

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, July 18, 2024

AGENDA ITEM #1

CAHP-2024-000054

Applicant: City of Des Moines.

Location: 602 Robert D. Ray Drive.

Requested Action: Designation of the Argonne Armory Building as a Local Landmark.

I. GENERAL INFORMATION

1. **Case Overview:** The subject property is located on the west side of Robert D. Ray Drive next to the Des Moines River. Directly to the south is the Brenton Skating Plaza at the intersection of East Grand Avenue and Robert D. Ray Drive. The site contains a 240-foot by 112-foot Argonne Armory Building that was constructed circa 1934 according to the Iowa Site Inventory form from 1987.

On June 26, 2024, the Historic Preservation Commission reviewed the recommendation that the “Argonne Armory” be designated a local Landmark and recommended approval of the request. The Historic Preservation Commission and the Plan and Zoning Commission recommendations will be forwarded to the City Council for review in accordance with Chapter 58-60 and Chapter 82-40 of the City Code. If the structure is designated as a Landmark, any alteration, new construction, or demolition would be subject to review by the Historic Preservation Commission and require approval by the City Council.

2. **Size of Site:** 1.728 acres.
3. **Existing Zoning (site):** “P2” Public, Civic & Institutional District.
4. **Adjacent Land Use and Zoning:**

North – “P1”; Use is Parks and Open Space consisting of a paved surface parking lot and City-owned parkland and trails.

South – “P2”; Use is Public/Semi-Public consisting of City Hall.

East – “DX2” & “DXR”; Use is Downtown Mixed Use consisting of office buildings primarily used for State of Iowa offices, multiple-household residential, and light industrial.

West – “DX2” & “F”; Uses are Downtown Mixed Use and Parks and Open Space consisting of a MidAmerican Energy Company power substation and City-owned parkland.

5. **Applicable Recognized Neighborhood(s):** The subject building is located in Downtown Des Moines Neighborhood. All recognized neighborhoods were notified

of the meeting by mailing of the Final Agenda on July 12, 2024. All agendas are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Downtown Des Moines Neighborhood Association mailings were sent to Deb Madison-Levi, 111 10th Street, Unit 203, Des Moines, IA 50309.

6. PlanDSM Land Use Plan Designation: Downtown Mixed Use.

7. Applicable Regulations: Pursuant to Chapter 82-40(a) of the City Code, the Plan and Zoning Commission is an advisory body to the City Council and is a key factor in the growth and development of the city. Therefore, the Commission reviews all local Landmark and Historic District nominations in accordance with the Historic Preservation Ordinance and for compliance with the City's Comprehensive Plan and forwards a recommendation to the City Council.

II. APPLICABLE SECTIONS OF THE CITY CODE

Section 58-56 of the Historic Preservation Ordinance contains the landmark purpose statement. Section 58-58 contains the criteria for the designation of a landmark and Section 58-60 establishes the nomination process.

Sec. 58-56. Purpose.

It is declared as a matter of public policy that the protection, enhancement, perpetuation and use of improvements of special character or special historical or aesthetic interest or value is a public necessity and is required in the interest of health, prosperity, safety and welfare of the people. The purpose of this article is to:

- (1) Effect and accomplish the protection, enhancement and perpetuation of such improvements which represent or reflect elements of the city's cultural, social, economic, political and architectural history;
- (2) Safeguard the city's historic, aesthetic and cultural heritage, as embodied and reflected in such improvements;
- (3) Stabilize and improve property values;
- (4) Foster civic pride in the beauty and accomplishments of the past;
- (5) Protect and enhance the city's attractions to residents, tourists, and visitors and serve as a support and stimulus to business and industry;
- (6) Strengthen the economy of the city; and
- (7) Promote the use of landmarks for the education, pleasure and welfare of the people of the city.

Sec. 58-58. Designation criteria.

- (a) For purpose of this article, a landmark or landmark site designation may be placed on any site, natural or improved, including any building, improvement or structure located thereon that possesses integrity of location, design, setting, materials, workmanship, feeling and association and that:
- (1) Is significant in American history, architecture, archaeology and culture;
 - (2) Is associated with events that have made a significant contribution to the broad patterns of our history;
 - (3) Is associated with the lives of persons significant in our past;
 - (4) Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
 - (5) Has yielded or may be likely to yield information important in prehistory or history.
- (b) Ordinarily cemeteries, birthplaces, or graves of historical figures; properties owned by religious institutions or used for religious purposes; structures that have been moved from their original locations; reconstructed historic buildings; properties primarily commemorative in nature; and properties that have achieved significance within the past 50 years shall not be considered eligible for the landmark designation. However, such properties will qualify if they fall within the following categories:
- (1) A religious property deriving primary significance from architectural or artistic distinction or historical importance.
 - (2) A building or structure removed from its original location which is significant primarily for architectural value, or which is the surviving structure most importantly associated with a historic person or event.
 - (3) A birthplace or grave of a historical figure of outstanding importance, if there is no appropriate site or building directly associated with his or her productive life.
 - (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, from distinctive design features, or from association with historic events.
 - (5) A reconstructed building when accurately executed in a suitable environment and presented in a dignified manner as part of a restoration master plan, and when no other building or structure with the same association has survived.
 - (6) A property primarily commemorative in nature, if design, age, tradition or symbolic value has invested it with its own historical significance.
 - (7) A property achieving significance within the past 50 years, if it is of exceptional importance.

Sec. 58-60. Procedures.

- (a) The historic preservation commission shall consider the nomination of landmarks and landmark sites located within historic districts, and make a report and recommendation on such nomination to the city plan and zoning commission and city council as provided below. The landmark review board shall consider the nomination of landmarks and landmark sites located outside historic districts and

make a report and recommendation on such nomination to the city plan and zoning commission and city council as provided below.

- (b) Notice that an application for designation of a landmark or landmark site is being considered shall be given to the owner of the parcel on which the proposed landmark is situated or which is part of the proposed landmark site in accordance with the following:
 - (1) Such notice shall be served by certified mail, addressed to the owner at his or her last known address as such appears in the records of the county treasurer's office, or if there is no name on such records, such notice may be served by regular mail addressed to "owner" at the street address of the property in question.
 - (2) Such owner shall have the right to confer with the historic preservation commission or landmark review board, as applicable, prior to final action by the commission or board on the application.
 - (3) The historic preservation commission or landmark review board, as applicable, may, in addition, hold the public hearing of the proposed designation by giving notice as required by law.
- (c) After such investigation by the historic preservation commission or landmark review board as is deemed necessary, but in no case more than 60 days after the receipt of the complete application, the application for designation shall be recommended for approval or disapproval. Such recommendation shall be in writing and signed by the chair of the historic preservation commission or landmark review board, as applicable, and shall state the reasons for recommending approval or disapproval. The recommendation may limit itself to the proposed landmark or landmark site as described in the application or may include modifications thereof. Such recommendation shall be forwarded to and filed with the plan and zoning commission, within five days after making such recommendation.
- (d) Upon receipt of such recommendation, the plan and zoning commission shall schedule a public hearing at a specific place, date and time, not more than 30 days after such receipt, by giving notice as required by law.
- (e) Within 30 days after the public hearing, the plan and zoning commission shall forward such application to the city council, together with the recommendation of the historic preservation commission or landmark review board. The plan and zoning commission may adopt the recommendation of the historic preservation commission or landmark review board as its own or may prepare a written recommendation of its own. The plan and zoning commission may limit itself to the proposed landmark or landmark site or may include modifications thereof. If the modification requires an additional public hearing, the plan and zoning commission shall hold such hearing before forwarding the application to the city council.
- (f) Upon receipt of such recommendation, the council shall schedule a public hearing to consider the recommendation at a specific place, date and time, not more than 30 days after such receipt, by giving notice as required by law.
- (g) The city council, after public hearing, may approve, approve with modification, or disapprove the recommendation of the plan and zoning commission by a majority vote of its membership. If the plan and zoning commission shall have failed to act within the time limit set forth in this section, the city council may, nevertheless, approve, approve with modification, or disapprove the proposed landmark or landmark site as originally proposed or modified by a majority vote of its membership.

II. ANALYSIS

1. **Landmark Nomination Criteria:** A nomination must demonstrate that the subject building or site possesses integrity of location, design, setting, materials, workmanship, feeling and association and meets one or more of the following criterion.

- (1) Is significant in American history, architecture, archaeology and culture;
- (2) Is associated with events that have made a significant contribution to the broad patterns of our history;
- (3) Is associated with the lives of persons significant in our past;
- (4) Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- (5) Has yielded or may be likely to yield information important in prehistory or history.

The nomination suggests the site meets Criteria 1, 2, and 4. The Argonne Armory is a contributing structure in the Civic Center National Historic District. The following excerpts from the Armory and World War Memorial Building Iowa Site Inventory sheet from the Civic Center Historic District nomination (prepared by Barbara Beving Long, 1987) make the case for how the site meets those criteria:

- “The Armory was the 7th and last building of the river front Civic Center (6 are extant). It contributes strongly to the uniformity of color, height, and placement that characterizes the Civic Center. It also calls attention to the role of the federal government in funding long-held plans for the Civic Center.”
- “The Armory displays typical features of the Art Deco Style. Stone laid with narrow, unobtrusive joints provides a hard-edged, smooth surface. Vertical lines (actually groups of rounded vertical moulding) in panels at the windows and on pilasters provide a vertical emphasis. Another Art Deco element are the raised parapets at the two east entries which give a stepped effect and emphasize the geometric form of the building.”
- “The Armory, one of the best examples of the Art Deco Style in Des Moines, marks the demise of the Beaux-Arts influence on public buildings in general and on the Des Moines civic center in particular.”
- “Construction began in 1934, making the Armory the last of the seven public buildings (six remain) to grace the river front and comprise the civic center.”
- “The Armory originally had a dining room, kitchen, club room, storage and rifle range in the basement. Club rooms and offices were dotted throughout the first

and second floors as well. The dominant room was the two-story drill hall. The interior has been completely modified to accommodate city and county offices, including addition of another floor to use all the drill hall space. As late as the 1960's, the drill hall was intact, but was used for municipal recreation purposes.”

- “There is ample precedent for provision of an armory on the river front. In 1900 it was announced that a 110 foot x 150 foot armory would be built there south and west of the Grand Avenue bridge. The Robinson Plan of 1909 also included an armory on the river front. And in 1911 the Chamber of Commerce was behind efforts to gain a river front armory.”
- “In 1919 plans were announced for a \$500,000 Memorial Auditorium and Art Museum on the river front. Brainchild of the Des Moines Ad Club, the idea had the blessing of the Town Planning Commission, the American Legion, the Equality League, and the Des Moines Association of Fine Arts. The favored site was the block south of the Municipal Building, across from the Library.”
- “In 1921 the Planning Commission recommended construction of a memorial building “for the boys from Polk county who served in the army and navy during the world war.” However, it soon became clear that the legal status of the additional tax levy to underwrite construction was in question, and no progress was made. With the 1930s Depression and federal relief programs came renewed calls for a river front armory. Problems with financing immediately surfaced, especially concerning the type of bonds to use. One of the results was that the City obtained ownership of the building, and the State leased space for the Argonne Post of the American Legion. The federal government paid for a portion of the labor and materials through the PWA.”

The following is an excerpt from the Civic Center District: The City Beautiful Movement and City Planning in Des Moines, Iowa 1892-1938 Report prepared by Barbara Beving Long in 1987:

“The Civic Center district of river front buildings, structure and land forms is unique in the city. No other group of buildings and landscape combines to illustrate as strongly and directly the important themes outlined in the Multiple Properties Cover Document, the City Beautiful Movement and City Planning in Des Moines, Iowa, 1892-1938.

Civic Center buildings and structures are distinguished by their river front locations and by their harmonious design, style, scale, use, siting, and materials. River front improvements – river walls, bridges, dams specialized sewer systems – marry environmental and manmade considerations. They show the effect of a major, flood-prone river upon urban development and the steps taken to diminish flood damage.”

- 2. PlanDSM Creating Our Tomorrow:** The PlanDSM Comprehensive Plan was approved on April 25, 2016. The proposed nomination is supported by numerous PlanDSM Goals and Policies including:

Land Use Goal 5

Continue to support the development of Downtown as the economic, cultural, and residential core of Des Moines.

LU29: Support downtown development that investigates and incorporates green building techniques and design.

Land Use Goal 6

Recognize the value of Des Moines’ historic building stock and landscapes and ensure their preservation.

LU33: Promote preservation, restoration, and reuse of historical structures and landmarks.

LU 35: Encourage expansion and establishment of National Historic Districts, local historic districts, and local landmarks.

Community Character and Neighborhood Goal 1

Embrace the distinct character offered in each of Des Moines’ neighborhoods.

CCN1: Celebrate the City’s culture and diversity through the creation of vibrant neighborhood nodes and corridors.

Community Character and Neighborhood Goal 4

Protect Des Moines’ historic and cultural assets that contribute to neighborhood and community identity.

CCN25: Partner with the historic preservation community to promote Des Moines’ rich history through education and outreach on historic structures, districts, and landscapes.

III. STAFF RECOMMENDATION

Staff recommends that the property “Argonne Armory (Armory and World War Memorial Building)” be designated as a local Landmark.

Landmark Nomination Form

IDENTIFICATION:

SITE NAME Armory and World War Memorial Building (Argonne Armory)

LEGAL DESCRIPTION _____

OWNER(S) NAME City of Des Moines

OWNER(S) SIGNATURE See Attachment "A"
(signed owner's letter of support or petition can be attached in lieu of signature here)

OWNER(S) ADDRESS 400 Robert D. Ray Drive Des Moines Iowa 50309
(street address) (city) (state) (zip)

CATEGORY:

STRUCTURAL/ARCHITECTURAL **LANDSCAPE** **ARCHEOLOGICAL**

COMPONENTS Armory and World War Memorial Building

USE (present) City of Des Moines Offices (past) Armory

DESCRIPTION:

DATE OF CONSTRUCTION 1934 **ARCHITECT/BUILDER** Tinsley, McBroom & Higgins

BUILDING TYPE:

Single-family dwelling Industrial Other institutional Religious
Multiple-family dwelling Educational Public Agricultural
Commercial

EXTERIOR WALLS: clapboard ___ stone X brick ___ board and batten ___ shingles ___
stucco ___ other _____

STRUCTURAL SYSTEM: wood frame with interlocking joints ___ masonry load-bearing walls ___
wood frame with light members (balloon frame) ___ iron frame ___ steel frame with curtain walls ___
reinforced concrete ___ other X - steel and concrete

CONDITION: excellent X good ___ fair ___ deteriorated ___

INTEGRITY: original site X moved--if so, when_

-

from where _____

Information on alterations, additions (with dates & architect, if known) and any other notable
features of building/site: _____

See Attachment "B"

RELATED OUTBUILDINGS AND PROPERTY: barn ___ other farm structures ___ carriage house
___ garage ___ privy ___ other _____

SURROUNDINGS OF THE SITE: open land ___ woodland ___ scattered outbuildings ___
commercial X industrial ___ residential ___ densely built-up ___ other _____

Prepared by _____ Stacey Hanley, Urban Designer, City of Des Moines

Date 6-20-24

Address 602 Robert D. Ray Drive, Des Moines, Iowa 50309

Telephone (515) 283-4287

Email srhanley@dmgov.org

Organization City of Des Moines

SIGNIFICANCE: (Indicate all sources of information for all statements)

ARCHITECTURAL SIGNIFICANCE

See Attachment "B"

HISTORICAL SIGNIFICANCE

See Attachment "B"

SOURCES (for primary and secondary sources give complete facts of publication: author, title, place of publication, date, etc.):

See Attachment "B"



Roll Call Number

24-0673

Agenda Item Number

39 B

Date May 6, 2024

APPROVING REQUEST FROM THE CITY MANAGER TO INITIATE PROCEEDINGS FOR THE DESIGNATION OF THE ARGONNE ARMORY AT 602 ROBERT D. RAY DRIVE AS A LANDMARK

WHEREAS, the City of Des Moines owns the Argonne Armory site ("Site"), locally known as 602 Robert D. Ray Drive; and

WHEREAS, the Site contains a contributing structure in the Civic Center Historic District as listed on the National Register of Historic Places; and

WHEREAS, Scott Sanders, as City Manager, requests to initiate proceedings to recognize the Site as a landmark pursuant to Municipal Code §58-59; and

WHEREAS, such proceedings will allow for public input and, if approved as a designated landmark, will mandate any future redevelopment of the site to comply with additional historic requirements.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Des Moines, Iowa, that:

- 1. The request from the City Manager to initiate proceedings to designate the Site as a local landmark is hereby approved and referred to the Development Services Department for consideration and hearings at Historic Preservation Communication and Plan and Zoning Commission before returning to the City Council for further action.

(Council Communication No. 24-203)



Roll Call Number

24-0673

Agenda Item Number

39B

Date May 6, 2024

MOVED by Coleman to adopt. Second by Gatto.

FORM APPROVED:

/s/ Lisa A. Wieland
Lisa A. Wieland
Assistant City Attorney

Table with 5 columns: COUNCIL ACTION, YEAS, NAYS, PASS, ABSENT. Rows include BOESEN, SIMONSON, VOSS, COLEMAN, WESTERGAARD, MANDELBAUM, GATTO, and TOTAL.

CERTIFICATE

I, LAURA BAUMGARTNER, City Clerk of said City hereby certify that at a meeting of the City Council of said City of Des Moines, held on the above date, among other proceedings the above was adopted.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my seal the day and year first above written.

Mayor signature: Connie Bross

City Clerk signature: Laura Baumgartner

Iowa Site Inventory

Office of Historic Preservation
Iowa State Historical Department
East 12th & Grand Avenue
Des Moines, Iowa 50319

Site Number _____

District Name _____

Map Reference # _____

Identification

1. Site Name Armory and World War Memorial Building
2. Village/Town/City Des Moines Township _____ County Polk
3. Street Address East First and Des Moines Streets
4. Legal Location _____

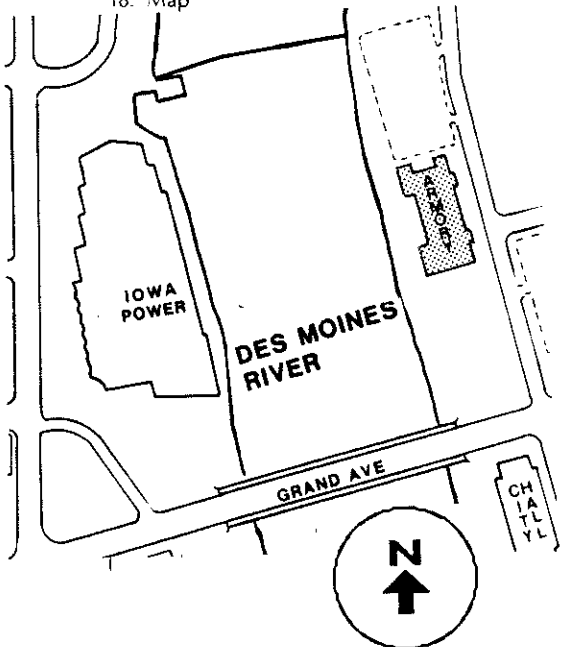
Urban:	subdivision		block	parcel	subparcel
Rural:	township		range	section	1/4 section of 1/4 section
5. UTM Location: zone _____ easting _____ northing _____; Acreage _____
6. Owner(s) Name City of Des Moines
7. Owner(s) Address _____
(Street address) (City) (State) (Zip)
8. Use: Present city and county offices Original armory

Description

9. Date of Construction 1934 Architect ~~286102~~ Tinsley, McBroom & Higgins
10. Building Type:

<input type="checkbox"/> single-family dwelling	<input type="checkbox"/> industrial	<input type="checkbox"/> other institutional	<input type="checkbox"/> religious
<input type="checkbox"/> multiple-family dwelling	<input type="checkbox"/> educational	<input checked="" type="checkbox"/> public	<input type="checkbox"/> agricultural
<input type="checkbox"/> commercial			
11. Exterior Walls: clapboard stone brick board and batten shingles stucco
 other _____
12. Structural System: wood frame with interlocking joints wood frame with light members (balloon frame)
 masonry load-bearing walls iron frame steel frame with curtain walls reinforced concrete
 other _____
13. Condition: excellent good fair deteriorated
14. Integrity: original site moved—if so, when? _____
Notes on alterations, additions (with dates and architect, if known) and any other notable features of building and site: _____
15. Related Outbuildings and Property: barn other farm structures carriage house garage privy
 other _____
16. Is the building endangered? no yes—if so, why? _____
17. Surroundings of the building: open land woodland scattered outbuildings densely built-up commercial
 industrial residential other _____

18. Map



Significance

(Indicate sources of information for all statements)

20. Architectural significance

- a. Key structure/individually may qualify for the National Register
- b. Contributing structure
- c. Not eligible/intrusion

Like other public buildings along the river front, the Argonne Armory (termed the "Armory and World War Memorial Building" on the blueprints) displays a smooth grey stone facade. However, having been built during the 1930s Depression, it was designed using a style current during that period. The Armory, one of the best examples of the Art Deco Style in Des Moines, marks the demise of the Beaux-Arts influence on public buildings in general and on the Des Moines civic center in particular. Yet the use of similar materials, shape, size, and siting render the Armory a contributing element along the river front. It is located at the north end of the civic center with a green space separating it from the Municipal Building. Construction began in 1934, making

21. Historical Significance

Theme(s) _____

- a. Key structure/individually may qualify for the National Register
- b. Contributing structure
- c. Not eligible/intrusion

The Des Moines architectural firm of Tinsley, McBroom & Higgins designed the Armory. Blueprints are dated September 1933 with interior revisions in December 1934 and June 1935. The basic design remained unchanged, although slate was specified for the "striped" panels at the windows instead of the stone which was used. Also, small decorative pedestals with tapered monoliths (similar to the present east facade light fixtures) were apparently not constructed on the west side.

22. Sources (for primary and secondary sources, give complete facts of publication: author, title, place of publication, date, etc.):

Des Moines Leader, November 11, 1900.
Des Moines News, October 29, 1919.
Clippings dated February 4, 5, 17, 1921 and December 16, 22, 30, 1933, February, February 23, March 1, July 18, 1934, April 8,

Prepared by Barbara Beving Long Date 1987
Address 3140 Easton, Des Moines Telephone 266-4964
Organization Midwest Research

For Office of Historic Preservation Use Only

1. Office Information Sources on this Property

- County Resource File
- Windshield Survey
- National Register
- Grants-In-Aid: _____
- Determination of Eligibility

Review and Compliance Project:

- Other _____
- Other _____
- Other _____

2. Subject Traces

- a. _____
- b. _____
- c. _____
- d. _____
- e. _____

3. Photo Images _____

- _____
- _____
- _____
- _____

20.

the Armory the last of the seven public buildings (six remain) to grace the river front and comprise the civic center.

The Armory displays typical features of the Art Deco Style. Stone laid with narrow, unobtrusive joints provides a hard-edged, smooth surface. Vertical lines (actually groups of rounded vertical moulding) in panels at the windows and on the pilasters provide a vertical emphasis. Another Art Deco element are the raised parapets at the two east entries which give a stepped effect and emphasize the geometric form of the building.

East entrances and some west window groupings are inset slightly, giving a faceted effect, another feature of the Art Deco. Hard-edged low-relief detail and sculpture, notably eagles above the entries, highlight these areas, and, with the "striped" details, the principal decoration. Light fixtures flank the doors and consist of moulded pedestals for smooth tapered shafts from which now one and originally three lights were affixed. Above the doors are patriotic phrases ("For the Service of the People" and "For God and Country" on the east, "In Memory of Comrades and Their Achievements" on the south, and "A Fit Soldiery is the Guaranty of Liberty" on the west). The south entrance projects from the main facade, providing a vestibule (originally for the Legion hall).

The 240 x 112' building is roughly rectangular in outline, with the exception of the slightly projecting (16') ends of the west elevation. Between these projecting ends are seven large openings with curved heads. Originally six windows and a centered entry with a double ramp leading to it, these openings lighted the two-story drill hall.

The Armory consists of two stories resting upon a slightly raised basement. The basement has deeply inset rectangular windows (not unlike the Library) while the upper floors originally had paired casement windows topped with a transom. A moulded course occurs between the basement and the first floor. The north or service facade is tan brick. It does not rise the full two stories for it was the location for the boiler system.

The Armory originally had a dining room, kitchen, club room, storage, and rifle range in the basement. Club rooms and offices were dotted throughout the first and second floors as well. The dominant room was the two-story drill hall. The interior has been completely modified to accommodate city and county offices, including addition of another floor to use all the drill hall space. The Argonne Post of the American Legion retains space in the basement. As late as the 1960s, the drill hall was intact, but was used for municipal recreation purposes.

Several windows at the southwest corner have been shortened and panels with concrete "striped" effects designed to resemble the existing stone panels added. The original groups of three lights on the east facade have been replaced by single, similar ones. Windows have been replaced (except for some in the basement) with energy-efficient versions; however, their configuration is similar to that of the originals. A concrete ramp allowing handicapped access has been placed on the south entrance.

The Armory is located on the east bank of the Des Moines River north of the Municipal Building and Grand Avenue. An expanse of green space, named Pete Crivaro Park in 1987 after a former mayor, is situated between Grand Avenue and the building. Two modern wood and metal benches (probably from the 1970s) are located there on a small concrete pad with modern landscaping around them. A low hedge outlines two ?? sides of the park. There is also a boulder with a plaque commemorating "the first licensed ferry at the junction of the Des Moines and Raccoon Rivers, 1847, the first pontoon bridge at Sycamore Street (now Grand Avenue), 1856, the first toll bridge at Court Avenue, 1856." The Abigail Adams Chapter of the D.A.R. erected the boulder in 1933. It has not been determined if the boulder was placed at this site in 1933.

21.

The cornerstone at the northeast corner is dated 1934, and a 1939 newspaper article also gives 1934 for the construction date. It has not yet been determined when work was completed, although blueprint revisions for interior work were dated 1934 and 1935.

There is ample precedent for provision of an armory on the river front. In 1900 it was announced that a 110x150' armory would be built there south and west of the Grand Avenue bridge. The Robinson plan of 1909 also included an armory on the river front. And in 1911 the Chamber of Commerce was behind efforts to gain a river front armory.

In 1919 plans were announced for a \$500,000 Memorial Auditorium and Art Museum on the river front. Brainchild of the Des Moines Ad Club, the idea had the blessing of the Town Planning Commission, the American Legion, the Equality League, and the Des Moines Association of Fine Arts. The favored site was the block south of the Municipal Building, across from the Library.

In 1921 the Planning Commission recommended construction of a memorial building "for the boys from Polk county who served in the army and navy during the world war." However, it soon became clear that the legal status of the additional tax levy to underwrite construction was in question, and no progress was made.

Continuation Sheet
Armory

With the 1930s Depression and federal relief programs came renewed calls for a river front armory. Problems with financing immediately surfaced, especially concerning the type of bonds to use. One of the results was that the City obtained ownership of the building, and the State leased space for the Argonne Post of the American Legion. The federal government paid for a portion of the labor and materials through the PWA.

22.

1939 in Planning & Zoning Department Scrapbooks.
Blueprints, Office of City Engineer.

21., cont., The Armory was the 7th and last building of the river front Civic Center (6 are extant). It contributes strongly to the uniformity of color, height, and placement that characterizes the Civic Center. It also calls attention to the role of the federal government in funding long-held plans for the Civic Center. See multiple propoerty cover document for details.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, July 18, 2024

AGENDA ITEM #2

SITE-2023-000148

Applicant: Michael J Meyer (owner).

Location: 205 Army Post Road.

Requested Action: Review and approval of a Public Hearing Site Plan “Curley’s Furniture Storage Building,” and for a Type 2 Design Alternative to allow an overhead door on a primary frontage façade where not permitted, per City Code Section 135-2.5.3.A.8.

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed site plan would allow for the construction of a new storage building with an overhead door fronting the public street where a previous storage building was located.
2. **Size of Site:** 21,749 square feet (0.499 acres).
3. **Existing Zoning (site):** “MX2” Mixed-Use District.
4. **Existing Land Use (site):** The subject property contains a pre-existing building, associated surface parking lot, and a paved pad where the former accessory building was located.
5. **Adjacent Land Use and Zoning:**
 - North* – “N3b”, Uses are single-household residential.
 - South* – “ROW”, “MX2”, and “EX”, Uses are Army Post Road, a food pantry, and a shopping center.
 - East* – “MX2”, Use is a pawn shop.
 - West* – “MX2”, Use is an auto parts store.
6. **General Neighborhood/Area Land Uses:** The subject property is located along the Army Post Road commercial corridor. A residential neighborhood is located to the north.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the South Central DSM Neighborhood. All neighborhoods were notified of the Commission meeting by emailing of the Preliminary Agenda on June 28, 2024 and the Final Agenda on July 12, 2024.

