



## **PLANNING & ZONING COMMISSION MEETING**

**ZOOM VIRTUAL MEETING-INFORMATION BELOW**

**MONDAY MAY 17, 2021**

**6:00 P.M.**

### **AGENDA**

1. Roll Call
2. Motion to approve the minutes from April 19, 2021
3. Public Comments (5-minutes limit for items not on this agenda)
4. Public Hearing
  - a. Meadow Lane Investments, LLC Rezoning A-1 to R-1A
5. Business Items
  - a. Meadow Lane Investments, LLC Rezoning A-1 to R-1A
  - b. Interstate Battery Expansion Site Plan
  - c. The Landing Site Plan
  - d. North Prairie View Development Plat 2 Final Plat (The Landing)
6. Informational Items
  - a. City Council Action on April 19, 2021 Planning & Zoning Agenda Items
7. Planning and Zoning Commission Comments
8. Adjournment

Call in: 312 626 6799 Meeting ID: 991 9867 2143

<https://zoom.us/j/99198672143>

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

# **Huxley Planning & Zoning Commission Minutes**

## **Monday, April 19, 2021**

Chairman Roger Bierbaum called the Zoom meeting to order at 6:00 P.M.

**ROLL CALL:** Mosher, Ebel, Bierbaum, Patterson, Schonhorst, Frantz present. Scott absent.

**CITY STAFF PRESENT:** Rita Conner – City Administrator, Amy Kaplan – Zoning Clerk

**CONSULTANTS PRESENT:** Forrest Aldrich—City Engineer

**GUESTS PRESENT:** Brent Culp, Phil Brekke, Steve Quick, Scott Renaud, Don Van Houweling, Eric Cannon

**MINUTES APPROVAL:** Motion –Mosher, second –Patterson to approve minutes with 2 corrections from March 15, 2021 meeting. 6 Aye. 0 Nay.

**PUBLIC COMMENTS:** None

### **PUBLIC HEARING:**

**Toy Box Industrial Rezoning R-1 to M-1:** Motion-Patterson, second-Frantz to enter into public hearing. 6 Aye 0 Nay.

Phil and Kristina Brekke are interested in expanding their outdoor storage business and therefore requested for the designated area to be rezoned. No comments from the public were received.

Motion-Schonhorst, second- Mosher to provide council with a favorable recommendation to rezone the area from R-1 to M-1. Schonhorst, Frantz, Ebel, Patterson, Bierbaum, Mosher voted yes.

Motion- Schonhorst, second-Patterson to exit the public hearing. 6 Aye. 0 Nay.

**Blue Sky Commons Residential Rezoning A-1 and M-1 to R1:** Motion-Patterson, second- Schonhorst to enter into public hearing. 6 Aye. 0 Nay.

Brent Culp presented the rezoning request on behalf of Don Van Houweling. It is desired that approximately 33 acres of land is rezoned to R-1 to allow for 37 low density residential lots. No comments from the public were received.

Motion-Schonhorst, second-Patterson to provide council with a favorable recommendation to rezone the area from A-1 and M-1 to R-1. Schonhorst, Patterson, Ebel, Frantz, Bierbaum voted yes. Mosher was disconnected from the Zoom meeting.

Motion- Patterson, second-Schonhorst to exit the public hearing. 5 Aye. 0 Nay. Mosher absent.

### **BUSINESS ITEMS:**

**Toy Box Storage Site Plan:** Discussion took place regarding the site plan for Toy Box Storage. It was noted that 3 waivers will be requested:

1. Landscaping Waiver—Islands would cause an issue when backing up large campers/boats etc and therefore it is requested that islands are not a requirement.
2. Hard Surface Waiver—Asphalt millings are requested instead of concrete.
3. Fence Side Landscaping—Due to the location, a fence side landscaping waiver will be requested.

Motion-Mosher, second-Patterson to recommend approval of the site plan to council allowing for all 3 waivers. Schonhorst, Patterson, Ebel, Bierbaum, Mosher, Frantz voted yes. MCU.

**Meadow Lane Investments LLC Annexation:** Description of the voluntary annexation area was provided to the commission. No comments from the commission. Motion- Schonhorst, second-Frantz to provide a favorable recommendation to council to annex the area into the city. Patterson, Ebel, Schonhorst, Bierbaum, Frantz voted yes. Mosher-absent.

**Meadow Lane Investments LLC Preliminary Plat 2021:** Discussion took place regarding the changes to the preliminary plat. It was noted that street alignments are the same, lot sizes have minimally changed and the location of the bike trail will remain the same and not run behind the homes as recently proposed. Motion-Patterson, second-Schonhorst to recommend approval of the preliminary plat to City Council. Mosher, Bierbaum, Patterson, Ebel, Schonhorst, Frantz voted yes. MCU.

#### **INFORMATIONAL ITEMS:**

**Story County Water Monitoring Plan** <https://www.storycountyiowa.gov/1536/Water-Quality-Monitoring>: A plan for long term water quality management is being launched. Council is currently evaluating this effort. More details to follow. You are welcome to follow along with updates provided on the above website.

**Sidewalk Infill and Trails Master Planning:** Conner indicated several individuals are actively working on the master plan. Discussions are taking place around install phases and cost assessments.

**Council Action Update:** Conner gave a re-cap of the action taken at the last City Council Meeting on topics that were discussed at Planning & Zoning.

**Main Avenue Revitalization:** Conner informed the Commission that the State will do a 1 ½ day vision plan exercise to draw/propose a revitalized downtown plan.

#### **PLANNING AND ZONING COMMISSION COMMENTS:**

- Mosher asked what he missed when he was disconnected. A brief summary was given.
- Next P&Z meeting is May 17<sup>th</sup>. Potentially 3 projects in May and another 3 or 4 projects in June.

**ADJOURNMENT:** Motion – Patterson, second-Ebel to adjourn meeting at 7:01 P.M. 6 ayes, 0 nays. Motion carried.

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Amy Kaplan, Zoning Clerk

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Roger Bierbaum, Chairman

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Date of Approval

# PLANNING & ZONING COMMUNICATION

## **AGENDA HEADING:**

Meadow Lane Investments LLC Rezoning A-1 to R-1A

## **SUBMITTED BY**

Rita Conner, City Administrator

## **SYNOPSIS:**

Meadow Lane Investments, LLC (Steve Quick, PO Box 396 Huxley, Iowa 50124) has submitted a rezoning request for 3.60 acres of land located south of Oak Bend Road, east of Prairie View Drive and Oak Blvd. A link to the property involved is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1324200375>

The subject property is currently unincorporated. The Planning & Zoning Commission acted April 19, 2021 to recommend to Council the approval of the property being annexed into the City, and also recommended to Council the approval of the 2021 Preliminary Plat for the Meadow Lane development. The property will become part of the next plat (5) of the Meadow Lane development.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION: YES**

- Rezoning of the property is required, as the property will automatically have an A-1 zoning classification upon completion of the annexation.

## **CITY ADMINISTRATOR COMMENTS: YES**

- The 2013 Comprehensive Plan shows this area as low density residential, which is consistent with the rezoning proposal.
- Oak Bend Road improvements will be included as part of Plat 5.
- Future phases of Meadow Lane to the east will include the completion of the pond development and amenities, which have been reviewed with City staff and the development and design team.

## **BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES**

- April 19, 2021 Planning & Zoning Commission Action on Meadow Lane Investments, LLC Annexation and 2021 Preliminary Plat
- Approval of Meadow Lane Plats 1-4

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES**

- Annexation and rezoning process continuation
- Submittal of construction drawings and review of final plat for plat 5.



**NOTICE OF PUBLIC HEARINGS OF THE PLANNING & ZONING COMMISSION AND CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY MEADOW LANE INVESTMENTS LLC FROM (A-1) AGRICULTURE TO (R-1A) SINGLE FAMILY RESIDENTIAL CLASSIFICATION IN THE CITY OF HUXLEY, IOWA**

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**TO:** ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

**YOU ARE HEREBY NOTIFIED** that the Planning & Zoning Commission and City Council are considering the rezoning of certain property in the City of Huxley, Iowa:

**A-1 ZONING** – BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5<sup>TH</sup> P.M., STORY COUNTY, IOWA AND CONTAINING 3.60 ACRES (156,816 S.F.)

-to-

**R-1A ZONING**-BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5<sup>TH</sup> P.M., STORY COUNTY, IOWA AND CONTAINING 3.60 ACRES (156,816 S.F.)

**LAYMAN'S DESCRIPTION:**

South of Oak Bend Road and north of Oak Blvd.

**YOU ARE FURTHER AND SPECIFICALLY NOTIFIED** that a virtual hearing before the Planning & Zoning Commission to consider rezoning in light of the requested rezoning has been set to commence on the 17th day of May 2021 at 6 p.m. at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard. Zoom information is located below. The formal hearing is set to commence on the 25<sup>th</sup> of May at 6 p.m. in the Huxley City Council Chambers located at 515 N Main Avenue.

**Planning & Zoning Zoom Meeting Information:**

<https://zoom.us/j/99198672143>

Call in: 312-626-6799

Meeting ID: 991 9867 2143







# PLANNING & ZONING COMMUNICATION

## **AGENDA HEADING:**

Interstate Battery Expansion Site Plan

## **SUBMITTED BY**

Rita Conner, City Administrator

## **SYNOPSIS:**

Breen Campus, LLC (401 Campus Drive Huxley, Iowa 50124) have submitted a site plan for the expansion of their existing 14,000 square foot Interstate Battery building in the Huxley Development Park. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110>

The expansion would add 4,000 square feet to the building, which was constructed in 1987. Interstate Battery employs 7 full time and 4 part time employees.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION:**

- Sidewalk installation is requested to occur with this addition. City Council is working on a sidewalk infill program to connect the community that will begin a public information process this summer. The Huxley Development Park is included.

## **CITY ADMINISTRATOR COMMENTS: NONE**

## **BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES**

- Initial site plan approval, 1996 expansion

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:**

- May 25<sup>th</sup> City Council review
- Issuance of permits
- Certificate of occupancy



HUXLEY  
— HEART OF THE PRAIRIE —

Site Plan/Landscape Plan Application

Date submitted: \_\_\_\_\_

Board review date: \_\_\_\_\_

Property Owner: BREEN CAMPUS, LLC County Parcel Number: 1324240125  
Property Address: 401 CAMPUS DRIVE  
Property zoning: M-1  
Legal description: LOT 3 HDC PLAT N° 1

Site plan prepared by: COOPER CRAWFORD & ASSOCIATES, LLC  
Address: 475 S. 50TH, SUITE 800 WEST DES MOINES, IA 50265

Site plan review - \$100/reimburse City for any cost (legal and engineering) and \$50 for amendments to the original site plan.

I understand that the City of Huxley requires a site plan prior to issuance of any building permits within any zoning districts except R-1 and R-2. The site plan must include the 36 points as noted on the checklist and it must be presented at least 15 days prior to the Planning and Zoning scheduled meeting. Ten copies are required to be submitted and will be subject to City Engineer review at the expense of the developer. I hereby understand these conditions and agree to comply with all City of Huxley Code requirements.

Signed: \_\_\_\_\_ Date: 4-14-21

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(City use only)

Date of P&Z Meeting: \_\_\_\_\_ City Council Meeting date: \_\_\_\_\_  
Fee Check Number: \_\_\_\_\_ Receipt number \_\_\_\_\_

Decision of the board:

\_\_\_\_\_

Decision of the council:

\_\_\_\_\_

SITE PLAN

# INTERSTATE BATTERIES

HUXLEY, IOWA

OWNER / DEVELOPER

BREEN CAMPUS LLC  
401 CAMPUS DR  
HUXLEY IA 50124-9763

ZONING

EXISTING: M-1

SETBACKS

FRONT -25 FEET  
SIDE - 0  
REAR -25 FEET

SITE AREAS

EXISTING CONCRETE	21,583 S.F.	32.92%
EXISTING BUILDING	10,000 S.F.	15.25%
EXISTING SIDEWALK	219 S.F.	0.33%
PROPOSED PAVING	3,414 S.F.	5.21%
PROPOSED BUILDING	4,000 S.F.	6.10%
OPEN SPACE	26,350 S.F.	40.19%
TOTAL	65,566 S.F.	100%

PARKING

13 EXISTING STALLS  
11 PROPOSED STALLS

EMPLOYEES

7 FULL TIME  
4 PART TIME

LEGAL DESCRIPTION

LOT 3 H.D.C. PLAT NO. 1, AN OFFICIAL PLAT, CITY OF HUXLEY, STORY COUNTY IOWA.

SAID TRACT OF LAND CONTAINS 1.505 ACRES MORE OR LESS.

