



PLANNING & ZONING COMMISSION MEETING

**ZOOM VIRTUAL MEETING-INFORMATION BELOW
MONDAY APRIL 19, 2021
6:00 P.M.**

AGENDA

1. Roll Call
2. Motion to approve the minutes from March 15, 2021
3. Public Comments (5-minutes limit for items not on this agenda)
4. Public Hearing
 - a. Toy Box Industrial Rezoning R-1 to M-1
 - b. Blue Sky Commons Residential Rezoning A-1 and M-1 to R1
5. Business Items
 - a. Toy Box Storage Industrial Rezoning R-1 to M-1
 - b. Toy Box Storage Site Plan
 - c. Blue Sky Commons Residential Rezoning A-1 and M-1 to R-1
 - d. Meadow Lane Investments LLC Annexation
 - e. Meadow Lane Investments LLC Preliminary Plat 2021
6. Informational Items
 - a. Story County Water Monitoring Plan <https://www.storycountyiowa.gov/1536/Water-Quality-Monitoring>
 - b. Sidewalk Infill and Trails Master Planning
7. Planning and Zoning Commission Comments
8. Adjournment

Zoom Meeting Information:
<https://zoom.us/j/97081351157>
Meeting ID: 970 8135 1157
Dial In:1-312-626-6799

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

Huxley Planning & Zoning Commission Meeting Minutes

Monday, March 15, 2021

Chairman Bierbaum called the Zoom Meeting to order at 6:09pm

ROLL CALL: Bierbaum, Wilson, Mosher, Frantz, Schonhorst, Patterson, Scott

CITY STAFF: Rita Conner – City Administrator, Jolene Lettow – City Clerk

CONSULTANTS PRESENT: Forrest Aldrich -City Engineer

Motion by Wilson, seconded by Mosher to approve the February 22nd meeting minutes. Motion carried 7-0.

Motion by Mosher, seconded by Frantz to approve the March 3rd Special P & Z meeting minutes. Motion carried 7-0.

BUSINESS ITEMS: DZ Condos Site Plan – City Administrator, Rita Conner, reported that the site plan had originally been reviewed last fall and a favorable recommendation from P & Z had gone to council that included the addition of a sidewalk waiver along Snyder Drive. Commission members were informed that the sanitary sewer had some changes since last fall. Any unresolved issues had been resolved since prior recommendation. Motion by Patterson, seconded by Schonhorst to recommend approval of site plan with sidewalk waiver to council. Motion carried 7-0.

Story County Housing Study: it was reported that there is a shortage of homes in Huxley with a \$150 - \$200,000 price range. Chairman Bierbaum noted that developers want to reduce the size of R-1 lots to R-1A size. Suggested the lots could be used for low-income housing shortage. Recommended topic be placed on future agenda.

Patterson commented no other communities have any growth or development so do not have issue.

Wilson stated there were not any local developers that build homes for less than \$200,000.

Rita Conner, City Administrator, reported that Story County and Polk County officials were going to organize a forum to discuss possibility of lower priced homes.

Planning and Zoning/City Administrator Comments:

- City council is working on a “Connected City” with trails, sidewalks and sidewalk infill
- Eight projects for P & Z to review in April; Frantz and Wilson asked that P & Z be given plenty of lead time to receive and review information prior to meeting
- Members were asked if they preferred Zoom meetings or in-person meetings. Mosher reported either one worked. Patterson and Bierbaum stated they preferred Zoom.

Next meeting: April 19, 2021

ADJOURNMENT: Motion – Wilson, second – Schonhorst to adjourn at 6:41pm. 7 ayes, motion carried.

Roger Bierbaum, Chairman

Date of Approval

Attest:

Jolene R. Lettow, City Clerk

PLANNING & ZONING COMMUNICATION

AGENDA HEADING:

Toy Box Industrial Rezoning R-1 to M-1 and Site Plan

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Philip and Kristina Brekke (203 Campus Avenue Huxley, Iowa 50124) have submitted a rezoning request and site plan for the expansion of their outdoor storage business. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1326220110>

The business provides outdoor storage for items such as boats, campers and trailers, and is directly adjacent to the family home. The rezoning proposes to take a portion of the lot where the home is located and change the zoning from R-1 to M-1 to allow for the expansion of the business.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

- Adjacent owners within 200' have been notified of the rezoning and provided the ability to attend the public hearing.
- City staff and V & K have reviewed the site plan and provided comments to the owner. All comments have been addressed, with the exception of:
 - Applicant's requests for waivers on the requirements for asphalt/concrete surfacing, landscaped island, and landscaping between the storage area and Campus Drive.
- The 2013 Comprehensive Plan shows this area as industrial while also accounting for the existing residential use, which is consistent with the rezoning request.

CITY ADMINISTRATOR COMMENTS:

- Hard surfacing of commercial and industrial lots is the requirement. The current lot is partially HMA and partially asphalt millings. The proposed new area would be asphalt millings. The percentage of asphalt in the millings and how the material is bound or tacked to the lot would be helpful to understand, as it would go to the likelihood of materials being tracked off the lot and going into City storm intakes. The long-term nature of the storage lot can also be taken into consideration, if the vehicles are not moved frequently, the materials spillover could be reduced.
- The nature of the storage lot and large vehicles should also be taken into consideration regarding the landscaped islands.
- The storage lot is located in an area that is not highly visible to the public, being on a dead end and adjacent to an electrical substation. While some landscaping would soften the aesthetic of the fence, the limited visibility is a consideration.

PLANNING & ZONING COMMUNICATION

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- Initial site plan approval

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- April 27 City Council review and public hearing
- Issuance of permits as applicable
- Certificate of occupancy

NOTICE OF PUBLIC HEARINGS OF THE PLANNING & ZONING COMMISSION AND CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY PHILIP & KRISTINA BREKKE FROM SINGLE FAMILY RESIDENTIAL (R-1) TO INDUSTRIAL (M-1) CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

TO: ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

YOU ARE HEREBY NOTIFIED that the Planning & Zoning Commission and City Council are considering the rezoning of certain property in the City of Huxley, Iowa:

R-1 ZONING – Except the west 25 feet and except the east 220 feet. Lots 1, 2, and the north 49.2 feet measured on the east line and the north 42.6 feet measured on the west line of lot 3, all in O. M. Johnson's addition to the town of Huxley.

-to-

M-1 ZONING- Except the west 25 feet and except the east 220 feet. Lots 1, 2, and the north 49.2 feet measured on the east line and the north 42.6 feet measured on the west line of lot 3, all in O. M. Johnson's addition to the town of Huxley.

LAYMAN'S DESCRIPTION:

203 Campus Ave, Huxley Iowa 50124

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a virtual hearing before the Planning & Zoning Commission to consider rezoning in light of the requested rezoning has been set to commence on the 19th day of April 2021 at 6 p.m. at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard. Zoom information is located below. The formal hearing is set to commence on the 27th of April at 6 p.m. in the Huxley City Council Chambers located at 515 N Main Avenue.

Planning & Zoning Zoom Meeting Information:

<https://zoom.us/j/99198672143>

Call in: 312-626-6799

Meeting ID: 991 9867 2143



April 7, 2021

Re: Rezoning of 203 Campus Ave

Dear Property Owner:

Enclosed you will find material concerning the rezoning of 203 Campus Ave.

Your attendance is welcome at the following hearings:

- Monday April 19th at 6 PM—Planning and Zoning Commission informal hearing via Zoom.
Zoom Meeting Information:
<https://zoom.us/j/99198672143>
Call in: 312-626-6799
Meeting ID: 991 9867 2143
- Tuesday April 27th 6:00 PM—City Council formal public hearing located in the Council Chambers
515 N Main Ave

Should you have any questions, please call 515.597.2561 ext 200 or email rconner@huxleyiowa.org.

Sincerely,

Rita Conner
City Administrator



HUXLEY
— HEART OF THE PRAIRIE —

Site Plan/Landscape Plan Application

Date submitted: _____

Board review date: _____

Property Owner: Toy Box Storage, LLC County Parcel Number: 1326221270
Property Address: 203 Campus Avenue 1326220110
Property zoning: Pending M-1
Legal description: Reference the rezoning plat for parcel legal description.

Site plan prepared by: Scott Renaud, P.E., Renaud Engineering LLC
Address: PO Box 662, Ames, Iowa 50010 or email renaudeng@gmail.com

Site plan review - \$100/reimburse City for any cost (legal and engineering) and \$50 for amendments to the original site plan.

I understand that the City of Huxley requires a site plan prior to issuance of any building permits within any zoning districts except R-1 and R-2. The site plan must include the 36 points as noted on the checklist and it must be presented at least 15 days prior to the Planning and Zoning scheduled meeting. Ten copies are required to be submitted and will be subject to City Engineer review at the expense of the developer. I hereby understand these conditions and agree to comply with all City of Huxley Code requirements.