A 10-day notice of this specific item was mailed to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the subject site. All notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The South Central DSM Neighborhood Association notice was sent to Lisa Stocker-Ross, 5817 SE 7th Ct, Des Moines, IA 50315.

8. Relevant Zoning History: NA

9. PlanDSM Future Land Use Plan Designation: Community Mixed Use.

10. Applicable Regulations: Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:

- Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;
- Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:
 - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so substantially decreased that site use will inhibit or preclude planned future development;
 - Zoning restrictions at the time of the proposal;
- The city's comprehensive plan;
- The city's plans for future construction and provision for public facilities and services; and
- The facilities and services already available to the area which will be affected by the proposed site use;
- Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the

city will not be adversely affected;

- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;
- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and
- Consider the smart planning principles set forth in Iowa Code Chapter 18B.

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.
- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:
 - An evaluation of the character of the surrounding neighborhood, such as:
 - Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
 - Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);
- For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;

- The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;
- Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;
- Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare;
- Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and
- Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. ADDITIONAL APPLICABLE INFORMATION

A previous storage building was located in the same location with an overhead door fronting Army Post Road as the proposed new structure. A semi-truck damaged the original structure in December 2022 and a demolition permit was issued in April 2023. The owner attempted to address the lack of storage with an onsite shipping container. This violated City Code, and a notice was issued on May 1, 2023 by the Neighborhood Services Department. The owner had pre-application meetings in May 2023 to discuss a proposed building addition and in July 2023 to discuss replacement of the accessory structure. While a building addition may have allowed for the maneuvering space necessary to locate an overhead door on a non-street facing façade, a separate accessory structure limits the maneuverability on site due to fire separation requirements between structures. As the owner was unable to proceed with the building addition concept due to the added cost to provide sprinklers throughout, the first site plan for an accessory structure was submitted in September 2023. Staff worked with the design team to address materials requirements and the plan is now compliant with material and landscaping standards. Staff supports the design alternative to allow an overhead door on the street façade of the proposed accessory structure.

III. STAFF RECOMMENDATION

Staff recommends approval of the Public Hearing Site Plan and the requested Type 2 Design Alternative, subject to compliance with all administrative review comments.

Curley's Furniture-Storage Building Addition - Site Plan

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE URBAN DESIGN SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND FEES FOR PERFORMING THE WORK.
- THE URBAN DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS SHALL APPLY TO GRADING, EROSION CONTROL AND ASSOCIATED WORK FOR THE PROJECT.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR MEETING ALL STATE OF IOWA DEPARTMENT OF NATURAL RESOURCES, APPLICABLE CITY, URBAN DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS, OR ANY OTHER CODES, REGULATIONS, OR RESTRICTIONS SET FORTH BY ANY AND ALL GOVERNING AGENCIES.
- NOTIFY OWNER, ENGINEER, AND CITY AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- ALL PROPOSED CONTOURS AND SPOT ELEVATION SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- POST DEVELOPMENT RUNOFF SHALL NOT ADVERSELY AFFECT DOWNSTREAM DRAINAGE FACILITIES OWNERS.
- ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER STRUCTURES OUTSIDE THE CONSTRUCTION LIMITS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- GRADING
 - OWNER/DEVELOPER IS RESPONSIBLE FOR ALL COMPACTION, DENSITY OR ANY OTHER TEST.
 - ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
 - ALL PROPOSED CONTOURS AND SPOT ELEVATION SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB, UNLESS OTHERWISE NOTED.
- EROSION CONTROL
 - IF MORE THAN ONE ACRE OF SOIL IS DISTURBED COMPLY WITH THE STORM WATER POLLUTION PREVENTION PLAN.
 - EXCEPT AS PRELUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED ON ALL DISTURBED AREAS NO LATER THAN THE 14TH DAY AFTER NO CONSTRUCTION ACTIVITY HAS TAKEN PLACE AND ON AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR A PERIOD OF ANOTHER 24 DAYS.
 - THE EROSION CONTROL MEASURES SHALL BE CHECKED REGULARLY, ESPECIALLY AFTER EACH SIGNIFICANT STORM, TO LOCATE DAMAGE AND CONDUCT MAINTENANCE OPERATIONS.
 - THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES OR AS DIRECTED BY THE CITY.
- ANY NEW ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
- MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD, AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND.
- NO FENCE WILL BE CONSTRUCTED WITHOUT PRIOR APPROVAL OF A BUILDING PERMIT.
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR MEETING ALL STATE OF IOWA DEPARTMENT OF NATURAL RESOURCES, APPLICABLE CITY, URBAN DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS, OR ANY OTHER CODES, REGULATIONS, OR RESTRICTIONS SET FORTH BY ANY AND ALL GOVERNING AGENCIES.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- BUILDING HEIGHT: 20 FEET TO EAVES
- IF ROOF TOP MECHANICAL EQUIPMENT IS INSTALLED AT ANY TIME THE OWNER IS TO PROVIDE A ROOF PLAN AND DETAILS FOR HOW IT WILL BE SCREENED.
- PARKING LOT LIGHTING SHALL BE PEDESTRIAN IN SCALE HAVING POLES NO TALLER THAN 20 FEET WITH CUT-OFF DOWN-DIRECTIONAL LIGHT FIXTURES.
- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
- A DUMPSTER ENCLOSURE WILL BE PROVIDED IF A DUMPSTER IS ADDED ONSITE. NO OUTSIDE TRASH RECEPTICAL IS TO BE PROVIDED.
- LANDSCAPING PLANTING SIZES

TREE	1-5 INCH CALIPER
SHRUB	2-3 FEET
EVERGREEN	5 FEET
- ALL WORK IN THE CITY RIGHT-OF-WAY REQUIRES A RIGHT-OF-WAY PERMIT.
- A SIDEWALK / DRIVE APPROACH PERMIT IS REQUIRED.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- BICYCLE PARKING DESIGN AND LOCATION REQUIREMENTS SEE CITY OF DES MOINES CODE SECTION 135.6.3.3. LOCATION ON DRAWING IS FOR 1 BICYCLE PARKING SPACES. 1 SPACE IS REQUIRED BY CODE.
- THE EXISTING SEPTIC SYSTEM SHOULD BE DEMOLISHED/ABANDONED PER CHAPTER 69 OF THE IOWA CODE.
- LIGHT TRESPASS AT PROPERTY LINES SHALL NOT EXCEED 0.5 FOOTCANDLES FOR RESIDENTIAL AND 2.0 FOOT CANDLES FOR COMMERCIAL PROPERTIES. THERE IS NO OUTSIDE LIGHTING BEING PROPOSED.
- THE PRIVATE WATER AND SEWER SERVICES MUST MEET UNIFORM PLUMBING CODE (UPC) AND ALL CITY OF DES MOINES AMENDMENTS TO UPC. DEVELOPER / CONTRACTOR IS RESPONSIBLE FOR VERIFYING PIPE MATERIAL REQUIREMENTS PRIOR TO CONSTRUCTION.
- ALL NEW CABLE, TRANSMISSION, ELECTRIC, OR OTHER UTILITY SERVICES TO THE BUILDING WILL BE INSTALLED BELOW-GROUND.
- THIS PROJECT MUST BE REVIEWED, APPROVED, AND A BUILDING PERMIT ISSUED BEFORE CONSTRUCTION. BUILDING PLAN REVIEW IS A SEPARATE PROCESS FROM SITE PLAN REVIEW. DRAWINGS MUST MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AS WELL AS CHAPTER 135 OF THE PLANNING AND DESIGN ORDINANCE. ALL REQUIRED PROCESSES MUST BE COMPLETE BEFORE A BUILDING PERMIT CAN BE ISSUED.
- THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
- ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
- MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
- ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
- LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
- THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
- ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
- ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH, AND NOT INCLUDING ROCK.

SHEET INDEX

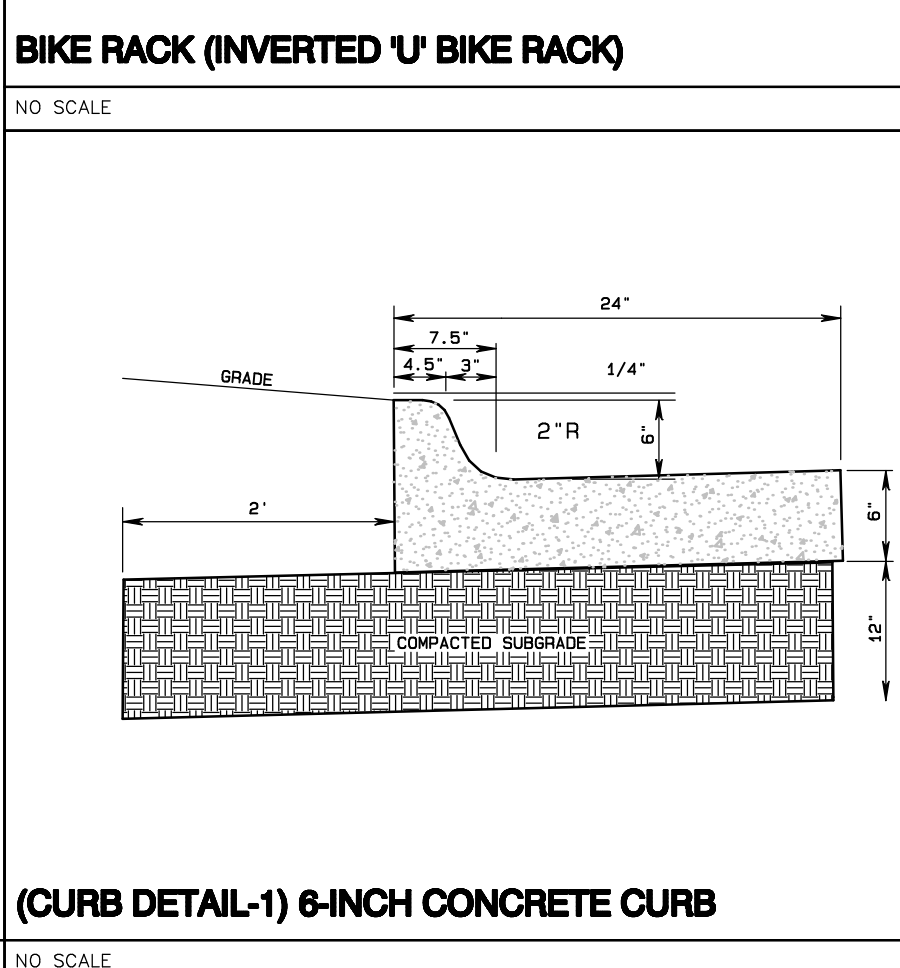
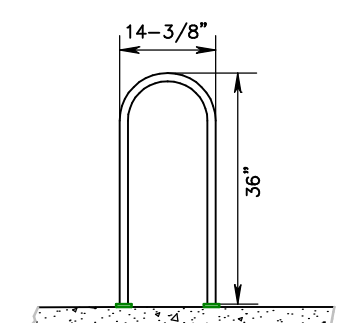
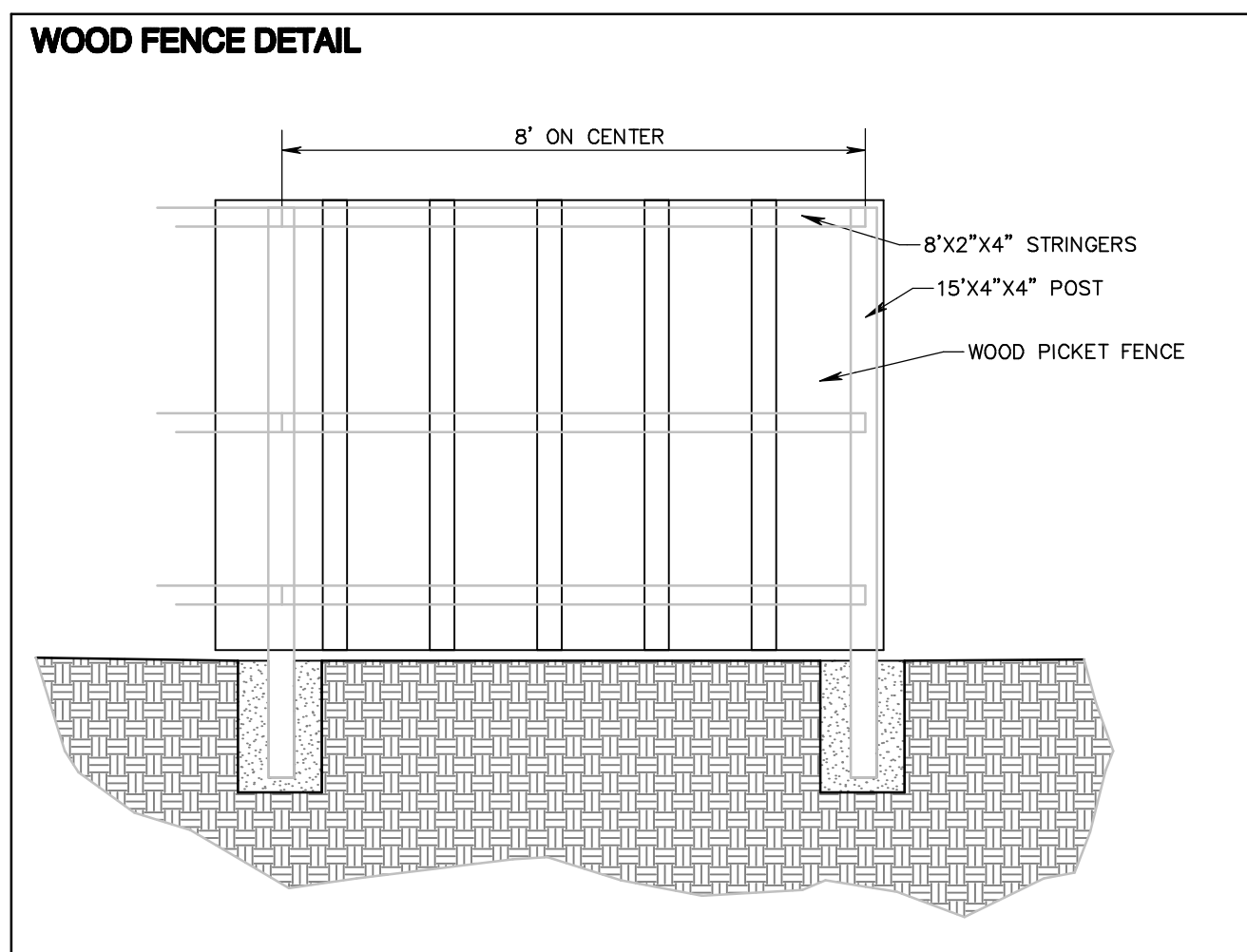
SHEET 1	COVER SHEET
SHEET 2	EXISTING SITE/DEMOLITION PLAN
SHEET 3	DIMENSIONING PLAN
SHEET 4	LANDSCAPING PLAN

CONTACT INFORMATION	SITE LOCATION INFORMATION
OWNER JAMEY MEYER 205 ARMY POST ROAD DES MOINES, IOWA 50315	SITE ADDRESS 205 ARMY POST ROAD DES MOINES, IOWA 50315
OWNER(S) CONTACT JAMEY MEYERS 205 ARMY POST ROAD DES MOINES, IOWA 50315 PHONE #: (515) 285-2163 EMAIL: JAMEYMEYER@MSN.COM	LEGAL DESCRIPTION LOTS 11 & 12, EXCEPT THE SOUTH 5 FEET IN SIMMONS PLACE, AN OFFICIAL PLAT, ALL INCLUDED IN THE CITY OF DES MOINES, POLK COUNTY, IOWA, CONTAINING 0.49 ACRES, MORE OR LESS.
ENGINEERING COMPANY PROJECT MANAGER Victor Pagentini 1830 SE Princeton Drive, Suite M Grimes, Iowa 50111 Email: vicp@aecofia.com Phone #: (515) 255-3156 ext. 2	
ZONING INFORMATION ZONING: MX2 - MIXED-USE DISTRICT	
BUILDING HEIGHT = 12' TO EAVE	
BUILDING TYPE STOREFRONT AND ACCESSORY STRUCTURE - DETACHED GARAGE	
PRINCIPAL USE OF SITE RETAIL SALES - LIMITED USE	
PARKING REQUIREMENTS PARKING REQUIREMENTS 1 SPACE PER 600 SF FOR FURNITURE AND APPLIANCE SALES (7472/600) = 13 SPACES TOTAL REQUIRED = 13 STALLS 60% OF TOTAL = 8 STALLS PROVIDED = 8 STALLS	
BIKE PARKING (1 SPACE PER 4,000 SF BLDING) 2 BIKE SPACE REQUIRED 2 BIKE SPACE PROVIDED	

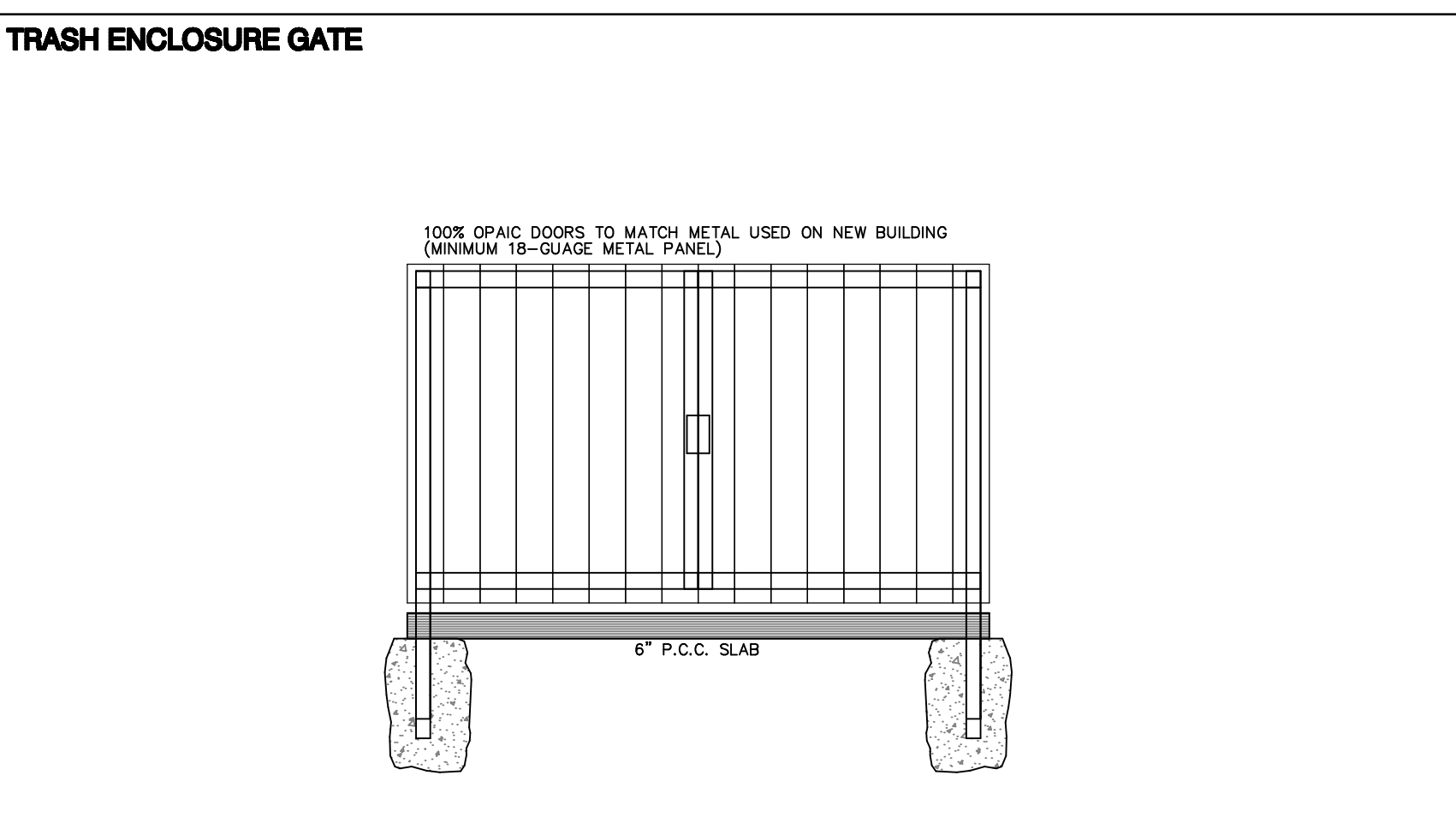
AREA SUMMARY			
EXISTING SITE	21,731 SF	PROPOSED SITE	21,731 SF
BUILDINGS	6,307 SF	BUILDINGS	7,987 SF
GRAVEL	3,900 SF	GRAVEL	0 SF
PAVING	4,862 SF	PAVING	7,644 SF
OPEN SPACE	6,632 SF	OPEN SPACE	6,100 SF
PERVIOUS	6,632 SF (31%)	PERVIOUS	6,100 SF (28%)
IMPERVIOUS	15,039 SF (69%)	IMPERVIOUS	15,631 SF (72%)
FAR	6,307 SF (29%)	FAR	7,987 SF (37%)

VICINITY SKETCH	

AERIAL PHOTO	



ADA PARKING SIGN DETAIL	



ORNAMENTAL STREET FENCE DETAIL																																			
<table border="1"> <thead> <tr> <th>Specifications</th> <th>Material</th> <th>Finish</th> <th>Notes</th> </tr> </thead> <tbody> <tr> <td>Product Type</td> <td>Steel Picket Fence</td> <td>Galvanized</td> <td>As noted</td> </tr> <tr> <td>Thickness</td> <td>1 inch</td> <td>Special Feature</td> <td>Rust Resistant</td> </tr> <tr> <td>Overall Height</td> <td>36 inch</td> <td>Height</td> <td>18 ground</td> </tr> <tr> <td>Overall Width</td> <td>19-1/2 inch</td> <td>Color/Finish</td> <td>Black</td> </tr> <tr> <td>Installation Height</td> <td>36 inch</td> <td>Rough Opening Width</td> <td>72 inch</td> </tr> <tr> <td>Top Style</td> <td>Flat</td> <td>Shipping Dimensions</td> <td>75.00 H x 18.00 W x 1.00 D</td> </tr> <tr> <td>Shipping Weight</td> <td>11.0 lbs</td> <td>Return Policy</td> <td>Regular Return (see Return Policy)</td> </tr> </tbody> </table>				Specifications	Material	Finish	Notes	Product Type	Steel Picket Fence	Galvanized	As noted	Thickness	1 inch	Special Feature	Rust Resistant	Overall Height	36 inch	Height	18 ground	Overall Width	19-1/2 inch	Color/Finish	Black	Installation Height	36 inch	Rough Opening Width	72 inch	Top Style	Flat	Shipping Dimensions	75.00 H x 18.00 W x 1.00 D	Shipping Weight	11.0 lbs	Return Policy	Regular Return (see Return Policy)
Specifications	Material	Finish	Notes																																
Product Type	Steel Picket Fence	Galvanized	As noted																																
Thickness	1 inch	Special Feature	Rust Resistant																																
Overall Height	36 inch	Height	18 ground																																
Overall Width	19-1/2 inch	Color/Finish	Black																																
Installation Height	36 inch	Rough Opening Width	72 inch																																
Top Style	Flat	Shipping Dimensions	75.00 H x 18.00 W x 1.00 D																																
Shipping Weight	11.0 lbs	Return Policy	Regular Return (see Return Policy)																																

SITE PLAN APPROVAL:	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> APPROVED WITH CONDITIONS - SEE EXHIBIT "A"

IN ACCORDANCE WITH SECTION 135-9, 2019 DES MOINES MUNICIPAL CODE, AS AMENDED.

NO CHANGES TO THIS PLAN UNLESS APPROVED IN WRITING FROM THE DEVELOPMENT SERVICES DIRECTOR.

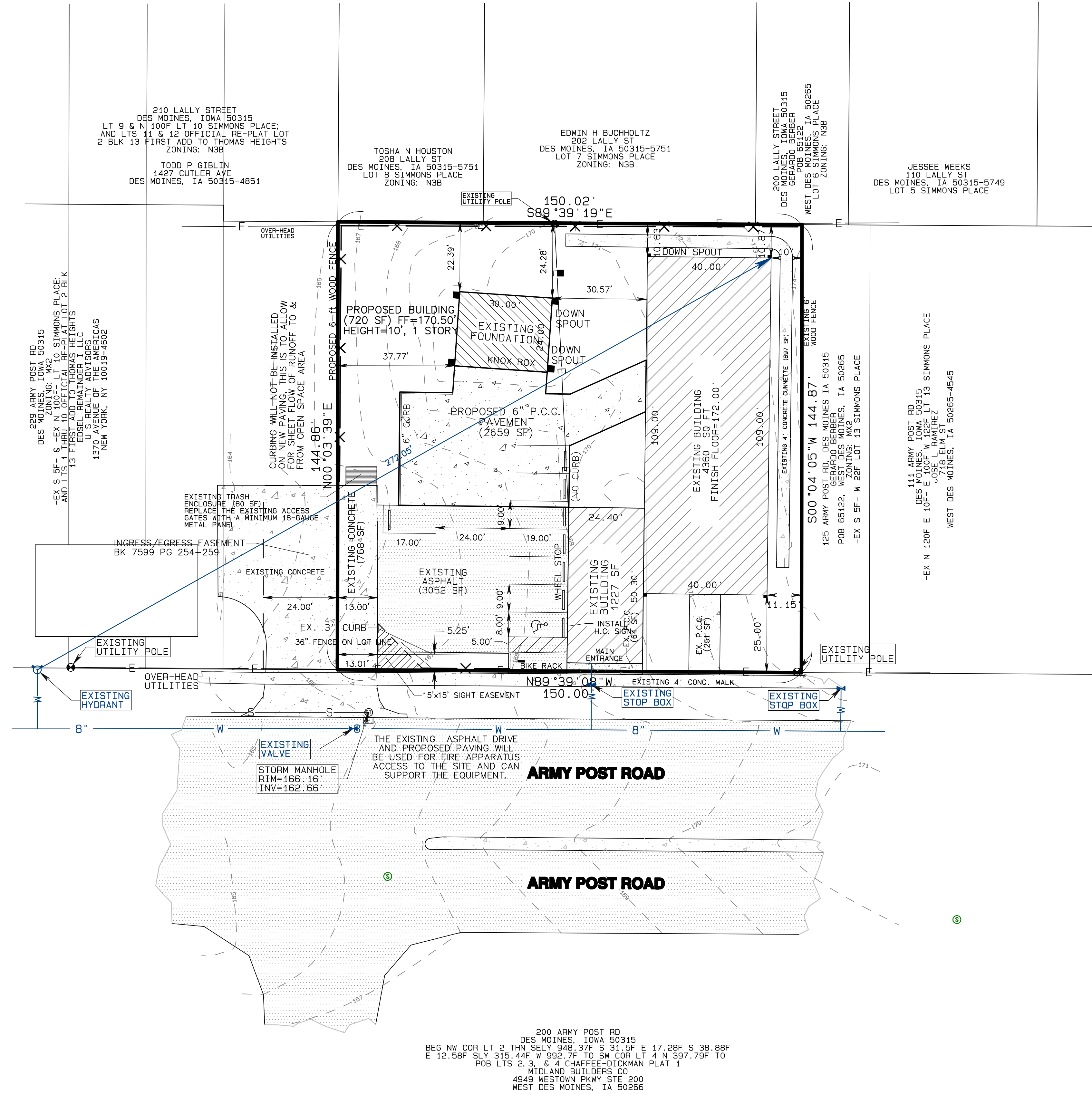
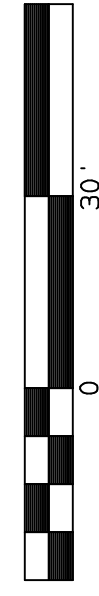
DEVELOPMENT SERVICES DIRECTOR: _____ DATE: _____

REVISIONS	
12-27-23	CITY COMMENTS

CERTIFIED NURSERYMAN	
Approved By:	_____
PAGES COVERED BY THIS CERTIFICATION: PAGE 6	_____
Iowa Certified Nurseryman	_____

ENGINEERING CERTIFICATION	
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.	
SIGNED: NICHOLAUS COFFELT	DATE: FEB 13 2024
PAGES COVERED BY THIS PLAN: 225	1 OF 3

ASSOCIATED ENGINEERING COMPANY OF IOWA
 1520 NW Trimbule Drive Suite 102, Ankeny, Iowa 50023
 Phone: (515) 255-3156 Fax: (515) 255-3157
 AEC
 Curley's Furniture-Storage Building Addition - Site Plan
 COVER SHEET
 DATE SUBMITTED: _____
 DATE PRINTED: Tue Apr 9, 2024
 AEC #: 212525
 SHEET 1



REVISIONS

ASSOCIATED ENGINEERING
AEC COMPANY OF IOWA
1520 NW Trimbule Drive Suite 102, Ankeny, Iowa 50023
Phone: (515) 251-5136 Fax: (515) 251-5157

Curley's Furniture-Storage Building Addition
GRADING PLAN

LANDSCAPING SCHEDULE/REQUIREMENTS

LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE AT PLANTING	QUANTITY
(A-1)	GINKGO	Ginkgo biloba	1.5-inch CALIPER	3 EACH
(A-2)	HONEYLOCUST, THORNLESS	Gleditsia triacanthos var.	1.5-inch CALIPER	2 EACH
(A-3)	BIRCH, RIVER	Betula nigra	1.5-inch CALIPER	1 EACH
(A-4)	NORTHERN RED OAK	Quercus rubra	1.5-inch CALIPER	1 EACH
(A-5)	KENTUCKY COFFEETREE	Gymnocladus dioicis	1.5-inch CALIPER	1 EACH
(B-1)	KARL FORESTER	Calamagrostis acutiflora	5 GALLON	14 EACH
(B-2)	YELLOW TWIG DOGWOOD	Cornus sericea 'Flaviramea'	5 GALLON	0 EACH
(C-1)	CRAB APPLE	Malus sylvestris	1.5-inch CALIPER	0 EACH
(C-2)	EASTERN REDBUD	Cercis canadensis	1.5-inch CALIPER	1 EACH
(C-3)	FLOWERING DOGWOOD	Comus florida	1.5-inch CALIPER	0 EACH
(C-4)	TRIDENT MAPLE	Acer buergerianum	1.5-inch CALIPER	0 EACH
(C-5)	HEDGE MAPLE	Acer campestre	1.5-inch CALIPER	0 EACH

EXISTING EVERGREENS 6 EACH
EXISTING TREES 3 EACH

SITE TREES
20% OF LOT (21,731x0.20 = 4,346 SF/1500=3 TREE)

STREET TREES
REQUIRED
1 TREE EVERY 30- FEET (150/30 = 5 TREES)

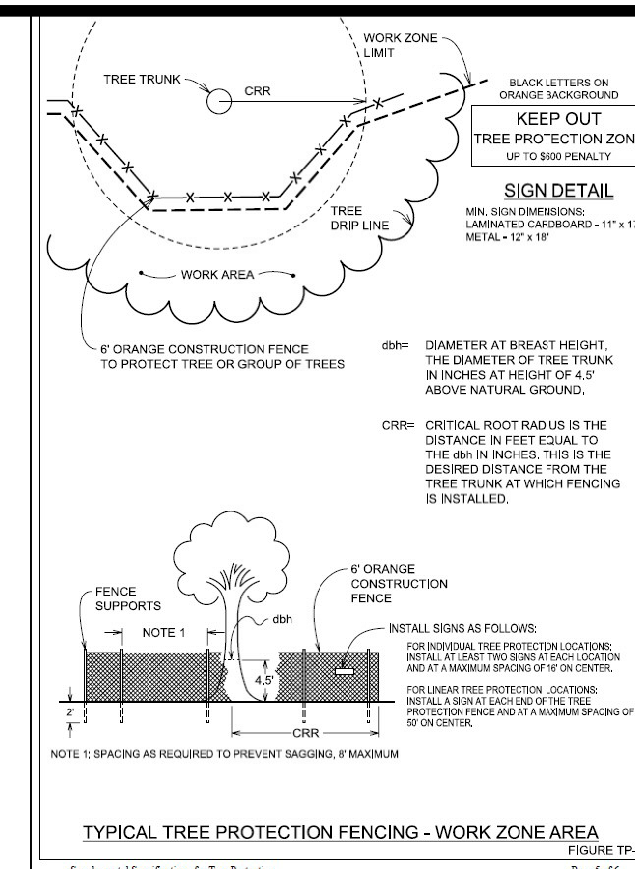
INTERIOR PARKING LOT LANDSCAPE
REQUIRED EVERY PARKING STALL WITHIN 50' OF TREE

CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING AT 515-283-4950.
ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF TREES PRIOR TO PLANTING.

