



PLANNING & ZONING COMMISSION MEETING

MONDAY SEPTEMBER 20, 2021

6:00 P.M.

AGENDA

1. Roll Call
2. Motion to approve the minutes from the August 23rd, 2021 Planning & Zoning Commission Meeting
3. Public Comments (5-minutes limit for items not on this agenda)
4. Business Items
 - a. Hale Trailer Site Plan
 - b. Huxley Communications Site Plan
 - c. Amendment to Code of Ordinances :Paved surfacing for storage of materials and off-season equipment
 - d. Amendment to Code of Ordinances: Zoning requirements for lot width for R-1 and R-1A and Discussion of Affordable Housing Types
 - e. Action on Recommendation to City Council for Amendment to Code of Ordinances: Fence Height on Corner Lots
5. Informational Items/City Administrator Comments
 - a. Main Avenue
 - b. FY 2022 Capital Improvement Plan (CIP)
 - c. Park and Recreation Board/Planning & Zoning Commission
6. Planning and Zoning Commission Comments
8. Adjournment

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

Huxley Planning & Zoning Commission Minutes

Monday, August 16, 2021

Chairman Roger Bierbaum called the meeting to order at 5:00 P.M.

ROLL CALL: Mosher, Bierbaum, Schonhorst, Murphy, Frantz present. Ebel absent.

CITY STAFF PRESENT: Amy Kaplan – Zoning Clerk, Rita Conner- City Administrator

CONSULTANTS PRESENT: None

GUESTS PRESENT: None

MINUTES APPROVAL: Motion –Murphy, second –Mosher to approve minutes from the July 19th, 2021 meeting. 5 Aye. 0 Nay.

Patterson entered the meeting at 5:01 PM.

PUBLIC COMMENTS: None

PUBLIC HEARING: None

BUSINESS ITEMS:

Action on Recommendation to City Council for Amendment to Code of Ordinances: Paved surfacing for storage of materials and off-season equipment. Motion by Patterson, second – Schonhorst to advise City Council that the Planning and Zoning Commission would like to amend the Code of Ordinances pertaining to the requirement of paved surfacing for storage materials and off-season equipment. The Commission is no longer interested in offering waivers and therefore wants the code to reflect the desire of the Council and Commission. The Commission finds limestone acceptable for off-season storage of equipment and material storage. If Council is in support, the Commission will begin research and offer a recommendation to amend the Code of Ordinances as well as review for potential amendment the landscape ordinance for commercial and industrial areas that are not paved. In addition, the Commission will take a look at paving requirements by zone. Mosher, Bierbaum, Schonhorst, Murphy, Frantz, Patterson voted yes. Motion carried 6/0.

Action on Recommendation to City Council for Amendment to Code of Ordinances: Zoning requirements for lot width for R-1 and R-1A and Discussion of Affordable Housing Types. Motion by Frantz, second- Schonhorst to advise City Council that the Planning & Zoning Commission is interested in looking at lot size requirements as well as discussing and considering Planned Urban Developments and reviewing a variety of housing product types. If Council is in support, the Commission will begin review of R-1 and R-1A lot size requirements, the potential elimination of R-1A, housing product types and how they are configured into developments to meet a variety of housing needs and offer a recommendation for an amendment to the Code of Ordinances. Mosher, Bierbaum, Schonhorst, Murphy, Frantz, Patterson voted yes. Motion carried 6/0.

INFORMATIONAL ITEMS/CITY ADMINISTRATOR COMMENTS:

Council Action Update: Conner gave a re-cap of the action taken at the last City Council Meeting on topics that were discussed at Planning & Zoning.

Next months meeting could contain plans from Huxley Communications, Hale Trailer and The Landing. More to come.

Forrest Aldrich entered the meeting at 6:02 PM.

PLANNING AND ZONING COMMISSION COMMENTS:

- Schonhorst asked about the completion date of the paving of 1st Street. Conner indicated the work is on schedule and should be completed before school starts.
- Next P&Z meeting is September 20th at 6 PM in the City Council Chambers.
- Bierbaum inquired about the ability to have hybrid meetings through the winter. Conner responded that the technology would be installed in the council chambers yet this month.

ADJOURNMENT: Motion – Mosher, second-Schonhorst to adjourn meeting at 6:06 P.M. 6 ayes, 0 nays. MCU.

Amy Kaplan, Zoning Clerk

Roger Bierbaum, Chairman

Date of Approval

HALE TRAILER SITE PLAN HUXLEY, IOWA



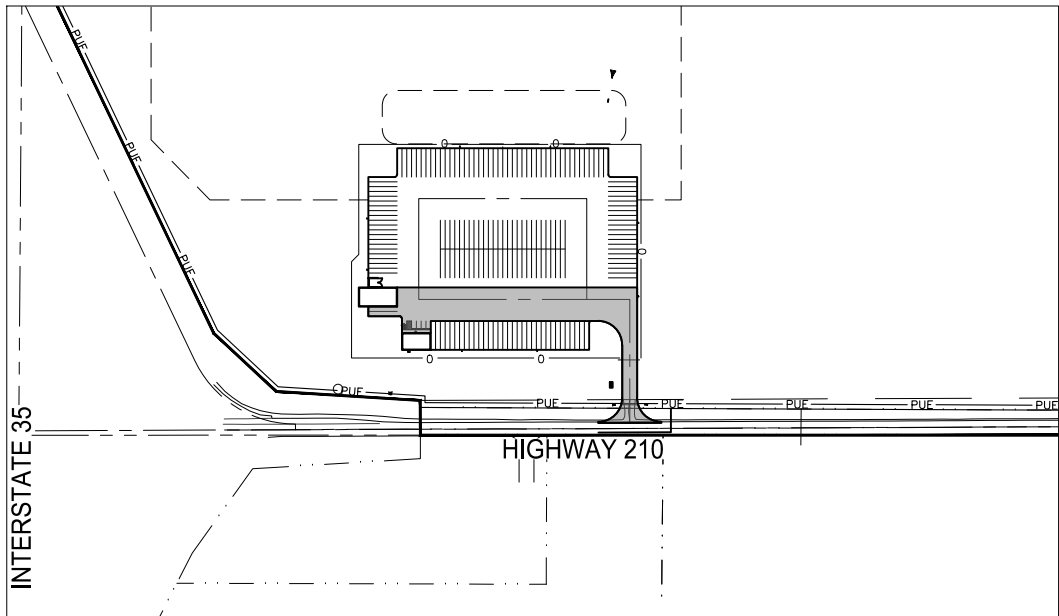
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ALL CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT STATEWIDE URBAN DESIGN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AS ACCEPTED BY THE CITY OF HUXLEY EXCEPT WHERE ALTERED OR AMENDED BY THESE PLANS AND BY CITY OF HUXLEY SUPPLEMENTAL SPECIFICATOINS.



APPLICANT:

HALE TRUCKING
P.O. BOX 1400
VOORHEES, NJ 08043
CONTACT: SCOTT MCBRIDE
EMAIL: SMCBRIDE@HALETRAILER.COM

PROPERTY OWNER:

JANESTAR OF IOWA, LLC
551 COOPER ROAD
WEST BERLIN, NJ 08091

ENGINEER:

MCCLURE ENGINEERING COMPANY
1360 NW 121ST STREET
CLIVE, IOWA 50325
515.964.1229

ZONING:

ZONING:	EXISTING:	A-1
	PROPOSED:	C-2
BUILDING:	FRONT YARD	- 25 FT
	SIDE YARD	- 0 FT
	REAR YARD	- 25 FT
	PRINCIPAL HEIGHT	- 35 FT
	ACCESSORY HEIGHT	- 20 FT

DEVELOPMENT SUMMARY:

GROSS LAND AREA: = 3,296,621 S.F. (75.68 AC.)
PHASE 1 AREA: = 466,092 S.F. (10.70 AC.)

IMPERVIOUS AREA SUMMARY:

PAVED AREA (ASPHALT)	= 45,987 SF (9.9%)
PAVED AREA (GRANULAR)	= 175,174 SF (37.5%)
TOTAL BUILDING AREA	= 5,325 SF (1.2%)
1-STORY MOBILE OFFICE	= 2,125 SF
1-STORY POLE BARN SHOP	= 3,200 SF
TOTAL	= 226,881 SF (48.6%)

PERVIOUS AREA SUMMARY:

OPEN SPACE = 239,211 SF (51.4%)

LEGAL DESCRIPTION:

PARCEL "K" A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND

THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL "J" A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

PARKING:

PEDESTRIAN VEHICLE PARKING:

VEHICLE SPACES =	4
ADA SPACES =	1
TOTAL SPACES PROVIDED =	5

TRAILER PARKING:

TRAILER SPACES PROVIDED = 176

DEVELOPMENT SCHEDULE:

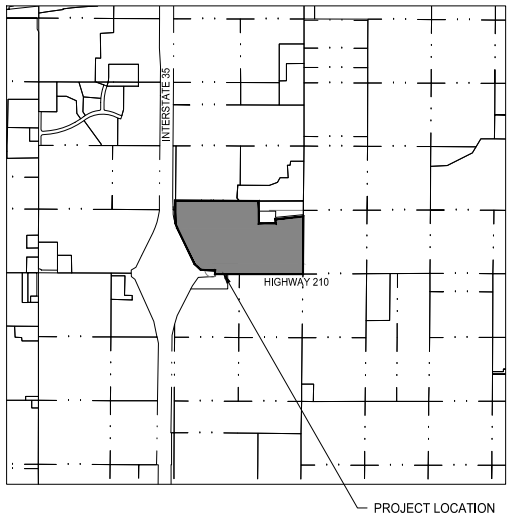
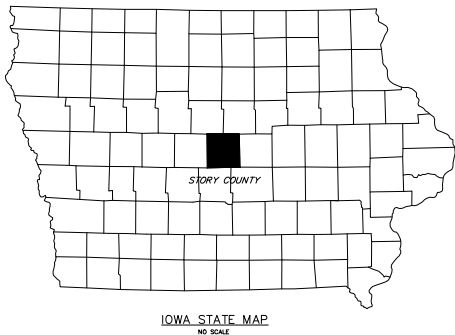
ANTICIPATED START DATE: FALL 2021
ANTICIPATED COMPLETION DATE: SPRING 2022

PROPERTY ADDRESS:

TBD

UTILITY CONTACTS

WATER AND SEWER:	CITY OF HUXLEY KEITH VITZTHUM 515.290.7512
GAS AND ELECTRIC:	ALLIANT ENERGY JENNI KRONEMAN 515.268.3425
PHONE AND CABLE:	HUXLEY COMMUNICATIONS BRANT STRUMPFER 515.203.6716



VICINITY SKETCH

NO SCALE

SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
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6	GRADING PLAN
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8	UTILITY PLAN
9	LANDSCAPE PLAN
10	DETAILS
11	DETAILS

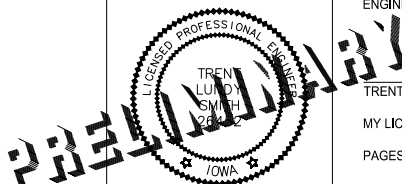


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GREGORY MICHAEL PFAUF, LA00713 DATE:

MY LICENSE RENEWAL DATE IS JUNE, 2021

PAGES OR SHEETS COVERED BY THIS SEAL:



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TRENT LUNDY SMITH, PE NO. 26452 DATE:

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL:

HALE TRAILER SITE PLAN

HUXLEY, IOWA
210574
JULY 28, 2021
REVISIONS
AUGUST 30, 2021

ENGINEER
T. SMITH
DRAWN BY
TLS
CHECKED BY
C. SMITH
FIELD BOOK NO.
.

DRAWING NO.
GN-01
SHEET NO.
1 / 11

GENERAL LEGEND

EXISTING / PROPOSED		EXISTING / PROPOSED		EXISTING / PROPOSED	
	SS		SANITARY SEWER MAIN		BOLLARD (BUMPER POST)
	SS		SANITARY SEWER SERVICE		ROADWAY SIGN
	FM		SANITARY SEWER FORCE MAIN		MAILBOX
	ST		STORM SEWER MAIN OR CULVERT		WELL
	ST		SECONDARY STORM SEWER MAIN		DECIDUOUS TREE
	ST		SECONDARY STORM SEWER SERVICE		EVERGREEN TREE
	W		WATER MAIN		SHRUB OR BUSH
	W		WATER SERVICE		TREE OR SHRUB LINE
	E		UNDERGROUND ELECTRIC		STUMP
	OHE		OVERHEAD ELECTRIC		MONITORING WELL
	T		UNDERGROUND TELEPHONE		SOIL BORINGS
	FO		UNDERGROUND FIBER OPTIC		FLAG POLE
	TV		UNDERGROUND CABLE TV		SATELLITE DISH
	G		GAS MAIN OR SERVICE		SLOPE INDICATORS
			CONTOUR LINES INTERMEDIATE		CONTROL POINT
			CONTOUR LINES INDEX		BENCH MARK
			PROPERTY LINE / LOT LINE		SECTION CORNER
			SECTION LINE		IRON PIN SET
			EASEMENT		IRON PIN FOUND
			GUARD RAIL		DRAWING NUMBER
	X		FIELD FENCE		
	O		CHAIN LINK FENCE		
	□		WOODEN FENCE		
	-		ROAD CENTERLINE		
			GRADING LIMITS		
			CONSTRUCTION LIMITS		
	AG		AG LINE		
			WATERWAY FLOWLINE		
			TOP OF SLOPE		
			BOTTOM OF SLOPE		
	X		SILT FENCE		

GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY AND THE OWNER.
- CONTRACTOR TO CONFINE OPERATIONS TO PERMANENT AND TEMPORARY EASEMENTS AND DEVELOPER OWNED PROPERTY.
- ALL TREES AND SHRUBS SHALL BE PROTECTED UNLESS DESIGNATED FOR REMOVAL IN THE PLANS.
- CONTRACTOR SHALL SUBMIT ALL SUBGRADE AND PAVING MATERIAL TEST RESULTS TO THE PROJECT ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING AND MAINTAINING A SET OF RECORD DRAWINGS. RECORD DRAWINGS SHALL SHOW ALL CHANGES TO PLANS, AND REPRESENT THE AS-BUILT CONDITION. SUBMIT RECORD DRAWINGS TO ENGINEER PRIOR TO FINAL PAYMENT. ALL PIPE ENDS, UTILITY SERVICES AND CONDUIT ENDS SHALL BE MARKED WITH STEEL FENCE POSTS.
- THE PLANS SHOW UTILITIES LOCATED WITHIN THE LIMITS OF THE WORK UNDER THIS CONTRACT. THE COMPLETENESS OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS IS IN NO WAY IMPLIED OR GUARANTEED. THE CONTRACTOR SHALL OBTAIN THE LOCATION OF THE UTILITIES AND SERVICES FROM THE VARIOUS PUBLIC UTILITY COMPANIES BEFORE BEGINNING ANY EXCAVATION AND WILL BE HELD RESPONSIBLE FOR ANY DAMAGE TO SAID UTILITIES AND SERVICES RESULTING FROM HIS OPERATIONS. ADDITIONAL COMPENSATION WILL NOT BE ALLOWED FOR THIS WORK AND SHALL BE CONSIDERED INCIDENTAL TO OTHER AREAS OF WORK.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENT AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF HUXLEY TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH HUXLEY STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE STATEWIDE URBAND DESIGN SPECIFICATIONS.
- RECONNECT ANY FIELD TILE THAT ARE INTERCEPTED DURING UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
- PROVIDE 1" EXPANSION MATERIAL WHERE CONCRETE IS POURED AGAINST BUILDING OR STRUCTURES. SET PRE-MOLDED MATERIAL TIGHT AGAINST BUILDING AND/OR STRUCTURES TO ELIMINATE VOIDS.
- ALL H/C RAMPS IN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE W/THE ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG), AND IOWA CODE.
- CONTRACTOR SHALL SUBMIT A JOINTING LAYOUT PLAN TO PROJECT ENGINEER FOR APPROVAL PRIOR TO PAVING OPERATIONS.

GRADING NOTES:

- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- ALL DIMENSIONS TO BACK-OF-CURB UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE FIELD VERIFIED.
- CURB INTAKE RIM ELEVATIONS = PAVING TOP OF CURB ELEVATIONS.
- CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELEVATIONS SHOWN ON THE PLANS.
- ALL SPOT ELEVATIONS ARE TO THE TOP OF FINISHED GRADE, UNLESS OTHERWISE NOTED.
- ALL SLOPES IN UNPAVED AREAS SHALL BE GRADED TO DRAIN.

UTILITY NOTES:

- ALL UTILITIES ARE PRIVATE UNLESS NOTED OTHERWISE.
 - CONTRACTOR TO ADJUST ALL TOP OF CASTING ELEVATIONS WITHIN THE PROJECT LIMITS TO THE FINAL ELVATIONS SHOWN ON THE PLANS.
 - ALL UTILITY SERVICES, INCLUDING ELECTRIC, TELEPHONE, AND CABLE TO BE UNDERGROUND.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - ALL CONNECTIONS TO EXISTING PUBLIC SEWERS SHALL BE CORE DRILLED.
 - ALL MANHOLES AND WATER VALVE BOXIES THAT ARE BURIED SHALL BE RAISED TO FINISHED GRADE.
- SANITARY SEWER:
- ALL SANITARY SEWER SEVICES SHALL BE SDR 23.5 IN ACCORDANCE WITH URBAN STANDARD SPECIFICATIONS.
 - MANHOLE STEPS ARE REQUIRED IN ALL SANITARY SEWER MANHOLES.
 - MANHOLE COVERS SHALL HAVE RAISED DIAMOND ROUGHNESS PATTERN.
 - RAISED MANHOLES SHALL HAVE RUBBER SLEEVE TYPE INFILTRATION BARRIERS WITH STAINLESS STEEL BANDS.
- STORM SEWER:
- OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF ALL ON-SITE PRIVATE STORM SEWER AND PRIVATE STORM WATER DETENTION / RETENTION AREAS AFTER INSTALLATION.
 - ALL INTAKE CASTINGS SHALL HAVE PHASE 2 ENVIRONMENTAL SYMBOLOGY OR TEXT.
- WATER MAIN:
- HYDRANTS, MANHOLE COVERS, AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
 - WATER MAIN TO HAVE 5-1/2' BURY, TYP. EXCEPT AT CRITICAL CROSSINGS. NO WATER MAIN SHALL BE INSTALLED MORE SHALLOW THAN 5-1/2'
 - ALL VALVES SHALL HAVE A VALVE BOX ADAPTER INSTALLED TO MAINTAIN ALIGNMENT.
 - ALL HYDRANTS SHALL BE 5-INCH STORZ NOZZLE FIRE HYDRANTS WITH CHAINS INTACT.
 - THE CONTRACTOR SHALL WORK WITH THE CITY OF HUXLEY WHEN OPERATING EXISTING VALVES. WATER SHALL NOT BE TURNED ON WITHOUT PRIOR APPROVAL.
 - WATER CAN NOT BE USED BY THE CONTRACTOR UNLESS IT IS PART OF THE PURIFICATION PROCESS OF THE NEW MAIN OR SERVICE. WATER NEEDED FOR ANY REASON AFTER BACTERIA TESTING HAS BEEN COMPLETED AND PASSED WILL NEED PRIOR APPROVAL FROM THE CITY OF HUXLEY. ANY USAGE OF WATER REQUIRED BY THE CONTRACTOR FOR CONSTRUCTION SHALL BE COORDINATED WITH THE CITY OF HUXLEY PRIOR TO USAGE.
 - CONTRACTOR SHALL NOTIFY HUXLEY WATER WORKS ONE (1) WEEK PRIOR TO CONSTRUCTION OF WATER MAIN.
 - ALL FIRE PROTECTION RISERS SHALL UTILIZE THRUST BLOCKING AT ALL CHANGES IN DIRECTION AND ELEVATION, ON ALL WATERMAIN. STAINLESS STEEL RODDING SHALL BE EXTENDED ALONG THE NEXT FULL LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING, ADDITIONALLY, AT ALL LOCATIONS OF THRUST BLOCKING. MEGA-LUGS ARE NOT TO BE ALLOWED.
 - CONTRACTOR SHALL EXTEND THE WATER SERVICE INTO THE BUILDING TO DESIGNATED PONT IN BUILDING PLANS.
 - WATER CURB STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD (COORDINATE WITH CITY OF HUXLEY).

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.



WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.



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GENERAL NOTES

HALE TRAILER
SITE PLAN

HUXLEY, IOWA
210574
JULY 28, 2021

REVISIONS
AUGUST 30, 2021

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- .
- .

