

Section 4.4 Establishment of Zoning Districts

The following Zoning Districts are hereby established for the City as authorized by the City Charter and Chapter 211 of the [Texas Local Government Code](#):

DISTRICT CODE	DISTRICT NAME
AG	Agricultural - Homestead
SF-1	Estate Residential
SF-2	Low Density Single-Family Residential
SF-3	Low-Medium Density Single-Family Residential
SF-4	Medium Density Residential
SF-5	Medium-High Density Single-Family Residential
TF-1	Duplex
MF-1	Multi Family
MF-2	Multi Family
MH-1	Manufactured Housing
MH-2	Mobile Home Park
C-1	Neighborhood Commercial
C-2	Community Retail/Service
C-2R	Community Retail/Service - Restrictive Alcohol Sales
C-3	General Retail / Office
C-3R	General Retail/ Office – Restrictive Alcohol Sales
C-4	General Commercial
PF	Public Facilities (Parks and Institutional Facilities)
I-1	Light Industrial
I-2	Heavy Industrial
MURE	Mixed Use Regional Employment Center
OT	Old Town Mixed Use Overlay
FM 78	FM 78 Mixed Use Overlay
TC	Town Center Mixed Use Overlay

4.4.1 Official Zoning Map

The City is hereby divided into the above Zoning Districts, as shown on the Official Zoning Map, which, together with all explanatory matter thereon, is hereby adopted by reference and declared to be a part of the Code of Ordinances of the City. The Official Zoning Map shall be identified by the signature of the Mayor, attested by the City Secretary, and bear the Seal of the City under the following words:

"This is to certify that this is the Official Zoning Map referred to in the City Code of Ordinances, Appendix A, commonly referred to as the Unified Development Code (UDC). Adopted by Ordinance Number 1332 on April 27, 2021 by the City Council of the City of Cibolo, Texas."

If, in accordance with the provisions of this UDC, as amended, changes are made in the District boundaries or other matter portrayed on the Official Zoning Map, such changes shall be entered on the Official Zoning Map, within thirty business days after the amendment has been approved by the City Council and signed by the Mayor.

Approved zoning changes shall be entered on Zoning Map Amendment archive map and each change shall be identified on the map by the ordinance number making the change.

No change of any nature shall be made on the Official Zoning Map or matter shown thereon except in conformity with procedures set forth in this Ordinance. Any unauthorized change shall be null and void and have no force or effect.

Regardless of the existence of purported copies of the Official Zoning Map which may from time to time be made or published, the Official Zoning Map, which shall be located in the office of the City Secretary, shall be the final authority as to the current zoning status of all areas in the City.

4.4.2 Digital Mapping

Digital maps, created through the use of geographical information system technology, containing registration points recorded on the Texas State Plane Coordinate System, as amended, may be used in the administration and enforcement of this Ordinance, but will not replace the paper originals of official maps required by this Ordinance.

4.4.3 Replacement of Official Zoning Map

In the event that the Official Zoning Map becomes damaged, destroyed, lost or difficult to interpret because of the nature and/or number of changes and additions, the City Council shall, by ordinance, adopt a new Official Zoning Map, which shall supersede the prior Official Zoning Map. The new Official Zoning Map may correct drafting or other errors or omissions in the prior Official Zoning Map, but no such correction shall have the effect of amending the original Official Zoning Map or any subsequent amendment thereof. The new Official Zoning Map shall be identified by the signature of the Mayor, attested by the City Secretary, and bearing the Seal of the City and date under the following words:

"This is to certify that this Official Zoning Map supersedes and replaces the Official Zoning Map adopted (date of adoption of map being replaced) as part of Ordinance No. 1048 of the City, Texas."

Unless the prior Official Zoning Map has been lost or has been totally destroyed, the prior map or any significant parts thereof remaining shall be preserved, together with all available records pertaining to its adoption or amendment. The City shall initiate creation of a revised Official Zoning Map consistent with the provisions of this Ordinance.

4.4.4 Rules for Interpretation of District Boundaries

Where uncertainty exists as to the boundaries of Districts as shown on the Official Zoning Map, the following rules shall apply:

- A. Boundaries indicated as approximately following the center lines of streets, highways, or alleys shall be construed to follow such center lines;
- B. Boundaries indicated as approximately following platted lot lines shall be construed as following such lot lines;
- C. Boundaries indicated as approximately following city limits shall be construed as following such city limits;
- D. Boundaries indicated as following railroad lines shall be construed to be midway between the rails of the main line;
- E. Boundaries indicated as approximately following the center lines of streams, rivers, canals, lakes, or other bodies of water shall be construed to follow such center lines;
- F. Boundaries indicated as parallel to or extensions of features indicated above shall be so construed. Distances not specifically indicated in a classification amendment shall be determined by the scale of the map; and
- G. Where physical features, such as streets, railroad lines, rivers, streams and such, existing on the ground are at variance with those shown on the Official Zoning Map, or in other circumstances not covered above, the Planning and Engineering Director shall make a written interpretation of the District boundaries, for approval by the City Manager.

4.4.5 Uniform Application of District Regulations

No building, structure, or land shall hereafter be used or occupied, and no building or structure or part thereof shall hereafter be erected, constructed, reconstructed, moved, or structurally altered except in conformity with all the zoning regulations herein specified for the District in which it is located.

4.4.6 Overlay District Applicability

The Mixed-Use Overlay Districts defined herein (OT, 78, TC) include requirements specific to the designated areas as defined on the Official Zoning Map. The requirements in the overlay districts are in addition to existing zoning requirements in the corresponding zoning districts. Standards and requirements not specifically addressed in the mixed-use overlay requirements but provided for in this UDC for similar development shall apply. In the case of conflicting zoning requirements between existing zoning and the overlay district, the more flexible of requirements may apply.

4.4.7 Classification of New and Unlisted Uses

It is recognized that new types of land uses will develop, and forms of land use not anticipated may seek to locate in the City. In order to provide for such changes and contingencies, a determination as to the appropriate classification of any new or unlisted form of land use shall be made as follows:

- A. The question concerning any new or unlisted use shall be determined by the City Planner. The City Planner may choose to refer the matter to the Planning and Zoning Commission for an interpretation as to the zoning classification into which such use should be placed. The referral of the use interpretation question shall be accompanied by a statement of facts listing the nature of the use and whether it involves dwelling activity, sales, processing, type of product, storage and amount and nature thereof, enclosed or open storage, anticipated employment, transportation requirements, the amount of noise, odor, fumes, dust, toxic material, and vibration likely to be generated, and the general requirement for public utilities such as water and sanitary sewer. An applicant may appeal the decision of the City Planner with respect to the classification of a new or unlisted use.
- B. The Planning and Zoning Commission shall consider the nature and described performance of the proposed use and its compatibility with the uses permitted in the various districts and determine the zoning district or districts within which such use should be permitted.
- C. If the Planning and Zoning Commission determines that the proposed use should be added to the Schedule of Permitted Uses (Article 13 of this UDC), the UDC shall be amended after public hearings before the Planning and Zoning Commission and the City Council. If the Planning and Zoning Commission determines that the proposed use fits within the definition of a use currently listed in the Schedule of Permitted Uses, it shall transmit such finding, together with an appropriate parking requirement, in recommendation form to the City Council. The City Council shall by simple majority vote with respect to the recommendation of the Planning and Zoning Commission or make such determination concerning the classification of such use as is determined appropriate based on its findings and direct staff accordingly.

4.4.8 Prohibited Uses

No land or building shall be used or occupied for a use which will in any manner create an unreasonable potential hazard to the general public, health, safety and welfare, as, for example, but not by way of limitation, any dangerous, injurious, noxious or otherwise objectionable fire, explosive, radioactive or other hazardous conditions; noise or vibration; smoke, dust, odor or other form of air pollution; heat, cold, dampness, movement of air, electrical or other disturbances; glare; or liquid or solid wastes in a manner or amount not conforming to the appropriate performance standards of this UDC.

4.4.9 Annexation

All territory which may hereafter be annexed into the City shall automatically be classified as Agricultural (AG) until such time as permanent zoning is requested, per the Zoning Map Amendment Process, as prescribed by this ordinance. The City Council shall assign permanent zoning to annexed properties within eighteen (18) months of the completion of annexation proceedings, or as soon as is practical following

annexation. The City Council can consider the Agricultural district as a permanent zoning designation through the Zoning Map Amendment Process, as prescribed by this UDC.

Section 4.5 Zoning District Purpose Statements

4.5.1 Residential Districts

4.5.1.1 Estate Residential (SF-1)

This district is established for large-lot single-family residential housing and is consistent with a very low-density suburban/exurban development with housing arranged in conventional detached format with a maximum density of 1 unit per acre, to create a semi-rural setting of the City.

4.5.1.2 Low Density Residential District (SF-2)

This district is established for large-lot single-family residential housing and is consistent with a very low-density suburban/exurban development with housing arranged in conventional detached format with a maximum density of up to two (2) units per acre, to create a semi-rural setting of the City.

4.5.1.3 Low-Medium Density Residential District (SF-3)

This district is established for traditional suburban development of single-family detached dwellings in a low to medium density setting of up to three (3) units per acre maximum. Higher intensity residential development serves as a buffer to protect this area from incompatible uses.

