



## **PLANNING & ZONING COMMISSION MEETING**

**ZOOM MEETING. ID: 947 3046 4177  
TUESDAY AUGUST 20, 2020  
6:00 P.M.**

### **AGENDA**

1. Roll Call
2. Motion to approve the minutes from June 15, 2020 and July 20, 2020
3. Business Items
  - a. DSI Phase II Site Plan
  - b. Pro Commercial Lot 4 Site Plan
  - c. Westview Plat 3 Final Plat
4. Informational Items
5. City Administrator Communications
6. Planning and Zoning Commission Comments
7. Adjournment

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Agendas are available to the public at the City Clerk's Office on Friday morning preceding Monday's Planning & Zoning Commission meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.

**Huxley Planning & Zoning Commission Minutes**  
**Monday, June 15, 2020**

Chairman Roger Bierbaum called the Zoom meeting to order at 6:07 P.M.

**ROLL CALL:** Mosher, Wilson, Scott, Frantz, Bierbaum, Patterson. Schonhorst absent.

**CITY STAFF PRESENT:** Rita Conner – City Administrator, Amy Kaplan – Zoning Clerk

**CONSULTANTS PRESENT:** None

**GUESTS PRESENT:** None

**MINUTES APPROVAL:** Motion –Mosher, second –Wilson to approve minutes from May 18, 2020 meeting. 6 Aye. 0 Nay.

**PUBLIC COMMENTS:** None

**BUSINESS ITEMS: Hanks Residential Subdivision (Story County Plat):** Motion—Wilson, second- Patterson to table discussion to July meeting per Hanks Family request as the documents submitted were outdated. Frantz, Scott, Wilson, Mosher, Bierbaum, Patterson voted yes. Motion carried 6/0.

**INFORMATIONAL ITEMS:** The Commission looked at the Land Use and Growth Management Maps provided in the packet and discussed future potential annexation boundaries.

**CITY ADMINISTRATOR COMMUNICATIONS:**

Connor provided an update on Council action from the last City Council meeting.

**PLANNING AND ZONING COMMISSION COMMENTS:**

Bierbaum: Next meeting is Monday July 20<sup>th</sup> at 6 PM.

**ADJOURNMENT:** Motion – Patterson, Second- Wilson to adjourn meeting at 6:29 P.M. 6 ayes, 0 nays. Motion carried.

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Amy Kaplan, Zoning Clerk

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Roger Bierbaum, Chairman

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Date of Approval

## **Huxley Planning & Zoning Commission Minutes**

### **Monday, July 20, 2020**

Chairman Roger Bierbaum called the Zoom meeting to order at 6:01 P.M.

**ROLL CALL:** Mosher, Wilson, Scott, Schonhorst, Bierbaum, Patterson. Frantz absent.

**CITY STAFF PRESENT:** Rita Conner – City Administrator, Amy Kaplan – Zoning Clerk

**CONSULTANTS PRESENT:** Forrest Aldrich—City Engineer

**GUESTS PRESENT:** David John- Landscapes by Design, Don Marner- Snyder & Associates

**MINUTES APPROVAL:** Motion –Mosher, second –Patterson to approve minutes from June 15, 2020 meeting. 6 Aye. 0 Nay.

**PUBLIC COMMENTS:** None

#### **BUSINESS ITEMS:**

**Landscapes by Design Site Plan:** Motion—Schonhorst, second- Wilson providing a favorable recommendation to council to approve the site plan. Schonhorst, Scott, Wilson, Mosher, Bierbaum, Patterson voted yes. Motion carried 6/0.

**Ballard Community School District Site Plan-**All proposed work will take place within the boundaries of the existing field around the football field, except for one utility connection. During discussion, Wilson stated he was not in favor of synthetic turf for the football field. It was noted that the type of field surfacing was not an item that the P&Z Commission could review. The review conducted by the Commission is of the site plan submittal against any code requirements. Motion—Mosher to recommend approval to City Council, second- Scott. Schonhorst, Scott, Mosher, Bierbaum, Patterson voted yes. Wilson voted no. Motion carried 5-1.

#### **INFORMATIONAL ITEMS:**

The 2013 and 2019 Comp Plans need to be reviewed. Discussion will take place in the future regarding which Comp Plan to approve.

Water Emergency is still in effect—a project is underway to expand the water plant and establish a new well.

**CITY ADMINISTRATOR COMMUNICATIONS:** None

#### **PLANNING AND ZONING COMMISSION COMMENTS:**

Wilson inquired about the tabled request from the Hanks residential subdivision. The City has not had any contact since the last meeting. Tabled motion still stands.

Update on vacant lot by Fareway—City will take request for a break ground extension of 6 month to Council. The commission will review how the flow functions (i.e. frontage road or road connecting to North Fifth Avenue) once plans are submitted.

Jensen and Quick developments are current doing a significant amount of paving.

Bierbaum: Next meeting is Monday August 17th at 6 PM.

**ADJOURNMENT:** Motion – Patterson, Second- Schonhorst to adjourn meeting at 6:36 P.M. 6 ayes, 0 nays. Motion carried.

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Amy Kaplan, Zoning Clerk

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Roger Bierbaum, Chairman

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Date of Approval

# **PLANNING & ZONING COMMISSION COMMUNICATION**

## **AGENDA HEADING:**

DSI Huxley Site Plan Phase II, Huxley Development Park

## **SYNOPSIS:**

DSI Properties Iowa, LLC (Diamond Surface Inc, 15292 40<sup>th</sup> Avenue North, Plymouth MN 55446) has submitted materials for City of Huxley review for the development of a staging/storage lot adjacent to their 7,716 SF single story warehouse/office space under construction at the intersection of Campus Drive and S. Main Ave in the Huxley Development Park.

The building project was reviewed by the Planning & Zoning Commission in March 2020. Project initiation of the lot is summer 2020 with completion by Fall/Winter 2020. The lot is to the south of the building.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION:**

- The applicant has presented a site plan showing a gravel lot with a chain link fence, no plant material, landscaping or full sidewalk installation, which are not in accordance with City Code of Ordinances.
- The applicant states that lot will be used for equipment storage and materials laydown and not parking, and is requesting waivers to the Code of Ordinances requirements
- Staff's position is that this should be a hard surface lot, not granular, and required plant materials and landscaping should be provided.
- The deferral of sidewalk installation along Snyder Drive only can be supported by staff with the applicant's commitment to install sidewalk at the City's request at a future date when Snyder Drive is extended.

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:**

- April 25, 2020 City Council review of Planning & Zoning Commission recommendation
- Issuance of building permit, construction of the project, and issuance of occupancy permit.



August 14, 2020

Rita Conner  
City Administrator  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

HUXLEY, IOWA  
DSI HUXLEY SOUTH LOT  
SITE PLAN REVIEW

We have reviewed the revised site plan for the south lot for DSI Huxley located in the Huxley Industrial Park and find it acceptable with the following comments that need to be considered by the P&Z Board and the City Council:

1. All parking areas are to be surfaced with asphalt or concrete in accordance with Zoning Ordinance 165.33.5.B. The property owner is requesting a waiver of this requirement stating this area will be used for laydown of equipment and materials and not for vehicle parking.
2. Large expanses of pavement are to be broken up with plant material with one landscaped island equal to a parking space for every parking space provided with the option of combining islands into fewer larger islands in accordance with Site Plan Ordinance 167.05.2.E. The property owner is requesting a waiver of this requirement stating this area will be used for laydown of equipment and materials and not for vehicle parking.
3. Landscaping is needed between the parking area and Main Avenue and between the parking area and the future extension of Snyder Drive in accordance with Site Plan Ordinance 167.05.3.B. The landscaping shall be set back at least 5 feet from the property line and shall be located between the property line and the fence. Trees are proposed between the street and the parking in accordance with subparagraph (1) of the ordinance but are not proposed to be located between the fence and the street in accordance with subparagraph (3) of the ordinance.

Rita Conner  
August 14, 2020  
Page 2

4. Sidewalk is proposed to be installed along Main Avenue along the west side of the property. The property owner is requesting a waiver for the installation of a sidewalk along Snyder Drive along the south side of the property because the pavement for Snyder Drive does not currently exist and the property where the sidewalk would be installed is not public right-of-way but rather owned by another private property owner.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:dml

45229-055

cc: Jeff Peterson, City of Huxley (e-mail)  
Brent Strauch, Shive-Hattery (e-mail)

July 17, 2020

City of Huxley  
515 N. Main Avenue  
Huxley, IA 50124

RE: DSI Huxley - Site Plan Submittal

To Whom It May Concern:

On behalf of DSI Properties Iowa, LLC, please find the attached Site Plan submittal for the DSI Huxley South Lot Improvements for your review. This submittal contains:

- Site Plan/Landscape Plan Application Form
- Stormwater Summary

Construction of project is expected to begin approximately in Summer of 2020 with construction completion in the Fall/Winter of 2020.

We look forward to the results of your review. Please contact us with any questions or concerns regarding this submittal.

Sincerely,

SHIVE-HATTERY, INC.



Brent M. Strauch, P.E.

Enc. As listed above





**4125 Westown Parkway, Suite 100  
West Des Moines, IA 50266  
Telephone (515) 223-8104  
Fax (515) 223-0622**

**TO:** City of Huxley  
515 N. Main Avenue  
Huxley, IA 50124

|   |
|---|
| <b>DATE:</b> July 17, 2020  |
| <b>PROJECT #:</b> 419498-0  |
| <b>RE:</b> DSI Huxley – South Lot Improvements<br>Site Plan Submittal |
|   |
|   |

**ENCLOSED**

| COPIES | DATE       | DESCRIPTION                |
|--------|------------|----------------------------|
| PDF    | 07-17-2020 | Site Plan Drawings         |
| PDF    | 07-17-2020 | Stormwater Summary         |
| 1      | 07-17-2020 | Application Fee (\$100.00) |
| PDF    | 07-17-2020 | Submittal Letter           |

**METHOD**

- Regular Mail     Overnight     Hand Deliver  
 Regular UPS     Courier Today     Other PDF

**COMMENTS:**

If you have any questions, please direct them to Brent Strauch, P.E. in our office at 515.223.8104 or by email at: [bstrauch@shive-hattery.com](mailto:bstrauch@shive-hattery.com).

**Copy:** File

**Signed:** Brent Strauch, Project Manager



# DSI HUXLEY SOUTH LOT IMPROVEMENTS

430 S MAIN AVE  
HUXLEY, IOWA 50124

**OWNER:**  
DSI PROPERTIES IOWA, LLC  
15292 40TH AVENUE NORTH  
PLYMOUTH, MN 55446

**CIVIL ENGINEER:**  
SHIVE-HATTERY, INC.  
4125 WESTOWN PARKWAY, SUITE 100  
WEST DES MOINES, IA 50266  
(515) 223-8104  
ATTN: BRENT STRAUCH, PE  
BSTRAUCH@SHIVE-HATTERY.COM

**LEGAL DESCRIPTION:**  
HUXLEY DEVELOPMENT CORPORATION PLAT 3: LOT 2

**SETBACK REQUIREMENTS:**  
- 25' FRONT SETBACK  
- 10' SIDE/REAR SETBACK  
- 5' PARKING SETBACK

**ZONING:**  
A - AGRICULTURE

**INSPECTION AND UTILITY CONTACTS:**  
WATER AND SEWER, KEITH VITZTHUM, CITY OF HUXLEY, 515-290-7512  
GAS AND ELECTRIC, JACOB CLARK, ALLIANT ENERGY, 515-268-4412  
PHONE AND CABLE, BRANT STRUMPFER, HUXLEY COMMUNICATIONS, 515-203-6716

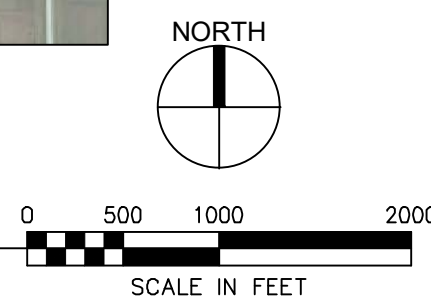
| Sheet List Table |                |
|------------------|----------------|
| Sheet Number     | Sheet Title    |
| C000             | COVER SHEET    |
| C100             | SITE PLAN      |
| C200             | GRADING PLAN   |
| C300             | UTILITY PLAN   |
| C400             | LANDSCAPE PLAN |

**PROJECT DATA:**  
**PROPOSED SITE CALCULATIONS:**

|                        |                        |
|------------------------|------------------------|
| GRANULAR AREA =        | 59,205 SF (63.9%)      |
| PERVIOUS AREA =        | 33,387 SF (36.1%)      |
| TOTAL DISTURBED AREA = | 92,592 SF (2.13 ACRES) |



**VICINITY MAP:**  
NOT TO SCALE



## GENERAL NOTES

- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. THE VERIFICATION OF EXISTENCE OF, AND THE DETERMINATION OF THE EXACT LOCATION OF, UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
- NOTIFY UTILITY COMPANIES WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN CONSTRUCTION LIMITS OF THE SCHEDULE PRIOR TO EACH STAGE OF CONSTRUCTION.
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
- SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED.
- REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.
- CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- ANY WORK REQUIRED TO COMPLETE THE SCOPE OF THIS PROJECT BUT NOT SPECIFICALLY CALLED OUT, SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR THE COMPLETION OF THIS WORK.
- REPAIR OR REPLACE EXISTING FACILITIES (CURBS, PAVEMENT, PAVEMENT MARKINGS, UTILITIES, ETC.) TO REMAIN, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- WORK WHICH DOES NOT CONFORM TO THE REQUIREMENTS OF THE CONTRACT WILL BE CONSIDERED UNACCEPTABLE. UNACCEPTABLE WORK, WHETHER THE RESULT OF POOR WORKMANSHIP, USE OF DEFECTIVE MATERIALS, DAMAGE THROUGH CARELESSNESS OR ANY OTHER CAUSE, FOUND TO EXIST PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SHALL BE REMOVED AND REPLACED IN AN ACCEPTABLE MANNER, AS REQUIRED BY SHIVE-HATTERY, INC. AT THE CONTRACTOR'S EXPENSE. WORK DONE CONTRARY TO THE INSTRUCTIONS OF THE OWNER'S REPRESENTATIVE, WORK DONE BEYOND THE LINES SHOWN ON THE PLANS OR ANY EXTRA WORK DONE WITHOUT AUTHORITY WILL NOT BE PAID FOR.
- ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
- NOT ALL DIMENSIONS REQUIRED TO CONSTRUCT IMPROVEMENTS ARE SHOWN ON THE DRAWINGS.
- EROSION CONTROL MEASURES SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION TO MEET REQUIREMENTS OF ALL REGULATORY AGENCIES.
- CONTRACTOR TO COORDINATE ANY GRADE ADJUSTMENTS WITH THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
- NO PONDING OF WATER WILL BE ACCEPTED ADJACENT TO OR ON ANY NEW PAVEMENT AREAS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY ANY AREAS OF EXISTING OR PROPOSED PAVEMENTS THAT HAVE POTENTIAL TO POND WATER AND MAKE ANY ADJUSTMENTS NECESSARY TO ENSURE THAT WATER WILL POSITIVELY DRAIN ACROSS THE PAVING OR OVERLAY.
- STAGING LOCATION FOR CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE COORDINATED WITH AND APPROVED BY THE OWNER.
- CONTRACTOR RESPONSIBLE FOR COORDINATING AND MINIMIZING DISTURBANCES THROUGHOUT CONSTRUCTION TO ACCOMMODATE EXISTING TRAFFIC FLOW. COORDINATE STAGING AND SCHEDULE OF IMPROVEMENTS WITH THE OWNER'S REPRESENTATIVE. OWNERS RESERVES THE RIGHT TO LIMIT CONSTRUCTION WORK AREA AS NEEDED TO FACILITATE OPERATIONS.
- REMOVAL AND REPLACEMENT OF PAVEMENT SHALL BE DONE ON FULL OR HALF PANELS. REMOVE TO THE NEAREST JOINT. AREAS TO BE REMOVED SHALL BE VERIFIED IN THE FIELD BY ENGINEER.
- ALL DISTURBED AREAS SHALL BE RESTORED BY SEEDING.
- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
- CONTRACTOR IS TO COMPLETE THE CITY OF HUXLEY GRADING PERMIT PRIOR TO EARTH DISTURBING ACTIVITIES.

## LEGEND

|                         | EXISTING | PROPOSED |
|-------------------------|----------|----------|
| SANITARY MANHOLE        |          |          |
| CLEANOUT                |          |          |
| STORM MANHOLE           |          |          |
| ELECTRIC TRANSFORMER    |          |          |
| TELEPHONE PEDESTAL      |          |          |
| FIRE HYDRANT            |          |          |
| WATER VALVE             |          |          |
| CORPORATION STOP        |          |          |
| FLARED END SECTION      |          |          |
| LIGHT POLE              |          |          |
| BOLLARD                 |          |          |
| DECIDUOUS TREE          |          |          |
| UNDERGROUND TELEPHONE   |          |          |
| UNDERGROUND ELECTRIC    |          |          |
| UNDERGROUND FIBER OPTIC |          |          |
| GAS MAIN                |          |          |
| WATER MAIN              |          |          |
| SANITARY SEWER          |          |          |
| STORM SEWER             |          |          |
| CHAINLINK FENCE         |          |          |
| 5" PCC SIDEWALK         |          |          |
| GRANULAR SURFACING      |          |          |

THE MOST RECENT EDITION OF THE IOWA STATEWIDE URBAN DESIGN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN.

**BRENT M. STRAUCH**  
24125  
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

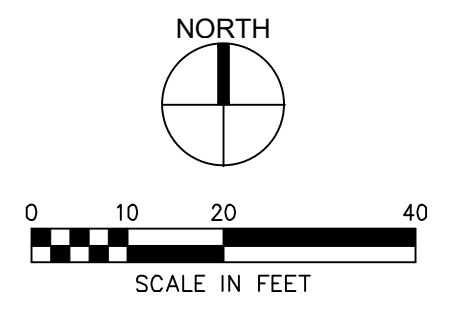
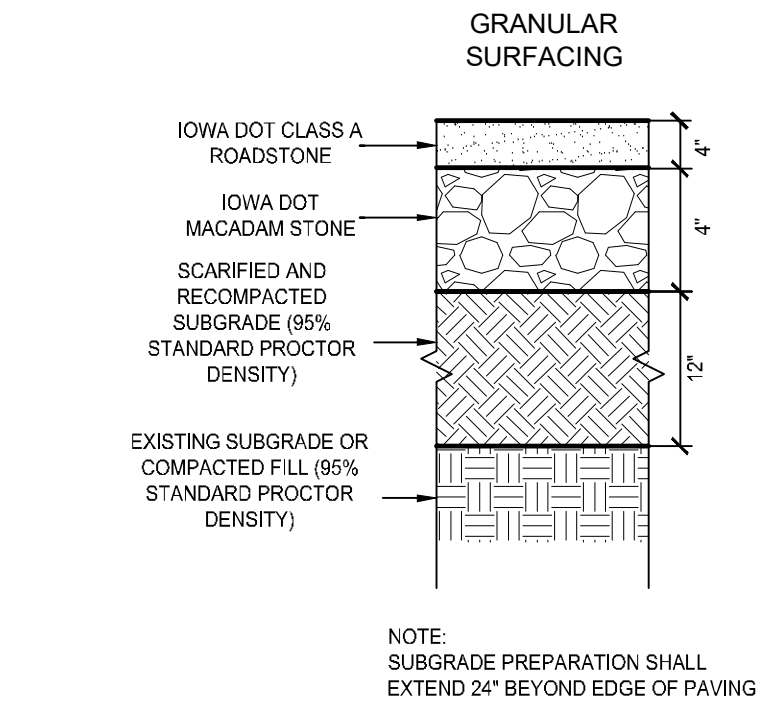
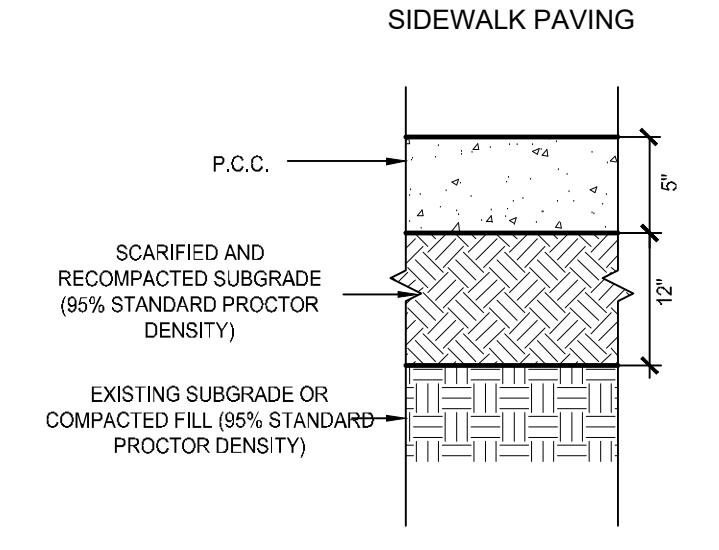
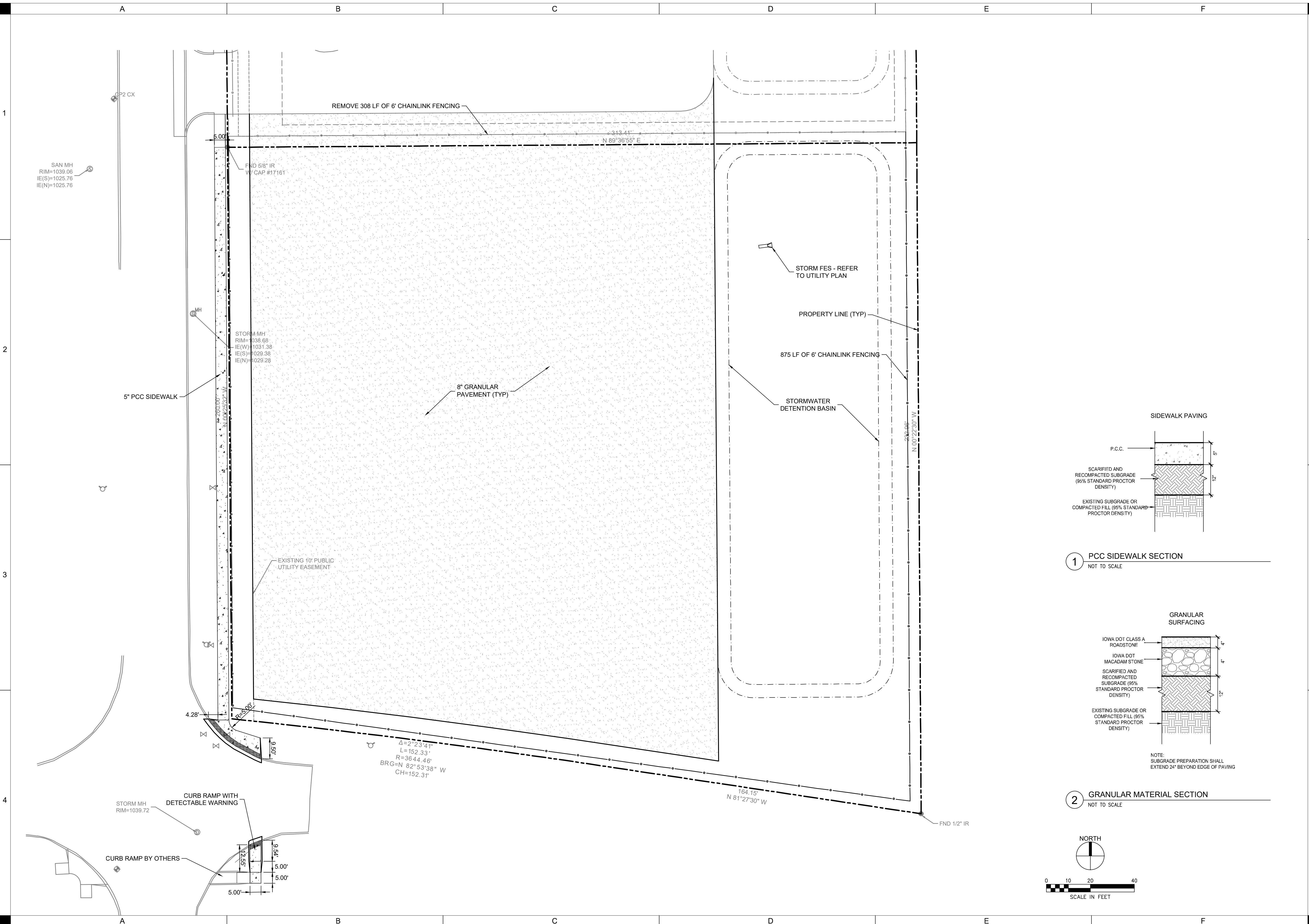
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed or typed name: **BRENT MICHAEL STRAUCH**  
License Number: **24125**  
My License Renewal Date is: **DECEMBER 31, 2020**

PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL:  
**ALL 'C' SHEETS**



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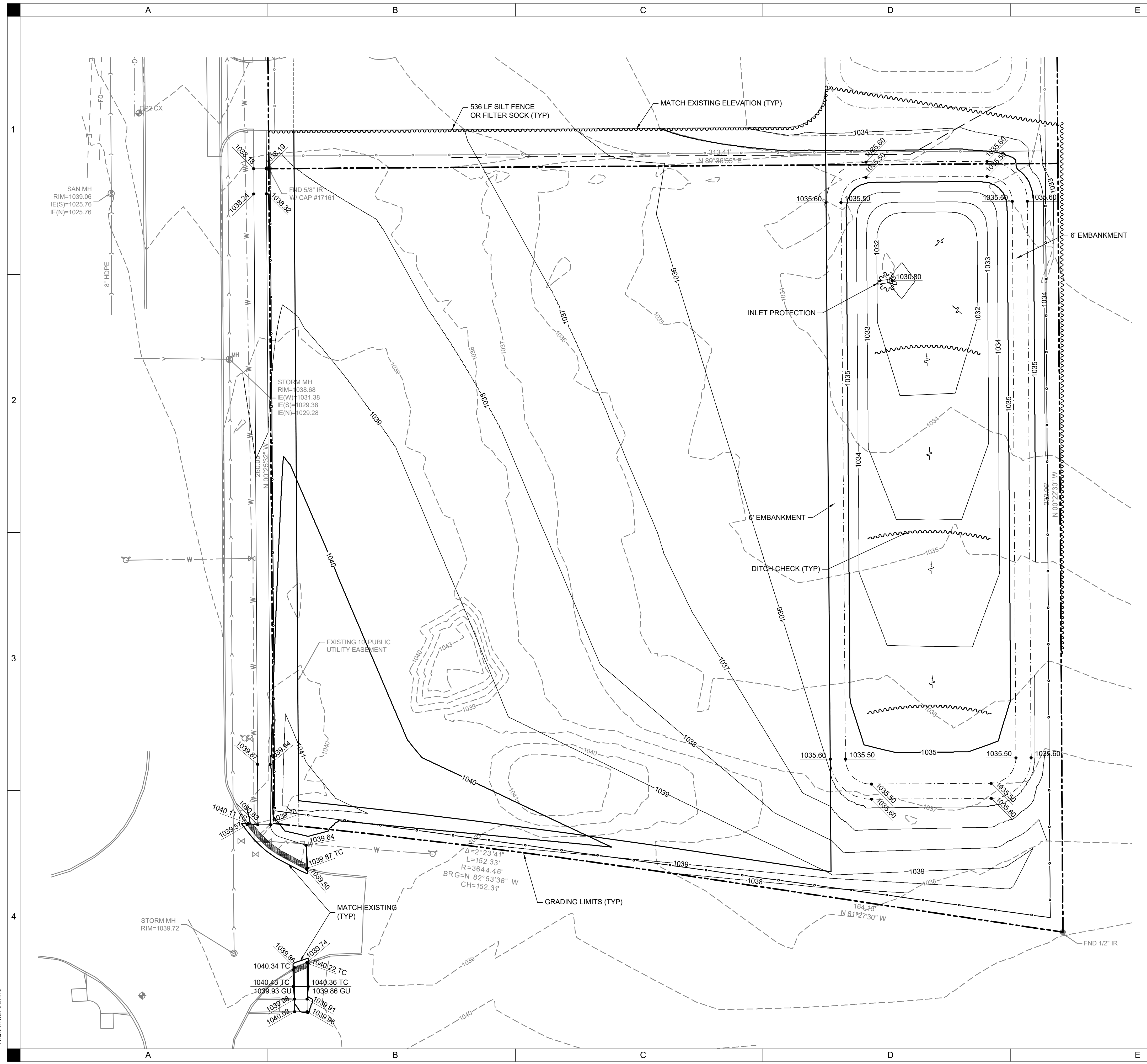
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| APPROVED:    | BMS        |
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| DATE:        | 08/13/2020 |
| PROJECT NO.: | 4194880    |
| FIELD BOOK:  | ---        |
| CLIENT NO.:  | ---        |



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| ISSUED FOR:  | REVIEW     |
| DATE:        | 08/13/2020 |
| PROJECT NO.: | 4194880    |
| FIELD BOOK:  | ---        |
| CLIENT NO.:  | ---        |

**GRADING AND EROSION CONTROL NOTES:**

- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SEEDED OR SODDED. THESE AREAS SHALL BE SEEDED OR SODDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, WATTLES, INLET PROTECTION, ETC.) TO PREVENT EROSION.
- ALL STORM SEWER INTAKES THAT RECEIVE STORMWATER RUNOFF FROM DISTURBED AREAS SHALL BE PROVIDED WITH INLET PROTECTION DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, PERIODIC CHECKING AND REINSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES.
- OWNER SHALL ASSUME RESPONSIBILITY FOR ALL EROSION CONTROL UNTIL DELEGATED TO CONTRACTOR ONCE THE PROJECT CONSTRUCTION STARTS.