ENGINEER
T. SMITH

DRAWN BY
TLS

CHECKED BY
C. SMITH

FIELD BOOK NO.
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GN-02

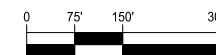
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EXISTING CONDITIONS



NORTH



GRAPHIC SCALE

HALE TRAILER
SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021

ENGINEER
T. SMITH

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C. SMITH

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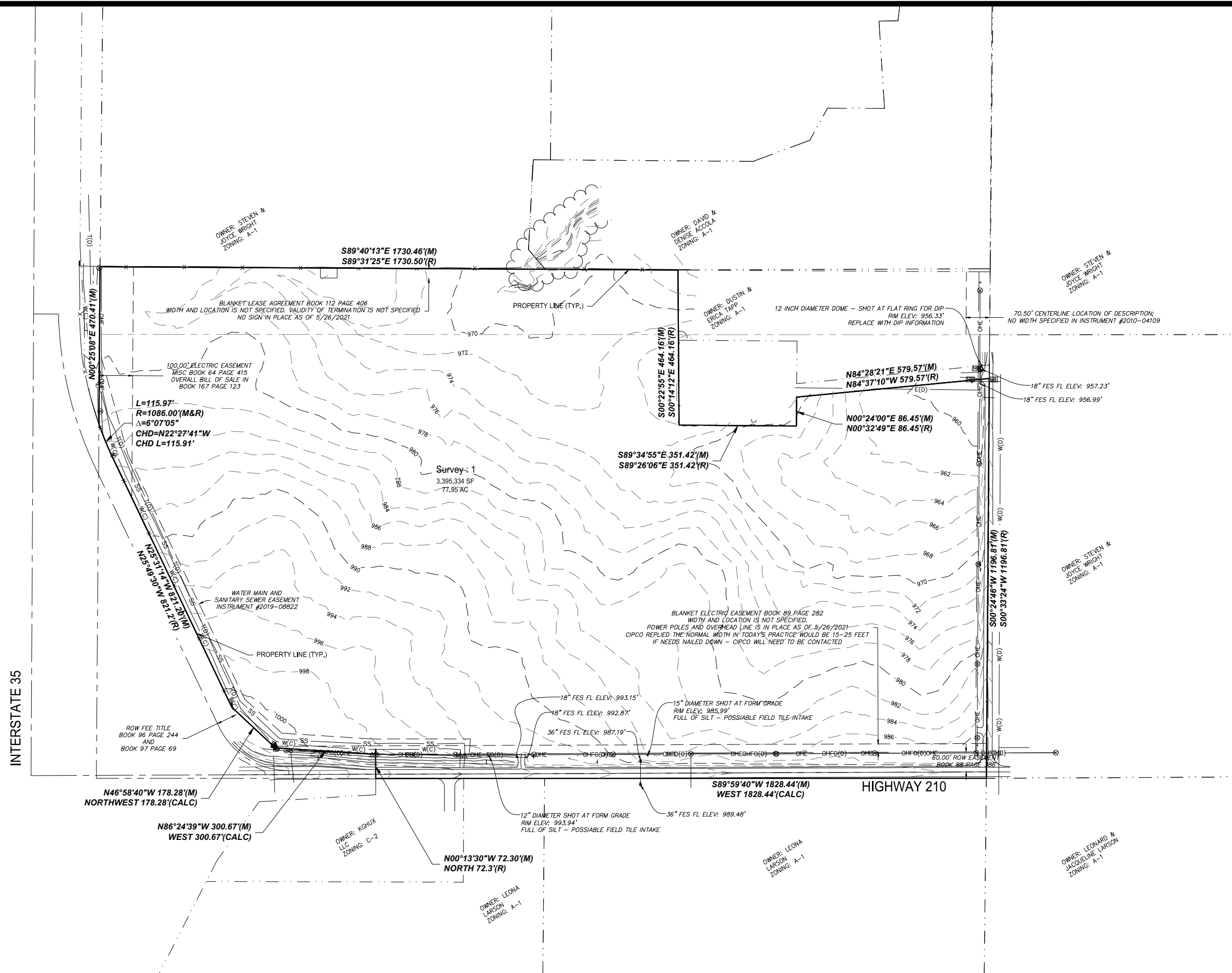
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T.LS

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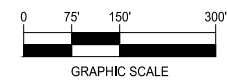
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NOTES:
1) ALL TILE FOUND DURING THE CONSTRUCTION PROCESS SHALL BE REROUTED OR REMOVED UNTIL DOWNHILL FROM ALL PROPOSED BUILDING STRUCTURES.

OVERALL SITE PLAN



HALE TRAILER
SITE PLAN

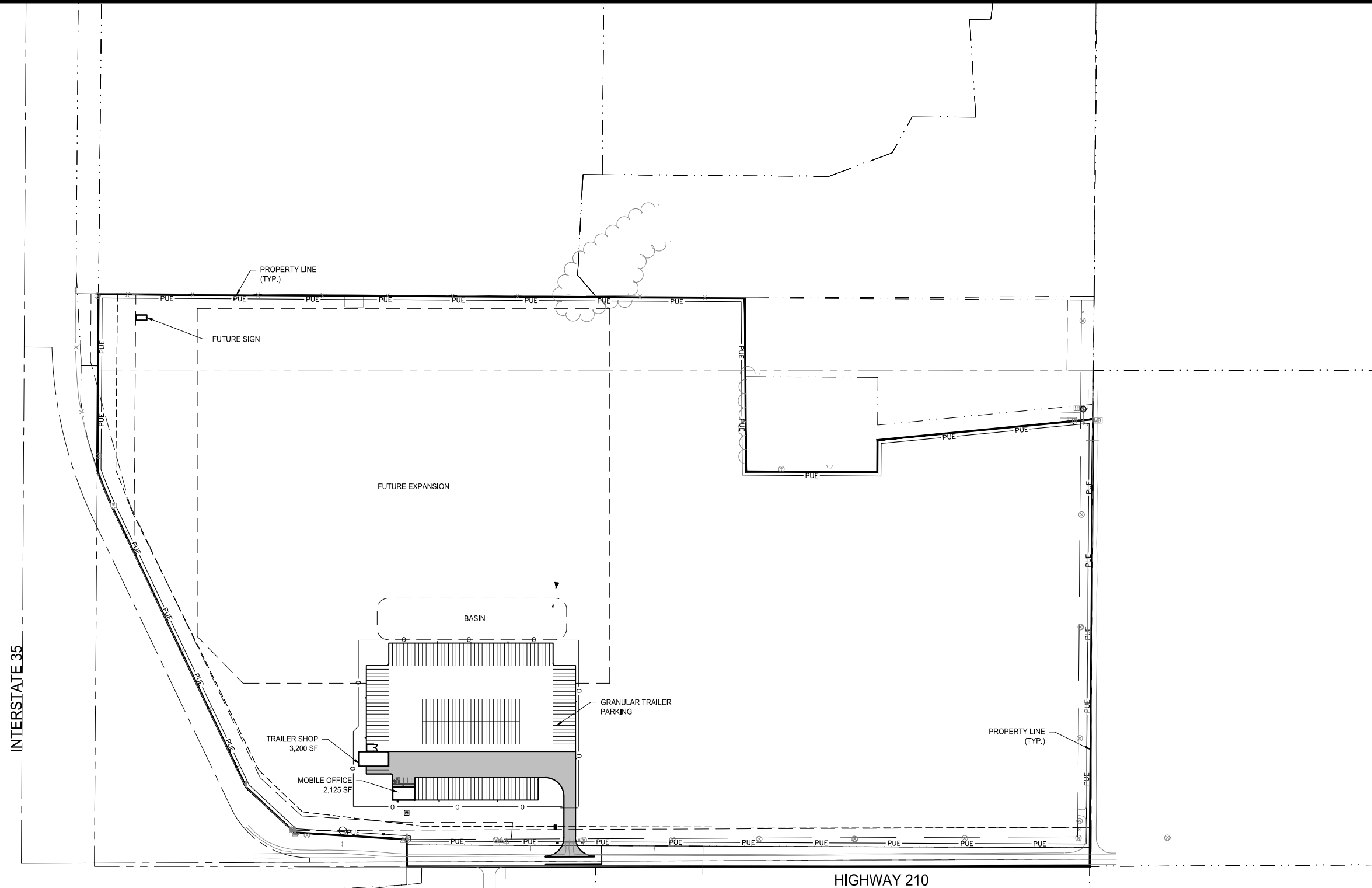
HUXLEY, IOWA
210574
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REVISIONS
AUGUST 30, 2021

ENGINEER
T. SMITH
CHECKED BY
C. SMITH

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TLS
FIELD BOOK NO.
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DRAWING NO.
SP-01

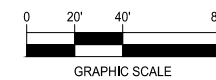
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SITE PLAN



NORTH



HALE TRAILER
SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS
AUGUST 30, 2021

ENGINEER
T. SMITH

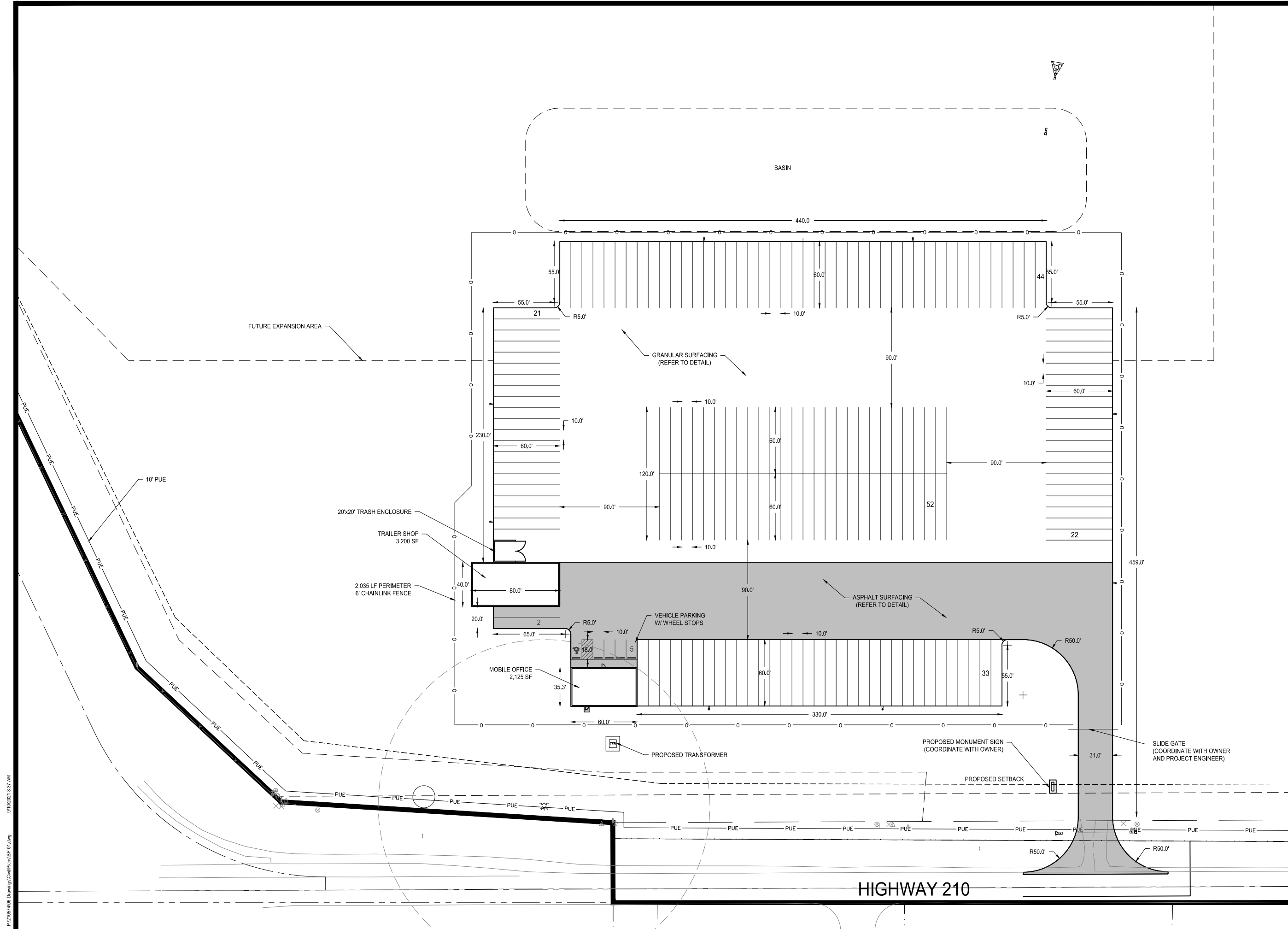
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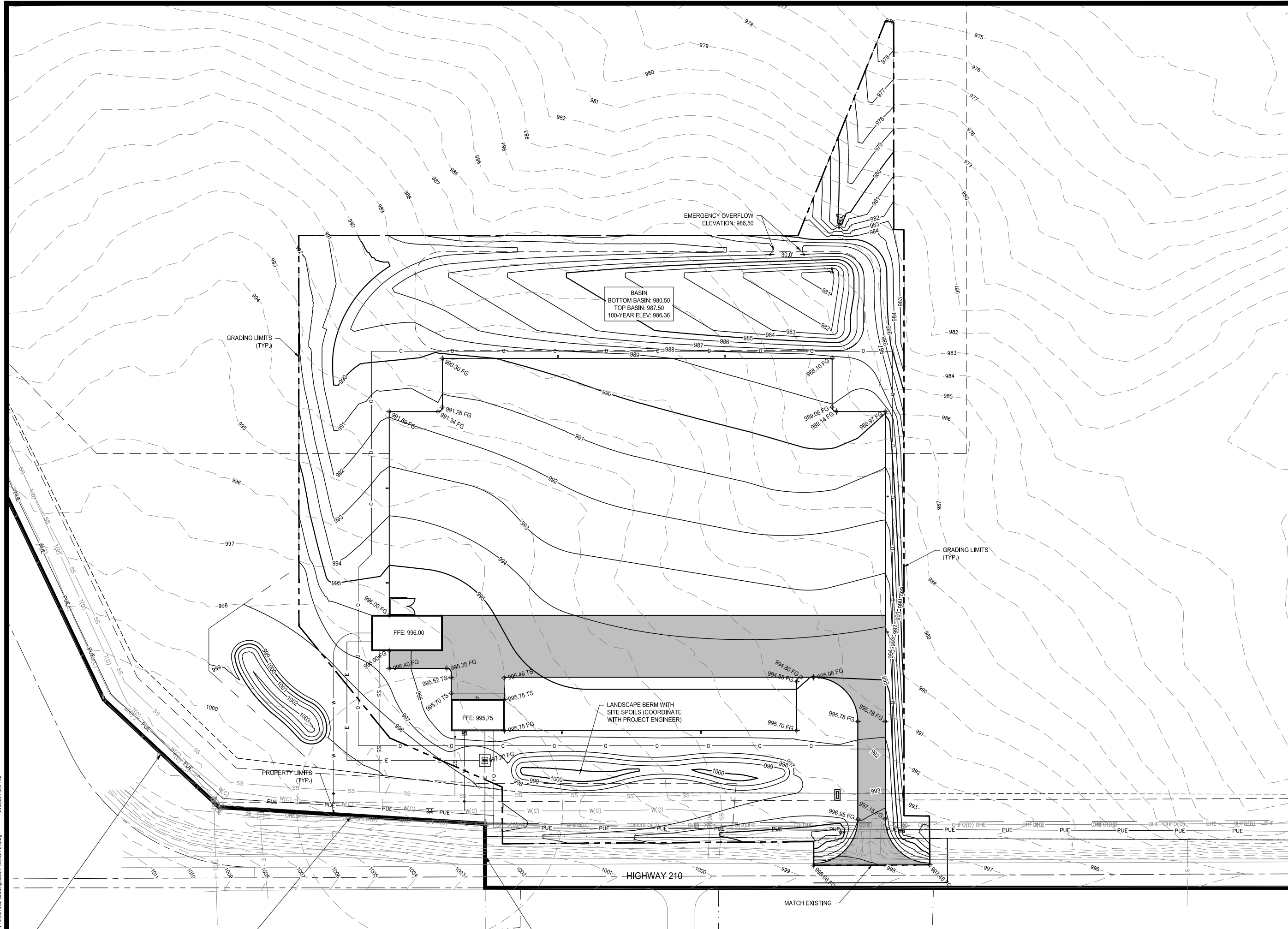
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DRAWING NO.
SP-02

SHEET NO.
5 / 11



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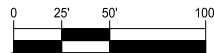
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GRADING PLAN



NORTH



GRAPHIC SCALE

HALE TRAILER SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021

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ENGINEER

T. SMITH

CHECKED BY

C. SMITH

DRAWN BY

TLS

FIELD BOOK NO.

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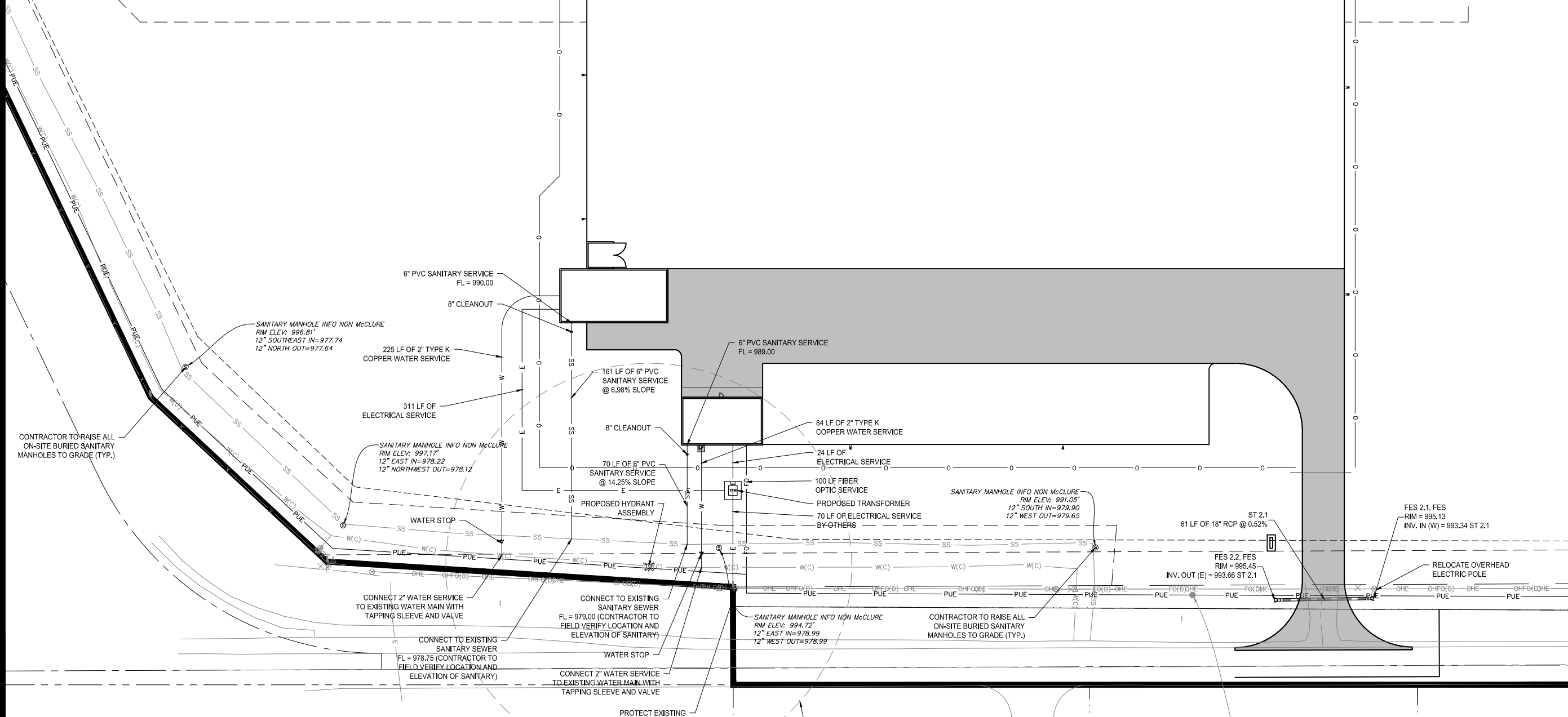
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SHEET NO.

6 / 11

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1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

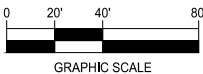
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UTILITY PLAN



NORTH



GRAPHIC SCALE

HALE TRAILER SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021

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ENGINEER
T. SMITH

CHECKED BY
C. SMITH

DRAWN BY

TLS

FIELD BOOK NO.

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DRAWING NO.

