path, and within walking distance to Huxley's core highway.
- Huxley has been making concerted efforts to prioritize and update existing buildings off the main corridors for business purposes. As businesses grow, more of a need for residential housing will grow too.





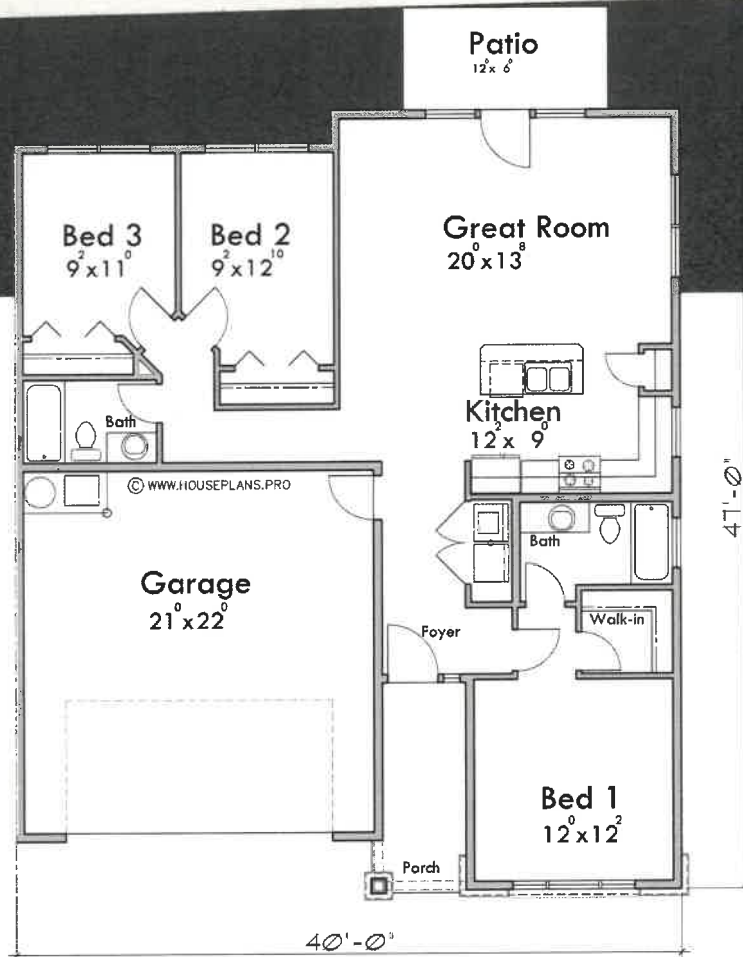




PLAN #D-641

MAIN FLR. 1229 SQ. FT.

GARAGE 485 SQ. FT.





HUXLEY
— HEART OF THE PRAIRIE —

FUTURE LAND USE

Legend

- High Density Residential
- Medium Density Residential
- Low Density Residential
- Mixed Use
- Mobile Home
- Highway Commercial
- Neighborhood Commercial
- Retail/Office
- Office Park
- General/Heavy Industrial
- Light Industrial
- Light Industrial/Agribusiness
- Civic Government/Schools
- Civic Religious
- Parks
- Open Space/Golf Course
- Major Street - Future
- Major Street - Existing
- Corporate Boundary