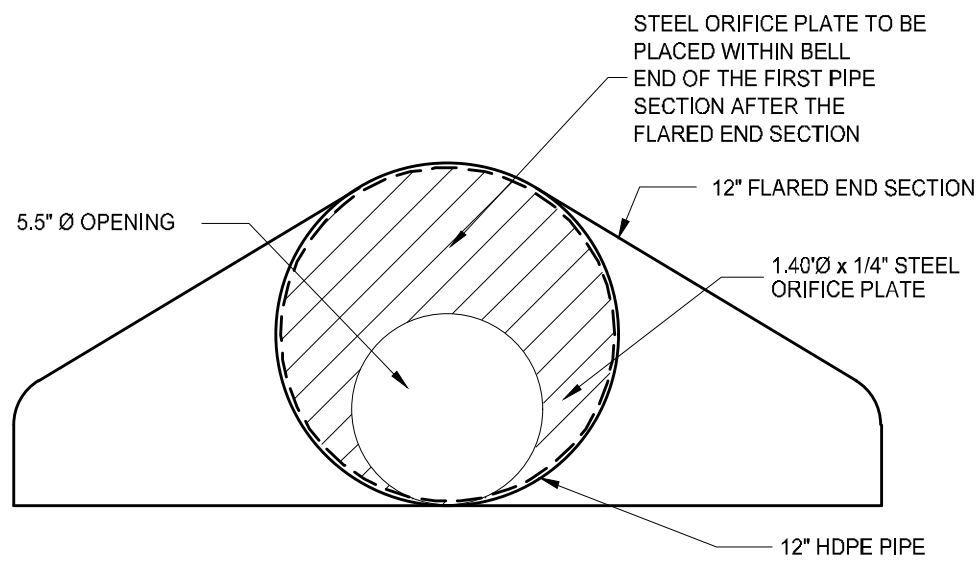


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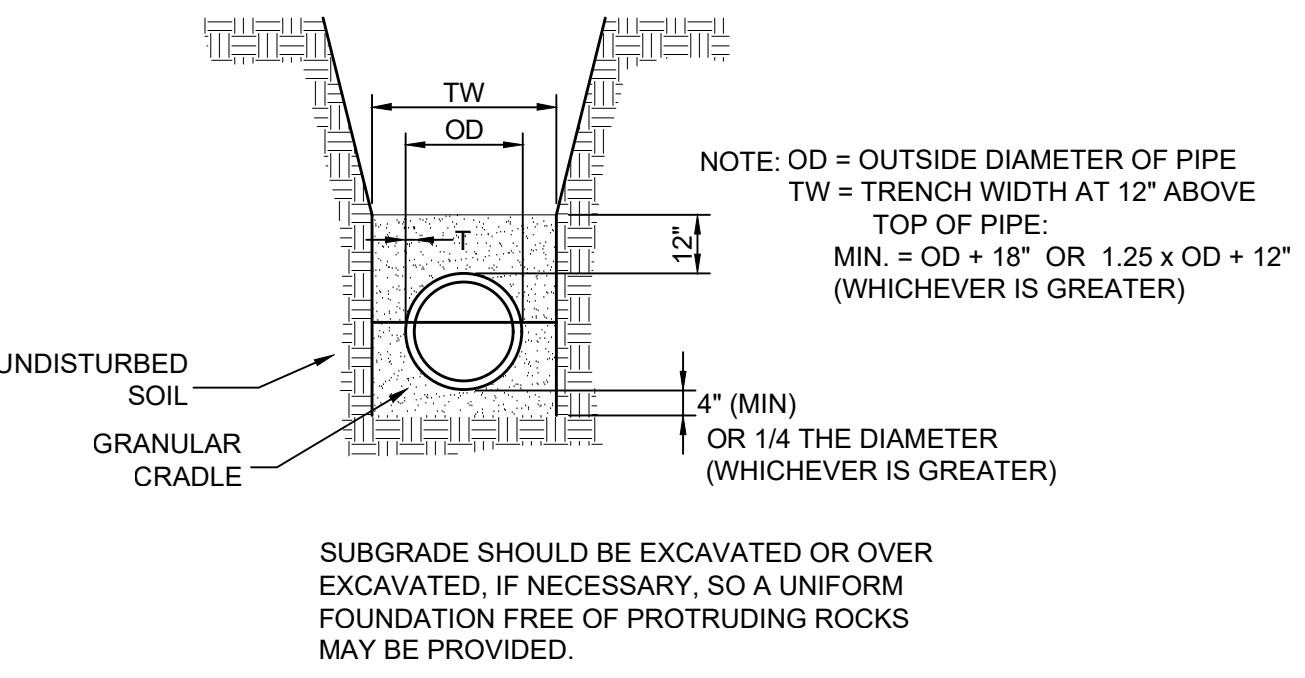


**UTILITY NOTES:**

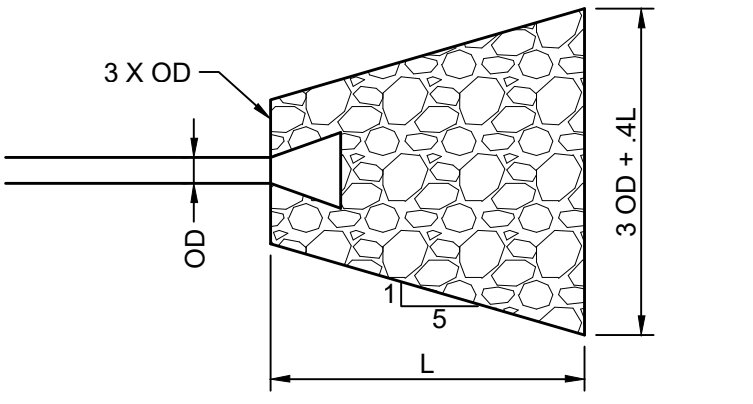
1. ALL UTILITY WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH SUDAS STANDARD SPECIFICATIONS AND CITY REQUIREMENTS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EXACT LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES AND WHETHER ADDITIONAL UTILITIES EXIST.
3. CONTRACTOR SHALL NOTIFY CITY OF HUXLEY ONE WEEK PRIOR TO CONNECTING TO EXISTING UTILITY MAINS.
4. ALL EXISTING AND PROPOSED UTILITY STRUCTURES, HYDRANTS AND VALVES SHALL BE ADJUSTED TO FINAL GRADES.
5. PIPE LENGTHS SHOWN FOR STORM ARE INSIDE EDGE TO INSIDE EDGE OF STRUCTURES.
6. ALL STORM SEWER BENDS AND CONNECTIONS SHALL BE MANUFACTURED CONNECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STORM SEWER WITHIN THE PROJECT AREA.
8. ALL STORM SEWER SHALL BE DUAL WALLED HDPE.



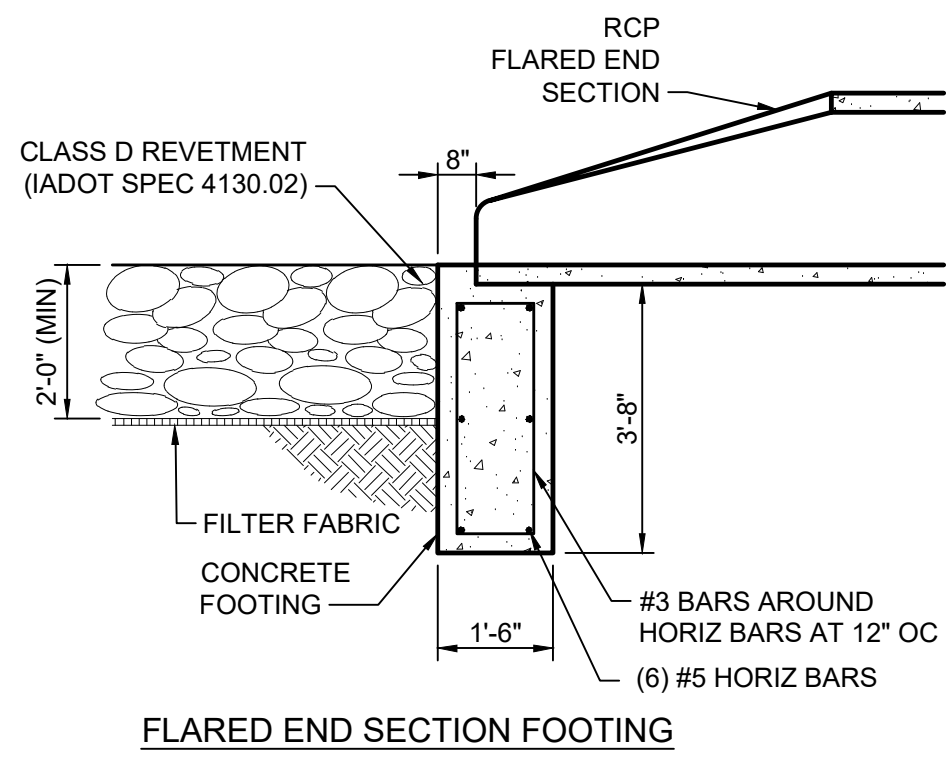
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NOT TO SCALE



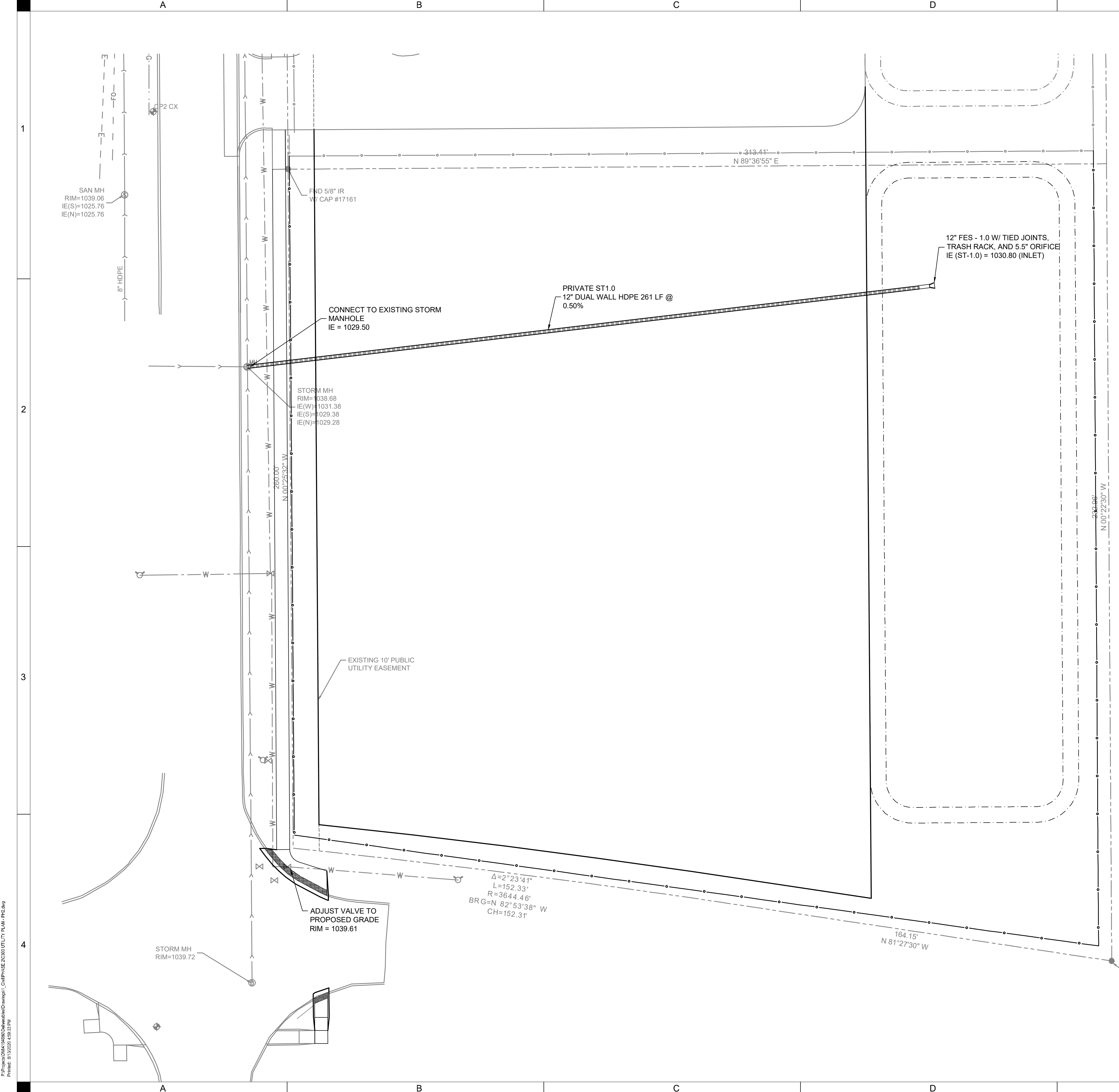
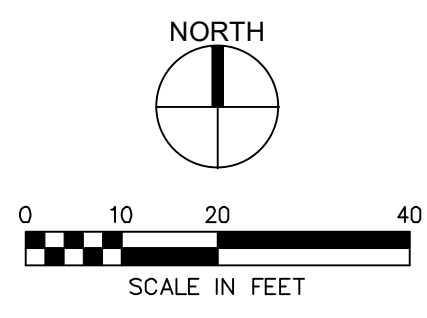
**2 FLEXIBLE PIPE BEDDING**  
NOT TO SCALE



**RIP-RAP DETAIL**



**3 FLARED END SECTION**  
NOT TO SCALE



|              |            |
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| APPROVED:    | BMS        |
| ISSUED FOR:  | REVIEW     |
| DATE:        | 08/13/2020 |
| PROJECT NO.: | 4194880    |
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| CLIENT NO.:  | ---        |

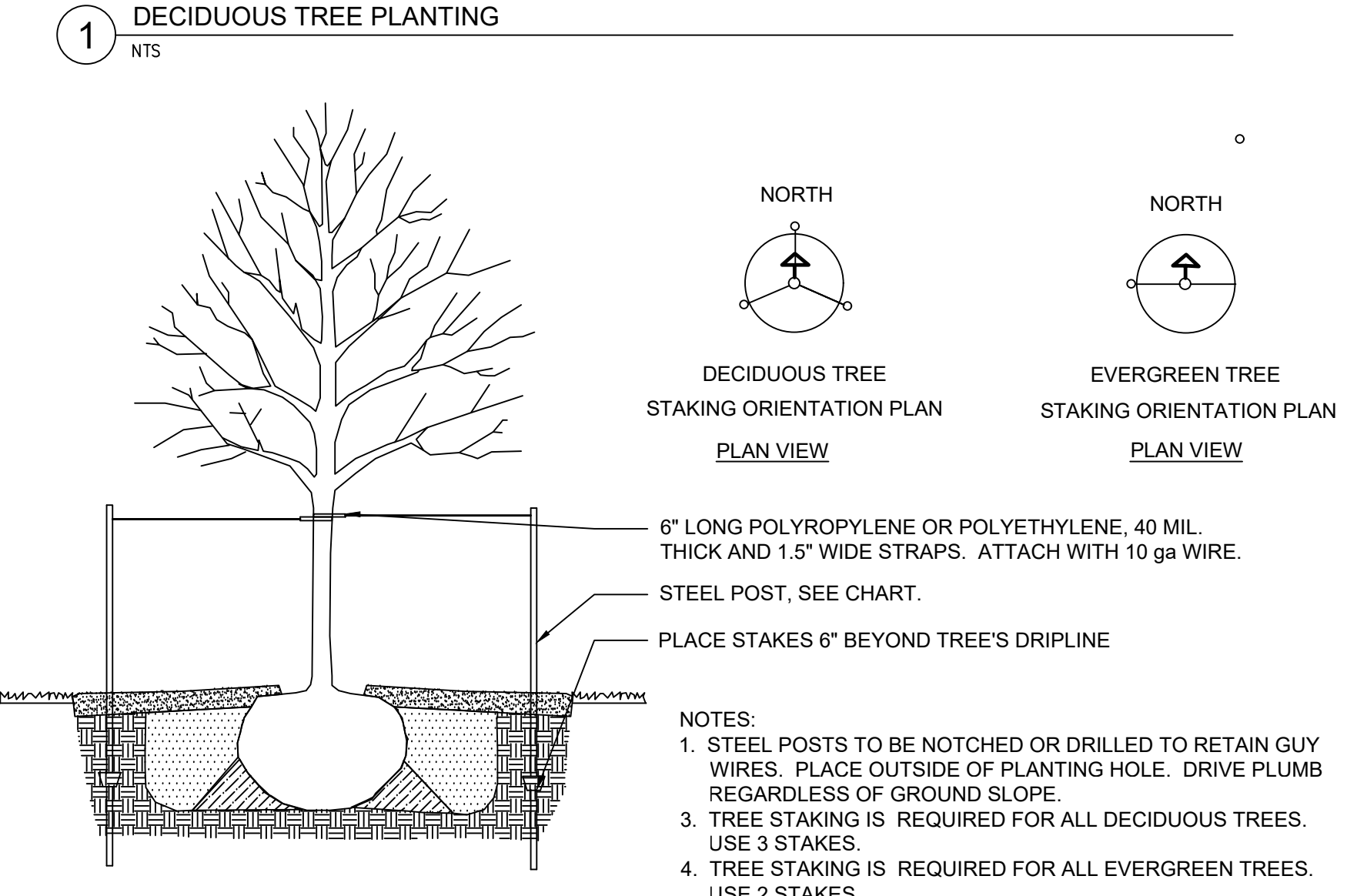
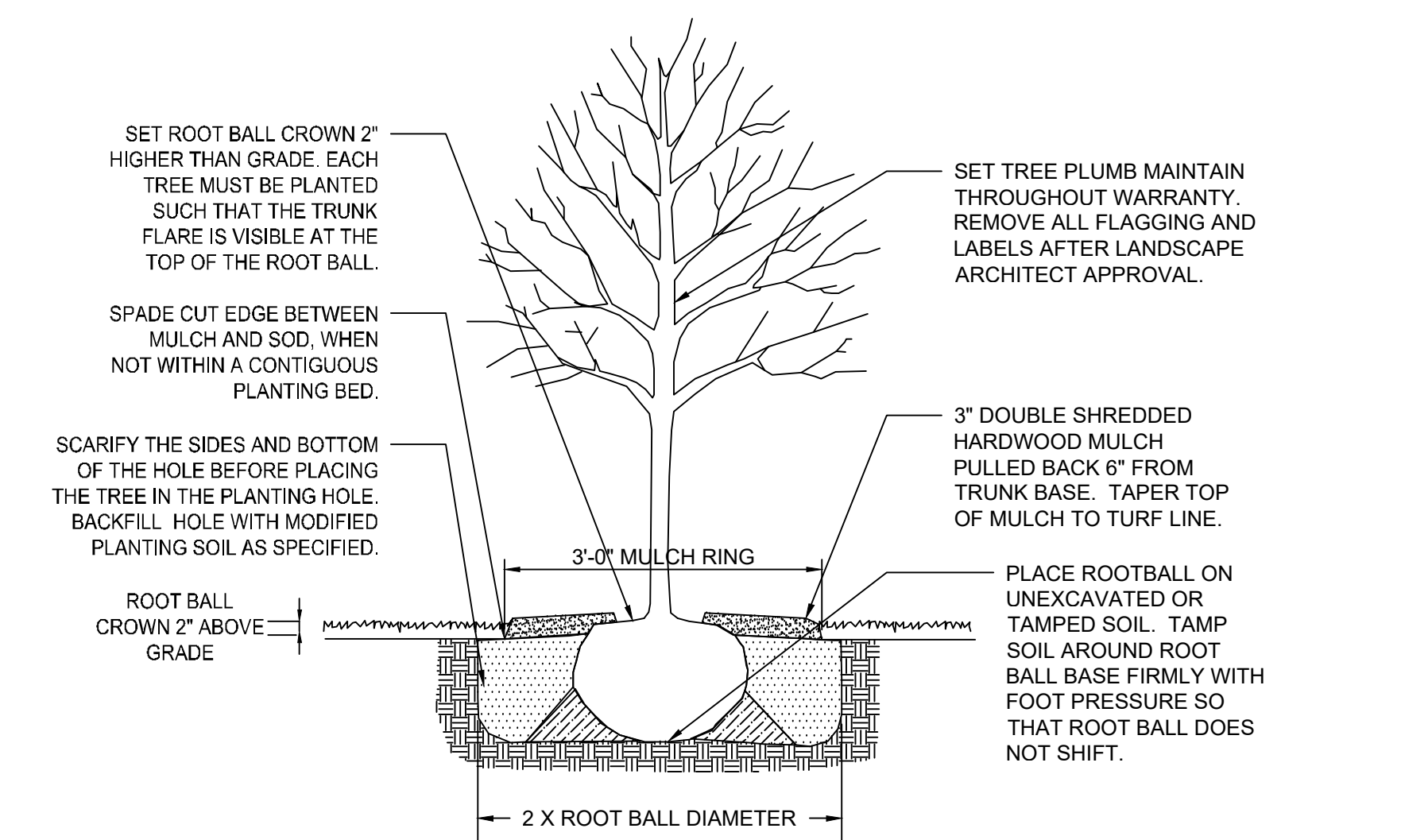
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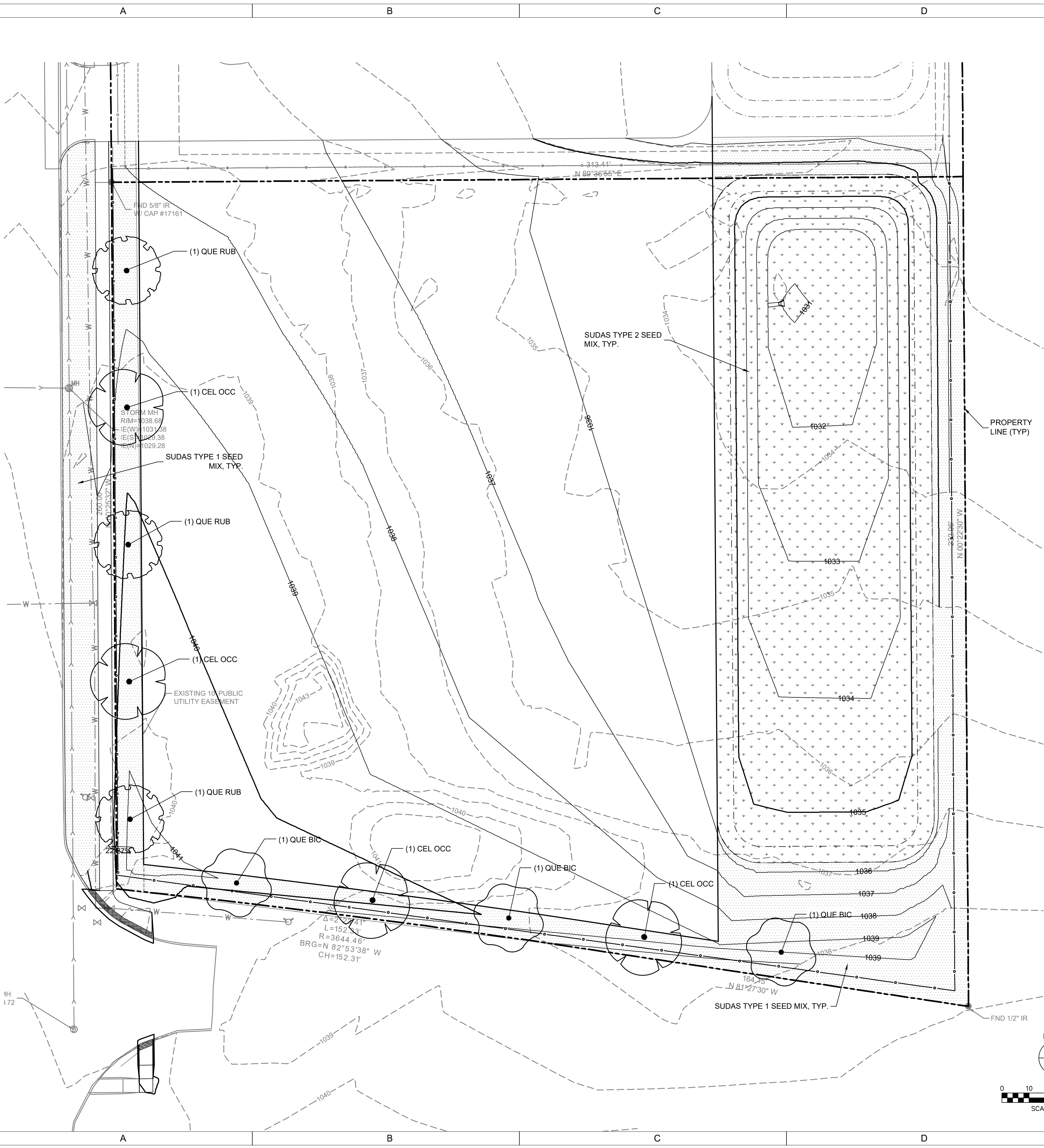
| PLANT SCHEDULE  |           |                           |                               |       |         |
|-----------------|-----------|---------------------------|-------------------------------|-------|---------|
| DECIDUOUS TREES | QTY       | BOTANICAL NAME            | COMMON NAME                   | ROOT  | SIZE    |
| CEL OCC         | 4         | Celtis occidentalis       | Common Hackberry              | B & B | 1.5"Cal |
| QUE BIC         | 3         | Quercus bicolor           | Swamp White Oak               | B & B | 1.5"Cal |
| QUE RUB         | 3         | Quercus rubra             | Northern Red Oak              | B & B | 1.5"Cal |
| GROUND COVERS   |           |                           |                               |       |         |
| SUD TY1         | QTY       | BOTANICAL NAME            | COMMON NAME                   | SIZE  |         |
| SUD TY1         | 17,260 sf | SUDAS Type 1 Seed Mixture | Permanent Lawn Mix            | SF    |         |
| SUD TY2         | 19,983 sf | SUDAS Type 2 Seed Mixture | Permanent Cool Season Mixture | SF    |         |

**LANDSCAPE NOTES:**

- ALL TREES SHALL BE PER THE RECOMMENDATIONS AND REQUIREMENTS OF THE CURRENT AND I 'AMERICAN STANDARDS FOR NURSERY STOCK'.
- PROTECT ALL EXISTING AND NEW STRUCTURES AND UTILITY SERVICES DURING INSTALLATION OF ALL PLANT MATERIAL. NOTIFY ENGINEER IMMEDIATELY UPON CONFLICT OF PLANTS, STRUCTURES, AND UTILITIES.
- REPAIR ALL AREAS OF DISTURBANCE WITH TURF SEED UNLESS NOTED OTHERWISE.
- ISLANDS SHALL BE CORED OUT TO REMOVE ALL GRANULAR AND COMPACTED SUBBASE TO A DEPTH OF 36" BELOW FINISH PAVING SURFACE.



**2 TREE STAKING DETAIL**  
 NTS



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August 7<sup>th</sup>, 2020

Planning & Zoning Commission  
City of Huxley  
515 N. Main Avenue  
Huxley, IA 50124

RE: DSI Huxley South Lot Improvements – Sidewalk Waiver Request

To Whom It May Concern:

On behalf of Diamond Surfaces, Inc., we are requesting a waiver for the installation of the sidewalk parallel to south property line and future east extension of Snyder Drive. Without the extension of Snyder Drive being completed and/or the ability to properly offset the sidewalk from the street, the installation could provide long term rework if Snyder Drive were to change even slightly.

With this in mind, DSI requests that the cost of this installation be delayed until the Snyder Drive extension has been completed. At the time of completion of the Snyder Drive extension, DSI understands that the sidewalk extension shall become their responsibility and will begin at the curb ramp on the NE corner of the Snyder and S Main intersection and extend east until it intersects with the DSI property line extended. At this time, no additional curb ramp or other associated improvements are expected to be included with this future sidewalk extension.

Please contact us with any questions or if additional information is requested.

Sincerely,

SHIVE-HATTERY, INC.



Brent M. Strauch, PE

Cc: Scott Elliott - Henning Companies  
Chris Bauer – Shive-Hattery



August 7<sup>th</sup>, 2020

Planning & Zoning Commission  
City of Huxley  
515 N. Main Avenue  
Huxley, IA 50124

RE: DSI Huxley South Lot Improvements

To Whom It May Concern:

On behalf of Diamond Surfaces, Inc., we are requesting a variance to utilize granular surfacing for the south lot in lieu of asphaltic or PCC pavement as well as the need for internal lot landscaping for the South Lot Improvements project on the DSI southern property located at 430 S. Main Avenue.

DSI would like to create a granular surfaced lot to the south of the recent building construction and is intended to be used as an area for laydown of equipment and materials that DSI utilizes and maintains as part of their normal business operations. The area is not intended to be used as employee or day-to-day parking as a specific, concrete parking lot was developed and approved earlier this year for that type of usage.

With the usage of this area specific to laydown or similar, landscaping integrated into the middle of a granular lot of this nature will create an impractical area for storage and laydown. Internal landscaping will considerably restrict the amount of laydown and usable space available in this area. With consideration to the aforementioned reasons, we are requesting a variance from the requirement of landscaping internal to the proposed granular surfaced lot.

Please contact us with any questions or if additional information is requested.

Sincerely,

SHIVE-HATTERY, INC.



Brent M. Strauch, PE

Cc: Scott Elliott - Henning Companies  
Chris Bauer – Shive-Hattery





# **PLANNING & ZONING COMMISSION COMMUNICATION**

## **AGENDA HEADING:**

Pro Commercial Site Plan Phase II, Huxley Development Park

## **SYNOPSIS:**

Pro Commercial, LLC (Grant Tjernagel, 104 Campus Drive Suite 102 Huxley, Iowa 50124) has submitted materials for City of Huxley review for the development of an additional 8,000 square feet e-commerce warehouse space at the Huxley Development Park.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION:**

- Site plan materials have been reviewed by staff and Veenstra & Kimm, Inc. with comments provided to the applicant.
- Comments have been addressed and the site plan is recommended for approval.

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:**

- August 25, 2020 City Council review of Planning & Zoning Commission recommendation
- Issuance of building permit, construction of the project, and issuance of occupancy permit.



HUXLEY  
— HEART OF THE PRAIRIE —

Site Plan/Landscape Plan Application

Date submitted: 7/14/2020

Board review date: \_\_\_\_\_

Property Owner: Pro Commercial LLC County Parcel Number: 13-26-250-040

Property Address: No address assigned

Property zoning: M-1 Industrial

Legal description: Lot 4 Huxley Development Corporation Plat 3

Site plan prepared by: Eric Thompson, P.E., FOX Engineering Associates Ph: 515-233-0000

Address: 414 S. 17th Street, Suite 107, Ames, Iowa 50010 email: ELT@foxeng.com

Site plan review - \$100/reimburse City for any cost (legal and engineering) and \$50 for amendments to the original site plan.

**I understand that the City of Huxley requires a site plan prior to issuance of any building permits within any zoning districts except R-1 and R-2. The site plan must include the 36 points as noted on the checklist and it must be presented at least 15 days prior to the Planning and Zoning scheduled meeting. Ten copies are required to be submitted and will be subject to City Engineer review at the expense of the developer. I hereby understand these conditions and agree to comply with all City of Huxley Code requirements.**

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

\*\*\*\*\*

(City use only)

Date of P&Z Meeting: \_\_\_\_\_ City Council Meeting date: \_\_\_\_\_

Fee Check Number: \_\_\_\_\_ Receipt number \_\_\_\_\_

Decision of the board:

\_\_\_\_\_  
\_\_\_\_\_

Decision of the council:

\_\_\_\_\_

## Required site plan information

Site plans which are submitted for review shall be drawn to a scale of one inch equals fifty feet or larger and shall include as a minimum the following item of information.