UT-01

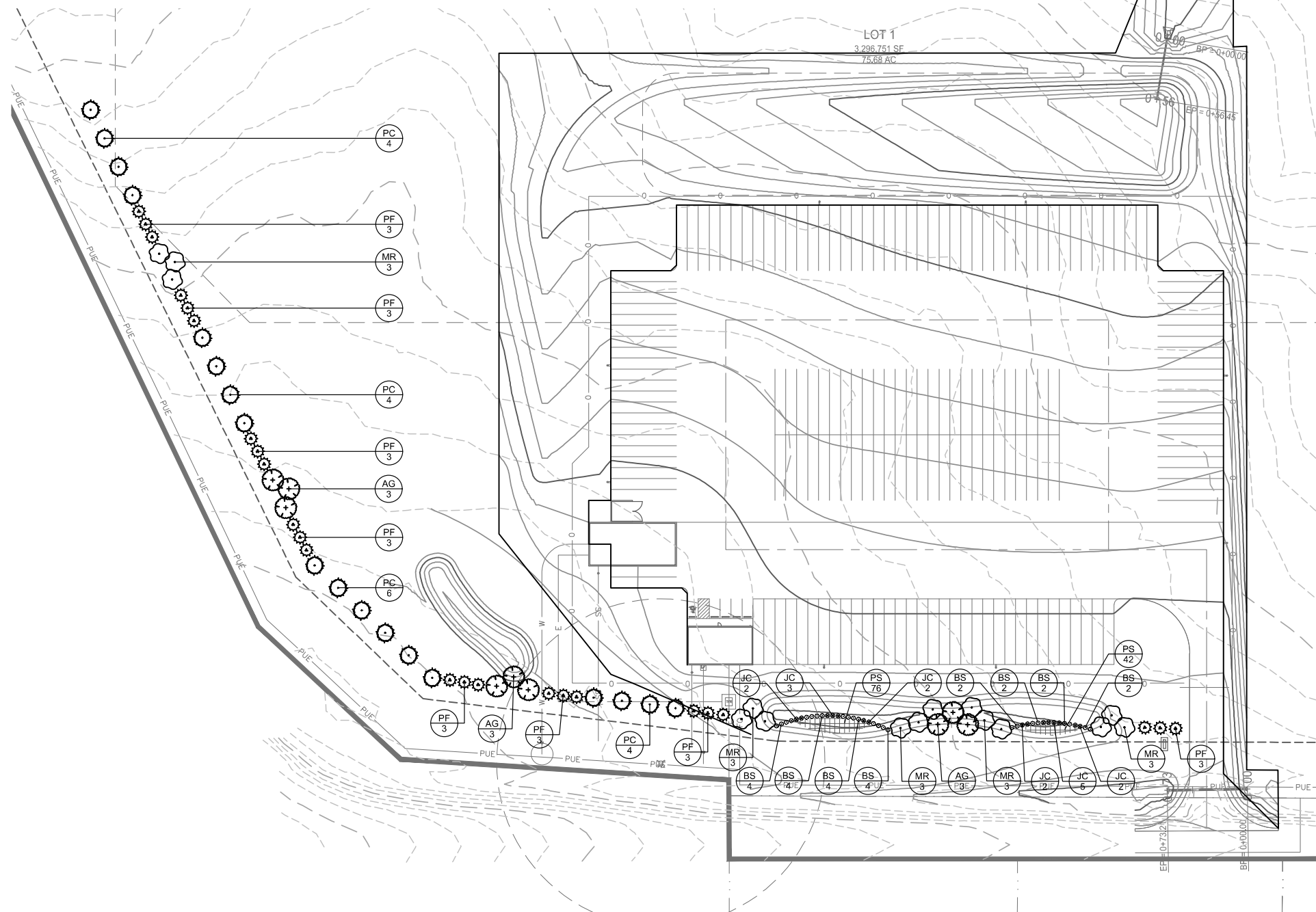
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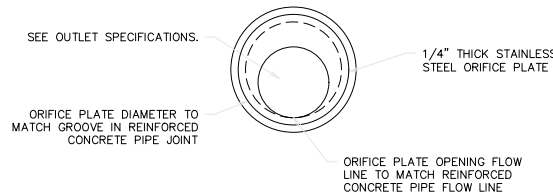
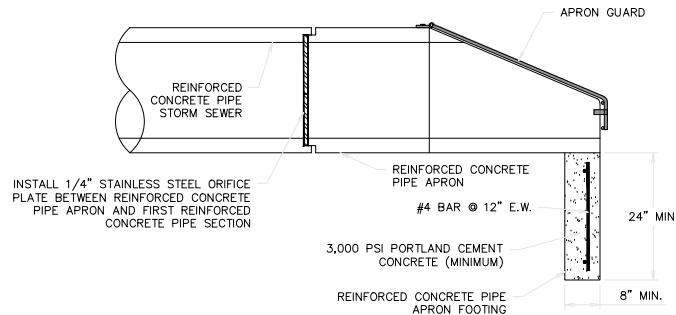
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	GAL	
	AG	9	Amelanchier x grandiflora `Autumn Brilliance` / `Autumn Brilliance` Serviceberry	B & B	1.5" Cal	
	MR	15	Malus x 'Royal Raindrops' / Royal Raindrops Crabapple	B & B	1.5" Cal	
	PC	18	Picea pungens `Colorado Spruce	B & B	6" Ht.	
	PF	24	Pinus flexilis `Vanderwolf`'s Pyramid` / Vanderwolf`s Pyramid Pine	B & B	6" Ht.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	
	BS	24	Buxus microphylla `Sprinter` / Sprinter Boxwood	1 gal		
	JC	15	Juniperus chinensis `Green Sargent` / Green Sargent Juniper	1 gal		
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER	SPACING
	PS	118	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	1 gal.		36" o.c.



1. EXISTING UNDERGROUND (U/G), OVERHEAD (O/H) UTILITIES AND DRAINAGE STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL CONTRACTORS TO VERIFY EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING ANY WORK.
2. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL GIVE 72 HOURS ADVANCED NOTICE TO ALL THOSE COMPANIES/UTILITIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION SITE.
3. CONTRACTOR SHALL VERIFY ALL LANDSCAPE MATERIAL QUANTITIES AND SHALL REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT.
4. CONTRACTOR SHALL STAKE/LAYOUT PLANT LOCATIONS IN THE FIELD & HAVE APPROVAL BY LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH INSTALLATION.
5. NO SUBSTITUTIONS (INCL. CULTIVARS) SHALL BE ACCEPTED WITHOUT WRITTEN APPROVAL PER SPECIFICATIONS. PROPOSED PLANT SUBSTITUTIONS REQUIRE APPROVAL OF THE LANDSCAPE ARCHITECT, KANSAS CITY, MO & THE OWNER'S REPRESENTATIVE.
6. ALL PLANT MATERIAL SHALL BE OF EXCELLENT QUALITY, FREE OF DISEASE & INFESTATION-TRUE TO TYPE, VARIETY, SIZE SPECIFIED, & FORM PER ANSA STANDARDS.
7. ALL PROPOSED TREES AND SHRUBS SHALL BE LAID OUT IN A UNIFORM AND CONSISTENT PATTERN, FOLLOWING THE LANDSCAPE PLAN ACCURATELY, INSTALL ALL PLANTS PER PLANTING DETAILS.
8. ALL TREES & MULCH BEDS (UNLESS ROCK MULCH) SHALL RECEIVE 3" MIN. OF SHREDDED DARK PREMIUM HARDWOOD MULCH, AS DETAILED, AD PREEN OR SNAPSHOT TO BEDS BEFORE & AFTER MULCHING FROM MARCH 1 TO OCTOBER 1. IF WINTER INSTALLATION, RETURN NEXT SPRING & INSTALL PREEN/SNAPSHOT WITH NEW MULCH.
9. TREE TIES SHALL BE DEWITT 20" STRAPS FOR TREE STAKING, USE 10 GAUGE ELECTRIC WIRE, TREES AND STAKES SHALL BE STRAIGHT, PLUMB AND TAUT. TREE STAKES TO BE REMOVED WINTER OF YEAR 2 AFTER INSTALLATION.
10. CONTRACTOR SHALL THOROUGHLY WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING UNTIL SUBSTANTIAL COMPLETION. CONTRACTOR REQUIRED TO COORDINATE WATERING WITH THE OWNER AFTER SUBSTANTIAL COMPLETION. PROVIDE HOURLY RATE TO WATER THE SITE. IF IRRIGATION NOT INSTALLED OR NOT WORKING.
11. ALL AREAS OF THE SITE DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS BEDS / PAVEMENT AREAS SHALL BE SEEDED WITH 90% TURF-TYPE TALL FESCUE AND 10% BLUEGRASS MIX SEED.
12. CONTRACTOR SHALL THOROUGHLY WATER-IN EACH PLANT IMMEDIATELY FOLLOWING INSTALLATION AND CONTINUE WATERING THROUGH SUBSTANTIAL COMPLETION TO ENSURE HEALTHY ESTABLISHMENT. CONTRACTOR REQUIRED TO COORDINATE WATERING WITH THE OWNER AFTER SUBSTANTIAL COMPLETION. PROVIDE HOURLY RATE TO WATER THE SITE, IF IRRIGATION NOT INSTALLED OR NOT WORKING
13. CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING ALL AREAS OF SEED, ROCK & MULCH AND THE AMOUNTS OF EACH NEEDED FOR OPTIMUM COVERAGE.
14. NO TREES SHALL BE PLANTED OVER TOP OF ANY UTILITY LINES OR PIPES. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO PLANTING AND ANY MODIFICATIONS TO TREE LOCATIONS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND APPROVED BY THE CITY PRIOR TO PLANTING.
15. ALL PLANT MATERIALS AND IRRIGATION SYSTEM SHALL BE GUARANTEED FOR 1 YEAR FROM DATE OF SUBSTANTIAL COMPLETION. PLANT MATERIALS WILL BE ONE TIME REPLACEMENT AND RECORDS KEPT BY THE LANDSCAPE CONTRACTOR FOR ALL REPLACEMENTS.
16. THIS LANDSCAPE PLAN IS DESIGNED TO BE IN CONFORMANCE WITH THE CITY OF HUXLEY, IA UNIFIED DEVELOPMENT ORDINANCE. THE LANDSCAPE ARCHITECT WILL COORDINATE CLOSELY WITH THE CITY OF HUXLEY, IA TO MAKE SURE FINAL DEVELOPMENT AND PERMIT PLANS ARE IN CONFORMANCE WITH THIS CODE.
17. CONTACT THE MUNICIPAL FORESTRY DIVISION AT 515-2834-1105 PRIOR TO PLANTING IN THE PUBLIC RIGHT OF WAY.
18. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.

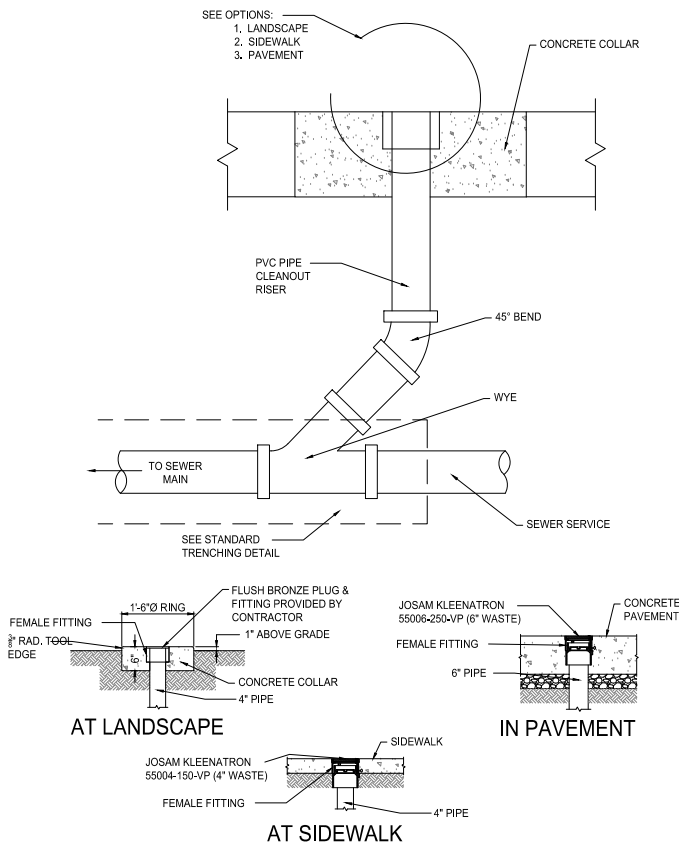


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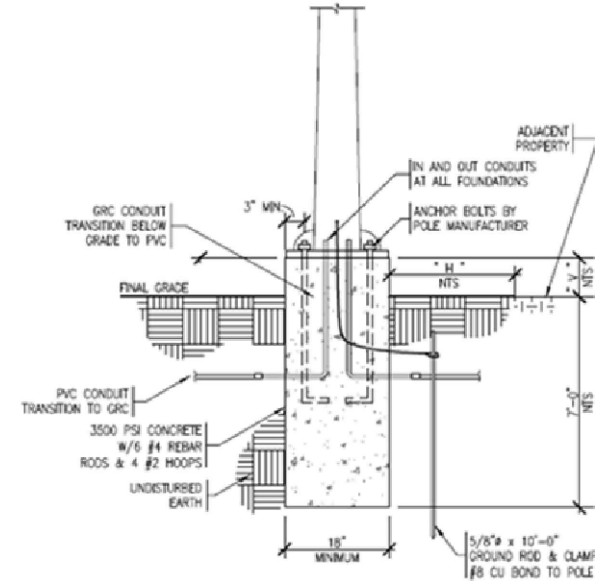
ORIFICE PLATE DETAIL

NOT TO SCALE



SEWER CLEANOUT DETAIL

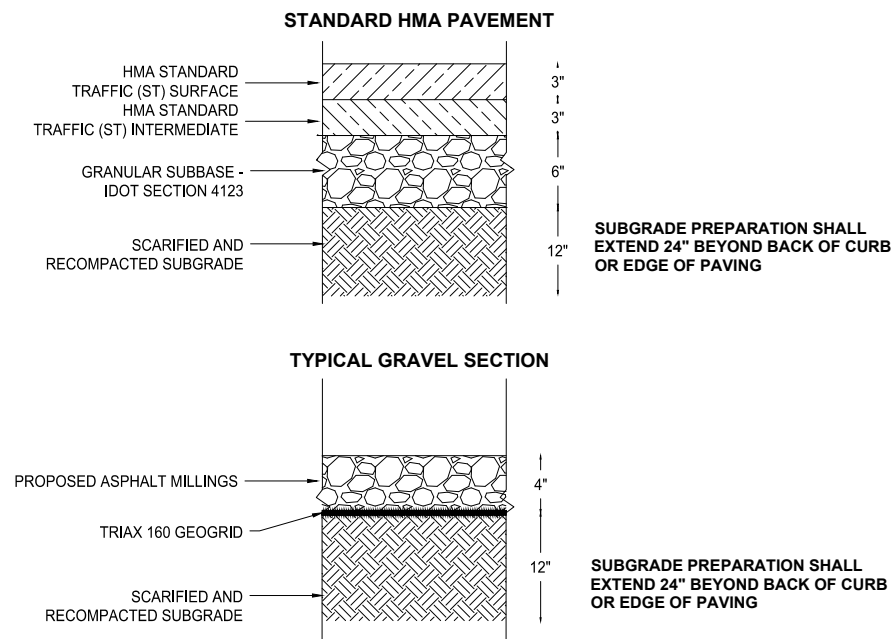
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NOTE :
V = VERTICAL ABOVE FINISHED GRADE, 5'-00" IN ALL LOCATIONS.
H = HORIZONTAL FROM ADJACENT PROPERTY LINES 3'-00".

TYPICAL LIGHTING POLE FOUNDATION

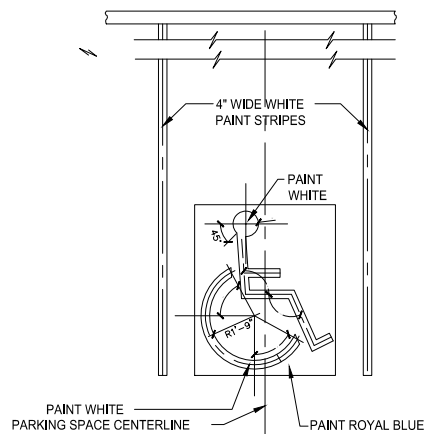
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NOTE: GRAVEL PAVMENT CROSS SECTION PROVIDED BY OWNER AND DO NOT CONFORM TO ENGINEERING RECOMMENDATION

PAVEMENT CROSS SECTIONS

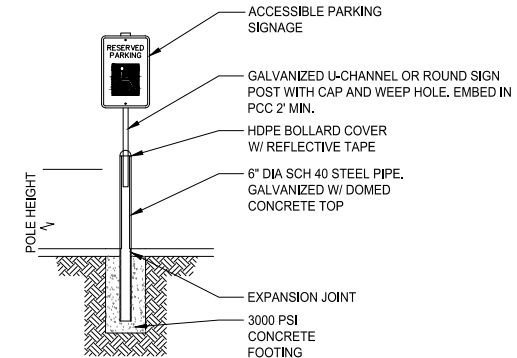
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NOTE: CENTER PAINTED SYMBOL IN THE MIDDLE OF PARKING SPACE OPENING.

HANDICAPPED PARKING SPACE PAINT, ACCESSIBILITY AND SIGN DETAILS

NO SCALE



ACCESSIBLE PARKING SIGN DETAIL

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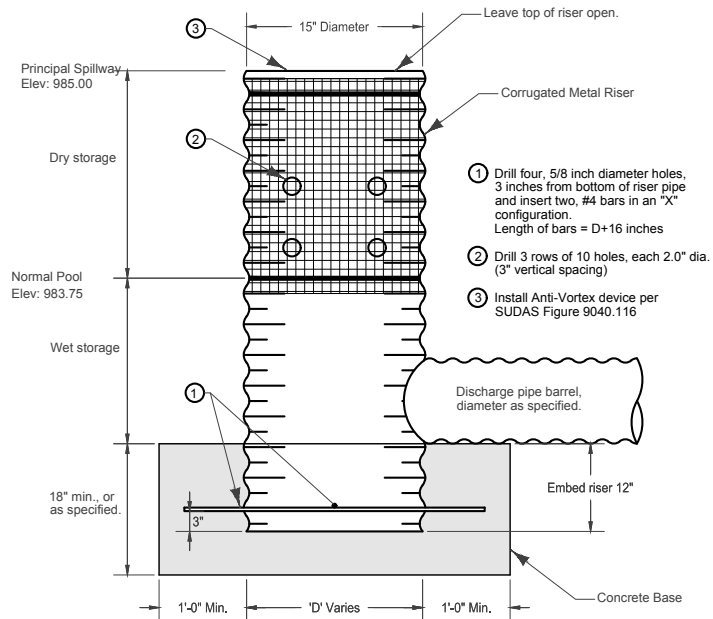
DETAILS

HALE TRAILER SITE PLAN

HUXLEY, IOWA
210574
JULY 28, 2021
REVISIONS
AUGUST 30, 2021

ENGINEER
T. SMITH
DRAWN BY
T.LS
CHECKED BY
C. SMITH
FIELD BOOK NO.
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DRAWING NO.
DE-01
SHEET NO.
10 / 11



TEMPORARY STANDPIPE - LOWER BASIN

NOT TO SCALE



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DETAILS

HALE TRAILER
SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021

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ENGINEER
T. SMITH

DRAWN BY
TLS

CHECKED BY
C. SMITH

FIELD BOOK NO.
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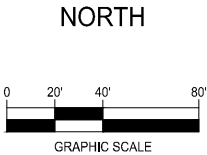
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LIGHTING PLAN



HALE TRAILER
SITE PLAN

HUXLEY, IOWA

210574

JULY 28, 2021

REVISIONS

AUGUST 30, 2021
SEPTEMBER 10, 2021

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ENGINEER

T. SMITH

CHECKED BY

C. SMITH

DRAWN BY

T. SMITH

FIELD BOOK NO.

