

# CITY OF HUXLEY

MONDAY \*\* NOVEMBER 26, 2018 \*\* CITY HALL \*\* 5:30 P.M.  
HUXLEY CITY COUNCIL CHAMBERS

A SESSION OF THE CITY OF HUXLEY'S  
PLANNING AND ZONING COMMISSION

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PUBLIC NOTICE IS HEREBY GIVEN THAT THE PLANNING AND ZONING COMMISSION OF THE CITY OF HUXLEY, IOWA, WILL MEET IN THE HUXLEY CITY COUNCIL CHAMBERS, 515 NORTH MAIN AVE., HUXLEY, IOWA, AT 5:30 P.M. ON MONDAY THE 26TH DAY OF NOVEMBER, 2018 TO CONSIDER THE MATTERS ENUMERATED IN THE AGENDA BELOW:

1.0) ROLL CALL

**COMMISSION AGENDA ITEMS:**

2.0) MOTION TO APPROVE THE MINUTES FROM THE FOLLOWING MEETINGS:

2.1) October 8, 2018 – Meeting

3.0) PUBLIC HEARING: NONE

4.0) DISCUSSION AND RECOMMENATION ITEMS:

4.1) DISCUSSION AND RECOMMENDATION ON SITE PLAN FOR LANDSCAPE BY DESIGN.

- PRESENTATION
- DISCUSSION
- RECOMMENDATION

4.2) DISCUSSION AND RECOMMENDATION ON SITE PLAN FOR MR. STORAGE/PACIFIC DRYWALL.

- PRESENTATION
- DISCUSSION
- RECOMMENDATION

4.3) DISCUSSION AND RECOMMENDATION ON AMENDED URBAN RENEWAL PLAN.

5.0) MISCELLANEOUS

6.0) COMMENTS AND UPDATES

7.0) ADJOURNMENT

THIS NOTICE IS HEREBY GIVEN AT LEAST 24 HOURS PRIOR TO THE COMMENCEMENT OF THE MEETING SPECIFIED ABOVE. THIS WAS DONE BY ADVISING THE NEWS MEDIA WHO HAVE FILED A REQUEST FOR NOTICE AND BY POSTING THE NOTICE ON THE FRONT WINDOW IN THE LOBBY AREA IN CITY HALL THAT IS ACCESSIBLE TO THE PUBLIC. THIS WAS ALL PURSUANT TO CHAPTER 21 OF THE CODE OF IOWA.



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John Haldeman, City Administrator/Zoning Administrator

# MINUTES



# Planning and Zoning Commission Minutes

Monday October 8, 2018  
Huxley Council Chambers  
7:00 P.M.

## 1.0) CALL TO ORDER AND ROLL CALL:

Chairman Roger Bierbaum called the P&Z Meeting to order at 7:00 PM. P&Z members present:

Roger Bierbaum	<input checked="" type="checkbox"/>	Larry Wilson	<input type="checkbox"/>
Cheryl Patterson	<input checked="" type="checkbox"/>	Joe Scott	<input checked="" type="checkbox"/>
Mike Schonhorst	<input checked="" type="checkbox"/>	Nate Easter	<input checked="" type="checkbox"/>
Gordon Mosher	<input checked="" type="checkbox"/>		

Staff present: John Haldeman-Zoning Administrator

Amy Kaplan-Zoning Clerk

Consultants present: Jim Nervig-City Attorney

Jeremy Enano -City Engineer

Guests present: John Knapp, Roger Wheeler, Sayma Khajehei, Daria Kuznetsova, Aya Higuchi, David John, Matt Diemer, Corey Kortz, Eric Cannon

## COMMISSION AGENDA ITEMS:

### 2.0) MOTION TO APPROVE THE MINUTES FROM THE FOLLOWING MEETING:

2.1) JUNE 4, 2018 REGULAR MEETING - Motion by Patterson and seconded by Easter to approve minutes. Roll was taken. 6 AYE. 0 NAY

### 3.0) PUBLIC HEARING: None

### 4.0) DISCUSSION AND RECOMMENDATION ITEMS:

4.1) DISCUSSION ONLY ON CONCEPT SITE PLAN FOR LANDSCAPE BY DESIGN: The site plan is underway. After reviewing the rough draft, it was discussed that the sidewalks need to be 5 feet in width and future sidewalks (needed when the surrounding lots develop) need to be indicated on the plans. The plans also need to show the utility easement(s) and storm water calculations are needed. Landscapes by Design felt this was helpful information. Their intent is to have the construction drawings done in thirty days, and if approved by council, to begin building at the end of November.

4.2) DISCUSSION ONLY ON CONCEPT OF A RESIDENTIAL DEVELOPMENT: Concept consists of R1A zoning, 55ft wide lots, 40ft wide homes, 2 stall garages, approx. 1,200 sq. foot ranch plans and 1,600 sq. ft. 2 story plans, priced at \$220,000-\$250,000. Discussion took place around the R1A zoning as it has proven in the past to be an ongoing issue when families outgrow the smaller homes and need larger homes/garages. The Commission would like to see the families stay in Huxley, so they questioned "what's next?" after they outgrow their home in an R1A zoned development.

**4.3) DISCUSSION OLD TOWN:** The commission discussed the meeting with the Main Avenue property owners. They would like development/business ideas out of the next meeting instead of the event/clean up ideas originally discussed.

**4.4) DISCUSSION ON UPDATE ON COMP PLAN FOR 2018:** On Tuesday October 16, 2018, Iowa State students will distribute 700 surveys to every other household in town. Two weeks will be given to complete the survey electronically or by paper. A public meeting will be held in November to share the results. The results will help the students complete the Comp Plan.

**5.0) MISCELLANEOUS:** Motion by Easter and seconded by Schonhorst to adopt the displayed zoning maps as official zoning maps of the City. 6 AYE. 0 NAY.

**6.0) COMMENTS AND UPDATES:**

- Highway 69 Motors going into Ballard Plaza
- John is talking with a company to get drone photos of the City. The cost is approximately \$2,500
- Kreg Tool will be moving out of Huxley in 2020.

**7.0) ADJOURNMENT** – Motion by Schonhorst to adjourn at 8:05 PM, seconded by Mosher. 6 AYE. 0 NAY.

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Amy Kaplan, Zoning Clerk

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Roger Bierbaum, Chairman

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Date of Approval

## **4.1 LANDSCAPE BY DESIGN**



**VEENSTRA & KIMM, INC.**

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-0000 (WATS)

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November 21, 2018

John Haldeman  
City Administrator  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

HUXLEY, IOWA  
LANDSCAPES BY DESIGN  
INDUSTRIAL PARK LOT 11  
SITE PLAN

We have reviewed the site plan for Landscapes by Design located in the Huxley Industrial Park and find it acceptable provided the following items are completed and decided:

1. On Sheet SP5, sanitary sewer note 2, change from SDR 26 to SDR 23.5.
2. On Sheet SP5, water note 7, change from pvc to copper.
3. Change 4-inch SS to 6-inch SS on Sheets SP3 and SP5.
4. Provide layout, elevations and grades for the pedestrian curb ramp in the northeast corner of the site. A ramp will also need to be to the east across Main Avenue to provide a landing area. The ramp to the north across Snyder Drive will be installed by others.
5. On Sheet SP5 move the water service curb box to the property line.
6. Provide elevation view of the building showing building dimension, height and materials.
7. In a table on the plans show the number of parking stalls required and the number of parking stalls provided.

John Haldeman  
November 21, 2018  
Page 2

8. All parking areas are to be surfaced with asphalt or concrete. The gravel lot will need to be paved with hard surfacing or have a variance requested of the City Council.

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:dml  
45229-034

cc: Jeff Peterson, City of Huxley (e-mail)  
Jordan Olson, Olsson Associates (e-mail)  
David John, Landscape by Design (e-mail)

# LANDSCAPES BY DESIGN INC. OFFICE FACILITY

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET INDEX:  
SP0 COVER SHEET  
SP1 DEMO PLAN  
SP2 LAYOUT PLAN  
SP3 GRADING PLAN  
SP4 LANDSCAPING PLAN  
SP5 LANDSCAPING PLAN  
SP6.1 DETAILS SHEET  
E.1.1 EXTERIOR LIGHTING PLAN

LEGAL DESCRIPTION  
LOT ELEVEN(11),HUXLEY DEVELOPEMENT CORPORATION,  
PLAT 3, HUXLEY, STORY COUNTY, IOWA

PROPERTY ADDRESS  
PLAT 3 LOT:11, SNYDER DRIVE, HUXLEY, IA 50124

OWNER/PREPARED FOR:  
LANDSCAPES BY DESIGN INC.  
C/O DAVID JOHN, JUSTIN FROELICH, MATT DIEMER  
PO BOX 506, SLATER, IA 50244  
P. 515.685.2508, F. 515.685.2535

BUILDING CONTRACTOR

PLUMBER

ELECTRICIAN

SITE PREP CONTRACTOR

CONTACTS FOR INSPECTION  
WATER AND SEWER, KEITH VITZTHUM, CITY OF HUXLEY,  
515-290-7512  
GAS AND ELECTRIC, JACOB CLARK, ALLIANT ENERGY,  
515-268-4412  
PHONE AND CABLE, BRANT STRUMPFER, HUXLEY COMM,  
515-203-6716

PARKING REQUIREMENTS  
PARKING REQUIRED \_\_\_% OF GROSS FLOOR SPACE  
REQUIRED;  
ADA REQUIRED: 2 STALLS  
PARKING PROVIDED:

GREENSPACE REQUIREMENTS  
20% GREENSPACE REQUIRED  
LOT 11 = 203,563.71 SF(4.67 ACRES)  
OPEN SPACE REQUIRED = 40,712.74 SF  
OPEN SPACE PROVIDED = 131,810.21 SF(65%)