1. Name by which the development or improvement shall be called;
2. Name and address of the owner of the property;
3. Site plan applicant's name, if applicant is other than the property owner, state exact interest in the property;
4. Name and address of person or firm preparing the site plan;
5. Address of the site;
6. Legal description of the site;
7. Present zoning classification of the site, if site has more than one zoning classification, then include boundary lines;
8. Proposed zoning of the site;
9. Development schedule with approximate starting date, staging of development and completion dates;
10. Total area of the proposed site;
11. Total number and types of all buildings;
12. Number of stories of each existing or proposed building;
13. Total floor area of each building;
14. Total number and types of dwelling units;
15. Estimated number of employees for each proposed use which applicable;
16. Total number of parking spaces proposed in site plan;
17. Date of preparation, north point and scale;
18. A vicinity sketch at a suitable scale showing the general location of the property, existing land uses adjoining the property, and adjacent existing facilities, such as buildings, parking lots, etc. within five hundred feet of the proposed development;
19. A certification by a licensed land surveyor shall be on or accompany site plan, showing that the dimensions and bearings on the property lines are accurately shown;
20. All existing utilities shall be shown. Location, size and capacity of existing public utilities;
21. Proposed connections to existing utilities;
22. Existing buildings, right-of-ways, street improvements, railroads, easements, drainage courses, streams and wooded areas shall be shown;
23. Building set-back lines required by the zoning district and the average set-back of buildings within two hundred feet of the proposed building where applicable;
24. Location, grade and dimension of all existing and proposed paved surfaces and of abutting streets;
25. Traffic circulations and parking plans showing the location and dimensions of all existing and all proposed parking stalls, loading areas, entrances and exit drives, dividers, planters and frontage roads, and other similar permanent improvements;
26. Location, height and type of any existing and proposed signs;
27. Location and type of any existing or proposed lighting;
28. Location of existing trees six inches or larger in diameter;
29. Location, amount and type of proposed landscaping, fences, walls or other screening; provide elevation and prospective drawings for all landscaping, walls and fences used for screens;
30. Location and size of all solid waste enclosures. Provide elevation drawings for all solid waste enclosures;
31. All existing and proposed sidewalks and pedestrian traffic facilities;

32. Existing and proposed contours at an interval not to exceed two-foot intervals, provided that at least two contours shall be shown. All contour elevations shall be based upon U.S.G.S datum. List the description and elevation of benchmark;
33. Proposed elevation drawings of structure and improvement;
34. Site plan shall include a drainage plan to show the area, slopes and runoff calculations of the site. This plan shall also indicate the connections to existing storm sewers or drainage ditches and the course surface water shall take for exit from property;
35. Limits of one-hundred-year flood plain, if applicable
36. Type, location and cross sections of all proposed paved surfaces. (ord. 222 1(part), 1987: prior code 29,408)

## Chapter 168

### LANDSCAPE PLAN REVIEW

|                                       |                                  |
|---------------------------------------|----------------------------------|
| 168.01 Purpose                        | 168.06 Maintenance               |
| 168.02 Interpretation and Definitions | 168.07 completion of landscaping |
| 168.03 Landscape plans required       | 168.08 Enforcement               |
| 168.04 landscape design elements      | 168.09 recommended trees         |
| 168.05 new plant material             | 168.10 shrubs                    |

**168.01 PURPOSE.** This chapter is intended to provide uniform standards for the development and maintenance of landscaping on private property and public right-of-way. Landscaping improves livability of residential neighborhoods; it enhances the appearance and customer attraction of commercial area; it increases property value; it improves the compatibility of adjacent uses; it screens undesirable views; and it can reduce air and noise pollution. The intent of these regulations is to achieve a reasonable balance between the right of individuals to develop and maintain their property in a manner they prefer and the right of the City residents to live, work, shop and recreate in pleasant and attractive surroundings. The results of this effort will be the strengthening of the economic stability of the City's business, cultural and residential areas. The intent is to also regulate plantings within the public right-of-way. In addition, the intent of this chapter is to prevent plantings which would jeopardize the safety of vehicles, property and, most importantly, people. It is not the intent of this chapter to regulate existing developed private property except in areas as stated within this chapter.

**168.02 INTERPRETATION OF DEFINITIONS.** As used in this chapter, the word "used" includes "designed and intended or arranged to be used or occupied"; and the word "person" includes a firm, association, organization, partnership, trust, foundation, company or corporation as well as an individual. Also for the purpose of this chapter, the following words are defined in addition to all words defined in chapter 165 of this Code of Ordinance (Zoning Ordinance):

1. "Berm" means an earthen mound designed to provide visual interest, screen undesirable views, and/or decrease noise.
2. "Deciduous trees" means generally those trees which shed their leaves annually, such as Ash, Sycamore, Willow, etc.
3. "Evergreen trees" means generally those trees which do not shed their leaves annually, such as Pine, Spruce, Juniper, etc.
4. "Grass, native" means species of perennial grass other than those designated as noxious weeds by the State of Iowa Department of Natural Resources.

5. "Grass, turf" means a species of perennial grass grown as permanent lawns or for landscape purposes as distinguished from those species grown for agricultural or commercial seed purposes.
6. "Ground cover" means landscape materials, or living, lowgrowing plants other than turf grass, installed in such a manner so as to form a continuous cover over the ground surface.
7. "Landscape easement" means that portion of land dedicated to the City of residential zoning districts by the owner of the property for planting and maintenance of required street trees.
8. "Landscape material" means such living material as trees; shrubs; ground cover/vines; turf grasses; and non-living material such as rocks, pebbles, sand, bark, brick pavers, earthen mounds (excluding pavement); and/or other items of a decorative or embellishment nature such as fountains, pools, walls, fencing, sculpture, etc.
9. "landscape buffer" means an area of landscaping separating two (2) distinct land uses, or a land use and a public right-of-way, and which acts to soften or mitigate the effects of one land use on the other.
10. "Landscaped open spaces" means all land area within the property lines not covered by building or pavement.
11. "Landscaping" means the modification of the landscape for an aesthetic or functional purpose. It includes the preservation of existing vegetation and the continued maintenance thereof together with grading and installation of minor structures and appurtenances.
12. "Multifamily structures" means any structures with three (3) or more dwelling units.
13. "Screen" means an area of planting which provides an effective visual barrier.
14. "Shrub" means any self-supporting, woody plant of a species which normally grows to an overall height of less than fifteen (15) feet in this region.
15. "Street tree planting area" means the area of development site that lies between the street right-of-way line and the edge of the street curb parallel to the street. This land is publicly owned but is often used for street planting and maintenance.
16. "street tree" means any tree located within the City right-of-way or landscape easement on either side of all streets, avenues, or ways, or within fifteen (15) feet of the street pavement in a development with private streets, as described in Chapter 151 of this Code of Ordinance.
17. "Tree" means any self-supporting, woody plant of a species that normally grows to an overall minimum height of ten (10) feet in this region.
  - A. "Large trees" means generally those species of trees that reach a height of fifty (50) feet or taller at maturity.
  - B. "Medium Trees" means generally trees thirty-five (35) feet to fifty (50) feet in height at maturity.
  - C. "Small Trees" means generally trees thirty-five (35) feet or less in height at maturity, including ornamental flowering trees and "patio" trees.
18. "Yard Tree" means any trees which are not a street tree as defined in the appropriate subsection.

**168.03 LANDSCAPE PLANS REQUIRED.** The landscape plan requirements are as follows:

1. a preliminary landscape plan shall be submitted in support of all preliminary plans. A final landscape plan shall be submitted in support of all final plans. These landscape plans shall be designed and signed by a registered landscape architect/landscape professional (landscape business minimum of three years) and must be approved by the Planning and Zoning Commission.
2. New residential subdivisions will show requirements for all lots to have approved trees planted within one year after structure is completed. As a minimum for each lot, an approved tree must be planted in the front or front side yard and rear yard or rear side yard. Said requirements shall be part of the subdivision covenants.



3. a landscape plan is required for all residential (except single and two-family dwellings), commercial, professional office and industrial developments, redevelopments, additions or changes in usage. When same is adjacent to a residentially zoned area, a landscape plan showing a landscape buffer between the different zoned areas is required. All preliminary and final landscape plans shall have the following information:

- A. North point scale.
- B. Topographic information and final grading adequate to identify and properly specify planting for areas needing slope protection.
- C. The location, size and surface of materials of all structures and parking areas.
- D. the location, size, and type of all above-ground and underground utilities and structures with proper notation where appropriate, as to any safety hazards to avoid during landscape installation.
- E. The location, type, size and quantity of all proposed landscape materials, along with common and botanical names of all plant species. The size, grading, and condition shall be specified according to American Association of Nurserymen Standards.
- F. The location, size and common name of all existing plant materials to be retained on site.
- G. Mature sizes of plant material shall be drawn to scale and called out on plan by common name or appropriate key.
- H. the location of all trees ten-inch caliper or larger measured ten inches above ground level on site.
- I. The location of all significant stands of trees on the site.
- J. Documentation to show that loading spaces and all above-ground utility structures and ground-mounted mechanical equipment shall be adequately screened. This includes building-mounted utility and mechanical equipment.

**168.04 LANDSCAPE DESIGN ELEMENTS.** The following basic design elements shall be used in the preparation of a landscape plan.

1. Landscaping shall be used to provide an interesting open space and to break the visual impact of parking areas.
2. Encourage trees and landscape vegetation to screen unsightly views, soften hard architectural lines, frame buildings and views, and buffer between contrasting or lower land areas.
3. Planting design shall coordinate appropriate new plant materials and other environment requirements.
4. The overall quality of existing landscape material shall be considered and treated in the planting design in a similar manner to new landscape material.
5. Service areas and facilities shall be screened from major points of pedestrian access of all buildings and from the public right-of-way.
6. Landscape materials shall be selected and arranged to prevent blocking or obscuring night lighting or pedestrian ways at any stage of growth.
7. Plantings at intersections or driveway entrances off a public or private street shall be arranged to allow a permanent safe sight distance. No plantings, with an ultimate mature height, or decorative or permanent structure exceeding eighteen (18) inches shall be placed within the required sight-distance landscape setback triangle. For the purpose of these regulations, the required "sight-distance landscape setback triangle" is defined as follows: at an intersection of two streets, or of a street and driveway or alley, each lot at the intersection shall have a sight-distance landscape setback triangle, with two sides of the triangle being lines extending back along each of the curb lines, commencing at the intersection of the curb lines at the lot corner adjacent to the intersection, and ending at a point 30 feet from the intersection of

the two curb lines, and with the third side of the triangle being the line adjoining the end points on each of the other two lines.

8. If plantings or other amenities occur that are determined to be a safety hazard due to restrictions of sight distance, property owner shall be notified by the Public Works Director, Zoning Administrator, or Police Chief to abate the hazard. Said notification shall be such as to give the property owner sufficient time to abate the hazard. If the hazard is not abated after proper notification, the Public Works Director, Zoning Administrator or Police chief shall cause said hazard to be removed and removal and administrative cost shall be borne by property owner.

9. Trees and shrubs shall not be planted under existing or planned utility lines when their ultimate height will interfere with the lowest line.

10. Trees and shrubs shall not be planted over underground drainage lines and shall be placed far enough away from the storm and sanitary sewers and water lines to avoid roots entering the lines.

11. Boundary landscaping may be required along all property lines.

12. the design shall serve to preserve, protect, and enhance existing trees and natural landscape areas on the site.

**168.05 NEW PLANT MATERIAL.** The installation size and regulations for all new landscape materials are as follows:

1. Medium and Large Deciduous Shade Trees- one-(1) to 1 1/2 -inch caliper, as measured six inches above the ground as specified by the American Association of Nurserymen.
2. Small Deciduous or Ornamental Trees- Six(6) to eight (8) feet in height as specified by the American Association of Nurserymen, with the exception of true dwarf species.
3. Conifers- Five (5) to six (6) feet in height
4. Upright Evergreen Trees- Five (5) to six (6) feet in height as specified by the American Association of Nurserymen, except for true dwarf varieties.
5. Shrubs (Deciduous and Conifer, including Spreader and Globe tree Forms)- Size optional as determined by applicant.
6. Primary Lawns- those essential to the use and appearance of a home or development and usually intended for regular mowing; shall be planted according to good local horticultural practices with locally acceptable lawn grasses by seeding, sodding, plugging or sprigging in a manner which will result in a satisfactory stand of permanent grass. Where the area is not to be moved, an acceptable permanent ground cover may be used.
7. Secondary Lawns- those consisting of large open spaces maintained as meadows and only occasionally mowed and rear areas of developments, where fine quality lawns are of secondary importance, shall be planted with grass or other ground cover appropriate to the location and intended use.
8. Ground Cover- ground cover plants shall be of good quality, appropriate form, growth habit, and ultimate size to fulfill intended use.
9. Restricted Location- no trees or shrubs shall be planted within the public or private street right-of-way without a permit approved by the Public Works Director.

**168.06 MAINTENANCE.** The maintenance regulations for all landscaping vegetation are as follows:

1. All landscaping materials depicted on approval landscape or final plans shall be maintained in a neat, clean and healthy condition. This shall include proper pruning, mowing of lawns, weeding, removal of litter and fertilizing.

2. The developer, successor, subsequent owners or their agents shall be responsible for continuous maintenance of all plant materials.
3. The City shall have the authority to require that dead trees, shrubs and plants on commercial or industrial sites be replaced within the next planting season at the property owner's sole cost and expense.
4. The City shall have the right to plant, prune, maintain and remove trees, plants and shrubs within public grounds, parks and right-of-way as may be necessary to ensure public safety.
5. The City shall have the right to prune, maintain and remove trees, plants and shrubs located upon private property which cause an obstruction to public travel along streets, sidewalks, or impair vision of traffic signals or prevent the proper sight distance at intersections. These costs may be assessed to responsible property owner.
6. The City shall have the right to cause removal of any dead or diseased trees, plants, or shrubs on private property within the City, when such trees, plants and shrubs constitute a safety hazard because of site restrictions to vehicle traffic, hazard to life and property, or harbor insects of disease which constitute a potential threat to other trees, plants, or shrubs within the City. The City's Public Works Director, or any authorized representative, will notify in writing the owners of such trees. Said owner at his or her own expense shall do removal within thirty (30) days after date of service of notice. In the event of failure of owners to comply with such provisions, the City shall have the authority to remove such trees and charge cost of removal to the property owner or have same on the owner's property tax notice.

**168.07 COMPLETION OF LANDSCAPING.** When the final landscape plan is submitted, a date for completion of all plantings and related work shall be included on the plan. Landscaping shall be installed and completed prior to acceptance of the infrastructure or the issuance of a certificate of occupancy. In periods of adverse weather conditions, an irrevocable letter of credit will be accepted for the completion of necessary landscaping, said letter of credit to be equal to one and a half (1 ½) times the cost of the landscaping to be presented to the City Council for approval. Letter of credit will not be released until all planting and finish materials shown on the approved landscape plan are installed and accepted.

**168.08 ENFORCEMENT.** Regulations for enforcement of the landscape requirements are as follows:

1. When in the opinion of the Public Works Director, or an authorized representative, landscaping has not been installed, maintained, or replaced to comply with the approved final or landscape plan, and then said official shall issue a written order to the alleged violator. The order shall specify the sections of the Code of which the individual is in violation.
2. All landscaping on public or private property shall be subject to periodic inspection by the Public Works Director, or an authorized representative, to detect diseased, dead, or hazardous shrubs, trees, or plants.

**168.09 RECOMMENDED TREES.** No list of recommended trees is ever complete or static. New species and cultivars are developed and will prove useful, while old standards will be phased out. The following list, taken from Iowa State University Extension Service Bulletin, should provide a broad selection of trees proven to be tough and attractive. The following is a list of trees that are acceptable and not acceptable:

1. Recommended street trees

|                                      |   |
|--------------------------------------|---|
| Acer Plantanoides and Acer Saccharum | Norway Maple, Black Maple, Red Maple, Sugar Maple |
| Carya ovata                          | Shagbark hickory                                  |



|  |   |
|--|---|
| <i>Celtis occidentalis</i>                       | hackberry   |
| <i>Corylus colurna</i>                           | Turkish filbert   |
| <i>Fraxinus</i> spp.                             | White ash, European ash, green ash, blue ash  |
| <i>Gleditsia triacanthos</i> Var. <i>inermis</i> | Thornless common honeylocust  |
| <i>Quercus</i> spp.                              | White oak, swamp white oak, hills oak, shingle oak, bur oak, chinkapin oak, English oak, red oak, black oak |
| <i>Taxodium distichum</i>                        | Bald Cypress  |
| <i>Tilia</i> spp.                                | American linden, littleleaf linden, Redmond linden, European linden   |
| <i>Ulmus</i> "regal"                             | Regal hybrid elm  |

2. Unacceptable street trees:

|                          |                             |
|--------------------------|-----------------------------|
| <i>Ginkgo biloba</i>     | Female ginkgo (female)      |
| <i>Betula papyrifera</i> | Paper/white birch           |
| <i>Maclura pomifera</i>  | Osage orange, hedge apple   |
| <i>Malus</i> spp.        | Apples, crabapples          |
| <i>Populus</i> spp.      | Poplars, cottonwoods, aspen |
| <i>Prunus</i> spp.       | Cherries, plums             |

3. Recommended Plant Materials for Detention Areas

|                               |                     |
|-------------------------------|---------------------|
| <i>Acer rubrum</i>            | Red maple           |
| <i>Acer saccharum</i>         | Sugar maple         |
| <i>Betula nigra</i>           | River birch         |
| <i>Fraxinus quadrangulata</i> | Blue ash            |
| <i>Gymnocladus dioicus</i>    | Kentucky coffeetree |
| <i>Juglans nigra</i>          | Black walnut        |
| <i>Quercus bicolor</i>        | Swamp white oak     |
| <i>Taxodium distichum</i>     | Bald cypress        |

**168.10 SHRUBS.** Shrubs shall not be planted in the street right-of-way. Any other plantings or ground cover planted in the street right-of-way shall not attain a height greater than eighteen (18) inches at maturity, except street trees as permitted by this chapter.



**VEENSTRA & KIMM, INC.**

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

---

August 13, 2020

Rita Conner  
City Administrator  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

HUXLEY, IOWA  
HUXLEY INDUSTRIAL PARK LOT 4  
PRO COMMERCIAL  
SITE PLAN

We have reviewed the revised site plan for Pro Commercial Lot 4 of the Huxley Industrial Park and find it acceptable.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Forrest S. Aldrich".

Forrest S. Aldrich

FSA:dml  
45229-054

cc: Jeff Peterson, City of Huxley (e-mail)  
Eric Thompson, Fox Engineering Associates, Inc. (e-mail)  
Grant Tjernagel, Pro Commercial (e-mail)

# LOT 4 - HUXLEY INDUSTRIAL PARK

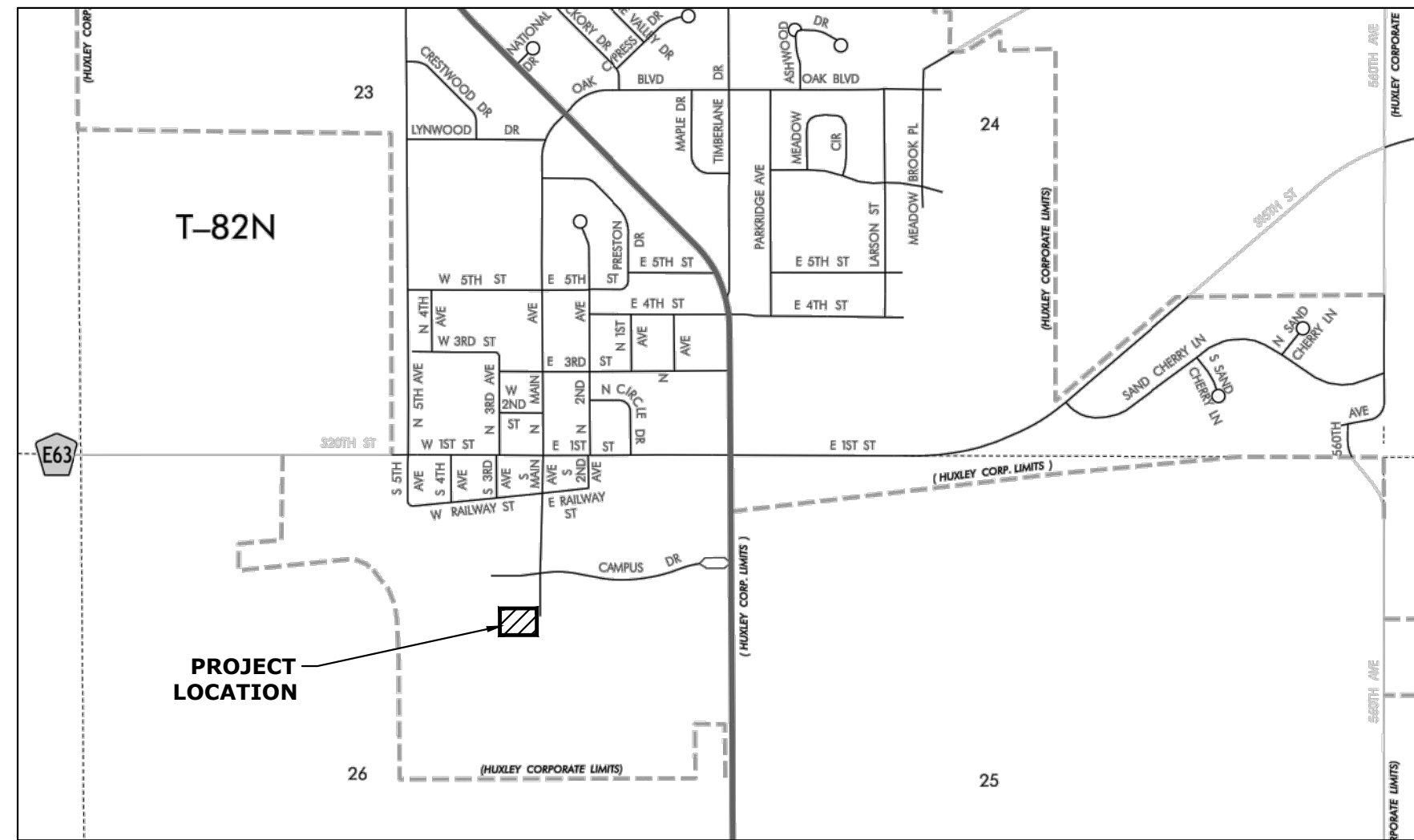
## SITE PLAN DEVELOPMENT

# LOT 4 - HUXLEY INDUSTRIAL PARK

HUXLEY, IOWA  
2020

### LOCATION MAP

NOT TO SCALE



| No.                | Description                                 |
|--------------------|---|
| <b>G1.1</b>        | <b>COVER SHEET</b>                          |
| <b>G2.1</b>        | <b>LEGEND/ GENERAL NOTES</b>                |
| <b>G3.1</b>        | <b>TYPICAL DETAILS</b>                      |
| <b>G4.1</b>        | <b>STORMWATER POLLUTION PREVENTION PLAN</b> |
| <b>C1.1</b>        | <b>EXISTING CONDITIONS &amp; REMOVALS</b>   |
| <b>C1.2</b>        | <b>DIMENSION PLAN &amp; UTILITY PLAN</b>    |
| <b>C1.3</b>        | <b>JOINTING PLAN &amp; GRADING PLAN</b>     |
| <b>C1.4</b>        | <b>STORM WATER PLAN AND PROFILE</b>         |
| <b>C1.5</b>        | <b>LANDSCAPE PLAN</b>                       |
| <b>A1.1 - A2.1</b> | <b>BUILDING LAYOUT/ ELEVATIONS</b>          |

**TRAFFIC ANALYSIS**  
 Daily trips = 50 vehicles per day  
 Peak Hour = 10 vehicles per hour (AM/PM)  
 % Trucks = 20%

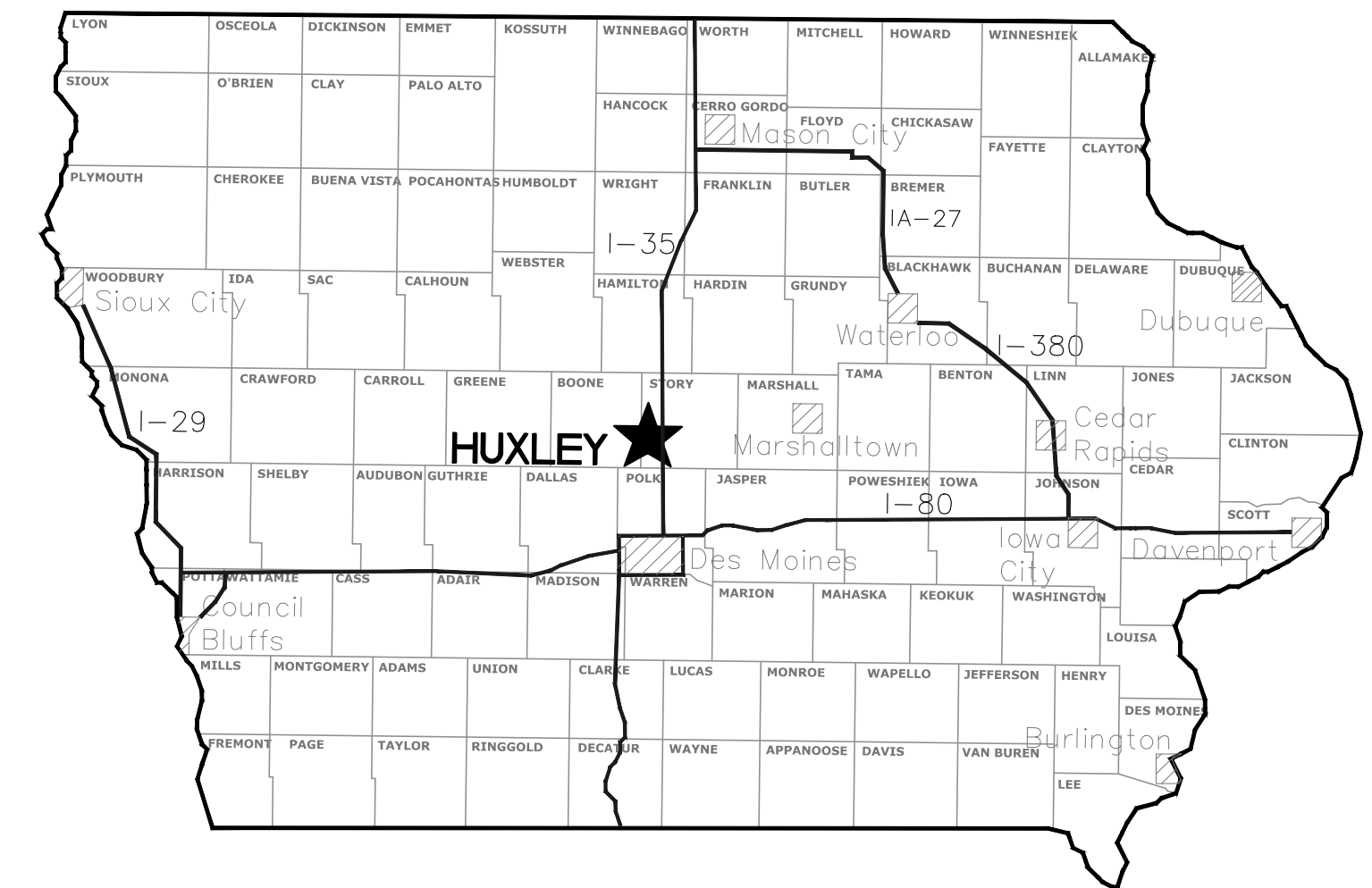
**Utility Coordination**  
 The Contractor is responsible to coordinate construction with the following utilities know to have services in the area:  
**Water and Sewer:** Keith Vitthum, City of Huxley (515) 290-7512  
**Gas and Electric:** Jacob Clark, Alliant Energy (515) 268-4412  
**Phone and Cable:** Brant Strumpher, Huxley Communications (515) 203-6716

**SITE PLAN DATA**  
 Site Address: 465 South Main avenue  
 Legal Description: Lot 4 of Huxley Development Corporation Plat 3  
 Owner/ Applicant: Grant Tjernagel  
 Pro Commercial, LLC  
 104 Campus Drive, Suite 202  
 Huxley, IA 50124  
 Site Plan Prepared by: Eric Thompson, P.E.  
 FOX Engineering Associates  
 414 S. 17th Street  
 Suite 107  
 Ames, Iowa 50010  
 Phone: 515-233-0000  
 Email: ELT@foxeng.com

**Zoning**: M-1 Industrial  
**Building Setbacks**:  
 Front: 25 FT  
 Street Side Yard: 10 FT  
 Interior Side Yard: 10 FT  
 Rear: 10 FT  
**Building Use**: E-Commerce Warehouse  
**Employees**: 2  
**Survey Datum**: All elevations are to NAV 88 unless otherwise noted  
**Flood Information**: This site is not in a regulated floodplain

Site Area = 1.08 AC  
 New Building Area = 8,000 SF  
 New Pavement Area = 4,879 SF  
 Total Hard Surface = 12,879 SF  
 Total Open Space = 33,579 SF (71.2 %)  
 Required Open Space = 9,429 SF (20.0 %)  
 Maximum Impervious Area = 25,558 SF  
 (MAX future CN = 86)  
 Volume in Stormwater Depression Added = 4,181 CF

**PARKING**  
 Office 1 per 300 s.f.  
 Warehouse 1 space per 5,000 s.f.  
 Office Area = 1,600 SF  
 Office Parking Required = 5.33 Spaces  
 Warehouse Area = 6,400 SF  
 Manu. Parking Required = 1.28 Spaces  
 Total Spaced Required = 7 Spaces  
 Total Spaces Provided = 7 Spaces  
 Handicap Spaces Req'd = 1 Spaces  
 Handicap Spaces Prov'd = 1 Spaces



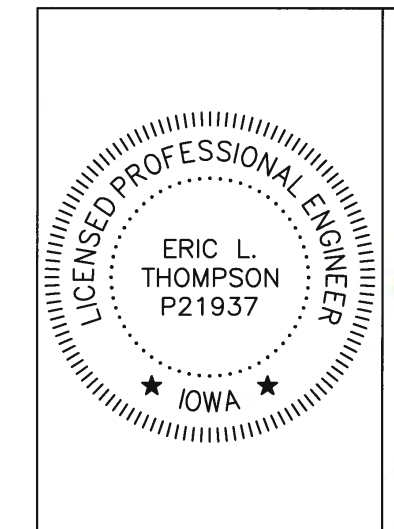
**GENERAL NOTE: ALL UTILITIES ARE ONLY GENERALLY LOCATED. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND EXPOSING ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION BEFORE CONSTRUCTION BEGINS.**

**ENGINEER:**  
**FOX ENGINEERING**  
 414 SOUTH 17TH STREET, SUITE 107  
 AMES, IOWA 50010  
 PHONE: (515) 233-0000  
 FAX: (515) 233-0103



**THIS PROJECT IS COVERED BY THE IOWA DEPARTMENT OF NATURAL RESOURCES NPDES GENERAL PERMIT NO. 2. THE CONTRACTOR SHALL CARRY OUT THE TERMS AND CONDITIONING OF GENERAL PERMIT NO. 2 AND STORM WATER POLLUTION PREVENTION PLAN WHICH IS PART OF THESE CONTRACT DOCUMENTS. REFER TO SECTION 2602 OF THE DOT STANDARD SPECIFICATION FOR ADDITIONAL INFORMATION.**

**SITE NOTE:**  
 ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.  
 ERIC L. THOMPSON P.E.  
 License number P21937  
 My license renewal date is December 31, 2020.  
 Pages or sheets covered by this seal:  
 ALL G & C SHEETS

|          |    |          |     |       |     |         |             |          |
|----------|----|----------|-----|-------|-----|---------|-------------|----------|
| DATE     | BY | DESIGNED | ELT | DRAWN | SPB | CHECKED | LAST UPDATE | 08/12/20 |
| REVISION |    |          |     |       |     |         |             |          |
| DATE     |    |          |     |       |     |         |             |          |

FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

**COVER SHEET**  
 LOT 4 - HUXLEY INDUSTRIAL PARK  
 HUXLEY, IOWA  
 2020

PROJECT NO.  
5233-20A

SHEET  
G1.1

DRAWING FILENAME: K:\1\proj\5000\5233-20A - Pro Commercial\Drawings\General\5233-20A-G SHEETS.dwg  
 PLOT STYLE TABLE: FoxGray.ctb  
 LAYER MGR NAME: G1.1



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 PLOT STYLE TABLE: FoxgrayScale.ctb  
 LAYER MNGR NAME: G2.1  
 LAYOUT NAME: G2.1

| CIVIL LEGEND |          |                         |
|--------------|----------|-------------------------|
| LINWORK      |          |                         |
| EXISTING     | PROPOSED |                         |
|              |          | BUILDING                |
|              |          | CONCRETE PAVING         |
|              |          | ASPHALT PAVING          |
|              |          | SIDEWALK                |
|              |          | PROPERTY LINE           |
|              |          | EASEMENT                |
|              |          | BUILDING SETBACK LINE   |
|              |          | FENCE -BARBED WIRE      |
|              |          | FENCE -CHAIN LINK       |
|              |          | FENCE -VINYL            |
|              |          | FENCE -WOOD             |
|              |          | FENCE -SILT             |
|              |          | WATER MAIN              |
|              |          | STORM SEWER / CULVERT   |
|              |          | STORM SEWER SUBDRAIN    |
|              |          | SANITARY SEWER          |
|              |          | FORCE MAIN              |
|              |          | ELECTRIC -OVERHEAD      |
|              |          | ELECTRIC -UNDERGROUND   |
|              |          | TELEPHONE -OVERHEAD     |
|              |          | TELEPHONE -UNDERGROUND  |
|              |          | FIBER OPTIC             |
|              |          | NATURAL GAS             |
|              |          | TREE LINE               |
|              |          | CROP LINE               |
|              |          | RAIL ROAD TRACK         |
|              |          | GROUND SURFACE CONTOURS |
|              |          | LIMITS OF CONSTRUCTION  |

| SYMBOLS  |          |                          |
|----------|----------|--------------------------|
| EXISTING | PROPOSED |                          |
|          |          | BOLLARD                  |
|          |          | BUSH                     |
|          |          | CABLE TV PEDESTAL        |
|          |          | CONTROL / TRAVERSE POINT |
|          |          | CURB STOP                |
|          |          | ELECTRICAL PEDESTAL      |
|          |          | ELECTRICAL MANHOLE       |
|          |          | ELECTRICAL TRANSFORMER   |
|          |          | FIBER OPTIC PEDESTAL     |
|          |          | GAS METER                |
|          |          | GAS VALVE                |
|          |          | FIRE HYDRANT             |
|          |          | JUNCTION BOX             |
|          |          | LIGHT POLE               |
|          |          | MAIL BOX                 |
|          |          | MANHOLE (UNKNOWN)        |
|          |          | PROPERTY CORNER -FOUND   |
|          |          | POWER POLE               |
|          |          | RIGHT OF WAY RAIL        |
|          |          | SANITARY CLEANOUT        |
|          |          | SANITARY MANHOLE         |
|          |          | SECTION CORNER -FOUND    |
|          |          | SIGN                     |
|          |          | STUMP                    |
|          |          | TREE -DECIDUOUS          |
|          |          | TREE -EVERGREEN          |

| ABBREVIATIONS                |                               |                            |
|------------------------------|-------------------------------|----------------------------|
| FG - FORM GRADE (GUTTER)     | FL - FLOWLINE                 | BOP - BEGINNING OF PROJECT |
| TOC - TOP OF CURB            | INV - INVERT                  | EOP - END OF PROJECT       |
| TOW - TOP OF WALK            | PL - PROPERTY LINE            | PC - POINT OF CURVATURE    |
| FFE - FINISH FLOOR ELEVATION | ROW - RIGHT OF WAY            | PT - POINT OF TANGENCY     |
| TOB - TOP OF BANK            | PUE - PUBLIC UTILITY EASEMENT | PI - POINT OF INTERSECTION |
| TOE - TOE OF SLOPE           | CL - CENTER LINE              |                            |

**Specifications and Notes**

All work and materials shall conform to the 2020 Edition of the Iowa Statewide Urban Design and Specifications (SUDAS) except as modified in these notes and as modified by the City of Huxley.

