



## **PLANNING & ZONING COMMISSION MEETING**

### **ZOOM VIRTUAL MEETING-INFORMATION BELOW**

**MONDAY JUNE 21, 2021**

**6:00 P.M.**

### **AGENDA**

1. Roll Call
2. Motion to approve the minutes from May 17, 2021 Planning & Zoning Commission Meeting
3. Public Comments (5-minutes limit for items not on this agenda)
4. Public Hearing
  - a. Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial
5. Business Items
  - a. Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial
  - b. Blue Sky Estates Preliminary Plat
  - c. Scooter's Coffee Site Plan
  - d. Ballard Plaza Plat 2 Private Utility Improvements
  - e. Ballard Plaza Plat 2 Final Plat
6. Informational Items/City Administrator Comments
  - a. City Council Action on May 17, 2021 Planning & Zoning Agenda Items
  - b. Comprehensive Plan Information
7. Planning and Zoning Commission Comments
8. Adjournment

Call in: 312 626 6799 Meeting ID: 991 9867 2143

<https://zoom.us/j/99198672143>

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

# **Huxley Planning & Zoning Commission Minutes**

## **Monday, May 17, 2021**

Chairman Roger Bierbaum called the Zoom meeting to order at 6:00 P.M.

**ROLL CALL:** Mosher, Ebel, Bierbaum, Patterson, Schonhorst, Murphy, Frantz present. John Murphy is a new member to the Planning & Zoning Commission, replacing Joseph Scott.

**CITY STAFF PRESENT:** Amy Kaplan – Zoning Clerk

**CONSULTANTS PRESENT:** Forrest Aldrich—City Engineer

**GUESTS PRESENT:** Keven Crawford, Jeff Van Pelt, Adam Schoeppner, Chris Gardner, Steve Quick

**MINUTES APPROVAL:** Motion –Mosher, second –Patterson to approve minutes from the April 19th, 2021 meeting. 7 Aye. 0 Nay.

**PUBLIC COMMENTS:** None

### **PUBLIC HEARING:**

**Meadow Lane Investments, LLC Rezoning A-1 to R-1A:** Motion-Patterson, second-Frantz to enter into public hearing. 7 Aye 0 Nay.

Steve Quick is interested in developing the area indicated in the meeting packet and therefore requested for the designated area to be rezoned. No comments from the public were received.

Motion- Mosher, second-Schonhorst to exit the public hearing. 7 Aye. 0 Nay.

### **BUSINESS ITEMS:**

**Meadow Lane Investments, LLC Rezoning A-1 to R-1A:** No further discussion by the Commission was had. Motion- Frantz, second-Patterson to provide a favorable recommendation to council to rezone the indicated area. Mosher, Ebel, Bierbaum, Patterson, Schonhorst, Murphy, Frantz voted yes. MCU.

**Interstate Battery Expansion Site Plan:** Keven Crawford discussed with the Commission the 4,000 square foot addition and parking lot. This addition allows vehicles to be parked inside. He indicated that Interstate Batteries concurred with staff comments and that a 5-foot-wide sidewalk would be installed. Motion- Schonhorst, second-Mosher, to recommend approval to City Council. Mosher, Ebel, Bierbaum, Patterson, Schonhorst, Murphy, Frantz voted yes. MCU.

**The Landing Site Plan:** Chris Gardner discussed with the Commission, his plans for a 12,000 sq foot building housing a restaurant and five retail bays. Mosher asked about water outflow from the pond. Water detention/flooding of US Highway 69 and Centennial Drive were discussed. It was also noted that no comments have been received from the neighbors. Motion- Mosher, second- Frantz, to recommend approval to City Council. Mosher, Ebel, Bierbaum, Patterson, Schonhorst, Murphy, Frantz voted yes. MCU.

### **INFORMATIONAL ITEMS:**

**Council Action Update:** Kaplan gave a re-cap of the action taken at the last City Council Meeting on topics that were discussed at Planning & Zoning.

**PLANNING AND ZONING COMMISSION COMMENTS:**

- Next P&Z meeting is June 21<sup>st</sup> at 6 PM. It is desired that this meeting be a “hybrid style” offering both an in-person and zoom option.

**ADJOURNMENT:** Motion – Patterson, second-Schonhorst to adjourn meeting at 6:27 P.M. 7 ayes, 0 nays. MCU.

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Amy Kaplan, Zoning Clerk

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Roger Bierbaum, Chairman

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Date of Approval

# PLANNING & ZONING COMMUNICATION

## AGENDA HEADING:

Rezoning of Certain Property owned by Janestar of Iowa, LLC from A-1 Agricultural to C-2 General Commercial

## SUBMITTED BY

Rita Conner, City Administrator

## SYNOPSIS:

Janestar of Iowa, LLC (dba Hale Trailer Brake and Wheel Scott McBride, Director of Facilities, 1290 Mid Valley Drive Jessup, PA 18434,) has submitted a rezoning request for 78.45 acres (two lots =31.22 and 31.56 acres, respectively) of land located north of Highway 210 and east of I-35. A link to the subject properties is below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Janestar of Iowa, LLC has also acquired a 7.86 acre parcel directly to the north of the subject properties, which Story County shows as unincorporated. This parcel is not included in the rezoning. The remainder of the property is within the City of Huxley

The 2013 Comprehensive Plan shows the land east of I-35 as a combination of highway commercial, light and general/heavy industrial. The commercial and light industrial sections are shown along Highway 210. The C-2 zoning proposal allows for the business proposed on the site, a phased development of a trailer repair and storage facility. It will also provide the City the ability to work with the applicant on additional commercial development opportunities, as Janestar of Iowa LLC is planning for only 30 acres of the 78.45 to be utilized for the trailer business.

Additional information is below and in the attachments.

## ADDITIONAL INFORMATION: YES

- Janestar of Iowa LLC operates as Hale Trailer Brake and Wheel <https://haletrailer.com/>. The proposed site would be the 14<sup>th</sup> location for the company in the U.S.
- The company is proposing a phased approach to the development of the project, with initial operations including a temporary building and gravel surface lot. Examples of operations in other states have been provided for review of both the temporary building and conceptual future building.
- Staff discussion with the company on the rezoning has included the following topics:
  - Length of term for temporary building
  - Requirement for hard surface paving
  - Access from Highway 210 as an existing major street in the network and potential circulation plan for additional development
  - Future development of the additional acres, potential for additional taxable valuation and businesses for the community.

## CITY ADMINISTRATOR COMMENTS: YES



## **PLANNING & ZONING COMMUNICATION**

- The property proposed for rezoning is prime business real estate and a front door for the City. The image of the company's operations in Jacksonville is helpful to demonstrate the intent for future site development. Elements that staff has discussed with the company, as well as fencing/screening, landscaping, outside storage and other site plan requirements will be important at the site plan review stage.

**BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: NO**

**ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES**

- City Council Public Hearing on the proposed rezoning July 13, 2021
- Site plan submittal for City review for the business development
- Work with Janestar of Iowa LLC on a master conceptual plan for the remaining acres

**NOTICE OF PUBLIC HEARING OF THE CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY JANESTAR OF IOWA LLC FROM (A-1) AGRICULTURE TO (C-2) GENERAL COMMERCIAL CLASSIFICATION IN THE CITY OF HUXLEY, IOWA**

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**TO:** ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

**YOU ARE HEREBY NOTIFIED** that the City Council is considering the rezoning of certain property in the City of Huxley, Iowa:

**A-1 ZONING** –PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

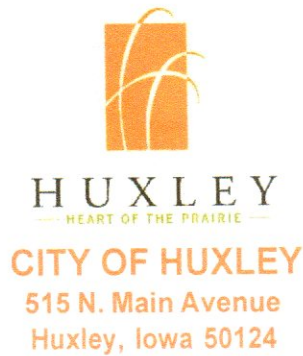
-to-

**C-2 ZONING**- PARCEL “K” A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND THE SOUTH HALF (S ½) OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., HUXLEY, STORY COUNTY, IOWA, EXCEPT THAT PART OF PARCEL 'J' A PART OF THE E1/2 OF THE SE ¼ OF SECTION THIRTY (30), TOWNSHIP EIGHTY-TWO (82), RANGE TWENTY-THREE (23) WEST OF THE 5TH P.M., STORY COUNTY, IOWA AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017, AS INST. NO 17-12306, SLIDE 591, PAGE 4, THAT LIES WITHIN, AND EXCEPT HIGHWAY, CITY OF HUXLEY.

**LAYMAN'S DESCRIPTION:**

North of US Highway 210 and east of Interstate 35.

**YOU ARE FURTHER AND SPECIFICALLY NOTIFIED** that a formal hearing before the City Council to consider rezoning in light of the requested rezoning has been set to commence on the 13th day of July 2021 at 6 p.m. in the Huxley City Council Chambers (515 N Main Ave), at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard.



## Petition for Rezoning

Property Owner: Janestar of Iowa, LLC

Property Address: Unassigned (NE Quadrant of I-35 and Highway 210)0

Property Zoning: A-1

Requested Zoning: C-2

Legal Description: See Rezoning Exhibit

Please provide a detailed explanation of why this change is being requested:

The property is proposed to be rezoned from A-1 to C-2 zoning to allow for the phased development of A trailer sales, rental, repair and storage facility. The Comprehensive land use for this area is General/Heavy Industrial use which this zoning would be consistent with. A first phase concept plan has been included with this submittal to better show the current development plan.

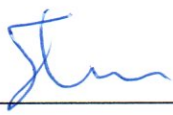
Additional Notices; Signs. Any person who requests a land use plan amendment or rezoning of property shall cause to be erected at all the street frontages of the property a notification sign, stating a notification message as prescribed by City staff, and intended to inform the public of the proposed change and the time and place of the hearing on said change. Notification signage will be black letters on a white sign board and will be installed in accordance with the following minimum stand:

Speed Limit:	Lettering:	Number of Signs on Each Street Frontage:	Minimum:
20-35 MPH	3 Inches	One per 300'	2' x 2'
36 MPH & Greater	6 Inches	One per 1,000'	4' x 8'

Such signs shall be erected no less than seven days before the hearing before the Plan and Zoning Commission and shall remain in place until the final hearing before the City Council. It shall be the responsibility of the property owner to ensure that the signs are erected and maintained to be visible from the street rights-of-way in accordance with the provisions of this section. The failure on the part of the property owner to erect and maintain the signs may be considered by the Commission and Council, along with all other facts and circumstances, in determining whether the request for rezoning shall be granted. The property owner shall remove the signage within seven days of the date of the final action on the rezoning or land use plan amendment by the City Council. Any person who removes a sign erected by the property owner, without the property owner's consent, shall be guilty of a misdemeanor. *(Subsection 165.44(8) by Ord. 393 - Dec. 08 Supp.)*

I understand that there are no guarantees of passage of this request by the Planning & Zoning Commission or by the City Council. If the request is not granted the fee for variance is nonrefundable. All neighboring property owners within 200 feet will be notified of this variance request, plus a notice will be published in a local newspaper.

See attached sections from the City of Huxley Code of Ordinances.

Signed:  Date: 6/8/21

**Please attach:**

- List of all property owners and addresses as required by code section 165.44(2).
- Petition for amendment to zoning map fee: \$200

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**Office Use Only:**

Date Submitted: \_\_\_\_\_

Board Review Date: \_\_\_\_\_

Council Review Date: \_\_\_\_\_

Date Hearing Advertised: \_\_\_\_\_

Decision of the Commission & Council:

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## **CHAPTER 165 ZONING REGULATIONS**

### **CODE OF ORDINANCES, HUXLEY, IOWA**

**165.44 AMENDMENTS.** The regulations imposed and districts created by this chapter may, from time to time, be amended, supplemented, changed, modified or repealed as follows:

1. Initiation. The Council may act on its own initiative, with or without prior citizen request, to amend this chapter. Any interested citizen, including the owner of record title or of equitable title to affected property, may petition for amendment of this chapter.

2. Form of Petition. A petition to amend this chapter shall state: (i) the legal description of the affected property; (ii) the street address of the affected property; (iii) the existing and proposed designation or regulation; (iv) a concise statement of the purpose of the amendment; and (v) the names and addresses of the owners of record and equitable title located within 200 feet of the boundary of the affected property. A petition shall be dated and signed by its sponsor.

3. Review of Proposed Amendment. Within 30 days of receipt by the City, the Commission shall review a petition for amendment and report its recommendations to the Council. The Council may refer self-initiated amendments to the Commission for consideration upon such conditions as it may direct.

4. Notice and Hearing. If the Council resolves to consider for passage a proposed amendment to this chapter, the Council shall set a time and date for hearing upon the proposed amendment. Notice of the hearing describing the affected property and purpose of the hearing shall be published at least once not less than seven or more than 20 days prior to the hearing date, but not earlier than the next regularly scheduled Council meeting following the date notice is published. The Clerk shall send notice of the hearing by ordinary mail to owners of property within 200 feet of the boundaries of the affected property.

5. Protest. Protest of a proposed amendment must be in writing submitted to the Council before or at the public hearing on the proposed amendment. If 20% or more of the owners of property within two hundred feet of the boundaries of the affected

property file a written protest, the proposed amendment shall not be effective unless three-fourths of the Council members vote in favor of the proposed amendment.

6. Action by Council. The Council shall not be required to act upon a proposed amendment. At any time prior to a hearing on a proposed amendment, the Council may either act unfavorably on the proposed amendment or take no action. After a hearing, the Council may act either favorably or unfavorably on the proposed amendment or take no action. If the Council acts unfavorably on the proposed amendment, no petition that is substantially the same as the proposed amendment rejected, shall be submitted for one year after the unfavorable action. Nothing herein shall prevent the Council from acting on its own initiative.

7. Costs. The sponsor of a petition for amendment of this chapter shall be liable to the City for the reasonable costs of amending this chapter, including but not limited to the cost of publication of notice, and, unless waived by the Council, shall pay such cost at the office of the Clerk upon demand or shall pay such fee as the Council may prescribe by ordinance.

8. Additional Notices; Signs. Any person who requests a land use plan amendment or rezoning of property shall cause to be erected at all of the street frontages of the property a notification sign, stating a notification message as prescribed by City staff, and intended to inform the public of the proposed change and the time and place of the hearing on said change. Notification signage will be black letters on a white sign board and will be installed in accordance with the following minimum stand:

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**165.45 VIOLATION.** Each day a violation of this chapter continues shall be considered a separate offense. The owner or tenant of any building, structure, premises, or part thereof, and any architect, builder, contractor, agent, or other person who commits, participates in, assists in, or maintains such violation may each be found guilty of a separate offense and suffer the penalties provided in this section. Nothing in this section shall prevent the City from taking any other lawful action as is necessary to prevent or remedy any violation.



Rezoning Exhibit - Hale Trailer Property

Huxley, Iowa

Owner / Developer  
Janestar of Iowa, LLC  
551 Cooper Road  
West Berlin, NJ 08091

Comprehensive Land Use  
Highway Commercial

Zoning  
Current: A-1  
Proposed: C-2

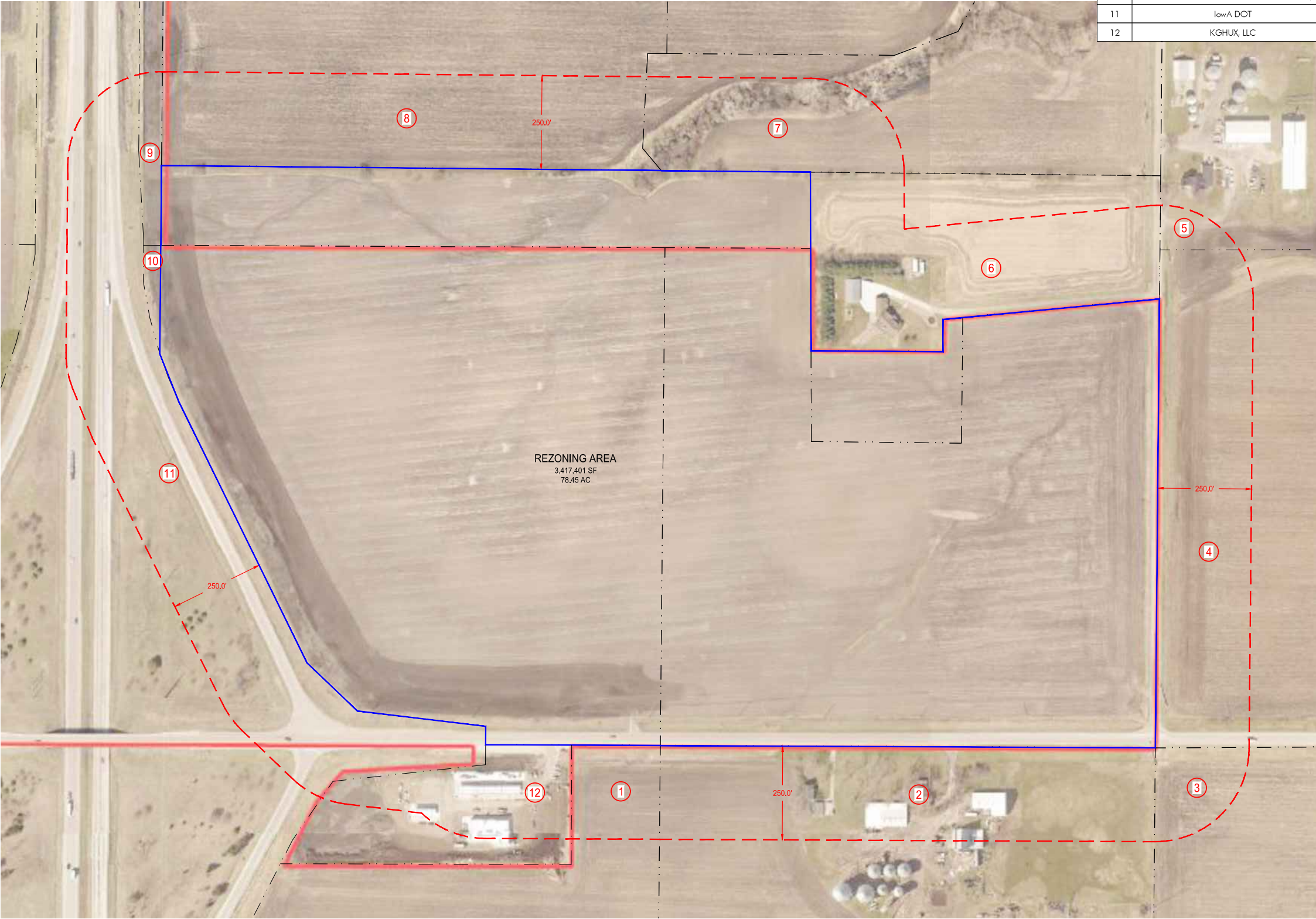
LEGAL DESCRIPTION (FROM DEED 2021-04932)

PARCEL "K" A PART OF THE SOUTH 95 ACRES, AS FENCED AND OCCUPIED, OF THE SOUTHEAST QUARTER (SE ¼) OF SECTION THIRTY (30), TOWNSHIP EIGHT-TWP (82) NORTH, RANGE TWENTY-THREE (23) WEST OF THE 5<sup>TH</sup> P.M., STORY COUNTY, IOWA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER, THENCE N00°33'53"E, 202.37 FEET ALONG THE WEST LINE THEREOF TO THE NORTHWEST CORNER OF SAID SOUTH 95 ACRES; THENCE S89°31'25"E, 1730.50 FEET ALONG THE NORTH LINE THEREOF; THENCE S00°14'12"E, 193.16 FEET TO THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SOUTHEAST QUARTER; THENCE N89°49'43"W, 1733.24 FEET TO THE POINT OF BEGINNING, CONTAINING 7.86 ACRES, AS SHOWN ON THE PLAT OF SURVEY RECORDED ON DECEMBER 6, 2017 AS INST. NO. 2017-12307, SLIDE 591, PAGE 5; AND

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SURROUNDING PROPERTY TABLE (250' BUFFER)

Parcel Number	Name of Property Owner	Mailing Address
1	LEONA LARSON	56800 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
2	LEONA LARSON	56800 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
3	LEONARD & JACQUELINE LARSON	56892 HIGHWAY 210 CAMBRIDGE, IA 50046-8585
4	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
5	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
6	JAMIE & KRISTYN NOBLING	32771 570TH STREET CAMBRIDGE, IA 50046-8501
7	DAVID & DENISE ACCOLA	32587 570TH STREET CAMBRIDGE, IA 80046-8588
8	STEVEN & JOYCE WRIGHT	32700 570TH STREET CAMBRIDGE, IA 50046-8501
9	BAYER RESEARCH & DEVELOPMENT SERVICES, LLC	800 N LINDBERGH BLVD ST LOUIS, MO 63167
10	BAYER RESEARCH & DEVELOPMENT SERVICES, LLC	800 N LINDBERGH BLVD ST LOUIS, MO 63167
11	Iowa DOT	
12	KGHUX, LLC	1459 GRAND AVENUE DES MOINES, IA 50309



  
**McCLURE**<sup>TM</sup>  
making *lives* better

1360 NW 121ST. Street  
Clive, Iowa 50325  
515-964-1229  
fax 515-964-2370

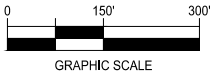
NOTICE:  
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

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REZONING  
EXHIBIT



NORTH



HUXLEY, IOWA

JUNE 8, 2021

REVISIONS

- .
- .
- .
- .

ENGINEER  
C SMITH

DRAWN BY  
C SMITH

CHECKED BY

FIELD BOOK NO.

DRAWING NO.

SHEET NO.