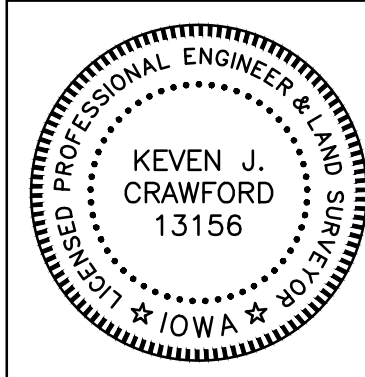
SAID TRACT OF LAND SUBJECT ALL EASEMENTS OF RECORD.

DEVELOPMENT SCHEDULE

INSTALL EROSION CONTROL	MAY 31, 2021
GRADING	JUNE 1, 2021
PAVING & BUILDING FLOOR	JUNE 15, 2021
BUILDING	AUGUST 2, 2021
FINAL STABILIZATION	FALL 2021

LEGEND

EXISTING/PROPOSED	PLAT BOUNDARY
8" W	8" WATER MAIN & SIZE
SAN 8"	SANITARY SEWER & SIZE
ST 8"	STORM SEWER & SIZE
UG 6"	UNDERGROUND ELECTRIC CABLE
UGT	UNDERGROUND TELEPHONE CABLE
CTV	UNDERGROUND CABLE TV
G 4"	GAS MAIN & SIZE
MANHOLE	MANHOLE
INTAKE	INTAKE
HYDRANT	HYDRANT
PP/LP	POWER POLE/LIGHT POLE
PP/LP	UTILITY BOX/TELEPHONE RISER
990	EXISTING CONTOURS
990	PROPOSED CONTOURS
X	SILT FENCE OR APPROVED FILTRATION SOCK
CLOUD	TREES

	I HEREBY CERTIFY THAT THIS ENGINEERING OR LAND SURVEYING DOCUMENT AND THE RELATED SURVEY WORK WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER & LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  KEVEN J. CRAWFORD, P.E., P.L.S. IOWA LICENSE NO. 13156 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022 PAGES OR SHEETS COVERED BY THIS SEAL: (SHEETS 1-2)
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**COOPER CRAWFORD & ASSOCIATES, L.L.C.**  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 4-14-2021  
REVISIONS:

APPROVED: (X-X-2003) INITIAL: XXX AS-BUILT: (X-X-2003)  
SCALE: 1"=30'

**DIMENSION SHEET**  
**INTERSTATE BATTERIES**

**CC 1502**  
**SHEET 1 OF 2**

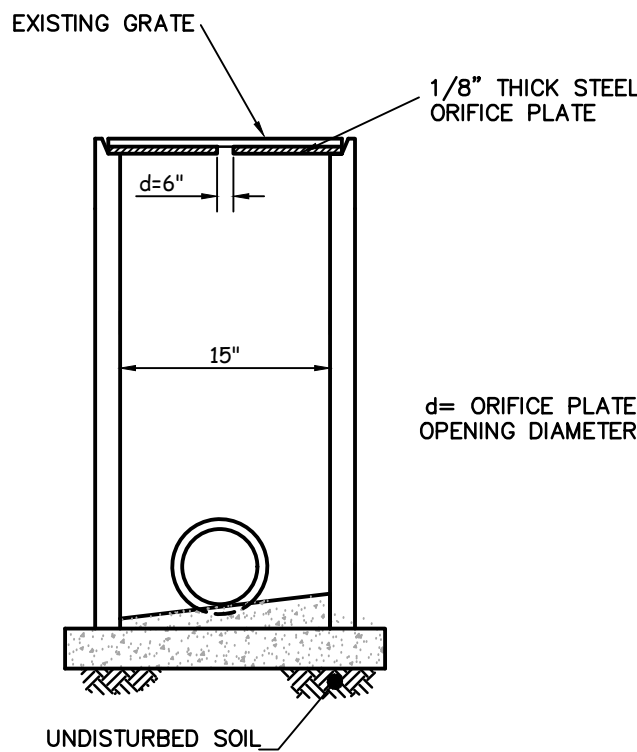
NOTES

- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
  - CITY OF HUXLEY
  - BREEN CAMPUS LLC
  - COOPER CRAWFORD & ASSOCIATES, L.L.C.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY CONTRACTOR WITHIN 24 HOURS.
- VERIFY COORDINATES AND BUILDING CORNERS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- ALL SITE WORK SHALL BE IN ACCORDANCE WITH SUDAS.
- PAVING SHALL BE A MINIMUM OF 6-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY AND PRIVATE DRIVE PAVING. SIDEWALKS SHALL BE 4-INCH P.C.C.
- CURBS SHALL BE 6-INCH CURB.
- ALL LIGHTING MUST BE DOWNCAST IN NATURE.
- ANY TRANSFORMERS, JUNCTION BOXES, OR OTHER SUCH UTILITY USES OVER 3 FEET IN HEIGHT CANNOT BE LOCATED WITHIN THE REQUIRED SETBACK. OTHER SUCH USES NOT ABOVE 3 FEET IN HEIGHT MUST BE SCREENED BY LANDSCAPING MATERIALS. ALL MECHANICAL EQUIPMENT, GAS, WATER, AND UTILITY METERS SHALL BE APPROPRIATELY SCREENED.
- AN EROSION CONTROL CONTRACTOR SHALL BE HIRED PRIOR TO CONSTRUCTION BEGINNING, THE NAME OF WHICH SHALL BE FURNISHED TO THE CITY BEFORE GRADING STARTS.



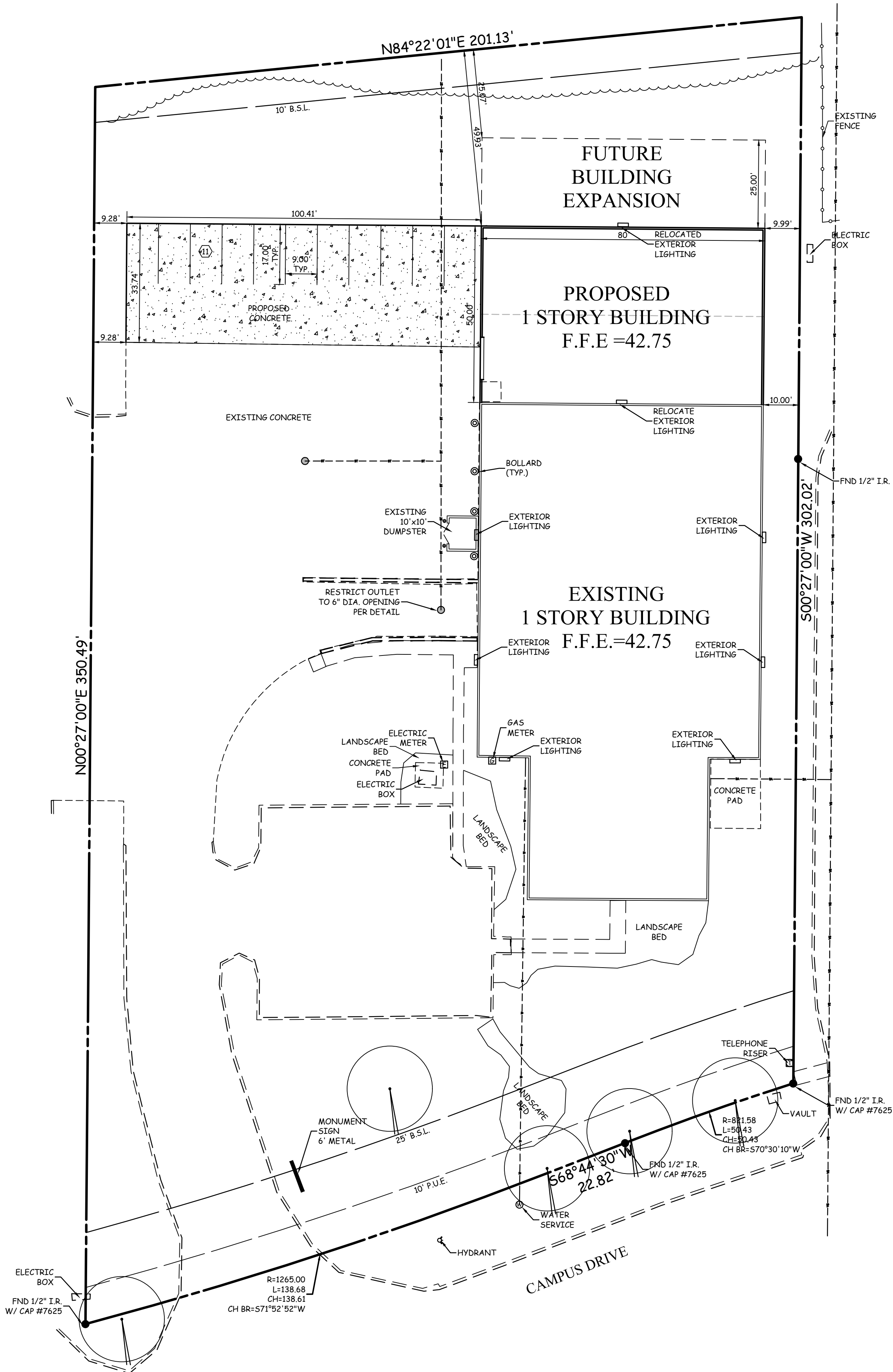
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NO SCALE