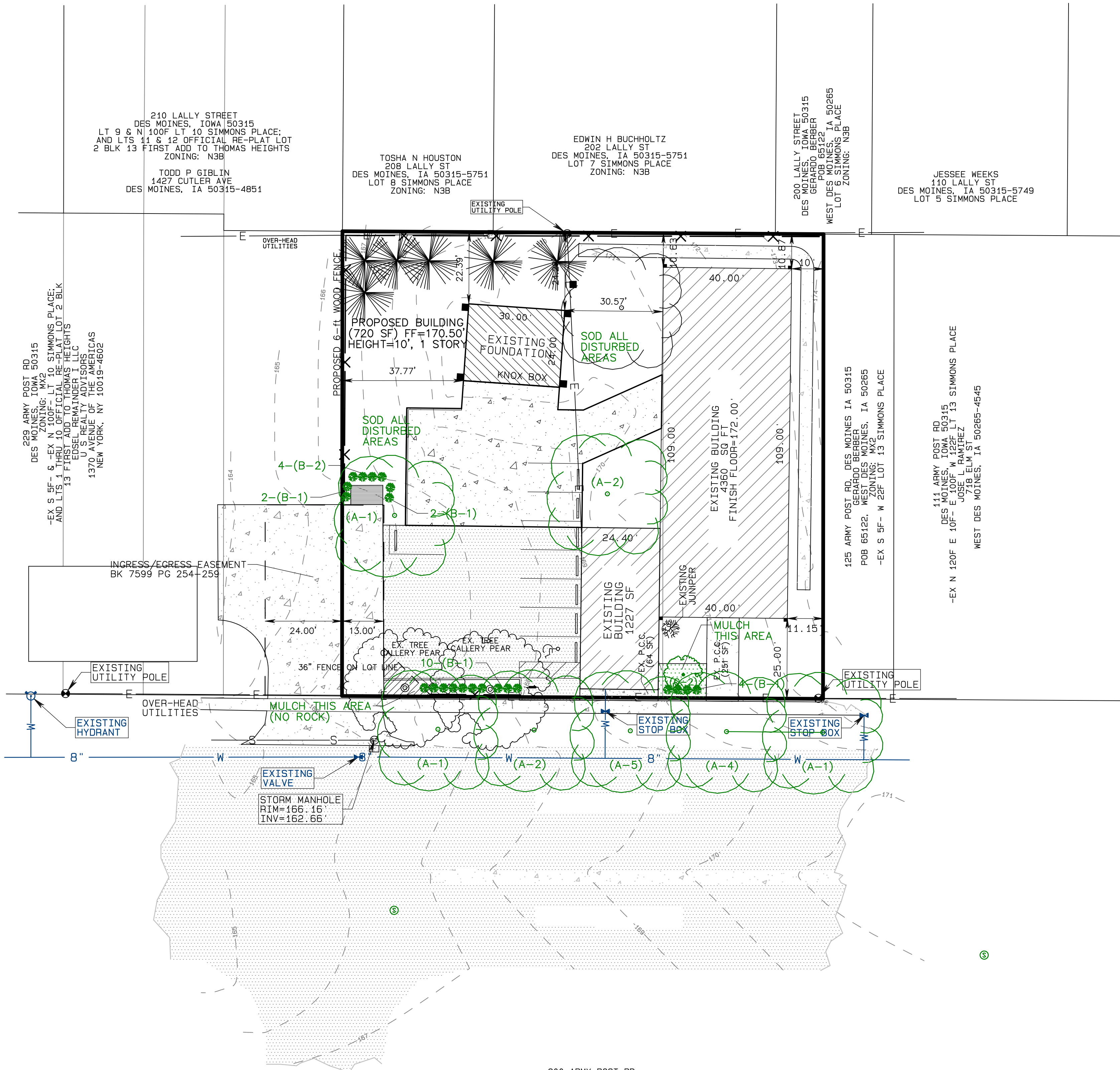
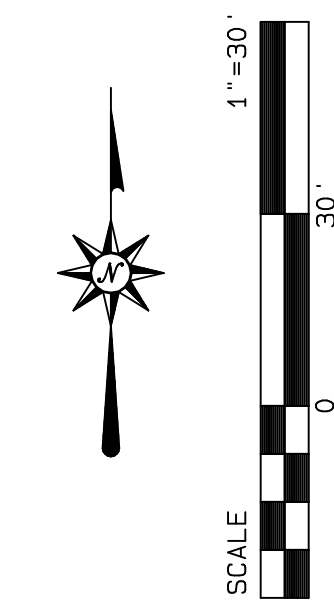
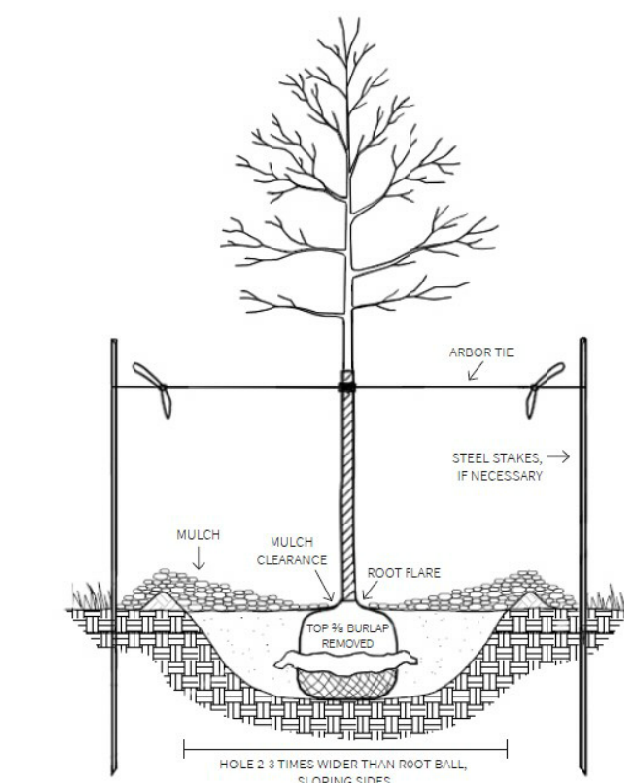
TREE REMOVAL & MITIGATION ORDINANCE OF THE CITY CODE
MITIGATION IS REQUIRED FOR ANY TREES REMOVED FROM THE SITE. AS GRADING AND TREE REMOVAL WAS CONDUCTED PRIOR TO PERMITTING, UTILIZE HISTORIC AERIAL IMAGERY TO PROVIDE A TABLE WITH REQUIRED REPLACEMENT CALCULATIONS UTILIZING THE CANOPY METHOD.
REPLACEMENT TREES ARE REQUIRED AT 1 TREE/700 SF OF CANOPY REMOVED.

AREA OF TREE CANOPY REMOVED 20 SF
TOTAL TREES REQUIRED (0/750) = 0 TREES

(GRAVEL OR OTHER TYPES OF ROCK ARE NOT AN APPROVED GROUNDCOVER MATERIAL.
ANY NEW GROUNDCOVERS WILL BE EITHER HARDSCAPE, GRASSES, OR MULCH, AND WILL NOT INCLUDE ROCK.)



- STEP 1 - PEEL BACK ROPE/BURLAP/CAGE AND REMOVE SUFFICIENT SOIL TO EXPOSE ROOT FLARE.
- STEP 2 - MEASURE FROM ROOT FLARE TO BOTTOM OF ROOT BALL.
- STEP 3 - DIG HOLE TO DEPTH WHERE TOPMOST ROOTS ARE BURIED 1-2 INCHES AND THE ROOT FLARE SITS SLIGHTLY ABOVE GROUND LEVEL. DIG A HOLE 2-3 TIMES WIDER THAN THE DIAMETER OF THE ROOT BALL WITH SLOPING SIDES TO ALLOW FOR PROPER ROOT GROWTH.
- STEP 4 - REMOVE LOWER THIRD OF WIRE CAGE.
- STEP 5 - SET TREE IN HOLE. SUPPORT WITH SOME SOIL. ENSURE THAT IT'S STRAIGHT. THEN REMOVE ENTIRE WIRE CAGE AND TOP TWO-THIRDS OF BURLAP.
- STEP 6 - BACKFILL WITH TWO-THIRDS OF LOOSE NATIVE SOIL (UNLESS IT'S ALL CLAY) AND USE WATER TO SETTLE. DO NOT TAMP OR STEP ON SOIL.
- STEP 7 - BACKFILL BALANCE AND WATER AGAIN. EXCESS SOIL MAY BE USED TO CREATE A BERM/SAUCER OUTSIDE OF ROOT BALL.
- STEP 8 - ADD 2-4 INCHES OF WOOD MULCH, LEAVING A 1- TO 2-INCH CLEARANCE BETWEEN THE MULCH AND THE TRUNK.
- STEP 9 - WATER A FINAL TIME.
- STEP 10 - IF NECESSARY, PLACE TWO OPPOSING STEEL T-STAKES OUTSIDE THE ROOT BALL WITH ARBOR TIES SECURING TREE. TIES PREFERRED ON LOWER HALF OF TRUNK TO ALLOW MOVEMENT.



200 ARMY POST RD
DES MOINES, IOWA 50315
BEG NW COR LT 2 THN SELY 548.37F S 31.5F E 17.28F S 38.88F
E 12.58F SLY 315.44F W 992.7F TO SW COR LT 4 N 397.79F TO
POB LTS 2, 3, & 4 CHAFFEE-DICKMAN PLAT 1
MIDLAND BUILDERS CO
4949 WESTOWN PKWY STE 200
WEST DES MOINES, IA 50266

REVISIONS

**ASSOCIATED ENGINEERING
AEC COMPANY OF IOWA**
1500 NW Granddunes Drive, Suite 102, Ankeny, Iowa 50023
Phone: (515) 255-5156 Fax: (515) 255-5157

PROJECT MANAGER: VALERIE FORD/PHD

DATE PRINTED
Tue Apr 9, 2024

AEC #: 212525

SHEET 4

Curley's Furniture-Storage Building Addition
LANDSCAPING PLAN

Curley's Furniture Outbuilding

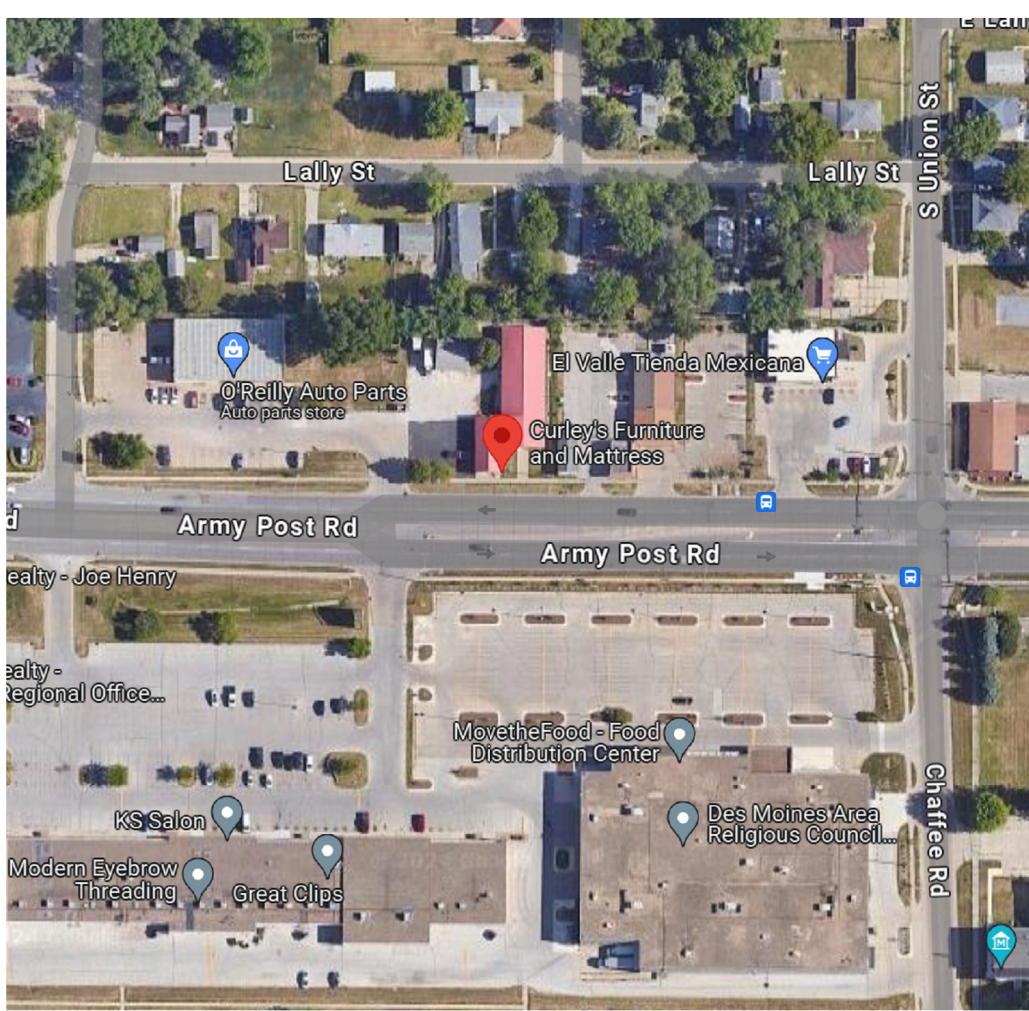
205 Army Post Rd.
Des Moines, Iowa 50315

SHEET LIST

Sheet Number	Sheet Name	Current Revision
A100	Cover + Plans	
A101	Elevations	
A102	Framing Details	

NOTE: THESE DOCUMENTS ARE FOR DESIGN INTENT ONLY AND SHOULD NOT BE PERCEIVED AS MEANS AND METHODS. EACH CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM CODE IN THE JURISDICTION HAVING AUTHORITY. ALL MATERIALS TO BE INSTALLED PER THE MANUFACTURERS INSTRUCTIONS. ALL EXISTING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THIS SET OF DOCUMENTS DOES NOT INCORPORATE ANY CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, OR STRUCTURAL ENGINEERING DOCUMENTATION. ANY DISCREPANCIES IN THE DRAWINGS OR CHANGES NECESSITATED BY FIELD CONDITIONS SHOULD BE COORDINATED WITH THE OWNER.

LOCATION



PROJECT OUTLINE

THIS PROJECT IS INTENDED TO RECONSTRUCT A 10 FOOT TALL GARAGE ON AN EXISTING 24' X 30' CONCRETE PAD.

OWNER

Contact: Joey Meyer
Curleysfurniture@live.com
p: (515) 201-8239

CIVIL ENGINEER

AEC of Iowa
Contact: Vic Piagentini
vicp@aecofiowa.com
p: (515) 255-3156

ARCHITECT

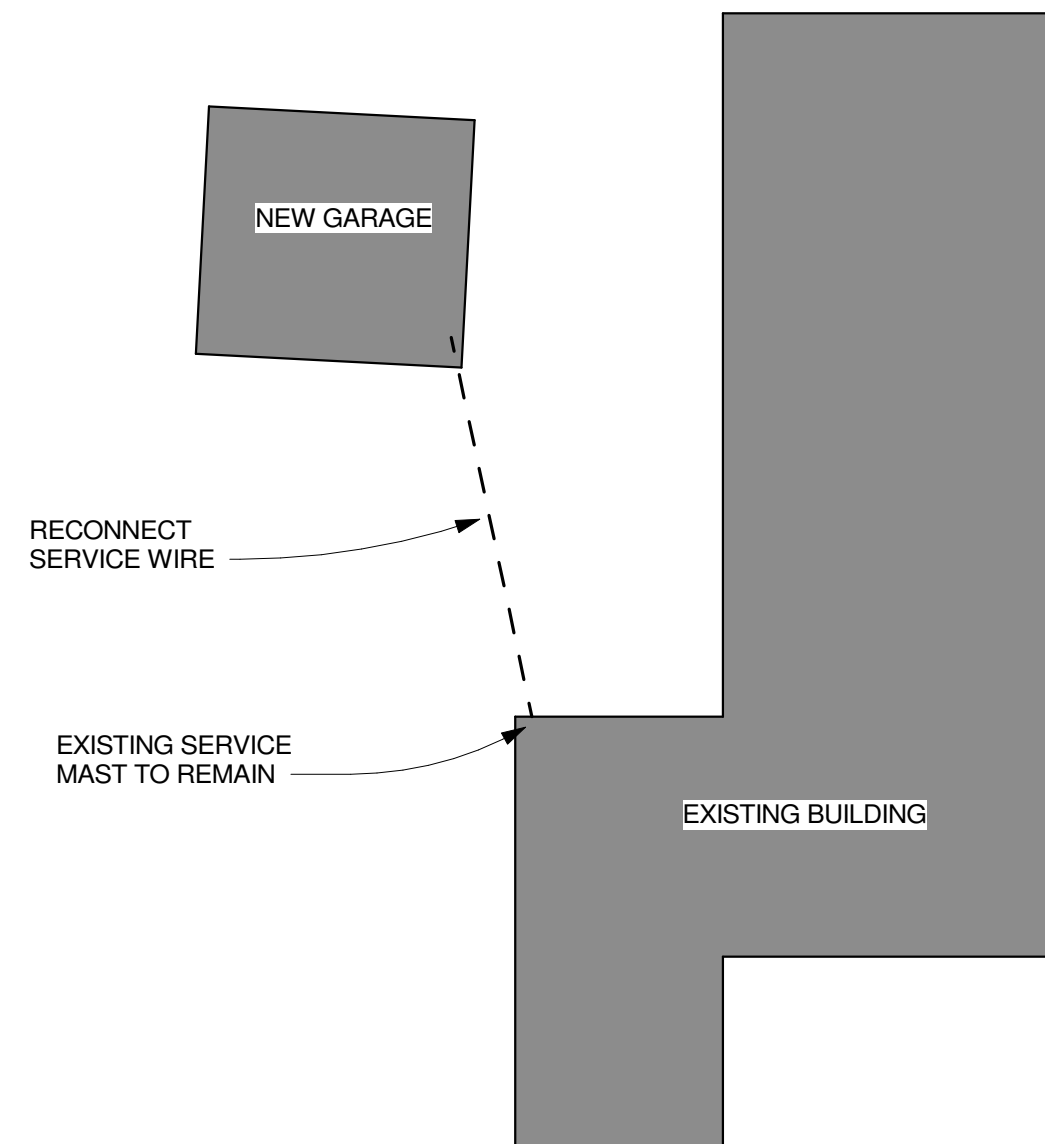
Elevated Builders, LLC
Contact: Paul Gehrke
pgehrke@elevatedbuilders.com
p: (641) 373-3803
License # 07375



I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed architect under the laws of the state of Iowa

Signature: *Paul Gehrke* Date: 03/25/24

Printed or typed name: Paul Gehrke
License Number: 07375
License renewal date is June 30, 2024
Pages or sheets covered by this seal: A100, A101, A102



CITY OF DES MOINES, IA PLAN REVIEW DATA

PROJECT DESCRIPTION: THIS PROJECT IS INTENDED TO CONSTRUCT A CONVENTIONAL WOOD FRAMED GARAGE OUTBUILDING TO REPLACE THE EXISTING GARAGE OF THE SAME SIZE. THE SLAB AND FROST FOOTINGS ARE EXISTING TO REMAIN.

- I. APPLICABLE CODES:
 - 2021 International Building Code
 - 2021 International Residential Code
 - 2021 International Existing Building Code
 - 2021 State Mechanical Code (Based on the 2021 International Mechanical Code)
 - 2018 National Fuel Gas Code, NFPA 54 as adopted by the State of Iowa
 - 2021 International Fire Code
 - 2020 National Electrical Code, NFPA 70
 - State Plumbing Code (Based on the 2021 Uniform Plumbing Code)
 - 2015 International Energy Conservation Code
- II. OCCUPANCY CLASSIFICATION (PER IBC CHAPTER 3)
GROUP S1 : GENERAL STORAGE, MODERATE HAZARD
NO STORAGE OF GROUP A PLASTICS, TIRES, OR COMBUSTIBLES. NO HIGH PILE STORAGE
- III. OCCUPANT LOAD (PER TABLE 1004.5, IBC)
NA - NON OCCUPIED OUTBUILDING
- IV. CONSTRUCTION TYPE (PER IBC 601)
TYPE V-B , UNPROTECTED, UN-SPRINKLERED (UNDER 10,000 SF)
0 HR FIRE RATING FOR ALL WALLS, PARTITIONS, STRUCTURAL FRAME, FLOOR AND ROOF (PER TABLE 601, IBC)

403.1.6 WOOD SILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2 INCH DIAMETER ANCHOR BOLTS SPACED NOT GREATER THAN 6 FEET ON CENTER. BOLTS SHALL EXTEND NOT LESS THAN 7 INCHES INTO CONCRETE. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL NOT BE FEWER THAN TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES OR LESS THAN SEVEN BOLT DIAMETER FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SILL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DECAY AND TERMITES WHERE REQUIRED BY SECTIONS R317 AND R318.

CHAPTER 5 - FLOORS

FRAMING MATERIALS GRADES
A. ROOF, FLOOR AND WALL SHEATHING: APA RATED SHEATHING (LEAVE 1/8" SPACING AT PANEL ENDS AND EDGES)
B. WALL STUDS: MINIMUM SPF STUD OR DOUGLAS FIR LARCH STUD
C. WALL PLATES: MINIMUM SPF #2 OR BETTER
D. DIMENSIONAL HEADERS: DOUGLAS FIR #2 OR BETTER
E. LVL HEADERS: 2950 FB/2.0E MINIMUM

R502.6 THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1.5 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON CONCRETE

CHAPTER 6 - WALL CONSTRUCTION

R602.3 REFER TO TABLE R602.3(1) THROUGH TABLE R602.3(4) FOR FRAMING MEMBER FASTENING
R602.6 DRILLING AND NOTCHING, REFER TO FIGURE R602.6(1) AND R602.6(2)
R602.7 THE ALLOWABLE SPANS OF GIRDERS/HEADERS FABRICATED FROM DIMENSIONAL LUMBER ON EXTERIOR WALLS SHALL NOT EXCEED THE VALUES OF TABLE R602.7(1)
R602.8 FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND ROOF SPACE.