EX-01

01 / 02









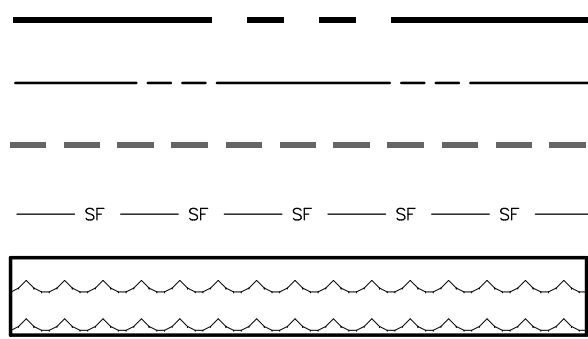








# LEGEND



PROJECT BOUNDARY  
PROPOSED DRAINAGE PIPE  
PROPOSED DRAINAGE DIVIDE  
PROPOSED SILT FENCE  
PROPOSED POND



PROP. STORMWATER STRUCS

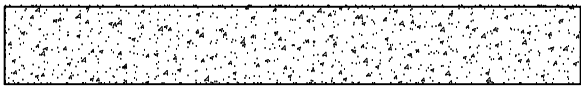
80.0

PROPOSED LOT GRADE

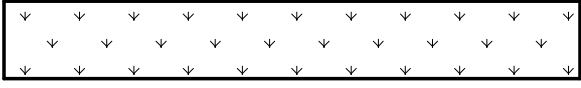


EXISTING LOT GRADE

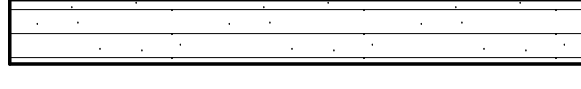
PROPOSED DRAINAGE AREA



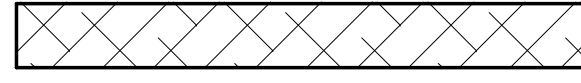
PROPOSED CONCRETE SIDEWALK



10' LOW MAINTANCE ZONE



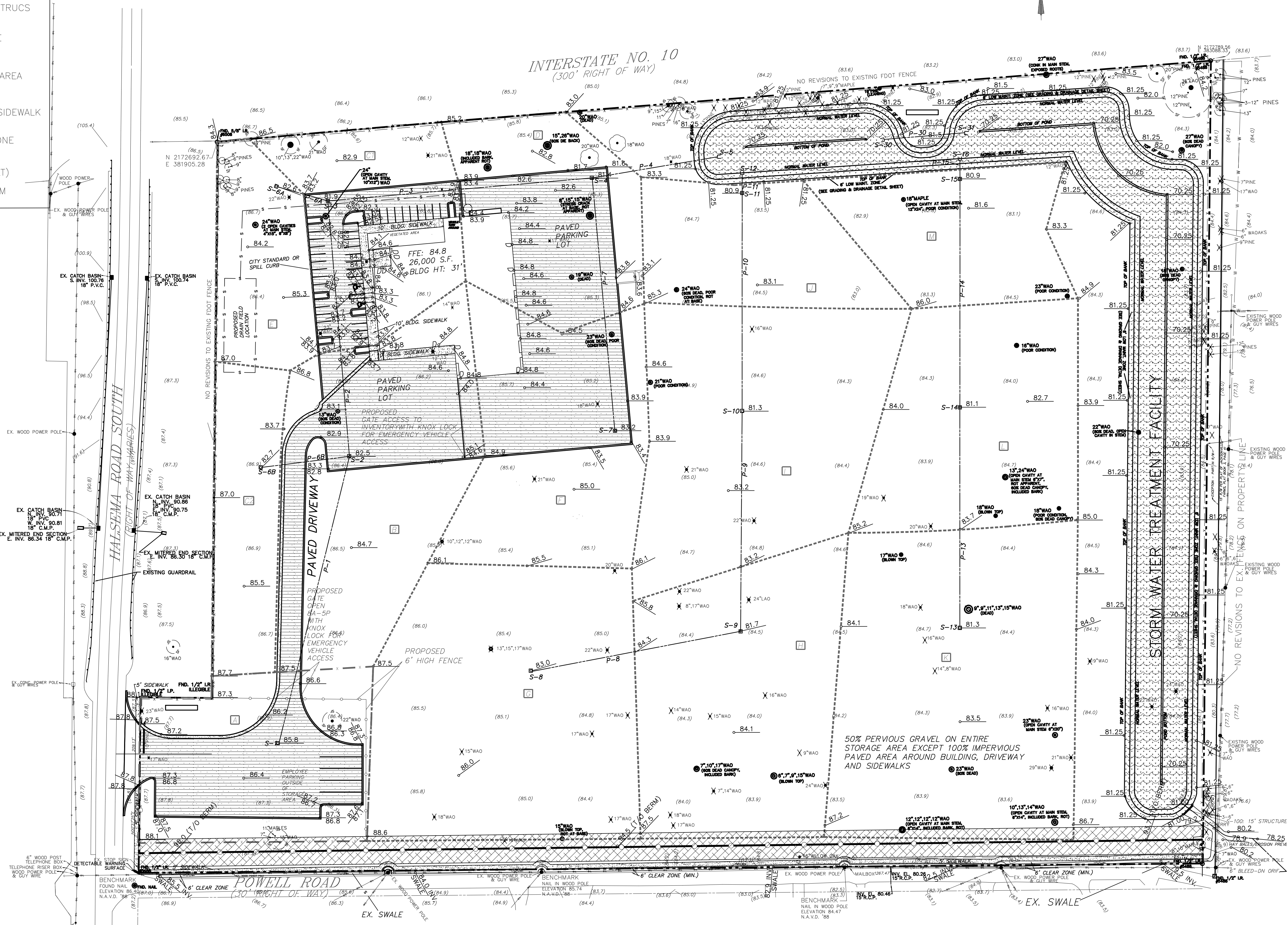
PROPOSED PAVEMENT/  
(CONCRETE OR ASPHALT)



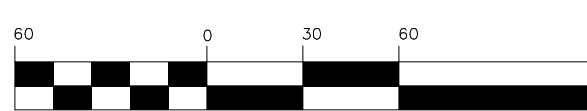
PROPOSED EARTH BERM  
WITH FENCE ON TOP

AREA TABULATION		PIPE TABULATION			
AREA LETTER	AREA In Ac.	PIPE NUMBER	PIPE DIAMETER	PIPE LENGTH	
A	1.29	P 1	24" RCP	350	
B	2.12	P 2	30" RCP	306	
C1	0.77	P 3	30" RCP	318	
D	0.82	P 4	36" RCP	150	
E	0.79	P 6A	15" RCP	62	
F	1.78	P 7	18" RCP	305	
G	1.54	P 8	18" RCP	251	
H	2.10	P 9	30" RCP	263	
I	2.03	P 10	30" RCP	258	
J	1.88	P 11	36" RCP	22	
K	2.04	P 13	24" RCP	263	
L	2.00	P 14	30" RCP	270	
M	1.00	P 15	30" RCP	22	
N	0.88	P 17	0" RCP	22	
		P 30	36" ADS	96	

STRUCTURE	TYPE	TOP OF GRATE	INVERT	PIPE SIZE
1	C INLET	85.80	78.25	24" RCP
2	C INLET	82.50	77.98	24" RCP
			77.48	30" RCP
			78.22	15" RCP
3	E INLET	81.90	76.91	30" RCP
			78.16	30" RCP
4	E INLET	81.40	75.86	30" RCP
			75.36	18" RCP
			76.60	36" RCP
5	MES		78.38	15" RCP
6A	C INLET	82.60	78.71	18" RCP
7	C INLET	83.00	79.50	18" RCP
8	C INLET	83.00	79.50	18" RCP
9	E INLET	81.70	78.22	18" RCP
			77.22	30" RCP
10	E INLET	81.30	76.75	30" RCP
			76.75	30" RCP
11	E INLET	80.90	75.72	30" RCP
			75.22	36" RCP
12	MES		75.16	15" RCP
6B	C INLET	82.70	78.46	15" RCP
13	C INLET	81.30	77.00	24" RCP
14	E INLET	81.10	76.49	24" RCP
			75.99	30" RCP
15	E INLET	80.90	75.41	30" RCP
			75.41	30" RCP
16	MES		75.34	30" RCP
30	MES		73.25	36" ADS
31	MES		73.25	36" ADS



GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

GRADING AND DRAINAGE PLAN  
HALE TRAILER  
FOR  
HALE TRAILER BRAKE & WHEEL, INC.

REVISED PER CLIENT COMMENTS	REVISED PER CLIENT COMMENTS	REVISED PER CLIENT COMMENTS
3	2	1
06/17/14	11/15/13	07/09/13

DATE	REV.	DATE
05/30/13	1	05/30/13

SCALE	1" = 60'
-------	----------

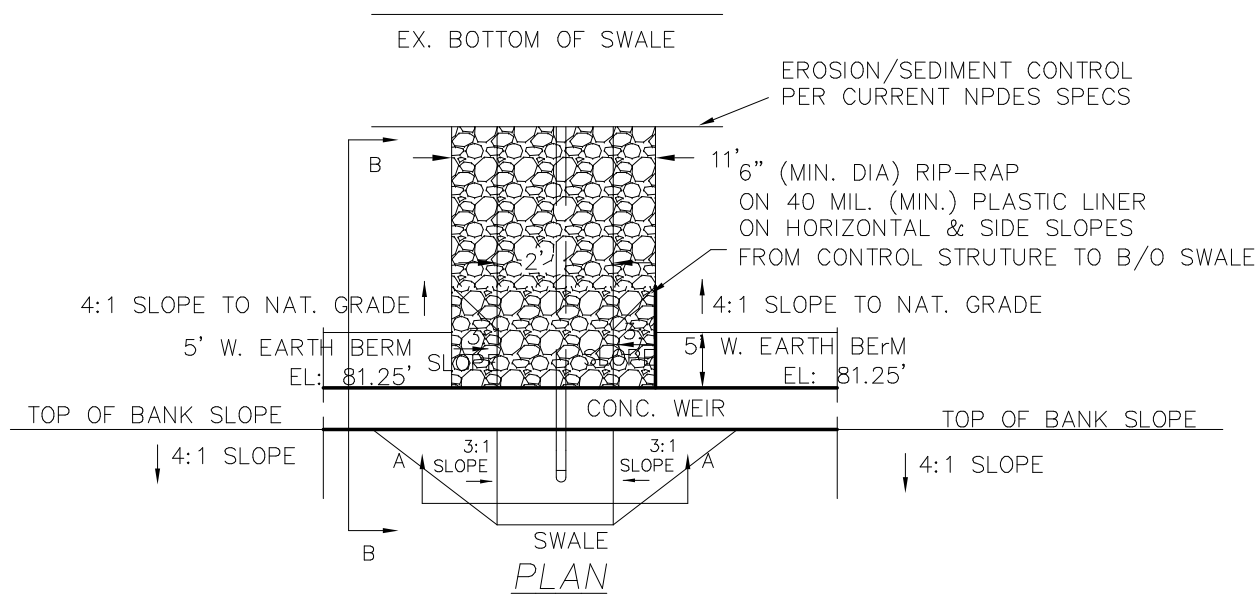
JOB NO.	3008
DRAWN BY	JK
DATE	05/30/13
SCALE	1" = 60'

James K. Johns  
P.E. # 55936

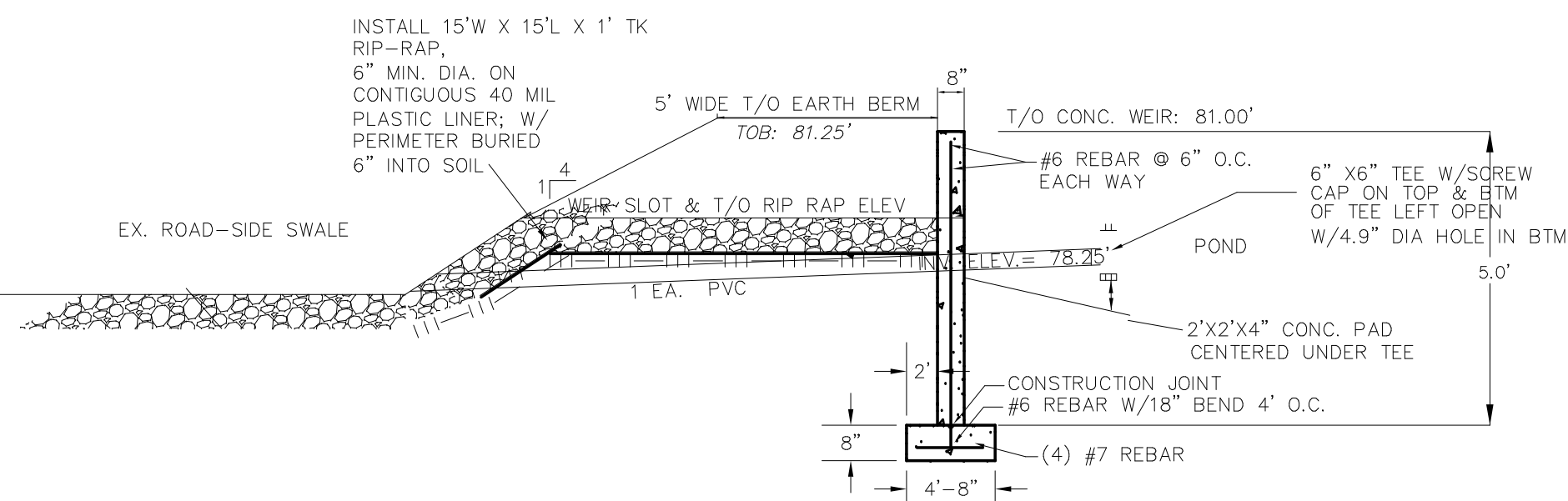
4  
DRAWING NO.

**SOLID ROCK**  
ENGINEERING CONSULTANTS, INC.  
"CIVIL ENGINEERING FROM THE GROUND DOWN"  
10365 SOUTH HODD RD. SUITE 206 JACKSONVILLE, FL 32257  
PH: (904) 425-6711 FAX: (904) 425-6710  
EMAIL: John@SolidRockEngineering.com  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 9891

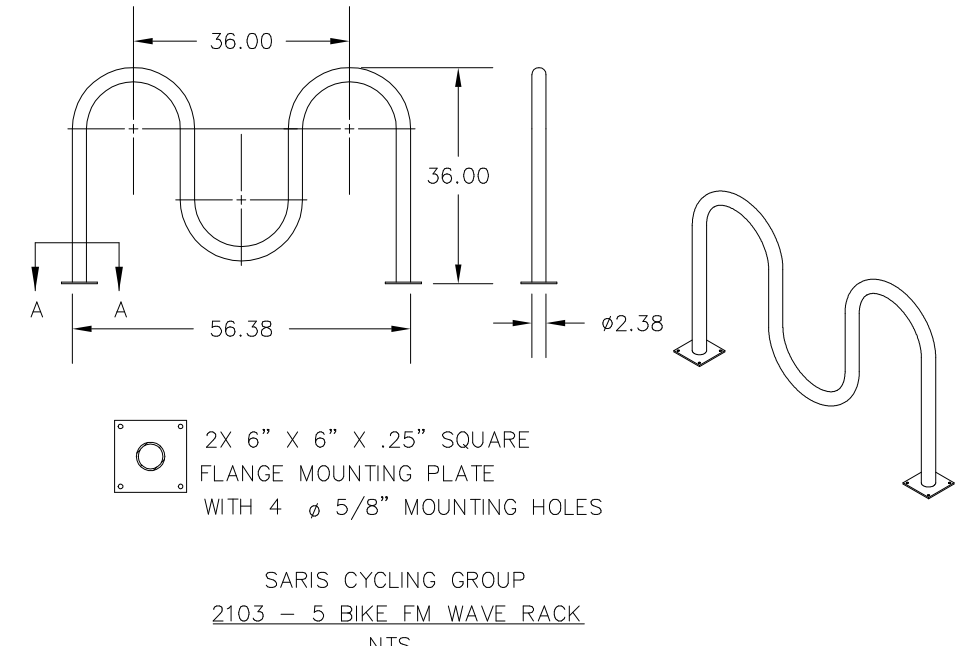




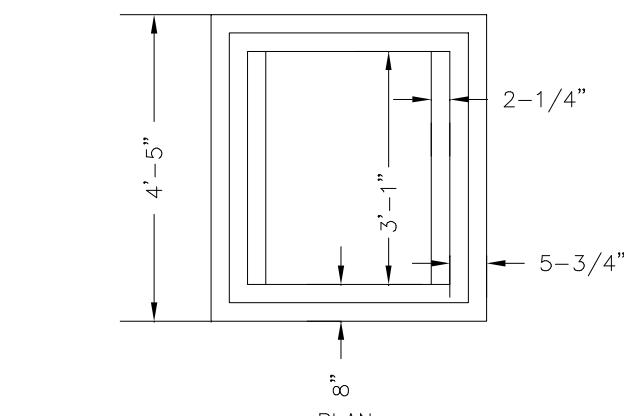
CONTROL STRUCTURE #100  
(N.T.S.)



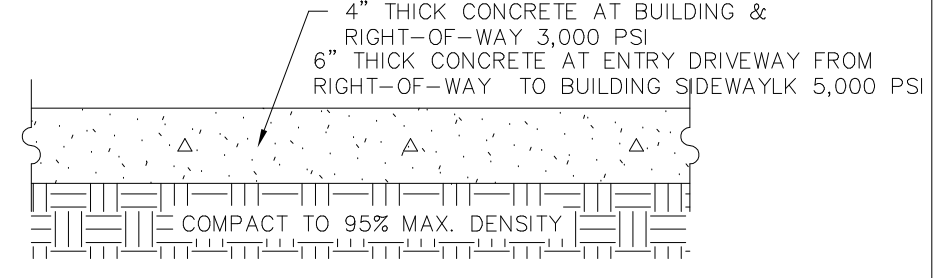
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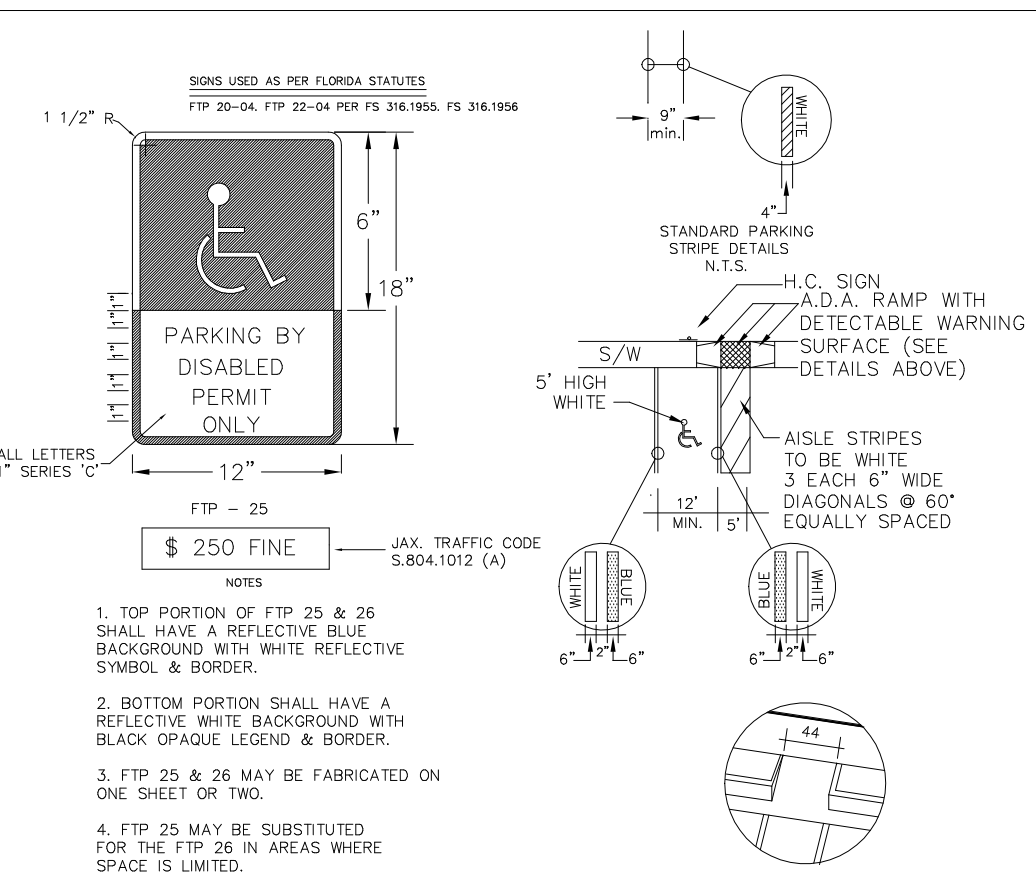
SARIS CYCLING GROUP  
2103 - 5 BIKE FM WAVE RACK  
NTS