IMPERVIOUS SURFACE  
LOT 11 = 203,563.71 SF(4.67 ACRES)  
IMPERVIOUS SURFACE = 44,792 SF

## GENERAL NOTES

1. ALL WORK SHALL CONFORM TO SUDAS 2017 EDITION, AND ALL LOCAL, STATE, AND FEDERAL APPLICABLE LAWS AND REGULATIONS.
2. THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT ALL TIMES ONE (1) SIGNED COPY OF THE PLANS, STANDARDS, AND SPECIFICATIONS AS APPROVED BY THE APPROPRIATE GOVERNING AGENCY AND OWNER. THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THESE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER, ENGINEER, AND GOVERNING AGENCY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE SAFETY ON THE PROJECT. THIS SHALL INCLUDE THE SAFETY OF HIS OWN PERSONNEL, SUBCONTRACTORS, ALL VISITORS TO THE SITE, AND THE GENERAL PUBLIC. ALL JOB SITE SAFETY SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND CODES, AND ENSURE COMPLIANCE INCLUDING, BUT NOT LIMITED TO, THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.
4. THE CONTRACTOR SHALL CONTACT IOWA ONE-CALL AT #811 OR 800-292-8989 A MINIMUM OF 48 HOURS (EXCLUDING WEEKENDS AND HOLIDAYS) IN ADVANCE OF ANY EXCAVATION.
5. THE LOCATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THE PLANS ARE APPROXIMATE AND HAVE BEEN SHOWN FROM AVAILABLE SURVEYS AND/OR RECORDS. THERE MAY BE ADDITIONAL UTILITIES PRESENT, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE, EXACT LOCATION/SIZE, ADEQUATELY PROTECT/SUPPORT, AND TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL INCLUDE, AT NO ADDITIONAL COST, ANY POT-HOLING OR EXPLORATORY EXCAVATIONS NECESSARY TO LOCATE EXISTING UTILITIES. UTILITIES SHALL BE LOCATED SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING FACILITIES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE GOVERNING AGENCY AND/OR THE UTILITY OWNER.
6. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE INDICATED IN THE PLANS, AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES SHOWN IN THE PLANS AND/OR SPECIFICATIONS. DO NOT SCALE DRAWINGS - USE ONLY DIMENSIONS PROVIDED ON THESE PLANS.
8. ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR DETERMINING ACTUAL QUANTITIES, AND SHALL PROVIDE ALL WORK AND MATERIALS NECESSARY TO CONSTRUCT THE PROJECT IN ITS ENTIRETY.
9. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL AND THOSE IMPROVEMENTS THAT ARE OUTSIDE THE LIMITS OF THE PROPOSED CONSTRUCTION. CONTRACTOR SHALL TAKE CARE TO AVOID DAMAGE THERETO AND SHALL PROVIDE TEMPORARY FENCING, BARRICADES, SUPPORTS, RESTRAINTS, AND /OR BRACING WHERE REQUIRED TO PROTECT EXISTING IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPAIRED AND/OR REPLACED TO EQUAL OR BETTER CONDITION AT THE CONTRACTOR'S EXPENSE.
10. ALL GRADING AND CONSTRUCTION ACTIVITIES SHALL BE CONFINED TO THE OWNER'S PROPERTY, PUBLIC RIGHT-OF-WAY, PERMANENT EASEMENTS, AND TEMPORARY CONSTRUCTION EASEMENTS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES AND LOCAL FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS/FIRE SUPPRESSION TAKEN OUT OF SERVICE AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY AND SHALL PROPERLY PROTECT AND BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE. STORAGE, LOSS DUE TO THEFT, OR VANDALISM OF MATERIALS AND EQUIPMENT (SECURED OR UNSECURED) WILL BE SOLELY AT THE CONTRACTOR'S EXPENSE.
14. TEMPORARY POWER, TELEPHONE, AND WATER FOR THE SITE IS THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED.
15. CONTRACTOR SHALL REFER TO OTHER DRAWINGS ISSUED BY ARCHITECT, STRUCTURAL, ELECTRICAL, AND MECHANICAL ENGINEERS. ENSURE COORDINATION OF EXACT LOCATION AND DIMENSIONS OF BUILDINGS, EXITS, RAMPS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES.
16. THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF CONTROLLING TRAFFIC THROUGH CONSTRUCTION ZONES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD, AND ALL REVISIONS THERETO INCLUDING LOCAL AND STATE SUPPLEMENTS. ADDITIONAL WORK IN THE RIGHT-OF-WAY OR TRAFFIC CONTROL PERMITS MAY BE NECESSARY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
17. IF UNANTICIPATED HAZARDOUS MATERIALS OF ANY KIND ARE ENCOUNTERED IN THE WORK, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL CONSTRUCTION OPERATIONS AND NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
18. ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED OF PROPERLY AND LEGALLY.
19. DURING DEMOLITION OPERATIONS, THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES USING MEANS OF THEIR CHOICE.
20. THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CONSTRUCTION STORMWATER PERMIT. THE CONTRACTOR(S) MUST ADHERE TO GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES AT ALL TIMES. GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES FOCUS ON KEEPING THE WORK SITE CLEAN AND ORDERLY WHILE HANDLING MATERIALS AND WASTE IN A MANNER THAT ELIMINATES THE POTENTIAL FOR POLLUTANT RUNOFF.
21. IN ORDER TO ATTAIN FINAL CERTIFICATION OF OCCUPANCY APPROVAL, DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/OR THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PRESERVATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).
22. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF HUXLEY TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.

## PLUMBING NOTES

1. PROVIDE AN INSTALL WATTS RPZ BACKFLOW ASSEMBLY FOR WATER SERVICE INSIDE THE BUILDING
2. DETERMINE WHETHER A FIRE LINE IS NEEDS TO BE INSTALLED

## TRAFFIC ANALYSIS

SEASONAL TRAFFIC ( MARCH THROUGH NOVEMBER) (MONDAY THROUGH FRIDAY)  
DAILY EMPLOYEES (10 - 15 AVG): 10-15 IN @ 6:30-7AM / OUT @ 6PM PER DAY 20-30 TRIPS PER DAY  
DAILY LBD TRUCK TRAFFIC (4-8 AVG): 4-8 OUT @ 8AM/ IN @ 5PM PER DAY LBD 1 TON TRUCKS AND TRAILERS 8-16 TRIPS PER DAY  
WEEKLY VISITORS (5-10 AVG): 5-10 BETWEEN 8AM - 5PM PER WEEK (M-F) CUSTOMERS, SALES REPS 5-10 TRIPS PER WEEK  
WEEKLY DELIVERIES (2-5 AVG): 2-5 BETWEEN 8AM - 5PM PER WEEK (M-F) LANDSCAPE MATERIALS, OFFICE SUPPLY 2-5 TRIPS PER WEEK

OFF SEASON TRAFFIC ( DECEMBER THROUGH FEBRUARY) (MONDAY THROUGH FRIDAY)  
DAILY EMPLOYEES (4 - 8 AVG): 4-8 IN @ 6:30-7AM / OUT @ 5PM PER DAY 8-16 TRIPS PER DAY  
DAILY LBD TRUCK TRAFFIC (1-2 AVG): 1-2 OUT @ 8AM/ IN @ 4PM PER DAY LBD 1 TON TRUCKS 2-4 TRIPS PER DAY  
WEEKLY VISITORS (1-4 AVG): 1-4 BETWEEN 8AM - 5PM PER WEEK (M-F) CUSTOMERS, SALES REPS 1-4 TRIPS PER WEEK  
WEEKLY DELIVERIES (1-2 AVG): 1-2 BETWEEN 8AM - 5PM PER WEEK (M-F) LANDSCAPE MATERIALS, OFFICE SUPPLY 1-2 TRIPS PER WEEK

## SITE MAP



## LEGEND

—	PROPERTY LINE	LP	LOW POINT
—W	EXISTING WATER LINE	PVC	P.V.C. PIPE
—SAN	EXISTING SANITARY SEWER	R	RADIUS
—ST	EXISTING STORM SEWER	R.C.P.	REINFORCED CONCRETE PIPE
—OE	OVERHEAD ELECTRIC	RIM	RIM ELEVATION
—UE	UNDERGROUND ELECTRIC	⊗	FIRE HYDRANT
—	CENTERLINE	⊕	WATER VALVE
—FO	FIBER OPTIC LINE	⊕	TEE CONNECTION
—C	CAS LINE	⊕	LIGHT POLE, SINGLE FIXTURE
—E	EASEMENT LINE	⊕	LIGHT POLE, DOUBLE FIXTURE
—S	SILT FENCE	⊕	SPOT ELEVATION
—	PROPOSED INDEX CONTOUR	⊕	HORIZONTAL CONTROL POINTS
—	PROPOSED CONTOUR	⊕	KEY NOTE
—	EXISTING INDEX CONTOUR	⊕	SURFACE DRAINAGE
—	EXISTING CONTOUR	⊕	EXISTING STORM SEWER MANHOLE
—	EXISTING CONTOUR	⊕	SANITARY MANHOLE
—	HORIZONTAL CURVE	⊕	CLEANOUT
—C-4	EXPANSION JOINT	⊕	STORM SEWER CURB INTAKE
E.S.	FLARED END SECTION	⊕	STORM SEWER AREA INTAKE
F.F.E.	FINISHED FLOOR ELEVATION	⊕	HANDICAP PARKING STALL
F.L.	FLOW LINE	⊕	EXISTING TICKET MONUMENT
H.P.	HIGH POINT	⊕	EXISTING FLAGPOLE
—	EXISTING PEDESTRIAN LIGHT		
—	EXISTING BENCH		



LANDSCAPES  
BY DESIGN, INC.

31295 510TH AVE  
SLATER, IA 50244  
P 515.685.2508  
F 515.685.2535

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## ISSUE DATE & REVISIONS

11.15.18	ISSUED

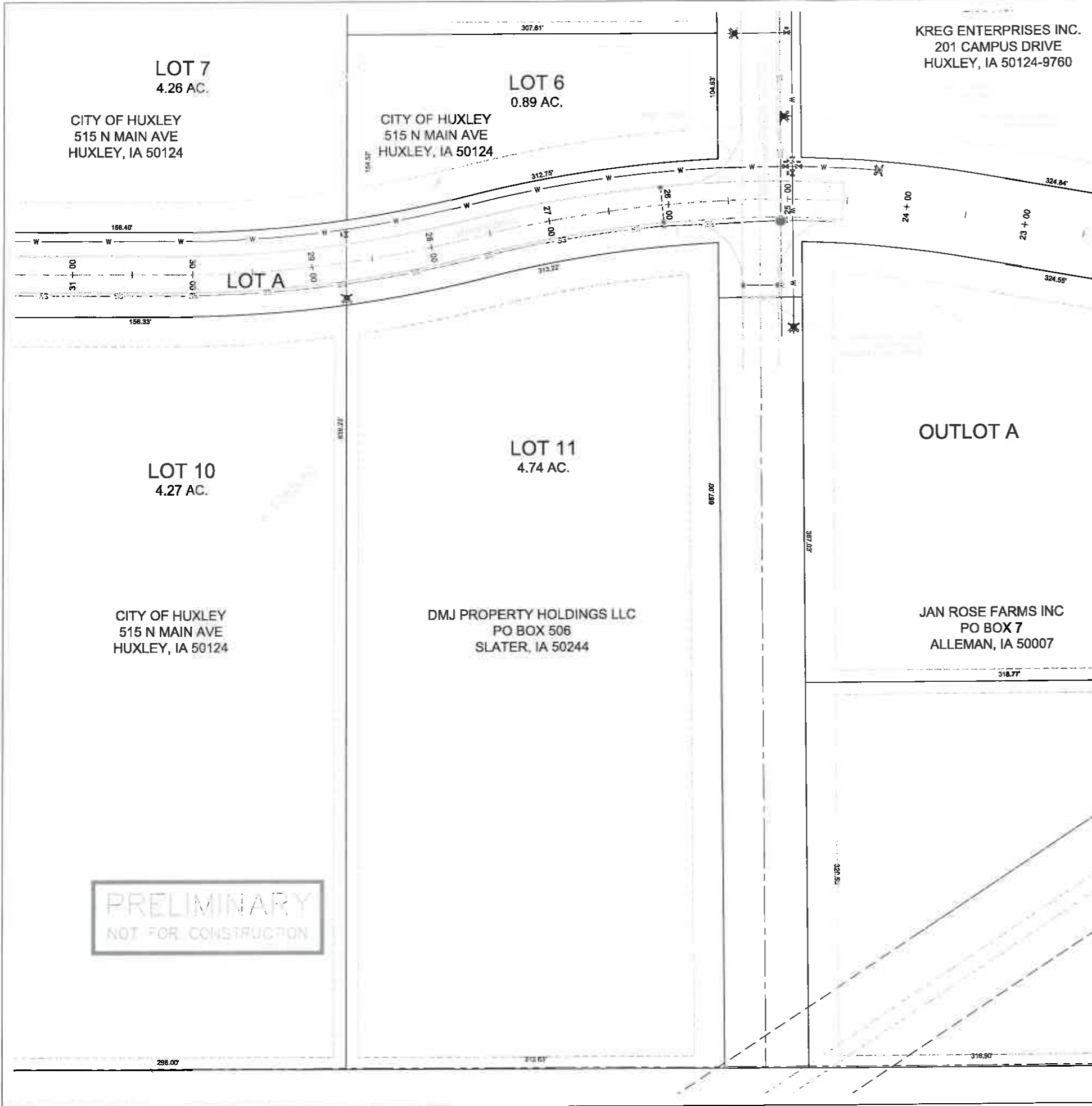
LANDSCAPES BY DESIGN INC  
OFFICE FACILITY  
COVER SHEET  
11 SNYDER DRIVE, HUXLEY, IA 50124

SCALE: 1"= 40'-0"

PROJECT#

DRAWING #

SP0



KREG ENTERPRISES INC.  
201 CAMPUS DRIVE  
HUXLEY, IA 50124-9760

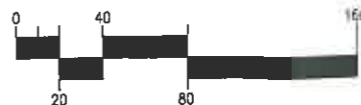
DEMOLITION NOTES

1. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANIES REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISH GRADES IF NECESSARY. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES AND LIGHT BASES.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITIES.
4. FIELD VERIFY EXISTING GRADES AND LOCATIONS OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM THE OWNER OF ANY DISCREPANCIES.
5. PRIOR TO REMOVING ANY PLANT MATERIAL NOT INDICATED TO BE PROTECTED OR REMOVED, CONTACT THE OWNER.
6. PROTECT ALL ITEMS WITHIN CONTRACT LIMITS NOT INDICATED TO BE REMOVED. NOTIFY THE OWNER OF ANY DISCREPANCIES.
7. REPORT TO OWNER'S REPRESENTATIVE ANY DAMAGE TO EXISTING UTILITIES PRIOR TO REPAIR
8. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

- |   |       |   |       |
|---|-------|---|-------|
| ③ | _____ | ① | _____ |
| ④ | _____ | ② | _____ |