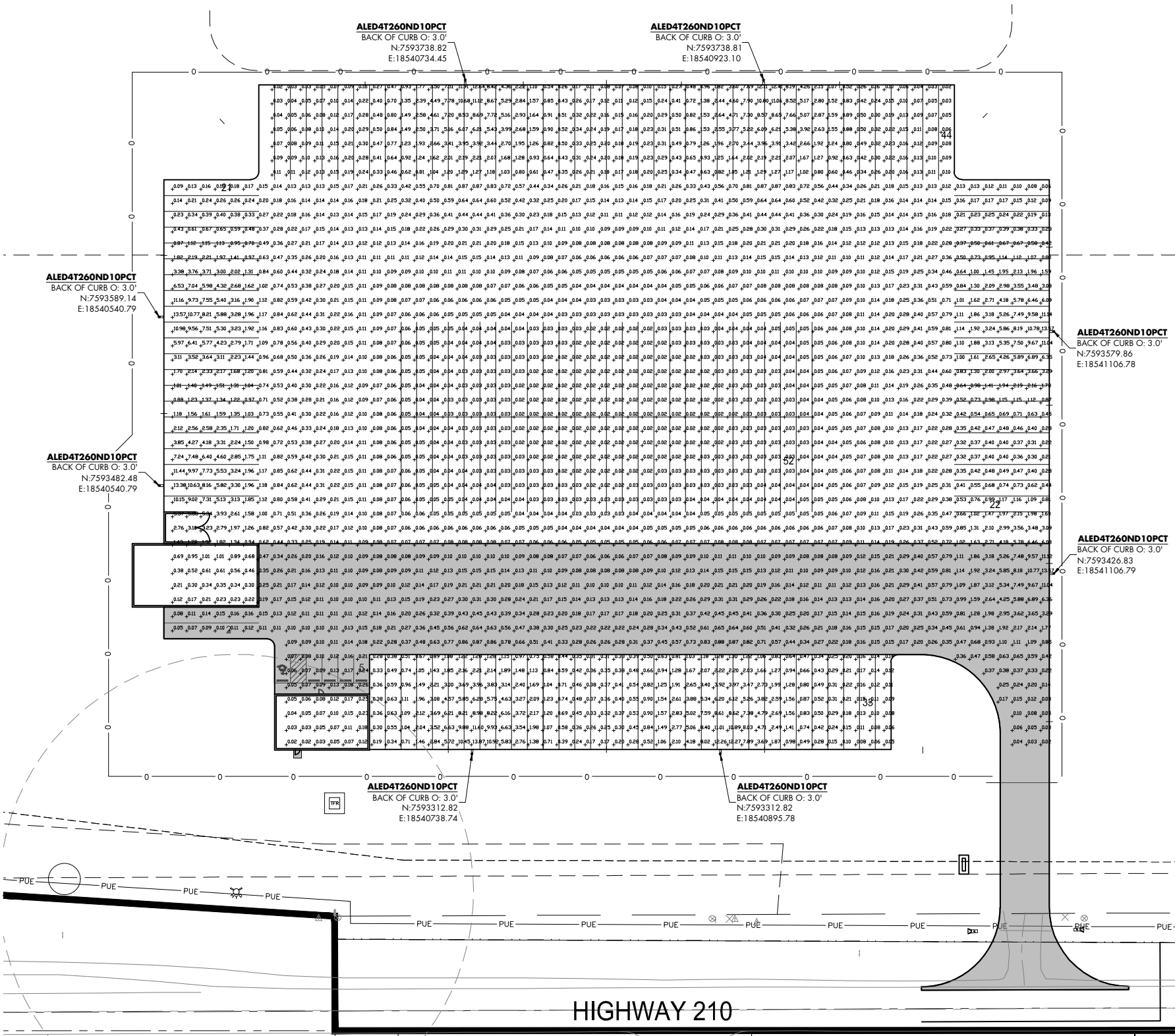
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NOTES:

- ALL LIGHT POLES SHALL BE AS FOLLOWS:
 - POLE SPECIFICATIONS (PR4-11-2002).
 - 20.0' MOUNTING HEIGHT ABOVE FINISHED GRADE.
 - POLE AND MAST ARM SHALL BE BRONZE IN COLOER.
- ALL LIGHTS SHALL BE LED FIXTURES.
- TOTAL NUMBER OF LIGHTS PROPOSED = 8 LIGHTS
- LIGHT POLES TYPICALLY PLACED 4.0' BACK OF CONCRETE.

LUMINARE SCHEDULE						
Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
8	RAB LIGHTING INC.	ALED 4T2 260N D10	ALED4T260N/D10/PCT	1	30944	0.85

LIGHTING STATISTICS				
Description	Avg	Max	Min	Avg/Min
Parking Lot	0.90 fc	13.87 fc	0.02 fc	45.0:1



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NORTHWEST IOWA | DES MOINES METRO | EASTERN IOWA | SIOUXLAND | SOUTHWEST IOWA | CENTRAL MISSOURI | KANSAS CITY METRO

September 13, 2021

City of Huxley Review
Attn: Forrest S. Aldrich, P.E.
Veenstra & Kimm, Inc.
3000 Westown Parkway
West Des Moines, Iowa 50226

RE: Hale Trailer Site Plan

Dear Mr. Aldrich,

We have received and reviewed comments dated August 9, 2021. Revisions and responses, written in bold type, are as follows:

Engineering

1. The minimum sanitary sewer service size is 6-inch for commercial properties. Change the size of the sewer service from 4-inch to 6-inch.

Revised as requested.

2. Use an arch pattern water curb stop box with a stainless steel rod.

Note requiring arch pattern water curb stop box with stainless steel rod has been added to the general notes.

3. Provide all final as constructed plans as an electronic pdf format. Provide GIS coordinates for all as constructed manholes, valve boxes, curb stops, hydrants and cleanouts in AutoCad format.

Acknowledged. Final plans in electronic format with GIS coordinates will be provided as part of the as-built process.

4. Show contacts for inspections and utilities on the front cover as follows:

Water and Sewer, Keith Vitzthum, City of Huxley, 515-290-7512
Gas and Electric, Jenni Kroneman, Alliant Energy, 515-268-3425
Phone and Cable, Brant Strumpfer, Huxley Communications, 515-203-6716

Added as requested.

5. Add City of Huxley Supplemental Specifications on plans as well as SUDAS in General Notes.

Added to the cover page and general notes as requested.



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6. Provide a photo metric lighting plan.

Photometric lighting plan has been added to the submittal package as requested.

7. Developer's/Owner's engineer will need to sign off on the project with a written statement that all construction plans and as-builts were completed to the engineer's design, and City supplemental and SUDAS standards before final C.O. is issued.

Acknowledged and forthcoming as part of the construction process.

8. Show the location of the permanent business dumpster and screening details for the dumpster.

Screening for temporary dumpster enclosure will be provided by the proposed building and landscape screening as discussed.

9. Provide a site address.

Site address to be provided by Huxley staff when prepared.

10. Provide information on who will be overseeing the SWPPP.

Acknowledged, Forthcoming, SWPPP information will be provided when contractor is selected as part of the bidding process.

11. Gravel parking lots are not allowed per the Zoning Ordinance. All parking areas are to be surfaced with asphalt or concrete in accordance with Zoning Ordinance 16.35.5.B. Asphalt millings are not considered as hard surfacing.

Parking surfacing has been revised according to discussion with City of Huxley staff.

12. Provide 10' wide public utility easements around the perimeter of the property.

Added as requested

13. Provide concrete or asphalt paved driveway entrance.

Asphalt drive has been added as requested.

14. Obtain and provide to the City an Iowa DOT access permit onto Highway 210.

Permit process is underway, traffic impact letter as part of permit process has been added as part of the submittal. Permit will be provided when supplied.



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15. Raise all the buried manholes and water valve boxes on the entire site to grade.

Note has been added to the general notes page as well as the utility page requesting all manholes and water valve boxes to be raised to finished grade as requested.

16. Install hydrants as necessary to provide fire protection. Install 5-inch Storz nozzle on the fire hydrants. Leave chains intact. Show hydrant coverage.

Hydrant assembly has been added as requested. Note has been added to general notes page as requested.

17. Infiltration barrier in the raised sanitary manholes shall be rubber sleeve type with stainless steel bands.

A note has been added requesting rubber sleeve type infiltration barriers with stainless steel bands at all raised sanitary manholes on the general notes page as requested.

18. Provide a traffic analysis for the site.

Traffic counts for the site have been provided and do not warrant a traffic analysis for the site at this moment in time. Traffic analysis may be provided if warranted as site continues to develop.

19. Large expanses of pavement are to be broken up with plan material with one landscaped island equal to a parking space for every 20 parking spaces provided with the option of combining islands into fewer larger islands in accordance with the Site Plan Ordinance 167.05.2.E.

Additional landscaping has been added to screen the site. Interior paving will not be broken up with landscaped materials due to operational hazards of a parking island.

20. Provide the Pond Report for the detention basin in the Stormwater Management Plan.

Pond report summarized on page 18 and added to the appendix as requested.



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P 515.964.1229

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NORTHWEST IOWA | DES MOINES METRO | EASTERN IOWA | SIOUXLAND | SOUTHWEST IOWA | CENTRAL MISSOURI | KANSAS CITY METRO

Enclosed with this digital submittal, you will find the following:

- Site Plan (5 Half Size, 3 Full Size Copies)
- Stormwater Management Plan (1 Hard Copy)
- Photometric Plan (One Hard Copy)
- Traffic Impact Letter (One Hard Copy)

If you have any questions or require anything further for review, please give me a call at 515.964.1229

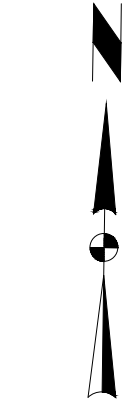
Sincerely,

McClure Engineering Company

Trent Smith, PE
Project Manager

SITE PLANS FOR HUXLEY COMMUNICATIONS

400 SOUTH MAIN AVENUE CITY OF HUXLEY, STORY COUNTY, IOWA



NOT TO SCALE

VICINITY MAP

OWNER / DEVELOPER/ APPLICANT

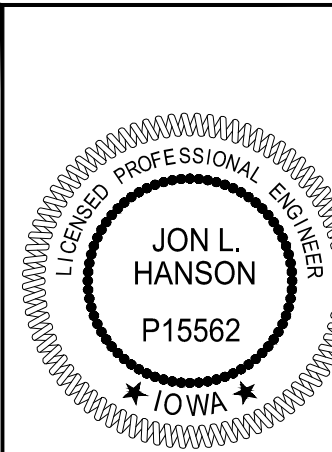
HUXLEY COMMUNICATIONS
102 NORTH MAIN AVENUE, PO BOX 36
HUXLEY, IA 50124
PH: 515 597 2281
CONTACT: LEVI BAPPE- GENERAL MANAGER
EMAIL: LEVI@HUXLEYCOMMUNICATIONS.NET

CIVIL ENGINEER

SNYDER & ASSOCIATES
2727 SW SNYDER BLVD.
ANKENY, IA 50023

CONTACT: JON HANSON, PE
PH: 515 964 2021 EXT. 2652
EMAIL: JHANSON@SNYDER-ASSOCIATES.COM

INDEX OF SHEETS	
Sheet Number	Sheet Title
C0.0	TITLE
C0.1	PROJECT INFO
C1.0	DIMENSION PLAN
C2.0	GRADING PLAN
C2.1	GRADING DETAILS
C3.0	PLANTING PLAN



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Jon L. Hanson, P.E. _____ Date _____

License Number P15562

My License Renewal Date is December 31, 2022

Pages or sheets covered by this seal:

LEGEND

FEATURES

Section Corner
1/2" Rebar, Cap # 11579
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

FEATURES

Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Stump
Deciduous Tree \\\ Shrub
Coniferous Tree \\\ Shrub
Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Duct Bank
Test Hole Location for SUE w/LD

(*) Denotes the survey quality service level for utilities

Sanitary Manhole
Storm Sewer with Size
Storm Manhole
Single Storm Sewer Intake
Double Storm Sewer Intake
Fire Hydrant
Fire Hydrant on Building
Water Main Valve
Water Service Valve
Well
Utility Pole
Guy Anchor
Utility Pole with Light
Utility Pole with Transformer
Street Light
Yard Light
Electric Box
Electric Transformer
Traffic Sign
Communication Pedestal
Communication Manhole
Communication Handhole
Fiber Optic Manhole
Fiber Optic Handhole
Gas Valve
Gas Manhole
Gas Apparatus
Fence Post or Guard Post
Underground Storage Tank
Above Ground Storage Tank
Sign
Satellite Dish
Mailbox
Sprinkler Head
Irrigation Control Valve

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.
QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.
QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.
QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.
QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552104158.

G1-GAS UE1-BURIED ELECTRIC	ALLIANT ENERGY ALLIANT ENERGY FIELD ENGINEER 800-255-4268 LOCATE IPL@ALLIANTENERGY.COM
S1-SANITARY SEWER ST-STORM SEWER	CITY OF HUXLEY JEFF PETERSON 515-597-2561 PUBLICWORKS@HUXLEYIOWA.ORG
NO RESPONSE	HUXLEY COMMUNICATIONS COOP TERRY FERGUSON 515-597-2281 TERRY@HUXLEYCOMMUNICATIONS.NET
NO RESPONSE	MEDIACOM TIM ADREON 515-233-2318 ADREON@MEDIACOMCC.COM
FO1-FIBER OPTIC	UNITED PRIVATE NETWORKS JOE KILZER 816-425-3556 UPNGIS@UPNFIBER.COM

CONTROL POINTS

IOWA REGIONAL COORDINATE SYSTEM - ZONE 8
NAD83(2011)EPOCH 2010.00 IARTN DERIVED - US SURVEY FEET

CP1 N=7597109.60 E=18530069.80 Z=1033.98
CUT "X" BACK OF CURB INTAKE, WEST SIDE OF MAIN STREET, ±20' NORTH OF DIAMOND SURFACE ENTRANCE.

CP2 N=7597531.56 E=18530066.10 ELEV=1026.85
CUT "X" BACK OF CURB INTAKE, WEST SIDE OF MAIN STREET, ±25' NORTH OF CAMPUS DRIVE.

CP3 N=7597459.37 E=18530579.99 ELEV=1027.90
CUT "X" NORTHEAST CORNER CONCRETE AT WATER VALVE, ±15' NORTH OF CAMPUS DRIVE, EAST BACK OF CURB OF DOCK ENTRANCE OF KREG TOOLS.

CP4 N=7597119.72 E=18530433.00 ELEV=1030.89
FND 1/2" REBAR WITH YELLOW PLASTIC CAP #6586, ±20' NORTHEAST OF FENCE CORNER, SOUTHEAST PROPERTY CORNER, 0.2' NORTHEAST OF 1/2" REBAR YELLOW PLASTIC CAP #6586.

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

BM500 N=7597529 E=18530111 ELEV=1029.17
BURY BOLT ON HYDRANT, ±20' EAST OF MAIN STREET, ±30' NORTH OF CAMPUS DRIVE.

UTILITY INSPECTION CONTACT INFORMATION

WATER SANITARY SEWER	KEITH VITZTHUM CITY OF HUXLEY 515-290-7512
STORMWATER SWPPP	MAT KAHLER CITY OF HUXLEY 515-822-3800
GAS ELECTRIC	JENNI KRONEMAN STAPLEFORD ALLIANT ENERGY 515-268-3425

PROPERTY ADDRESS

400 SOUTH MAIN AVENUE, HUXLEY, IA 50124

PRESENT ZONING CLASSIFICATION

M-1 INDUSTRIAL

PROPOSED ZONING OF SITE

M-1 INDUSTRIAL

LEGAL DESCRIPTION

HDC PLAT 2 LOT 11, HUXLEY

DEVELOPMENT SCHEDULE

PERMETER EROSION CONTROL: SEPT. 2021
SITE GRADING AND UTILITIES: OCT. 2021
BUILDING FOUNDATION: NOV. 2021
BUILDING CONSTRUCTION: DEC. 2021-AUG 2022
SITE PAVING: MAY 2021
FINAL SEEDING AND LANDSCAPING: SEPT. 2022

PROPOSED SITE

TOTAL AREA: 102,136 SF (2.34 AC)

PROPOSED BUILDING INFORMATION

TOTAL NUMBER AND TYPES OF BUILDINGS: 1; COMMERCIAL
NUMBER OF STORIES: 1
TOTAL FLOOR AREA: 32,730 SF
BUILDING HEIGHT: 26'-0"

EXISTING/PROPOSED LAND USE

EXISTING: UNDEVELOPED LOT
PROPOSED: TELECOMMUNICATIONS OFFICE AND SHOP

BULK REGULATIONS

SETBACKS:
FRONT YARD: 25 FEET (30 FEET IN COVENANT)
SIDE YARD: 10 FEET
REAR YARD: 10 FEET

PARKING REQUIREMENTS

1 SPACE PER 400 SF OF GROSS FLOOR AREA FOR BUSINESS.
1 SPACE PER 5,000 SF WAREHOUSE FLOOR AREA.

10,416 SF OF BUSINESS/400 SF = 26 SPACES REQUIRED.
22,314 SF OF WAREHOUSE/5,000 = 5 SPACES REQUIRED.

31 TOTAL PARKING SPACES REQUIRED.
38 TOTAL PARKING SPACES PROVIDED, INCLUDING 2 ACCESSIBLE SPACES.

POLLUTION PREVENTION NOTES

A. POLLUTION PREVENTION AND EROSION PROTECTION

1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.

2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.

2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.

3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES, ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.

2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.

3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.

4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:

a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS, PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.

b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.

c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.

d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.

e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.

f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS, REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.

g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.

h. RESPREAD A MINIMUM OF 8 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.

i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.

k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS

WATER:

- C900 DR18 FOR WATER MAINS
- WATER SERVICES 2" OR LESS WILL BE TYPE K COPPER.
- NO COUPLINGS ON WATER SERVICES UNDER 90'.
- STORZ FITTINGS ON PUMPER NOZZLE ON HYDRANTS.
- FULL DEPTH ARCH PATTERN CURB STOPS BOXES. NO COUPLINGS TO LENGTHEN CURB STOP BOXES. IF COUPLINGS ARE REQUIRED DUE TO NON-STANDARD LENGTHS EXCEEDING 8 1/2 FEET THEN THE COUPLING WILL NEED TO BE APPROVED BY THE WATER SUPERINTENDENT AND WILL NEED TO BE WELDED TO THE CURB STOP BOX AND INSPECTED BY THE WATER SUPERINTENDENT BEFORE BURED.
- VALVCO LOCATOR BOXES FOR TRACER WIRES. LOCATION OF BOXES APPROVED BY WATER SUPERINTENDENT OR DESIGNEE.
- ALL TRACER WIRES WILL NEED TO BE TRACEABLE BY THE CONTRACTOR BEFORE THE CITY ATTEMPTS TO TRACE THE LINES FOR FINAL APPROVAL.
- 3M SCOTCHCAST KIT 3832 SPLICE KITS ON TRACER WIRES ONLY.
- ALWAYS CAP OR PLUG THE END OF THE WATER MAIN BETWEEN INSTALLATION OF PIPES TO KEEP GROUND WATER AND DEBRIS OUT OF PIPE.
- CONTRACTOR WILL NOT OPERATE ANY EXISTING VALVES WITHOUT WATER SUPERINTENDENT OF DESIGNEE PRESENT.
- ALL DUCTILE IRON PIPE, FITTINGS, VALVES, AND FIRE HYDRANT ASSEMBLIES WILL BE WRAPPED WITH 8 MIL BLACK POLYETHYLENE WRAP AND TAPED SECURELY.
- STAMP CURBS WITH THE LETTER W FOR WATER SERVICES.
- FORD 1" KV23 VALVES WILL BE REQUIRED AT ALL METER SETS IN THE HOME ON THE SERVICE LINE.
- ALL VALVE BOXES AND HYDRANT BURY LINES WILL BE INSTALLED TO FINAL GRADE.
- NO YARD HYDRANTS ALLOWED.

SEWER:

- SDR 23.5 WITH GASKET BELLS FOR SANITARY LATERALS OR SCHEDULE 40 IN LIEU OF 23.5.
- TRUSS PIPE WITH GASKET BELLS FOR SANITARY MAINS.
- FACILITY FITTINGS ON NEW INSTALLATION FOR LATERALS. EXISTING MAIN TAPS WILL USE ROMAC CB SERVICE SADDLES FOR 4" AND 6" LATERALS.
- MACROS FOR CONNECTING BUTT JOINTS ON SANITARY LATERALS AND COLLECTION MAINS (MAXADAPTERS MAY POSSIBLY BE USED WITH PRIOR APPROVAL FROM PUBLIC WORKS DIRECTOR, WATER OR WASTEWATER SUPERINTENDENT.)
- VALVCO LOCATER BOXES FOR TRACER WIRES.
- MANHOLES IN PAVEMENT WILL REQUIRE INTERNAL CRETEX CHIMNEY SEALS.
- MANHOLES OUTSIDE OF PAVEMENTS WILL BE ALLOWED EXTERNAL CRETEX CHIMNEY SEALS WITH PRIOR APPROVAL FROM CITY ENGINEER.
- 3M SCOTCHCAST KIT 3832 SPLICE KITS ON TRACER WIRES ONLY
- ALL MAINS WILL BE JETTED AND CLEANED WITH ALL DIRT, GRAVEL AND DEBRIS REMOVED BY VACTOR.
- ALL MANHOLES WILL BE CLEANED.
- SANITARY MAINS AND LATERALS WILL BE VIDEOED, AND TAPES TURNED INTO THE CITY FOR REVIEW. CITY PERSONNEL WILL BE PRESENT ON JOB SITE WHILE VIDEOS ARE BEING TAPED.
- STEPS ARE REQUIRED IN ALL MANHOLES. DO NOT ALIGN STEPS OVER FLOW LINES.
- ALL MANHOLES WILL BE INSTALLED AT FINAL GRADE.
- GROUT LIFT HOLES AND JOINTS ON ALL MANHOLES WITH FACTORY APPROVED MATERIAL. PROVIDE MANUFACTURERS SPECS ON APPROVED MATERIAL TO THE CITY.
- ALWAYS CAP OR PLUG THE END OF THE SANITARY MAIN BETWEEN INSTALLATION OF PIPES TO KEEP GROUND WATER AND DEBRIS OUT OF PIPE.
- STAMP CURBS WITH THE LETTER S FOR LATERAL SERVICES.