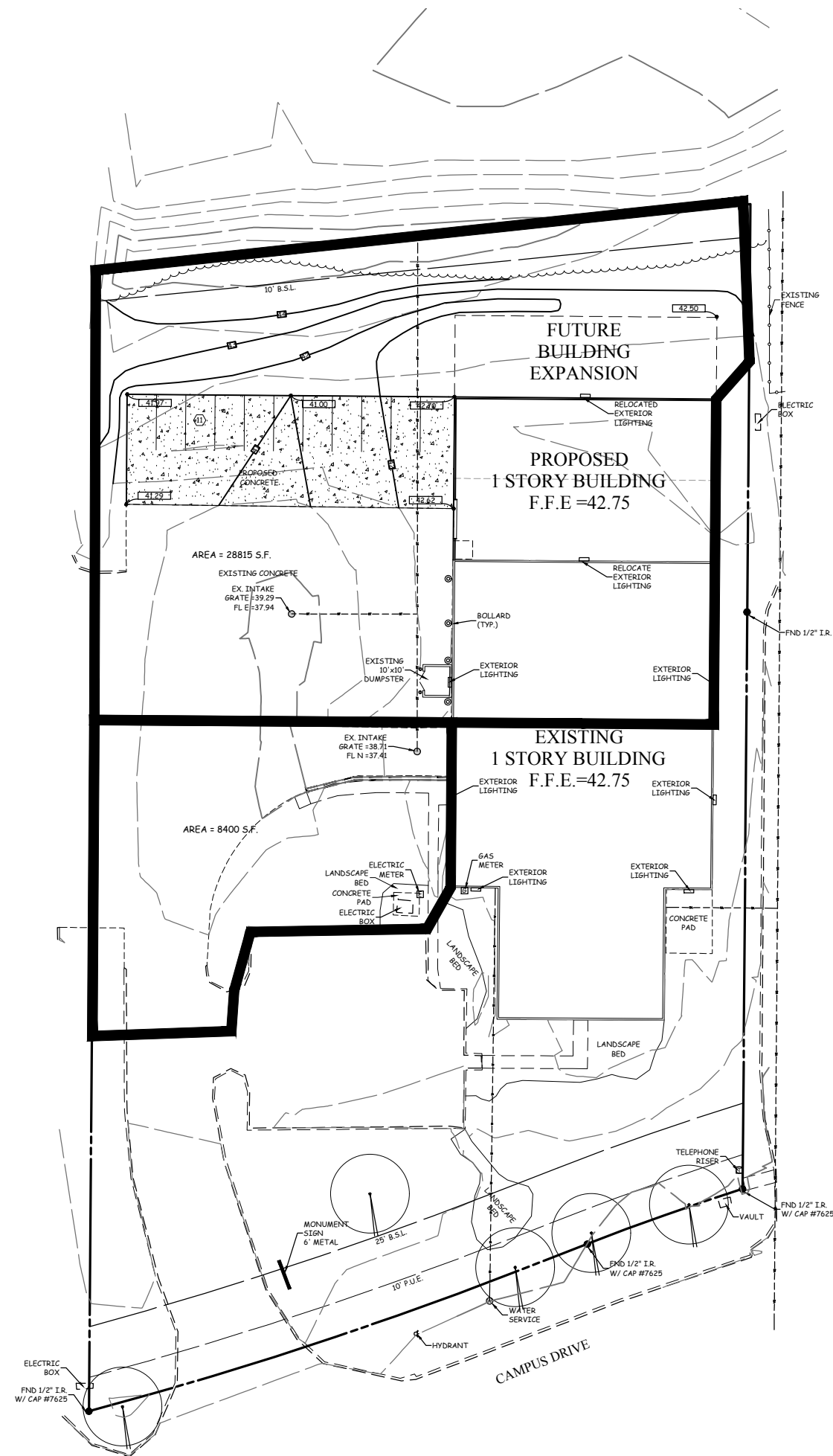


OUTLET RESTRICTION DETAIL

NOT TO SCALE



SITE PLAN  
**INTERSTATE  
BATTERIES**  
HUXLEY, IOWA



**LEGEND**

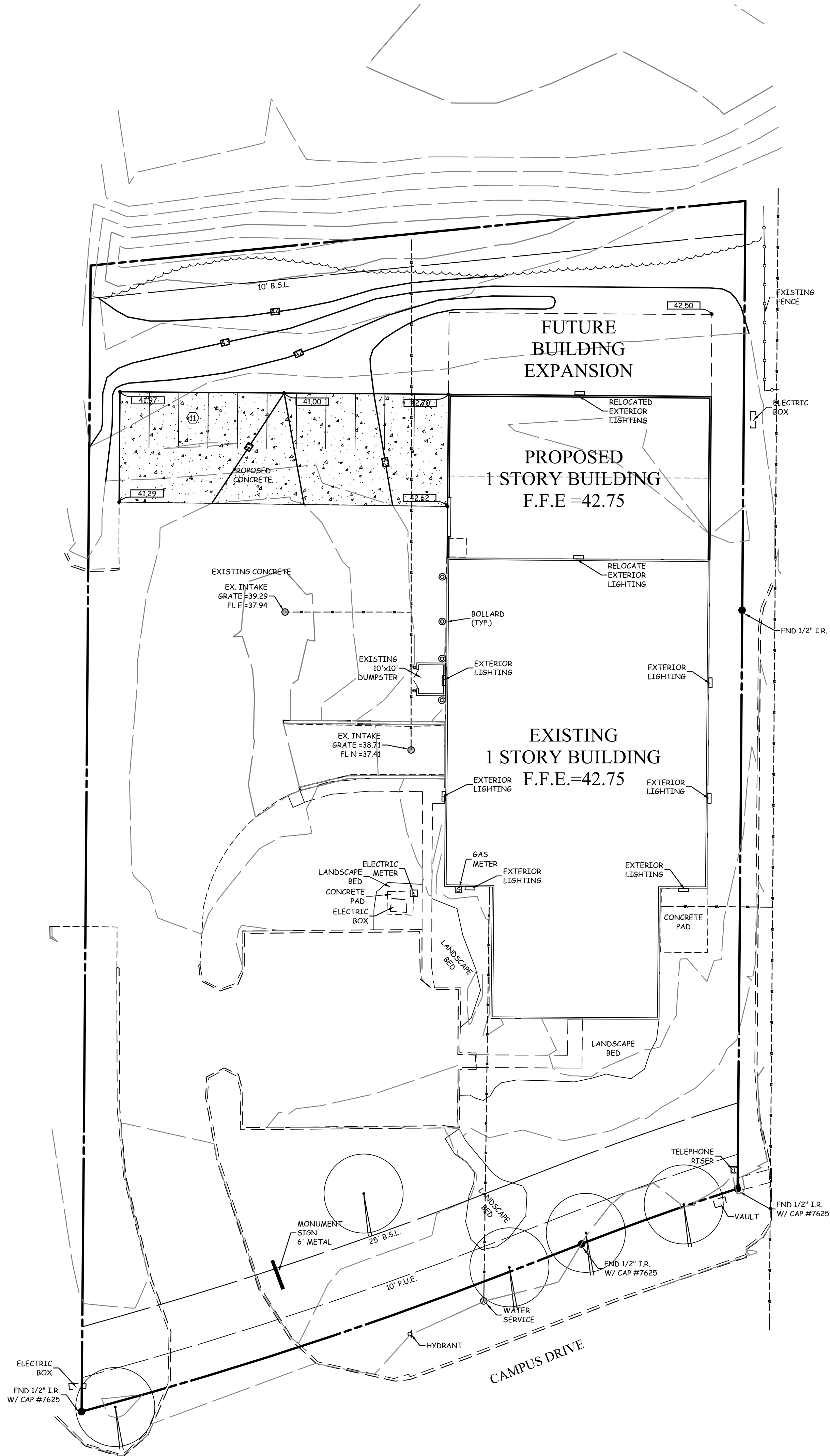
EXISTING/PROPOSED	
—	PLAT BOUNDARY
— W 8"	WATER MAIN & SIZE
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• PP/LP	POWER POLE/LIGHT POLE
□	UTILITY BOX/TELEPHONE RISER
- - -	EXISTING CONTOURS
- - -	PROPOSED CONTOURS
* * *	SILT FENCE OR APPROVED FILTRATION SOCK
☁	TREES

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	KEVEN J. CRAWFORD, P.E. IOWA LICENSE NO. 13156 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022
	PAGES OR SHEETS COVERED BY THIS SEAL: SHEETS 1-2

<b>COOPER CRAWFORD &amp; ASSOCIATES, L.L.C.</b> CIVIL ENGINEERS 475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265 PHONE: (515) 224-1344 FAX: (515) 224-1345	
 SCALE: 1"=30' APPROVED: (X-X-2003) INITIALED: XXXX AS-BUILT: (X-X-2003)	DATE: 4-14-2021 REVISIONS: JOB NUMBER <b>CC 1502</b> SHEET 2 OF 2







GRADING NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
2. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
3. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
4. STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
5. STOCKPILE SUFFICIENT TOP RESPREAD A MINIMUM OF 4-INCHES ON UNPAVED AREAS.
6. ALL AREAS TO RECEIVE FILL TO BE BENCHED.
7. PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES.
8. ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR AND MEET ALL GEOTECHNICAL RECOMMENDATIONS.
9. MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
10. FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE, ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
11. A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENTS.
12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH SUDAS 2021 SPECIFICATIONS.
13. EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
14. ALL SIDEWALK SLOPES GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL SHALL BE ACCOMPANIED BY A HANDRAIL.
15. CROSS SLOPE ON ALL SIDEWALKS NOT TO EXCEED 2.00%.
16. ALL SPOTS ARE TO TOP OF SLAB UNLESS OTHERWISE NOTED.

EROSION & POLLUTION CONTROL NOTES

1. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
2. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
3. THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF THE END OF A 1 INCH OR GREATER RAINFALL. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE. ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
4. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
5. THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
6. AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED R.O.W.'S ARE TO HAVE TEMPORARY SEEDING AND MULCHING (SEE SEEDING DETAIL FOR TIMETABLE). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDED AREAS THROUGH THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
7. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 21 DAYS, IT SHALL BE SEEDED BY DAY 7.
8. PERMANENT SEEDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
9. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
10. ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE OWNER/CONTRACTOR WITHIN 24 HOURS.
11. FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM, LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
12. ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
13. FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
14. ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET FILTERS AFTER PAVING. THESE FILTERS REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER.
15. ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
16. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
17. NO BORROW/SPOILS SITES ARE ANTICIPATED.

SITE PLAN  
INTERSTATE  
BATTERIES

HUXLEY, IOWA

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
  - 8" WATER MAIN & SIZE
  - 8" SANITARY SEWER & SIZE
  - 8" STORM SEWER & SIZE
  - UGE UNDERGROUND ELECTRIC CABLE
  - UGT UNDERGROUND TELEPHONE CABLE
  - CTV UNDERGROUND CABLE TV
  - 4" GAS MAIN & SIZE
  - MANHOLE
  - INTAKE
  - HYDRANT
  - POWER POLE/LIGHT POLE
  - UTILITY BOX/TELEPHONE RISER
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - SILT FENCE OR APPROVED FILTRATION SOCK
  - TREES

KEVEN J. CRAWFORD  
13156  
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, P.E. IOWA LICENSE NO. 13156  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022

PAGES OR SHEETS COVERED BY THIS SEAL:  
SHEETS 1-2

**COOPER CRAWFORD**  
& ASSOCIATES, L.L.C.  
CIVIL ENGINEERS

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265  
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 4-14-2021  
REVISIONS:

JOB NUMBER  
**CC 1502**

APPROVED: (X-X-2003) INITIALED: XXX AS-BUILT: (X-X-2003)

**GRADING PLAN**  
INTERSTATE BATTERIES

**SHEET 2 OF 2**



# PLANNING & ZONING COMMUNICATION

## **AGENDA HEADING:**

The Landing Site Plan and North Prairie View Development Plat 2 Final Plat

## **SUBMITTED BY**

Rita Conner, City Administrator

## **SYNOPSIS:**

MR Properties, L.C. (Chris Gardner, 506 East 1<sup>st</sup> Street Huxley, Iowa 50124) has submitted a site plan and final plat for the commercial development of Lot 1, North Prairie View Development Plat 2 (the Landing). MR Properties owns three separate lots that were acquired from the City of Huxley in 2020, totaling approximately 3.62 acres. A link to the properties involved is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1323226010>

A one-story building with 6 retail/commercial tenant spaces, including a restaurant, is planned for construction on the property.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION: YES**

- A 10' trail section has been requested to be constructed with the project along HWY 69. Staff is working on a grant application for connecting this trail north to the City limits and south to the Heart of Iowa Trail. The HWY 69 trail would be called the Heart of the Prairie Trail.
- Staff has proposed taking the sidewalk from N 5<sup>th</sup> Ave through the lot between the pond and the outdoor restaurant patio area to connect to the Highway 69 trail, which the development team agreed to look at.
- Stormwater management plan includes a pond. Veenstra & Kimm, Inc. have provided comments on pond storage volume and other variables that are under review. Staff and the development team have discussed plantings and shoreline stabilization, in addition to a discussion of future ownership of the pond and the land where the City sign is located. Additional meeting on this item will occur prior to the P & Z meeting Monday.

## **CITY ADMINISTRATOR COMMENTS: YES**

- The 2013 Comprehensive Plan shows this area as highway commercial, which is consistent with the site plan and final plat.

## **BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: NO**

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS: YES**

- May 25 City Council review
- Submittal of permits and initiation of work





May 14, 2021

Adam Schoeppner  
Nilles Associates, Inc.  
1250 SW State Street  
Ankeny, Iowa 50023

adams@nillesinc.com

HUXLEY, IOWA  
LOT 1  
NORTH PRAIRIE VIEW DEVELOPMENT  
SITE PLAN REVIEW

We have reviewed the revised site plan for Lot 1 of the North Prairie View Development and offer the following comments:

1. Terminate all tracer wire in flush mounted tracer wire box Drainage & Water Solutions Figure No. TWAB. The full name needs to be called out on Sheet UP-1, note No. 2.6 and/or the detail included in the plan set.
2. Show the location of the existing tile along N. 5<sup>th</sup> Avenue at the north end of the property. Coordinate with Public Works for an on-site meeting to discuss the tile location.
3. The proposed drainage swale from the culvert under the highway and the proposed drainage swale flowing north from the pond is very flat with a proposed bottom slope of 0.30%. The swales as designed will pond water and will not be mowable for some time after a rain event. These swales need to be tiled, if an outlet can be found, or paved with a concrete cunette.
4. Extend the trail 10 feet wide instead of 8 feet wide along the highway to the north property line.

Adam Schoeppner

May 14, 2021

Page 2

5. SUDAS Design Section 2A-3 Par. B.5 states the swale should be capable of handling the 50 year storm event. Provide the 50 year flow rate and how this compares to the capacity of the channel flowing north from the detention basin. Provide overland drainage easements along the swales as needed at a minimum to the width of the water surface.
6. Provide information in the pond report to show the storage volume of the pond between the weir elevation of 1007.00 and the high water pond elevation of 1009.25. Show that this storage volume is adequate for the storage volume required. In reviewing Hyd. No. 13 for the 100 year storm event, it appears the basin will not have a minimum of 1-foot of freeboard as required by SUDAS Design Section 2G-1 Par. F.1.d.
7. The permanent pool of the pond is proposed to encroach approximately 10 feet into the street right-of-way and the existing 8-inch water main along the east side of 5<sup>th</sup> Avenue will be under the surface of the pond. The west edge of the pond needs to be moved to the east such that the permanent pool of the pond is outside of the street right-of-way.
8. Provide photo metric lighting plan.