LEGEND

- |        |                           |        |                              |
|--------|---------------------------|--------|------------------------------|
| ---    | PROPERTY LINE             | LP.    | LOW POINT                    |
| W      | EXISTING WATER LINE       | PVC    | P.V.C. PIPE                  |
| SAN    | EXISTING SANITARY SEWER   | R      | RADIUS                       |
| ST     | EXISTING STORM SEWER      | R.C.P. | REINFORCED CONCRETE PIPE     |
| OE     | OVERHEAD ELECTRIC         | RM     | RIM ELEVATION                |
| UE     | UNDERGROUND ELECTRIC      | ⊕      | FIRE HYDRANT                 |
| ---    | CENTERLINE                | ⊕      | WATER VALVE                  |
| FO     | FIBER OPTIC LINE          | ⊕      | TEE CONNECTION               |
| G      | GAS LINE                  | ⊕      | LIGHT POLE, SINGLE FIXTURE   |
| ---    | EASEMENT LINE             | ⊕      | LIGHT POLE, DOUBLE FIXTURE   |
| ---    | SILT FENCE                | ⊕      | SPOT ELEVATION               |
| ---    | PROPOSED INDEX CONTOUR    | ⊕      | HORIZONTAL CONTROL POINTS    |
| ---    | PROPOSED CONTOUR          | ⊕      | KEY NOTE                     |
| ---    | EXISTING INDEX CONTOUR    | ⊕      | SURFACE DRAINAGE             |
| ---    | EXISTING CONTOUR          | ⊕      | EXISTING STORM SEWER MANHOLE |
| C-4    | HORIZONTAL CURVE          | ⊕      | SANITARY MANHOLE             |
| E.J.   | EXPANSION JOINT           | ⊕      | CLEANOUT                     |
| F.E.S. | FLARED END SECTION        | ⊕      | STORM SEWER CURB INTAKE      |
| F.F.E. | FINISHED FLOOR ELEVATION  | ⊕      | STORM SEWER AREA INTAKE      |
| FL     | FLOW LINE                 | ⊕      | HANDICAP PARKING STALL       |
| H.P.   | HIGH POINT                | ⊕      | EXISTING TICKET MONUMENT     |
| ---    | EXISTING PEDESTRIAN LIGHT | ⊕      | EXISTING FLAGPOLE            |
| ---    | EXISTING BENCH            |        |                              |



LANDSCAPES  
BY DESIGN

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ISSUE DATE & REVISIONS

ISSUE	DATE
1	11.15.18

LANDSCAPES BY DESIGN INC  
OFFICE FACILITY

11 SNYDER DRIVE, HUXLEY, IA 50124

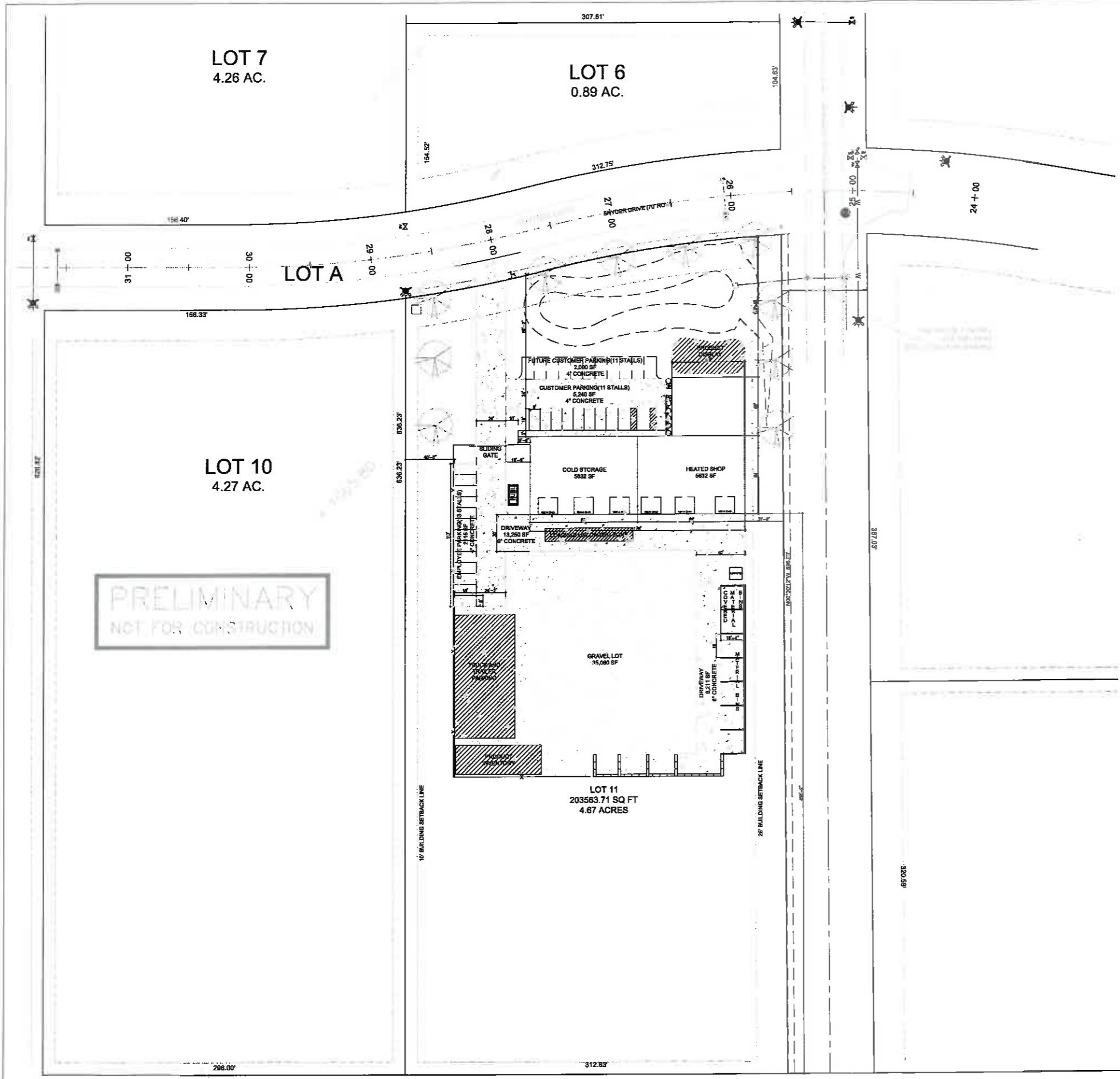
DEMO PLAN

SCALE: 1"= 40'-0"

PROJECT#

DRAWING #

SP1



PRELIMINARY  
NOT FOR CONSTRUCTION

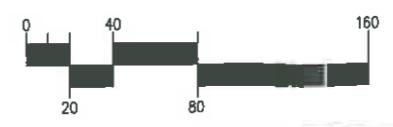
- LAYOUT NOTES
1. ALL CURB RAMPS TO BE BUILT AS PER FEDERAL ACCESSIBILITY STANDARDS.
  2. PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
  3. BASE INFORMATION WAS PROVIDED BY FOX ENGINEERING
  4. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  5. PAVEMENT TYPES:  
TYPE 1: 6" PCC  
TYPE 2: 4" PCC  
TYPE 3: GRAVEL
  6. FIELD ADJUST SIDEWALKS TO MATCH GRADE AT ADJACENT PROPERTIES.
  7. THE PAVING/GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT AWAY AS SOON AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF HUXLEY STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
  8. SEE DETAILS FOR ALL PAVEMENT THICKNESS.
  9. ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE ADA DETECTABLE WARNING PANELS AS PER ADA REGULATIONS. PANEL AND TYPE SHALL BE PER CITY STANDARD.
  10. ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL ADA AND CITY CODES. IN EVENT OF A DISCREPANCY BETWEEN PLANS AND ADA/CITY CODES, THE ADA/CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADA CODE IS MET.

PCC(4-6")

GRAVEL

LEGEND

- |        |                           |        |                              |
|--------|---------------------------|--------|------------------------------|
| ---    | PROPERTY LINE             | LP     | LOW POINT                    |
| W      | EXISTING WATER LINE       | PVC    | P.V.C. PIPE                  |
| SAN    | EXISTING SANITARY SEWER   | R      | RADIUS                       |
| ST     | EXISTING STORM SEWER      | R.C.P. | REINFORCED CONCRETE PIPE     |
| OE     | OVERHEAD ELECTRIC         | RIM    | RIM ELEVATION                |
| UE     | UNDERGROUND ELECTRIC      | HY     | FIRE HYDRANT                 |
| ---    | CENTERLINE                | WV     | WATER VALVE                  |
| FO     | FIBER OPTIC LINE          | TEE    | TEE CONNECTION               |
| G      | GAS LINE                  | LP     | LIGHT POLE, SINGLE FIXTURE   |
| ---    | EASEMENT LINE             | LP     | LIGHT POLE, DOUBLE FIXTURE   |
| S      | SILT FENCE                | SP     | SPOT ELEVATION               |
| ---    | PROPOSED INDEX CONTOUR    | HP     | HORIZONTAL CONTROL POINTS    |
| ---    | PROPOSED CONTOUR          | KN     | KEY NOTE                     |
| ---    | EXISTING INDEX CONTOUR    | SD     | SURFACE DRAINAGE             |
| ---    | EXISTING CONTOUR          | ESM    | EXISTING STORM SEWER MANHOLE |
| C-4    | HORIZONTAL CURVE          | SM     | SANITARY MANHOLE             |
| E.J.   | EXPANSION JOINT           | C      | CLEANOUT                     |
| F.E.S. | FLARED END SECTION        | SSCI   | STORM SEWER CURB INTAKE      |
| F.F.E. | FINISHED FLOOR ELEVATION  | SSAI   | STORM SEWER AREA INTAKE      |
| FL     | FLOW LINE                 | HP     | HANDICAP PARKING STALL       |
| H.P.   | HIGH POINT                | TM     | EXISTING TICKET MONUMENT     |
| ---    | EXISTING PEDESTRIAN LIGHT | FP     | EXISTING FLAGPOLE            |
| ---    | EXISTING BENCH            |        |                              |



LANDSCAPES  
BY DESIGN

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SLATER, IA 50244  
P 515.685.2508  
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ISSUE DATE & REVISIONS  
11.15.18 ISSUED


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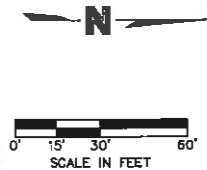
SITE PLAN

SCALE: 1"= 40'-0"

PROJECT#

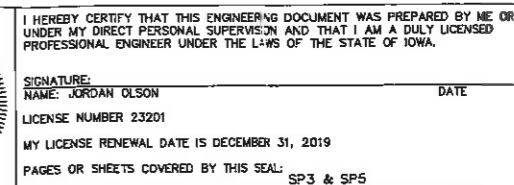
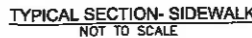
DRAWING #