STORM SEWER:

- RCP FOR PIPES GREATER THAN 8".
- SCHEDULE 40 OR SDR 35 FOR 8" AND LESS.
- ALL STORM SEWER MANHOLE LIFT HOLES AND JOINTS WILL BE PLASTERED SHUT WITH APPROVED MATERIAL. PROVIDE MANUFACTURERS SPECS ON APPROVED MATERIAL TO THE CITY.
- ALL STORM INTAKE JOINTS AND RISERS WILL BE PLASTERED AND FILLED IN ON THE INSIDE AND OUTSIDE ON ALL JOINTS. PROVIDE MANUFACTURERS SPECS ON APPROVED MATERIAL TO THE CITY.
- A2000 NOT ALLOWED.
- CLEAN OUTS FOR STORMS AND SECONDARY STORMS WILL BE THREADED HUB NUT PLASTIC CAPS WITH NEENAH CASTING FRAME R19-76 PLACED OVER THREADED CAP ASSEMBLY AND CASTING BURIED AT FINAL ELEVATION.
- 2" SCHEDULE 40 FOR SUMP PUMP LINES.
- ALL STORM SEWERS MAINS AND MANHOLES WILL BE JETTED AND CLEANED.
- ALL MANHOLES WILL BE INSTALLED AT FINAL GRADE.
- ALL INTAKES WILL BE CLEANED OF MUD, SAND, ROCK AND DEBRIS.
- STORM SEWER COLLECTION MAINS AND SECONDARY LINES WILL BE VIDEOED, AND TAPES TURNED INTO THE CITY FOR REVIEW. CITY PERSONNEL WILL BE PRESENT ON JOB SITE WHILE VIDEOS ARE BEING TAPED.
- PROTECT AND INSTALL SMALL MANHOLE CASTINGS ON CLEANOUTS ON MAIN AND SECONDARY STORM SEWERS 12" AND LESS. CASTING FRAME WITH LID R19-76 NEENAH BRAND.

TRACER WIRE INSTALLED ON WATER, SANITARY AND STORM.

ALL UNDERGROUND UTILITIES WILL BE INSPECTED BEFORE BACKFILLED.

STREETS:

- ALL STREETS WILL BE SWEEPED BY MECHANICAL STREET SWEEPER BEFORE ACCEPTANCE FROM THE CITY.
- ALL INTAKES WILL HAVE EROSION CONTROL BASKETS INSTALLED DURING CONSTRUCTION OF THE DEVELOPMENT AND WILL NOT BE REMOVED UNTIL ALL VEGETATION IS ESTABLISHED WITHIN THE RIGHT OF WAY AND APPROVED BY THE CITY ENGINEER AND STAFF TO REMOVE.
- STREETS WILL BE CLEANED DAILY FROM TRACK OUT FROM SITE.
- EROSION CONTROL FABRIC WILL BE INSTALLED BEHIND THE CURB THE LENGTH OF THE PROJECT THAT IS ADJACENT TO THE STREET.
- ALL THE BASKETS WILL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH BASKETS ARE ALLOWED TO BE REMOVED PER SUDAS AND THE CITY.
- ALL ADA TRUNCATED DOMES WILL BE OF RED COLOR AND FIBERGLASS MATERIAL AS APPROVED BY THE CITY.

GENERAL NOTES

- NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY OF HUXLEY SUDAS SUPPLEMENTAL SPECIFICATIONS, AND THE CITY CODE OF HUXLEY, IOWA.
- LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
- NOTIFY OWNER, ENGINEER, CITY OF HUXLEY AND HUXLEY MUNICIPAL UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESS. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
- DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
- THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
- CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, POLK COUNTY, AND THE OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
- ALL CLEANOUTS, MANHOLES, CURB STOPS, VALVES, AND VALVE TRACER BOXES TO BE INSTALLED AT FINISHED GRADE.
- CONTRACTOR TO PROVIDE FINAL AS BUILT PLANS TO CITY AS AN ELECTRONIC PDF FORMAT, INCLUDING GIS COORDINATES FOR ALL CONSTRUCTED UTILITY MANHOLES, VALVE BOXES, CURB STOPS, HYDRANTS, AND CLEANOUTS IN ACAD FORMAT.
- ENGINEER TO PROVIDE WRITTEN VERIFICATION THAT CONSTRUCTION PLANS AND AS BUILT PLANS WERE COMPLETED IN CONFORMANCE WITH THE ENGINEER DESIGN, SUDAS, AND HUXLEY SUPPLEMENTAL SPECS BEFORE A FINAL CO CAN BE ISSUED.



NOT FOR CONSTRUCTION

HUXLEY COMMUNICATIONS

HUXLEY, IA

Project 2021-XXXX

SEPTEMBER 10, 2021

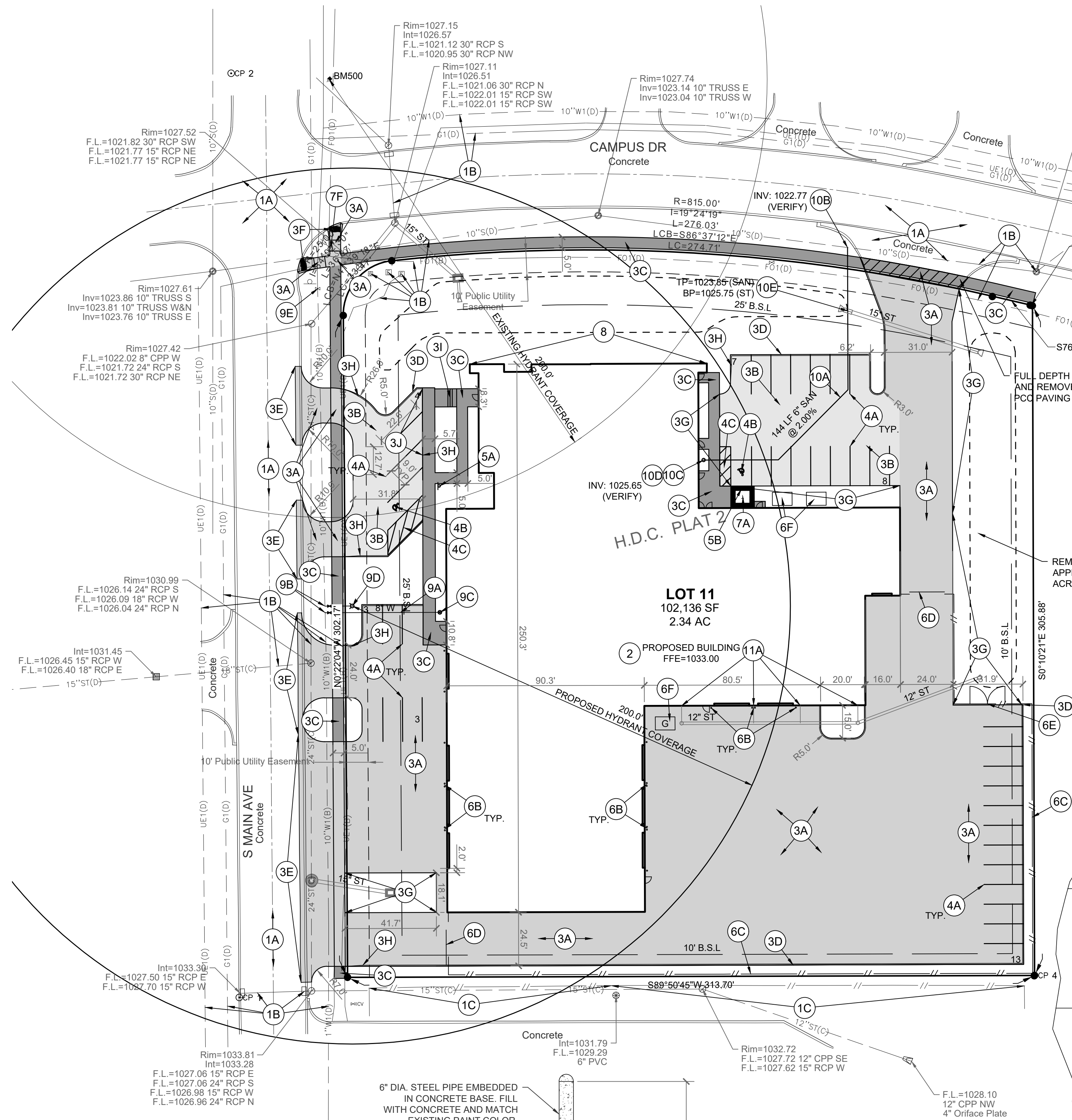
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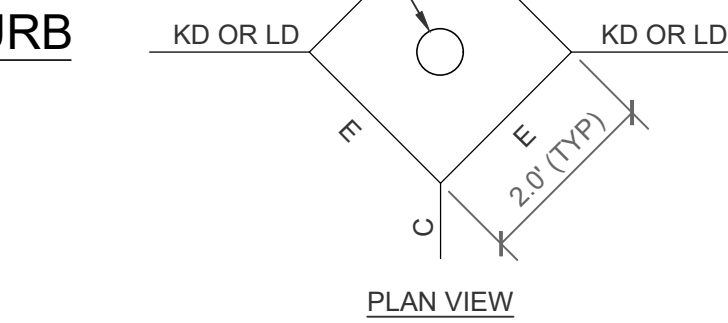
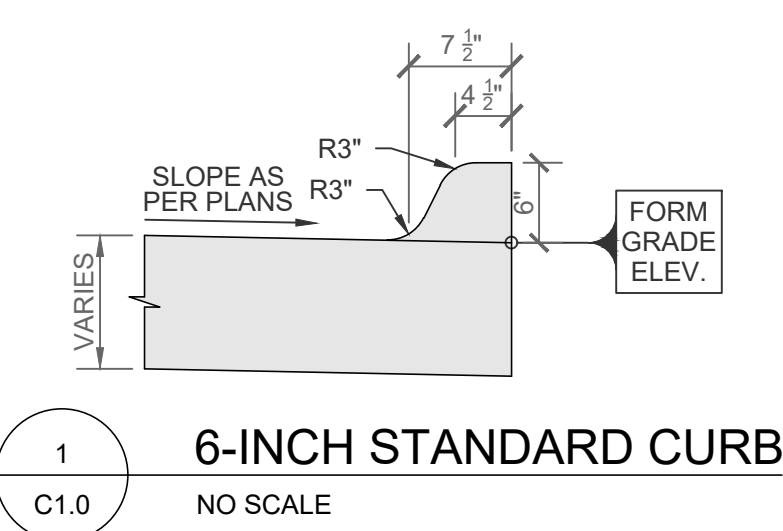
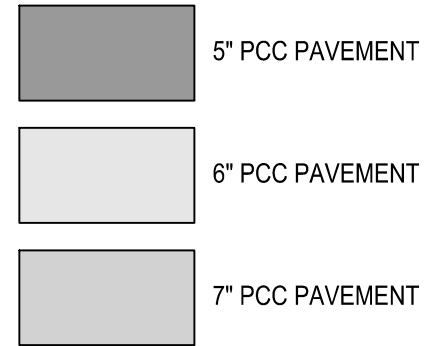
APEX STRUCTURAL, LLC
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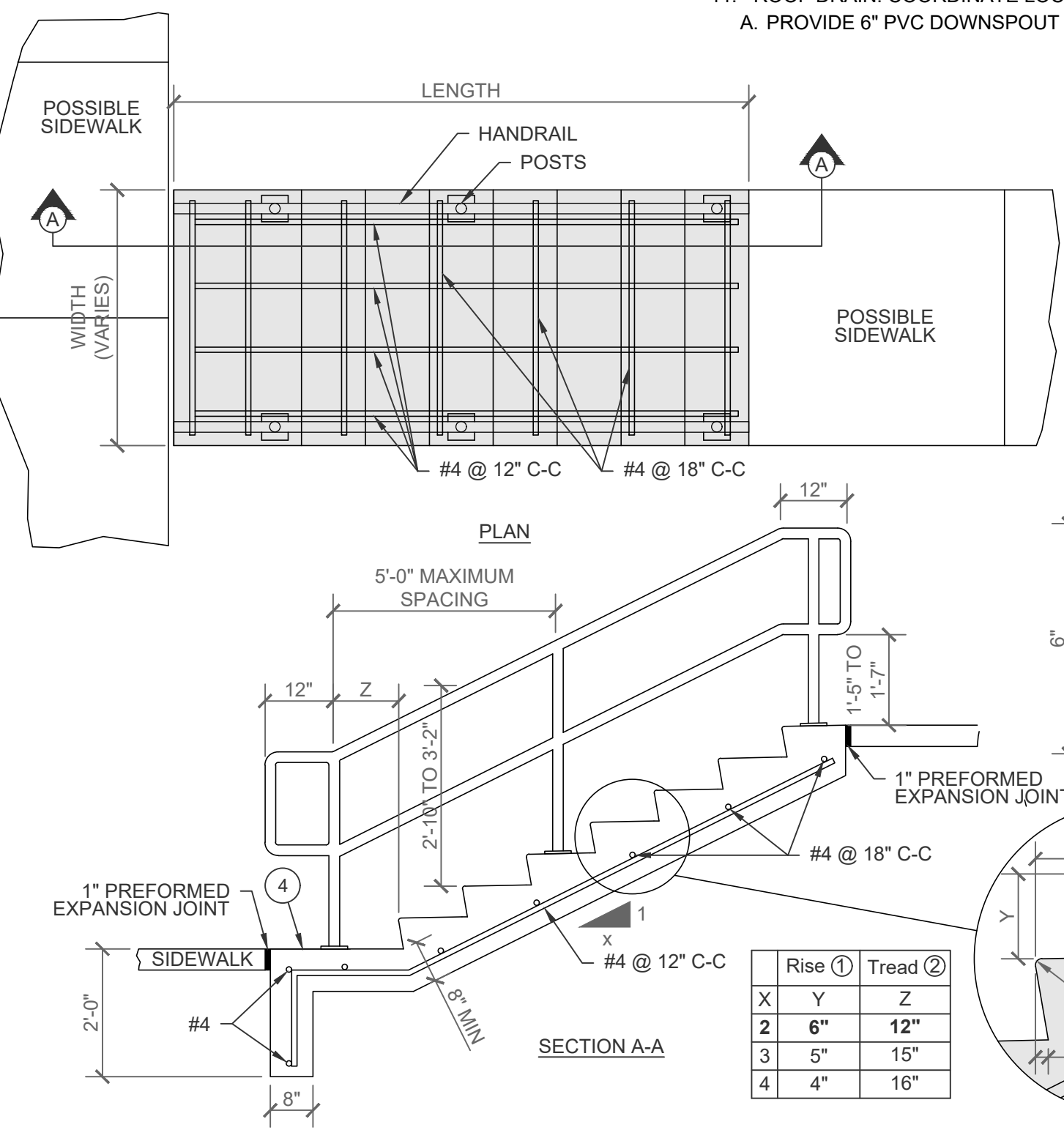
SNYDER & ASSOCIATES, INC.
2727 SW Snyder Blvd.
Ankeny, IA 50023
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PAVEMENT LEGEND



2 PIPE BOLLARD DETAIL
C1.0 NO SCALE

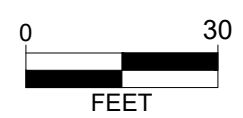
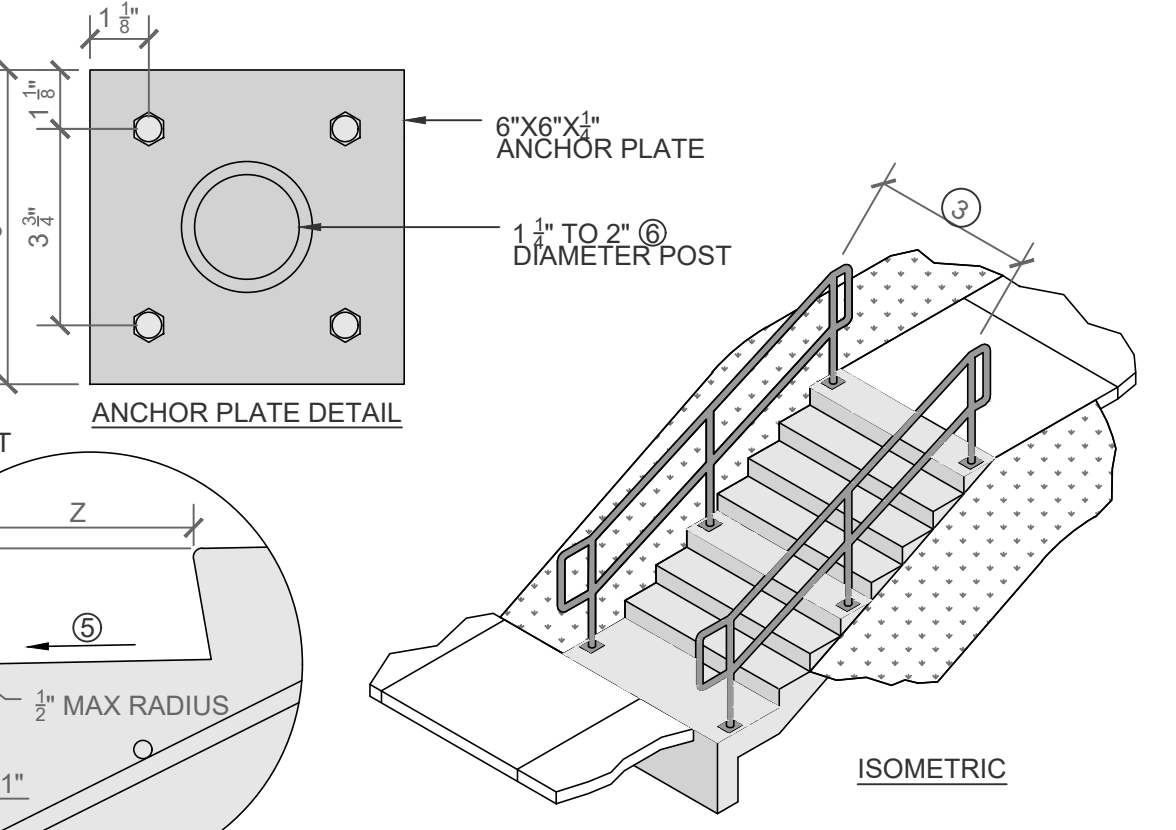