If you have any questions or comments concerning the project, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:dml

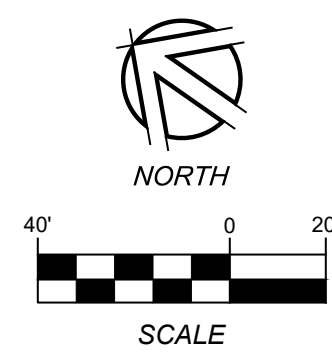
45229-062

cc: Rita Conner, City of Huxley (e-mail)  
Jeff Peterson, City of Huxley (e-mail)  
Keith Vitzthum, City of Huxley (e-mail)  
Mat Kahler, City of Huxley (e-mail)  
A.J. Strumpfer, City of Huxley (e-mail)  
Chris Gardner, Bella Homes (e-mail)









**PRELIMINARY - NOT FOR CONSTRUCTION**

**NILLES ASSOCIATES**  
1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023-2555  
(515) 965-0123 phone - (515) 965-3322 fax  
Civil Engineering - Land Surveying  
Landscape Architecture

REVISIONS:

2.)	1.)	05/12/2021 - REVISIONS PER CITY OF HUXLEY COMMENTS
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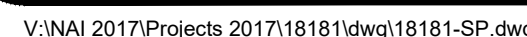
ALLIANCE ASSOCIATES, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR ANY PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND ENGINEERING INTENT THEY CONVEY, OR PROBLEMS WHICH ARISE FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S ADVICE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.

LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2  
HUXLEY, IOWA

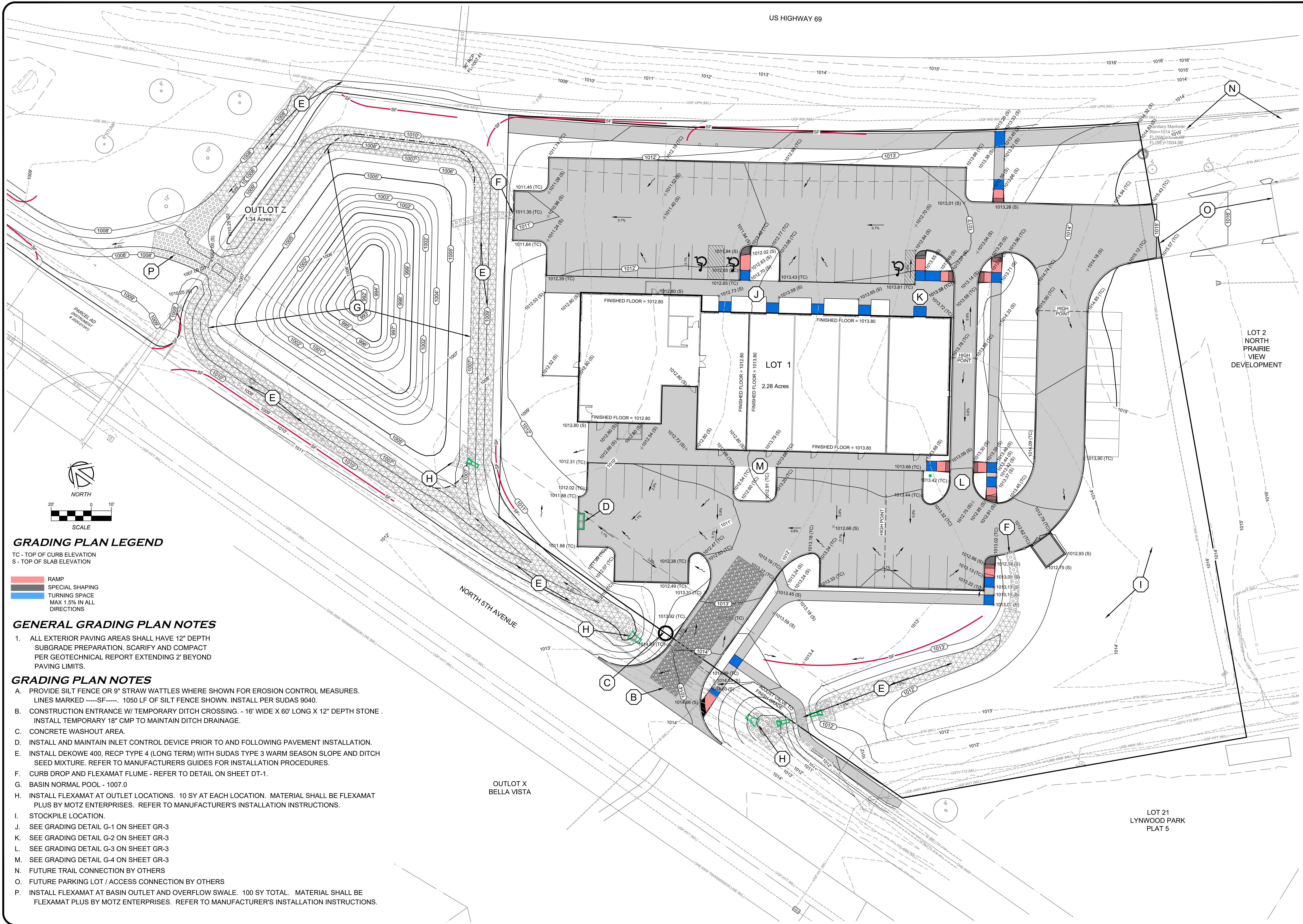
EXISTING CONDITIONS & REMOVALS PLAN

DESCRIPTION:	
NAI NO.:	18181
DATE:	4/16/21
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	SO-1
SHEET NO.:	2/9









US HIGHWAY 69

REVISIONS:

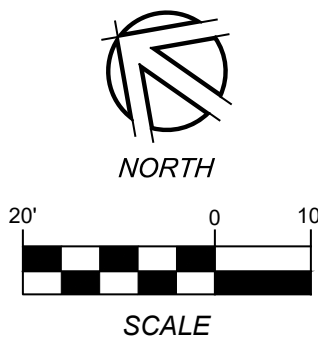
LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2  
HUXLEY, IOWA

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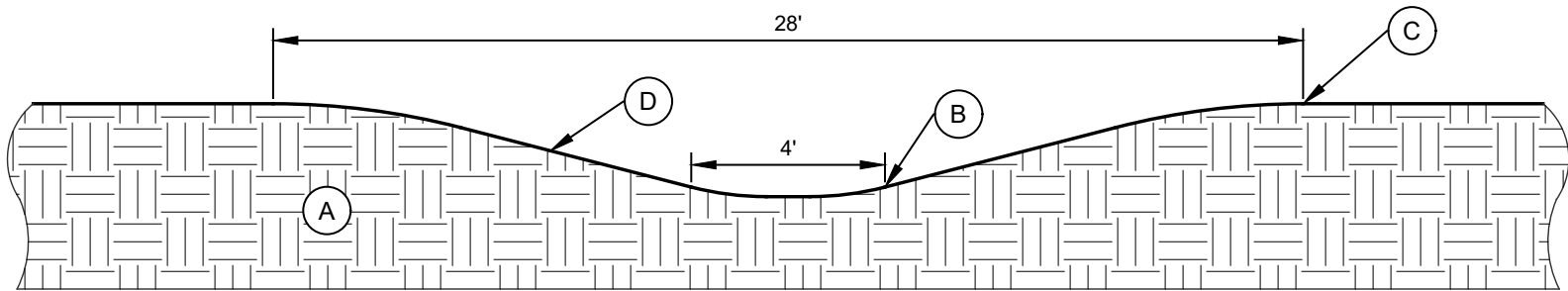
GRADING PLAN

**NILLES ASSOCIATES**  
1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023-2555  
(515) 965-0723 phone • (515) 965-3322 fax  
Civil Engineering • Land Surveying  
Landscape Architecture





- A. PROVIDE SILT FENCE OR 9" STRAW WATTLES WHERE SHOWN FOR EROSION CONTROL MEASURES. LINES MARKED -----SF-----, 1050 LF OF SILT FENCE SHOWN. INSTALL PER SUDAS 9040.
- B. PROTECT EXISTING POWER POLE AND OVERHEAD ELECTRIC.
- C. PROTECT EXISTING WATER MAIN.
- D. PROTECT EXISTING GAS.
- E. DAYLIGHT BASIN OVERFLOW SWALE INTO EXISTING SWALE ON WEST SIDE OF ABANDONED ROAD. INSTALL 22 SY OF FLEXAMAT. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.



- (A) BERM ALONG NORTH EDGE OF PROPOSED DETENTION BASIN.
- (B) 4' WIDE OPENING AT BOTTOM OF BERM. ELEVATION = 1007.00
- (C) 28' WIDE OPENING AT TOP OF BERM. ELEVATION = 1010.00
- (D) SLOPES ON BOTH SIDES OF BASIN OUTLET TO BE 4H:1V.

1 BASIN OUTLET DETAIL  
GR-2 NO SCALE

**PRELIMINARY - NOT FOR CONSTRUCTION**

REVISIONS:

1.)	05/12/2021 - REVISIONS PER CITY OF HUXLEY COMMENTS
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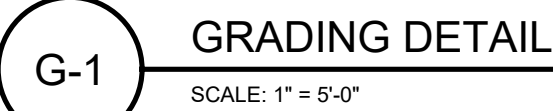
LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2

GRADING PLAN - NORTH

DESCRIPTION:	
NAI NO.:	18181
DATE:	4/16/21
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	GR-2
SHEET NO.:	5/9

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Landscape Architecture





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Landscape Architecture

**NILLES ASSOCIATES**

REVISIONS:

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# PRAIRIE VIEW DEVELOPMENT PLAT 2

HUXLEY, IOWA

## GRADING PLAN DETAILS

PROJECT NAME:	DESCRIPTION:
NAI NO.:	18181
DATE:	4/16/21
DRAWN BY:	ADS
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	GR-3
SHEET NO.:	6 / 9



UTILITY PLAN NOTES

1. WATER MAIN SERVICE. 95 LF TOTAL 6" WATER MAIN AND 45 LF TOTAL 3" WATER MAIN. INSTALL PIPE AND FITTINGS PER SUDAS 5010, 5020, 2015 INTERNATIONAL FIRE CODE, AND CITY OF HUXLEY REQUIREMENTS. MAINTAIN DEPTH OF 5.5 FEET MINIMUM. CONSULT BUILDING PLANS FOR FOOTING DEPTH AND EXTENSION OF SERVICES TO METERS.

1.1. 8" TAPPING VALVE AND SLEEVE.

1.2. 6"x6"x6" TEE.

1.3. FIRE HYDRANT ASSEMBLY

1.4. 200' FIRE HYDRANT COVERAGE RADIUS

1.5. 6"x3"x3" TEE

1.6. 3" GATE VALVE.

1.7. INSTALL "WATT'S RP2 BACKFLOW ASSEMBLY" ON WATER SERVICE.
2. SANITARY SEWER WORK AND MATERIALS SHALL CONFORM TO SUDAS 4010.

2.1. CORE DRILL AND CONNECT PROPOSED 8" SANITARY SEWER TO EXISTING MANHOLE USING TRELLEBORG KOR-N-SEAL OR APPROVED EQUAL. INV - 1005.08

2.2. SANITARY SEWER GREASE INTERCEPTOR. TANK SHALL BE 1500 GALLONS MANUFACTURED BY LISTER INDUSTRIES OR APPROVED EQUAL. EXTEND ACCESS MANHOLES TO FINISH GRADE OF PARKING LOT AND PROVIDE INTERNAL VENTING.

2.3. SANITARY SEWER SERVICE WYE.

2.4. SANITARY SEWER MAIN TO BE PVC TRUSS PIPE.

2.5. SANITARY SEWER SERVICES TO BE PVC SDR 23.5 PIPE.

2.6. INSTALL TRACER WIRE ALONG SANITARY SEWER MAIN. LOOP TRACER WIRE DOWN EACH SERVICE. TERMINATE TRACER WIRE AT FLUSH MOUNTED TRACER WIRE BOX (TWAB).
3. ELECTRIC SERVICE. COORDINATE TRANSFORMER LOCATION AND CONNECTION TO EXISTING ELECTRIC SERVICE WITH ALLIANT ENERGY.

3.1. TRANSFORMER LOCATION

3.2. BUILDING ELECTRIC SERVICE
4. PROPOSED GAS SERVICE - FINAL ROUTE AND LOCATION TO BE DETERMINED BY UTILITY PROVIDER AND COORDINATED WITH MR PROPERTIES FOR INSTALLATION.

5. PROPOSED COMMUNICATION LINE - FINAL ROUTE AND LOCATION TO BE DETERMINED BY UTILITY PROVIDER AND COORDINATED WITH MR PROPERTIES FOR INSTALLATION.