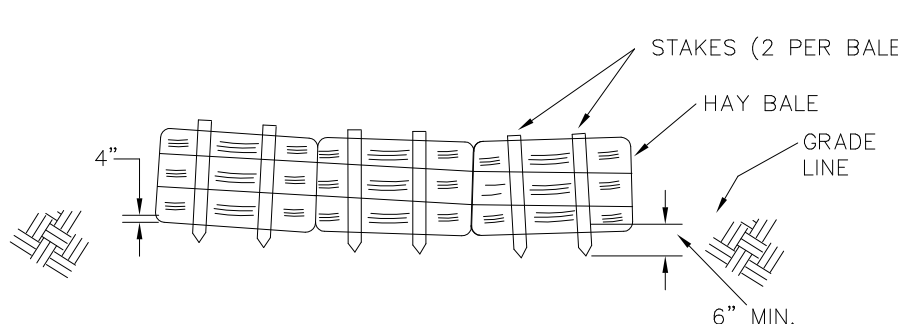
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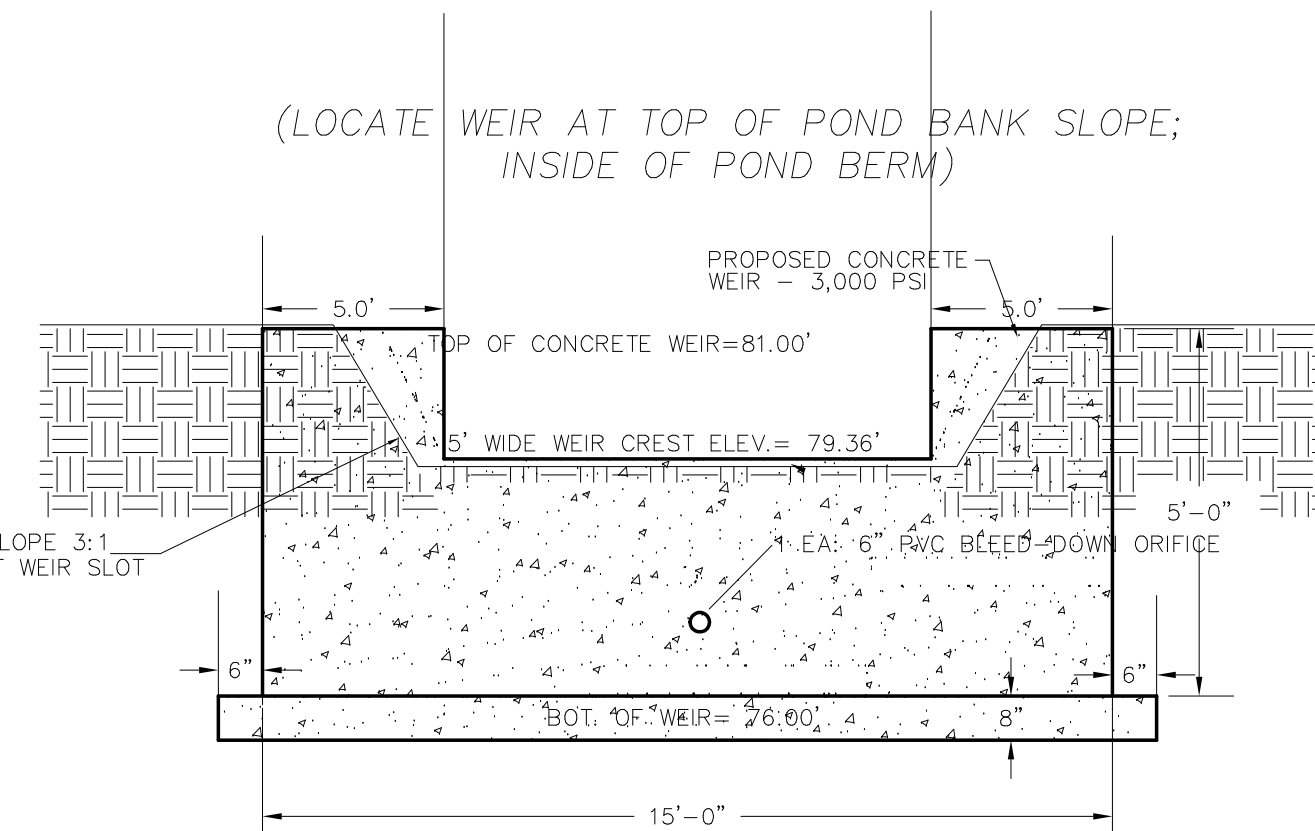
TYPICAL CONCRETE SIDEWALK SECTION  
N.T.S.



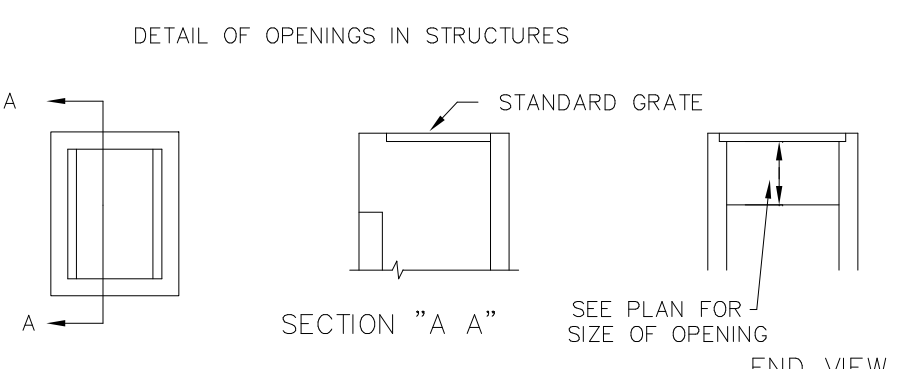
STRIPE DETAILS  
N.T.S.



STAKED HAY BALES  
DETAIL



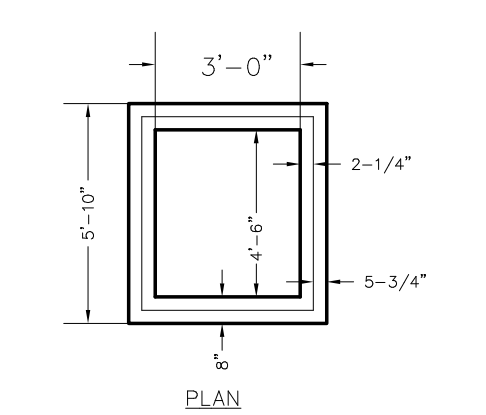
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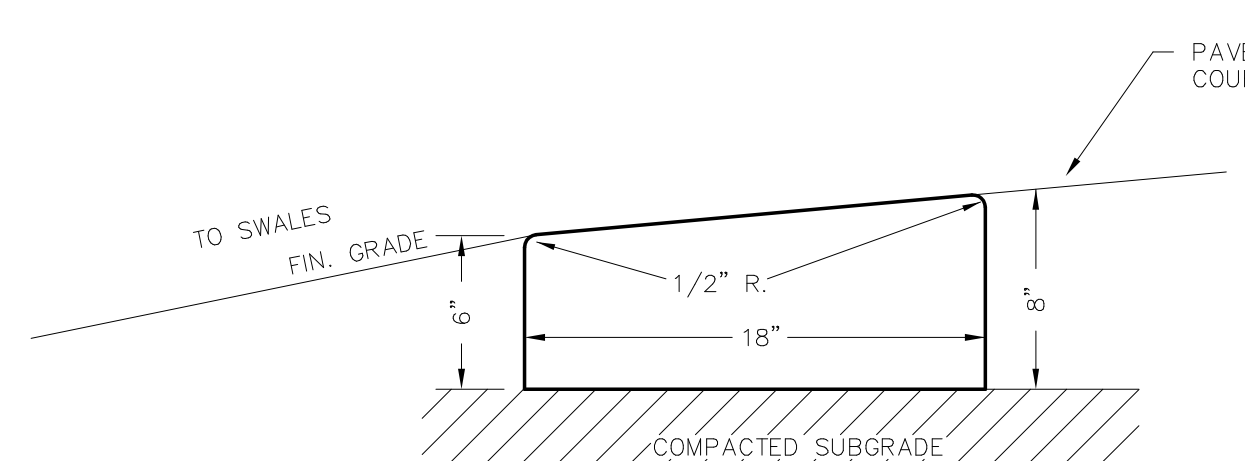
DETAIL OF OPENINGS IN STRUCTURES

PER THE APPROVED PLANNED UNIT DEVELOPMENT, NO REVISIONS ARE PROPOSED TO THE EXISTING PERIMETER FENCE ALONG THE PARCEL'S WEST, NORTH OR SOUTH BOUNDARIES. REFER TO SHEET 4 FOR FENCE AND BERM CONSTRUCTION DESIGN DETAILS TO FOR THE PARCEL'S SOUTH BOUNDARY.

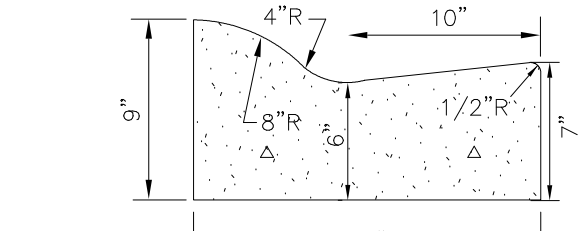
FENCE DETAIL



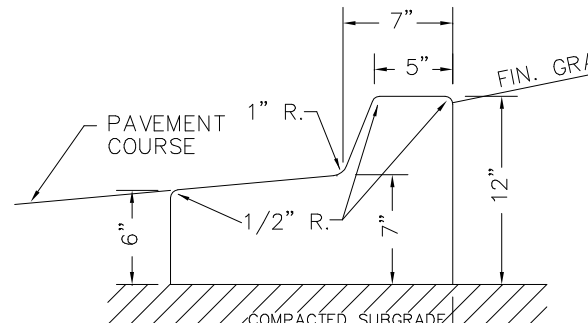
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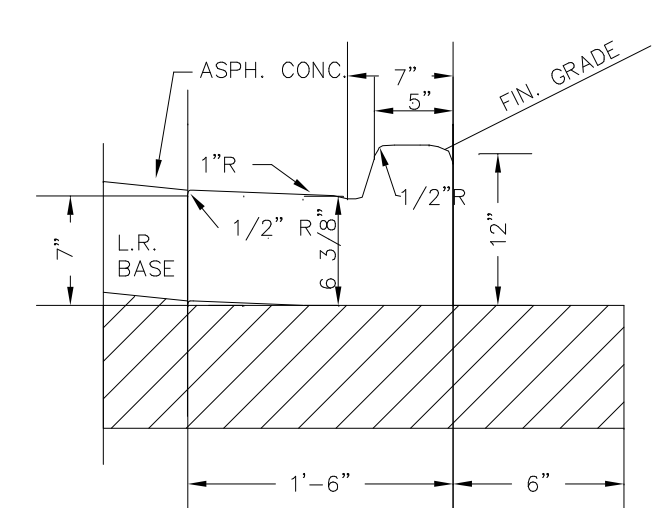
RIBBON CURB DETAIL



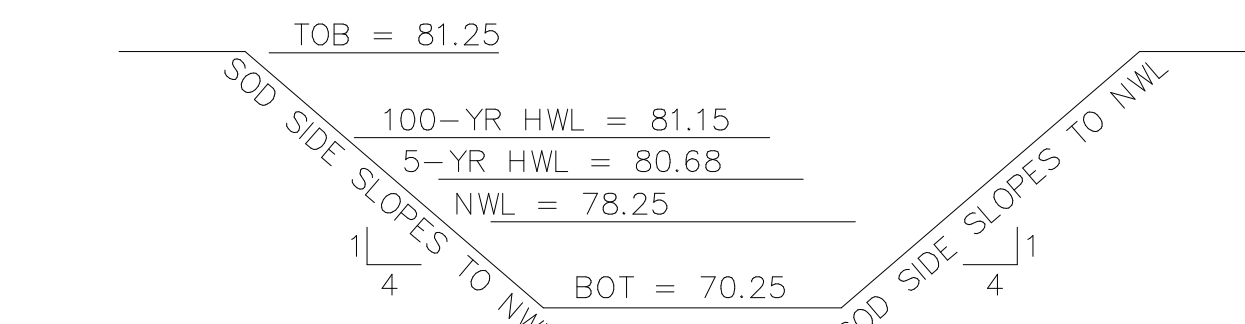
MIAMI TYPE CURB DETAIL  
N.T.S.



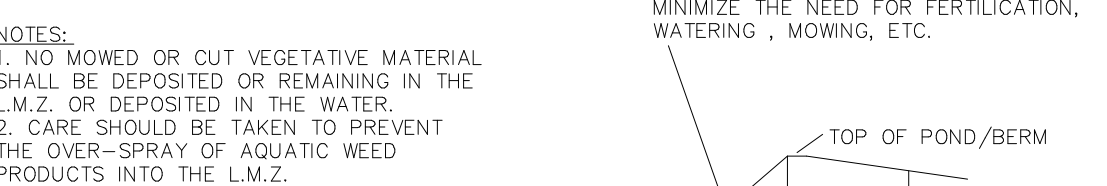
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N.T.S.



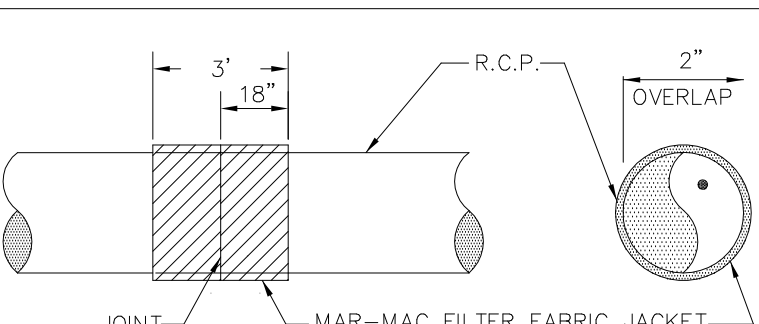
STANDARD CURB DETAIL  
N.T.S.



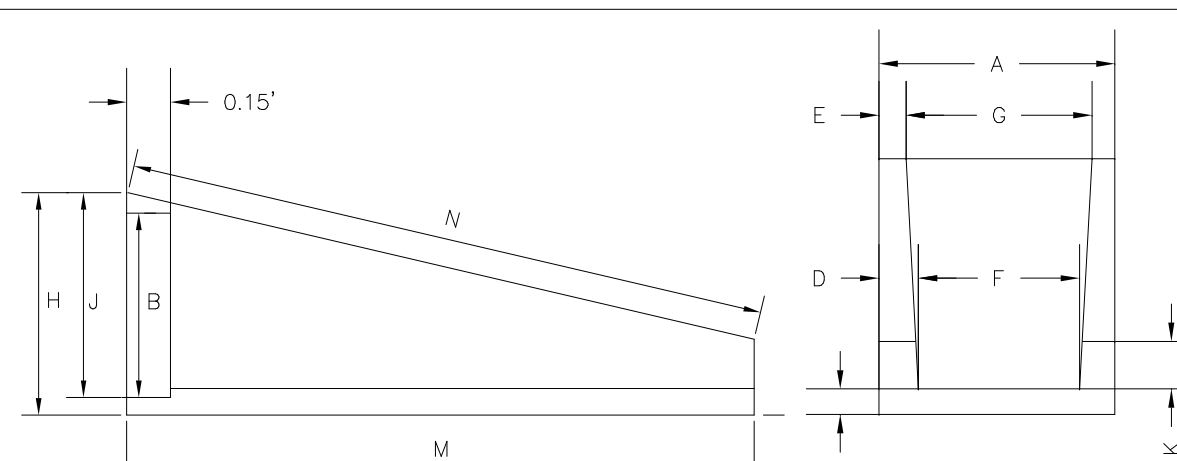
STORM WATER MANAGEMENT FACILITY CROSS-SECTION  
N.T.S.



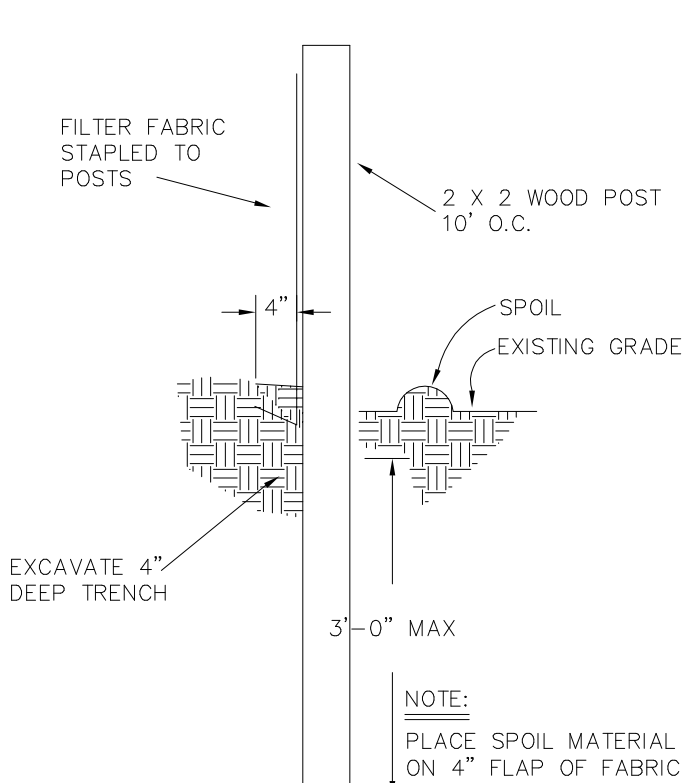
POND LOW MAINTENANCE ZONE (L.M.Z.) DETAIL  
N.T.S.



PIPE JOINT WRAPPING DETAIL  
N.T.S.



FABRIC SILT FENCE DETAIL  
N.T.S.



DRAINAGE MANHOLE DETAIL

DRAWINGS, LAYINGS, THE SIGNATURE AND BASED SEAL OF A LICENSED ENGINEER ARE FOR INFORMATIONAL PURPOSES ONLY.		5	
JOB NO.	3008	CITY	JEK
DRAWN BY:	JKJ	WMD	
DATE:	50/30/13	FOOT	3
SCALE:	1" = 60'	COUNTY	2
		REV.	1
		DATE	07/09/13
		REVISED PER CLIENT COMMENTS	NO REVISIONS
		REVISED PER CLIENT COMMENTS	REVISIONS
		James K. Johns P.E. # 59938	

# PLANNING & ZONING COMMUNICATION

## **AGENDA HEADING:**

Blue Sky Estates Preliminary Plat

## **SUBMITTED BY**

Rita Conner, City Administrator

## **SYNOPSIS:**

Von Houweling, CD II (Don Von Houweling, 14427 Wilden Drive Urbandale, Iowa 50323) has submitted a preliminary plat for the development of 37 single family residential lots east of 560<sup>th</sup> Avenue and north of the Blue Sky Commons Business Park. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1430100110>

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION: YES**

- The property was rezoned for residential development earlier this year
- Review comments on the preliminary plat have all been addressed with the exception of :
  - Staff has requested that the developer install urban improvements on the east side of 560<sup>th</sup> Avenue on a portion of the plat and requests that action taken by P & Z would include this condition. This will be part of an upcoming discussion with the developer and City Council on a potential development agreement for the use of tax increment for the project.
  - Developer is proposing that the .54 acres of greenspace requirement be dedicated for a future trail extension of on Blue Sky Blvd east of the plat. Staff has been working to evaluate this proposal with the Trails Master Plan and 2013 Comprehensive Plan.

## **CITY ADMINISTRATOR COMMENTS: NONE**

## **BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES**

- April 19, 2021 P & Z review of rezoning request for approximately 33.17 acres in the Blue Sky Commons development, north west of the Blue Sky Commons Business Park, from A-1 and M-1 to R-1.
- May 11, 2021 City Council approval of Ordinance 515 for the rezoning

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES**

- June 22, 2021 Preliminary Plat review by City Council
- Discussion with developer, Council Economic Development Committee and full Council on potential development agreement terms for the use of tax increment financing
- Public improvement construction
- Review of final plat



**City of Huxley**  
515 N. Main Ave, Huxley, Iowa 50124  
(515) 597-2561 Fax: (515) 597-2570  
[www.huxleyiowa.org](http://www.huxleyiowa.org)

## Preliminary Plat Application

<u>Owner:</u> _____	<u>Applicant:</u> _____
<u>Address:</u> _____	<u>Address:</u> _____
_____	_____
<u>Phone:</u> _____	<u>Phone:</u> _____

<u>Engineer/ Surveyor:</u> _____
<u>Phone:</u> _____

<u>Property Address:</u> _____
<u>Current Zoning:</u> _____
<u>Q/Q:</u> _____ <u>Section:</u> _____ <u>Township:</u> _____ <u>Range:</u> _____
<u>Subdivision:</u> _____ <u>Lot #:</u> _____
<u>Story County Parcel Number(s):</u> _____
<u>Size of Lot or Parcel:</u> _____



**ACKNOWLEDGEMENT:**

The undersigned is/are the owner(s) of the described property on this application, located in the incorporated area of Huxley, Iowa, assuring that the information provided herein is true and correct. I hereby give my consent for the City of Huxley and/or its representatives to conduct a site visit and photograph the subject property.

This development is subject to and shall be required, as a condition of final development approval, to comply with all Interim Development Ordinance policies, requirements and standards that are in effect at the time of final development approval.

Owner: C.D Van Houweling

Applicant: C.D Van Houweling

Date: April 28, 2021

Date: April 28, 2021

Application, Fees and Site Plan (if required) must be submitted jointly.