4.5.1.4 Medium Density Residential District (SF-4)

This district is established for traditional suburban development of single-family detached dwellings in a medium density setting of up to four (4) units per acre maximum. Higher intensity residential development serves as a buffer to protect this area from incompatible and nuisance issues.

4.5.1.5 Medium-High Density Residential District (SF-5)

The mixed-density residential district enables a mix of residential densities up to five (5) units per acre. The district is intended to complement the suburban district and allow a mixture of different density neighborhoods.

4.5.1.7 Two-Family Residential District (TF-1)

The two-family residential district enables duplex residential development up to 12 units per acre. The district is intended to serve as a transitional or buffer use.

4.5.1.8 Multi-Family District (MF-1)

This district provides for attached, multiple family residential use to a maximum density of 18 units per acre, situated with access to an arterial roadway. It is intended to be located near retail and office use to provide convenient service and serve as a transitional or buffer use.

4.5.1.9 Multi-Family District (MF-2)

This district provides for attached, multiple family residential use to a maximum density of 24 units per acre, situated with access to an arterial roadway or highway. It is intended to be located near retail and office use to provide convenient service, and access to regional facilities for its residents and serve as a transitional or buffer use.

4.5.1.10 Manufactured Home District (MH-1)

The Manufactured Home District, MH-1, is established to provide a single-family residential zoning district most appropriate to an established neighborhood that contains predominantly manufactured home residences. This district allows for HUD-Code manufactured homes, modular homes, or other site-built homes on individual lots and provides for a diversity of housing options.

4.5.1.11 Mobile Home Park District (MH-2)

The MH-2 Mobile Home Park District is intended to provide locations for development of mobile home residence parks. Homes in this district shall be restricted to mobile homes as defined by the U.S. Department of Housing and Urban Development.

4.5.1.12 Agricultural-Homestead District (AG)

The Agricultural district is intended to serve as an initial temporary zoning designation for newly annexed properties into the City and as a permanent zoning designation for those rural properties of the City that are ideally suited for agricultural purposes. Since single-family residences are permitted in this district, this district is considered to be a residential district.

4.5.2 Mixed-Use Districts (Old Town, FM 78, Town Center Overlays and MURE zoning)

The Mixed-Use Districts are intended to ensure harmonious development, redevelopment, and rehabilitation of uses by integrating an appropriate mix of residential retail, office, entertainment, civic uses commensurate with traditional values of the city, its citizens, and the surrounding area. The establishing of these Mixed-Use Districts serve to reinforce and reinvigorate downtown Cibola's mixed-use residential, light retail and services, preserve the historical traditions and monuments of the "Old Town" and to create a Mixed Use District to expand a central core to the geographic center of Cibola.

4.5.3 Non-Residential Districts

4.5.3.1 Neighborhood Commercial District (C-1)

The Neighborhood Commercial district is established to provide for a limited variety of commercial uses and services associated with neighborhood storefront retail, service, financial, and office activities which are compatible and designed in scale with surrounding residential areas. The intent of this District is to provide convenient neighborhood access to commercial services, and buffer neighborhoods from undesirable impacts of high intensity uses, such as noise, traffic and odors through performance standards.

4.5.3.2 Community Retail/Service (C-2)

The Community Retail/Service District is established to reinforce and reinvigorate downtown Cibola's historical traditions and monuments. Town Center preserves the character, pedestrian scale, and architecture of the area surrounding Main Street by providing a limited range of business; creating a central, mixed-use destination environment for local: storefront retail, restaurants, lodging, family entertainment and evening entertainment venues including but not limited to live music, dance halls and bars.

4.5.3.2.1 Community Retail/Service – Restrictive Alcohol Sales (C-2R)

This district allows all uses permitted in the Community Retail/Service District (C-2), except that certain uses involving high-volume sales of alcoholic beverages are prohibited, including liquor sales and bars/micro-breweries, in order to provide a buffer zone between more intensive commercial uses and less intensive uses, such as residential uses.

4.5.3.3 General Retail/Office District (C-3)

The General Retail/Office District establishes a broad range of business operations, services and commercial development requiring arterial or collector street access. This district is intended for a variety of office, institutional and indoor retail uses that are designed to make the most efficient use of existing infrastructure and provide for orderly transitions and buffers between districts and uses. This district should facilitate economic development activities that will strengthen neighborhoods; promote the development of targeted industries and provide community balance; provide educational and employment opportunities; and encourage local economic investment for citizens of Cibola.

4.5.3.3.1 General Retail/Office District – Restrictive Alcohol Sales (C-3R)

This district allows all uses permitted in the General Retail/Office District (C-3), except that certain uses involving high-volume sales of alcoholic beverages are prohibited, including liquor sales and bars/micro-breweries, in order to provide a buffer zone between more intensive commercial uses and less intensive uses, such as residential uses.

4.5.3.4 General Commercial District (C-4)

The General Commercial District is established to provide for a broad range of commercial uses and activities in high visibility areas to serve the needs of the surrounding region. It is the most intensive

commercial zoning district and generally situated along a highway, arterial or collector thoroughfare as defined in the Comprehensive Master Plan.

4.5.3.5 Light Industrial District (I-1)

The I-1 District is established to permit most commercial uses, office park, flex-space, and low impact industrial uses which are compatible with surrounding commercial districts. Limited retail and service use that serve the industrial development zone are also permitted.

4.5.3.6 Heavy Industrial District (I-2)

The I-2 District is established to provide for a broad range of industrial uses. It is the least restrictive industrial zoning district and is intended for the grouping of industrial uses in locations that have adequate and convenient access to major arterials, highways, and rail lines.

4.5.3.7 Public Facilities District (PF)

The Public Facilities District is intended to provide for public, semi-public and institutional facilities within close proximity to various neighborhood and commercial land uses and to serve as a transitional or buffer use. Permitted uses include, but are not limited to parks, green space, government buildings and schools.

4.5.4 Special Districts

Generally, Special Districts are provided as follows in order to further goals and objectives of the City's Comprehensive Master Plan.

4.5.4.2 Mixed Use Regional Employment Center District (MURE)

This zoning district is reserved for areas suitable to provide a mix of very high density residential, retail, office, service, research and development, institutional and clean light industrial uses along major highways. The purpose of this district is to promote economic development and retail activity, while promoting traffic circulation and safety, protecting adjacent residential neighborhoods, and promoting a positive image of the community. It is expressly intended that no low-density residential dwellings will be allowed in this mixed-use district and any existing dwellings will remain as legal non-conforming dwellings. Medium density residential uses shall only be considered in the form of apartment or condominium uses on upper levels of buildings where non-residential uses are provided on the ground level.

4.5.4.3 FM 78 Mixed Use Overlay District (FM 78)

The "78" Overlay District (78) intends to provide a cohesive set of design and use standards for properties within its boundaries. The District recognizes the importance of the FM 78 corridor through Cibolo as a local and regional commercial center, and emphasizes traffic management, mixed commercial and residential use opportunities, and management of visual clutter through signage control, screening and buffering. Architectural design standards are part of the 78 Overlay District to promote the development of pedestrian-scale buildings and define the corridor as an active district that integrates a variety of land uses.

4.5.4.4 Old Town Mixed Use Overlay District (OT)

The Old Town Overlay District (OT) is intended to provide a cohesive set of design and use standards for properties within its boundaries. The OT District recognizes the historical fabric of Old Town Cibolo and seeks to preserve the character, pedestrian scale, and architecture of the area surrounding Main Street. Additionally, it seeks to provide a pedestrian-oriented environment and flexibility for harmonious residential, civic, and commercial uses, as well as context-sensitive design standards to integrate new development with the City's original core.

4.5.4.5 Town Center Mixed Use Overlay District (TC)

The Town Center Overlay District is intended to provide a cohesive set of design and use standards for properties within its boundaries. The TC District recognizes the current and future importance of this area adjacent to the Old Town District, the future extension of FM 1103 and Haeckerville Road, and generally the area's central location with respect to the ultimate city limits. The TC District provides additional flexibility to mix residential, commercial, and civic uses. Additionally, it seeks to provide a pedestrian-oriented building environment and manage visual clutter through signage control, screening and buffering.

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Section 13.2 Commercial Uses

All uses not expressly permitted by the UDC shall be prohibited.

P = Permitted use

C = Conditional use

S= Subject to supplemental use regulations of UDC Article 6.