6. STORM SEWER. ALL WORK AND MATERIALS SHALL CONFORM TO SUDAS 4020, 4030, & 6010

6.1. REMOVE EXISTING BEEHIVE INTAKE AND REPLACE WITH CLEANOUT.

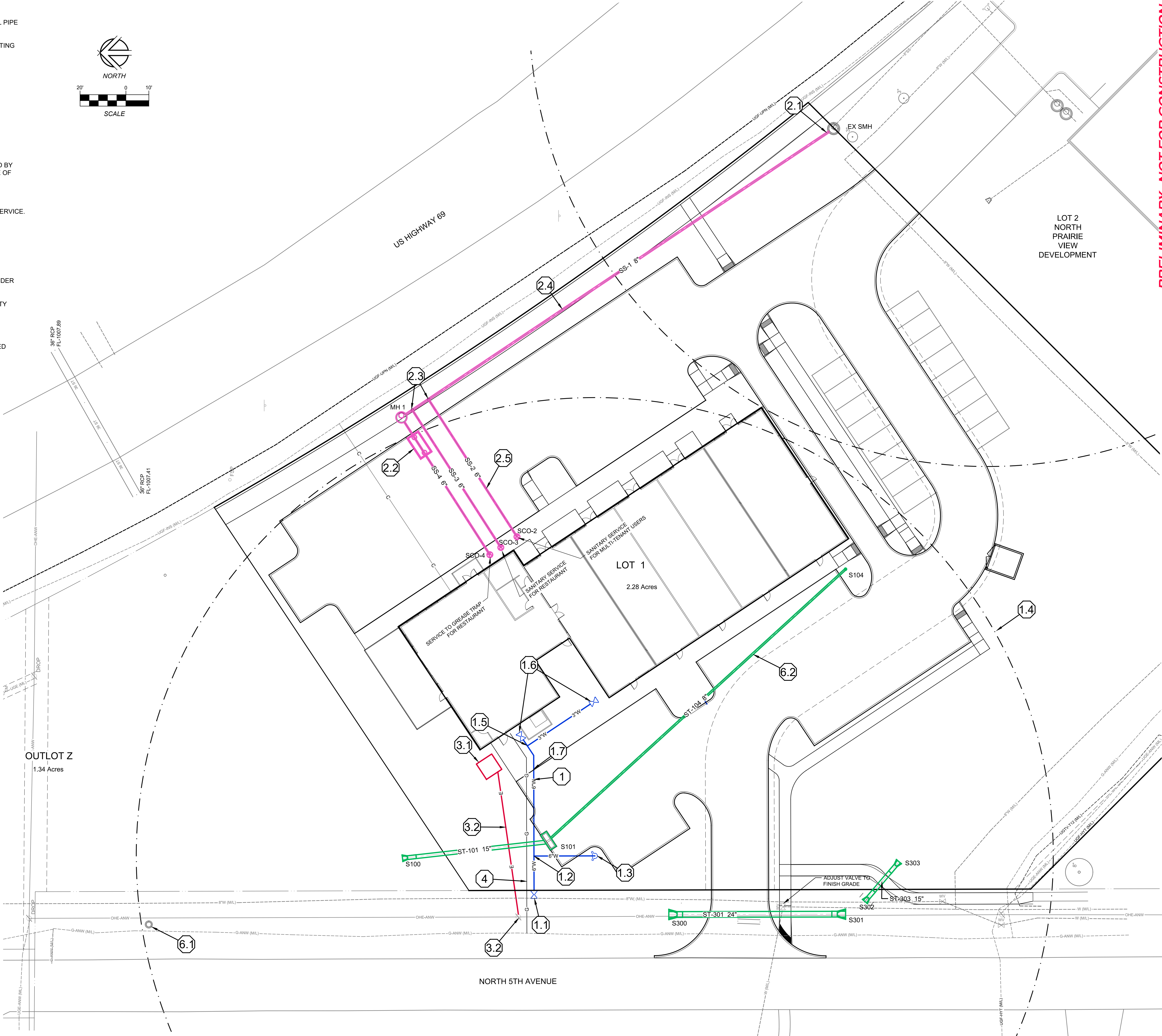
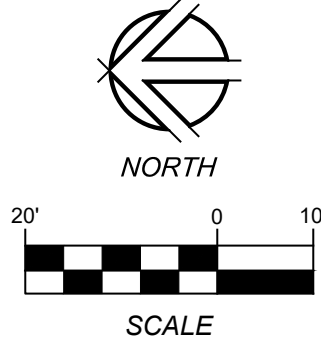
6.2. CONNECT BUILDING ROOF DRAINS TO 8" STORM SEWER USING INSERT-A-TEE OR APPROVED EQUAL. REFER TO BUILDING PLANS FOR LOCATIONS.

STORM STRUCTURE TABLE			
NAME	DESCRIPTION	RIM/TC	INVERT
S100	15" APRON WITH GUARD AND FOOTING		INV 1007.00 (ST-101)
S101	(SW-505) DOUBLE GRATE INTAKE	1011.40	INV 1007.48 (ST-104)
S104	STORM SEWER CLEANOUT		INV 1007.38 (ST-101)
S300	24" RCP APRON WITH GUARD AND FOOTING		INV 1009.29 (ST-301)
S301	24" RCP APRON WITH GUARD AND FOOTING		INV 1010.64 (ST-301)
S302	FLARED END SECTION		INV 1010.70 (ST-303)
S303	FLARED END SECTION		INV 1011.17 (ST-303)

STORM PIPE TABLE					
NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
ST-101	15"	63 LF	0.60%	1007.38	1007.00
ST-104	8"	177 LF	1.78%	1010.63	1007.48
ST-301	24" RCP	77 LF	1.75%	1010.64	1009.29
ST-303	15" RCP	23 LF	2.05%	1011.17	1010.70

SANITARY SEWER PIPE TABLE					
NAME	SIZE	LENGTH	SLOPE	INLET INVERT	OUTLET INVERT
SS-1	8" PVC	211 LF	0.60%	1006.34	1005.08
SS-2	6" PVC	71 LF	1.00%	1007.05	1006.34
SS-3	6" PVC	71 LF	1.00%	1007.10	1006.39
SS-4	6" PVC	71 LF	1.00%	1007.23	1006.52

SANITARY SEWER STRUCTURE TABLE			
NAME	DESCRIPTION	RIM	INVERT
MH 1	(SW-301) CIRCULAR SANITARY SEWER MANHOLE	1011.47	INV 1006.42 (SS-1) INV 1006.52 (SS-4)
SCO-2	(SW-203) SANITARY SEWER CLEANOUT	1012.67	INV 1007.05 (SS-2)
SCO-3	(SW-203) SANITARY SEWER CLEANOUT	1012.69	INV 1007.10 (SS-3)
SCO-4	(SW-203) SANITARY SEWER CLEANOUT	1012.72	INV 1007.23 (SS-4)



PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS	
1.)	10/15/2021 - REVISIONS PER CITY OF HUXLEY COMMENTS
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LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2

PROJECT NAME	
LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2	
DESCRIPTION	
UTILITY PLAN	
PROJECT NO.	
18181	
DATE	
4/16/21	
DRAWN BY	
ADS	
CHECKED BY	
JTN	
SHEET NO.	
24" X 36"	
SHEET TITLE	
UP-1	
SHEET NO.	
7/9	



1. ALL PLANT MATERIAL AND PLANTING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9030 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS) OMITTING PARTS 2.06 AND 3.08 (TREE WRAPPING) AND SUBJECT TO THE FOLLOWING NOTES:
2. NO SUBSTITUTIONS IN SPECIES LISTED WILL BE ACCEPTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. IF ANY UNAUTHORIZED SUBSTITUTIONS ARE MADE BY THE OWNER OR CONTRACTOR THE PROJECT LANDSCAPE ARCHITECT ASSUMES RESPONSIBILITY FOR THE GROWTH OR PERFORMANCE OF THE PLANT MATERIAL.
3. PLANTINGS SHALL MEET THE MINIMUM SPECIES LISTED UNLESS LARGER CALIBER OR HEIGHTS ARE APPROVED BY THE OWNER AND PROJECT LANDSCAPE ARCHITECT.
4. ALL NURSERY STOCK MUST MEET THE MINIMUM STANDARDS ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
5. LANDSCAPE CONTRACTOR SHALL ENSURE PLANT MATERIAL RECEIVES ADEQUATE WATERING FOR A MINIMUM OF 30 DAYS AFTER PLANTING AND CONTINUING UNTIL SELF-SUFFICIENT.
6. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION. SEE PLANTING DETAILS FOR ADDITIONAL PLANTING INSTRUCTIONS.
7. DECIDUOUS TREES IN EXCESS OF 2" CALIBER AND CONIFEROUS TREES IN EXCESS OF 4" CALIBER SHALL BE STAKED. STAKING PROCEDURE SHALL ENSURE TRUNKS ARE PROTECTED FROM DAMAGE. STRAPS OR WIRES SHALL NOT BE OVER-TIGHTENED TO ALLOW FOR SOME LATER TRUNK MOVEMENT.
8. ALL DISTURBED AREAS NOT DESIGNATED FOR PLANTING BEDS OR SPECIALTY PLANTING AREAS SHALL BE SEEDED OR SODDED AS DIRECTED BY THE PLAN. TOTAL AREA OF SOD = 14,892 SF (149 SQUARES).
9. SODDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 9020 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS).
10. LAWN SEEDING SHALL BE IN ACCORDANCE WITH DIVISION 9 - SECTION 8010 OF THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS FOR PUBLIC IMPROVEMENTS MANUAL (SUDAS). PERMANENT LAWN SEED SHALL BE APPLIED OPTIO FOR HYDRAULICALLY APPLIED BFM SEEDING.
11. WARM-SEASON NATIVE GRASS SEEDING SHALL BE SUDAS TYPE 3 (PERMANENT WARM-SEASON SLOPE AND DITCH MIXTURE), AND FOLLOWED BY BFM HYDROMUL ACCORDANCE WITH SUDAS SPECIFICATIONS.
12. ALL PLANTING BEDS DESIGNATED FOR MULCH INCLUDING AREAS AROUND TREES (SHRUBS) SHALL BE 3" DEPTH SHREDDED HARDWOOD - 4" DIAMETER (TREES) AND 4" DIAMETER (SHRUBS). A PRE-EMERGENT SUCH AS "PREEM" OR APPROVED EQUAL HYDROMUL SHALL BE APPLIED BY THE MANUFACTURER'S RECOMMENDED RATE IMMEDIATELY AFTER MULCHING.

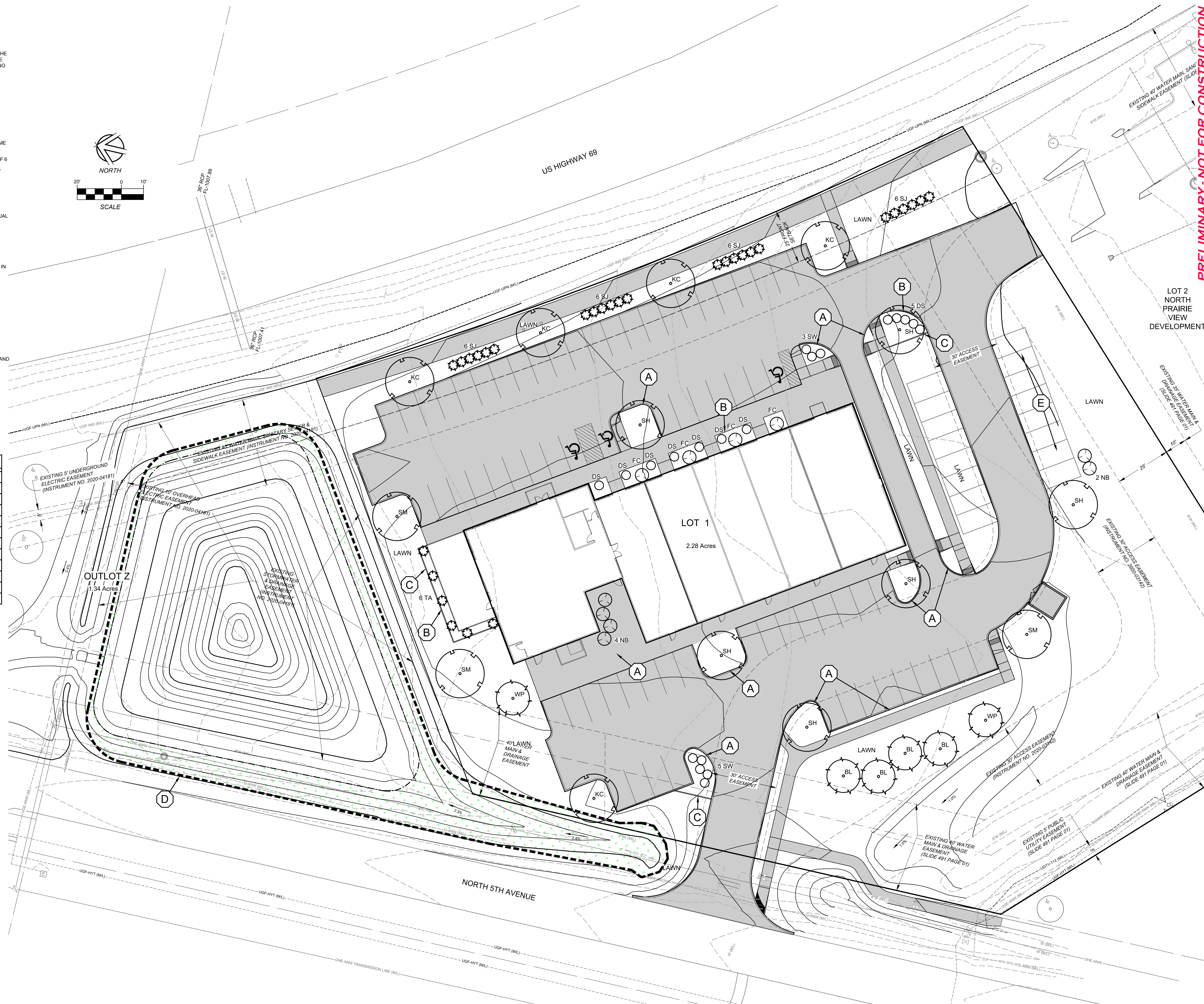
SCREENING REQUIREMENT  
LANDSCAPE SCREENING BETWEEN COMMERCIAL ZONING LOADING AND PARKING AREA  
RESIDENTIAL ZONING.