Signed: Kusha Butk

Date: 3/3/21

(City use only)

Date of P&Z Meeting: _____ City Council Meeting date: _____
Fee Check Number: _____ Receipt number _____

Decision of the board:

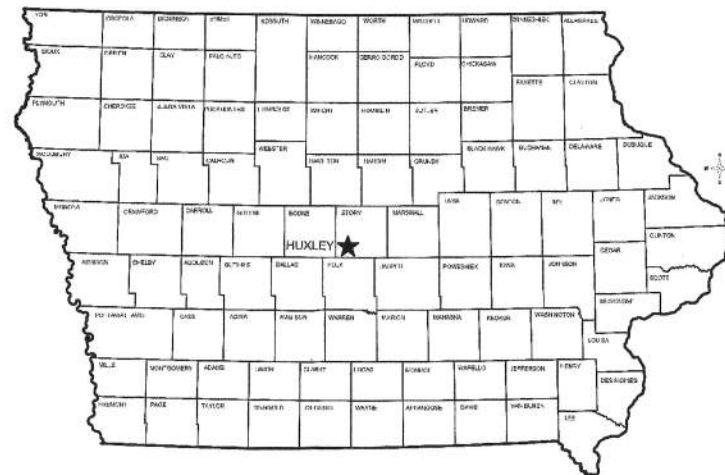
Decision of the council:

SITE DEVELOPMENT PLAN
FOR

TOY BOX STORAGE

203 CAMPUS AVENUE
HUXLEY, IOWA
2021

LOCATION MAP



INDEX OF SHEETS	
NO.	DESCRIPTION
G 1.1	COVER SHEET
G 1.2	GENERAL NOTES
G 1.3.1	STORMWATER POLLUTION PREVENTION PLAN - SWPPP
G 1.3.2	STORMWATER POLLUTION PREVENTION NOTES
G 1.4	PLAN DETAILS
S 1.0	EXISTING SITE CONDITIONS
S 1.1	LAYOUT AND DIMENSION PLAN
S 1.2	SITE GRADING PLAN
S 1.3	SITE UTILITY PLAN

UTILITY CONTACTS:

Street, Water & Sanitary Sewer: City of Huxley Public Works
Jeff Peterson, Public Works Director
Keith Vitthum
Phone 515-597-2256

Electric and Natural Gas: Alliant Energy
Jenni Kroneman
jennikroneman@alliantenergy.com
Phone 515-661-7297

Overhead Electric (High Voltage Lines west of site): ITC
Joe Beaver
jbeaver@itctransco.com
Frank Jennings
fjennings@itctransco.com

Communications: Huxley Communications
Brant Stumpfer
102 N. Main Avenue, Huxley, Iowa 50124
Office 515-597-2899

SITE PLAN DATA:

NAME OF PROJECT: Toy Box Storage, LLC

PROJECT ADDRESS: 203 Campus Avenue, Huxley, Iowa

OWNER: Philip & Kristine Brekke
Toy Box Storage, LLC
203 Campus Avenue
Huxley, Iowa 50124
Kristina Brekke - 515-291-7309
Kristina Brekke Email - kristina@toyboxstoragehuxley.com
Philip Brekke Email - pbrekke@gmail.com

APPLICANT: Philip & Kristine Brekke
Toy Box Storage, LLC
203 Campus Avenue
Huxley, Iowa 50124
Kristina Brekke - 515-291-7309
Kristina Brekke Email - kristina@toyboxstoragehuxley.com
Philip Brekke Email - pbrekke@gmail.com

PREPARED BY: Scott Renaud, P.E.
Renaud Engineering LLC
PO Box 662
Ames, Iowa 50010
Phone - (515) 418-1877
Email - renaudeng@gmail.com

LEGAL DESCRIPTION: Irregular parcel descriptions; reference Story County GIS
N. Parcel - Story County Parcel ID 1326221270
S. Parcel - Story County Parcel ID 1326220110

SITE AREA: 5.11 Acres
N. Parcel - 2.31 Acre
S. Parcel - 2.80 Acre

ZONING: M1 - Industrial (requested)

BULK REGULATIONS: Minimum Lot Area = 6,000 square feet
Minimum Lot Width = No specified
Minimum Front Yard = 25 feet
Minimum Side Yard = 10 feet
Minimum Rear Yard = 10 feet
Maximum Height = 60 feet
Corner setback requirements are not listed

ELEVATION DATUM: USGS

STORMWATER MANAGEMENT PLAN: Reference stormwater management plan provided.

PARKING REQUIREMENTS: Entire area is parking for storage. No parking requirement.

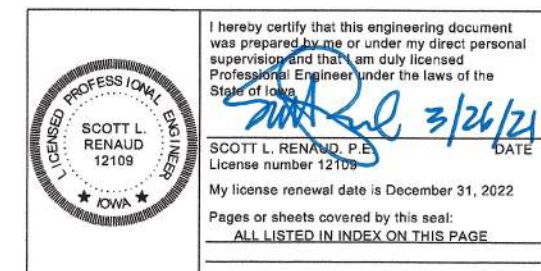
GREEN CALCULATIONS: Required greenspace required is 20%
Greenspace supplied = 44.76%

VARIANCES REQUESTED: 165.33.5.B To allow asphalt millings for pavement
167.05.2.E Waive interior landscaping requirements
167.05.3.B Waive exterior landscaping requirements



RENAUD Engineering LLC

PO Box 662
Ames, Iowa 50010
Phone 515-418-1877
Email renaudeng@gmail.com



RENAUD Engineering LLC
PO Box 662
Ames, Iowa 50010
Phone 515-418-1877
Email renaudeng@gmail.com

COVER SHEET
TOY BOX STORAGE
203 CAMPUS AVENUE
HUXLEY, IOWA 50124

G 1.1

STOCKPILE EXCESS SOIL SEPARATE TOPSOIL
AND FILL MATERIAL. REUSE TOPSOIL AS NEEDED.
STABALIZE AND SEED AREA WHEN PROJECT GRADING
IS COMPLETE.

