

#### **PLANNING & ZONING COMMISSION MEETING**

#### ZOOM VIRTUAL MEETING-INFORMATION BELOW MONDAY APRIL 19, 2021 6:00 P.M.

#### **AGENDA**

- 1. Roll Call
- 2. Motion to approve the minutes from March 15, 2021
- 3. Public Comments (5-minutes limit for items not on this agenda)
- 4. Public Hearing
  - a. Toy Box Industrial Rezoning R-1 to M-1
  - b. Blue Sky Commons Residential Rezoning A-1 and M-1 to R1
- 5. Business Items
  - a. Toy Box Storage Industrial Rezoning R-1 to M-1
  - b. Toy Box Storage Site Plan
  - c. Blue Sky Commons Residential Rezoning A-1 and M-1 to R-1
  - d. Meadow Lane Investments LLC Annexation
  - e. Meadow Lane Investments LLC Preliminary Plat 2021
- 6. Informational Items
  - a. Story County Water Monitoring Plan <a href="https://www.storycountyiowa.gov/1536/Water-Quality-Monitoring">https://www.storycountyiowa.gov/1536/Water-Quality-Monitoring</a>
  - b. Sidewalk Infill and Trails Master Planning
- 7. Planning and Zoning Commission Comments
- 8. Adjournment

Zoom Meeting Information:

https://zoom.us/j/97081351157

Meeting ID: 970 8135 1157 Dial In:1-312-626-6799

Office, City Admir morning precedin	nistration Building g Monday's Plann by calling the Cler	at 515 N. Main Aing & Zoning Co	Ave. Agendas ard mmission meetir	ıg. Citizens can a	public at the City	Clerk's Office on	Frida

# Huxley Planning & Zoning Commission Meeting Minutes Monday, March 15, 2021

Chairman Bierbaum called the Zoom Meeting to order at 6:09pm

ROLL CALL: Bierbaum, Wilson, Mosher, Frantz, Schonhorst, Patterson, Scott

CITY STAFF: Rita Conner – City Administrator, Jolene Lettow – City Clerk

**CONSULTANTS PRESENT**: Forrest Aldrich -City Engineer

Motion by Wilson, seconded by Mosher to approve the February 22<sup>nd</sup> meeting minutes. Motion carried 7-0.

Motion by Mosher, seconded by Frantz to approve the March 3rd Special P & Z meeting minutes. Motion caried 7-0.

**BUSINESS ITEMS:** DZ Condos Site Plan – City Administrator, Rita Conner, reported that the site plan had originally been reviewed last fall and a favorable recommendation from P & Z had gone to council that included the addition of a sidewalk waiver along Snyder Drive. Commission members were informed that the sanitary sewer had some changes since last fall. Any unresolved issues had been resolved since prior recommendation. Motion by Patterson, seconded by Schonhorst to recommend approval of site plan with sidewalk waiver to council. Motion carried 7-0.

**Story County Housing Study**: it was reported that there is a shortage of homes in Huxley with a \$150 - \$200,000 price range. Chairman Bierbaum noted that developers want to reduce the size of R-1 lots to R-1A size. Suggested the lots could be used for low-income housing shortage. Recommended topic be placed on future agenda.

Patterson commented no other communities have any growth or development so do not have issue.

Wilson stated there were not any local developers that build homes for less than \$200,000.

Rita Conner, City Administrator, reported that Story County and Polk County officials were going to organize a forum to discuss possibility of lower priced homes.

Planning and Zoning/City Administrator Comments:

- City council is working on a "Connected City" with trails, sidewalks and sidewalk infill
- Eight projects for P & Z to review in April; Frantz and Wilson asked that P & Z be given plenty of lead time to receive and review information prior to meeting
- Members were asked if they preferred Zoom meetings or in-person meetings. Mosher reported either one worked. Patterson and Bierbaum stated they preferred Zoom.

Next meeting: April 19, 2021	
ADJOURNMENT: Motion – Wilson, secon	nd – Schonhorst to adjourn at 6:41pm. 7 ayes, motion carried.
Roger Bierbaum, Chairman	Date of Approval
Attest:	
Jolene R. Lettow, City Clerk	

#### PLANNING & ZONING COMMUNICATION

#### **AGENDA HEADING:**

Toy Box Industrial Rezoning R-1 to M-1 and Site Plan

#### **SUBMITTED BY**

Rita Conner, City Administrator

#### **SYNOPSIS:**

Philip and Kristina Brekke (203 Campus Avenue Huxley, Iowa 50124) have submitted a rezoning request and site plan for the expansion of their outdoor storage business. A link to the property is found below.

https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1326220110

The business provides outdoor storage for items such as boats, campers and trailers, and is directly adjacent to the family home. The rezoning proposes to take a portion of the lot where the home is located and change the zoning from R-1 to M-1 to allow for the expansion of the business.

Additional information is below and in the attachments.

#### **ADDITIONAL INFORMATION:**

- Adjacent owners within 200' have been notified of the rezoning and provided the ability to attend the public hearing.
- City staff and V & K have reviewed the site plan and provided comments to the owner. All comments have been addressed, with the exception of:
  - Applicant's requests for waivers on the requirements for asphalt/concrete surfacing, landscaped island, and landscaping between the storage area and Campus Drive.
- The 2013 Comprehensive Plan shows this area as industrial while also accounting for the existing residential use, which is consistent with the rezoning request.

#### **CITY ADMINISTRATOR COMMENTS:**

- Hard surfacing of commercial and industrial lots is the requirement. The current lot is partially HMA and partially asphalt millings. The proposed new area would be asphalt millings. The percentage of asphalt in the millings and how the material is bound or tacked to the lot would be helpful to understand, as it would go to the likelihood of materials being tracked off the lot and going into City storm intakes. The long-term nature of the storage lot can also be taken into consideration, if the vehicles are not moved frequently, the materials spillover could be reduced.
- The nature of the storage lot and large vehicles should also be taken into consideration regarding the landscaped islands.
- The storage lot is located in an area that is not highly visible to the public, being on a dead end and adjacent to an electrical substation. While some landscaping would soften the aesthetic of the fence, the limited visibility is a consideration.

#### PLANNING & ZONING COMMUNICATION

#### BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

• Initial site plan approval

#### ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- April 27 City Council review and public hearing
- Issuance of permits as applicable
- Certificate of occupancy

# NOTICE OF PUBLIC HEARINGS OF THE PLANNING & ZONING COMMISSION AND CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY PHILIP & KRISTINA BREKKE FROM SINGLE FAMILY RESIDENTIAL (R-1) TO INDUSTRIAL (M-1) CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

**TO:** ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

**YOU ARE HEREBY NOTIFIED** that the Planning & Zoning Commission and City Council are considering the rezoning of certain property in the City of Huxley, Iowa:

<u>R-1 ZONING</u> – Except the west 25 feet and except the east 220 feet. Lots 1, 2, and the north 49.2 feet measured on the east line and the north 42.6 feet measured on the west line of lot 3, all in O. M. Johnson's addition to the town of Huxley.

-to-

<u>M-1 ZONING</u>- Except the west 25 feet and except the east 220 feet. Lots 1, 2, and the north 49.2 feet measured on the east line and the north 42.6 feet measured on the west line of lot 3, all in O. M. Johnson's addition to the town of Huxley.

#### LAYMAN'S DESCRIPTION:

203 Campus Ave, Huxley Iowa 50124

**YOU ARE FURTHER AND SPECIFICALLY NOTIFIED** that a virtual hearing before the Planning & Zoning Commission to consider rezoning in light of the requested rezoning has been set to commence on the 19<sup>th</sup> day of April 2021 at 6 p.m. at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard. Zoom information is located below. The formal hearing is set to commence on the 27<sup>th</sup> of April at 6 p.m. in the Huxley City Council Chambers located at 515 N Main Avenue.

**Planning & Zoning Zoom Meeting Information:** 

https://zoom.us/j/99198672143

Call in: 312-626-6799

Meeting ID: 991 9867 2143



April 7, 2021

Re: Rezoning of 203 Campus Ave

Dear Property Owner:

Enclosed you will find material concerning the rezoning of 203 Campus Ave.

Your attendance is welcome at the following hearings:

• Monday April 19<sup>th</sup> at 6 PM—Planning and Zoning Commission informal hearing via Zoom.

**Zoom Meeting Information:** 

https://zoom.us/j/99198672143

Call in: 312-626-6799

Meeting ID: 991 9867 2143

• Tuesday April 27th 6:00 PM—City Council formal public hearing located in the Council Chambers 515 N Main Ave

Should you have any questions, please call 515.597.2561 ext 200 or email rconner@huxleyiowa.org.

Sincerely,

Rita Conner City Administrator



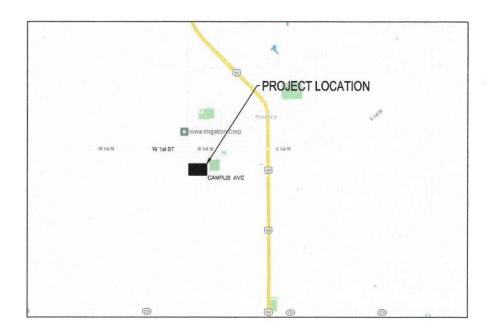
#### Site Plan/Landscape Plan Application

Date submitted:	Board review date:
Property Owner: Toy Box Storage, LLC Property Address: 203 Campus Avenue Property zoning: Pending M-1 Legal description: Reference the rezoning plat for	1326220110
Site plan prepared by: Scott Renaud, P.E., Renauded Address: PO Box 662, Ames, Iowa 50010 or en	d Engineering LLC nail renaudeng@gmail.com
Site plan review - \$100/reimburse City for any cost (legathe original site plan.	al and engineering) and \$50 for amendments to
I understand that the City of Huxley requires a site pla within any zoning districts except R-1 and R-2. The site the checklist and it must be presented at least 15 days meeting. Ten copies are required to be submitted and expense of the developer. I hereby understand these chuxley Code requirements.  Signed:  Dat	plan must include the 36 points as noted on prior to the Planning and Zoning scheduled will be subject to City Engineer review at the
(City use o	only)
Date of P&Z Meeting: Fee Check Number:	City Council Meeting date: Receipt number
Decision of the board:	
Decision of the council:	

# SITE DEVELOPMENT PLAN FOR

# TOY BOX STORAGE

# LOCATION MAP TO NORTH







# 203 CAMPUS AVENUE HUXLEY, IOWA 2021

INDEX OF SHEETS			
NO.	DESCRIPTION		
G 1.1	COVER SHEET		
G 1.2	GENERAL NOTES		
G 1.3.1	STORMWATER POLLUTION PREVENTION PLAN - SWPPP		
G 1.3.2	STORMWATER POLLUTION PREVENTION NOTES		
G 1.4	PLAN DETAILS		
S 1.0	EXISTING SITE CONDITIONS		
S 1.1	LAYOUT AND DIMENSION PLAN		
S 1.2	SITE GRADING PLAN		
\$ 1.3	SITE UTILITY PLAN		

City of Huxley Public Works	
Phone 515-597-2256	
Alliant Energy	
Jenni Kroneman	
jennikroneman@alliantenergy.com	
Phone 515-661-7297	
ITC	
Joe Beaver	
JBeaver@ltctransco.com	
fjennings@ltctransco.com	
Huxley Communications	
Brant Stumpfer	
102 N. Main Avenue, Huxley, Iowa 50124	
Office 515-597-2899	
	Jeff Peterson, Public Works Director Keith Vitzhum Phone 515-597-2256  Alliant Energy Jenni Kroneman jennikroneman@alliantenergy.com Phone 515-681-7297  ITC Joe Beaver JBeaver@itotransco.com Frank Jennings fjennings@itotransco.com Huxley Communications Brant Stumpfer 102 N. Main Avenue, Huxley, Iowa 50124

SITE PLAN DATA: NAME OF PROJECT: Tov Box Storage, LLC PROJECT ADDRESS: Philip & Kristine Brekke Prilip & Kristine Brekke Toy Box Storage, LLC 203 Campus Avenue Huxley, lows 50124 Kristina Brekke - 515-291-7309 Kristina Brekke Email - kristlina@toyboxstorag Philip Brekke Email - pbrekkeff@gmail.com APPLICANT: Philip & Kristine Brekke Philip & Kristine Brieke Toy Box Storage, LLC 203 Campus Avenue Huxley, Iowa 50124 Kristina Brekke - 515-291-7309 Kristina Brekke Email - kristina@toyboxstora Philip Brekke Email - pbrekkeff@gmail.com Scott Renaud, P.E. Renaud Engineering LLC PO Box 662 PREPARED BY: Ames, lowa 50010 Phone - (515) 418-1877 Email - renaudeng@gmail.com LEGAL DESCRIPTION: Irregular parcel descriptions; reference Story County GIS 5.11 Acres N. Parcel - 2.31 Acre S. Parcel - 2.80 Acre SITE AREA: ZONING: M1 - Industrial (requested) BULK REGULATIONS: Minimum Lot Area = 6.000 square feet Minimum Lot Area = 6,000 square feet Minimum Lot Width = No specified Minimum Front Yard = 25 feet Minimum Side Yard = 10 feet Minimum Rear Yard = 10 feet Maximum Helght = 60 feet Corner setback requirements are not listed ELEVATION DATUM: STORMWATER MANAGEMENT PLAN: PARKING REQUIREMENTS: Entire area is parking for storage. No parking GREEN CALCULATIONS: Required greenspace required is 20% 165.33.5.B To allow asphalt millings for pavement 167.05.2.E Waive Interior landscaping requirements 167.05.3.B Waive exterior landscaping requirements VARIANCES REQUESTED:

**RENAUD Engineering LLC** 

PO Box 662
Ames, Iowa 50010
Phone 515-418-1877
Email renaudeng@gmail.com



PO Box 662 Ames, lowa 50010 Phone 515-418-1877 COVER SHEET
TOY BOX STORAGE
203 CAMPUS AVENUE
HUXLEY, IOWA 50124 G 1.1

### SPECIFICATIONS AND NOTES

#### Standard Specifications

All work and materials shall conform to the current edition of the Iowa Statewide Urban Design and Specifications (SUDAS) except as modified in these notes and as modified by the City of Huxley, Iowa.

Where referenced as "IDOT Spec, the lowa Department of Transportation's 2015 Standard Specifications for Highway and Bridge Construction, Series 2015, plus all appropriate supplemental specifications shall apply to this proæct.

#### Sanitary Sewer and Water Specifications

All sanitary sewer and water utility and service work shall conform to the current edition of the Iowa Statewide Urban Design and Specifications (SUDAS) and the City of Huxley's Supplemental Specifications or as required by ordinance.

Pipe 6 inches in diameter and smaller shall conform to the International Plumbing Code and City of Huxley approved modifications to the Plumbing Code.

#### Work to be Completed Prior to Construction

- Joint utility locate meeting. Contractor shall set up a One-Call meeting. The Owner, City, Engineer, Testing Firm, and associated utility providers shall be notified that they may attend the meeting.
- Shop drawings of the pipe and structures shall be reviewed by the Engineer.