**Fees:**

\$100 Application fee

\$50 per re-submission

Legal and Engineering fees reimbursed to the City of Huxley

Proposed Name of Plat:

Blue Sky Estates

Proposed Use:

Single Family Detached Residential

Number of Lots:	<b>For Office Use Only:</b> Associated Zoning case(s):  Associated Plat:
Number Of Acres:	



## **PRELIMINARY PLAT PERTINENT INFORMATION REQUIREMENTS**

The preliminary plat shall be clearly marked "preliminary plat" and shall show, or have attached thereto the following:

1. Title, scale, north point and date.
2. Proposed name of the subdivision, which shall not duplicate or resemble existing subdivision names in the County.
3. The name and address of the owner and the name, address and profession of the person preparing the plat.
4. A key map showing the general location of the proposed subdivision in relation to surrounding development.
5. The names and locations of adjacent subdivisions and the names of record owners and location of adjoining parcels of unplatted lands. A list of all owners of record of property located within 200 feet of the subdivision boundaries shall be attached.
6. The location of property lines, streets and alleys, easements, buildings, utilities, watercourses, tree masses and other existing features affecting the plat.
7. Existing and proposed zoning of the proposed subdivision and adjoining property.
8. Contours at vertical intervals of not more than two feet if the general slope of the site is less than ten percent and at vertical intervals of not more than five feet if the general slope is ten percent or greater.
9. The legal description of the area being platted.
10. The boundary of the area being platted, shown as a dark line, with the approximate length of boundary lines and the approximate location of the property in reference to known section lines.
11. The layout, lot numbers and scaled dimensions of proposed lots.
12. The location, width and dimensions of all streets and alleys proposed to be dedicated for public use.
13. The proposed names for all streets in the area being platted.
14. Present and proposed utility systems, including sanitary and storm sewers, other drainage facilities, water lines, gas mains, electric utilities and other facilities.
15. Proposed easements, showing locations, widths, purposes and limitations.
16. Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes, or shown for such purpose in the comprehensive plan or other adopted plans.
17. A general summary description of any protective covenants or private restrictions to be incorporated in the final plat.
18. Identification of all adjoin properties, and when the adjoin properties are a part of the recorded subdivision, the name of that subdivision.
19. The existing zoning of the proposed subdivision and of all adjoin properties within 500' of the proposed plat.
20. Any other pertinent information as necessary.
21. The fee, as required by this chapter, shall be submitted with the plat submission.

All infrastructure and development improvements will be in accordance with SUDAS

**PRELIMINARY PLAT PERTINENT INFORMATION REQUIREMENTS**

Any other pertinent information, which may include a site plan, deemed necessary by the Zoning Administrator, to ensure a complete review of the proposed preliminary plat.

Landscaping plan, if applicable, as outlined in Chapter 168 of the City of Huxley Municipal Code.

Stormwater Pollution Prevention Plan (SWPPP)







June 14, 2021

Rita Conner  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

rconner@huxleyiowa.org

HUXLEY, IOWA  
BLUE SKY ESTATES  
PRELIMINARY PLAT

We have reviewed the revised preliminary plat for Blue Sky Estates and offer the following comments that we recommend be discussed with the Planning & Zoning Commission:

1. Our comment letter requested that curb and gutter be installed along the east side of 560<sup>th</sup> Avenue for that portion of the plat that fronts 560<sup>th</sup> Avenue. The developer is objecting to this request because of the expense. This item is part of a larger question of what the City sees for the long-term vision for 560<sup>th</sup> Avenue.
2. The greenspace requirements of this plat is calculated to be 0.54 acres. The developer is requesting this greenspace be dedicated for a future trail extension on Blue Sky Boulevard to the east of this plat. This item is part of a larger question of what the City sees for a trail system east of 560<sup>th</sup> Avenue and south of the Heart of Iowa Trail.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

Forrest S. Aldrich

FSA:rsb  
45229-063

Rita Conner  
City of Huxley  
June 14, 2021  
Page 2

cc: Don Van Houweling, (e-mail)  
Chad DeVore, Snyder & Associates (e-mail)  
Brent Culp, Snyder & Associates (e-mail)  
Jamie Bergkamp, Bergkamp, Hemphill & McClure (e-mail)  
Jeff Peterson, City of Huxley (e-mail)  
Keith Vitzthum, City of Huxley (e-mail)  
Mat Kahler, City of Huxley (e-mail)  
A.J. Strumpfer, City of Huxley (e-mail)  
Amy Kaplan, City of Huxley (e-mail)

# PLANNING & ZONING COMMUNICATION

## **AGENDA HEADINGS:**

Scooter's Coffee Site Plan

## **SUBMITTED BY**

Rita Conner, City Administrator

## **SYNOPSIS:**

SFAM LLC ( 1102 Siemer Drive Denison, Iowa 51442) has submitted a site plan for the construction of a 633 square foot 1 story Scooter's Coffee kiosk building on .22 acres adjacent to Ballard Plaza at 602 N US Highway 69. MR Properties (Chris Gardner 506 East 1<sup>st</sup> Street Huxley, Iowa 50124) has submitted private utility improvements and a final plat for Ballard Plaza Plat 2 also on this agenda. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Private utility improvements will be extended to serve Scooter's Coffee and the .22 acre site will be sold to SFAM, LLC.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION:**

- A revised landscaping plan was submitted June 17, 2021 and is included with the agenda packet
- The coffee shop will add a new commercial service to the Highway 69 Corridor and contribute to the revitalization of Ballard Plaza.

## **CITY ADMINISTRATOR COMMENTS: YES**

- Landscape ordinance will be part of the amendments made to the Code of Ordinances by staff with City Council, to establish minimums and provide additional detail on landscaping goals and aesthetics

## **BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: NO**

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES**

- June 22 City Council review
- Completion of improvements
- Building construction



# SCOOTER'S COFFEE - HUXLEY

## 660 N HIGHWAY 69, HUXLEY, IOWA

### SITE PLAN

### NAI #21091



#### EXISTING UTILITY NOTE

THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HRS. IN ADVANCE OF ANY DIGGING OR EXCAVATION.

WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.

#### SPECIFICATION REFERENCE

THE 2021 IOWA SUDAS STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

#### LEGEND

Existing / Proposed	Existing / Proposed	Existing / Proposed
● ▲	Found monument 5/8" IR with red cap #18530 unless otherwise noted	1234 1234 x 800.0' x 800.0'
○ △	Set monument 5/8" IR with red cap #18530 unless otherwise noted	Address
IR	Round iron rebar	Spot elevation
IP	Round iron pipe	Sanitary sewer manhole
PCC	Portland cement concrete	Cleanout
ACC	Asphaltic cement concrete	Storm sewer manhole
FL	Pipe flowline elevation	Storm sewer intake
RCP	Reinforced concrete pipe	Storm sewer beehive
CMP	Corrugated metal pipe	Flared end section
CPP	Corrugated plastic pipe	Water hydrant
PVC	Polyvinyl chloride pipe	Water valve
CIP	Cast iron pipe	Water service shut-off
P.U.E.	Public utility easement	Water main manhole
S.W.F.E.	Surface water flowage easement	Monitoring well
B/B	Back of curb to back of curb	Yard hydrant
---	Subject boundary line	Well
---	Section line	Gas meter
---	Proposed boundary line	Gas valve
---	Existing boundary line	Air conditioning unit
---	Future boundary line	Electric manhole
---	Underlying boundary line	Electric meter
---	Proposed easement line	Electric pedestal
---	Existing easement line	Electric transformer
---	Setback line	Utility hand hole
---	Barbed wire fence line	Utility pole
---	Chain-link fence line	Utility pole with light
NT	Straw Wattle	Light pole
SF	Silt fence	Ground up light
SS	Sanitary sewer & size	Guy wire
ST	Storm sewer and size	Traffic signal
W	Water main and size	Traffic signal with light
G	Gas main & size	Traffic manhole
OHE	Overhead electric & wires	Communication pedestal
OHC	Overhead communication	Telephone booth
UGE	Underground electric	TV pedestal
TV	Underground television	Billboard sign
UGC	Underground communication	Street sign
900'	Contour elevation	Down spout
---	Swale flowline	Tree shrub
---	Edge of water	Deciduous tree
---	Edge of tree dripline	Coniferous tree
---	Construction limits	and trunk diameter
---	Construction fence	

#### BENCHMARKS

- TOP OF RIM OF EXISTING SANITARY MANHOLE, LOCATED ON THE SOUTHEASTERLY LINE OF LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2, AT THE WEST EDGE OF THE CONCRETE SIDEWALK, APPROXIMATELY 16 SOUTHWESTERLY OF THE EASTERLY CORNER OF SAID LOT 1. ELEVATION = 1014.88' (NAVD88)
- CUT "X" ON TOP OF THE CONCRETE CURB IN THE NORTH CORNER OF THE FAREWAY PARKING LOT, APPROXIMATELY 88 FEET SOUTHEASTERLY OF BENCHMARK #1 ALONG THE EXISTING SIDEWALK. ELEVATION = 1016.80' (NAVD88)

#### GENERAL NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY PROJECT ENGINEER AND:  
A. CITY OF HUXLEY  
B. MR PROPERTIES
- ALL MATERIALS AND CONSTRUCTION RELATED TO WORK CONDUCTED AS PART OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE 2021 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), AND DETAILS SHOWN ON THIS PLAN UNLESS SPECIFICALLY NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REMOVAL, REPLACEMENT, OR REINSTALLATION OF ANY ITEM, BOTH ON- AND OFF-SITE, ADVERSELY AFFECTED BY FAILURE TO FOLLOW SAID SPECIFICATIONS, REPORTS, AND PLANS.
- CONTRACTOR IS RESPONSIBLE TO UNDERSTAND THE INTENT OF THE WORK TO BE COMPLETED AND TO ADDRESS ANY QUESTIONS, CONCERNS, CONFLICTS, DISCREPANCY OR OTHER ISSUES THAT MAY AFFECT CONSTRUCTION WITH OWNER AND ENGINEER AT LEAST ONE WEEK PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY ISSUE ENCOUNTERED DURING CONSTRUCTION THAT MAY AFFECT PROPOSED DESIGN. OWNER AND ENGINEER SHALL RESPOND IN A TIMELY MANNER TO ALLOW CONSTRUCTION TO PROCEED.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND ELEVATION OF, AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE AND STORM DRAINS DISTURBED DURING CONSTRUCTION. RECONNECTIONS SHALL BE CONSIDERED INCIDENTAL TO PROJECT COST. NOTIFY CITY OF HUXLEY AND NILLES ASSOCIATES PRIOR TO RECONNECTION SO THAT LOCATION OF RECONNECTION CAN BE DOCUMENTED AND INCLUDED ON RECORD DRAWINGS. REPAIRS TO TILE LINES ARE TO BE VERIFIED BY CITY OF HUXLEY PERSONNEL.
- SIGNS SHALL CONFORM TO THE CITY OF HUXLEY SIGN ORDINANCE.
- DETAILS AND NOTES INCLUDED WITHIN THESE PLANS SHALL BE USED FOR CONSTRUCTION. FOR ITEMS WITH NO DETAILS OR NOTES INCLUDED WITHIN THIS PLANS SET, FOLLOW SUDAS DETAILS AND SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS SHOWN ON THE PLANS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCY IS FOUND, NOTIFY ENGINEER IMMEDIATELY BEFORE PROCEEDING.
- COORDINATE ALL WORK ACTIVITIES WITH ANY OTHER CONSTRUCTION PROJECTS IN THE AREA.
- ANY DAMAGE TO PROPERTY THAT OCCURS AS A RESULT OF THE CONTRACTOR'S ACTIVITIES OR ACTIONS SHALL BE REPAIRED AND RESTORED IN KIND.
- THE CONTRACTOR SHALL PROTECT UTILITY POLES NEAR CONSTRUCTION ACTIVITIES AS REQUIRED.
- FOR ALL WORK, THE CONTRACTOR SHALL PROVIDE ALL FIELD QUALITY CONTROL AND TESTING AS PER SUDAS. PROVIDE ENGINEER TESTING RESULTS.
- PROVIDE TO THE PROJECT ENGINEER, ALL SHOP DRAWINGS FOR MATERIALS INCORPORATED IN THE WORK SUPPLIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN PREPARED FOR THIS SITE.
- CONTRACTORS ON-SITE SHALL BE RESPONSIBLE FOR DAILY CLEAN-UP OF SEDIMENT AND DEBRIS TRACKED OR WASHED ONTO PUBLIC RIGHTS-OF-WAY AND AREAS OUTSIDE PROJECT LIMITS.
- DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF HUXLEY, MR PROPERTIES, AND NILLES ASSOCIATES BEFORE THE SITE IS FURTHER DISTURBED.

#### UTILITY CONTACTS

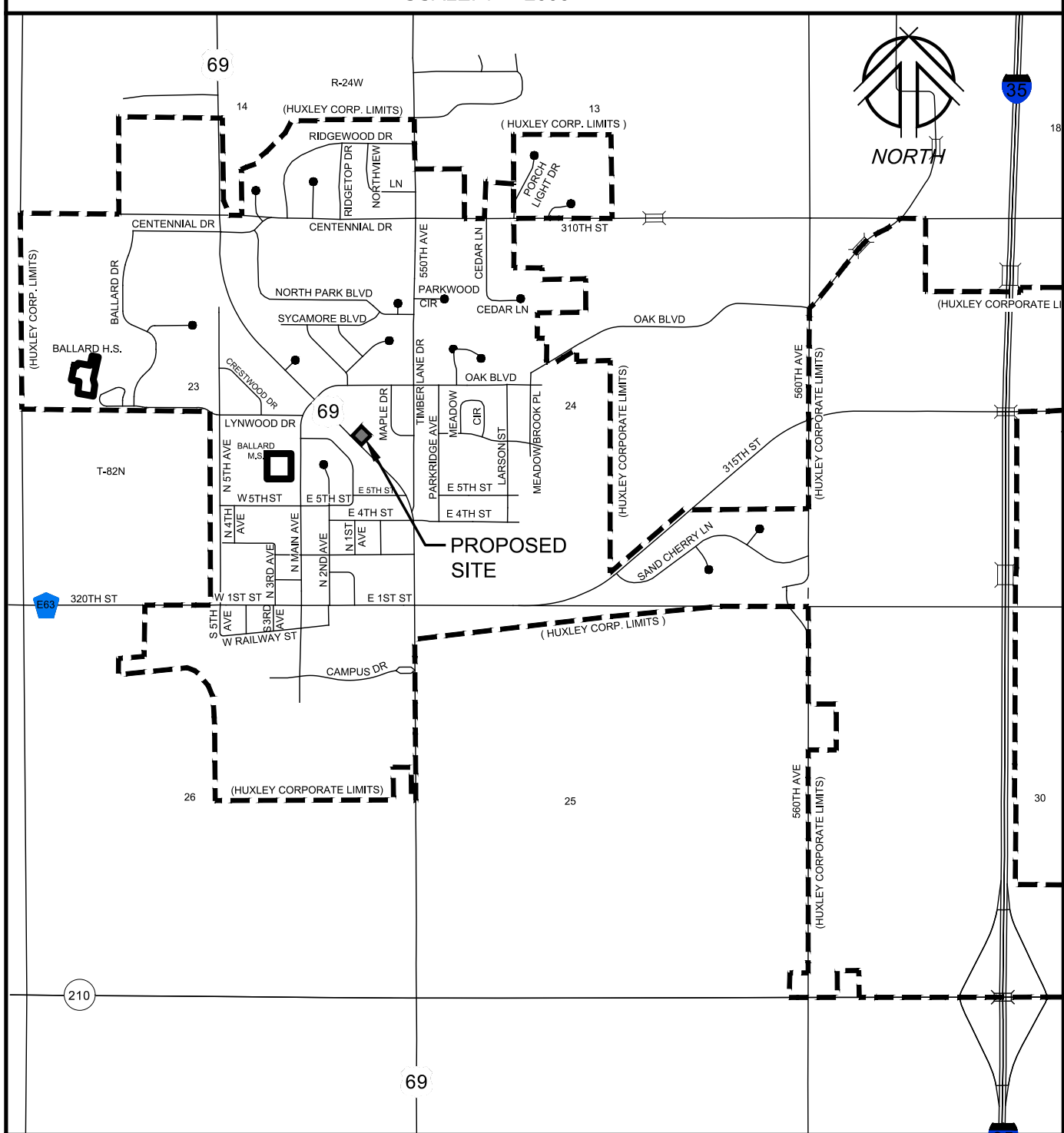
CITY OF HUXLEY WATER AND SEWER  
Contact Name: Keith Viltzthum  
Contact Phone: 515-290-7512

ALLIANT ENERGY- GAS AND ELECTRIC  
Contact Name: Jenni Kroneman  
Contact Phone: 515-268-3425

HUXLEY COMMUNICATIONS - PHONE/CABLE  
Contact Name: Brant Strumpher  
Contact Phone: 515-203-6716

#### VICINITY MAP

SCALE: 1" = 2000'



#### PROJECT SUMMARY

TOTAL SITE AREA:	9,393 SF, 0.22 ACRES
PROPOSED USE:	COFFEE KIOSK / DRIVE-THRU
BUILDING INFORMATION:	1-STORY BUILDING
TOTAL BUILDING COVERAGE:	633 SF
COFFEE HOUSE AREA:	633 SF
TOTAL STALLS REQUIRED	3 SPACES
TOTAL PARKING PROVIDED INCLUDING 1 ACCESSIBLE STALL	4 SPACES
PRIVATE DRIVES & PARKING:	4,461 SF
SIDEWALKS:	1242 SF (INCLUDES R.O.W.) 273 SF (ON LOT)
COMBINED HARD SURFACE:	5,367 SF (57.1%)
OPEN SPACE INFORMATION:	4,299 SF (45.8%)
GREENSPACE:	4,026 SF (42.9%)
PROPERTY ZONING:	C-2
PROPERTY ADDRESS:	660 N HIGHWAY 69

#### PROPERTY OWNER

MR PROPERTIES, LC  
CHRIS GARDNER  
506 E 1ST ST  
HUXLEY, IOWA 50124

#### DEVELOPER/BUYER

SFAM, LLC  
1102 SIEMER DRIVE  
DENISON, IOWA 51442

#### SHEET LIST TABLE

SHEET NO.	SHEET TITLE	DESCRIPTION
1	CV-1	COVER SHEET
2	DP-1	DIMENSION PLAN
3	GR-1	GRADING & EROSION CONTROL PLAN
4	UP-1	UTILITY PLAN
5	LP-1	LANDSCAPE PLAN
6	DT-1	SITE DETAILS

#### LEGAL DESCRIPTION

LOT 1, BALLARD PLAZA PLAT 2, AN OFFICIAL PLAT, LOCATED IN THE CITY OF HUXLEY, STORY COUNTY, IOWA.

CONTAINING 0.22 ACRES, MORE OR LESS

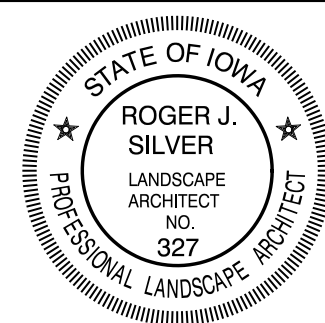
SAID PARCEL IS SUBJECT TO ANY AND ALL RESTRICTIONS, COVENANTS AND EASEMENTS OF RECORD.

#### CONSTRUCTION SCHEDULE

SITE GRADING  
UTILITY INSTALLATION  
PAVING INSTALLATION

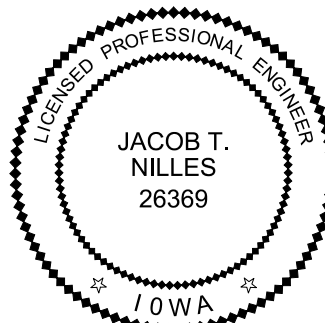
SPRING 2021  
SPRING 2021 - FALL 2021  
SPRING 2021 - FALL 2021

#### CERTIFICATIONS



I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.  
ROGER J. SILVER

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
PAGES OR SHEETS COVERED BY THIS SEAL:  
CV-1, LP-1, DT-1



I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Signature: \_\_\_\_\_ Date \_\_\_\_\_  
Name: Jacob T. Nilles, P.E. No. 26369  
My license renewal date is December 31, 2021  
Pages or sheets covered by this seal: CV-1, DP-1, GR-1, UP-1, DT-1

PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS:  
1) 12/21/2021 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS  
2) 1/10/2022 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS  
3) 1/10/2022 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS  
4) 1/10/2022 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS  
5) 1/10/2022 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS  
6) 1/10/2022 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS  
7) 1/10/2022 - 11 - REVISIONS PER CITY OF HUXLEY COMMENTS

NOTE: NILLES ASSOCIATES, INC. WAIVES ANY AND ALL CLAIMS FOR DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, FROM ANY PARTY WHO MAY SUE NILLES ASSOCIATES, INC. OR ANY OF ITS EMPLOYEES, AGENTS, OR SUBCONTRACTORS, FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY ANY PARTY AS A RESULT OF THE ENGINEERING INTENT OF THIS DOCUMENT, OR FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY ANY PARTY AS A RESULT OF THE ENGINEERING INTENT OF THIS DOCUMENT, OR FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY ANY PARTY AS A RESULT OF THE ENGINEERING INTENT OF THIS DOCUMENT.

SCOOTER'S COFFEE HUXLEY

660 N HIGHWAY 69, HUXLEY, IOWA

COVER SHEET

NAI NO.: 21091  
DATE: 5/24/2021  
DRAWN BY: ADS  
CHECKED BY: JTN  
SHEET SIZE: 24" X 36"  
SHEET TITLE: CV-1  
SHEET NO.: 1/6





REVISIONS:

1.)	2021-06-11 - REVISIONS PER CITY OF HUXLEY COMMENTS
2.)	
3.)	
4.)	
5.)	
6.)	
7.)	