PROPERTY LINE

FL: 1025.00

FL: 1030.00

PROPOSED DETENTION BASIN

EXISTING ASPHALT MILLINGS

EXISTING HMA PAVEMENT

PROPOSED ASPHALT MILLINGS

PROPOSED FENCE

Solar Panel

10' LANDSCAPE AREA

House

Garage

CAMPUS DRIVE

6" Chain Link Fence

32' Gate

20' Gate

5/8"Ø Iron rebar 12" deep

5/8"Ø Iron rebar BM #2=1036.05

1/2"Ø Iron rebar YPC #7

1/2"Ø Iron rebar BM #1=1035.59

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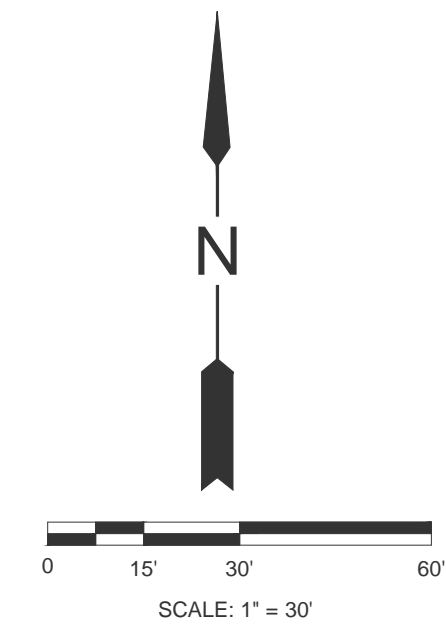
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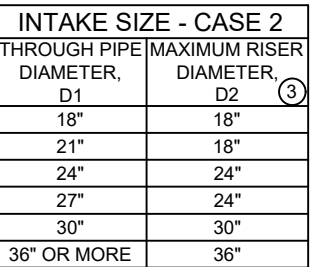
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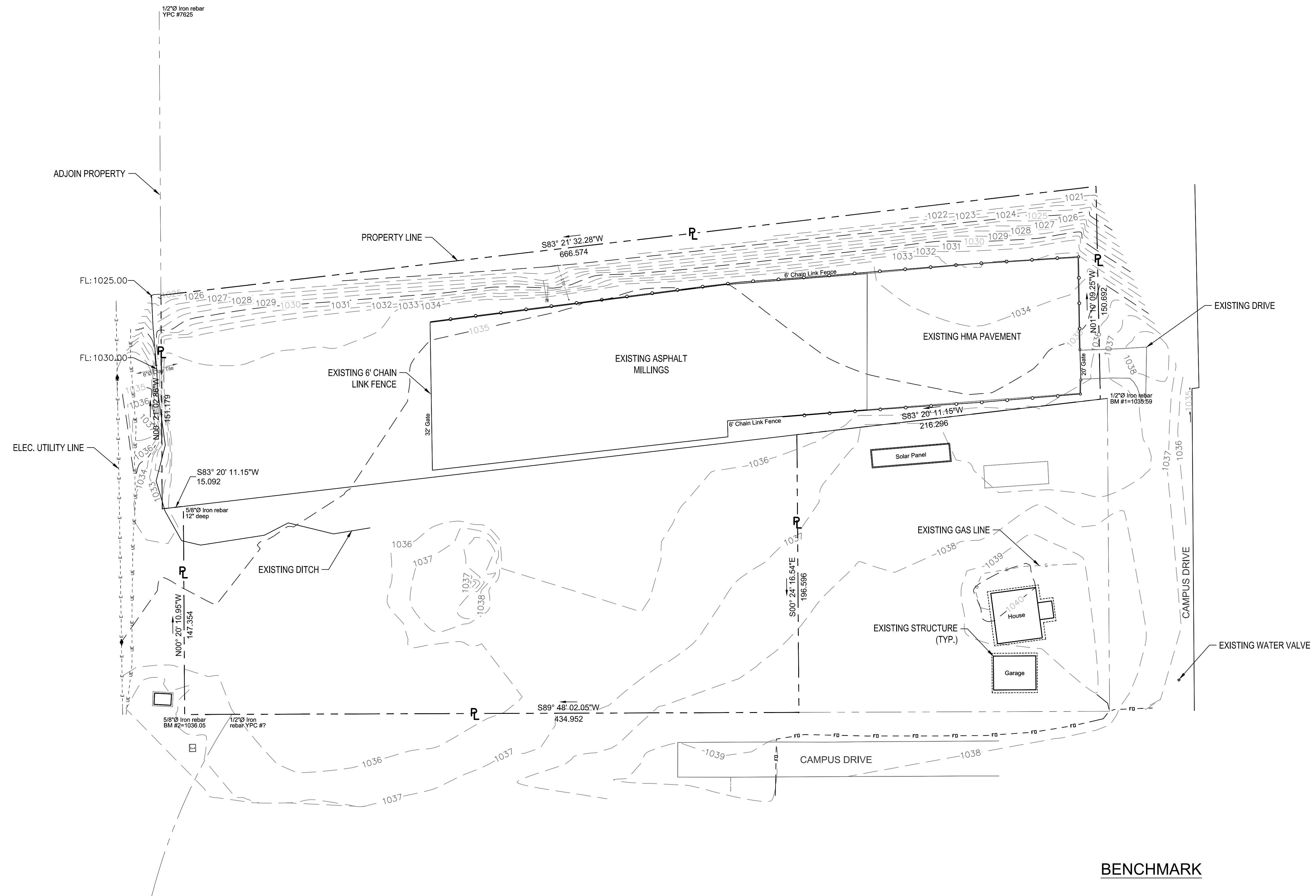


<p>STORM WATER POLLUTION PREVENTION PLAN</p> <p>TOY BOX STORAGE</p> <p>203 CAMPUS AVENUE</p> <p>HUXLEY, IOWA 50124</p>	PROJECT NUMBER	<p>RENAUD Engineering LLC</p> <p>PO Box 662</p> <p>Ames, Iowa 50010</p> <p>Phone 515-418-1877</p> <p>Email renaudeng@gmail.com</p>		DATE	REVISION	BY	DATE
				DESIGNED:		SLR	xx/xx/xx
				DRAWN:		SRS	xx/xx/xx
				CHECKED:			
				LAST UPDATED:			
SHEET							03/08/2021
G 1.3.1							






G 1.5

PORTIONS OF THE EXISTING FENCE WILL BE REMOVED
AND REUSED IN THE NEW EXTERIOR FENCE.



BM	1	1035.59
BM	2	1036.05
FL	1	1025.00
FL	2	1030.00

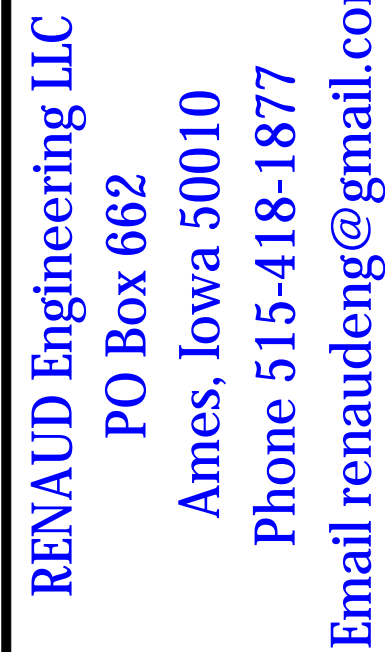
 PROPERTY LINE
 BENCH MARK
 CLAY TILE 6" DIA.

RENAUD Engineering LLC
PO Box 662
Ames, Iowa 50010
Phone 515-418-1877
Email renaudeng@gmail.com

EXISTING SITE CONDITIONS
TOY BOX STORAGE
203 CAMPUS AVENUE
HUXLEY, IOWA 50124

S-1.0

THE EXISTING ERODED DITCH SHALL BE EXCAVATED TO THE BOTTOM AND NEW FILL INSTALLED TO THE GRADES SHOWN USING IDOT TYPE A COMPACTION.



S-1.2

DATE	REVISION	DESIGNED:	BY:	DATE
		DRAWN:	SRS	XX/XX/XX
		CHECKED:		XX/XX/XX
		LAST UPDATED:		
		03/08/2021		

March 26, 2021

Planning & Zoning Commission

City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

**RE: Toy Box Storage Site Plan
Request of Variance for Pavement Surfacing and Landscaping**

Dear Commission:

On the behalf of Toy Box Storage, owners Phil and Kristina Brekke, we are requesting variances for 3 items related to their planned storage facility expansion. The three variances are:

Huxley Ordinance 165.33.5.B requiring all parking areas to be surfaced with asphalt or concrete: The Brekkes intend to pave the storage area with *compacted asphalt millings*. The millings will be placed on a warm/hot day and roller compacted into a surface that hard and consistent and looks like a open graded asphalt pavement. Asphalt millings are dust free. The asphalt millings are a more economical alternative to standard paving and perform just as well for the storage area. The "traffic" in the area is low volume and very low speed.

Huxley Ordinance 165.05.02.E requiring large expanses of pavement to be broken up with landscape islands: Any islands in the storage area will prevent orderly placement of campers and RVs. This is a *storage* area where customers place their own campers. Obstacles within the parking lot will result in damage to both the vehicles and landscaping. Trees cause damage to the campers with falling tree limbs as evidenced by last summer's Deracho. A storage area has a non-standard parking arrangement so locating islands would be a random interference with orderly parking.

Huxley Ordinance 167.05.3.B require perimeter landscaping: The Brekkes request this variance for two reasons. *First*, for security reasons they would prefer the storage area to be open and visible. Landscaping will screen the area from easy observation from the outside. *Second*, trees and shrubs can cause damage to the campers and Rvs as mentioned previously. The Alliant substation to the south does not have any landscaping as would be expected as the landscaping causes issues for Alliant's equipment. To the west is the City's old railroad property which is 10 feet *higher* than the Toy Box site and fully screens the site from the west. The existing trees on the north side of the Toy Box site (their portion of the old railroad right of way) will be untouched adjacent to the storage area's parking & fence as has been the case with the original storage area.

Phil and Kristina will be at the Commission's meeting and can address any concerns or questions. They encourage the Commission to visit the site and review the neighborhood. Brekkes live in the house at the southeast corner of the storage site.