Where referenced as "IDOT Spec", the Iowa Department of Transportation's 2015 Standard Specifications for Highway and Bridge Construction, Series 2019, plus all appropriate supplemental specifications shall apply to this project.

**Sanitary Sewer and Water Specifications**

All sanitary sewer and water utility and service work shall conform to the current edition of the Iowa Statewide Urban Design and Specifications (SUDAS) and City of Huxley Supplemental Conditions.

Pipe smaller than 4 inches in diameter shall conform to the International Plumbing Code and City of Huxley approved modifications to the Plumbing Code.

**Work to be Completed Prior to Construction**

\* Joint utility locate meeting. Contractor shall set up a One-Call meeting. The Owner, City, Engineer, Testing Firm, and associated utility providers shall attend the meeting.

**Utility Protection**

Water, gas and electric must be maintained for the duration of the construction. Temporary shut downs are not allowed unless absolutely necessary and with a 7-day advance notice to those affected by the construction. The plans have been prepared so that no shutdown is required, but there may be unknown conflicts that develop during construction.

**Land For Construction Purposes**

Contractor will be permitted to use available land belonging to or leased by the Owner, on or near the site of the Work, for construction purposes and for the storage of materials and equipment. The location and extent of the areas available to the Contractor shall be as indicated on the Drawings. Any additional right-of-way desired by the Contractor shall be acquired at his expense, and the Contractor shall hold harmless the Owner and Engineer from claims for damages made by the owners of such additional right-of-way.

**Construction Materials Storage**

All construction materials, dumpsters, detached trailers or similar items are prohibited on the public streets or within the public right of way and any easement area.

**Permits**

The Owner has obtained the State and City erosion control permits. The Contractor shall co-sign all necessary documents with the permit. Construction monitoring of the erosion control permit is handled by the Owner. The Contractor will be copied all records and observation forms required for the permits.

**Connections to Existing Facilities**

Unless otherwise specified or indicated, Contractor shall make all necessary connections to existing facilities, including structures, drainlines, and utilities such as water, sewer, gas, telecommunications, and electric. In each case, Contractor shall receive permission from the Owner or the utility prior to undertaking connections. Contractor shall protect facilities against deleterious substances and damage.

Connections to existing facilities, which are in service, shall be thoroughly planned in advance, and all required equipment, materials, and labor shall be on hand at the time of undertaking the connections. Work shall proceed continuously if necessary to complete connections in the minimum time. Operations of valves, hydrants, or other appurtenances on existing utilities, when required, shall be by or under the direct supervision of the owning utility.

**Notices**

Contractor shall notify owners of adjacent properties and utilities when prosecution of the Work may affect them. When it is necessary to temporarily deny access by owners or tenants to their property, or when any utility service connection must be interrupted, the Contractor shall give notices sufficiently in advance to enable the affected persons to provide for their needs. Notices whether given orally or in writing shall include appropriate information concerning the interruption and instruction on how to limit their inconvenience.

**Lines and Grades**

All Work shall be done to the lines, grades, and elevations indicated on the Drawings. Construction staking is provided for the site and buildings by FOX Engineering. The Contractor shall preserve the stakes as restaking is \$200 per hour. A minimum 48 hours notice is required for construction staking. Contact Seth Polich, Construction Survey Manager, at 515-290-0802 for stakes. The Contractor shall verify all match points during the phasing of the work and maintain drainage paths during the work to prevent ponding of water.

**Temporary Drainage**

The Contractor shall have a plan for temporary drainage during construction of the storm sewer and related work. The temporary drainage shall not block drainage from existing offsite neighbors draining through the property. Erosion control features should not block flow and cause flooding.

**Unfavorable Construction Conditions**

During unfavorable weather, wet ground, or other unsuitable construction conditions, the Contractor shall confine his operations to work, which will not be affected adversely by such conditions. No portion of the Work shall be constructed under conditions, which would affect adversely the quality of efficiency thereof, unless special means or precautions are taken by the Contractor to perform the work in a proper and satisfactory manner.

**Clean Up**

Contractor shall keep the premises occupied by the Contractor free from accumulations of waste materials and rubbish at all times. Contractor shall provide adequate trash receptacles about the work site, promptly empty containers when filled, and properly dispose of waste materials at his expense. Wastes shall not be buried or burned on the site or disposed of in storm drains, sewer, streams, or waterways.

Construction materials such as forms and scaffolding shall be neatly stacked by Contractor when not in use. Contractor shall promptly remove splattered concrete, asphalt, oil, paint, corrosive liquids, and cleaning solutions from surfaces to prevent marring or other damage.

**Geotechnical Engineering Report**

A geotechnical report has not been completed for this site. The Contractor may elect to have one completed at their own expense.

**Topsoil Areas**

The Contractor shall place 12 inches of black topsoil on all areas of permanent vegetation. The Contractor is responsible for hauling in topo soil where needed to supplement available on-site top soil.

**Excavation Quantities and Borrow Soils**

The Contractor is responsible for determining the volume of cut and fill for the site. A digital copy of the grading plan will be provided to the Contractor on request. The request should be made to Eric Thompson at Fox Engineering Associates; Phone 515-233-0000 or by email at ELT@foxeng.com. The Owner reserves the right to review the material for acceptability for this project.

There is an area where numerous loads of waste soil have been stockpiled. The material is from many locations. This material can be used as fill under the parking areas and slope fills using IDOT Type 'A' compaction.

**Rocks and Concrete Debris**

Rocks and concrete debris larger than 4 inches in any dimension cannot be used in the fill for the project except as fill outside the edge of buildings or pavement by a minimum of 2 feet. The large material should not be used where settlement of materials could cause damage to the site.

**Storm Sewer Pipe Materials**

Reference the plans for the type of pipe allowed. Substitutions are not allowed unless requested in writing to the Engineer.

Contech A2000 PVC & ADS N12 pipe is specified as slotted pipe on the plans. Utilize the standard gasketed joint for storm sewer. Substitution of other pipes can be allowed by the Engineer.

**Storm Sewer Pipe Bedding**

All plastic pipe shall be bedded in crushed stone to a minimum of 12 inches above the top of the pipe unless shown otherwise on the plan details. The top of the bedding shall be level across the top of the pipe. Humping of the bedding over the pipe is incorrect method of installation. It is recommended a concrete stinger probe be used to consolidate the rock under the pipe rather than relying completely on shoveling and hand work.

Pipe bedding for the RCP shall be as per SUDAS.

**Required Separation Distances**

Water main and water main services shall maintain 18 inches of separation between sanitary sewer and storm sewer. If the separation cannot be maintained, then water main grade pipe shall be used for the sanitary sewer or storm sewer for a minimum distance of 10 feet either side of the water main per SUDAS.

**PCC Paving Specifications**

All PCC paving shall be IDOT Class C pavement in accordance with the specifications. A jointing diagram has been provided in the plans. Alternate jointing plans shall be approved by the Engineer. The maximum joint spacing is 12 feet for concrete slabs and 15 feet for curb & gutter sections. Weight tickets shall be provided to the Owner and Owner reserves the right to request a core to confirm thickness at the rate of 1 core per 2,000 square feet at locations selected by the Owner or Engineer.

Class M PCC may be used where staging requires a faster cure time. Class M can only be used with the permission of the Engineer and the Owner.

**Erosion Control**

The Erosion Control contractor shall install silt fence or equivalent device where soils may exit the site and around any intake or pipe opening. The silt fence shall be removed when the site is stabilized. The Contractor shall comply with all provisions of the NPDES permit and SWPPP. The Owner shall conduct the record keeping necessary to maintain the permit and SWPPP.

Each Contractor onsite shall be responsible for maintaining the erosion control impacted by their work including the repair, cleaning or replacement of the erosion control.

The Contractor is responsible for keeping tracked mud, debris and dust off adjacent streets and shall clean the streets daily. The construction entrance has already been constructed and will be maintained and cleaned by the Contractor using the site daily. Replacement stone, if necessary, will be provided by the Contractor using the site.

**Locate Wires**

Locate wires are required for all water services and storm sewer as shown in plans. Locate wires are not required for conduit, sanitary sewer or storm sewer. All pipe and services shall be buried with a locate wire as per the specifications and terminated in a testing box next to the building terminations.

**Determination of Quantities**

The Contractor shall determine his quantities for the project. The Contractor may request a digital copy of the plans by calling Eric Thompson at Fox Engineering at 515-233-0000 or by email at ELT@foxeng.com. The Engineer does not assume any liability for providing the digital drawing to the Contractor. The Contractor shall provide his quantities and a schedule of values at the preconstruction meeting for the project.

| DATE  | BY  | DESIGNED | DRAWN | CHECKED | LAST UPDATE: |
|-------|-----|----------|-------|---------|--------------|
| 08/20 | ELT |          |       |         | 08/12/20     |
| 08/20 | SPB |          |       |         |              |

| REVISION | DATE |
|----------|------|
|          |      |

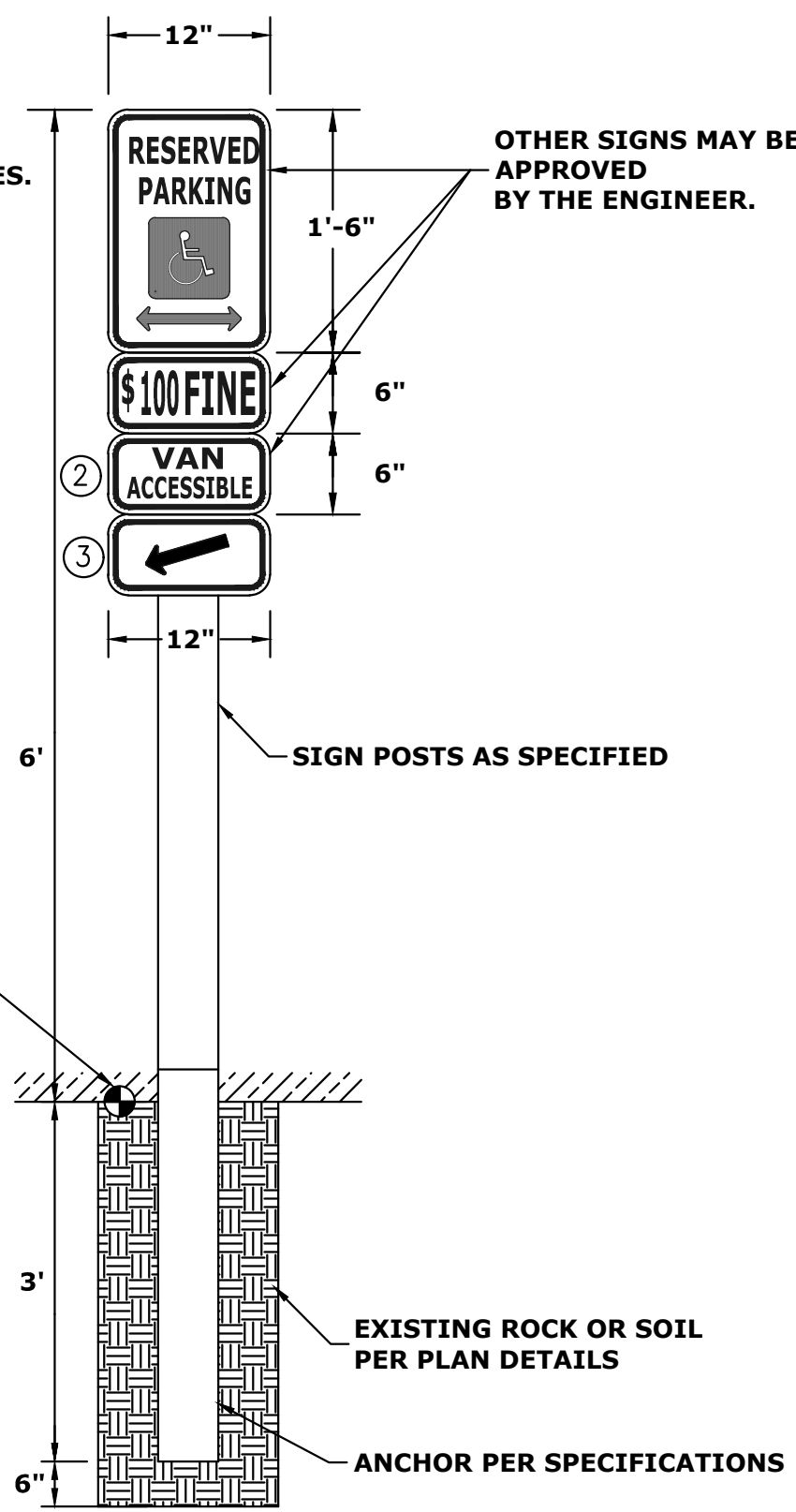
FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

**LEGEND/ GENERAL NOTES**  
 LOT 4 - HUXLEY INDUSTRIAL PARK  
 HUXLEY, IOWA  
 2020

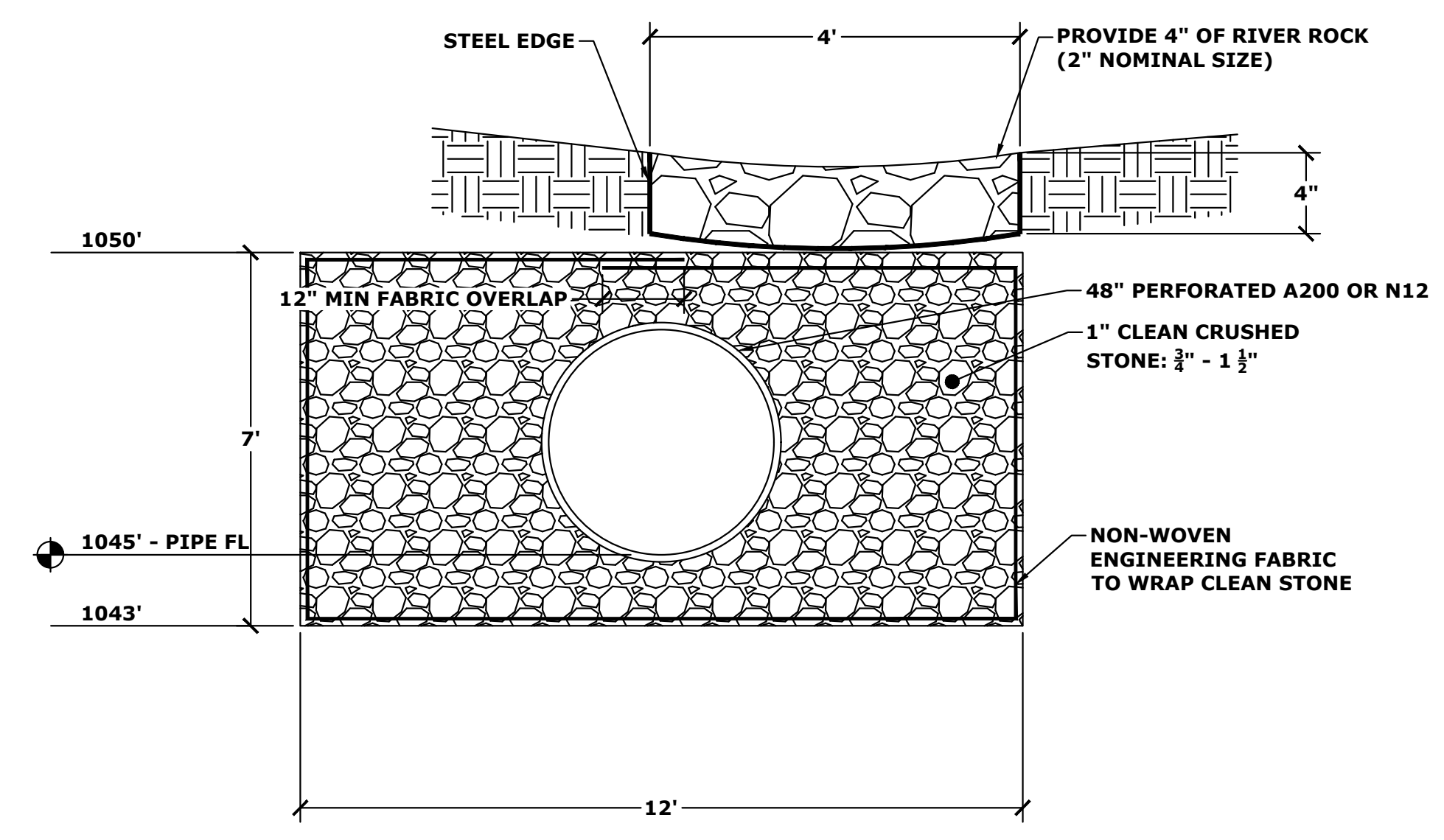


**SIGNAGE NOTES:**

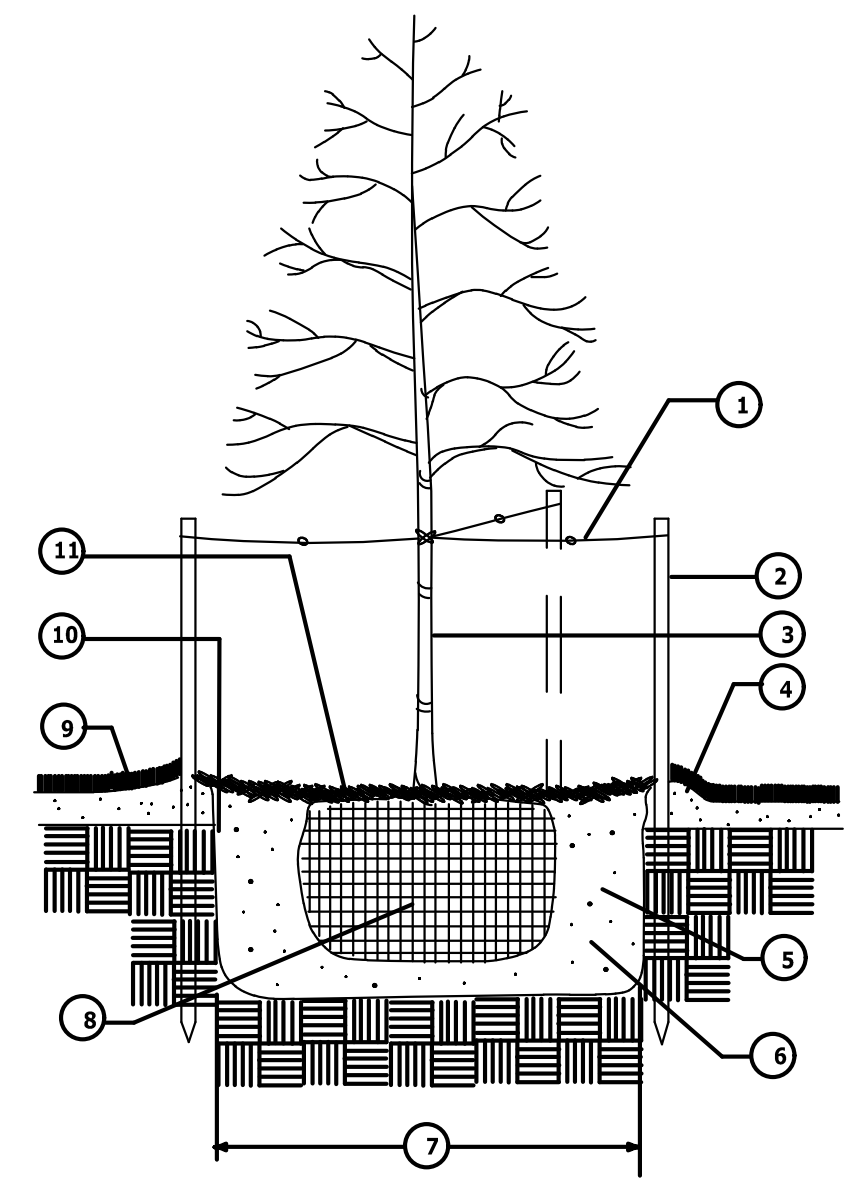
1. VERIFY THAT SIGNAGE PROVIDED COMPLIES WITH STATE AND LOCAL CODES.
2. VAN ACCESSIBLE PLACARD SHALL BE PLACED IN FRONT OF VAN ACCESSIBLE STALLS.
3. USE W16-7P SUPPLEMENTAL PLAQUE WHERE INDICATED ON THE PLANS.
4. FIELD VERIFY LOCATIONS OF SIGNS.



**1 HANDICAP SIGN POST DETAIL**  
NOT TO SCALE



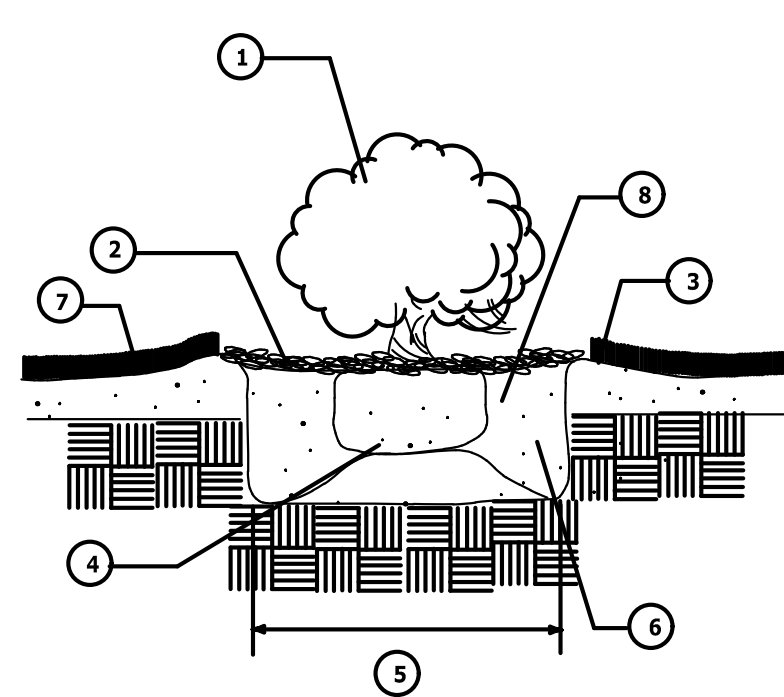
**2 48" PERFORATED CHAMBER SECTION**  
NOT TO SCALE



**TYPICAL TREE PLANTING DETAIL**  
NOT TO SCALE

- 1 TREE TIE - FASTEN TO TREE TRUNK W/ RUBBER HOSE ABOUT SCAFFOLD BRANCHES
- 2 WOOD STAKE OR WOOD DEADMEN (8-10" EXPOSED) STAKE ON THREE SIDES SPACED 120 DEGREES APART
- 3 TREE TRUNK W/ WRAP
- 4 5" WATERING BASIN
- 5 FERTILIZER TABLETS (3" DEEP)
- 6 PLANTING BACKFILL
- 7 THREE TIMES ROOTBALL DIAMETER (MINIMUM)
- 8 ROOTBALL
- 9 FINISH GRADE
- 10 PLANT PIT W/ ROUGHENED SIDES
- 11 3-4" SHREDDED BARK/HARDWOOD MULCH

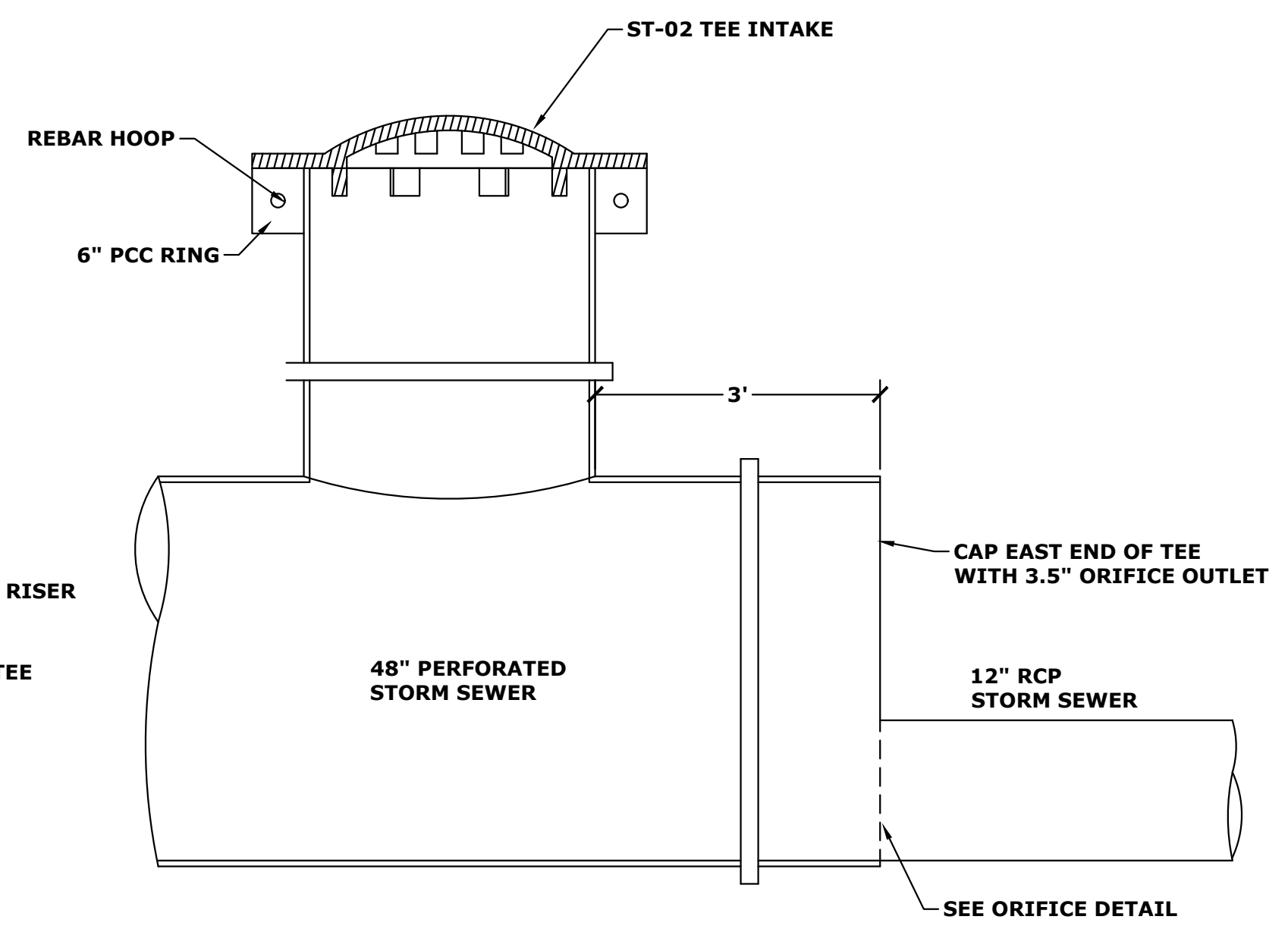
- NOTES:**
1. THE PLANTING HOLE SHOULD BE SHALLOW AND WIDE TO ALLOW FOR RAPID GROWTH AFTER PLANTING.
  2. DO NOT THIN CROWN. PRUNE DAMAGED OR BROKEN BRANCHES AS NEEDED.
  3. SET TREE 2-3 INCHES ABOVE FINISHED GRADE.
  4. APPLY WATER TO HOLE WHILE BACKFILLING TO ASSURE AIR POCKETS DO NOT FORM.