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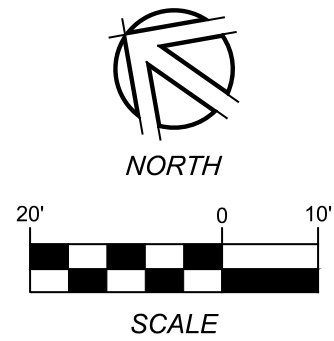
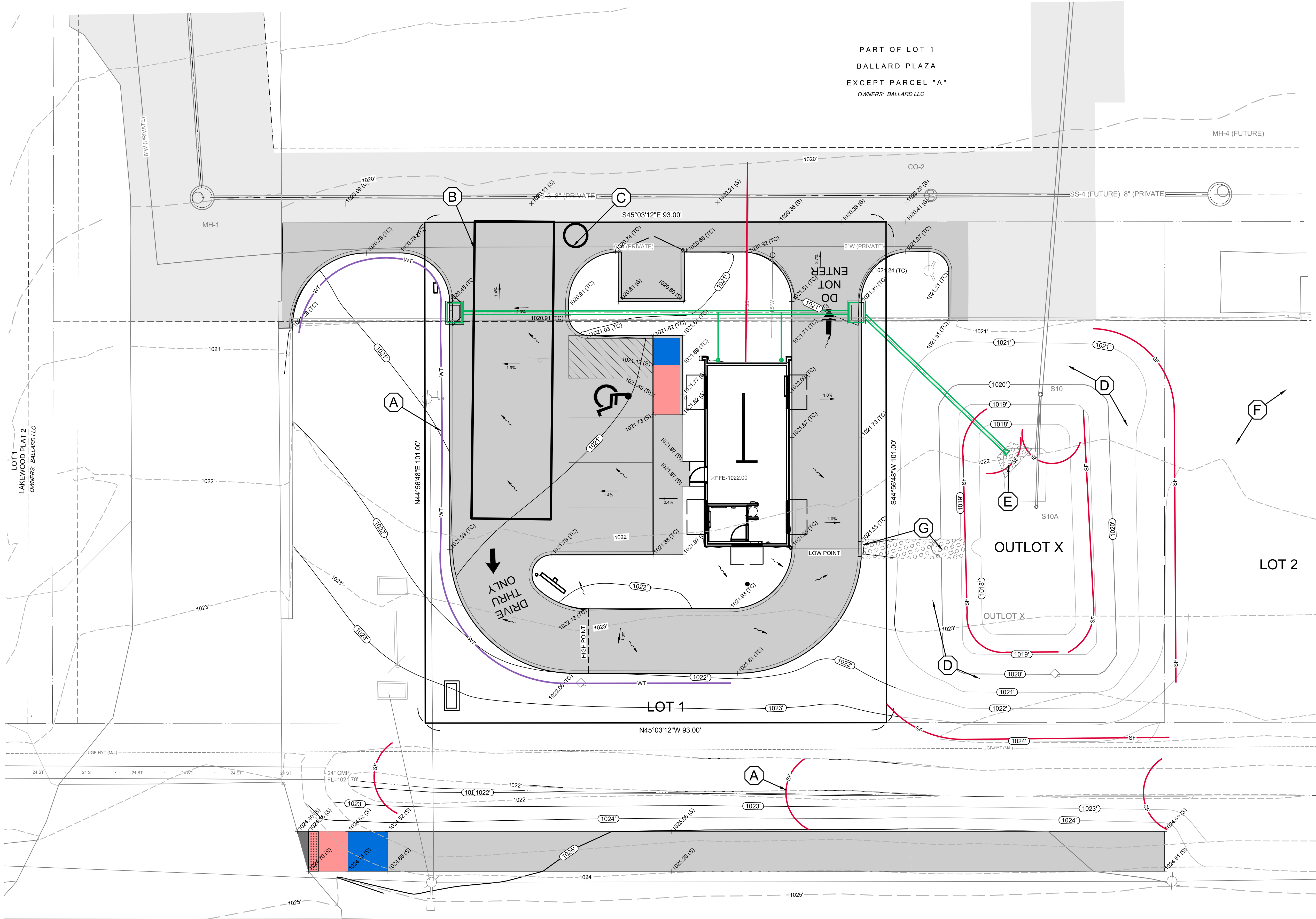
# SCOOTER'S COFFEE HUXLEY

## 660 N HIGHWAY 69, HUXLEY, IOWA

### DIMENSION PLAN

PROJECT NAME:	DESCRIPTION:
NAI NO.:	21091
DATE:	5/24/2021
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	DP-1
SHEET NO.:	2/6





**GRADING PLAN LEGEND**

TC - TOP OF CURB ELEVATION  
S - TOP OF SLAB ELEVATION

- RAMP
- SPECIAL SHAPING
- TURNING SPACE  
MAX 1.5% IN ALL DIRECTIONS

**GENERAL GRADING PLAN NOTES**

- ALL EXTERIOR PAVING AREAS SHALL HAVE 12" DEPTH SUBGRADE PREPARATION. SCARIFY AND COMPACT PER GEOTECHNICAL REPORT EXTENDING 2' BEYOND PAVING LIMITS.

**GRADING PLAN NOTES**

- PROVIDE SILT FENCE AND 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED ----SF---- AND ----WT---- RESPECTIVELY. 1000 LF OF SILT FENCE SHOWN. 50 LF OF WATTLE SHOWN. INSTALL PER SUDAS 9040.
- CONSTRUCTION ENTRANCE - 16' WIDE X 60' LONG X 12" DEPTH STONE.
- CONCRETE WASHOUT AREA.
- REGIONAL DETENTION BASIN BY OTHERS. REFER TO PLANS FOR BALLARD PLAZA PLAT 2 IMPROVEMENTS
- INSTALL FLEXAMAT ARMORING AT OUTLET LOCATION. MATERIAL SHALL BE FLEXAMAT PLUS BY MOTZ ENTERPRISES OR APPROVED EQUAL. FOLLOW MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DETAIL 5 ON SHEET DT-1.
- STOCKPILE LOCATION.
- SLOTTED CURB AND FLEXAMAT FLUME. REFER TO DETAIL 7 ON SHEET DT-1.

PART OF LOT 1  
BALLARD PLAZA  
EXCEPT PARCEL "A"  
OWNERS: BALLARD LLC

LOT 2

LOT 1

OUTLOT X

NORTH US HIGHWAY 69

PRELIMINARY - NOT FOR CONSTRUCTION

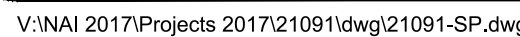
REVISIONS
1) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS
2) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS
3) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS
4) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS
5) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS
6) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS
7) 11/20/2017 - REVISIONS PER CITY OF HUXLEY COMMENTS

NOTES: NILES ASSOCIATES, INC. WAIVES ANY CLAIMS FOR DAMAGES, INCLUDING BUT NOT LIMITED TO, CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS PLAN. THE ENGINEER'S INTENT IS TO PROVIDE A PROFESSIONAL OPINION BASED ON THE INFORMATION PROVIDED. THE ENGINEER DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE, ACCURATE, OR THAT THE PLAN WILL BE CONSIDERED A FINAL DESIGN. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED. THE ENGINEER'S LIABILITY DOES NOT EXTEND TO ANY OTHER SERVICES PROVIDED BY THE ENGINEER OR ANY OTHER PERSONS. THE ENGINEER'S LIABILITY DOES NOT EXTEND TO ANY OTHER PERSONS. THE ENGINEER'S LIABILITY DOES NOT EXTEND TO ANY OTHER PERSONS.

PROJECT NAME: SCOOTER'S COFFEE HUXLEY  
600 N. HIGHWAY 69, HUXLEY, IOWA  
GRADING & EROSION CONTROL PLAN

NAI NO.	21091
DATE	5/24/2021
DRAWN BY	ADS
CHECKED BY	JTN
SHEET NO.	24" X 36"
SHEET TITLE	GR-1
SHEET NO.	3/6





NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
ST-2	8" PVC	40 LF	0.60%	1017.04	1016.80
ST-3	8" PVC	83 LF	0.60%	1017.64	1017.14

## UTILITY PLAN NOTES

1. REFER TO PLANS FOR PUBLIC IMPROVEMENTS FOR BALLARD PLAZA PLAT 2 FOR SANITARY SEWER AND WATER MAIN DETAILS.
2. INSTALL ARCH PATTERN WATER CURB STOP BOX WITH STAINLESS STEEL ROD AND EXTEND 1-1/2" WATER SERVICE INTO BUILDING AT A MINIMUM DEPTH OF 5.5". INSTALL WATTS RPZ BACKFLOW ASSEMBLY ON WATER SERVICE. SERVICE MATERIAL SHALL BE COPPER FROM THE WATER MAIN TO THE METER. STAMP "W" ON CURB WHERE SERVICE CROSSES. REFER TO BUILDING MEP PLANS FOR DETAILS.
3. SANITARY SEWER
  - 3.1. INSTALL SANITARY SEWER SERVICE PER SUDAS 4010 AT A MINIMUM SLOPE OF 2.0%. MATERIAL SHALL BE SDR 23.5 PVC. INSTALL TRACER WIRE ALONG SANITARY SEWER AND LOOP WIRE DOWN SERVICE. TERMINATE TRACER WIRE USING FLUSH MOUNTED TRACER WIRE BOX DRAINAGE & WATER SOLUTIONS FIGURE NO. TWAB. STAMP "S" ON CURB WHERE SERVICE CROSSES.
  - 3.2. INTERNAL SCHIER GB2 GREASE INTERCEPTOR.
  - 3.3. INSTALL SERVICE RISER OFF MAIN.
  - 3.4. CRITICAL CROSSING. MAINTAIN 18" OF SEPARATION BELOW STORM SEWER WITH 6" SANITARY SERVICE. INV STORM - 1017.25
4. BASIN OUTLET STORM SEWER BY OTHERS. COORDINATE PARKING LOT PAVEMENT REMOVAL WITH OWNER DURING PUBLIC IMPROVEMENT UTILITY INSTALLATION.
5. ELECTRIC SERVICE LOCATION. COORDINATE SERVICE LOCATION WITH ALLIANT ENERGY.
6. INSTALL FLEXAMAT AT OUTLET LOCATION. MATERIAL SHALL BE FLEXAMAT PLUS BY MOTZ ENTERPRISED OR APPROVED EQUAL.
7. ROOF DOWNSPOUT

**PRELIMINARY - NOT FOR CONSTRUCTION**

REVISIONS:  
1.) 06-11 - REVISIONS PER CITY OF HUXLEY COMMENTS

DE: NILES ASSOCIATES, INC. WAIVES ANY  
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PROBLEMS WHICH ARISE FROM FAILURE TO  
LOW THESE PLANS, SPECIFICATIONS, AND  
ENGINEERING INTENT THEY CONVEY, OR  
PROBLEMS WHICH ARISE FROM FAILURE  
OBTAIN AND/OR FOLLOW THE ENGINEER'S  
ADVANCE WITH RESPECT TO ANY ERRORS,  
OMISSIONS, INCONSISTENCIES, AMBIGUITIES  
OR CONFLICTS WHICH ARE ALLEGED.

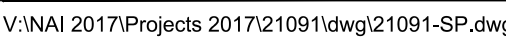
SCOOTER'S COFFEE HUXLEY  
660 N HIGHWAY 69, HUXLEY, IOWA

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UTILITY PLAN

PROJECT NAME:	DESCRIPTION:
NAI NO.: 21091	
DATE: 5/24/2021	
DRAWN BY: ADS	
CHECKED BY: JTN	
SHEET SIZE: 24" X 36"	
SHEET TITLE: UP-1	
SHEET NO.: 4/6	





1. ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9- SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SDUS), OMITTING PARTS 2.06 AND 3.08 (TREE TRIMMING) AND SUBJECT TO THE FOLLOWING NOTES.
2. NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
3. PLANTINGS SHALL MEET THE MINIMUM SPECIES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
4. ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
6. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
7. ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED OR SODDED AS DIRECTED BY THE PLAN.
8. SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9- SECTION 9020 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SDUS);
9. LAWN SEEDINGS SHALL BE IN ACCORDANCE WITH DIVISION 9- SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SDUS). TYPE I PERMANENT LAWN SEED SHALL BE APPLIED PRIOR TO HYDRAULICALLY APPLIED BFM MULCH.
10. ALL PLANTING AREAS SHALL HAVE A PRE-EMERGENT SUCH AS "PREEN" OR APPROVED GOLD HERBICIDE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER PLANTING AND ROCK PLACEMENT.

## TREES & SHRUBS

Key	Common / Scientific name	Minimum Size	No.	Root Comment
JL	Japanese Tree Lilac <i>Syringa reticulata</i>	1 1/2' Caliper	1	B&B or Container
FC	Golden Mop Threaxdleaf False Cypress <i>Chamaecyparis platensis 'Golden Mop'</i>	18-24" Height	1	Container
BJ	Blue Chip Juniper <i>Juniperus horizontalis 'Blue Chip'</i>	12-15" Height	2	Container
LD	Little Devil Ninebark <i>Physocarpus opulifolius 'Diana May' LITTLE DEVIL</i>	12-18" Height	3	Container
AP	Abbotswood Potentilla - Shrubby Cinquefoil <i>Potentilla fruticosa 'Abbotswood'</i>	18-24" Height	8	Container
KV	Dense 'New York' Spirea <i>Spiraea x media 'New York'</i>	18-24" Height	1	Container
TY	Twice as Large Koreanopsis Viburnum <i>Viburnum celtense 'N.Y. Select 2'</i>	18-24" Height	1	Container

A. PLANTING BEDS AS SHOWN SHALL HAVE 1-2" DIAMETER RIVER ROCK AT 2-3" DEPTH PLACED OVER A WATER PERMEABLE WEED BARRIER.

Diagram illustrating the planting method for a tree, showing the root ball, trunk base, and mulch application. The diagram includes the following labels and instructions:

- ALL MATERIALS AS SPECIFIED
- DO NOT CUT OR DAMAGE LEADER
- PLACE SHREDDED MULCH @ 4" DEPTH TO COVER BACKFILLED SOIL 24" FROM TRUNK
- TRUNK BASE (ROOT FLARE) SHALL NOT BE BELOW FINISHED GRADE AFTER SETTLING.
- PLANTING SOIL BACKFILL
- ROOT BALL - REMOVE CONTAINER OR CUT ALL CHORDS & UNCOVER TOP
- ROOT BALL PLUS 24"
- MINIMUM HOI F WIDTH

L-1 NO SCALE

(L-2) NO SCALE

**PRELIMINARY - NOT FOR CONSTRUCTION**

NOTICE: ALL RESPONSIBILITIES AND LIABILITIES ARE ASSIGNED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

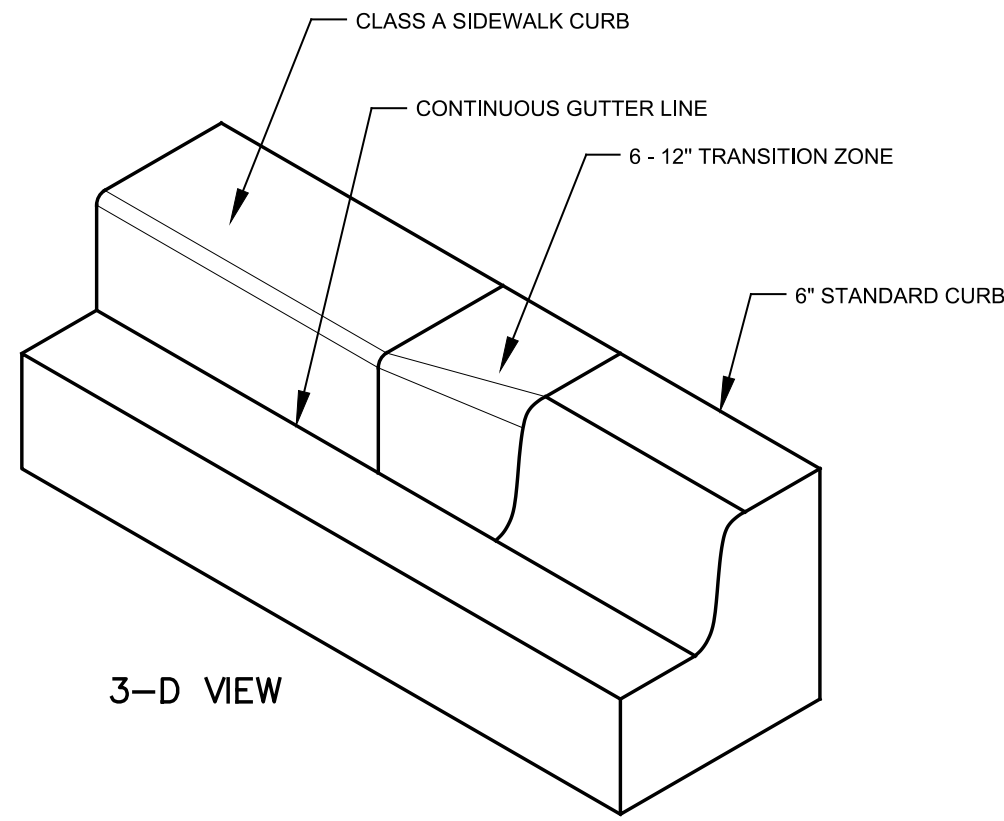
SCOOTER'S COFFEE HUXLEY  
660 N HIGHWAY 69, HUXLEY, IOWA

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LANDSCAPE PLAN

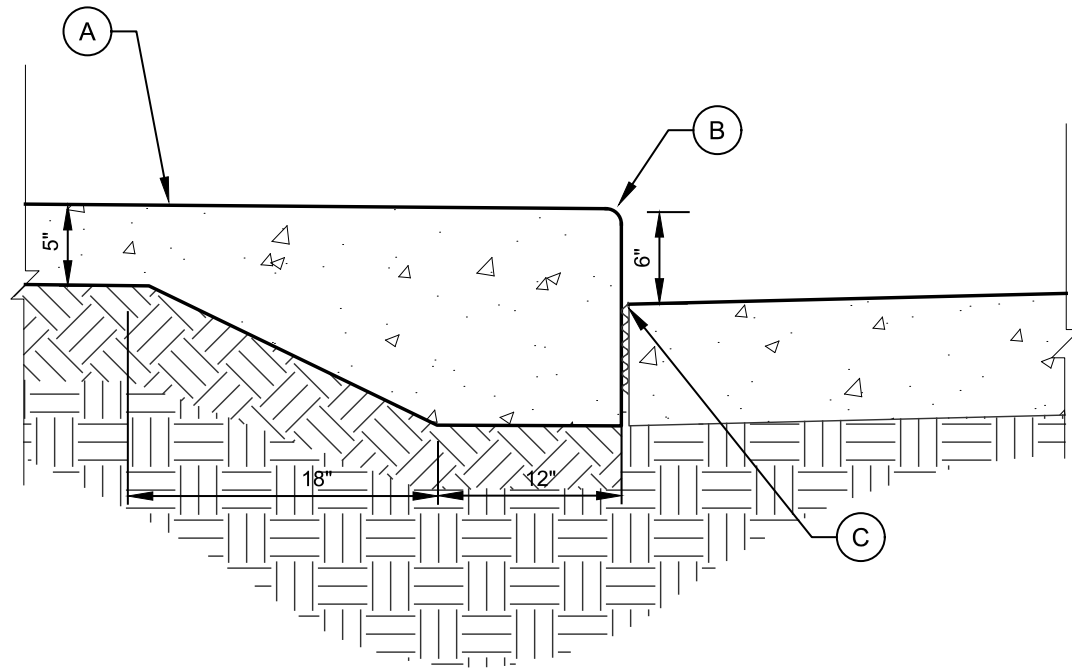
NAI NO.:	21091
DATE:	5/24/2021
DRAWN BY:	TNB
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	LP-1
SHEET NO.:	5/6