SP2



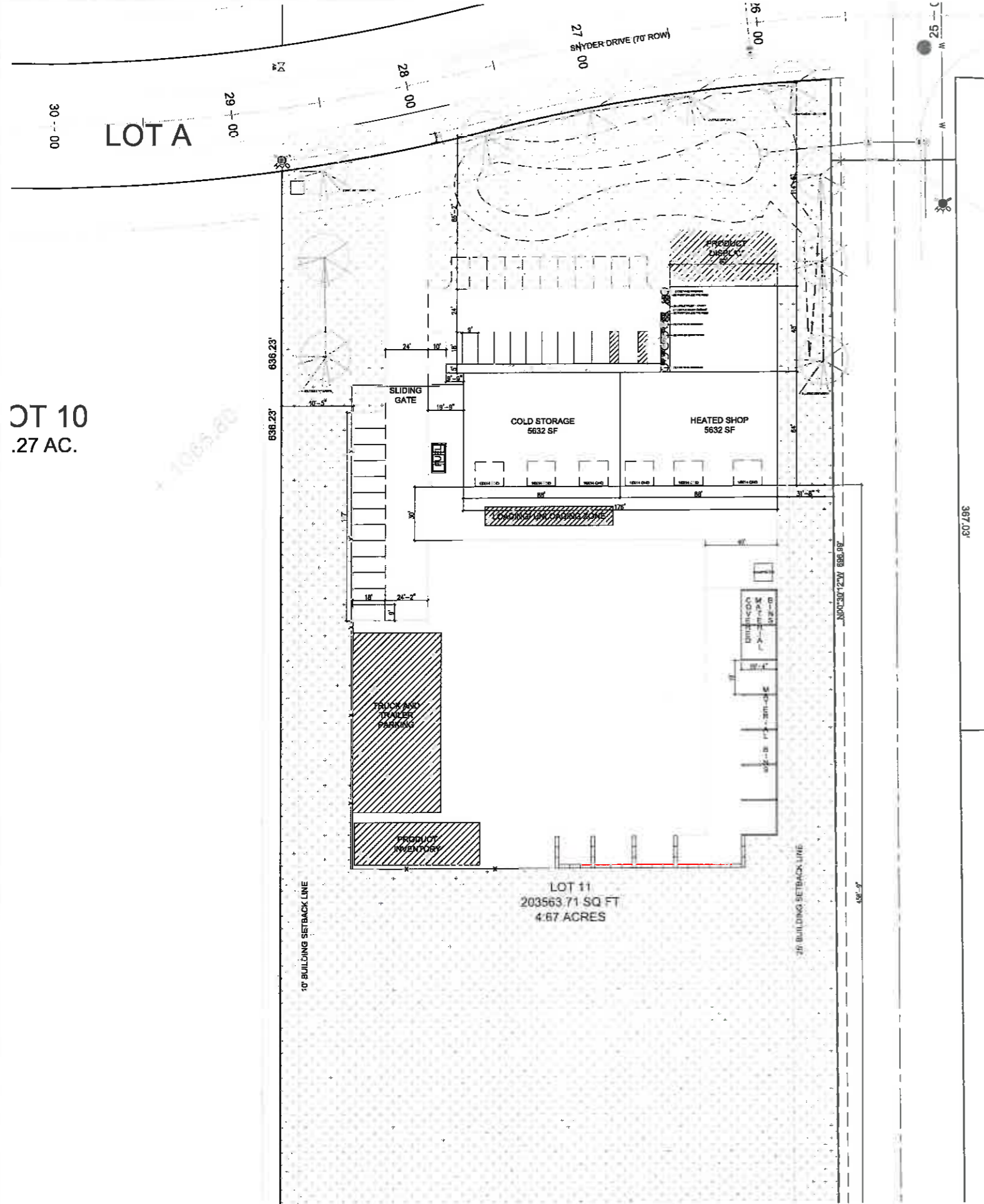
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NOT OBTAINED BY THE OWNER OR OWNER'S REPRESENTATIVES, AND PAY ALL FEES AS REQUIRED BY THE CONSTRUCTION COVERED IN THESE PLANS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES AND LOCAL FIRE DEPARTMENT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS/FIRE SUPPRESSION TAKEN OUT OF SERVICE AT LEAST 48 HOURS BEFORE CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY AND SHALL PROPERLY PROTECT AND BARRICADE THE CONSTRUCTION SITE UNTIL CONSTRUCTION IS COMPLETE. STORAGE, LOSS DUE TO THEFT, OR VANDALISM OF MATERIALS AND EQUIPMENT (SECURED OR UNSECURED) WILL BE SOLELY AT THE CONTRACTOR'S EXPENSE.
14. TEMPORARY POWER, TELEPHONE, AND WATER FOR THE SITE IS THE CONTRACTOR'S RESPONSIBILITY UNLESS OTHERWISE SPECIFIED.
15. CONTRACTOR SHALL REFER TO OTHER DRAWINGS ISSUED BY ARCHITECT, STRUCTURAL, ELECTRICAL, AND MECHANICAL ENGINEERS, ENR, ETC., FOR DIMENSIONS, LOCATIONS, AND DIMENSIONS OF BUILDINGS, EXITS, RAMPS, UTILITY ENTRANCE LOCATIONS AND GRADES AROUND THE BUILDING. IMMEDIATELY NOTIFY ENGINEER AND ARCHITECT OF ANY DISCREPANCIES.
16. THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL NECESSARY TO COMPLETE THE WORK. ALL TRAFFIC CONTROL DEVICES AND METHODS OF CONTROLLING TRAFFIC THROUGH CONSTRUCTION ZONES SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD, AND ALL REVISIONS THEREOF. IN SOME SITUATIONS, ADDITIONAL TRAFFIC CONTROL SUPPLEMENTS IN THE RIGHT-OF-WAY OR TRAFFIC CONTROL PERMITS MAY BE NECESSARY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
17. IF UNANTICIPATED HAZARDOUS MATERIALS OF ANY KIND ARE ENCOUNTERED IN THE WORK, THE CONTRACTOR SHALL IMMEDIATELY CEASE ALL CONSTRUCTION OPERATIONS AND NOTIFY THE OWNER AND/OR OWNER'S REPRESENTATIVE FOR FURTHER DIRECTION.
18. ALL DEBRIS RESULTING FROM CONSTRUCTION AND DEMOLITION SHALL BE HAULED OFF SITE AND DISPOSED AT AN APPROPRIATE AND LEGALLY-APPROVED DEMOLITION OPERATION.
19. DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES USING MEANS OF THEIR CHOICE.
20. THE CONTRACTOR SHALL CONTINUOUSLY PROVIDE ADEQUATE STORMWATER MANAGEMENT IN ACCORDANCE WITH THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CONSTRUCTION STORMWATER PERMIT. THE CONTRACTOR(S) MUST ADHERE TO GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES AT ALL TIMES. GOOD HOUSEKEEPING BEST MANAGEMENT PRACTICES FOCUS ON KEEPING THE WORK SITE CLEAN AND ORDERLY WHILE HANDLING MATERIALS AND WASTE IN A MANNER THAT ELIMINATES THE RISK OF POLLUTANT RUNOFF.
21. IN ORDER TO ATTAIN FINAL CERTIFICATION OF OCCUPANCY APPROVAL, DOCUMENTATION WILL BE REQUIRED FROM THE GENERAL CONTRACTOR VIA THE GRADING CONTRACTOR/SOIL EROSION CONTROL CONTRACTOR/OR THE PROJECT CIVIL ENGINEER THAT THE PROJECT MEETS THE CURRENT TOPSOIL PRESERVATION REQUIREMENTS OF THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR).
22. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STORMS, THE CONTRACTOR SHALL CONTACT THE CITY OF NILES TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE THAT APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.

- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE OR ENGINEER FOR REMOVAL OR RELOCATION, IF REQUIRED.
19. CONTRACTOR SHALL GRADE ALL LOW SPOTS TO DRAIN. THE CONTRACTOR SHALL INFORM THE APPROPRIATE GOVERNING AGENCY, OWNER AND/OR OWNING REPRESENTATIVE PRIOR TO BEGINNING OF PROOFLONGING.
20. ANY GEOTECHNICAL TESTING REPORTS SOLICITED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER.
21. GRADING TOLERANCES SHALL BE: "0.0" TO +0.1"; PAVED AREAS -0.0" TO +0.2" ALL OTHER AREAS: -0.2" TO +0.2".
22. SEE SITE LAYOUT PLAN FOR ADA ACCESSIBLE ROUTES AND PAVING REQUIREMENTS. ALL ADA ACCESSIBLE STALLS/ROUTES SHALL BE CONSTRUCTED PER ADA STANDARDS.
23. THE OWNER SHALL MAINTAIN DETENTION FACILITIES UPON COMPLETION OF THE PROJECT.
24. ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
25. NATIVE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM PROJECT SITE. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
26. THE UPPER 12-INCHES OF PAVEMENT SUBGRADE FILL SHOULD BE COMPACTED TO A MINIMUM OF 98% OF THE MATERIAL STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL PLACED BELOW THIS LEVEL SHOULD BE COMPACTED TO A MINIMUM OF 95% LOW-PLASTICITY, COHESIVE FILL SHALL BE COMPACTED AND MAINTAINED AT A WATER CONTENT WITHIN 2% OF OPTIMUM.



<p><b>GRADING &amp; DRAINAGE PLAN</b></p>	<p><b>LANDSCAPES BY DESIGN</b></p>	<p><b>HUXLEY, IOWA</b></p>	<p>drawn by: _____ <b>CSM</b></p>
			<p>checked by: _____ <b>JLD</b></p>
			<p>approved by: _____ <b>JLD</b></p>
			<p>CMADC by: _____ <b>JPS</b></p>
			<p>project no.: _____ <b>016-3155</b></p>
			<p>drawing no.: _____</p>
			<p>date: _____ <b>10/24/2016</b></p>
<p><b>SHEET</b></p>			
<p><b>SP3</b></p>			

7157 Vista Drive  
West Des Moines,  
IA 50265  
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FAX 515.331.6518  
www.nissann.com



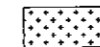
# PLANTING NOTES

1. SEED ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
2. PLANT QUANTITIES ARE FOR INFORMATION ONLY; DRAWING SHALL PREVAIL IF CONFLICT OCCURS.
3. NOTIFY OWNER AFTER STAKING IS COMPLETED AND BEFORE PLANT PITS ARE EXCAVATED.
4. CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
5. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60 - 1992, OF MOST RECENT EDITION.

## PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	REMARKS
TS	8	TILIA CORDATA	LITTLE LEAF LINDEN	1.5" DIA.	B&B	
GT	2	GLEDITSIA TRIANCANTHOS INERMIS	THORNLESS HONEY LOCUST	1.5" DIA.	B&B	
PO	2	PHYSCARPUS OPULIFOLIUS	TINY WINE NINEBARK	#3	CONT.	
IT	2	ITES VIRGINICA	MERLOT SWEETSPIRE	#3	CONT.	
NH	14	NEPETA HYBRIDA	LITTLE TRUDY CATMINT	#1	CONT.	
EP	4	EUPATORIUM PURPUREUM	PHANTOM JOE PYEWEE	#1	CONT.	

SEED

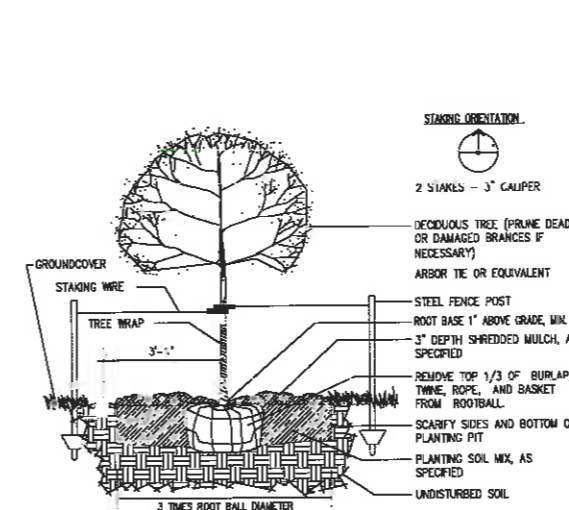


## LANDSCAPE REQUIREMENTS

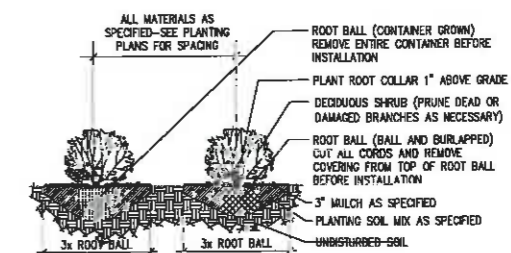
TOTAL SIZE OF LOT 4.67 ACRES(203,563.71 SF)  
TOTAL REQUIRED OPEN SPACE(20%) 0.937 ACRES(40,712.742 SF)  
OVERSTORY TREES REQUIRED  
OVERSTORY TREES PROVIDED  
SHRUBS REQUIRED  
SHRUBS PROVIDED

## PRODUCT DISPLAY INFORMATION (FUTURE CONSTRUCTION)

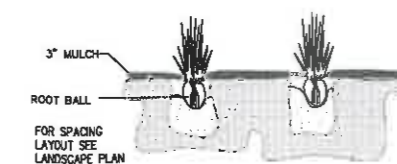
1. PLANTING BEDS CONSISTING OF PERENNIALS, SHRUBS, ORNAMENTAL TREES. A VARIETY OF MULCH COVERINGS CONSISTING OF SHREDDED WOODS, ROCK VARIETIES, CRUSHED BRICK AND STONE.
2. PATHWAYS CONSISTING OF PAVERS, STONE, AND CRUSHED ROCK. THESE AREAS CAN BE BUILT ON PERMEABLE BSE MATERIAL.
3. PEDESTRIAN SPACES CONSISTING OF PAVERS AND FLAGSTONE. THESE AREAS CAN BE BUILT ON PERMEABLE BASE MATERIAL.