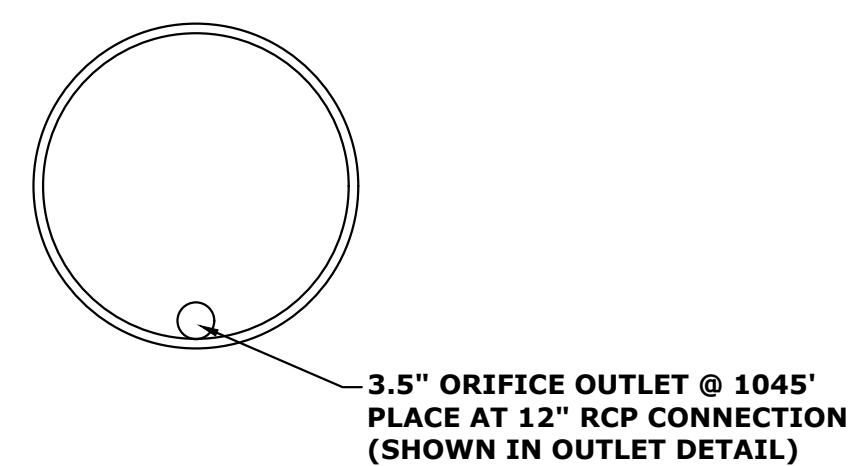
**SHRUB PLANTING DETAIL**  
NOT TO SCALE

- 1 SHRUB
- 2 4" SHREDDED BARK MULCH
- 3 5" WATERING BASIN
- 4 ROOTBALL
- 5 TWICE ROOTBALL DIAMETER
- 6 FERTILIZER TABLET (1) - 3" DEEP
- 7 FINISH GRADE
- 8 PLANTING BACKFILL - SEE SPECIFICATION

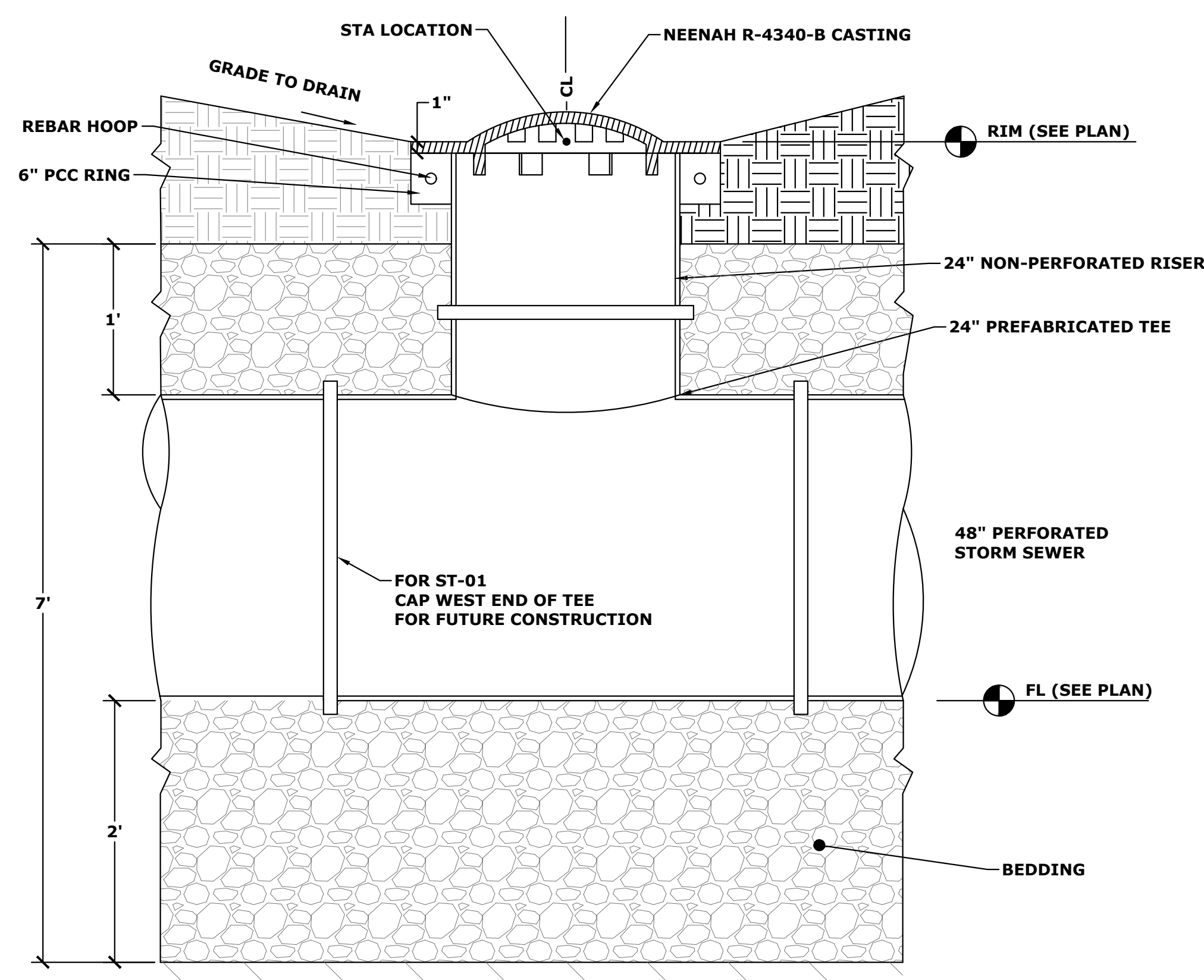
**3 PLANTING DETAILS**  
NTS



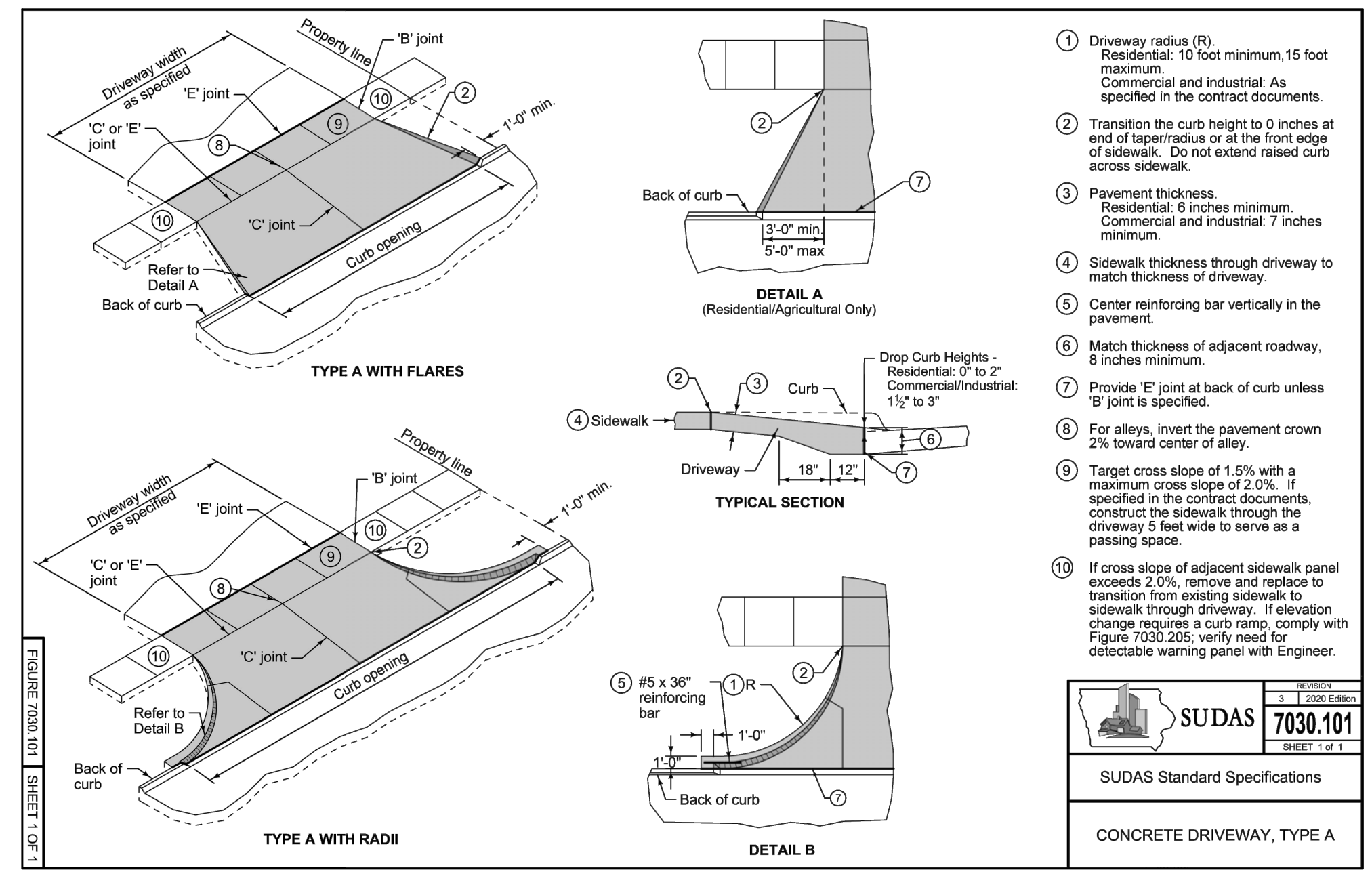
**5 ST-02 OUTLET DETAIL**  
NOT TO SCALE



**6 ORIFICE DETAIL**  
NOT TO SCALE



**4 48" TEE INTAKE DETAIL**  
NOT TO SCALE



- 1 Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- 2 Transition the curb height to 0 inches at end of taper radius or at the front edge of sidewalk. Do not extend raised curb across sidewalk.
- 3 Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- 4 Sidewalk thickness through driveway to match thickness of driveway.
- 5 Center reinforcing bar vertically in the pavement.
- 6 Match thickness of adjacent roadway, 8 inches minimum.
- 7 Provide 'E' joint at back of curb unless 'B' joint is specified.
- 8 For alleys, invert the pavement crown 2% toward center of alley.
- 9 Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- 10 If cross slope of adjacent sidewalk panel exceeds 2.0% remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with Figure 7030.235, verify need for detectable warning panel with Engineer.

**SUDAS 7030.101**  
SUDAS Standard Specifications  
CONCRETE DRIVEWAY, TYPE A

DRAWING FILENAME: K:\1\proj\5000\5233-20A - Pro Commercial\Drawings\General\5233-20A-G SHEETS.dwg  
PLOT STYLE TABLE: Foxgray.ctb  
LAYER MGR NAME: G3.1  
LAYOUT NAME: G3.1

|      |       |          |     |       |       |     |         |          |
|------|-------|----------|-----|-------|-------|-----|---------|----------|
| DATE | 08/20 | DESIGNED | ELT | 08/20 | DRAWN | SPB | CHECKED | 08/12/20 |
| BY   |       | REVISION |     |       |       |     |         |          |
| DATE |       |          |     |       |       |     |         |          |

FOX Engineering Associates, Inc.  
414 South 17th Street, Suite 107  
Ames, Iowa 50010  
Phone: (515) 233-0000  
FAX: (515) 233-0103

**FOX Engineering**

TYPICAL DETAILS  
LOT 4 - HUXLEY INDUSTRIAL PARK  
HUXLEY, IOWA  
2020

PROJECT NO.  
5233-20A

SHEET  
G3.1



# POLLUTION PREVENTION PLAN

## Storm Water Pollution Prevention Plan Phase 1 - Site Evaluation and Design Development

**Existing soil information:** See the Story County Soil Survey, SW Quarter of NE Quadrant of Section 26 of T82N, R24W.  
**Existing runoff quality:** Existing data on runoff water quality is not available.  
**Location of surface water on site:** Runoff drains to the Ballard Creek. There are no sediment basins on site.  
**Name of receiving stream:** Unnamed tributaries to the Ballard Creek to South Skunk River.  
**Construction activity description:** General soil disturbing activities associated with building and parking lot construction, storm sewer including: excavation, stockpiling, grading, trenching, paving, and seeding.

This Pollution Prevention Plan (PPP) is for the LOT 4 - HUXLEY INDUSTRIAL PARK; Huxley, Iowa. This PPP covers approximately 1.0 acres with an estimated 1.0 acres being disturbed.

The PPP is located in an area of 2 types of soil associations (L55 Nicollett loam and L138B Clarion loam Bemis moraine).

Refer to the Plans for locations of typical slopes, ditch grades, and major structural and non-structural controls. A copy of this plan will be on file at the project engineer's office. Runoff from this work will flow into adjacent drainage channels (unnamed tributaries) eventually to the Iowa River.

**Potential Sources of Pollution:**  
 Site sources of pollution generated as a result of this work relate to silts and sediment which may be transported as a result of a storm event. However, this PPP provides conveyance for other (non-project related) operations. These other operations have storm water runoff, the regulation of which is beyond the control of this PPP. Potentially this runoff can contain various pollutants related to site-specific land uses. Examples are:

**Rural Agricultural Activities:**  
 Runoff from agricultural land use can potentially contain chemicals including herbicides, pesticides, fungicides and fertilizers.

**Commercial and Industrial Activities:**  
 Runoff from commercial, industrial, and commercial land use may contain constituents associated with the specific operation. Such operations are subject to potential leaks and spills which could be commingled with run-off from the facility. Pollutants associated with commercial and industrial activities are not readily available since they are typically proprietary.

## Phase 2 - Control Selection/Plan Design

### (A) Select Erosion and Sediment Controls

The contractor shall submit specifications for temporary and permanent measures to be used for controlling erosion and sediment. Clearing and grading should not be started until a firm construction schedule is known and can be effectively coordinated with the grading and clearing activity.

**The following Stabilization measures will be utilized:**  
**Temporary seeding** - Exposed areas subject to erosion should be covered as quickly as possible. Under Iowa's General Permit No. 2., disturbed areas of the construction site that will not be re-disturbed for 21 days or more must initiate stabilization measures by the 14th day after the last disturbance, except as precluded by snow cover. In the event of snow cover, stabilization measures must be initiated as soon as practicable thereafter.  
**Permanent seeding and planting** - Permanent seeding shall be done in accordance with the Seeding Plan. The seeding schedule shall follow SUDAS specifications. Where necessary, temporary seeding shall be utilized for erosion control until permanent seeding can be established.  
**Mulching** - After seeding, mulch shall be installed in accordance with SUDAS specifications. Temporary vegetation may be used as mulch when permanent seeding is completed.  
 Preservation of Natural Vegetation - Natural Vegetation shall be preserved where possible within the construction limits. Natural vegetation shall not be disturbed outside of the construction limits.  
**Vegetative Strips** - Vegetative strips may be utilized to slow runoff velocities and deposit sediments from disturbed areas.  
**Soil Retaining Measures** - Soil to be reused shall be stockpiled onsite and silt fence shall be utilized to maintain soils onsite.  
**Minimization of land exposure** - Exposure of disturbed land shall be minimized in terms of area and time.  
**Roadways** - Roadways will be surfaced or otherwise stabilized as soon as feasible.  
**Eight-inch (8") topsoil** - Minimum of eight-inches of topsoil is required to be re-spread over disturbed areas that will be re-vegetated.

**The following structural practices will be utilized:**  
**Silt Fence** - Silt fence shall be placed adjacent to disturbed areas on the downstream side to filter runoff and retain sediment. Additional silt fence shall be provided at the discretion of the engineer.  
**Rip Rap** - Will be installed as noted on the plans to prevent erosion and scouring.  
**Bonded Fiber Matrix** - Will be installed on disturbed slopes as noted on the plans to provide erosion control and facilitate re-vegetation.  
**Turf Reinforcement Mat** - Turf reinforcement mat will be installed on disturbed channel slopes as noted on the plans to provide stability and scour protection and facilitate re-vegetation.

### (B) Select other controls

**Disposal of construction site waste materials** - The contractor will be responsible for making sure that all construction wastes are properly disposed of at facilities permitted to accept these types of wastes.  
**Treatment or disposal of sanitary wastes generated on-site** - The contractor will be responsible for providing sanitary facilities for workers in accordance with local and state requirements. The contractor will be responsible for disposing of sanitary waste in accordance with local and state requirements. Portable facilities shall be secured from tipping over.  
**Prevent off-site tracking of sediments and generation of dust** - The contractor shall prevent the tracking of sediments offsite. The contractor will be responsible for immediate cleanup of any tracked mud or debris.  
**PCC and HMA Waste** - The contractor will be responsible for preventing chemical contamination of soil and water. The contractor shall provide and maintain a containment facility for waste paving material (i.e. PCC washout station).  
**Materials Management** - All materials stored onsite will be stored in a neat, orderly manner in their appropriate containers and, if possible, under a roof or other enclosure. See specifications for further recommendations. Waste materials which can easily become airborne will be contained to prevent materials leaving the site. Dumpsters shall have a cover to minimize rain water from entering the container.

The contractor will also be responsible for preventing dust generation from construction activities. The Contractor shall take reasonable measures to prevent unnecessary dust. Earth surfaces subject to dusting shall be kept moist with water or by application of a chemical dust suppressant. Dust prone materials in piles or in transit shall be covered when practical to prevent blowing. Buildings and operating facilities which are affected adversely by dust shall be adequately protected from dust. Existing and new equipment which may be adversely affected by dust shall be adequately protected.

### (C) Inspection and maintenance plan

The Contractor will be responsible for installation and all associated costs of erosion and stormwater management controls during the contract period. Details of control measures are shown on the plans.

The Owner will be responsible for filling out an inspection report for the site. Inspections will be conducted every seven calendar days. The inspection reports can be used to record scheduled maintenance. Any changes that may be required to correct deficiencies in the Storm Water Pollution Prevention Plan noted during an inspection should be made as soon as practical after an inspection but in no case later than 7 days after the inspection.

The Contractor is required to maintain all temporary erosion control measures in proper working order, including cleaning, repairing, or replacing them throughout the contract period. Cleaning of sediment control devices shall begin when the features have lost 30% of their capacity. Perform cleaning and maintenance to PCC wash-out station when station is 75% full.

### (D) Control Description

Description of controls can be found in section (A) of the SWPPP. The contractor will be responsible for submitting specifications of the selected controls. The location of determined controls can be found on the plans. Additional controls may be required at the discretion of the engineer.

### (E) Schedule of Major Activities

Prior to initiating construction the Contractor shall submit a schedule of major activities including:  
 1. Land clearing and grading in relation to the corresponding schedule for all excavation work. If at all possible, the clearing should immediately precede the construction activity.  
 2. Installation and anticipated completion date of each control measure.

## (F) Non-Storm Water Discharges

This includes: subsurface drains (i.e. longitudinal and standard subdrains), dewatering activities, slope drains, bridge end drains, discharges from fire fighting activities, fire hydrant flushing, potable water sources (including water line flushing), irrigation drainage and uncontaminated springs or ground water. The velocity of the discharge from these features may be controlled by the use of patio blocks, Class A stone or erosion stone.

## Phase 3 - Certification and Notification

**Contractor Certification**  
 All contractors and subcontractors, including short-term contractors and subcontractors coming on-site, must sign the contractor certification statement before conducting any professional service at the site identified in the plan. The certification must be signed by an authorized representative (i.e., principal executive officer, vice president, general partner, proprietor, elected official). Upon signing the certification, the contractor or sub-contractor becomes a co-permittee with the owner and other co-permittee contractors. In signing the plan, the authorized representative certifies that the information is true and assumes liability for the plan. Note that Section 309 of the Clean Water Act provides for significant penalties where information is false or the permittee violates, either knowingly or negligently, permit requirements.

The General Contractor will be responsible for collecting and maintaining signatures. The contractor shall provide copies of signed certifications to the owner and engineer upon request and at the termination of the contract.

### (A) Notice of Intent (NoI)

The owner or an agent of the owner will fulfill the public notice requirement and submit the Notice of Intent for coverage under General Permit No. 2. The project required the obtaining of a NPDES General Permit for storm water discharge associated with construction activities. The Owner and the Contractor have a copy of this permit. The Contractor and all subcontractors shall be responsible for compliance and fulfilling all requirements of NPDES General Permit #2 including the Storm Water Pollution Prevention Plan.

## Phase 4 - Construction/Implementation

**The contractor shall follow the schedule as submitted under Phase 2 (E). The contractor shall keep the engineer informed of any deviation of the schedule or plan.**

### (A) Inspection and Maintenance Reports

A copy of the inspection log shall be maintained at the site.

### (B) Records of Construction Activities

In addition to the installation and maintenance of erosion control implementation, the Contractor should keep records of the construction activity on the site. In particular, the contractor should keep a record of the following information:  
 The dates when major grading activities occur in a particular area.  
 The dates when construction activities cease in an area, temporarily or permanently.  
 The dates when an area is stabilized, temporarily or permanently.  
 These records can be used to make sure that areas, where there is no construction activity, will be stabilized within the required time frame. Records shall be retained for a period of at least three years from the date that the site is finally stabilized.

### (C) Plan Updates

The pollution prevention plan shall be updated expeditiously:  
 • When it does not accurately reflect the site features and operations.  
 • When the contractor, owner, or engineer observes that it is not effective in minimizing pollutant discharge from the site.  
 • To include contractors identified after the submittal of the Notice of Intent. These contractors shall certify the plan and be identified as co-permittees and  
 • To identify any change in ownership or transference of the permit and permit responsibilities.  
 If, at any time during the effective period of the permit, the IDNR finds that the plan does not meet one or more of the minimum standards established in the general permit, the IDNR will notify the permittee of required changes necessary to bring the plan up to standard. Permittees shall have 3 days after notification to make the necessary changes and submit to the Department written certification that the requested changes have been made.

### (E) Report of Hazardous Conditions

Because construction activities may include handling of certain hazardous substances over the course of the project, spills of these substances may create a hazardous condition and are required to be reported. Iowa law requires that as soon as possible, but not more than six hours after the onset of a hazardous condition, the IDNR and local sheriff's office or the office of the sheriff of the affected county be notified. The Owner and engineer should also be informed of the hazardous condition in a timely manner. The contractor is to notify the agencies.  
 IDNR (515) 725 - 8694      Story Co. Sheriff's office (515) 382-7458

The contractor shall submit a report to the Engineer and other agencies, as required by law, within 14 calendar days of a hazardous condition. The report shall describe the release and the circumstances leading to the release. Steps to prevent the re-occurrence of such releases are to be identified in the plan and implemented.

The SWPPP must be modified within 5 calendar days of knowledge of the release to provide a description of the release and the circumstances leading to the release and to identify and provide for the implementation of steps to prevent the re-occurrence of such releases and to respond to such releases.

### (F) Plan Location and Access

**Plan Location** - A copy of the Pollution Prevention Plan must be kept at the construction site from the time construction begins until the site has reached final stabilization.

**Retention of records** - Retention of records requires that copies of the Storm Water Pollution Prevention Plan and all other reports required by the permit, as well as all of the data used to complete the Notice of Intent, be retained for 3 years after the completion of final site stabilization. Contractor to transfer all records created for the SWPPP to the owner or owner's representative at conclusion of the work.

**Access** - Although plans and associated records are not necessarily required to be submitted to the IDNR, these documents must be made available upon request (within 3 hours) to the Iowa Department of Natural Resources. If storm water runoff is discharged to a municipal separate storm sewer system, the plans must be made available, upon request, to the municipal operator of the system.

## Phase 5 - Final Stabilization and NoD

### (A) Final Stabilization

Final stabilization is defined in the general permit as meaning that all soil disturbing activities at the site have been completed, and that a uniform 70% density of perennial vegetative cover for unpaved areas not covered by permanent structures has been established or equivalent permanent stabilization measures (such as the use of rip rap, gabions, or geotextiles) have been employed, or the land has been returned to agricultural production.

The contractor shall notify the permit holder and engineer of final stabilization in accordance with the contract documents. The owner and engineer will review the site before finalizing the contract and taking control of the site. The contractor will be required to provide a copy of all inspection and maintenance logs, schedule of construction activities, and Contractor Certifications to the Owner at this time.

### (B) Notice of Discontinuation (NoD)

The permit holder (owner) will be required to submit the Notice of Discontinuation once control of the site has been obtained from the contractor.

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| DRAWN:                | 08/20 | SPB | 08/20 |
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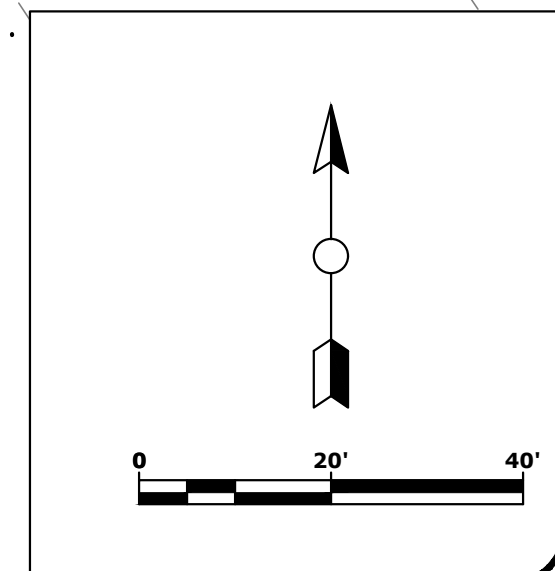
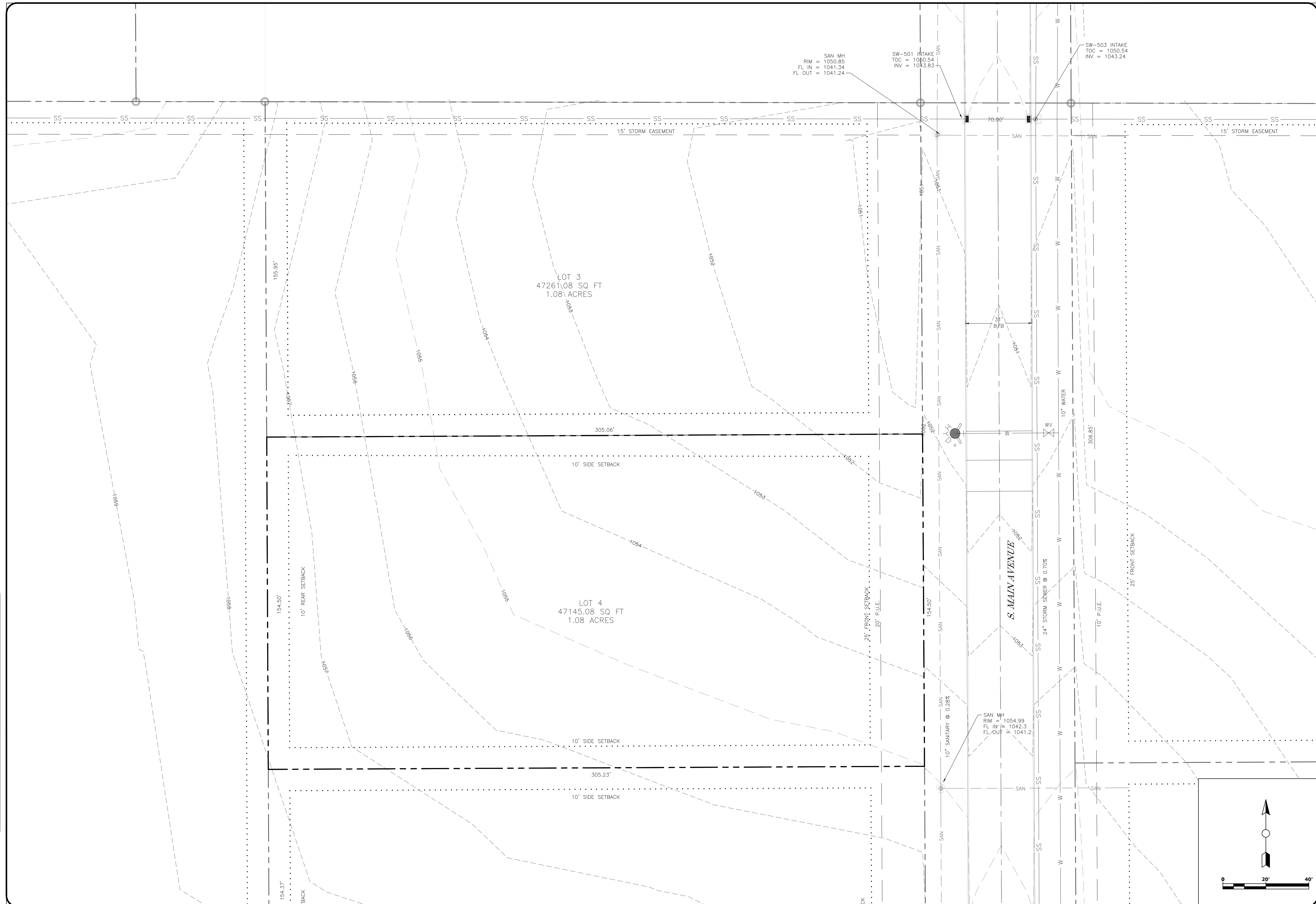
FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103



STORMWATER POLLUTION PREVENTION PLAN  
 LOT 4 - HUXLEY INDUSTRIAL PARK  
 HUXLEY, IOWA  
 2020

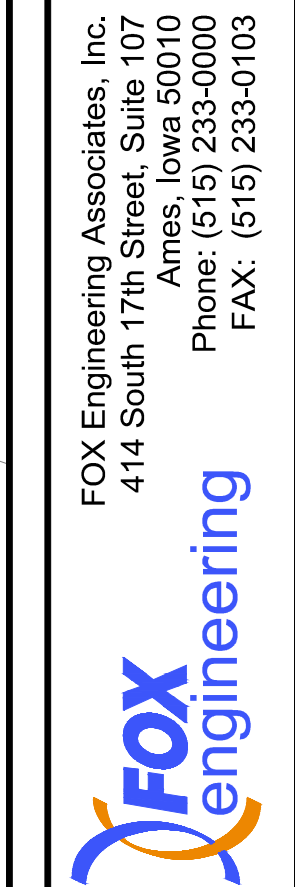
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| LAST UPDATE: 08/12/20 |      |     |       |

FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103



EXISTING CONDITIONS & REMOVALS  
 LOT 4 - HUXLEY INDUSTRIAL PARK  
 HUXLEY INDUSTRIAL PARK  
 HUXLEY, IA

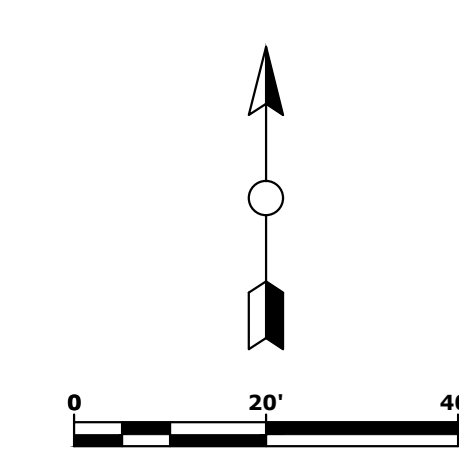
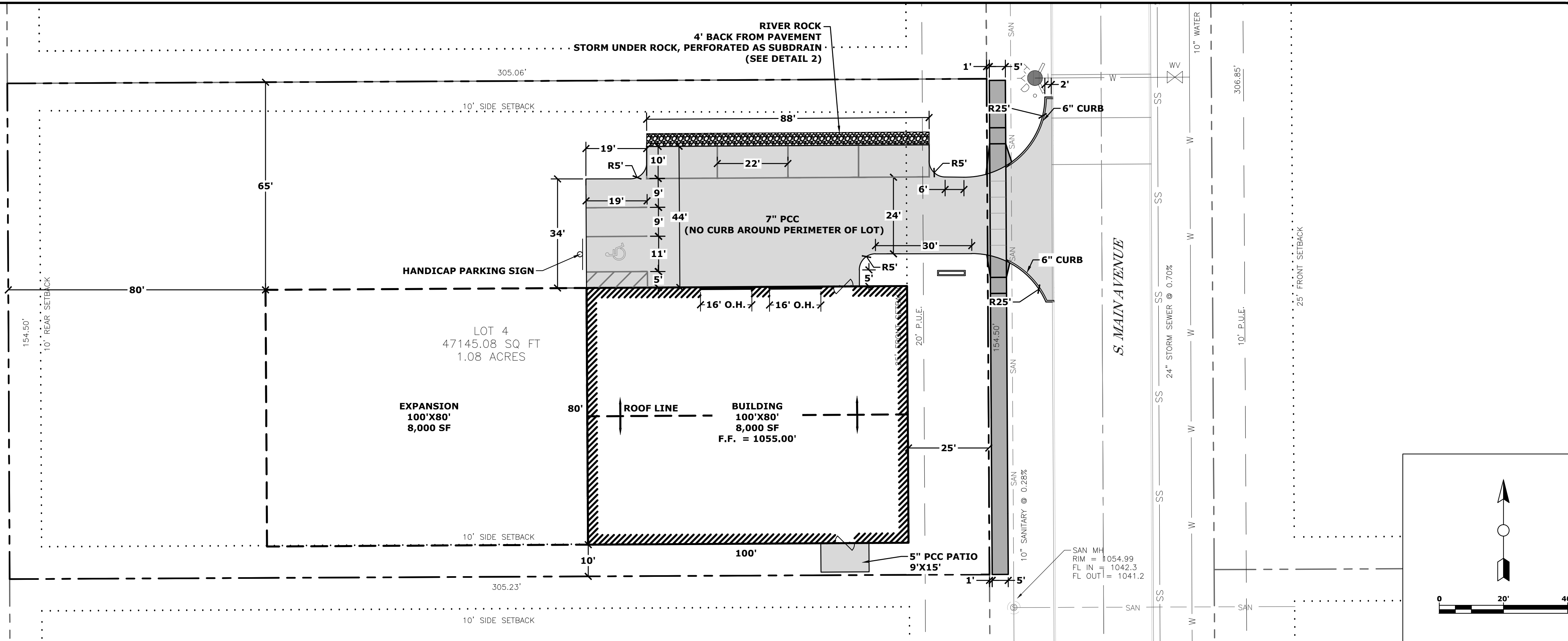
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 5233-20A

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### DIMENSION PLAN

SCALE: 1"=20'



### UTILITY PLAN

SCALE: 1"=20'

#### NOTES:

Install tracer wire on the storm sewer from the street manhole to the pond outlet structure. Terminate in flush mounted tracer wire box Drainage & Water Solutions Figure No. TWAB.