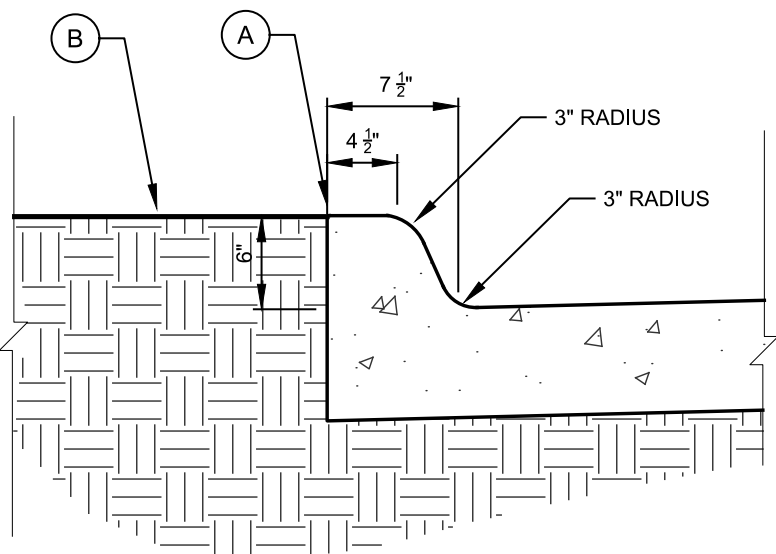
3-D VIEW

1 CURB TRANSITION FROM STANDARD TO CLASS A SIDEWALK  
DT-1



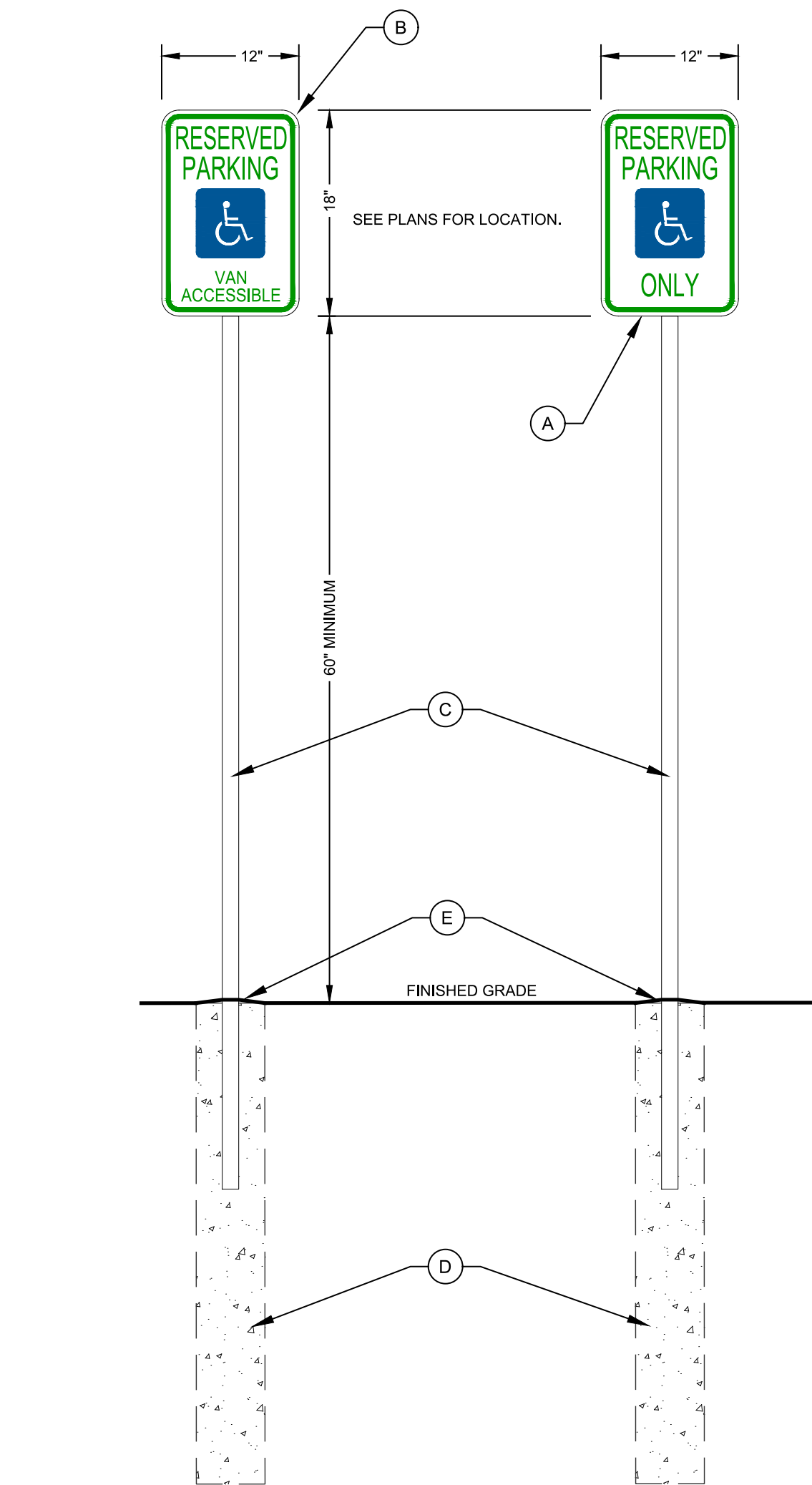
- A P.C.C. SIDEWALK  
B 1" RADIUS  
C SEALED EXPANSION JOINT

2 CLASS A SIDEWALK CURB  
DT-1



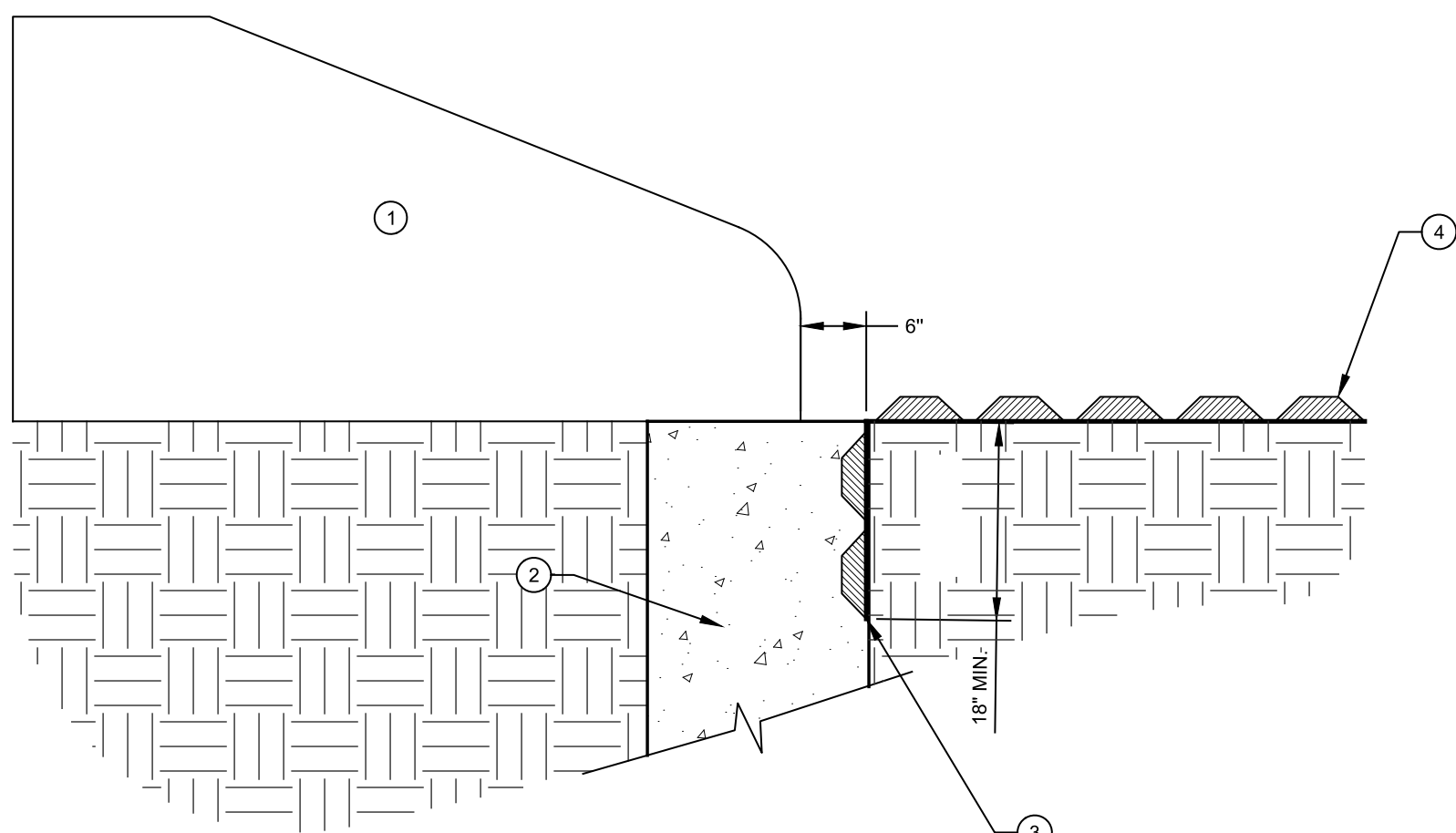
- A BACK / TOP OF CURB  
B GRADE VARIES REFER TO GRADING PLANS

3 6" INTEGRAL STANDARD CURB  
DT-1



- A STANDARD PARKING SIGNS COMPLIANT WITH ADA ACCESSIBILITY GUIDELINES (ADAAG). REFER TO PLAN FOR LOCATION.  
B VAN ACCESSIBLE PARKING SIGNS COMPLIANT WITH ADA ACCESSIBILITY GUIDELINES (ADAAG). REFER TO PLAN FOR LOCATION.  
C 2" DIAMETER GALVANIZED STEEL POSTS - EMBED INTO FOOTING A MINIMUM OF 12"  
D 8" DIAMETER CONCRETE FOOTINGS 42" BELOW FINISHED GRADE..  
E SLOPE TOP OF FOOTING 1/4" FROM POST TO PERIMETER.

4 ACCESSIBLE PARKING SIGNS  
DT-1

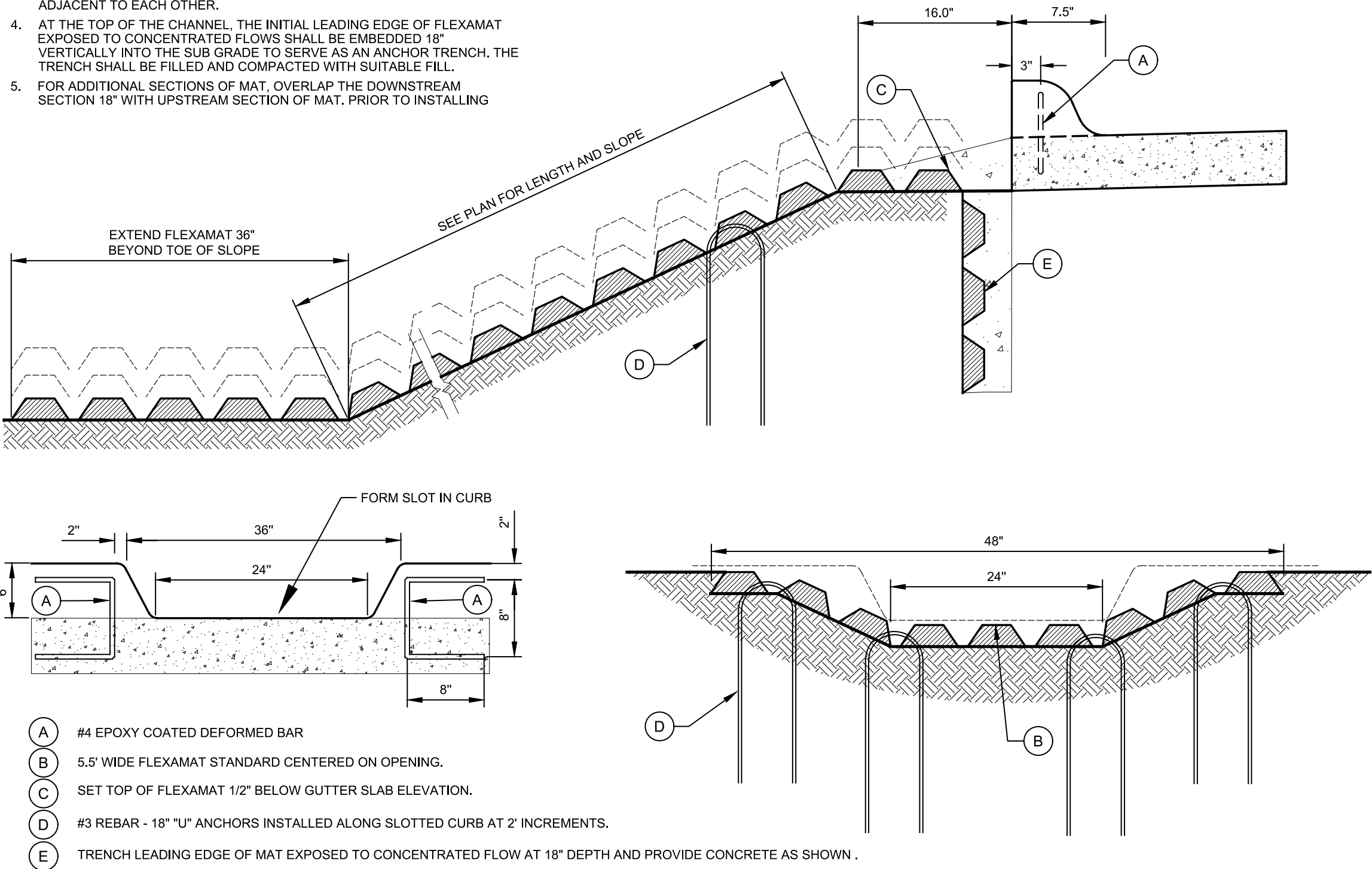


- 1 FLARED END SECTION.  
2 FOOTING  
3 FLEXAMAT - LEADING EDGE TO BE TUCKED INTO TRENCH PRIOR TO POURING FOOTING.  
4 FOLLOW FLEXAMAT MANUFACTURERS INSTRUCTIONS AND DETAILS FOR ANCHORING, OVERLAP AND ALL OTHER ASPECTS OF INSTALLATION.

5 FLEXAMAT AT FLARED END SECTION DETAIL  
DT-1

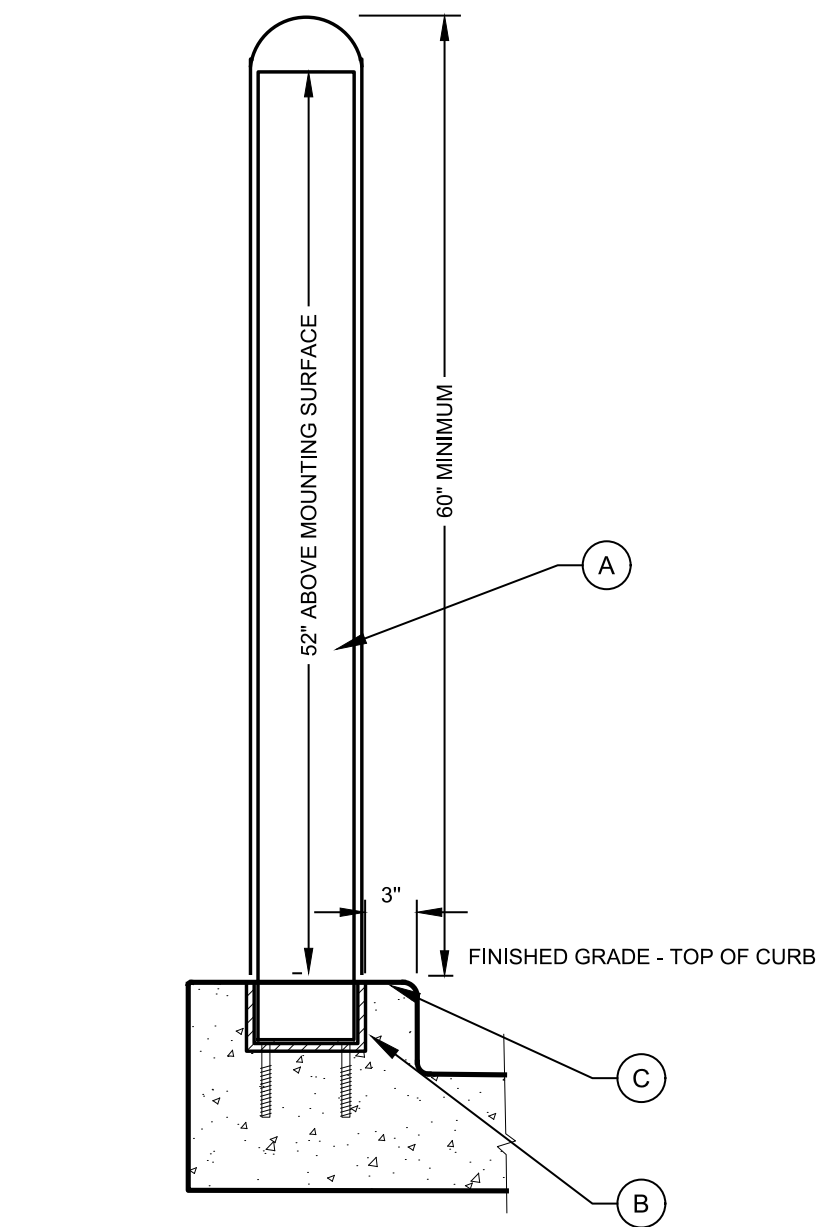
FLEXAMAT PLUS FLUME CONSTRUCTION NOTES:

- GRADE CHANNEL SO THAT WATER WILL FLOW DOWN THE CENTER OF THE CHANNEL AND BE CONTAINED TO THE CHANNEL. ALL SUBGRADE SURFACES PREPARED FOR PLACEMENT OF MATS SHALL BE SMOOTH AND FREE OF ALL ROCKS, STICKS, ROOTS, OTHER PROTRUSIONS, OR DEBRIS OF ANY KIND. THE PREPARED SURFACE SHALL PROVIDE A FIRM UNYIELDING FOUNDATION FOR THE MATS.
- APPLY NATIVE WET SEED MIX DIRECTLY TO THE PREPARED SOIL PRIOR TO FLEXAMAT INSTALLATION. USE SEED PER PROJECT SPECIFICATIONS.
- INSTALL FLEXAMAT PLUS ROLLS. AVAILABLE WIDTHS ARE 4', 5.5', 8', 10', 12', & 16' AVAILABLE IN CUSTOM LENGTHS. FOR WIDER WIDTHS, INSTALL MATS ADJACENT TO EACH OTHER.
- AT THE TOP OF THE CHANNEL, THE INITIAL LEADING EDGE OF FLEXAMAT EXPOSED TO CONCENTRATED FLOWS SHALL BE EMBEDDED 18" VERTICALLY INTO THE SUB GRADE TO SERVE AS AN ANCHOR TRENCH. THE TRENCH SHALL BE FILLED AND COMPACTED WITH SUITABLE FILL.
- FOR ADDITIONAL SECTIONS OF MAT, OVERLAP THE DOWNSTREAM SECTION 18" WITH UPSTREAM SECTION OF MAT, PRIOR TO INSTALLING
- OVERLAP, FLIP UPSTREAM MAT BACK 24". EXCAVATE 2.25" OF SOIL 18" FROM END OF UPSTREAM MAT. DOWNSTREAM SECTION IS LAID IN THE SHALLOW TRENCH, LIGHTLY SPREAD TOPSOIL OVER INITIAL LEADING EDGE, FLIP END OF UPSTREAM MAT OVER THE SOIL COVERED INITIAL LEADING EDGE OF DOWNSTREAM MAT.
- INSTALL 18" "U" ANCHORS IN 2' INCREMENTS ACROSS THE OVERLAP. INSTALL ANCHORS DIRECTLY BEHIND BLOCKS. "U" ANCHORS CONSIST OF #3 REBAR "U" ANCHOR WITH 18" LEGS.



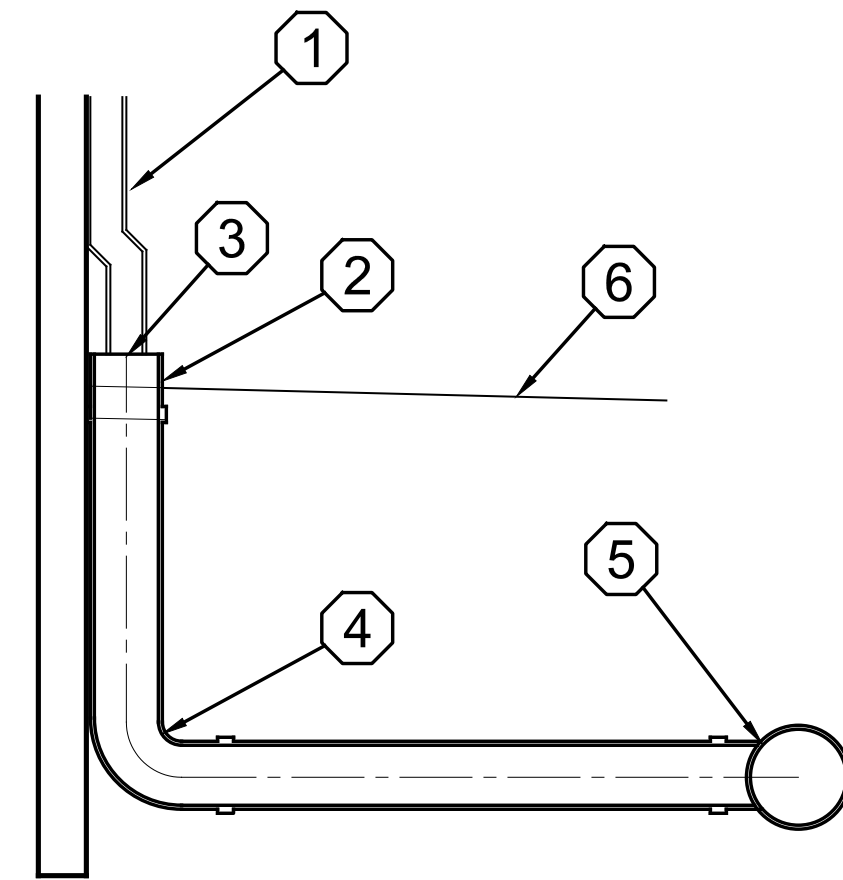
- A #4 EPOXY COATED DEFORMED BAR  
B 5.5' WIDE FLEXAMAT STANDARD CENTERED ON OPENING.  
C SET TOP OF FLEXAMAT 1/2" BELOW GUTTER SLAB ELEVATION.  
D #3 REBAR - 18" "U" ANCHORS INSTALLED ALONG SLOTTED CURB AT 2' INCREMENTS.  
E TRENCH LEADING EDGE OF MAT EXPOSED TO CONCENTRATED FLOW AT 18" DEPTH AND PROVIDE CONCRETE AS SHOWN .

7 36" SLOTTED CURB AND FLEXAMAT FLUME.  
DT-1



- A 6" DIAMETER SCHEDULE 40 STEEL BOLLARD WITH HIDDEN BASE PLATE AND PRIMED FINISH. COVER WITH LOPE THERMOPLASTIC BUMPER POST SLEEVE IN YELLOW COLOR SUCH AS IDEAL SHIELD 1/2" DOME TOP BOLLARD COVER #BPD-YL-6-60-S OR APPROVED EQUAL.  
B FOLLOW MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION AND MOUNTING. IDEAL SHIELD HIDDEN BASE PLATE IS 6" DIAMETER WITH 5 BOLT HOLES THAT MUST BE EMBEDDED OR CORE DRILLED INTO CURB.  
C MINIMUM OF 3" CONCRETE BETWEEN FACE OF CURB AND HIDDEN BASE PLATE. BOLLARD IS LOCATED AT SPECIAL WIDENED CURB SECTION.