#### **Utility Protection**

All utilities are only generally located. Contractor is responsible for contacting lowa One-Call and locating and exposing all utilities that may interfere with construction BEFORE construction begins.

Water, gas and electric must be maintained for the duration of the construction. Temporary shut downs are not allowed unless absolutely necessary and with a 7-day advance notice to those affected by the construction. The plans have been prepared so that no shutdown is required, but there may be unknown conflicts that develop during construction.

#### Land For Construction Purposes

Contractor will be permitted to use available land belonging to or leased by the Owner, on or near the site of the Work, for construction purposes and for the storage of materials and equipment. The location and extent of the areas available to the Contractor shall be as indicated on the Drawings. Any additional right-of-way desired by the Contractor shall be acquired at his expense, and the Contractor shall hold harmless the Owner and Engineer from claims for damages made by the owners of such additional right-of-way.

There are storm sewer pipe, sanitary sewer and water pipe connections and/or extensions to the in the street right of way. Contractor shall minimize disturbance of the street ROW during the construction and shall access the ROW from onsite. Offsite areas shall be left in a prepared seedbed condition and the mulching & seeding of the disturbed area completed by the Contractor.

## Construction Materials Storage

All construction materials, dumpsters, detached trailers or similar items are prohibited on the public streets or within the public right of way except as shown on the plans.

## Permits

The Owner has obtained the State erosion control permits. The Contractor shall co-sign all necessary documents with the permit. Construction monitoring of the erosion control permit is handled by the Owner. The Contractor will be copied all records and observation forms required for the permits.

## Connections to Existing Facilities

Unless otherwise specified or indicated, Contractor shall make all necessary connections to existing facilities, including structures, drainlines, and utilities such as water, sewer, gas, telecommunications, and electric. In each case, Contractor shall receive permission from the Owner or the utility prior to undertaking connections. Contractor shall protect facilities against deleterious substances and damage.

Connections to existing facilities, which are in service, shall be thoroughly planned in advance, and all required equipment, materials, and labor shall be on hand at the time of undertaking the connections. Work shall proceed continuously if necessary to complete connections in the minimum time. Operations of valves, hydrants, or other appurtenances on existing utilities, when required, shall be by or under the direct supervision of the owning utility.

#### **Notices**

Contractor shall notify owners of adacent properties and utilities when prosecution of the Work may affect them. When it is necessary to temporarily deny access by owners or tenants to their property, or when any utility service connection must be interrupted, the Contractor shall give notices sufficiently in advance to enable the affected persons to provide for their needs. Notices whether given orally or in writing shall include appropriate information concerning the interruption and instruction on how to limit their inconvenience.

## Construction Staking, Lines and Grades

All Work shall be done to the lines, grades, and elevations indicated on the Drawings. Construction staking will be provided by the Contractor. Digital files of the drawings may be provided to the Contractor for their use in staking the proect. The Contractor shall verify all match points during the phasing of the work and maintain drainage paths during the work to prevent ponding of water.

#### Temporary Drainage

The Contractor shall have a plan for temporary drainage during construction of the storm sewer and related work. The temporary drainage shall not block drainage from existing offsite neighbors draining through the property. Erosion control features should not block flow and cause flooding.

#### **Unfavorable Construction Conditions**

During unfavorable weather, wet ground, or other unsuitable construction conditions, the Contractor shall confine his operations to work, which will not be affected adversely by such conditions. No portion of the Work shall be constructed under conditions, which would affect adversely the quality of efficiency thereof, unless special means or precautions are taken by the Contractor to perform the work in a proper and satisfactory manner.

## Clean Up

Contractor shall keep the premises occupied by the Contractor free from accumulations of waste materials and rubbish at all times. Contractor shall provide adequate trash receptacles about the work site, promptly empty containers when filled, and properly dispose of waste materials at his expense. Wastes shall not be buried or burned on the site or disposed of in storm drains, sewer, streams, or waterways.

Construction materials such as forms and scaffolding shall be neatly stacked by Contractor when not in use. Contractor shall promptly remove splattered concrete, asphalt, oil, paint, corrosive liquids, and cleaning solutions from surfaces to prevent marring or other damage.

## Geotechnical Engineering Report

There is no geotechnical engineering report for this pro ect. Any soil samples required by testing will require testing in advance of the testing.

## Topsoil Areas

The Contractor shall salvage all black topsoil in the process of the work and reapply on all areas of permanent vegetation. The Contractor shall stockpile and preserve topsoil for reuse in the proæct. Any excess topsoil shall be left in a clean, neat, mowable berm on the north side the lot as shown on the plans.

## **Excavation Quantities and Borrow Soils**

The Contractor is responsible for determining the volume of cut and fill for the site. A digital copy of the grading plan will be provided to the Contractor on request. The Engineer does not assume any liability for providing the digital drawing to the Contractor. The Owner reserves the right to review soils used in the proæct for acceptability for this

## Rocks and Concrete Debris

Rocks and concrete debris larger that 4 inches in any dimension cannot be used in the fill for the proect except as fill outside the edge of buildings or pavement by a minimum of 2 feet. The large material should not be used where settlement of materials could cause damage to the site and utilities.

## Storm Sewer & Culvert Pipe Materials

Reference the plans for the type of pipe allowed. Substitutions are not allowed unless requested in writing to the Engineer.

## Alternate Storm Sewer & Culvert Pipe Materials and Structures

Alternate pipe materials shall be reviewed by the Engineer and acceptance by the Owner.

#### Storm Sewer & Culvert Pipe Bedding

All pipe shall be bedded in crushed stone to a minimum of 12 inches above the top of the pipe unless shown otherwise on the plan details. The top of the bedding shall be level across the top of the pipe. Humping of the bedding over the pipe is incorrect method of installation. It is recommended a concrete stinger probe be used to consolidate the rock under the pipe rather than relying completely on shoveling and hand work.

Pipe bedding materials used around perforated pipe shall be cleaned crushed stone. Weigh tickets shall be provided to the Engineer.

#### Required Separation Distances

Water main and water main services shall maintain 18 inches of separation between sanitary sewer and storm sewer. If the separation cannot be maintained, then water main grade pipe shall be used for the sanitary sewer or storm sewer for a minimum distance of 10 feet either side of the water main.

#### **PCC Paving Specifications**

All PCC paving shall be IDOT Class C pavement in accordance with the specifications. A ointing diagram has been provided in the plans. Alternate ointing plans shall be approved by the Engineer. The maximum oint spacing is 12 feet for concrete slabs and 15 feet for curb & gutter sections. Weight tickets shall be provided to the Owner and Owner reserves the right to request a core to confirm thickness at the rate of 1 core per 2,000 square feet at locations selected by the Owner or Engineer.

Class M PCC may be used where staging requires a faster cure time. Class M can only be used with the permission of the Engineer and the Owner.

#### **Erosion Control**

This proect is covered by the Iowa Department of Natural Resources NPDES General Permit No. 2. The Contractor shall carry out the terms and conditions of General Permit No. 2 and stormwater pollution prevention plan (SWPPP) which is part of these plans and contract documents. Refer to Section 2602 of the IDOT Standard Specifications for additional information.

The Erosion Control contractor shall install silt fence or equivalent device where soils may exit the site and around any intake or pipe opening. The silt fence shall be removed when the site is stabilized. The Contractor shall comply with all provisions of the NPDES permit and SWPPP.

The Owner shall conduct the record keeping necessary to maintain the permit and SWPPP. Each Contractor onsite shall be responsible for maintaining the erosion control impacted by their work including the repair, cleaning or replacement of the erosion control.

The Contractor is responsible for keeping tracked mud, debris and dust off adacent streets and shall clean the streets daily. The construction entrance has already been constructed and will be maintained and cleaned by the Contractor using the site daily. Replacement stone, if necessary, will be provided by the Contractor using the site.

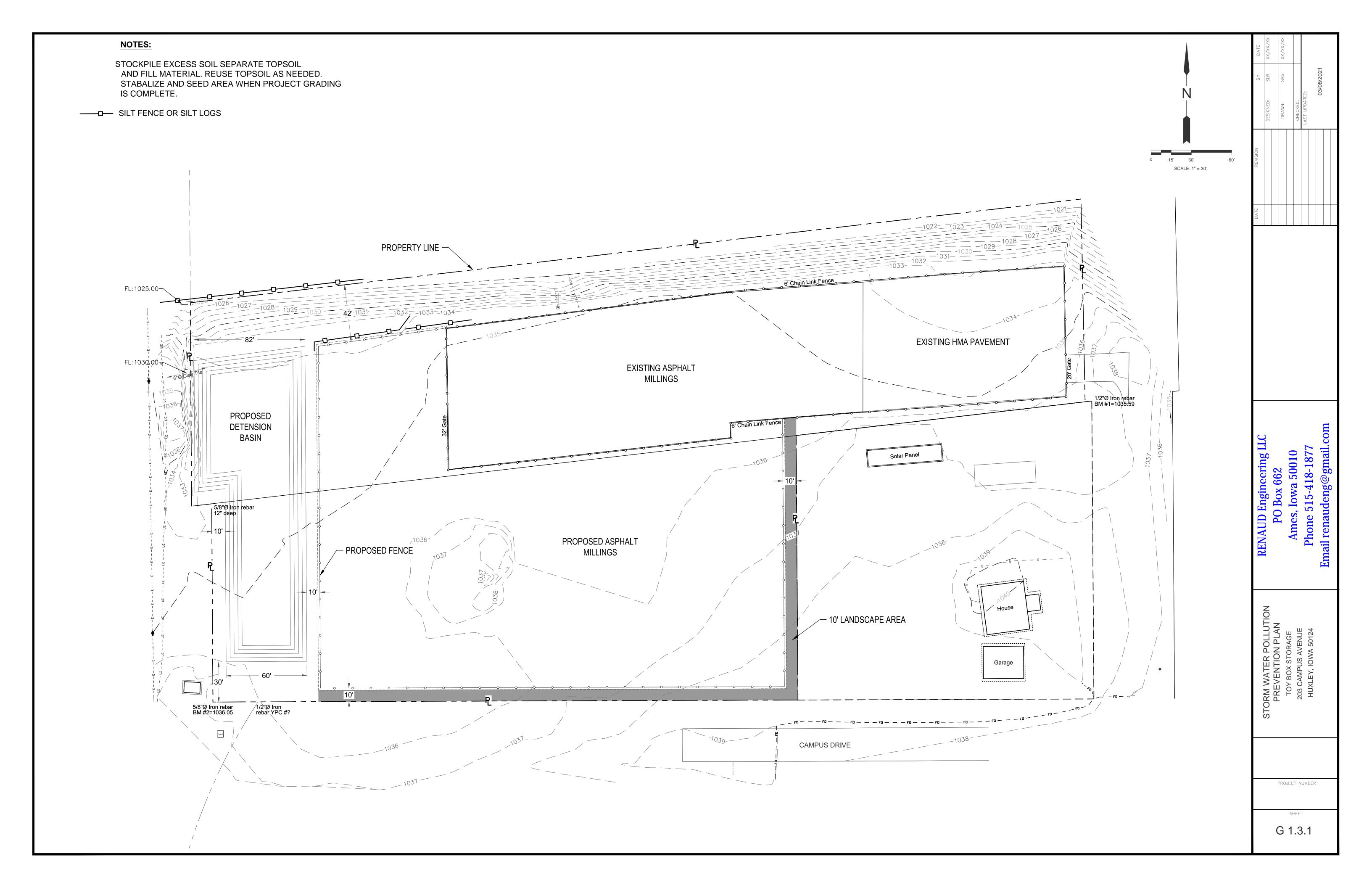
## **Determination of Quantities**

The Contractor shall determine his quantities for the proect. The Contractor may request a digital copy of the plans. The Engineer does not assume any liability for providing the digital drawing to the Contractor. The Contractor shall provide his quantities and a schedule of values at the preconstruction meeting for the proæct.

50010 Ingineering l Box 662 RENAUD Er Ames, Phone PROJECT NUMBER

SHEET

G 1.2



#### 1 STORMWATER POLLUTION PREVENTION PLAN

All contractors/subcontractors shall conduct their operations in a manner that minimizes erosion and prevents sediments from leaving the roadway right-of-way and prevents chemical contamination of soil and water. The property owner shall be responsible for compliance and implementation of the Pollution Prevention Plan (PPP) for their entire contract. This responsibility shall be further shared with subcontractors whose work is a source of potential pollution as defined in this PPP. All work necessary to be in compliance with the PPP shall be considered incidental to the project. Therefore, it is in the best interest of the Contractor to disturb as little land as possible.

#### 1. SITE DESCRIPTION

This Pollution Prevention Plan (PPP) is for the Toy Box Storage, LLC, 203 Campus Avenue, Huxley, Iowa 50124. This PPP covers a site of 5.2 acres with approximately 2.3 of the acres being disturbed. The soils have been disturbed by previous construction of the road, site and building. The estimated average NRCS runoff curve number for this PPP after completion will be 77.

Refer to the drawings, Toy Box Storage, LLC for locations of typical slopes, ditch grades, and major structural and non-structural controls. A copy of this plan will be on file at the owners house at the same address. All drainage will flow into tributaries of the South Skunk River.

#### **Potential Sources of Pollution**

Site sources of pollution generated as a result of this work relate to silts and sediment that may be transported as a result of a storm event. However, this PPP provides conveyance for other (non-project related) operations. These other operations have storm water runoff, the regulation of which is beyond the control of this PPP. Potentially this runoff can contain various pollutants related to site-specific land uses. Examples are:

#### a. Rural Agricultural Activities:

Runoff from agricultural land use can potentially contain chemicals including herbicides, pesticides, fungicides and fertilizers.

### b. Commercial and Industrial Activities:

Runoff from commercial and, industrial land use may contain constituents associated with the specific operation. Such operations are subject to potential leaks and spills that could be commingled with run-off from the facility. Pollutants associated with commercial and industrial activities are not readily available since they are typically proprietary.

#### 2. CONTROLS

At locations where runoff can move offsite, silt fence shall be placed along the perimeter of the areas to be disturbed prior to beginning grading, excavation or clearing and grubbing operations. Vegetation in areas not needed for construction shall be preserved. As areas reach their final grade, additional silt fences, silt basins, intercepting ditches, sod flumes, letdowns, rip-rap, bridge end drains, and earth dikes shall be installed as specified in the plans and/or as required by the Project Engineer. This will include using silt fence as ditch checks and to protect intakes. Temporary stabilizing seeding shall be completed as the disturbed areas are constructed. If construction activity is not planned to occur in a disturbed area for at least 14 days, on any portion of the site, the area shall be stabilized by temporary seeding or mulching on the last day, day zero, of land disturbing activities. Other stabilizing methods shall be used outside the seeding time period.