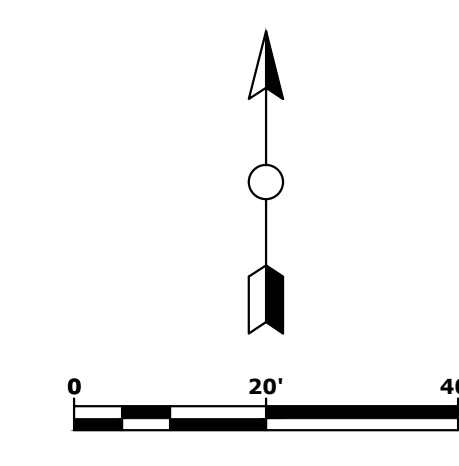
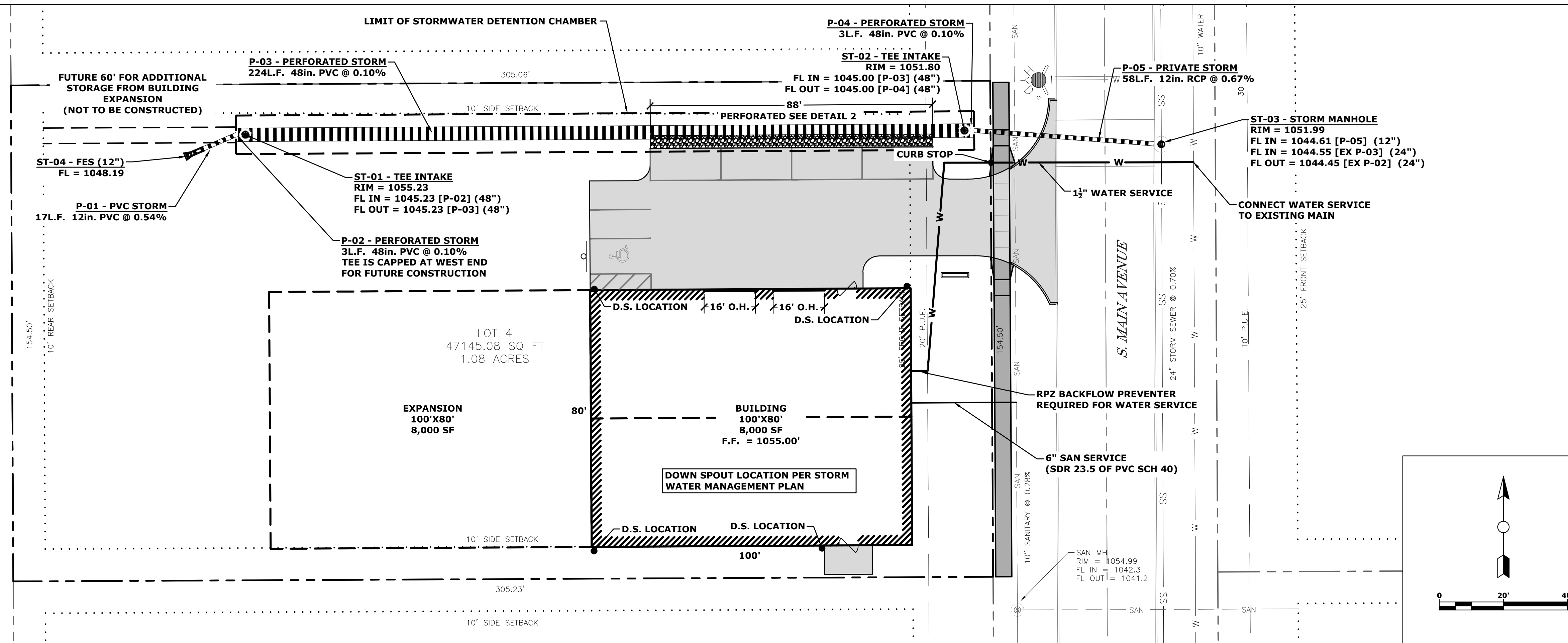
All storm in ROW shall be RCP per SUDAS.

Install tracer wire on the water service. Terminate in flush mounted tracer wire box Drainage & Water Solutions Figure No. TWAB.

Water service will be Type K Copper per SUDAS

Water service must be buried at a minimum of 5.5' below grade.

Curb Stop located between back of walk & property line.



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| REVISION | DATE |
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FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

**FOX** Engineering

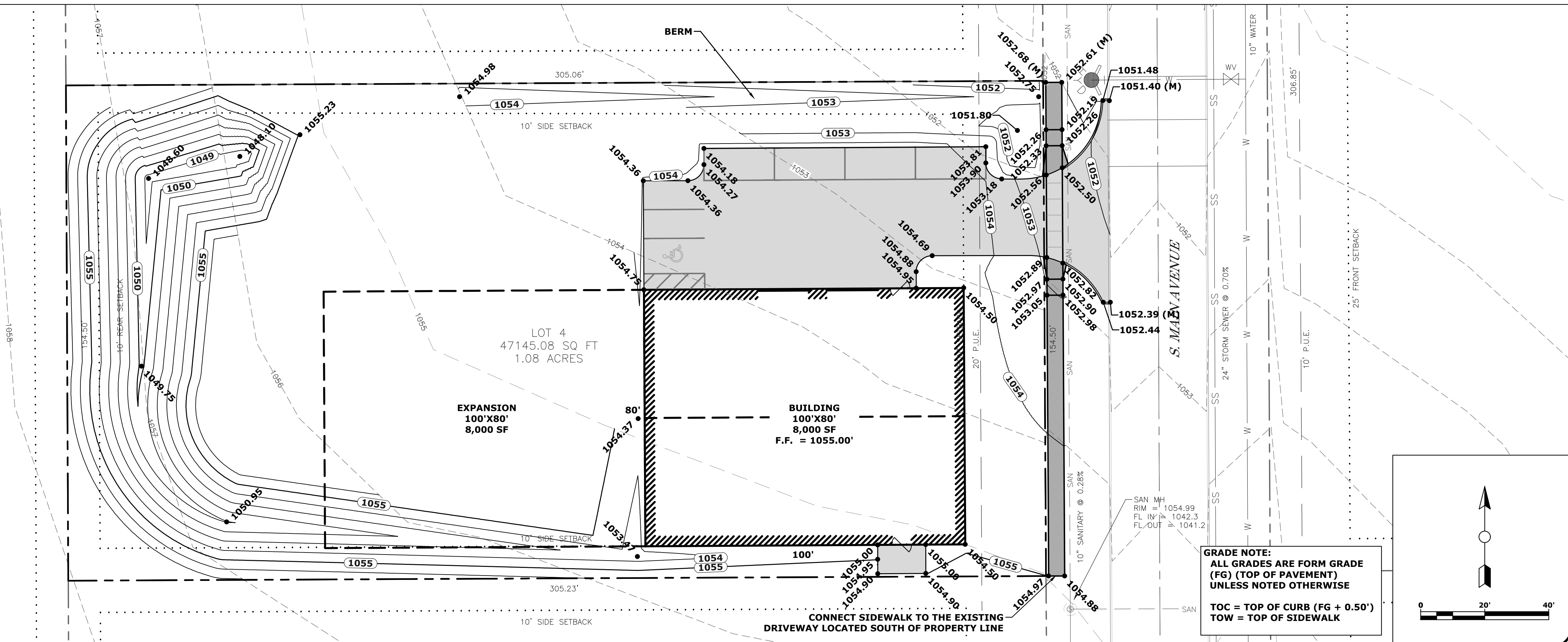
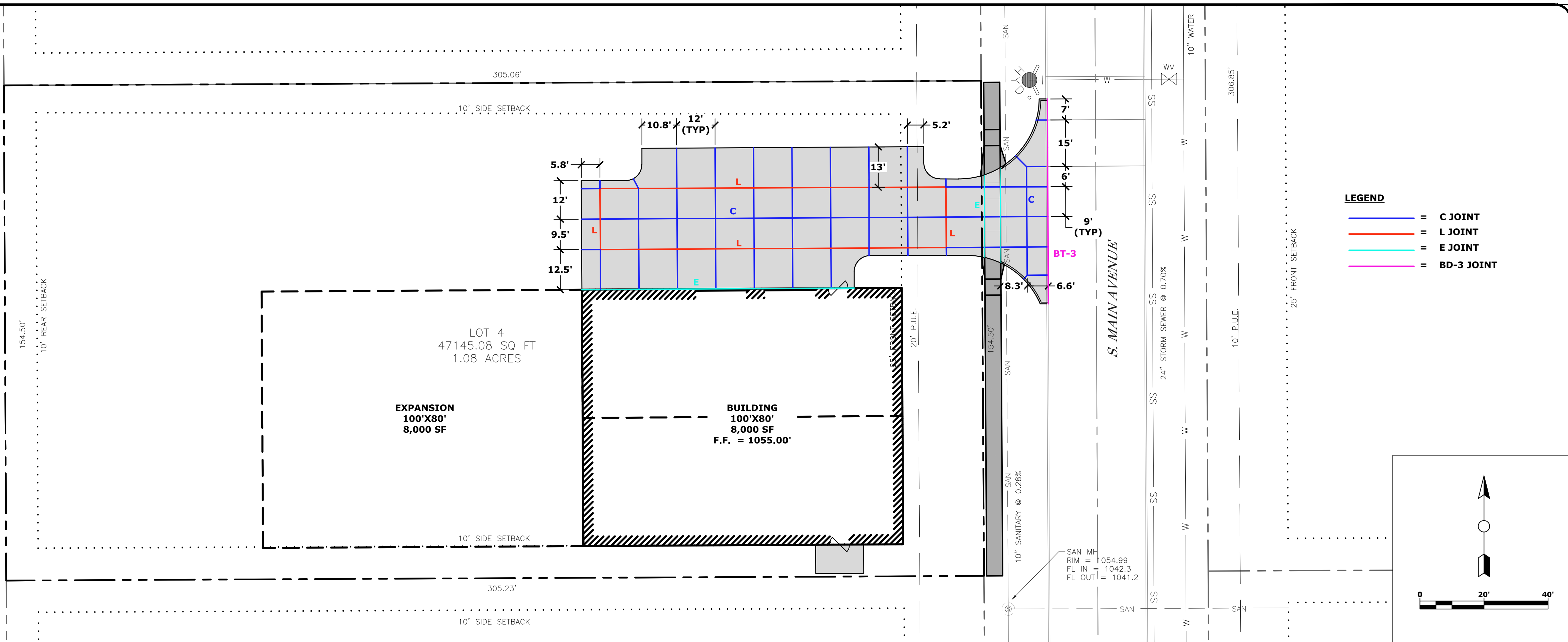
DIMENSION PLAN & UTILITY PLAN  
 LOT 4 - HUXLEY INDUSTRIAL PARK  
 HUXLEY INDUSTRIAL PARK  
 HUXLEY, IA

PROJECT NO.  
5233-20A

SHEET  
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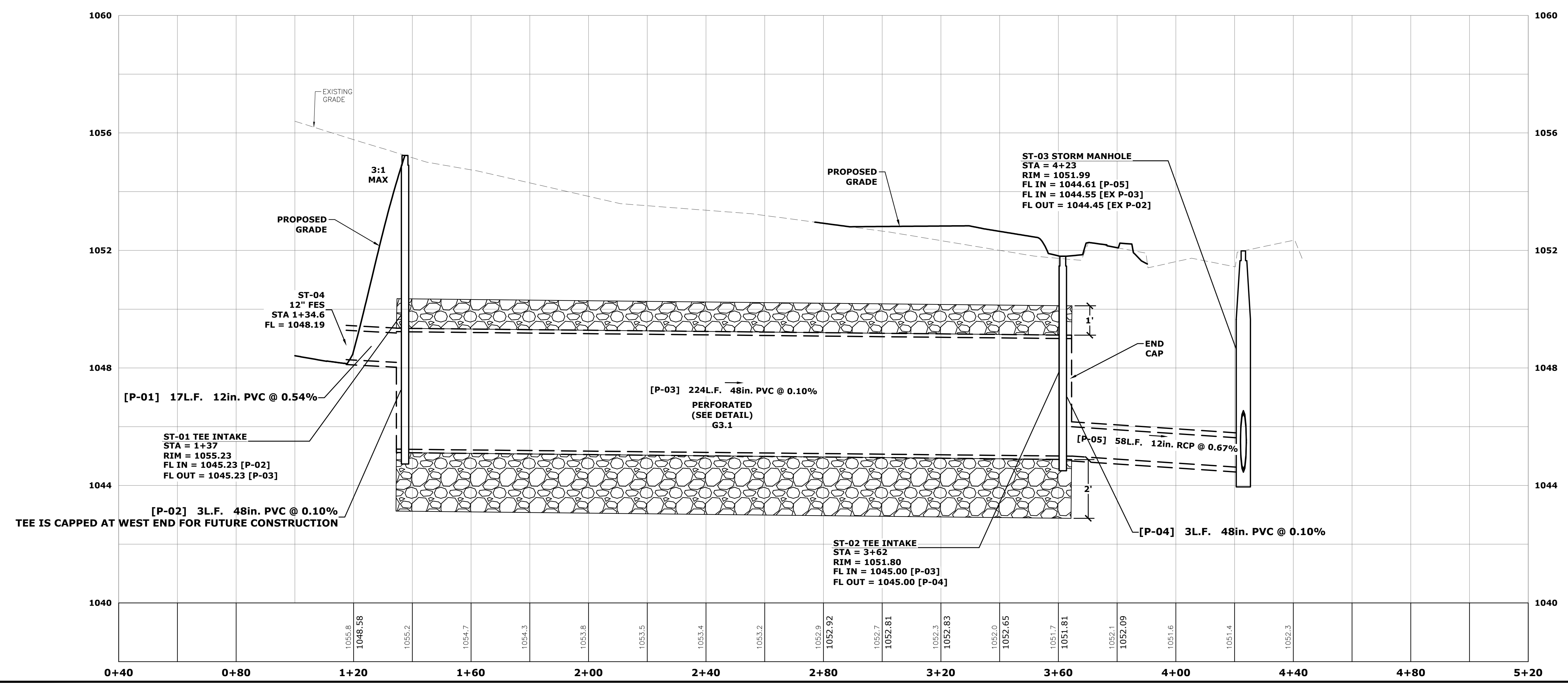
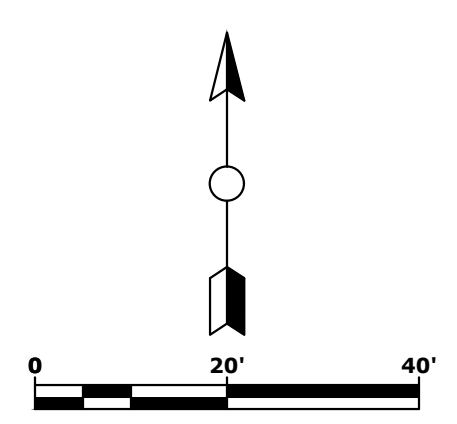
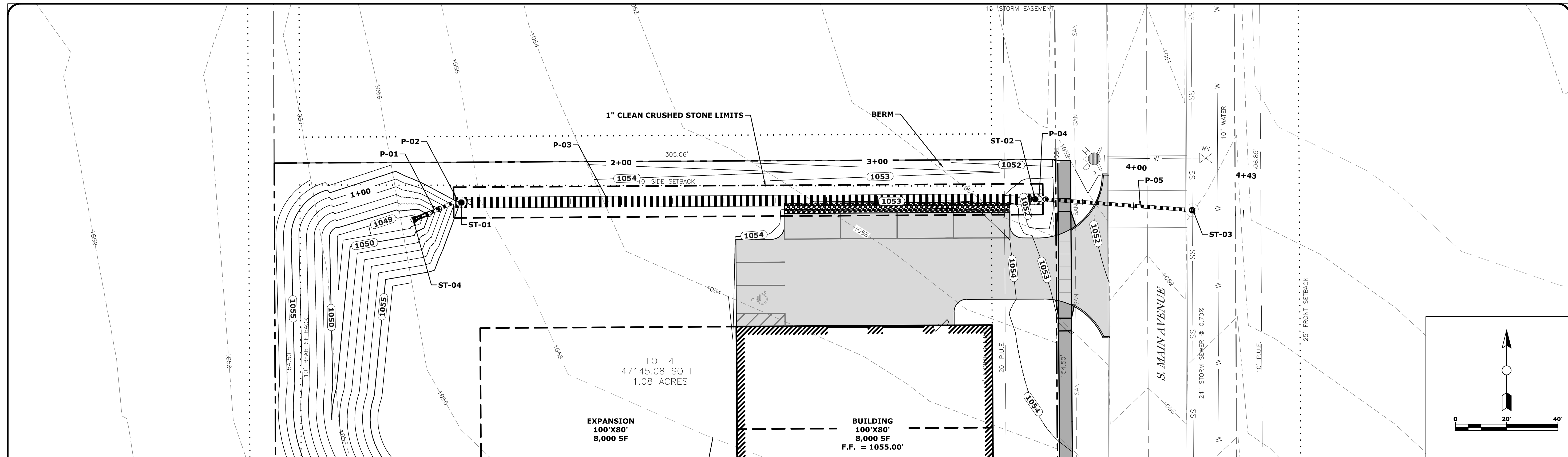
FOX Engineering Associates, Inc.  
 414 South 17th Street, Suite 107  
 Ames, Iowa 50010  
 Phone: (515) 233-0000  
 FAX: (515) 233-0103

**FOX** Engineering

**JOINTING PLAN & GRADING PLAN**  
 LOT 4 - HUXLEY INDUSTRIAL PARK  
 HUXLEY INDUSTRIAL PARK  
 HUXLEY, IA

PROJECT NO. 5233-20A  
 SHEET C1.3

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EX. GRADE  
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FOX Engineering Associates, Inc.  
414 South 17th Street, Suite 107  
Ames, Iowa 50010  
Phone: (515) 233-0000  
FAX: (515) 233-0103

**FOX Engineering**

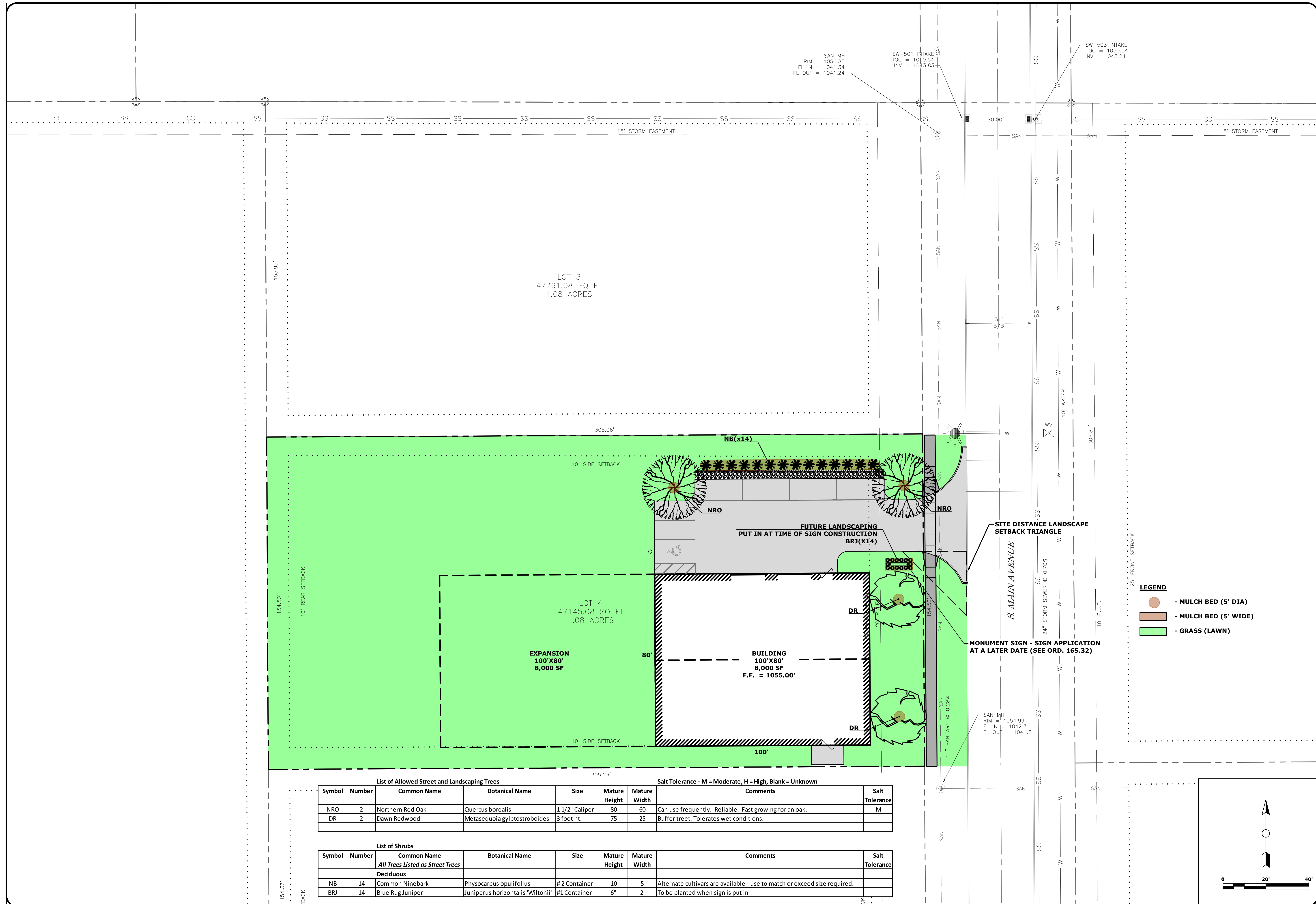
**STORM WATER PLAN & PROFILE**  
LOT 4 - HUXLEY INDUSTRIAL PARK  
HUXLEY INDUSTRIAL PARK  
HUXLEY, IA

PROJECT NO.  
5233-20A

SHEET  
**C1.4**



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**List of Allowed Street and Landscaping Trees**

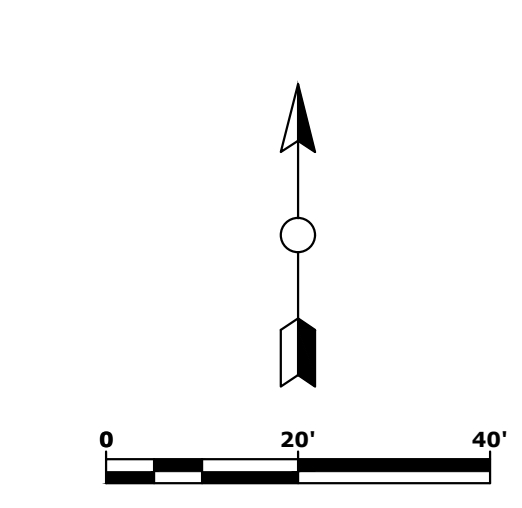
| Symbol | Number | Common Name      | Botanical Name               | Size           | Mature Height | Mature Width | Comments   | Salt Tolerance |
|--------|--------|------------------|------------------------------|----------------|---------------|--------------|--|----------------|
| NRO    | 2      | Northern Red Oak | Quercus borealis             | 1 1/2" Caliper | 80            | 60           | Can use frequently. Reliable. Fast growing for an oak. | M              |
| DR     | 2      | Dawn Redwood     | Metasequoia gylptostroboides | 3 foot ht.     | 75            | 25           | Buffer tree. Tolerates wet conditions.                 |                |

Salt Tolerance - M = Moderate, H = High, Blank = Unknown

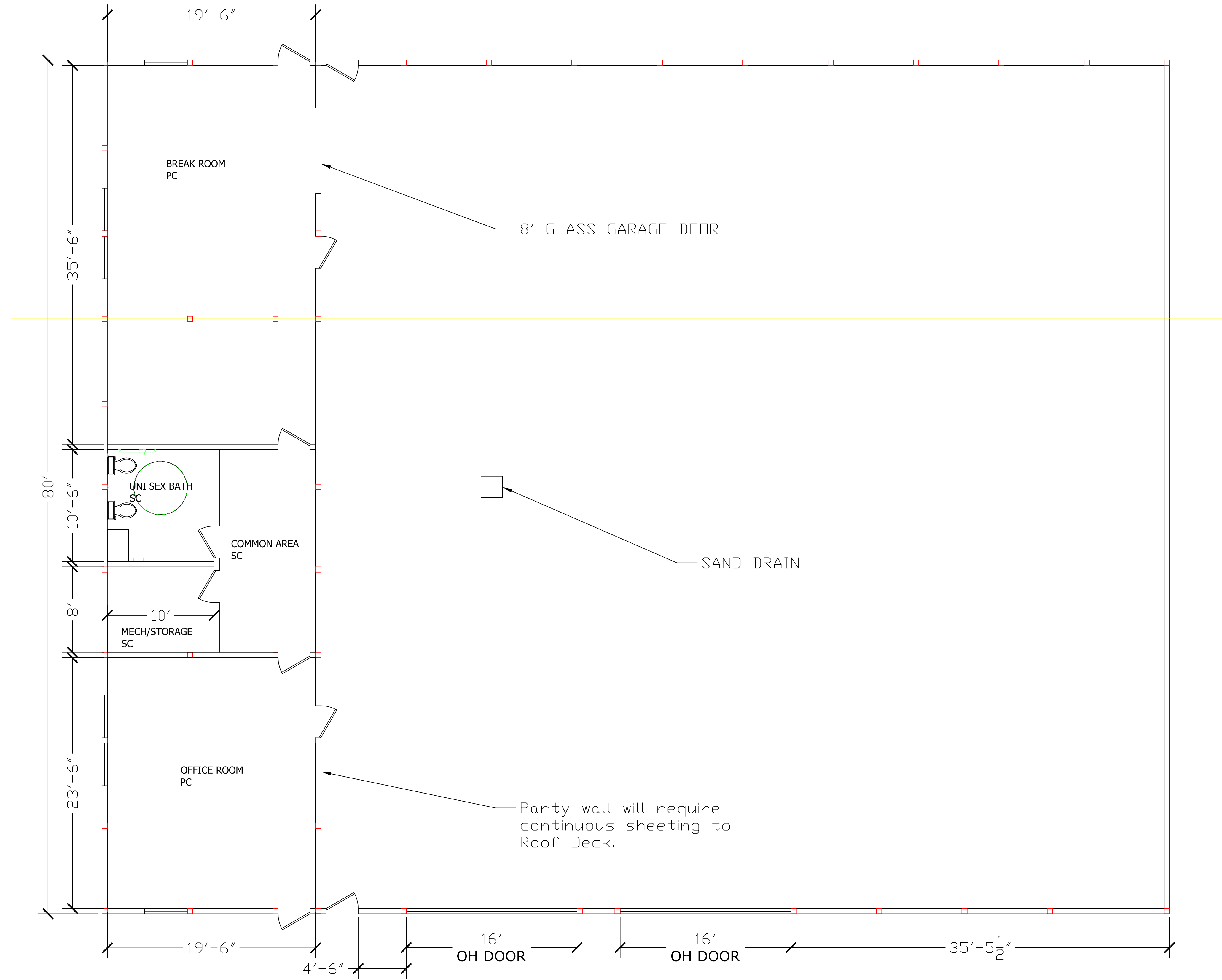
**List of Shrubs**

| Symbol                                  | Number | Common Name      | Botanical Name                    | Size         | Mature Height | Mature Width | Comments  | Salt Tolerance |
|---|--------|------------------|-----------------------------------|--------------|---------------|--------------|---|----------------|
| <i>All Trees Listed as Street Trees</i> |        |                  |                                   |              |               |              |   |                |
| <b>Deciduous</b>                        |        |                  |                                   |              |               |              |   |                |
| NB                                      | 14     | Common Ninebark  | Physocarpus opulifolius           | #2 Container | 10            | 5            | Alternate cultivars are available - use to match or exceed size required. |                |
| BRJ                                     | 14     | Blue Rug Juniper | Juniperus horizontalis 'Wiltonii' | #1 Container | 6"            | 2'           | To be planted when sign is put in   |                |

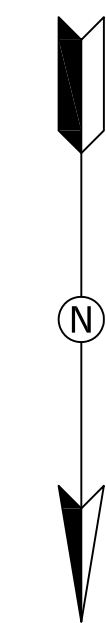
- LEGEND**
- MULCH BED (5' DIA)
  - MULCH BED (5' WIDE)
  - GRASS (LAWN)