CHAPTER 3

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD: 30 PSF
WIND DESIGN
SPEED MPH: 115
TOPOGRAPHIC EFFECTS: NO
SPECIAL WIND REGION: NO
WIND-BORNE DEBRIS ZONE: NO
SEISMIC DESIGN CATEGORY: A

SUBJECT TO DAMAGE FROM WEATHERING:
SEVERE
FROST LINE DEPTH: 42 INCHES
TERMITE: MODERATE

WINTER DESIGN TEMP: 0
ICE BARRIER UNDERLAYMENT REQUIRED: YES
FLOOD HAZARDS: DECEMBER 2007
AIR FREEZING INDEX: 2000
MEAN ANNUAL TEMP: 48.6

Electrical Notes

1. ALL ELECTRICAL TO BE INSTALLED TO MINIMUM CODE IN THE JURISDICTION HAVING AUTHORITY
2. WIRE IS COILED AT EXISTING BUILDING FOR RECONNECTION. ELECTRICAL CONTRACTOR TO FIELD VERIFY CONDITION PRIOR TO BID
3. NO POWER TO BE INSTALLED ON CEILING AT GARAGE DOOR/OPENER
4. INSTALL (2) KEYLESS LIGHT FIXTURES ON A SWITCH BY THE MAN DOOR
5. INSTALL (1) 30 AMP OUTLET ON WEST WALL
6. NEW SUB PANEL TO BE 30 AMP MIN.
7. PROTECT EXPOSED WIRING IN CONDUIT (NO WALL PANELING)

Framing Notes

1. ALL WALLS SHOWN ARE 2X4 UNLESS NOTED OTHERWISE
2. SHEAR WALL BRACED FRAMING TO BE BOTH SIDES OF GARAGE DOOR
3. ANCHOR PRESSURE TREATED SILL PLATE EVERY 6'-0" MAXIMUM AND WITHIN 12" OF CUTS
4. HEADER AND TRUSSES DESIGNED BY PLUM BUILDING SYSTEMS
5. ALL DIMENSIONS ARE TO FINISHED FACE OF WALL UNLESS NOTED OTHERWISE
6. ALL ROOF AND WALL SHEATHING TO BE 5/8" APA RATED, STAGGER JOINTS
7. BUILDING WRAP TO BE STAPLED, NOT NAILED
8. NO INTERIOR WALL OR CEILING PANELING TO BE APPLIED
9. REFER TO TRUSS DRAWINGS FOR LATERAL BRACING AND STRAPPING REQUIREMENTS

Door Schedule

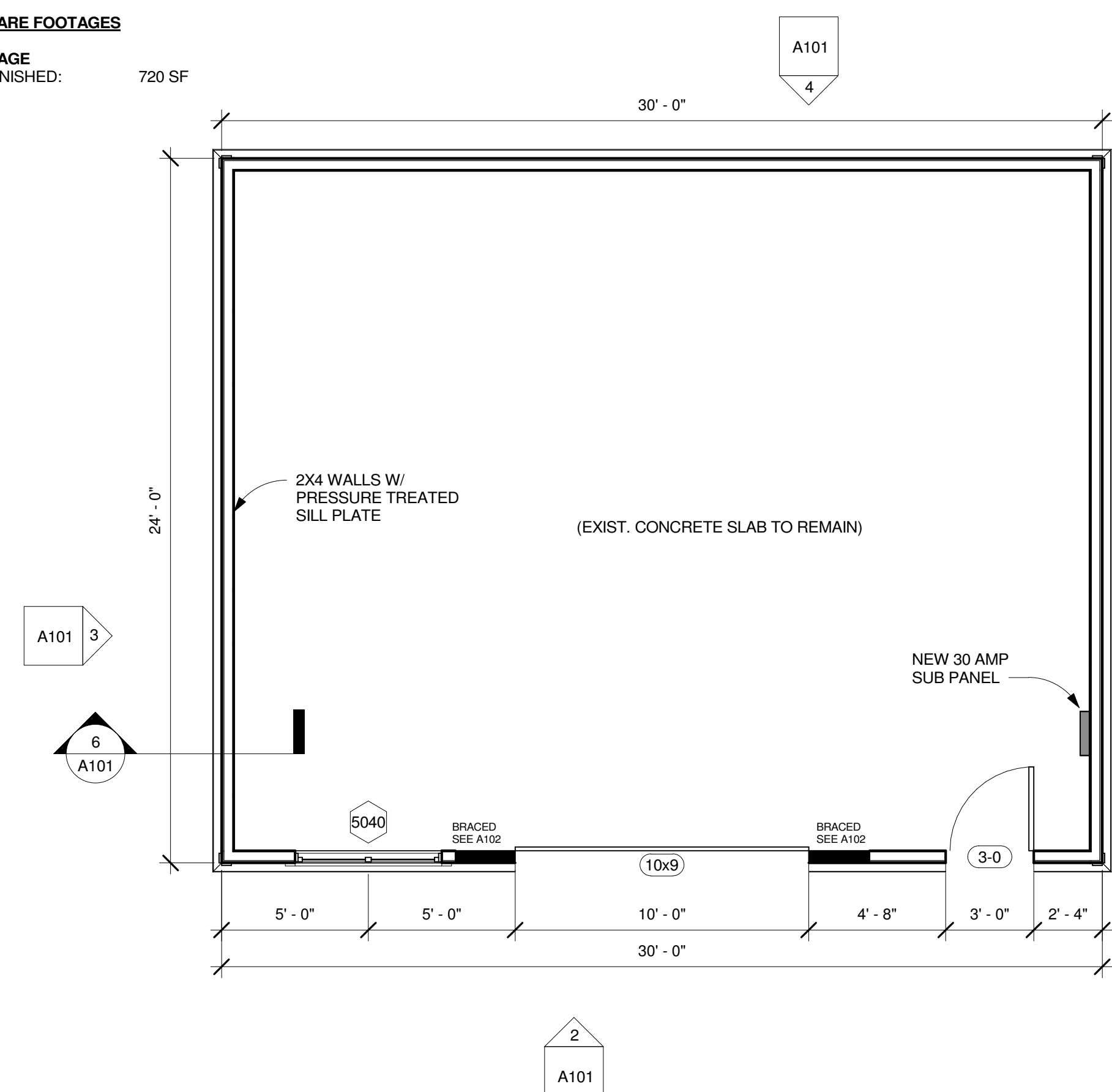
Type Mark	Width	Rough Width (+2")	Height	Rough Height (+3")	Description
3-0	3' - 0"	3' - 2"	6' - 8"	6' - 11"	Steel
10x9	10' - 0"	10' - 0"	9' - 0"	9' - 0"	Overhead Garage - No Opener
Grand total: 2					

Window Schedule

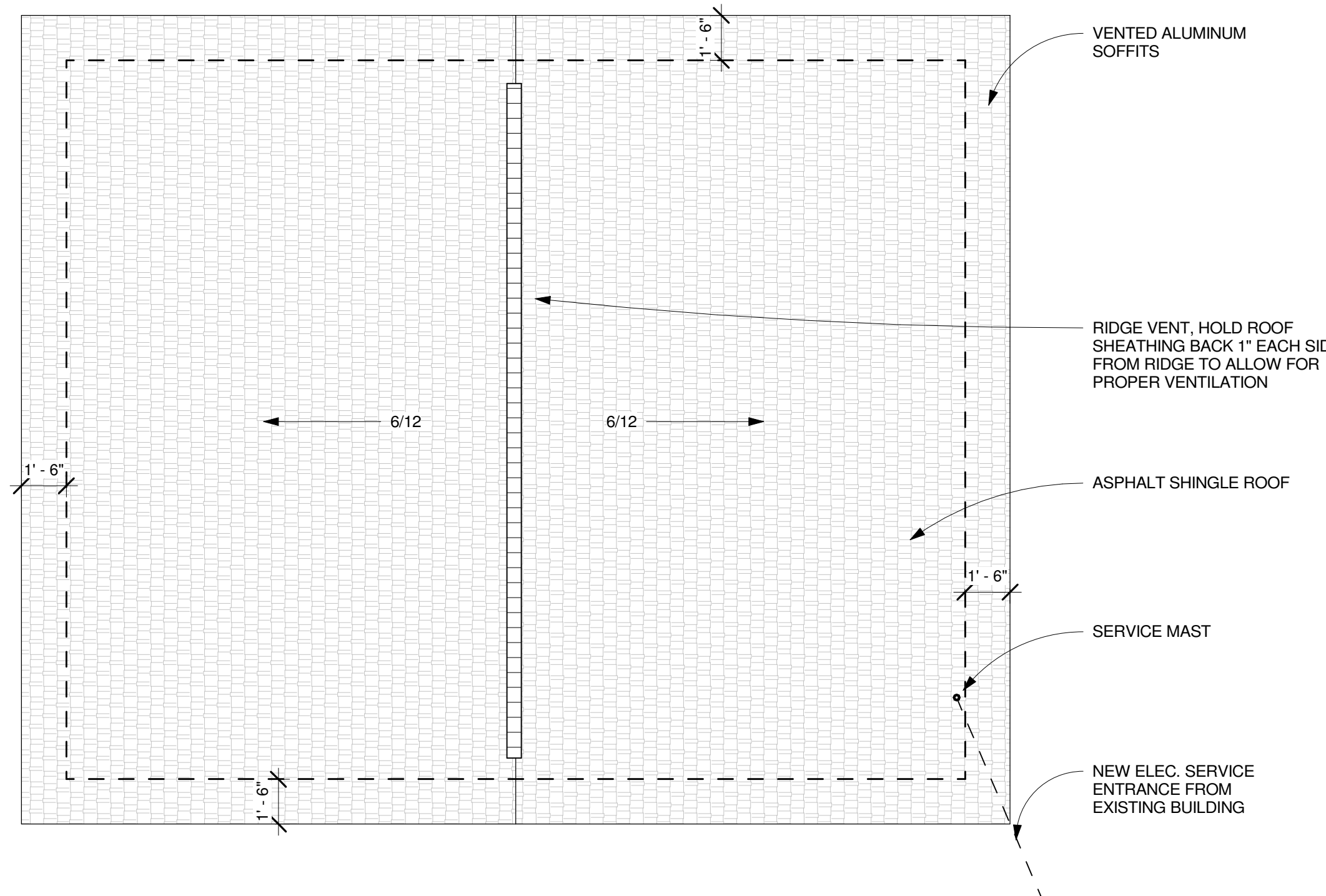
Type Mark	Count	Width	Height	Head Height	Description
5040	1	5' - 0"	4' - 0"	7' - 0"	Vinyl Single Hung - Double
Grand total: 1					

SQUARE FOOTAGES

GARAGE UNFINISHED: 720 SF



1 Floor Plan - Garage
1/4" = 1'-0"



4 Roof Plan
1/4" = 1'-0"

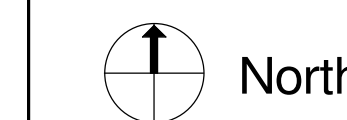


Elevated Builders LLC
1011 N Ankeny Blvd, # 1141, Ankeny, Iowa 50021
(515) 446-8126

These documents may not be reproduced in any form without the written consent of Elevated Builders, LLC

SHEET SIZE:
ARCH D - 24" X 36"

Curleys Furniture
205 Army Post Rd
Des Moines, IA 50315



0 Issue 01 5.2.24
Issues Date

Drawn _____

Checked _____

Cover + Plans

A100

ARCHITECTURAL MATERIAL SPECIFICATIONS:

METAL WALL PANEL
 PROFILE: CLASSIC RIB (R PANEL)
 FASTENER: EXPOSED, COLOR MATCHED
 GAUGE: 24 GAUGE STEEL, MINIMUM
 BODY COLOR: TO MATCH EXISTING - TAN
 TRIM COLOR: TO MATCH EXISTING - RED
 NOTE: OWNER RETAINS RIGHT TO USE DIFFERENT
 RIBBED METAL SUPPLIER IF THE COLOR, RIBBED PATTERN,
 AND GAUGE REMAINS THE SAME AND MATCHES THE
 EXISTING BUILDING

STUCCO
 BRAND: DRYVIT STUCCOAT ONE-COAT SYSTEM
 COLOR: MATCH TAN METAL
 TYPE: CEMENT PLASTER, IMPACT AND CRACK RESISTANT
 WARRANTY: 10 YEARS
 CONTACT: P&P STONE, SALVADOR PEREZ
 CONTACT PH: 515-988-9863

OTHER ITEMS:

SOFFIT - PREFINISHED METAL SOFFIT
 TYPE - ALUMINUM
 STYLE - VENTED
 COLOR - RED

FASCIA - PREFINISHED METAL
 TYPE - ALUMINUM
 COLOR - RED

GUTTERS + DOWNSPOUTS
 NONE

SHINGLES
 MANUFACTURER - TIMBERLINE
 TYPE - NS - NATURAL SHADOW
 COLOR - CHARCOAL
 NOTE: ICE BARRIER UNDERLAYMENT REQUIRED

WINDOW
 MFR: WINDSOR WINDOWS
 TYPE: VINYL - SINGLE HUNG
 COLOR: WHITE
 TRANSMITTANCE: 56% (50% MIN.)
 REFLECTANCE: <25%
 U VALUE: .26
 NOTE: OWNER OPTION TO USE FIXED PANES
 IN LIEU OF OPERABLE PANES FOR SECURITY

Door Schedule					
Type Mark	Width	Rough Width (+2")	Height	Rough Height (+3")	Description
3-0	3' - 0"	3' - 2"	6' - 8"	6' - 11"	Steel
10x9	10' - 0"	10' - 0"	9' - 0"	9' - 0"	Overhead Garage - No Opener
Grand total: 2					

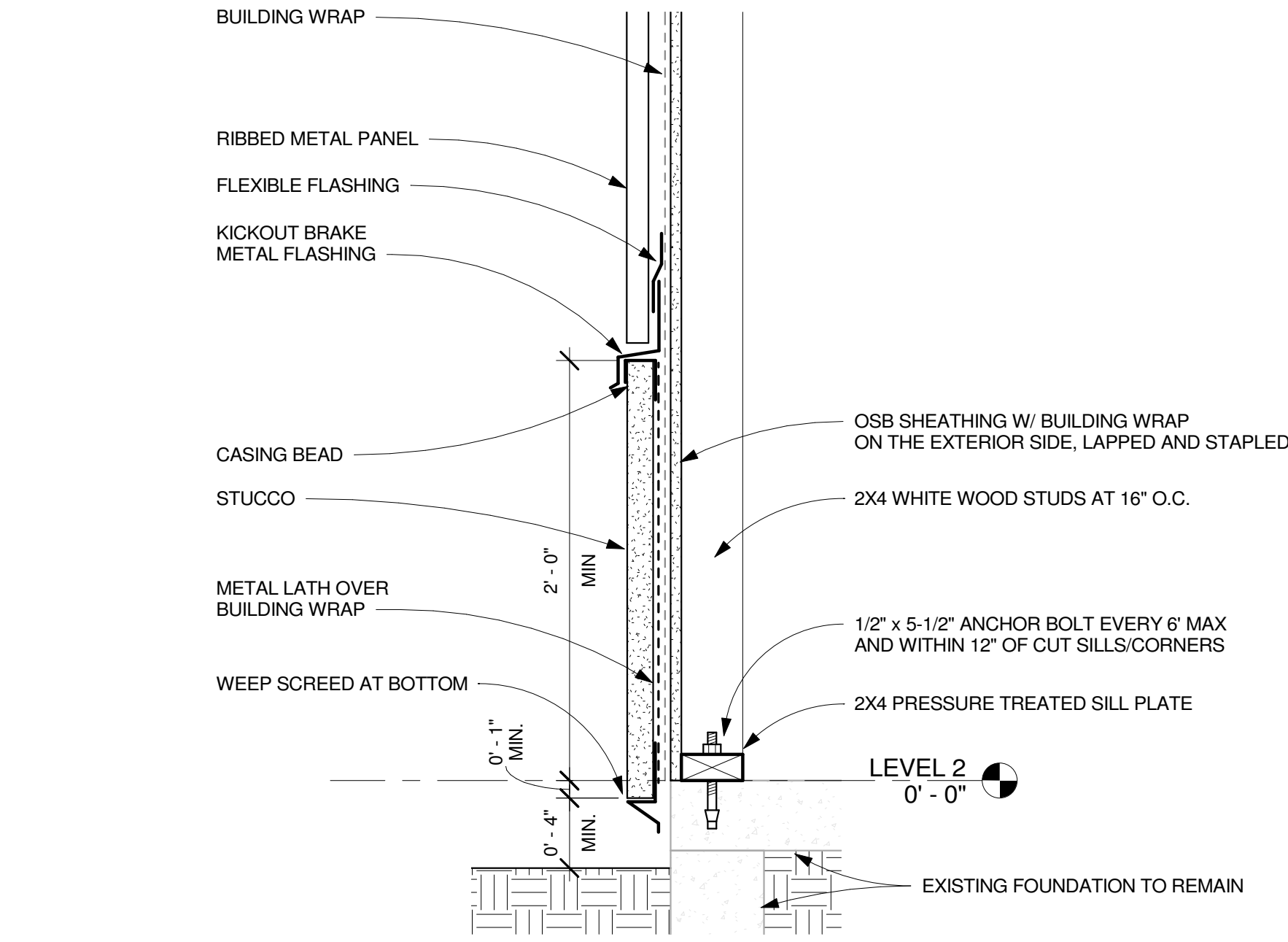
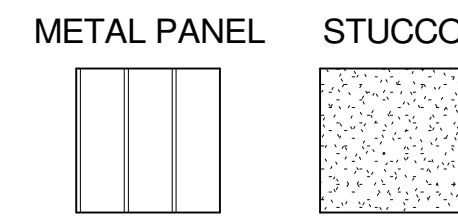
Window Schedule					
Type Mark	Count	Width	Height	Head Height	Description
5040	1	5' - 0"	4' - 0"	7' - 0"	Vinyl Single Hung - Double
Grand total: 1					

GARAGE DOOR
 TYPE: STEEL - WOODGRAIN
 PANEL: FLAT
 COLOR: WHITE
 SIZE: 10' WIDE X 9' TALL
 NOTE: OWNER RETAINS RIGHT TO USE DIFFERENT OVERHEAD DOOR
 SUPPLIER IF THE COLOR, AND PANEL TYPE REMAINS THE SAME

INSULATION
 NONE

DOORS
 COLOR - WHITE

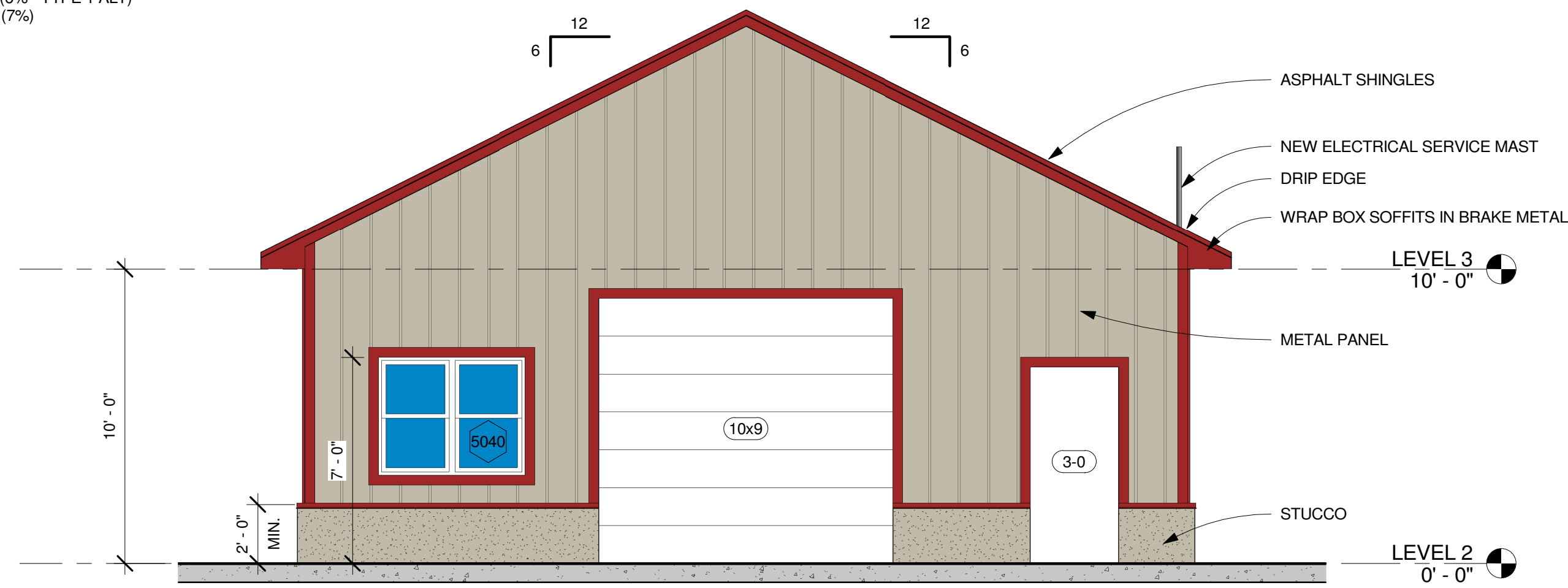
Siding Legend



⑥ Section 1
 1 1/2" = 1'-0"

MATERIAL BREAKDOWN

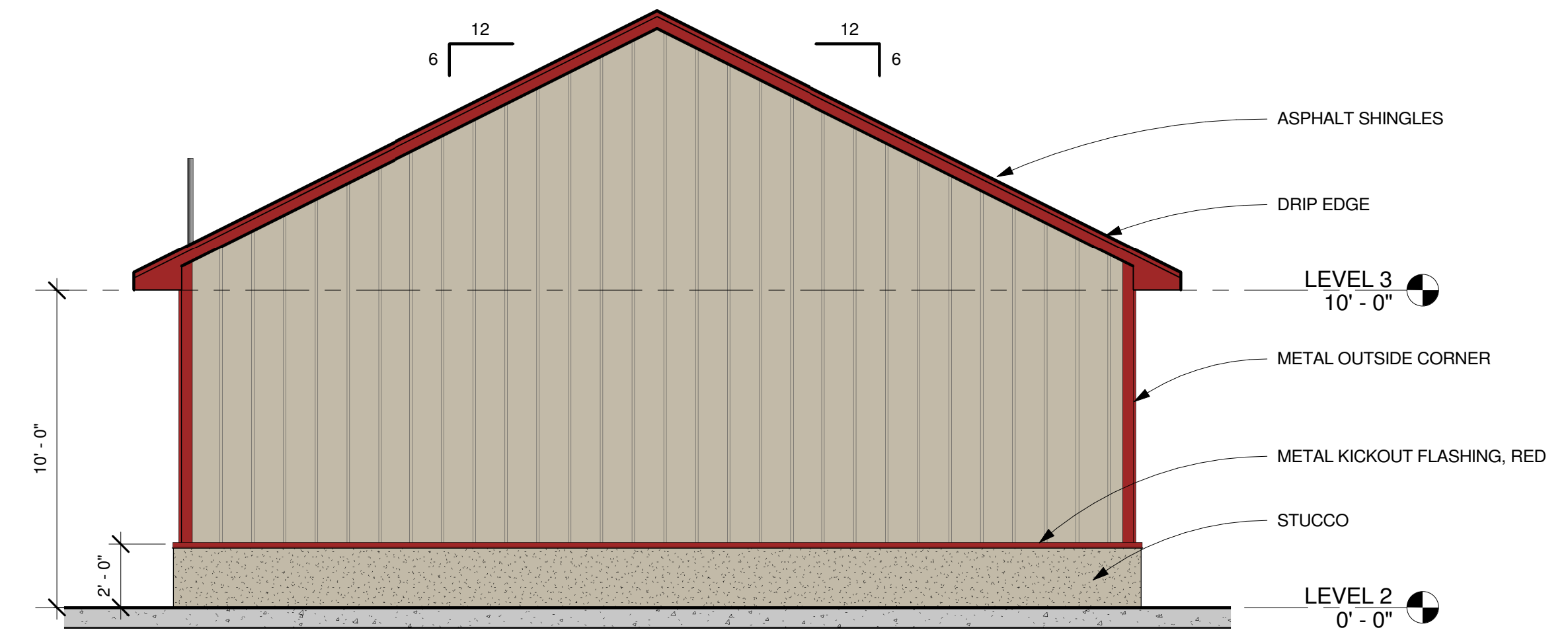
SOUTH WALL (MAJOR FACADE) = 300 SF
 GARAGE/MAN DOORS = 110 SF (37%)
 METAL PANEL = 135 SF (45%)
 STUCCO = 34 SF (11%)
 GLAZING RQMT = 18 SF (6% - TYPE 1 ALT)
 GLAZING SHOWN = 20 SF (7%)



② Elevation - Front (Major)
 1/4" = 1'-0"

MATERIAL BREAKDOWN

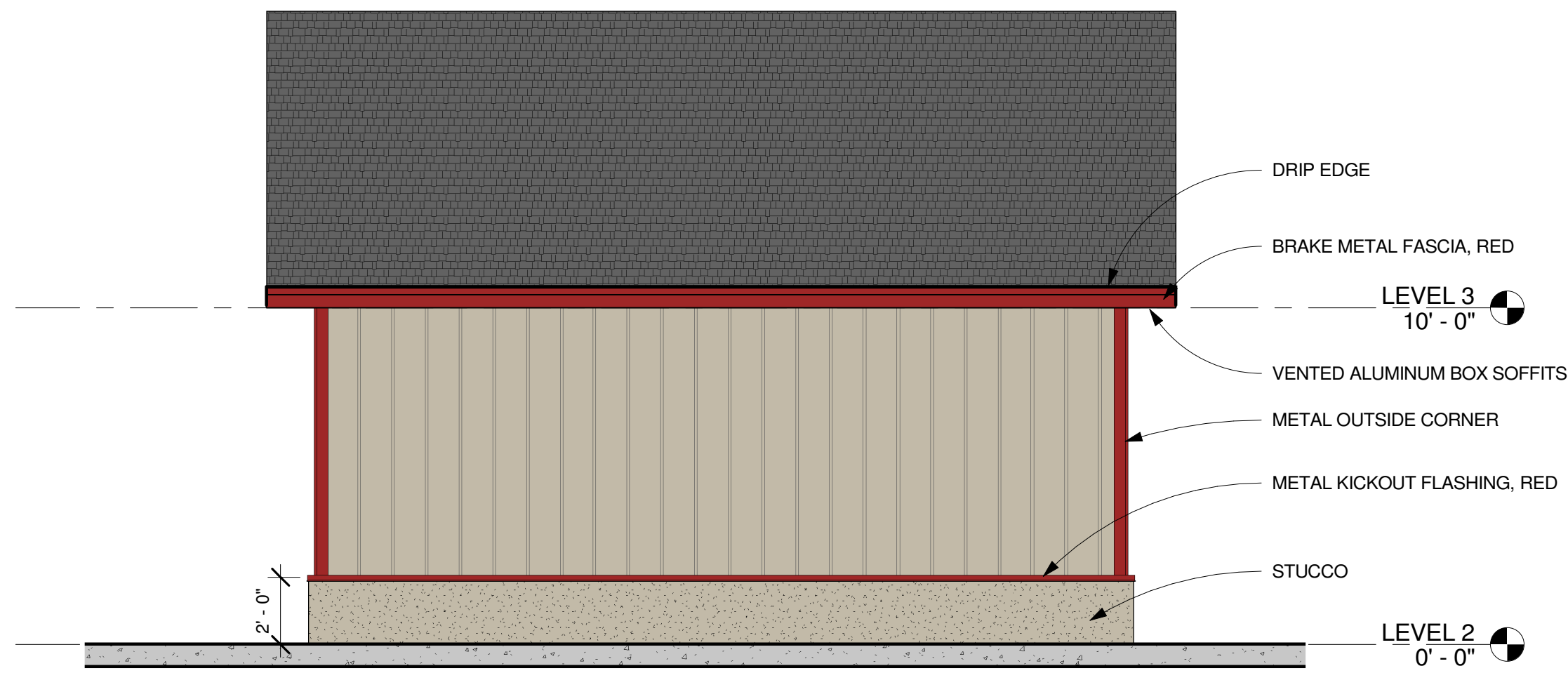
NORTH WALL (MINOR FACADE) = 300 SF
 METAL PANEL = 240 SF (80%)
 STUCCO = 60 SF (20%)



④ Elevation - North
 1/4" = 1'-0"

MATERIAL BREAKDOWN

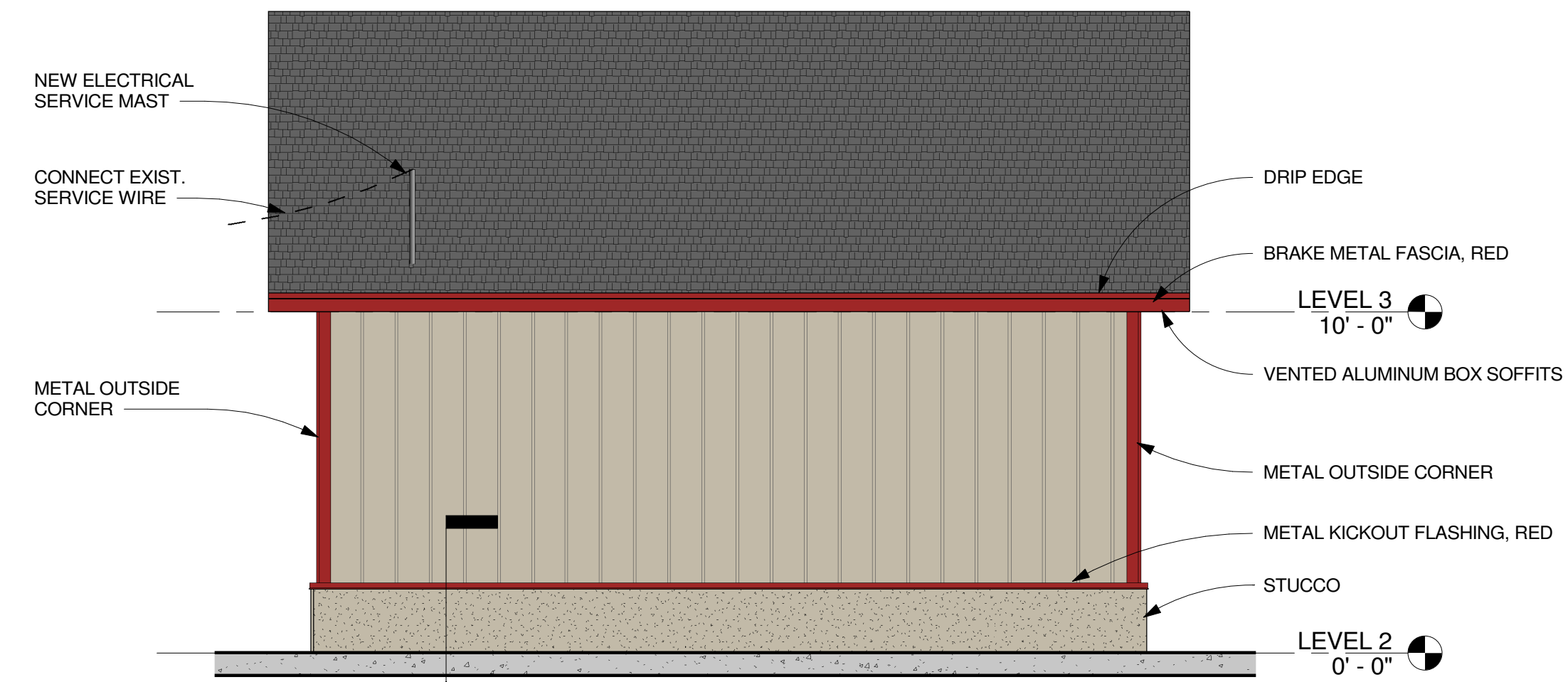
WEST WALL (MINOR FACADE) = 240 SF
 METAL PANEL = 192 SF (80%)
 STUCCO = 48 SF (20%)