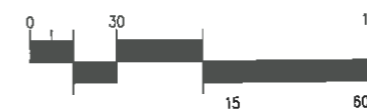
DECIDUOUS TREE PLANTING  
NOT TO SCALE



SHRUB PLANTING  
NOT TO SCALE



PERENNIAL PLANTING  
NOT TO SCALE



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LANDSCAPE PLAN

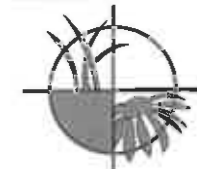
SCALE: 1" = 30'-0"

PROJECT#

DRAWING #

SP4





LANDSCAPES  
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11 SNYDER DRIVE, HUXLEY, IA 50124

LANDSCAPES BY DESIGN INC  
OFFICE FACILITY

DETAILS

SCALE: SEE DETAILS

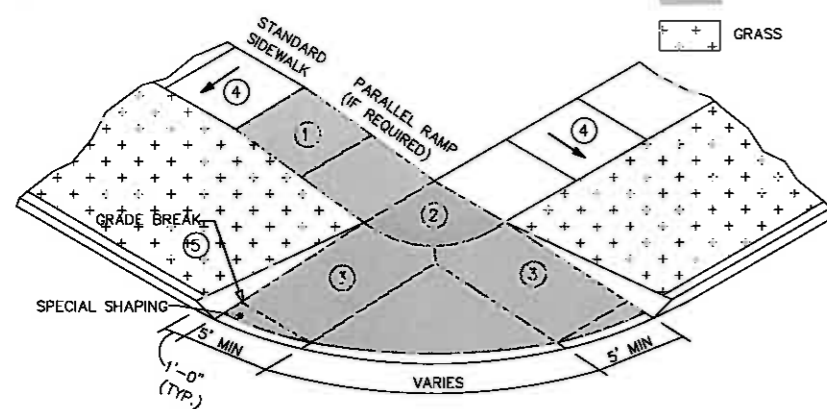
PROJECT#

DRAWING #

SP6

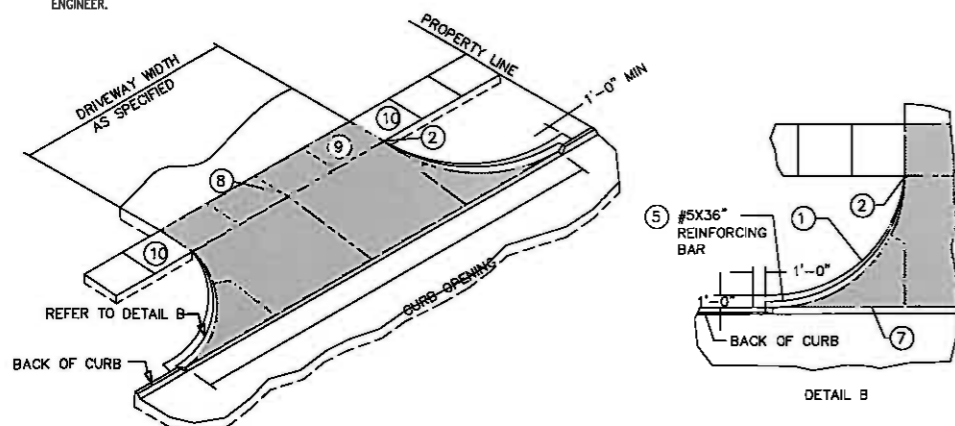
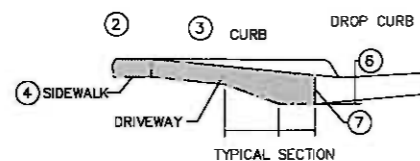
- 1 PARALLEL CURB RAMP: IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK.  
THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMP SHORTER THE 15 FEET.
- 2 TURNING SPACE: TARGET SLOPE OF 1.5% WITH MAXIMUM SLOPE PERPENDICULAR TO THE TRAVEL DIRECTIONS OF 2.0% MINIMUM 4 FEET BY 4 FEET.
- 3 PERPENDICULAR CURB RAMP: TARGET RUNNING SLOPE OF 8.25% WITH MAXIMUM RUNNING SLOPE OF 8.3%.
- 4 TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%
- 5 MATCH PEDESTRIAN STREET CROSSING CROSS SLOPE OR FLATTER

KEY  
CURB RAMP  
TURNING SPACE  
GRASS



ADA SIDEWALK AND RAMP DETAIL  
NOT TO SCALE

- 1 DRIVEWAY RADIUS (R)  
RESIDENTIAL: 10 FOOT MINIMUM, 15 FOOT MAXIMUM  
COMMERCIAL AND INDUSTRIAL: AS SPECIFIED IN THE CONTRACT DOCUMENTS
- 2 TRANSITION THE CURB HEIGHT TO 0 INCHES AT THE END OF THE TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS THE SIDEWALK
- 3 PAVEMENT THICKNESS:  
RESIDENTIAL: 6 INCHES MINIMUM  
COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM
- 4 SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY
- 5 CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT
- 6 MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM
- 7 PROVIDE COLD JOINT AT BACK OF CURB UNLESS EXPANSION JOINT IS SPECIFIED
- 8 FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARDS CENTER OF ALLEY
- 9 TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE
- 10 IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE THE TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.



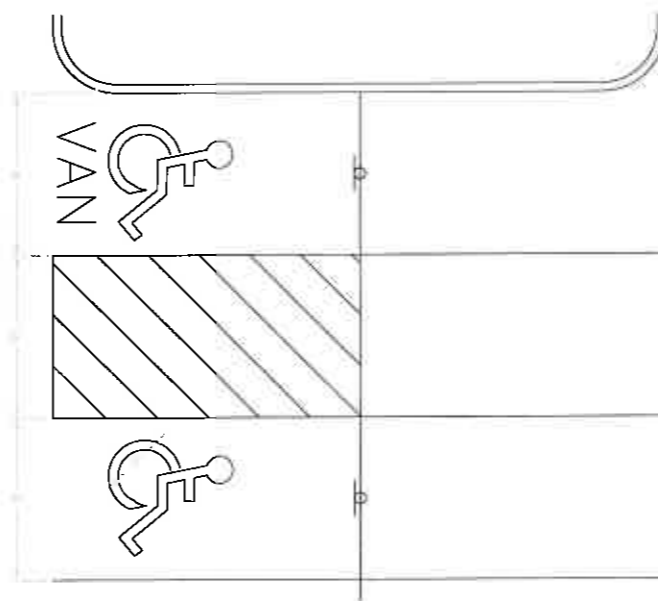
CONCRETE DRIVEWAY APRON DETAIL  
NOT TO SCALE



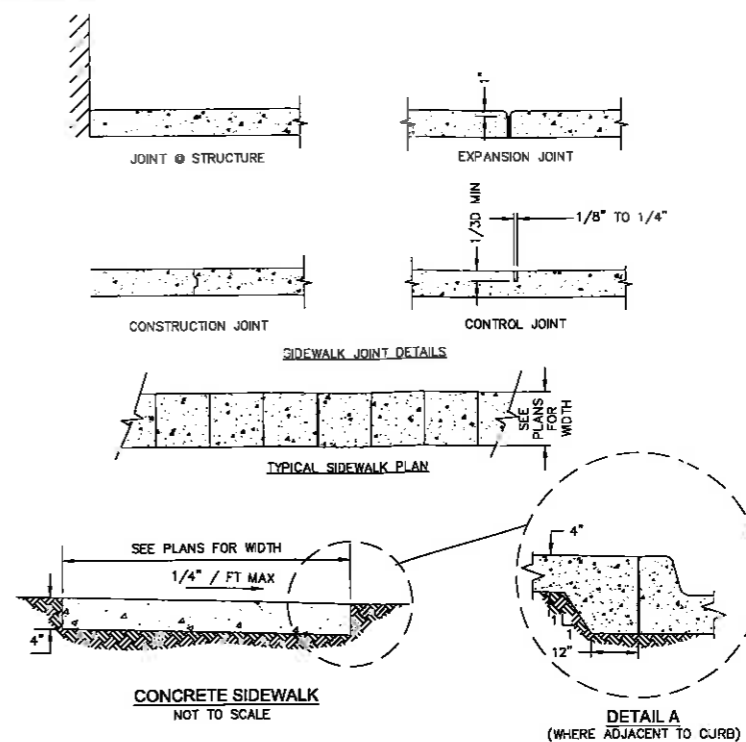
NOTE: ACCESSIBLE PARKING SYMBOL AND SIGNAGE SHALL COMPLY WITH THE APPLICABLE RECOMMENDATIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

NOTE: WHEN POSSIBLE MOUNT ADA SIGNAGE TO BUILDING.

POLE MOUNTED ADA SIGN  
NOT TO SCALE



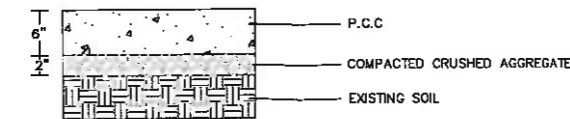
ADA PARKING STALL DETAIL  
NOT TO SCALE



CONCRETE SIDEWALK DETAILS  
NOT TO SCALE

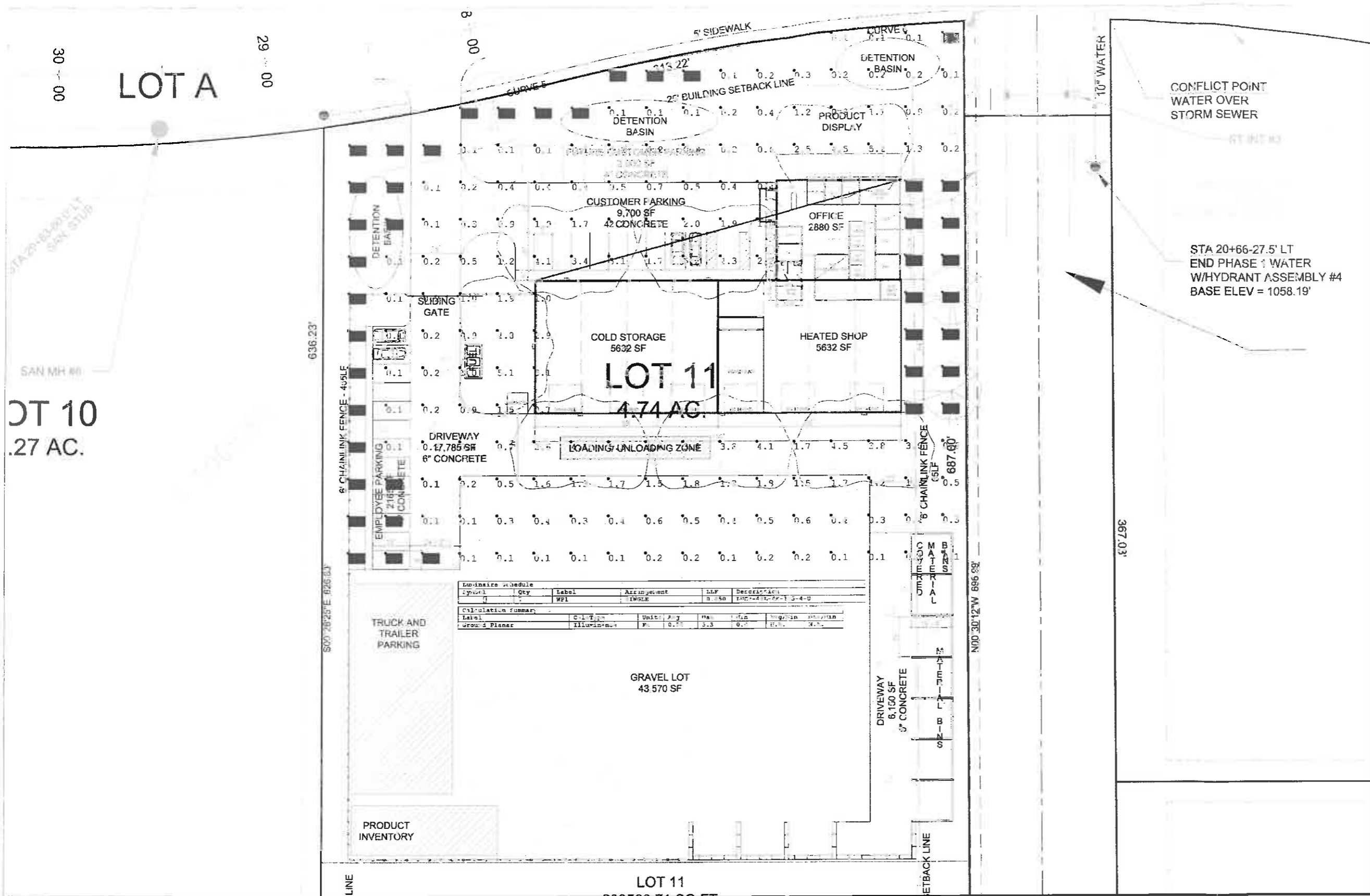


STANDARD DUTY CONCRETE PAVEMENT SECTION  
NOT TO SCALE



HEAVY DUTY CONCRETE PAVEMENT SECTION  
NOT TO SCALE

CONCRETE DRIVE/PARKING DETAILS  
NOT TO SCALE



Scale: 1 inch = 24.00 feet

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Max Lewis  
953 73rd Street  
Windsor Heights, IA 50324  
Phone: (515) 273-0100  
Fax: (515) 273-0108  
Max.Lewis@3e-co.com