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|--|------------|-----------------------|
|  | BY: ELT    | DATE: 08/20           |
| DESIGNED: SPB  | DRAWN: SPB | CHECKED: SPB          |
| REVISION   | DATE       | LAST UPDATE: 08/12/20 |
|  |            |                       |
| <b>LANDSCAPE PLAN</b><br>LOT 4 - HUXLEY INDUSTRIAL PARK<br>HUXLEY INDUSTRIAL PARK<br>HUXLEY, IA  |            |                       |
| PROJECT NO. 5233-20A<br>SHEET C1.5   |            |                       |
| FOX Engineering Associates, Inc.<br>414 South 17th Street, Suite 107<br>Ames, Iowa 50010<br>Phone: (515) 233-0000<br>FAX: (515) 233-0103 |            |                       |



1 Floor Plan - Overview  
Scale: 1/8" = 1'-0"



General Notes

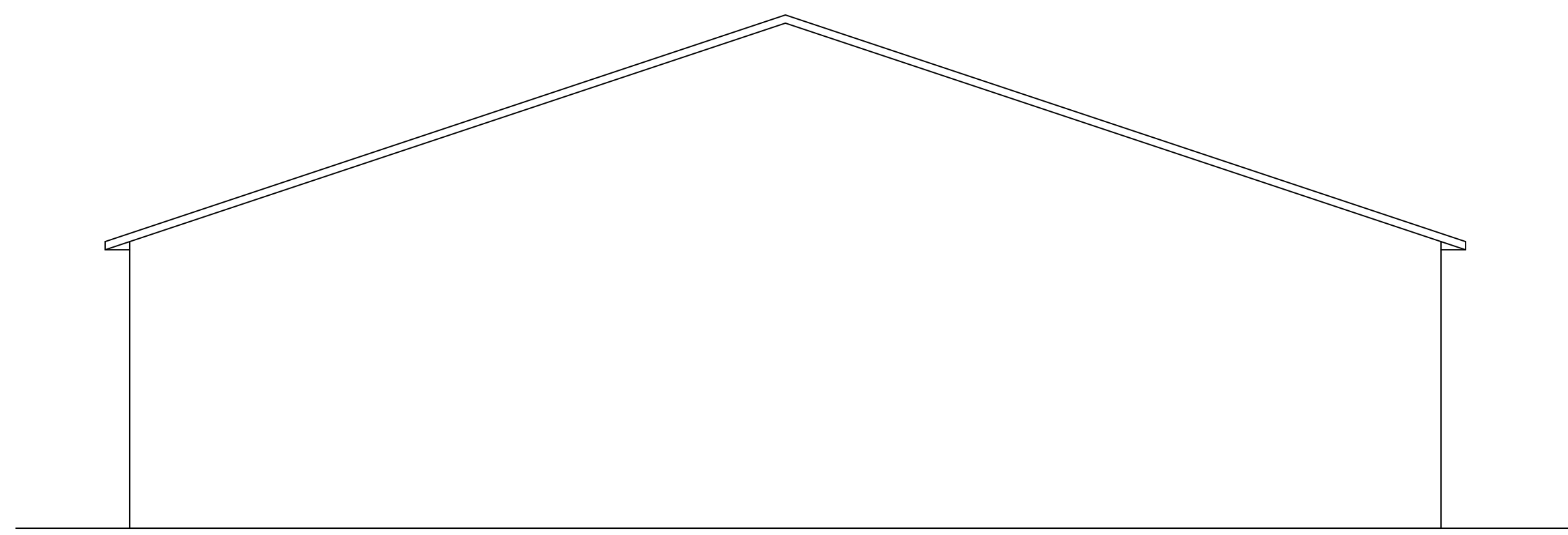
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Firm Name and Address

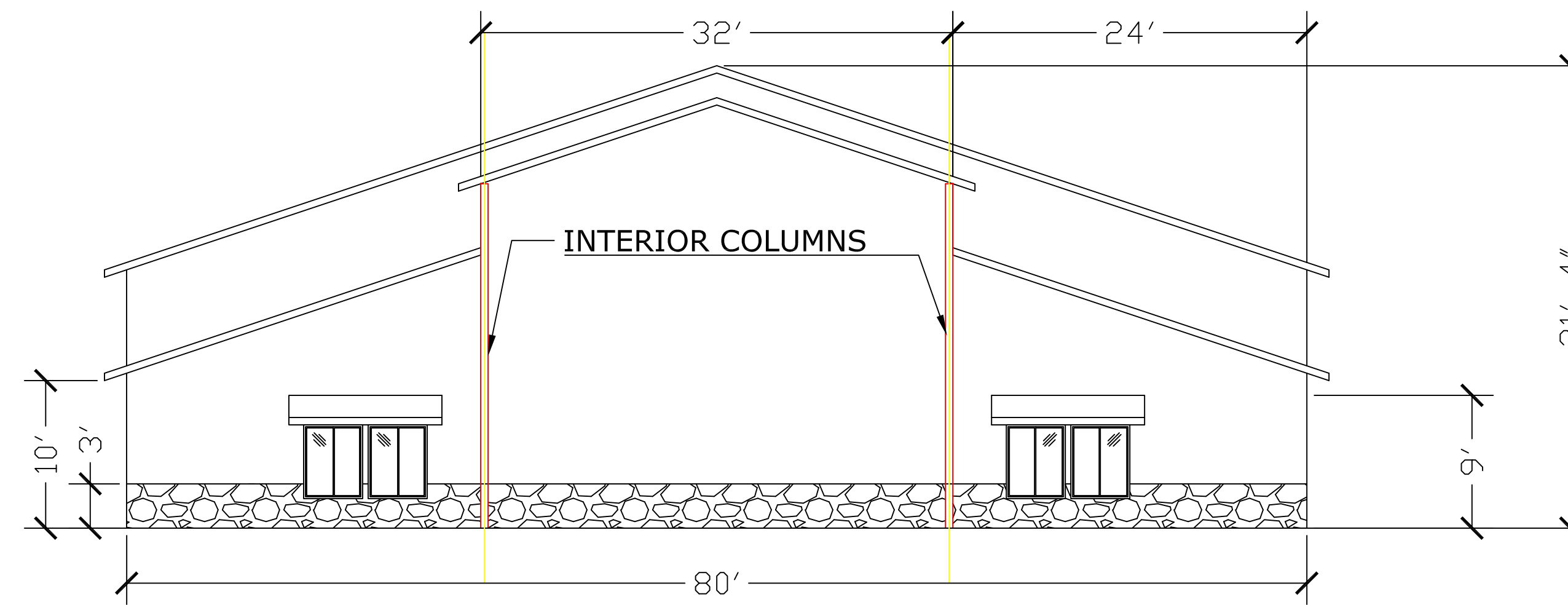
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Date: 6/30/2020  
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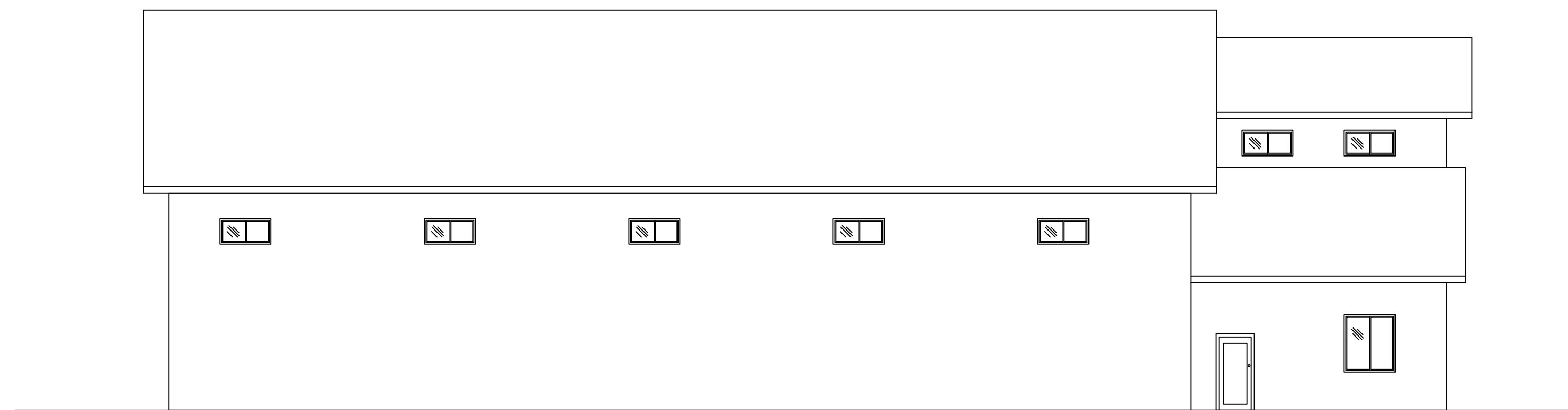
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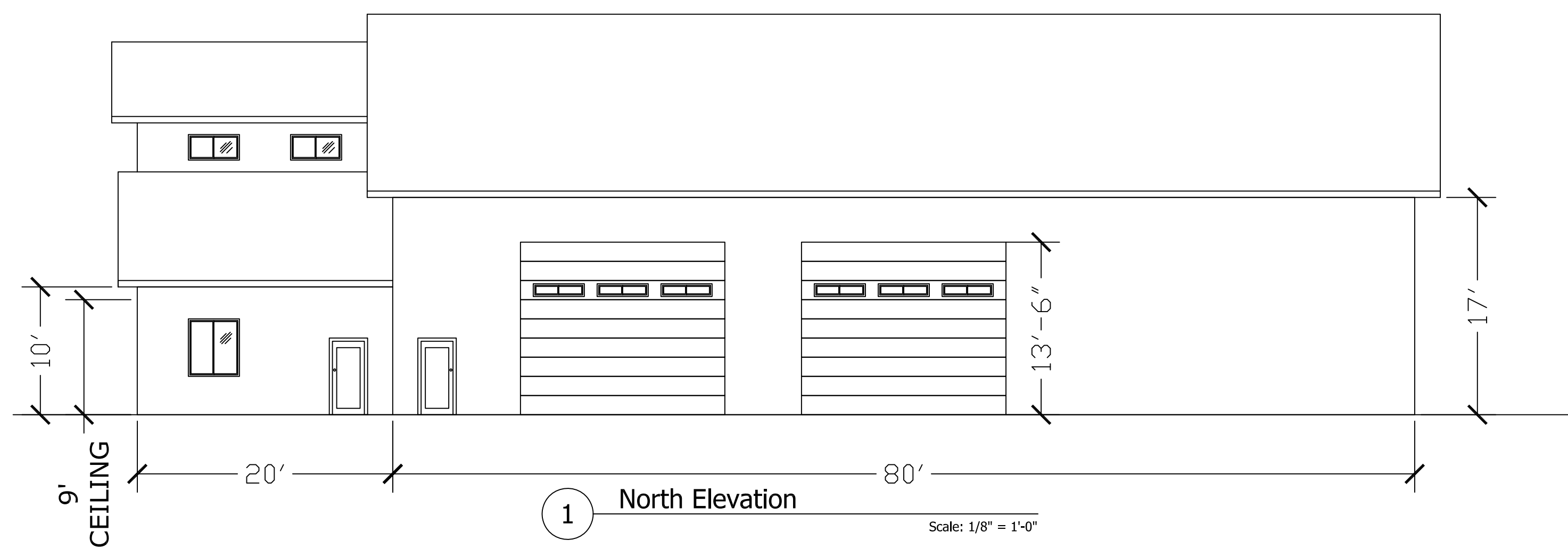
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1 East Elevation  
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1 South Elevation  
Scale: 1/8" = 1'-0"



1 North Elevation  
Scale: 1/8" = 1'-0"

General Notes

| No. | Revision/Issue | Date |
|-----|----------------|------|
|     |                |      |

Firm Name and Address

Project Name and Address

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| Project<br>#####  | Sheet<br>A2.1 |
| Date<br>6/30/2020 |               |
| Scale<br>As Noted |               |

# **PLAN & ZONING COMMISSION COMMUNICATION**

## **AGENDA HEADING:**

Approving Westview Heights Plat 3 Final Plat

## **SYNOPSIS:**

Westview Heights, LLC (Dickson Jensen, 4611 Mortensen Road Ames, Iowa 50210) has submitted materials for Westview Heights Plat 3, Final Plat for Planning & Zoning Commission approval. The project will introduce an additional 91 residential lots into the Huxley housing market.

City staff and Veenstra & Kimm, Inc (Forrest Aldrich, P.E. 3000 Westown Parkway West Des Moines, Iowa 50266) have reviewed the submittal and provided comments to the development team.

Additional information is below and in the attachments.

## **ADDITIONAL INFORMATION:**

- Backyard drainage elevations and slopes need to be provided on a separate sheet sealed by a licensed engineer
- The easement between Lots 17 and 18 should be labeled as a recreational trail easement and included with the plat's legal descriptions.
- The City of Huxley will provide addresses for the plat
- Huxley Parks & Recreation staff has worked with the development team on the parkland dedication lot in the development, and a final grade for the lot will need to be approved

## **ANTICIPATED ACTIONS AND FUTURE COMMITMENTS:**

- August 25, 2020 City Council Review of P & Z recommendation
- Receipt of final materials and receipt of copy of recorded final plat

For more information on this and other agenda items, please call the City Clerk's Office at 515-597-2561 or visit the Clerk's Office, City Administration Building at 515 N. Main Ave. Council agendas are available to the public at the City Clerk's Office on Friday afternoon preceding Monday's Council meeting. Citizens can also request to receive meeting notices and agendas by email by calling the Clerk's Office or sending their request via email.



August 14, 2020

Rita Conner  
City Administrator  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

HUXLEY, IOWA  
WESTVIEW HEIGHTS PLAT 3  
FINAL PLAT

We have reviewed the revised final plat for Westview Heights Plat 3 and find it acceptable with the following comments:

1. Backyard drainage elevations and slopes need to be provided on a separate sheet sealed by a licensed engineer.
2. The easement between Lots 17 and 18 needs to also be labeled as a recreational trail easement and the description added to the legal easement descriptions.
3. Label lot street address numbers.

If you have any questions or comments, please contact us at 225-8000.

VEENSTRA & KIMM, INC.

A handwritten signature in blue ink that reads "Forrest S. Aldrich".

Forrest S. Aldrich

FSA:dml  
45229-053

cc: Jeff Peterson, City of Huxley (email)  
Erin Ollendike, Civil Design Advantage (email)  
Todd Petersen (email)



INDEX LEGEND

LOCATION: OUTLOT 'Z', WESTVIEW HEIGHTS PLAT 2  
 PT SW1/4 SW1/4 SEC 14-82-24  
 PT OUTLOT 'A', WESTVIEW HEIGHTS PLAT 1

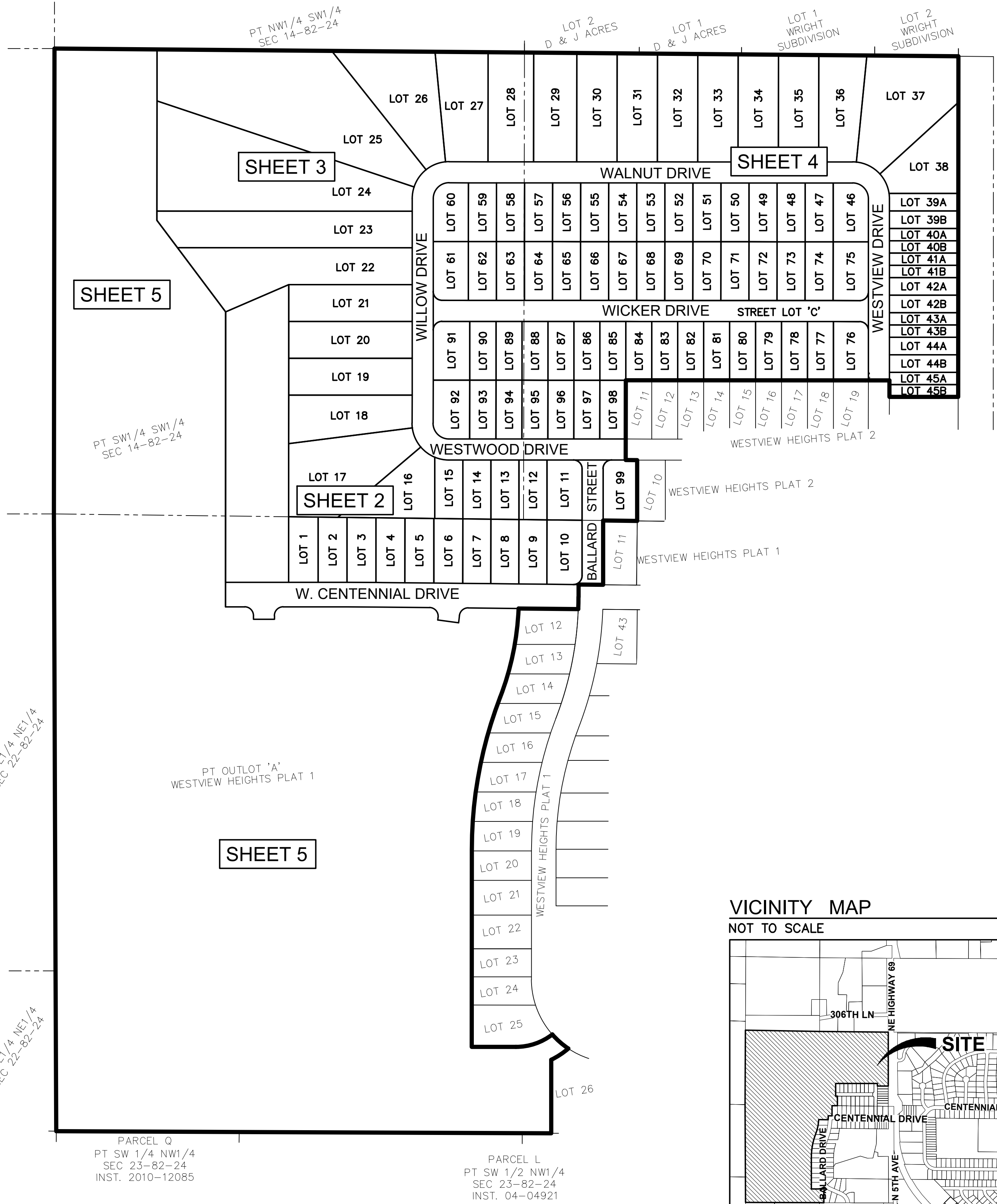
SURVEYOR: MICHAEL A. BROONER  
 SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE

REQUESTOR: HARVESTER LAND HOLDINGS LC  
 PROPRIETOR: WESTVIEW HEIGHTS PHASE II LLC  
 4611 MORTENSEN RD STE 106  
 AMES IA 50014

PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE  
 3405 SE CROSSROADS DR, SUITE G  
 GRIMES, IOWA 50111  
 PH: 515-369-4400

# WESTVIEW HEIGHTS PLAT 3

## FINAL PLAT



**OWNER / DEVELOPER**

WESTVIEW HEIGHTS PHASE II LLC  
 4611 MORTENSEN RD STE 106  
 AMES IA 50014

**ENGINEER / SURVEYOR**

CIVIL DESIGN ADVANTAGE  
 3405 SE CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111

**DATE OF SURVEY**

MARCH 9, 2020

**ZONING**

R-2: SINGLE FAMILY AND DUPLEX RESIDENTIAL DISTRICT

**BULK REGULATIONS**

**R-1 SINGLE FAMILY RESIDENTIAL DISTRICT (LOTS 1-38, 46-75, 91, 92 AND 99)**  
 SETBACKS  
 FRONT YARD: 30'  
 SIDE YARD: 16' (1 1/2 - STORIES - 7' MIN.)  
 20' (2 OR 3 STORIES - 8' MIN)  
 REAR YARD: 25'

**R-1A SINGLE FAMILY RESIDENTIAL DISTRICT (LOTS 76-90 AND 93-98)**  
 SETBACKS  
 FRONT YARD: 30'  
 SIDE YARD: 16' (8 EACH SIDE)  
 REAR YARD: 25'

**R-2A PATIO HOMES RESIDENTIAL DISTRICT (LOTS 39A-45B)**  
 SETBACKS  
 FRONT YARD: 30'  
 SIDE YARD: 8' EXCEPT AT COMMON WALL  
 REAR YARD: 25'

**PLAT DESCRIPTION**

ALL OF OUTLOT 'Z', WESTVIEW HEIGHTS PLAT 2, AN OFFICIAL PLAT, ALL OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 14, TOWNSHIP 82 NORTH, RANGE 24 WEST OF THE FIFTH PRINCIPAL MERIDIAN AND ALL OF OUTLOT 'A', WESTVIEW HEIGHTS PLAT 1, AN OFFICIAL PLAT, ALL IN THE CITY OF HUXLEY, STORY COUNTY, IOWA.

**AREA SUMMARY**

|              |                |                            |
|--------------|----------------|----------------------------|
| SW1/4 SW1/4  | 40.864         | AC (1,780,056 S.F.)        |
| OUTLOT 'Z'   | 29.404         | AC (1,280,879 S.F.)        |
| OUTLOT 'A'   | 52.216         | AC (2,274,529 S.F.)        |
| <b>TOTAL</b> | <b>122.484</b> | <b>AC (5,335,464 S.F.)</b> |

**NOTES**

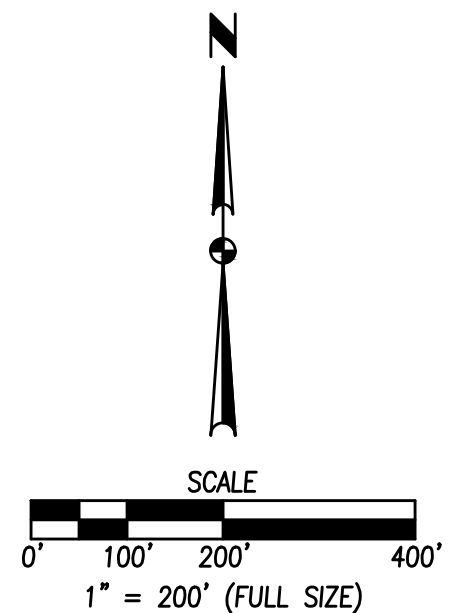
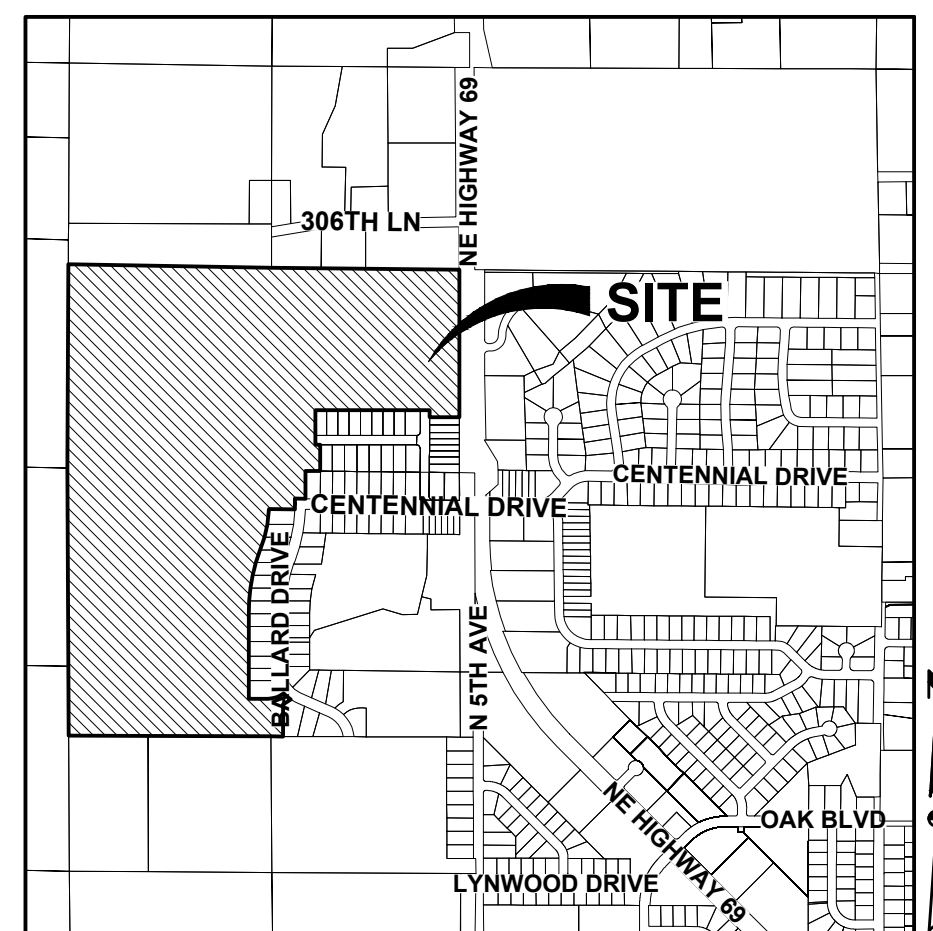
1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.

**CURVE DATA**

| CURVE | DELTA     | RADIUS    | LENGTH  | BEARING     | CHORD   | CURVE | DELTA     | RADIUS  | LENGTH  | BEARING     | CHORD   |
|-------|-----------|-----------|---------|-------------|---------|-------|-----------|---------|---------|-------------|---------|
| M C1  | 2°03'25"  | 965.00'   | 34.64'  | S1°07'08"W  | 34.64'  | C23   | 33°00'31" | 105.00' | 60.49'  | S23°47'23"E | 59.66'  |
| R C2  | 18°42'22" | 965.00'   | 34.64'  | S11°44'15"W | 258.40' | C24   | 90°00'00" | 75.00'  | 117.81' | S44°58'02"E | 106.07' |
| M C3  | 18°42'58" | 795.00'   | 259.55' | S10°33'00"W | 440.84' | C25   | 90°00'00" | 45.00'  | 70.69'  | N44°58'02"W | 63.64'  |
| M C4  | 21°04'47" | 795.00'   | 259.69' | S10°33'00"W | 440.84' | C26   | 71°05'05" | 105.00' | 13.41'  | S3°37'35"E  | 13.40'  |
| R C5  | 21°05'08" | 1205.00'  | 443.33' | N71°08'22"E | 109.80' | C27   | 90°00'00" | 25.00'  | 39.27'  | N45°01'58"E | 35.36'  |
| R C6  | 37°41'00" | 170.00'   | 111.81' | S48°37'48"E | 60.81'  | C28   | 90°00'00" | 25.00'  | 39.27'  | S44°58'02"E | 35.36'  |
| M C7  | 14°52'08" | 235.00'   | 60.98'  | S56°42'32"W | 58.32'  | C29   | 90°00'00" | 25.00'  | 39.27'  | S45°01'58"W | 35.36'  |
| M C8  | 66°04'38" | 235.00'   | 61.09'  | S48°21'21"W | 33.61'  | C30   | 90°00'00" | 25.00'  | 39.27'  | N44°58'02"W | 35.36'  |
| M C9  | 14°34'06" | 230.00'   | 58.48'  | S48°21'21"W | 33.61'  | C31   | 18°27'27" | 105.00' | 33.83'  | S91°5'41"W  | 33.68'  |
| M C10 | 14°32'36" | 230.00'   | 61.09'  | S6°48'44"W  | 19.99'  | C32   | 33°00'31" | 105.00' | 60.49'  | S34°59'40"W | 59.66'  |
| R C11 | 84°28'01" | 25.00'    | 36.86'  | N4°50'58"E  | 74.05'  | C33   | 5°31'30"  | 105.00' | 10.13'  | S87°16'13"W | 10.12'  |
| C12   | 1°22'47"  | 830.00'   | 19.99'  | N7°13'20"E  | 7.52'   | C34   | 90°00'00" | 75.00'  | 117.81' | S45°01'58"W | 106.07' |
| C13   | 5°18'20"  | 800.00'   | 74.08'  | N41°14'03"W | 37.26'  | C35   | 90°00'00" | 45.00'  | 70.69'  | N45°01'58"E | 63.64'  |
| C14   | 0°33'34"  | 770.00'   | 7.52'   | N89°41'20"W | 96.79'  | C36   | 5°38'07"  | 105.00' | 10.33'  | N87°08'58"W | 10.32'  |
| C15   | 0°33'24"  | 9965.00'  | 96.79'  | S89°41'20"E | 97.13'  | C37   | 41°56'34" | 105.00' | 76.86'  | N63°21'38"W | 75.16'  |
| C16   | 0°33'24"  | 10000.00' | 97.13'  | S45°01'58"W | 35.36'  | C38   | 90°00'00" | 75.00'  | 117.81' | N44°58'02"W | 106.07' |
| C17   | 90°00'00" | 25.00'    | 39.27'  | N44°58'02"W | 35.36'  | C39   | 90°00'00" | 45.00'  | 70.69'  | S44°58'02"E | 63.64'  |
| C18   | 90°00'00" | 25.00'    | 39.27'  | N44°58'02"W | 35.36'  | C40   | 33°54'12" | 105.00' | 62.13'  | N25°26'14"W | 61.23'  |
| C19   | 0°27'56"  | 10035.00' | 81.53'  | N89°44'04"W | 81.53'  | C41   | 8°31'06"  | 105.00' | 15.61'  | N41°3'35"W  | 15.60'  |
| C20   | 0°05'28"  | 10035.00' | 15.94'  | N89°27'22"W | 15.94'  | C42   | 5°07'51"  | 765.00' | 68.51'  | N8°22'10"E  | 68.48'  |
| C21   | 90°34'29" | 25.00'    | 39.52'  | S45°18'07"W | 35.53'  | C43   | 58°54'37" | 25.00'  | 25.70'  | N59°57'20"W | 24.59'  |
| C22   | 89°58'54" | 25.00'    | 39.26'  | S44°58'35"E | 35.35'  |       |           |         |         |             |         |
| C23   | 90°01'06" | 25.00'    | 39.28'  | N45°01'25"E | 35.36'  |       |           |         |         |             |         |
| C24   | 22°39'57" | 105.00'   | 41.54'  | S78°38'04"E | 41.27'  |       |           |         |         |             |         |
| C25   | 27°00'26" | 105.00'   | 49.49'  | S53°47'52"E | 49.04'  |       |           |         |         |             |         |

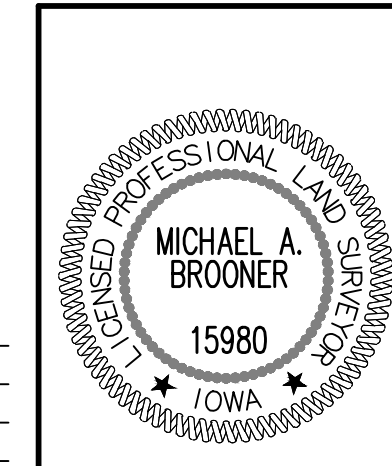
**VICINITY MAP**

NOT TO SCALE



**LEGEND**

| FOUND  | SET    |   |
|--|--------|---|
| SECTION CORNER AS NOTED  | ▲      | △ |
| 1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED) | ●      | ○ |
| MEASURED BEARING & DISTANCE                                    | M      |   |
| RECORDED BEARING & DISTANCE                                    | R      |   |
| DEEDED BEARING & DISTANCE                                      | D      |   |
| PUBLIC UTILITY EASEMENT  | P.U.E. |   |
| CURVE ARC LENGTH   | AL     |   |
| LOT ADDRESS  | (1234) |   |
| CENTERLINE   | ---    |   |
| SECTION LINE   | ----   |   |
| EASEMENT LINE  | -.-.-  |   |
| BUILDING SETBACK LINE  | ----   |   |
| PLAT BOUNDARY  | =====  |   |



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROONER, P.L.S. DATE \_\_\_\_\_