3 TYPE A CONCRETE STEPS WITH HANDRAIL (SUDAS 9080.101)
C1.0 NO SCALE

DIMENSION AND UTILITY PLAN CONSTRUCTION NOTES

- EXISTING FEATURES, PROTECT THE FOLLOWING:
 - PAVEMENTS TO REMAIN.
 - PROTECT EXISTING UTILITIES.
 - PROTECT EXISTING FENCE. ANY DAMAGE TO FENCE TO BE REPAIRED.
- REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
- PAVEMENTS, PROVIDE THE FOLLOWING:
 - 7" DEPTH PCC PAVEMENT ON 12" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - 6" DEPTH PCC PAVEMENT ON 12" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR.
 - 5" DEPTH PCC SIDEWALK WITH 6" DEPTH SUBGRADE PREPARATION COMPACTED TO 95% STANDARD PROCTOR. MINIMUM SIDEWALK WIDTH IS 5'.
 - 6" STANDARD CURB. SEE DETAIL.
 - PROVIDE TYPE 'B' DRIVEWAY CONNECTION (SUDAS 7030.102)
 - PEDESTRIAN RAMP WITH 8.33% MAXIMUM SLOPE PER ADA REQUIREMENTS. INSTALL ADA DETECTABLE WARNING PANELS WHERE SHOWN. DETECTABLE WARNING PANELS TO BE "ARMOR TILE" PAD, CAST IN PLACE, COLOR RED.
 - NO CURB.
 - TAPER CURB IN 8'.
 - CONCRETE STEPS WITH HANDRAIL. SEE SUDAS TYPE A CONCRETE STEPS (SUDAS 9080.101) FOR DETAILS.
 - INTEGRAL SIDEWALK AND CURB. SEE DETAIL.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
 - 4" WIDE PAINTED PARKING STALL LINES (WHITE).
 - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL.
 - ACCESSIBLE AISLE. 45 DEG STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
- SIGNS, PROVIDE THE FOLLOWING:
 - PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAAG AND ANSI A117.1-09 SECTION 502.7 REQUIREMENTS.
 - PROVIDE ACCESSIBLE PARKING SIGNAGE AS PER ADAAG AND ANSI A117.1-09 SECTION 502.7 REQUIREMENTS.
- SITE AMENITIES, PROVIDE THE FOLLOWING:
 - TRASH ENCLOSURE. REFER TO TRASH ENCLOSURE DETAIL ON ARCHITECTURAL PLANS.
 - BOLLARDS. SEE DETAIL.
 - 6' HIGH CHAIN LINK FENCE.
 - 6'H X 16'W (16' CLEAR OPENING) SINGLE CANTILEVER SLIDING GATE (AUTOMATED). PROVIDE GATE WITH REMOTE CONTROL ACCESS AND PUSH BUTTON WITHIN BUILDING INTERIOR.
 - 6'H X 16'W (16' CLEAR OPENING) DOUBLE SWING GATE WITH LOCK AND LATCH.
 - GENERATOR AND MECHANICAL UNITS. COORDINATE WITH OWNER, ARCHITECT, AND MEP FOR EXACT LOCATIONS AND SIZE PRIOR TO CONSTRUCTION.
- SITE UTILITIES, COORDINATE UTILITY SERVICES WITH LOCAL PROVIDERS AND ARCHITECTURAL AND MECHANICAL PLANS.
 - TRANSFORMER PAD WITH MOAT.
 - GAS METER.
 - ELECTRICAL METER.
 - ELECTRIC SERVICE (FOR ILLUSTRATION PURPOSES ONLY).
 - GAS SERVICE (FOR ILLUSTRATION PURPOSES ONLY).
 - COORDINATE WITH ALLIANT ENERGY TO RELOCATE STREET LIGHT OUTSIDE OF SIDEWALK. MAINTAIN 2' CLEAR FROM EDGE OF SIDEWALK.
- ROOF DRAINS. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR DETAILS ON LOCATION, SIZE AND ELEVATION PRIOR TO CONSTRUCTION. PROVIDE SPLASH BLOCKS AT ROOF DRAIN LOCATIONS WHERE STORM SEWER IS NOT PROVIDED.
- WATER SERVICES, PROVIDE THE FOLLOWING:
 - 8" PRIVATE PVC C900 DR18 WATER SERVICE WITH TRACER WIRE. TERMINATE TRACER WIRE IN A FLUSH MOUNTED TRACER WIRE BOX. DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB. USE 3, SCOTCHPLAST SPLICE ENCAPSULATION KIT 3832 FOR ALL TRACER WIRE CONNECTIONS. MAINTAIN 5.5' BURY DEPTH TO THE TOP OF MAIN.
 - CONNECT TO EXISTING 10" WATER MAIN WITH TAPPING VALVE AND SLEEVE. COORDINATE TAP WITH HUXLEY PUBLIC WORKS DEPARTMENT.
 - CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - HYDRANT ASSEMBLY WITH AUXILIARY VALVE AND 'STORZ' NOZZLE. POSITION HYDRANT TO BE 2' CLEAR OF SIDEWALK.
 - ADJUST WATER VALVE TO FINAL GRADE.
- SANITARY SEWER SERVICES, PROVIDE THE FOLLOWING:
 - CONNECT TO EXISTING 10" SANITARY SEWER WITH ROMAC CB SERVICE SADDLES. VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. COORDINATE TAP WITH HUXLEY PUBLIC WORKS DEPARTMENT.
 - 6" PVC SDR 23.5 SANITARY SEWER SERVICE LINE AT 1.0% MINIMUM SLOPE (1/8" PER FOOT). TERMINATE TRACER WIRE IN A FLUSH MOUNTED TRACER WIRE BOX. DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB. USE 3, SCOTCHPLAST SPLICE ENCAPSULATION KIT 3832 FOR ALL TRACER WIRE CONNECTIONS.
 - SANITARY CLEANOUT (SUDAS TYPE SW-203).
 - CONNECT TO PROPOSED BUILDING SERVICE. CONFIRM WITH MECHANICAL PLANS FOR SIZE, LOCATION AND ELEVATION.
 - CRITICAL CROSSING.
- ROOF DRAIN. COORDINATE LOCATION AND OUTLET ELEVATION WITH ARCHITECTURAL PLANS.
 - PROVIDE 6" PVC DOWNSPOUT LEADER TO ATTACH TO STORM SEWER.

- PROVIDE A MINIMUM OF 2 INCHES OF COVER FOR ALL REINFORCING.
- ENSURE ALL RISERS ARE AN EQUAL HEIGHT AND ALL TREADS ARE AN DEPTH WITHIN A FLIGHT OF STAIRS.
- MINIMUM RISER HEIGHT IS 4 INCHES. MAXIMUM RISER HEIGHT IS 7 INCHES.
 - MINIMUM TREAD DEPTH IS 11 INCHES.
 - MATCH EXISTING SIDEWALK WIDTH.
 - CONSTRUCT CROSS SLOPE OF LANDING TO MATCH ADJACENT SIDEWALK.
 - SLOPE TREAD 1% MINIMUM TO 2% MAXIMUM IN ANY DIRECTION.
 - WELD POST TO ANCHOR PLATE WITH 1/4 INCH WELD. GRIND WELD TO PROVIDE SMOOTH SURFACE, FREE OF BURRS.

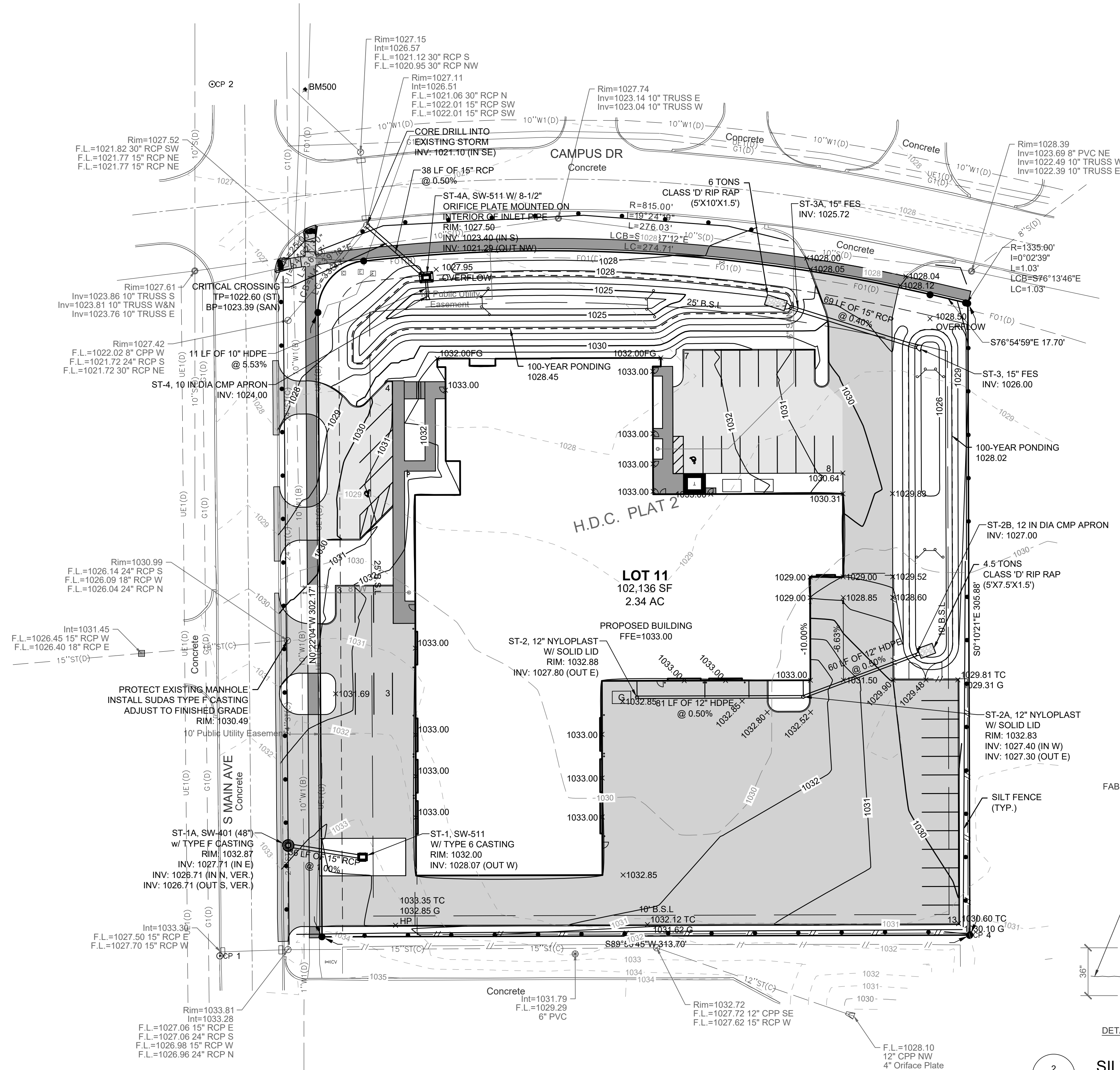


GRADING NOTES

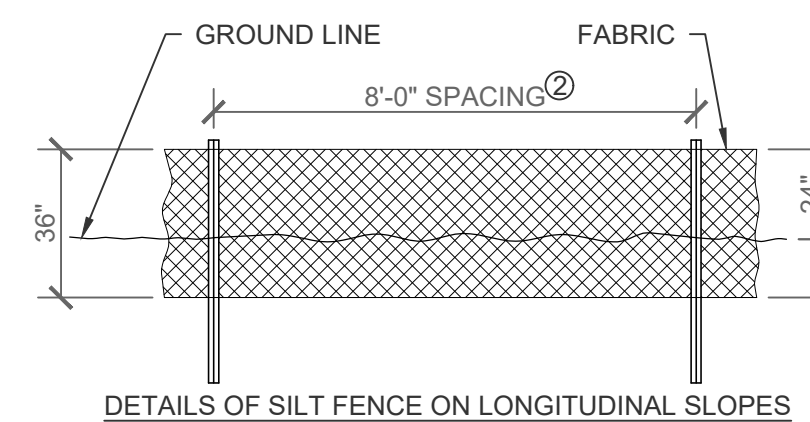
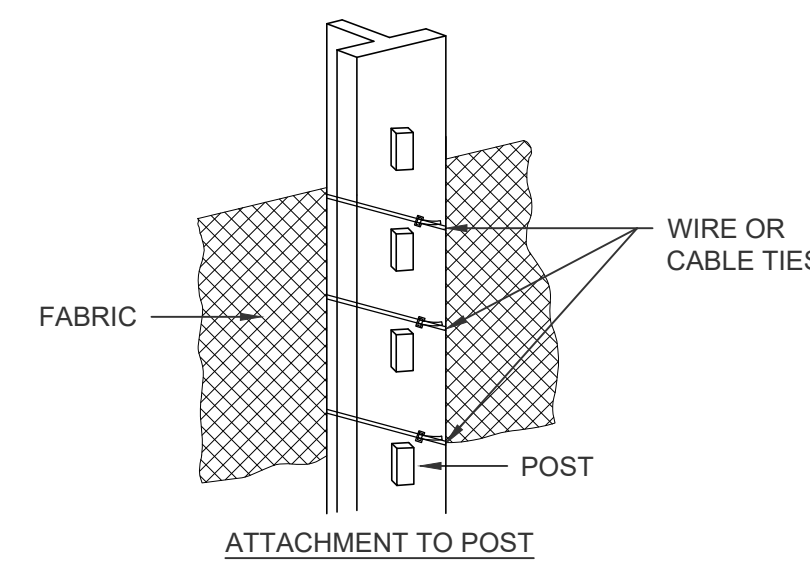
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL ON ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 8" DEPTH TO FINISH GRADES. SEPARATE CLAYS FROM TOP SOIL IN SEPARATE PILES. SEAL PILES BY WHEEL TRACKING.
- EROSION CONTROL: SEED THE SITE AFTER ROUGH GRADING HAS BEEN COMPLETED. PLACE SILT FENCE AND MAINTAIN IN PROBLEM AREAS AFTER GROUND COVER HAS BEEN ESTABLISHED. COMPLY WITH EROSION CONTROL LAW.
- THE VOLUME OF THE EXISTING DETENTION BASIN WILL NEED TO BE VERIFIED AND PROVIDED TO THE CITY BEFORE A FINAL C.O. IS ISSUED.
- SWPPP TO BE OVERSEEN BY THE GENERAL CONTRACTOR OR THEIR DESIGNATED EROSION CONTROL CONTRACTOR.
- INSTALL AND MAINTAIN SILT FENCE ALONG SOUTH MAIN AVE AND CAMPUS DRIVE CURB LINES AS PER CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS.

QUANTITIES

SEEDING AND MULCHING	= 0.50 AC
SILT FENCE	= 1200 LF
BELOW GRADE INLET PROTECTION	= 2 EA

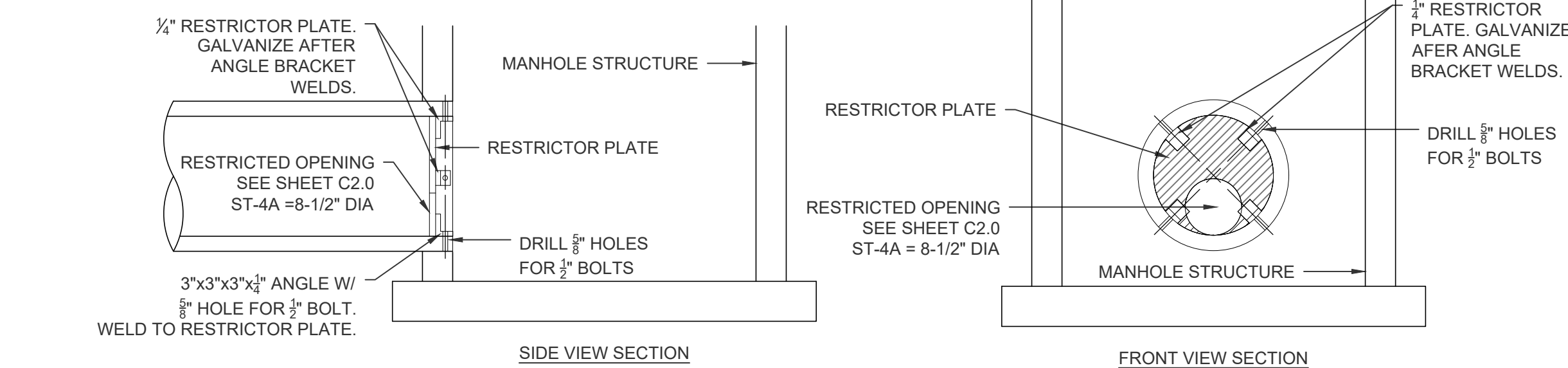
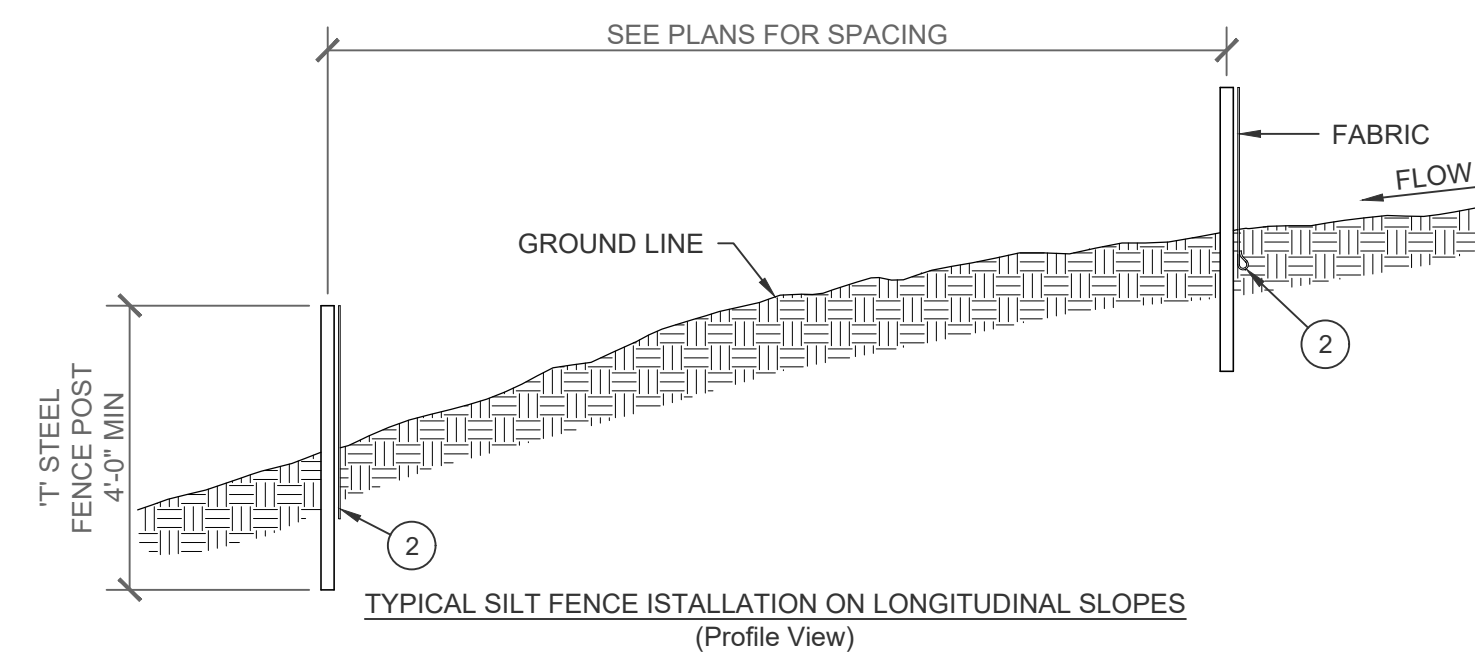
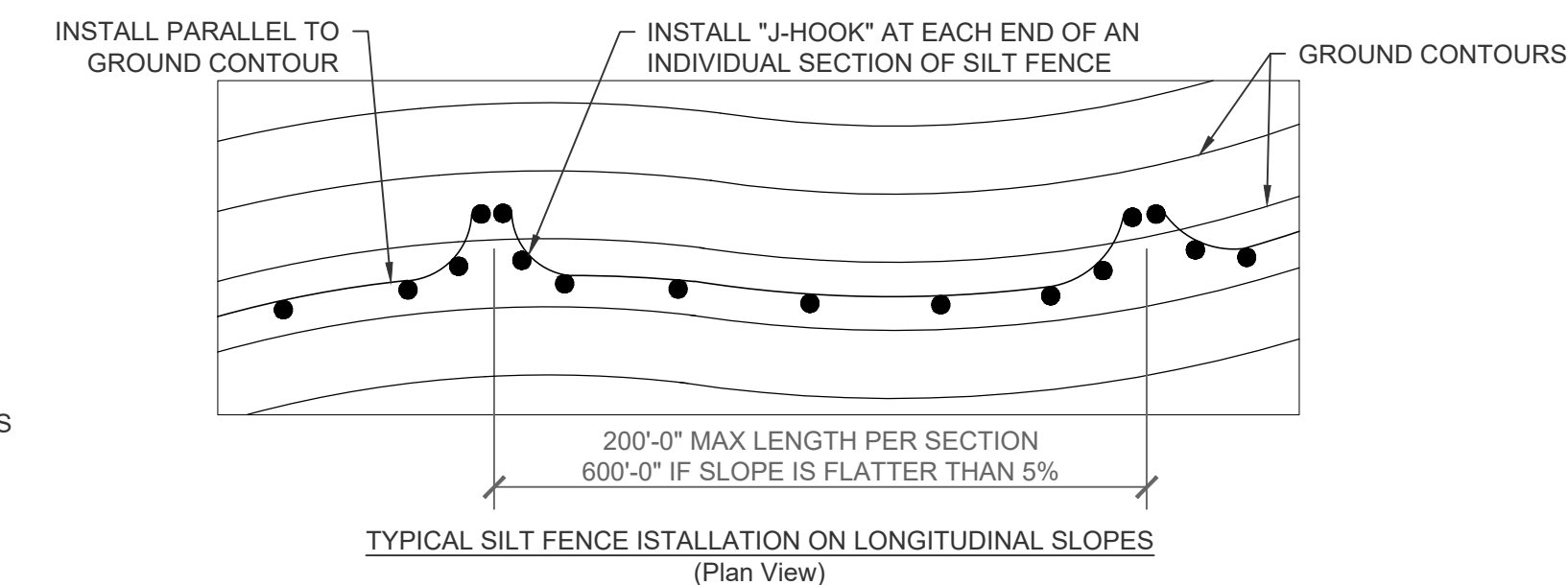
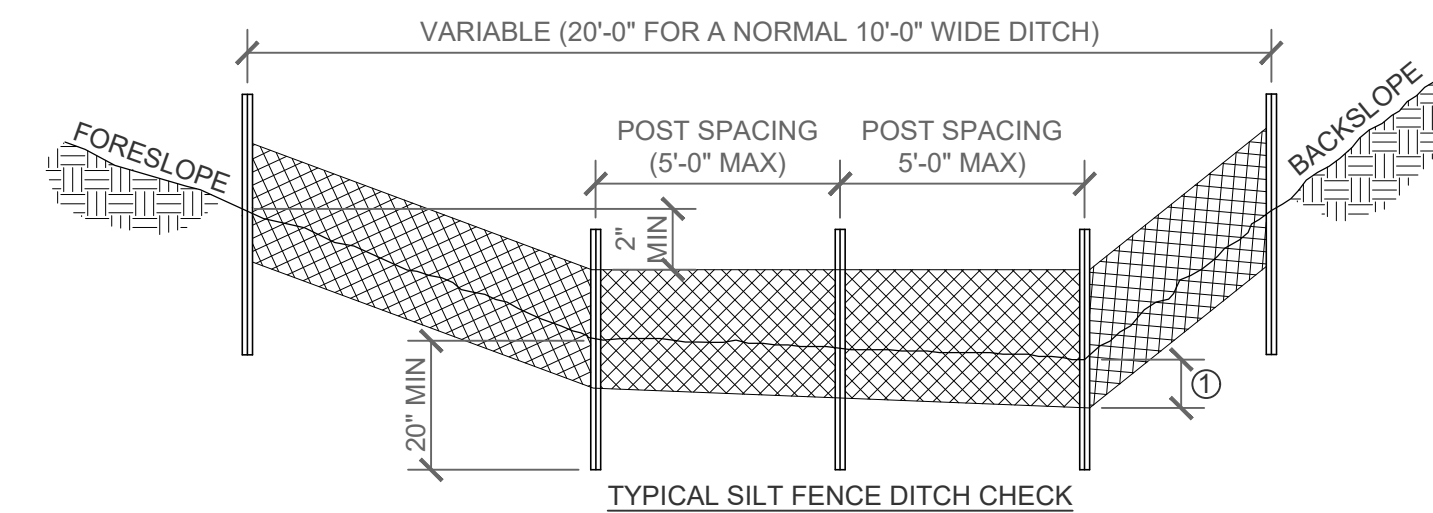


- INSERT 12 INCHES OF FABRIC A MINIMUM OF 6 INCHES DEEP (FABRIC MAY BE FOLDED BELOW THE GROUND LINE).
- REDUCE POST SPACING TO 5'-0" AT WATER CONCENTRATION AREAS, OR AS REQUIRED TO ADEQUATELY SUPPORT FENCE.