Revisions	
#	Comments
1	

Drawn By: Max Lewis	Checked By:
Date: 10/29/2018	

Scale:
--------

## **4.2 SITE PLAN FOR MR. STORAGE AND PACIFIC DRYWALL**



**VEENSTRA & KIMM, INC.**

3000 Westown Parkway • West Des Moines, Iowa 50266-1320

515-225-8000 • 515-225-7848 (FAX) • 800-241-8000 (WATS)

---

November 21, 2018

John Haldeman  
City Administrator  
City of Huxley  
515 N. Main Avenue  
Huxley, Iowa 50124

HUXLEY, IOWA  
MR. STORAGE 2  
INDUSTRIAL PARK LOTS 5 AND 6  
SITE PLAN

We have reviewed the site plan for Mr. Storage 2 located in the Huxley Industrial Park and find it acceptable provided the following items are completed and decided:

1. Sidewalk ramp and landing are installed on the north side of the north driveway.
2. The lighting plan shows the east half of the parking lot will be dark. Additional lighting needs to be provided for the parking lot.
3. The curb stop for the water service needs to be installed 1-foot west of the sidewalk and not up next to the building.
4. Elevation views of the buildings need to be provided showing building dimensions, heights and materials.
5. A variance request has been submitted for the driveway width on the south side of the site that needs to be considered.

John Haldeman  
November 21, 2018  
Page 2

If you have any questions or comments, please contact us at 515-225-8000.

VEENSTRA & KIMM, INC.



Forrest S. Aldrich

FSA:dml  
45229-033

cc: Jeff Peterson, City of Huxley (e-mail)  
Chris Gardner, Mr. Properties (e-mail)  
Steve Domino, Mr. Properties (e-mail)  
Bob Gibson, Civil Design Advantage LLC (e-mail)



CIVIL DESIGN ADVANTAGE L.L.C.

ENGINEERS, LANDSCAPE ARCHITECTS,  
PLANNERS & SURVEYORS

The City Of Huxley  
515 N. Main Avenue  
Huxley, IA 50124

November 6, 2018

RE: Mr. Storage 2 Site Plan

Honorable Mayor and Council Members:

On behalf of Mr. Properties, we request a waiver to the maximum driveway width of 44 feet. The site plan shows a driveway of approximately 105 feet on Snyder Drive. This is necessary to facilitate the building on the lot. Staff has seen this layout/concept prior to the first submittal of the Site Plan.

Thank you for your consideration.

Sincerely,

Bob Gibson  
Civil Design Advantage

# SITE PLAN FOR: MR. STORAGE 2

## HUXLEY, IOWA

### VICINITY MAP

NOT TO SCALE



### OWNER/APPLICANT

MR. STORAGE, LLC  
P.O. BOX 242  
HUXLEY, IA 50124  
CONTACT:  
CHRIS GARDNER  
(515) 401-8615  
BELLAHOMES@HUXCOMM.NET

### ENGINEER/ SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC  
CONTACT: BOB GIBSON  
3405 SE CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PH. (515) 369-4400  
FX. (515) 369-4410

### SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 10/22/18  
-SITE PLAN SUBMITTAL TO CITY #2: 11/15/18

### LEGAL DESCRIPTION

LOTS 5, 6, AND 7, HUXLEY DEVELOPMENT CORPORATION  
PLAT 3, HUXLEY, IOWA

### ZONING

M-1

### EXISTING/ PROPOSED USE

EXISTING: VACANT  
PROPOSED: STORAGE/OFFICE

### DEVELOPMENT SUMMARY

SITE AREA: = 1.95 ACRES (85,188 SF)

ZONING: M-1

#### SETBACKS:

FRONT: 25'  
SIDE: 10'  
REAR: 10'

BUILDING (1 STORY) = 11,200 SF  
OFFICE AREA = 1,000 SF  
WAREHOUSE AREA = 10,200 SF

PARKING REQUIRED  
OFFICE 1/300 = 4 SPACES  
WAREHOUSE 1/2 EMP. = 8 SPACES

TOTAL PARKING PROVIDED = 13 SPACES  
HANDICAP SPACES PROVIDED = 1 SPACE

OPEN SPACE CALCULATIONS  
TOTAL SITE AREA = 85,188 SF

BUILDINGS = 25,700 SF  
PAVEMENT = 37,180 SF  
TOTAL IMPERVIOUS = 62,880 SF

OPEN SPACE PROVIDED = 22,308 SF (26%)

### DATE OF SURVEY

SEPTEMBER 25, 2018

### BENCHMARKS

NW CORNER OF WTR AND 2ND STREET IN  
CAMBRIDGE, IOWA. NORTH OF BANK SET IN WALL  
AT THE SE CORNER OF OLD BRICK BUILDING. 1.4'  
NORTH AND 2.9' ABOVE GROUND.  
ELEVATION=870.65

### CONTACTS FOR INSPECTIONS & UTILITIES

WATER & SEWER - KETH VITZTHUM, CITY OF HUXLEY, 515-290-7512  
GAS & ELECTRIC - JACOB CLARK, ALLIANT ENERGY, 515-288-4412  
PHONE & CABLE, BRANT STRUMPFER, HUXLEY COMMUNICATIONS, 515-203-6716

### INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING TOPOGRAPHY % DEMOLITION PLAN
3	DIMENSION PLAN
4	UTILITY PLAN
5-6	GRADING PLAN
7	DETAILS
8	LANDSCAPING PLAN



### UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD  
SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE  
SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES  
SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER  
IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER  
DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN  
THE EXACT LOCATION SHOWN.

### GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF HUXLEY  
GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE  
INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE  
CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE  
RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND  
MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR  
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

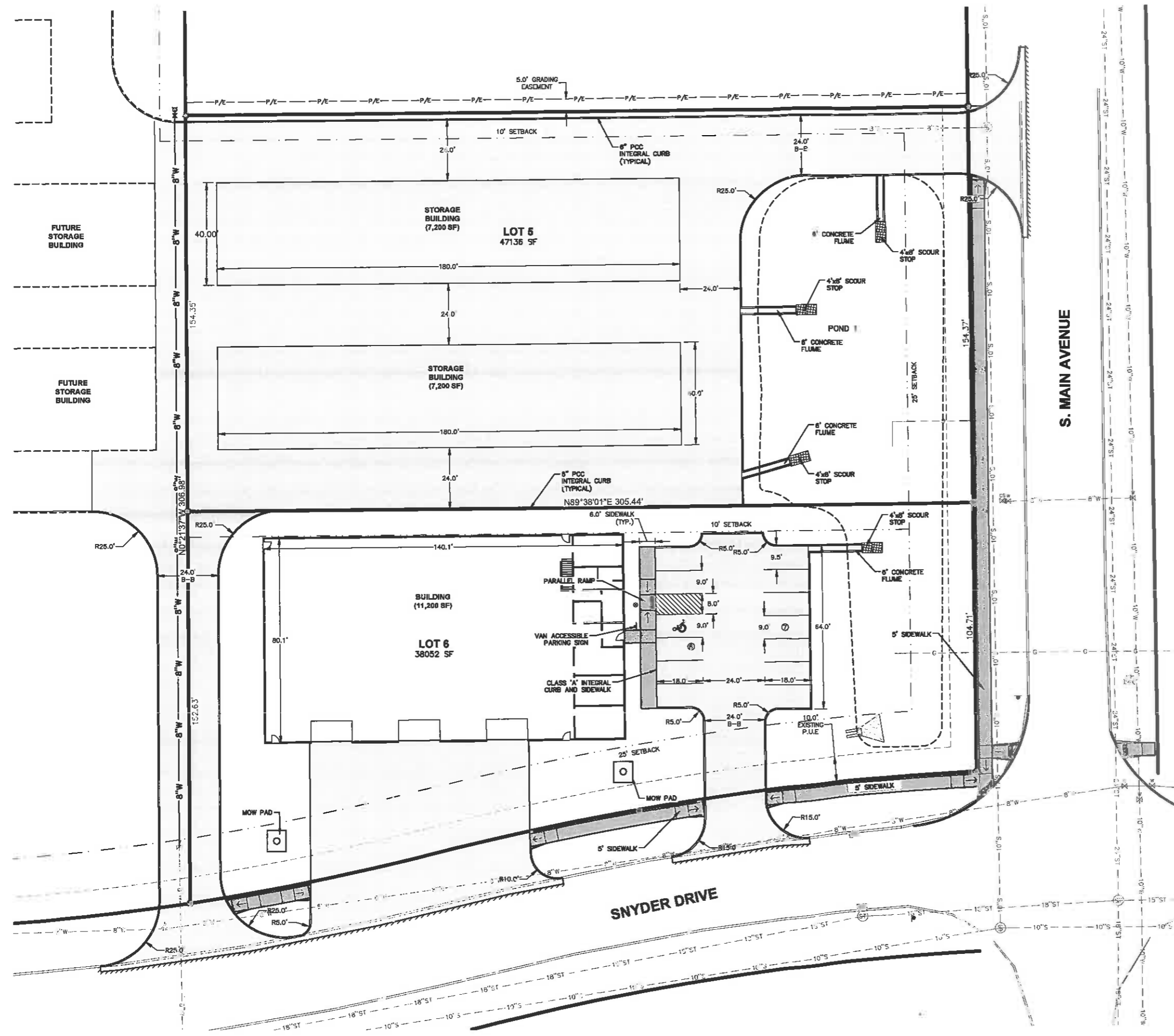
THE 2018 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC  
RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY  
SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT  
UNLESS OTHERWISE NOTED.

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
	DATE: _____ MY LICENSE RENEWAL DATE IS DECEMBER 31, 2018 PAGES OR SHEETS COVERED BY THIS SEAL: 1-7

**CIVIL DESIGN ADVANTAGE**  
3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111  
PH: (515) 369-4400 Fax: (515) 369-4410  
PROJECT NO. 1809.485



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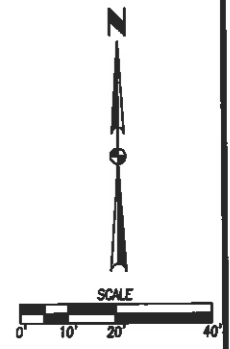


- ### GENERAL NOTES
1. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
  2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES AND PUBLIC RIGHT OF WAY.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
  4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
  5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
  6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
  7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
  8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
  9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
  10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
  11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
  12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
  13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
  14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
  15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
  16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
  17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
  18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

- ### TRAFFIC CONTROL NOTES
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
  2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
  4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
  5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
  6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
  7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

### PAVEMENT THICKNESS

1. SIDEWALKS	4" P.C.C.
2. DRIVEWAYS	6" P.C.C.



DATE

11/14/2016

10/22/16

REVISIONS

2ND SUBMITTAL

1ST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 368-4400 FAX: (515) 369-4410