Sincerely,



Scott Renaud, P.E.
Renaud Engineering, LLC

cc: Phil & Kristina Brekke

REQUEST FOR REZONING

ADJACENT OWNERSHIP WITHIN 250'

- ① COLLEGIATE CONCEPTS, INC.
PO BOX 66
ANKENY, IA 50021-0066
- ② HEDRICK COMMERCIAL PROPERTIES
104 CAMPUS DR
HUXLEY, IA 50124-9724
- ③ IES UTILITIES INC
PO BOX 77007
MADISON, WI 53707-1007
- ④ LAKESIDE CONTRACTORS, LLC
4850 TIMBER CREEK LN
AMES, IA 50010
- ⑤ DZ FLEX SPACE, LLC
2404 PARK DR
WEST DES MOINES, IA 50265
- ⑥ BONITA J & THOMAS R MENKEN, TRUSTEES
543 W TRACE DR
POLK CITY, IA 50226
- ⑦ JAMES A & SUSAN E DEVIG
406 W 1ST ST
HUXLEY, IA 50124-9740
- ⑧ TOY BOX STORAGE, LLC
203 CAMPUS AVE
HUXLEY, IA 50124
- ⑨ MR STORAGE, LC
506 E 1ST ST
HUXLEY, IA 50124
- ⑩ HUXLEY COOPERATIVE TELEPHONE CO
102 N MAIN ST
HUXLEY, IA 50124
- ⑪ DENNIS W & SHARON M HEINEN
304 SYCAMORE BLVD
HUXLEY, IA 50124

PARCELS WITHIN 250'

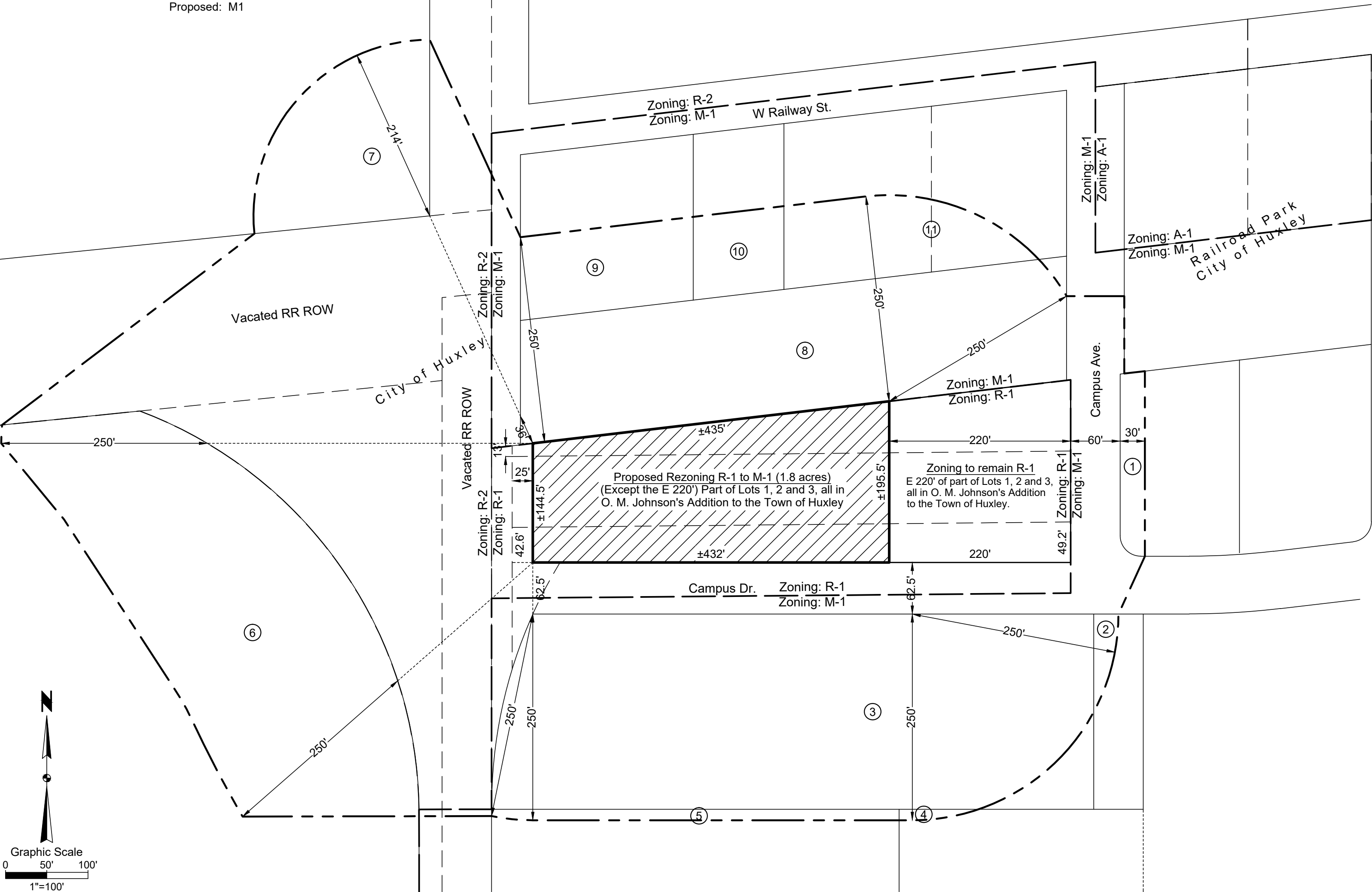
Owner	Acres within 250'	Area % within 250'	Consent % within 250'
1	0.150	1.30%	
2	0.055	0.48%	
3	3.740	32.33%	
4	0.021	0.18%	
5	0.149	1.29%	
6	2.997	25.91%	
7	0.876	7.57%	
8	2.274	19.66%	
9	0.486	4.20%	
10	0.255	2.20%	
11	0.564	4.88%	
Total	11.567	100.00%	

OWNER
PHILIP & KRISTINA BREKKE
203 CAMPUS AVE
HUXLEY, IA 50124

REZONING ADDRESS
203 CAMPUS AVENUE
HUXLEY, IA 50124

REZONING DESCRIPTION
(EXCEPT the West 25 feet and EXCEPT the East 220 feet) Lots 1, 2, and the North 49.2 feet measured on the East line and the North 42.6 feet measured on the West line of Lot 3, all in O. M. Johnson's Addition to the Town of Huxley.

ZONING
Existing.. : R1
Proposed: M1



Campbell Engineering & Surveying
301 NE Trilein Drive, Suite 1
Ankeny, Iowa 50021
Phone...: (515) 963-4385
E-mail.: info@cesiowa.com

REQUEST FOR REZONING (R-1 TO M-1)
203 Campus Avenue, Huxley, Iowa 50124
(EXCEPT W 25' & EXCEPT E 220') Lots 1, 2 and N 49.2' on E line and N 42.6' on W line of Lot 3, O. M. Johnson's Addition to the Town of Huxley.

Requested by: Scott Renaud (Renaud Engineering, LLC)
Owner.....: Philip & Kristina Brekke

FIELD WORK..		PROJECT #: REL2101
DRAWN BY..... BRC	1/5/2021	FILE #.....: RZ2101
REVISED BY..		SCALE
REVISED BY..		SHEET
REVISED BY..		VERT.: 1
REVISED BY..		HORIZ.: 1"=100' Of 1



March 26, 2021

Rita Conner
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

HUXLEY, IOWA
TOY BOX STORAGE
SITE PLAN REVIEW

We have reviewed the revised site plan for the Toy Box Storage located in the Huxley Industrial Park and find it acceptable with the following comments that need to be considered by the P&Z Board and the City Council:

1. All parking areas are to be surfaced with asphalt or concrete in accordance with Zoning Ordinance 165.33.5.B. The property owner is requesting a waiver of this requirement stating this area will be used for the storage of vehicles and that the surfacing material will be asphalt millings.
2. Large expanses of pavement are to be broken up with plant material with one landscaped island equal to a parking space for every parking space provided with the option of combining islands into fewer larger islands in accordance with Site Plan Ordinance 167.05.2.E. The property owner is requesting a waiver of this requirement stating this area will be used for the storage of vehicles.
3. Landscaping is needed between the storage area and Campus Drive in accordance with Site Plan Ordinance 167.05.3.B. The landscaping shall be set back at least 5 feet from the property line and shall be located between the property line and the fence. The property owner is requesting a waiver of this requirement.
4. A lighting plan has not been submitted as no lighting is proposed for the storage area.