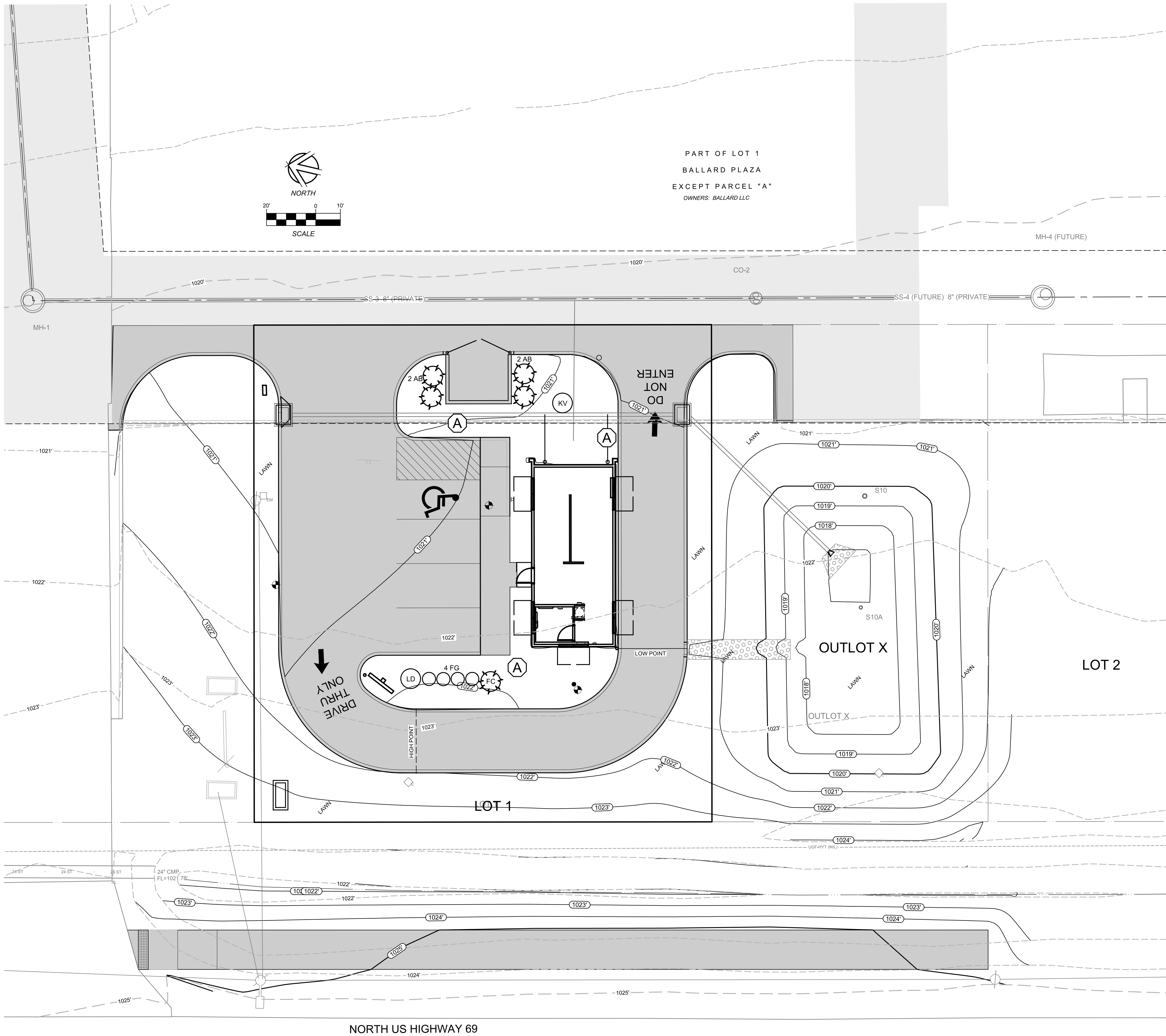
6 6" PROTECTION BOLLARD  
DT-1



1. EXTERIOR DOWNSPOUT ASSEMBLY, DIRECT TO CENTER OF RISER  
2. 6" PVC RISER, EXTEND 4" ABOVE FINISHED GRADE  
3. DOWNSPOUT TO EXTEND INTO RISER  
4. 90° BEND (8" PVC)  
5. INSTALL INSERTATEE (OR APPROVED EQUAL) ON MAIN STORM SEWER  
6. FINISHED GRADE

8 DOWNSPOUT CONNECTION  
DT-1





GENERAL LANDSCAPING NOTES

- ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9-SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.06 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES.
- NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
- PLANTINGS SHALL MEET THE MINIMUM SIZES LISTED UNLESS LARGER CALIPER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
- ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
- PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE TIME OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTION.
- ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED OR SODDED AS DIRECTED BY THE PLAN.
- SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9020 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS).
- LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). TYPE 1 PERMANENT LAWN SEED SHALL BE APPLIED PRIOR TO HYDRAULICALLY APPLIED 8PM MULCH.
- ALL PLANTING AREAS SHALL HAVE A PRE-EMERGENT SUCH AS 'PREEN' OR APPROVED EQUAL HERBICIDE SHALL BE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER PLANTING AND ROCK PLACEMENT.

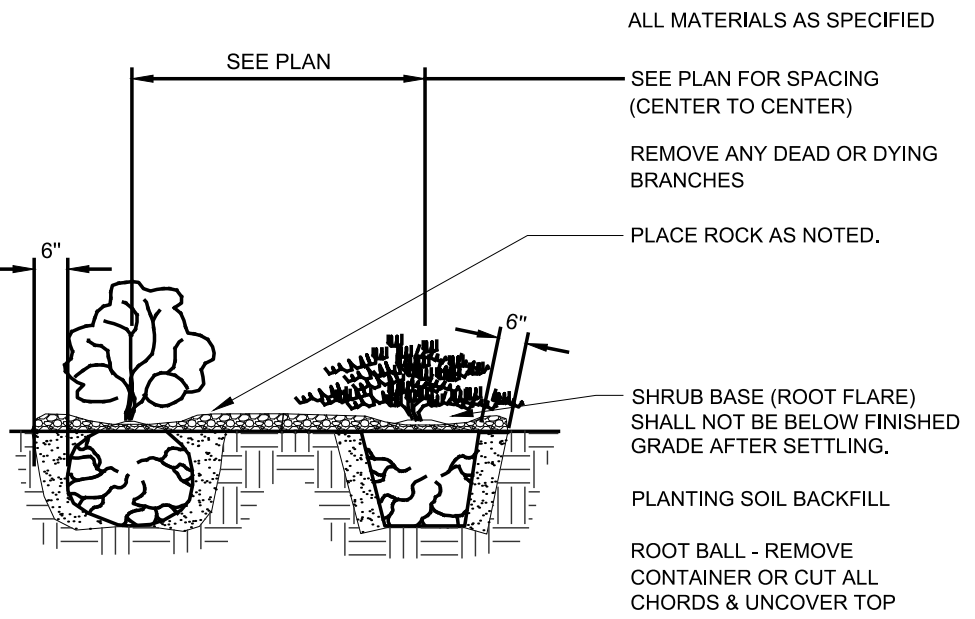
PLANTING SCHEDULE

TREES & SHRUBS				
Key	Common / Scientific name	Minimum Size	No.	Root Comment
FC	Golden Mop Threadleaf False Cypress <i>Chamaecyparis platensis 'Golden Mop'</i>	18-24" Height	1	Container
LD	Little Devil Ninebark <i>Physocarpus opulifolius 'Little Devil'</i>	15-18" Height	1	Container
FG	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Handel'</i>	15-18" Height	4	Container
AB	Little Giant Dwarf Arborvitae <i>Thuja x media 'Densiformis'</i>	15-18" Height	4	Container
KV	Spice Island Korean Spice Viburnum <i>Viburnum cedasi 'N.J. Select 2'</i>	18-24" Height	1	Container

LANDSCAPE PLAN NOTES

- A. PLANTING BEDS AS SHOWN SHALL HAVE 1-2" DIAMETER RIVER ROCK AT 2-3" DEPTH PLACED OVER A WATER PERMEABLE WEED BARRIER.

LANDSCAPE DETAILS



L-2 SHRUB PLANTING  
NO SCALE

PRELIMINARY - NOT FOR CONSTRUCTION

1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023-2555  
(515) 965-0123 phone • (515) 965-3322 fax  
Civil Engineering • Land Surveying  
Landscape Architecture

**NILLES ASSOCIATES**

REVISIONS:	
1.	1.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS
2.	2.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS
3.	3.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS
4.	4.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS
5.	5.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS
6.	6.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS
7.	7.1.2021 2.05.11 - REVISIONS PER CITY OF HUXLEY COMMENTS

NOTE: NILLES ASSOCIATES, INC. MAKES ANY AND ALL WARRANTIES, EXPRESS OR IMPLIED, REGARDING THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE ENGINEER'S INTENT IS TO PROVIDE A PROFESSIONAL OPINION BASED ON THE INFORMATION PROVIDED. THE ENGINEER DOES NOT WARRANT THAT THE INFORMATION IS COMPLETE, ACCURATE, OR THAT IT WILL BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PROVIDED. THE ENGINEER ASSUMES NO LIABILITY FOR ANY OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

SCOOTER'S COFFEE HUXLEY  
600 N. HIGHWAY 69, HUXLEY, IOWA  
LANDSCAPE PLAN

PROJECT NAME	NAIL NO.	21091
DATE	5/24/2021	
DRAWN BY	TNB	
CHECKED BY	JTN	
SHEET SIZE	24" X 36"	
SHEET TITLE	LP-1	
SHEET NO.	5/6	



**VEENSTRA & KIMM, INC.**

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

June 14, 2021

Rita Conner  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

[rconner@huxleyiowa.org](mailto:rconner@huxleyiowa.org)

HUXLEY, IOWA  
SCOOTER'S COFFEE  
SITE PLAN REVIEW

We have reviewed the revised site plan for Scooter's Coffee for conformance with the City of Huxley's site plan ordinance and find it acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Forrest S. Aldrich".

Forrest S. Aldrich

FSA:kld  
45229-064

cc: Jeff Peterson, City of Huxley (e-mail)  
Keith Vitzthum, City of Huxley (e-mail)  
Mat Kahler, City of Huxley (e-mail)  
A.J. Strumpfer, City of Huxley (e-mail)  
Chris Gardner, Bella Homes (e-mail)  
Adam Schoeppner, Nilles Associates (e-mail)

# **PLANNING & ZONING COMMUNICATION**

## **AGENDA HEADINGS:**

Ballard Plaza Plat 2 Private Utility Improvements and Ballard Plaza Plat 2 Final Plat

## **SUBMITTED BY**

Rita Conner, City Administrator

## **SYNOPSIS:**

MR. Properties, LC (Chris Gardner 506 East 1<sup>st</sup> Street Huxley, Iowa 50124) has submitted private utility improvements and a final plat for Ballard Plaza Plat 2. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

Private utility improvements will be extended to serve Scooter's Coffee and the .22 acre site will be sold to SFAM, LLC.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION:**

- The owner plans additional improvements for the Ballard Plaza property following the construction of the coffee shop.
- Staff is working with the owner on the tenant improvements and exterior façade improvements for the buildings.

## **CITY ADMINISTRATOR COMMENTS: NO**

## **BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: NO**

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES**

- June 22 City Council review
- Completion of improvements
- Rehabilitation of Ballard Plaza buildings



# BALLARD PLAZA PLAT 2

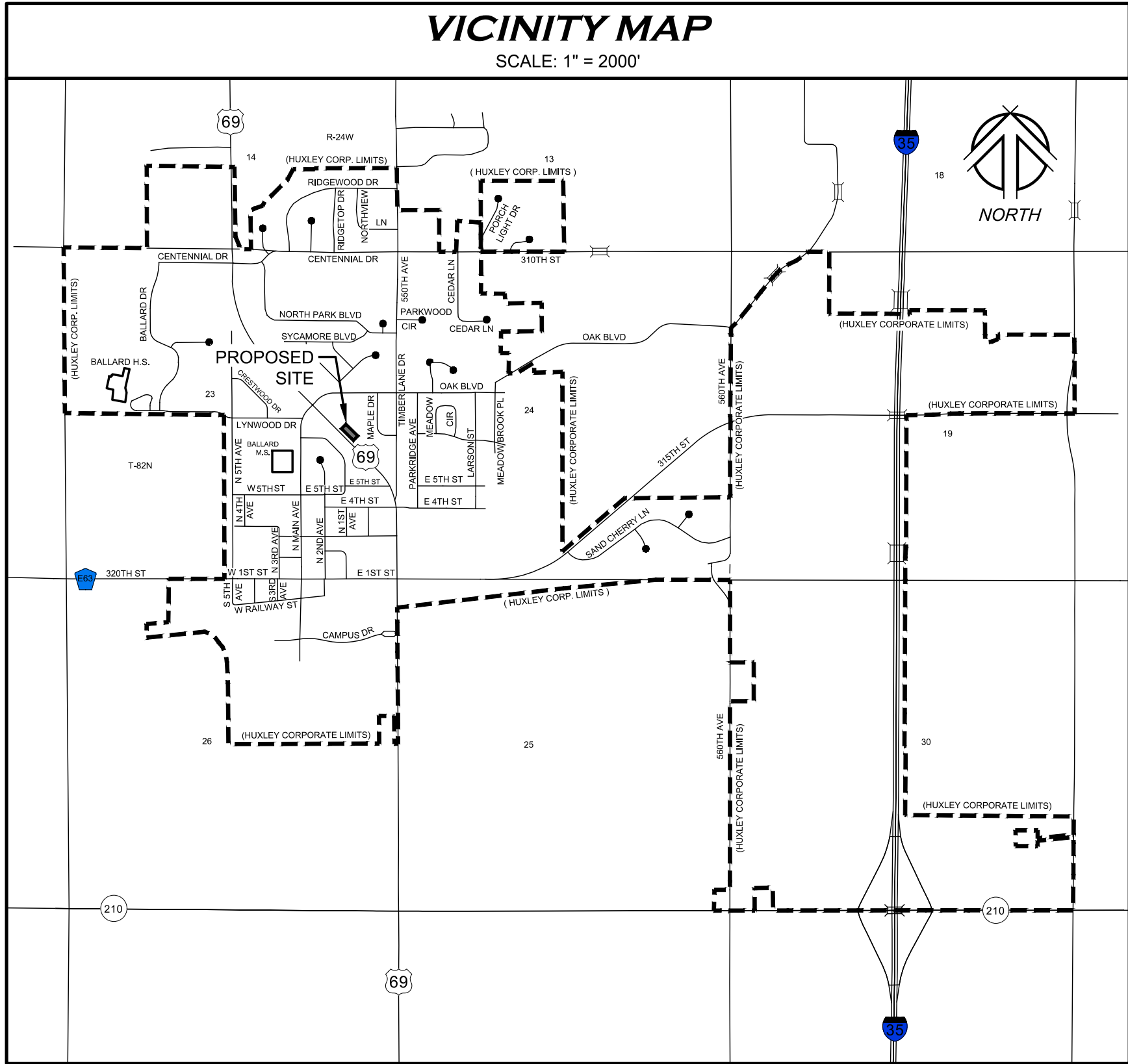
## HUXLEY, IOWA

### SITE IMPROVEMENTS

### NAI #21064

GENERAL NOTES		
ITEM NO.	REFERENCE	DESCRIPTION
GN		GENERAL NOTE NO.1 REPORT ANY ERRORS OR AMBIGUITIES IN CONTRACT DOCUMENTS TO ENGINEER AS SOON AS DETECTED. ENGINEER WILL ANSWER ALL QUESTIONS REGARDING PLANS AND SPECIFICATIONS AND INTERPRET INTENDED MEANING OF CONTRACT DOCUMENTS. ENGINEER'S INTERPRETATION TO BE ACCEPTED AS FINAL.
GN		GENERAL NOTE NO.2 DURING THE PROGRESS OF THE WORK, IF SUBSURFACE OR LATENT PHYSICAL CONDITIONS ARE ENCOUNTERED AT THE SITE DIFFERING MATERIALLY FROM THOSE INDICATED ON THE PLANS, OR IF UNKNOWN PHYSICAL, CULTURAL, AND/OR ENVIRONMENTAL CONDITIONS OF AN UNUSUAL NATURE ARE ENCOUNTERED AT THE SITE, THE PARTY DISCOVERING SUCH CONDITIONS SHALL PROMPTLY NOTIFY THE CITY OF ANKENY, NILLES ASSOCIATES, AND DRA PROPERTIES BEFORE THE SITE IS FURTHER DISTURBED.
GN		GENERAL NOTE NO.3 PROTECT ALL EXISTING STRUCTURES, EQUIPMENT, PIPING, SLABS AND UTILITIES DURING ALL CONSTRUCTION OPERATIONS UNLESS NOTED OTHERWISE. DAMAGE FROM CONSTRUCTION OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT. IF SUCH DAMAGE OCCURS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
GN		GENERAL NOTE NO.4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THEIR WORK WITH ALL UTILITY COMPANIES SO THAT THEY ARE AWARE OF THEIR SCHEDULES AND CAN LOCATE, PROTECT, OR RELOCATE ANY OF THEIR FACILITIES AS NECESSARY.
GN		GENERAL NOTE NO.5 CONTRACTOR SHALL COMPLETELY REMOVE ALL DEBRIS FROM THE WORK SITE. PRIOR TO SUBSTANTIAL COMPLETION OF PROJECT, REPRESENTATIVES OF THE CITY OF HUXLEY AND NILLES ASSOCIATES SHALL CONDUCT A THOROUGH INSPECTION. ANY ACTIVITIES REQUIRED BY THE CONTRACTOR TO COMPLETE ADDITIONAL CLEANUP SHALL BE AT THE CONTRACTOR'S EXPENSE, WITH NO EXTENSION OF THE CONTRACT TIME.
GN		GENERAL NOTE NO.6 PROTECT EXISTING DRAINAGE TILE LINES ENCOUNTERED DURING CONSTRUCTION. NOTIFY ENGINEER AND CITY WHEN SUCH LINES ARE ENCOUNTERED. MAKE REPAIRS TO LINES DAMAGED BY CONSTRUCTION ACTIVITIES AS DIRECTED BY ENGINEER. ANY TILE LINES ENCOUNTERED ABOVE THE ELEVATION OF THE PROPOSED STORM SEWER SYSTEM SHALL BE CONNECTED TO THE SYSTEM AT THE NEAREST POINT OF INTERSECTION. DOCUMENT LOCATION OF SAID LINES AND REPAIRS NECESSARY FOR INCLUSION IN FINAL PROJECT RECORD DOCUMENTS.
GN		GENERAL NOTE NO.7 EXCEPT AS NOTED, FOR EACH BID ITEM, REFER TO THE LISTED SECTION WITHIN THE 2021 EDITION OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SPECIFICATIONS MANUAL) FOR PAYMENT AND MEASUREMENT INFORMATION. (i.e. PAYMENT AND MEASUREMENT FOR REFERENCE NUMBER 0000-108-D-1 WOULD BE FOUND IN SUDAS SPECIFICATION SECTION 9040, PART 1.08.D.1.) REFER TO THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS FOR ANY LOCAL AMENDMENTS TO SUDAS WHICH SHOULD BE APPLIED TO THIS PROJECT.
GN		GENERAL NOTE NO.8 ANY WORK, MATERIALS, EQUIPMENT OR LABOR REQUIRED TO COMPLETE THE WORK DESCRIBED WITHIN THIS CONTRACT, WHICH IS NOT DIRECTLY IDENTIFIED WITHIN A CONTRACT BID ITEM (EITHER AS PART OF THE ORIGINAL BID DOCUMENTS, ADDENDA OR CHANGE ORDER AUTHORIZED BY ENGINEER) SHALL BE CONSIDERED INCIDENTAL TO THE WORK, AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR WITHIN OTHER PROJECT COSTS.
GN		GENERAL NOTE NO.9 A CONSTRUCTION OBSERVER SHALL BE ASSIGNED BY THE OWNER TO REVIEW THE PROJECT. THE OBSERVER MAY BE PRESENT ON-SITE DURING PERFORMANCE OF ANY WORK AND SHALL ATTEND ANY ON-SITE MEETING RELEVANT TO COMPETITION OF SAID WORK. WORK, DURING OTHER THAN NORMAL CONSTRUCTION OBSERVATION HOURS, MAY BE ALLOWED IF SCHEDULED 48-HOURS IN ADVANCE WITH THE ASSIGNED CONSTRUCTION OBSERVER AND ONLY AS APPROVED BY ENGINEER (AT THE DIRECTION OF THE ENGINEER).