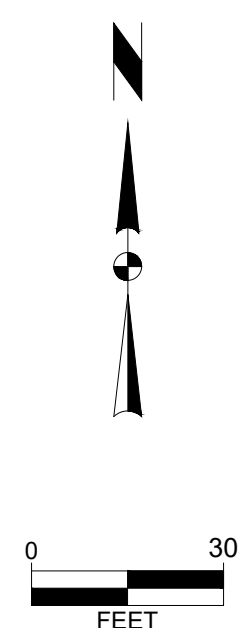
SILT FENCE DETAIL

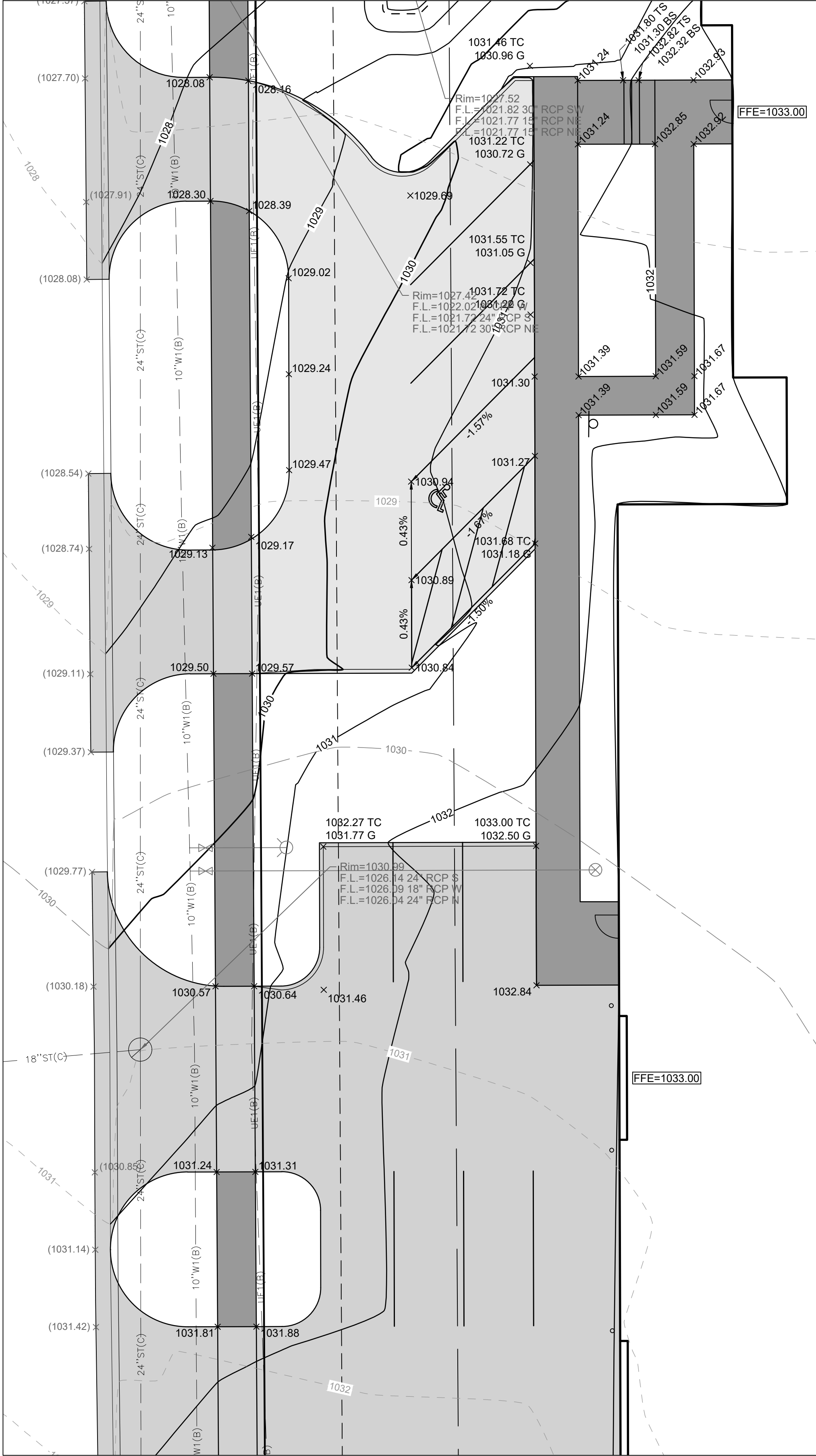
NO SCALE



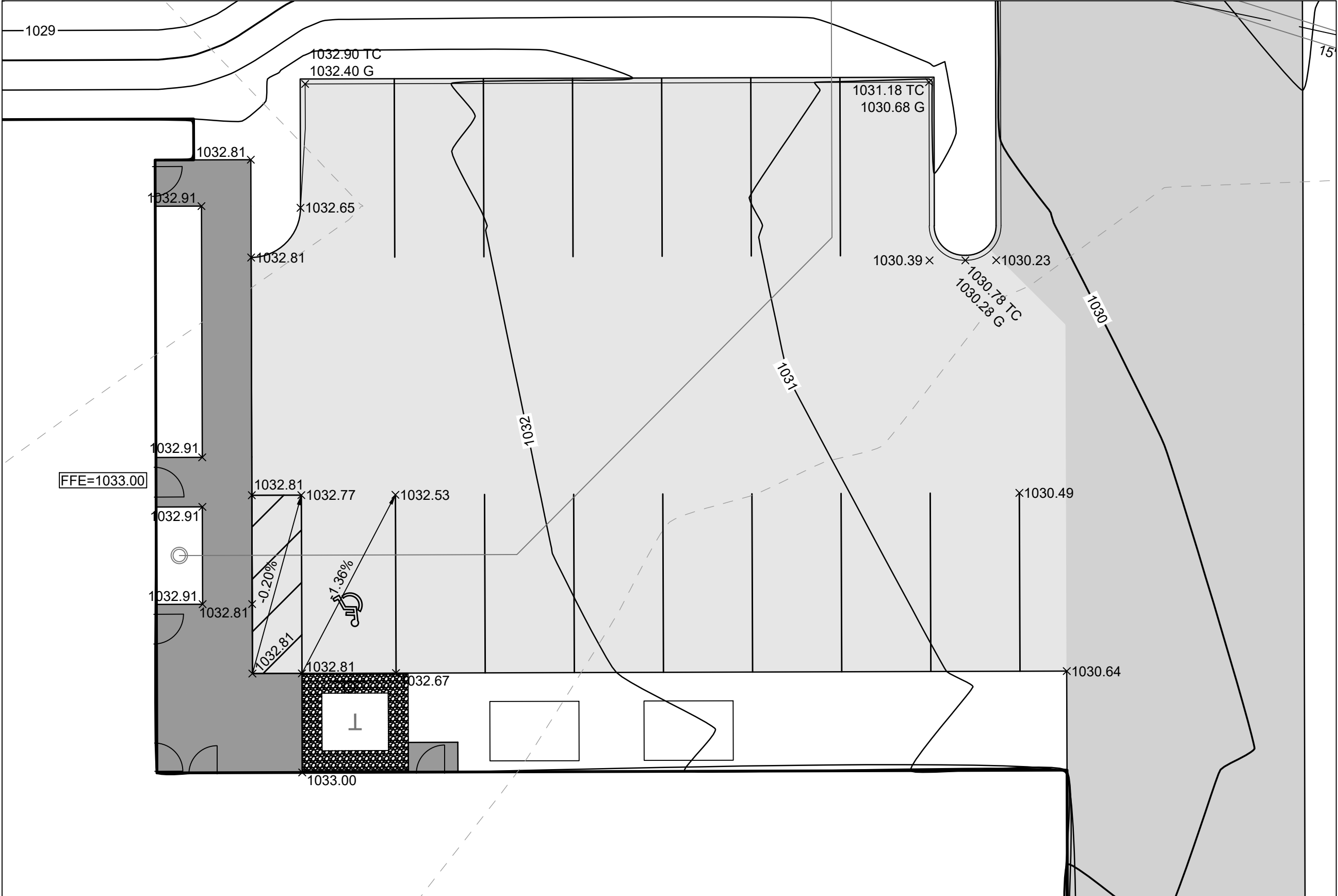
CIRCULAR RESTRICTION PLATE DETAIL

NO SCALE

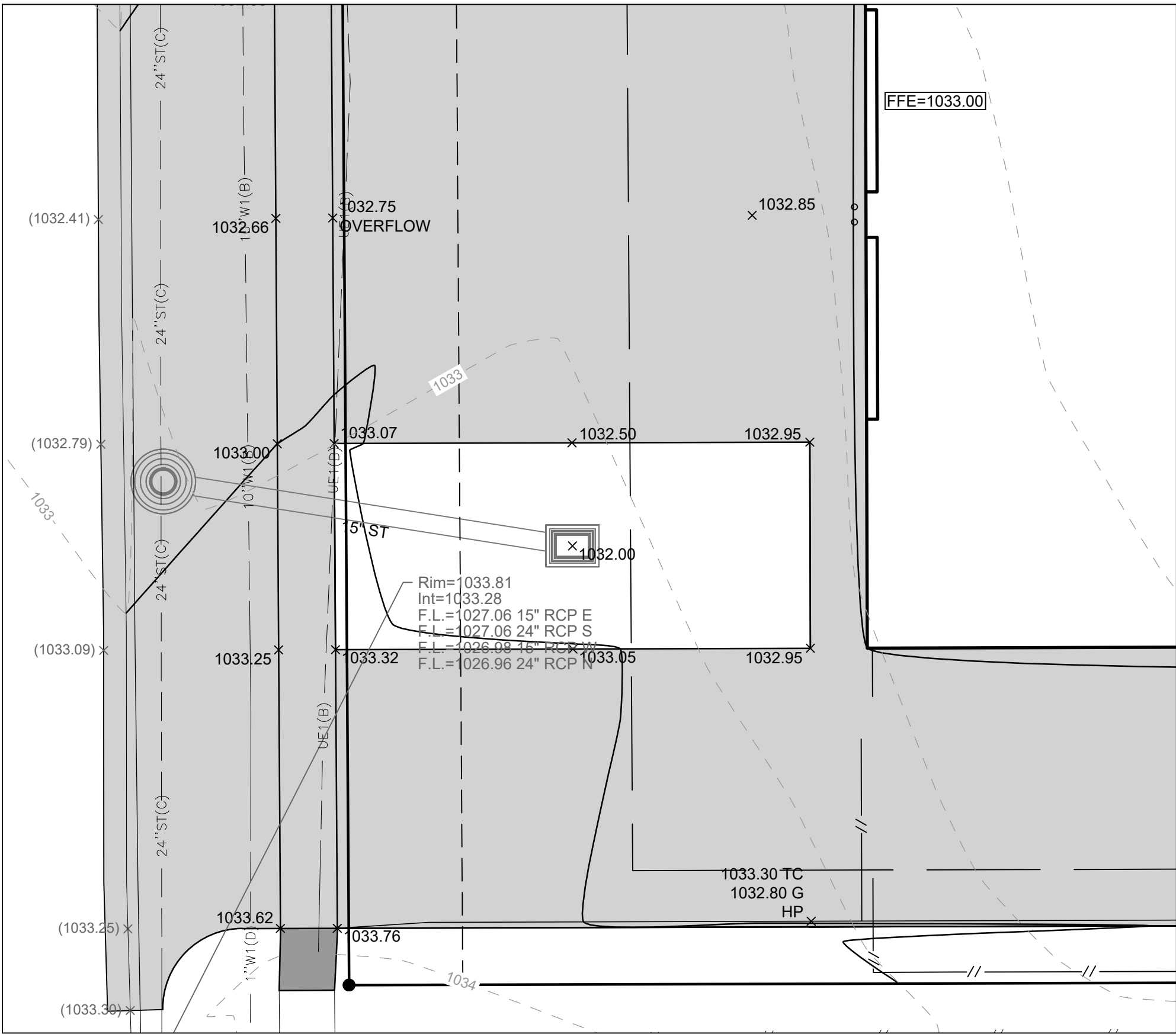




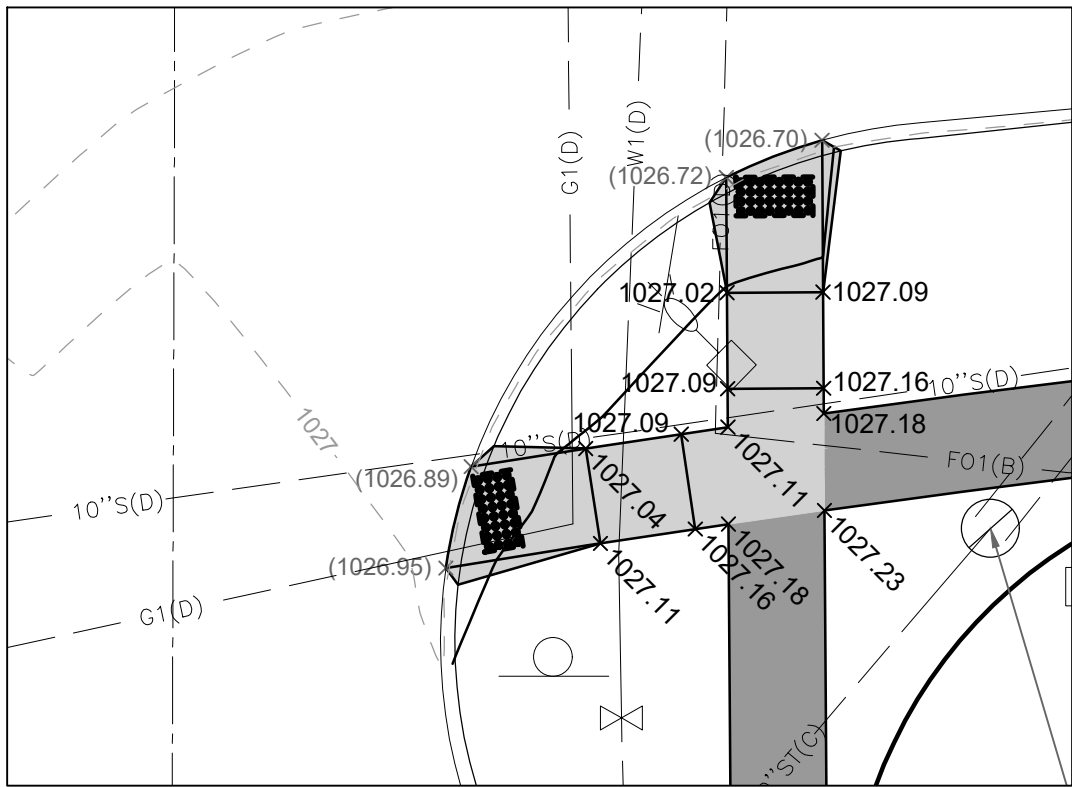
DETAIL A
1" = 10'



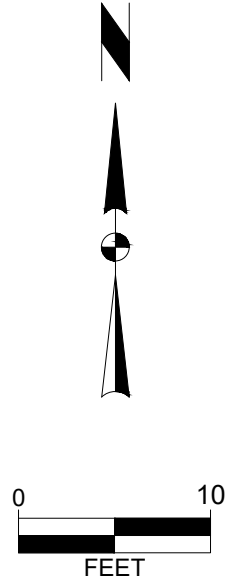
DETAIL B
1" = 10'



DETAIL C
1" = 10'



DETAIL D
1" = 10'



