CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 19, 2024

AGENDA ITEM #1	SITE-2024-000066

Applicant: Haymarket Investors, LLC (owner), represented by & Brew Iowa, LLC (officer).

Location: 4341 Merle Hay Road.

Requested Action Review and approval of a Public Hearing Site Plan "7 Brew Drive Thru Coffee," and for the following Type 2 Design Alternatives in accordance with City Code Sections 135-9.2.4(B) and 135-9.3.1(B):

A) Reduction of the minimum required primary frontage coverage from 60% to 17.6%, per City Code Section 135-2.5.3.A.2.

B) Allow a primary frontage build-to-zone of 54 feet when 0 to 10 feet is required, per City Code Section 135-2.5.3.A.3.

C) Waive the requirement to have an entrance on a primary frontage façade, per City Code Section 135-2.5.3.D.20.

D) Allow a drive-through facility in the front yard, per City Code Section 135-2.22.D.1.

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed site plan would allow for the construction of a 550-square-foot building and a 272-square-foot exterior cooler with an associated two-lane drive-through and surface parking lot for a drive-through coffee shop use. The building is proposed to be setback 54 feet from the property line along Merle Hay Road. Staff analysis can be found in Section II of this report.

2. **Size of Site:** 31,125 square feet (0.715 acres).

3. **Existing Zoning (site):** "CX" Mixed Use District.

4. **Existing Land Use (site):** The subject property was previously a Price Chopper gas station. The gas station has been demolished, and the property is currently a vacant lot.

5. **Adjacent Land Use and Zoning:**

   North – "CX", Use is an undeveloped commercial center outlot.

   South – "CX", Use is a vacant lot.

East – “CX”, Use is a vacant retail building.

West – “MX3-V”, Uses are auto repair and two restaurants.

6. **General Neighborhood/Area Land Uses:** The subject property is within the Merle Hay Road commercial corridor. The subject property is located on the eastern side of Merle Hay Road, just north of Aurora Avenue. This portion of the corridor is auto-oriented and dominated by a mix of regional commercial uses and associated surface parking lots.

7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Merle Hay Neighborhood. All recognized neighborhoods were notified of the Commission meeting by emailing of the Preliminary Agenda on August 30, 2024, and the Final Agenda on September 13, 2024.

   Additionally, an official public notice of the hearing for this specific item was mailed on September 9, 2024 (10 days before the hearing), to any Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site or adjacent to the site. All Neighborhood Association mailings are sent to the primary contact designated by the recognized Neighborhood Association on file with the City of Des Moines’ Neighborhood Services Department.

8. **Relevant Zoning History:** None.

9. **PlanDSM Future Land Use Plan Designation:** Regional Mixed Use.

10. **Applicable Regulations:** Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:

    - Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;

    - Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:

      - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so

substantially decreased that site use will inhibit or preclude planned future development;

- Zoning restrictions at the time of the proposal;

- The city’s comprehensive plan;

- The city's plans for future construction and provision for public facilities and services; and

- The facilities and services already available to the area which will be affected by the proposed site use;

- Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the city will not be adversely affected;

- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;

- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and

- Consider the smart planning principles set forth in Iowa Code Chapter 18B.

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.

- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:

  - An evaluation of the character of the surrounding neighborhood, such as:

- Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and

- Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);

- For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;

  - The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;

  - Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;

  - Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare;

  - Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and

  - Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. <u>ADDITIONAL APPLICABLE INFORMATION</u>

1. **Primary Frontage Coverage:** City Code requires the Storefront building type to have a minimum 60% primary frontage coverage. The applicant is proposing 17.6% primary frontage coverage. Staff recognizes that the layout was chosen by the applicant to allow utilization of existing property with the existing water line constraint. The proposed layout would allow for adequate maneuverability of vehicles on site. Staff believes the proposed primary frontage coverage is acceptable given the character of the surrounding commercial corridor, and the existing site constraints.

2. **Primary Frontage Setback:** City Code requires the Storefront building type to be constructed within 10 feet of the property line along primary frontages. The applicant is proposing a setback of approximately 54 feet from Merle Hay Road. The

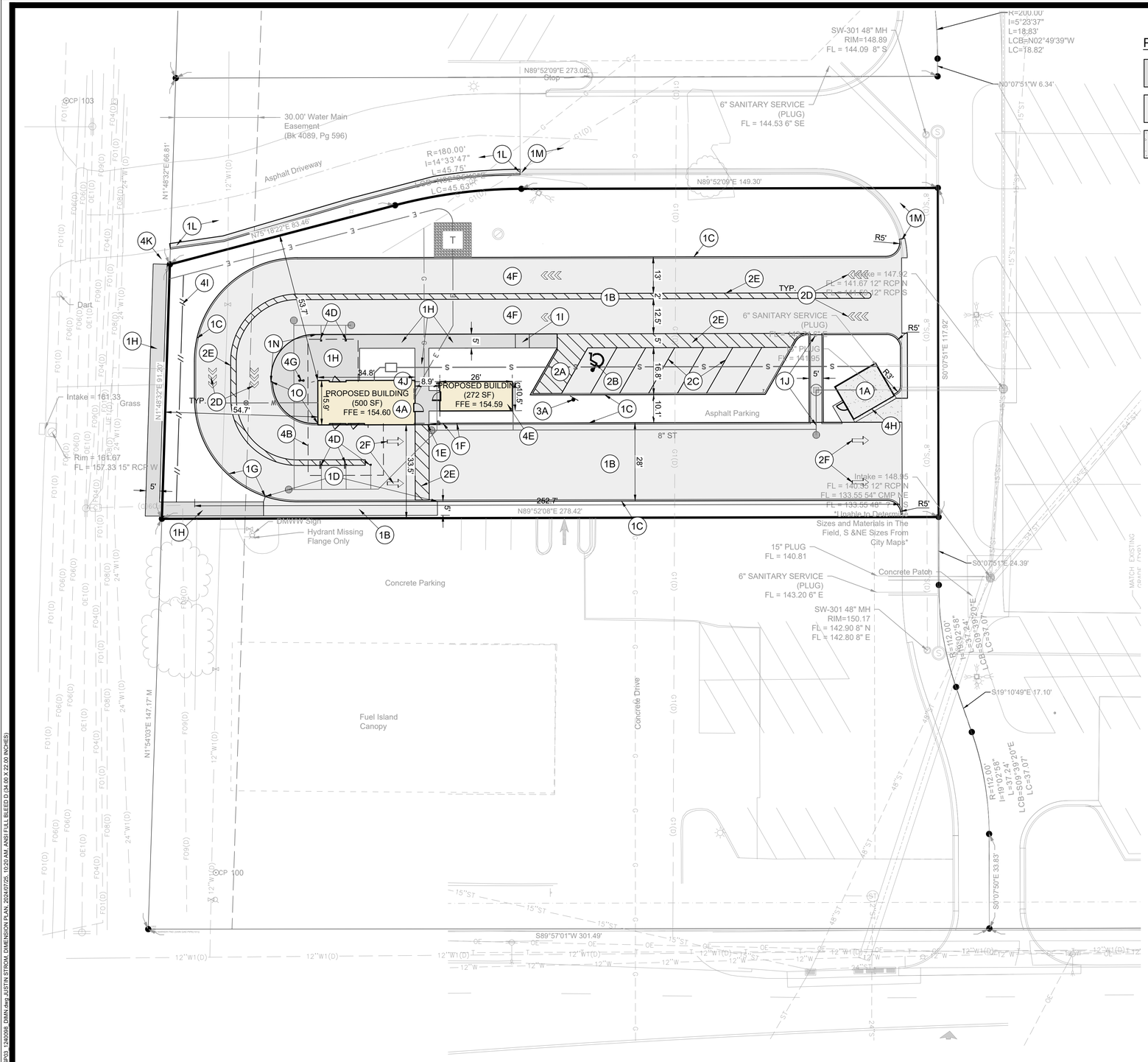
property has an existing water line running north and south on the western portion of the property. The proposed building construction within 10 feet of the property line is infeasible without relocation of the water line. Staff does not believe it is reasonably practicable to relocate the water line for the proposed building placement.

3. **Principal Entrance:** City Code requires a principal entrance on a primary street frontage façade. The applicant is proposing a building entrance on the interior north and south sides of the building to allow for public access. The proposed layout would include sidewalk installation and connection to the proposed Merle Hay Road sidewalk segment along the southern portion of the property. The proposed sidewalk connection would provide the safest path for pedestrian traffic to access the public entrance while minimizing conflicts with queueing traffic. Staff is supportive of this request based on existing site constraints and public sidewalk access.

4. **Drive-Through Location:** City Code permits a drive-through on the rear or interior side façade of a building. The applicant is proposing a two-lane drive-through oriented towards Merle Hay Road (primary street frontage). The applicant would provide adequate buffer landscaping for the full length of the drive-through. Taking into consideration the auto-oriented nature of the corridor, the existing water line constraints, and the supported increased frontage setbacks, staff is supportive of the proposed drive-through location.

III. STAFF RECOMMENDATION

Staff recommends approval of the Public Hearing Site Plan and the requested Type 2 Design Alternatives, subject to compliance with administrative review comments.



PAVEMENT LEGEND

- 5" PCC SIDEWALK
- 6" PCC PAVEMENT
- 7" PCC PAVEMENT

DIMENSION PLAN CONSTRUCTION NOTES

1. PAVEMENTS, PROVIDE THE FOLLOWING:
   - A. 7" PCC WITH 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR.
   - B. 6" PCC WITH 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR
   - C. 6" PCC STANDARD CURB.
   - D. 3" ROLLED/MOUNTABLE CURB.
   - E. NO CURB.
   - F. TAPER FROM 6" CURB TO NO CURB OVER MINIMUM 5'.
   - G. TRANSITION FROM 6" CURB TO EXISTING MOUNTABLE 3" CURB.
   - H. SIDEWALK 5" DEPTH PCC ON 6" PREPARED SUBGRADE. SEE GRADING PLAN FOR MORE INFORMATION.
   - I. PARALLEL CURB RAMP WITH A MAXIMUM SLOPE OF 8.33%.
   - J. INSTALL CURB CUT FOR DRAINAGE.
   - K. REMOVE AND REPLACE GUTTER AS NEEDED FOR 6" CURB INSTALLATION.
   - L. 24" CURB AND GUTTER UNIT WITH STANDARD 6" CURB HEIGHT. MATCH PAVEMENT THICKNESS ENCOUNTERED.
   - M. 24" CURB AND GUTTER UNIT WITH STANDARD 6" CURB HEIGHT. MATCH PAVEMENT THICKNESS ENCOUNTERED. COORDIANTE LAYOUT AND ELEVATIONS WITH MERLE HAY MARKET SITE PLANS.
   - N. TAPER FROM 6" CURB TO 4" CURB.
   - O. TAPER FROM 4" CURB TO NO CURB.
2. PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
   - A. ACCESSIBLE AISLE. 45° STRIPING AT 3' ON CENTER SPACING. COORDINATE COLOR WITH OWNER.
   - B. PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL. COORDINATE COLOR WITH OWNER.
   - C. 4" WIDE PAINTED PARKING STALLS. .
   - D. PAINTED DRIVE THRU LANE ARROW PAVEMENT MARKING. COORDINATE COLOR WITH OWNER.
   - E. 45° STRIPING AT 3' ON CENTER SPACING WHERE SHOWN. COORDINATE COLOR WITH OWNER.
   - F. DIRECTIONAL ARROWS.
3. SIGNS, PROVIDE THE FOLLOWING:
   - A. POST MOUNTED ACCESSIBLE PARKING SIGNAGE AS PER ADAAG REQUIREMENTS.
4. SITE AMENITIES, PROVIDE THE FOLLOWING. REFER TO ARCHITECTURAL/BUILDING PLANS FOR DETAILED INFORMATION REGARDING BUILDING AND STRUCTURAL CONSTRUCTION.
   - A. BUILDING.
   - B. EXTERIOR UPPER CANOPY.
   - C. EXTERIOR LOWER CANOPY WITH COLUMNS.
   - D. CANOPY COLUMNS.
   - E. REFRIGERATION UNIT AND PAD.
   - F. DRIVE THRU ISLE.
   - G. BIKE LOOP PER MANUFACTURERS RECOMMENDATION.
   - H. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
   - I. 3' TALL DECORATIVE FENCE FOR FENCE FRONTAGE BUFFER.
   - J. PROVIDE A KNOX BOX LOCATED NEAR THE MAIN BUILDING ENTRANCE TO FACILITATE EMERGENCY ACCESS. ALL LOCK BOXES OR LOCK BOX KEY ACTIVATED DEVICES SHALL BE OPERABLE WITH THE EXISTING LOCK BOX KEY USED BY THE DES MOINES FIRE DEBARMENT. CONTACT THE FIRE PREVENTION BUREAU AT 515-283-4240 FOR MORE INFORMATION.
   - K. SIDEWALK CROSSING BY OTHERS. COORDINATE WITH HAYMARKET SQUARE IMPROVEMENT PLANS.

MARK	REVISION	DATE	BY
1	PER CITY COMMENTS	07-10-24	JFS

Engineer: JFS | Checked By: JFS | Scale: 1" = 20'
Technician: CMC | Date: 06-06-24 | T-R-S: TTN-RRW-SS
Project No: 124.0098.01

Sheet C300

7 BREW DRIVE THRU COFFEE

DES MOINES, IOWA

DIMENSION PLAN

SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

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Project No: 124.0098.01
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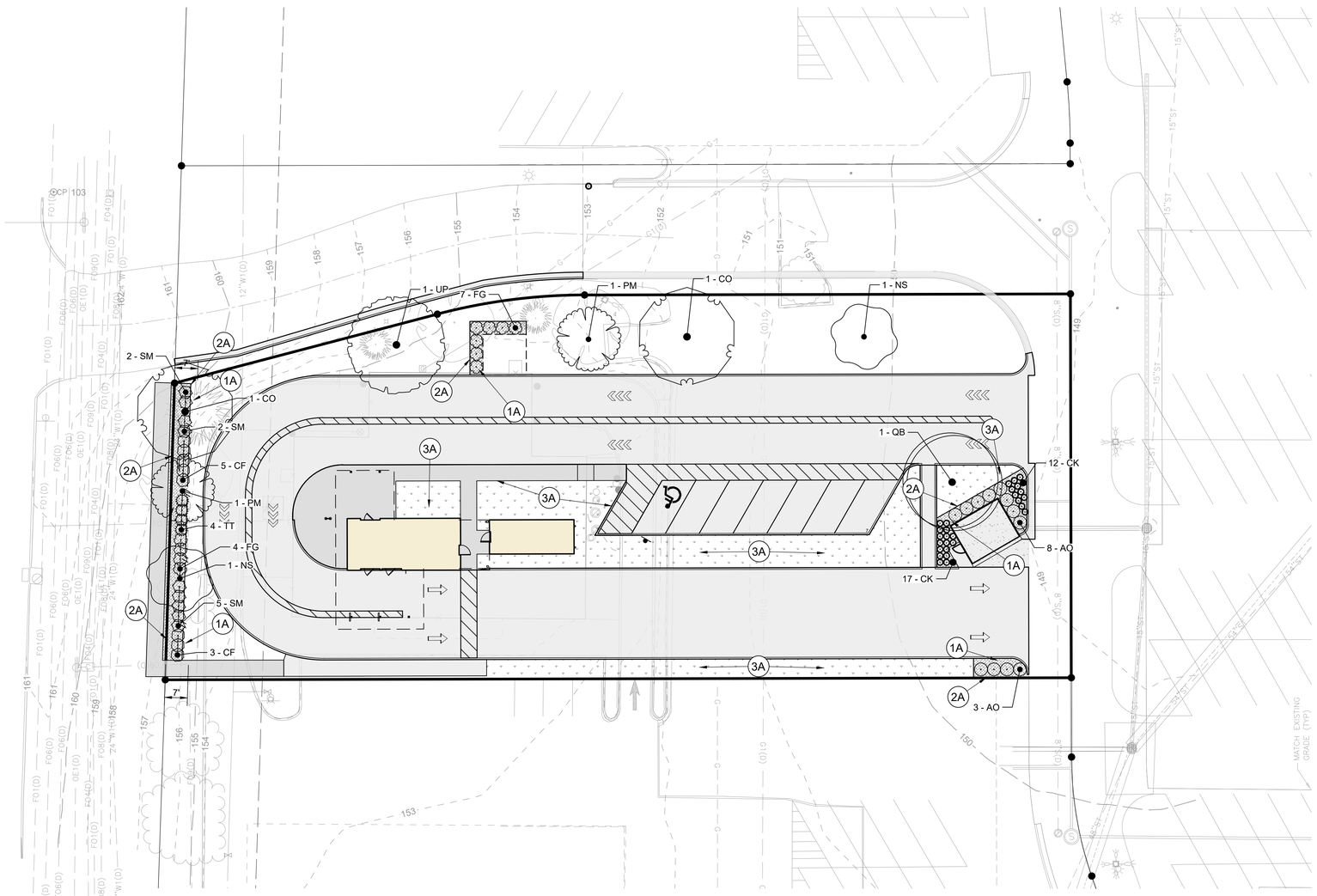

LANDSCAPE PLAN GENERAL NOTES

A. THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO NEGLIGENCE SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.

C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).

D. IF IMPERVIOUS SOILS ARE DISCOVERED. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT. IF TREE DRAINAGE WELLS ARE NEEDED, REFER TO IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) 9030.103.

E. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR FOR ONE YEAR AFTER INITIAL ACCEPTANCE, UNLESS SPECIFIED OTHERWISE.

F. FOR TREES NOT LOCATED IN DESIGNATED BEDS, MULCH RINGS TO A MINIMUM DIAMETER OF 4-FEET WILL BE REQUIRED.

G. PRIOR TO PLANTING, CHECK FOR CIRCLING ROOTS IN ROOT BALL. IF THERE'S EVIDENCE OF CIRCLING ROOTS, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR REVIEW. PLANTS WITH CIRCLING ROOTS MAY BE REJECTED.

H. VERIFY LOCATION OF ROOT COLLAR PRIOR TO PLANTING. NOTIFY LANDSCAPE ARCHITECT IF ROOT COLLAR IS NOT LOCATED AT THE TOP OF THE ROOT BALL. PLANTS THAT SHOW EVIDENCE OF BURIED ROOT COLLARS MAY BE REJECTED.

I. CONFIRM LOCATION OF ROOT COLLAR AND FLARE PRIOR TO PLANTING. REMOVE EXCESS SOIL TO EXPOSE ROOT FLARE. THIS WILL DETERMINE PROPER PIT DEPTH. REFER TO DETAILS ON FOR FURTHER INSTRUCTIONS.

J. WHEN PLANTING, REMOVE ALL NON-BIODEGRADABLE, SYNTHETIC MATERIAL. EXAMPLES SUCH AS CONTAINERS, SYNTHETIC BURLAP, STRAPPING, PLASTIC, OR OTHER MATERIAL THAT WILL IMPEDE THE GROWTH OF THE PLANT MATERIAL. FOR NATURAL FIBER BURLAP, REMOVE MINIMUM TOP HALF OF BURLAP AND WIRE BASKET.

K. UNLESS SPECIFIED OTHERWISE, BACKFILL PITS WITH LOOSE, NATIVE TOPSOIL. WHEN EACH PIT IS TWO THIRDS FULL, WATER ROOT BALL AND ALLOW THE WATER TO COMPLETELY SOAK INTO SOIL BEFORE PLACING REMAINING BACKFILL. DO NOT TAMP OR STEP ON SOIL. ADD REMAINING SOIL AND WATER A SECOND TIME.

L. DURING THE WARRANTY PERIOD, COORDINATE WITH OWNER ON A COMPREHENSIVE MAINTENANCE AND WATERING STRATEGY.

M. SET ALL PLANTS PLUMB. MAINTAIN THROUGHOUT WARRANTY. THIS SHALL INCLUDE PRUNING BROKEN BRANCHES, DEAD, AND/OR POOR BRANCHING. TREE PRUNING SHALL BE CONDUCTED BY A CERTIFIED ARBORIST AND TO BE IN ACCORDANCE WITH ANSI STANDARDS. IF APPLICABLE TO PROJECT, TREES SHOULD BE TRIMMED TO PROVIDE AT LEAST A 7' HT. CLEARANCE ALONG STREETS AND SIDEWALKS. REMOVE ALL FLAGGING AND LABELS AFTER OWNER APPROVAL.

N. UNLESS SPECIFIED OTHERWISE, HYDRO-SEED ALL AREAS DISTURBED BY CONSTRUCTION WITH SUDAS TYPE 1 PERMANENT LAWN MIX. CONTRACTOR IS RESPONSIBLE FOR SEEDING ANY ADDITIONAL AREAS THAT ARE NOT INDICATED ON THE PLANS.

O. CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING AT 515-283-4950

P. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL OF TREES PRIOR TO PLANTING

Q. ANY TREE PLANTED WILL BE AT LEAST 15' AWAY FROM ANY UTILITY POLES OR OVERHEAD LINES.

R. ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH AND NOT INCLUDING ROCK.

S. STREET TREES WITHIN THE RIGHT OF WAY SHALL NOT BE PLANTED WITHIN 10' OF THE LARGE 24" WATER MAIN. COORDINATE EXACT LOCATION WITH CITY OF DES MOINES AND DES MOINES WATER WORKS PRIOR TO PLANTING.

LANDSCAPE PLAN CONSTRUCTION NOTES

1. MULCH BED, PROVIDE THE FOLLOWING:
   A. SHREDDED HARDWOOD. 4-INCH DEPTH. TAPER MULCH DEPTH TOWARDS BED EDGING AND/OR PAVEMENT EDGE, EXPOSING 1-INCH HEIGHT OF EDGE.

2. LANDSCAPE EDGING, PROVIDE THE FOLLOWING:
   A. SPADE-CUT. CUT VERTICALLY TO A DEPTH OF 4-INCHES.

3. TURF ESTABLISHMENT, PROVIDE THE FOLLOWING:
   A. SOD. KENTUCKY BLUEGRASS. CONTRACTOR TO WATER FOR TEN DAYS AFTER INSTALL.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	TRUNK STYLE
OVERSTORY TREES						
CO	2	CELTIS OCCIDENTALIS	COMMON HACKBERRY	1.5-IN. CAL.	CONTAINER	SINGLE
NS	2	NYSSA SYLVATICA	TUPELO	1.5-IN. CAL.	CONTAINER	SINGLE
PM	2	PLATANUS X ACERIFOLIA 'MORTON CIRCLE'	EXCLAMATION!™ LONDON PLANE TREE	1.5-IN. CAL.	CONTAINER	SINGLE
QB	1	QUERCUS BICOLOR	SWAMP WHITE OAK	1.5-IN. CAL.	CONTAINER	SINGLE
UP	1	ULMUS PARVIFOLIA	LACEBARK ELM	1.5-IN. CAL.	CONTAINER	SINGLE
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	UNIT	MATURE HT.
SHRUBS						
SH	1	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONTAINER	
CONIFEROUS SHRUBS						
TT	4	TAXUS X MEDIA 'TAUNTONII'	TAUNTON'S ANGLO-JAPANESE YEW	#3	CONTAINER	
DECIDUOUS SHRUBS						
AO	13	AMELANCHIER ALNIFOLIA 'OBELISK'	STANDING OVATION™ SERVICEBERRY	#5		
CF	8	CORNUS SERICEA 'FARROW'	ARCTIC FIRE® RED TWIG DOGWOOD	#3	CONTAINER	SINGLE
FG	11	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	#3		
SM	9	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	#3	CONTAINER	
ORNAMENTAL GRASSES						
CK	31	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	#1	CONTAINER	

NOTE: CONTRACTOR SHALL VERIFY FINAL PLANT QUANTITIES PRIOR TO BIDDING. SHOULD THERE BE ANY DISCREPANCIES REGARDING QUANTITIES AND SPACING WITH COMPARISON TO WHAT'S DRAWN AND LABELED ON PLAN, THE PLAN SHALL GOVERN.

LANDSCAPE REQUIREMENTS:

(AS PER CITY OF DES MOINES SITE PLAN LANDSCAPE AND STREETSCAPE REQUIREMENTS, CX DISTRICT)

OPEN SPACE REQUIREMENTS:
SEE SHEET C101 "BASE CALCULATIONS" FOR OPEN SPACE

SITE TREE REQUIREMENTS:
A MINIMUM 15% OF LOT AREA SHALL HAVE MATURE CANOPY COVERAGE.
--31,203 SF x 15%= 4,681 SF REQUIRED.
--1 CANOPY TREE YIELDS 1,000 SF. 4,681/ 1,000 = 4.7, OR 5 CANOPY TREES REQUIRED.

INTERIOR PARKING LOT LANDSCAPE REQUIREMENTS:
PER CITY OF DES MOINES CODE "PARKING SPACE SHALL BE LOCATED WITHIN 50 FEET OF A TREE PLANTED WITHIN THE PARKING LOT INTERIOR".
--NO PARKING STALL IS GREATER THAN 50 FROM PARKING LOT TREE.

30% TREE CANOPY SHADE REQUIREMENT OF PARKING LOT PAVEMENT.
--TOTAL PARKING AREA LOT PAVEMENT = 2,902 SF.
--2,902 SF x 0.3 = 870 SF REQUIRED.
--1 OVERSTORY TREE X 1000 SF CANOPY COVERAGE = 1,000 SF.
--1,000/ 2,902 = 34.5% PROVIDED.

TRASH ENCLOSURE LANDSCAPE REQUIREMENTS:
5' LANDSCAPING BUFFER ALONG 3 SIDES WITH LANDSCAPING CONSISTING OF 1 SHADE TREE AND ORNAMENTAL GRASSES OR SHRUBS COVERING A MINIMUM OF 50% OF BUFFER AREA.

STREET TREE REQUIREMENT:
1 CANOPY TREE PER 30'; MATCH FRONTAGE BUFFER REQUIRMENT, PER CITY OF DES MOINES COMMENTS.
MERLE HAY ROAD - 90' / 30' = 3 REQUIRED.
--0 PROVIDED. PRESENCE OF 24" WATER MAIN, OVERHEAD POWER LINES AND BURIED COMMUNICATIONS CABLES DOESN'T PROVIDE ENOUGH SPACE FOR STREET TREE PLANTINGS.

FENCE BUFFER REQUIREMENT:
1 CANOPY TREE PER 40'.
--MERLE HAY ROAD - 90'.
--TOTAL REQUIRED TREES: 90' / 40' = 2.25 , 3 PROVIDED.

"CONTINUOUS ROW OF SHRUBS" SPACED AT NO MORE THAT 36 INCHES ON-CENTER.
--TOTAL VIABLE BUFFER LENGTH: 84'
--TOTAL REQUIRED SHRUBS: 84 / 3 = 28, 28 PROVIDED.

TREE MITIGATION REQUIREMENT:
NO TREE REMOVAL SHOWN.

SPECIES DIVERSITY REQUIREMENT:
NO QUANTITY OF SPECIES SHALL EXCEED 20% OF THE TOTAL PLANTS.
-- NO SPECIES EXCEEDS 20% OF THE TOTAL PLANTS.

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MARK	REVISION	DATE	BY
1	PER CITY COMMENTS	07-10-24	JFS

Engineer: JFS | Checked By: JFS | Scale: 1" = ##
Technician: CMC | Date: 06-06-24 | T-R-S: TTN-RRW-SS
Project No: 124.0098.01

Sheet C600

7 BREW DRIVE THRU COFFEE
DES MOINES, IOWA

LANDSCAPING PLAN

SNYDER & ASSOCIATES, INC.
2727 S.W. SNYDER BLVD
ANKENY, IOWA 50023
515-964-2020 | www.snyder-associates.com

SNYDER & ASSOCIATES

Project No: 124.0098.01
Sheet C600

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7 Brew Template V3.0 Mirrored This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. ©2023

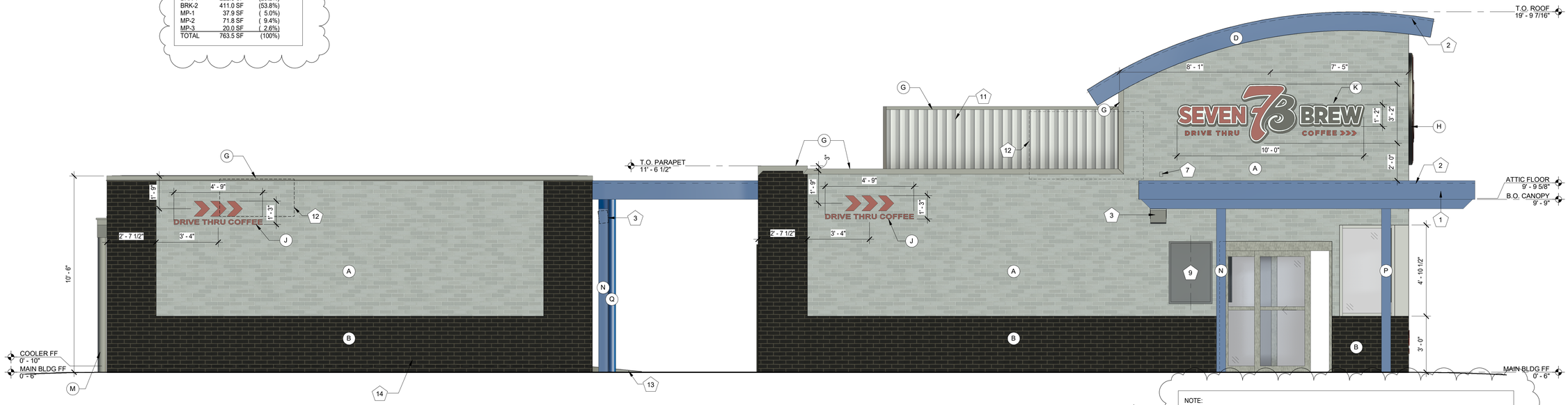
EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TY; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	<varies>
9	SURFACE MOUNTED LIGHTED SIGN BOX
10	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	MP-1 PANELS ATTACHED TO 3'-6" GUARDRAIL
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	RUBBERIZED RAMP TO COOLER DOOR; LESS THAN 36" RUN LENGTH
14	NATIONAL MODULAR MANUFACTURING PREFABRICATED COOLER W/ STORAGE; COORDINATE LOCATION & SPECIFICATIONS WITH CIVIL AND STRUCT
15	36" COOLER DOOR

EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	MODULAR BRICK (BRK-2)
B	MODULAR BRICK (BRK-1)
C	VERTICAL METAL SIDING (MP-1)
D	BRAKE METAL FASCIA (MP-2)
E	SOFFIT PANELS (MP-2)
F	STANDING SEAM ROOF PANELS (MP-2)
G	METAL BRAKE CAP (MP-3)
H	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
J	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
K	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
M	EXPOSED DOWNSPOUT & CONDUCTOR HEAD; GALVANIZED, PAINTED; DRAIN TO GRADE; REF CIVIL
N	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
P	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
Q	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL
R	SPANDREL WINDOW

FACADE MATERIAL AREAS - NORTH		
BRK-1	222.8 SF	(29.2%)
BRK-2	411.0 SF	(53.8%)
MP-1	37.9 SF	(5.0%)
MP-2	71.8 SF	(9.4%)
MP-3	20.0 SF	(2.6%)
TOTAL	763.5 SF	(100%)



NOTE:

STOREFRONT WINDOWS AND DOOR GLASS SHALL BE A MINIMUM 50% TRANSMITTANCE FACTOR AND REFLECTANCE OF NO MORE THAN 0.25.

NOTE:

ALL SIGNAGE IS FOR REFERNCE PURPOSES. SEPARATE SIGN PERMITS AND ZONING REVIEW ARE REQUIRED.

1 EXTERIOR ELEVATION - NORTH

3/8" = 1'-0"

veritas
architecture + design

707 n. 6th street
kansas city, ks 66101
www.veritas-ad.com
913.308.1460

consulting engineer:

7 BREW DRIVE THRU - DES MOINES IA - MERLE HAY

7BREW IOWA, LLC

4241 MERELE HAY ROAD, DES MOINES, IOWA 50310

REVISIONS

No.	Description	Date
1	city com	07/10/24

sheet issue date: 05/29/2024

project no.: 22.49.02

sheet contents: EXTERIOR ELEVATIONS

sheet no.: A2.2

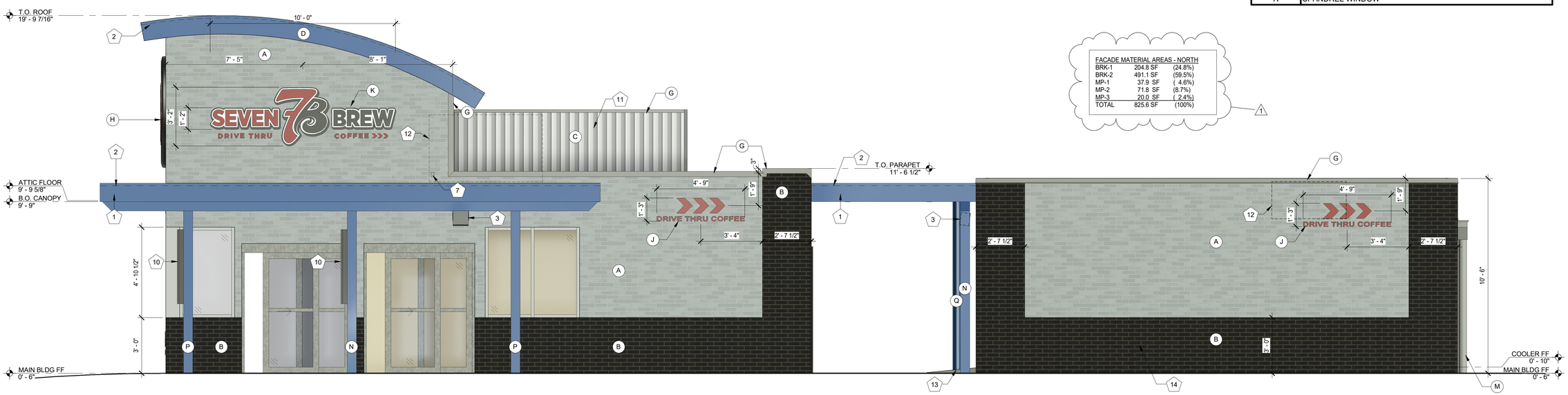
7/10/2024 4:23:55 PM C:\Users\Todd\Documents\22.49.02_Des Moines IA - Merle Hay_Entitlement_veri-tredder.rvt
7 Brew Template V3.0 Mirrored This drawing is an instrument of service and, as such, shall remain the property of Veritas Architecture and Design LLC. Unauthorized use or reproduction without permission is prohibited. This document is for use in connection with the specified project and shall not be used for other locations. ©2023

EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TY; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	<varies>
9	SURFACE MOUNTED LIGHTED SIGN BOX
10	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	MP-1 PANELS ATTACHED TO 3'-6" GUARDRAIL
12	OUTLINE OF MECHANICAL UNIT BEYOND
13	RUBBERIZED RAMP TO COOLER DOOR; LESS THAN 36" RUN LENGTH
14	NATIONAL MODULAR MANUFACTURING PREFABRICATED COOLER W/ STORAGE; COORDINATE LOCATION & SPECIFICATIONS WITH CIVIL AND STRUCT
15	36" COOLER DOOR

EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	MODULAR BRICK (BRK-2)
B	MODULAR BRICK (BRK-1)
C	VERTICAL METAL SIDING (MP-1)
D	BRAKE METAL FASCIA (MP-2)
E	SOFFIT PANELS (MP-2)
F	STANDING SEAM ROOF PANELS (MP-2)
G	METAL BRAKE CAP (MP-3)
H	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
J	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
K	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
M	EXPOSED DOWNSPOUT & CONDUCTOR HEAD; GALVANIZED, PAINTED; DRAIN TO GRADE; REF CIVIL
N	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
P	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
Q	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL
R	SPANDREL WINDOW



FACADE MATERIAL AREAS - NORTH		
BRK-1	204.8 SF	(24.8%)
BRK-2	491.1 SF	(59.5%)
MP-1	37.9 SF	(4.6%)
MP-2	71.8 SF	(8.7%)
MP-3	20.0 SF	(2.4%)
TOTAL	825.6 SF	(100%)

NOTE:

STOREFRONT WINDOWS AND DOOR GLASS SHALL BE A MINIMUM 50% TRANSMITTANCE FACTOR AND REFLECTANCE OF NO MORE THAN 0.25.

NOTE:

ALL SIGNAGE IS FOR REFERNCE PURPOSES. SEPARATE SIGN PERMITS AND ZONING REVIEW ARE REQUIRED.