Rita Conner
March 26, 2021
Page 2

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:dml
45229-057

cc: Jeff Peterson, City of Huxley (e-mail)
Scott Renaud, Renaud Engineering (e-mail)

REQUEST FOR REZONING

ADJACENT OWNERSHIP WITHIN 250'

- ① COLLEGIATE CONCEPTS, INC.
PO BOX 66
ANKENY, IA 50021-0066
- ② HEDRICK COMMERCIAL PROPERTIES
104 CAMPUS DR
HUXLEY, IA 50124-9724
- ③ IES UTILITIES INC
PO BOX 77007
MADISON, WI 53707-1007
- ④ LAKESIDE CONTRACTORS, LLC
4850 TIMBER CREEK LN
AMES, IA 50010
- ⑤ DZ FLEX SPACE, LLC
2404 PARK DR
WEST DES MOINES, IA 50265
- ⑥ BONITA J & THOMAS R MENKEN, TRUSTEES
543 W TRACE DR
POLK CITY, IA 50226
- ⑦ JAMES A & SUSAN E DEVIG
406 W 1ST ST
HUXLEY, IA 50124-9740
- ⑧ TOY BOX STORAGE, LLC
203 CAMPUS AVE
HUXLEY, IA 50124
- ⑨ MR STORAGE, LC
506 E 1ST ST
HUXLEY, IA 50124
- ⑩ HUXLEY COOPERATIVE TELEPHONE CO
102 N MAIN ST
HUXLEY, IA 50124
- ⑪ DENNIS W & SHARON M HEINEN
304 SYCAMORE BLVD
HUXLEY, IA 50124

PARCELS WITHIN 250'

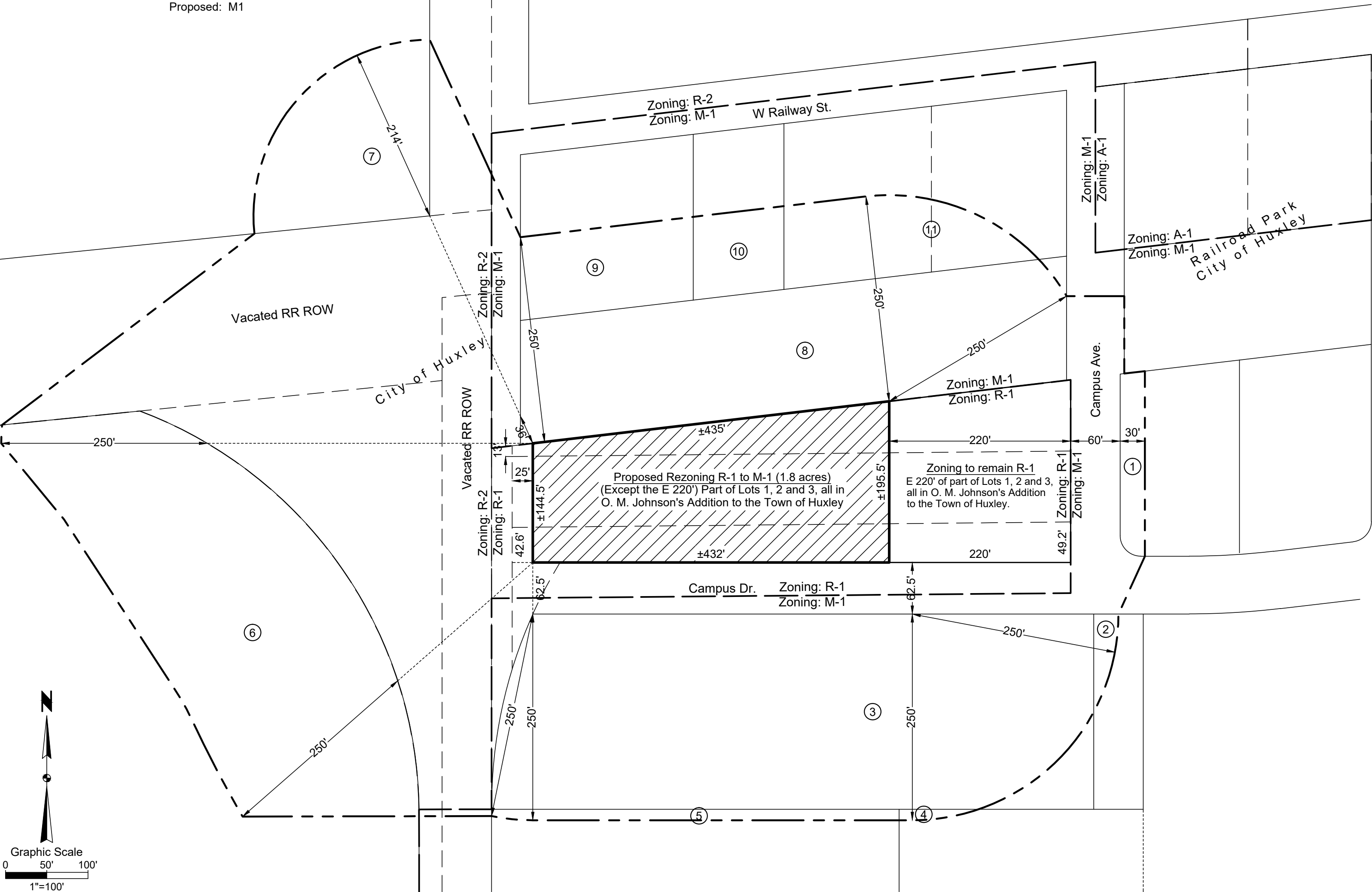
Owner	Acres within 250'	Area % within 250'	Consent % within 250'
1	0.150	1.30%	
2	0.055	0.48%	
3	3.740	32.33%	
4	0.021	0.18%	
5	0.149	1.29%	
6	2.997	25.91%	
7	0.876	7.57%	
8	2.274	19.66%	
9	0.486	4.20%	
10	0.255	2.20%	
11	0.564	4.88%	
Total	11.567	100.00%	

OWNER
PHILIP & KRISTINA BREKKE
203 CAMPUS AVE
HUXLEY, IA 50124

REZONING ADDRESS
203 CAMPUS AVENUE
HUXLEY, IA 50124

REZONING DESCRIPTION
(EXCEPT the West 25 feet and EXCEPT the East 220 feet) Lots 1, 2, and the North 49.2 feet measured on the East line and the North 42.6 feet measured on the West line of Lot 3, all in O. M. Johnson's Addition to the Town of Huxley.

ZONING
Existing.. : R1
Proposed: M1



Campbell Engineering & Surveying
301 NE Trilein Drive, Suite 1
Ankeny, Iowa 50021
Phone...: (515) 963-4385
E-mail.: info@cesiowa.com

REQUEST FOR REZONING (R-1 TO M-1)
203 Campus Avenue, Huxley, Iowa 50124
(EXCEPT W 25' & EXCEPT E 220') Lots 1, 2 and N 49.2' on E line and N 42.6' on W line of Lot 3, O. M. Johnson's Addition to the Town of Huxley.

Requested by: Scott Renaud (Renaud Engineering, LLC)
Owner.....: Philip & Kristina Brekke

FIELD WORK..		PROJECT #: REL2101
DRAWN BY..... BRC	1/5/2021	FILE #.....: RZ2101
REVISED BY..		SCALE
REVISED BY..		SHEET
REVISED BY..		VERT.: 1
REVISED BY..		HORIZ.: 1"=100' Of 1

PLANNING & ZONING COMMUNICATION

AGENDA HEADING:

Blue Sky Commons Residential Rezoning A-1 and M-1 to R-1

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Von Houweling, CD II (Don Von Houweling, 14427 Wilden Drive Urbandale, Iowa 50323) has submitted a rezoning request for approximately 33.17 acres in the Blue Sky Commons development, north west of the Blue Sky Commons Business Park. A link to the property is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1430100110>

The rezoning proposes to change the existing zoning of the property from A-1 and M-1 to R-1 for future residential development.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION:

- Adjacent owners within 200' have been notified of the rezoning and provided the ability to attend the public hearing.
- The 2013 Comprehensive Plan shows this area as low density residential and open space, which would conform with the rezoning proposal.

CITY ADMINISTRATOR COMMENTS:

- The owner has intended to pursue residential development of the property for a number of years and has shared that intent with the City.
- Future processes will include the review of subdivision and plat information.

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

- Past incorporation of property, initial rezoning

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- April 27 City Council review and public hearing
- Review of plat information and subdivision development at a future date.

NOTICE OF PUBLIC HEARINGS OF THE PLANNING & ZONING COMMISSION AND CITY COUNCIL ON THE REZONING OF CERTAIN PROPERTY OWNED BY VAN HOUWELING, CD II FROM AGRICULTURE HOLDING DISTRICT (A-1) AND INDUSTRIAL DISTRICT (M-1) TO SINGLE FAMILY RESIDENTIAL (R-1) CLASSIFICATION IN THE CITY OF HUXLEY, IOWA

TO: ALL CITIZENS AND RESIDENTS OF THE CITY OF HUXLEY, IOWA, AND TO ALL OTHER PERSONS WHO MAY BE ENTITLED TO NOTICE OF A PUBLIC HEARING ON THE REZONING OF PROPERTY IN THE CITY OF HUXLEY, IOWA.