PARKING LOT SHADING  
ONE PARKING LOT ISLAND WITH LANDSCAPING FOR EVERY TWENTY PARKING STALLS.  
79 STALLS / 20 STALLS = 3 REQUIRED ISLANDS.  
4 ISLANDS PROVIDED.

## TREES &amp; SHRUBS

Key	Common / Scientific name	Minimum Size	No.	Root, Comments
SM	Fall Fiesta Sugar Maple <i>Acer saccharum</i> 'Fallen Fall's FIESTA	2" Caliper	3	B&B or Container
SH	Saville's Honey Locust <i>Gleditsia triacanthos</i> 'Saville's	2" Caliper	6	B&B or Container
KC	Kentucky Coffee Tree <i>Fraxinus velutina</i>	2" Caliper	5	B&B or Container
BL	Blue Spruce <i>Picea pungens</i>	6" Height	4	B & B or SPADE
WP	White Pine <i>Pinus strobus</i>	6" Height	2	B & B or SPADE
FC	Golden Mop Threading False Cypress <i>Chamaecyparis platensis</i> 'Golden Mop	18-24" Height	4	Container
SJ	Sea Green Juniper <i>Juniperus x pfitzeriana</i> 'Sea Green'	18-24" Height	24	Container
NB	Northern Bayberry <i>Myrica pensylvanica</i>	24" Height	6	Container
SW	Shenandoah Switchgrass <i>Panicum virgatum</i> 'Shenandoah'	24" Height	8	Container
DS	Dwarf Firebail Spruce <i>Spruce x bumsii</i> Dwarf Firebail or Gumball	24" Height	12	Container
TA	Emerald Green Arborvitae <i>Arctostaphylos</i> Emerald Green	24" Height	6	B & B or SPADE

- A. PLANTING BEDS AS SHOWN SHALL HAVE 1-2" DIAMETER RIVER ROCK AT 2" DEPTH PLACED OVER A WATER PERMEABLE WEED BARRIER.
- B. PLANTING BEDS AS SHOWN SHALL HAVE SHREDDED HARDWOOD MULCH. SEE GENERAL LANDSCAPING NOTES.
- C. LANDSCAPE EDGING SHALL BE VARIABLE LENGTH, 4" X 8" IOWA BUFF LIMESTONE.
- D. NATIVE SEEDING AROUND POND, TOTAL AREA = 21,926 SF (0.5 ACRES). SEE GENERAL LANDSCAPING NOTES FOR SEEDING INFORMATION.
- E. GRADING PLAN FOR EROSION CONTROL, BLANKET AREAS, SLOPE AREAS, AND TURF REINFORCEMENT MATTING (TRM) AREAS.
- F. FUTURE PARKING STALLS.



**PRELIMINARY - NOT FOR CONSTRUCTION**

REVISIONS:

	05/12/2021 - REVISIONS PER CITY OF HUXLEY COMMENTS
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NOTICE: NILLER ASSOCIATES, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS, AND THE ENGINEERING INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM FAILURE TO OBTAIN AND/OR FOLLOW THE ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH MAY ARISE, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE USER.

LOT 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2  
HUXLEY, IOWA

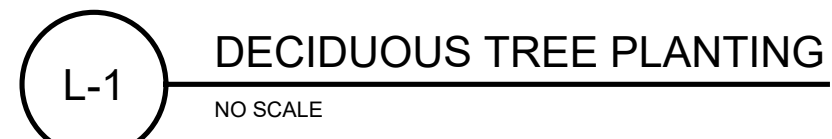
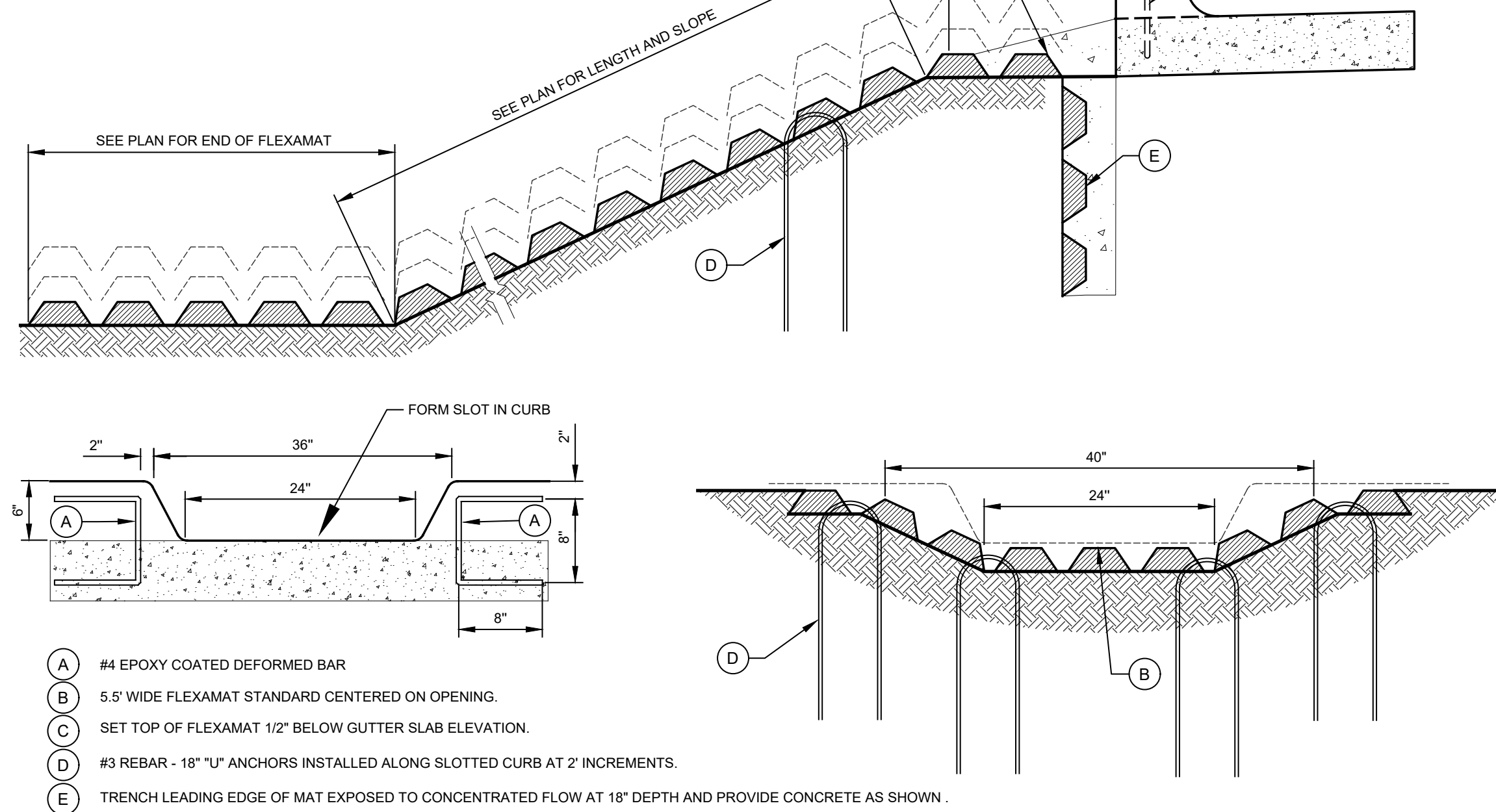
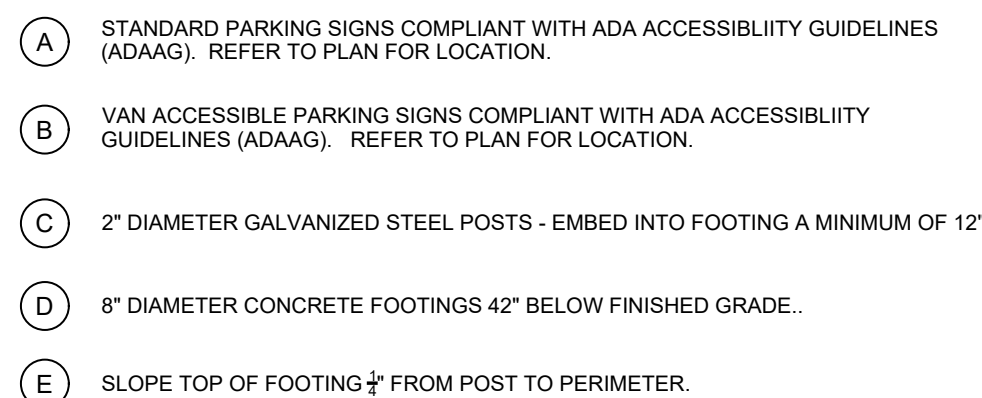
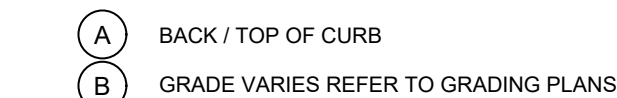
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LANDSCAPE PLAN

PROJECT NAME: \_\_\_\_\_  
DESCRIPTION: \_\_\_\_\_

NAI NO.:	18181
DATE:	4/16/21
DRAWN BY:	TNB
CHECKED BY:	JTN
SHEET SIZE:	24" X 36"
SHEET TITLE:	LP-1
SHEET NO.:	8/9





May 5, 2021

Forrest S. Aldrich  
Veenstra & Kimm, Inc.  
3000 Westown Parkway  
West Des Moines, Iowa 50266-1320

**RE: Lot 1, North Prairie View Development Plat 2: Traffic Memo**

Forrest:

Below are the anticipated trips generated by this site.