③ Elevation - West
 1/4" = 1'-0"

MATERIAL BREAKDOWN

EAST WALL (MINOR FACADE) = 240 SF
 METAL PANEL = 192 SF (80%)
 STUCCO = 48 SF (20%)



① Elevation - East
 1/4" = 1'-0"



Elevated Builders LLC
 1011 N Ankeny Blvd, #
 1141, Ankeny, Iowa 50021
 (515) 446-8126

These documents may not be reproduced in any form without the written consent of Elevated Builders, LLC

SHEET SIZE:
 ARCH D - 24" X 36"

Curleys Furniture
 205 Army Post Rd
 Des Moines, IA 50315



0 Issue 01 5.2.24
 Issues Date

Drawn _____
 Checked _____

Elevations

A101

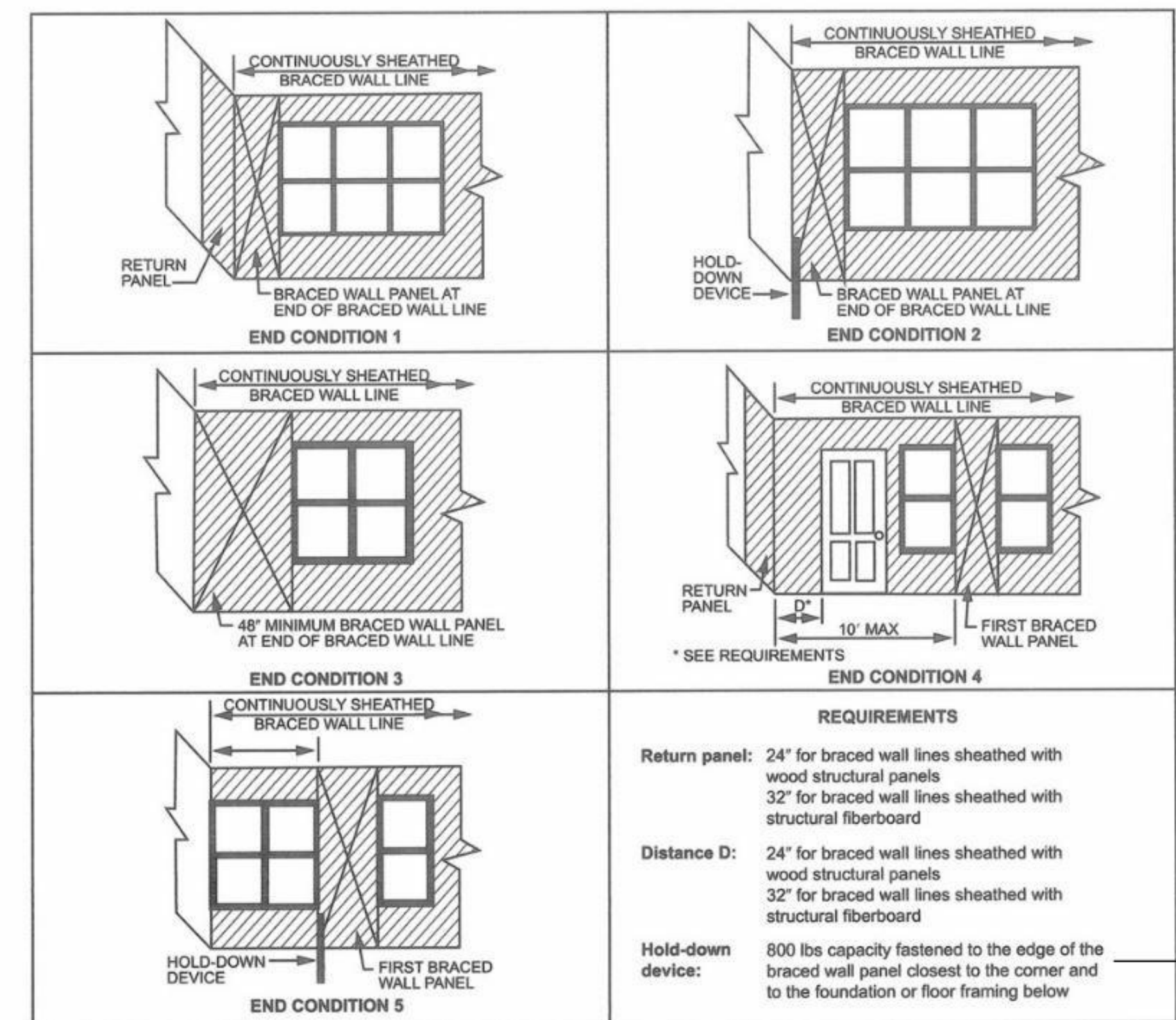
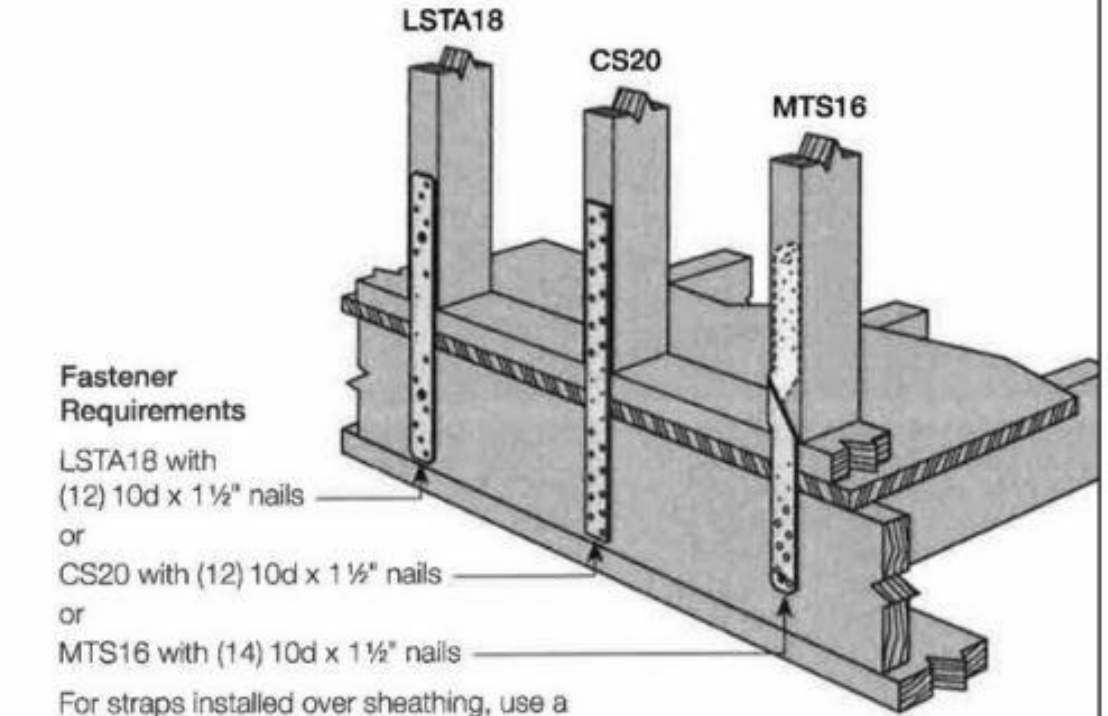
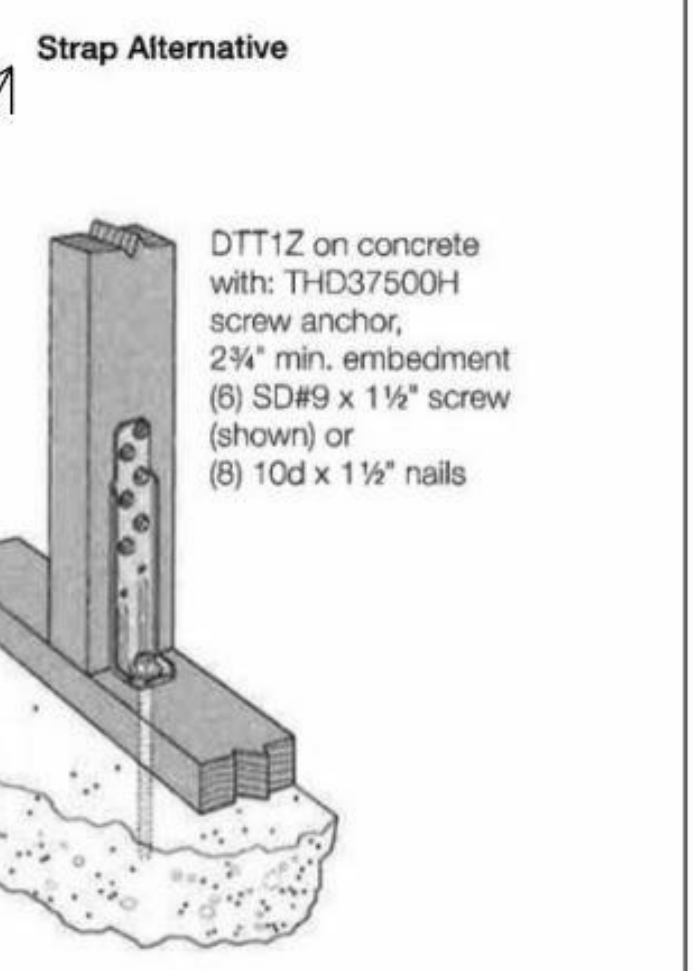


FIGURE R602.10.7
END CONDITIONS FOR BRACED WALL LINES WITH CONTINUOUS SHEATHING

1 CS-END CONDITIONS
Scale: 1/4" = 1'-0"



Fastener Requirements
LSTA18 with (12) 10d x 1 1/2" nails
or
CS20 with (12) 10d x 1 1/2" nails
or
MTS16 with (14) 10d x 1 1/2" nails
For straps installed over sheathing, use a 2 1/2" long fastener, minimum.



DTT12

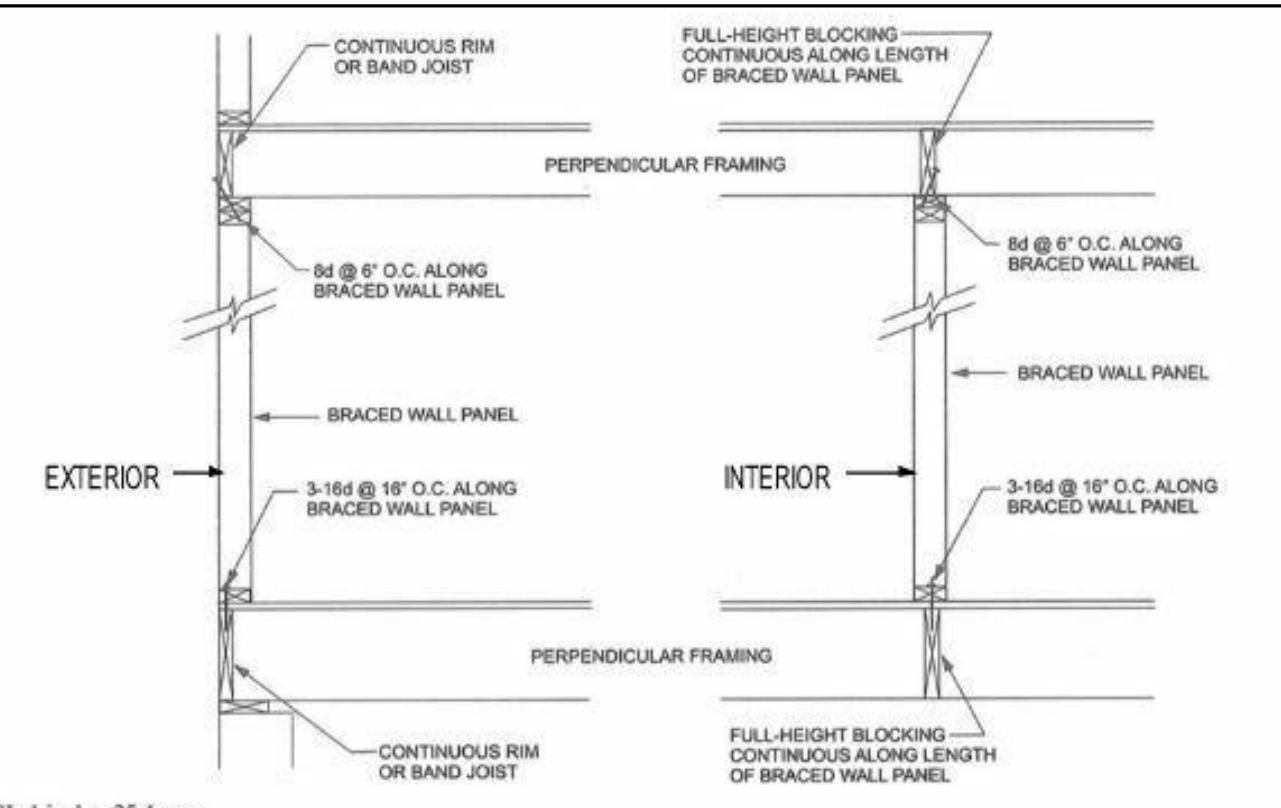


FIGURE R602.10.8(1)
BRACED WALL PANEL CONNECTION WHEN PERPENDICULAR TO FLOOR/CEILING FRAMING

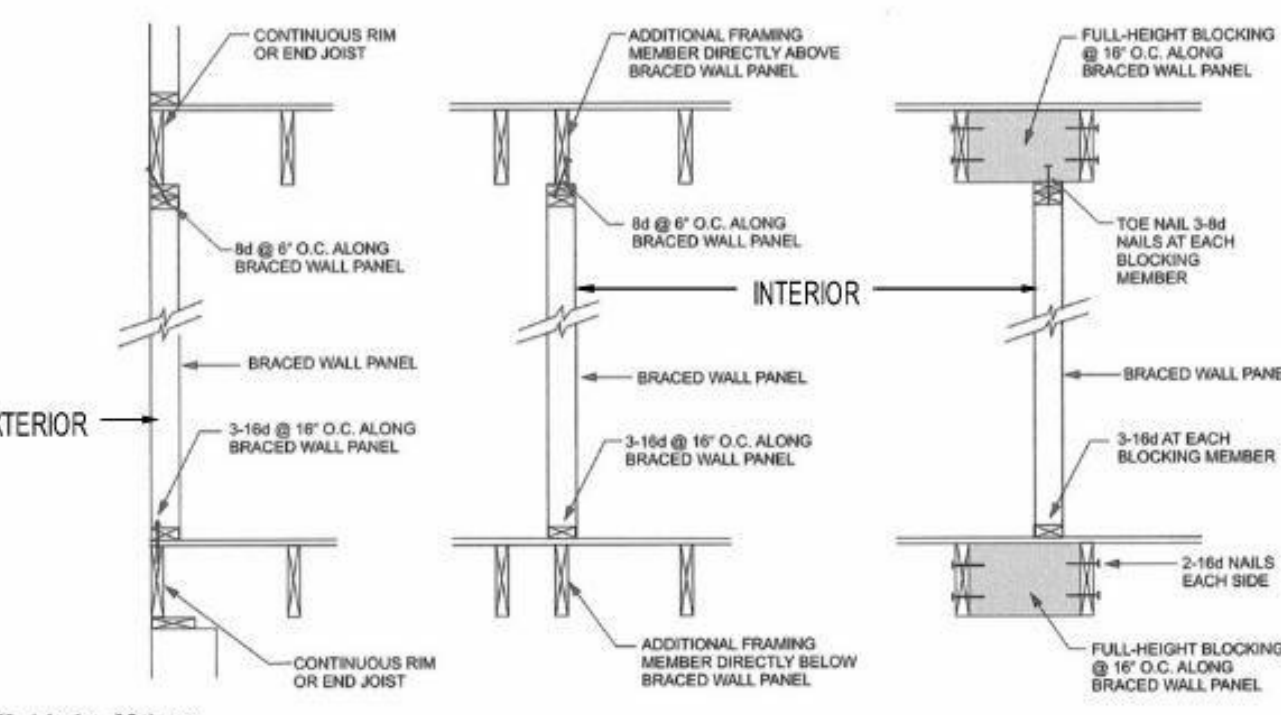


FIGURE R602.10.8(2)
BRACED WALL PANEL CONNECTION WHEN PARALLEL TO FLOOR/CEILING FRAMING

FASTENER SCHEDULE FOR INTERIOR BRACED WALL LINES (B.W.L.) - NOTED ON PLAN
METHOD GB - BOTH SIDES GYP - 7" EDGES (INCLUDING TOP & BOTTOM PLATES) & 7" FIELD
METHOD WSP - 1 SIDE OSB/PL WOOD - 6" EDGES & 12" FIELD, 1 SIDE GYP

2 BRACED WALL PANEL CONNECTION
Scale: 1/4" = 1'-0"

Method, Material	Minimum Thickness	Figure	Connection Criteria*	
			Fasteners	Spacings
CS-WSP Continuously sheathed wood structural panel	3/8"		Exterior sheathing see Table R602.3(3) Interior sheathing see Table R602.3(1) or Table R602.3(2)	6" spacing (panel edges); 12" spacing (intermediate supports) Varies by fastener

a. Adhesive attachment of wall sheathing, including Method GB, shall not be permitted in Seismic Design Categories C, D, D, and D_s.

Minimum length per IRC Table R602.10.5 (TABLE 3.2.8)	Adjacent clear opening height (in.)	Minimum Length* (in.)					Contributing Length (in.)
		8 ft	9 ft	10 ft	11 ft	12 ft	
	< 64	24	27	30	33	36	
	68	26	27	30	33	36	
	72	27	27	30	33	36	
	76	30	29	30	33	36	
	80	32	30	30	33	36	
	84	35	32	32	33	36	
	88	38	35	33	33	36	
	92	43	37	35	35	36	
	96	48	41	38	36	36	
	100		44	40	36	38	
	104		49	43	40	39	
	108		54	46	43	41	
	112			50	45	43	
	116			55	48	45	
	120			60	52	48	
	124				56	51	
	128				61	54	
	132				66	58	
	136					62	
	140					66	
	144					72	

a. Linear interpolation shall be permitted.
b. Use actual length when it is greater than or equal to the minimum length.

6 BRACING METHOD CS-WSP
Scale: 1/4" = 1'-0"

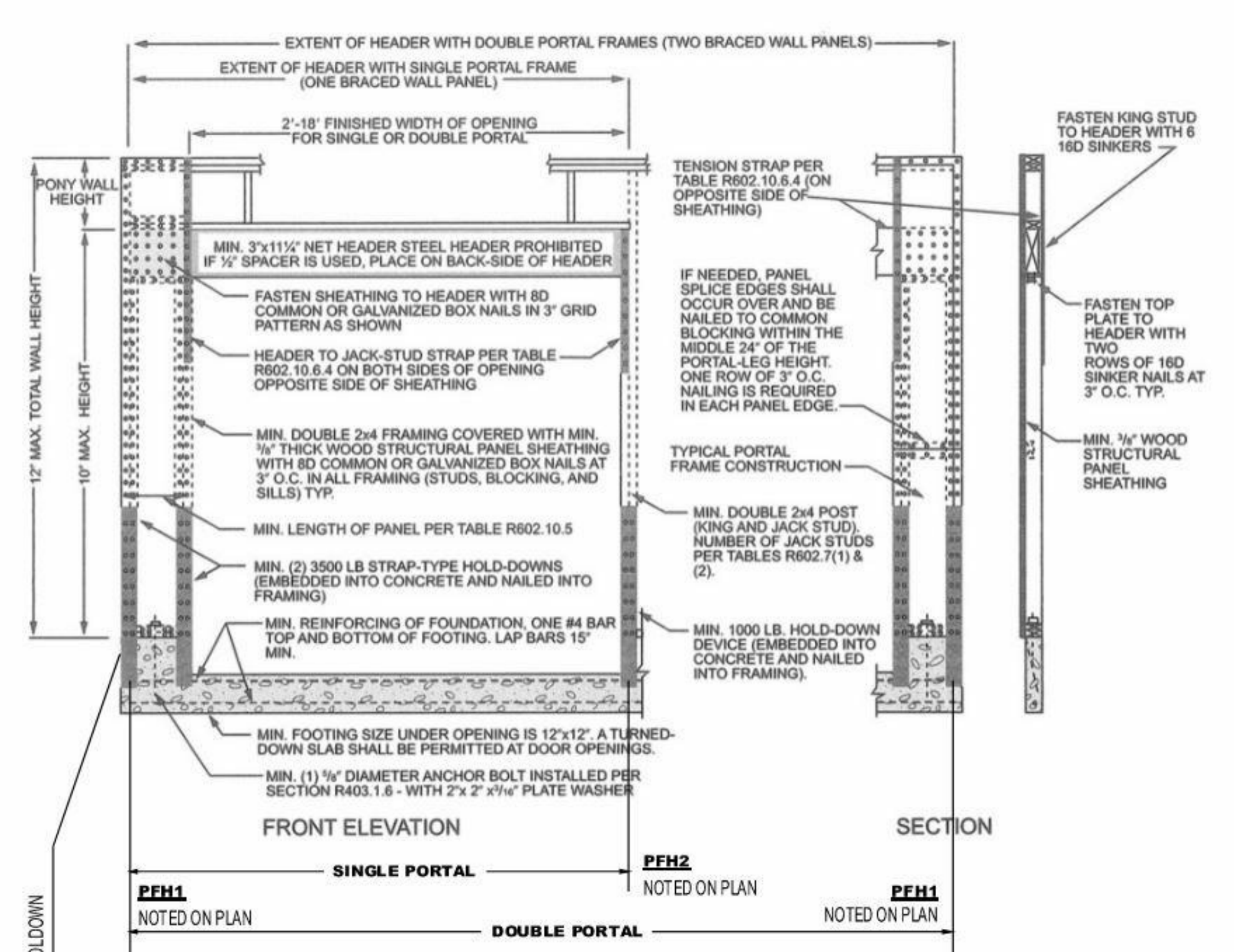


FIGURE R602.10.6.2
METHOD PFH - PORTAL FRAME WITH HOLD-DOWNS

3 BRACING METHOD PFH
Scale: 1/4" = 1'-0"

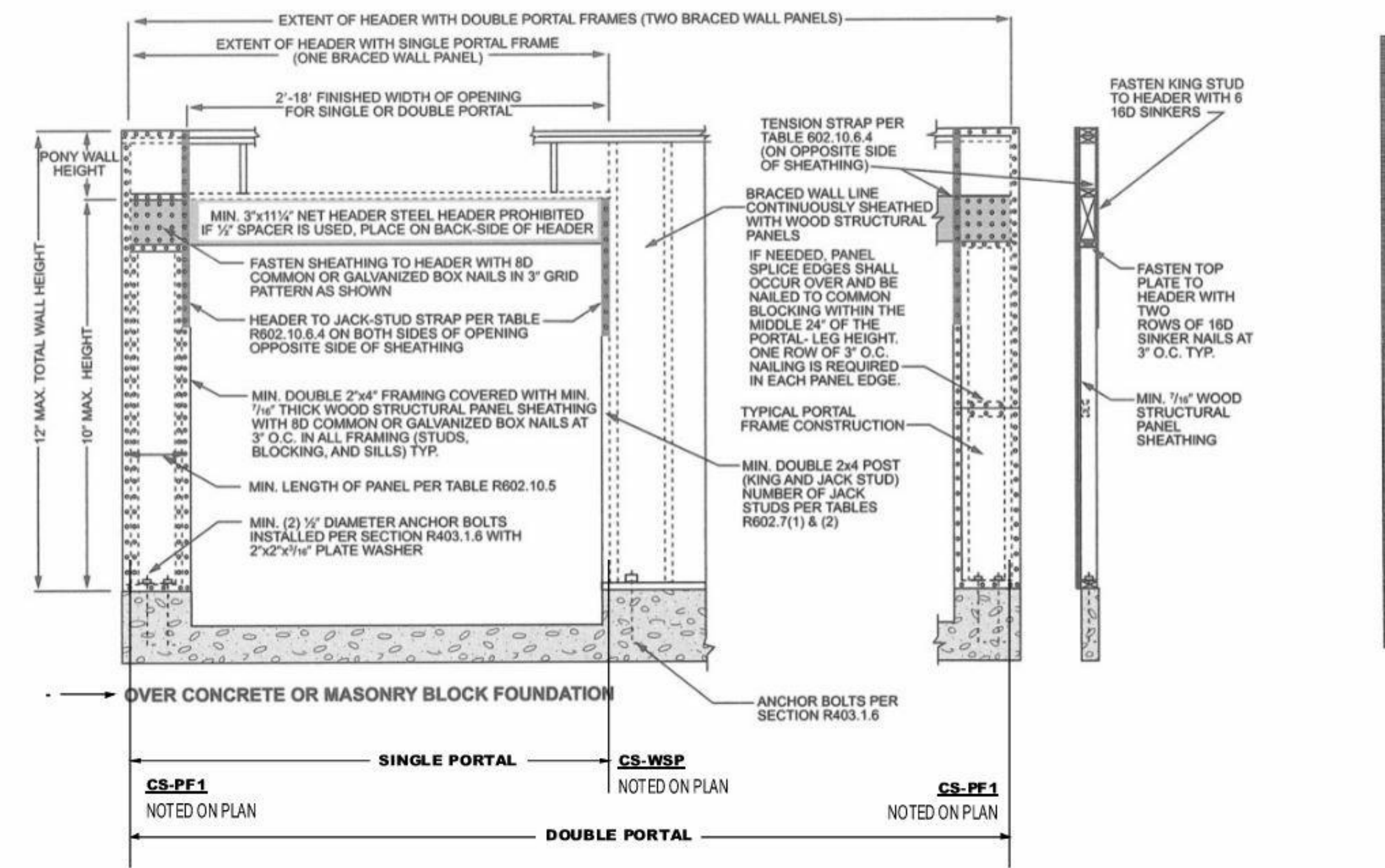
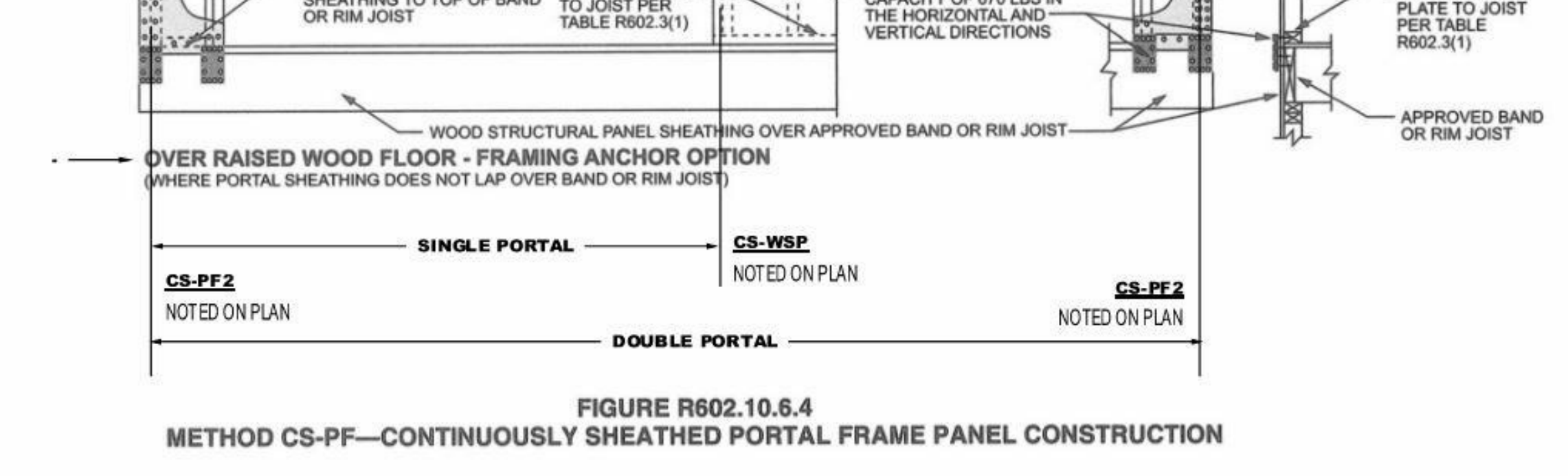