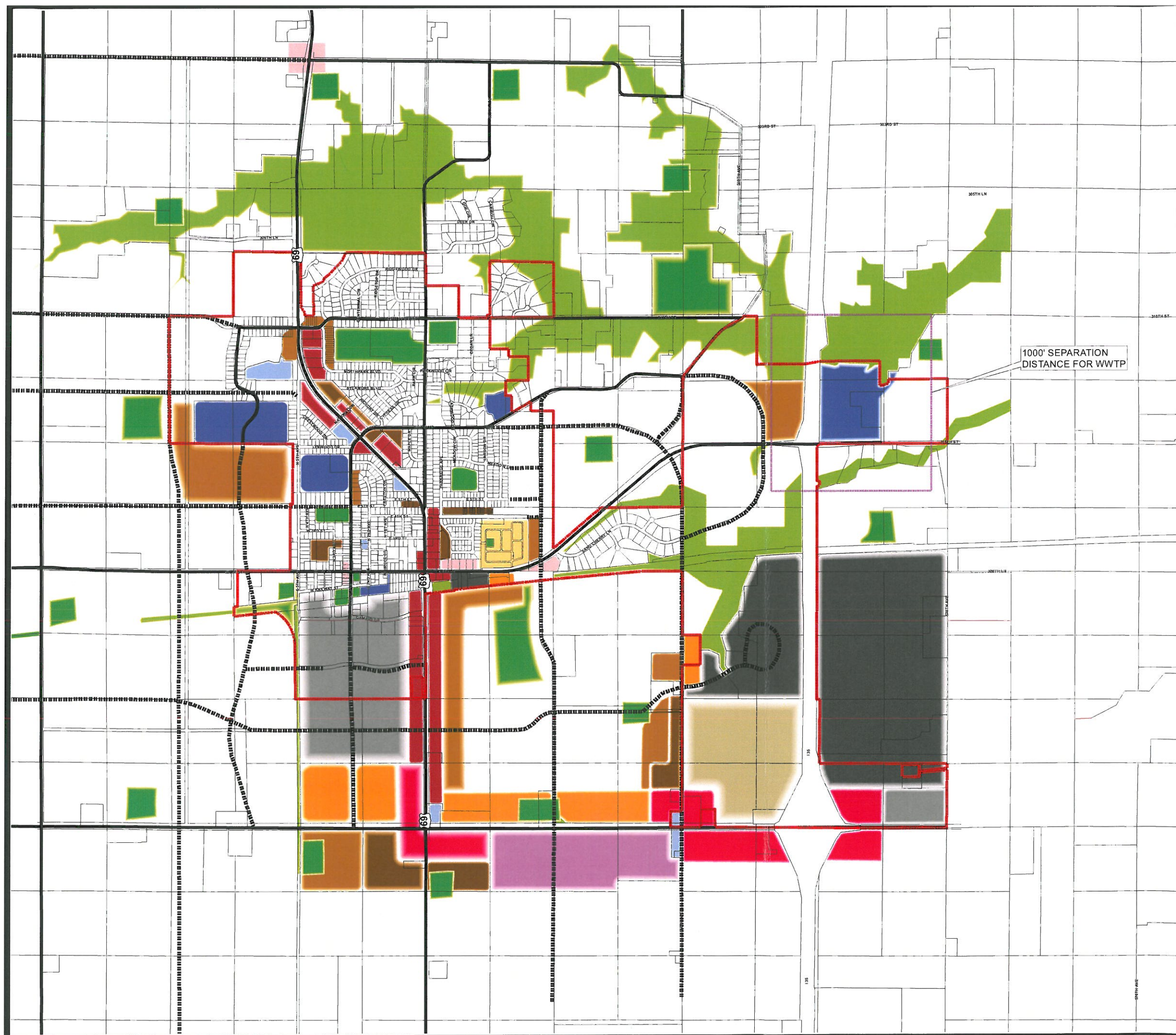
2013 Comprehensive
Plan Update
Figure 3-3



0 1,000 2,000 4,000
Feet



SNYDER & ASSOCIATES
Engineers and Planners





HUXLEY

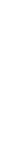
— HEART OF THE PRAIRIE —

MAJOR STREETS

Legend

- Major Arterial - Existing
- Minor Arterial - Existing
- Minor Arterial - Future
- Major Collector - Existing
- Major Collector - Future
- Parkway
- Local Street - Future
- Planning Boundary
- Corporate Boundary

2013 Comprehensive
Plan Update
Figure 7-5



0 1,000 2,000 4,000 Feet



SNYDER & ASSOCIATES
Engineers and Planners

HUXLEY, IOWA

September 8-9, 2021



Conducted By:

Iowa Downtown Resource Center



IOWA ECONOMIC DEVELOPMENT AUTHORITY
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[iowaeda.com /](http://iowaeda.com/)

iowaeda.com/downtown-resource-center/

ASSESSMENT TEAM

The Iowa Economic Development Authority's Assessment Team included three downtown development professionals:



JIM THOMPSON CMSM, HREDFP, serves as a Downtown Economic Development Specialist covering development for downtown districts for the Iowa Economic Development Authority. He served at the local level in all aspects including program director, board member and volunteer. Jim received certification as a Historic Real Estate Development Finance Professional from the National Development Council. He earned his Certified Main Street Managers credentials through the National Main Street Center. He engages communities in market analysis including data analysis, business retention, recruitment, and implementation strategies. He has also led efforts in tax increment finance, urban revitalization, housing & real estate development, branding and one-on-one business technical assistance for Iowa's communities. Jim serves on the Iowa Rural Development Council Executive Board and leads the Empower Rural Iowa Leadership Taskforce. Jim is the grant administrator for the Community Catalyst Building Remediation grant program. He has over 25 years' experience in community development, retail management and served on a City Council for 10 years. Jim has also served as a consultant for the National Main Street Center, worked in several states and presented multiple times at the National Main Streets Conference.



LIESL SEABERT is a Florida native who moved to Iowa in 2016. She is a licensed attorney and has a background in community development, placemaking, and consensus building. Currently Liesl works as the Rural Community Revitalization Program Manager within the new Center for Rural Revitalization in the Iowa Economic Development Authority. In this role, Liesl is responsible for managing the Governor's Empower Rural Iowa Initiative, focused on developing policy recommendations addressing rural Iowa concerns through three task forces as well as implementing outcomes. Liesl serves as an ex-officio executive member of the Iowa Rural Development Council, is a member of the Main Street Iowa Advisory Council, is the 2022 Vice President of the APA Iowa Chapter, is a member of the Florida Bar and Georgia Bar, holds a BA from the College of William and Mary, JD from Florida State Law School, and MSP from Florida State University College of Urban and Regional Planning.