As the work progresses, additional erosion control items may be required as determined by the Contractor after field investigation. These may include items such as silt fence, erosion control mats, check dams and other appropriate measures installed by the Contractor as directed by the Engineer. The Contractor will complete the construction with the establishment of permanent perennial vegetation of all disturbed areas.

## 3. OTHER CONTROLS

Contractor disposal of unused construction materials and construction material wastes shall comply with applicable state and local waste disposal, sanitary sewer, or septic system regulations. In the event of a conflict with other governmental laws, rules and regulations, the more restrictive laws, rules or regulations shall apply. Tracked-out material carried from this work site onto adjacent roads shall be cleaned up at the end of the workday or immediately when directed to do so by the Engineer. Approved State or Local Plans: During the course of this construction, it is possible that situations will arise where unknown materials will be encountered. When such situations are encountered, they will be handled according to all federal, state, and local regulations in effect at the time.

## 4. MAINTENANCE

The Contractor is required to maintain all temporary erosion control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. Cleaning of silt control devices shall begin when the features have lost 50% of their capacity.

## 5. INSPECTIONS

Inspections shall be made by the Owner every seven calendar days. The Contractor shall immediately begin corrective action on all deficiencies found. The findings of this inspection shall be recorded in the project diary. Based on the results of the inspection, pollution prevention measures identified in the plan shall be revised at the construction site as appropriate as soon as practicable after the inspection and to the plan as soon as practicable after the inspection but in no case more than 7 calendar days following the inspection. If the permittee determines that making these changes at the construction site or to the plan less than 72 hours after the inspection is impracticable, the permittee shall document in the plan why it is impracticable and indicate an estimated date by which the changes will be made. The Contractor shall implement all revisions.

#### 6. NON-STORM DISCHARGES

This includes subsurface drains (i.e. longitudinal and standard subdrains) and slope drains. The velocity of the discharge from these features may be controlled by the use of patio blocks, Class A stone or erosion stone. Discharges from dewatering activities, including discharges from dewatering of trenches and excavations, are prohibited unless managed by appropriate controls.

#### **Storm Water Pollution Prevention Plan - Supplemental items**

#### **Phase 1 - Site Evaluation and Design Development**

Existing soil information: See the Story County Soil Survey, NW quarter of Section 14 of T83N, R24W.

Existing runoff quality: Existing data on runoff water quality is not available.

Location of surface water on site: Runoff surface drains to the northwest corner of the site to an existing drainage channel in the abandoned railroad right of way.

Name of receiving stream: Surface drains to unnamed tributary to Ballard Creek then to the South Skunk River.

Construction activity description: General soil disturbing activities associated with grading include: trenching, stockpiling, grading, paving, and seeding

Site map: The plans show slopes after grading, disturbed areas, drainage patterns, and discharge points.

#### Phase 2 - Control Selection/Plan Design

#### (A) Select Erosion and Sediment Controls

The Contractor shall submit specifications for temporary and permanent measures to be used for controlling erosion and sediment. Clearing and grading should not be started until a firm construction schedule is known and can be effectively coordinated with the grading and clearing activity. The following Stabilization measures will be utilized:

Temporary seeding - Exposed areas subject to erosion should be covered as quickly as possible. Under Iowa's General Permit No. 2., disturbed areas of the construction site that will not be re-disturbed for 14 days or more, on any portion of the site, the area shall be stabilized by day zero, the last day of land disturbing activities.

Permanent seeding and planting - Permanent seeding shall be done in accordance with the Seeding Plan. The seeding schedule shall follow the Iowa Department of Transportation specifications. Temporary seeding shall be utilized for erosion control until permanent seeding can be established.

Mulching - Temporary vegetation will be used as mulch when permanent seeding is completed.

Preservation of Natural Vegetation - Natural Vegetation shall be preserved where possible within the construction limits. Natural vegetation shall not be disturbed outside of the construction limits. Vegetation may be moved or harvested for hay crop.

Vegetative Strips - Vegetative strips may be utilized to slow runoff velocities and deposit sediments from disturbed areas.

Soil Retaining Measures - Soil to be reused will be stockpiled onsite as indicated on the plans. Silt fence will be utilized to maintain soils onsite.

Minimization of land exposure - Exposure of disturbed land shall be minimized in terms of area and time.

Roadways - Roadways will be surfaced or otherwise stabilized as soon as feasible.

Topsoil - shall be preserved, onsite, unless infeasible and de-compacted prior to final stabilization. Re-spread minimum depth of eight-inches (8") of topsoil with at least 3% organic matter, per SUDAS.

The following structural practices will be utilized:

Earthen Berm or Dike - Earthen dikes may be used to divert water around disturbed areas and around intakes as directed by the Engineer.

Silt fence - Silt fence shall be placed on the perimeter of the disturbed area as shown on the drawings. Additional silt fence shall be provided at the discretion of the Engineer.

Gravel Construction Entrance - A gravel or rock construction entrance will be used to reduce or eliminate offsite tracking of soil or debris.

#### (B) Select other controls

Disposal of construction site waste materials - The Contractor will be responsible for making sure that all construction wastes are properly disposed of at facilities permitted to accept these types of wastes.

Treatment or disposal of sanitary wastes generated onsite - The Contractor will be responsible for providing sanitary facilities for workers in accordance with local and state requirements.

Prevent offsite tracking of sediments and generation of dust - The Contractor shall prevent the tracking of sediments offsite. A construction entrance shall be installed as shown on the plans. The Contractor will be responsible for immediate cleanup of any tracked mud or debris.

The Contractor will also be responsible for preventing dust generation from construction activities. The Contractor shall take reasonable measures to prevent unnecessary dust. Earth surfaces subject to dusting shall be kept moist with water or by application of a chemical dust suppressant. Dust prone materials in piles or in transit shall be covered when practical to prevent blowing.

Buildings and operating facilities which are affected adversely by dust shall be adequately protected from dust. Existing and new equipment which may be adversely affected by dust shall be adequately protected.

The Contractor will be responsible for preventing chemical contamination of soil and water.

PCC waste - The Contractor shall provide and maintain a containment facility for waste paving product (i.e. PCC wash out station). Perform maintenance when washout station is at 75% capacity.

Stored materials - The Contractor shall be responsible for storing materials so that rain water doesn't carry chemical contamination into soil or water.

Equipment servicing - Contractor shall prevent spilling of petroleum products. Spill shall be cleaned up immediately. Used petroleum containers are to be disposed of correctly and not buried on-site.

Building construction product - Contractor shall prevent cleaning of equipment in a manner that contaminates soil or water. Waste products shall be prevented from becoming airborne and leaving the site or being buried at the site.

#### (C) Inspection and maintenance plan

The contractor will be responsible for installation and all associated costs of erosion and stormwater management controls during the contract period. Details of control measures are shown on the plans.

The Owner's representative will be responsible for filling out an inspection report for the site. The inspection reports can be used to record scheduled maintenance. Any changes that may be required to correct deficiencies in the Storm Water Pollution Prevention Plan noted during an

inspection should be made as soon as practical after an inspection but in no case later than 7 days after the inspection.

## (D) Control Description

Description of controls can be found in section (A). The Contractor will be responsible for submitting specifications of the selected controls. The location of determined controls can be found on the plans. Additional controls may be required at the discretion of the Engineer.

## (E) Schedule of major activities

Prior to initiating construction, the Contractor shall submit a schedule of major activities including:

Land clearing and grading in relation to the corresponding schedule for all excavation work. If at all possible, the clearing should immediately precede the construction activity.
 Installation and anticipated completion date of each control measure.

## **Phase 3 - Plan Implementation**

## **Contractor Certification**

All Contractors and subcontractors, including short-term contractors and subcontractors coming on-site, must sign the Contractor certification statement before conducting any professional service at the site identified in the plan. The certification must be signed by an authorized representative (i.e., principal executive officer, president, secretary, treasurer or vice president, general partner, proprietor, ranking elected official). Upon signing the certification, the Contractor or subcontractor becomes a co-permittee with the Owner and other co-permittee

Contractors. In signing the plan, the authorized representative certifies that the information is true and assumes liability for the plan. Note that Section 309 of the Clean Water Act provides for significant penalties where information is false or the permittee violates, either knowingly or negligently, permit requirements.

The General Contractor will be responsible for collecting and maintaining signatures. The Contractor shall provide copies of signed certifications to the Owner and Engineer upon request and at the termination of the contract.

#### (A) Notice of Intent (NoI)

The Owner or an agent of the Owner will fulfill the public notice requirement and submit the Notice of Intent for coverage under General Permit No. 2. The project required the obtaining of a NPDES General Permit for storm water discharge associated with construction activities. The Owner and the Contractor have a copy of this permit. The Contractor and all subcontractors shall be responsible for compliance and fulfilling all requirements of the NPDES General permit including the Storm Water Pollution Prevention Plan.

#### **Phase 4 - Plan Implementation**

The Contractor shall follow the schedule as submitted under Phase 2 (E). The Contractor shall keep the Engineer informed of any deviation of the schedule or plan.

#### (A) Inspection and Maintenance Reports

A copy of the inspection log shall be maintained at the site.

#### (B) Records of Construction Activities

In addition to the installation and maintenance of erosion control implementation, the Contractor should keep records of the construction activity on the site. In particular, the Contractor should keep a record of the following information:

-The dates when major grading activities occur in a particular area.

-The dates when construction activities cease in an area, temporarily or permanently.

-The dates when an area is stabilized, temporarily or permanently.

-These records can be used to make sure that areas where there is no construction activity will be stabilized within the required time frame. Records shall be retained for a period of at least three years from the date that the site is finally stabilized.

#### (C) Plan Updates

The pollution prevention plan shall be updated:

-When it does not accurately reflect the site features and operations.

-When the Contractor, Owner, or Engineer observes that it is not effective in minimizing pollutant discharge from the site.

-To include Contractors identified after the submittal of the Notice of Intent. These Contractors shall certify the plan and be identified as co-permittees and to identify any change in ownership or transference of the permit and permit responsibilities. If, at any time during the effective period of the permit, the IDNR finds that the plan does not meet one or more of the minimum standards established in the general permit, the IDNR will notify the permittee of required changes necessary to bring the plan up to standard. Permittees shall have 3 days after notification to make the necessary changes and shall submit to the Department a written certification that the changes have been made.

## (D) Report of Hazardous Conditions

Because construction activities may include handling of certain hazardous substances over the course of the project, spills of these substances may create a hazardous condition and are required to be reported. Iowa law requires that as soon as possible but not more than six hours after the onset of a hazardous condition the IDNR (515) 725 - 8694. The Owner and Engineer should also be informed of the hazardous condition in a timely manner. Contractor is responsible for spill clean-up, remediation and reporting. The Contractor shall submit a report to the Engineer within 14 calendar days of a hazardous condition. The report shall describe the release and the circumstances leading to the release. Steps to prevent the reoccurrence of such releases are to be identified in the plan and implemented.

## (E) Plan location and access

Plan location - A copy of the Pollution Prevention Plan must be kept at the construction site from the time construction begins until the site has reached final stabilization. Retention of records - Retention of records requires that copies of the Storm Water Pollution Prevention Plan and all other reports required by the permit, as well as all of the data used to complete the Notice of Intent, be retained for 3 years after the completion of final site stabilization.

Access - Although plans and associated records are not necessarily required to be submitted to the IDNR, these documents must be made available upon request to the Department of Natural Resources. If storm water runoff is discharged to a municipal separate storm sewer system, the plans must be made available upon request to the municipal operator of the system.