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Administrative and Business Offices.	P	P	P	P	P	
Offices or private firms or organizations which are primarily used for the provision of executive, management or administrative services. Typical uses include administrative offices, and services including real estate, insurance, property management, investment, personnel, travel, secretarial services, telephone answering, photocopy and reproduction, and business offices or public utilities, organizations and associations, or other use classifications when the service rendered is that customarily associated with administrative office services.						
Agricultural Sales and Services.				P	P	P
Establishments or places of business engaged in sale (from the premises) of feed, grain, fertilizers, pesticides and similar goods or in the provision of agricultural related services with incidental storage on lots other than where the service is rendered. Typical uses include nurseries, hay, feed and grain stores and tree service firms.						
Amusement Center.		C	P	P		
An establishment offering 5 (five) or more amusement devices, including, but not limited to, coin-operated electronic games, shooting galleries, table games and similar recreational diversions within an enclosed building.						
Artisan Sales.	P	P	P	P		
The manufacture and retail sale of hand-crafted wares such as pottery, jewelry, art, and similar products of craftsmanship.						
Artisan/ Culinary Classes (Specialty Classes).	P	P	P	P		
An establishment used in the teaching of specialty classes in the arts of crafting, sculpture, artwork, food and the like. Such classes will be conducted by a trained instructor on an occasional basis.						
Automobile Dealership.				P		
Includes new and used car, pick-up truck and motorcycle sales/display and associated maintenance facilities.						
Automotive Rentals.			C	P	P	
Rental of automobiles, noncommercial trucks, trailers and recreational vehicles, including incidental parking and servicing of vehicles available for rent or lease. Typical uses include auto rental agencies, trailer rental agencies and taxicab parking and dispatching.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Automotive; Minor Repairs/Service.			P	P	P	P
An establishment primarily engaged in the repair, maintenance or washing of automobiles and pick-up trucks and similar mechanical equipment, including brake, muffler, upholstery work, tire repair and change, lubrication, tune ups, washing and transmission work, which is conducted within a completely enclosed building.						
Automotive; Major Repairs/Service.				P	P	P
Indoor and outdoor repair and service of automobiles, noncommercial trucks, motorcycles, motor homes, recreational vehicles or boats, including the sale, installation and servicing of equipment and parts. Typical uses include muffler shops, auto repair garages, body and fender shops, painting and major repairs and service activities, but excluding dismantling or salvage.						
Automotive Sales.				P	P	
Sale or lease of automobiles, noncommercial trucks, motorcycles, motor homes, recreational vehicles or boats, including incidental storage, maintenance and servicing. Typical uses include new and used car dealerships, motorcycle dealerships and boat, trailer and recreational vehicle dealerships.						
Automotive Service Station.		C-S	C-S	P-S	P-S	
That portion of property where flammable or combustible liquids or gases used as fuel are stored and dispensed from fixed equipment into the fuel tanks of motor vehicles. Accessory activities shall be permitted to include an automatic car wash and convenience food and beverage sales. Refer to Article 6 of this UDC for additional requirements.						
Automotive Washing.			P	P	P	
Refers to establishments where the primary use is the washing, cleaning and detailing of automobiles and related light equipment. Typical uses include auto laundries or car washes.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Bar/Micro Brewery.		P*	P*	P		
A use engaged in the production, preparation and retail sales of alcohol beverages for consumption on the premises, including taverns, bars, cocktail lounges and similar uses.	*Prohibited in C-2R and C-3R					
Big Box Store.			P-S	P		
A building in a Mixed Use or Commercial zoning district characterized by a footprint equal to or greater than one hundred thousand (100,000) square feet, or by a continuous building frontage equal to or greater than four hundred (400) linear feet.						
Building Maintenance Services.			P	P	P	
Establishments primarily engaged in the provision of maintenance and custodial services to firms rather than individuals. Typical uses include janitorial, landscape maintenance or window cleaning services.						
Business Services.	C	P	P	P		
An establishment intended for the conduct or service or administration by a commercial enterprise, or offices for the conduct of professional or business service.						
Business Support Services.	P	C	P	P	P	
Establishments or places of business primarily engaged in the sale, rental or repair of equipment and supplies used by office, professional and service establishments to the firms themselves rather than to individuals, excluding automotive, construction and farm equipment. Typical uses include office equipment and supply firms, small business machine repair shops or hotel equipment and supply firms.						
Business or Trade School.	C	C	P	P		
A use providing education or training in business, commerce, language, or other similar activity or occupational pursuit, and not otherwise defined as a home occupation, college or university or public or private educational facility.						
Commercial Off-street Parking.		C	C	P	P	P
Parking of motor vehicles on a temporary basis within a privately owned off-street parking facility, other than accessory to a principal use. Typical uses include commercial parking lots or parking garages.						
Communications Services.				P	P	P
Establishments primarily engaged in the provision of broadcasting and other information relay services accomplished using electronic and telephonic mechanisms but excludes those classified as major utility facilities. Typical uses include television studios or telecommunication service centers.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Concrete Asphalt Batching Plant (Permanent).					C	C
A permanent manufacturing facility for the production of concrete or asphalt.						
Construction Sales and Services.				P	P	P
Establishments or places of business primarily engaged in construction activities and incidental storage on lots other than construction sites as well as the retail or wholesale sale, from the premises, of materials used in the construction of buildings to other structures other than retail sale of paint, fixtures and hardware excluding those classified as one of the automotive and equipment services use types. Typical uses included building materials stores, tool and equipment rental or sales or building contractors.						
Consumer Repair Services.	P	P	P	P		
Establishments primarily engaged in the provision or repair services to individuals and households rather than firms but excluding automotive and equipment use types. Typical uses included appliance repair shops, watch or jewelry repair or musical instrument repair firms. All incidental storage shall be enclosed.						
Dry Cleaning Plant.					P	P
A large scale establishment primarily engaged in the large scale industrial scale cleaning of textiles and garments in large revolving washers where they are washed with the cleansing fluid and special soaps, rinsed with pure cleansing fluid, and then spun to remove most of the fluid. They are then dried with warm air in a tumbler where cleansing fluids are reclaimed and used again.						
Equipment Repair Services.				P	P	P
Repair of trucks, tractors, construction equipment, agricultural implements and similar heavy equipment. Typical uses include truck repair garages, tractor and farm implement repair services and machine shops, but exclude dismantling or salvage.						
Farmers Market.	C	P	C			
Places of business primarily engaged in the retail sale of farm grown food. Use is allowed on a day to day or part time basis with the permission of the property owner on whose property the sales will be conducted.						
Financial Services.	P	P	P	P		
Establishments primarily engaged in the provision of financial and banking services. Typical uses include banks, savings and loan institutions, loan and lending activities and similar services.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Fitness Studio/ Health Spa.	C	P	P	P		
A public or private facility operated to promote physical health and fitness. Activities may include exercise, physical therapy, yoga, health spas and martial arts studios.						
Flea Market; Outdoor Open-Air Sales.				C		
Buildings or open areas in which sales areas or stalls are set aside or rented and which are intended for use by two or more individuals or by educational, religious or charitable organizations to sell articles that are either homemade, homegrown, handcrafted, or antique.						
Food sales; Grocery.	P	P	P	P		
Establishments or places of business primarily engaged in the retail sale of food or household products for home consumption. Typical uses include groceries, delicatessens, meat markets, retail bakeries and candy shops.						
Food Truck, Ancillary.		P	P	P		
Food trucks parked and operating on a single lot home to a permanent business or building.						
Food Truck, Park.		C	C	C		
Food trucks parked and operating on a single lot and serving as the primary business on-site.						
Funeral Services.			P	P		
Establishments engaged in undertaking services such as preparing the human dead for burial and arranging and managing funerals.						
General Retail Sales, Neighborhood Scale.	P	P	P	P		
Sales or rental of commonly used goods and merchandise for personal or household uses for surrounding neighborhoods.						
General Retail Sales, Regional.			P-S	P		
Sales or rental of commonly used goods and merchandise for personal or household use. Typical uses include department stores, apparel stores, furniture stores, mail order stores or similar establishments. Refer to Article 6 of this UDC for additional requirements.						
Health Care Offices.	P	P	P	P		
A use providing consultation, diagnosis, therapeutic, preventative or corrective personal treatment services by physicians, dentists, medical and dental laboratories and similar health practitioners.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Hotel-Motel.		C	P	P		
Lodging services involving the provision of room and/or board. Typical uses include hotels, motels, bed and breakfast or transient boarding houses.						
Ice Dispensing; Portable Building/Structure.			P-S	P-S		
Refers to an automatic self-contained portable ice dispensing structure that produces and dispenses ice for retail sale as a primary or secondary use of site. This does not include typical ice machines that sell packages bags of ice.						
Indoor Entertainment.		C	P	P		
Predominantly spectator uses conducted within an enclosed building. Typical uses include motion picture theaters, meeting halls and dance halls.						
Indoor Gun Range.			C	P	P	
Permitted subject to building being soundproofed and a building design that will prevent ammunition from leaving the building, as per the Cibola building codes.						
Indoor Sports and Recreation.		C	P	P	C	
Uses conducted within an enclosed building. Typical uses include bowling alleys, billiard parlors, ice- and roller-skating rinks, Gymnasium, Cross-Fit Studios and arcades.						
Kennels.				P	P	
Boarding and care services for dogs, cats and similar small animals. Typical uses include boarding kennels, pet motels, or dog training centers.						
Laundry Services: Dry Cleaning.	P	P	P	P		
Establishments primarily engaged in the provision of laundering, dry cleaning or dyeing services as personal services.						
Laundry Services, Laundry Mat.			C	P	P	
A facility where patrons wash, dry or dry-clean personal clothing or other fabrics in machines operated by the patron.						
Liquor Store.		C*	P*	P		
Establishments engaged in the sale of alcoholic beverages for the purpose of off-premises consumption.						
						*Prohibited in C-2R and C-3R
Local Convenience Store (Without Fuel Sales).	C	C	P	P		
A commercial activity engaged in the sale of commonly used goods and merchandise for personal or household use in a structure five thousand (5,000) square feet or less in size.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Local Convenience Store (With Fuel Sales).	C	C	P	P		
A commercial activity engaged in the sale of commonly used goods and merchandise, including petroleum products, for personal or household use in a structure five thousand and one (5,001) square feet or more in size. Refer to Article 6 of this UDC for additional requirements for fuel sales.						
Outdoor Sports and Recreation (Light).		P	P	P		
Uses conducted in open or partially enclosed or screened facilities. Typical uses include driving ranges, miniature golf courses, golf courses, swimming pools, tennis courts, racquetball courts, skate parks, small scale entertainment venues and marinas.						
Outdoor Sports and Recreation (Intensive).					C	P
Intensive recreation uses that are conducted in the outdoors that generate considerable noise, vibration, heat, odor and other environmental impacts. Typical uses include racetracks, speedways, drag strips, gun firing ranges, concert venues and the like.						
Paint Shop (Non-Retail).				P	P	P
Establishments primarily engaged in the painting of cars, motorcycles, RV's and other materials.						
Pawn Shop.			C	C		
An establishment where money is loaned on the security of personal property pledged in the keeping of the owners' goods.						
Personal Services.	P	P	P	P		
Establishments primarily engaged in the provision of frequently or recurrently needed services of a personal nature. Typical uses include beauty and barber shops, seamstress, tailor, and shoe repair shops.						
Pet Services.	C	P	P	P		
Retail sales, vet services and grooming of domestic dogs, cats, birds, fish, and similar small animals customarily used as household pets. Typical uses include pet stores, dog bathing and clipping salons or pet grooming shops.						
Portable Building Sales.				P	P	
Sale and/or display of a self-contained, transportable structure that does not require attachment to a foundation or to realty in order to be functional (ex: tool or storage shed).						
Professional office.	P	P	P	P	P	
A use providing professional or consulting services in the fields of law, architecture, design, engineering, accounting and similar professions.						
Restaurant, Convenience.	P	P	P	P		
A use engaged in the preparation and retail sale of food and beverages (excluding alcoholic beverages), for on premise consumption only. Typical uses include soda fountains, ice cream parlors, sandwich shops and coffee shops.						