DENNIS REYNOLDS delivers award winning master planning, urban design, site design and public art with his unique combination of innovative design; presentation and listening skills; quick hand drawings; and pro-active facilitation of the design process. Prior to creating his own consulting practice, Reynolds Urban Design, he provided senior level design services and leadership at HOK (Kansas City), Sasaki (Boston) and NBBJ (Columbus). He founded and led the innovative HOK S+V+E "Design Studio", facilitating cutting edge multi-disciplined design concepts. His major projects include Ho Chi Minh City's Thu Thiem Peninsula Master Plan, Nanjing Olympic Sports Park (that hosted the 2005 China Games and the 2008 Summer Olympics), The Great American Ballpark for the Cincinnati Reds and the Dubai Autodrome Formula One Racing Community. As Director of Design for a major Midwest real estate development company from 2005 to 2011, Dennis was responsible for groundbreaking projects including the "New Urbanist" Village of Ponderosa and "Shimmer" lakeside terrace. Recent projects include urban design, site design and public art for the

emerging downtown Des Moines Bridge District, the North Kansas City Vision Plan, East Village's City Square, Bondurant's Swings and Fireflies, Overland Park Medical Center's "Heritage" public art trail and Edina Grandview Urban Design Concepts. Dennis has a Bachelor of Arts from Wheaton College with concentrations in Fine Arts, Economics and Group Dynamics and a Masters of Landscape Architecture from Kansas State University. He has served on both the Urban Design Review Board for the City of Des Moines and the Iowa Urban Land Institute Board, volunteers for multiple Dog Rescue groups and provides therapy dog visits with Mister Cotton.

OVERVIEW

The following report summarizes the observations and recommendations resulting from an Iowa Downtown Resource Center Walk Around conducted in Huxley, Iowa on September 8-9, 2021. In preparation of this report, the Assessment Team learned about Huxley's development history and plans for future development.

This Downtown Walk Around report and recommendations for Huxley are based on the Team's downtown development experience. Their beliefs are grounded by the philosophy that for Downtown to re-establish itself as the social and commercial center of the community—the physical heart and soul of the city—Downtown must become more valuable physically, economically, socially, and politically.

INTRODUCTION

HUXLEY, (pop 4,244) the Heart of the Prairie, is a welcoming community in Story County. Huxley's location between Ames and Ankeny/Des Moines has led to steady growth, but the community has maintained its small-town atmosphere. Each year the community gets together for the annual Prairie Festival. The community and Ballard Community School District support each other. Some call Huxley "a bedroom community" which this team considers a real compliment because your residents choose to live in Huxley. In reality, 1,691 residents drive out of town to work, but 1,081 out of towners drive to Huxley to work.



Downtown Huxley has seen disinvestment through the years, largely due to traffic routes to the east and the development that comes with it. The downtown is off the beaten path. The downtown has few buildings and businesses and most of the buildings that still stand are in dire need of attention. A new business like Fenceline Beer Lab gives people a reason to turn west into the downtown area. Almost all Huxley residents would welcome efforts to bring back the downtown. This was evident on this two-day visit. People showed up and expressed concern. Some would keep it simple and focus on cleaning the downtown up. Others would like to see more aggressive actions to create a place where people can go to do business, walk, have a cup of coffee, and enjoy events. Few people want to abandon it. Downtown is a symbol of:

- Economic Health
- Public & Private partnership
- Local quality of life
- Local pride
- Community history

DON'T GIVE UP ON THIS!

CAPACITY BUILDING

The establishment of a structure of leaders, volunteers, organizations, cooperation, ideas, and funds is essential for a community to reach its vision and consistently complete positive projects. It is extremely important for Huxley to identify leaders. Look around the table. Who isn't here that should be? Consider demographics, talents, occupations, etc.

Being a welcoming community to residents and businesses that actively seeks their involvement is CRITICAL to a community's success. Find out what people are passionate about and respond by getting them involved in projects that match their interests.