1 EXTERIOR ELEVATION - SOUTH

3/8" = 1'-0"

veritas
architecture + design

707 n. 6th street
kansas city, ks 66101
www.veritas-ad.com
913.308.1460

consulting engineer:

7 BREW DRIVE THRU - DES MOINES IA - MERLE HAY

7BREW IOWA, LLC

4241 MERELE HAY ROAD, DES MOINES, IOWA 50310

REVISIONS

No.	Description	Date
1	city com	07/10/24

sheet issue date: 05/29/2024

project no.: 22.49.02

sheet contents: EXTERIOR ELEVATIONS

sheet no.: A2.3

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 19, 2024

AGENDA ITEMS #2A – #2B	ZONG-2024-000016

Applicant: Steinbeck Properties, LLC (owner), represented by Usman Haq (officer).

Location: Two (2) parcels located in the vicinity of 955 24th Street.

Requested Action: Part A) Determination as to whether the requested rezoning is in conformance with the PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Rezone property from "N5" Neighborhood District to "N5-2" Neighborhood District, to allow the construction of a two-household residential dwelling (duplex). (ZONG-2024-000016)

The applicant is requesting that this item be continued to the October 17th Plan and Zoning Commission Meeting to allow adequate time for a neighborhood outreach meeting.

GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to construct a new two-household dwelling on the property which requires rezoning the subject property from "N5" Neighborhood District to "N5-2" Neighborhood District.

2. **Size of Site:** 0.27 acres (11,755 square feet).

3. **Existing Zoning (site):** "N5" Neighborhood District.

4. **Existing Land Use (site):** The subject property is vacant.

5. **Adjacent Land Use and Zoning:**

   North – "ROW"; Uses are Interstate 225 right-of-way.

   South – "N5"; Uses are one-household residential.

   East – "N5"; Uses are one-household residential.

   West – "N5"; Uses are one-household residential.

6. **General Neighborhood/Area Land Uses:** The subject property is located to the south of Interstate 225 on 24th Street. It is located in the Woodland Heights Organization Neighborhood, which consists of a mix of one-household residential, two-household residential, multiple-household residential, as well as small scale office, commercial, religious, educational, and institutional uses.

7. **Applicable Recognized Neighborhood(s):** The subject property is located in the Woodland Heights Neighborhood and within 250 feet of Drake Neighborhood. All recognized Neighborhood Associations were notified of the public hearing by email of the Preliminary Agenda on August 30, 2024, and Final Agenda on September 13, 2024. Additionally, an official public notice of the hearing for this specific item was mailed on August 30, 2024 (20 days before the hearing), and on September 9, 2024 (10 days before the hearing), to any Neighborhood Association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site or adjacent to the site. All Neighborhood Association mailings are sent to the primary contact designated by the recognized Neighborhood Association on file with the City of Des Moines' Neighborhood Services Department.

   The applicant is required to hold a neighborhood outreach meeting prior to the public hearing and can provide a summary of such at the hearing.

8. **Relevant Zoning History:** NA.

9. **PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Low Density Residential.

10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject area owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. <u>ADDITIONAL APPLICABLE INFORMATION</u>

1. **PlanDSM Creating Our Tomorrow:** The subject property has a future land use designation of "Low Density Residential". Plan DSM describes the designation as follows:

   <u>Low Density Residential:</u> Areas developed with primarily single family and two family residential units with up to 6 dwelling units per net acre.

   The subject parcel is currently zoned "N5" District. The Zoning Ordinance describes this district as, "intended to preserve the scale and character of neighborhoods developed with a mix of bungalow and two-story houses, predominantly in the Victorian, Revival, and Arts and Crafts styles pursuant to House D building type in section 135-2.16 of this code."

The applicant is proposing to rezone the parcel to the “N5-2” District. For N district locations labeled with a “-2 extension, the maximum number of household units permitted per lot is two, pursuant to section 134-3.1.2 of this code”. The proposed “N5-2” District is consistent with the Low Density Residential designation since it allows for duplex uses.

III. STAFF RECOMMENDATION

Staff recommends that this item be continued to the October 17th Plan and Zoning Commission meeting to allow adequate time to do a neighborhood outreach meeting.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 19, 2024

AGENDA ITEM #3	PLAT-2024-000040

Applicant: HRC NFS I, LLC (developer), represented by Caleb Smith (officer).

Location: Vicinity of 1400 Tuttle Street.

Requested Action: Review and approval of a Preliminary Plat "Gray's Station Plat 8" on 10.28 acres of property for thirty (30) lots for rowhouse development (30 household units).

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to subdivide the subject property within the PUD to allow the development and construction of thirty (30) one-household residential lots containing row homes.

2. **Size of Site:** 10.28 acres.

3. **Existing Zoning (site):** Gray's Station PUD, Planned Unit Development District.

4. **Existing Land Use (site):** The area is currently undeveloped land.

5. **Adjacent Land Use and Zoning:**

   North – "DX2"; Uses are the future Tuttle Street extension, open space, and a MidAmerican utility parcel.

   South – "Gray's Station PUD" & "F"; Uses are open space, a city stormwater management facility, the Raccoon River, and Gray's Lake Park.

   East – "Gray's Station PUD" & "DX2"; Uses are townhomes, multiple-household dwelling units, and undeveloped land.

   West – "Gray's Station PUD" & "DX2"; Uses are industrial warehousing and undeveloped land.

6. **General Neighborhood/Area Land Uses:** The subject property is located generally to the south of West Martin Luther King Jr. Parkway and to the west of Southwest 11th Street in the southern fringes of Downtown. The site's vicinity consists of mixed-use and medium-density residential development, parkland, and undeveloped parcels. The Raccoon River flanks the southern boundary of the site. Gray's Lake Park lies further south of the river.

7. **Applicable Recognized Neighborhood(s):** The subject property is located within the Downtown Des Moines Neighborhood Association. The neighborhood association was notified of the public hearing by emailing of the Preliminary Agenda

on August 30, 2024, and by emailing of the Final Agenda on September 13, 2024. Notifications of the hearing for this specific item were mailed on September 9, 2024 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Services Department. The Downtown Des Moines Neighborhood notices were mailed to Deb Madison-Levi.

8. **Relevant Zoning History:** The subject property was rezoned to "PUD" on August 14, 2017, at which time a "PUD" Conceptual Plan was adopted.

9. **PlanDSM Future Land Use Plan Designation:** Downtown Mixed Use and Neighborhood Mixed Use.

10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission shall determine if such Preliminary Plat conforms to the standards and requirements outlined in Chapter 354 of the Iowa Code, and the City Subdivision Ordinance and shall approve, conditionally approve or reject such Plat within 45 days after the date of submission to the City Permit and Development Center. Unless the applicant agrees in writing to an extension of time, the Preliminary Plat shall be deemed approved if the Commission does not act within such 45-day period. The Commission's action for approval or conditional approval shall be null and void unless the Final Plat is submitted to the City Permit and Development Center within 270 days after the date of such action; provided, however, that the Permit and Development Administrator may grant, upon written request of the applicant, up to a 90-day extension for submittal of the Final Plat to the City Permit and Development Center.

II. <u>ADDITIONAL APPLICABLE INFORMATION</u>

1. **Street Network:** The proposed preliminary plat would involve the creation and extension of public and private streets to serve the development. As an infill Downtown site, the street layouts (both public and private) are proposed to complement the City street grid (in terms of both layout and construction) that already exists in this area. Murphy Street is proposed to extend to the west. A new segment of SW 14th Street is proposed to be constructed north-south from Tuttle Street to Murphy Street. The future Tuttle Street extension will connect SW 14th Street to the future SW 16th Street. Additional north-south private streets and east-west private connectors are proposed within the development.

2. **Public Utilities:** All new streets would be constructed with urban cross-sections generally consistent with the construction of streets within the Gray's Station area and overall Downtown. Public utilities (sanitary sewer and water) are proposed to be extended both within public rights-of-way and within private streets. Public storm

sewer is also proposed within the development, and the area's overall stormwater management has been contemplated and accounted for with the existing Gray's Station city stormwater facility that sits to the south of this development area. Public sidewalk connections are proposed along all public streets and provide linkages within this development.

3. **Proposed Development:** The development plan for the row homes demonstrates thirty (30) individual clusters of four (4) to six (6) row homes. Each row home would sit on its own lot. Row homes are proposed to orient toward either a public street or a private drive. Rear-loading garages for motor vehicle parking are proposed for each row home. The garages would have space for up to two (2) vehicles and are proposed to be accessed from the development's private drives that would function as alleys. Bike parking is proposed along the future Tuttle Street frontage.

   Building and individual site design is required to conform to the design criteria set forth in the Gray's Station PUD, specifically the criteria for "Low-Medium Density Residential" buildings.

   The proposal is generally consistent with other row home development within the Gray's Station PUD.

III. STAFF RECOMMENDATION

Staff recommends approval of the proposed Preliminary Plat, subject to compliance with all administrative review comments.

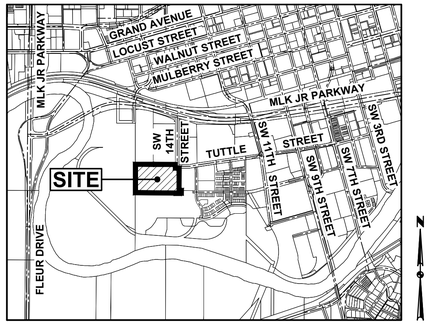
PRELIMINARY PLAT / DEVELOPMENT PLAN FOR:

GRAY'S STATION PLAT 7

DES MOINES, IOWA

VICINITY MAP

NOT TO SCALE



DES MOINES, IOWA

PRELIMINARY PLAT DESCRIPTION

A PART OF LOT 9, CENTRAL DES MOINES INDUSTRIAL PARK, AN OFFICIAL PLAT IN THE CITY OF DES MOINES, POLK COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 9; THENCE SOUTH 89°48'50" EAST ALONG THE NORTHERLY LINE OF SAID LOT 9, A DISTANCE OF 339.93 FEET; THENCE SOUTH 89°46'52" EAST CONTINUING ALONG SAID NORTHERLY LINE, 419.55 FEET; THENCE SOUTH 00°01'02" EAST CONTINUING ALONG SAID NORTHERLY LINE, 69.98 FEET; THENCE SOUTH 89°35'21" EAST CONTINUING ALONG SAID NORTHERLY LINE, 70.00 FEET; THENCE SOUTH 00°08'06" WEST CONTINUING ALONG SAID NORTHERLY LINE, 423.70 FEET; THENCE SOUTH 89°19'18" EAST CONTINUING ALONG SAID NORTHERLY LINE, 44.52 FEET; THENCE SOUTH 00°40'42" WEST, 52.00 FEET; THENCE NORTH 89°19'18" WEST, 44.02 FEET; THENCE SOUTH 00°08'06" WEST, 5.63 FEET; THENCE NORTH 89°51'54" WEST, 54.00 FEET; THENCE NORTH 00°08'06" EAST, 6.14 FEET; THENCE NORTH 89°19'18" WEST, 774.95 FEET TO THE WESTERLY LINE OF SAID LOT 9; THENCE NORTH 00°03'17" EAST ALONG SAID WESTERLY LINE, 539.08 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.28 ACRES (447,640 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.0	TOPOGRAPHIC SURVEY / DEMOLITION PLAN
C2.0–2.7	DIMENSION PLAN
C3.0–3.7	GRADING PLAN
C4.0–4.7	UTILITY PLAN
C5.0–5.1	DETAILS
L1.0	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

- PROPERTY BOUNDARY
- LOT LINE
- CENTER LINE
- RIGHT OF WAY
- BUILDING SETBACK
- PERMANENT EASEMENT
- TEMPORARY EASEMENT
- TYPE SW-501 STORM INTAKE
- TYPE SW-502 STORM INTAKE
- TYPE SW-503 STORM INTAKE
- TYPE SW-505 STORM INTAKE
- TYPE SW-506 STORM INTAKE
- TYPE SW-512 STORM INTAKE
- TYPE SW-513 STORM INTAKE
- TYPE SW-401 STORM MANHOLE
- TYPE SW-402 STORM MANHOLE
- FLARED END SECTION
- TYPE SW-301 SANITARY MANHOLE
- STORM/SANITARY CLEANOUT
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- SIGN
- DETECTABLE WARNING PANEL
- WATER CURB STOP
- SANITARY SEWER WITH SIZE — 8"S
- SANITARY SERVICE
- STORM SEWER WITH SIZE — 15"ST
- STORM SERVICE
- WATER MAIN WITH SIZE — 8"W
- WATER SERVICE
- SAWCUT (FULL DEPTH)
- SILT FENCE
- USE AS CONSTRUCTED (UAC)
- MINIMUM PROTECTION ELEVATION MPE

EXISTING

- SANITARY MANHOLE
- WATER VALVE BOX
- FIRE HYDRANT
- WATER CURB STOP
- WELL
- STORM SEWER MANHOLE
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- CONIFEROUS TREE
- DECIDUOUS SHRUB
- CONIFEROUS SHRUB
- ELECTRIC POWER POLE
- GUY ANCHOR
- STREET LIGHT
- POWER POLE W/ TRANSFORMER
- UTILITY POLE W/ LIGHT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
- ELECTRIC MANHOLE OR VAULT
- TRAFFIC SIGN
- TELEPHONE JUNCTION BOX
- TELEPHONE MANHOLE/VAULT
- TELEPHONE POLE
- GAS VALVE BOX
- CABLE TV JUNCTION BOX
- CABLE TV MANHOLE/VAULT
- MAIL BOX
- BENCHMARK
- SOIL BORING
- UNDERGROUND TV CABLE
- GAS MAIN
- FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- FIELD TILE
- SANITARY SEWER W/ SIZE — 8"S
- STORM SEWER W/ SIZE — 15"ST
- WATER MAIN W/ SIZE — 8"W

OWNER

HRC NFS I LLC
6900 WESTOWN PKWY
WEST DES MOINES, IA 50266
PH. (515) 243-3228

APPLICANT

HUBBELL REALTY COMPANY
6900 WESTOWN PKWY
WEST DES MOINES, IA 50266
CONTACT: CALEB SMITH
PH. (515) 243-3228

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: RYAN HARDISTY
EMAIL: RYANH@CDA-ENG.COM
PH. (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

DATE OF SURVEY

FIELDWORK: MAY, 2024

BENCHMARKS

1. CITY BENCHMARK #725: BRASS CAP IN THE NORTHEAST TRAFFIC SIGNAL BASE AT THE SOUTHWEST CORNER OF MARTIN LUTHER KING DRIVE AND SOUTHWEST 11TH STREET. ELEVATION=28.81
2. CITY BENCHMARK #5581: BRASS TABLET IN THE CONCRETE WALL 43.6 FEET WEST OF THE EAST FACE NEAR THE SANITARY SEWER PUMP STATION. ELEVATION=25.48

SUBMITTAL DATES

FIRST SUBMITTAL: 06/13/2024
SECOND SUBMITTAL: 08/01/2024

ZONING

EXISTING: GRAY'S STATION PUD – ZON2017-00087
PROPOSED: GRAY'S STATION PUD AMENDMENT – ZONG-2024-000021

EXISTING/ PROPOSED USE

EXISTING USE: UNDEVELOPED
PROPOSED USE: RESIDENTIAL

TAX ABATEMENT - SUSTAINABILITY

1. BIKE RACKS FOR PUBLIC USE THAT PROVIDE A MINIMUM OF 10% OF THE AUTOMOBILE PARKING PROVIDED.
2. 50% INCREASE IN REQUIRED LANDSCAPING.
3. PRIMARY ENTRY WITHIN A MILE OF A DART TRANSIT STOP.
4. REDEVELOPMENT OF A PREVIOUSLY DEVELOPED SITE.

PLANNING AND ZONING NOTES

PLAN AND ZONING COMMISSION
DATE: --/--/2024
PRELIMINARY PLAT/DEVELOPMENT PLAN

STAFF RECOMMENDATION:
APPROVAL OF THE PROPOSED PRELIMINARY PLAT "GRAY'S STATION PLAT 7," SUBJECT TO COMPLIANCE WITH ALL ADMINISTRATIVE REVIEW COMMENTS.

1. _____
2. _____
3. _____
4. _____
5. _____

COMMISSION ACTION:
_____
_____

THE VOTE:
_____
_____

DEVELOPMENT SUMMARY

TOTAL SITE AREA:	10.28 ACRES (447,640 SF)
EXISTING IMPERVIOUS AREA:	0.00 ACRES (0 SF)
OPEN SPACE CALCULATION:	
TOTAL SITE:	= 447,640 SF (10.28 AC.)
BUILDINGS	– 23,743 SF
STREETS	– 87,678 SF
DRIVEWAYS	– 9,282 SF
SIDEWALKS	– 8,746 SF
OPEN SPACE PROVIDED	= 318,191 SF (71.1%)

UNITS:
30 TOWNHOME UNITS

PRIVATE PARKING SUMMARY

VEHICULAR PARKING (GARAGES)	= 60 SPACES
BIKE PARKING	= 6 SPACES

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

NOTES

1. ALL PUBLIC IMPROVEMENTS, INCLUDING SPOT ELEVATIONS, ARE SHOWN FOR REFERENCE ONLY. REFER TO THE SEPARATE PRIVATE CONSTRUCTION CONTRACT DOCUMENTS FOR PUBLIC IMPROVEMENT PLANS. IF THERE ARE ANY DISCREPANCIES BETWEEN THE DEVELOPMENT PLAN AND THE PUBLIC IMPROVEMENT PLANS THE DETAILED PUBLIC IMPROVEMENT PLANS SHALL GOVERN.
2. THIS PROJECT IS ELIGIBLE FOR TAX ABATEMENT IN ACCORDANCE WITH THE URBAN RENEWAL DEVELOPMENT AGREEMENT – SECTION 5.02 (BK16629 PG251-288).

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322
PH: (515) 369-4400

PROJECT NO. 2310.659

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF DES MOINES GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

PRELIMINARY PLAT APPROVAL:

☐ APPROVED ☐ APPROVED WITH CONDITIONS – SEE EXHIBIT "A"

IN ACCORDANCE WITH CHAPTER 106, DES MOINES MUNICIPAL CODE, AS AMENDED.

DEVELOPMENT SERVICES DIRECTOR DATE

LICENSED PROFESSIONAL ENGINEER
RYAN A. HARDISTY
20811
IOWA

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

RYAN A. HARDISTY, P.E. DATE
LICENSE NUMBER 20811
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025
PAGES OR SHEETS COVERED BY THIS SEAL:
C SERIES SHEETS

PRELIMINARY
NOT FOR CONSTRUCTION

FILE: H:\2023\2310659\DWG\2310659-PRELIMINARY-PLAT.DWG
PLOTTED BY: LOUIS KELEHAN LAST EDITED: 07/22/24 9:12 AM
COMMENT:
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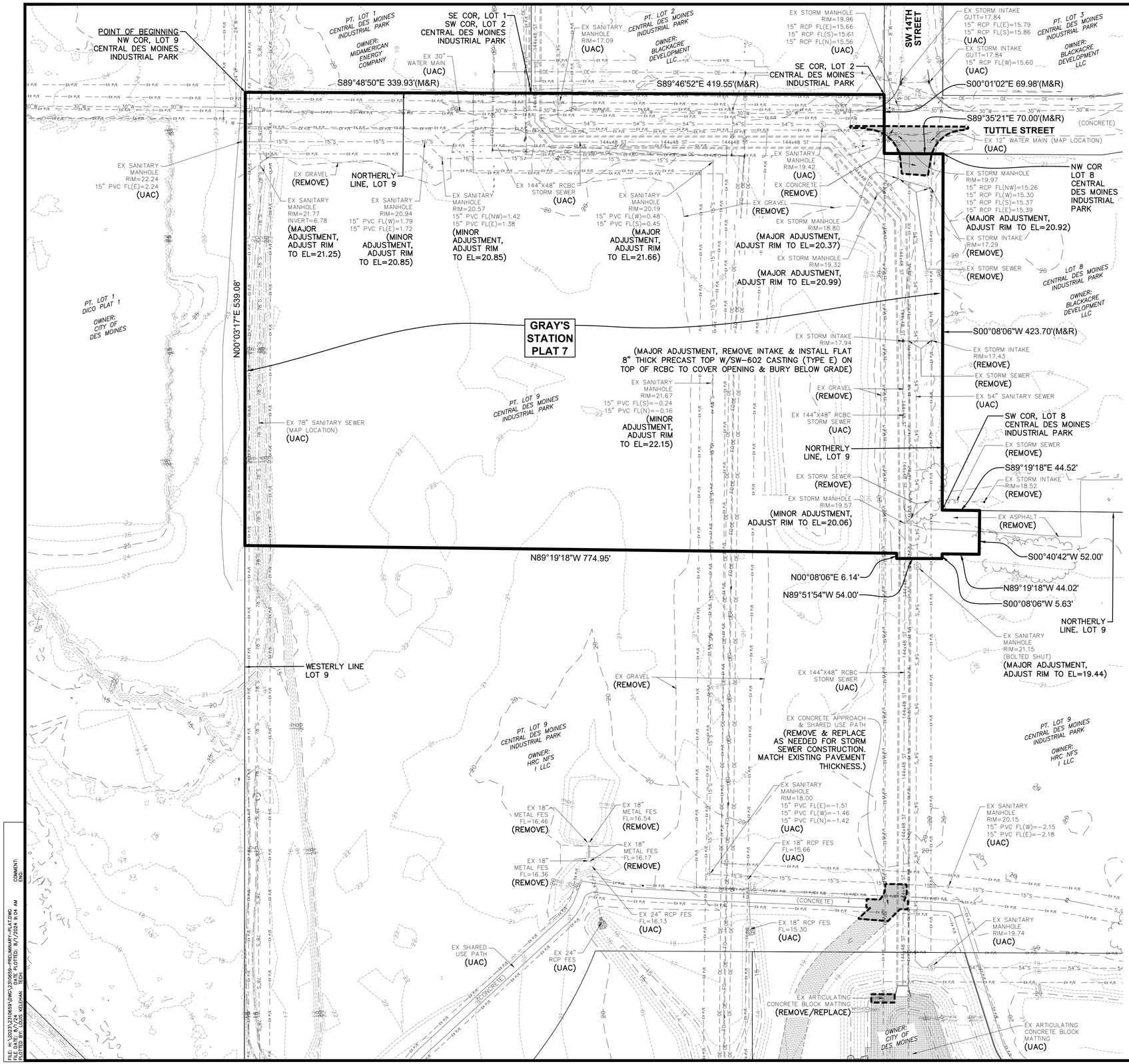

DEMOLITION NOTES

1. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
2. PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
   CITY
   APPROPRIATE UTILITY COMPANIES
   OWNER
   CIVIL DESIGN ADVANTAGE
   ARCHITECT
3. DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
4. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
5. BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
6. FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
7. DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
8. ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
9. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH THE CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

NOTE:
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REVISIONS	DATE
SECOND SUBMITTAL	08/01/2024
FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400
ENGINEER: RAH
TECH:
CIVIL DESIGN ADVANTAGE

GRAY'S STATION PLAT 7
TOPOGRAPHIC SURVEY / DEMOLITION PLAN
DES MOINES, IOWA

C1.0
2310.659

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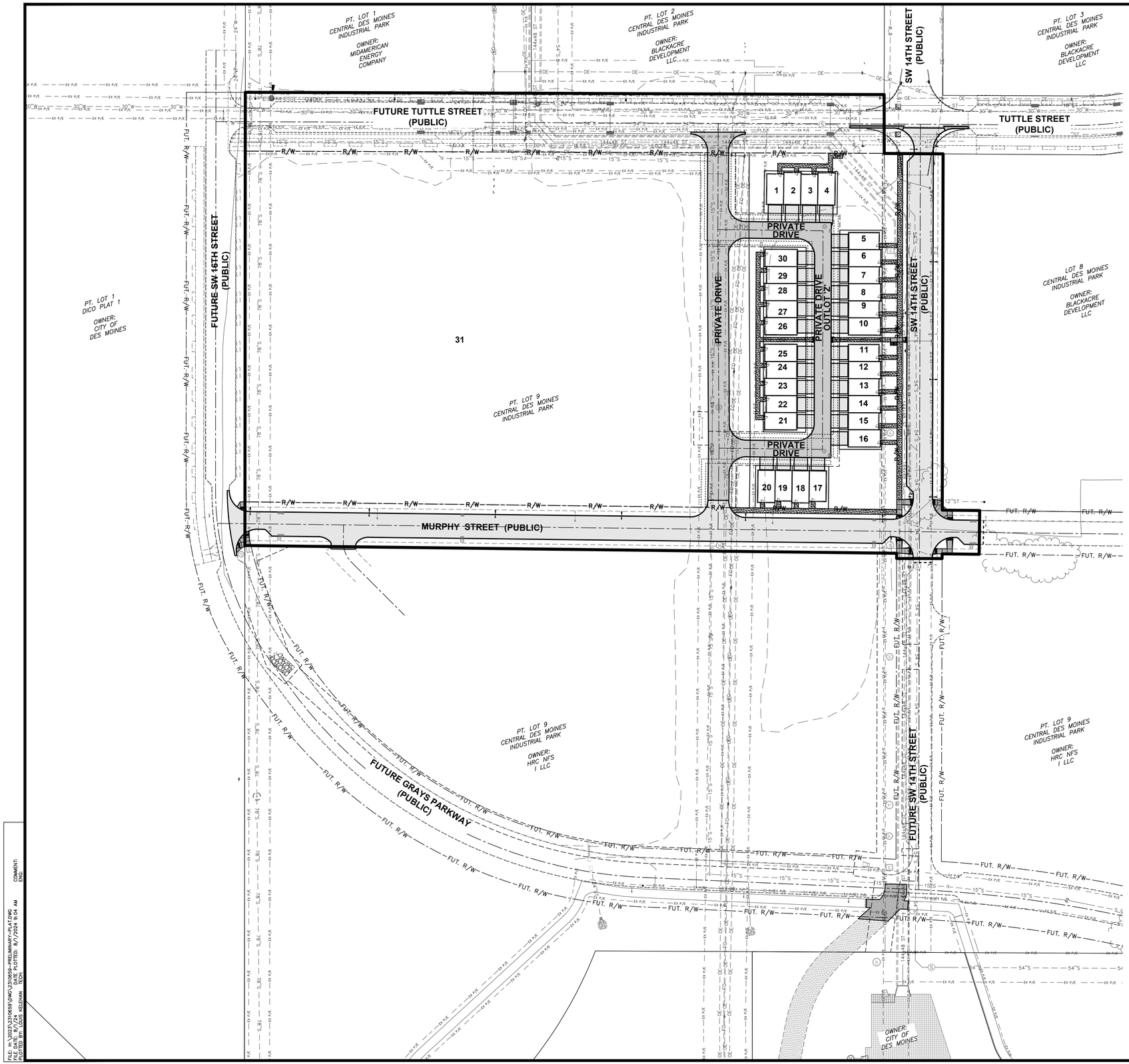

GRAY'S STATION PLAT 7 ADDRESSING

PLAT	LOT NUMBER	ADDRESS NUMBER	STREET NAME
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7	2	----	STREET NAME
7	3	----	STREET NAME
7	4	----	STREET NAME
7	5	----	STREET NAME
7	6	----	STREET NAME
7	7	----	STREET NAME
7	8	----	STREET NAME
7	9	----	STREET NAME
7	10	----	STREET NAME
7	11	----	STREET NAME
7	12	----	STREET NAME
7	13	----	STREET NAME
7	14	----	STREET NAME
7	15	----	STREET NAME
7	16	----	STREET NAME
7	17	----	STREET NAME
7	18	----	STREET NAME
7	19	----	STREET NAME
7	20	----	STREET NAME
7	21	----	STREET NAME
7	22	----	STREET NAME
7	23	----	STREET NAME
7	24	----	STREET NAME
7	25	----	STREET NAME
7	26	----	STREET NAME
7	27	----	STREET NAME
7	28	----	STREET NAME
7	29	----	STREET NAME
7	30	----	STREET NAME
7	31	----	STREET NAME

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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH
TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
OVERALL DIMENSION PLAN

C2.0

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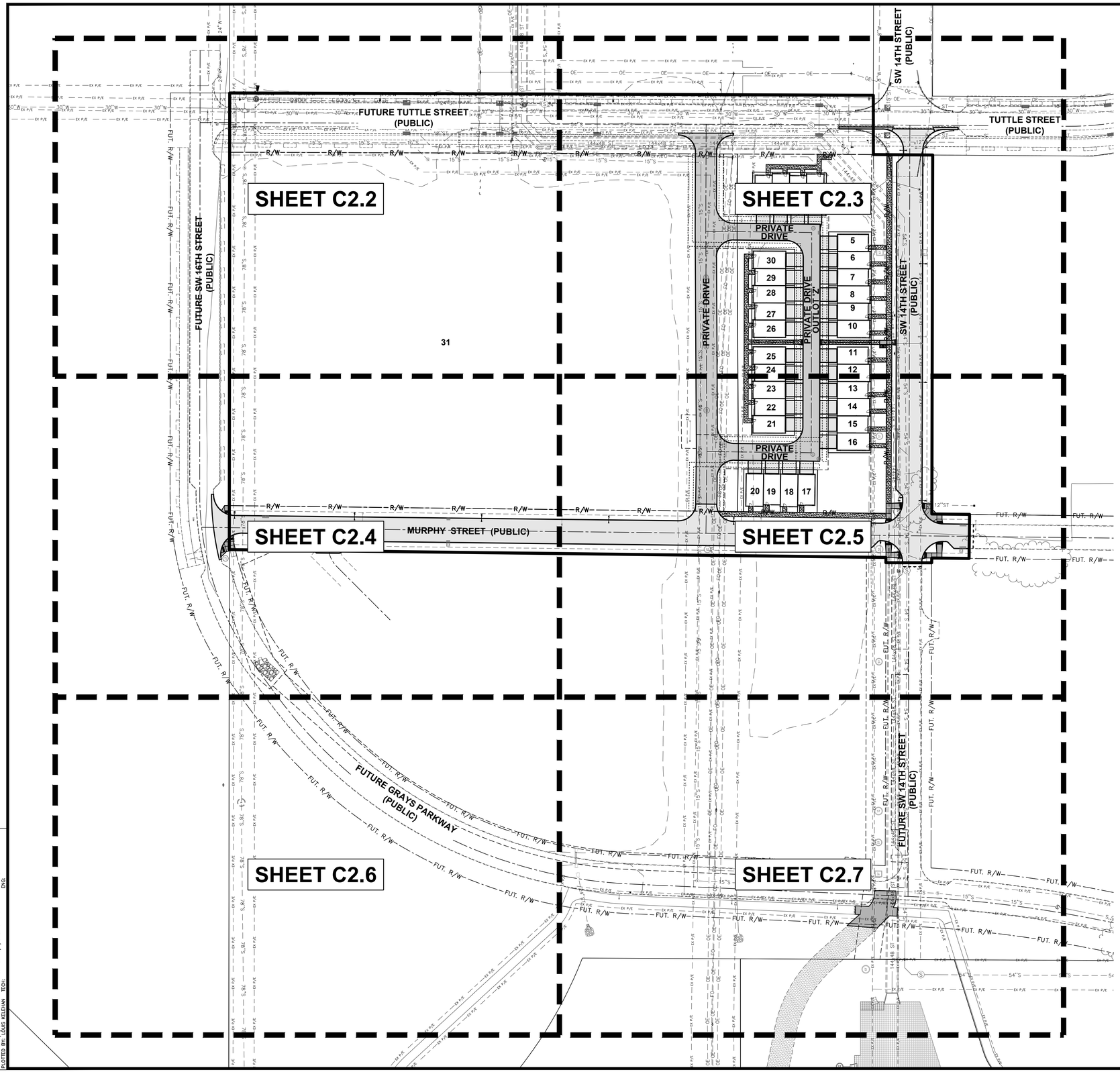

GENERAL NOTES

1. THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION. CONTRACTOR SHALL NOTIFY CITY OF DES MOINES ENGINEERING DEPT. AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION TO COORDINATE INSPECTIONS. CALL 515–283–4177 OR 515–208–4177
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS. NO STEPS ARE ALLOWED IN SANITARY MANHOLES.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. CONTRACTOR SHALL APPLY FOR SPECIAL PARKING PERMIT IN ADVANCE OF WORK TO SCHEDULE PARKING METER REMOVALS.
20. ALL WORK WITHIN THE CITY RIGHT–OF–WAY REQUIRES A RIGHT–OF–WAY PERMIT.
21. CONTRACTOR SHALL APPLY FOR A SIDEWALK/DRIVEWAY APPROACH PERMIT IN ADVANCE OF WORK.

CITY OF DES MOINES STANDARD NOTES

1. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
2. LIGHTING SHALL CONSIST OF LOW–GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
3. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF ZONING COMPLIANCE.
4. ALL DISTURBED AREAS SHALL BE RESTORED BY SEEDING OR SODDING.
5. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODES APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
6. ANY GROUND–MOUNTED OR WALL–MOUNTED UTILITIES AND METERS SHALL BE SCREENED AND NOT VISIBLE FROM A PUBLIC STREET.
7. ANY WALL–MOUNTED UTILITIES SHALL BE SCREENED ON ALL SIDES AND FINISHED TO MATCH BUILDING.
8. ALL UTILITIES SHALL BE UNDERGROUND.
9. ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
10. MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
11. NO ROCK WILL BE UTILIZED AS A GROUNDCOVER MATERIAL, PER CITY CODE SECTION 135–7.3.
12. FOR TOWNHOMES, INDIVIDUAL RESIDENTIAL TOTES FOR TRASH AND RECYCLING PICKUP WILL BE STORED INDOORS, AND PLACED AT THE CURB UPON DAY OF PICKUP.
13. ANY BUILDING OR SITE SIGNAGE SHALL CONFORM WITH THE PROVISIONS DESCRIBED IN THE GRAY'S STATION PUD.

PAVEMENT THICKNESS

1.	SIDEWALKS	4" P.C.C.
2.	PRIVATE DRIVES	6" P.C.C.
3.	SIDEWALK RAMPS	6" P.C.C.
4.	PUBLIC STREETS	7" P.C.C.
5.	MAILBOX PADS	8" P.C.C.