**1. Shopping Center**

Using the ITE Code 820 for Shopping Center yields the following trips:

- Total Average Weekday Trips = 37.75 trips per 1,000 sq.ft.
  - 8,510 sq.ft. = **322 trips**
- A.M. Peak Hour Trips = 3 trips per 1,000 sq.ft.
  - 8,510 sq.ft. = **26 trips**
- P.M. Peak Hour Trips = 4.21 trips per 1,000 sq.ft.
  - 8,510 sq.ft. = **36 trips**
- Saturday Trips = 46.12 trips per 1,000 sq.ft.
  - 8,510 sq.ft. = **393 trips**
- Saturday, Peak Hour of Generator = 4.50 trips per 1,000 sq.ft.
  - 8,510 sq.ft. = **39 trips**

**2. High-Turnover (Sit-Down) Restaurant**

Using the ITE Code 932 for High-Turnover (Sit-Down) Restaurant yields the following trips:

- Total Average Weekday Trips = 112.18 trips per 1,000 sq.ft.
    - 3,469 sq.ft. = **390 trips**
  - A.M. Peak Hour Trips = 14.04 trips per 1,000 sq.ft.
    - 3,469 sq.ft. = **49 trips**
  - P.M. Peak Hour Trips = 17.41 trips per 1,000 sq.ft.
    - 3,469 sq.ft. = **61 trips**
  - Saturday Trips = 122.40 trips per 1,000 sq.ft.
    - 3,469 sq.ft. = **425 trips**
  - Saturday, Peak Hour of Generator = 11.19 trips per 1,000 sq.ft.
    - 3,469 sq.ft. = **39 trips**
  -
-

### 3. **TOTAL**

- Total Average Weekday Trips = **712 trips**
- A.M. Peak Hour Trips = **75 trips**
- P.M. Peak Hour Trips = **97 trips**
- Saturday Trips = **818 trips**
- Saturday Peak Hour of Generator = **78 trips**

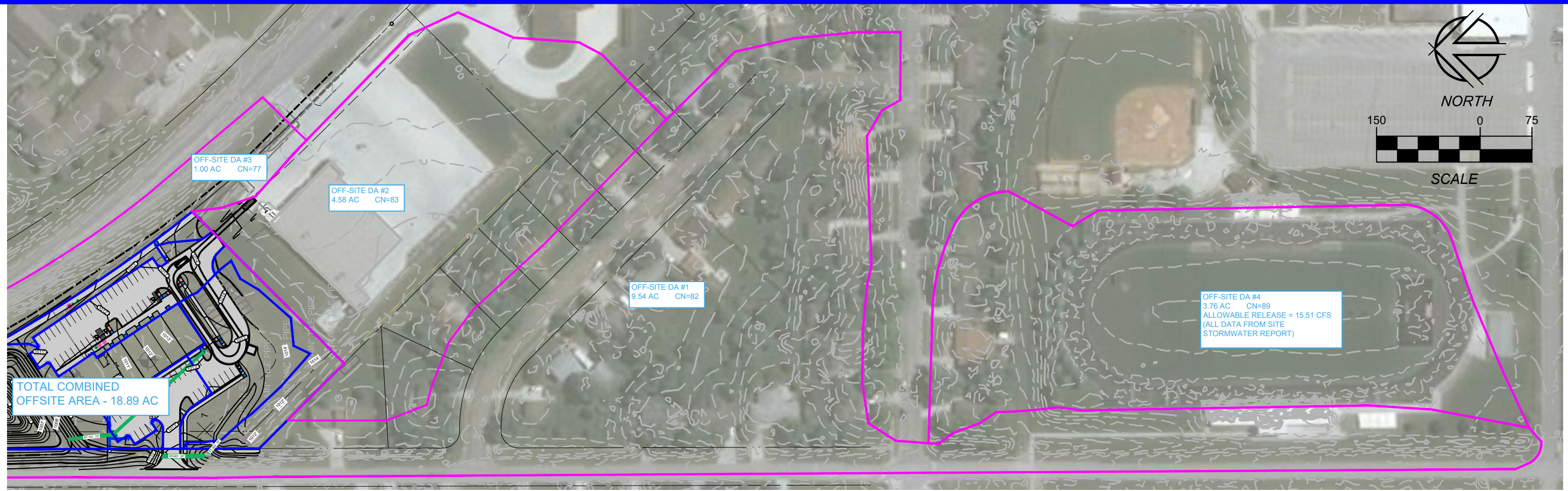
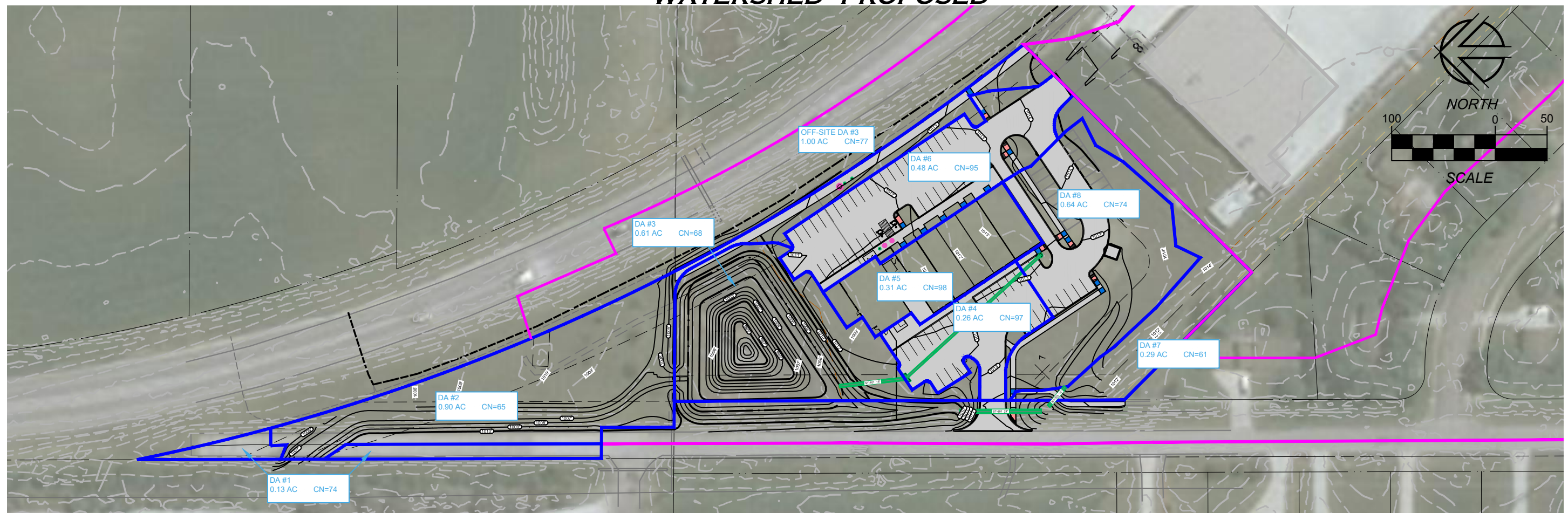
#### **Trip Distribution:**

We anticipate 25% of traffic will utilize the entrance off of North 5<sup>th</sup> Avenue. Of this 25%, 100% of the traffic will head south when departing and will be coming from the south when entering.

We anticipate 75% of traffic will utilize the entrance to Fareway to access this property. There will be an even distribution of traffic coming from both the north and south.



WATERSHED - PROPOSED



NAI No.:	18181	DWG No.:	1/1
DATE:	4/12/2021	DRAWN BY:	BLH
		CHECKED BY:	JTN
		SHEET TITLE:	WS-1

PROJECT:	North Prairie View Plat 2
LOCATION:	HUXLEY, IOWA

1250 SW STATE STREET  
SUITE A  
ANKENY, IOWA  
50023-2555  
(515) 965-0123 phone  
(515) 965-3322 fax  
www.nillesinc.com

**NILLES ASSOCIATES**



# Hydrologic Soil Group—Story County, Iowa (18181-Soil Groups Map)



Soil Map may not be valid at this scale.

Map Scale: 1:2,020 if printed on A portrait (8.5" x 11") sheet.

0 25 50 100 150 Meters

0 50 100 200 300 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge ticks: UTM Zone 15N WGS84



Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

4/12/2029  
Page 1 of 4

MAP LEGEND

**Area of Interest (AOI)**

Area of Interest (AOI)

**Soils**

**Soil Rating Polygons**

A

A/D

B

B/D

C

C/D

D

Not rated or not available

**Water Features**

Streams and Canals

**Transportation**

Rails

Interstate Highways

US Routes

Major Roads

Local Roads

**Background**

Aerial Photography

**Soil Rating Lines**

A

A/D

B

B/D

C

C/D

D

Not rated or not available

**Soil Rating Points**

A

A/D

B

B/D

C

C/D

D

Not rated or not available

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Story County, Iowa  
Survey Area Data: Version 32, Jun 10, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 26, 2012—Sep 28, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
L55	Nicollet loam, 1 to 3 percent slopes	B/D	0.6	12.6%
L107	Webster clay loam, Bemis moraine, 0 to 2 percent slopes	C/D	0.3	6.1%
L138B	Clarion loam, Bemis moraine, 2 to 6 percent slopes	B	2.2	47.2%
L507	Canisteo clay loam, Bemis moraine, 0 to 2 percent slopes	C/D	1.6	34.1%
<b>Totals for Area of Interest</b>			<b>4.8</b>	<b>100.0%</b>

**WATERSHED - EXISTING**

**EXISTING DA #1**  
0.39 AC CN=68

**EXISTING DA #2**  
0.14 AC CN=68

**EXISTING DA #3**  
3.09 AC CN=68

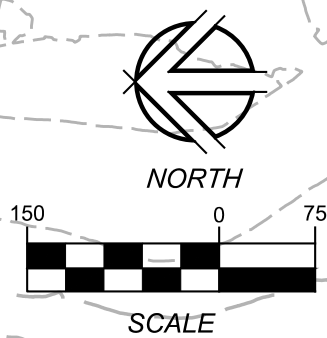
**OFF-SITE DA #1**  
9.54 AC CN=82

**OFF-SITE DA #2**  
4.58 AC CN=83

**OFF-SITE DA #3**  
3.76 AC CN=89  
ALLOWABLE RELEASE = 15.51 CFS  
(ALL DATA FROM SITE STORMWATER REPORT)

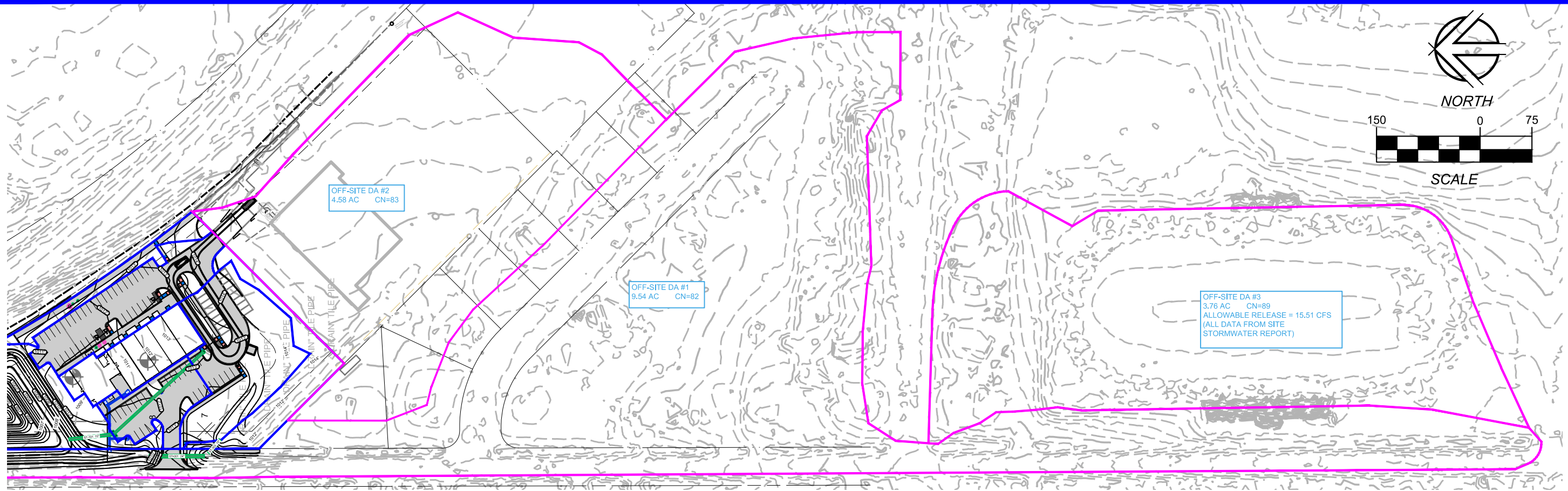
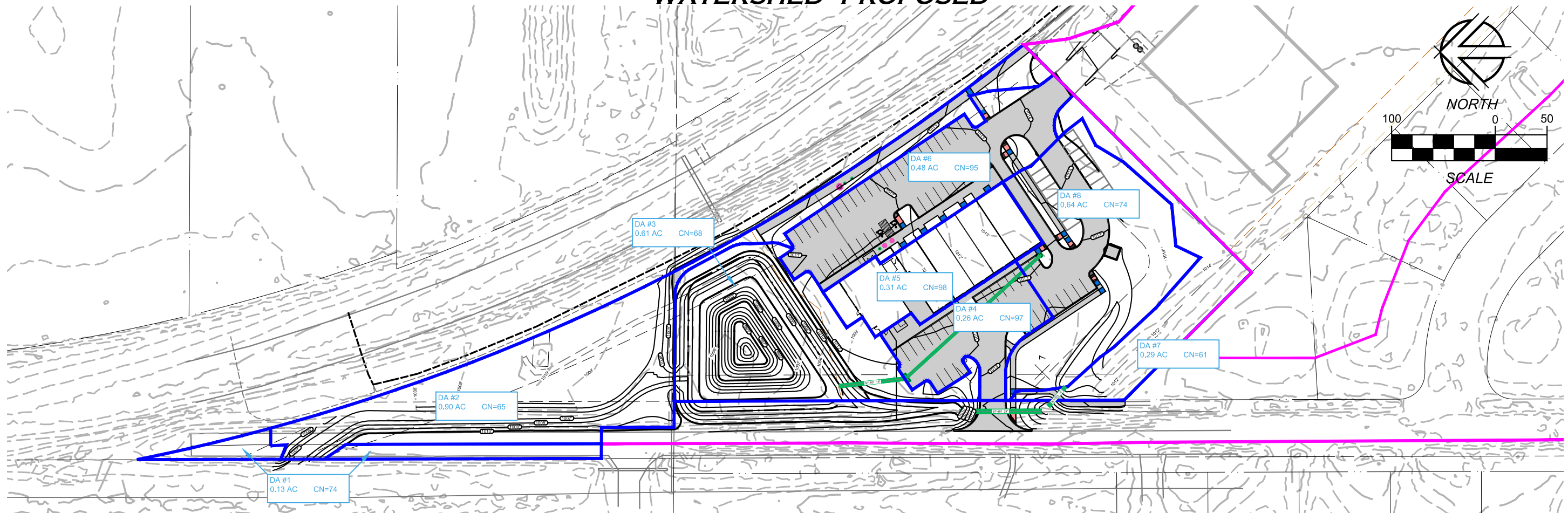
**SCALE**