## Phase 6 - Final Stabilization and NoD

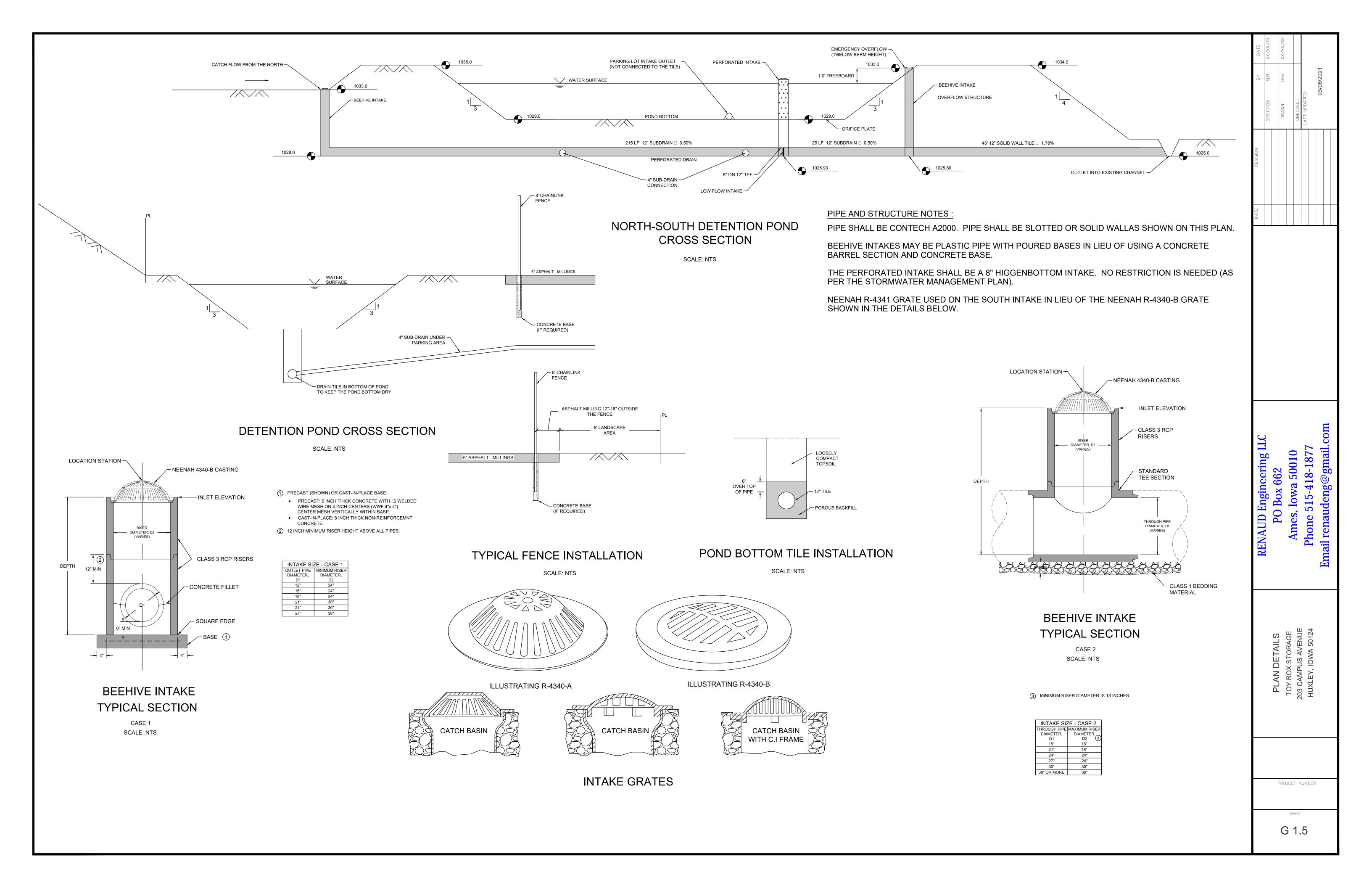
## (A) Final Stabilization

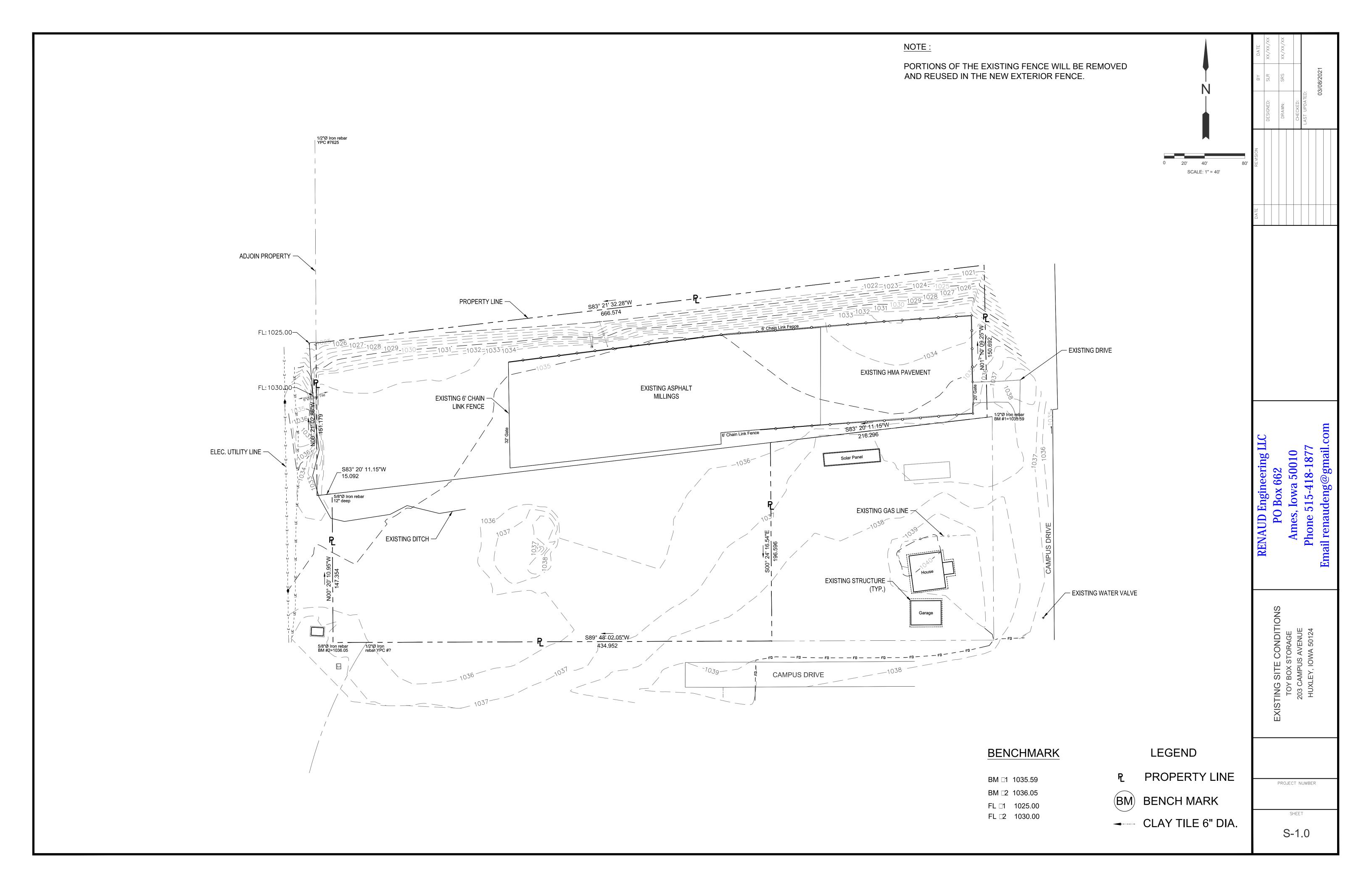
Final stabilization is defined in the general permit as meaning that all soil disturbing activities at the site have been completed, and that a uniform perennial vegetative cover with a density of 70%, sufficient to preclude erosion, for the entire disturbed area of the permitted project has been established or equivalent stabilization measures have been employed or which has been returned to agricultural production. The Contractor shall notify the permit holder and Engineer of final stabilization in accordance with the contract documents. The Owner and Engineer will review the site before finalizing the contract and taking control of the site. The Contractor will be required to provide a copy of all inspection and maintenance logs, schedule of construction activities, and Contractor Certifications to the Owner at this time.

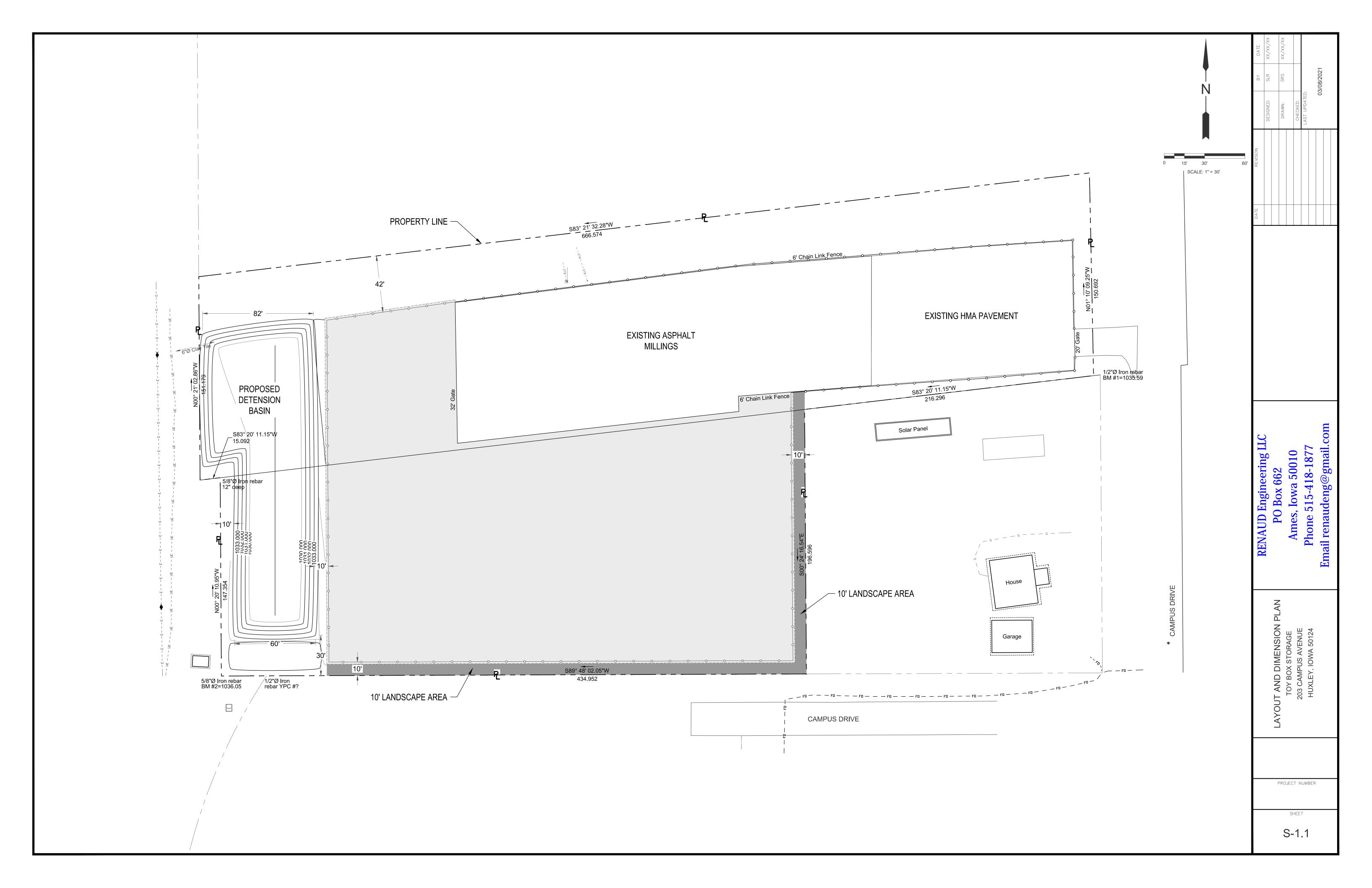
## (B) Notice of Discontinuation (NoD)

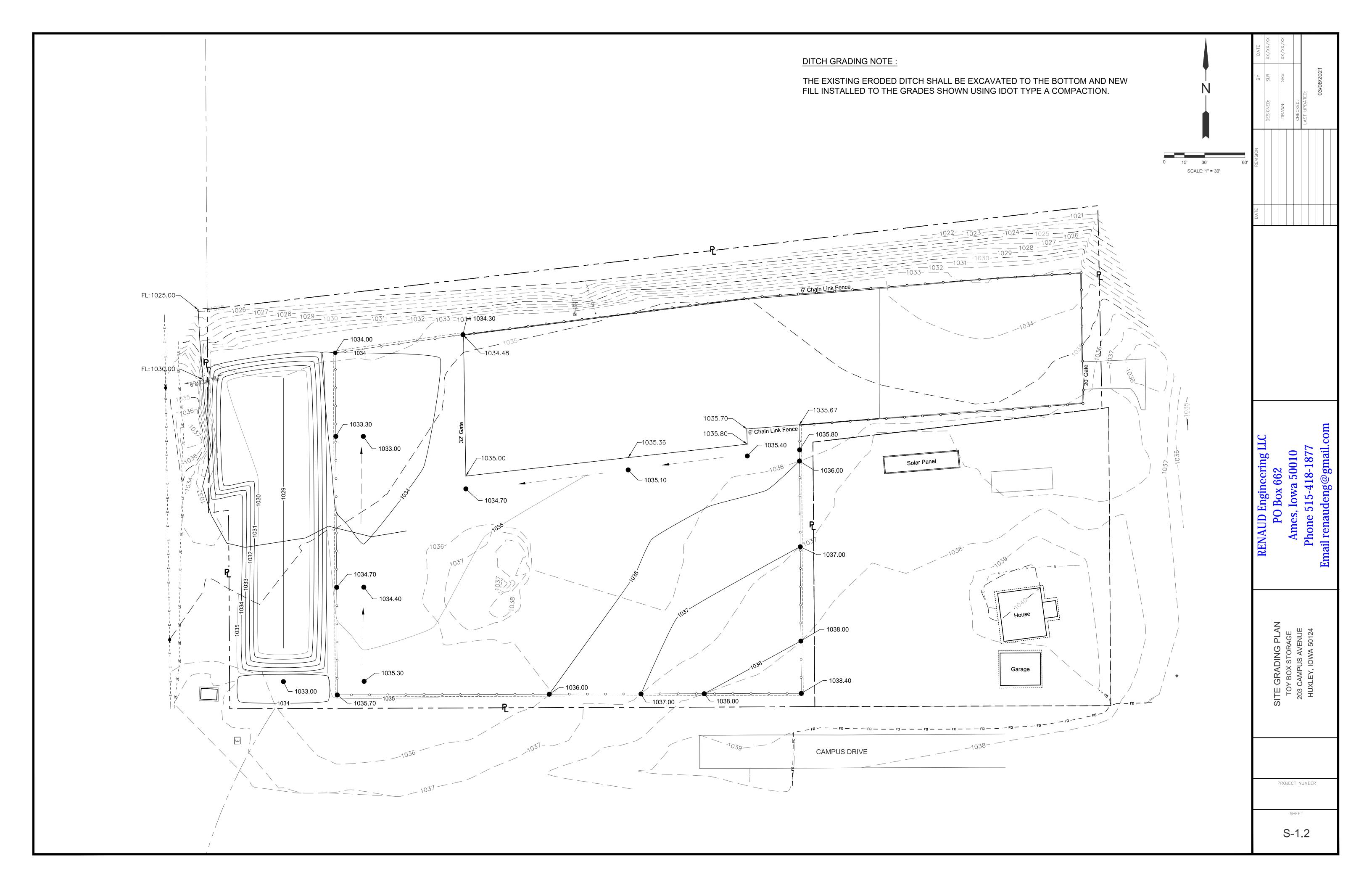
The permit holder (Owner) will be required to submit the Notice of Discontinuation once control of the site has been obtained from the Contractor

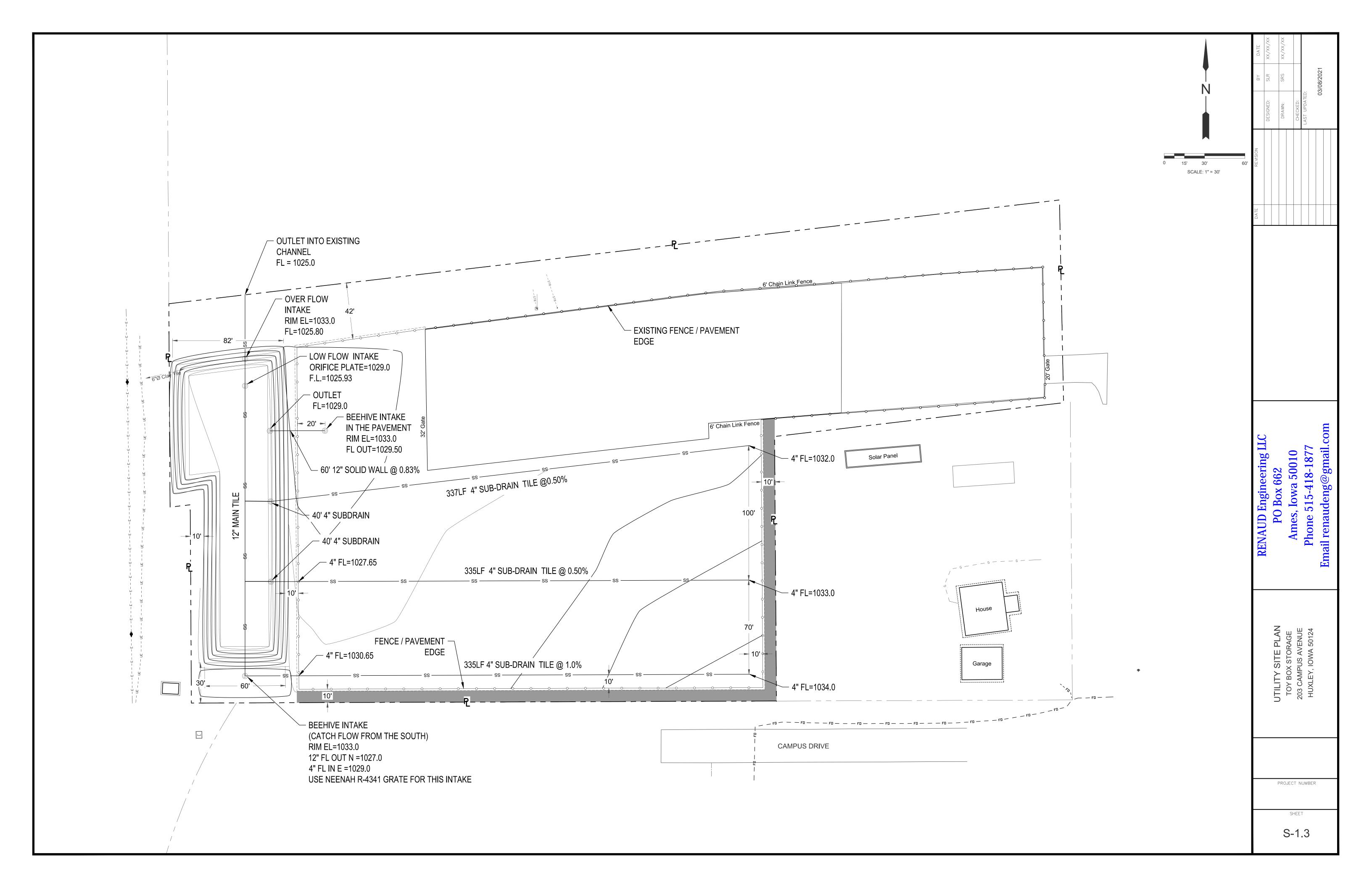
50010 662 Ames, RENAUD ] TORM WATER POLLUTION
PREVENTION NOTES
TOY BOX STORAGE
203 CAMPUS AVENUE PROJECT NUMBER G 1.3.2