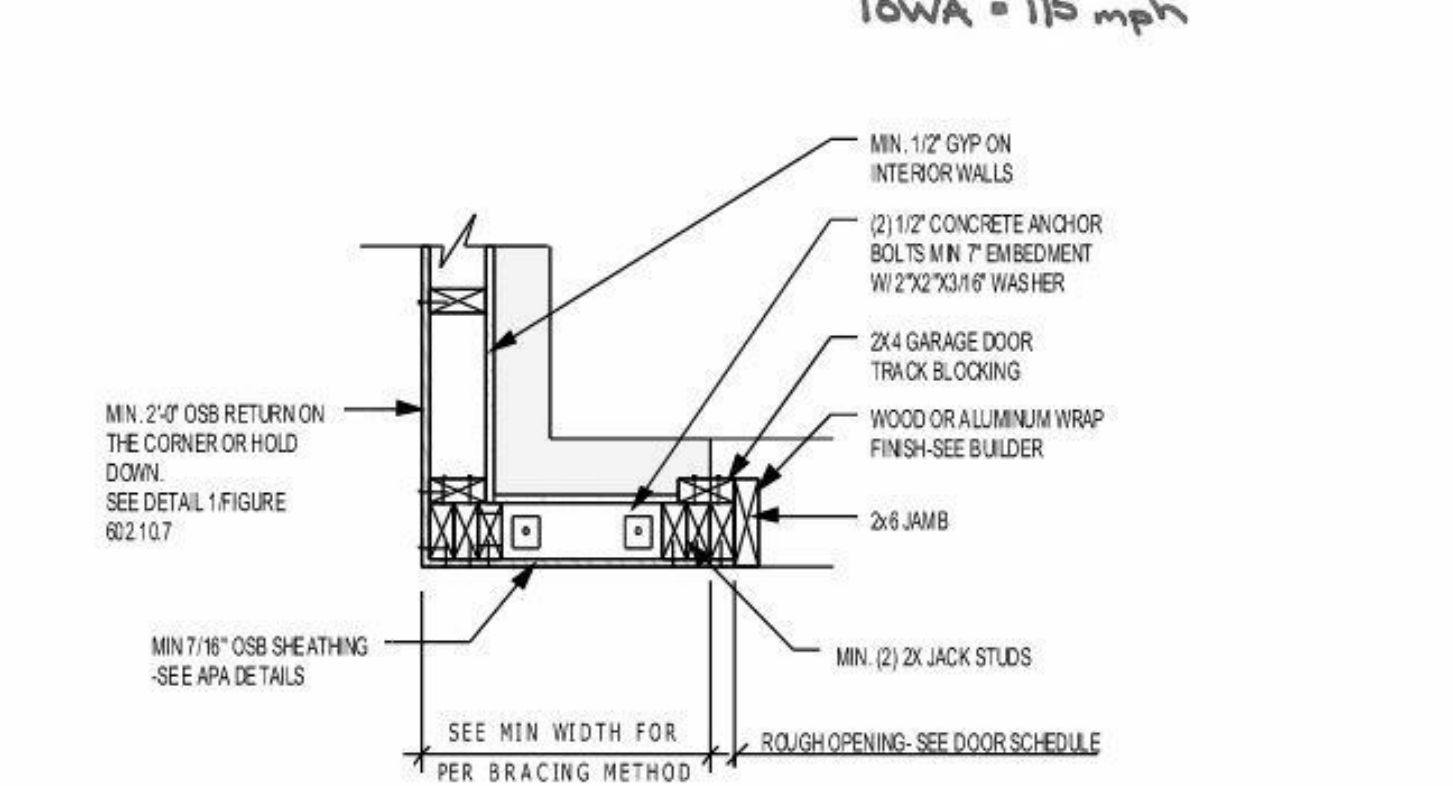
FIGURE R602.10.6.4
METHOD CS-PF - CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION

4 BRACING METHOD CS-PF
Scale: 1/4" = 1'-0"



MINIMUM WALL STUD FRAMING NOMINAL SIZE AND GRADE	MAXIMUM PONY WALL HEIGHT (feet)	MAXIMUM TOTAL WALL HEIGHT (feet)	MAXIMUM OPENING WIDTH (feet)	TENSION STRAP CAPACITY REQUIRED (pounds)*					
				Ultimate Design Wind Speed V _w (mph)					
				110	115	130	110	115	130
2 x 4 No. 2 Grade	0	10	18	Exposure B		Exposure C			
				1,000	1,000	1,000	1,000	1,000	1,050
				1,400	1,000	1,000	1,400	1,000	1,750
	1	10	18	Exposure B		Exposure C			
				1,000	1,025	2,450	2,475	2,500	3,450
				1,400	1,275	2,775	2,400	2,850	DR
2	10	18	Exposure B		Exposure C				
			1,000	1,000	1,000	1,000	1,000	1,875	
			1,400	1,175	2,175	2,175	2,175	4,125	
2	12	18	Exposure B		Exposure C				
			1,000	1,000	1,000	1,000	1,000	DR	
			1,400	2,500	3,400	3,675	DR	DR	
4	12	18	Exposure B		Exposure C				
			1,000	1,000	1,000	1,000	1,000	DR	
			1,400	1,500	2,400	2,675	3,175	DR	
2	12	18	Exposure B		Exposure C				
			1,000	1,000	1,000	1,000	2,025	1,000	
			1,400	2,150	3,225	3,225	3,675	DR	
4	12	18	Exposure B		Exposure C				
			1,000	1,000	1,000	1,000	1,000	DR	
			1,400	1,750	2,300	2,775	3,125	DR	
2	12	18	Exposure B		Exposure C				
			1,000	1,000	1,000	1,000	1,000	DR	
			1,400	2,400	3,400	3,675	4,125	DR	

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.
a. DR = Design Required.
b. Straps shall be installed in accordance with manufacturer's recommendations.



MIN LENGTH FOR CONTINUOUS SHEATHING - PORTAL FRAME (CS-PF)
PER TABLE R602.10.5
(HEIGHT TAKEN FROM TOP OF FOUNDATION WALL TO TOP PLATES OF GARAGE WALL)
8'-0" WALL = 16"
9'-0" WALL = 18"
10'-0" WALL = 20"
11'-0" WALL = 22"
12'-0" WALL = 24"

5 GARAGE DOOR JAMB - BRACING METHOD CS-PF
Scale: 1" = 1'-0"



CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, July 18, 2024

AGENDA ITEM #3

ROWV-2024-000005

Applicant: Star Lofts Condos (owner), represented by Scott Cutler (officer).

Location: 2701 Ingersoll Avenue.

Requested Action: Vacation of 567 square feet of surface right-of-way, and 90 square feet of sub-surface right-of-way. The surface right-of-way vacation would allow additional patio space in front of the building, and the sub-surface right-of-way vacation would allow the foundation for a retaining wall.

I. GENERAL INFORMATION

- 1. Purpose of Request:** The applicant is constructing a 3-story, mixed-use building, that has commercial tenant bays on the ground floor and twenty (20) total residential dwelling units on the upper floors. The proposed vacation of surface right-of-way would allow the encroachment of a patio space fronting the mixed-use building and along Ingersoll Avenue. The proposed vacation of subsurface right-of-way would accommodate a foundation for a retaining wall.
- 2. Size of Site:** The requested area for vacation of surface right-of-way is approximately 567 square feet in area. The requested area for vacation of subsurface right-of-way is approximately 90 square feet in area.
- 3. Existing Zoning (site):** “MX2” Mixed-Use District.
- 4. Existing Land Use (site):** The property is being developed with a 3-story, mixed-use building, that has commercial tenant bays on the ground floor and twenty (20) total residential dwelling units on the upper floors.
- 5. Adjacent Land Use and Zoning:**
 - North** – “N5”; Uses are Linden Street and one-household dwelling units.
 - South** – “MX2”; Uses are Ingersoll Avenue, a parking lot, and 1-and 2-story commercial buildings.
 - East** – “MX2”; Use is a 1-story, multi-tenant commercial building.
 - West** – “MX2”; Uses are a parking lot and a 1-story commercial building.
- 6. General Neighborhood/Area Land Uses:** The subject site is located along the north side of the Ingersoll Avenue commercial corridor in between 24th and 28th Streets. The corridor features a dense array of commercial uses and a mix of multiple-household residential densities. High-density residential uses are generally located to the south, between Ingersoll and Grand Avenues. Lower-density

residential uses and one-household dwelling units characterize the neighborhood to the north of this site.

- 7. Applicable Recognized Neighborhood(s):** The subject property is in the Woodland Heights Organization Neighborhood. All neighborhood associations were notified of the public hearing by emailing of the Preliminary Agenda on June 28, 2024, and Final Agenda on July 12, 2024. Additionally, separate notifications of the hearing for this specific item were mailed on July 8, 2024 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property adjacent to the request right-of-way.

All agendas and notifications are mailed to the primary contact person designated to the City of Des Moines Neighborhood Services Department by the recognized neighborhood association. The Woodland Heights Neighborhood Association mailings were sent to Cameron Gale, 2520 Woodland Avenue, Des Moines, IA 50312.

- 8. Relevant Zoning History:** N/A.

- 9. PlanDSM: Creating Our Tomorrow Land Use Plan Designation:** Community Mixed Use, partially within a Neighborhood Node.

- 10. Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to vacate land dedicated for a specific public purpose, such as for streets and parks, to determine whether the land is still needed for such purpose or may be released (vacated) for other use. The recommendation of the Commission is forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

- 1. Utilities:** Existing utilities have been identified within the Ingersoll Avenue right-of-way. Easements must be reserved for any existing utilities until such time that they are abandoned or relocated at the applicant's expense.
- 2. Traffic/Access:** The requested vacation would not negatively impact access to private properties or traffic patterns.

III. STAFF RECOMMENDATION

Staff recommends approval of the requested vacation of segment of rights-of-way.

CITY OF DES MOINES PLAN & ZONING COMMISSION

STAFF REPORT AND RECOMMENDATION

Thursday, July 18, 2024

AGENDA ITEMS #4A – #4C ZONG-2024-000020 & COMP-2024-000015

Applicant: JSG Properties, LLC (owner), represented by Gary Jones (officer).

Location: 3001 McKinley Avenue.

Requested Action: Part A) Determination as to whether the requested rezoning is in conformance with the PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Amend the PlanDSM Creating Our Tomorrow Comprehensive Plan to revise the future land use classification of the property from Business Park to Industrial.
(COMP-2024-000015)

Part C) Rezone the property from “EX” Mixed Use District to “I1” Industrial District, to allow the expansion of an existing industrial and warehousing use.
(ZONG-2024-000020)

GENERAL INFORMATION

1. Purpose of Request: The applicant is proposing the expansion of an existing light industrial warehousing business on the property. The business falls under Fabrication and Production – General use type. This business has operated on the subject property for 11 years. The proposed expansion includes a building addition to the north of the existing structure, replacement of the existing paved parking area, and other site improvements as required by City Code. There is currently outdoor storage of vehicles and equipment used for business operations. A rezoning from “EX” District to “I1” District is necessary to allow outdoor storage associated with the proposed business and bring the Fabrication and Production - General use to compliance with the Zoning Code.

Any future construction or redevelopment of the subject property must comply with all applicable site plan and design regulations contained in the Planning and Design Ordinance (Chapter 135 of City Code).

2. Size of Site: 10 acres (436,693 sq. ft.).

3. Existing Zoning (site): “EX” Mixed-Use District.

4. Existing Land Use (site): Warehouse building with parking lot.

5. Adjacent Land Use and Zoning:

North – “N3a”; Uses are one-household residential.

South – “P2”; Uses are the Des Moines International Airport campus.

East – “P2”, “N2b”; Uses are Federal Aviation Administration office and one-household residential.

West – “N3a”; Uses are one-household residential.

6. **General Neighborhood/Area Land Uses:** The subject property consists of a warehouse building, outdoor storage, and parking area. The site is located on McKinley Avenue, directly north of the Des Moines International Airport property.
7. **Applicable Recognized Neighborhood(s):** The subject property is located in the Southwestern Hills Neighborhood. All neighborhood associations were notified of the public hearing by emailing of the Preliminary Agenda on June 28, 2024, and the Final Agenda on July 12, 2024. Additionally, separate notifications of the hearing for this specific item were mailed on June 28, 2024 (20 days prior to the public hearing) and July 8, 2024 (10 days prior to the public hearing) to the Neighborhood Associations and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All agendas and notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Services Department on the date of the mailing. The Southwestern Hills Neighborhood Association mailings were sent to George Davis, 3124 Southwest 29th Street, Des Moines, IA 50321.

The applicant can provide a summary of their neighborhood outreach meeting at the public hearing.

8. **Relevant Zoning History:** On May 5, 2023, a Notice of Violation was sent to the applicant regarding several violation(s), including non-compliance with the approved site plan 10-12-7.68_01.
9. **PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation:** Business Park.
10. **Applicable Regulations:** Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject area owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **PlanDSM Creating Our Tomorrow:** The applicant is requesting that the future land use designation for the property be revised from “Business Park” to “Industrial”. PlanDSM describes these designations as follows:

Business Park: Accommodates light industrial, office and employment uses along with limited complementary retail uses. Industrial uses in this category would produce little or no noise, odor, vibration, glare, or other objectionable influences, and would have little or no adverse effect on surrounding properties.

Industrial: Accommodates industrial development and limited supporting commercial uses. Development in this classification could have a large impact on adjoining properties and the environment which would need to be mitigated.

The subject property is currently zoned “EX” District. The Zoning Ordinance describes “EX” district as, “intended for locations and corridors with a mix of light industrial and heavier commercial uses, accommodating higher levels of vehicular traffic than MX districts and a predominance of mid-scale employment uses, such as office, low intensity industrial, and warehouse spaces associated with offices.”

The applicant is proposing to rezone the subject property to “I1” District. The Zoning Ordinance describes “I1” district as, “intended for general industrial uses, warehousing, and transportation terminals.”

Staff believes that the proposed land use amendment and proposed rezoning would be consistent with the existing character of the surrounding area so long as any development is constructed in accordance with the recommended conditions of approval.

Furthermore, the uses along McKinley Avenue are generally commercial and light industrial in nature. They serve to provide a buffer to the residential areas to the north from the Airport activities and allows a transition from higher intensity to lower intensity uses.

2. **Planning and Design Ordinance:** Any future construction or development of the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance (Chapter 135 of City Code). Should the rezoning be approved, the applicant would be required to prepare a site plan and building elevations for any proposed additions or modifications.

Due to proximity of the subject property to residences to the north and east, the neighborhood has concerns on the proposed location of the trash dumpsters. The

business is a window and glass manufacturing facility that routinely disposes glass shards into the trash dumpsters during the business hours. This process has historically generated ambient noise which has been a concern for neighbors. Staff has been working with the applicant to address this issue through design mitigation which would be fleshed out during the Site Planning process. Some of the options being explored include the placement of the trash containers by moving them further south, and to completely enclose them as required by City Code. Additionally, a heavy landscape buffer along the northern boundary of the site with evergreen plantings can help mitigate the impact of the sound to the neighbors to the north.

III. STAFF RECOMMENDATION

Part A) Staff recommends that the requested rezoning be found not in conformance with PlanDSM: Creating Our Tomorrow Comprehensive Plan.

Part B) Staff recommends approval of the request to amend the PlanDSM: Creating Our Tomorrow Plan Future Land Use Map designation from Business Park to Industrial.

Part C) Staff recommends approval of the request to rezone the subject property from “EX” Mixed Use District to “I1” Industrial District, subject to the following conditions:

1. Use of the property shall be limited to the following:
 - A. Any use as permitted and limited in the “EX” District.
 - B. A Fabrication and Production – General use with outdoor storage.
2. Any outdoor storage shall only be accessory to a Fabrication and Production – General use, so long as outdoor storage is placed and screened to the satisfaction of the Planning and Design Administrator.
3. All outdoor refuse and recycling areas shall be located in a position and screened to the satisfaction of the Planning and Design Administrator.
4. Any expansion of use shall require the entire property to be brought into conformance with the Planning and Design Ordinance (Chapter 135 of City Code).

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, July 18, 2023

AGENDA ITEMS #6A-6C COMP-2024-000016 & ZONG-2024-000019

Applicant: Lillian C. Riccelli (owner).

Location: Two (2) parcels located at 3803 Indianola Avenue and 3805 Indianola Avenue.

Requested Action: A) Determination as to whether the requested rezoning is in conformance with the PlanDSM Creating Our Tomorrow Comprehensive Plan.

B) Amend the PlanDSM Creating Our Tomorrow Comprehensive Plan to revise the future land use classification for the property from Low Density Residential to Neighborhood Mixed Use. (COMP-2024-000016)

C) Rezone the property from "N3a" Neighborhood District to "MX1" Mixed Use District, to allow a mixed-use (commercial and residential) redevelopment of the site. (ZONG-2024-000019)

I. GENERAL INFORMATION

1. Purpose of Request: The applicant is proposing to rezone the subject property to "MX1" District, which would allow redevelopment of the site with a new mixed-use development. Conceptual drawings submitted with the application indicate that the existing building would be demolished and replaced with two new buildings along Indianola Avenue with a surface parking lot behind them. The drawings indicate one building would include commercial uses on the ground floor with apartments on the second floor and one building that would be entirely commercial.

Any future construction or redevelopment of the subject properties must comply with all applicable site plan and design regulations contained in the Planning and Design Ordinance (Chapter 135 of City Code).

2. Size of Site: 1.28 acres (55,635.9 square feet).

3. Existing Zoning (site): "N3a" Neighborhood District.

4. Existing Land Use (site): The site is currently a vacant lot to the south and a commercial building with a paved parking lot to the north. There is undeveloped land with tree canopy to the east and along the southern boundary of the property.

5. Adjacent Land Use and Zoning:

North – “N3a”, “NX2”; Uses are single-household and multiple-household residential.

South – ‘P2’; Uses are Jackson Elementary School and surface parking lot.

East – ‘P2’; Use is Jackson Elementary School and surface parking lot.

West – “N3a”; Uses are single-household residential.

6. General Neighborhood/Area Land Uses: The subject property is located at the intersection of Indianola Avenue and East Rose Avenue. The surrounding area is primarily low density residential and is within close proximity to the Southeast 14th commercial corridor. The area immediately adjacent to the subject property includes higher density residential and public and semi-public uses.

7. Applicable Recognized Neighborhood(s): The subject property is not located within 250 feet of a designated Neighborhood Association. All neighborhood associations were notified of the July 18, 2024, public hearing by emailing of the Preliminary Agenda on June 28, 2024, and the Final Agenda on July 12, 2024. Additionally, separate notifications of the hearing for this specific item were mailed on June 28, 2024 (20 days prior to the public hearing) and July 8, 2024 (10 days prior to the public hearing) to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the site.

All notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division on the date of the mailing.

The applicant will provide a summary of the neighborhood meeting at the public hearing.

8. Relevant Zoning History: None.

9. PlanDSM: Creating Our Tomorrow Plan Land Use Plan Designation: Low Density Residential.

10. Applicable Regulations: Taking into consideration the criteria set forth in Chapter 18B of the Iowa Code, the Commission reviews all proposals to amend zoning boundaries or regulations within the City of Des Moines. Such amendments must be in conformance with the comprehensive plan for the City and designed to meet the criteria in 414.3 of the Iowa Code. The Commission may make recommendations to the City Council on conditions to be made in addition to the existing regulations so long as the subject property owner agrees to them in writing. The recommendation of the Commission will be forwarded to the City Council.

II. ADDITIONAL APPLICABLE INFORMATION

1. **PlanDSM: Creating Our Tomorrow:** The applicant is requesting that the future land use designation of the property be amended from “Low Density Residential” to “Neighborhood Mixed Use”. Plan DSM describes these designations as follows:

Low Density Residential: Areas developed with primarily single-family and two-family residential units with up to 6 dwelling units per net acre.

Neighborhood Mixed Use: Small scale mixed use development typically located at the intersections of collector and/ or arterial streets and along transportation corridors. Non-residential development is designed to serve the immediate neighborhood and include small retail, offices, restaurants, and service oriented development. Low-medium density residential may be included in mixed use development.

The subject parcel is currently zoned “N3a” District. The Zoning Ordinance describes this district as, “intended to preserve the scale and character of residential neighborhoods developed predominantly during the 1950s, 1960s, and 1970s, typically in the ranch or split-level style pursuant to House B building type in section 135-2.14 of this code.”

The applicant is proposing to rezone the parcel to the “MX1” District. The Zoning Ordinance describes this district as, “intended for the mixed-use, neighborhood-scale nodes and corridors within the city, where daily uses are accessible by walking from surrounding neighborhoods.”

Staff believes the proposed amendment to PlanDSM is appropriate, as the subject property is located along a major corridor with access to a mix of amenities. Furthermore, the proposed small scale mixed-use development complements the surrounding one-family household uses as well as the elementary school and multiple-household building immediately adjacent to the subject site. This development would serve as an opportunity for infill housing and other similar scale uses.

The proposed Neighborhood Mixed Use designation would allow low-medium density residential within a mixed-use development. Low-medium density residential can include a mix of single family, duplex and small multi-family units up to 12 units per net acre. Therefore, the 1.28-acre subject property would be allowed to have a maximum of fifteen (15) dwelling units.

2. **Grading & Storm Water Management:** Any grading is subject to an approved grading permit and soil erosion control plan, as well as a Stormwater Pollution Protection Plan (SWPPP) approved by the Iowa DNR.

3. **Nature Features:** The subject property contains some mature trees and scrub trees. Any development of the site must comply with the Tree Removal and Mitigation Ordinance contained in Chapter 42, Article X, of the City Code.
4. **Utilities:** Public storm sewer is available near the corner along Indianola Avenue. Public sanitary sewer is available along Indianola Avenue near the northwest corner of the site. If there is a structure extending to the south edge of the 3805 Indianola Avenue, parcel gravity flow may not be possible for below grade fixtures.
5. **Traffic/Street System:** Motor vehicle and bicycle parking must be provided in accordance with City Code Section 135-6. Minimum parking requirements in “MX1” District shall be equal to 60% of the standard parking ratios established in City Code Section 135-6.4. Provided parking in the “MX1” District shall not be in excess of 120% of the standard parking ratios established in City Code Section 135-6.4.

The subject site is located along a section of Indianola Avenue that is not currently served by DART. However, the subject site is within a quarter mile of two (2) DART bus routes running along Southeast 14th Street and Evergreen Avenue.

6. **Planning and Design Ordinance:** Any future development upon the site must comply with all applicable site plan and design regulations of the Planning and Design Ordinance. Should the rezoning be approved, the applicant would be required to prepare a Site Plan and building elevations for review before the property can be occupied by the proposed use.

III. STAFF RECOMMENDATION

Part A) Staff recommends that the requested “MX1” District be found not in conformance with the existing PlanDSM future land use designation of Low Density Residential.

Part B) Staff recommends approval of the request to amend the PlanDSM: Creating Our Tomorrow Comprehensive Plan to revise the future land use designation from Low Density Residential to Neighborhood Mixed Use.

Part C) Staff recommends approval of the request to rezone the property from “N3a” Neighborhood District to “MX1” Mixed-Use District.

CITY OF DES MOINES PLAN & ZONING COMMISSION
STAFF REPORT AND RECOMMENDATION
Thursday, July 18, 2024

AGENDA ITEM #7

SITE-2023-000141

Applicant: Iowa Motor Carriers Foundation (owner), represented by Brenda Neville (officer).

Location: 717 East Court Avenue.

Requested Action: Review and approval of a Public Hearing Site Plan “Iowa Motor Truck Association,” and for a Type 2 Design Alternative to waive undergrounding of overhead electrical lines where it is required in an underground district designated by resolution of the City Council, subject to City Code Section 135-9.2.3.B.15.A.

I. GENERAL INFORMATION

1. **Purpose of Request:** The proposed site plan would allow for an interior renovation of an existing building and landscaping improvements. The building improvements would exceed the property’s total assessed value.
2. **Size of Site:** 88,745 square feet (2.038 acres).
3. **Existing Zoning (site):** “DX2” Downtown Mixed-Use District.
4. **Existing Land Use (site):** The subject property contains a pre-existing building and associated surface parking lot.
5. **Adjacent Land Use and Zoning:**
 - North* – “ROW”, “P2”, and “DX2”, Uses are East Court Avenue, government records storage, and a surface parking lot.
 - South* – “DXR”, Use is a former railroad.
 - East* – “P2”, Use is a government office.
 - West* – “DXR”, Use is an office.
6. **General Neighborhood/Area Land Uses:** The subject property is located along the East Court Avenue corridor. General office and surface parking lot uses are prevalent to the west of the subject property with governmental entities to the north and east. An abandoned railway is adjacent to the south.
7. **Applicable Recognized Neighborhood(s):** The subject property is in the Historic East Village Neighborhood. All neighborhoods were notified of the Commission meeting by emailing of the Preliminary Agenda on June 28, 2024 and the Final Agenda on July 12, 2024.

A 10-day notice of this specific item was mailed to the neighborhood association and to the primary titleholder on file with the Polk County Assessor for each property within 250 feet of the subject site. All notices are mailed to the primary contact(s) designated by the recognized neighborhood association to the City of Des Moines Neighborhood Development Division. The Historic East Village Neighborhood Association notice was sent to Luke Dickens, PO Box 93904, Des Moines, IA 50393.

8. Relevant Zoning History: NA

9. PlanDSM Future Land Use Plan Designation: Downtown Mixed Use.

10. Applicable Regulations: Pursuant to Section 135-9.1.1.B of the Planning and Design Ordinance, the site plan review requirements of Chapter 135 are designed to ensure the orderly and harmonious development of property in a manner that shall:

- Promote the most beneficial relation between present and proposed future uses of land and the present and proposed future circulation of traffic throughout the city;
- Permit present development of property commensurate with fair and orderly planning for future development of other properties in the various areas of the city with respect to the availability and capacity, present and foreseeable, of public facilities and services. The factors to be considered in arriving at a conclusion concerning proposed present development of property shall include the following:
 - The maximum population density for the proposed development, the proposed density of use, and consideration of the effect the proposal will have on the capacity of existing water and sanitary sewer lines to the end that existing systems will not become overloaded or capacity so substantially decreased that site use will inhibit or preclude planned future development;
 - Zoning restrictions at the time of the proposal;
- The city's comprehensive plan;
- The city's plans for future construction and provision for public facilities and services; and
- The facilities and services already available to the area which will be affected by the proposed site use;
- Encourage adequate provision for surface and subsurface drainage, in order to ensure that future development and other properties in various areas of the

city will not be adversely affected;

- Provide suitable screening of parking, truck loading, refuse and recycling disposal, and outdoor storage areas from adjacent residential districts;
- Encourage the preservation of canopied areas and mature trees and require mitigation for the removal of trees; and
- Consider the smart planning principles set forth in Iowa Code Chapter 18B.

Based on Chapter Section 135-9.2.4 and 135-9.3.1.B of the Planning and Design Ordinance, Type 2 Design Alternatives are to be considered by the Plan and Zoning Commission after a public hearing whereby the following criteria are considered:

- The design alternative provisions of Section 135-9.2.4 are intended to authorize the granting of relief from strict compliance with the regulations of this chapter as part of the site plan or alternate design documentation review process when specific site features or characteristics of the subject property, including the presence of existing buildings, creates conditions that make strict compliance with applicable regulations impractical or undesirable. The design alternative provisions are also intended to recognize that alternative design solutions may result in equal or better implementation of the regulation's intended purpose and greater consistency with the comprehensive plan.
- Consideration of requested design alternatives through the administrative and public hearing review processes will be evaluated on the merits of the applicable request and independently of prior requests from the same applicant, and may include the following criteria:
 - An evaluation of the character of the surrounding neighborhood, such as:
 - Whether at least 50% of the developed lots within 250 feet of the subject property are designed and constructed consistently with the requested design alternative(s); and
 - Whether the directly adjoining developed lots are designed and constructed consistently with the requested design alternative(s);
- For purposes of this subsection, if the lots that exist within 250 feet of the subject property are undeveloped, then the neighborhood character determination will be based upon the assumption that such lots, as if developed, comply with the applicable requirements of this chapter for which a design alternative(s) has been requested;

- The totality of the number and extent of design alternatives requested compared to the requirements of this chapter for each site plan or alternate design documentation reviewed;
- Whether the requested design alternative(s) is consistent with all relevant purpose and intent statements of this design ordinance and with the general purpose and intent of the comprehensive plan;
- Whether the requested design alternative(s) will have a substantial or undue adverse effect upon adjacent property, the character of the surrounding area or the public health, safety and general welfare;
- Whether any adverse impacts resulting from the requested design alternative(s) will be mitigated to the maximum extent feasible; and
- Other factors determined relevant by the community development director, plan and zoning commission, or city council as applicable.

II. ADDITIONAL APPLICABLE INFORMATION

The subject property is located within an underground utility district defined by City Council resolution. The district encompasses the downtown area and has been in place for multiple decades. The eastern portion of the district is bound by East 9th Street to the east, the Des Moines River to the west, East Grand Avenue to the north and East Court Avenue to the south. Within this portion, only two (2) properties have not yet undergrounded their overhead lines, IMTA at 717 East Court Avenue and Associated General Contractors of Iowa office at 701 East Court Avenue. IMTA is proposing interior renovation work that will exceed the property’s total assessed value. This work triggered a site plan with full site compliance and as such, the requirement to underground the overhead lines within the underground utility district.