TECH: DSH

ENGINEER: JN

MR. STORAGE 2  
DIMENSION PLAN

3/8

1809.485

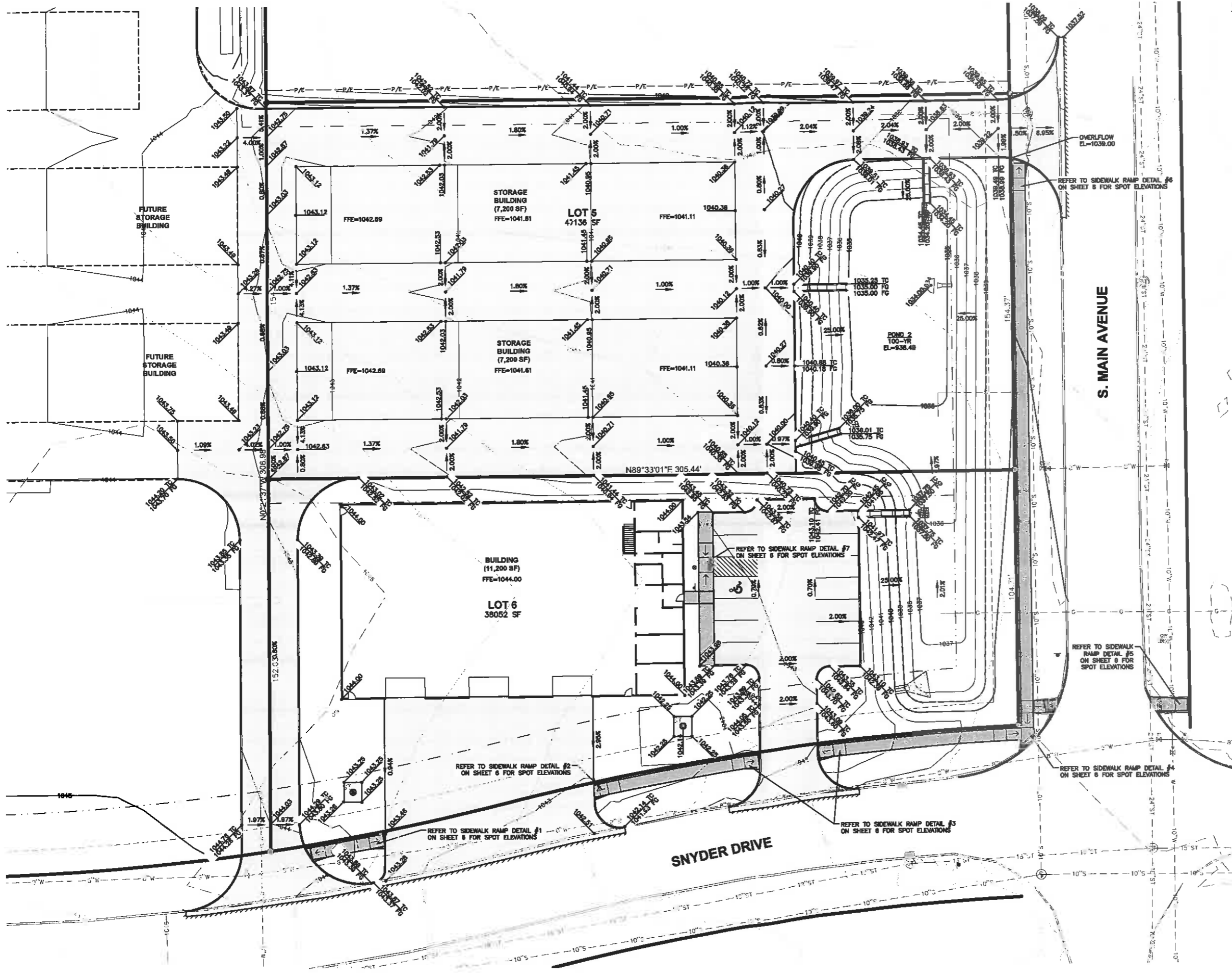
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CIVIL DESIGN ADVANTAGE

HUXLEY, IOWA



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### GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPAVED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FROM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND Haul Roads TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY AND INSTALLATION OF THE STORM SEWER SYSTEM SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.

## MR. STORAGE 2 GRADING PLAN

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410



CIVIL DESIGN ADVANTAGE  
HUXLEY, IOWA

5/8  
1809.485

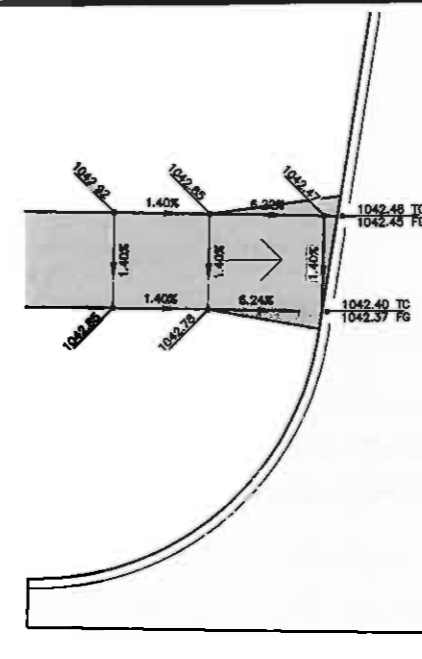
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TECH: DSH

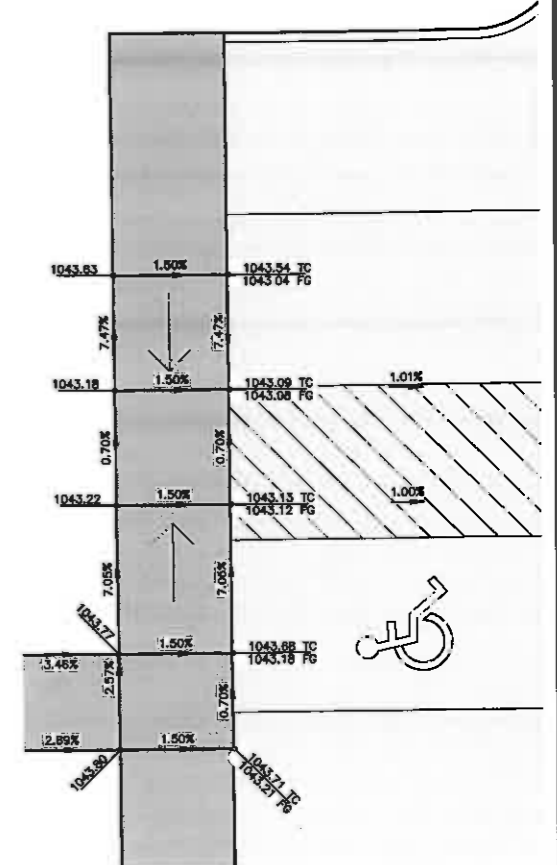
ENGINEER: JN

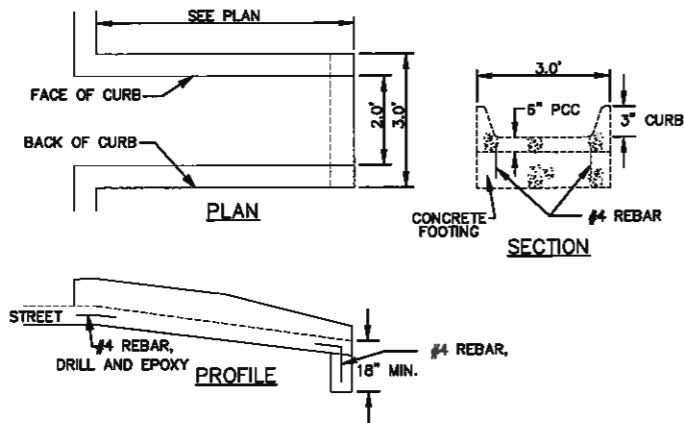


## SNYDER DRIVE

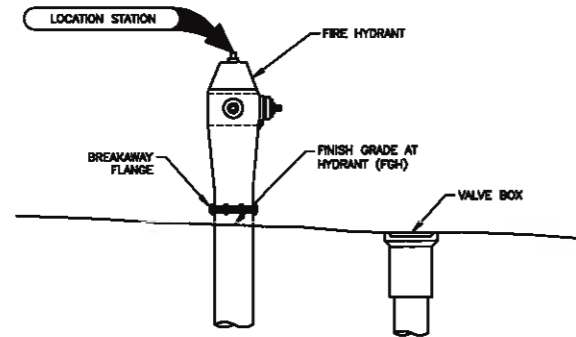


## SNYDER DRIVE

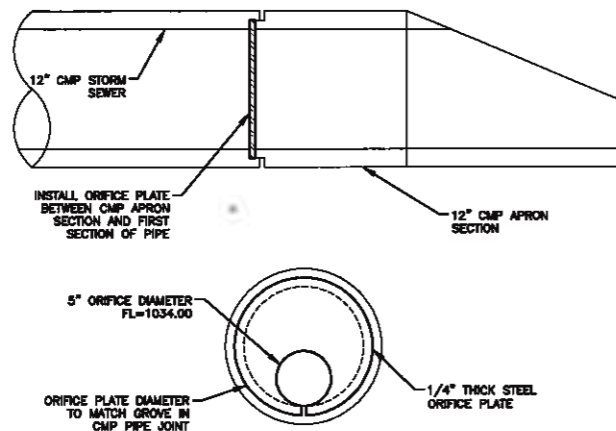
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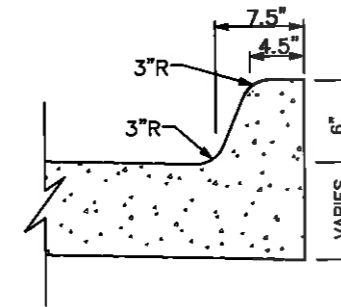
1 CONCRETE FLUME DETAIL  
NOT TO SCALE



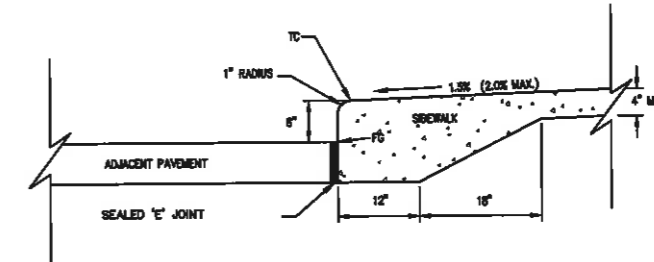
4 HYDRANT ASSEMBLY SPOT ELEVATION REFERENCE  
NOT TO SCALE