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FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
DIMENSION PLAN

C2.1
2310.659

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COMMENT:
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TECH:

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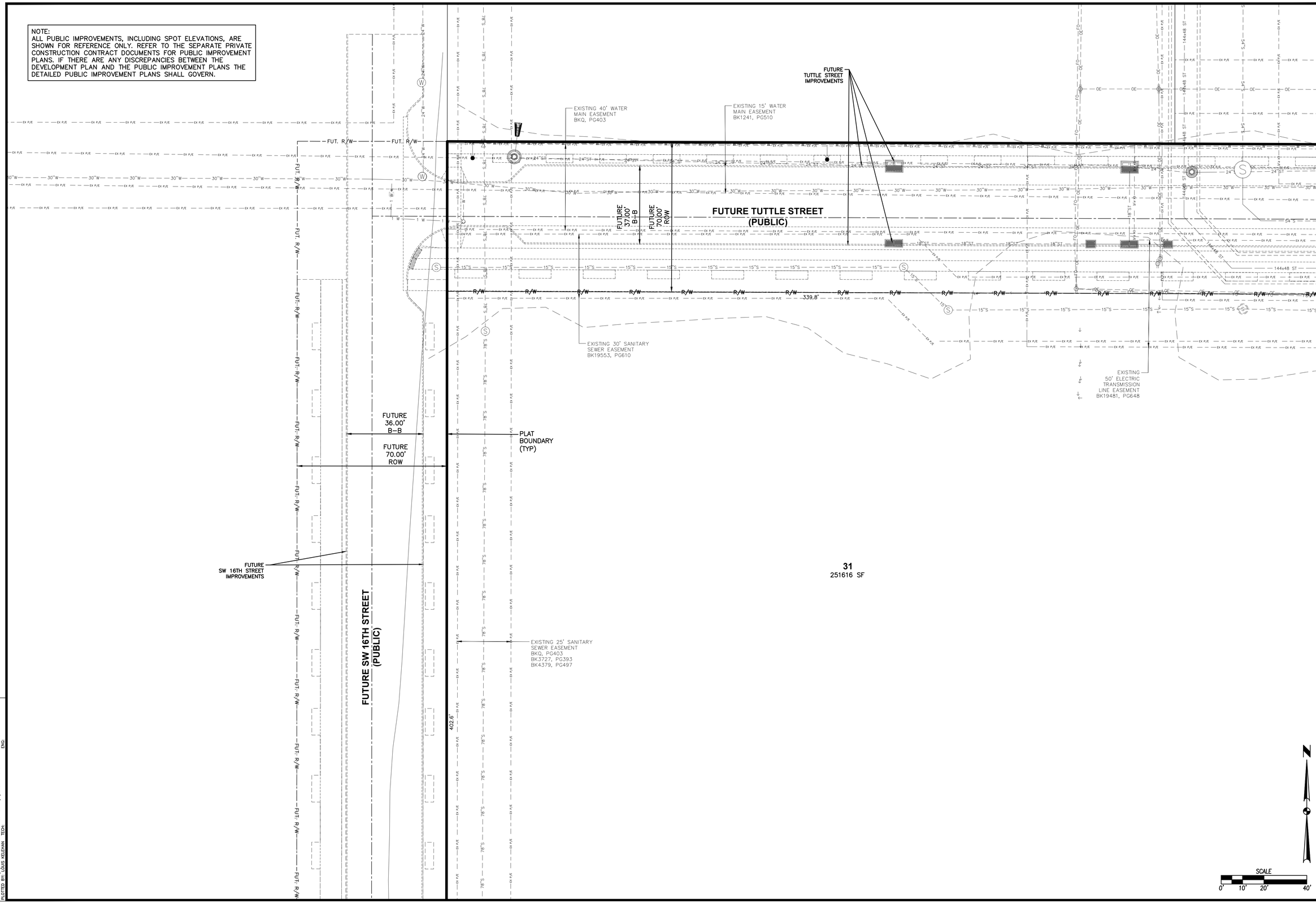

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URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
DIMENSION PLAN

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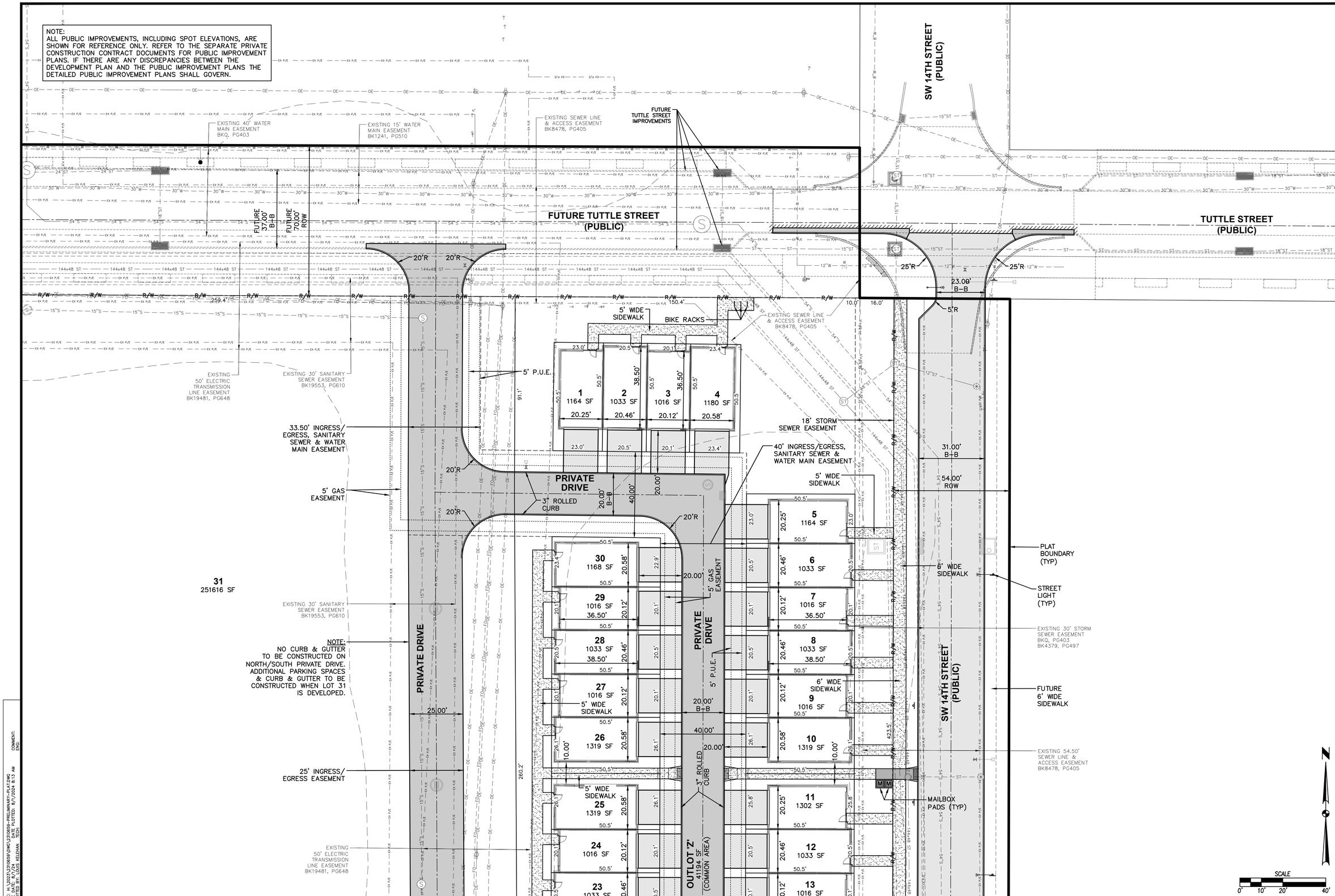

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06/13/2024	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
DIMENSION PLAN

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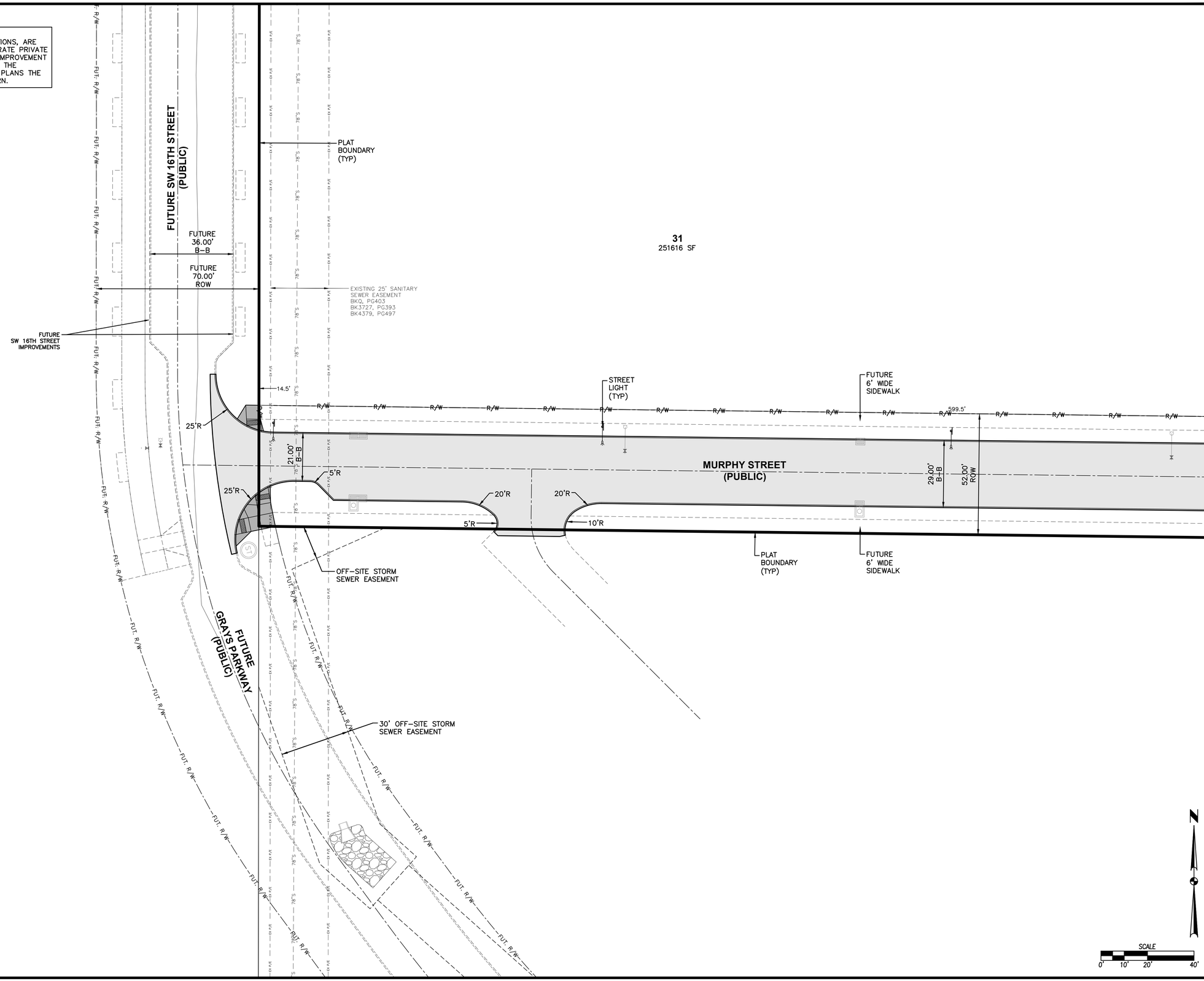

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REVISIONS	DATE
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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
DIMENSION PLAN

C2.4
2310.659

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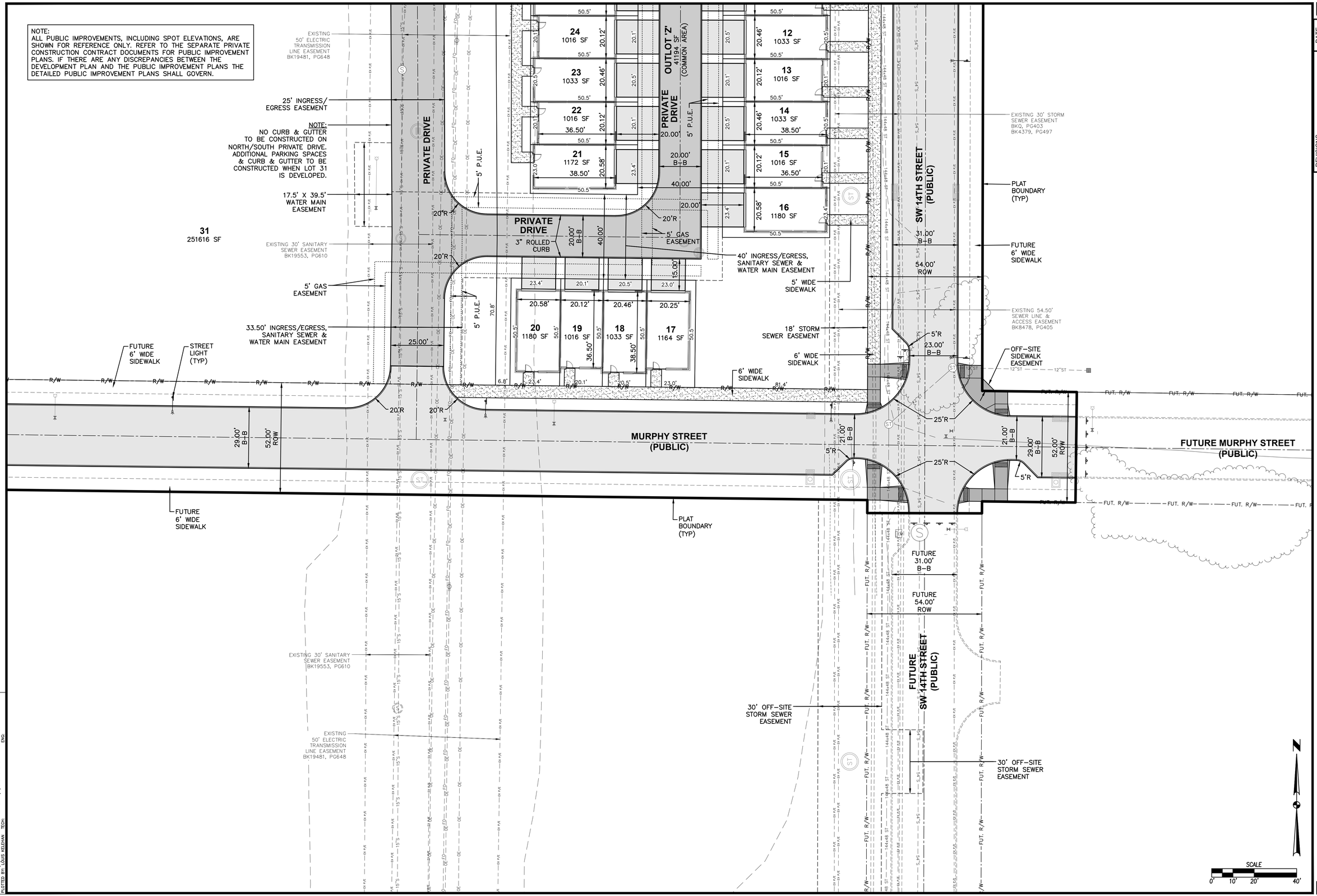

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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
DIMENSION PLAN

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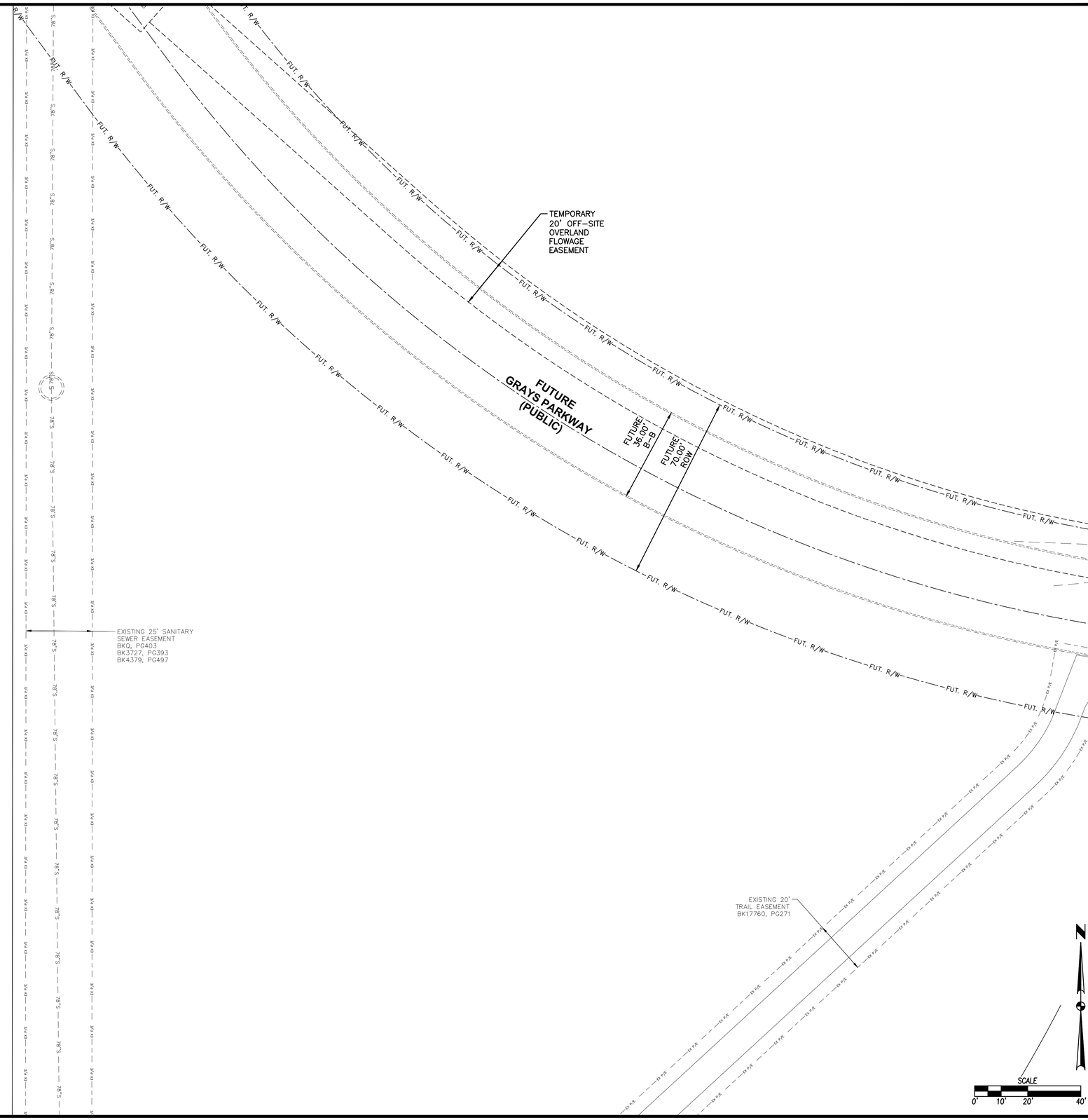

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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH
TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

DIMENSION PLAN

C2.6

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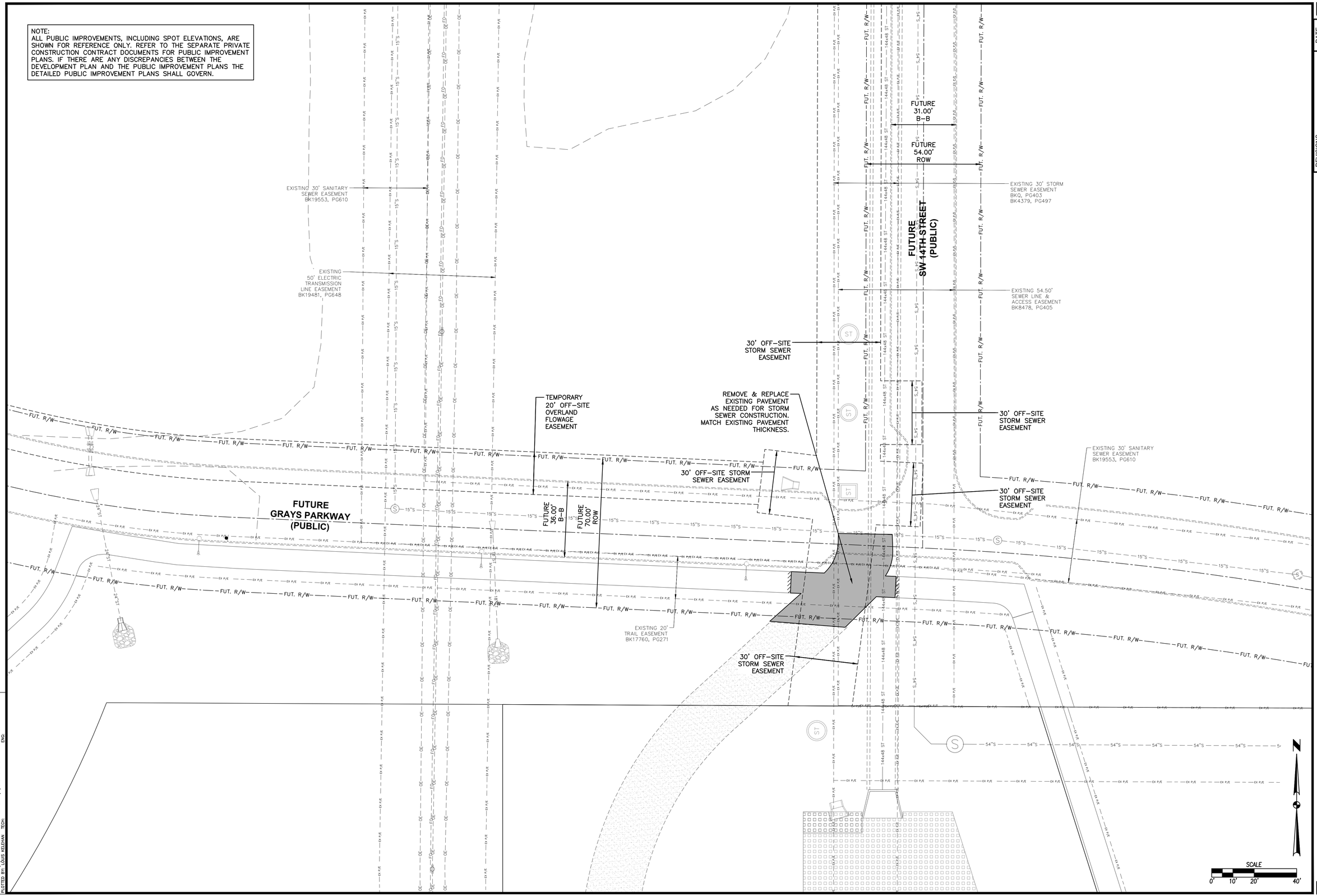

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4121 NW URBANDALE DRIVE
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PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
DIMENSION PLAN

C2.7
2310.659

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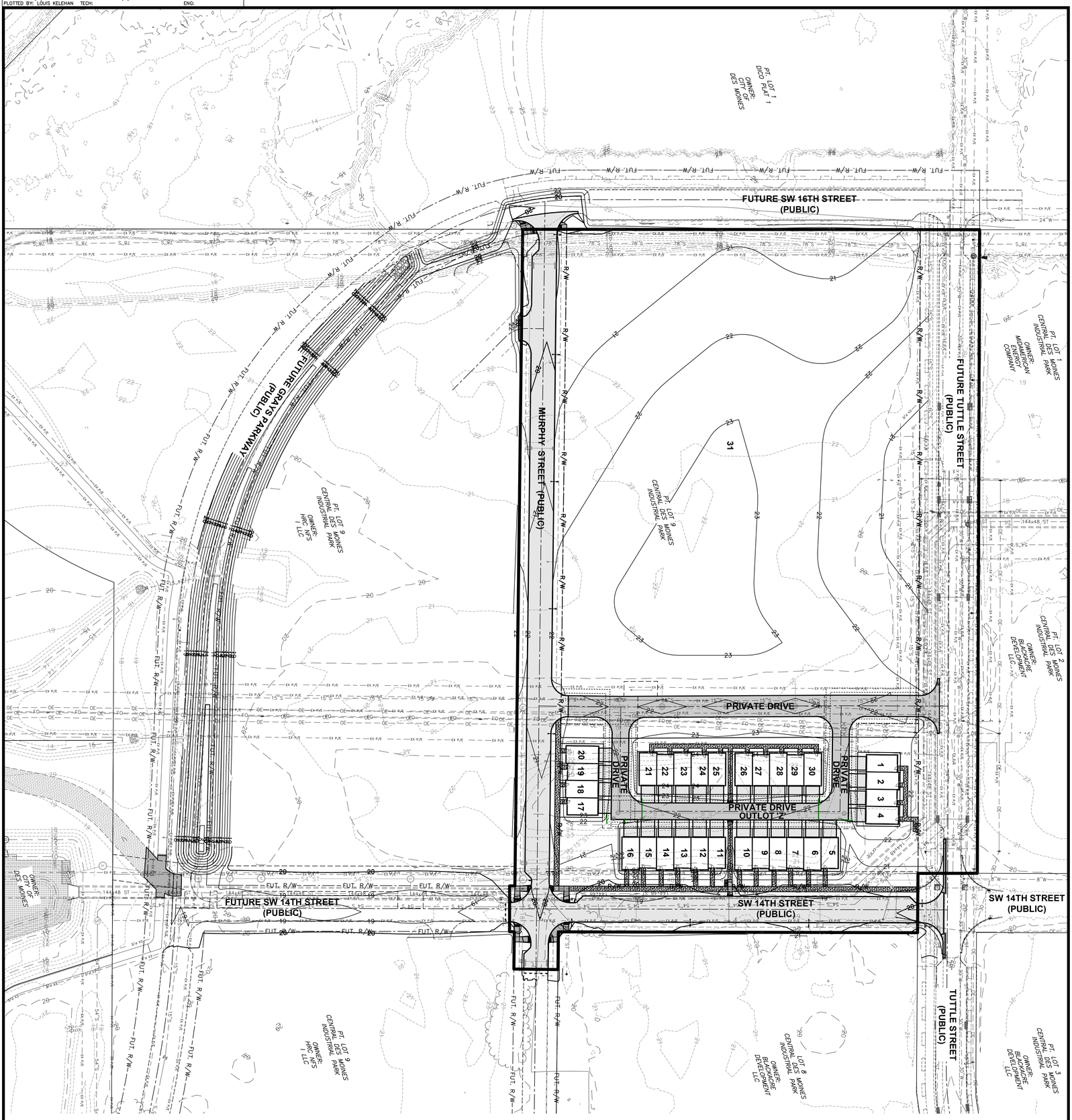

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GRAY'S STATION PLAT 7

OVERALL GRADING PLAN

DES MOINES, IOWA

CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH TECH:

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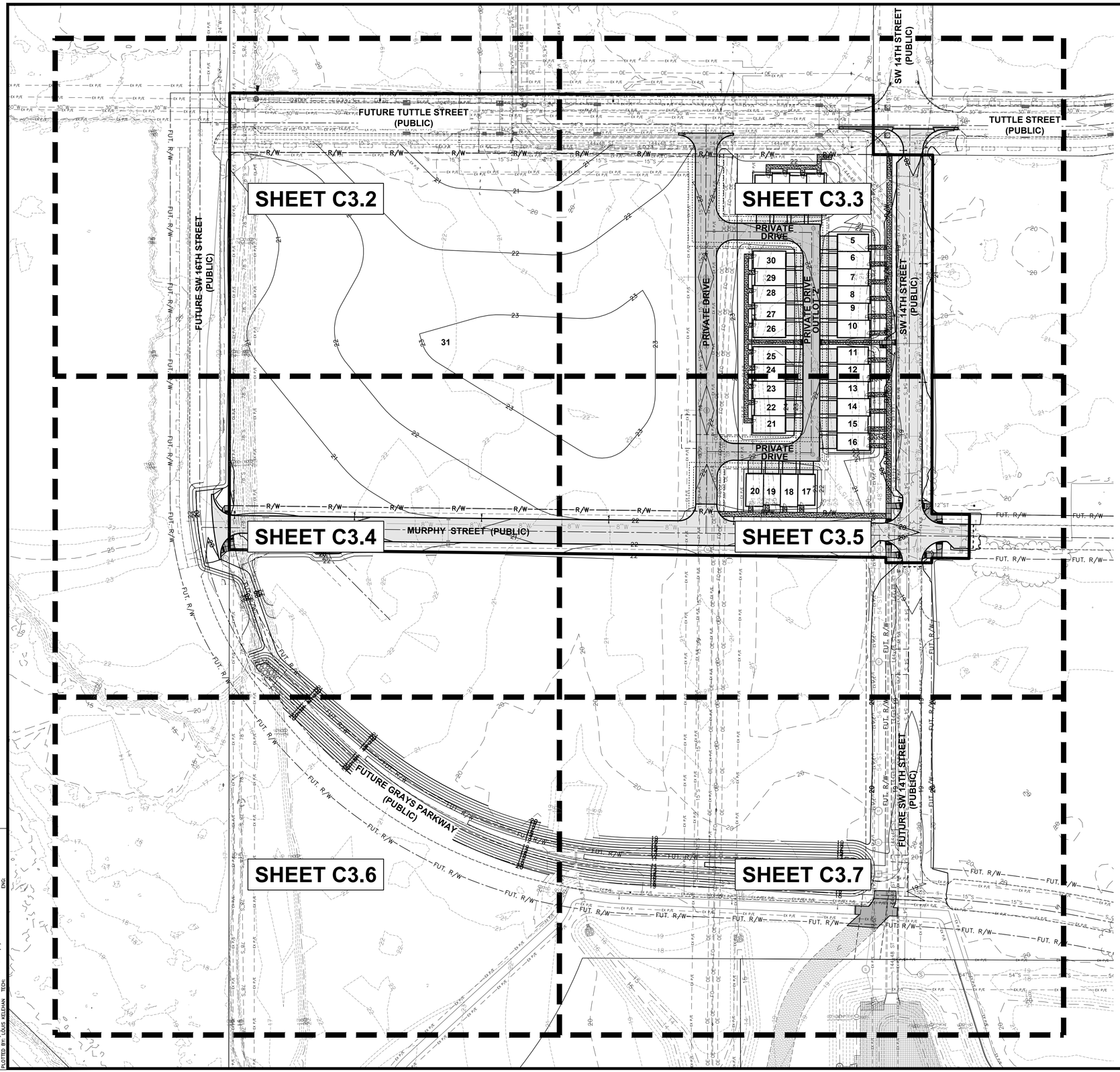

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF DES MOINES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. REFER TO DETAILS FOR CONCRETE STEP CONSTRUCTION.
13. SIDEWALKS:
    MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
14. ALL EXISTING STRUCTURES NEED TO BE ADJUSTED TO MATCH NEW PAVEMENT GRADES.

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REVISIONS	DATE
SECOND SUBMITTAL	08/01/2024
FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH
TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

GRADING PLAN

C3.1

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PLOTTED BY: LOUIS KELEHAN TECH:
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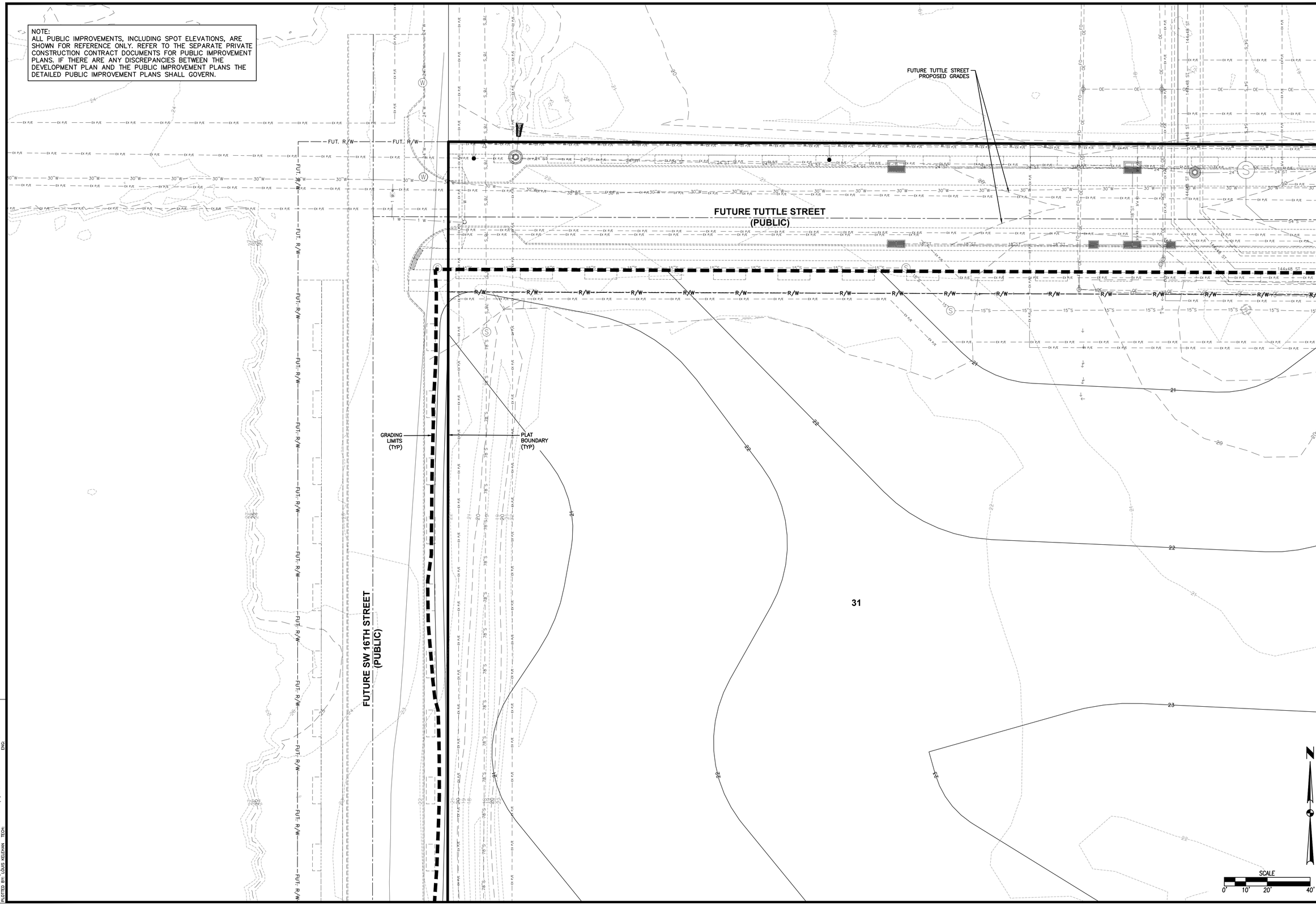

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4121 NW URBANDALE DRIVE
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PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
GRADING PLAN

C3.2
2310.659

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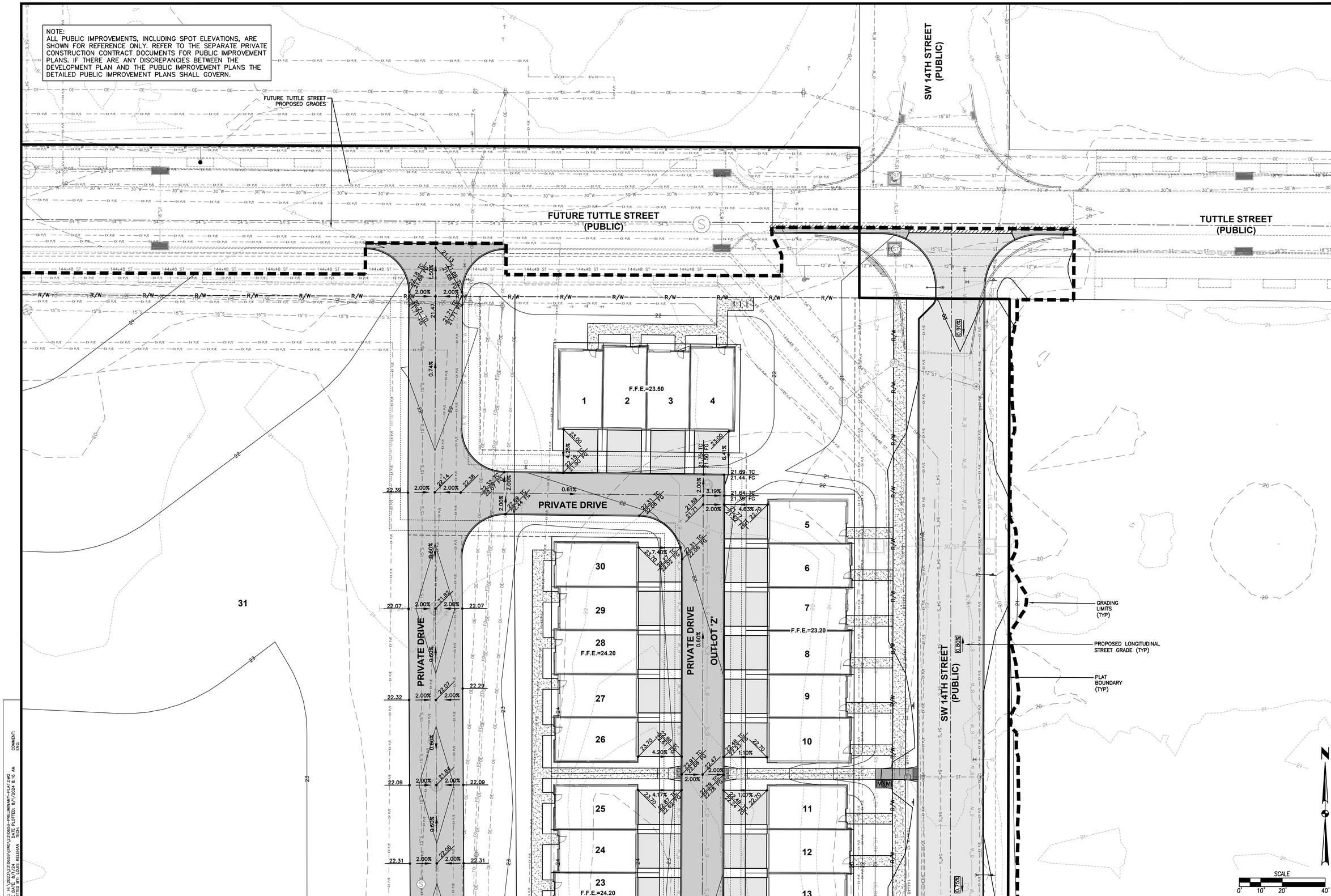

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CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
GRADING PLAN