The owner has cited cost as their reason for requesting waiver of the Council resolution and provided the following breakdown:

MidAm Proposal:	\$108,592.66
Kline Electric Underground Conduits and Transformer Pad:	\$27,350.00
Kline Electric Verizon Overhead to Underground Work:	\$3,575.00
Brilliant Borders Surface Restoration from Underground Work:	\$5,801.71
Brilliant Borders Landscaping on Transformer Pad:	\$2,807.33
GC Helland Construction 10% O&P:	<u>\$14,812.67</u>
TOTAL UNDERGROUND COSTS =	\$162,939.37
Total IMTA Remodeling Project Cost:	\$1,297,679.69
% of Overhead to Underground Conversion to Project Cost:	12.55 %

The provided undergrounding estimate is 12.55% of the total project cost which is approximately \$33,000 higher than the typical Type 1 Design Alternative waiver threshold of 10%. The waiver request is not eligible for review at an administrative level because the underground district is not a Chapter 135 requirement. This request is applied through the site plan process; therefore, it can be appealed to the Commission.

The underground utility district was established by the City Council as a requirement specific to the downtown multiple decades ago. It has been successfully implemented over that time, leaving only two properties in the East Village with overhead lines. The proposed cost to bury represents 12.55% of the total budget. Staff does not support the request given the longevity of the district, the significance of the downtown, and the commitment made by others to comply.

III. STAFF RECOMMENDATION

Staff recommends approval of the Public Hearing Site Plan, subject to compliance with all administrative review comments and denial of the requested Type 2 Design Alternative.

NOTES

- 1. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PERSONNEL DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
2. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE SOILS REPORTS PREPARED BY OTHERS.
3. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
4. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS.
5. NOTIFY OWNER, ENGINEER, DES MOINES WATER WORKS, AND POLK COUNTY PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
6. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
7. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
8. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
9. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.
10. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
11. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
12. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
13. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES IN A TIMELY MANNER.
14. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
16. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CITY OF DES MOINES, AND THE OWNER PRIOR TO CONSTRUCTION.
17. CONTRACTOR TO VERIFY ALL UTILITY CROSSINGS AND MAINTAIN MINIMUM 18" VERTICAL AND HORIZONTAL CLEARANCE BETWEEN UTILITIES. CONTRACTOR TO COORDINATE UTILITY ROUTING TO BUILDING AND VERIFY CONNECTION LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION.
18. THIS SITE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL CITY CODE APPLICABLE ON THE DATE OF SITE PLAN APPROVAL.
19. ALL ROOFTOP MECHANICAL EQUIPMENT MUST BE SCREENED ON ALL SIDES WITH ARCHITECTURAL SCREENING EQUAL TO THE HEIGHT OF THE EQUIPMENT.
20. MECHANICAL EQUIPMENT SHALL NOT BE LOCATED IN THE FRONT YARD OR STREET SIDE YARD AND SHALL BE SCREENED FROM VIEW FROM ANY PUBLIC WAY WITH LANDSCAPING, FENCING, OR WALLS CONSISTENT WITH THE BUILDING DESIGN, COLORS, AND MATERIALS.
21. ANY AMENDMENTS OR CHANGES TO THE PROJECT SITE THAT DO NOT MEET WHAT IS SHOWN ON THE SITE PLAN NEED TO BE APPROVED WITH THE PERMIT AND DEVELOPMENT CENTER PRIOR TO INSTALLATION/CONSTRUCTION.
22. LIGHTING MUST BE LOW GLARE CUT OFF TYPE FIXTURES TO REDUCE THE GLARE OF LIGHT POLLUTION ON SURROUNDING PROPERTIES.
23. THE REQUIRED LANDSCAPING, BOTH EXISTING AND PROPOSED, SHALL BE MAINTAINED FOR THE LIFE OF THE CERTIFICATE OF OCCUPANCY.
24. ALL DISTURBED AREAS SHOULD BE RESTORED BY SEEDING OR SODDING.
25. ALL PLANTING BEDS SHALL INCLUDE NON-LIVING PERMEABLE MATERIALS SUCH AS MULCH, AND NOT INCLUDING ROCK.

NOTES

- 1. BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
2. FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
3. FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.
4. UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. AN INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBSURFACE LOCATING/DESIGNATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDING.
5. UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON VISIBLE EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DUE TO THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTURE, IT MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATERIAL AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
6. BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

PROPERTY DESCRIPTION

GEOPARCEL 782403405010

PART OF BLOCK 12 TOWN OF DE MOINE AND VACATED STREETS AND ALLEYS WITHIN BOUNDARIES OF SAID TRACT, NOW A PART OF THE CITY OF DES MOINES, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE NORTH LINE OF BLOCK 13 TOWN OF DE MOINE, WHICH 80.2 FEET EASTERLY FROM THE NORTHWEST CORNER OF SAID BLOCK 13, AND 13 FEET NORTHEASTERLY (MEASURED AT RIGHT ANGLES) FROM THE CENTERLINE OF THE DES MOINES WESTERN RAILWAY COMPANY'S TRACK WHICH CROSSES COURT AVENUE; THENCE EASTERLY 242.3 FEET ALONG THE NORTH LINE OF SAID BLOCK 13; THENCE SOUTHEASTERLY ALONG THE WESTERLY LINE OF PARCEL "A" AS FILED IN BOOK 12529, PAGE 705 OF THE POLK COUNTY RECORDER'S OFFICE TO A POINT ON THE EAST LINE OF VACATED EAST 8TH STREET; THENCE SOUTH ALONG SAID EAST LINE TO A POINT WESTERLY PARALLEL WITH AND 30 FEET NORTHERLY (MEASURED AT RIGHT ANGLES) FROM THE SOUTHERLY LINE OF THE RIGHT-OF-WAY OF THE DES MOINES WESTERN RAILWAY COMPANY THENCE WESTERLY ALONG SAID RIGHT OF WAY LINE TO THE EAST LINE OF BLOCK 13 TOWN OF DE MOINE THENCE NORTHWESTERLY IN A DIRECT COURSE TO A POINT IN THE NORTH LINE OF LOT 7 IN SAID BLOCK 13, WHICH IS 13 FEET DISTANT (MEASURED AT RIGHT ANGLES) FROM THE CENTERLINE OF THE DES MOINES WESTERN RAILWAY COMPANY'S TRACK (WHICH CROSSES COURT AVENUE) AS NOW LOCATED AND CONSTRUCTED; THENCE NORTHWESTERLY PARALLEL WITH AND 13 FEET DISTANT EASTERLY FROM THE CENTERLINE OF SAID TRACT TO THE POINT OF BEGINNING.

EXCEPT PARCEL "A" OF LOT 2, BLOCK 13, OF THE TOWN OF DE MOINE AS SHOWN IN PLAT OF SURVEY RECORDED IN BOOK 7314, PAGE 849 IN THE OFFICE OF THE POLK COUNTY RECORDER'S OFFICE, CITY OF DES MOINES, POLK COUNTY, IOWA.

GEOPARCEL 782403405004

PART OF BLOCK 13 TOWN OF DE MOINE AND VACATED STREETS AND ALLEYS WITHIN BOUNDARIES OF SAID TRACT, NOW A PART OF THE CITY OF DES MOINES, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE WESTERLY LINE OF PARCEL "A" AS FILED IN BOOK 12529, PAGE 705 OF THE POLK COUNTY RECORDER'S OFFICE AND THE EAST LINE OF VACATED 8TH STREET; THENCE SOUTHEASTERLY ALONG SAID WEST LINE OF PARCEL "A" AND ALONG THE SOUTH LINE OF PARCEL "B" AS FILED IN BOOK 12529, PAGE 705 OF THE POLK COUNTY RECORDER'S OFFICE AND THE EXTENSION THEREOF TO THE WEST LINE OF BLOCK 11 TOWN OF DE MOINE; THENCE SOUTHERLY 44.1 FEET ALONG THE WEST LINE OF BLOCK 11 TOWN OF DE MOINE; THENCE WESTERLY PARALLEL WITH AND 30 FEET NORTHERLY (MEASURED AT RIGHT ANGLES) FROM THE SOUTHERLY LINE OF THE RIGHT-OF-WAY OF THE DES MOINES WESTERN RAILWAY COMPANY TO THE EAST RIGHT OF WAY LINE OF VACATED 8TH STREET; THENCE NORTHERLY ALONG SAID EAST RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

GEOPARCEL 782403379004

ALL THAT PART OF LOT 8, BLOCK 13, TOWN OF DE MOINE, (NOW CITY OF DES MOINES), LYING NORTHERLY OF A STRAIGHT LINE DRAWN FROM A POINT ON THE EAST LINE OF SAID LOT 8, SAID POINT BEING 8.6 FEET SOUTHERLY OF THE NORTHEAST CORNER OF SAID LOT 8, TO A POINT ON THE NORTH LINE THEREOF, SAID POINT BEING 51.5 FEET WESTERLY OF THE NORTHEAST CORNER OF SAID LOT 8; AND ALL THAT PART OF THE EAST 88.0 FEET OF LOT 7, BLOCK 13, TOWN OF DE MOINE, AND THE VACATED EAST-WEST 16.0 FEET WIDE ALLEY LYING NORTH OF AND ADJOINING THE SAID LOT 7 ALL BEING MORE ACCURATELY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 7, BLOCK 13, TOWN OF DE MOINE; THENCE SOUTH 00° 00' 00" EAST ALONG THE EAST LINE OF SAID LOT 7 A DISTANCE OF 34.60 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00° 00' 00" EAST ALONG THE EAST LINE OF SAID LOT 7 AND LOT 8 OF BLOCK 13 IN THE TOWN OF DE MOINE, A DISTANCE OF 30.00 FEET TO A POINT 8.6 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 8; THENCE NORTH 80° 22' 53" WEST A DISTANCE OF 51.83 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 7, SAID POINT BEING 51.5 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 7; THENCE NORTH 83° 28' 13" WEST A DISTANCE OF 35.13 FEET; THENCE NORTH 00° 00' 00" EAST PARALLEL WITH AND 66.0 FEET WEST OF THE EAST LINE OF SAID LOT 7 A DISTANCE OF 61.37 FEET; THENCE SOUTH 56° 28' 47" EAST A DISTANCE OF 16.91 FEET TO A POINT OF THE NORTH LINE OF SAID LOT 7, SAID POINT BEING 71.9 FEET WEST OF THE NORTHEAST CORNER OF SAID LOT 7; THENCE SOUTH 64° 14' 38" EAST A DISTANCE OF 79.83 FEET TO THE POINT OF BEGINNING.

GEOPARCEL 782403405011

ALL THOSE PORTIONS OF BLOCK 12, THE VACATED NORTH-SOUTH ALLEY WITHIN SAID BLOCK 12, AND VACATED EAST 8TH STREET IN THE TOWN OF DES MOINE NOW A PART OF THE CITY OF DES MOINES, POLK COUNTY, IOWA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

ALL THAT PART OF VACATED EAST 8TH STREET LYING SOUTH OF THE FOLLOWING DESCRIBED LINE; BEGINNING AT A POINT IN THE EAST LINE OF LOT 7, BLOCK 13, TOWN OF DES MOINE, WHICH IS 34.6 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 7; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE WEST LINE OF LOT 16, BLOCK 12, TOWN OF DES MOINE, WHICH IS 5.1 FEET NORTH OF THE SOUTHEAST CORNER OF SAID LOT 16; AND NORTH OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE EAST LINE OF LOT 8, BLOCK 13, TOWN OF DES MOINE, WHICH IS 8.6 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 8; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE WEST LINE OF LOT 15, BLOCK 12, TOWN OF DES MOINE, WHICH IS 30.8 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 15.

ALSO, ALL THAT PART OF LOT 16, BLOCK 12, WHICH IS SOUTH AND WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 16, WHICH IS 5.1 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 16; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF LOT 15, BLOCK 12, WHICH IS 20.1 FEET NORTH OF THE SOUTHEAST CORNER OF SAID LOT 15.

ALSO, ALL THAT PART OF LOT 15, BLOCK 12, WHICH IS SOUTH AND WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 16, WHICH IS 5.1 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 16; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF LOT 15, BLOCK 12, WHICH IS 20.1 FEET NORTH OF THE SOUTHEAST CORNER OF SAID LOT 15; AND WHICH IS NORTH AND EAST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 15, WHICH IS 30.8 FEET NORTH OF THE SOUTHWEST CORNER; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE SOUTH LINE OF SAID LOT 15, WHICH IS 113.6 FEET EAST OF THE SOUTHWEST CORNER.

ALSO, ALL THAT PART OF LOT 14, BLOCK 12, WHICH IS NORTH AND EAST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE NORTH LINE OF SAID LOT 14, WHICH IS 113.6 FEET EAST OF THE NORTHWEST CORNER; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF SAID LOT 14, WHICH IS 8.7 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 14.

ALSO, ALL THAT PART OF THE VACATED NORTH-SOUTH ALLEY IN BLOCK 12, WHICH LIES SOUTH OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE EAST LINE OF LOT 15, BLOCK 12, WHICH IS 20.1 FEET NORTH OF THE SOUTHEAST CORNER OF SAID LOT 15; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE WEST LINE OF LOT 8, BLOCK 12, WHICH IS 13.7 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 8; AND WHICH LIES NORTH OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT POINT IN THE EAST LINE OF LOT 14, BLOCK 12, WHICH IS 8.7 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 14; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE WEST LINE OF LOT 9, BLOCK 12, WHICH IS 15.5 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 9.

ALSO, ALL THAT PART LOT 8, BLOCK 12, WHICH IS SOUTH AND WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 8, WHICH IS 13.7 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF LOT 9, BLOCK 12, WHICH IS 17.9 FEET NORTH OF THE SOUTHEAST CORNER.

ALSO, ALL THAT PART OF LOT 9, BLOCK 12, WHICH IS SOUTH AND WEST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 8, WHICH IS 13.7 FEET NORTH OF THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF LOT 9, BLOCK 12, WHICH IS 17.9 FEET NORTH OF THE SOUTHEAST CORNER, AND NORTH AND EAST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF LOT 9, BLOCK 12, WHICH IS 15.5 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 9; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF LOT 10, BLOCK 12, WHICH IS 15.2 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 10.

ALSO, ALL THAT PART OF LOT 10, BLOCK 12, WHICH LIES NORTH AND EAST OF THE FOLLOWING DESCRIBED LINE: BEGINNING AT A POINT IN THE WEST LINE OF LOT 9, BLOCK 12, WHICH IS 15.5 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT 9; THENCE SOUTHEASTERLY ON A 3° 10' CURVE TO THE RIGHT TO A POINT IN THE EAST LINE OF LOT 10, BLOCK 12, WHICH IS 15.2 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 10.

PROPERTY ADDRESS

717 E COURT AVE
DES MOINES, IA 50309

PRINCIPAL USE

OFFICE - BUSINESS OR PROFESSIONAL

ZONING

DX2 - DOWNTOWN DISTRICT

BULK REGULATIONS

Table with 3 columns: Description, Required, Proposed. Rows include Front Yard Coverage (95% vs 76.0%/100.0%) and Building Height (3 vs 8 stories).

BUILDING HEIGHT

BULK REGULATION
MIN HEIGHT, 3 STORIES
MAX HEIGHT, 8 STORIES

BUILDING TYPE

DOWNTOWN STOREFRONT

BUILDING INFORMATION

SQUARE FOOTAGE: 10,000 SF
HEIGHT: 19'
NUMBER OF STORIES: 1

PARKING REQUIREMENTS

MAXIMUM REQUIRED = 1 SPACE PER 400 SF
10,000 SF / 400 SF = 25 SPACES
EXISTING SPACES = 60, INCLUDING 3 ADA

BIKE PARKING REQUIREMENTS

1 SPACE PER 50,000 SF
26,000 / 50,000 = 1 SPACE REQUIRED
1 SPACE PROVIDED

BASE CALCULATIONS

Table with 2 columns: Description, Value. Rows include Total Area (1.64 AC), Existing Building (10,000 SF), Existing Site Paving (24,484 SF), Proposed Site Paving (25 SF), Existing Total Impervious (48.2%).

POLLUTION PREVENTION NOTES

A. POLLUTION PREVENTION AND EROSION PROTECTION

1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.

2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY, INCLUDING REASONABLE ATTORNEY FEES INCURRED TO OWNER. FURTHER, IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.

B. STORM WATER DISCHARGE PERMIT

1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.

2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.

3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.

C. POLLUTION PREVENTION PLAN

1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.

2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.

3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.

4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:

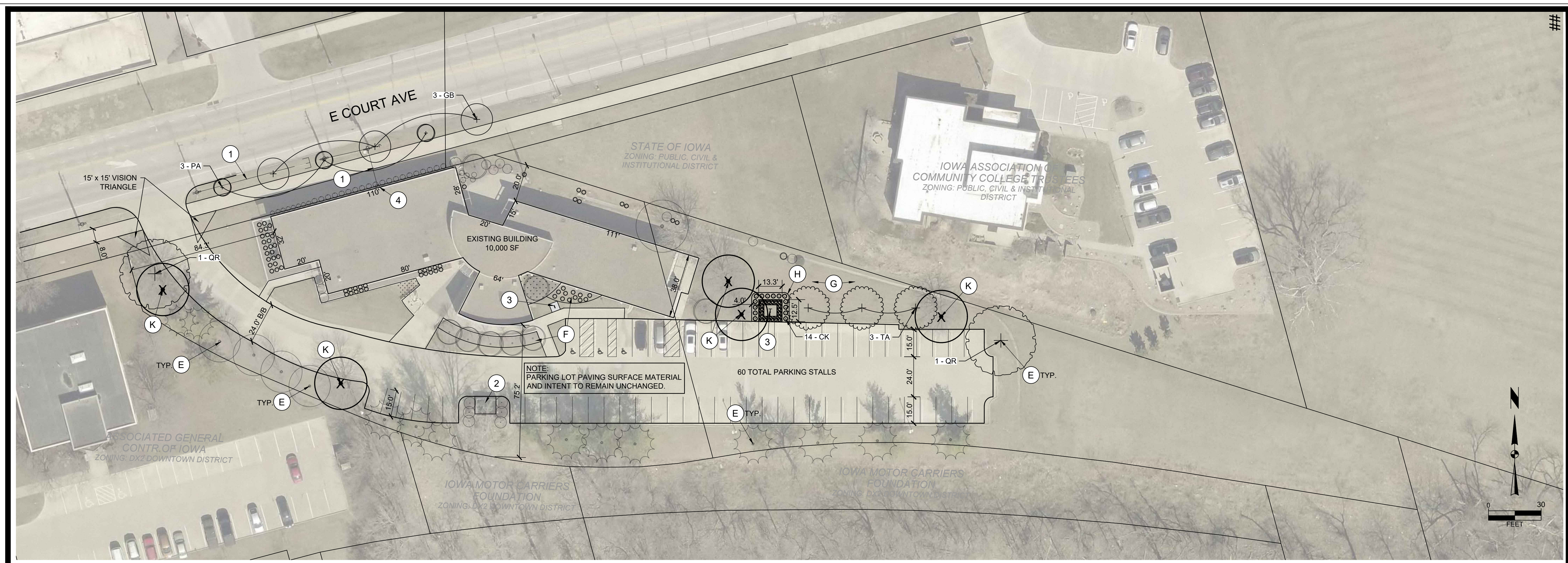
- a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS. PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS. DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.
b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.
c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS AND RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.
f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUNOFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
h. RESPREAD A MINIMUM OF 6 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OR DELAY OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.
k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

Revision table with columns: TRANSFORMER PAD ADDITION, AS PER CITY COMMENTS, REVISION, MARK, Engineer: LMW, Technician: TECH, Date: 09-20-2023, Scale: 1" = NONE, T-R-S: TTN-RRVW-SS, Sheet C101

Vertical banner for SNYDER & ASSOCIATES, INC. with contact information: 2727 S.W. SNYDER BLVD ANKENY, IOWA 50023 515-964-2020 | www.snyder-associates.com

Project No: 123.1006.01
Sheet C101
Snyder & Associates logo

\\pdrcham\20231212_1006.DWG.DDD\SP - 123.006 - TSN.dwg LORENA WASSON, PROJECT INFORMATION, 20231113, 11:51 AM, ANSIFILL.BLEED.D (4,00X,22,00 INCHES)



UTILITY PLAN CONSTRUCTION NOTES

1. REMOVE AND RELOCATE EXISTING OVERHEAD LINE UNDERGROUND. COORDINATE WITH FRANCHISE UTILITY OWNER PRIOR TO CONSTRUCTION.
2. EXISTING TRASH ENCLOSURE TO REMAIN. IF ENCLOSURE BECOMES IN STATE OF DISREPAIR, AN ENCLOSURE MEETING CURRENT CODE STANDARDS WILL BE REQUIRED.
3. PROPOSED BIKE RACK. SEE DETAIL 1/C200.
4. METER LOCATION.
5. PROPOSED TRANSFORMER LOCATION. COORDINATE WITH MID-AMERICAN ENERGY FOR EXACT SIZE AND LOCATION PRIOR TO CONSTRUCTION.

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
SHADE TREES					
GB	3	Ginkgo biloba	Maidenhair Tree (Male only)	1.5" Cal.	B&B
PA	3	Prunus americana	American Plum	1.5" Cal.	B&B
QR	2	Quercus rubra	Red Oak	1.5" Cal.	B&B
TA	3	Tilia americana	American Linden	1.5" Cal.	B&B
GRASSES					
CK	14	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gal.	Pot

PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING:**
 THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION.** CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).**
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.**
- E. PROVIDE 3-FOOT PERIMETER RING AROUND ALL PROPOSED AND EXISTING TREES WITH 3-INCH DEPTH SHREDDED HARDWOOD MULCH.**
- F. TOP DRESS EXISTING PLANTING BED AREAS WITH SHREDDED HARDWOOD MULCH AS INDICATED ON PLAN.**
- G. SOD ALL AREAS DISTURBED BY CONSTRUCTION PER SUDAS REQUIREMENTS, UNLESS NOTED OTHERWISE.**
- H. PROVIDE BLACK POWDER COAT 6-INCH STEEL EDGING WITH STAKES AND 3-INCH DEPTH SHREDDED HARDWOOD MULCH.**
- I. CONTACT THE MUNICIPAL FORESTRY DIVISION PRIOR TO PLANTING IN THE PUBLIC RIGHT OF WAY AT 515-283-4950.**
- J. ALL WIRE, TWINE AND BURLAP SHALL BE REMOVED FROM THE ROOTBALL OF TREES PRIOR TO PLANTING.**
- K. REMOVE TREE. GRUB STUMP AND ROOT SYSTEM TO A DEPTH OF 24". BACKFILL AND PROVIDE POSITIVE DRAINAGE.**

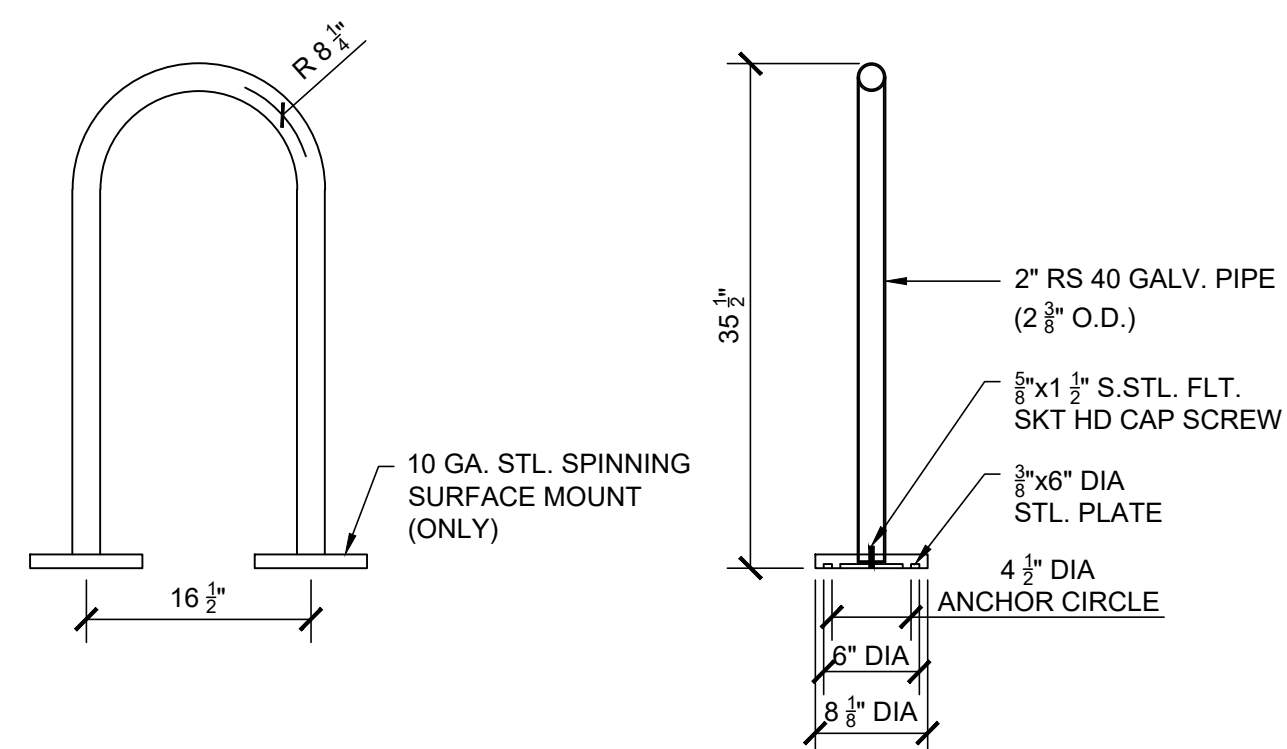
PLANTING PLAN REQUIREMENTS

- SITE TREE REQUIREMENTS:**
 -- 15% OF LOT SHALL HAVE A MATURE TREE CANOPY.
 75,252 SF * 15% = 11,288 SF REQUIRED
 EXISTING OVERSTORY TREES: 4 x 1,000 SF = 4,000 SF
 EXISTING ORNAMENTAL TREES: 8 x 700 SF = 5,600 SF
 EXISTING EVERGREEN TREES: 12 x 300 SF = 3,600 SF
 TOTAL EXISTING CANOPY COVERAGE: 13,200 SF (17.5%)
 PROPOSED OVERSTORY TREES: 4 x 1,000 SF = 4,000 SF
 TOTAL CANOPY COVERAGE PROVIDED: 17,200 SF (22.9%)

- INTERIOR PARKING LOT PLANTING REQUIREMENTS:**
 -- SHADE REQUIREMENT = 30% OF INTERIOR PARKING LOT
 21,175 SF * 30% = 6,352.5 SF REQUIRED
 EXISTING TREE COVERAGE: 6,400 SF
 PROPOSED TREE COVERAGE: 4,000 SF
 TOTAL INTERIOR PARKING LOT COVERAGE: 10,400 SF (49.1%)

- STREET TREE FRONTAGE REQUIREMENTS:**
 -- ONE (1) OVERSTORY TREE PER 30 LF OF FRONTAGE
 E COURT AVE: 192 LF / 30 = 6.4 TREES REQUIRED
 6 TREES PROVIDED. PLANTINGS TO BE INSTALLED AT THE CONCLUSION OF THE STREET RECONSTRUCTION PROJECT.

FRONTAGE BUFFER:
 NON APPLICABLE AS OFF-STREET SURFACE PARKING AND MANEUVERING AREAS ARE NOT LOCATED ADJACENT TO A STREET RIGHT-OF-WAY OR OPEN SPACE.



FINISH OPTIONS:
 COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER COATING. COLOR AS PER OWNER.

- NOTES:**
 1. INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
 2. 1/2 inch x 3/4 inch EXPANSION ANCHOR BOLTS PROVIDED FOR SURFACE MOUNT.