YOU ARE HEREBY NOTIFIED that the Planning & Zoning Commission and City Council are considering the rezoning of certain property in the City of Huxley, Iowa:

A-1 & M-1 ZONING – A PART OF THE NORTHWEST FRACTIONAL ¼ OF THE NORTHWEST FRACTIONAL ¼ OF SECTION 30 AND A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19 LOCATED SOUTH OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY ALL IN TOWNSHIP 82 NORTH, RANGE 23 WEST OF THE 5TH P.M. NOW INCLUDED IN AND FORMING A PART OF THE CITY OF HUXLEY, STORY COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 0° 00' 01" EAST ALONG THE WEST LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 1,324.01 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30 AND BEING THE SOUTHWEST CORNER OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19; THENCE NORTH 0° 05' 19" EAST ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, A DISTANCE OF 98.43 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY; THENCE NORTH 84° 12' 20" EAST ALONG SAID SOUTH LINE 510.44 FEET; THENCE NORTH 5° 47' 30" WEST CONTINUING ALONG SAID SOUTH LINE 15.00 FEET; THENCE NORTH 84° 12' 29" EAST CONTINUING ALONG SAID SOUTH LINE 712.82 FEET; THENCE SOUTH 19° 26' 20" WEST 516.42 FEET; THENCE SOUTH 9° 02' 08" EAST 294.68 FEET; THENCE SOUTH 31° 58' 22" WEST 709.85 FEET; THENCE SOUTH 20° 07' 18" WEST 194.13 FEET TO THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 89° 51' 24" WEST ALONG SAID SOUTH LINE OF THE NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 647.41 FEET TO THE POINT OF BEGINNING AND CONTAINING 33.17 ACRES (1,444,842 S.F.).

-to-

R-1 ZONING- A PART OF THE NORTHWEST FRACTIONAL ¼ OF THE NORTHWEST FRACTIONAL ¼ OF SECTION 30 AND A PART OF THE SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19 LOCATED SOUTH OF THE CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY ALL IN TOWNSHIP 82 NORTH, RANGE 23 WEST OF THE 5TH P.M.

NOW INCLUDED IN AND FORMING A PART OF THE CITY OF HUXLEY, STORY COUNTY, IOWA AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 0° 00' 01" EAST ALONG THE WEST LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 1,324.01 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30 AND BEING THE SOUTHWEST CORNER OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19; THENCE NORTH 0° 05' 19" EAST ALONG THE WEST LINE OF SAID SOUTHWEST FRACTIONAL 1/4 OF THE SOUTHWEST FRACTIONAL 1/4 OF SECTION 19, A DISTANCE OF 98.43 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID CHICAGO, MILWAUKEE AND ST. PAUL RAILROAD RIGHT-OF-WAY; THENCE NORTH 84° 12' 20" EAST ALONG SAID SOUTH LINE 510.44 FEET; THENCE NORTH 5° 47' 30" WEST CONTINUING ALONG SAID SOUTH LINE 15.00 FEET; THENCE NORTH 84° 12' 29" EAST CONTINUING ALONG SAID SOUTH LINE 712.82 FEET; THENCE SOUTH 19° 26' 20" WEST 516.42 FEET; THENCE SOUTH 9° 02' 08" EAST 294.68 FEET; THENCE SOUTH 31° 58' 22" WEST 709.85 FEET; THENCE SOUTH 20° 07' 18" WEST 194.13 FEET TO THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30; THENCE NORTH 89° 51' 24" WEST ALONG SAID SOUTH LINE OF THE NORTHWEST FRACTIONAL 1/4 OF THE NORTHWEST FRACTIONAL 1/4 OF SECTION 30, A DISTANCE OF 647.41 FEET TO THE POINT OF BEGINNING AND CONTAINING 33.17 ACRES (1,444,842 S.F.).

LAYMAN'S DESCRIPTION:

Located on 560th Avenue, south of the Heart of Iowa Trail and in-between Sand Cherry Lane and Blue Sky Blvd.

YOU ARE FURTHER AND SPECIFICALLY NOTIFIED that a virtual hearing before the Planning & Zoning Commission to consider rezoning in light of the requested rezoning has been set to commence on the 19th day of April 2021 at 6 p.m. at which time and place any person wishing to speak for or against said rezoning will be given the opportunity to be heard. Zoom information is located below. The formal hearing is set to commence on the 27th of April at 6 p.m. in the Huxley City Council Chambers located at 515 N Main Avenue.

Zoom Meeting Information:

<https://zoom.us/j/99198672143>

Call in: 312-626-6799

Meeting ID: 991 9867 2143



April 7, 2021

Re: Rezoning of Blue Sky Commons

Dear Property Owner:

Enclosed you will find material concerning the partial rezoning of Blue Sky Commons.

Your attendance is welcome at the following hearings:

- Monday April 19th at 6 PM—Planning and Zoning Commission informal hearing via Zoom.
Zoom Meeting Information:
<https://zoom.us/j/99198672143>
Call in: 312-626-6799
Meeting ID: 991 9867 2143
- Tuesday April 27th 6:00 PM—City Council formal public hearing located in the Council Chambers
515 N Main Ave

Should you have any questions, please call 515.597.2561 ext 200 or email rconner@huxleyiowa.org.

Sincerely,

Rita Conner
City Administrator



March 5, 2021

Ms. Rita Connor
City Administrator
City of Huxley
515 N. Main Avenue
Huxley, Iowa 50124

RE: PETITION FOR REZONING REQUEST
VAN HOUWELING, CD II PROPERTY
INTERSTATE LAND PROPERTIES, LLC
PART OF THE NW ¼, OF THE NW ¼, SEC. 30-82-23
HUXLEY, IOWA
S&A Project No. 121.0211.01

Dear Ms. Connor,

On behalf of Don Van Houweling of Interstate Land Properties, LLC, as Applicant, please find attached the accompanying documents outlining the requested Van Houweling, CD II property rezoning. The Petition for Rezoning request is to modify a portion of a parcel of property that identified with two different zoning designations. The rezoning request is to rezone from A-1: Agricultural Reserve district and M-1: Industrial district to R-1: Single-Family Residential district for future residential development.

Submittal materials are as follows:

1. Petition for Rezoning –signed by the Owner and Applicant,
2. Four (4) half sized copies of the Rezoning Map, and
3. Petition for Amendment to Zoning Map fee of \$200.00.

Please place the petition for rezoning request on the next available Planning and Zoning Board meeting and let me know if you have any questions or require further information. Thank you.

Sincerely,

SNYDER AND ASSOCIATES, INC.

A handwritten signature in blue ink, appearing to read 'Brent K. Culp', is written over a light blue horizontal line.

Brent K. Culp

Enclosure

Cc: Don Van Houweling, Interstate Land Properties, LLC (enclosure emailed)
Jamie Bergkamp, Jr., Bergkamp, Hemphill and McClure, P.C. (enclosure emailed)
File (electronic)

PLANNING & ZONING COMMUNICATION

AGENDA HEADING:

Meadow Lane Investments LLC Annexation and Preliminary Plat 2021

SUBMITTED BY

Rita Conner, City Administrator

SYNOPSIS:

Meadow Lane Investments, LLC (Steve Quick, PO Box 396 Huxley, Iowa 50124) has submitted an annexation request and the 2021 version of the Meadow Lane residential preliminary plat. A link to the property involved is found below.

<https://beacon.schneidercorp.com/Application.aspx?AppID=165&LayerID=2145&PageTypeID=1&PageID=1110&KeyValue=1324200375>

The annexation will incorporate a section of property adjacent to Oak Blvd, at the north end of what will become part of the next phase of the Meadow Lane development.

Additional information is below and in the attachments.

ADDITIONAL INFORMATION: YES

- In the preliminary plat, all lots north of Oak Boulevard are 70' or wider and the lots south of Oak Boulevard being reduced down to a mixture of 61' and 64' wide lots, which are the only revisions from the prior preliminary plat.

CITY ADMINISTRATOR COMMENTS:

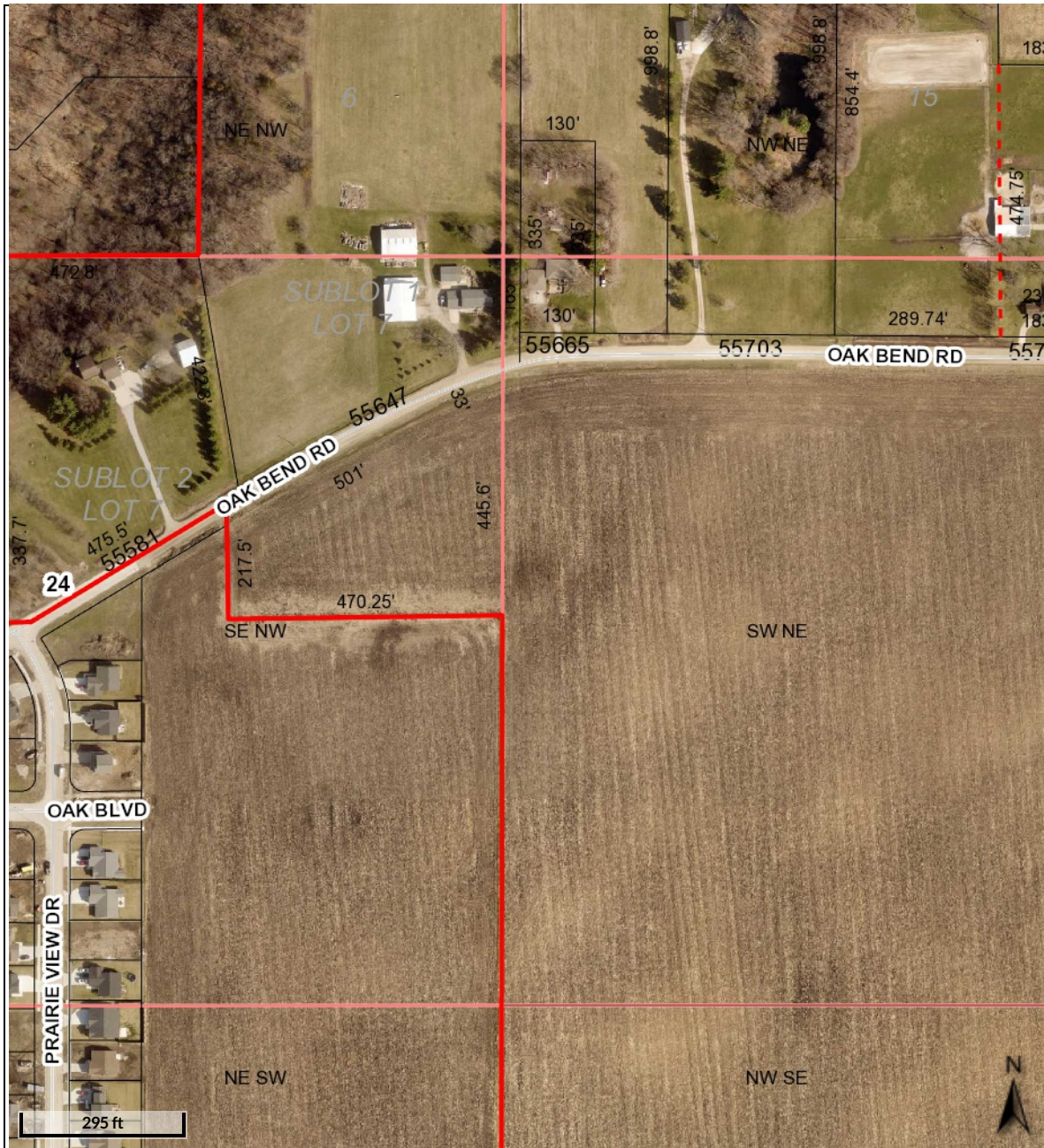
- The 2013 Comprehensive Plan shows this area as low density residential, which is consistent with the development.
- Oak Bend Road improvements will be included
- Future phases of Meadow Lane to the east will include the completion of the pond development and amenities, which have been reviewed with City staff and the development and design team.

BOARD, COMMISSION OR COUNCIL PRIOR ACTIONS: YES

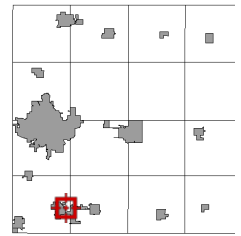
- Meadow Lane Plats 1-4

ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:

- April 27 City Council review and annexation process continuation
- Submittal of construction drawings and review of final plat for plat 5.



Overview



Legend

-  Parcels
-  Lots
-  Townships
-  Sections
-  Quarter Quarters
-  Corporate Limits
-  Road Centerlines

Concerning Assessment Parcels and Platted Lots Within the City of Ames Jurisdiction:

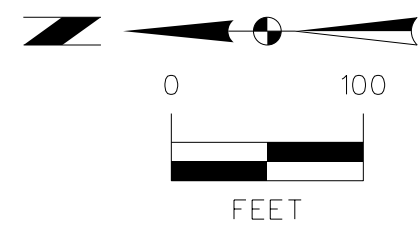
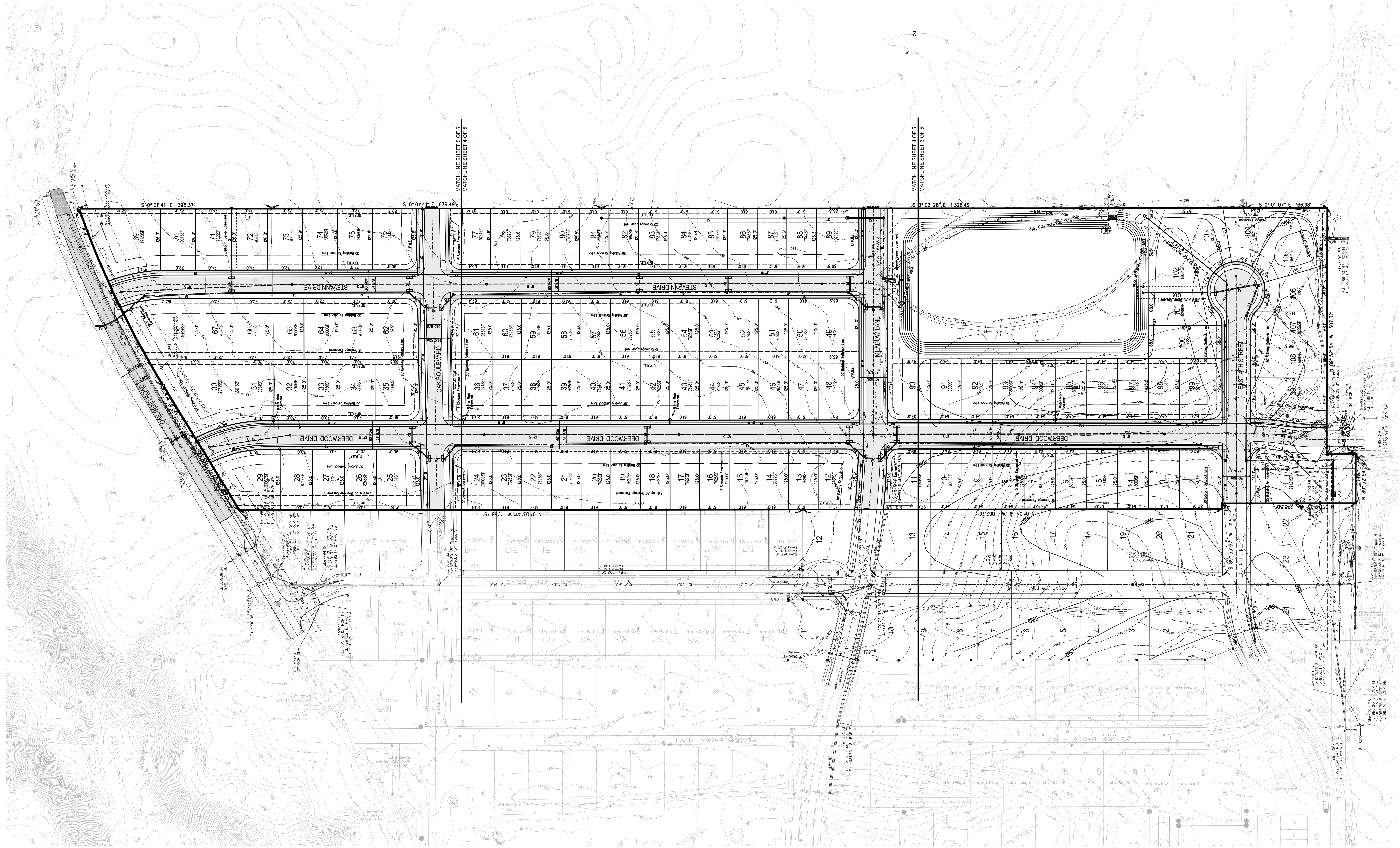
The solid parcel boundary lines represent the legal description as recorded and are not necessarily the official platted lot lines. Dashed lines are official platted lots. If a parcel contains dashed lines, please contact the Ames Planning & Housing Department (515-239-5400) to determine which lines can be recognized for building permit or zoning purposes. If you have questions regarding the legal description or parcel measurements, please contact the Story County Auditor's office (515-382-7210).