C3.3
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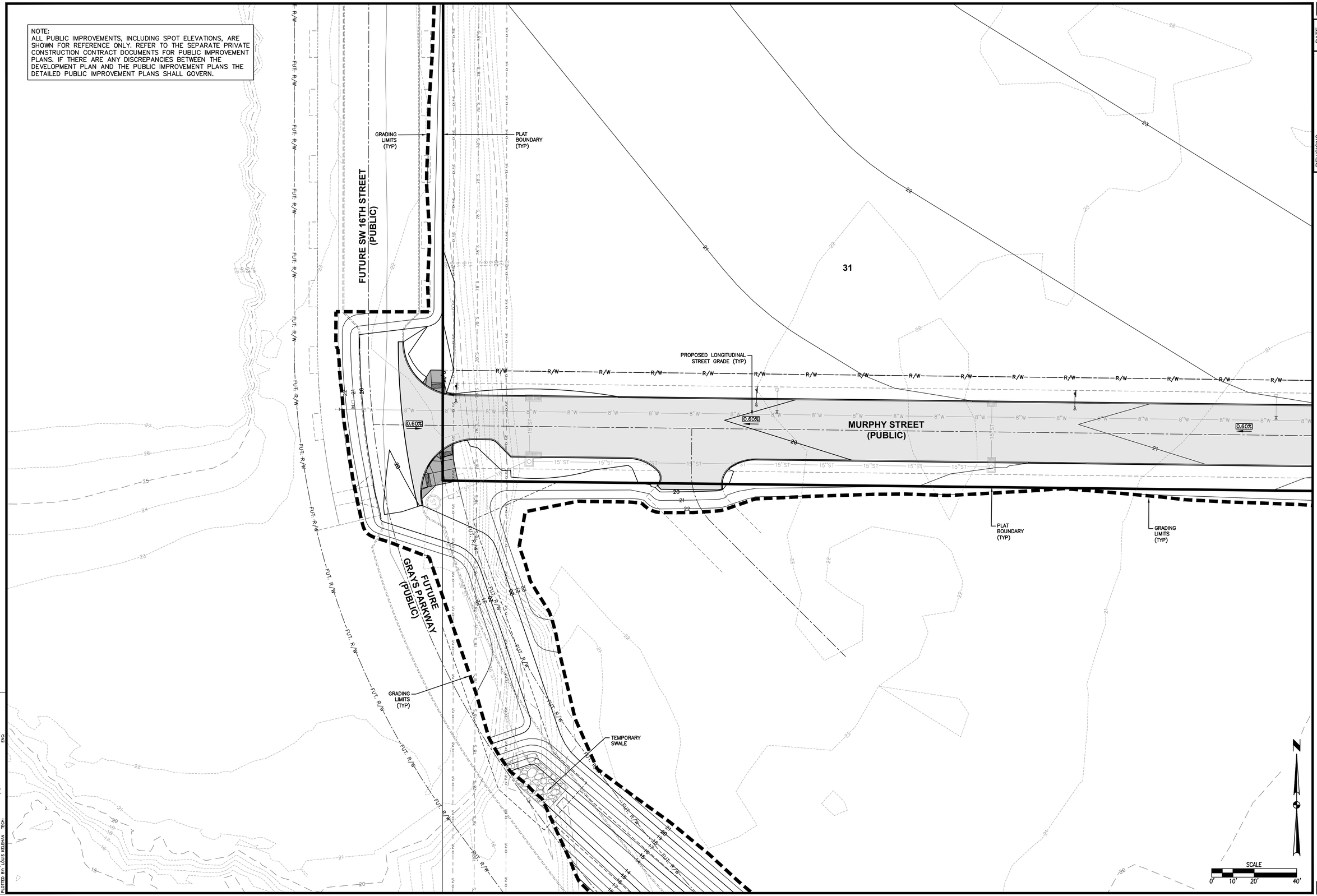

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TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

GRADING PLAN

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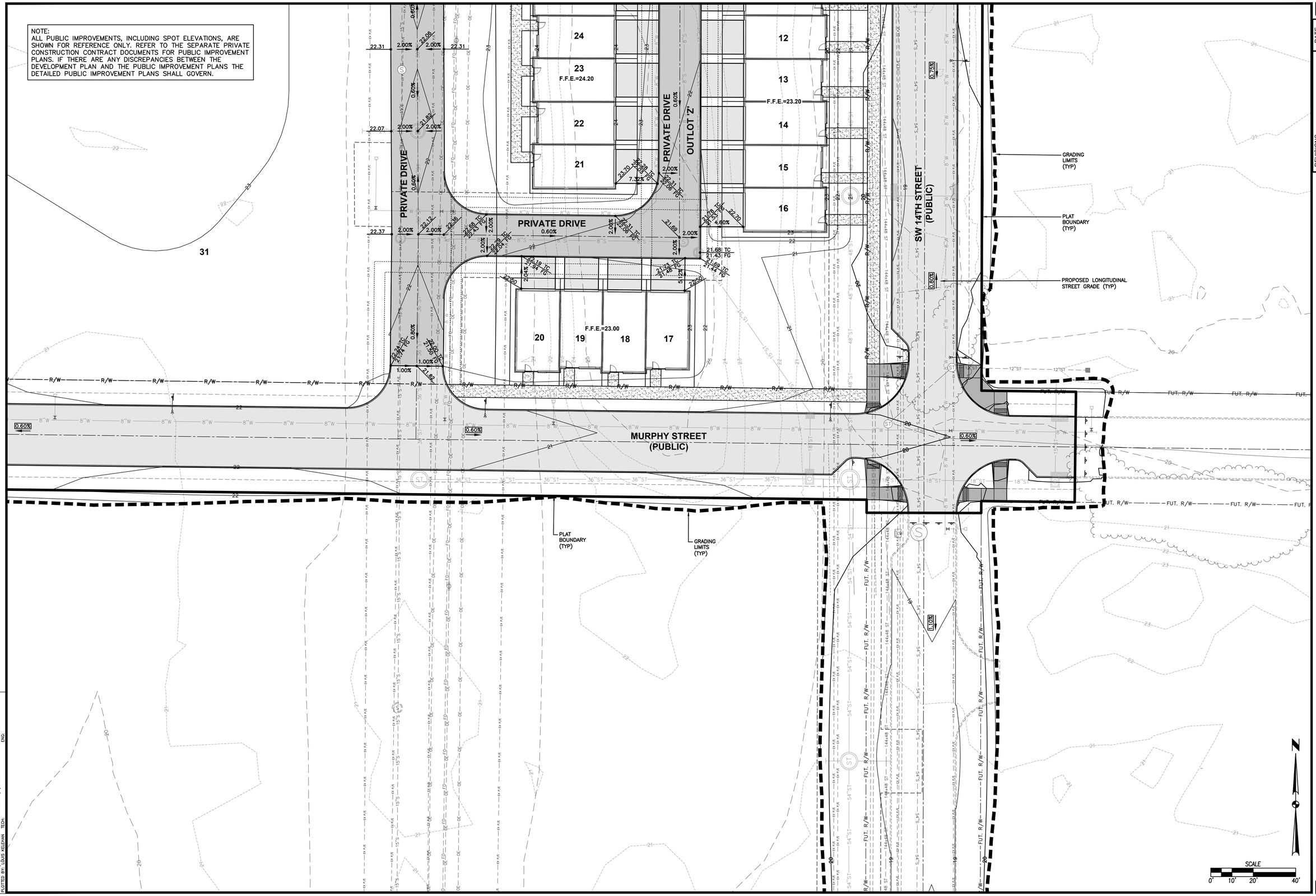

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CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
GRADING PLAN

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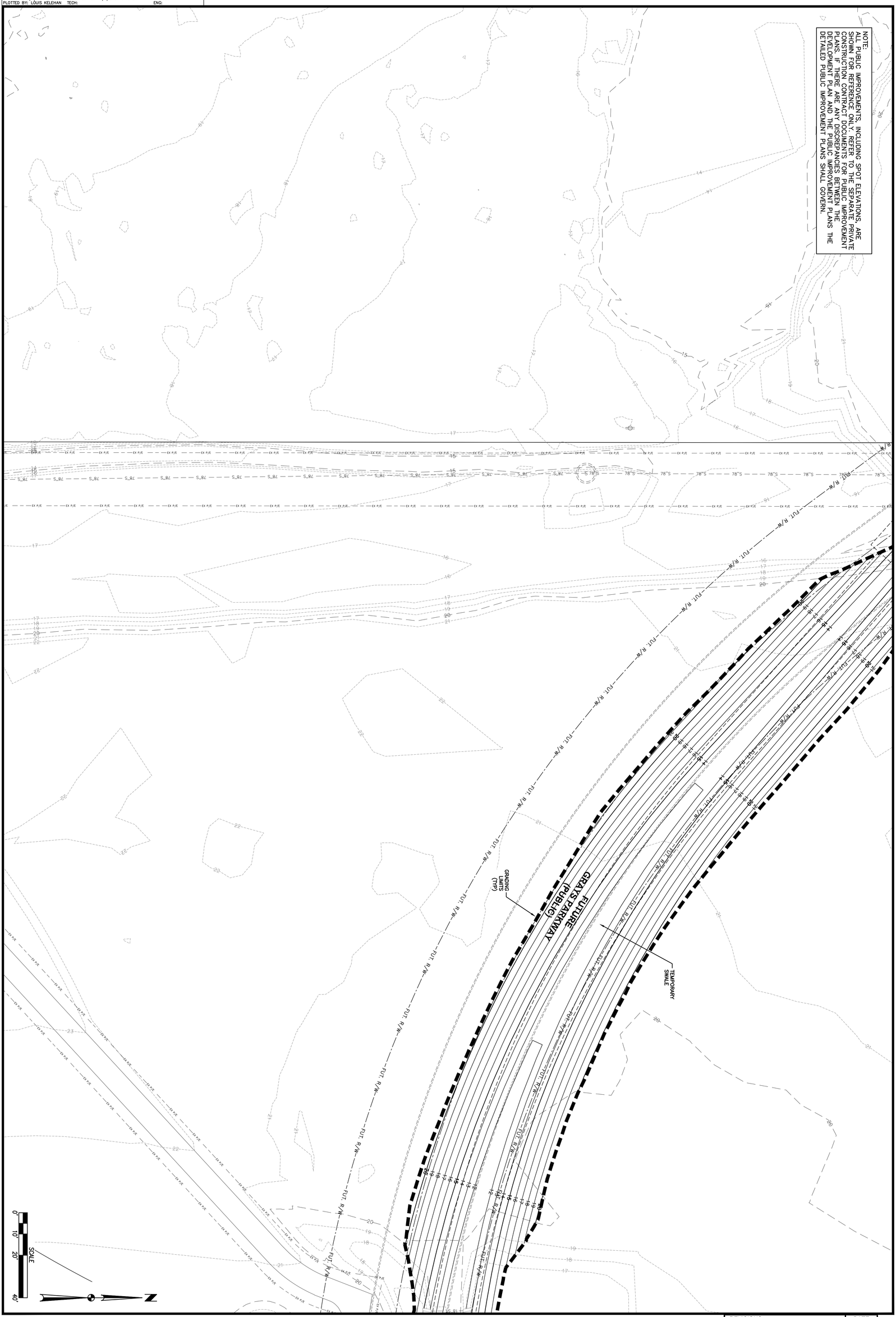

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GRAY'S STATION PLAT 7

GRADING PLAN

DES MOINES, IOWA

CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
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ENGINEER: RAH

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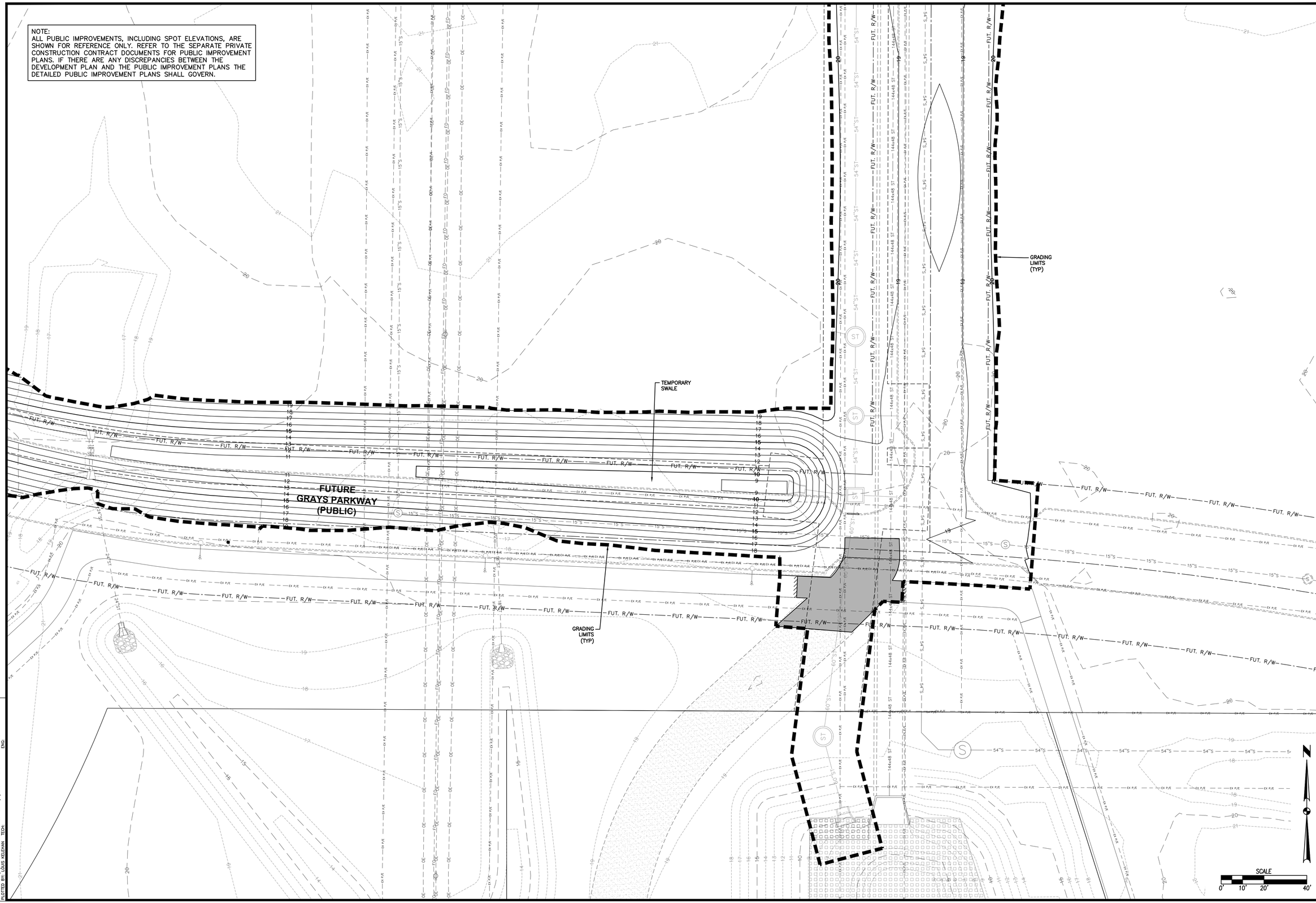

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CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
GRADING PLAN

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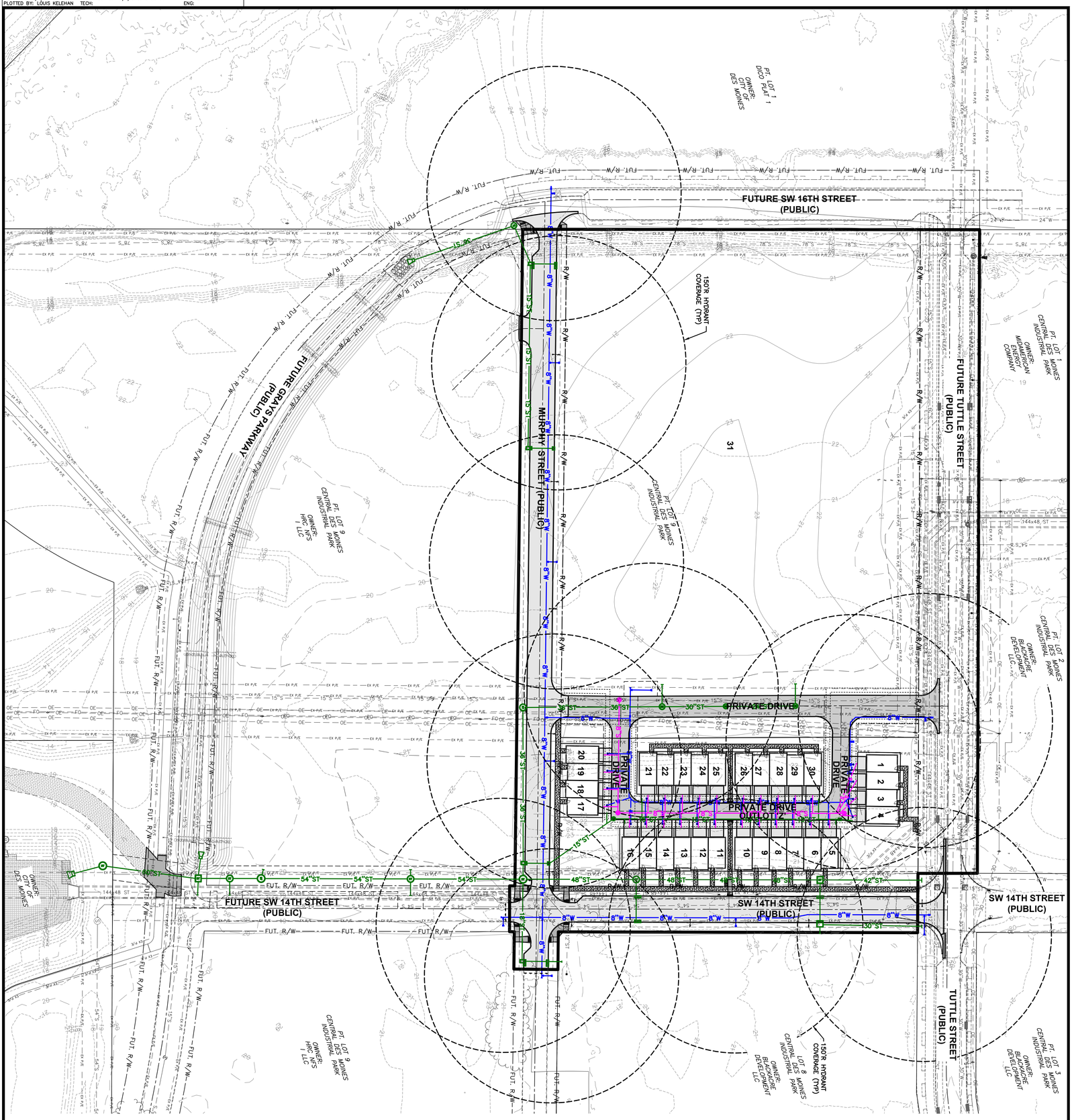

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C4.0
2310.659

GRAY'S STATION PLAT 7

OVERALL UTILITY PLAN

DES MOINES, IOWA

CIVIL DESIGN ADVANTAGE

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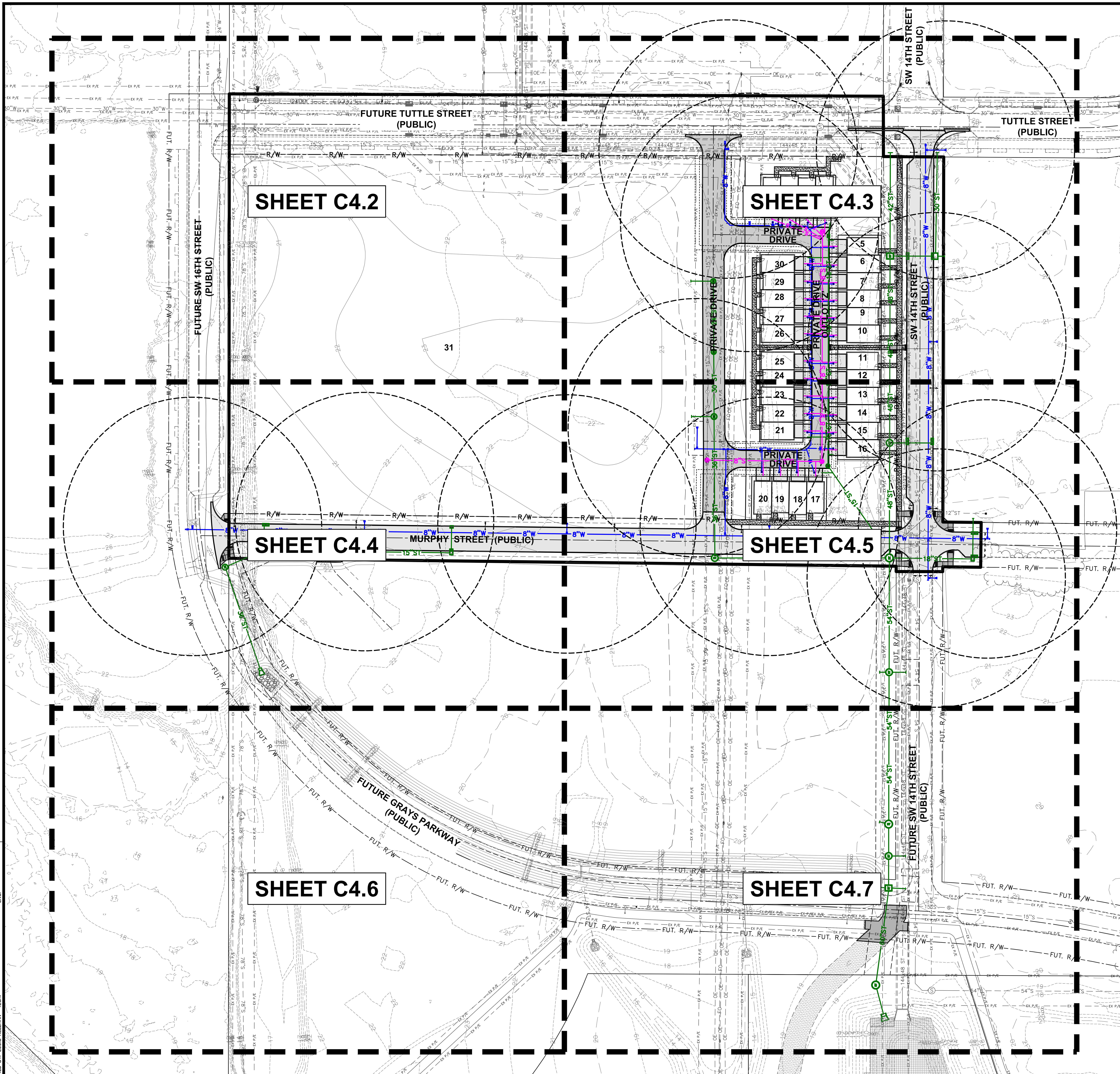

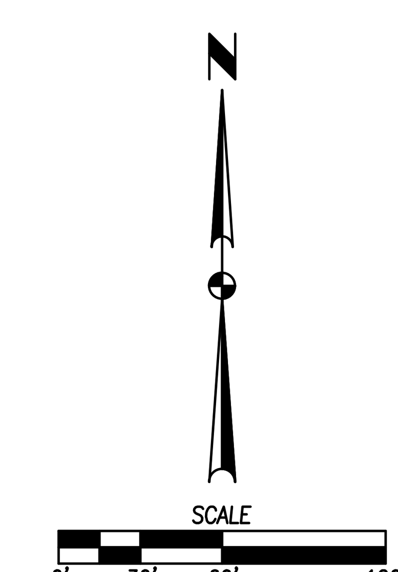

UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE DES MOINES WATER WORKS STANDARDS, THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT DES MOINES TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY.
17. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH SUDAS AND THE DES MOINES METROPOLITAN DESIGN STANDARDS.
18. PARKING LOT LIGHTING SHALL HAVE POLE HEIGHTS OF LESS THAN 20 FEET WITH CUT-OFF DOWN CAST FIXTURES.
19. ALL SERVICE LINES TO THE BUILDING AND ALL UTILITY LINES IN THE ADJOINING RIGHT-OF-WAY SHALL BE LOCATED UNDERGROUND.
20. STORM DRAIN STENCIL ADDED TO ALL STORM DRAINS AND STORM INLETS TO CLEARLY INDICATE WHERE THE DRAIN INLET LEADS.
21. ALL PRIVATE STORM SEWER MUST MEET UNIFORM PLUMBING CODE REQUIREMENTS AND REQUIRES A PLUMBING PERMIT.
22. THE PROPERTY OWNER IS RESPONSIBLE FOR COORDINATING STREET LIGHTING / UTILITY POLE REMOVAL/REPLACEMENT NECESSARY WITH MID-AMERICAN ENERGY. BLACK LED "AUTOBAHN" SERIES LIGHT FIXTURES WITH A BLACK POLE IS REQUIRED FOR ALL STREET LIGHTS ASSOCIATED WITH THE PROJECT AREA, AND UNDERGROUNDING OF OVERHEAD UTILITIES IS REQUIRED. THE PROPERTY OWNER IS RESPONSIBLE FOR THE COST OF THIS POLE/FIXTURE. THE RELOCATION OF STREET LIGHTING WILL REQUIRE A PLAN FOR THE NEW LAYOUT AND AN EVALUATION OF THE LIGHTING LEVELS. IN ADDITION, A FIXTURE ILLUSTRATION SHALL BE PROVIDED ON THE SITE PLAN.
23. ALL METERS FOR THE UNITS IN A BUILDING SHALL BE LOCATED ON THE NON STREET EXPOSED SIDE OF THE BUILDING.
24. ANY ROOF TOP MECHANICAL EQUIPMENT SHALL BE SCREENED IF VISIBLE.
25. PRIVATE WATER AND SEWER SERVICES SHALL MEET THE UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO THE UPC. THE DEVELOPER/CONTRACTOR ARE RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION

STORM WATER DETENTION

NO STORM WATER DETENTION OR TREATMENT OF THE 1.25" RAINFALL EVENT IS PROPOSED ON SITE. STORM WATER DETENTION AND TREATMENT OF THE 1.25" RAINFALL EVENT IS PROVIDED DOWNSTREAM IN THE GRAY'S STATION REGIONAL DETENTION BASIN.

CITY CODE SECTION 106-136(H) LAND OWNER/ MANAGER STORM WATER FACILITIES MAINTENANCE REQUIREMENTS

A. THIS STORMWATER MANAGEMENT FACILITIES, INCLUDING PIPES, INLETS AND OUTLETS, SHALL BE ANNUALLY INSPECTED AND MAINTAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN.
B. LITTER, SILT, SEDIMENT AND DEBRIS SHALL BE PROMPTLY REMOVED FROM SUCH FACILITIES.
C. THE PLANTINGS AND VEGETATION WITHIN THE STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN. IF ANY VEGETATION DIES, IT SHALL BE REPLACED WITH VEGETATION IN CONFORMANCE WITH THE PLAN AS SOON AS THE WEATHER PERMITS.
D. NO GRASS CLIPPINGS, LEAVES OR OTHER YARD WASTES, SOIL, ROCKS, CONCRETE, OR SIMILAR MATERIALS, SHALL BE PLACED WITHIN A SWALE, OR RETENTION OR DETENTION POND WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.
E. NO PORTION OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE ALTERED OR REMOVED WITHOUT THE PRIOR WRITTEN CONSENT OF THE CITY ENGINEER.
F. RECORDS OF INSPECTION, MAINTENANCE AND REPAIR MUST BE MAINTAINED AND KEPT FOR AT LEAST FIVE YEARS AND MADE AVAILABLE UPON REQUEST TO THE CITY ENGINEER.

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URBANDALE, IOWA 50322
PHONE: (515) 369-4400
ENGINEER: RAH
TECH:

GRAY'S STATION PLAT 7
UTILITY PLAN
DES MOINES, IOWA

C4.1
2310.659

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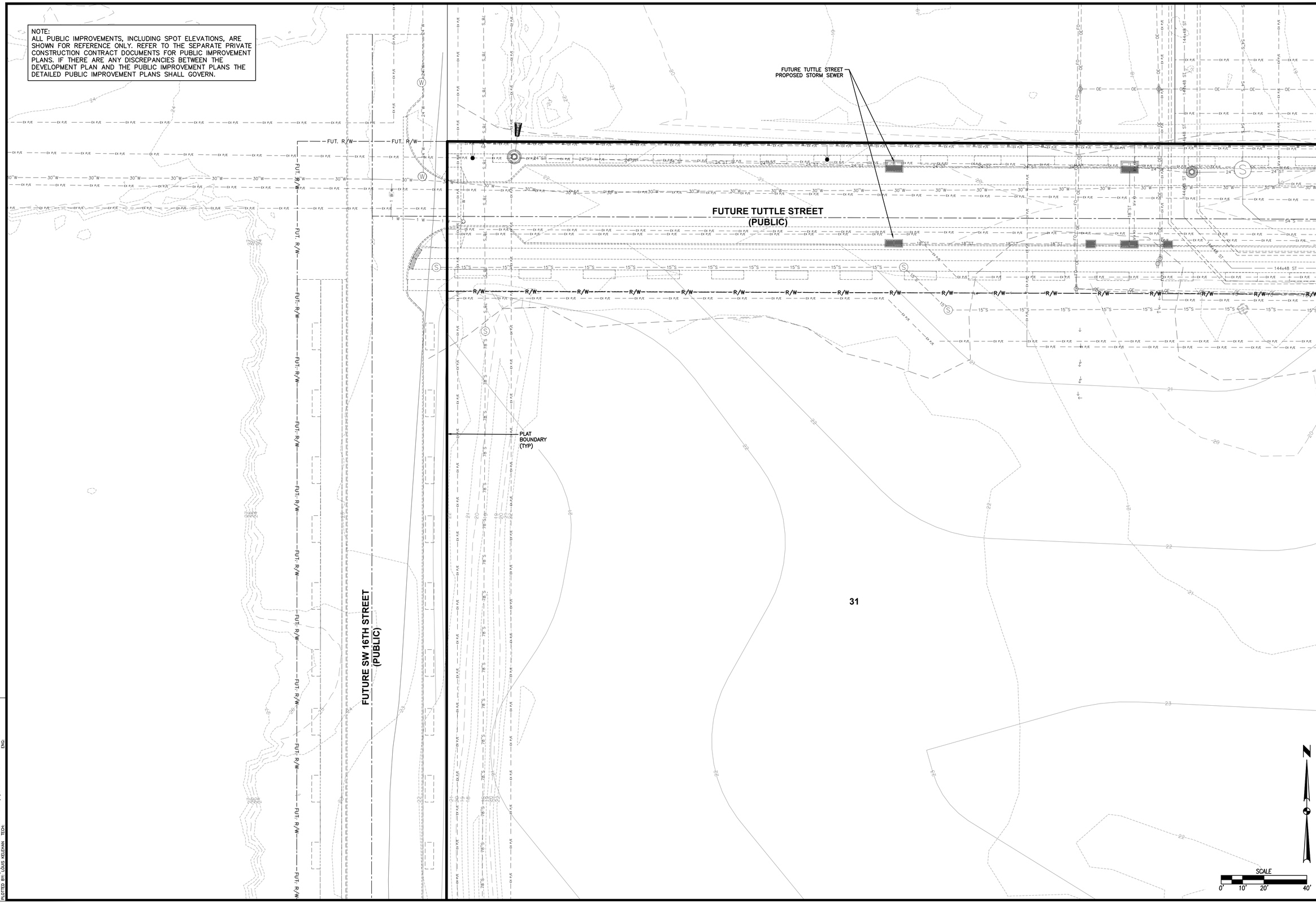

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CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

UTILITY PLAN

C4.2

2310.659

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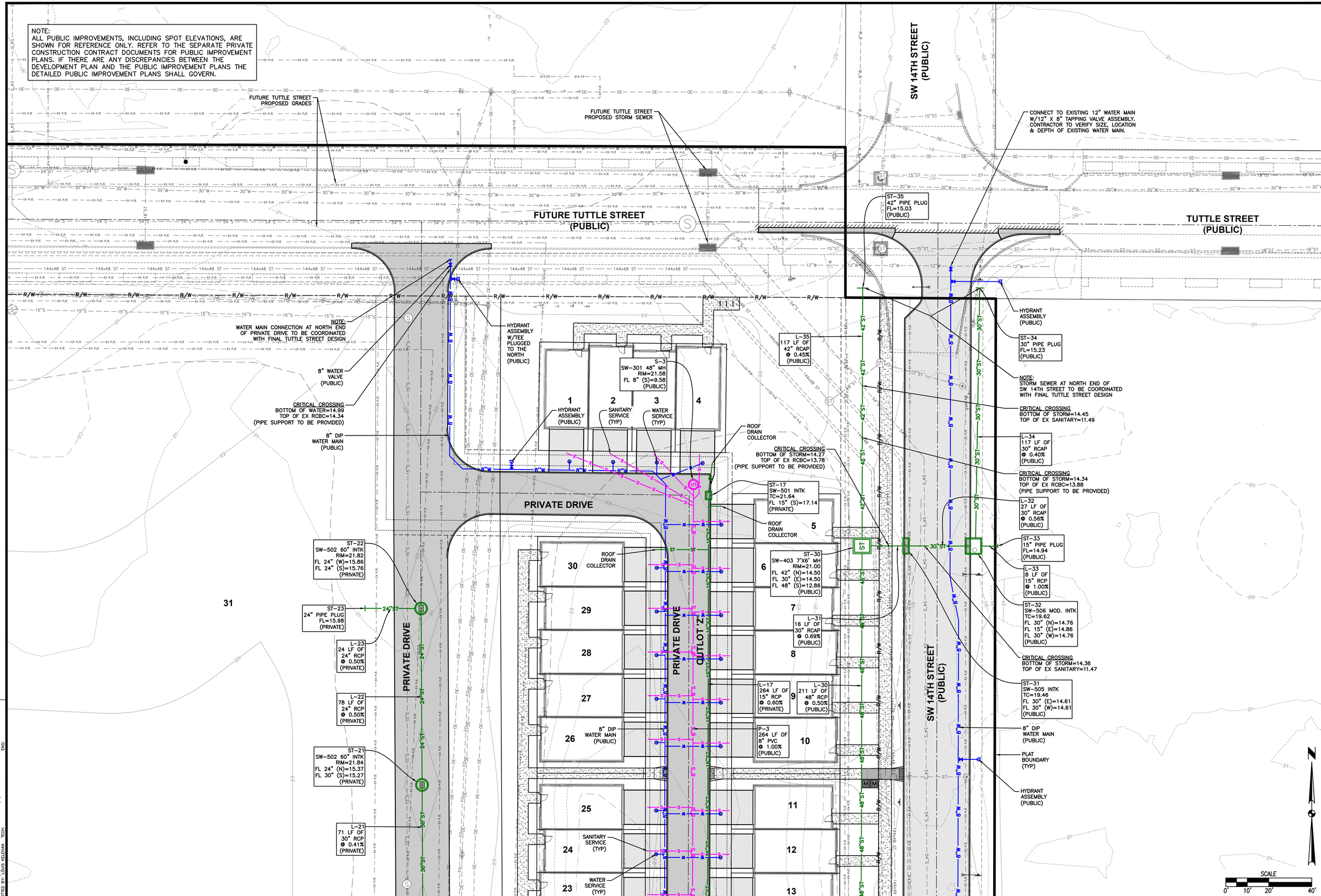

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CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
UTILITY PLAN

C4.3
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FUTURE SW 16TH STREET (PUBLIC)

PLAT BOUNDARY (TYP)

31

CRITICAL CROSSING
BOTTOM OF WATER=13.93
TOP OF EX SANITARY=13.80
(PIPE SUPPORT TO BE PROVIDED)

HYDRANT ASSEMBLY W/TEE PLUGGED TO THE WEST (PUBLIC)

8" WATER VALVE (PUBLIC)

NOTE:
WATER MAIN CONNECTION AT WEST END OF MURPHY STREET TO BE COORDINATED WITH FINAL SW 16TH STREET DESIGN

ST-53
SW-505 INTK
TC=19.87
FL 15" (S)=15.87
(PUBLIC)

HYDRANT ASSEMBLY (PUBLIC)

8" DIP WATER MAIN (PUBLIC)

ST-55
SW-501 INTK
TC=21.06
FL 15" (S)=17.06
(PUBLIC)

HYDRANT ASSEMBLY (PUBLIC)

MURPHY STREET (PUBLIC)

L-53
25 LF OF 15" RCP @ 2.00% (PUBLIC)

L-55
25 LF OF 15" RCP @ 2.00% (PUBLIC)

NOTE:
STORM SEWER AT WEST END OF MURPHY STREET TO BE COORDINATED WITH FINAL SW 16TH STREET DESIGN

L-52
45 LF OF 18" RCP @ 0.80% (PUBLIC)

ST-52
SW-506 INTK
TC=19.71
FL 15" (N)=15.37
FL 15" (E)=15.37
FL 18" (SW)=15.27
(PUBLIC)

L-54
215 LF OF 15" RCP @ 0.51% (PUBLIC)

ST-54
SW-503 INTK
TC=20.90
FL 15" (N)=16.56
FL 15" (W)=16.46
(PUBLIC)

PLAT BOUNDARY (TYP)

ST-51
SW-401 72" MH
RIM=20.38
FL 18" (NE)=14.91
FL 36" (S)=14.59
(PUBLIC)

CRITICAL CROSSING
BOTTOM OF STORM=14.84
TOP OF EX SANITARY=13.79

CRITICAL CROSSING
BOTTOM OF STORM=14.09
TOP OF EX SANITARY=13.77
(PIPE SUPPORT TO BE PROVIDED)

FUTURE GRAY'S PARKWAY (PUBLIC)

L-51
130 LF OF 36" RCP @ 0.30% (PUBLIC)

ST-50
36" RCP APRON
FL=14.20
(PUBLIC)

30 TONS CLASS 'E' RIP-RAP

SCALE
0' 10' 20' 40'

FILE: H:\2021\2310659\DWG\2310659-PRELIMINARY-PLAT.DWG
REF: ALTA SURVEY, PLAT
PLOTTED BY: LOUIS KELEHAN DATE PLOTTED: 6/7/2024 9:23 AM
TECH: COMMENT: ENG:

REVISIONS	DATE
SECOND SUBMITTAL	08/01/2024
FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH
TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

UTILITY PLAN

C4.4

2310.659

NOTE:
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L-21
71 LF OF
30" RCP
@ 0.41%
(PRIVATE)

L-20
24 LF OF
24" RCP
@ 0.50%
(PRIVATE)

ST-20
24" PIPE PLUG
FL=15.97
(PRIVATE)

HYDRANT ASSEMBLY W/TEE
PLUGGED TO THE WEST (PUBLIC).
NOTE: HYDRANT TO BE LOCATED IN
FUTURE PARKING LOT TRAFFIC ISLAND.