Use	C1	C2 C-2R	C3 C-3R	C4	I1	I2
Restaurant, Fast Food.	C	C	P	P		
A use engaged in the retail sale of pre-prepared or rapidly prepared food and beverages directly to customers (excluding alcoholic beverages), for on-and off-premise consumption, commonly referred to as having "take-out" service. Typical uses have drive-thru window service and have extended hours of operation.						
Restaurant, Neighborhood.	P	P	P	P		
A use engaged in the preparation and retail sale of food and beverages, including the sale of alcoholic beverages when conducted as an accessory or secondary feature producing less than thirty (30) percent of the gross income. For a neighborhood restaurant including outdoor entertainment, see Article 6 of this UDC for additional requirements.						
Service Station.		C-S	P-S	P-S		
An establishment where the sale of petroleum products is the principal use but may also offer incidental indoor automobile service and repair. All services provided and all storage supplies, parts, equipment shall be kept indoors.						
Sexually Oriented Businesses.				C	C	C
Refers to those acts, uses and services described more particularly in City Ordinance Number 744.						
Tire Dealer (No Open Storage).			P	P		
Tire Dealer with Open Storage.					C	
Trailer/Mobile Home Display, Sales or Storage.				P	P	
Truck/Trailer Rental and/or Leasing.				P	P	
Truck/Bus Repair.				C	P	
Truck Sales (Heavy Trucks) and RV Sales.				C	P	
Veterinary Services.	C	P	P	P	P	P
Veterinary service for all animals. Typical uses include animal clinics and hospitals. Veterinary services shall not include the boarding of large or small animals.						
Winery/Production Brewery.			C	C	P	P
An establishment that produces wine and/or beer on site. Such businesses hold proper permitting and are regulated by the Texas Alcoholic Beverage Commission. This use may be permitted in Agricultural (AG) zoning.						
Wrecker Business Associated with Auto Impounding and Storage.				C	C	C
A yard or building where automobiles are stored or offered for sale as whole units or salvaged parts.						

Section 13.3 Industrial Uses

All uses not expressly permitted by the UDC shall be prohibited.

P = Permitted use

C = Conditional use

S= Subject to supplemental use regulations of UDC Article 6.

Use	C1	C2	C3	C4	I1	I2
Basic Industry.						P
A use engaged in the basic processing and manufacturing of materials or products predominately from extracted or raw materials or a use utilizing flammable explosive or commonly recognized offensive conditions or materials.						
Custom Light Manufacturing.					P	P
Establishments primarily engaged in the on-site, indoor production and storage of goods by hand manufacturing which involves only the use of hand tools or mechanical equipment not exceeding two (2) horsepower or a single kiln not exceeding eight (8) kilowatts. The direct sale to consumers of those goods produced on-site is prohibited.						
General Contractor Services				P-S	P-S	P-S
General contractor services are permitted subject to compliance with all environmental performance standards of this UDC.						
Light Manufacturing.					P	P
A use engaged in the manufacture, predominantly from previously prepared materials, or finished products or parts, including processing, fabrication, assembly, treatment, and packaging of such products, and storage, sales and distribution of such products, but excluding basic industrial processing.						
Sand, Gravel, Stone or Petroleum Extraction, Oil and Gas Wells.					C	C

Use	C1	C2	C3	C4	I1	I2
Warehousing and Distribution.						
Establishments or places of business primarily engaged in wholesaling, storage, distribution and handling of materials and equipment other than live animals and plants. The following are wholesaling, storage and use types:						
A. Convenience Storage. Storage services primarily for personal effects and household goods within enclosed storage areas having individual access, but excluding use as workshops, hobby shops, manufacturing, or commercial activity. Typical uses include mini warehousing. Refer to Article 6 Section 6.3 for additional requirements regulating this use.			C-S	P-S	P-S	P-S
B. General Warehousing and Distribution. Open-air storage, distribution and handling of materials and equipment. Typical uses include monument or stone yards, or open storage yards.				C	P	P
C. Limited Warehousing and Distribution. Wholesaling, storage and warehousing services within enclosed structures. Typical moving and storage firms and retail mail order distribution centers.				P	P	P
Research and Development Services.						
Establishments primarily engaged in research of an industrial or scientific nature but excludes product testing. Typical uses include electronics research laboratories, research and development firms, or pharmaceutical research labs.		C	C	P	P	P
Scrap and Salvage Services and Wrecking Services.						
Places of business primarily engaged in the storage, sale, dismantling or other processing of used or waste materials which are not intended for reuse in their original forms. Typical uses include automotive wrecking yards, junk yards or paper salvage yards.						C
Vehicle Storage.						
Long term storage of operating or non-operating vehicles. Typical uses include Boat and RV Storage, storage of private parking tow-away or impound yards but exclude dismantling or salvage.				C	P	P

Section 13.4 Civic and Other Uses

All uses not expressly permitted by the UDC shall be prohibited.

P = Permitted use

C = Conditional use

S= Subject to supplemental use regulations of UDC Article 6.

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

[illegible]

Use	SF1	SF2	SF3	SF4	SF5	TF-1	MF1	MF2	MH1	MH2	C1	C2	C3	C4	I1	I2	PF	AG
Group Care Facility.							C-S	C-S				C-S						
Group Care Facilities are required to be licensed by the state and are limited supervision, treatment and/or rehabilitation to the aged, disabled, those convicted of crimes, or those suffering the effects of drugs or alcohol. This category does not include day care centers, family day care homes, foster homes, schools, hospitals, jails or prisons.																		
Life Care Services.	C-S	C-S	C-S	C-S	C-S		P-S	P-S			P-S	P-S	P-S	P-S			P-S	P-S
Retirement housing for the elderly providing residential housing and care for retired, elderly, and/or disabled people including congregate housing with common meals and/or community facilities for social events, community recreation, convalescent services, guidance services, personal services and personal improvement services, or self-contained dwelling units specifically designated for the needs of the elderly, either rented or owner-occupied. To qualify as life care housing or facilities, a minimum of 80% of the total units shall have a household head 55 years of age or greater and no long term or permanent skilled nursing care or related services are provided. Refer to Article 6 of this UDC for additional requirements.																		

Use	SF1	SF2	SF3	SF4	SF5	TF-1	MF1	MF2	MH1	MH2	C1	C2	C3	C4	I1	I2	PF	AG
Hospital Services.												C	P	P	P		P	P
A facility providing medical, psychiatric or similar service for sick or injured persons primarily on an inpatient basis including ancillary facilities for outpatient and emergency treatment, diagnostic services, training, research, administration and services to patients, employees or visitors.																		
Local Utility Services.	P	P	P	P	P		P	P	P	P	P	P	P	P	P	P	P	P
Services which are necessary to support principal development and involve only minor structures such as lines and poles which are necessary to support principal development.																		
Maintenance and Service Facilities.														P	P	P	P	
A facility supporting maintenance, repair, vehicular or equipment servicing, materials storage and similar activities, including corporation yards, equipment service centers and similar uses having characteristics of commercial services or contracting or industrial activities.																		