March 26, 2021

Planning & Zoning Commission City of Huxley 515 N. Main Avenue Huxley, Iowa 50124

RE:

**Toy Box Storage Site Plan** 

Request of Variance for Pavement Surfacing and Landscaping

#### Dear Commission:

On the behalf of Toy Box Storage, owners Phil and Kristina Brekke, we are requesting variances for 3 items related to their planned storage facility expansion. The three variances are:

**Huxley Ordinance 165.33.5.B requiring all parking areas to be surfaced with asphalt or concrete**: The Brekkes intend to pave the storage area with *compacted asphalt millings*. The millings will be placed on a warm/hot day and roller compacted into a surface that hard and consistent and looks like a open graded asphalt pavement. Asphalt millings are dust free. The asphalt millings are a more economical alternative to standard paving and perform just as well for the storage area. The "traffic" in the area is low volume and very low speed.

Huxley Ordinance 165.05.02.E requiring large expanses of pavement to be broken up with landscape islands: Any islands in the storage area will prevent orderly placement of campers and RVs. This is a *storage* area where customers place their own campers. Obstacles within the parking lot will result in damage to both the vehicles and landscaping. Trees cause damage to the campers with falling tree limbs as evidenced by last summer's Deracho. A storage area has a non-standard parking arrangement so locating islands would be a random interference with orderly parking.

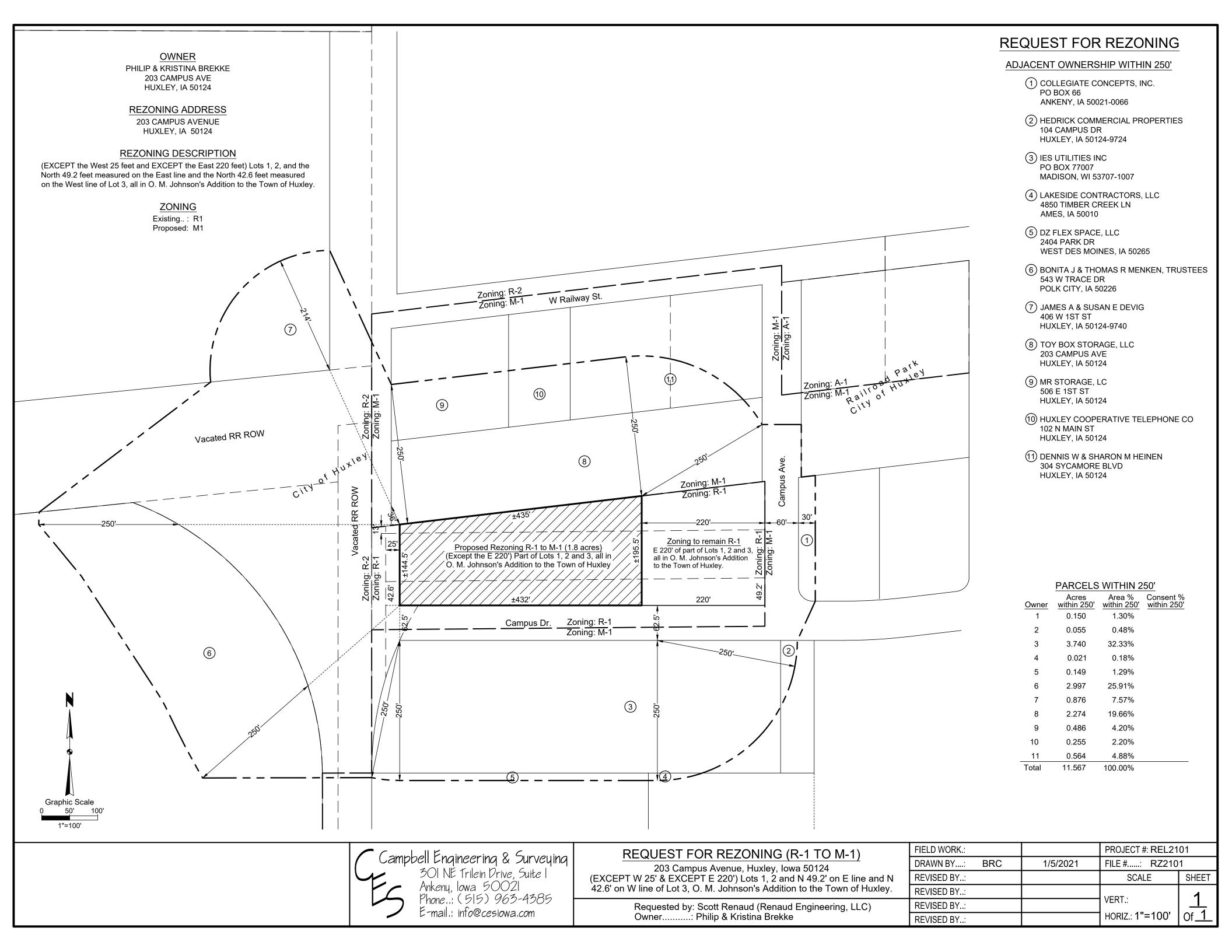
**Huxley Ordinance 167.05.3.B require perimeter landscaping:** The Brekkes request this variance for two reasons. *First,* for security reasons they would prefer the storage area to be open and visible. Landscaping will screen the area from easy observation from the outside. *Second,* trees and shrubs can cause damage to the campers and Rvs as mentioned previously. The Alliant substation to the south does not have any landscaping as would be expected as the landscaping causes issues for Alliant's equipment. To the west is the City's old railroad property which is 10 feet *higher* than the Toy Box site and fully screens the site from the west. The existing trees on the north side of the Toy Box site (their portion of the old railroad right of way) will be untouched adjacent to the storage area's parking & fence as has been the case with the original storage area.

Phil and Kristina will be at the Commission's meeting and can address any concerns or questions. They encourage the Commission to visit the site and review the neighborhood. Brekkes live in the house at the southeast corner of the storage site.

Sincerely,

Scott Renaud, P.E. Renaud Engineering, LLC

cc: Phil & Kristina Brekke





### VEENSTRA & KIMM, INC.

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

March 26, 2021

Rita Conner City Administrator City of Huxley 515 N. Main Avenue Huxley, Iowa 50124

HUXLEY, IOWA TOY BOX STORAGE SITE PLAN REVIEW

We have reviewed the revised site plan for the Toy Box Storage located in the Huxley Industrial Park and find it acceptable with the following comments that need to be considered by the P&Z Board and the City Council:

- All parking areas are to be surfaced with asphalt or concrete in accordance with Zoning Ordinance 165.33.5.B. The property owner is requesting a waiver of this requirement stating this area will be used for the storage of vehicles and that the surfacing material will be asphalt millings.
- 2. Large expanses of pavement are to be broken up with plant material with one landscaped island equal to a parking space for every parking space provided with the option of combining islands into fewer larger islands in accordance with Site Plan Ordinance 167.05.2.E. The property owner is requesting a waiver of this requirement stating this area will be used for the storage of vehicles.
- 3. Landscaping is needed between the storage area and Campus Drive in accordance with Site Plan Ordinance 167.05.3.B. The landscaping shall be set back at least 5 feet from the property line and shall be located between the property line and the fence. The property owner is requesting a waiver of this requirement.
- 4. A lighting plan has not been submitted as no lighting is proposed for the storage area.

Rita Conner March 26, 2021 Page 2

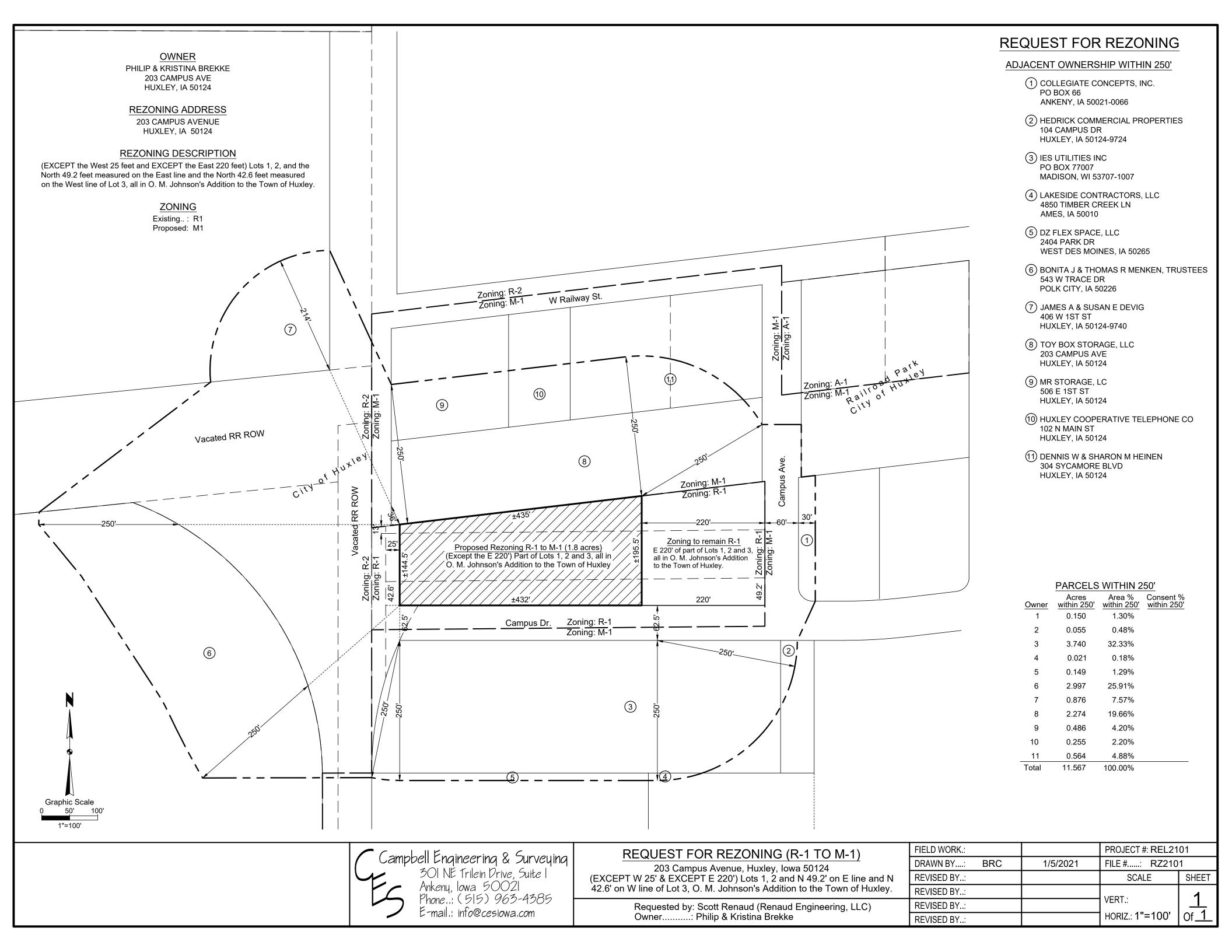
If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

Forrest S. Aldrich

FSA:dml 45229-057

cc: Jeff Peterson, City of Huxley (e-mail) Scott Renaud, Renaud Engineering (e-mail)



#### PLANNING & ZONING COMMUNICATION

#### **AGENDA HEADING:**

Blue Sky Commons Residential Rezoning A-1 and M-1 to R-1

#### **SUBMITTED BY**

Rita Conner, City Administrator

#### **SYNOPSIS:**

Von Houweling, CD II (Don Von Houweling, 14427 Wilden Drive Urbandale, Iowa 50323) has submitted a rezoning request for approximately 33.17 acres in the Blue Sky Commons development, north west of the Blue Sky Commons Business Park. A link to the property is found below.

https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1430100110

The rezoning proposes to change the existing zoning of the property from A-1 and M-1 to R-1 for future residential development.

Additional information is below and in the attachments.

#### ADDITIONAL INFORMATION:

- Adjacent owners within 200' have been notified of the rezoning and provided the ability to attend the public hearing.
- The 2013 Comprehensive Plan shows this area as low density residential and open space, which would conform with the rezoning proposal.

#### **CITY ADMINISTRATOR COMMENTS:**

- The owner has intended to pursue residential development of the property for a number of years and has shared that intent with the City.
- Future processes will include the review of subdivision and plat information.

#### BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

• Past incorporation of property, initial rezoning

#### ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- April 27 City Council review and public hearing
- Review of plat information and subdivision development at a future date.