ST-19
SW-502 72" INTK
RIM=21.82
FL 24" (W)=15.85
FL 30" (N)=14.98
FL 36" (S)=14.88
(PRIVATE)

S-1
SW-303 48" MH
RIM=22.27
FL 8" (E)=5.54
FL 15" (N)=-0.14
FL 15" (S)=-0.14
(PUBLIC)

L-19
159 LF OF
36" RCP
@ 0.40%
(PRIVATE)

HYDRANT
ASSEMBLY
(PUBLIC)

8" WATER
VALVES
(PUBLIC)

8" WATER
VALVE
(PUBLIC)

PRIVATE DRIVE

PRIVATE DRIVE

OUTLOT 'Z'

SANITARY
SERVICE
(TYP)

WATER
SERVICE
(TYP)

8" DIP WATER MAIN
(PUBLIC)

ROOF
DRAIN
COLLECTOR

ROOF
DRAIN
COLLECTOR

24

23

22

21

12

13

14

15

16

31

20

19

18

17

P-2
130 LF OF
8" PVC
@ 1.00%
(PUBLIC)

WATER
SERVICE
(TYP)

SANITARY
SERVICE
(TYP)

ROOF
DRAIN
COLLECTOR

HYDRANT
ASSEMBLY
(PUBLIC)

8" DIP
WATER
MAIN
(PUBLIC)

ST-28
SW-505 INTK
TC=19.38
FL 15" (E)=14.50
FL 15" (W)=14.40
(PUBLIC)

ST-27
SW-401 84" MH
RIM=21.00
FL 15" (E)=14.08
FL 48" (N)=11.80
FL 48" (S)=11.70
(PUBLIC)

L-28
16 LF OF
15" RCP
@ 2.00%
(PUBLIC)

S-2
SW-301 48" MH
RIM=21.62
FL 8" (N)=6.94
FL 8" (W)=6.84
(PUBLIC)

ST-16
SW-502 48" INTK
TC=21.68
FL 15" (N)=15.56
FL 15" (SE)=15.46
(PRIVATE)

L-16
91 LF OF
15" RCP
@ 1.51%
(PRIVATE)

ST-15
SW-501 INTK
TC=20.70
FL 15" (NW)=14.09
FL 18" (S)=13.99
(PUBLIC)

L-27
128 LF OF
48" RCP
@ 0.50%
(PUBLIC)

SW 14TH STREET
(PUBLIC)

PLAT
BOUNDARY
(TYP)

L-29
27 LF OF
15" RCP
@ 2.00%
(PUBLIC)

8" DIP
WATER MAIN
(PUBLIC)

ST-29
SW-505 INTK
TC=19.54
FL 15" (W)=15.04
(PUBLIC)

CRITICAL CROSSING
BOTTOM OF STORM=14.51
TOP OF EX SANITARY=11.40

CRITICAL CROSSING
BOTTOM OF STORM=14.15
TOP OF EX RCBC=13.38
(PIPE SUPPORT TO BE PROVIDED)

CRITICAL CROSSING
BOTTOM OF WATER=13.93
TOP OF EX RCBC=13.18
(PIPE SUPPORT
TO BE PROVIDED)

CRITICAL
CROSSING
BOTTOM OF
WATER=13.87
TOP OF EX
SANITARY=11.36

ST-26
15" PIPE PLUG
FL=14.73
(PUBLIC)

L-26
16 LF OF
15" RCP
@ 1.00%
(PUBLIC)

ST-25
SW-505 INTK
TC=20.07
FL 15" (N)=14.57
FL 15" (S)=14.47
(PUBLIC)

HYDRANT ASSEMBLY W/TEE
PLUGGED TO THE EAST (PUBLIC)

MURPHY STREET
(PUBLIC)

L-15
25 LF OF
18" RCP
@ 1.00%
(PUBLIC)

8" WATER
VALVES
(PUBLIC)

ST-18
SW-401 84" MH
RIM=21.82
FL 36" (N)=14.24
FL 36" (E)=14.14
(PUBLIC)

PLAT
BOUNDARY
(TYP)

L-18
180 LF OF
36" RCP
@ 0.50%
(PUBLIC)

L-14
14 LF OF
36" RCP
@ 1.00%
(PUBLIC)

L-24
92 LF OF
18" RCP
@ 0.50%
(PUBLIC)

L-25
25 LF OF
15" RCP
@ 1.00%
(PUBLIC)

ST-24
SW-506 INTK
TC=19.91
FL 15" (N)=14.22
FL 18" (W)=14.12
(PUBLIC)

HYDRANT ASSEMBLY
W/TEE PLUGGED TO
THE SOUTH (PUBLIC)

ST-14
SW-503 INTK
TC=20.54
FL 18" (N)=13.74
FL 36" (W)=13.24
FL 36" (E)=13.14
(PUBLIC)

ST-13
SW-401 96" MH
RIM=20.56
FL 48" (N)=11.06
FL 18" (E)=13.66
FL 36" (W)=13.00
FL 54" (S)=10.96
(PUBLIC)

CRITICAL CROSSING
BOTTOM OF STORM=13.52
TOP OF EX RCBC=13.12
(PIPE SUPPORT TO BE PROVIDED)

CRITICAL CROSSING
BOTTOM OF STORM=13.60
TOP OF EX SANITARY=11.36

L-13
128 LF OF
54" RCP
@ 0.55%
(PUBLIC)

ST-10
SW-401 84" MH
RIM=19.24
FL 54" (N)=10.26
FL 24" (E)=13.40
FL 24" (W)=12.16
FL 54" (S)=10.16
(PUBLIC)

L-11
16 LF OF
24" RCP
@ 1.00%
(PUBLIC)

CRITICAL CROSSING
BOTTOM OF STORM=13.29
TOP OF EX RCBC=12.81
(PIPE SUPPORT TO BE PROVIDED)

L-12
8 LF OF
24" RCP
@ 0.75%
(PUBLIC)

ST-12
24" PIPE PLUG
FL=12.22
(PUBLIC)

ST-11
15" PIPE PLUG
FL=13.56
(PUBLIC)

SCALE
0' 10' 20' 40'

FILE: H:\2023\2310659\DWG\2310659-PRELIMINARY-PLAT.DWG
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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

UTILITY PLAN

C4.5

2310.659

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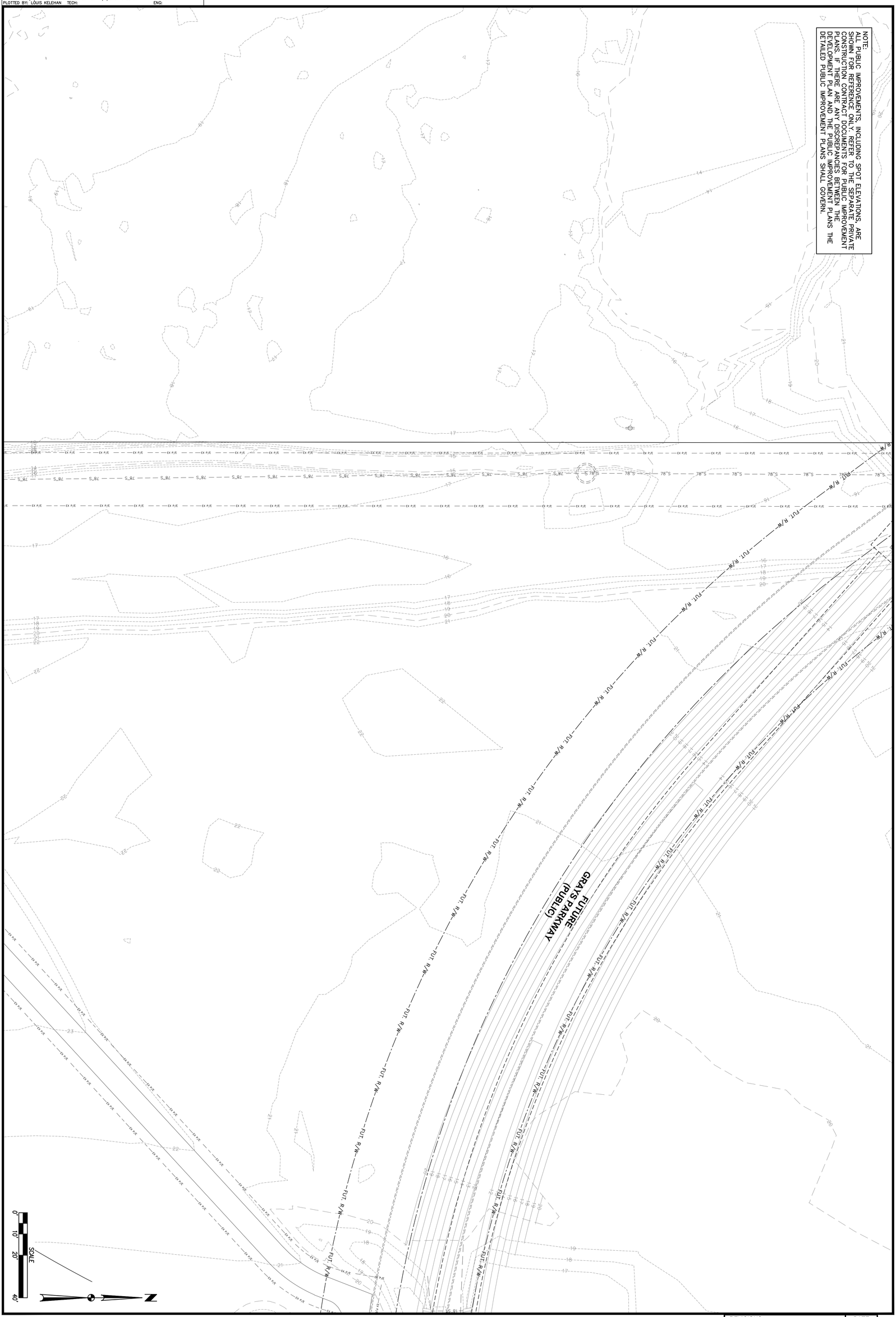

C4.6
2310.659

GRAY'S STATION PLAT 7

UTILITY PLAN

DES MOINES, IOWA

CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH TECH:

REVISIONS	DATE
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FIRST SUBMITTAL	06/13/2024

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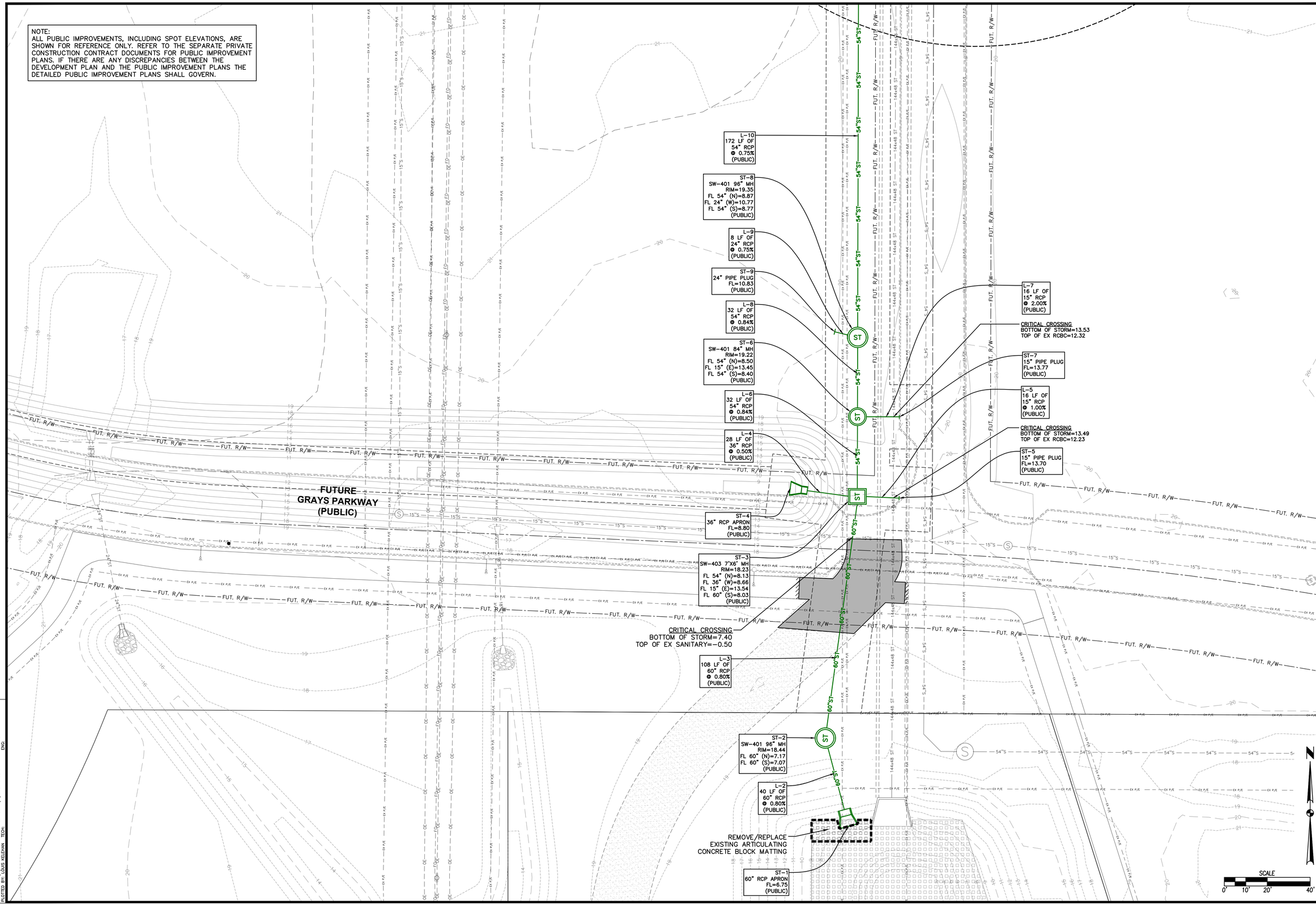

REVISIONS	DATE
SECOND SUBMITTAL	08/01/2024
FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH | TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

UTILITY PLAN

C4.7

2310.659

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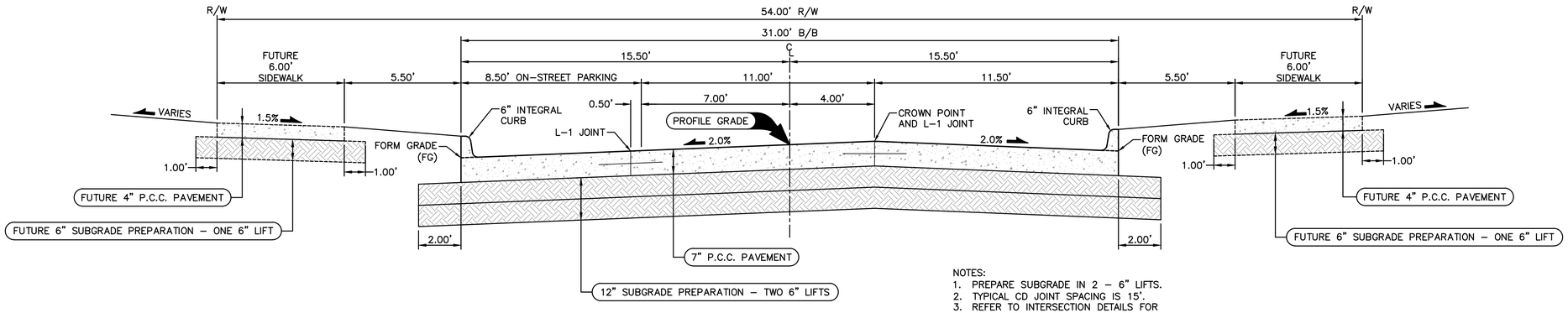
FEB 2023 / KAA / LAYOUT: C4.7 DATE: 8/7/2024 8:32 AM
PLOTTED BY: LOUIS KELEHAN TECH:
COMMENT:
ENG:

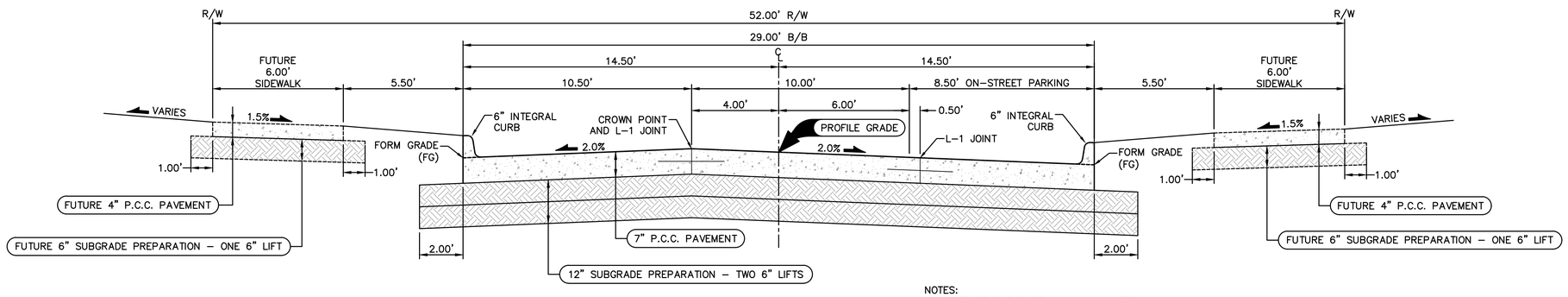


NOTES:
1. PREPARE SUBGRADE IN 2 – 6" LIFTS.
2. TYPICAL CD JOINT SPACING IS 15'.
3. REFER TO INTERSECTION DETAILS FOR NON-TYPICAL PAVEMENT WIDTHS.

TYPICAL SECTION - 31' B/B P.C.C. ROADWAY WITH 54' ROW

NOT TO SCALE

SW 14TH STREET

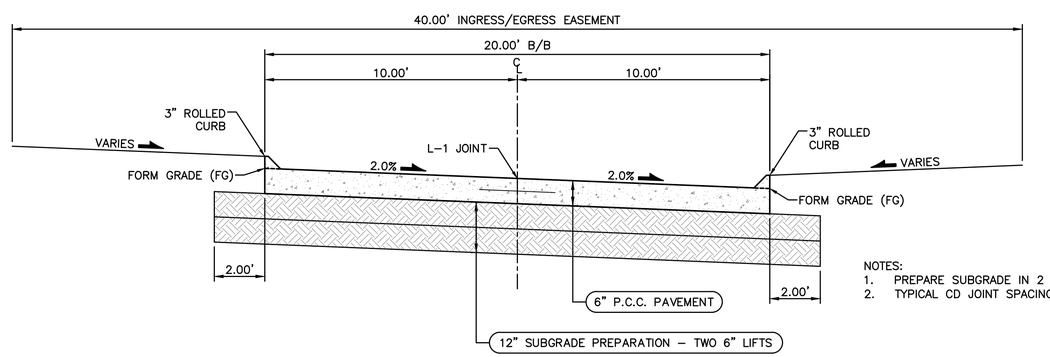


NOTES:
1. PREPARE SUBGRADE IN 2 – 6" LIFTS.
2. TYPICAL CD JOINT SPACING IS 15'.
3. REFER TO INTERSECTION DETAILS FOR NON-TYPICAL PAVEMENT WIDTHS.

TYPICAL SECTION - 29' B/B P.C.C. ROADWAY WITH 52' ROW

NOT TO SCALE

MURPHY STREET



NOTES:
1. PREPARE SUBGRADE IN 2 – 6" LIFTS.
2. TYPICAL CD JOINT SPACING IS 15'.

TYPICAL SECTION - 20' B/B P.C.C. PRIVATE STREET

NOT TO SCALE

REVISIONS	DATE
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FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400
ENGINEER: RAH
TECH:
CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

DETAILS

C5.0

2310.659

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FILE DATE: 6/7/2024 TIME PLOTTED: 6/7/2024 9:22 AM
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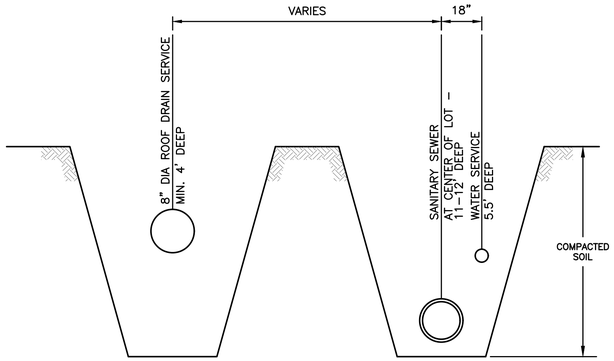
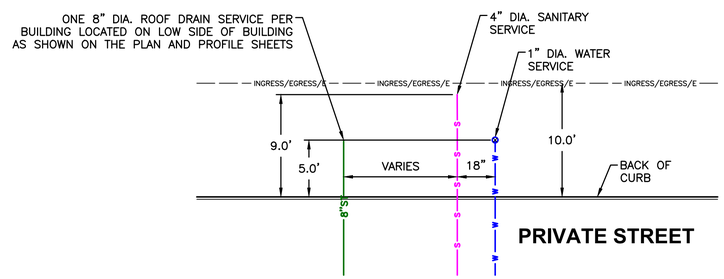


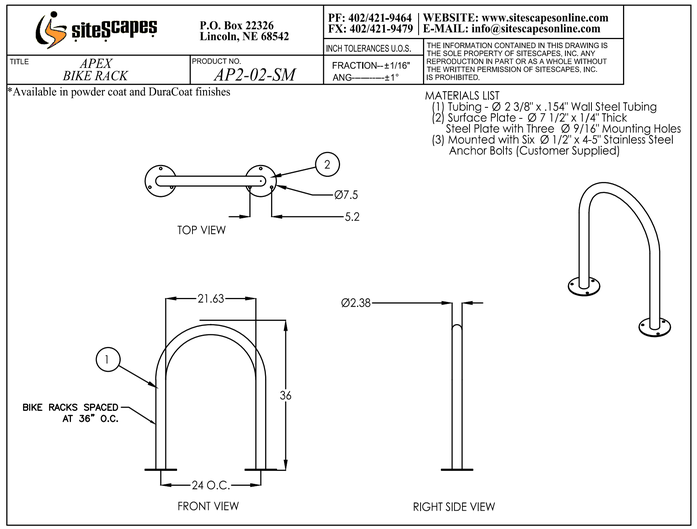
NOTES:

1. MARK THE LOCATION OF ALL SANITARY SEWER SERVICE STUBS AT THE TIME OF INSTALLATION BY A TWO-INCH WIDE DETECTABLE MARKING TAPE INSTALLED AT A DEPTH OF 18 INCHES TO 24 INCHES BELOW FINISHED GRADE, DIRECTLY OVER THE SERVICE STUB, FOR ITS ENTIRE LENGTH AND BROUGHT UP TO THE SURFACE AT THE END OF THE SERVICE STUB ADJACENT TO THE POST MARKING THE STUB LOCATION. THE TAPE SHALL BE GREEN IN COLOR AND MARKED "SANITARY SEWER SERVICE STUB BURIED BELOW".
2. PLACE ONE 6' BLUE STEEL POST BURIED 3' AT WATER CURB BOX.
3. PLACE ONE 6' RED STEEL POST BURIED 3' TO LOCATE ROOF DRAIN SERVICE.



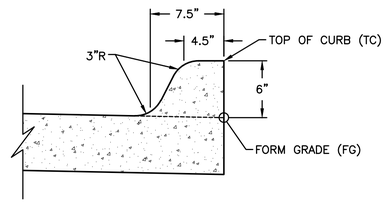
TYPICAL SERVICE INSTALLATION DETAIL

NOT TO SCALE



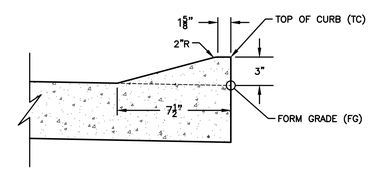
BIKE RACK

NOT TO SCALE



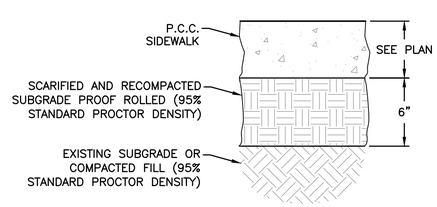
6" STANDARD CURB SPOT ELEVATION REFERENCE DETAIL

NOT TO SCALE



3" ROLLED CURB SPOT ELEVATION REFERENCE DETAIL

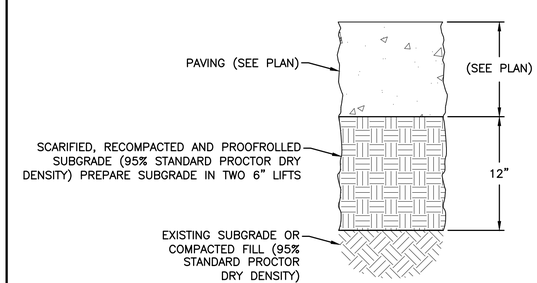
NOT TO SCALE



NOTES:
1. SUBGRADE PREPARATION SHALL EXTEND 12" BEYOND THE EDGE OF PAVING. EXCEPT WHEN ABUTTING EXISTING PAVEMENT.

SIDEWALK

NOT TO SCALE



NOTES:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND THE EDGE OF PAVING OR BACK OF CURB, EXCEPT WHEN ABUTTING EXISTING PAVEMENT.

12" SUBGRADE PREPARATION

NOT TO SCALE

REVISIONS	DATE
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4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
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CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7

DETAILS

C5.1

2310.659

FILE: H:\2021\2310659\DWG\2310659-PRELIMINARY-PLAT.DWG
REF(S): 2310-XREF, 2310-XREF, 2310-XREF
PLOTTED BY: LOUIS KELEHAN LAST PLOTTED: 07/22/24 9:52 AM COMMENT:
TECH: ENG:

LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST 2024 EDITION (EFFECTIVE AT THE TIME OF DRAWING APPROVAL) OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
7. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
8. SHREDDED HARDWOOD MULCH WITH WEED PREVENTER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE 4" SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
12. CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC R.O.W. AT 283-4950.
14. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF STREET TREES PRIOR TO PLANTING.
15. NO STAKING OF TREES IS ALLOWED.

SEEDING NOTES

1. TURF SEED SHALL BE 'SNAP BACK RR' TURF TYPE TALL FESCUE AVAILABLE FROM UNITED SEEDS

PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PD	12	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	B&B, 6' HEIGHT
PG	6	BLUE COLORADO SPRUCE	PICEA PUNGENS 'GLAUCA'	B&B, 6' HEIGHT
OVERSTORY TREES				
AS	8	AUTUMN SPIRE RED MAPLE	ACER RUBRUM 'AUTUMN SPIRE'	B&B, 1.5" CALIPER
QM	4	BURR OAK	QUERCUS MACROCARPA	B&B, 1.5" CALIPER
CO	2	COMMON HACKBERRY	CELTIS OCCIDENTALIS	B&B, 2" CALIPER
GN	32	MAIDENHAIR TREE	GINKGO BILOBA 'GOLDEN COLLONADE'	B&B, 1.5" CALIPER
QR	5	NORTHERN RED OAK	QUERCUS RUBRA	B&B, 1.5" CALIPER
AR	20	RED MAPLE	ACER RUBRUM	B&B, 1.5" CALIPER
GS	21	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B, 1.5" CALIPER
LS	8	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	B&B, 1.5" CALIPER
UNDERSTORY TREES				
CI2	5	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	B&B, 1" CALIPER
SHRUBS				
RE	11	PJM RHODODENDRON	RHODODENDRON X 'P.J.M.'	5 GAL
ANNUALS/PERENNIALS				
HH	192	HAPPY RETURNS DAYLILY	HEMEROCALLIS X 'HAPPY RETURNS'	1 GAL
GRASSES				
MG	13	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL

PARKWAY PLANTING CALCULATIONS

TUTTLE STREET PARKWAY: 200 LF
REQUIRED
1 OVERSTORY TREE/ 30 LF OF PARKWAY: 7 TREES

PROPOSED
OVERSTORY TREES 7 TREES + SHRUBS AND PERENNIALS

MURPHY STREET PARKWAY NORTH SIDE: 775 LF
REQUIRED
1 OVERSTORY TREE/ 30 LF OF PARKWAY: 26 TREES

PROPOSED
OVERSTORY TREES 26 TREES

MURPHY STREET PARKWAY SOUTH SIDE: 767 LF
REQUIRED
1 OVERSTORY TREE/ 30 LF OF PARKWAY: 26 TREES

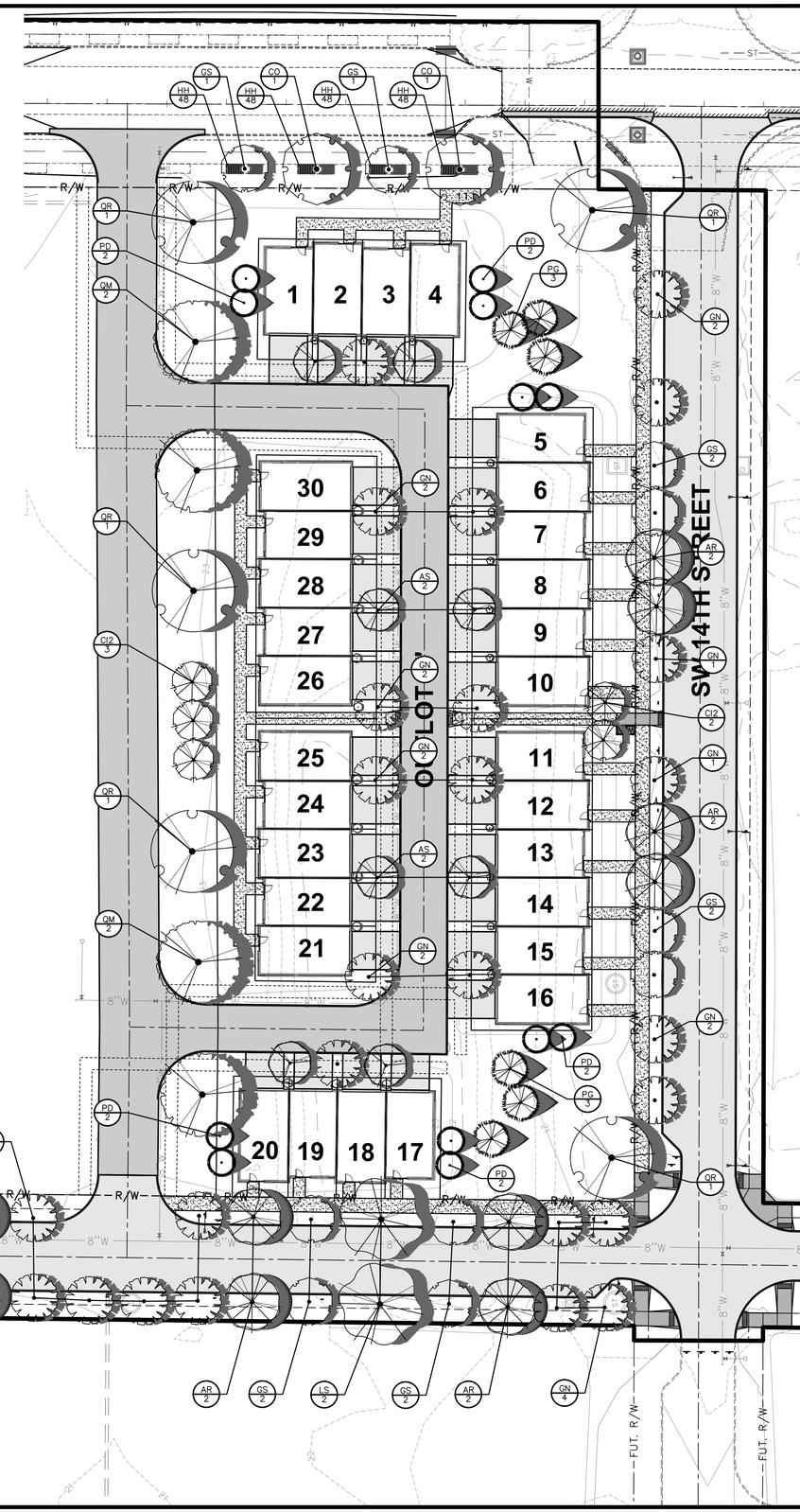
PROPOSED
OVERSTORY TREES 26 TREES

SW 14TH STREET PARKWAY: 423 LF
REQUIRED
1 OVERSTORY TREE/ 30 LF OF PARKWAY: 14 TREES

PROPOSED
OVERSTORY TREES 14 TREES

TOTAL LANDSCAPE PROVIDED

TREES: 123
SHRUBS: TBD
PERENNIALS & GRASSES 13



REVISIONS	DATE
SECOND SUBMITTAL	08/01/2024
FIRST SUBMITTAL	06/13/2024

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400

ENGINEER: RAH TECH:

CIVIL DESIGN ADVANTAGE
DES MOINES, IOWA

GRAY'S STATION PLAT 7
LANDSCAPE PLAN

L1.0
2310.659

FILE: R:\2023\23106\9\DWG\2310659-LANDSCAPE.DWG
PLOT SCALE: 1:1 DATE: 8/1/2024 8:23 AM COMMENT:
PLOTTED BY: LOUIS KELEHAN TECH: ENG:

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 19, 2024

AGENDA ITEM #4	COMP-2024-000018

Applicant: Measured 3708 SE 14th LLC (owner), represented by Greg Danielson (officer).

Location: Vicinity of 3710 Southeast 14th Street.

Requested Action: Amend PlanDSM: Creating Our Tomorrow Comprehensive Plan to revise the future land use designation from Medium Density Residential to High Density Residential, to allow expansion of the existing multiple-household residential development so that it has a net density greater than 17 dwelling units per acre.

I. GENERAL INFORMATION

1. **Purpose of Request:** The applicant is proposing to amend the future land use designation from Medium Density Residential to High Density Residential, to allow additional development within the property that would allow the site to have a density greater than 17 dwelling units per acre. The application indicates construction of four (4) additional multiple-household buildings with 12 units in each building for a total of an additional 48 dwelling units. There are nine (9) existing multiple-household buildings on the subject property with 12 dwelling units in each building (108 total units). No conceptual site sketch was submitted with the application. The resulting 156 dwelling units on 6.41 acres of land represents a net density of 24.3 dwelling units per acre.

   This Land Use Plan amendment request to High Density Residential would allow any future site plan for the subject properties with 156 dwelling units to be found in conformance with PlanDSM: Creating Our Tomorrow comprehensive plan.

2. **Size of Site:** 279,407 square feet (6.41 acres).

3. **Existing Zoning (site):** “NX2” Neighborhood Mix District.