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2020  
 PAGES OR SHEETS COVERED BY THIS SEAL:  
 THIS SHEET

FILE: H:\2019\1906296\1906296-FINAL PLATING.DWG DATE: 8/7/2020 11:14 AM  
 PLOTTED BY: JAK BROONER

DATE: \_\_\_\_\_

REVISIONS: \_\_\_\_\_

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

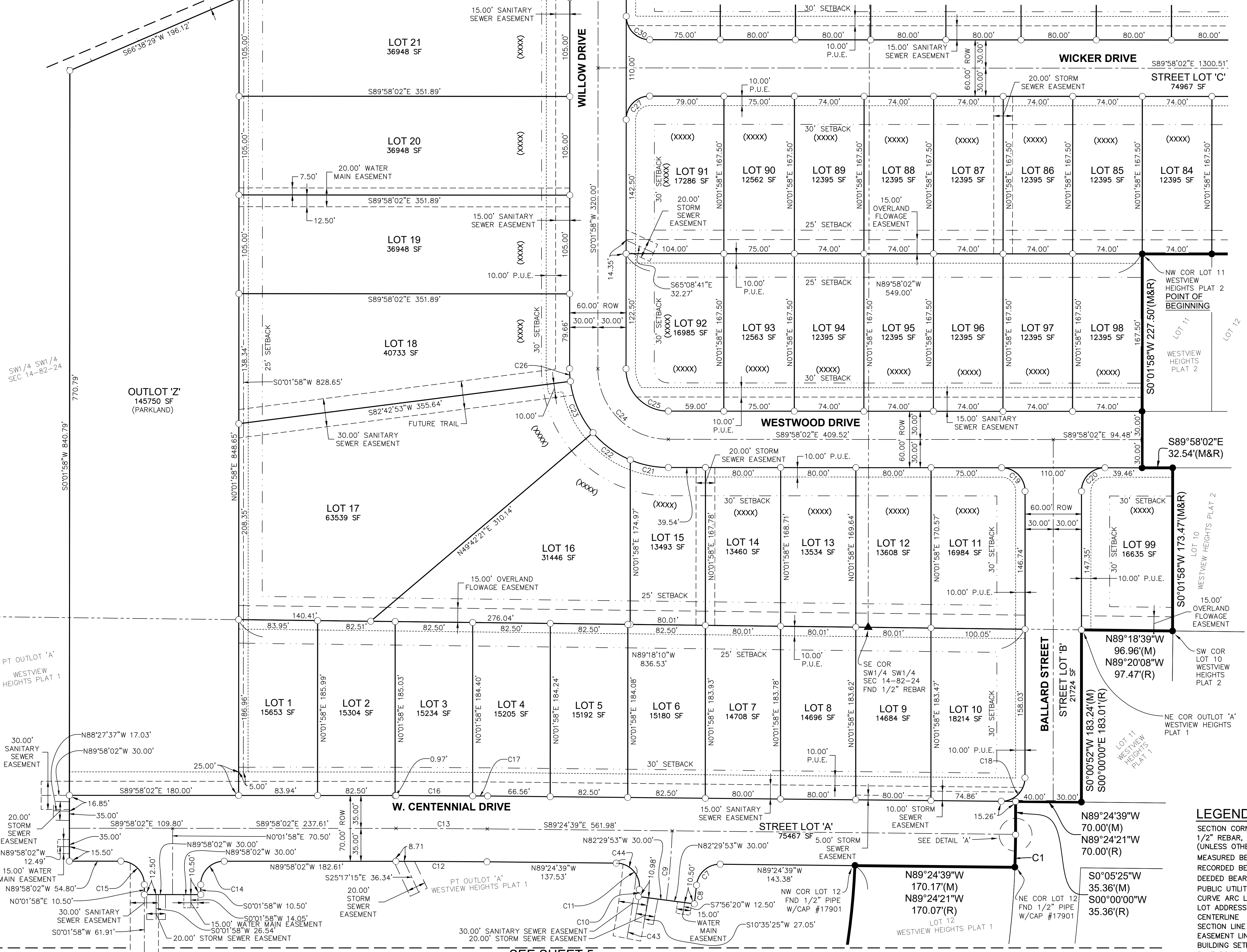
ENGINEER: \_\_\_\_\_ TECH: JAE REVIEW: \_\_\_\_\_

**WESTVIEW HEIGHTS PLAT 3**  
**FINAL PLAT**

1 / 5  
 1906.296



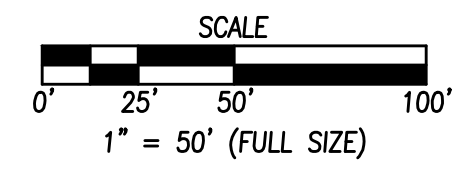
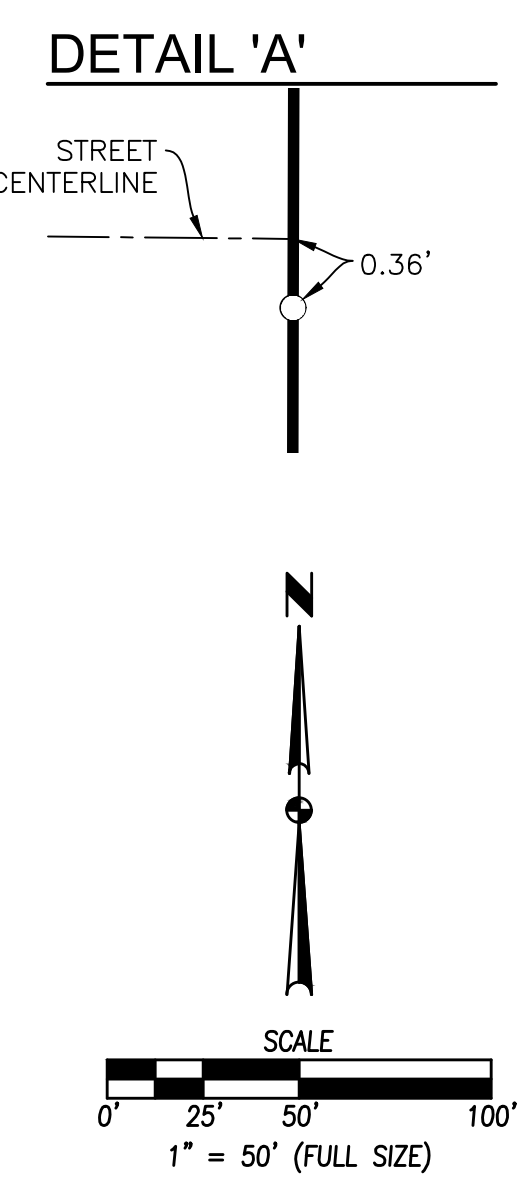
SEE SHEET 3



SEE SHEET 4

SEE SHEET 5

SEE SHEET 5



**LEGEND**

| FOUND  | SET    |   |
|--|--------|---|
| SECTION CORNER AS NOTED  | ▲      | △ |
| 1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED) | ●      | ○ |
| MEASURED BEARING & DISTANCE                                    | M      | R |
| RECORDED BEARING & DISTANCE                                    | M      | R |
| DEEDED BEARING & DISTANCE                                      | D      |   |
| PUBLIC UTILITY EASEMENT  | P.U.E. |   |
| CURVE ARC LENGTH   | AL     |   |
| LOT ADDRESS  | (1234) |   |
| CENTERLINE   | ---    |   |
| SECTION LINE   | ---    |   |
| EASEMENT LINE  | ---    |   |
| BUILDING SETBACK LINE  | ---    |   |
| PLAT BOUNDARY  | ---    |   |

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 CHECKED BY: JAE  
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 PLOT: 1906296-FINAL PLATING

**WESTVIEW HEIGHTS PLAT 3**  
**FINAL PLAT**

HUXLEY, IOWA

3405 S.E. CROSSROADS DRIVE, SUITE G  
 GRIMES, IOWA 50111  
 PHONE: (515) 369-4400 FAX: (515) 369-4410

ENGINEER: JAE  
 TECH: JAE  
 REVIEW: JAE

DATE: 8/7/2020  
 REVISIONS: [REVISIONS TABLE]  
 FIRST SUBMITTAL

1906.296

# WESTVIEW HEIGHTS PLAT 3

## FINAL PLAT

PT NW1/4 SW1/4  
SEC 14-82-24

NW COR OUTLOT 'Z'  
WESTVIEW HEIGHTS PLAT 2  
& NE COR SW1/4 SW1/4  
SEC 14-82-24

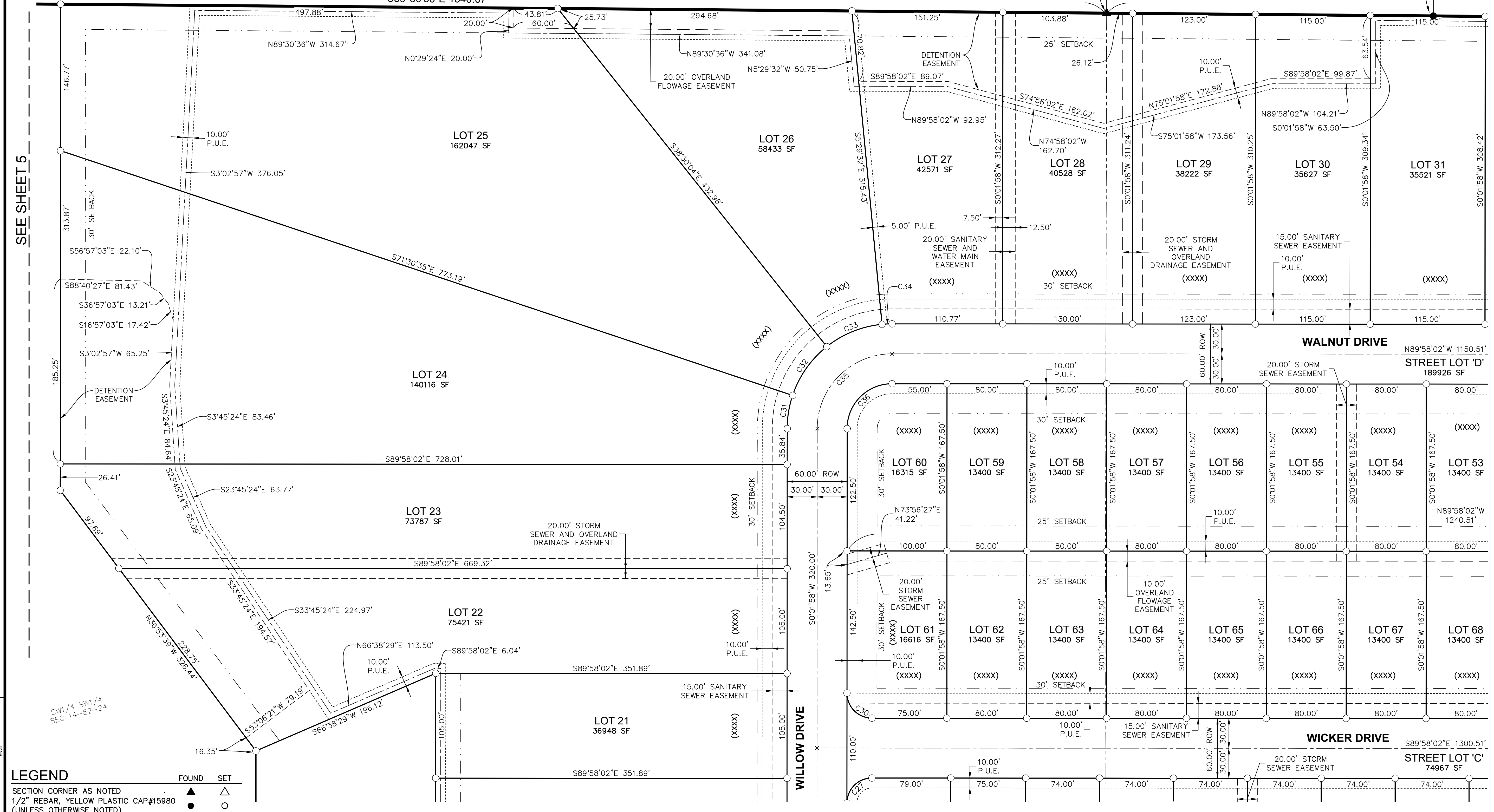
LOT 2  
D & J ACRES

SE COR LOT 2  
D & J ACRES  
FND 1/2" REBAR  
(BENT)

LOT 1  
D & J ACRES

SEE SHEET 5

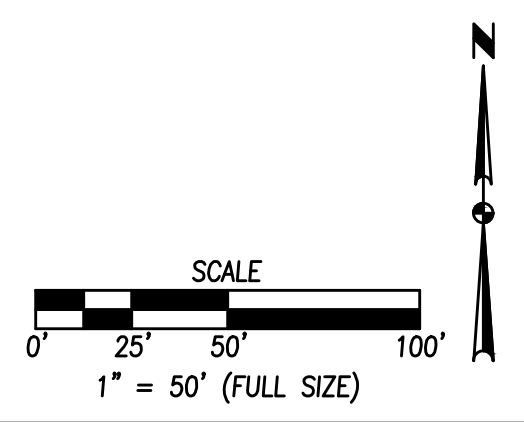
SEE SHEET 4



**LEGEND**

| FOUND  | SET    |
|--------|--------|
| ▲      | △      |
| ●      | ○      |
| M      | M      |
| R      | R      |
| D      | D      |
| P.U.E. | P.U.E. |
| AL     | AL     |
| (1234) | (1234) |

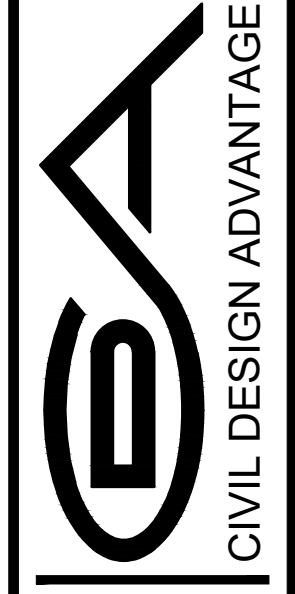
SECTION CORNER AS NOTED  
1/2" REBAR, YELLOW PLASTIC CAP#15980  
(UNLESS OTHERWISE NOTED)  
MEASURED BEARING & DISTANCE  
RECORDED BEARING & DISTANCE  
DEEDED BEARING & DISTANCE  
PUBLIC UTILITY EASEMENT  
CURVE ARC LENGTH  
LOT ADDRESS  
CENTERLINE  
SECTION LINE  
EASEMENT LINE  
BUILDING SETBACK LINE  
PLAT BOUNDARY



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DATE PLOTTED: 8/7/2020 11:14 AM  
DRAWN BY: JAK BRODHL  
CHECKED BY: JAK BRODHL

| REVISIONS | DATE     |
|-----------|----------|
|           | 07/15/20 |

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GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410  
TECH: JAE REVIEW:   
ENGINEER:   
FIRST SUBMITTAL

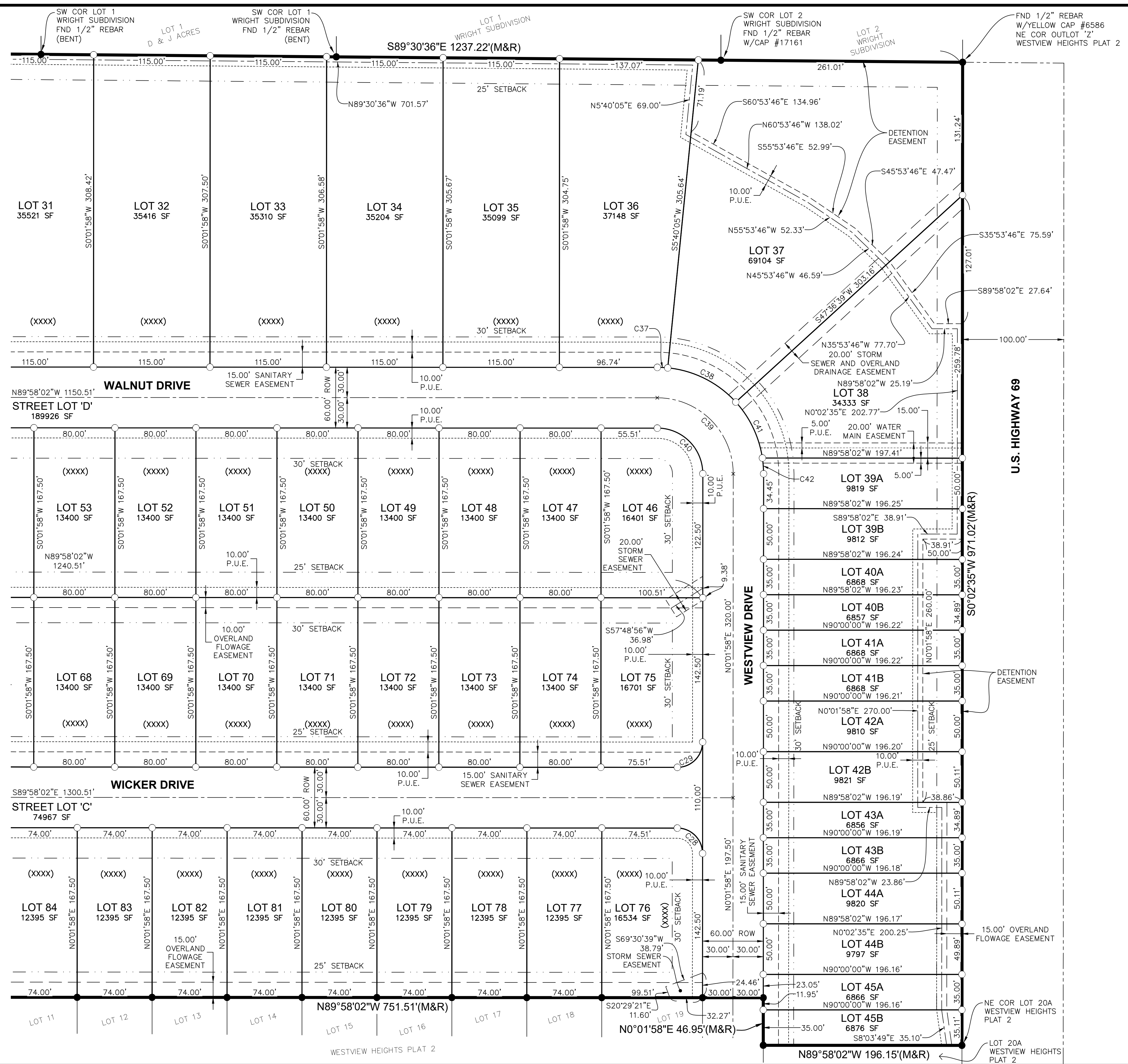


HUXLEY, IOWA

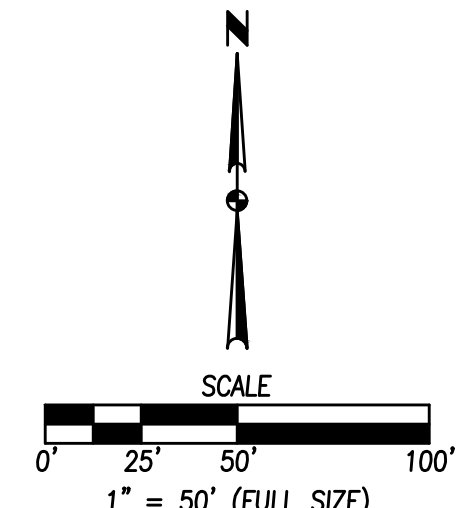
**WESTVIEW HEIGHTS PLAT 3**  
**FINAL PLAT**

# WESTVIEW HEIGHTS PLAT 3

## FINAL PLAT



SEE SHEET 3



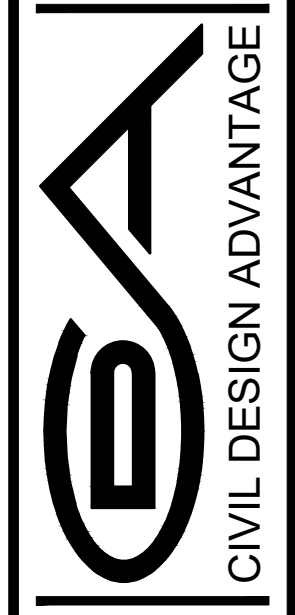
**LEGEND**

|   | FOUND  | SET |
|---|--------|-----|
| SECTION CORNER AS NOTED                                       | ▲      | △   |
| 1/2" REBAR, YELLOW PLASTIC CAP#15980 (UNLESS OTHERWISE NOTED) | ●      | ○   |
| MEASURED BEARING & DISTANCE                                   | M      |     |
| RECORDED BEARING & DISTANCE                                   | R      |     |
| DEEDED BEARING & DISTANCE                                     | D      |     |
| PUBLIC UTILITY EASEMENT                                       | P.U.E. |     |
| CURVE ARC LENGTH  | AL     |     |
| LOT ADDRESS   | (1234) |     |
| CENTERLINE  | ---    |     |
| SECTION LINE  | ---    |     |
| EASEMENT LINE   | ---    |     |
| BUILDING SETBACK LINE   | ---    |     |
| PLAT BOUNDARY   | ---    |     |

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| DATE | REVISIONS | DATE     |
|------|-----------|----------|
|      |           | 07/15/20 |

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**WESTVIEW HEIGHTS PLAT 3**  
**FINAL PLAT**

4 / 5

1906.296

ENGINEER: [Signature] REVIEW: [Signature]

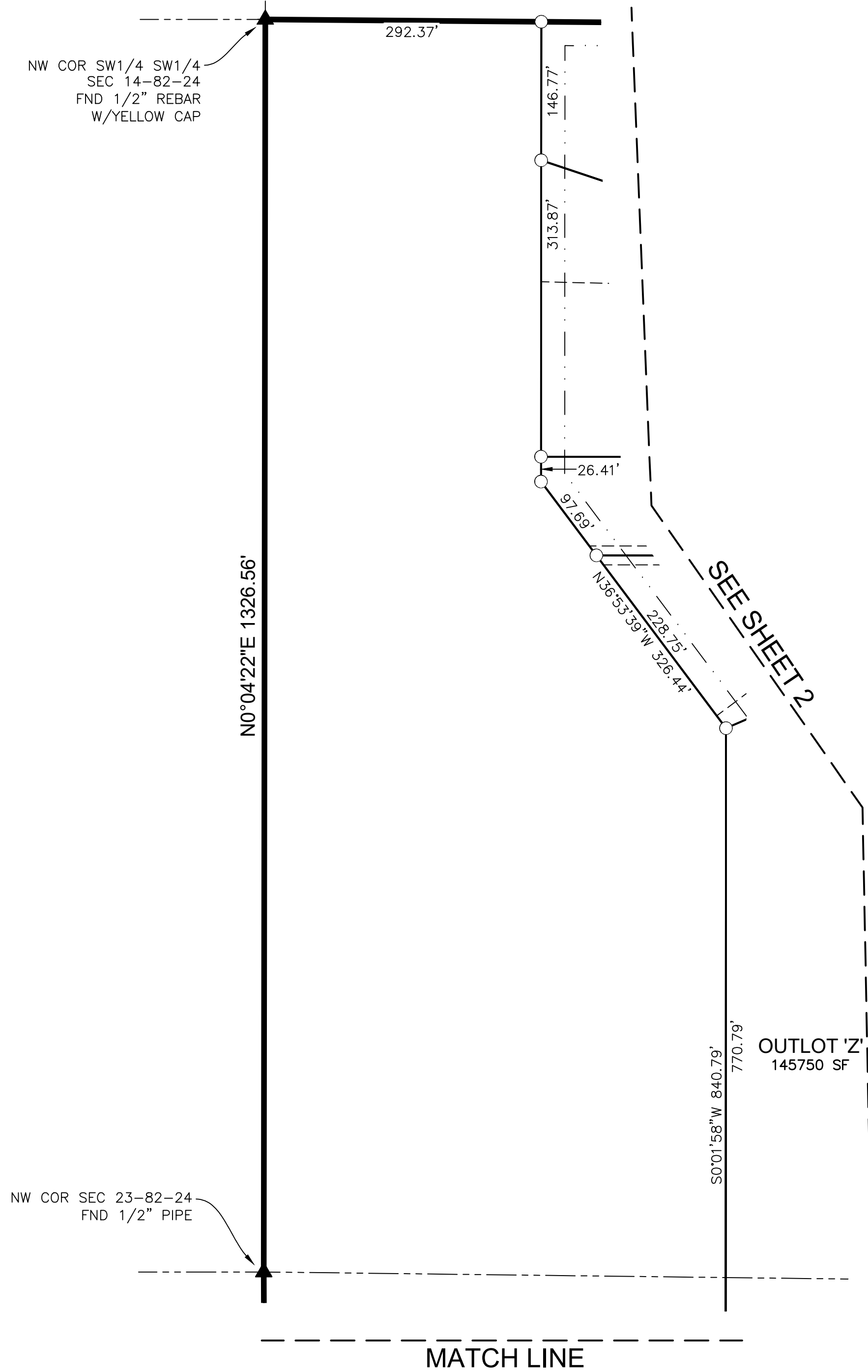
TECH: JAE

HUXLEY, IOWA



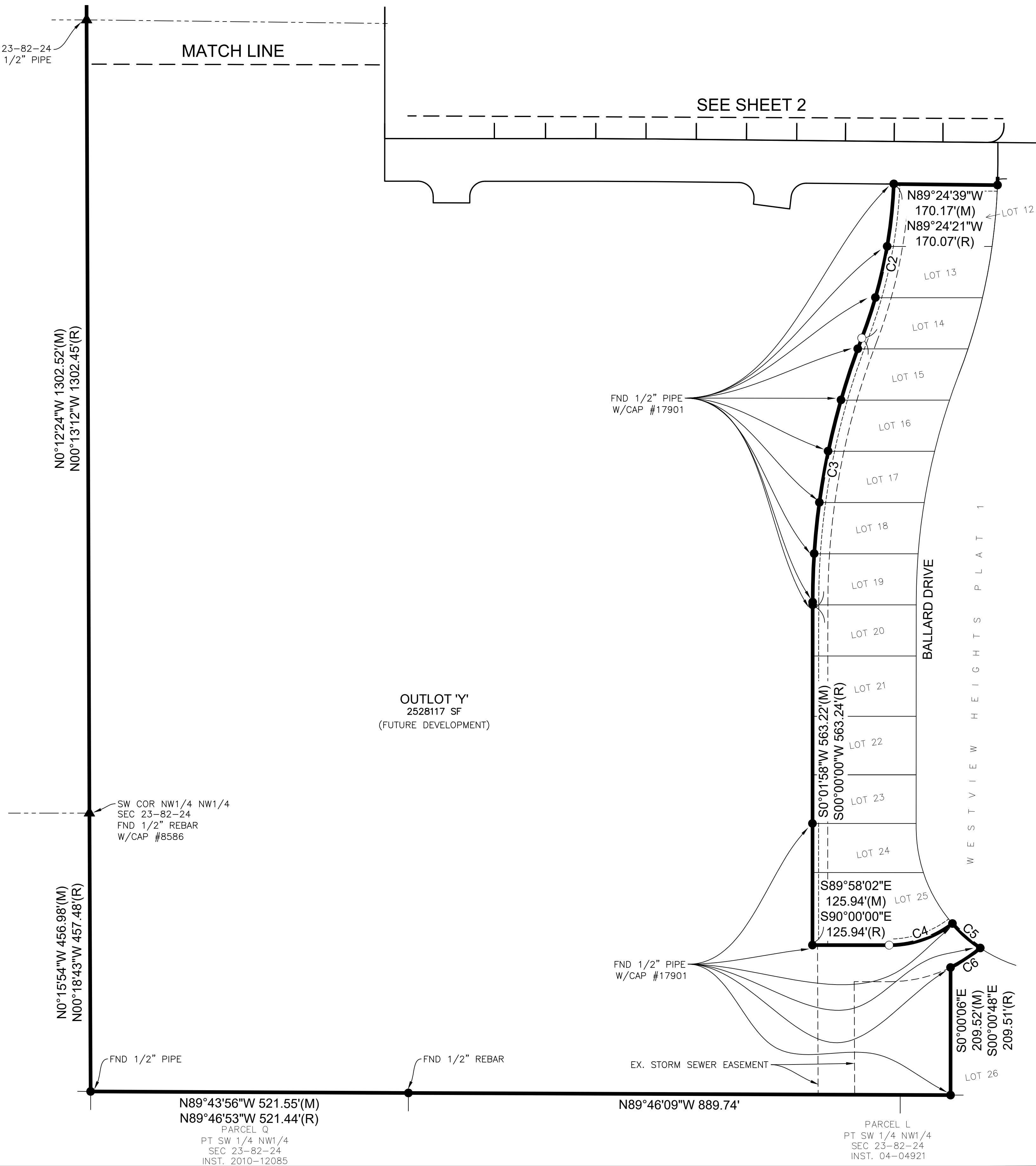
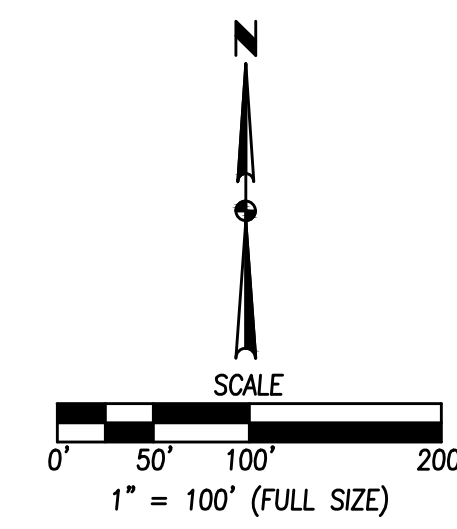
# WESTVIEW HEIGHTS PLAT 3

FINAL PLAT



**LEGEND**

|  | FOUND  | SET |
|--|--------|-----|
| SECTION CORNER AS NOTED  | ▲      | △   |
| 1/2" REBAR, YELLOW PLASTIC CAP #15980 (UNLESS OTHERWISE NOTED) | ●      | ○   |
| MEASURED BEARING & DISTANCE                                    | M      |     |
| RECORDED BEARING & DISTANCE                                    | R      |     |
| DEEDED BEARING & DISTANCE                                      | D      |     |
| PUBLIC UTILITY EASEMENT  | P.U.E. |     |
| CURVE ARC LENGTH   | AL     |     |
| LOT ADDRESS  | (1234) |     |
| CENTERLINE   | ---    |     |
| SECTION LINE   | ---    |     |
| EASEMENT LINE  | ---    |     |
| BUILDING SETBACK LINE  | ---    |     |
| PLAT BOUNDARY  | ---    |     |

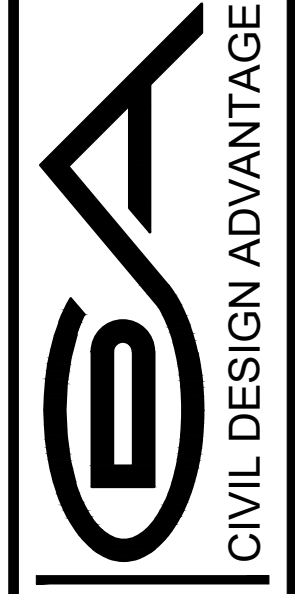


DATE

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HUXLEY, IOWA

**WESTVIEW HEIGHTS PLAT 3**  
**FINAL PLAT**