NOTICE OF PUBLIC HEARINGS OF THE PLANNING & ZONING COMMISSION AND CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY VAN HOUWELING, CD II FROM AGRICULTURE HOLDING DISTRICT (A-1) AND INDUSTRIAL DISTRICT (M-1) TO SINGLE FAMILY RESIDENTIAL (R-1) CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

**TO:** ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

**YOU ARE HEREBY NOTIFIED** that the Planning & Zoning Commission and City Council are considering the rezoning of certain property in the City of Huxley, Iowa:

A-1 & M-1 ZONING — A PART OF THE NORTHWEST FRACTIONAL ¼ OF THE NORTHWEST FRACTIONAL ¼ OF SECTION 30 AND A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19 LOCATED SOUTH OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY ALL IN TOWNSHIP 82 NORTH, RANGE 23 WEST OF THE 5TH P.M. NOW INCLUDED IN AND FORMING A PART OF THE CITY OF HUXLEY, STORY COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 0° 00' 01" EAST ALONG THE WEST LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 1,324.01 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30 AND BEING THE SOUTHWEST CORNER OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19; THENCE NORTH 0° 05' 19" EAST ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, A DISTANCE OF 98.43 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY; THENCE NORTH 84° 12' 20" EAST ALONG SAID SOUTH LINE 510.44 FEET; THENCE NORTH 5° 47' 30" WEST CONTINUING ALONG SAID SOUTH LINE 15.00 FEET; THENCE NORTH 84° 12' 29" EAST CONTINUING ALONG SAID SOUTH LINE 712.82 FEET; THENCE SOUTH 19° 26' 20" WEST 516.42 FEET; THENCE SOUTH 9° 02' 08" EAST 294.68 FEET; THENCE SOUTH 31° 58' 22" WEST 709.85 FEET; THENCE SOUTH 20° 07' 18" WEST 194.13 FEET TO THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 89° 51' 24" WEST ALONG SAID SOUTH LINE OF THE NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 647.41 FEET TO THE POINT OF BEGINNING AND CONTAINING 33.17 ACRES (1,444,842 S.F.).

-to-

R-1 ZONING- A PART OF THE NORTHWEST FRACTIONAL ¼ OF THE NORTHWEST FRACTIONAL ¼ OF SECTION 30 AND A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19 LOCATED SOUTH OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY ALL IN TOWNSHIP 82 NORTH, RANGE 23 WEST OF THE 5TH P.M.

NOW INCLUDED IN AND FORMING A PART OF THE CITY OF HUXLEY, STORY COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 0° 00' 01" EAST ALONG THE WEST LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 1,324.01 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30 AND BEING THE SOUTHWEST CORNER OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19; THENCE NORTH 0° 05' 19" EAST ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, A DISTANCE OF 98.43 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY; THENCE NORTH 84° 12' 20" EAST ALONG SAID SOUTH LINE 510.44 FEET; THENCE NORTH 5° 47' 30" WEST CONTINUING ALONG SAID SOUTH LINE 15.00 FEET; THENCE NORTH 84° 12' 29" EAST CONTINUING ALONG SAID SOUTH LINE 712.82 FEET; THENCE SOUTH 19° 26' 20" WEST 516.42 FEET; THENCE SOUTH 9° 02' 08" EAST 294.68 FEET; THENCE SOUTH 31° 58' 22" WEST 709.85 FEET; THENCE SOUTH 20° 07' 18" WEST 194.13 FEET TO THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 89° 51' 24" WEST ALONG SAID SOUTH LINE OF THE NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 647.41 FEET TO THE POINT OF BEGINNING AND CONTAINING 33.17 ACRES (1,444,842 S.F.).

#### LAYMAN'S DESCRIPTION:

Located on 560<sup>th</sup> Avenue, south of the Heart of Iowa Trail and in-between Sand Cherry Lane and Blue Sky Blvd.

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a virtual hearing before the Planning & Zoning Commission to consider rezoning in light of the requested rezoning has been set to commence on the 19<sup>th</sup> day of April 2021 at 6 p.m. at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard. Zoom information is located below. The formal hearing is set to commence on the 27<sup>th</sup> of April at 6 p.m. in the Huxley City Council Chambers located at 515 N Main Avenue.

**Zoom Meeting Information:** 

https://zoom.us/j/99198672143

Call in: 312-626-6799

Meeting ID: 991 9867 2143



April 7, 2021

Re: Rezoning of Blue Sky Commons

Dear Property Owner:

Enclosed you will find material concerning the partial rezoning of Blue Sky Commons.

Your attendance is welcome at the following hearings:

• Monday April 19<sup>th</sup> at 6 PM—Planning and Zoning Commission informal hearing via Zoom.

**Zoom Meeting Information:** 

https://zoom.us/j/99198672143

Call in: 312-626-6799

Meeting ID: 991 9867 2143

• Tuesday April 27th 6:00 PM—City Council formal public hearing located in the Council Chambers 515 N Main Ave

Should you have any questions, please call 515.597.2561 ext 200 or email rconner@huxleyiowa.org.

Sincerely,

Rita Conner City Administrator



March 5, 2021

Ms. Rita Connor City Administrator City of Huxley 515 N. Main Avenue Huxley, Iowa 50124

RE: PETITION FOR REZONING REQUEST VAN HOUWELING, CD II PROPERTY INTERSTATE LAND PROPERTIES, LLC PART OF THE NW ¼, OF THE NW ¼, SEC. 30-82-23 HUXLEY, IOWA S&A Project No. 121.0211.01

Dear Ms. Connor,

On behalf of Don Van Houweling of Interstate Land Properties, LLC, as Applicant, please find attached the accompanying documents outlining the requested Van Houweling, CD II property rezoning. The Petition for Rezoning request is to modify a portion of a parcel of property that identified with two different zoning designations. The rezoning request is to rezone from A-1: Agricultural Reserve district and M-1: Industrial district to R-1: Single-Family Residential district for future residential development.

Submittal materials are as follows:

- 1. Petition for Rezoning –signed by the Owner and Applicant,
- 2. Four (4) half sized copies of the Rezoning Map, and
- 3. Petition for Amendment to Zoning Map fee of \$200.00.

Please place the petition for rezoning request on the next available Planning and Zoning Board meeting and let me know if you have any questions or require further information. Thank you.

Sincerely,

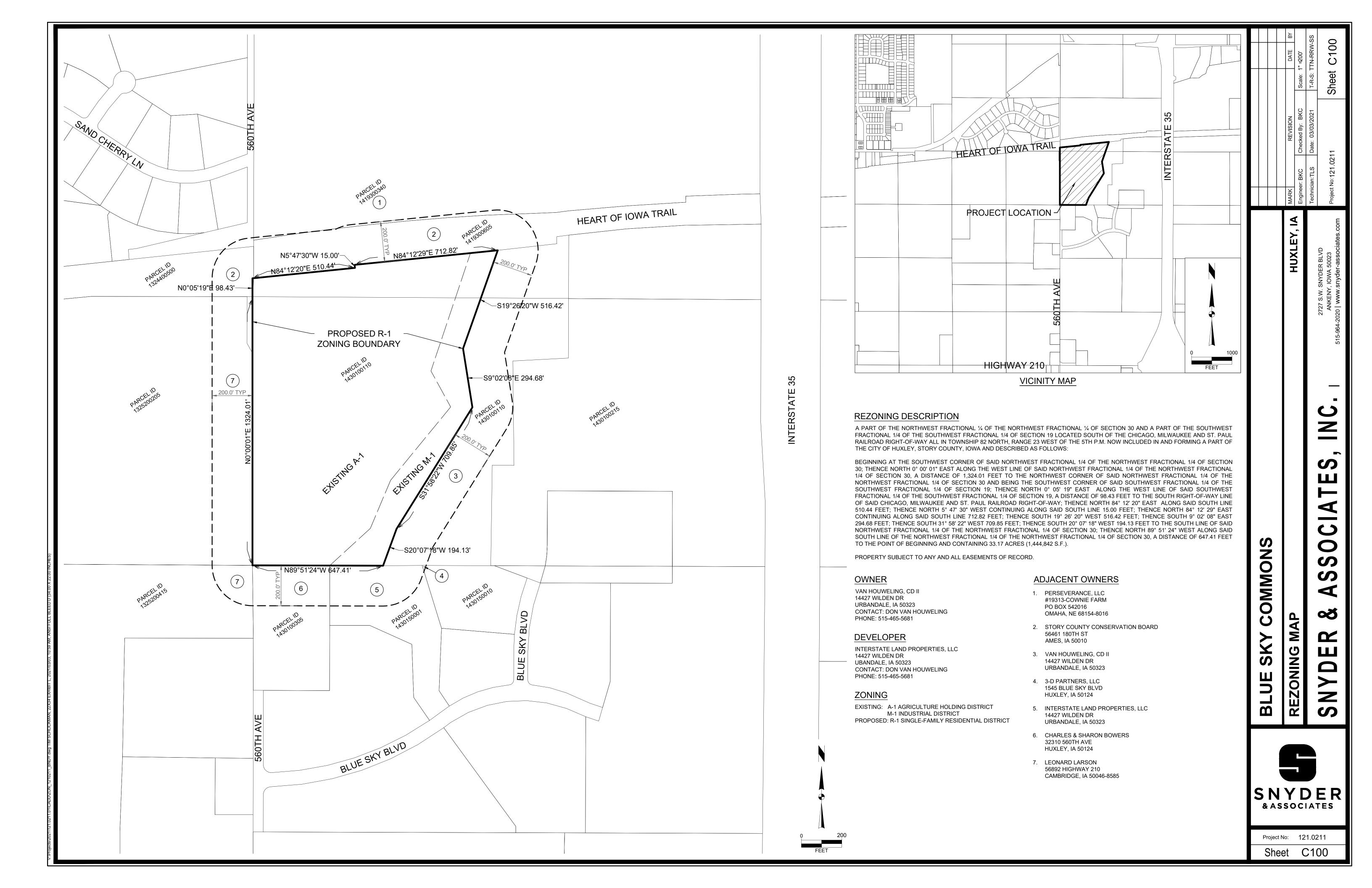
SNYDER AND ASSOCIATES, INC.

Brent K. Culp

Enclosure

Cc: Don Van Houweling, Interstate Land Properties, LLC (enclosure emailed)
Jamie Bergkamp, Jr., Bergkamp, Hemphill and McClure, P.C. (enclosure emailed)

File (electronic)



#### PLANNING & ZONING COMMUNICATION

#### **AGENDA HEADING:**

Meadow Lane Investments LLC Annexation and Preliminary Plat 2021

#### **SUBMITTED BY**

Rita Conner, City Administrator

#### **SYNOPSIS:**

Meadow Lane Investments, LLC (Steve Quick, PO Box 396 Huxley, Iowa 50124) has submitted an annexation request and the 2021 version of the Meadow Lane residential preliminary plat. A link to the property involved is found below.

https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1324200375

The annexation will incorporate a section of property adjacent to Oak Blvd, at the north end of what will become part of the next phase of the Meadow Lane development.

Additional information is below and in the attachments.

#### ADDITIONAL INFORMATION: YES

• In the preliminary plat, all lots north of Oak Boulevard are 70' or wider and the lots south of Oak Boulevard being reduced down to a mixture of 61' and 64' wide lots, which are the only revisions from the prior preliminary plat.

#### **CITY ADMINISTRATOR COMMENTS:**

- The 2013 Comprehensive Plan shows this area as low density residential, which is consistent with the development.
- Oak Bend Road improvements will be included
- Future phases of Meadow Lane to the east will include the completion of the pond development and amenities, which have been reviewed with City staff and the development and design team.

#### BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

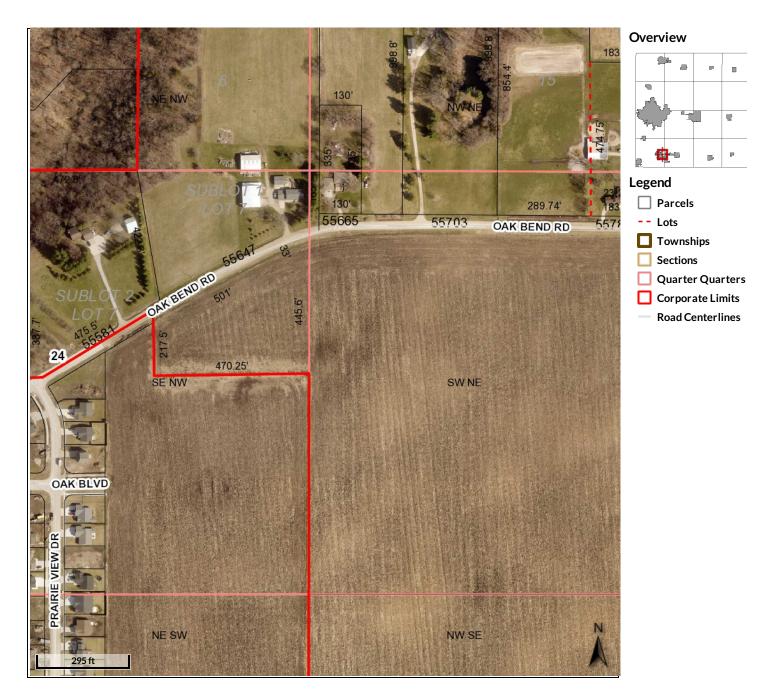
Meadow Lane Plats 1-4

#### ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- April 27 City Council review and annexation process continuation
- Submittal of construction drawings and review of final plat for plat 5.



# Beacon Story County, IA / City of Ames



#### Concerning Assessment Parcels and Platted Lots Within the City of Ames Jurisdiction:

The solid parcel boundary lines represent the legal description as recorded and are not necessarily the official platted lot lines. Dashed lines are official platted lots. If a parcel contains dashed lines, please contact the Ames Planning & Housing Department (515-239-5400) to determine which lines can be recognized for building permit or zoning purposes. If you have questions regarding the legal description or parcel measurements, please contact the Story County Auditor's office (515-382-7210).

Date created: 4/16/2021 Last Data Uploaded: 4/16/2021 12:31:31 AM



BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE  $5^{\text{TH}}$  P.M., STORY COUNTY, IOWA.

Coniferous Tree \ Shrub Communication Overhead Communication Fiber Optic Underground Electric Overhead Electric High Pressure Gas Main with Size --4" HPG(\*)-- -4" HPG---8" W(\*)-- **8" W** Water Main with Size

---8" S(\*)-- \_\_<u>8" S</u>\_\_

--DUCT(\*)--

(\*) Denotes the survey quality service level for utilities

Sanitary Sewer with Size

Test Hole Location for SUE w/ID

Duct Bank

Sanitary Manhole	Ø	1211.5
Storm Sewer with Size		<u> 12 S</u>
Storm Manhole		<u> </u>
Single Storm Sewer Intake		Ť
Double Storm Sewer Intake		
Fire Hydrant	Q	<u> </u>
Fire Hydrant on Building	₩ ₩	~
Water Main Valve	×	M
Water Service Valve	$\otimes$	8
Well	w	•
Utility Pole	<del></del>	
Guy Anchor	$\uparrow$	
Utility Pole with Light	o <del>`</del> ≪	
Utility Pole with Transformer		
Street Light	□ <del>-</del> ⊙-	
Yard Light	<del>\</del>	
Electric Box	□ĔB	
Electric Transformer	E	
Traffic Sign	•	
Communication Pedestal	C	
Communication Manhole	©	
Communication Handhole	C	
Fiber Optic Manhole	<u></u>	
Fiber Optic Handhole	FO	
Gas Valve	₩G <sup>a</sup>	
Gas Manhole	©	
Gas Apparatus	G	
Fence Post or Guard Post	•	
Underground Storage Tank	( <u>US</u> T)	
Above Ground Storage Tank	(TZA)	
Sign		
Satellite Dish	Q	
Mailbox	•	
Soil Boring		<b>+</b>
~		

## UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS. QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH

QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS

# **UTILITY WARNING**

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

## **UTILITY CONTACT INFORMATION**

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 551902052.