4. **Existing Land Use (site):** The subject property is comprised of two (2) parcels that contain 9 multiple-household residential buildings with twelve (12) dwelling units in each for a total of 108 dwelling units), a paved continuous drive aisle and surface parking lot, and undeveloped land.

5. **Adjacent Land Use and Zoning:**

   North – "N3a"; Uses are one-household dwellings.

   South – "NX2"; Uses are multiple-household dwellings and a surface parking lot.

   East – "MX3-V, "PUD""; Uses are auto repair, commercial strip center with multiple businesses, auto sales and service business, and convenience store.

   West – "N3a"; Uses are one-household dwellings.

6. **General Neighborhood/Area Land Uses:** The subject site is located along the west side of Southeast 14th Street between East Watrous Avenue and East Thornton Avenue. The area consists of higher intensity commercial uses, and multiple household residential uses along the Southeast 14th Street corridor.

7. **Applicable Recognized Neighborhood(s):** The site is located within the South Central DSM neighborhood and within 250 feet of Easter Lake Area neighborhood. All neighborhood associations were notified of the public hearing by emailing of the Preliminary Agenda on August 30, 2024, and by emailing of the Final Agenda on September 13, 2024. All Neighborhood Association mailings are sent to the primary contact designated by the recognized Neighborhood Association on file with the City of Des Moines' Neighborhood Services Department.

8. **Relevant Zoning History:** None.

9. **PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Medium Density Residential (up to 17 dwelling units per acre).

10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend the future land use map within the City of Des Moines' Comprehensive Land Use Plan. The recommendation of the Commission will be forwarded to the City Council.

    In accordance with City Code Section 135-9.1.1, any future Site Plan for the property must be in accordance with the City's Comprehensive Land Use Plan, including conformance with the density of use allowed per the City's future land use map.

II. <u>ADDITIONAL APPLICABLE INFORMATION</u>

1. **PlanDSM: Creating Our Tomorrow:** The applicant is requesting that the future land use designation for the property be amended from "Medium Density Residential" to "High Density Residential." Plan DSM describes these designations as follows:

   <u>Medium Density Residential:</u> Areas developed with mix of single family, two family and multi-family residential up to 17 dwelling units per net acre.

<u>High Density Residential:</u> Areas developed with primarily higher intensity multi-family housing with a minimum density over 17 dwelling units per net acre.

The parcels that comprise the subject property are currently zoned "NX2" Neighborhood Mix District. The Zoning Ordinance describes this district as "intended for a mix of single-household houses with appropriately scaled and detailed multiple-household building types in the same neighborhood."

Staff believes that the subject site would be an appropriate location for additional multiple-household units given the site's location along a major transportation corridor and access to a transit bus route (DART) and bus stop. The site is also within an area that includes a mix of multiple-household uses. PlanDSM's Land Use Goal #2 states, "Direct new growth and redevelopment to areas with existing infrastructure and nodes and corridors based on proximity to transit, shopping, services, and public amenities." Furthermore, Land Use Goal #13 states, "Encourage high-density housing in identified nodes and along corridors that provide convenient access to public transit, public amenities and services, schools and open space, and are in close proximity to job centers."

2. **Grading & Storm Water Management:** Any future grading is subject to an approved grading permit and soil erosion control plan, as well as a Stormwater Pollution Protection Plan (SWPPP) approved by the Iowa DNR.

3. **Nature Features:** Any development of the site must comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code.

4. **Utilities:** Stormwater and sanitary sewers are located in the Southeast 14th Street right-of-way.

5. **Traffic/Street System:** The site is located along a transit bus line (DART) with a bus stop adjacent to the subject property.

6. **Planning and Design Ordinance:** Any future development must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (City Code Chapter 135). As such, the applicant would be required to prepare a Site Plan and building elevations for review before the property can be occupied by the proposed use.

III. <u>STAFF RECOMMENDATION</u>

Staff recommends approval of the request to amend the PlanDSM: Creating Our Tomorrow Comprehensive Plan to revise the future land use designation for the subject property from Medium Density Residential to High Density Residential.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, September 19, 2024

AGENDA ITEM #5	**ZONG-2024-000030**

Applicant: City initiated.

Requested Action: Consideration of the following amendments to Chapter 134 and Chapter 135 of the Municipal Code:

A) Amendments to Chapter 134, including expanding the agricultural use category, creating a specific data center use, eliminating the separation requirement for liquor, beer and wine sales associated with a restaurant use, increasing the allowance for medical office and daycare uses, and other miscellaneous items.

B) Amendments to Chapter 135, including altering permitted use limitations for certain building types, providing setback averaging for street side yards for the house building types, and other miscellaneous items.

I. GENERAL INFORMATION

The following tables summarize the proposed amendments. Redline versions of the code are included in the Commission's packet. The body of this staff report is intended to summarize the amendments and explain the rationale for the changes.

Chapter 134 Amendments:

SUBJECT	CODE SECTION	ACTION/PURPOSE
Daycare and Day Services Adult uses, P2 district	Table 134-3.1-1	Allow daycare and day services adult uses in the P2 district. These uses fit with the character of other uses permitted in the P2 district.
Medical office uses, I1 & I2 districts	Table 134-3.1-1	Allow medical office uses in the I1 and I2 districts. This aligns medical office with business/professional office use category.
Parking structures, ground floor use limitation	Table 134-3.1-1	Move requirement for non-parking uses on the ground floor of parking garages to Chapter 135 allowing the consideration of Type 2 design alternative requests.
Home occupations, align with State Code	134-3.9.4	Legislation was passed that impacts what local government can regulate. Amendment would align zoning ordinance with State Code regarding "no impact businesses."
Fee requirements, City departments	134-6.1.4.C	Eliminate fee requirements for City and County departments to remove unnecessary administrative processes.
Restaurants with liquor, wine and beer sales	Table 134-3.9-1	Eliminate separation requirement associated with the sale of alcohol at restaurants. Experience with Zoning Board of Adjustment case history

		demonstrates that the negative impact on restaurant businesses outweighs the benefit the separation requirement has provided.
Supplemental use regulations for liquor, wine and beer sales	134-3.9.9.C.3c	Amend supplemental use regulations associated with the liquor, wine and beer sales by removing requirement “c” pertaining to loitering, which is a term that can have discriminatory undertones.
Data center uses	134-3 Table 134-3.1-1	Establish defined principal use categories for data centers that recognizes differences in scales (major & minor). This is needed to stay current with the trend of small centers dispersed in commercial settings.
Agricultural use category	134-3.7 Table 134-3.1-1	Expand and clarify agricultural principal use category. See section II of this report for additional information.

Chapter 135 Amendments:

ACTION	CODE SECTION	ACTION
Street light pole and fixtures	135-8.2.1.B	Add language the identifies the Development Service Director as deciding the color street light poles and light fixtures. This change aligns code language with current practice.
Trash enclosure placement, type 1 design alternative	135-9.2.3.B.15	Clarify type 1 design alternative language for trash enclosure placement. Existing language only references front yards and street side yards. Proposed amendment adds reference to interior side yards, which was inadvertently excluded from language.
Street side yard setback, averaging	135-3.4 135-2.13.3.A.4 135-2.14.3.A.4 135-2.15.3.A.4 135-2.16.3.A.4	Allow street side yard setback averaging for house building types. The code currently allows averaging for front yard setback but does not address corner lots.
Civic building type, daycare and day services adult uses	135-2.10.3.C.14	Allow daycare and day services adult uses in the civic building type. This is necessary to match the proposed amendment to allow these uses in the P2 zoning district.
Downtown general and downtown storefront building types, surface parking	135-2.3.3.C.18 135-2.4.3.C.17	Clarify prohibition of surface parking associated with the downtown general and downtown storefront building types. Requirements do not provide an allowance for a surface parking lot. The proposed amendment would explicitly

		note they are not allowed. The ability to seek a design alternative would not change.
Parking structures, ground floor use limitation	135-2.17.3.C	Move requirement for non-parking uses on the ground floor of parking garages from Chapter 134 to Chapter 135 allowing the consideration of Type 2 design alternative requests.
Data centers, definition of occupied space	135-12.17	Amend definition of occupied space to exclude data center as occupied space. Certain building types require occupied space within the front 30 feet within a building along primary frontages.
Seasonal agricultural accessory building	135-2.22.2 Table 135-2.22-1	Add an accessory building type (2.22.2.H). Establish an allowance for hoop houses and cold frame structures subject to development standards.
Landscape plans	135-9.3.3.B.9	Allow licensed civil engineers to sign landscape plans in addition to architects, landscape architects and certified nurserymen.

II. <u>ANALYSIS</u>

1. **Agricultural Use Category:** The agricultural use category currently consists of three principal uses: 1) Community and Urban Garden, 2) Crop Production, and 3) Nursery and Truck Farm. The proposed amendment would expand the category to better address the changing nature of the agricultural industry. These changes address goals identified by the City's Food Security Task Force and AdaptDSM (climate action plan).

   Moving forward, the agricultural category would consist of five principal uses: 1) Aquaculture, Aquaponics, Aeroponics or Hydroponics; 2) Greenhouses, Nursery, Orchard or Truck Farm; 3) Row Crop Production; 4) Urban Garden; and 5) Urban Farm. Principal uses can be permitted as accessory uses to other principal uses pursuant to Section 134-3.9 of the Zoning Code. For example, a greenhouse building, or hydroponic installation can be found to be accessory to an Urban Garden, Urban Farm or residential use.

   The Aquaculture, Aquaponics, Aeroponics or Hydroponics group is new to the code and would be described as follows:

   AQUACULTURE, AQUAPONICS, AEROPONICS OR HYDROPONICS (proposed)
   the raising and harvesting of plants in a contained and managed non-soil environment. These agricultural techniques may include the raising and harvesting of aquatic organisms. This use category is typically associated with large format operations that are heavily commercial in nature. This type of agriculture may be permitted as an accessory use pursuant to section 134-3.9 of this code. Aquaculture, aquaponic, aeroponics or hydroponic uses are subject to the following supplemental use regulations:

   A. Shall be conducted within a building unless located in an agricultural district.

B. Shall be operated in a manner that does not create odor or attract vectors or pests.

The following language shows the existing Nursery and Truck Farm language and the proposed Greenhouses, Nursery, Orchard or Truck Farm language. Key differences are highlighted in yellow.

NURSERY OR TRUCK FARM (existing)
The propagation and growth of trees or food or non-food crops for wholesale or retail sales and distribution. Does not include on-site retail sales unless such sales are otherwise allowed in the subject zoning district. Typical uses include plant nurseries, the growing of vegetables and non-food crops primarily for local wholesale and retail sales.

GREENHOUSES, NURSERY, ORCHARD OR TRUCK FARM (proposed)
The propagation and growth of trees or crops for wholesale or retail sales and distribution. This principal use category is typically associated with large format operations. This type of agriculture may be permitted as an accessory use pursuant to section 134-3.9 of this code. Does not include on-site retail sales unless such sales are otherwise allowed in the subject zoning district. Typical uses include plant nurseries, the growing of fruits, vegetables, nuts and non-food crops primarily for local wholesale and retail sales.

The following language shows the existing Crop Production language and the proposed Row Crop Production language. Key differences are highlighted in yellow.

CROP PRODUCTION (existing)
An area managed and maintained by an individual, group or business entity to grow crops.

ROW CROP PRODUCTION (proposed)
An area managed and maintained by an individual, group or business entity to grow row crops. This use typically utilizes large scale equipment and large tracts of land.

The following language shows the existing Community and Urban Garden language and then the proposed Urban Garden language. Key differences include the allowance for limited sales by right and the elimination of the fencing requirement. See highlighted text for new or changed language.

COMMUNITY AND URBAN GARDEN (existing)
Areas that are managed and maintained by an individual or a group of individuals to grow and harvest food crops or non-food crops (e.g., flowers). A community garden area may be divided into separate garden plots for cultivation by one or more individuals or may be farmed collectively by members of the group. Community gardens are subject to the following supplemental use regulations:

A. Unless permitted in the subject zoning district or approved as a conditional use, on-site sales of community garden products or other items is prohibited.

B. All equipment must be stored in a completely enclosed building.

C. The community garden site must be designed and maintained to prevent any chemical pesticide, fertilizer or other garden waste from draining on to adjacent properties.

D. On-site trash, recyclable and compost containers must be located and maintained as far as practicable from residential household units located on other lots.

E. A sign must be posted on the subject property identifying the name and phone number of the property owner or the owner's agent. The sign must be at least four and no more than six square feet in area and be posted so that it is legible from the public right-of-way.

F. The property must be maintained free of tall weeds and debris. Dead garden plants must be regularly removed.

G. The perimeter of all community and urban gardens must be fenced.

H. Gardens that are accessory to a household living use are exempt from this section.

I. Any animal husbandry shall be in compliance with chapter 18 of this code.

URBAN GARDEN (proposed)

Areas utilized for the production of crops for profit or non-profit. An urban garden may be divided into separate garden plots for cultivation by one or more individuals or may be farmed collectively. This type of agriculture may be permitted as an accessory use pursuant to section 134-3.9 of this code. Urban gardens are subject to the following supplemental use regulations:

A. Gardens that are accessory to a household living use are exempt from these supplemental use regulations.

B. Unless permitted in the subject zoning district, on-site sales shall be limited as follows:

i. Only crops grown on the site may be sold on site;

ii. On-site sales may occur during the hours of 7:00 AM to 7:00 PM; and

iii. No more than eight (8) on-site sale events in any calendar year, with each sale event limited to no more than two (2) consecutive days in duration. These limits apply on a per-site basis, regardless of the person conducting the sale.

C. Gardening equipment shall be limited to handheld or walk-behind equipment or garden tractor size typical of residential use.

D. All equipment must be stored in a completely enclosed building when not in use.

E. Accessory buildings are permitted in accordance with section 135-2.22 of this code. This includes greenhouses, which are considered an outbuilding pursuant to section 135-2.22.2.C of this code and seasonal agricultural structures pursuant to section 135-22.2.H. of this code.

F. The garden site must be designed and maintained to prevent any chemical pesticide, fertilizer or other garden waste or byproduct from draining on to adjacent properties or public infrastructure.

G. On-site trash, recycling and compost containers must be located and maintained as far as practicable from residential household units located on other lots.

H. A sign must be posted on the subject property identifying the name and phone number of the property owner or the owner's agent. The sign must be at least four and no more than six square feet in area and be posted so that it is legible from the public right-of-way.

I. The property must be maintained free of tall weeds and debris. Dead garden plants must be regularly removed unless utilized for on-site compositing. Any compositing shall not create odor, litter, dust or noise nuisance, or attract vectors or pests and shall be limited to accumulated organic material generated from the site.

J. Accessory hydroponic, aeroponic, or other non-soil technology components of a garden shall be operated in a manner that does not create odor or attract vectors or pests.

K. Any animal husbandry shall be in compliance with chapter 18 of this code.

The proposed Urban Farm use builds upon the Urban Garden use but allows for greater activity on site, including expanded sales. The Urban Garden use would be allowed by right in all zoning districts. The Urban Farm use would be a Conditional Use in neighborhood zoning districts and allowed by right in all other zoning districts. Key differences between the Farm and Garden uses are highlighted below.

URBAN FARM (proposed)
Areas utilized for the production of crops for profit or non-profit and may provide agricultural education activities, such as volunteer programs, farm tours, youth programs and farming classes. Urban Farms are subject to the following supplemental use regulations:

A. Unless otherwise permitted in the subject zoning district, on-site sales shall take place between the hours of 7:00 AM and 7:00 PM.

B. Gardening equipment shall be limited to handheld or walk-behind equipment or garden tractor size typical of residential use.

C. All equipment must be stored in a completely enclosed building when not in use.

D. Accessory buildings are permitted in accordance with section 135-2.22 of this code. This includes greenhouses, which are considered an outbuilding pursuant to section 135-2.22.2.C of this code and seasonal agricultural structures pursuant to section 135-22.2.H.

E. The site must be designed and maintained to prevent any chemical pesticide, fertilizer or other garden waste or byproduct from draining on to adjacent properties or public infrastructure.

F. On-site trash, recycling and compost containers must be located and maintained as far as practicable from residential household units located on other lots.

G. A sign must be posted on the subject property identifying the name and phone number of any farm operator and may identify the property owner or the owner's agent. The sign must be at least four and no more than six square feet in area and be posted so that it is legible from the public right-of-way.

H. The property must be maintained free of tall weeds and debris. Dead garden plants must be regularly removed unless utilized for on-site compositing. Any compositing shall not create odor, litter, dust or noise nuisance, or attract vectors or pests and shall be limited to accumulated organic material generated from the site.

I. Accessory hydroponic, aeroponic, or other non-soil technology components of a farm shall be operated in a manner that does not create odor or attract vectors or pests.

J. Any animal husbandry shall be in compliance with chapter 18 of this code.

2. **PlanDSM:Creating Our Tomorrow Plan:** Creating Our Tomorrow is the City's Comprehensive Plan. The proposed amendments to Chapter 134 (Zoning Ordinance) are consistent with many of the goals and policies of PlanDSM, including the following:

- *Land Use Goal 1* - Develop new land development regulations consistent with this Comprehensive Plan, include development standards, provide for a mixture of land uses, mandate protection of natural resources, and promote flexible approaches to implementing the Plan.

- *Land Use Goal 2* - Direct new growth and redevelopment to areas with existing infrastructure and nodes and corridors based on proximity to transit, shopping, services, and public amenities.

- *Land Use Goal 5* – Continue to support the development of Downtown as the economic, cultural, and residential core of Des Moines.

- *Economic Development Goal 2* – Focus economic development efforts in strategic locations for continued vitality and growth.

- *Economic Development Goal 4* – Foster a sustainable economy.

- *Social Equity Goal 2* – Ensure that all residents have convenient access to healthy food, health care, safe environments, and choices for an active lifestyle.

III. STAFF RECOMMENDATION

Staff recommends approval of the proposed Zoning Ordinance and Planning and Design Ordinance amendments.

CHAPTER 134 AMENDMENTS

CARRIER HOTEL/DATA CENTER

134-3.5 Commercial Use Category

The commercial use category includes uses that provide a business service or involve the selling, leasing or renting of merchandise to the general public. The commercial use subcategories are as follows.

……

3.5.7 DATA CENTER

A. **Minor Data Center.** A facility occupying no more than 10,000 square feet of floor area that primarily utilizes or maintains electronic equipment to process, store, manage, and/or transmit digital information, which houses computer and/or network equipment, systems, servers, appliances and other associated components related to digital data operations. Typical uses include colocation center, carrier hotels, network hotels, telecom hotels, meet-me rooms, and edge data centers.

B. **Major Data Center.** A facility occupying more than 10,000 square feet of floor area, that that primarily utilizes or maintains electronic equipment to process, store, manage, and/or transmit digital information, which houses computer and/or network equipment, systems, servers, appliances and other associated components related to digital data operations. Such facility may include air handlers, power generators, water cooling and storage facilities, utility substations, and other associated utility infrastructure to support sustained operations at a major data center. Typical uses include hyperscale data centers and server farms.

3.5.8~~7~~ DAY CARE

……

3.5.9~~8~~ DAY SERVICES ADULT

……

3.5.10~~9~~ EATING AND DRINKING PLACES

……

3.5.11~~10~~ FINANCIAL SERVICE

……

3.5.12~~11~~ FUNERAL AND MORTUARY SERVICE

……

3.5.13~~12~~ LODGING

……

3.5.14~~3~~ OFFICE

……

3.5.15~~4~~ PARKING, NON-ACCESSORY.

……

3.5.16~~5~~ RETAIL SALES

……

3.5.17~~6~~ SELF-SERVICE STORAGE

……

3.5.18~~7~~ SIGN, GENERAL ADVERTISING

……

3.5.19~~8~~ SPORTS AND RECREATION, PRIVATE/PARTICIPANT

……

3.5.20~~19~~ VEHICLE SALES AND SERVICE

CODE LANGUAGE CHANGE TO ADDRESS RENUMBERING FROM ADDITION OF DATA CENTER USE CLASSIFICATION-ADDITIONAL FOUND IN HOME OCCUPATIONS AMENDMENTS

2.22.3 ACCESSORY OUTDOOR PAVING AND STRUCTURES

The following accessory paving and structures are classified as Accessory Outdoor Paving and Structures.

……

F. Fuel Stations and Car Washes. Refer to section 134-3.5.~~19~~20.A of this code and Table 134-3.1-1 of this code for fuel stations and car wash uses in addition to the applicable building type requirements. All fuel stations and car washes shall meet the following requirements as shown in Figure 135-2.22-C for one illustration of a compliant fuel station.

…….

AGRICULTURE CATEGORY

134-3.7 Agricultural Use Category

~~**3.7.1 COMMUNITY AND URBAN GARDEN**~~
~~Areas that are managed and maintained by an individual or a group of individuals to grow and harvest food crops or non-food crops (e.g., flowers). A community garden area may be divided into separate garden plots for cultivation by one or more individuals or may be farmed collectively by members of the group. Community gardens are subject to the following supplemental use regulations:~~

~~**A.** Unless permitted in the subject zoning district or approved as a conditional use, on-site sales of community garden products or other items is prohibited.~~

~~**B.** All equipment must be stored in a completely enclosed building.~~

~~**C.** The community garden site must be designed and maintained to prevent any chemical pesticide, fertilizer or other garden waste from draining on to adjacent properties.~~

~~**D.** On-site trash, recyclable and compost containers must be located and maintained as far as practicable from residential household units located on other lots.~~

~~**E.** A sign must be posted on the subject property identifying the name and phone number of the property owner or the owner's agent. The sign must be at least four and no more than six square feet in area and be posted so that it is legible from the public right-of-way.~~

~~**F.** The property must be maintained free of tall weeds and debris. Dead garden plants must be regularly removed.~~

~~**G.** The perimeter of all community and urban gardens must be fenced.~~

~~**H.** Gardens that are accessory to a household living use are exempt from this section.~~

~~**I.** Any animal husbandry shall be in compliance with chapter 18 of this code.~~

~~**3.7.2 CROP PRODUCTION**~~

~~An area managed and maintained by an individual, group or business entity to grow crops.~~

~~**3.7.3 NURSERY OR TRUCK FARM**~~

~~The propagation and growth of trees or food or non-food crops for wholesale or retail sales and distribution. Does not include on-site retail sales unless such sales are otherwise allowed in the subject zoning district.~~

~~Typical uses include plant nurseries, the growing of vegetables and non-food crops primarily for local wholesale and retail sales.~~

3.7.1 AQUACULTURE, AQUAPONICS, AEROPONICS OR HYDROPONICS

The raising and harvesting of plants in a contained and managed non-soil environment. These agricultural techniques may include the raising and harvesting of aquatic organisms. This use category is typically associated with large format operations that are heavily commercial in nature. This type of agriculture may be permitted as an accessory use pursuant to section 134-3.9 of this code. Aquaculture, aquaponic, aeroponics or hydroponic uses are subject to the following supplemental use regulations:

A. Shall be conducted within a building unless located in an agricultural district.

B. Shall be operated in a manner that does not create odor or attract vectors or pests.

3.7.2 GREENHOUSES, NURSERY, ORCHARD OR TRUCK FARM

The propagation and growth of trees or crops for wholesale or retail sales and distribution. This principal use category is typically associated with large format operations. This type of agriculture may be permitted as an accessory use pursuant to section 134-3.9 of this code. Does not include on-site retail sales unless such sales are otherwise allowed in the subject zoning district. Typical uses include plant nurseries, the growing of fruits, vegetables, nuts and non-food crops primarily for local wholesale and retail sales.

3.7.3 ROW CROP PRODUCTION

An area managed and maintained by an individual, group or business entity to grow row crops. This use typically utilizes large scale equipment and large tracts of land.

3.7.4 URBAN GARDEN

Areas utilized for the production of crops for profit or non-profit. An urban garden may be divided into separate garden plots for cultivation by one or more individuals or may be farmed collectively. This type of agriculture may be permitted as an accessory use pursuant to section 134-3.9 of this code. Urban gardens are subject to the following supplemental use regulations:

A. Gardens that are accessory to a household living use are exempt from these supplemental use regulations.

B. Unless permitted in the subject zoning district, on-site sales shall be limited as follows:

    1. Only crops grown on the site may be sold on site;

    2. On-site sales may occur during the hours of 7:00 AM to 7:00 PM; and

    3. No more than eight on-site sale events in any calendar year, with each sale event limited to no more than two consecutive days in duration. These limits apply on a per-site basis, regardless of the person conducting the sale.

C. Gardening equipment shall be limited to handheld or walk-behind equipment or garden tractor size typical of residential use.

D. All equipment must be stored in a completely enclosed building when not in use.

E. Accessory buildings are permitted in accordance with section 135-2.22 of this code. This includes greenhouses, which are considered an outbuilding pursuant to section 135-2.22.2.C of this code and seasonal agricultural structures pursuant to section 135-22.2.H.

F. The garden site must be designed and maintained to prevent any chemical pesticide, fertilizer or other garden waste or byproduct from draining on to adjacent properties or public infrastructure.

G. On-site trash, recycling and compost containers must be located and maintained as far as practicable from residential household units located on other lots.

H. A sign must be posted on the subject property identifying the name and phone number of the property owner or the owner's agent. The sign must be at least four and no more than six square feet in area and be posted so that it is legible from the public right-of-way.

I. The property must be maintained free of tall weeds and debris. Dead garden plants must be regularly removed unless utilized for on-site compositing. Any compositing shall not create odor, litter, dust or noise nuisance, or attract vectors or pests and shall be limited to accumulated organic material generated from the site.

J. Accessory hydroponic, aeroponic, or other non-soil technology components of a garden shall be operated in a manner that does not create odor or attract vectors or pests.

K. Any animal husbandry shall be in compliance with chapter 18 of this code.

3.7.4 URBAN FARM

Areas utilized for the production of crops for profit or non-profit and may provide agricultural education activities, such as volunteer programs, farm tours, youth programs and farming classes. Urban Farms are subject to the following supplemental use regulations:

A. Unless otherwise permitted in the subject zoning district, on-site sales shall take place between the hours of 7:00 AM and 7:00 PM.

B. Gardening equipment shall be limited to handheld or walk-behind equipment or garden tractor size typical of residential use.

C. All equipment must be stored in a completely enclosed building when not in use.

D. Accessory buildings are permitted in accordance with section 135-2.22 of this code. This includes greenhouses, which are considered an outbuilding pursuant to section 135-2.22.2.C of this code and seasonal agricultural structures pursuant to section 135-22.2.H.

E. The site must be designed and maintained to prevent any chemical pesticide, fertilizer or other garden waste or byproduct from draining on to adjacent properties or public infrastructure.

F. On-site trash, recycling and compost containers must be located and maintained as far as practicable from residential household units located on other lots.

G. A sign must be posted on the subject property identifying the name and phone number of any farm operator and may identify the property owner or the owner's agent. The sign must be at least four and no more than six square feet in area and be posted so that it is legible from the public right-of-way.

H. The property must be maintained free of tall weeds and debris. Dead garden plants must be regularly removed unless utilized for on-site compositing. Any compositing shall not create odor, litter, dust or noise nuisance, or attract vectors or pests and shall be limited to accumulated organic material generated from the site.

I. Accessory hydroponic, aeroponic, or other non-soil technology components of a farm shall be operated in a manner that does not create odor or attract vectors or pests.

J. Any animal husbandry shall be in compliance with chapter 18 of this code.

HOME OCCUPATIONS

134-3.9.4 HOME OCCUPATIONS

A. Description. Home occupations are business activities or professions conducted wholly or partly within a property as an accessory use to an allowed household living principal use.

B. General Regulations for All Home Occupations. All home occupations are subject to the following regulations:

1. The proposed location, design, construction, and operation of the use adequately safeguards the health, safety, and general welfare of persons residing in or working on adjoining or surrounding property.

2. The use must not unduly increase congestion in the streets, or public danger of fire, safety or flooding.

~~3. The use must not diminish or impair established nearby property values.~~

~~4.~~3. The use shall be clearly incidental to or secondary to the residential use on the premises.

~~5.~~4. The use shall not cause or produce noise, vibration, smoke, dust, odor, or heat or any other impact of a type or quantity not in keeping with the residential character of the neighborhood.

~~6.~~5. No toxic, explosive, flammable, combustible, corrosive, etiologic, radioactive, or other restricted material of a type or quantity not ordinarily used for household purposes shall be used or stored on the premises, and the applicant must identify the proper disposition of any hazardous waste. No activity will be allowed which is hazardous to the public health, safety or welfare.

~~7. No outside operation, storage or display of materials or products shall occur.~~

~~8.~~6. No more than 50% of the gross floor area of the building or accessory building shall be used for such business, including the storage of materials or products.

~~9.~~7. No alteration of the residential appearance of the premises shall occur unless allowed by applicable building type and design regulations. This includes external structural alterations or site improvements that change the residential character of the lot upon which a home occupation is located. Examples of such prohibited alterations include the addition of commercial-like exterior lighting or the addition of a separate building entrance that is visible from abutting streets.

~~10.~~8. The home occupation, including any business storage, shall not displace or impede use of parking spaces required by this code. The home occupation shall not displace, interfere with or impede access to public parking.

~~11.~~9. The home occupation shall not cause the congregation of business employees at the site or congestion in the availability of on-street parking.

~~12.~~10. At least one individual engaged in the home occupation must reside in the household unit in which the home occupation is located as their primary place of residence.

~~13.~~11. The home occupation shall be in effect only for so long as the premises are occupied by the person in business.

~~14.~~12. The home occupation shall comply with all applicable codes including local building codes.

~~15.~~13. The home occupation shall meet all general regulations and all applicable supplemental regulations.

C. Board of Adjustment Reconsideration. Any approved home occupation may be subject to reconsideration by the board of adjustment if at any time the zoning enforcement officer determines that the conduct of the occupation does not comply with one or more general regulations for home occupations or applicable supplemental regulations, or has become detrimental to the neighborhood.

D. Type 1 Home Occupations – No Impact Business. The following occupations are allowed by-right, subject to compliance with the regulations found in subsections B and D of this section:

1. Those occupations in which the total number of on-site employees and clients does not exceed the occupancy limit for the site~~household residents use their home as a place of work with no employees, customers or clients coming to the site~~;
2. Those occupations are characterized by all of the following:
    a. The associated activities are limited to the sale of lawful goods and services;
    b. The activities do not generate on-street parking or a substantial increase in traffic through the residential area;
    c. The activities occur inside the residential dwelling or in the yard of the residential property;
    ~~a.~~d. The activities are not visible from an adjacent property or street. ;and

~~2.~~3.In-home day care facilities for eight or fewer children.

E. Type 2 Home Occupations.

1. The neighborhood services director is authorized to approve Type 2 home occupation uses, as Type 1 zoning exceptions pursuant to section 134-6.5 of this chapter, for the following:
    a. Commercial services as defined by section 134-3.5.6 of this article;
    b. Grooming of household pets as defined by section 134-3.5.2.B of this article; and
    c. Office as defined by section 134-3.5.~~13~~ 14 of this article.
2. In addition to the general regulations for home occupations, Type 2 home occupations are subject to the following supplemental regulations:
    a. Hours of operation must not infringe on the residential atmosphere of the neighborhood. All outside activity related to the home occupation must cease between the hours of 7:00 p.m. and 7:00 a.m.
    b. No more than two clients or customers may be present at any one time on the site of a Type 2 home occupation. Family members of the client or customer shall not be counted towards the two-person limit.
    c. A maximum of one nonresident employee is allowed with a Type 2 home occupation. For the purpose of this provision, the term "nonresident employee" includes an employee, contractor, business partner, co-owner or any other person affiliated with the home occupation who does not live at the site, but who visits the site as part of the home occupation.
    ~~c.~~d. No outside operation, storage or display of materials or products shall occur.

F. Type 3 Home Occupations.

1. The board of adjustment is authorized to approve conditional uses for Type 3 home occupation uses, as conditional uses pursuant to section 134-6.4 of this chapter, for the following:
    a. Uses allowed as Type 2 home occupations, subject to the supplemental regulations set forth below;
    b. Day care as defined by section 134-3.5.~~7~~ 8 of this article;
    c. Retail sales as defined by section 134-3.5.~~15~~ 16 of this article; and
    d. Fabrication and production, artisan as defined by section 134-3.6.1.A of this article.
2. In addition to the general regulations for all home occupations, Type 3 home occupations are subject to the following supplemental use regulations:

a. Hours of operation must not infringe on the residential atmosphere of the neighborhood. All outside activity related to the home occupation must cease between the hours of 7:00 p.m. and 7:00 a.m.
b. No more clients or customers may be present at any one time on the site of a Type 3 home occupation than allowed by board of adjustment approval subject to consideration of the general regulations.
c. The board of adjustment shall determine the maximum number of nonresident employees allowed with a Type 3 home occupation. For the purpose of this provision, the term "nonresident employee" includes an employee, contractor, business partner, co-owner or any other person affiliated with the home occupation, who does not live at the site, but who visits the site as part of the home occupation.
~~c.~~d. No outside operation, storage or display of materials or products shall occur.

G. Type 4 Home Occupations.

1. The board of adjustment is authorized to approve conditional uses for Type 4 home occupation uses in the NX2a district for the following:
   a. Uses allowed as a Type 3 home occupation, subject to the supplemental regulations set forth below;
   b. Restaurant as defined by section 134-3.5.~~9~~10.A of this article. Restaurants that include the sale of alcoholic liquor, wine, or beer are subject to the regulations found in Table 134-3.9-1 of this article and section 134-3.8.1 of this article; and
   c. Artisan fabrication and production as defined by section 134-3.6.1.A of this article.
2. In addition to the general regulations for all home occupations, Type 4 home occupations are subject to the following supplemental regulations:
3. A maximum of one nonresident employee per 250 square feet of gross floor area devoted to the Type 4 home occupation use is allowed.
4. Hours of operation must not infringe on the residential atmosphere of the neighborhood. All outside activity related to the home occupation must cease between the hours of 10:00 p.m. and 7:00 a.m.
5. Outdoor eating for restaurants may be approved for buildings on corners and spaces not abutting another residence.
6. Parking lots are allowed in rear yards with a frontage buffer per section 135-7.7 of this code and semi-pervious paving for all drive lanes and spaces. Parking lots are limited to no more than six spaces.
7. Unless otherwise authorized as allowed under this section, no outside operation, storage or display of materials or products shall occur.

RESTAURANTS WITH LIQUOR, WINE AND BEER SALES

134-3.9.9 LIQUOR, WINE, AND BEER SALES

……..

C. Supplemental Use Regulations.

Any conditional use approval granted by the board of adjustment for the use of a premises, either as principal or accessory use, for the sale of alcoholic liquor, wine and beer is subject to the following supplemental use regulations, together with such additional special conditions as may be reasonably required by the board of adjustment to ensure that the conditional use review approval criteria of paragraph B of this subsection, are satisfied:

…….

3. Any such business must comply with the following requirements:
   a. Every limited retail sales establishment, fuel station and tobacco store shall display alcoholic liquor only in a locked case or behind a counter accessible only to employees. Any other business selling alcoholic liquor for off premises consumption shall either:
      i. Display alcoholic liquor only in a locked case or behind a counter accessible only to employees;
      ii. Employ an electronic security cap or tag system on all containers of alcoholic liquor on display; or
      iii. Have more than one employee on duty at all times the business is open to the public.
   b. Conspicuously post 24-hour contact information for a manager or owner of the business near the main public entrance.
   ~~c. Institute a strict no loitering policy, conspicuously post one or more "No Loitering" signs, and cooperate with police in addressing loitering on the premises.~~
   ~~d.~~c. Not dispense alcoholic beverages from a drive-through window.

……..

FEE REQUIREMENTS – 134-6.1.4.C

134-6.1.4 APPLICATIONS AND FEES

…….

C. Application Filing Fees and Notification Costs.

Applications must be accompanied by fees in the amounts established in the schedule of fees approved by city council resolution. Actions initiated by the city council do not require payment of a fee. Applications filed by the city, county, state or federal government are exempt from application filing fees, but county, state or federal government are not exempt from the requirement to pay notification fees.

…….

CHAPTER 135

AVERAGING STREET SIDE SETBACKS

135-3.4 FRONT AND STREET SIDE SETBACK AVERAGE

The front and street side setback average shall be calculated as follows:

3.4.1 MEASUREMENT

The average of the front or street side setbacks of the next two lots on either side of the lot on the same side of the street. If any of the lots used in the calculation are vacant, the minimum front or street side setback for the applicable building type shall be used in the calculation.

3.4.2 CORNER LOTS

For corner lots, the average of the front setbacks of the next two lots adjacent to the lot with the same street frontage as the yard~~lot~~ in question. The average of the street side setbacks of the next two lots adjacent to the lot with the same side street frontage as the yard in question. If any applicable lots are vacant, the minimum front or street side setback for the applicable building type shall be used in the calculation.