[illegible]

[illegible]

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Notes:

Section 14.2 Lot Design

- A. Lot sizes and dimensions shall conform to the minimum requirements of the appropriate zoning district. The lot area shall be computed including all easements. Changes in the required lot sizes and dimensions may only be allowed through rezoning or through the granting of a variance by the City Council. No lot shall be approved which does not meet the minimum requirements of the appropriate zoning district.
- B. In residential subdivisions not served by public sewer, the City shall require the developer to cause a percolation test to be made to demonstrate that all requirements of Guadalupe County for private septic systems can be satisfied. In no case will the lot size in such subdivision be less than one acre.
- C. Depth and width of properties to be used for commercial or industrial purposes shall be adequate to provide for the off-street service and parking facilities required by the type of use and development contemplated.
- D. Corner lots for residential development shall have enough width to permit the required building setbacks and proper orientation to both streets. In all single-family residential developments, corner lots shall be required to have a minimum of five (5) feet of additional setback from the adjacent side street.
- E. Where any lot backs up to a railroad right-of-way, regional scale gas line, regional scale electric transmission line, industrial area or any other land use which may have a dangerous effect on residential property, and where no marginal access street or other street is provided at the rear of such lot, an additional depth of twenty-five (25') feet shall be required. Where a lot sides to any of the above, an additional width of fifteen (15') feet shall be required. A planting screen, fence or non-access easement of at least ten (10') feet shall be provided along any lot line abutting any of the situations described in this section. Persons proposing developments that are adjacent to or traversed by major regional gas or electrical lines shall submit plats, construction plans or site plans to the affected utility and obtain a letter stating "no objection" to the proposed development before plats or site plans may be approved by the City.
- F. Residential lots located on a cul-de-sac, or semi-cul-de-sac (commonly referred to as a knuckle) shall comply with the minimum lot width requirement at the required building setback line, with the lot width to be measured as a tangent line that connects the required building setback mark along each side lot line. Said lots shall also have a minimum arc length of thirty (30') feet along the cul-de-sac or knuckle in order to provide adequate driveway width.
- G. Residential lots shall be oriented to take advantage of topography; the best relationship to the overall design of the neighborhood; and to minimize the effects of any surrounding depreciating land uses.
- H. There shall be no residential lots facing directly upon an arterial street. Residential lots located along major collector streets should ideally back up to said streets, with primary access provided by a minor collector or minor street.
- I. Side lot lines shall be as nearly perpendicular as practicable to the street or radial to curved streets, except where a waiver to this rule will provide a better street and lot layout. Every lot shall be provided with adequate access to a public street by direct frontage on such street. Rear and/or side driveway access to major streets shall be prohibited.
- J. Every lot shall be provided with adequate access to a public street, either by direct frontage on such street, or by public access easement approved by the City Council. Rear and/or side driveway access to major arterial or collector streets shall be prohibited.
- K. Minimum front setback lines from all streets shall be shown on all plats and shall conform to requirements of the applicable zoning district or Future Land Use Map designation for lots in the ETJ.

The front-line setback shall be measured from the point where the public right-of-way ends to the front face to the building, covered porch, covered terrace or attached accessory building.

- L. Double frontage lots are prohibited, except when lots back up to highways, arterial streets or major collector thoroughfares.
- M. All lots shall be numbered consecutively within each block. Lot numbering may be cumulative throughout the subdivision if the numbering continues from block to block in a uniform manner that has been approved on an overall street addressing plat. Lot numbers and address numbers must be approved by the City.
- N. ETJ Lot Standards

Subdivisions outside the City but within the City's extraterritorial jurisdiction (ETJ) are not subject to the zoning requirements of this UDC. Based on the proposed use of property in the ETJ, developers are encouraged to follow the below standards when preparing development plans:

- O. For the Purpose of this UDC, the City is divided into the following twenty (20), with each corresponding Future Land Use Map classification:

Zoning District Future Land Use Map Designation

a.	SF-1	Estate Residential (0 - 1 dwelling units per acre)
b.	SF-2	Low Density Residential (up to two (2) dwelling units/acre)
c.	SF-3	Low-Medium-Density Residential (up to three (3) dwelling units/acre)
d.	SF-4	Medium Density Residential (up to four (4) dwelling units/acre)
e.	SF-5	Medium-High Density Residential (up to five (5) dwelling units/acre)
f.	TF-1	Duplex Residential (Up to 12 dwelling units/acre)
g.	MF-1	Multi-Family Residential (Max. Density 18 dwellings/acre)
h.	MF-2	Multi-Family Residential (Max. Density 24 dwellings/acre)
i.	MH-1	Manufactured Home Residential (Max density 5.5 units per acre)
j.	MH-2	Mobile Home Residential (Max density 12 units per acre)
k.	C-1	Neighborhood Commercial
l.	C-2	Community Retail/ Service
m.	C-2R	Community Retail/Service – Restrictive Alcohol Sales
n.	C-3	General Retail/Office
o.	C-3R	General Retail/Office – Restrictive Alcohol Sales
p.	C-4	General Commercial
q.	PF	Public Facilities (Parks and Institutional Facilities)
r.	I-1	Light Industrial
s.	I-2	Heavy Industrial
t.	AG	Agricultural - Homestead

1. Zoning District SF-1, Estate Residential

- a. Intent - This district is established for large-lot single-family residential housing and agricultural use. It is consistent with a very low-density suburban/exurban environment with housing arranged in conventional detached format with a maximum density of one (1) unit per acre. These lots contribute to the semi-rural setting of the City and are protected from incompatible uses. Mobile/manufactured/ modular homes are not permitted.
- b. Permitted uses - one (1) dwelling unit per lot, community recreational facilities, and farms.
- c. Specific uses - subject to Site Plan approval, places of worship, schools, and private recreational amenities.
- d. Lot Design Requirements
 - (1) Minimum Lot Area 43,560 sq. ft.
 - (2) Minimum Lot Width 100'
 - (3) Minimum Front Setback 40'

(4) Minimum Rear Setback	25'
(5) Minimum Side Setback	25'
(6) Maximum Height of Principal Building	35'
(7) Maximum Lot/Impervious Coverage	35%
(8) ETJ Classification	Estate Residential

2. Zoning District SF-2, Low Density Residential

- a. Intent - This district is established for traditional suburban development of single-family detached dwellings in a low density setting of up to two (2) units per acre. Higher intensity residential development serves as a buffer to protect this area from incompatible and nuisance issues. Mobile/ manufactured homes are not permitted.
 - b. Permitted uses - one (1) dwelling unit per lot, and community recreational facilities.
 - c. Specific uses - subject to Site Plan approval, private recreational amenities, places of worship, schools.
 - d. Lot Design Requirements
 - (1) Minimum Lot Area 21,000 sq. ft.
 - (2) Minimum Lot Width 85'
 - (3) Minimum Front Setback 35'
 - (4) Minimum Rear Setback 25'
 - (5) Minimum Side Setback 10'
 - (6) Maximum Height of Principal Building 35'
 - (7) Maximum Lot/Impervious Coverage 35%
- (8) ETJ Classification Low Density Residential**

3. Zoning District SF-3, Low-Medium Density Residential

- a. Intent - This district is established for traditional suburban development of single-family detached dwellings in a low to medium density setting of up to three (3) units per acre. Higher intensity residential development serves as a buffer to protect this area from incompatible and nuisance issues. Mobile/ manufactured homes are not permitted.
 - b. Permitted uses - one (1) dwelling unit per lot, and community recreational facilities.
 - c. Specific uses - subject to Site Plan approval, private recreational amenities, places of worship, schools.
 - d. Lot Design Requirements
 - (1) Minimum Lot Area 12,000 sq. ft.
 - (2) Minimum Lot Width 80'
 - (3) Minimum Front Setback 25'
 - (4) Minimum Rear Setback 25'
 - (5) Minimum Side Setback 15'
 - (6) Maximum Height of Principal Building 35'
 - (7) Maximum Lot/Impervious Coverage 40%
- (8) ETJ Classification Low-Medium Density Residential**

4. Zoning District SF-4, Medium Density Residential

- a. Intent - This district is established for traditional suburban development of single-family detached dwellings in a medium density setting of up to four (4) units per acre. Higher intensity residential development serves as a buffer to protect this area from incompatible and nuisance issues. Mobile/ manufactured homes are not permitted.
- b. Permitted uses - one (1) dwelling unit per lot, and community recreational facilities.
- c. Specific uses - subject to Site Plan approval, private recreational amenities, places of worship, schools.
- d. Lot Design Requirements
 - (1) Minimum Lot Area 9,200 sq. ft.
 - (2) Minimum Lot Width 70'
 - (3) Minimum Front Setback 25'

(4) Minimum Rear Setback	10'
(5) Minimum Side Setback	15'
(6) Maximum Height of Principal Building	35'
(7) Maximum Lot/Impervious Coverage	50%
(8) ETJ Classification	Medium Density Residential