5 ORIFICE PLATE  
NOT TO SCALE

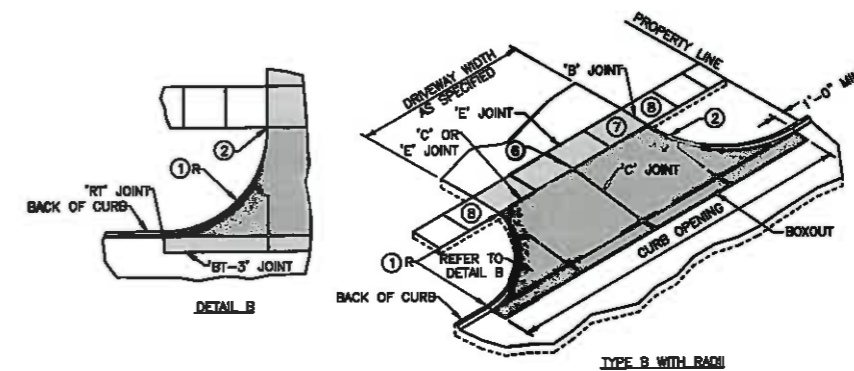


2 6" P.C.C. INTEGRAL CURB  
NOT TO SCALE

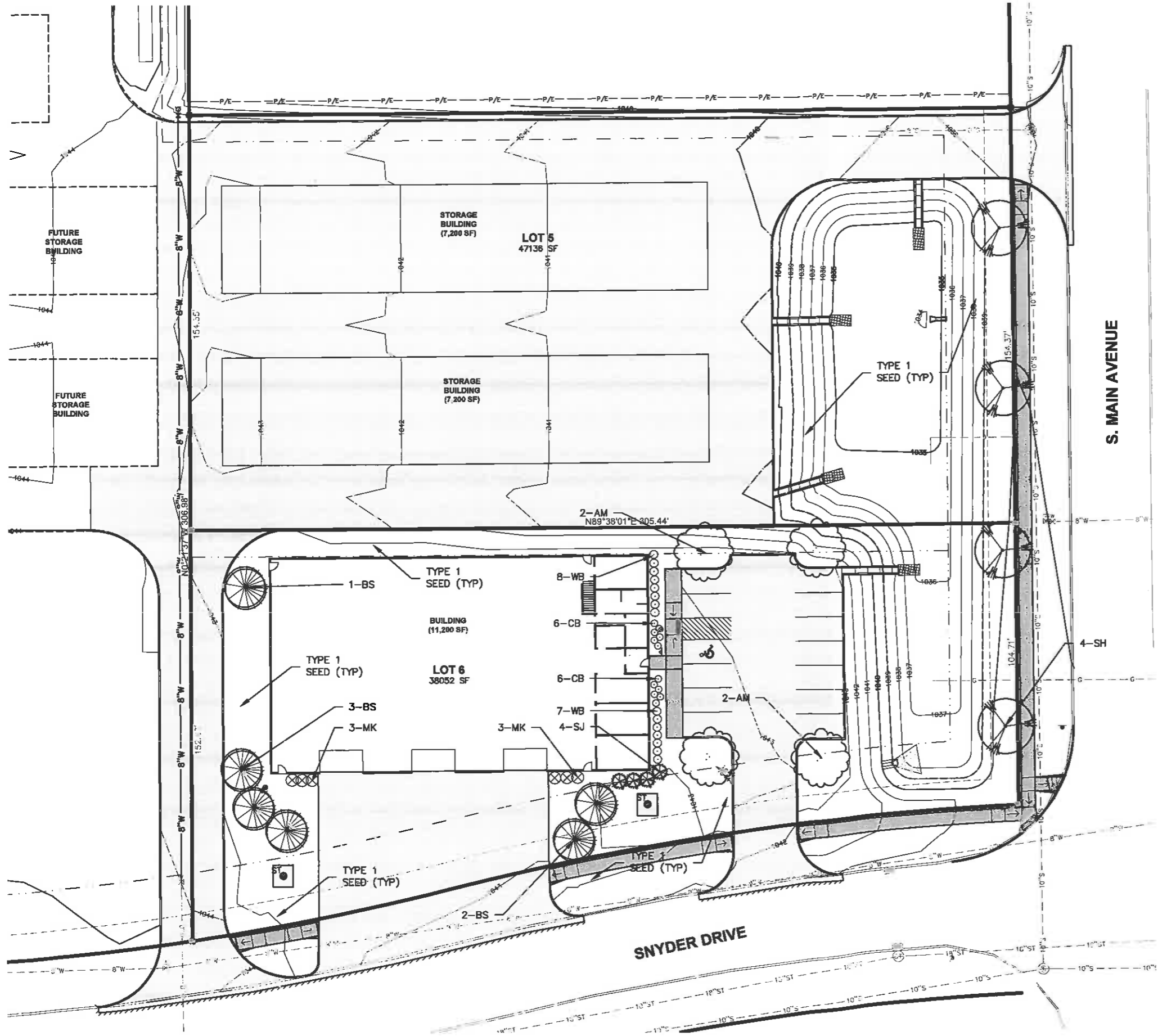


3 CLASS 'A' INTEGRAL CURB AND SIDEWALK DETAIL  
NOT TO SCALE

- 1 DRIVEWAY RADIUS (R). RESIDENTIAL: 10 FOOT MINIMUM, 15 FOOT MAXIMUM. COMMERCIAL AND INDUSTRIAL: AS SPECIFIED IN THE CONTRACT DOCUMENTS.
- 2 TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB CROSS SIDEWALK.
- 3 PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- 4 SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- 5 IF LONGITUDINAL JOINT IS LOCATED 48 INCHES OR LESS FROM THE BACK OF CURB, EXTEND BOXOUT TO JOINT LINE. FULL DEPTH SAW CUT IS STILL REQUIRED.
- 6 FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD THE CENTER OF THE ALLEY.
- 7 TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- 8 IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF THE ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.



6 CONCRETE DRIVEWAY TYP-B  
NOT TO SCALE



### LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED OR SOO ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOO, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE OUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

### PLANT SCHEDULE

IDENTITY OVERSTORY TREES			SIZE	COND
SH 14	SHADEMASTER HONEYLOCUST	QUERCUS TRICANTHAS TREMIS 'SHADEMASTER'	2" CAL	BBB
AM 12	AUTUMN GLAZE MAPLE	ACER RUPESTRIS 'AUTUMN GLAZE'	2" CAL	BBB
IDENTITY EVERGREEN TREES			SIZE	COND
BS 16	COLORADO BLUE SPRUCE	PICEA PUMILANS 'GLAUCA'	8' HT.	BBB
IDENTITY SHRUBS			SIZE	COND
SH 4	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	3" CAL	BBB
CR 12	CRIMSON CROWN BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	3" CAL	BBB
MK 16	MISS KIM LILAC	Syringa patula 'MISS KIM'	3" CAL	BBB
WB 16	WINTERGREEN BURNING	BUXUS MICROPHYLLA	3" CAL	BBB



## MR. STORAGE 2 LANDSCAPE PLAN

3405 S.E. CROSSROADS DRIVE, SUITE G  
GRIMES, IOWA 50111  
PHONE: (515) 369-4400 FAX: (515) 369-4410

CIVIL DESIGN ADVANTAGE  
ENGINEER: J. B. BROWN  
TECH: DSH

HUXLEY, IOWA

## **4.3 AMENDED URBAN RENEWAL PLAN**

CITY OF HUXLEY, IOWA  
URBAN RENEWAL PLAN AMENDMENT  
HUXLEY URBAN RENEWAL AREA

December, 2018

The Urban Renewal Plan (the "Plan") for the Huxley Urban Renewal Area (the "Urban Renewal Area") is being amended for the purpose of identifying a new urban renewal project to be undertaken in the Urban Renewal Area.

**1) Addition of Property.** The real property (the "Property") legally described on Exhibit A hereto is, by virtue of this Amendment, being added as the December, 2018 Addition to the Urban Renewal Area. With the adoption of this Amendment, the City will designate the Property as an economic development area. The Property will become subject to the provisions of the Plan for the Urban Renewal Area. It is anticipated that the City will adopt an ordinance providing for the division of property tax revenues, as set forth in Section 403.19 of the Code of Iowa, with respect to the Property.

**2) Identification of Projects.** By virtue of this amendment, the list of authorized urban renewal projects in the Plan is hereby amended to include the following project descriptions:

**A.**

**Name of Project:** Fenceline Beer Lab LLC Development Project

**Name of Urban Renewal Area:** Huxley Urban Renewal Area

**Date of Council Approval of Project:** December 18, 2018

**Description of Project and Project Site:** Fenceline Beer Lab LLC (the "Brewery") has proposed to undertake the construction of improvements to an existing building (the "Fenceline Project") on the Property (as defined in Section 1 above) in the Urban Renewal Area for use in the operations of a restaurant and brewery.

It has been requested that the City provide tax increment financing assistance to the Brewery in support of the efforts to complete, operate and maintain the Fenceline Project.

The costs incurred by the City in providing tax increment financing assistance to the Brewery will include legal and administrative fees (the "Admin Fees") in an amount not to exceed \$5,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Fenceline Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Fenceline Project.

**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with the Brewery with respect to the construction and use of the completed Fenceline Project and to provide an economic development forgivable loan (the “Forgivable Loan”) to the Brewery thereunder. The Forgivable Loan will be funded with an internal advance of funds, which will be repaid with future incremental tax revenues derived from the Urban Renewal Area. It is anticipated that the City’s total commitment of incremental property tax revenues with respect to the Fenceline Project will not exceed \$60,000, plus the Admin Fees.

**B.**

**Name of Project:** Automed, Inc. Development Project

**Name of Urban Renewal Area:** Huxley Urban Renewal Area

**Date of Council Approval of Project:** December 18, 2018

**Description of Project and Project Site:** Automed, Inc. (“Automed”) has proposed to undertake the construction of improvements to an existing building (the “Automed Project”) for use in Automed’s automatic vaccination and medication business operations on certain real property situated at 1485 Blue Sky Boulevard in the Blue Skies Industrial Park in the Urban Renewal Area.

It has been requested that the City provide tax increment financing assistance to Automed in support of the efforts to complete, operate and maintain the Automed Project.

The costs incurred by the City in providing tax increment financing assistance to Automed will include legal and administrative fees (the “Admin Fees”) in an amount not to exceed \$5,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Automed Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Automed Project.

**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with Automed in connection with the Automed Project and to provide an economic development forgivable loan (the “Forgivable Loan”) to Automed thereunder. The Forgivable Loan will be funded with an internal advance of funds, which will be repaid with future incremental tax revenues derived from the Urban Renewal Area. It is

anticipated that the City's total commitment of incremental property tax revenues with respect to the Automated Project will not exceed \$60,000, plus the Admin Fees.

C.

**Name of Project:** Mr. Storage LLP Development Project

**Name of Urban Renewal Area:** Huxley Urban Renewal Area

**Date of Council Approval of Project:** December 18, 2018

**Description of Project and Project Site:** Mr. Storage LLP (the "Company") has proposed to undertake the construction of new mini-storage and office buildings (the "Mr. Storage Project") on certain real property (the "Mr. Storage Property") situated on Lots Five (5) and Seven (7) in the Huxley Business Park in the Urban Renewal Area.

It has been requested that the City provide tax increment financing assistance to the Company in support of the efforts to complete, operate and maintain the Mr. Storage Project.

The costs incurred by the City in providing tax increment financing assistance to the Company will include legal and administrative fees (the "Admin Fees") in an amount not to exceed \$7,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Mr. Storage Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Mr. Storage Project.

**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with the Company with respect to the construction and use of the completed Mr. Storage Project and to provide annual appropriation economic development payments (the "Payments") to the Company thereunder. *The Payments will be funded with incremental property tax revenues to be derived from the Mr. Storage Property. It is anticipated that the City's total commitment of incremental property tax revenues each year for 7 years with respect to the Mr. Storage Project and for that period will not exceed \$137,000, plus the Admin Fees.*

**D.**

**Name of Project:** Pacific Drywall Corporation Development Project

**Name of Urban Renewal Area:** Huxley Urban Renewal Area

**Date of Council Approval of Project:** December 18, 2018

**Description of Project and Project Site:** Pacific Drywall Corporation (the "Corporation") has proposed to undertake the construction of a new sheetrock warehouse (the "Pacific Drywall Project") on Lot Six (6) (the "Pacific Drywall Property") situated in the Huxley Business Park in the Urban Renewal Area.

It has been requested that the City provide tax increment financing assistance to the Corporation in support of the efforts to complete, operate and maintain the Pacific Drywall Project.

The costs incurred by the City in providing tax increment financing assistance to the Corporation will include legal and administrative fees (the "Admin Fees") in an amount not to exceed \$5,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Pacific Drywall Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Pacific Drywall Project.

**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with the Corporation in connection with the Pacific Drywall Project and to provide annual appropriation economic development payments (the "Payments") to the Corporation thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Pacific Drywall Property. *It is anticipated that the City's total commitment of incremental property tax revenues each year for 5 years with respect to the Pacific Drywall Project and for that period will not exceed \$34,000, plus the Admin Fees.*

**E.**

**Name of Project:** Landscape by Design, Inc. Development Project

**Name of Urban Renewal Area:** Huxley Urban Renewal Area

**Date of Council Approval of Project:** December 18, 2018

**Description of Project and Project Site:** Landscape by Design, Inc. ("Landscape by Design") has proposed to undertake the construction of a new building and related landscape architecture facilities (the "Development Project") on Lot Eleven (11) (the "Landscape by Design Property") in the Huxley Business Park in the Urban Renewal Area.

It has been requested that the City provide tax increment financing assistance to Landscape by Design in support of the efforts to complete, operate and maintain the Development Project.

The costs incurred by the City in providing tax increment financing assistance to Landscape by Design will include legal and administrative fees (the "Admin Fees") in an amount not to exceed \$5,000.

**Description of Public Infrastructure to be Constructed in Connection with the Project:** It is not anticipated that the City will undertake any public infrastructure improvements in connection with the Development Project.

**Description of Properties to be Acquired in Connection with the Project:** It is not anticipated that the City will acquire real property in connection with the Development Project.

**Description of Use of TIF for the Project:** The City intends to enter into a Development Agreement with Landscape by Design with respect to the construction and use of the completed Development Project and to provide annual appropriation economic development payments (the "Payments") to Landscape by Design thereunder. The Payments will be funded with incremental property tax revenues to be derived from the Landscape by Design Property. It is anticipated that the City's total commitment of incremental property tax revenues with respect to the Development Project will not exceed \$56,000, plus the Admin Fees.

**3) Required Financial Information.** The following information is provided in accordance with the requirements of Section 403.17 of the Code of Iowa:

Constitutional debt limit of the City: \$14,379,305

*Outstanding general obligation debt of the City:* \$14,618,500

*Proposed debt to be incurred under the December, 2018*

*Amendment\*:*

\$347,000

\*It is anticipated that some or all of the debt incurred hereunder will be subject to annual appropriation by the City Council.

EXHIBIT A  
Legal Description  
Huxley Urban Renewal Area  
December, 2018 Addition

Certain real property situated in the City of Huxley, Story County, State of Iowa,  
bearing Story County Property Tax Parcel Identification Number 13-26-210-265.