3.4.3 MAXIMUM

For all lots utilizing the front setback average, the maximum setback shall be 50 feet from the front property line.

3.4.4 SPECIFIC RANGES

For lots in the Sherman Hill neighborhood, refer to section 135-2.19 of this chapter for allowable build-to zones by street.

AGRICULTURAL ACCESSORY BUILDINGS

135-2.22.2 ACCESSORY BUILDINGS

Accessory buildings shall be fully enclosed, unless otherwise stated. The following are classified as accessory buildings:

……..

H. Seasonal Agricultural Buildings. A temporary structure utilized for extending the length of the crop growing season commonly referred to as coldframes and hoophouses. These structures are unheated and do not utilize mechanical venting.

1. Yards and Setbacks. Permitted in all yards, and a minimum of five feet from all lot lines.
2. Requires an accessory use approval in accordance with chapter 134 of this code.
3. Coldframe type structures shall be no taller than thirty-six (36) inches.
4. Hoophouse type structures shall be no taller than eight (8) feet.

5. Hoophouse covering shall be maintained and kept intact. Coverings must be removed during non-growing seasons.

OUTDOOR SITE PUBLIC RIGHT OF WAY LIGHTING

135 - 8.2.1 OUTDOOR SITE LIGHTING

A. Outdoor site lighting, other than building- and canopy-mounted lighting or associated with parking lots, is intended to enhance safety and provide light levels appropriate to the visual task with minimal glare, light trespass, excess site brightness or excess sky glow. Lighting shall not be allowed to create a nuisance or a hazard.

B. Lighting in the public right-of-way shall be provided in the location, intensity, height and quantity as approved by the city engineer; and shall be provided in the color and material as approved by the development services director.

C. All lighting used to illuminate outdoor areas outside of public right-of-way must be installed to prevent glare and light spillover onto streets and abutting property.

D. For all lighting used to illuminate outdoor areas outside of public right-of-way, the maximum horizontal illuminance at grade and the maximum vertical illuminance at five feet above grade measured at the property line should not exceed Illuminating Engineering Society of North America (IESNA) recommended practices for light trespass which is 0.5 footcandles for N districts and 2.0 footcandles for commercial and all other districts. The site plan must contain illuminance models showing light levels throughout the site as determined necessary by the development services director.

E. For all lighting used to illuminate outdoor areas outside of public right-of-way, freestanding light standards may not exceed 20 feet in height in vehicular areas and a maximum of 15 feet in height in pedestrian areas.

INTERIOR SIDE YARD PLACEMENT OF DUMPSTER ENCLOSURE

135 - 9.2.3 TYPE 1 DESIGN ALTERNATIVES

During the site plan or alternate design documentation review process, as applicable, the development services director is authorized to approve the Type 1 design alternatives of this section and those expressly authorized elsewhere in this chapter, based on consideration of the general intent statement of section 135-9.2.2.B of this article:

…….

B. Other Type 1 Design Alternatives

1. Except as noted above in this section, reduce by up to 50% any minimum requirements of the building type regulations of Article 2 of this chapter and design regulations of Article 4 of this chapter that are expressed as a dimension or distance.

…….

14. Allow replacement of an existing parking lot in a front yard when no reasonable alternative is available on the lot, as determined by the development services director.

15. Allow placement of a dumpster enclosure in a front, ~~or~~ street-side, or interior-side yard when no reasonable alternative is available on the lot, as determined by the development services director.

…….

LANDSCAPE PLAN SIGNER-LICENSED PROFESSIONAL ENGINEER

135 - 9.3.3 – APPLICATION SUBMITTAL

A. Applications for site plan review may be filed only with the consent of all record titleholders, or with the consent of all record contract purchasers when applicable, of the real property on which the review is requested. Applications for site plan review may also be filed upon determination by the development services director, following consultation with the legal department, that a majority but not all of the record titleholders and contract purchasers of the lot(s) involved in the application have consented to the application; any such application shall require:

……..

B. Applications for site plan review must be determined to be a complete submittal as indicated by the requirements on the site plan review submittal checklists before the development services department is required to review the application. An application will be considered complete and ready for processing only if it is submitted in the required number and form, is accompanied by the required application filing and notification fees in accordance with the schedule of fees adopted by the city council, and is accompanied by the following information when applicable:

……..

9. Landscape Plan, signed by an actively licensed architect, licensed landscape architect, ~~or~~ certified nurseryman, or licensed professional engineer;

……..

EXCLUSION OF DATA CENTERS AND SELF-SERVICE STORAGE FROM OCCUPIED SPACE

135-12.17 TERMS BEGINNING WITH "O"

……

Occupied space: interior floor space within any building story that is regularly or normally occupied by building users. Occupied space does not include storage areas, data centers located on a ground story, utility space, or parking areas.

……

134-3. USES

Principal Uses

TABLE 134-3.1-1. PRINCIPAL USE TABLE																						
USE CATEGORY	DISTRICTS																					
Use Subcategory / Specific Use Type	A	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	CX	EX	I1	I2	N1, N2, N3, N4, N5	NX1	NX2, NX2a	NX3	NM	P1	P2	F	Reference
RESIDENTIAL																						
Household Living																						
1 household (per lot)	●	◓	◓	●	◓	◓	◓	●	●		–	–	–	●	●	●	●	●	–	–	–	134-3.3.1
2 households (per lot)	–	◓	◓	●	◓	◓	◓	●	●		–	–	–	(2)	●	●	●	–	–	–	–	134-3.3.1
3 to 4 households (per lot)	–	◓	◓	●	◓	◓	◓	●	●		–	–	–	(4)	●	●	●	–	–	–	–	134-3.3.1
5 to 8 households (per lot)•	–	◓	●	●	●	●	●	●	●	●	–	–	–	–	●	●	●	–	–	–	–	134-3.3.1
9 or more households (per lot)•	–	◓	●	●	●	●	●	●	●	●	–	–	–	–	–	●	●	–	–	–	–	134-3.3.1
Mobile home park	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	●	–	–	–	134-3.3.1
Group Living																						
Assisted living facility	–	◓	●	●	●	●	●	●	●	●	–	–	–	–	–	●	●	–	–	–	–	134-3.3.2
Correctional placement residence	–	○*	○*	○*	○*	○*	○*	○*	○*	○*	–	–	–	–	–	○*	○*	–	–	–	–	134-3.3.2
Family home	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	–	–	●*	●*	●*	●*	●*	–	–	–	134-3.3.2
Home and community-based services waiver recipient residence	●*	◓*	●*	●*	●*	◓*	●*	●*	●*	◓*	–	–	–	●*	●*	●*	●*	–	–	–	–	134-3.3.2
Shelter, temporary	–	◓*	●*	●*	◓*	◓*	◓*	●*	●*	◓*	–	–	–	–	–	●*	●*	–	–	–	–	134-3.3.2
Group living not otherwise classified	–	○	○	○	○	○	○	○	○	○	–	–	–	–	–	○	○	–	–	–	–	134-3.3.2
PUBLIC, CIVIC AND INSTITUTIONAL																						
Airport	–	–	–	–	–	–	–	–	–	–	–	●	●	–	–	–	–	–	–	●	○	134-3.4.1
Assembly																						
Place of Worship	–	●	●	●	○	●	●	○	●	●	●	–	–	–	–	○	○	–	–	●	–	134-3.4.2
Place of Assembly	–	●	●	●	○	●	●	○	●	●	●	–	–	–	–	○	○	–	–	●	–	134-3.4.2
Cemetery																						
City-owned	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	●	–	–	134-3.4.3
Non-city-owned	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	○*	–	134-3.4.3
College or University	–	●	●	●	–	–	–	●	●	●	●	–	–	–	–	–	–	–	–	●	–	134-3.4.4
Fraternal Organization	–	◓	◓	●	◓	◓	◓	●	●	◓	●	●	●	–	–	–	–	–	–	●	–	134-3.4.5
Government Administration	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	●	–	134-3.4.6
Hospital	–	●	●	●	–	–	–	●	●	●	●	●	●	–	–	–	–	–	–	●		134-3.4.7
Library or Cultural Exhibit	–	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.4.8
Public Recreation Areas	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	●	●	○	134-3.4.9
Postal Service	–	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.4.10
Safety Service	●	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.4.11
School	–	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.4.12

CITY OF DES MOINES

TABLE 134-3.1-1. PRINCIPAL USE TABLE																						
USE CATEGORY	DISTRICTS																					
Use Subcategory / Specific Use Type	A	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	CX	EX	I1	I2	N1, N2, N3, N4, N5	NX1	NX2, NX2a	NX3	NM	P1	P2	F	Reference
Utilities																						
Minor	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	○	134-3.4.13
Major	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	134-3.4.13
COMMERCIAL																						
Adult Entertainment	–	–	–	–	–	–	–	–	–	–	–	○*	○*	–	–	–	–	–	–	–	–	134-3.5.1
Animal Service																						
Boarding	●	–	–	–	–	–	●	–	–	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.2
Grooming	●	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.2
Stable	●	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	–	134-3.5.2
Veterinary	●	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.2
Assembly and Entertainment																						
Small	–	●	●	●	○	●	●	○	●	●	●	–	–	–	–	○	○	–	–	○	–	134-3.5.3
Large	–	●	●	●	–	●	●	–	●	●	●	–	–	–	–	–	○	–	–	○	–	134-3.5.3
Events Center	–	●	●	●	–	●	●	–	●	●	●	–	–	–	–	–	○	–	–	○	–	134-3.5.3
Broadcast or Recording Studio	–	●	●	–	–	◓	●	–	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.5.4
Business or Trade School	–	●	●	●	◓	◓	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.5
Commercial Service																						
Consumer Maintenance and Repair•	–	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	–	134-3.5.6
Personal Service	–	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	–	–	134-3.5.6
Studio or Instructional Service	–	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.6
Data Center																						
Minor	–	●	●	–	–	–	●	–	–	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.7
Major	–	–	–	–	–	–	–	–	–	–	●	●	●	–	–	–	–	–	–	–	–	134-3.5.7
Day Care	–	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	●	–	134-3.5.8
Day Services, Adult	–	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	●	–	134-3.5.9
Eating and Drinking Places																						
Restaurant•	–	●	●	●	●	●	●	●	●	●	●	●	–	–	–	Ⓡ	–	–	○	○	–	134-3.5.10
Bar•	–	○	○	○	–	○	○	–	–	○	○	○	–	–	–	–	–	–	○	○	–	134-3.5.10
Financial Service (except as below)	–	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	–	–	134-3.5.11
Bail Bonds•	–	–	–	–	–	–	●*	–	–	●*	–	–	–	–	–	–	–	–	–	–	–	134-3.5.11
Delayed Deposit Service•	–	–	–	–	–	–	●*	–	–	●*	–	–	–	–	–	–	–	–	–	–	–	134-3.5.11
Pawnbroker•	–	–	–	–	–	–	●*	–	–	●*	–	–	–	–	–	–	–	–	–	–	–	134-3.5.11
Funeral or Mortuary Service	–	–	–	–	–	–	–	●	–	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.12
Lodging •																						
Bed & Breakfast	○*	○*	○*	○*	○*	○*	○*	○*	○*	○*	–	–	–	○*	○*	○*	○*	–	–	–	–	134-3.5.13
Hotel/Motel	–	●	●	●	–	◓	●	●	●	●	●	–	–	–	–	–	–	–	–	–	–	134-3.5.13
Office																						
Business or Professional	–	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.5.14
Medical	–	●	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	●	–	134-3.5.14
Parking, Non-Accessory																						
Surface Parking Lot	–	○*	○*	○*	○*	○*	○*	–	○*	●	●	●	●	–	–	–	–	–	○*	○*	○*	134-3.5.15
Parking Structure	–	●	●	●	●	●	●	–	●	●	●	●	●	–	–	–	–	–	–	○*	–	134-3.5.15

CITY OF DES MOINES

TABLE 134-3.1-1. PRINCIPAL USE TABLE																						
USE CATEGORY	DISTRICTS																					
Use Subcategory / Specific Use Type	A	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	CX	EX	I1	I2	N1, N2, N3, N4, N5	NX1	NX2, NX2a	NX3	NM	P1	P2	F	Reference
Retail Sales																						
Limited•	–	●	●	●	●	●	●	●	●	●	●	●	–	–	–	–	–	–	–	–	–	134-3.5.16
General•	–	●	●	●	–	●	●	–	–	●	●	●	–	–	–	–	–	–	–	–	–	134-3.5.16
Large-Format•	–	●	○	–	–	–	–	–	–	●	●	●	–	–	–	–	–	–	–	–	–	134-3.5.16
Liquor Store•	–	–	○	○	○	○	○	–	–	○	○	○	○	–	–	–	–	–	–	–	–	134-3.5.16
Tobacco Store•	–	–	○	○	○	○	○	–	–	○	○	○	○	–	–	–	–	–	–	–	–	134-3.5.16
Self-Service Storage	–	–	●	●	–	○*	○*	–	–	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.17
Sign, General Advertising	–	–	–	–	–	Ⓜ	Ⓜ	–	–	Ⓜ	Ⓜ	Ⓜ	Ⓜ	–	–	–	–	–	–	–	–	134-3.5.18
Sports & Recreation, Private/Participant																						
Indoor•	–	●	●	●	●	●	●*	–	–	●*	●	●	●	–	–	–	–	–	○	○	–	134-3.5.19
Outdoor•	–	–	–	●	–	–	●*	–	–	●*	●	●	●	–	–	–	–	–	○	○	○	134-3.5.19
Vehicle Sales and Service																						
Fuel Station	–	–	○	○	–	○	●	–	–	●	●	●	●	–	–	–	–	–	–	–	–	134-3.5.20
Vehicle Sales	–	–	–	–	–	–	Ⓥ	–	–	Ⓥ	–	Ⓥ	Ⓥ	–	–	–	–	–	–	–	–	134-3.5.20
Vehicle Rental	–	Ⓥ	Ⓥ	Ⓥ	–	Ⓥ	Ⓥ	–	–	Ⓥ	Ⓥ	Ⓥ	Ⓥ	–	–	–	–	–	–	–	–	134-3.5.20
Vehicle Maintenance/Repair, Minor	–	–	–	–	–	–	●*	–	–	●*	●*	●*	●*	–	–	–	–	–	–	–	–	134-3.5.20
Vehicle Maintenance/Repair, Major	–	–	–	–	–	–	–	–	–	●*	–	●*	●*	–	–	–	–	–	–	–	–	134-3.5.20
INDUSTRIAL																						
Fabrication and Production																						
Artisan	●*	●*	●*	●*	●*	●*	●*	–	–	●*	●*	●*	●*	–	–	–	–	–	–	–	–	134-3.6.1
Limited	–	–	○*	○*	○*	○*	●*	–	–	●*	●*	●*	●*	–	–	–	–	–	–	–	–	134-3.6.1
General	–	–	–	–	–	–	–	–	–	–	–	●*	●*	–	–	–	–	–	–	–	–	134-3.6.1
Intensive	–	–	–	–	–	–	–	–	–	–	–	–	○*	–	–	–	–	–	–	–	–	134-3.6.1
Industrial Service																						
Light	–	–	–	–	–	–	●*	–	–	●*	●*	●*	●*	–	–	–	–	–	–	–	–	134-3.6.2
Intensive	–	–	–	–	–	–	–	–	–	–	–	●*	●*	–	–	–	–	–	–	–	–	134-3.6.2
Storage, Distribution and Wholesaling																						
Equipment & Material Storage, Outdoor	–	–	–	–	–	–	–	–	–	–	–	●*	●*	–	–	–	–	–	–	○*	–	134-3.6.3
Trucking & Transportation Terminal	–	–	–	–	–	–	–	–	–	–	–	Ⓥ*	Ⓥ*	–	–	–	–	–	–	○*	–	134-3.6.3
Warehouse	–	–	–	–	–	–	–	–	–	●*	●*	●*	●*	–	–	–	–	–	–	○*	–	134-3.6.3
Wholesale sales and distribution	–	–	–	–	–	–	–	–	–	●*	●*	●*	●*	–	–	–	–	–	–	–	–	134-3.6.3
Junk or Salvage Yard	–	–	–	–	–	–	–	–	–	–	–	–	○*	–	–	–	–	–	–	–	–	134-3.6.4
Mining or Mineral Processing	–	–	–	–	–	–	–	–	–	–	–	–	○	–	–	–	–	–	–	–	○	134-3.6.5
AGRICULTURAL																						
Aquaculture, Aquaponics, Aeroponics, or Hydroponics	●*	O*	O*	–	–	–	O*	–	–	●*	●*	●*	●*	–	–	–	–	–	●*	●*	O*	134-3.7.1
Greenhouses, Nursery, Orchard, or Truck Farm	●	–	–	–	–	–	–	–	–	O	O	O	O	–	–	–	–	–	●	●	●	134-3.7.2
Row Crop Production	●	–	–	–	–	–	–	–	–	O	O	O	O	–	–	–	–	–	●	●	●	134-3.7.3

CITY OF DES MOINES

TABLE 134-3.1-1. PRINCIPAL USE TABLE																						
USE CATEGORY	DISTRICTS																					
Use Subcategory / Specific Use Type	A	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	CX	EX	I1	I2	N1, N2, N3, N4, N5	NX1	NX2, NX2a	NX3	NM	P1	P2	F	Reference
Urban Garden	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	134-3.7.4
Urban Farm	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	O*	O*	O*	O*	O*	●*	●*	●*	134-3.7.5
OTHERS																						
Consumer Fireworks Sales	–	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	–	–	–	–	–	–	–	134-3.8.1
Wireless Telecommunications	Refer to Article 4 of this chapter.																					

Key:

● = permitted by right

◓ = permitted on upper floors only within primary footage, and in ground floor within non-primary frontage ~~or corner lot~~

○ = requires conditional use approval unless eligible for Type 1 Zoning Exception

* = supplemental use regulations apply

– = prohibited

(2) = permitted by right where district includes "-2" extension

(4) = permitted by right where district includes "-4" extension

(V) = permitted except where district includes "-V" extension

(R) = permitted with conditional use approval in NX2a district only

(M) = permitted on major commercial corridors only

135-2. BUILDING TYPES

Accessory Structures

TABLE 135-2.22-1. ACCESSORY STRUCTURE TABLE

CATEGORY	DISTRICTS																				Reference
Structure	A	DX1	DX2	DXR	MX1	MX2	MX3	RX1	RX2	CX	EX	I1	I2	N1, N2, N3, N4, N5	NX1	NX2, NX2a	NX3	NM	P1	P2	F•	
ACCESSORY BUILDINGS																						
Construction Structures	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.2
Kiosk•	–	–	–	–	–	–	–	–	–	●*	●*	–	–	–	–	–	–	–	●*	●*	●*	135-2.22.2
Outbuilding and Detached Garages	●*	–	–	–	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.2
Parking Structure	–	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	–	–	–	–	–	●*	–	135-2.22.2
Temporary Building	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.2
Accessory Household Unit•	●*	–	–	●*	–	–	–	●*	●*	–	–	–	–	●*	●*	●*	●*	–	–	–	–	135-2.22.2
Seasonal Building•	–	–	–	–	●*	●*	●*	–	–	●*	●*	●*	●*	–	–	–	–	–	●*	●*	●*	135-2.22.2
Seasonal Agricultural Building	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.2
ACCESSORY OUTDOOR PAVING & STRUCTURES																						
Ball Court	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.3
Deck & Patio	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.3
Dog Run	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	–	●*	●*	●*	●*	●*	–	135-2.22.3
Drive-Through Facility•	–	–	–	–	–	–	●*	–	–	●*	●*	●*	–	–	–	–	–	–	–	●*	–	135-2.22.3
Flag Pole	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.3
Fuel Station	–	–	●*	●*	–	●*	●*	–	–	●*	●*	●*	●*	–	–	–	–	–	–	–	–	135-2.22.3
Gazebo	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.3
Landscape Feature	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.3
Temporary Storage Container	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.3
Scoreboard•	–	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	–	–	–	–	●*	●*	●*	135-2.22.3
Bus Shelter or Bench for Public Transit Agency•	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	135-2.22.3
Outdoor Automated Accessory Structures•	–	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	–	–	–	–	–	–	–	–	135-2.22.3
ACCESSORY UTILITY STRUCTURES																						
Antenna & Satellite Dish	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
EV Charging Stations	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
Mechanical Equipment	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
Rainwater Collection/ Cisterns	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
Solar - Building-mounted	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
Solar - Freestanding	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
Wind - Roof-mounted	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	●*	–	135-2.22.4
Wind – Freestanding	●*	–	–	–	–	–	–	–	–	–	●*	●*	●*	–	–	–	–	–	●*	●*	–	135-2.22.4

KEY:•

●* = permitted with development standards

– = permitted by Type 2 Design Alternative

TABLE 134-3.9-1. ALCOHOLIC LIQUOR, WINE AND BEER SALES

USE	DISTRICTS											
	DX1	DX2	DXR	MX1	MX2	MX3	RX1, RX2	CX, EX, I1	I2	NX2, NX2A	P1, P2	F
Retail Sales												
Limited												
Alcoholic Liquor, Wine and Beer Sales	—	—	—	—	—	○* 40%/500 1320	—	○* 40%/500 1320	—	—	—	—
Wine and Beer Sales	—	○* 40%/150	○* 40%/150	○* 40%/150	○* 40%/150	○* 40%/150	○* 40%/150	○* 40%/150	—	—	—	—
General												
Alcoholic Liquor, Wine and Beer Sales	40%/75	40%/75	40%/75	—	40%/75	40%/75	—	40%/75	—	—	—	—
Wine and Beer Sales	40%/75	40%/75	40%/75	—	40%/75	40%/75	—	40%/75	—	—	—	—
Large												
Alcoholic Liquor, Wine and Beer Sales	40%/75	40%/75	—	—	—	—	—	40%/75	—	—	—	—
Wine and Beer Sales	40%/75	40%/75	—	—	—	—	—	40%/75	—	—	—	—
Fuel Station												
Alcoholic Liquor, Wine and Beer Sales	—	—	—	—	○* 40%/500 1320	○* 40%/500 1320	—	○* 40%/500 1320	○* 40%/500 1320	—	—	—
Wine and Beer Sales	—	40%/150	40%/150	—	40%/150	40%/150	—	40%/150	40%/150	—	—	—
Liquor Store												
Alcoholic Liquor, Wine and Beer Sales	—	—	—	—	—	○* 500 1320	—	○* 500 1320	○* 500 1320	—	—	—
Wine and Beer Sales	—	○* 150	○* 150	○* 150	○* 150	○* 150	—	○* 150	○* 150	—	—	—
Tobacco Store												
Alcoholic Liquor, Wine and Beer Sales	—	—	—	—	—	○* 25%/500 1320	—	○* 25%/500 1320	○* 25%/500 1320	—	—	—
Wine and Beer Sales	—	○* 25%/150	○* 25%/150	○* 25%/150	○* 25%/150	○* 25%/150	—	○* 25%/150	○* 25%/150	—	—	—
Restaurant, Bar, Other Uses												

TABLE 134-3.9-1. ALCOHOLIC LIQUOR, WINE AND BEER SALES♦

USE	DISTRICTS											
	DX1	DX2	DXR	MX1	MX2	MX3	RX1, RX2	CX, EX, I1	I2	NX2, NX2A	P1, P2	F
Restaurant with Alcoholic Liquor, Wine and Beer Sales	50%	50%	50%	50%	50%~~/75~~	50%~~/75~~	50%~~/75~~	50%~~/75~~	50%~~/75~~	○* 50%~~/75~~	○* 50%~~/75~~	—
Bar	○*	○*	○*	—	○*150	○*150	—	○*150	—	—	○*150	—
Other Uses with Alcoholic Liquor, Wine and Beer Sales	○*	○*	○*	○*	○*	○*	○*	○*	○*	○*	○*	○*

KEY:

○= requires conditional use approval

* = supplemental use regulations apply

— = prohibited

Table Notes

○ = Uses identified with a symbol are allowed only if reviewed and approved in accordance with the conditional use procedures of 134-6.4 of this chapter.

40% = no more than 40% of the gross receipts from sales from the premises may be derived from the sale of alcoholic liquor, wine, beer or tobacco products.

50% = at least 50% of the gross receipts from sales from the premises must be derived from the sale of prepared food and food-related services. The sale of an alcoholic beverage is not the sale of prepared food and food-related services.

25% = no more than 25% of the gross receipts from sales from the premises may be derived from the sale of alcoholic liquor, wine or beer.

75 = the licensed premises occupied by such use must be separated by at least 75 feet from the property line of the lot where any church or place of worship, school, public park or licensed child care facility as defined by Iowa Code Chapter 237A, are located. However, this condition is not applicable in the DX1, DX2, and DXR districts.

150 = the licensed premises occupied by such use must be separated by at least 150 feet from the property line of the lot where any church or place of worship, school, public park or licensed child care facility as defined by Iowa Code Chapter 237A, are located. However, this condition is not applicable in the DX1, DX2, and DXR districts.

500 = the licensed premises occupied by such use must be separated by at least 500 feet from the property line of the lot where any church or place of worship, school, public park or licensed child care facility as defined by Iowa Code Chapter 237A, are located. However, this condition is not applicable in the DX1, DX2, and DXR districts.

1320 = the licensed premises occupied by such use must be separated by at least 1320 feet from the property line of the lot where any limited retail sales, fuel stations, liquor stores and tobacco stores engaged in the sale of alcoholic liquor is located.

2.3.3 DOWNTOWN STOREFRONT REGULATIONS

	DX1	DX2	DXR	REFERENCES
A. Building Siting Refer to Figure 135-2.3-B				
1 **Multiple Principal Buildings**	Permitted	Permitted	Not permitted	
2 **Minimum Primary Frontage Coverage**	95%	95%	80%	Courtyards permitted per Note 2. See 135-3.2 for measurement information. See Note 4 for river frontage requirements.
3 **Primary Frontage Build-to Zone (ft)**	0-5	0-5	0-10	Minimum pedestrian area is required per Note 3. See 135-3.3 for measurement information. See Note 4 for river frontage requirements.
4 **Non-Primary Frontage Build-to Zone (ft)**	0-15	0-15	0-15	
5 **Minimum Interior Side Setback (ft)**	0	0	0	
6 **Minimum Rear Setback (ft)**	0	0	0	
7 **Maximum Impervious Area** **Additional Semi-Pervious Area**	90% 10%	90% 10%	90% 10%	See 135-3.6 for measurement information.
8 **Garage/Loading Entrance Location**	Any non-primary street or rear facade			See 135-4.3.8 for additional garage door requirements.
9 **Permitted Driveway Access**	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street allowed.			See 135-6.12 for additional driveway regulations.
B. Height Refer to Figure 135-2.3-C				
10 **Minimum Overall Height**	5 stories	3 stories	3 stories	See 135-3.7 for measurement information. See 135-2.18 for height limitations in Capitol Dominance Area.
11 **Maximum Overall Base Height**	15 stories	8 stories	8 stories	
12 **Additional High-Rise Height**	Unlimited height	Not permitted	Not permitted	See 135-4.4 for high-rise design requirements.
13 **Primary Frontage Ground Story:** Minimum Height (ft) Maximum Height (ft)	15 24	15 24	15 18	Story heights are measured floor to floor. Floor heights greater than 20 ft count as 2 stories in overall height. See 135-3.7 for measurement information.
14 **All Other Stories:** Minimum Height (ft) Maximum Height (ft)	9 14	9 12	9 12	

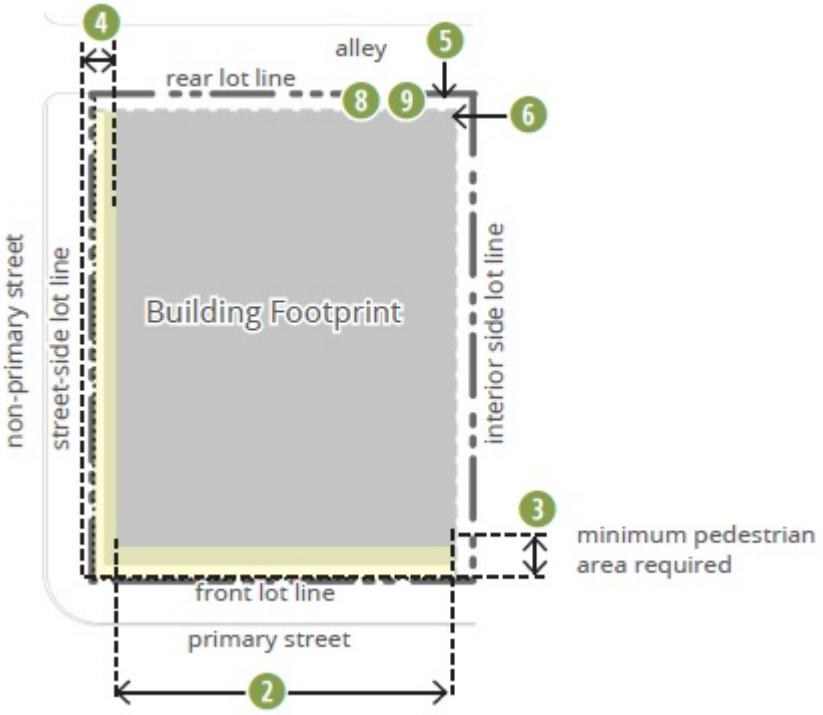


Figure 135-2.3-B. Downtown Storefront: Building Siting

135-2. BUILDING TYPES

Downtown Storefront

	DX1	DX2	DXR	REFERENCES
C. Uses Refer to Figure 135-2.3-C				
15 **Primary Frontage Facade Ground Story** First 30 ft of depth along frontage	Permitted Public, Civic, and Institutional uses; Commercial uses; Artisan Industrial; and lobbies to upper story uses			See chapter 134, Article 3 for permitted uses per zoning district and definition of uses.
16 **Non-Primary Frontage, All Upper Stories, & Basement**	Any permitted use			
17 **Required Occupied Space**	Minimum 30-ft depth on all full height floors of primary frontages			See 135-12.1 for definition of occupied space.
18 **Parking/Loading within Principal Building**	Permitted fully in any basement and rear of all other stories behind occupied space as required above. Surface parking is prohibited.			Refer to 135-2.17 for design on street frontages.
D. Street, Public Way, & Courtyard Facades and Roof Requirements Refer to Figure 135-2.3-D				
19 **Minimum Primary Frontage Ground Story Transparency** Ground story requirements supersede requirements per story, below.	70%, measured between 2 ft and 10 ft; blank wall limitations apply			See 135-3.8 for measurement information and the definition of transparency and blank wall limitations. See 135-2.1.6.F for requirements at corners.
20 **Minimum Transparency per Each Story & any Half Story**	18%; blank wall limitations apply			See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
21 **Entrance Location & Number**	Principal entrance required on primary frontage facade; minimum of one door spaced every 60 ft of primary frontage facade; lobby entrance for upper story uses shall be located on a public way or courtyard facade; no expanse on a primary frontage facade shall be greater than 60 ft without a principal entrance			See 135-4.3.6 for principal entryway design requirements.
22 **Primary Frontage Entryway(s) Configuration Requirement**	Recessed between 3 ft and 8 ft from the portion of the primary frontage facade closest to the street; maximum 8 ft wide if outside the build-to zone			See 135-4.3.6 for principal entryway design requirements.
23 **Primary Frontage Entrance & Ground Story Elevation**	At least 80% of entrances and the ground story shall be within 1.5 ft vertically of adjacent sidewalk elevation			
24 **Primary Frontage Ground Story Vertical Facade Divisions Required**	At least one shadow line per every 30 ft of facade width			See 135-12.1 for definition of shadow line. See 135-4.3.9 for building articulation requirements.
25 **Horizontal Facade Divisions Required**	At least one shadow line within 3 ft of the top of the ground story; for buildings over 5 stories: minimum of one shadow line at the bottom of any story between the 3rd and 6th story			See 135-12.1 for definition of shadow line.
26 **Permitted Roof Types**	Parapet, flat; Tower permitted; Special roof option for high-rise	Parapet, flat; Tower permitted	Parapet, flat, pitched; Tower permitted	See 135-2.20 for roof types; See 135-2.18 for height and tower limitations in Capitol Dominance Area.

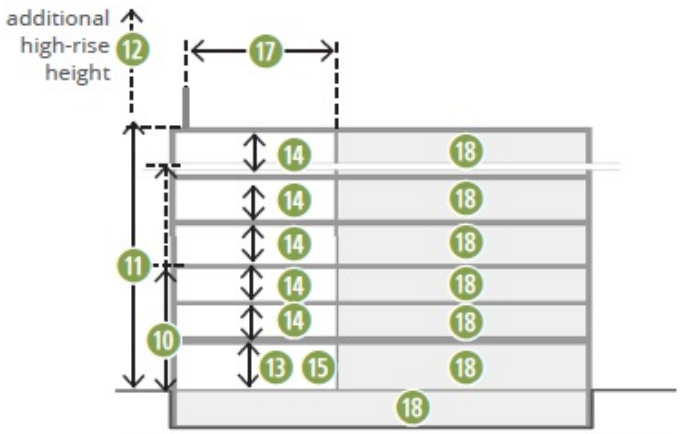


Figure 135-2.3-C. Downtown Storefront: Height & Uses Requirements

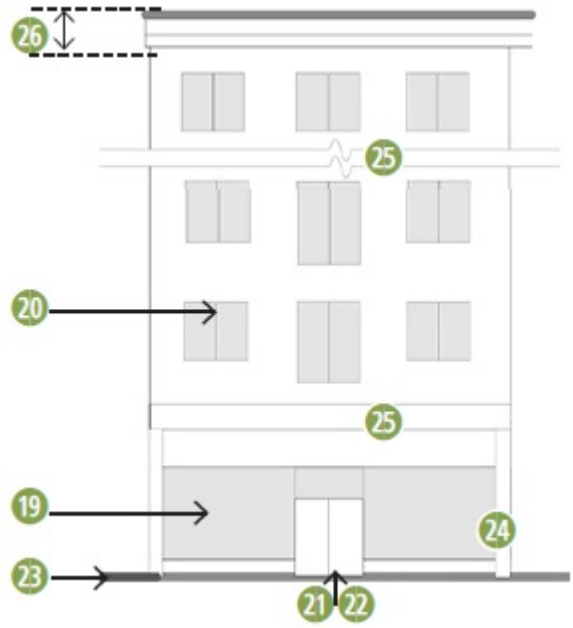


Figure 135-2.3-D. Downtown Storefront: Facade Requirements

E. Additional Regulations/Notes

1. Primary Frontage. The Downtown Storefront is required along all frontages of designated primary streets on the primary streets map pursuant to section 135-2.1.6 of this article.
2. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary frontage coverage.
3. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
4. River Frontage. The following applies to all lots abutting a river or riverfront park:
   a. Setback from River. A minimum setback of 100 ft is required from the high water mark of the river.
   b. Public Right-of-Way. A public right-of-way is required between the development and any riverfront park. Refer to the city's most recent transportation master plan and specifications from the city engineer. This right-of-way shall be treated as a primary frontage.
5. Building Corners. At street intersections, ground story transparency requirements on primary frontage shall extend around the corner of the building a minimum of 30 feet, as measured from the corner of the building down the non-primary frontage. See section 135-2.1.6.F of this article for building requirements at street corners.