5. Zoning District SF-5, Medium-High Density Residential

a. Intent - This district is established for traditional suburban development of single-family detached dwellings in a medium to high density setting of up to five (5) units per acre. Higher intensity residential development serves as a buffer to protect this area from incompatible and nuisance issues. The district is intended to complement the suburban district and in infill areas of the Town Center, serving as a transitional use between commercial and single family uses. Mobile/manufactured homes are not permitted.

b. Permitted uses - one (1) dwelling unit per lot, and community recreational facilities.

c. Specific uses - subject to Site Plan approval, private recreational amenities, places of worship, schools.

e. Lot Design Requirements

(1) Minimum Lot Area	7,200 sq. ft.
(2) Minimum Lot Width	65'
(3) Minimum Front Setback	25'
(4) Minimum Rear Setback	10'
(5) Minimum Side Setback	10'
(6) Maximum Height of Principal Building	35'
(7) Maximum Lot/Impervious Coverage	55%

(8) ETJ Classification **Medium-High Density Residential**

6. Zoning District TF-1, Duplex Residential

a. Intent - The duplex residential district enables higher density (Up to 12 units per acre) housing types such as duplex/triplex to be developed in closer proximity to collector streets. The district is intended to complement the suburban district and in infill areas of the Town Center, serving as a transitional use between commercial and single family uses. Mobile/manufactured/modular homes are not permitted.

b. Permitted uses – one (1) duplex or triplex per lot, and community recreational facilities.

c. Specific uses - subject to Site Plan approval, private recreation amenities, places of worship, schools.

d. Lot Design Requirements

(1) Minimum Lot Area	9,000 sq. ft.
(2) Minimum Lot Width	75'
(3) Minimum Front Setback	25'
(4) Minimum Rear Setback	10'
(5) Minimum Side Setback	10'
(6) Maximum Height of Principal Building	35'
(7) Maximum Lot/Impervious Coverage	60%

(8) ETJ Classification **Medium High Density Residential**

7. Zoning District MF-1, Multi-Family Residential

a. Intent - This district provides for attached, multiple family residential use to a maximum density of 18.0 units per acre, situated with access to an arterial roadway. It is intended to be located near retail and office use to provide convenient service. Its scale is complementary to the Town Center and provides pedestrian access to surrounding service uses. Mobile/manufactured/modular homes are not permitted.

b. Permitted uses - townhomes, condominiums and apartments not to exceed eighteen (18) dwelling units per acre, and cluster housing not to exceed fifteen (18) units per acre. Mobile/manufactured/modular homes are not permitted.

- c. Specific uses - subject to Site Plan approval, private recreational amenities, places of worship, schools.
- d. Lot Design Requirements
 - (1) Maximum Lot Area 20 Acres
 - (2) Minimum Lot Width 100'
 - (3) Minimum Front Setback 25'
 - (4) Minimum Rear Setback 10'
 - (5) Minimum Side Setback 10'
 - (6) Maximum Height of Principal Building 45'
 - (7) Maximum Lot/Impervious Coverage 75%
 - (8) **ETJ Classification** **Medium High - High Density Residential**

8. Zoning District MF-2, Multi-Family Residential

- a. Intent - This district provides for attached, multiple family residential use to a maximum density of 24 units per acre, situated with access to a major arterial roadway or highway. It is intended to be located near retail and office use to provide convenient service, and access to regional facilities for its residents.
- b. Permitted uses - townhomes, condominiums and apartments not to exceed twenty-four (24) dwelling units per acre, and cluster housing not to exceed twenty-four (24) units per acre. Mobile/manufactured/modular homes are not permitted.
- c. Specific uses - subject to Site Plan approval, private recreational amenities.
- d. Lot Design Requirements
 - (1) Maximum Lot Area 30 Acres
 - (2) Minimum Lot Width 100'
 - (3) Minimum Front Setback 25'
 - (4) Minimum Rear Setback 10'
 - (5) Minimum Side Setback 10'
 - (6) Maximum Lot/Impervious Coverage 80%
 - (7) Maximum Height of Principal Building 45'
 - (8) **ETJ Classification** **High Density Residential**

9. Zoning District MH-1, Manufactured Home Residential

- a. Intent - The Manufactured Home District is established to provide a single-family residential zoning district most appropriate to an established neighborhood that contains predominantly manufactured home residences. This district allows for HUD-Code manufactured homes, modular homes, or other site-built homes on individual lots and provides for a diversity of housing options. Maximum density is limited to 5.5 dwelling units per acre.
- b. Permitted uses – manufactured/modular homes.
- c. Specific uses - subject to Site Plan approval, private recreational amenities.
- d. Lot Design Requirements
 - (1) Minimum Lot Area 6,600 sq. ft.
 - (2) Minimum Lot Width 75'
 - (3) Minimum Front Setback 25'
 - (4) Minimum Rear Setback 20'
 - (5) Minimum Side Setback 10'
 - (6) Maximum Height of Principal Building 35'
 - (7) Maximum Lot/Impervious Coverage 40%
 - (8) **ETJ Classification** **Manufactured/Modular Residential**

10. Zoning District MH-2, Mobile Home Park

- a. Intent - The MH-2 Mobile Home Park District is intended to provide locations for development of mobile home residence parks. Homes in this district shall be restricted to mobile homes as defined by the U.S. Department of Housing and Urban Development. Maximum density is limited to 12 dwelling units per acre.

- b. Permitted uses – mobile homes, as defined by the U.S. Department of Housing and Urban Development
 - c. Specific uses - subject to Site Plan approval, private recreational amenities.
 - d. Lot Design Requirements
 - (1) Minimum Lot Area 43,560 sq. ft.
 - (2) Minimum Lot Width 55'
 - (3) Minimum Front Setback 25'
 - (4) Minimum Rear Setback 10'
 - (5) Minimum Side Setback 5'
 - (6) Maximum Height of Principal Building 35'
 - (7) Maximum Lot/Impervious Coverage 50%
- (8) ETJ Classification Mobile Home Residential**

11. Zoning District C-1, Neighborhood Commercial

- a. Intent - The Neighborhood Commercial district is established to provide for a limited variety of commercial uses and services associated with neighborhood storefront retail, service, financial, and office activities which are compatible and designed in scale with surrounding residential areas. The intent of this District is to provide convenient neighborhood access to commercial services, and minimize undesirable impacts such as noise, traffic and odors through performance standards.
 - b. Permitted uses – limited office and retail uses and services which are compatible and designed in scale with surrounding residential areas.
 - c. Specific uses - subject to Site Plan approval, limited office, retail and service uses which are compatible and designed in scale with surrounding residential areas.
 - d. Lot Design Requirements
 - (1) Minimum Lot Area None
 - (2) Minimum Lot Width 50'
 - (3) Minimum Front Setback 20'
 - (4) Minimum Rear Setback 20'
 - (5) Minimum Side Setback 10'
 - (6) Maximum Lot/Impervious Coverage 70%
 - (7) Maximum Height of Principal Building 35'
- (8) ETJ Classification Light Retail, Office and Services**

12. Zoning District C-2, Community Retail/Service

- a. Intent – The Community Retail/Service District is established to reinforce and reinvigorate downtown Cibola's historical traditions and monuments. Town Center preserves the character, pedestrian scale, and architecture of the area surrounding Main Street by providing a limited range of business; creating a central, mixed-use destination environment for local: storefront retail, restaurants, lodging, family entertainment and evening entertainment venues including but not limited to live music, dance halls and bars.
 - b. Permitted uses – a mix of retail, office, entertainment and civic.
 - c. Specific uses - subject to Site Plan approval, office, retail and service uses which are compatible and designed in scale with Old Town Cibola and a Town Center.
 - d. Lot Design Requirements
 - (1) Minimum Lot Area None
 - (2) Minimum Lot Width 70'
 - (3) Minimum Front Setback 15'
 - (4) Minimum Rear Setback 15'
 - (5) Minimum Side Setback 15'
 - (6) Maximum Lot/Impervious Coverage 70%
 - (7) Maximum Height of Principal Building 45'
- (8) ETJ Classification Retail, Office and Services**

13. Zoning District C-3, General Retail/Office

- a. Intent - The Retail/Office District establishes a broad range of business operations, services and commercial development requiring arterial or collector street access. This district is intended for a variety of office, institutional and indoor retail uses that are designed to make the most efficient use of existing infrastructure and provide for orderly transitions and buffers between districts and uses. This district should facilitate economic development activities that will strengthen neighborhoods; promote the development of targeted industries and provide community balance; provide educational and employment opportunities; and encourage local economic investment for citizens of Cibola.
 - b. Permitted uses – general retail, office and service uses
 - c. Specific uses - subject to Site Plan approval, completely enclosed general retail, office and service uses
 - d. Lot Design Requirements
 - (1) Minimum Lot Area None
 - (2) Minimum Lot Width 70'
 - (3) Minimum Front Setback 25'
 - (4) Minimum Rear Setback 15'
 - (5) Minimum Side Setback 15'
 - (6) Maximum Lot/Impervious Coverage 75%
 - (7) Maximum Height of Principal Building 45'
- (8) ETJ Classification Indoor retail, office and services**