1 LOOP BIKE RACK
 C200 NO SCALE

2	TRANSFORMER PAD ADDITION	11-13-23	LMW
1	AS PER CITY COMMENTS	10-11-23	LMW
MARK	REVISION	DATE	BY
Engineer: LMW	Checked By: EDC	Scale: 1" = 30'	
Technician: TECH	Date: 09-20-2023	T-R-S: TTN-RRW-SS	

IOWA MOTOR TRUCK ASSOCIATION
UTILITY AND LANDSCAPE PLAN
DES MOINES, IOWA
SNYDER & ASSOCIATES, INC.
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



###

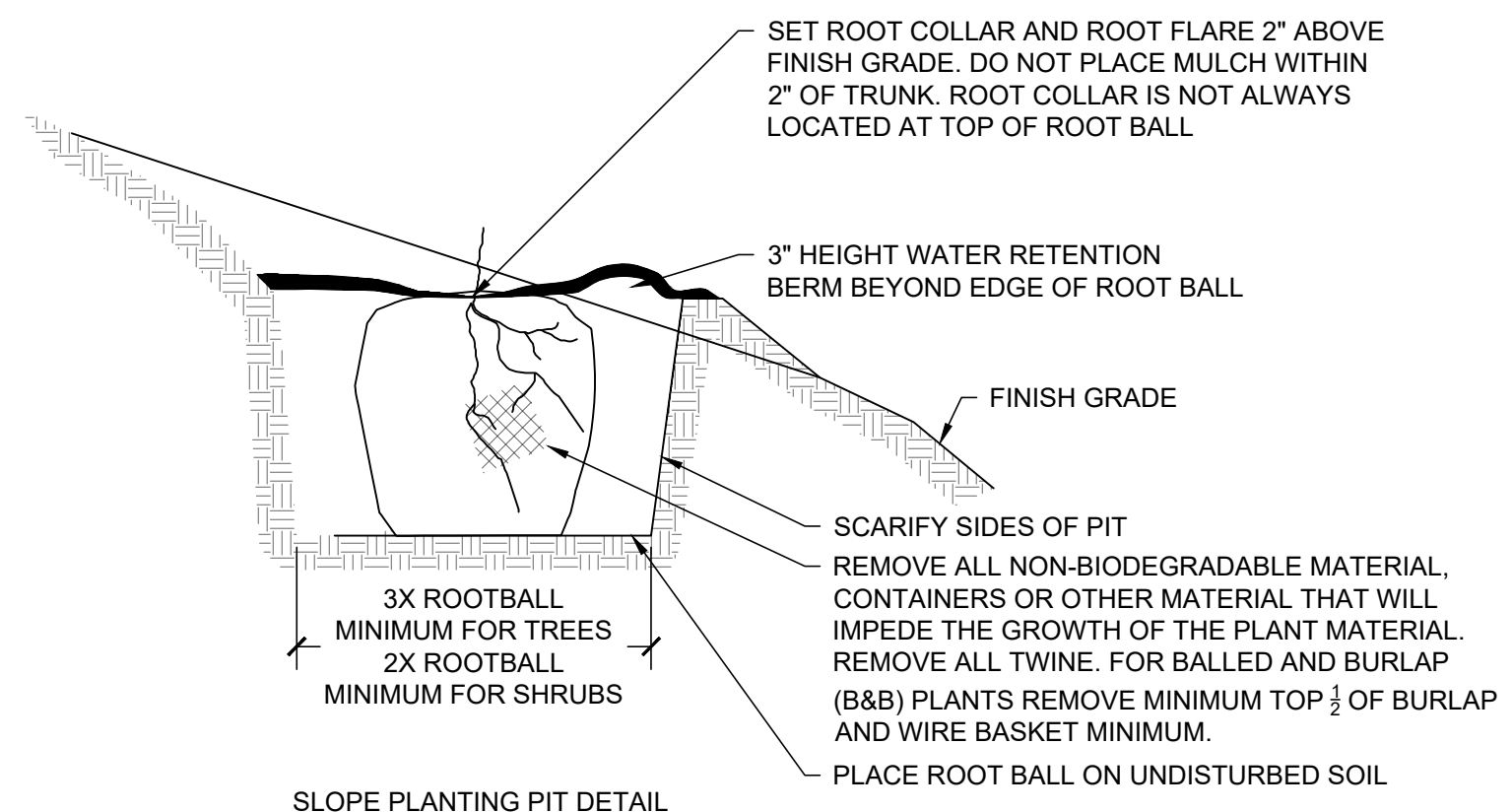
2	TRANSFORMER PAD ADDITION	11-13-23	LMW
1	AS PER CITY COMMENTS	10-11-23	LMW
MARK	REVISION	DATE	BY
Engineer: LMW	Checked By: EDC	Scale: 1" = ##'	
Technician: TECH	Date: 09-20-2023	T-R-S: TTN-RRW-SS	

Sheet C201

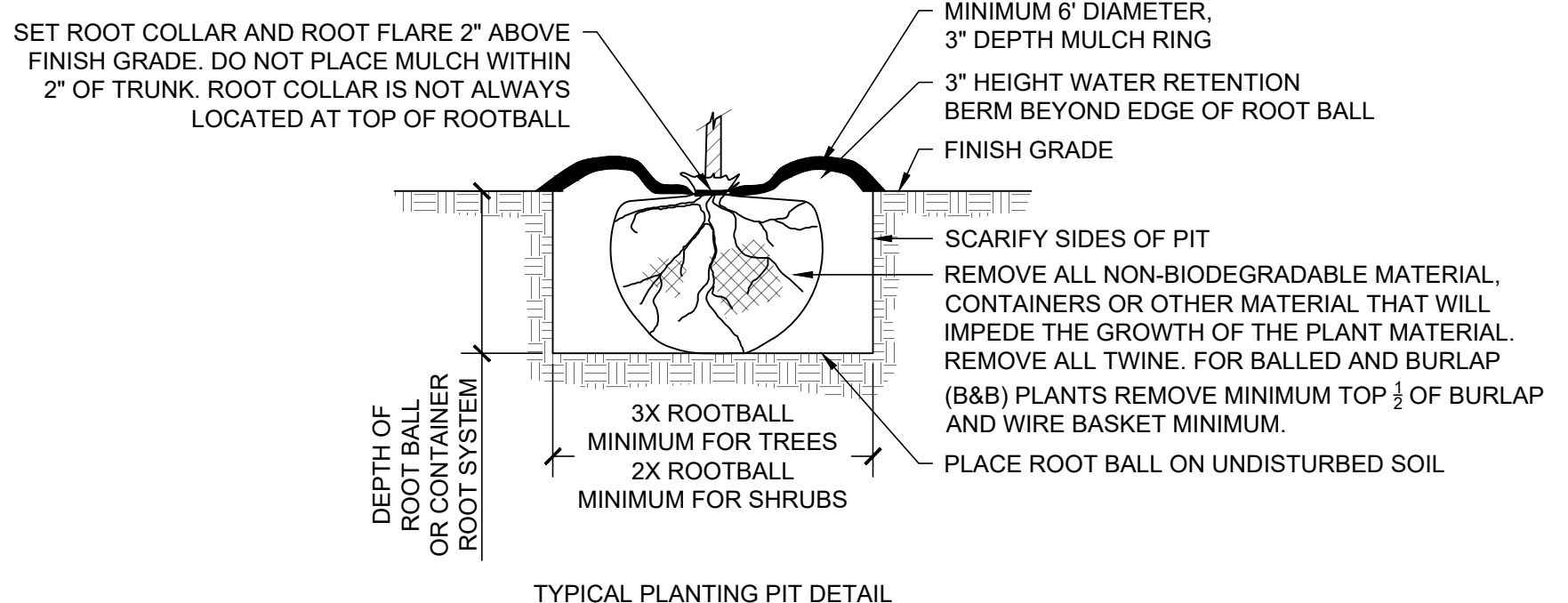
IOWA MOTOR TRUCK ASSOCIATION
LANDSCAPE DETAILS
DES MOINES, IOWA
 2727 S.W. SNYDER BLVD
 ANKENY, IOWA 50023
 515-964-2020 | www.snyder-associates.com



Project No: 123.1006.01
 Sheet C201

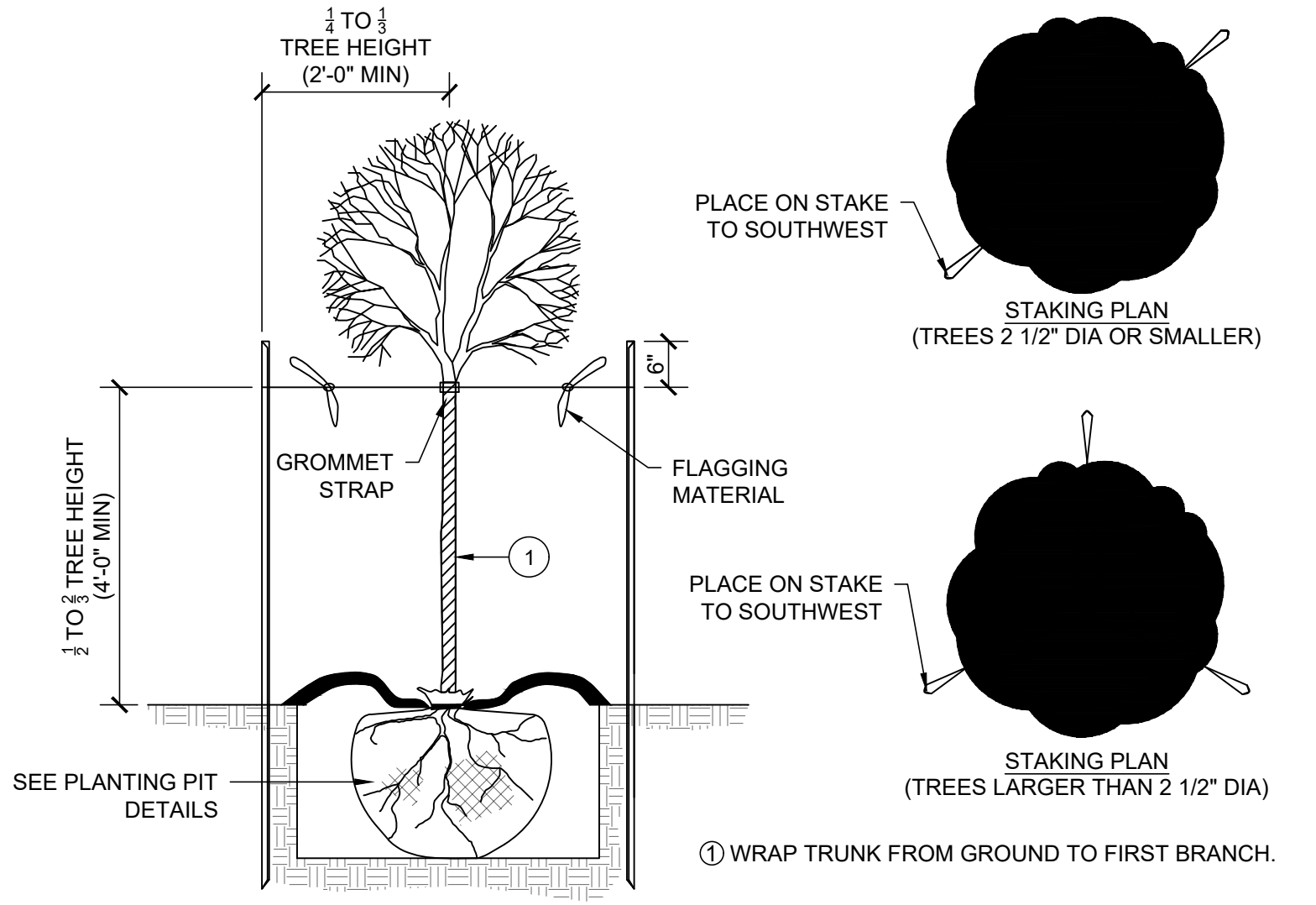


SLOPE PLANTING PIT DETAIL



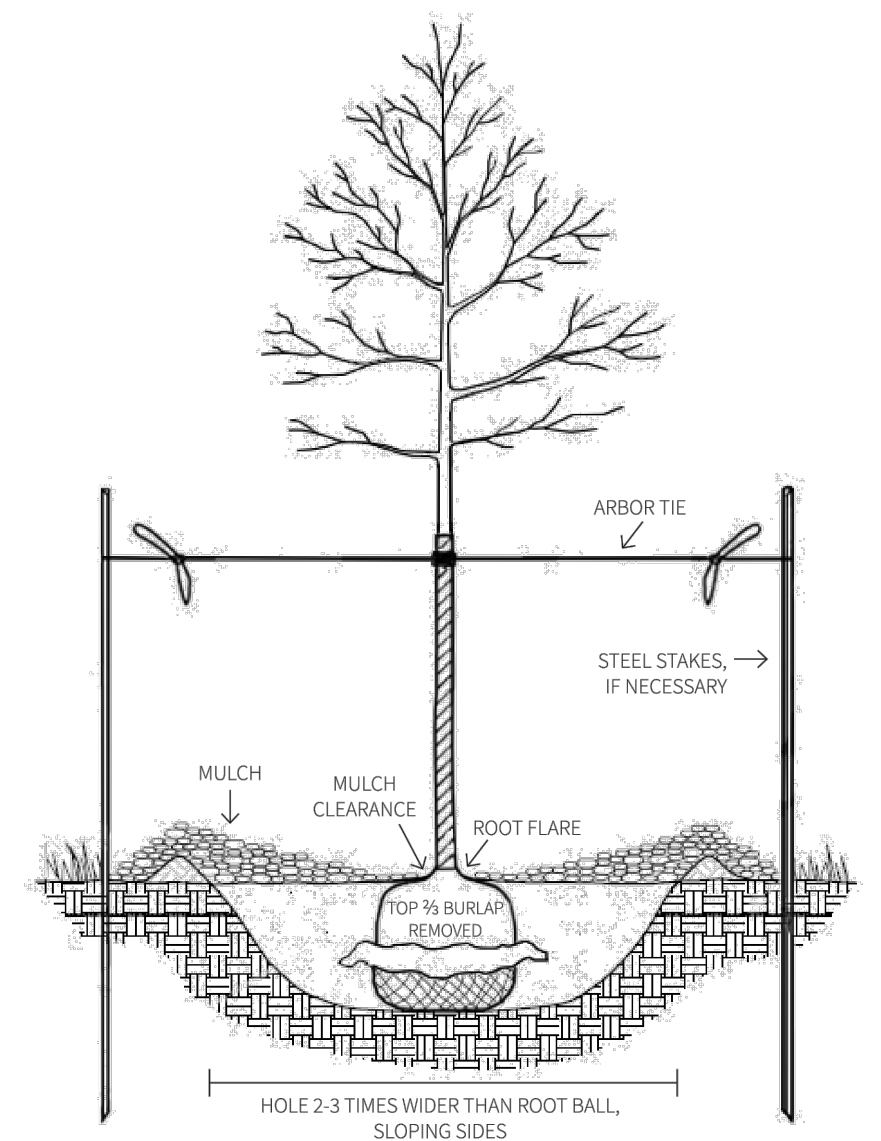
TYPICAL PLANTING PIT DETAIL

1 PLANTING PIT DETAILS
 C201 NO SCALE

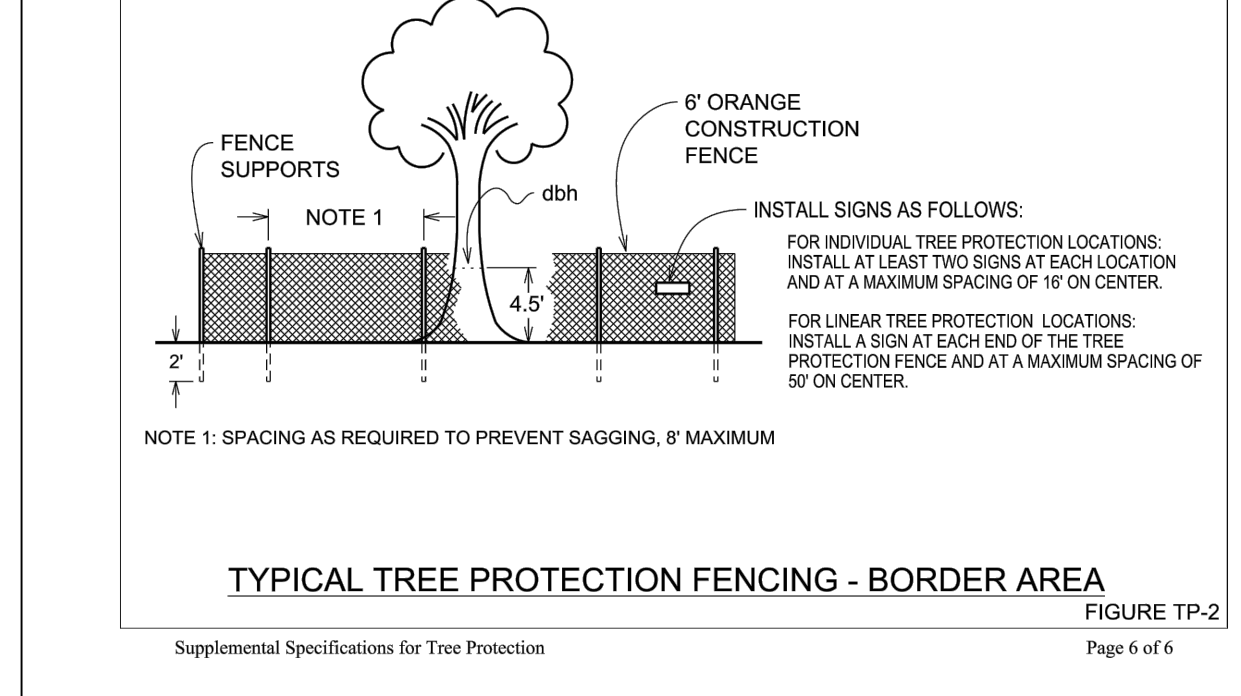
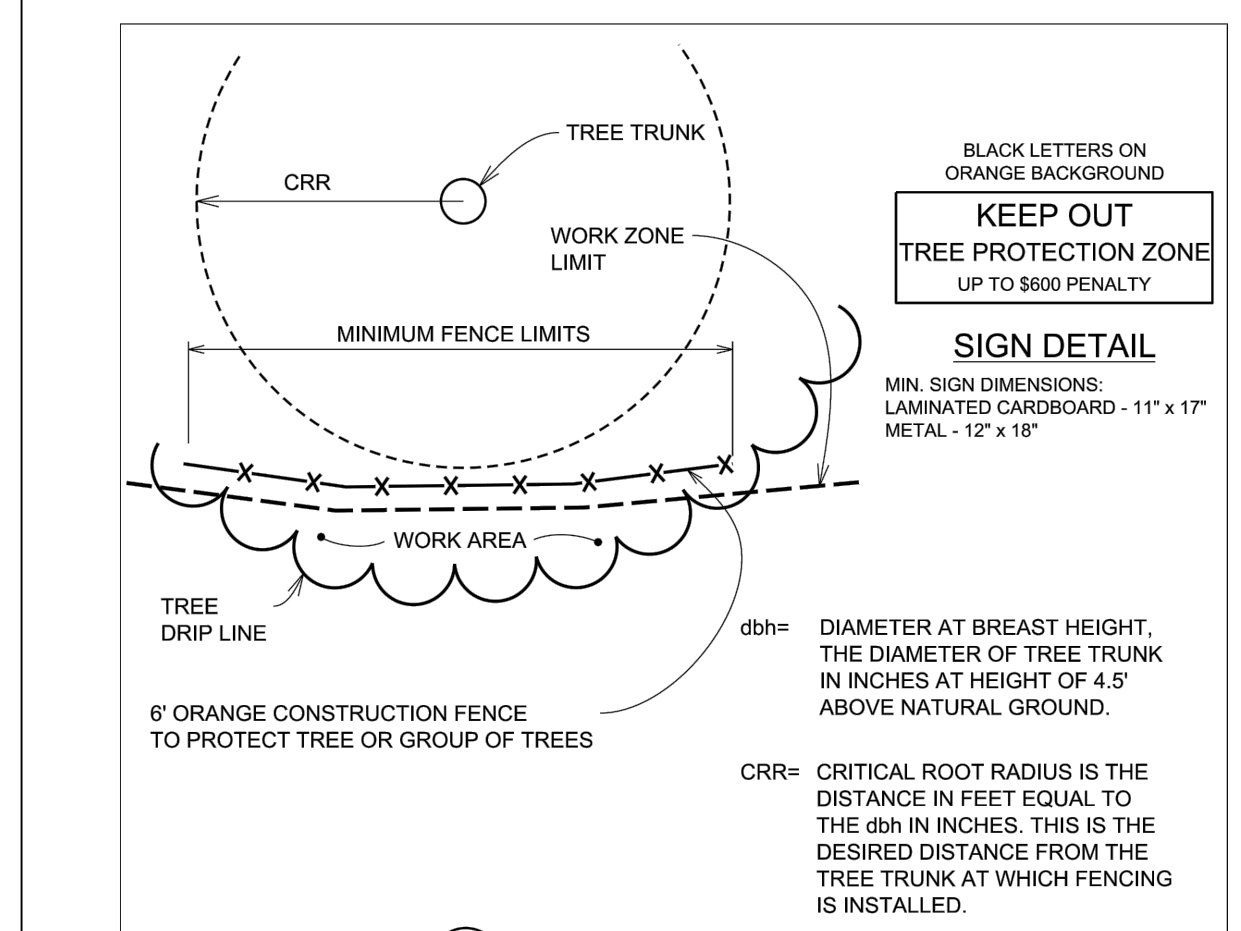
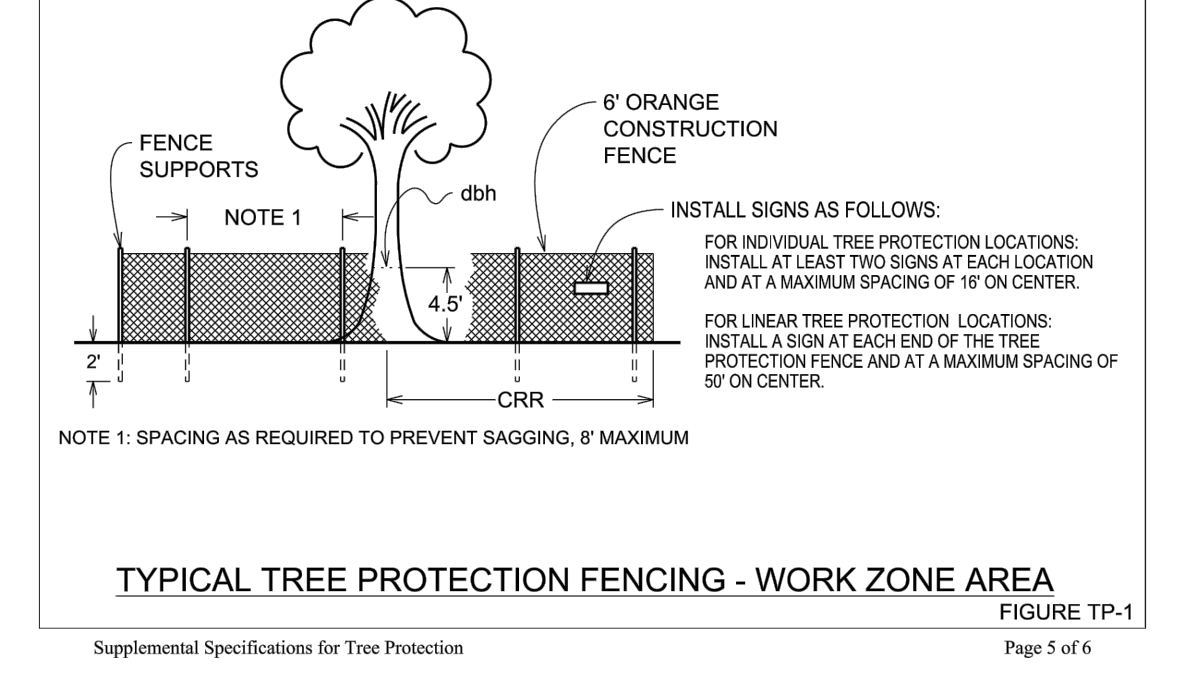
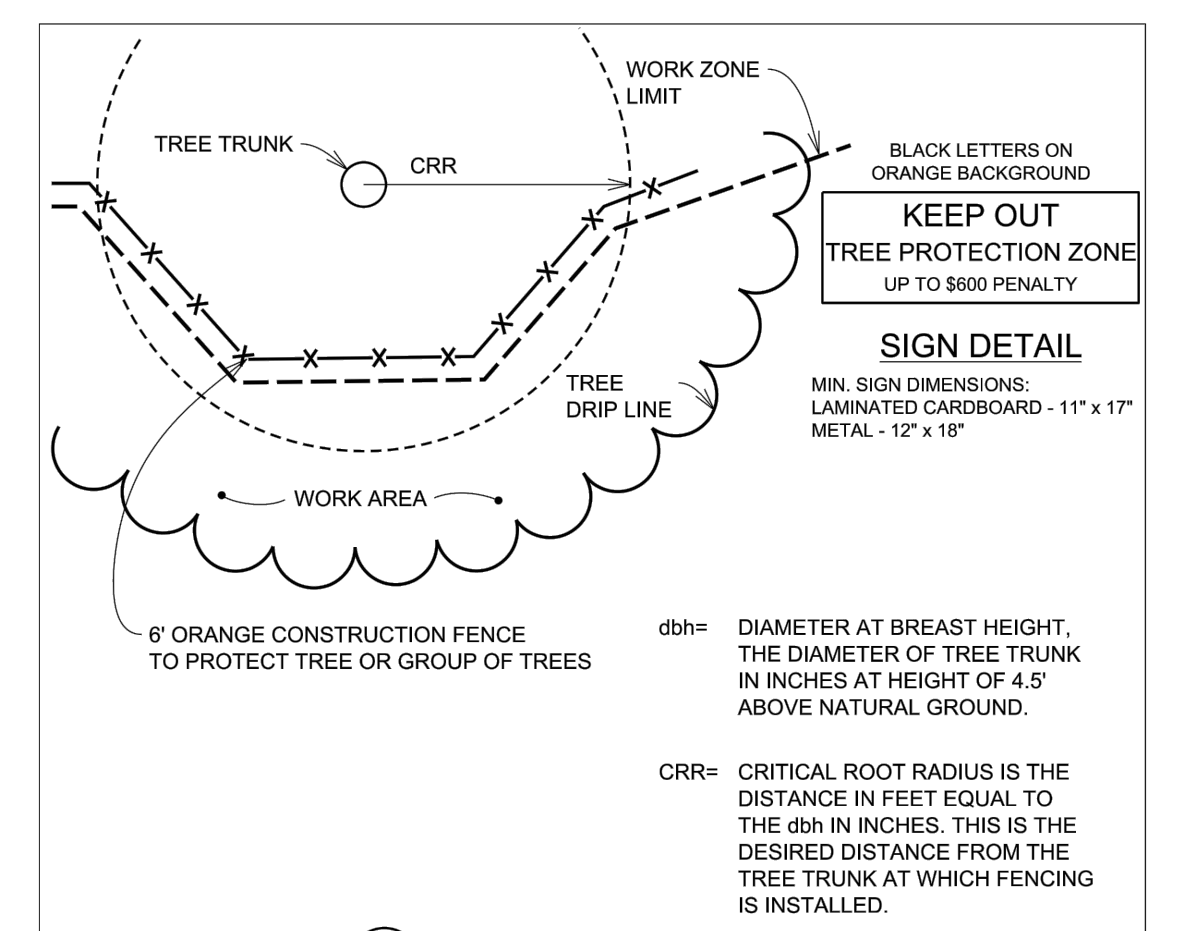


2 DECIDUOUS TREES STAKING DETAIL
 C201 NO SCALE

- STEP 1 - PEEL BACK ROPE/BURLAP/CAGE AND REMOVE SUFFICIENT SOIL TO EXPOSE ROOT FLARE.
- STEP 2 - MEASURE FROM ROOT FLARE TO BOTTOM OF ROOT BALL.
- STEP 3 - DIG HOLE TO DEPTH WHERE TOPMOST ROOTS ARE BURIED 1-2 INCHES AND THE ROOT FLARE SITS SLIGHTLY ABOVE GROUND LEVEL. DIG A HOLE 2-3 TIMES WIDER THAN THE DIAMETER OF THE ROOT BALL WITH SLOPING SIDES TO ALLOW FOR PROPER ROOT GROWTH.
- STEP 4 - REMOVE LOWER THIRD OF WIRE CAGE.
- STEP 5 - SET TREE IN HOLE. SUPPORT WITH SOME SOIL. ENSURE THAT IT'S STRAIGHT, THEN REMOVE ENTIRE WIRE CAGE AND TOP TWO-THIRDS OF BURLAP.
- STEP 6 - BACKFILL WITH TWO-THIRDS OF LOOSE NATIVE SOIL (UNLESS IT'S ALL CLAY) AND USE WATER TO SETTLE. DO NOT TAMP OR STEP ON SOIL.
- STEP 7 - BACKFILL BALANCE AND WATER AGAIN. EXCESS SOIL MAY BE USED TO CREATE A BERM/SAUCER OUTSIDE OF ROOT BALL.
- STEP 8 - ADD 2-4 INCHES OF WOOD MULCH, LEAVING A 1- TO 2-INCH CLEARANCE BETWEEN THE MULCH AND THE TRUNK.
- STEP 9 - WATER A FINAL TIME.
- STEP 10 - IF NECESSARY, PLACE TWO OPPOSING STEEL T-STAKES OUTSIDE THE ROOT BALL WITH ARBOR TIE SECURING TREE. TIES PREFERRED ON LOWER HALF OF TRUNK TO ALLOW MOVEMENT.



3 CITY OF DES MOINES PLANTING SPECIFICATIONS
 C201 NO SCALE



4 TREE PROTECTION DIAGRAMS
 C201 NO SCALE

I:\Projects\2023\123.1006.01\CADD\SP - 123.1006.LND.dwg LORENA WASSON LANDSCAPE DETAILS, 2023.11.13, 11:51 AM ANSI FULL BLEED D (24.00 X 22.00 INCHES)