135-2. BUILDING TYPES

Downtown General

2.4.3 DOWNTOWN GENERAL REGULATIONS

	DX1	DX2	DXR	REFERENCES
A. Building Siting Refer to Figure 135-2.4-B				
1 **Multiple Principal Buildings**	Permitted	Permitted	Permitted	
2 **Minimum Primary Frontage Coverage**	95%	90%	80%	Courtyards permitted per Note 1. See Figure 135-3.2 for measurement information. See Note 3 for river frontage requirements.
3 **Primary Frontage Build-to Zone (ft)**	0-10	0-15	0-15	Minimum pedestrian area is required per Note 2. See 135-3.3 for measurement information. See Note 3 for river frontage requirements.
4 **Non-Primary Frontage Build-to Zone (ft)**	0-15	0-15	0-20	
5 **Minimum Interior Side Setback (ft)**	0	0	10	
6 **Minimum Rear Setback (ft)**	0 except 5 at alley	0 except 5 at alley	0 except 15 at alley	0 allowed at the alley subject to approval of the development services director and city engineer.
7 **Maximum Impervious Area** **Additional Semi-Pervious Area**	90% 10%	85% 15%	80% 15%	See 135-3.6 for measurement information.
8 **Garage/Loading Entrance Location**	Any non-primary street or rear facade			See 135-4.3.8 for additional garage door requirements.
9 **Permitted Driveway Access**	Improved alley; if no improved alley exists or is planned, one driveway off each non-primary street			See 135-6.12 for additional driveway regulations.
B. Height Refer to Figure 135-2.4-C				
10 **Minimum Overall Height**	5 stories	3 stories	3 stories	See 135-3.7 for measurement information. See 135-2.18 for height limitations in Capitol Dominance Area
11 **Maximum Overall Base Height**	15 stories	8 stories	8 stories	
12 **Additional High-Rise Height**	Unlimited height	Not permitted	Not permitted	See 135-4.4 for high-rise design requirements.
13 **Primary Frontage Ground Story:** Minimum Height (ft) Maximum Height (ft)	10 24	10 24	10 16	Story heights are measured floor to floor. Floor heights greater than 20 ft count as 2 stories in overall height. See 135-3.7 for measurement information.
14 **All Other Stories:** Minimum Height (ft) Maximum Height (ft)	9 14	9 12	9 12	

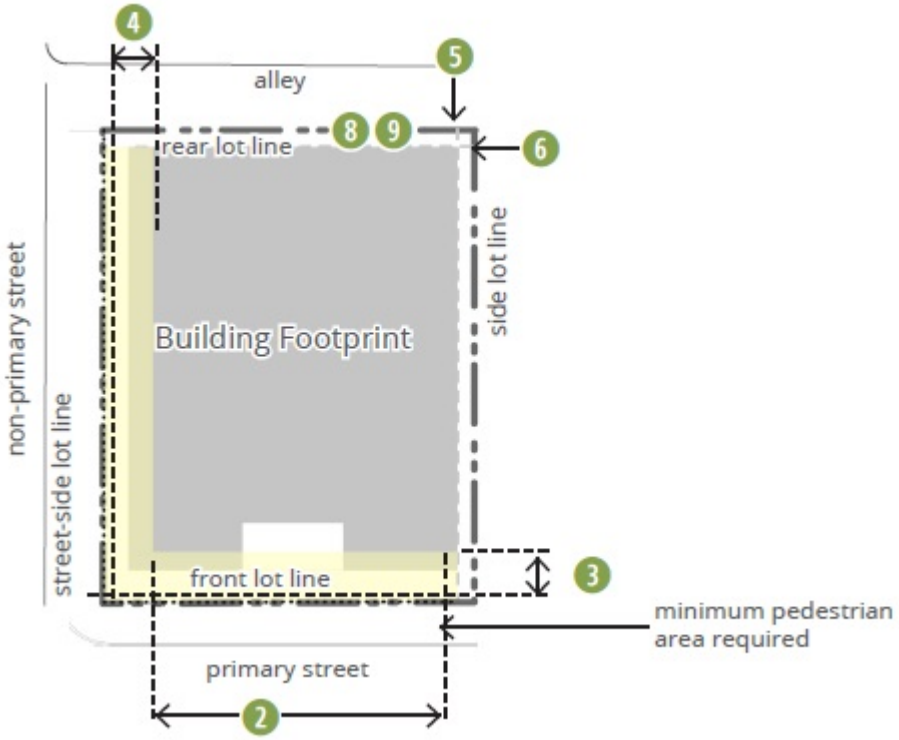


Figure 135-2.4-B. Downtown General: Building Siting

135-2. BUILDING TYPES

Downtown General

	DX1	DX2	DXR	REFERENCES
C. Uses Refer to Figure 135-2.4-C				
15 **All Stories & Basement**	Any permitted use, except the following are limited to no more than 25% of the ground floor area: Commercial Service; Day Care; Eating and Drinking Places; Retail Sales; Sports and Recreation, Private/Participant; and Vehicle Rental and Fuel Station*			See chapter 134, Article 3 for permitted uses per zoning district and definition of uses. *= DX2 and DXR only for fuel station
16 **Required Occupied Space**	Minimum 30ft depth on all full height floors of primary frontages			See 135-12.1 for definition of occupied space.
17 **Parking/Loading within Principal Building**	Permitted fully in any basement and rear of all other stories behind occupied space as required above. Surface parking is prohibited.			Refer to 135-2.17 for design on street frontages.
D. Street, Public Way, & Courtyard Facades and Roof Requirements Refer to Figure 135-2.4-D				
18 **Minimum Transparency per Each Story & any Half Story**	18%; blank wall limitations apply			See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
19 **Entrance Location and Number**	Principal entrance required on primary frontage facade; minimum of one per 100 ft of primary frontage facade; no expanse on a primary frontage facade shall be greater than 100ft without a principal entrance			See 135-4.3.6 for principal entryway design requirements
20 **Primary Frontage Entryway(s) Configuration**	Recessed between 3ft and 8ft from the portion of the primary frontage facade closest to the street; maximum 8ft wide if outside the build-to zone			See 135-4.3.6 for principal entryway design requirements
21 **Primary Frontage Entrance and Ground Story Elevation**	At least 80% of entrances and the ground story shall be within 30 inches vertically of adjacent sidewalk elevation OR between 30 inches and 5ft with visible basement (transparency required)			See 135-12.1 for definition of visible basement.
22 **Primary Frontage Ground Story Vertical Facade Divisions**	At least one shadow line per every 90ft of façade width			See 135-12.1 for definition of shadow line. See 135-4.3.9 for building articulation requirements.
23 **Horizontal Facade Divisions**	At least one shadow line within 3ft of any story line between 1st and 3rd story; For buildings over 5 stories: minimum of one shadow line within 3ft of any story between the 3rd and 6th story			See 135-12.1 for definition of shadow line.
24 **Permitted Roof Types**	Parapet, flat; Tower permitted; Special roof option for high-rise	Parapet, flat; Tower permitted	Parapet, flat, pitched; Tower permitted	See 135-2.20 for roof types; See 135-2.18 for height and tower limitations in Capitol Dominance Area.

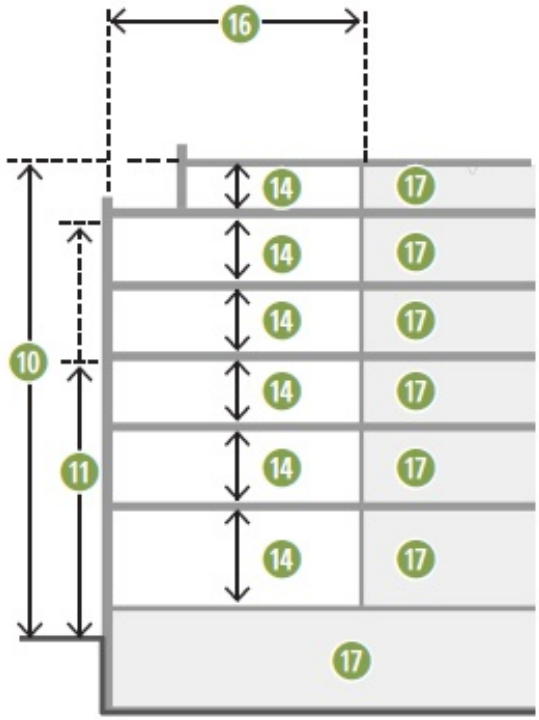


Figure 135-2.4-C. Downtown General: Height & Uses Requirements

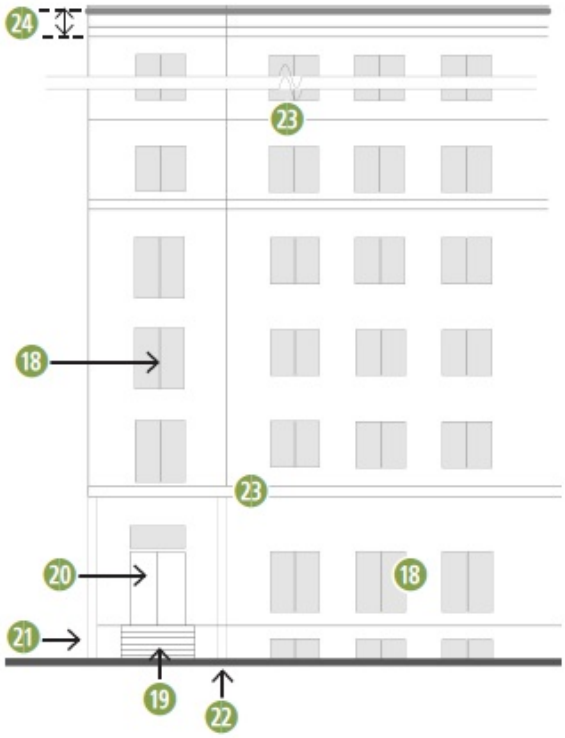


Figure 135-2.4-D. Downtown General: Facade Requirements

135-2. BUILDING TYPES

Downtown General

E. Additional Regulations/Notes

1. Courtyards. One courtyard, maximum of 30% of facade width or 50 feet wide, whichever is less, may count towards the minimum primary frontage coverage.
2. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the build-to zone shall begin at 13 feet from the back of curb and extend into the site the depth defined.
3. River Frontage. The following applies to all lots abutting a river or riverfront park:
    a. Setback from River. A minimum setback of 100 feet is required from the high water mark of the river.
    b. Public Right-of-Way. A public right-of-way is required between the development and any riverfront park. Refer to the transportation master plan and specifications from the city engineer. This right-of-way shall be treated as a primary frontage.

135-2. BUILDING TYPES

Civic Building

2.10.3 CIVIC BUILDING REGULATIONS

	DX1, DX2, DXR	MX, RX, CX, EX, NX, P	I	REFERENCES
A. Building Siting Refer to Figure 135-2.10-B				
1 **Multiple Principal Buildings**	Not permitted	Permitted	Permitted	
2 **Minimum Primary Frontage Coverage**	Not required	Not required	Not required	
3 **Primary Frontage Setback (ft)**	5	20	20	Minimum pedestrian area is required per Note 1. See 135-3.3 for measurement information.
4 **Non-Primary Frontage Setback (ft)**	5	15	15	
5 **Minimum Interior Side Setback (ft)**	5	15	15	See 135-7.8 for landscape buffer.
6 **Minimum Rear Setback (ft)**	15, 0 at alley	20, 5 at alley	20, 5 at alley	See 135-7.8 for landscape buffer.
7 **Maximum Impervious Area** **Additional Semi-Pervious Area**	85% 10%	70% 15%	70% 15%	See 135-3.6 for measurement information.
8 **Surface Parking/Loading Location; Garage/Loading Entrance Location**	Rear, interior structure. Improved alley, non-primary facade.	Rear yard, limited interior side yard. Improved alley, non-primary facade.		See 135-4.3.8 for additional garage door requirements on primary frontage facades.
9 **Permitted Driveway Access**	Improved alley, one off each non-primary street	Improved alley, 1 off each non-primary street; drop-off drive permitted off any street		See 135-6.12 for additional driveway regulations including circular drop-off drives.

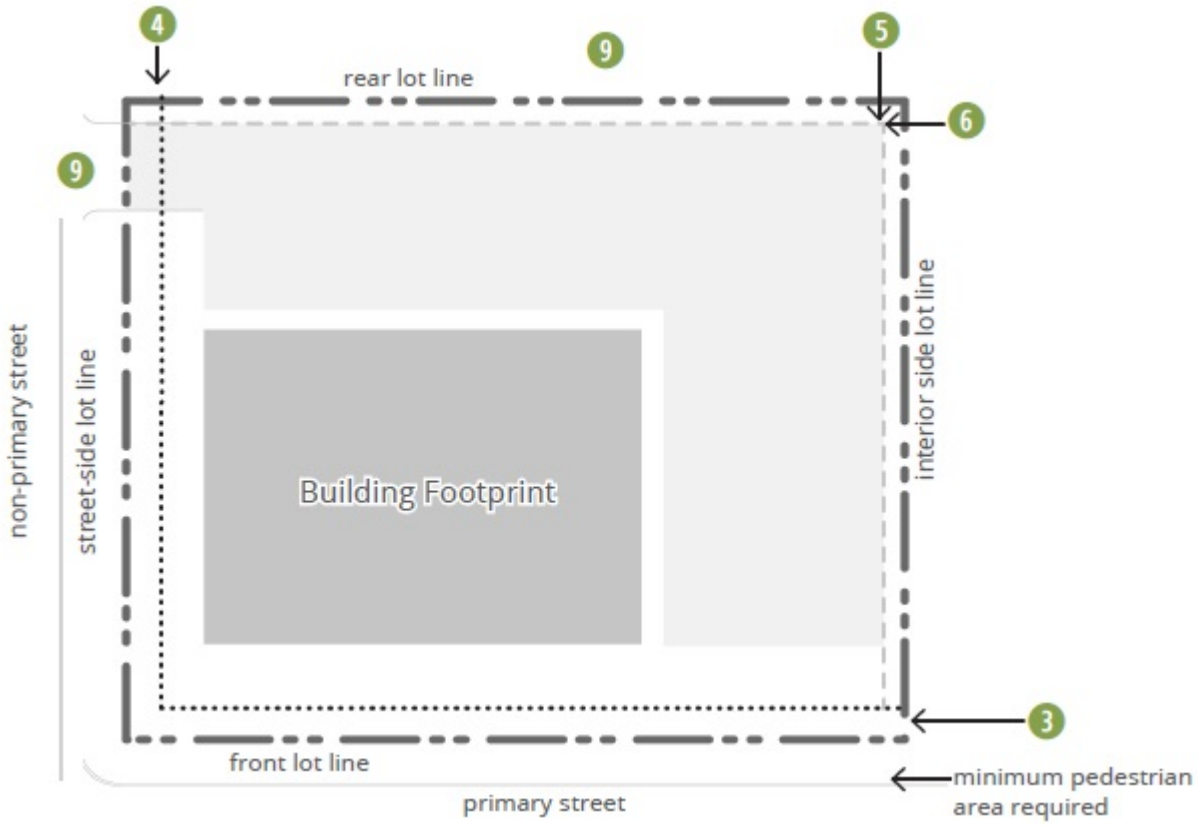


Figure 135-2.10-B. Civic Building: Building Siting

135-2. BUILDING TYPES

Civic Building

	DX1, DX2, DXR	MX, RX, CX, EX, NX, P	I	REFERENCES
B. Height Refer to Figure 135-2.10-C				
10 **Minimum Overall Height**	1 story	1 story	1 story	See 135-3.7 for measurement information. See 135-2.18 for height limitations in Capitol Dominance Area.
11 **Maximum Overall Height**	5 stories and 75 ft	3 stories	3 stories	
12 **Primary Frontage Ground Story:** Minimum Height (ft) Maximum Height (ft)	10 30	10 24	10 24	Story heights are measured floor to floor. See 135-3.7 for measurement information.
13 **All Other Stories:** Minimum Height (ft) Maximum Height (ft)	9 14	9 14	9 14	
C. Uses Refer to Figure 135-2.10-C				
14 **All Stories**	Only permitted Public, Civic, and Institutional uses per 134-3.4, ~~and~~ Assembly and Entertainment per 134-3.5.3, Day Care per 134-3.5.8, and Day Services, Adult per 134-3.5.9		Only permitted Public, Civic, and Institutional uses per 134-3.4 and Assembly and Entertainment per 134-3.5.3	See chapter 134, Article 3 for permitted uses per zoning district and definition of uses.
15 **Required Occupied Space**	Minimum 30 ft deep on full height stories from any primary frontages			See 135-12.1 for definition of occupied space.
16 **Parking/Loading within Principal Building**	Permitted fully in any basement and rear of all other stories behind occupied space as required above.			Refer to 135-2.17 for design on street frontages.
D. Street, Public Way, & Courtyard Facades and Roof Requirements Refer to Figure 135-2.10-D				
17 **Minimum Transparency per Each Story & any Half Story**	12%	12%	12%	See 135-3.8 for measurement information and the definition of transparency and blank wall limitations.
18 **Entrance Location & Number**	Minimum of one principal entrance per primary street facade			See 135-4.3.6 for principal entryway design requirements.
19 **Permitted Roof Types**	Parapet, flat, pitched; Tower permitted; Special roof permitted per 135-2.20.2			See 135-2.20 for roof types.

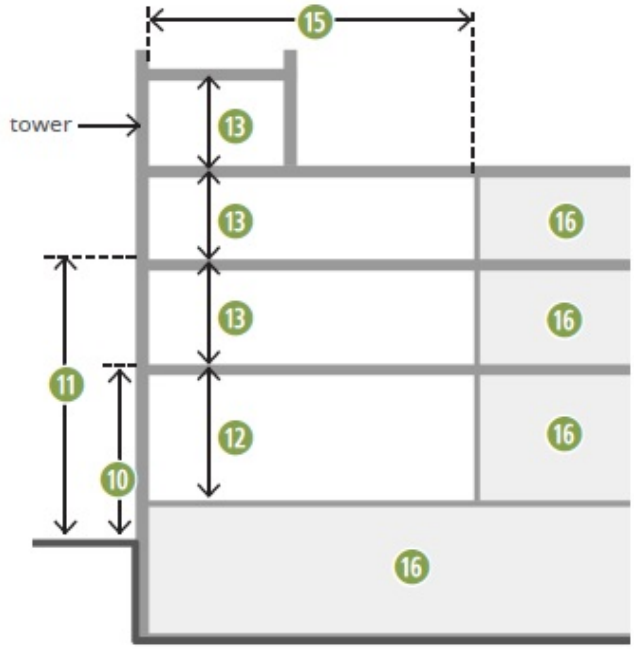


Figure 135-2.10-C. Civic Building: Heights & Uses Requirements

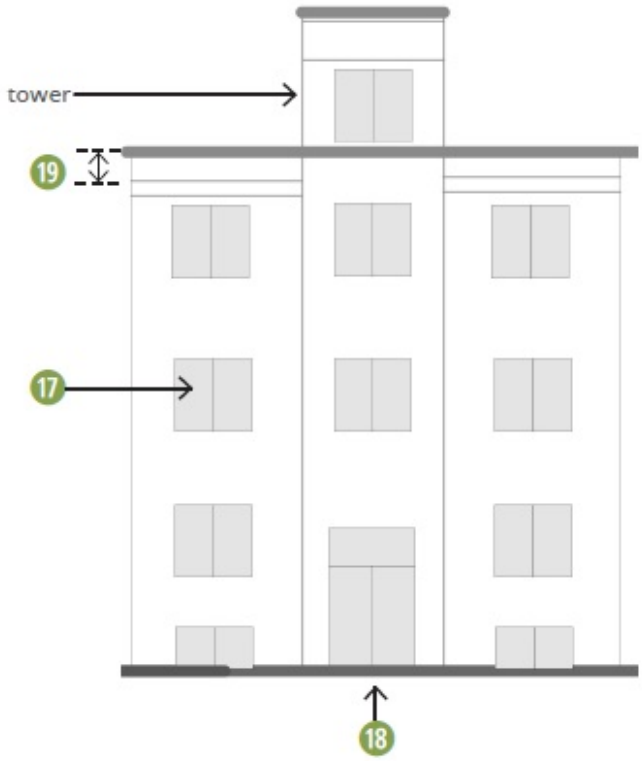


Figure 135-2.10-D. Civic Building: Facade Requirements

135-2. BUILDING TYPES

Civic Building

E. Additional Regulations/Notes

1. Minimum Pedestrian Area. Along all streets where the area from the back of curb to the lot line is less than 13 feet, the setback shall begin at 13 feet from the back of curb and extend into the site the depth defined.
2. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or street-side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with a Type 1 design alternative to primary frontage coverage.

135-2. BUILDING TYPES

Parking Structure

2.17.3 PARKING STRUCTURE REGULATIONS

	DX	ALL OTHER DISTRICTS	REFERENCES
A. Building Siting. Refer to Figure 135-2.17-B			
1 **Multiple Buildings**	Not permitted; No accessory building permitted on lot		
2 **Location**	Not permitted fronting a primary street except with an approved Type 1 design alternative		See ~~134-3.5.14~~ 134-3.5.15 for non-accessory parking use regulations.
3 **Minimum Front Setback (ft)**	5 or at least 5 feet less than the front setback of adjacent building, whichever is greater		
4 **Minimum Street Side Setback (ft)**	5 or at least 5 feet less than the front setback of adjacent building, whichever is greater		
5 **Minimum Interior Side Setback (ft)**	0, 5 at alley	10, 5 at alley	0 allowed at the alley subject to approval of the development services director and city engineer.
6 **Minimum Rear Setback (ft)**	0, 5 at alley	15, 5 at alley, 20 abutting any N or NX district	0 allowed at the alley subject to approval of the development services director and city engineer.
7 **Maximum Impervious Area** **Additional Semi-Pervious Area**	75% 25%	75% 15%	See 135-3.6 for measurement.
8 **Garage Entrance Location**	Non-primary street, side, or rear facade; Primary street with a Type 1 design alternative		See 135-4.3.8 for additional garage door requirements on primary frontage facades.
9 **Permitted Driveway Access**	Improved alley or non-primary street frontage; Primary street with a Type 1 design alternative		See 135-6.12 for additional driveway regulations.
10 **Number of Access Points**	No more than 2 access points shall be located on any 1 street, totaling no more than 24 feet of drives crossing sidewalk		See 135-6.12 for additional driveway regulations.
B. Height. Refer to Figure 135-2.17-C			
11 **Maximum Overall Height**	1 story less than any other permitted building type in the district		See 135-3.7 for measurement information. Story heights are measured floor to floor.
12 **All Full Stories: (Measured floor-to-floor)** Minimum Height (ft) Maximum Height (ft)	9 12		
13 **Sloped Floors**	Not permitted on primary street facades; to the extent practicable, sloped floors shall be located on non-street facades.		

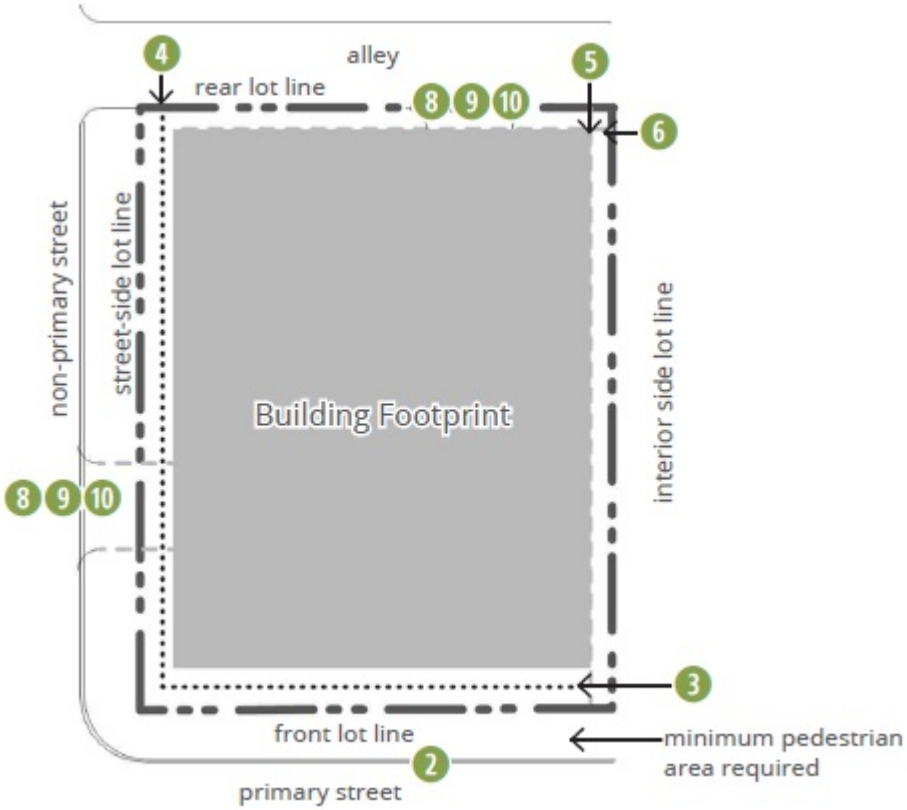


Figure 135-2.17-B. Parking Structure: Building Siting

135-2. BUILDING TYPES

Parking Structure

	DX	ALL OTHER DISTRICTS	REFERENCES
C. Uses. Refer to Figure 135-2.17-C			
14 **All Stories**	Parking and associated accessory uses (parking office, car wash, storage) only, except a minimum 30 ft depth on the ground floor of primary frontages shall contain non-parking uses permitted per the zoning district that meet the definition of occupied space.		See chapter 134, Article 3 for permitted uses per zoning district and definition of uses. Where any other use is incorporated, a building type permitted in the district must be utilized.
D. Street Facade & Roof Requirements. Refer to Figure 135-2.17-D			
15 **Wall Requirement to Block Headlights**	Solid wall, min. 3 ft in height, along all street and alley facades	Solid wall, min. 3 ft in height, along all street and alley facades and along any side or rear facade located more than 5 ft from an abutting building.	See 135-3.8 for measurement information and definition of blank wall limitations.
16 **General Blank Wall Limitations**	30%; blank wall limitations apply to front facade		
17 **Principal Entrance Number; Principal Entrance Location**	A defined pedestrian entrance/exit is required separate from the vehicular entrance and directly accessing the public sidewalk. If the space is enclosed, transparent windows are required at a rate of 65%.		See 135-4.3.6 for principal entryway design requirements.
18 **Street Facades of Ground Story Elevation**	Within 30 inches vertically of adjacent sidewalk elevation OR between 30 inches and 5 ft with visible basement (transparency required)		
19 **Mid-Building Pedestrianway**	For buildings greater than 250 ft in length, a pedestrian entrance and pedestrianway through the structure is required.		
20 **Vertical Divisions**	Every 30 feet, extending to the full height of the structure. Divisions shall be a minimum of 2 ft in width with a minimum projection of 2 inches.		
21 **Permitted Major Building Materials**	See 135-4.2 for facade and roof materials		
22 **Permitted Roof Types**	The top story of the parking structure shall include a parapet or other roof type along street facades. Towers are permitted.		See 135-2.20 for roof types.

135-2. BUILDING TYPES

Parking Structure

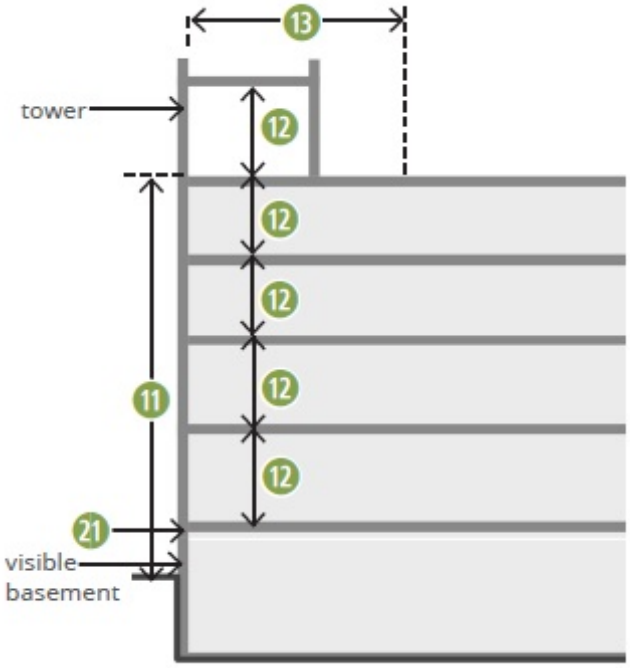


Figure 135-2.17-C. Parking Structure: Height and Uses Requirements

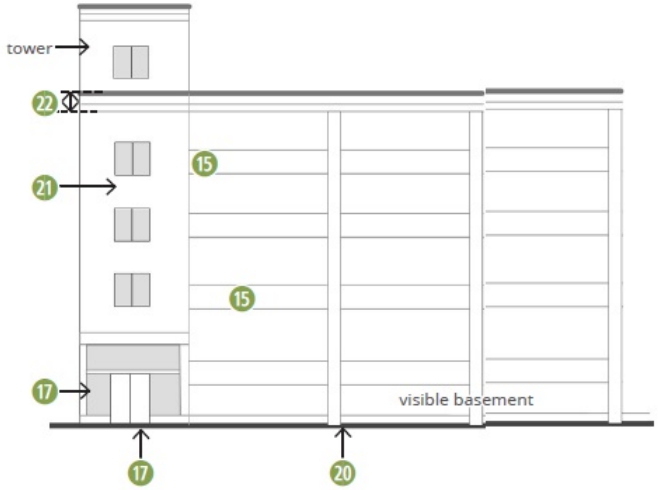


Figure 135-2.17-D. Parking Structure: Facade Requirements

E. Additional Regulations/Notes

1. MX District Deck and Patio. Any deck or patio associated with a non-residential use in any MX district shall be located in the rear, side, or corner side yard. A deck or patio in the front yard may be approved through a Type 1 design alternative, either subject to primary frontage coverage or with a Type 1 design alternative to primary frontage coverage.

135-2. BUILDING TYPES

House A Building Type

2.13.3 HOUSE A REGULATIONS

	N1a, A	N1b	N2a	N2b	REFERENCES
A. Building Siting. Refer to Figure 135-2.13-B					
1 **Multiple Principal Buildings**	Not permitted	Not permitted	Not permitted	Not permitted	See Note 5 for minimum building size.
2 **Required Accessory Building** **Accessory Building Locations**	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.				See 135-2.22.2 for accessory buildings. See Note 4 for accessory building requirement.
3 **Minimum Front Setback (ft)**	45, front setback averaging applies	30, front setback averaging applies	25, front setback averaging applies	25, front setback averaging applies	See 135-3.4 for front setback averaging.
4 **Minimum Street Side Setback (ft)**	25, side setback averaging applies	20, side setback averaging applies	15, side setback averaging applies	15, side setback averaging applies	
5 **Minimum Interior Side Setback (ft)**	10, 25 total for both	10, 25 total for both	7, 15 total for both	7, 15 total for both	
6 **Minimum Rear Setback (ft)**	30	30	30	30	
7 **Minimum Building Width (ft)**	24	24	none	none	See 135-3.5 for measurement. See Note 2 and Note 3 for 2- and 4-unit buildings, where permitted.
8 **Minimum Lot Width (ft)** **Minimum Lot Area (sq ft)**	80 10,000	60 8,000	75 9,000	60 7,500	See Note 2 and Note 3 for 2- and 4-unit buildings, where permitted.
9 **Maximum Building Coverage** **Maximum Impervious Area** **Additional Semi-Pervious Area**	25% 40% 15%	30% 50% 15%	35% 50% 15%	35% 50% 15%	See 135-3.6 for measurement. See Note 1 for maximum front yard coverage. See Note 5 for minimum building size.
10 **Attached Garage Entrance Location**	Any facade, garage door maximum 30% of front facade	Any facade, garage door maximum 30% of front facade	Any facade, garage door maximum 65% of front facade; 3rd stall recessed 3 ft	Any facade, garage door maximum 65% of front facade; 3rd stall recessed 3 ft	See 135-4.3.8 for additional garage door requirements on primary frontage facades.
11 **Permitted Driveway Access**	One paved driveway per lot; circular drop-off drive permitted with minimum lot width of 100 ft				See 135-6.12 for additional driveway regulations.

135-2. BUILDING TYPES

House B Building Type

2.14.3 HOUSE B REGULATIONS

	N3a, N3b	REFERENCES
A. Building Siting. Refer to Figure 135-2.14-B		
1 **Multiple Principal Buildings**	Not permitted	
2 **Required Accessory Building** **Accessory Building Locations**	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.	See 135-2.22.2 for accessory buildings. See Note 3 for accessory building requirement.
3 **Minimum Front Setback (ft)**	25, front setback averaging applies	See 135-3.4 for front setback averaging.
4 **Minimum Street Side Setback (ft)**	15, side setback averaging applies	
5 **Minimum Interior Side Setback (ft)**	7, 15 total for both	
6 **Minimum Rear Setback (ft)**	40	
7 **Minimum Building Width (ft)**	35	See 135-3.4 for measurement. See Note 2 for 2-unit buildings, where permitted.
8 **Minimum Lot Width (ft)** **Minimum Lot Area (sq ft)**	60 7,500	See Note 2 for 2-unit buildings, where permitted.
9 **Maximum Building Coverage** **Maximum Impervious Area** **Additional Semi-Pervious Area**	35% 50% 15% [see note 2]	See 135-3.6 for measurement. See Note 1 for maximum front yard coverage. See Note 5 for minimum building size.
10 **Attached Garage Entrance Location**	Front facade: garage door maximum 30% of front facade width; Side facade on street side only; rear facade	See 135-4.3.8 for additional garage door requirements on primary frontage facades.
11 **Permitted Driveway Access**	One paved driveway per lot	See 135-6.12 for additional driveway regulations.

2.15.3 HOUSE C REGULATIONS

	N3b, N3c	N4	NX1	REFERENCES
A. Building Siting. Refer to Figure 135-2.15-B				
1 **Multiple Principal Buildings**	Not permitted	Not permitted	Permitted	See Note 1 for House C Court
2 **Required Accessory Building Accessory Building Locations**	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.			See 135-2.22.2 for accessory buildings. See Note 4 for garage requirement.
3 **Minimum Front Setback (ft)**	25, front setback averaging applies	35, front setback averaging applies	25, front setback averaging applies	See 135-3.4 for front setback averaging.
4 **Minimum Street Side Setback (ft)**	20, side setback averaging applies	20, side setback averaging applies	15, side setback averaging applies	
5 **Minimum Interior Side Setback (ft)**	7, 15 total for both	7, 15 total for both	7, 15 total for both	
6 **Minimum Rear Setback (ft)**	40	40	30	
7 **Minimum Building Width (ft)**	24	24	20	See 135-3.5 for measurement. See Note 3 for 2-unit buildings, where permitted.
8 **Minimum Lot Width (ft)** **Minimum Lot Area (sq ft)**	50 6,000	50 6,000	40 4,800	See Note 1 for maximum front yard coverage. See Note 5 for minimum building size.
9 **Maximum Building Coverage** **Maximum Impervious Area** **Additional Semi-Pervious Area**	35% 55% 15% [see note 2]	35% 55% 15% [see note 2]	35% 55% 15% [see note 2]	See 135-3.6 for measurement.
10 **Attached Garage Entrance Location**	Rear or side facade; Front facade on sloped sites permitted with Type 1 design alternative per 135-9.2 of this chapter			See 135-4.3.8 for additional garage door requirements on primary frontage facades.
11 **Permitted Driveway Access**	Improved alley; If no improved alley exists, one driveway per lot; Shared driveways encouraged			See 135-6.12 for additional driveway regulations.

2.16.3 HOUSE D REGULATIONS

	N5	NX1	NX2, NX2a	REFERENCES
A. Building Siting. Refer to Figure 135-2.16-B				
1 **Multiple Principal Buildings**	Not permitted	Permitted	Permitted	See Note 1 for House D Court.
2 **Required Accessory Building** **Accessory Building Locations**	Garage for single-unit houses, minimum 288 square feet. Rear or side yard.			See 135-2.22.2 for accessory buildings. See Note 5 for garage requirement.
3 **Minimum Front Setback (ft)**	25, front setback averaging applies	25, front setback averaging applies	25, front setback averaging applies; Build-to zone for Sherman Hill required	See 135-3.4 for front setback averaging. See 135-2.19 for Sherman Hill Build-to Zones.
4 **Minimum Street Side Setback (ft)**	18, side setback averaging applies	15, side setback averaging applies	15, side setback averaging applies	
5 **Minimum Interior Side Setback (ft)**	7, 15 total for both	7, 15 total for both	7, 15 total for both	See Note 3 for 0 side setback permitted in NX1, NX2, and NX2a.
6 **Minimum Rear Setback (ft)**	30	30	25	
7 **Minimum Building Width (ft)** **Maximum Building Width (ft)**	26 for single unit; 60 for single unit	24 for single unit; 60 for single unit	24 for single unit; 60 for single unit	See 135-3.5 for measurement. See Note 4 for multiple-unit buildings, where permitted.
8 **Minimum Lot Width (ft)** **Minimum Lot Area (sq ft)**	50 for single unit; 6,750	50 for single unit; 4,800	50 for single unit; 4,800	See Note 4 for multiple-unit buildings, where permitted.
9 **Maximum Building Coverage** **Maximum Impervious Area** **Additional Semi-Pervious Area**	30% 50% 15%	30% 50% 15%	45% 65% 20%	See 135-3.6 for measurement. See Note 1 for maximum front yard coverage. See Note 7 for minimum building size.
10 **Attached Garage Entrance Location**	Rear or side facade			See 135-4.3.8 for additional garage door requirements on primary frontage facades.
11 **Permitted Driveway Access**	Improved alley; if no improved alley exists, one driveway per lot; shared driveways encouraged.			See 135-6.12 for additional driveway regulations.