W1-WATER S-SANITARY SEWER CITY OF HUXLEY JEFF PETERSON 515-597-2561 publicworks@huxleyiowa.org

E1-ELECTRIC G1-GAS

ALLIANT ENERGY LAURA BARR 319-286-1315

C1-COMMUNICATION

HUXLEY COMMUNICATIONS COOP TERRY FERGUSON 515-597-2281terry@huxleycommunications.net

locate\_ipl@alliantenergy.com

CLEAR PER MAP

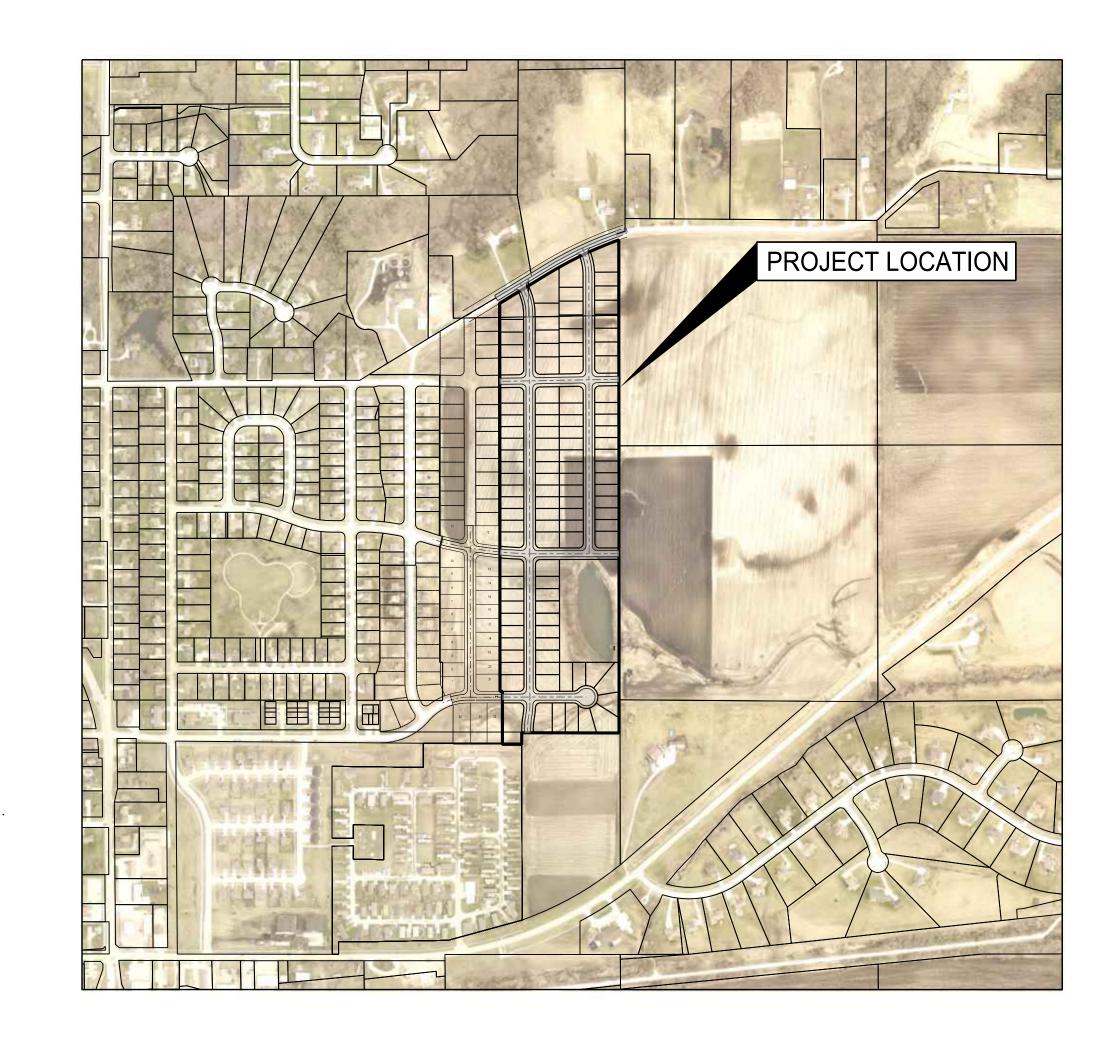
CONSUMERS ENERGY JIM KIDD 641-754-1642

CLEAR PER EMAIL

MEDIACOM COMMUNICATIONS TIIM ADREON 515-233-2318 tadreon@mediacomcc.com

jkidd@consumersenergy.coop

MEADOW LANE PRELIMINARY PLAT - 2021



## LEGEND

<u>Survey</u>	
Section	С

IOWA ONE CALL

1-800-292-8989

www.iowaonecall.com Knew what's below.

Corner 1/2" Rebar, Cap #XXXX (Unless Otherwise Noted) ROW Marker ROW Rail Control Point Bench Mark Platted Distance Measured Bearing & Distance Recorded As Deed Distance Calculated Distance Minimum Protection Elevation Centerline Section Line 1/4 Section Line 1/4 1/4 Section Line Easement Line

<u>Found</u> MPE \_\_\_\_\_\_ \_\_\_\_\_

\_\_\_\_\_ \_\_ \_ \_ \_ \_ \_ \_\_\_\_\_\_

## CONTROL POINTS

IOWA STATE PLANE SOUTH COORDINATE SYSTEM NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

- CP1 N=7599565.96 E=18533787.29 ELEV=994.57 CUT "X" ON BACK OF CURB BEHIND WEST DOUBLE INTAKE AT THE NORTH END OF DEERWOOD DRIVE, SOUTH SIDE OF SITE.
- CP2 N=7599777.47 E=18533371.11 ELEV=1000.96 CUT "X" ON BACK OF CURB BEHIND NORTH INTAKE AT THE EAST END OF E. 4TH STREET, SOUTHWEST SIDE OF SITE.
- CP3 N=7600585.64 E=185333332.91 ELEV=990.85 CUT "X" ON SOUTH BACK OF CURB AT THE EAST END OF MEADOW LANE, WEST SIDE OF SITE.
- CP4 N=7601446.35 E=18533608.05 ELEV=995.66 CUT "X" ON NORTH BACK OF CURB AT THE EAST END OF OAK BOULEVARD, NORTHWEST SIDE OF SITE.
- CP5 N=7601849.77 E=18533641.74 ELEV=995.89 CUT "X" ON SOUTH BACK OF CURB AT THE EAST END OF OAK BEND ROAD CONCRETE, NORTH SIDE OF SITE.
- CP6 N=7602181.49 E=18534292.95 ELEV=994.15 1/2" REBAR WITH RED CAP 5' SOUTH OF TELEPHONE PEDESTAL, NORTHEAST CORNER OF SITE.
- CP7 N=7601031.36 E=18534277.87 ELEV=989.39 1/2" REBAR WITH RED CAP 15' SOUTH OF FENCE BRACE POST, EAST SIDE OF SITE.

## **OWNER/DEVELOPER**

MEADOW LANE INVESTMENTS, LLC P.O. BOX 396 HUXLEY, IA 50124 (515) 231-5895

## CONTACT

STEVE QUICK quick@huxcomm.net

## **BULK REGULATIONS**

FRONT YARD SETBACK = 30 FEET REAR YARD SETBACK = 25 FEET SIDE YARD SETBACK TOTAL SIDE YARD = 16 FEET MINIMUM ON ONE SIDE = 8 FEET

# NOTES:

- 1. LOTS 23-30, 91-98, AND 100-108 WILL REQUIRE PRIVATE INDIVIDUAL EJECTOR PUMPS FOR BASEMENT SEWER SERVICE.
- 2. PARKING WILL NOT BE ALLOWED ON DEERWOOD DR. FROM E 4TH ST. TO THE SOUTH PLAT BOUNDARY.
- 3. BACKYARD SWALES NEED TO BE INSTALLED AT A MIN. SLOPE OF 1.5% AND AT A TARGET SLOPE OF 2.0%. IF THIS SLOPE CANNOT BE OBTAINED, A DRAIN TILE WITH SURFACE INTAKES CAN
- 4. THE PROPOSED STORM WATER DETENTION POND IS TEMPORARY IN NATURE TO ONLY PROVIDE STORM WATER MANAGEMENT FOR THE LIMITS OF THE CURRENT PRELIMINARY PLAT AND WILL NEED TO BE ANALYZED WITH THE FUTURE DEVELOPMENT TO THE EAST TO ALLOW FOR THE EXISTING 48" STORM SEWER TO ELIMINATE THE STANDING WATER WITHIN THE SYSTEM. THE INTERSECTION OF MEADOW LANE AND COUNTRYSIDE DRIVE WILL NOT BE ALLOWED TO BE CONSTRUCTED UNTIL THE DESIGN OF THE ULTIMATE STORM WATER MANAGEMENT BASIN HAS BEEN COMPLETED

ZONING

SURVEYOR

SNYDER AND ASSOCIATES, INC.

2727 SW SNYDER BLVD ANKENY, IA 50023

EXISTING:

R-1A RESIDENTIAL

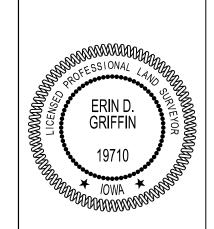
## INDEX OF SHEETS

- 1. TITLE SHEET
- 2. OVERALL SITE LAYOUT
- 3-5. PRELIMINARY PLAT

## BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A) IARTN DERIVED - US SURVEY FEET

- BM1 N=7599788 E=18533385 ELEV=1002.25 ARROW ON HYDRANT NORTHEAST OF INTAKE AT THE EAST END OF E. 4TH STREET, SOUTHWEST SIDE OF SITE.
- BM2 N=7601825 E=18533642 ELEV=997.58 ARROW ON HYDRANT ON THE SOUTH SIDE OF OAK BEND ROAD, NORTH

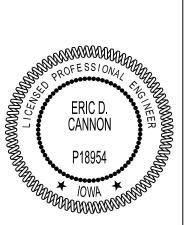


I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

## Erin D. Griffin, PLS

License Number 19710 My License Renewal Date is December 31, 2021

Pages or sheets covered by this seal:



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Pages or sheets covered by this seal:

Eric D. Cannon, P.E. License Number P18954 My License Renewal Date is December 31, 2021