**NORTH**



**NILLES ASSOCIATES**  
SUITE A  
1250 SW STATE STREET  
ANKENY, IOWA  
50023-2555  
(515) 965-0123, phone  
(515) 965-3322 fax  
[www.nillesinc.com](http://www.nillesinc.com)

WATERSHED - PROPOSED



NAI No.: <b>18181</b>	DRAWN BY: <b>BLH</b>	DWG No.: <b>1/1</b>
PROJECT: <b>1250 SW STATE STREET SUITE A ANKENY, IOWA 50023-2555 (515) 965-0123 phone (515) 965-3322 fax www.nillesinc.com</b>		
LOCATION: <b>HUXLEY, IOWA</b>		
PROJECT: <b>North Prairie View Plat 2</b>		



INDEX LEGEND

COUNTY: STORY COUNTY, IOWA CITY: HUXLEY

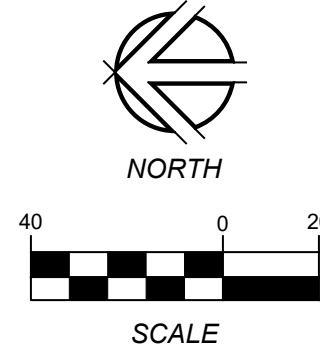
LOCATION:  
NORTH PRAIRIE VIEW PLAT 2 : LOT 1 & OUTLOT "A"  
SECTION 23 - TWP 82 - RGE 24 WEST :  
PARCEL AC OF PARCEL P OF NW 1/4 OF NE 1/4

PROPRIETOR & REQUESTED BY:  
MR STORAGE, LC  
c/o CHRIS GARDNER  
PO BOX 242  
HUXLEY, IOWA 50124  
PHONE: (515) 401-8615

SURVEYOR: THAREN J. HELGERSON, PLS #18530

SURVEY COMPANY: NILLES ASSOCIATES, INC.

RETURN TO: THAREN J. HELGERSON,  
NILLES ASSOCIATES, INC.  
1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023 PH: (515) 965-0123



BENCHMARKS

- Top of rim of existing sanitary manhole, located on the southeasterly line of Lot 1, NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2, at the west edge of the concrete sidewalk, approximately 16 southwesterly of the easterly corner of said Lot 1. Elevation = 1014.88' (NAVD88)
- Cut "X" on top of the concrete curb in the north corner of the Fareway parking lot, approximately 88 feet southeasterly of Benchmark #1 along the existing sidewalk. Elevation = 1016.80' (NAVD88)

LEGEND

▲

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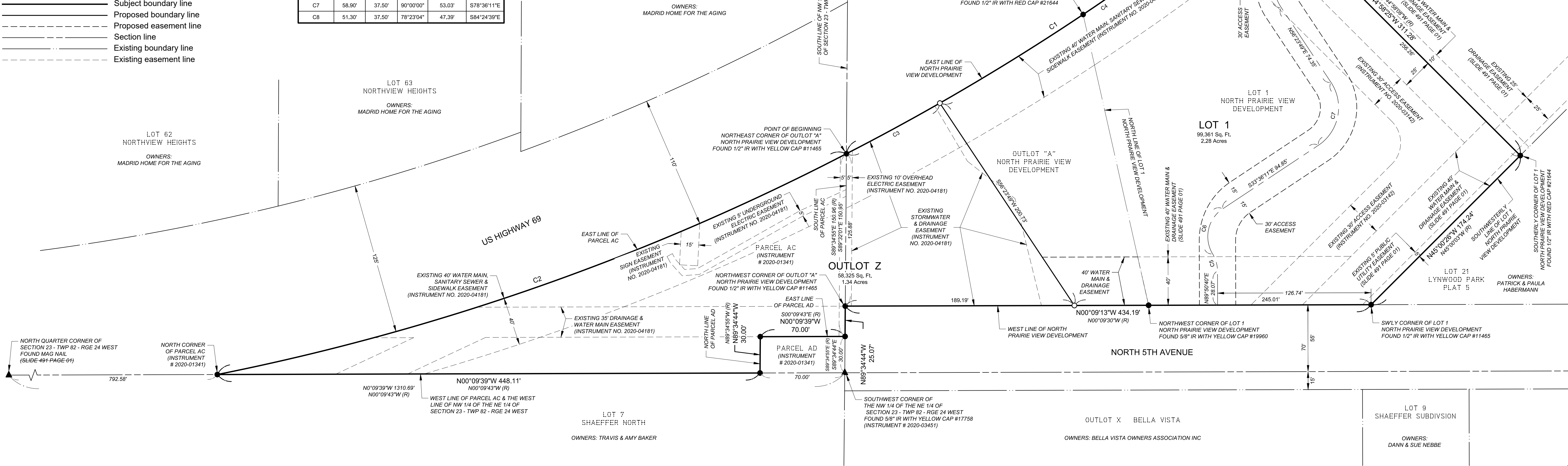
P.U.E.

(R)

1234

Found section corner monument as noted  
Found monument 5/8" IR with yellow cap #17758 unless otherwise noted  
Set monument 5/8" IR with red cap #18530 unless otherwise noted  
Round iron rebar (outside diameter)  
Round iron pipe (outside diameter)  
Public Utility Easement  
Record dimension  
Lot Address  
Subject boundary line  
Proposed boundary line  
Proposed easement line  
Section line  
Existing boundary line  
Existing easement line

CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Distance	Chord Bearing
C1	401.71'	1970.00'	11°41'00"	401.01'	S33°01'05"E
C2	552.34'	1970.00'	16°03'52"	550.53'	S19°20'55"E
C2 (R)	552.34'	1970.00'	16°03'51"	550.53'	S19°21'00"E
C3	87.78'	1970.00'	2°33'11"	87.77'	S28°27'10"E
C4	313.93'	1970.00'	9°07'50"	313.60'	S34°17'40"E
C5	14.97'	27.50'	31°10'47"	14.78'	N74°15'16"E
C6	42.11'	27.50'	87°43'56"	38.11'	S77°28'09"E
C7	58.90'	37.50'	90°00'00"	53.03'	S78°36'11"E
C8	51.30'	37.50'	78°23'04"	47.39'	S84°24'39"E



# NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2

## FINAL PLAT

LEGAL DESCRIPTION

Lot 1 and Outlot "A", NORTH PRAIRIE VIEW DEVELOPMENT, an official plat, located in the City of Huxley, Story County, Iowa; AND Parcel AC of Parcel "P" of the Northwest Quarter of the Northeast Quarter of Section 23, Township 82 North, Range 24 West of the Fifth Principal Meridian, located in the City of Huxley, Story County, Iowa, as shown on the plat of survey recorded as Instrument No. 2020-01341, and being more particularly described as follows:

Beginning at the northeast corner of said Outlot "A", NORTH PRAIRIE VIEW DEVELOPMENT; thence southeasterly 401.71 feet along a curve to the left, along the east line of said NORTH PRAIRIE VIEW DEVELOPMENT, having a radius of 1970.00 feet, a delta angle of 11 degrees 41 minutes 00 seconds and a chord distance of 401.01 feet which bears South 33 degrees 01 minute 05 seconds East, to the south line of said Lot 1, NORTH PRAIRIE VIEW DEVELOPMENT; thence South 44 degrees 58 minutes 25 seconds West, not tangent to the last described line curve, along said south line of Lot 1, NORTH PRAIRIE VIEW DEVELOPMENT, a distance of 311.28 feet, to the southwesterly line of said Lot 1, NORTH PRAIRIE VIEW DEVELOPMENT; thence North 45 degrees 00 minutes 26 seconds West, along said southwesterly line of Lot 1, NORTH PRAIRIE VIEW DEVELOPMENT; thence North 00 degrees 09 minutes 13 seconds West, along said west line of NORTH PRAIRIE VIEW DEVELOPMENT, a distance of 434.19 feet, to the south line of said Parcel AC; thence North 89 degrees 34 minutes 44 seconds West, along said south line of Parcel AC, a distance of 25.07 feet, to the east line of Parcel AD of Parcel "P" of the Northwest Quarter of the Northeast Quarter of Section 23, Township 82 North, Range 24 West of the Fifth Principal Meridian, located in the City of Huxley, Story County, Iowa, as shown on the plat of survey recorded as Instrument No. 2020-01341; thence North 00 degrees 09 minutes 39 seconds West, a distance of 70.00 feet, to the north line of said Parcel AD; thence North 89 degrees 34 minutes 44 seconds West, along said south line of Parcel AD, a distance of 30.00 feet, to the west line of said Parcel AC; thence North 00 degrees 09 minutes 39 seconds West, along said west line of Parcel AC, a distance of 448.11 feet, to the east line of said Parcel AC; thence southeasterly 552.34 feet along a curve to the left, not tangent to the last described line, along said east line of Parcel AC, having a radius of 1970.00 feet, a delta angle of 16 degrees 03 minutes 52 seconds and a chord distance of 550.53 feet which bears South 19 degrees 20 minutes 55 seconds East, to said south line of Parcel AC and the Point of Beginning.

Containing 3.62 acres more or less.

Said parcel is subject to all easements and restrictions.

GENERAL NOTES

- Outlot Z to be dedicated to the City of Ankeny for open space purposes.
- The south line of Lot 1, NORTH PRAIRIE VIEW DEVELOPMENT, is assumed to bear South 44 degrees 58 minutes 25 seconds West.
- The site lies within Zone X with areas of minimal flood hazard, as shown on the Flood Insurance Rate Map Community Panel Number 19169 C0290 F, with an effective date of January 15, 2021.

ZONING

Zoning: C-2 District - General Commercial District

Bulk Regulations:

- Front Yard Setback - 25 feet
- Rear Yard Setback - 25 feet
- Side Yard Setback - 0 feet unless abutting residential lot, then 15 feet

CERTIFICATION

THAREN J. HELGERSON  
LICENSED  
IOWA  
18530  
PROFESSIONAL LAND SURVEYOR

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.  
  
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
THAREN J. HELGERSON, L.S. No. 18530  
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2022  
  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_  
SHEET FP-1 ONLY  
  
DATE OF SURVEY: 03/19/20

1250 SW STATE STREET, SUITE A  
ANKENY, IOWA 50023-2555  
(515) 965-0123 phone - (515) 965-3322 fax  
Civil Engineering - Land Surveying  
Landscape Architecture

NILLES ASSOCIATES

REVISIONS:

1)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS
2)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS
3)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS
4)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS
5)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS
6)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS
7)	03/19/2021	LOT 1 & OUTLOT Z REVISIONS

NOTE: NILLES ASSOCIATES, INC. WAIVES ANY AND ALL LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY ARISE FROM FAILURE TO OBTAIN A CURRENT SURVEY OF THE LAND TO BE SURVEYED. THE ENGINEERING INTENT OF THIS SURVEY IS TO OBTAIN A SURVEY OF THE LAND TO BE SURVEYED. ANY DISCREPANCIES OR OMISSIONS, INCONSISTENCIES OR ALLEGED CONFLICTS WHICH ARE ALLEGED.

NORTH PRAIRIE VIEW DEVELOPMENT PLAT 2

NORTH PRAIRIE VIEW DEVELOPMENT HUXLEY STORY COUNTY IOWA

FINAL PLAT

PROJECT NAME

DESCRIPTION

N/AI NO.: 18181

DATE:	04/16/21
DRAWN BY:	TJH
CHECKED BY:	RAM
SHEET SIZE:	24" X 36"
SHEET TITLE:	FP-1
SHEET NO.:	1/1