REFERENCE NOTES		
3.01	3010-108-F-0	SECTION 3010 - TRENCH EXCAVATION AND BACKFILL  TRENCH COMPACTION TESTING THE CONTRACTOR WILL BE PAID FOR BID ITEM AS PER SUDAS SECTION 3010. RESULTS OF TESTS SHALL BE MADE AVAILABLE TO ENGINEER AS SOON AS THEY ARE AVAILABLE. ENGINEER MAY STOP WORK AT ANY POINT IF THEY BELIEVE TESTING IS NOT OCCURRING OR RESULTS ARE NOT BEING PROVIDED WITHIN A REASONABLE PERIOD, AS CONSTRUCTION PROGRESSES. NO EXTENSION OF THE WORK PERIOD SHALL BE PROVIDED FOR TIME LOST DURING SUCH A WORK STOPPAGE.
		SECTION 4010 - SANITARY SEWERS
4.01	4010-108-A-1	SANITARY SEWER GRAVITY MAIN, TRENCHED, TRUSS WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 4010. THE WORK INCLUDES TELEVISION PER SUDAS SECTION 4060. TRACER WIRE ALONG PIPE AND FLUSH MOUNTED TRACER WIRE BOX (DRAINAGE & WATER SOLUTIONS FIGURE NO. TW4B) ARE REQUIRED AT TERMINATIONS. ALL TRACER WIRE CONNECTIONS SHALL BE MADE WITH 3M SCOTCHPLAST SPLICE ENGAPULATION KIT 3832.
4.02	4010-108-E-0	SANITARY SEWER SERVICE STUB, PVC, 6-INCH WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 4010. STUB SHALL BE MARKED BY A 4 FT. TALL 2" X 4" WOOD BOARD MARKED WITH GREEN PAINT.
		SECTION 4020 - STORM SEWERS
4.03-4.05	4020-108-A-1	STORM SEWER, TRENCHED WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 4020. THE WORK INCLUDES TELEVISION PER SUDAS SECTION 4060.
		SECTION 5010 - PIPE AND FITTINGS
5.01	5010-108-A-1	WATER MAIN, TRENCHED, C-900 PVC WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5010. FLEXIBLE O-RING GASKET JOINTS SHALL BE INSTALLED ON THE STORM SEWER PIPE AT WATER MAIN CROSSING LOCATIONS PER SUDAS SECTION 5010. TRACER WIRE ALONG PIPE AND FLUSH MOUNTED TRACER WIRE BOX (DRAINAGE & WATER SOLUTIONS FIGURE NO. TW4B) ARE REQUIRED AT TERMINATIONS. ALL TRACER WIRE CONNECTIONS SHALL BE MADE WITH 3M SCOTCHPLAST SPLICE ENGAPULATION KIT 3832.
5.02-5.04	5010-108-C-1	FITTING, DIP WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5010. ALL WATER MAIN FITTINGS SHALL BE LEFT EXPOSED UNTIL THE ENGINEER CAN RECORD AS-BUILT LOCATIONS.
5.05	5010-108-D-0	WATER SERVICE STUBS, 1- 1/2" IN. DIA. WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5010. SERVICE MATERIAL SHALL BE COPPER FROM WATER MAIN TO METER. STOP BOX SHALL BE ARCH PATTERN WITH STAINLESS STEEL ROD.
5.06	5020-108-A-0	SECTION 5020 - VALVES, FIRE HYDRANTS, AND APPURTENANCES  VALVE, GATE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5020.
5.07	5020-108-B-0	TAPPING SLEEVE WITH VALVE WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5020.
5.08-5.09	5020-108-C-0	FIRE HYDRANT ASSEMBLY WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 5020. INSTALL 5-INCH STORZ NOZZLE ON HYDRANT.
		SECTION 6010 -STRUCTURES FOR SANITARY AND STORM SEWERS
SPECIAL	NOTE	THE CONTRACTOR SHALL FIELD VERIFY CRITICAL CROSSINGS AND CONNECTIONS TO EXISTING PRIOR TO ORDERING MATERIALS. ALL STRUCTURES ARE ALLOWED AT THE CONTRACTOR'S RISK. NO COMPENSATION WILL BE MADE FOR MODIFYING OR REPLACING STRUCTURES OR STRUCTURE PARTS DUE TO UNKNOWN FIELD CONDITIONS.
6.01	6010-108-A-0	MANHOLES WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 6010. SANITARY SEWER MANHOLE CASTINGS SHALL BE STAMPED "SANITARY". ADJUSTMENT SHALL BE MADE BY USING SUDAS 6010 EXPANDED POLYPROPYLENE (EPP) ADJUSTMENT RINGS. CASTINGS SHALL BE THREE PIECE AND BOLTED TO CONCRETE STRUCTURE WITH INTERNAL CHIMNEY SEAL. CONNECTIONS TO NEW AND EXISTING SEWER PIPES SHALL BE INCIDENTAL TO THIS BID ITEM. ALL MANHOLES THAT INCLUDE A CHANGE IN DIRECTION OF FLOW SHALL BE CONSTRUCTED WITH SWEEPING INVERTS. ALL MANHOLES SHALL INCLUDE STEPS.
6.02	6010-108-B-0	INTAKES WORK AND MATERIALS SHALL CONFORM TO SUDAS SECTION 6010. CONNECTIONS TO NEW AND EXISTING SEWER PIPES SHALL BE INCIDENTAL TO THIS BID ITEM.
		SECTION 11020 - MOBILIZATION
11.01	11020-108-A	MOBILIZATION WORK AND MATERIAL SHALL CONFORM TO SUDAS 11020.
		SECTION 11060 - CONCRETE WASHOUT
11.02	11060-108-A	CONCRETE WASHOUT WORK AND MATERIAL SHALL CONFORM TO SUDAS 11060



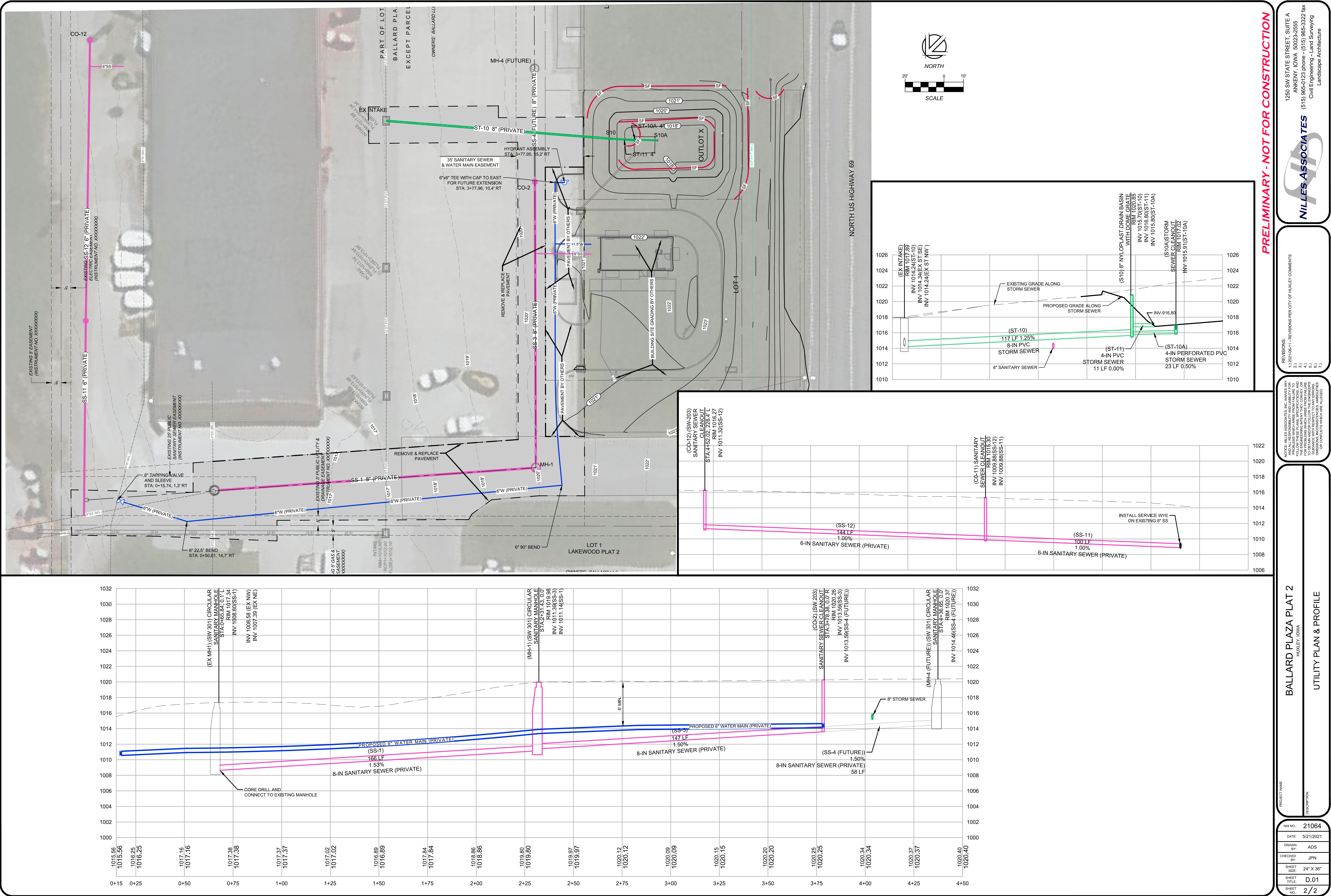
LEGEND	
Existing / Proposed	Existing / Proposed
● ▲	Found monument 5/8" IR with red cap #18530 unless otherwise noted
○ △	Set monument 5/8" IR with red cap #18530 unless otherwise noted
IR	Round iron rebar
IP	Round iron pipe
PCC	Portland cement concrete
ACC	Asphaltic cement concrete
FL	Pipe flowline elevation
RCP	Reinforced concrete pipe
CPP	Corrugated plastic pipe
PVC	Polyvinyl chloride pipe
W.E	Water main easement
S.S.E	Sanitary sewer easement
P.U.E	Public utility easement
S.W.F.E	Surface water flowage easement
B/B	Back of curb to back of curb
-----	Subject boundary line
-----	Proposed boundary line
-----	Existing boundary line
-----	Future boundary line
-----	Underlying boundary line
-----	Proposed easement line
-----	Existing easement line
-----	Setback line
-----	Barbed wire fence line
-----	Chain-link fence line
-----	Straw Wattle
-----	Silt fence
-----	Sanitary sewer & size
-----	Storm sewer and size
-----	Water main and size
-----	Gas main & size
-----	Overhead electric & wires
-----	Overhead communication
-----	Underground electric
-----	Underground television
-----	Underground communication
-----	Swale flowline
-----	Contour elevation
-----	Swale flowline
-----	Edge of water
-----	Edge of tree dripline

ESTIMATED PROJECT QUANTITIES			
ITEM NO.	ITEM	UNIT	TOTAL
3.01	TRENCH COMPACTION TESTING	LS	1
4.01	SANITARY SEWER GRAVITY MAIN, TRENCHED, 8-INCH	LF	313
4.02	SANITARY SEWER GRAVITY MAIN, TRENCHED, 6-INCH	LF	177
4.03	SANITARY SEWER SERVICE STUB (6-INCH PVC)	EA	2
4.04	STORM SEWER, TRENCHED, PVC, 8-INCH	LF	117
4.05	STORM SEWER, TRENCHED, PVC, 4-INCH	LF	11
4.05	STORM SEWER, TRENCHED, PVC, 4-INCH PERFORATED	LF	23
5.01	WATER MAIN, TRENCHED (C-900 PVC, 6-INCH)	LF	391
5.02	FITTING, DIP, 22.5° BEND	EA	1
5.04	FITTING, DIP, 90° BEND	EA	1
5.05	WATER SERVICE STUB (1-1/2" COPPER)	EA	58
5.06	TAPPING VALVE WITH SLEEVE (6" GATE VALVE)	EA	1
5.08	FIRE HYDRANT ASSEMBLY	EA	1
6.01	CIRCULAR SANITARY SEWER MANHOLE (SW-301, 48-INCH)	EA	2
6.02	INTAKE, 8" NYLOPLAST DRAIN BASIN WITH DOME GRATE	EA	1
9.01	PAVEMENT REMOVAL	SY	1750
11.01	MOBILIZATION	LS	1
11.02	CONCRETE WASHOUT	LS	1

SPECIFICATION REFERENCE
THE 2021 EDITION OF IOWA SUDAS STANDARD SPECIFICATIONS, THE CITY OF HUXLEY SUPPLEMENTAL SPECIFICATIONS, AND IDOT STANDARD SPECIFICATIONS WITH GS-15010 REVISIONS SHALL APPLY TO ALL ASPECTS OF CONSTRUCTION.

DEVELOPER		UTILITY CONTACTS	
MR PROPERTIES, LC CHRIS GARDNER 506 E 1ST ST HUXLEY, IOWA 50124		CITY OF HUXLEY WATER AND SEWER Contact Name: Keith Vitthum Contact Phone: 515-290-7512  ALLIANT ENERGY- GAS AND ELECTRIC Contact Name: Jenni Kroneman Contact Phone: 515-268-3425  HUXLEY COMMUNICATIONS - PHONE/CABLE Contact Name: Brant Strumpler Contact Phone: 515-203-6716	
EXISTING UTILITY NOTE		CONSTRUCTION SCHEDULE	
THE CONTRACTOR SHALL NOTIFY IOWA ONE CALL NO LESS THAN 48 HOURS IN ADVANCE OF ANY DIGGING OR EXCAVATION.  WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK.		GRADING                      SUMMER 2021 UTILITY INSTALLATION                      SUMMER 2021 PAVING INSTALLATION                      SUMMER 2021 / FALL 2021 FINISH GRADING                      FALL 2021	
BENCHMARKS		CERTIFICATIONS	
1. TOP OF RIM OF EXISTING SANITARY MANHOLE, LOCATED 79 FEET SOUTHWESTERLY OF THE NORTHEASTERLY LINE OF LOT 1, BALLARD PLAZA, 18 FEET SOUTHEASTERLY OF THE NORTHWESTERLY LINE OF SAID LOT 1 AND APPROXIMATELY 36 NORTHWESTERLY OF THE NORTH END OF THE EXISTING BUILDING ON SAID LOT 1. ELEVATION = 1017.88" (NAVD88)		I hereby certify that this engineering document was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.  Signature: _____ Date: _____ Name: Jacob T. Nilles, P.E. No. 26369 My license renewal date is December 31, 2021 Pages or sheets covered by this seal: A.01, D.01	







INDEX LEGEND

COUNTY:

STORY COUNTY, IOWA

CITY:

HUXLEY

LOCATION:

BALLARD PLAZA: PART OF LOT 1

PROPRIETOR:

BALLARD, LLC  
4611 MORTENSEN ROAD SUITE 106  
AMES, IOWA 50014-6228  
PHONE: (515) 291-1076

DEVELOPER & REQUESTED BY:

MR STORAGE, LC  
c/o CHRIS GARDNER  
PO BOX 242  
HUXLEY, IOWA 50124  
PHONE: (515) 401-8615

SURVEYOR:

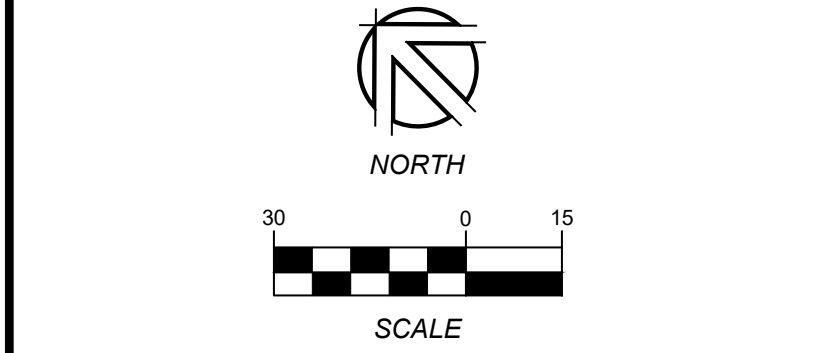
THAREN J. HELGERSON, PLS #18530

SURVEY COMPANY:

NILLES ASSOCIATES, INC.

RETURN TO:

THAREN J. HELGERSON,  
NILLES ASSOCIATES, INC.  
1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023 PH: (515) 965-0123



BENCHMARKS

1.

Top of rim of existing sanitary manhole, located 79 feet southwesterly of the northeasterly line of Lot 1, BALLARD PLAZA, 18 feet southeasterly of the northwesterly line of said Lot 1 and approximately 36 northwesterly of the north end of the existing building on said Lot 1. Elevation = 1017.88' (NAVD88)

LEGEND

- Found monument 5/8" IR with yellow cap #17758 unless otherwise noted

○

Set monument 5/8" IR with red cap #18530 unless otherwise noted

IR

Round iron rebar (outside diameter)

IP

Round iron pipe (outside diameter)

P.U.E.

Public Utility Easement

(R)

Record dimension

1234

Lot Address

Subject boundary line

Proposed boundary line

Proposed easement line

Section line

Existing boundary line

Existing easement line

GENERAL NOTES

1.

The easy line of Lot 1, BALLARD PLAZA, is assumed to bear South 00 degrees 08 minutes 30 seconds East.

2.

The site lies within Zone X with areas of minimal flood hazard, as shown on the Flood Insurance Rate Map Community Panel Number 19169 C0290 F, with an effective date of January 15, 2021.

ZONING

Zoning: C-2 District - General Commercial District

Bulk Regulations:

Front Yard Setback - 25 feet

Rear Yard Setback - 25 feet

Side Yard Setback - 0 feet unless abutting residential lot, then 15 feet

LEGAL DESCRIPTION

That part of Lot 1, BALLARD PLAZA, an official plat, located in the City of Huxley, Story County, Iowa, and being more particularly described as follows:

Beginning at the southeast corner of said Lot 1, BALLARD PLAZA; thence South 89 degrees 59 minutes 30 seconds West, along the south line of said Lot 1, BALLARD PLAZA, a distance of 31.35 feet, to the northeasterly line of Parcel "A" of said Lot 1, BALLARD PLAZA, as shown on the plat of survey recorded as Instrument No. 03-04561 with the Story County Recorder's Office; thence North 45 degrees 03 minutes 12 seconds West, along said northeasterly line of Parcel "A" of Lot 1, BALLARD PLAZA, a distance of 154.14 feet, to the northwesterly line of Parcel "A" of Lot 1, BALLARD PLAZA; thence South 44 degrees 56 minutes 48 seconds West, along said northwesterly line of Parcel "A" of Lot 1, BALLARD PLAZA, a distance of 90.00 feet, to the southwesterly line of said Lot 1, BALLARD PLAZA; thence North 45 degrees 03 minutes 12 seconds West, said southwesterly line of Lot 1, BALLARD PLAZA, a distance of 383.16 feet, to the northwesterly line of said Lot 1, BALLARD PLAZA; thence North 45 degrees 06 minutes 20 seconds East, along said northwesterly line of Lot 1, BALLARD PLAZA, a distance of 350.00 feet, to the northeasterly line of said Lot 1, BALLARD PLAZA; thence South 00 degrees 03 minutes 12 seconds East, along northeasterly line of Lot 1, BALLARD PLAZA, a distance of 319.93 feet, to the east line of said Lot 1, BALLARD PLAZA; thence South 00 degrees 08 minutes 30 seconds East, along east line of Lot 1, BALLARD PLAZA, a distance of 336.89 feet, to said east line of Lot 1, BALLARD PLAZA and the Point of Beginning.

Containing 3.47 acres more or less.

Said parcel is subject to all easements and restrictions.

VICINITY MAP

SCALE: 1" = 2000'

CERTIFICATION

THAREN J. HELGERSON  
LICENSED  
18530  
IOWA  
PROFESSIONAL LAND SURVEYOR

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEET FP-1 ONLY

SIGNATURE  
THAREN J. HELGERSON, L.S. NO. 18530  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

DATE  
DATE OF SURVEY: 04/12/20

V:\NAI 2017\Projects 2017\21064\dwg\21064-FP.dwg

1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023-2555  
(515) 965-0123 phone - (515) 965-3322 fax  
Civil Engineering - Land Surveying  
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

1) CORRECT CITY REVIEW COMMENTS

2) CORRECT CITY REVIEW COMMENTS

3) CORRECT CITY REVIEW COMMENTS

4) CORRECT CITY REVIEW COMMENTS

5) CORRECT CITY REVIEW COMMENTS

6) CORRECT CITY REVIEW COMMENTS

7) CORRECT CITY REVIEW COMMENTS

NOTE: NILLES ASSOCIATES, INC. WAIVES ANY AND ALL CLAIMS FOR DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, WHICH MAY BE ASSERTED AGAINST THE ENGINEER OR ENGINEERS IN ANY LITIGATION, IN WHOLE OR IN PART, ARISING OUT OF OR RESULTING FROM THE ENGINEERING OR SURVEYING SERVICES PROVIDED BY THE ENGINEER OR ENGINEERS, WHETHER OR NOT SUCH DAMAGES ARE CAUSED BY THE NEGLIGENCE OF THE ENGINEER OR ENGINEERS, AND WHETHER OR NOT SUCH DAMAGES ARE CAUSED BY THE NEGLIGENCE OF THE ENGINEER OR ENGINEERS, AND WHETHER OR NOT SUCH DAMAGES ARE CAUSED BY THE NEGLIGENCE OF THE ENGINEER OR ENGINEERS.

BALLARD PLAZA PLAT 2

LOT 1 BALLARD PLAZA HUXLEY, STORY COUNTY, IOWA

PROJECT NAME

DESCRIPTION

NAI NO. 21064

DATE: 04/29/21

DRAWN BY TJH

CHECKED BY RAM

SHEET SIZE 24" X 36"

SHEET TITLE FP-1

SHEET NO. 1/1





**VEENSTRA & KIMM, INC.**

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

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June 14, 2021

Rita Conner  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

rconner@huxleyiowa.org

HUXLEY, IOWA  
BALLARD PLAZA  
PLAT 2 REVIEW

We have reviewed the site improvements and final plat for Ballard Plaza Plat 2 and find them acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink, reading 'Forrest S. Aldrich', is written over the company name.

Forrest S. Aldrich

FSA:rsb  
45229-065

cc: Jeff Peterson, City of Huxley (e-mail)  
Keith Vitzthum, City of Huxley (e-mail)  
Mat Kahler, City of Huxley (e-mail)  
A.J. Strumpfer, City of Huxley (e-mail)  
Chris Gardner, Bella Homes (e-mail)  
Adam Schoeppner, Nilles Associates, Inc. (e-mail)