Project No: 120.0922

SNYDER

& ASSOCIATES

S

රෙ

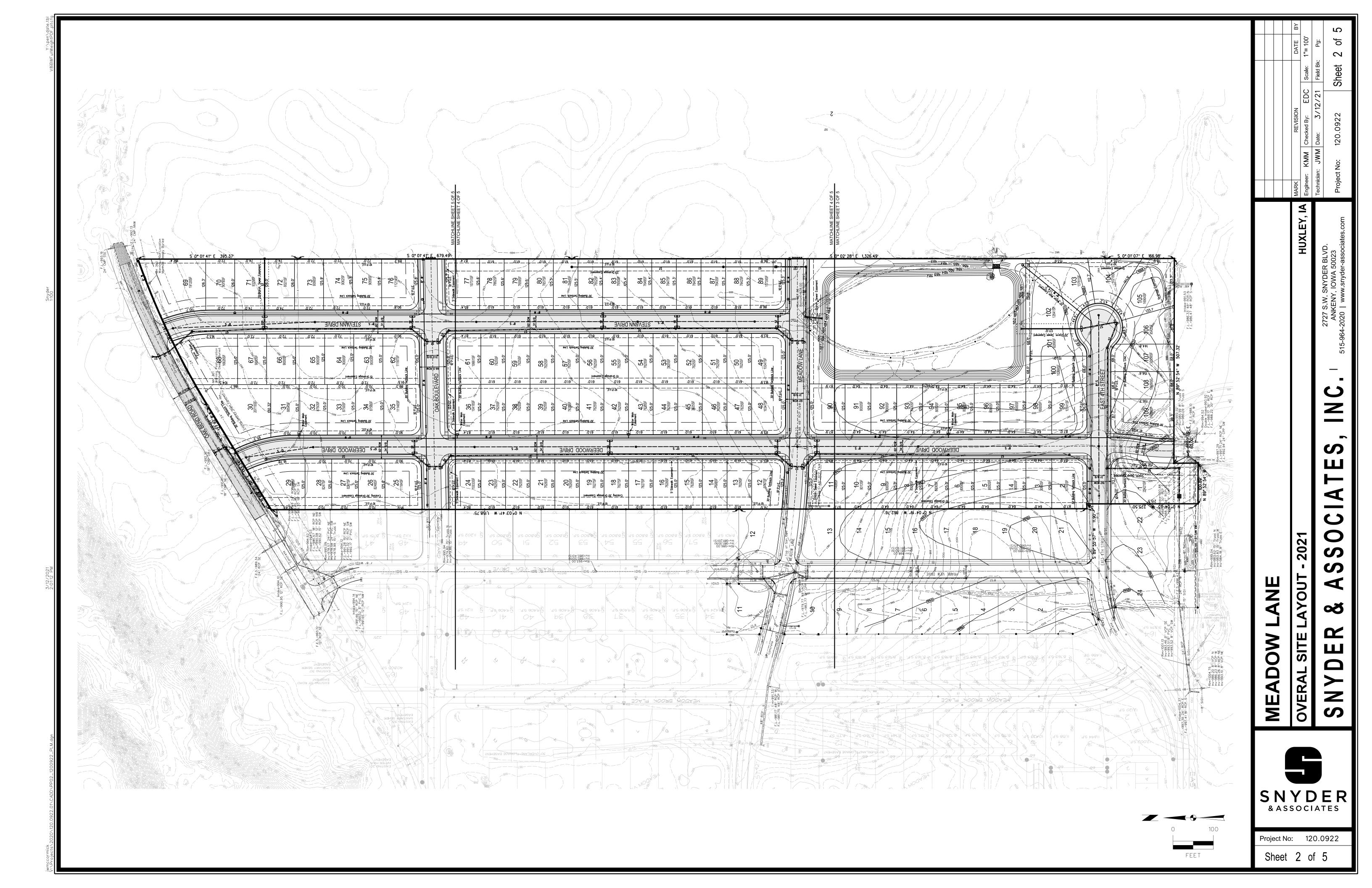
2

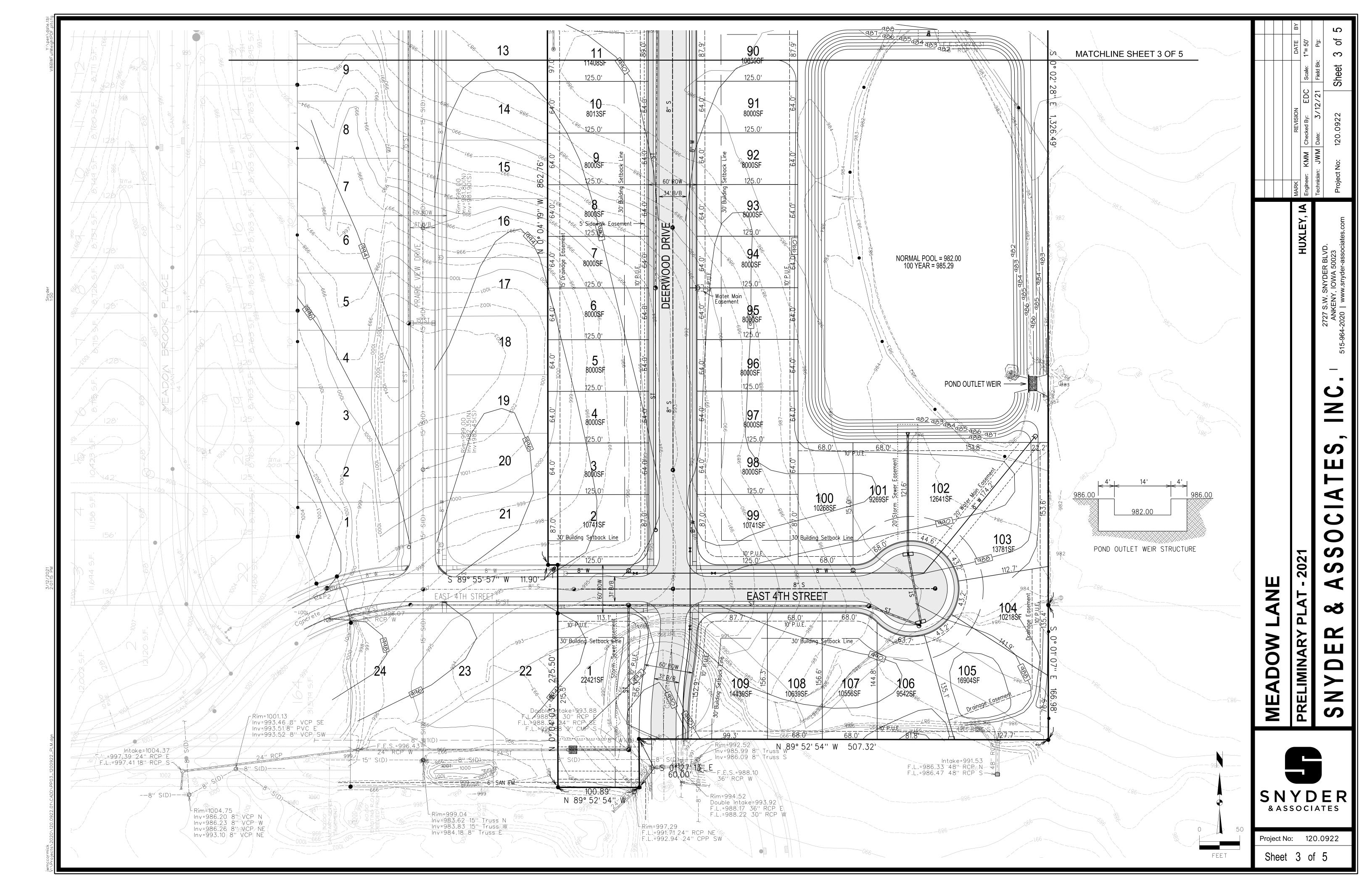
0

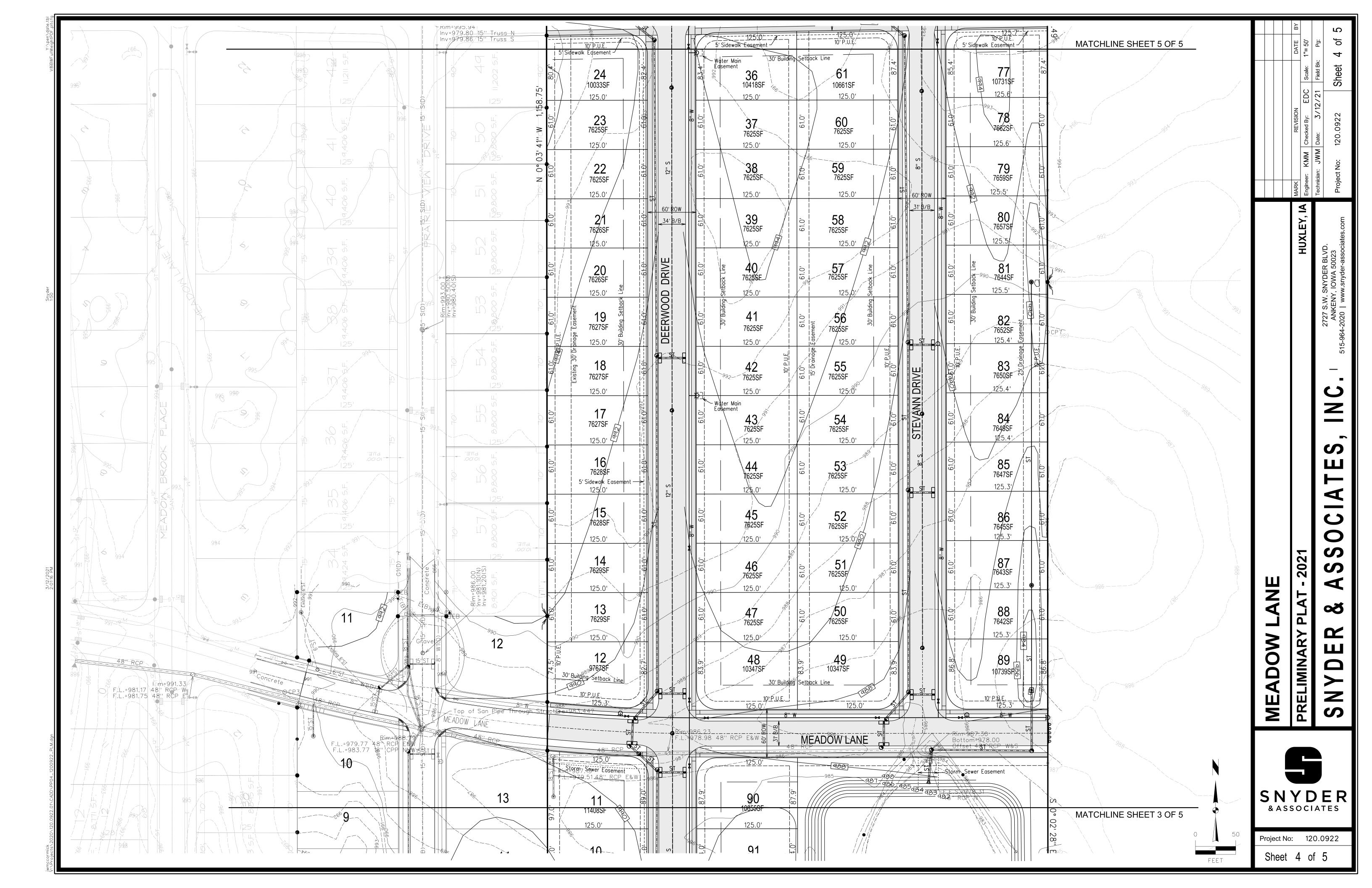
 $\Box$ 

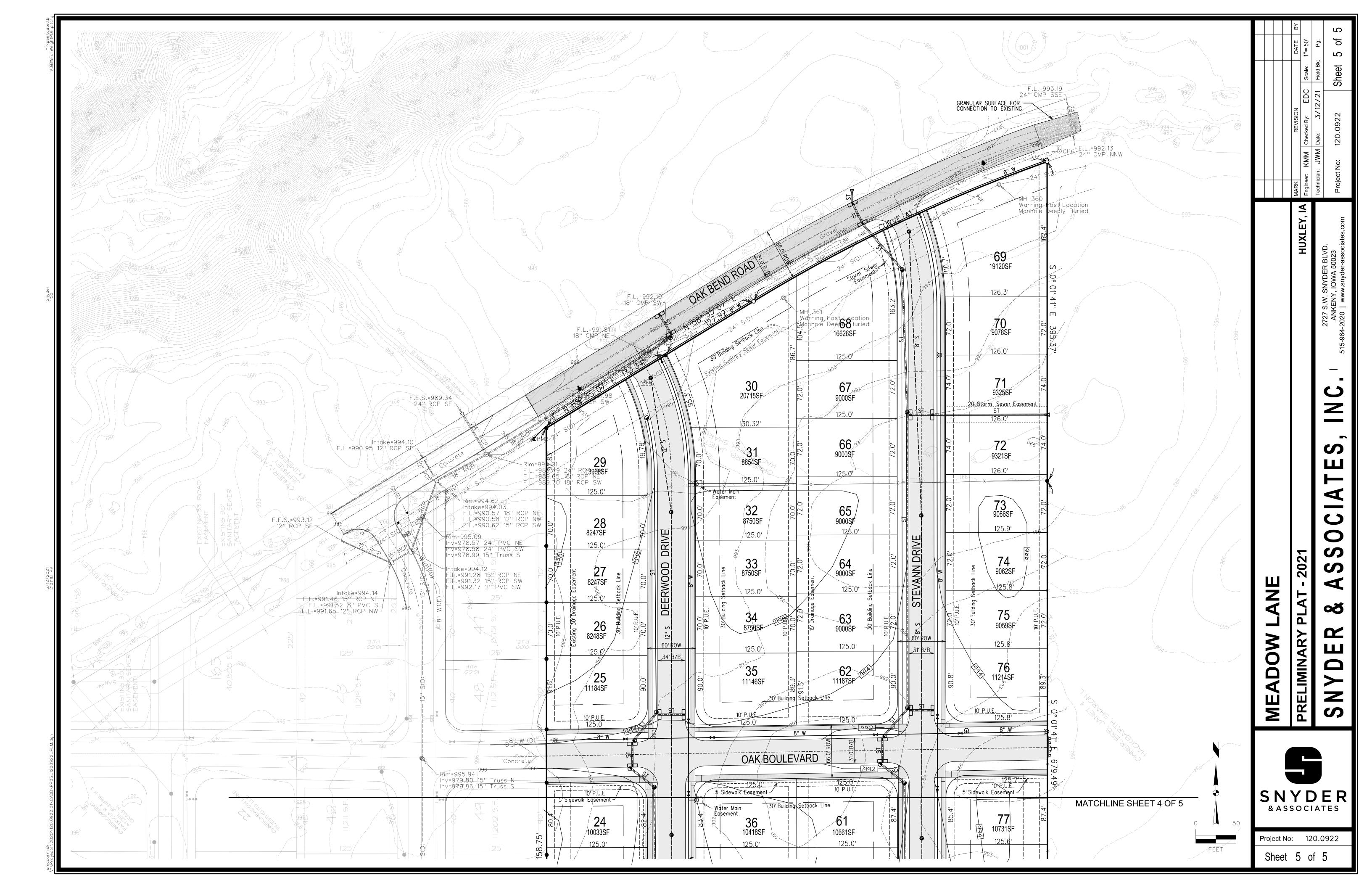
PR

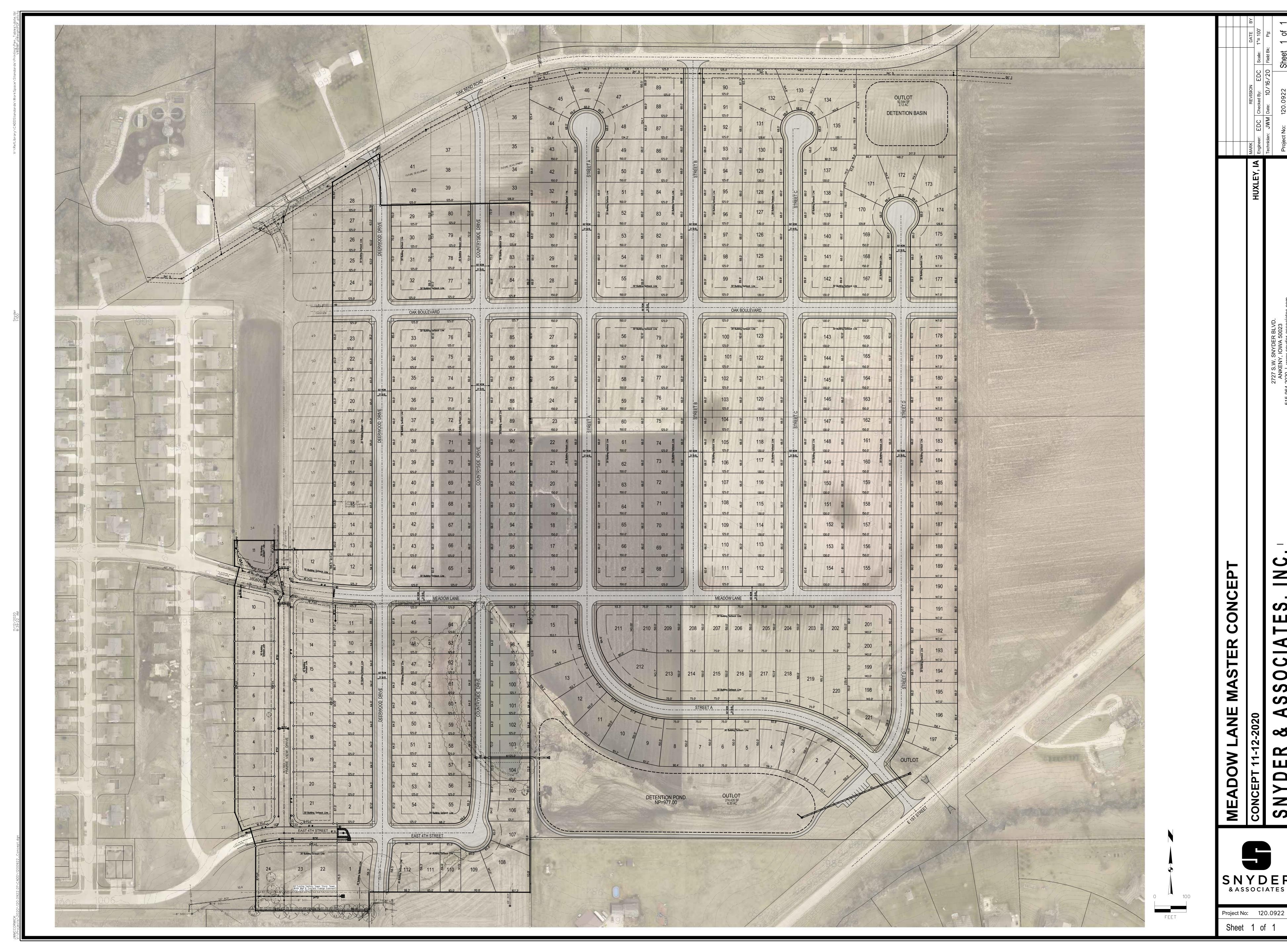
Sheet 1 of 5











SNYDER & ASSOCIATES