14. Zoning District C-2R, Community Retail/Service Restrictive Alcohol Sales

- a. Intent - This district allows all uses permitted in the Community Retail/Service District (C-2), except that certain uses involving high-volume sales of alcoholic beverages are prohibited, including liquor sales and bars/micro-breweries, in order to provide a buffer area between more intensive commercial uses permitted in existing commercial zoning districts and other types of zoning districts, especially residential districts, which may be adversely impacted by commercial uses associated with high-volume alcohol sales businesses, including liquor stores, bars, and microbreweries, due to increased traffic, noise, and/or hours of operation caused by such businesses.
 - b. Permitted uses - a mix of retail, office, entertainment and civic.
 - c. Specific uses - subject to site plan approval, office, retail and service uses which are compatible and designed in scale with Old Town Cibola and a Town Center.
 - d. Lot Design Requirements
 - (1) Minimum Lot Area None
 - (2) Minimum Lot Width 70'
 - (3) Minimum Front Setback 15'
 - (4) Minimum Rear Setback 15'
 - (5) Minimum Side Setback 15'
 - (6) Maximum Lot/Impervious Coverage 70%
 - (7) Maximum Height of Principal Building 45'
- (8) ETJ Classification Retail, Office and Services**

15. Zoning District C-4, General Commercial

- a. Intent - The General Commercial district is established to provide for a broad range of commercial uses and activities in high visibility areas to serve the needs of the surrounding region. It is the most intensive commercial zoning district and generally situated along a highway or major roadway due to high traffic requirements.
- b. Permitted uses – Commercial Uses
- c. Specific uses - subject to Site Plan approval, retail, office, service and general commercial uses.
- d. Lot Design Requirements

(1) Minimum Lot Area	None
(2) Minimum Lot Width	70'
(3) Minimum Front Setback	40'
(4) Minimum Rear Setback	35'
(5) Minimum Side Setback	20'
(6) Maximum Lot/Impervious Coverage	80%
(7) Maximum Height of Principal Building	45'
(8) ETJ Classification	Commercial

16. Zoning District C-3R, General Retail/Office Restrictive Alcohol Sales

- a. Intent - This district allows all uses permitted in the General Retail/Office District (C-3), except that certain uses involving high-volume sales of alcoholic beverages are prohibited, including liquor sales and bars/micro-breweries, in order to provide a buffer area between more intensive commercial uses permitted in existing commercial zoning districts and other types of zoning districts, especially residential districts, which may be adversely impacted by commercial uses associated with high-volume alcohol sales businesses, including liquor stores, bars, and microbreweries, due to increased traffic, noise, and/or hours of operation caused by such businesses.

- b. Permitted uses - general retail, office and service uses.
c. Specific uses - subject to site plan approval, completely enclosed general retail, office and service uses.

d. Lot Design Requirements

(1) Minimum Lot Area	None
(2) Minimum Lot Width	70'
(3) Minimum Front Setback	25'
(4) Minimum Rear Setback	15'
(5) Minimum Side Setback	15'
(6) Maximum Lot/Impervious Coverage	80%
(7) Maximum Height of Principal Building	45'
(8) ETJ Classification	Commercial

17. Zoning District I-1, Light Industrial

- a. Intent – The I-1 district is established to permit most commercial uses, office park, flex-space, and low impact industrial uses which are compatible with surrounding commercial districts. Limited retail and service uses that serve the industrial development zone are also permitted.

- b. Permitted uses – most commercial uses, office park, flex-space, and low impact industrial uses which are compatible with surrounding commercial districts. Limited retail and service uses that serve the industrial development zone are also permitted.

- c. Specific uses - subject to Site Plan approval, most commercial uses, office park, flex-space, and low impact industrial uses which are compatible with surrounding commercial districts. Limited retail and service uses that serve the industrial development zone are also permitted.

d. Lot Design Requirements

(1) Minimum Lot Area	None
(2) Minimum Lot Width	100'F
(3) Minimum Front Setback	50'
(4) Minimum Rear Setback	40'
(5) Minimum Side Setback	25'
(6) Maximum Lot/Impervious Coverage	80%
(7) Maximum Height of Principal Building	45'
(8) ETJ Classification	Light Industrial

18. Zoning District I-2, Heavy Industrial

- a. Intent - The I-2 district is established to provide for a broad range of industrial uses. It is the least restrictive industrial zoning district and is intended for the grouping of industrial uses in locations that have adequate and convenient access to major arterials, highways, and rail lines.
- b. Permitted uses – Light and Heavy Industrial Uses
- c. Specific uses - subject to Site Plan approval, light and heavy industry uses provided that the external physical effects thereof are contained within the boundaries of the respective development sites.
- d. Lot Design Requirements
 - (1) Minimum Lot Area None
 - (2) Minimum Lot Width 100'
 - (3) Minimum Front Setback 50'
 - (4) Minimum Rear Setback 50'
 - (5) Minimum Side Setback 25'
 - (6) Maximum Lot/Impervious Coverage 80%
 - (7) Maximum Height of Principal Building 45'
- (8) ETJ Classification Heavy Industrial

19. Zoning District PF, Public Facilities

- a. Intent - The Public Facilities District is intended to provide for public, semi-public and institutional facilities within close proximity to various neighborhood and commercial land uses.
- b. Permitted uses – includes parks, green space, schools, governmental uses and other land intended for recreation in the city.

20. Zoning District Agricultural

Intent - The Agricultural district is intended to serve as an initial temporary zoning designation for newly annexed properties into the City and as a permanent zoning designation for those rural properties of the City that are ideally suited for agricultural purposes. Since single-family residences are permitted in this district, this district is considered to be a very low-density residential district. Such acreage contributes to the rural to semi-rural setting of the City and is protected from incompatible uses.

Section 14.3 Modified Residential Standards

A. General Purpose and Descriptions

This Section deals with specific residential products allowed within the Multi-Family Residential zoning districts. Applicable residential products include townhomes, duplex, patio homes and condominiums. Although not a multi-family product, patio homes may use the modified standards in this section.

B. Area regulations

Property and buildings shall conform to the applicable MF-1 or MF-2 zoning with the exceptions of the housing products presented in Section 14.3. In those instances, a developer may:

1. Propose a zero-lot line product:
 - a. Maximum lot acreage of 20 acres in MF-1 and 30 acres in MF-2;
 - b. Minimum lot width to be 40 feet;
 - c. Minimum front BSL to be 15 feet;
 - d. Minimum side BSL to be 0 on one side and 10 feet on other side;
 - e. Minimum rear BSL to be 10 feet.

For lots with the zero (0) BSL setback, the zero side must:

- a. Have a roof overhang equipped with a gutter that may extend a maximum of eight (8") inches into a neighboring lot. No other roof overhangs or extensions from a wall may extend into a neighboring lot.

- b. Have storm gutters installed on the closest exterior roofline to an adjacent property if the general slope of the roof falls toward the neighboring lot. Gutters must include returns to direct the water to the lot of origin.
- c. Have the “zero” side designated on the Final Plat. Depict all access, maintenance and use easements on Preliminary and Final Plats.
- d. Have a five (5’) foot wide access, maintenance and use easement dedicated on the Final Plat for all lots adjacent to lots with a “zero” side. This easement’s purpose is to give the adjoining owner access to maintenance of dwelling.
- e. Not have any windows, doors, ducts, grills, vents or other openings on building walls which are located facing the “zero” side. This requirement impedes exterior walls forming enclosures for courts, patios or similar indentations into the “zero” wall.

C. The below supplemental standards apply to all Planned Multi-Family Residential

1. Minimum Front Yard

- a. Adjacent to a townhouse, duplex or a single-family zoning district that allows townhouses, duplexes, or single-family residential, Overlays having or allowing residential or area depicted on the Future Land Use Map (FLUM) for Rural and Neighborhood Residential.

Building Height	Yard Depth
One-Story	Fifty (50) feet
Two-Story	Fifty (50) feet
Three-Story	MF1: Seventy-five (75) feet MF2: One-hundred fifty (150) feet

- b. Adjacent to a nonresidential zoning district, multi-family zoning district, or area depicted on the FLUM as a use other than residential.

Building Height	Yard Depth
One-Story	Twenty-five (25) feet
Two-Story	Twenty-five (25) feet
Three-Story	MF1: Fifty (50) feet MF2: One hundred (100) feet

2. Minimum Side Yard

- a. Adjacent to a residential zoning district, within an overlay having or allowing residential or any area that is designated Rural and Neighborhood Residential on the FLUM.

Building Height	Yard Depth
One-Story	Fifty (50) feet
Two-Story	Seventy-five (75) feet
Three-Story	One-hundred fifty (150) feet

- b. Adjacent to a nonresidential zoning district, Multi-Family zoning district, or multi-family development, or area depicted on the FLUM as a use other than residential.

Building Height	Yard Depth
One-Story	Twenty-five (25) feet
Two-Story	Twenty-five (25) feet
Three-Story	MF1: One hundred (100) feet MF2: Sixty (60) feet

3. Minimum Rear Yard

- a. Adjacent to a residential zoning district, within an overlay having or allowing residential or any area that is designated Rural and Neighborhood Residential, on the FLUM.

Building Height	Yard Depth
One-Story	Fifty (50) feet
Two-Story	Seventy-five (75) feet
Three-Story	One-hundred fifty (150) feet

- b. Adjacent to a nonresidential zoning district, Multi-Family zoning district, or multi-family development, or area depicted on the FLUM as a use other than residential.