NOT FOR CONSTRUCTION

HUXLEY COMMUNICATION

HUXLEY, IA
Project # 2021-XXX

SEPTEMBER 10, 2021

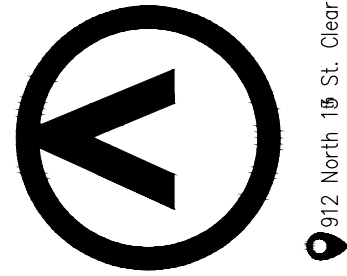
C2.1

NO.	NAME	DATE
1		
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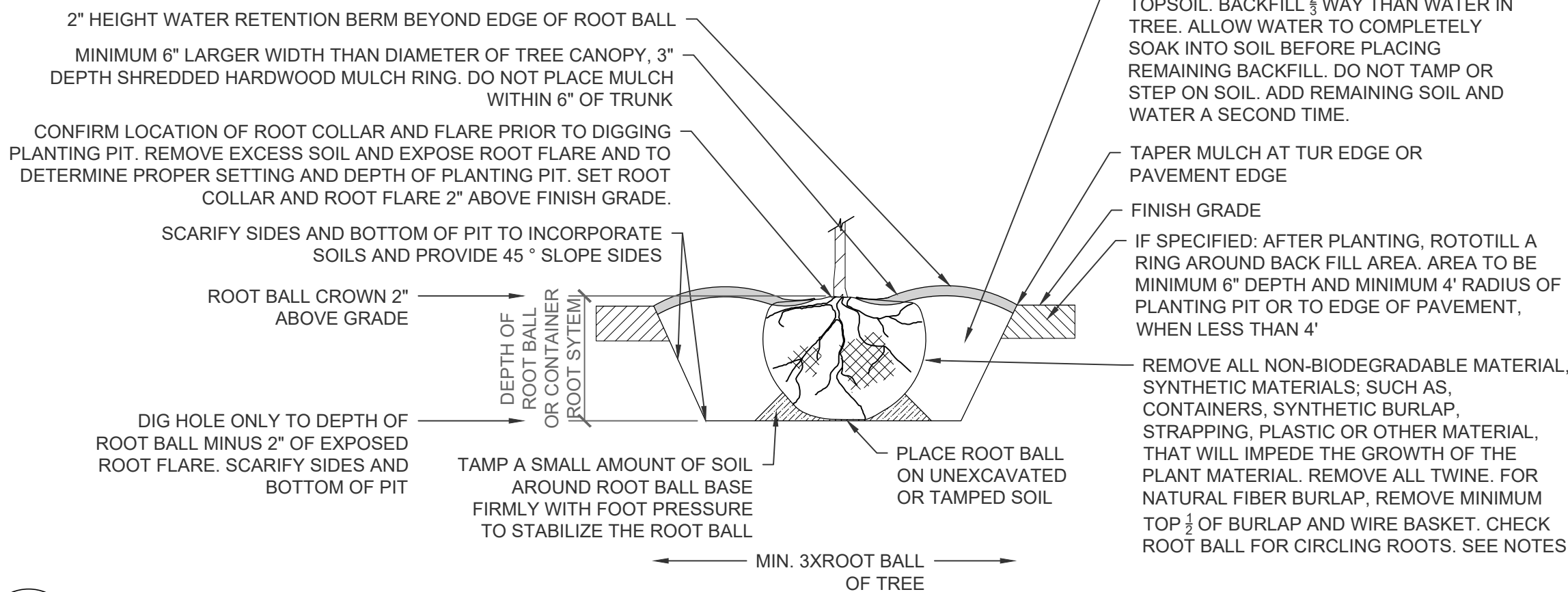
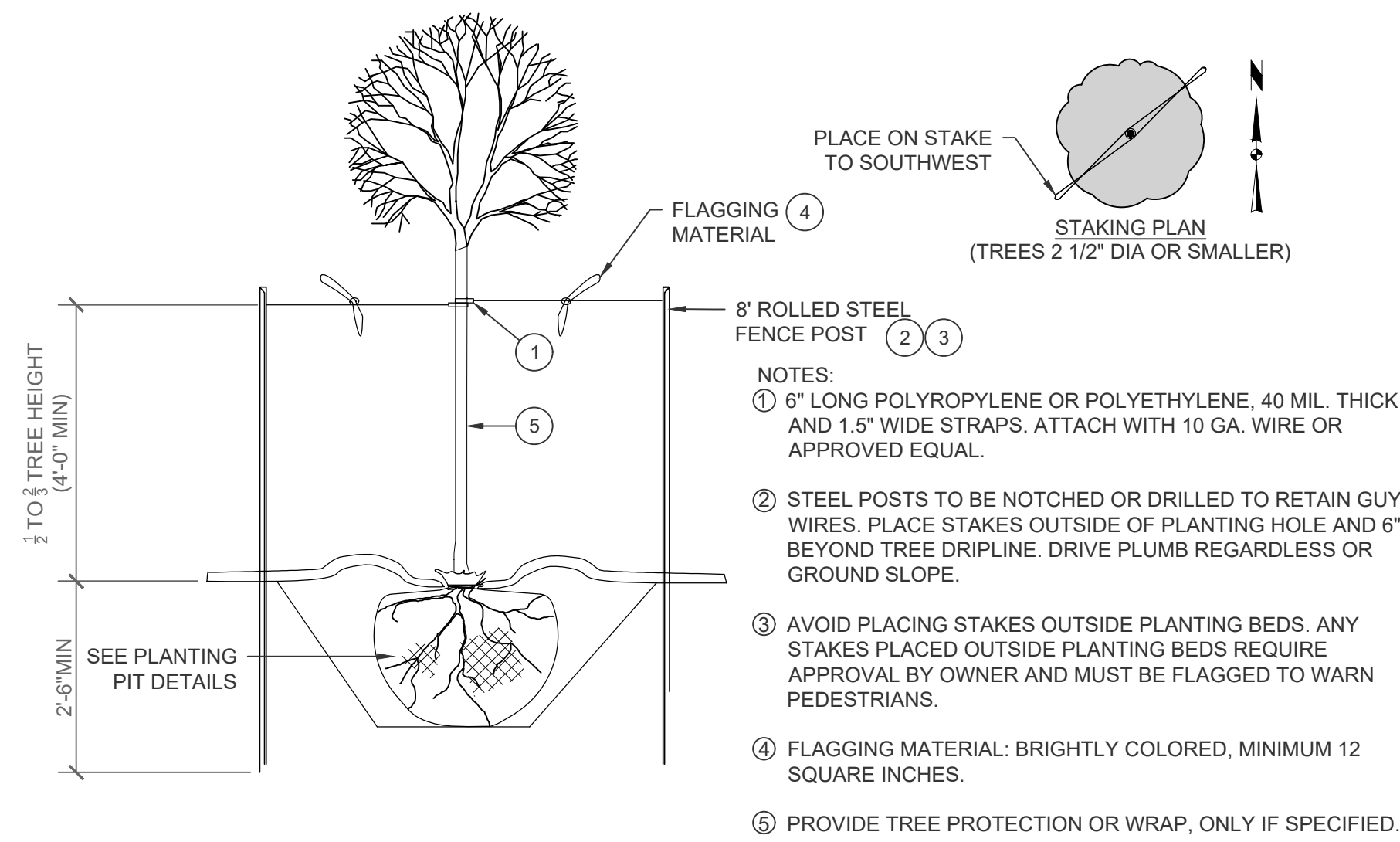
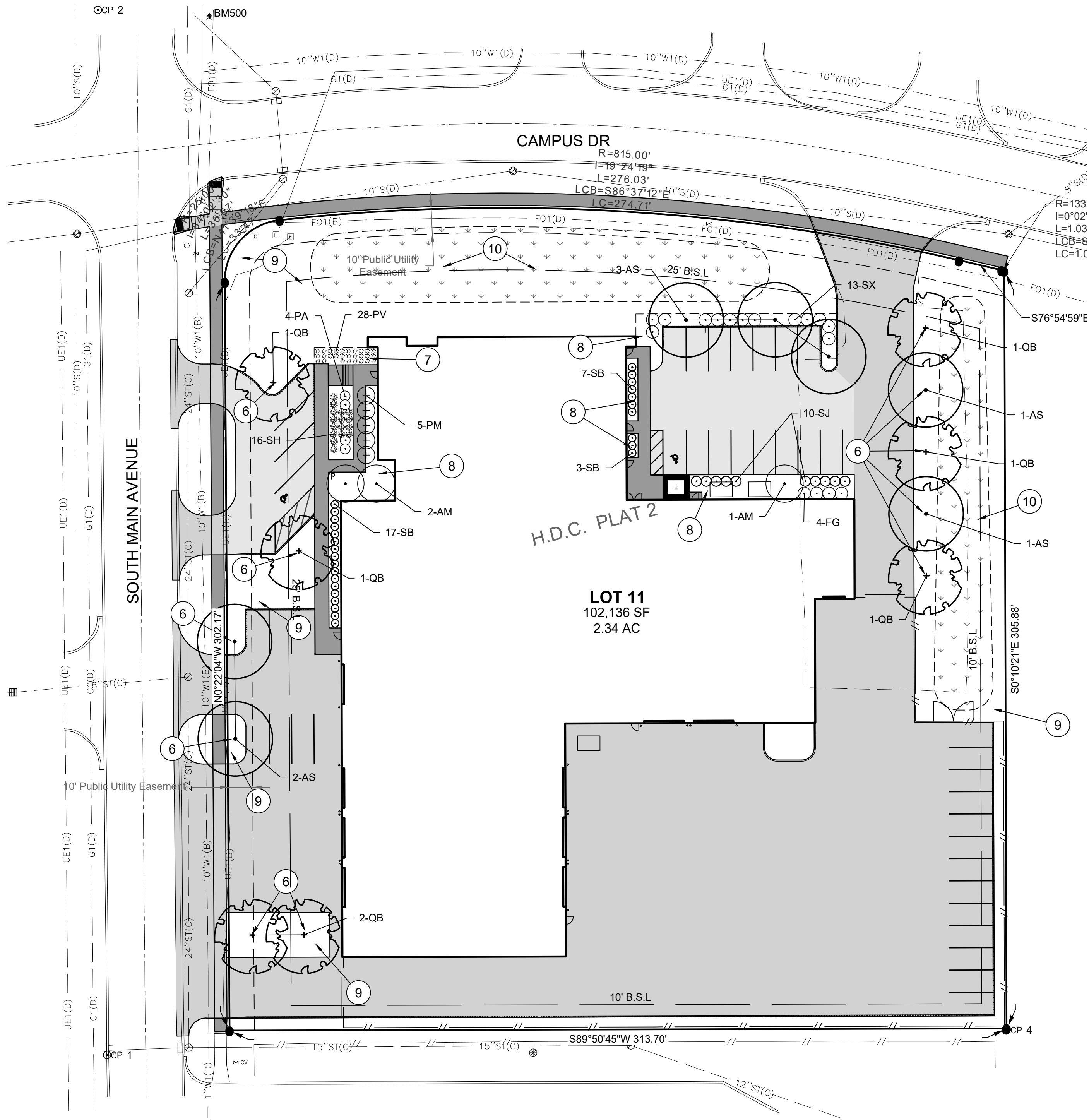
SNYDER & ASSOCIATES, INC.
2727 SW Snyder Blvd.
Ankeny, IA 50023
Ph. 515-964-2020

TWIN RIVERS
100 Illinois Street
Des Moines, IA 50314
Ph. 515-285-3679

APEX STRUCTURAL, LLC
313 Collins Road NE #102
Cedar Rapids, IA 52402
Ph. 319-294-2739



ATURA
architecture
912 North 18 St, Clear Lake, IA 50428
e41.3571933



PLANTING PLAN CONSTRUCTION NOTES

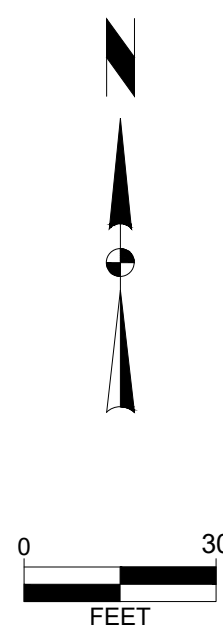
- UTILITY WARNING:
- THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN A MIN 3-FOOT PERIMETER RING AROUND ALL TREES NOT LOCATED IN PLANTING BEDS. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN DEFINED PERENNIAL BED. WHERE BED ABUTS TURF, USE METAL EDGER IN PLANT BED AREAS SHOWN ON PLAN.
- PROVIDE 2-INCH DIA. RIVER ROCK PLACED TO A DEPTH OF 4-INCHES WITH WEED BARRIER FABRIC UNDERLAYMENT. WHERE BED ABUTS TURF, USE METAL EDGER IN PLANT BED AREAS SHOWN ON PLAN.
- SEED AND HYDROWMULCH ALL AREAS DISTURBED BY CONSTRUCTION WITH TYPE 1 SUDAS PERMANENT LAWN SEED MIX, UNLESS NOTED OTHERWISE.
- PROVIDE DETENTION BASIN SEED MIX, TO AN ELEVATION OF 1028.00

PROFILE PRODUCTS LLC., 750 LAKE COOK ROAD - SUITE 400
BUFFALO GROVE, IL 60089
1-800-368-1180
WWW.PROFILEPRODUCTS.COM OR APPROVED EQUAL

PROVIDED BY PRAIRIE MOON NURSERY.
WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL.
SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.

PLANT SCHEDULE					
QTY	KEY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	COMMENTS
CANOPY TREES					
7	AS	Acer saccharum 'Fall Fiesta'	SUGAR MAPLE 'FALL FIESTA'	1 1/2" Cal.	B&B
7	QB	Quercus bicolor	SWAMP WHITE OAK	1 1/2" Cal.	B&B
ORNAMENTAL TREES					
3	AM	Amelanchier x grandiflora 'Autumn Brilliance'	AUTUMN BRILLIANCE SERVICEBERRY	1 1/2" Cal.	B&B
DECIDUOUS SHRUBS					
4	FG	Fothergilla 'Mt. Airy'	DWARF FOTHERGILLA	18" Ht.	#3 CONT. (5' O.C.)
27	SB	Spiraea betulifolia 'TorGold'	GLOW GIRL SPIREA	18" Ht.	#3 CONT. (3' O.C.)
10	SJ	Spiraea japonica	JAPANESE SPIREA	18" Ht.	#3 CONT. (4' O.C.)
13	SX	Syringa X penda	BLOOMERANG LILAC	18" Ht.	#3 CONT. (5' O.C.)
EVERGREEN SHRUBS					
5	PM	Pinus mugo var. pumilio	DWARF MUGO PINE	12" Ht.	#3 CONT. (7' O.C.)
PERENNIALS/GRASSES					
4	PA	Salvia yangii	RUSSIAN SAGE	N/A	#1 CONT. (3' O.C.)
28	PV	Panicum virgatum 'shenandoah'	SHENANDOAH SWITCH GRASS	N/A	#1 CONT. (2.5' O.C.)
16	SH	Sporobolus heterolepis	PRAIRIE DROPSEED	N/A	#1 CONT. (3' O.C.)

- NOTES:
- PROVIDE A WIDE SHALLOW SAUCER-SHAPED PLANTING HOLE TO THE DIAMETER SPECIFIED IN DETAIL. TREES PLANTED IN NARROW DEEP PLANTING HOLES WILL HAVE TO BE REMOVED AND REPLANTED.
 - CHECK FOR CIRCLING ROOTS IN ROOT BALL PRIOR TO PLANTING. IF CIRCLING ROOTS ARE FOUND, CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT FOR REVIEW. REMOVE ALL ADVENTITIOUS AND GIRDLING ROOTS. PLANTS WITH CIRCLING ROOTS THAT IMPEDE THE HEALTHY ESTABLISHMENT OF THE TREE WILL BE REJECTED.
 - ROOT COLLAR IS NOT ALWAYS LOCATED AT THE TOP OF ROOT BALL. VERIFY LOCATION OF ROOT COLLAR PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IF ROOT COLLAR IS NOT LOCATED AT THE TOP OF ROOT BALL FOR REVIEW. REMOVE SOIL ABOVE TOP STRUCTURAL ROOTS TO TRUNK FLARE. PLANTS WITH BURIED ROOT COLLARS THAT IMPEDE THE HEALTHY ESTABLISHMENT OF THE TREE WILL BE REJECTED.
 - SET TREE PLUMB. MAINTAIN THROUGHOUT WARRANTY. REMOVE ALL FLAGGING AND LABELS AFTER OWNER APPROVAL.
 - PRUNE BROKEN, DEAD OR POOR BRANCHING. TREE PRUNING TO BE CONDUCTED BY A CERTIFIED ARBORIST AND IN ACCORDANCE WITH ANSI STANDARDS. TREES SHOULD BE TRIMMED TO PROVIDE A MINIMUM 7' HT CLEARANCE ALONG STREET AND SIDEWALKS.
 - WATER TREE IMMEDIATELY AFTER PLANTING.



September 10, 2021

Amy Kaplan
Zoning Clerk
515 N. Main St.
Huxley, Iowa 50124

RE: HUXLEY COMMUNICATIONS SITE PLAN (1955 SE OAK DR.)
SITE PLAN SUBMITTAL COMMENT RESPONSE LETTER
S&A PROJECT NO. 121.0686.01

Dear Amy:

On behalf of Huxley Communications, please find accompanying the revised site plan documents for the above referenced project as per City comments dated Sept. 7, 2021. We respectfully request the City's acceptance of these documents. As requested, we have addressed all items of the review as follows:

1. The water main is to be PVC C900 DR18. **Note 9.A on Sheet C1.0 updated.**
2. The fire hydrant is to have a "Storz" nozzle. **Note 9.D on Sheet C1.0 updated**
3. Connect the fire hydrant to the public water main and not to the water service. **Hydrant and water service revised to be separate taps to the water main.**
4. Terminate the tracer wire on the water service in a flush mounted tracer wire box, Drainage & Water Solutions Figure No. TWAB. Use 3M Scotchplast Splice Encapsulation Kit 3832 for all tracer wire connections. **Note 9.A. on Sheet C1.0 updated.**
5. Provide all final as constructed plans as an electronic pdf format. Provide GIS coordinates for all as constructed utility manholes, valve boxes, curb stops, hydrants and cleanouts in AutoCad format. **Note 19 added on Sheet C.01**
6. Label contacts for inspections and utilities as follows: **Huxley City contacts added to Sheet C.01.**

Water and Sewer, Keith Vitzthum, City of Huxley, 515-290-7512
Gas and Electric, Jenni Kroneman Stapleford, Alliant Energy, 515-268-3425
Stormwater and SWPPP, Mat Kahler, City of Huxley, 515-822-3800

7. Provide a photometric lighting plan. **Photometric plan is forthcoming from lighting designer.**
8. Add a note to the plans that all cleanouts, manholes, curb stops and valve tracer boxes will be installed at final grade. **Note 18 added to Sheet C.01.**
9. Developer's/Owner's engineer will need to sign off on the project with a written statement that all the construction plans and as-builts were completed to the engineer's design, and City supplemental and SUDAS standards before a final C.O. is issued. **Note 20 added to Sheet C.01.**

10. Provide information on who will be overseeing the SWPPP. **Note 4 added to C.01. The General contractor or the designated erosion control subcontractor will oversee the SWPPP.**
11. Pipe material for the sanitary sewer service is to be PVC SDR 23.5. **Note 10.B on Sheet C1.0 updated.**
12. Insert-a-Tees are not allowed for the sanitary sewer service connections. Use connections as allowed in the Huxley Supplemental Specifications. **Note 10.A on Sheet C1.0 updated.**
13. The storm sewer from the existing storm manhole to the intake No. ST-4A needs to be RCP and not HDPE. **The storm sewer pipe material updated to be RCP**
14. The storm sewer in the southwest corner of the site should be 12-inch RCP instead of 8-inch HDPE and should be connected to the existing storm sewer with a manhole. **ST-1A storm manhole added, storm pipe changed to 15" RCP and storm intake changed to be SW-511.**
15. The Stormwater Management Plan analyzes the two detention basins as separate basins. With a free flowing 15-inch culvert between the basins, the basins are more likely to act as one combined basin. The calculations need to be evaluated with this possibility in mind. For example, the high-water level of the downstream north basin of elevation 1028.45 is shown to be higher than the high-water level of the upstream east basin of elevation 1028.02. Hydraulically this will not happen as the water in the north basin will backup water into the east basin. **Hydraulic model corrected and reran to provide 100 yr. H.W. elevation of 1028.02' in the upper east basin and 1027.22' in the lower north basin.**
16. The Stormwater Management Plan in the North Pond Report assumed an 8.5-inch orifice. The site plans are showing a 9-inch orifice to be installed. Clarify which size orifice is to be used. **Plan updated to match the 8.5" orifice in the SWMP.**
17. We understand the detention basins on the north and east sides of the site are over detaining to account for the under detained flows in the southwest corner of the site. Please verify this assumption. **Hydrograph No. 8 added to the SWMP that combines the non-detained are with the outflow from the north basin to demonstrate compliance. Total 100yr site release with non-detained flows = 3.94 cfs. Maximum allowable site release = 4.65 cfs**
18. Provide a drainage map of the site showing drainage basin sizes and downspout locations as part of the Stormwater Management Plan. **Updated map provided.**
19. Please verify all of the parking and storage areas will be paved. There is a "GRAVEL" label in the middle of the north driveway on Sheets C1.0 and C2.0 that contradicts Note 3A. **The gravel label was removed. A call was added to remove the existing 0.25 Ac. of existing gravel and move offsite. All driveways need to be radii Type B with minimum 7-inch-thick PCC pavement. The 5 new driveway approaches along Main St. were revised to be constructed as SUDAS Type "B" drive approaches.**
20. Provide a scale for the site plan drawings. **Scale bar added to all plan sheets**

21. The maximum driveway width in the SW corner is not labeled but appears to exceed the maximum allowable width of 36 feet. **The main driveway throat width reduced to 38' width in response to email received from City staff on 9/8/2021.**
22. Sidewalks through driveways need to be a minimum of 7-inches thick. **Where sidewalks pass through drive approaches, the thickness is identified as 7" PCC.**
23. Label all sidewalks to be 5-feet wide both on the plans and in the notes. **Note 3C on Sheet C1.0 updated. All sidewalks drawn at a minimum width of 5'.**
24. Install sidewalk ramps including common square with minimum 7-inch-thick concrete. **The concrete thickness for the sidewalk ramp at the corner of Main and Campus increased to 7" PCC**
25. A streetlight pole and utility handhold box may need to be relocated at the intersection of Main and Campus to accommodate the pedestrian ramps. Please verify. **Note 7.F. on Sheet C1.0 added to address relocating the streetlight outside of the sidewalk.**
26. Verify the existing driveway slope off of Campus Drive meets the required cross slope for a sidewalk. **Sidewalk section of drive approach to be full depth sawcut and reconstructed to be cross-slope compliant by ADA standards.**
27. The existing storm sewer manhole casting in the west driveway will need to be replaced with a floating 3-piece casting. **Call out note added on Sheet C2.0 to replace this casting with Type F casting.**

If additional questions or comments come forth on this project, please contact me at your convenience. Thank you.

Sincerely,

SNYDER & ASSOCIATES, INC.



Jon L. Hanson, PE

cc: Jarrod Jasperson, ATURA Architecture
Levi Bappe, Huxley Communications
Michael Huff, Dean Snyder Construction