RESOURCES & IDEAS FOR LEADERSHIP DEVELOPMENT & CAPACITY

Action Steps:

- Get involved with Empower Rural Iowa which offers the following grant programs in which we feel are perfect for Huxley:
 - [Rural Leadership Bootcamp Grant](#): This grant provides training, mentorship and funding to rural communities and regions initiating a leadership program.
 - [Rural Leadership Exchange](#): This annual event is an opportunity for you to network and hear best practices in the area of leadership development from organizations across the state
- Consider a [Power of Connections Grant](#) through the Iowa Rural Development Council (IRDC) and ITC Midwest. This economic development program is designed to pair rural communities seeking assistance with IRDC resource teams. Those teams drive both community conversations and solution development for problems and projects. Grants up to \$5,000 may be awarded for capacity building, strategic planning, studies, or assessment. Contact IRDC Executive Director Bill Menner for more information at director@iowardc.org
 - [Rural Child Care Market Study Grant](#): Planning for the success of your community is bigger than just comprehensive plans or leadership programming, understanding the needs of your workers and residents is a huge part of community viability. Childcare is a challenge across rural communities in Iowa and across the nation. However, the solutions are often more complicated than the construction of a new facility. The Rural Child Care Market Study Grant program seeks to support the use of data and analysis by rural communities to determine the specific needs and solutions for their area. \$10,000 grant award.
 - [Rural Innovation Grant](#): This Empower Rural Iowa Program seeks to support creative, non-traditional ideas that focus on current issues and challenges faced by rural communities associated with the themes of community investment, growth, and connection. Up to \$20,000 grant award.

ATTRACTION & RETENTION

Action Steps:

- Look at and consider incentives to attract and engage people. For example:
 - [Clinton, Iowa](#), a Home Base city, offers incentives to veterans to relocate to Clinton. Incentives like reimbursements for interview travel expenses, home purchase closing costs reimbursements, and a Clinton County Business License fee waiver for veterans opening a business.

- The Dubuque Community Foundation is developing an incentive program (funded in part by the Rural Innovation Grant) to place teachers in rural communities and engage them in local activities.
- Johnson City, Tennessee developed the Johnson City Remote program which gives new residents up to \$5,000 when they work remotely from Johnson City, including a gift certificate towards the purchase of a bike or kayak to promote local recreational assets.
- The Rural Return Grant Program, offered through the Center for Rural Revitalization, seeks to support creative programming that attracts new residents to move and/or work in rural communities.

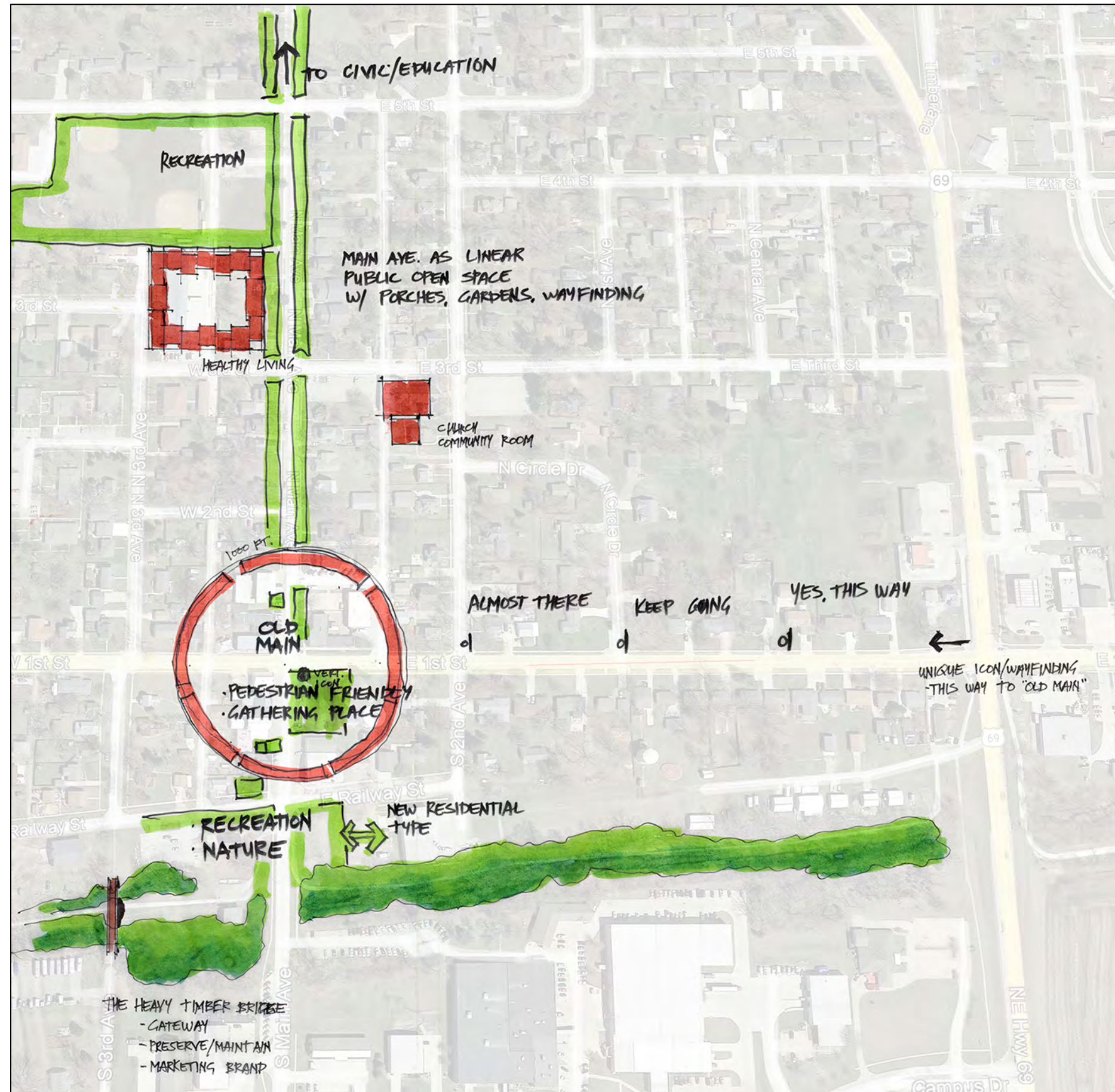


VISION & REDEVELOPMENT

Every community/downtown needs a plan. This includes community driven ideas, rehabilitation and new sites, development of ready sites and connections to recreation. Downtown Huxley is perhaps more of a blank slate than your typical downtown because of the lack of density, vacant lots, and vacant buildings. Downtown is a place to come together as a community, a place that is 1) safe; 2) comfortable; and 3) interesting. The following recommendations address those three things and how Huxley can get there one step at a time.

Action Steps:

- Downtown Huxley...what is it known by? Old Main? Help establish identity. Name it.
- Use unique icon/signage/art on the corner of Hwy 69 and 1st Street. Indicate "Old Main is this way!" Place recurring "Burma Shave" signs on that route (all the way to the downtown) with messages like, "Almost there!"
- The vegetation on the south edge of the downtown provides a beautiful backdrop to the amphitheater and district. The heavy timber bridge is great. Maintain this feature. Make sure it is linked to the trail system.
- A good rule of thumb for a compact downtown core is 1,000 feet. This is a doable focus area for downtown Huxley. Think of downtown as a "linear park"....a place to interact.





- SAFETY ART ICON BOLLARDS @ 20' OC X 12' HT
- PROTECT PEDESTRIANS AND BUILDINGS
- PROVIDE COLOR, INTEREST... TELL A STORY THRU ART
- CALL FOR ARTISTS/HIGH SCHOOL ART & THEATRE CLASS

- RESTORE ORIGINAL FACADES
- ± 20' DEEP LINER RETAIL
- FLEXIBLE SPACE @ 2 BAYS: 25' X 20' EA.
- TRANSOM SIGNAGE
- INSET ENTRIES

- MARKET COURTYARD
- SMALL SHOPS 7' X 12' @ 4 (POP-UP PODS)
- STICK BUILT OR REPURPOSED SHIPPING CONTAINERS
- ART WALL
- SHORT TERM LEASES/SEASONAL/EVENTS

Action Steps:

- The rehabilitation of the International Building would be a transformational project for downtown Huxley and potentially create development ready business space. Consider the Community Catalyst Building Remediation grant. Restore original facades with first 20 feet for two commercial spaces. Feature transom signage and recessed entries.



- Install aluminum art bollards to the south of the building to protect pedestrians. Make a call to artists.
- Develop a market courtyard by adding an art wall and four popup buildings north of the International Building for retail incubator space or a crowd building business such as popcorn stand. Execute short-term leases. Add a trailhead shelter (Norwegian influenced) to serve as another place to meet and enhance the first impression some users of the downtown see. Include trail maps, water, bike maintenance, and features that tell Huxley's story.
- Add interactive public art by the exercise equipment park along the trail to beautify and strengthen the link between the park and downtown district. Examples include musical sculptures, engaging murals, or functional art pieces such as benches, trash bins, and bike racks.
- Long-term goal: Single family homes/cottages (in block across street from park) with front porches, shared gardens, and yards. This would also serve as a great location for ice rinks, volleyball, and hockey to bring people downtown.
- Add Norwegian influenced trailhead shelter to serve as another place to meet and enhance the first impression some users of the downtown see. Include trail maps, water, bike maintenance, and features that tell Huxley's story.





CONNECT WITH EXCELLENT PARK

OUTDOOR MARKET
-10' x 10' STALLS

- INSET SEATING RESPIRE

- MURAL/ART WALK
CONNECTING TO
ALLEY PARKING

ADD DETAIL/COLOR & LOGO

Action Steps:

- One block north of amphitheater park, strengthen connection to the park with an outdoor market and indoor market in building where apartment unit is currently being done. Create a respite spot in the space north of this building with a bench and tree.
- Build a new stick-built 2-story building to create density in the middle of this block (in vacant lot), ideally for food & beverage on first floor and 2nd floor residential. Add parking in alleys and install video art on blank wall by garden.
- Add color and detail to Fenceline Beer Lab and all of your downtown buildings.

PLACEMAKING FEATURES – The simplest definition is “placemaking is the process of creating quality places that people want to live, work, play and learn in.” To accomplish this goal in downtown Huxley, consider the mix of uses, recreational elements, safety/accessibility, feeling of connectedness, aesthetics, and branding. Huxley claims a rich culture and history, tied to its heritage. This culture can help develop a strong sense of place in the downtown.

Action Steps:

- Consider ways to activate underused spaces with art, seating areas, and lighting.
- Ensure there are places for people to gather, both casually on a daily basis and for larger events or activities. There are multiple parks that currently serve the large event needs. How are these spaces connected to the downtown?
- Consider community projects to beautify areas, such as a yarn bomb, public interactive mural project, or community garden space (in containers or an underutilized green space within downtown).
- Add charm, functionality, and heritage to streetscape design through lighting, signage, trash bins, banners, bike racks, benches, planters, etc. Consider how all the pieces of the streetscape interact and complement each other.

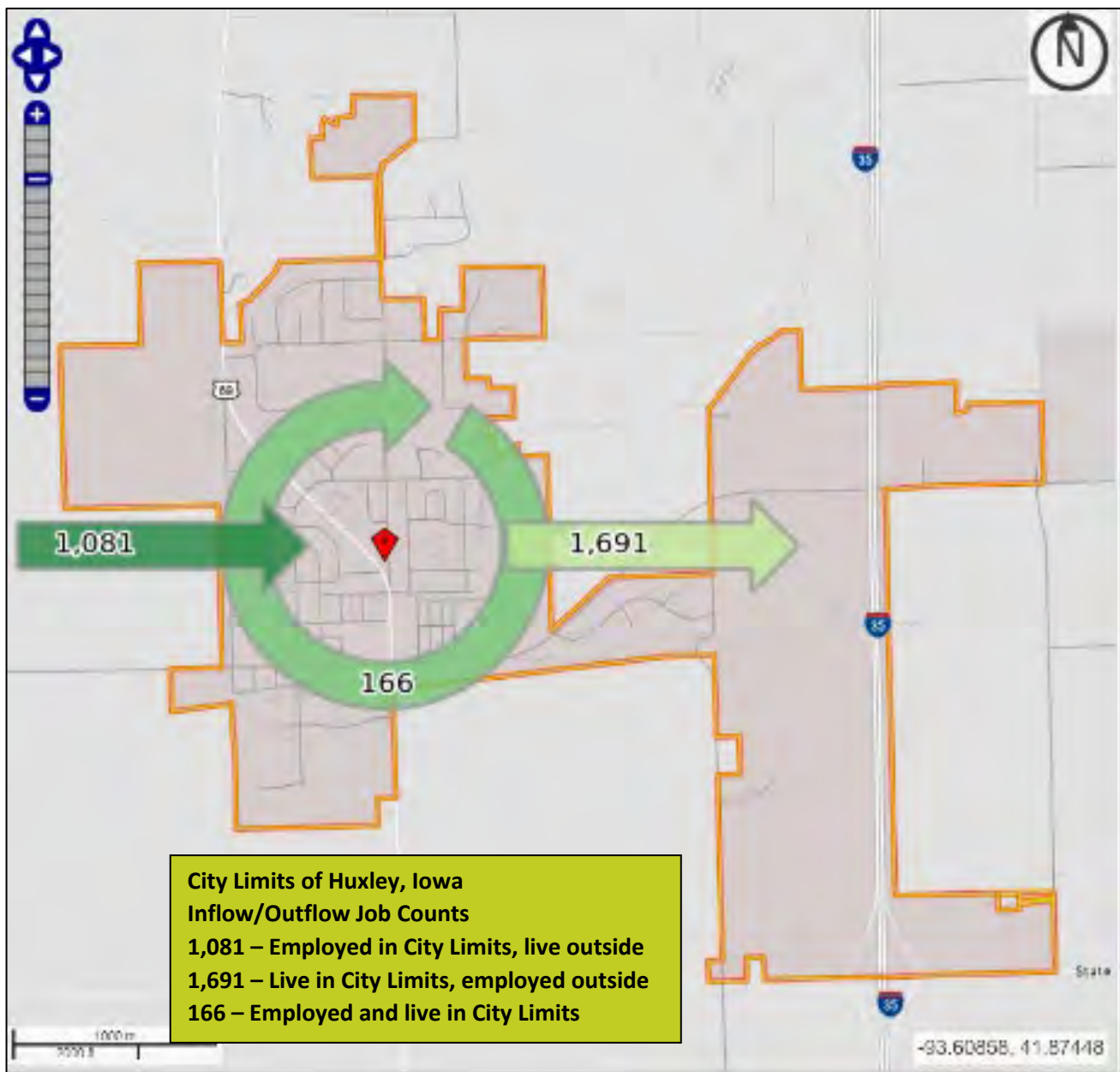
COMMUNITY ACTION

This report lays out ideas for Huxley to build capacity to be in a better position to influence change in the downtown and many recommendations to liven up public spaces, rehabilitate or build new structures, connect the business community with recreation and bolster potential business offerings. But community leaders must also consider policies and projects that spur this kind of development to happen.

Buildings, vacant lots, and other challenges have existed in downtown Huxley for so long..... residents may not be able to envision downtown's future potential or think that it could ever be a place they would someday frequent.....investors also may not be able to see the possibilities. Changing perspectives of your residents and building investor confidence is not easy, it doesn't just HAPPEN. In order to set the stage for the future success of downtown, a group of committed leaders must come forth to establish priorities and benchmarks that drive incremental improvements. Here are additional recommendations.

Action Steps:

- More than 1,081 people that do not LIVE in Huxley – WORK in Huxley. If housing were readily available, would they consider living in Huxley? 50% of occupied homes in Huxley are occupied by one person. Would these owners be interested in safer, lower maintenance situations, thus opening housing opportunities for others? There appears to be ample opportunity for active adult or age in place housing in Huxley. This must start with identifying the vacant homes, coupled with the opportunity to create a more appropriate local housing inventory.
- Nothing says community pride more than the condition of its downtown buildings. Buildings are what makes a downtown unique. To have a successful downtown that attracts residents and visitors, you simply must look GOOD. This isn't simply an aesthetics challenge. Business growth and activity are much more likely to happen if investors have CONFIDENCE in the district. They must be able to SEE the possibilities. Demolition by neglect is alive and well in Huxley. Some of the downtown buildings have seen such limited maintenance that they are far from being business ready.



- The cost of a vacant, commercial building to a community is staggering. (see below)
- Develop both incentives and ordinances so this will not happen in the future.
- Inventory every building in the downtown district.
 - A great place to start is with the Beacon report on each address.
 - Current ownership and use should be the priority.
 - Start a dialog with building owners
- Leverage local incentives to maximize state and federal programs. Pick a couple of these opportunities and match them up with Huxley buildings. For example, the Community Catalyst Building Remediation program has potential in downtown Huxley.

\$220,000

Cost to the Community

Building Owner	\$8,400 in rents \$5,040 in property value
Local Government	\$100 in property tax \$5,000 in sales tax
State Government	\$15,000 in sales tax
Utility Companies	\$4,700 for utilities, telephone and internet
Banks	\$39,500 in loan demand \$2,200 in bank fees and interest \$17,000 in deposits
Suppliers	\$1,300 in maintenance and repairs \$500 in printing and copying \$900 in supplies
Professional Services	\$2,700 in insurance premiums \$900 in legal and accounting fees \$500 in property management fees
Media	\$6,200 in advertising, marketing and PR expenditures
Workers	\$56,800 as employees of that business \$31,500 in business owner's compensation and profit \$24,100 workers elsewhere in the community

SOURCE: Estimates of the cost of an empty building were based, in part, on RMA® Annual Statement Studies.

STATE INCENTIVES:

[Downtown Revitalization Fund](#)
[CDBG Community Facilities & Services](#)
[Community Catalyst Building Remediation](#)
[Nuisance Property & Abandoned Building Remediation](#)
[CDBG Housing Rehabilitation](#)
[Workforce Housing Tax Credit](#)
[Redevelopment Tax Credits](#)

[Historic Tax Credits](#)
[Historic Preservation Tax Credit](#)
[Federal Tax Credit](#)
[Property Tax Exemption](#)
[ADA Federal Tax Credit](#)
[Empower Rural Iowa](#)
[Rural Housing Assessment Grant Program](#)
[Rural Innovation Grant Program](#)

Action Steps:

- Develop mini grants for projects like signs, paint, awnings, slipcover removal, windows, etc.
- Huxley has a first-floor housing ordinance. Enforce this. Nothing stops a downtown from realizing its development goals, business needs and pedestrian traffic more than commercial space housing.
- Investigate options for new ordinances.
 - Minimum Maintenance Ordinance. This ordinance requirement is intended to preserve the structural integrity of the building and property values while assuring a clean and attractive community.
 - Vacant Building Ordinance. This ordinance addresses current or future vacant commercial and industrial buildings which are dilapidated, unsafe, or inadequately maintained creating or contributing to blight. The city seeks to assure the property maintenance of vacant buildings for the purpose of preserving and promoting public health and safety and preventing public and private nuisances and potential fire hazards.
 - Vacant Building Registry. Owners have 30 days from the date the building becomes vacant to file this form. The cost to register is free for the initial filing and the first 6-month period. If after the six-month period the building continues to remain vacant, an inspection of the building will be made, and a fee will be charged. Each subsequent one-year period of vacancy will trigger a re-inspection and fee. Owner is responsible for all exterior and interior as well as lot maintenance. Failure to properly maintain the vacant building could result in increased renewal fees.
- Become more familiar with historic property redevelopment and become more proactive in rehabilitating downtown properties. Visit other communities that have made an impact in their downtown with building rehabilitation initiatives. Talk to them about their challenges, the designs of the buildings, financing, etc. The Iowa Downtown Resource Center can help you identify communities that have had success. Examples would include Jefferson and State Center, Iowa. These communities have done amazing things with downtown buildings that many residents would have considered ready for the wrecking ball.
- Organize a downtown walking tour with city officials, business owners and residents after Huxley receives the Downtown Assessment report. Ask tour takers to jot down red flags, opportunities, and ideas. Meet after the tour and get these things on paper. Prioritize ideas from the walking tour.
- Share the results of the Assessment report. Talk to local partners. Prioritize the recommendations and look for some quick, easy wins.
- Develop a task force to carry out the prioritized projects. Give quarterly updates to the community.

- Typically, when assessing a downtown, time is spent on generating leads for business recruitment, developing new events, etc. In Huxley's case EARLIER attention needs to go into improving aesthetics and functionality of buildings and spaces BEFORE more people are brought downtown. However, some modest efforts can be made to start promoting downtown Huxley as a place to invest like this simple sign that shows a downtown space just yearning to be turned into a business.



SUMMARY

We thank Huxley for inviting us to evaluate your downtown. Huxley has opportunities to improve what the downtown has to offer. And half of the battle is almost always finding leaders that care about the downtown and want to see something happen. Huxley has that. The condition of the downtown buildings, improvement of public spaces and connections are priorities. We hope our recommendations can help community leaders and volunteers develop plans for even more successful projects. We encourage you to get together and talk to determine what your priorities are and assign which organizations can begin addressing them. Now may be a good time to survey residents to gain their insight on local issues and to help identify priorities to address moving forward. Don't become another suburb. Do what you can to include your history, culture, and unique characteristics including your Norwegian heritage, train stop history and location on the regional bike path. Get involved. Come to the [Iowa Downtown Conference](#). Subscribe to our [newsletter](#). Stay connected!

RESOURCES:

10 Great Examples for Huxley:

- [Characteristics of a Successful Downtown](#)
- [A Checklist for Rehabilitating Historic Buildings](#)
- [4- to 3-Lane Conversion](#)
- [Better Block](#)
- [Tactical Urbanist's Guide](#)
- [Project for Public Spaces](#)
- [8 80 Cities](#)
- [Sustainable Development Code](#)
- [Creative Placemaking & the Arts Resource Guide](#)
- [Creative Placemaking Manual](#)

Design Renderings – click [here](#) to download the design renderings developed for Huxley, Iowa by the Iowa Economic Development Authority.

Online Resources – The Iowa Downtown Resource Center (IDRC) has gathered a wide variety of community resource examples to help further your local revitalization initiatives. Click [here](#) to review examples ranging from promotional activities, fundraising, market analysis, downtown housing, public spaces, etc.



MAIN AVENUE REVITALIZATION

Committee meeting February 24, 2022

- ▶ Last meeting: overview of September 2021 stakeholder session
- ▶ Downtown Walk Around Report from IEDA Downtown Group
- ▶ Reviewed preliminary drawings and concepts from report
- ▶ Highlights and goals: small businesses, historic preservation, parks/ open space
 - ▶ Pedestrian friendly scale, design standards, alley parking, indoor/outdoor markets
 - ▶ Bike parking, Heart of Iowa Nature Trail connection, event expansion/amphitheater
 - ▶ Activate with street level commercial services, murals, signage, benches, planters
 - ▶ Second story housing (employees, business owners, new residents), community gardens
 - ▶ Activate space for all-families, seniors, students, healthy living,
 - ▶ Next steps.....

RECAP



1. Establish Why -- Reaffirm why we're embarking on this journey for the community
2. Highlight Reality -- Acknowledge potential obstacles, challenges, and roadblocks
3. Clarify Vision -- Describe how we envision the district will look, feel, and function in the future once its reached its full potential and achieved the desired transformations

▶ Breakout group suggestions

▶ Marketing & Branding

- ▶ Murals, signage, messaging, owner's association, events, park & trail connections

▶ Streetscape and Design Standards

- ▶ Additional design work to advance vision, review of other city old towns, Norwegian history, scale of new buildings

▶ Real Estate and Property

- ▶ Condition evaluations, meeting with owners, facilitating connections, build partners

NEXT STEPS



CITY OF HUXLEY

- City Council priority and involvement
 - Mayor Kevin Deaton
 - Mayor Pro Tem David Kuhn
 - Councilmember Tracey Roberts
 - Councilmember Rory Echer
 - Councilmember Niko Pilcher
 - Councilmember Kevin Thompson
 - Former Mayor, Police Chief and Huxley Historian Nels Nord
- Staff support and technical advisement
- Investigation of financing sources, grants, etc. and informing committee
- Support subcommittees and full committee