Building Height	Yard Depth
One-Story	Twenty-five (25) feet
Two-Story	Twenty-five (25) feet
Three-Story	MF1: One hundred (100) feet MF2: Sixty (60) feet

- D. In order to encourage flexibility, developments with thirty (30) lots or more may provide up to fifteen (15) percent of the total lots with a lot area smaller than the zoning district minimum requirements as shown in the table below, provided the reduced lot sizes have a minimum lot width of sixty (60) feet. This flexibility option is only granted in the below Zoning Districts:

Zoning District	Minimum Lot Area For	
	At least 85% of the lots	Not more than 15% of the lots
SF-3	12,000 sq. ft.	6,600 sq. ft
SF-4	9,200 sq. ft.	6,600 sq. ft
SF-5	7,200 sq. ft.	6,600 sq. ft

E. Front Yard Encroachments

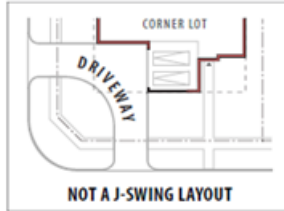
In order to increase flexibility in residential product development, there are two (2) provisions for Front Yard setbacks encroachment:

- 1) J-Swing Garage – a ten (10') foot max encroachment to a minimum fifteen (15') foot Front Yard setback. Reference below Exhibit 1.
- 2) Front porch – a ten (10') foot max encroachment to a minimum fifteen (15') foot Front Yard setback. Reference below Exhibit 2.

Exhibit 1

J-SWING GARAGE

- A** Front building setback line
- B** Encroachment allowed FOR GARAGE ONLY
 - 10' max. encroachment
 - 5' max. when Front Yard Setback is 20'
 - 15' min. Front Yard setback
 - Corner lots with dual curb cuts (per illustration at right) are not considered J-Swing garages, so are NOT allowed the front yard encroachment

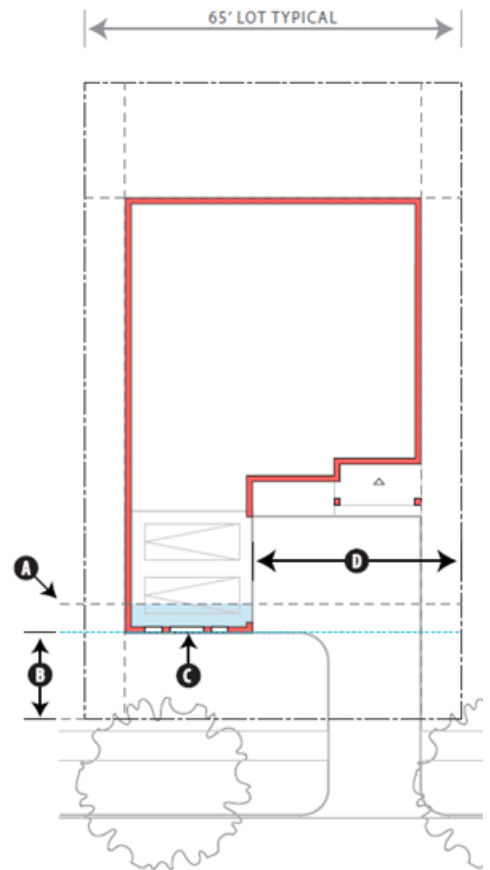


NOTE: 2nd story encroachment NOT allowed above the J-swing garage; the 2nd floor must be setback to the original building setback line

- C** Must have at least one window on garage side facing street, with a min. size of 3' x 5'
- D** 28' min. distance between garage face and the side property line
- * Refer to the standards outlined in pages 8 - 13

— — — Property Line
— — — Building Setback Line

..... Front Yard Encroachment Line
Garage Encroachment Area



NOT TO SCALE
FOR ILLUSTRATIVE PURPOSES ONLY

Exhibit 2

FRONT PORCH

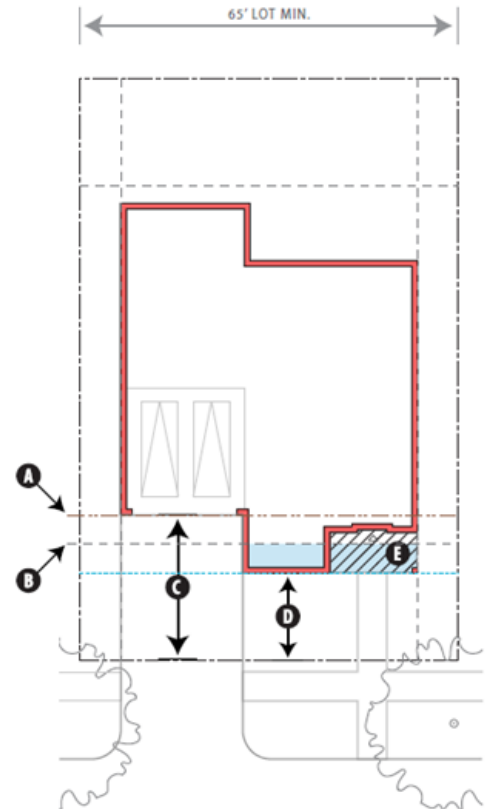
- A** 25' garage setback line
- B** Front building setback line
- C** 25' min. distance between garage face and front property line
- D** Encroachment allowed for porch
 - 10' max. encroachment
 - 5' max. when Front Yard Setback is 20'
 - 15' min. Front Yard setback

Both 1st & 2nd story allowed the encroachment
ONLY IF min. front porch size requirements are met (see table below and pages 12-13)

- E** Min. porch size to allow encroachment (determined by zoning district):

7' D x 10' W (min.)	7' D x 20' W (min.)
SF-5	SF-1, SF-2, SF-3, SF-4 and AG

- Property Line
- Building Setback Line
- Garage Setback Line
- Front Yard Encroachment Line
- Bldg Encroachment Area (if allowed)
- Front Porch Area



NOT TO SCALE
FOR ILLUSTRATIVE PURPOSES ONLY

Section 14.4 Lot Design Standards (Commercial)

Article 14.4 Lot Design Standards (Commercial)									
District Code	Zoning District (for setbacks in Overlay Districts reference UDC Article 4)	Maximum Develop. Density (units/ac)	Minimum Lot Area (ft ²) / *Maximum Lot Area (ac)	Minimum Lot Width	SETBACKS			Maximum Building Height (in feet)	Maximum Lot/Impervious Coverage (%)
					Minimum Front BSL	Minimum Rear BSL	Minimum Side BSL		
NON-RESIDENTIAL									
C1 ³	Neighborhood Commercial	-	-	50	20	20	10	30	70
C2 ³	Community Retail/Service	-	-	70	15	15	15	35	70
C3 ^{2,3}	General Retail/Office	-	-	70	25 ¹	15	15	45	75
C4 ^{2,3}	General Commercial	-	-	70	40	35	20	45	80
I1	Light Industrial	-	-	100	50	40	25	45	80
I2	Heavy Industrial	-	-	100	50	50	25	45	80
PF	Public Facilities	-	-	70	15	15	15	45	70

Notes:

1May be reduced to 15' if parking provided at side or rear of building.
2The City manager or his/her designee may approve a one third setback reduction to side or rear setbacks for any C-3 or C-4 lot(s) abutting the following zoning: C-3, C-4, I-1 or I-2 zoning types.
3If the property line abuts a non-buildable lot (900 or open space) equal to or greater than required setback, building setback may be reduced to 5 feet.

ARTICLE 15. ACCESSORY BUILDINGS

		Article 15 Accessory Buildings				
District Code	Zoning District ⁴		Setbacks (ft)			Typical Accessory Buildings ³
		Maximum Height (ft)	From Principal Building	Side ^{1,2}	Rear ^{1,2}	
RESIDENTIAL						
SF-1	Estate Residential	12	5	10	10	Storage sheds, hobby workshops, non-commercial greenhouses
SF-2	Low Density Residential	12	5	10	10	
SF-3	Low-Medium Residential	10	5	5	5	
SF-4	Medium Residential	10	5	5	5	
SF-5	Medium-High Residential	10	5	5	5	
MF1	Multi-Family	10	5	5	5	On-site laundry facilities, activity center
MF2	Multi-Family	15	5	15	20	
MH1	Manufactured Home	10	5	5	10	Storage sheds
MH2	Manufactured Housing Park	-	-	-	-	-
AG	Agricultural	None	5	5	10	Silos, barns, windmills

Notes

General Note: The maximum lot coverage found in Appendix C, with specific exceptions noted therein, applies in all cases.

- 1 As listed, or the depths of the setbacks of existing lots on the same side of the street, whichever is greater.
- 2 Buildings on skids may be placed within three (3) feet of the property line, provided the placement does not interfere with the use of any easements present.
- 3 Off-street parking, utility service, sidewalks, park use are always allowable and do not count towards the requirements of this table. Typical structures are provided for reference only. Actual determination of an accessory structure lies at the discretion of the Planning and Engineering Director.
- 4 Commercial Accessory structures shall follow base zoning setbacks per Article 14