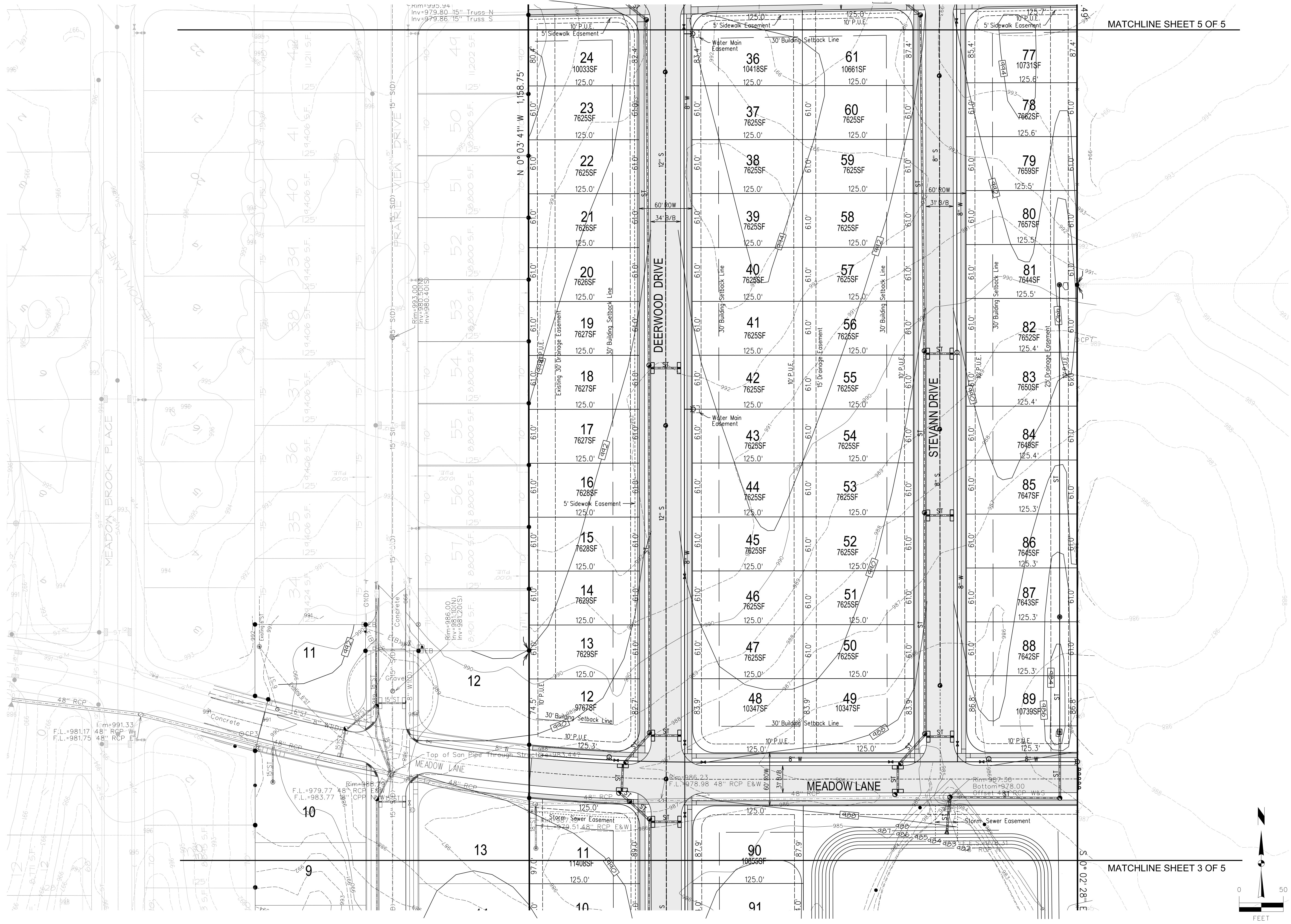
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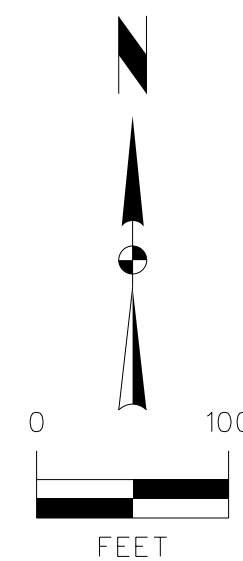
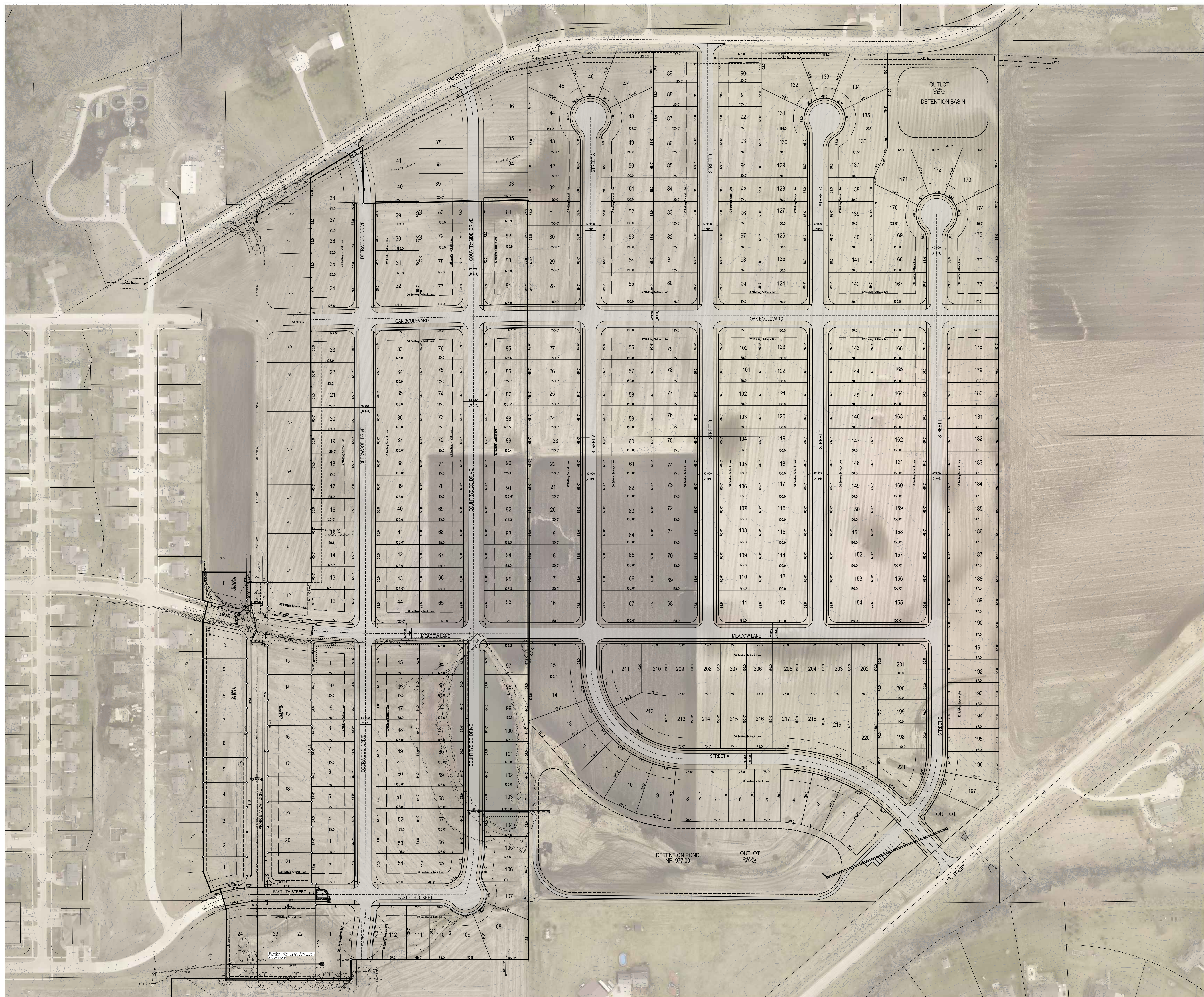
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Developed by  **Schneider**
GEOSPATIAL

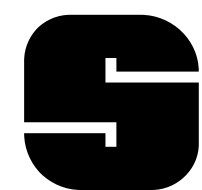
BEGINNING AT THE SOUTHEAST CORNER OF LOT SEVEN (7) OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4), WEST 28.5 RODS, NORTH 13 RODS 3 FEET, TO ROAD, NORTHEAST ALONG SOUTH LINE OF ROAD 30 RODS 6 FEET, SOUTH 27 RODS TO PLACE OF BEGINNING; ALL IN SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTY-TWO (82) NORTH, RANGE TWENTY-FOUR (24) WEST OF THE 5TH P.M., STORY COUNTY, IOWA.







CONCEPT 11-12-2020



Sheet 1 of 1

CONCEPT 11-12-2020

SNYDER & ASSOCIATES, INC.

2727 S.W. SNYDER BLVD.
ANKENY, IOWA 50023
515-964-2020 | www.snyder-association.org

ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

MARK	REVISION		DATE	BY
	Engineer: EDC	Checked By: EDC	Scale: 1"= 100'	
	Technician: JWM	Date: 10/16/20	Field Bk:	Pg:
Project No: 120.0922			Sheet 1 of 1	

Project No: