

# Hickory / Kensington Area Design Guidelines












Village of Arlington Heights

Prepared by the Department of Planning and Community Development

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## 1. Introduction

In 1991, the Village Board amended the Comprehensive Plan and designated the Hickory/Kensington area as a redevelopment project area as part of the Comprehensive Planning Program. The Hickory/Kensington area is defined by Dryden Avenue on the east, Miner Street on the north, Northwest Highway on the south, and Belmont Avenue on the west (refer to Figure 1).

In November, 1993 the Village Board adopted Ordinance 93-096, approving the Hickory/Kensington Redevelopment Plan. Since that time, much of the area has either redeveloped or is in the process of redeveloping, with the exception of the middle or Core area as illustrated below. In 2013, the Village Board adopted the Hickory/Kensington Area Plan, which outlined several goals and objectives for the area including rezoning properties and developing Design Guidelines. Subsequently, a portion of the area has been rezoned to allow for mixed use and residential development.



Figure 1. Map of Plan Area

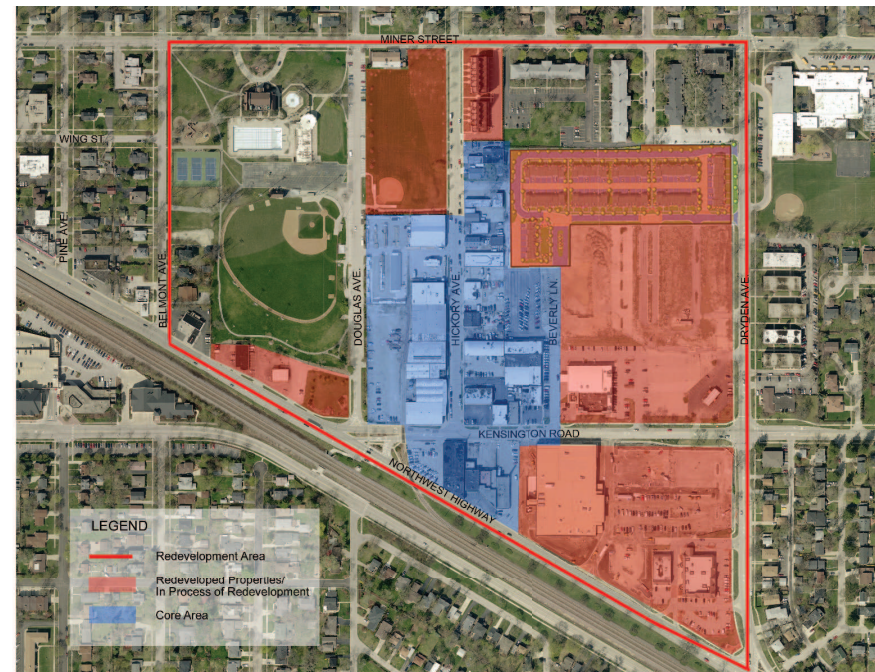


Figure 2. Map of Core Area



## Hickory/Kensington Area Plan - Core Area

The Core area is designated to be redeveloped as mixed use commercial and residential with the intent to create a new, vibrant mixed use neighborhood. The plan below illustrates the established zoning throughout the overall development and core areas. New developments will be required to comply with the appropriate zoning requirements (R-6, R-7, B-2 / B-3) as well as the requirements of the Hickory/Kensington Overlay Zone.

### Zoning Districts per Chapter 28 Zoning Regulations

#### Section 5.1-6:

R-6, Moderate Density Multiple Family Dwelling District

#### Section 5.1-7:

R-7, High Density Multiple Family Dwelling District

#### Section 5.1-11:

B-2: General Business / Mixed Use District

#### Section 5.1-12:

B-3: General Service, Wholesale and Retail District

#### Section 5.1-23:

Overlay Zoning District – Hickory Kensington Area

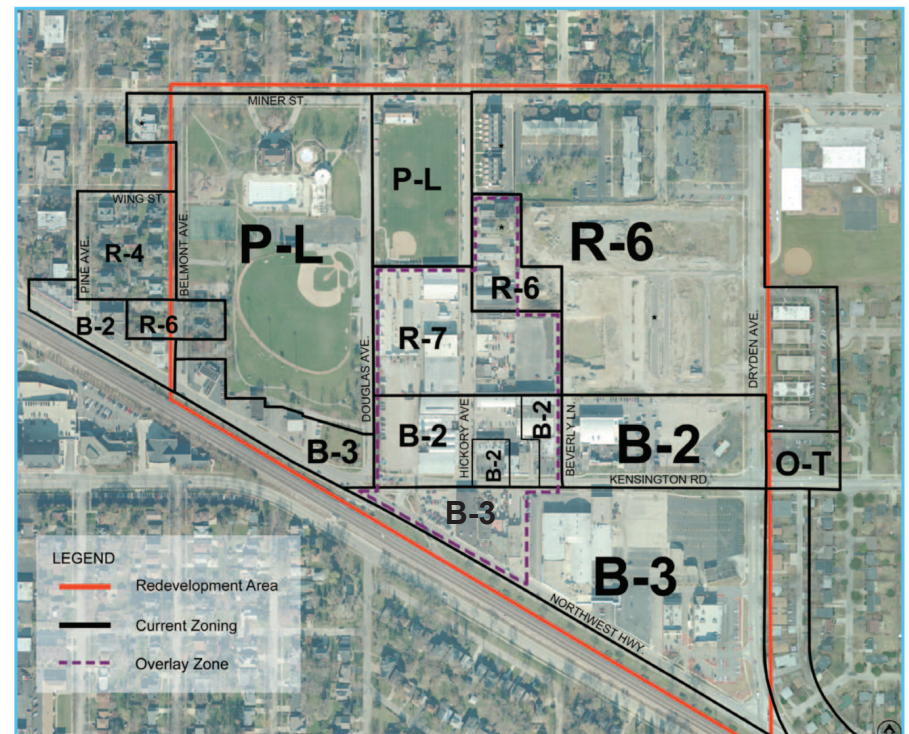


Figure 3. Zoning Map

## 2. Design Guidelines, Intent and Purpose

Per the direction of the Village Board, these Design Guidelines have been developed by the Village of Arlington Heights Planning and Community Development Department, and are approved by the Arlington Heights Design Commission.

The intent and purpose of the Design Guidelines is to establish the design standards for the overall Hickory/Kensington development, and to ensure a minimum standard of **quality, character**, and **cohesiveness** for the development of the area. As each portion of the Hickory/Kensington area is developed, the individual proposals will be evaluated against the standards established by these guidelines. These guidelines are intended to be used as a tool, early in the design process, to guide the design of each project being proposed within the development area.

### Design Guidelines, by definition:

- Design, “the way in which something is planned and made.”
- Guidelines, “an official recommendation indicating how something should be done...”

### 3. Design Goals and Objectives

The focus of these Design Guidelines is on the architectural and streetscape requirements **for the Core Area**. The overall character and style envisioned for the Core area will be a **clean and modern** aesthetic. However, to ensure a cohesive overall character throughout the entire Hickory/Kensington area, context and compatibility of the Core area with the completed portions of the development area will be an important consideration of these guidelines.

#### Hickory/Kensington Area Plan

##### Vision Statement

A vibrant, mixed use neighborhood which complements the downtown area, providing new housing and commercial opportunities in a walkable, pedestrian friendly environment.

##### Design Goals and Objectives

- Develop a modern architectural aesthetic that is unique to Arlington Heights.
- Establish a modern streetscape aesthetic that is inviting and interesting.
- Implement exceptional architecture and urban design to create a unique, interesting, and vibrant place
- Create a walkable, pedestrian friendly neighborhood.
- Establish continuity throughout the development area by expanding upon completed portions of the development.
- Encourage sustainable development including, but not limited to, the use of bioswales for storm water management, green buildings, and energy efficient street lighting.

### The Core Area is divided into four main zones:

- Mixed Use Zone
- High Density Residential Zone
- Moderate Density Residential Zone
- Commercial Zone

The Design Guidelines are arranged according to these four main zones in order to address the unique design requirements for each zone. Streetscape design standards are another focus of these design guidelines. The streetscape standards established in these Design Guidelines will apply throughout the Core Area and will serve as a common thread to tie all of the zones together.

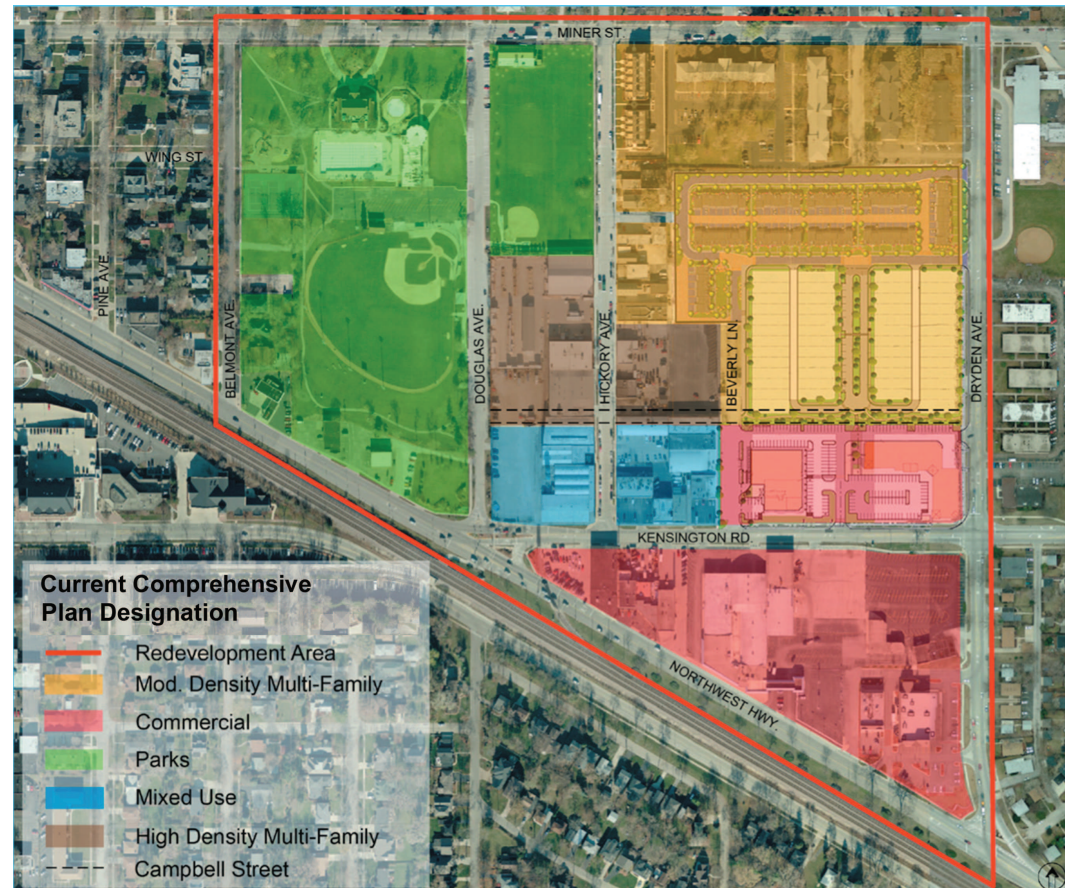


Figure 4. Current Comprehensive Plan

The Core Area plan envisions moderate density multi-family housing, mixing row townhomes with multifamily buildings of 3 to 5 stories along Hickory Avenue from just north of Wing Street to Campbell Street. South of Campbell Street to Kensington Road would include mixed use development with commercial on the first floor and residential above, 4 to 5 stories. South of Kensington Road through to Northwest Highway would remain as commercial, with the western portion within the core area as a potential redevelopment site for new commercial.



The site plan and renderings below illustrate the type and scale of development envisioned.

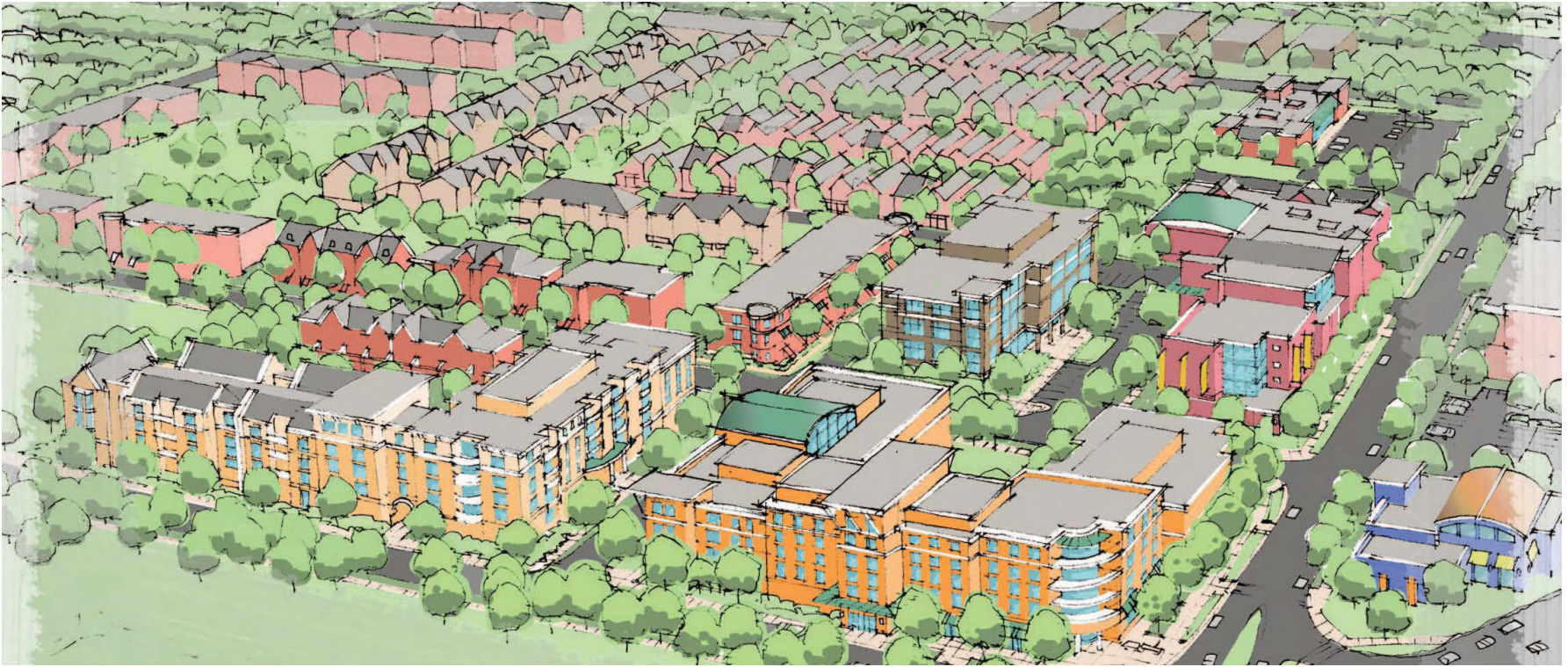


Figure 5. Conceptual Build Out Plan



Figure 6. Conceptual Site Plan

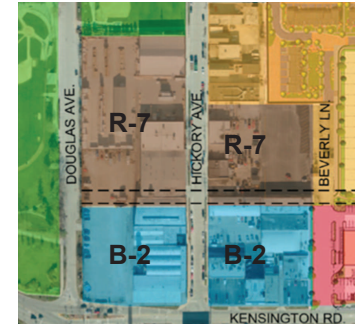


Figure 7. Conceptual Street View of Hickory Looking South



## 4. Mixed Use Zone (B-2) & High Density Residential Zone (R-7)

The Mixed Use and High Density Residential zones are located along Hickory Avenue, starting at Kensington Road going north (refer to Figure 4 on page 5). The architectural style for these zones shall be fresh, clean, and modern. A modern aesthetic will be unique to Arlington Heights and will establish a distinctive identity for the Hickory/Kensington neighborhood core. Buildings fronting Kensington Road shall include first floor commercial space. Restaurants and service uses compatible with a mixed use neighborhood are encouraged.



### Building Height (as adopted in the Overlay Zone per Ordinance 13-031):

- Mixed Use zone **B-2**: 4 – 5 stories, 40' minimum height, and 60' maximum height.
- High Density Residential zone **R-7**: 3 – 5 stories, 35' minimum height, and 55' maximum height.

### Architectural Design Features:

- Flat roofs with deep horizontal projected cornices (Figures 8 & 10).
- Exposed metal features, such as balconies, canopies, and awnings, are encouraged to recall the former industrial use of the neighborhood (Figures 10 & 12).
- Clean details.
- Expansive use of glass.
- Simple geometric forms (Figure 9).
- Combinations of recessed and projected balconies for visual interest.
- Building Materials should have a crisp and clean appearance such as: glass, stucco, brick, and dressed stone masonry.
- Corner features are encouraged to create focal points of interest on the building design (Figures 8 & 9).

### Street Level, Commercial space:

- The first floor shall have a distinctive appearance from the floors above.
- Expansive use of glass to promote pedestrian interaction with the business storefronts.
- Adequate wall area for signage shall be provided above the storefronts (Figure 11).

## Character Images



Figure 8. Flat roofs and projected horizontal cornices establish a modern aesthetic.



Figure 9. Simple geometric forms and extruding volumes provide a visual hierarchy.



Figure 10. Non-traditional window patterns and metal framed canopies & balconies create a clean, modern appearance.



# Street Level Character Images



Figure 11. Example of signable wall area integrated into the building design. Recessed storefronts create a pedestrian scale and enhanced pedestrian experience.

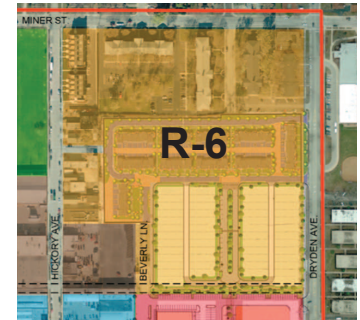


Figure 12. Exposed steel framing evokes an industrial, but modern feel.



## 5. Moderate Density Residential Zone (R-6)

The Moderate Density Residential zone is located between the high density residential zone and the existing moderate density residential area along Hickory Avenue to the north (refer to Figure 4 on page 5). The moderate density residential zone will serve as a transition in architectural style from the modern high density residential zone to the existing, traditionally designed residential areas.



### Building Height (as adopted in the Overlay Zone per Ordinance 13-031):

- 3 stories, 30' minimum height, and 40' maximum height.

### Architectural Style / Character:

- Blend of modern and traditional forms (Figures 17-20).
- Can be traditional in form, but with a clean modern appearance (Figure 17-20).
- 4-sided architecture. Side and rear elevations shall be developed to a similar level of detail as the front elevations.

### Suggested Design Features:

- Primarily flat roofs.
- Simple geometric massing.
- Exposed metal bays with simple, modern geometries.
- Regular window spacing to complement the existing adjacent traditional style developments.
- Building Materials should have a crisp and clean appearance, such as glass, stucco, brick, and dressed stone masonry.
- Corner features are encouraged to create focal points of interest on the building design (Figure 20).

## Existing Residential Context



Figure 13. 177-197 N. Hickory Rowhomes



Figure 14. 177-197 N. Hickory Rowhomes



Figure 15. Arlington Crossings Townhomes, along Dryden Avenue



Figure 16. Arlington Market Single Family Residences (proposed)



## Character Images for the R-6 Core Area



Figure 17. Blending traditional gable roofs with flat roofs provides an aspect of comfort to the modern aesthetic.



Figure 18. A mix of brick and stone masonry with simplified modern detailing complements the adjacent traditional homes.



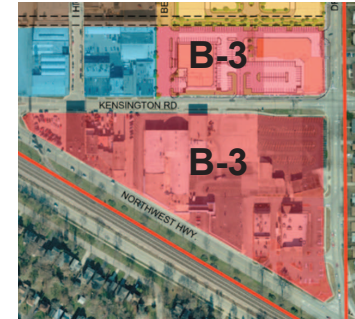
Figure 19. Flat roofs and simple geometric massing create an overall modern look.



Figure 20. Simple, modern geometry combined with traditional brick offers a sense of comfort to the area.

## 6. Commercial Zone (B-3)

The Commercial Zone is located along Kensington Road, between Dryden Street and Northwest Highway (refer to Figure 4 on page 5). A large portion of the commercial zone has already completed redevelopment. The guiding requirement for the architectural style of the remaining sites shall be to coordinate with and complement the existing context of the completed buildings.



### Building Height:

- 1 or 2 stories

### Architectural Design Features:

- Roof forms and building massing to complement the adjacent existing retail buildings.
- Colorful blend of materials.
- Expansive glass storefronts.
- Adequate wall area for signage shall be provided above the storefronts.
- Corner features are encouraged to create focal points of interest on the building design.



## Existing Commercial Context



Figure 21. Mariano's Fresh Market, 802 E. Northwest Highway



Figure 22. Multi-tenant Retail along Kensington Road



Figure 23. Walgreens and Multi-Tenant Retail at Northwest Highway and Dryden Avenue

## 7. Sustainability / Green Technology

Per the Village Board goal to “promote green based policies and services”, sustainable design and construction methods are encouraged throughout the development area. There are numerous sustainable design strategies to consider which offer many benefits such as enhancing building occupants’ comfort and convenience, reducing energy and water consumption, aiding in the management of storm water, reducing air pollution, and minimizing construction waste.

### Alternative Transportation:

- Promote the use of public transportation.
- The Arlington Heights Metra commuter rail station and Pace Bus stops are 1/2 mile from the Hickory / Kensington site.
- Encourage covered bicycle storage facilities on site for building occupants.



### Green (vegetated) Roofs offer many benefits:

- Improves roof insulation which reduces energy consumption and improves occupant comfort.
- Extends the life of roofing membranes
- Helps manage storm water
- Reduces local heat island effects





### Optimize Building Energy Performance:

- Efficient Mechanical Systems
- Energy Efficient Appliances and Lighting Fixtures
- Enhanced Building Envelope Insulation

### Construction Materials:

- Consider environmentally friendly building products which contain at least 25% postconsumer recycled content.
- Use construction materials that are extracted, processed, and manufactured within 500 miles of the site.
- Responsibly manage construction waste to divert materials taken off of the site from landfills.

### Reduce Water Consumption:

- Specify low consumption plumbing fixtures in kitchens and bathrooms.

# **ENERGY** **OPTIMIZATION**



## 8. Streetscape

Streetscape improvements will be incorporated throughout the Hickory/Kensington area. The improvements will include items such as special paving, benches, trash receptacles, street trees, lighting and tree grates. The streetscape is designed to reduce maintenance by using materials such as concrete for the walkways with stamped concrete at key intersections. The overall style of the streetscape will be a clean and modern aesthetic. Below is a map identifying the area where the streetscape elements will be implemented, as well as a conceptual street view.



Figure 24. Map of pending streetscape application



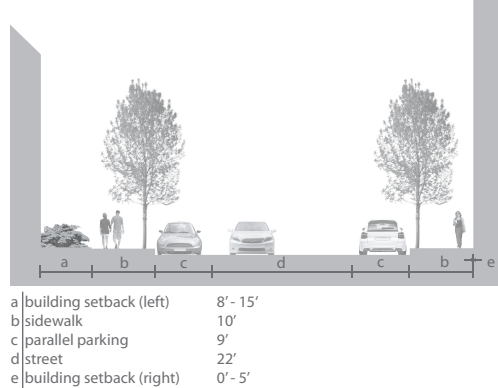
Figure 25. Conceptual street view of Hickory looking south



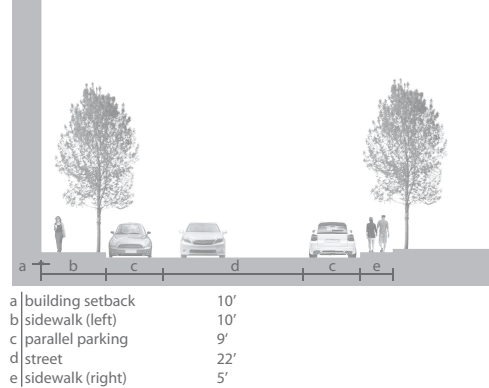
## Street Sections

Cross sections for Campbell Street, Hickory Street, Douglas Avenue and Kensington Road have been designed to guide development and establish dimensions for landscaping and walkways. New development shall provide for sidewalks pursuant to the cross sections for each street delineated.

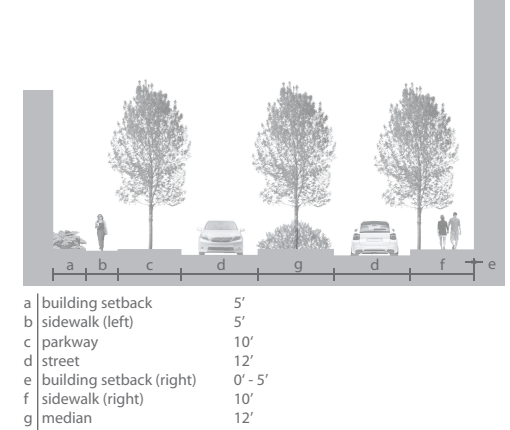
Hickory Avenue, Campbell Street



Douglas Avenue



Kensington Road



## Streetscape Elements

The street network is on a grid with the key intersection located at Hickory Avenue and Campbell Street. The detail below includes curb bump outs, with stamped concrete at the bump outs only, along with stained concrete in the crosswalks. Concrete should be utilized for the walkways with decorative stamped concrete and curb bump outs at key intersections. These details are required at all intersections throughout the Hickory/Kensington core area. The Hickory/Kensington plan calls for extending Campbell Street from Douglas Avenue to Dryden Avenue.

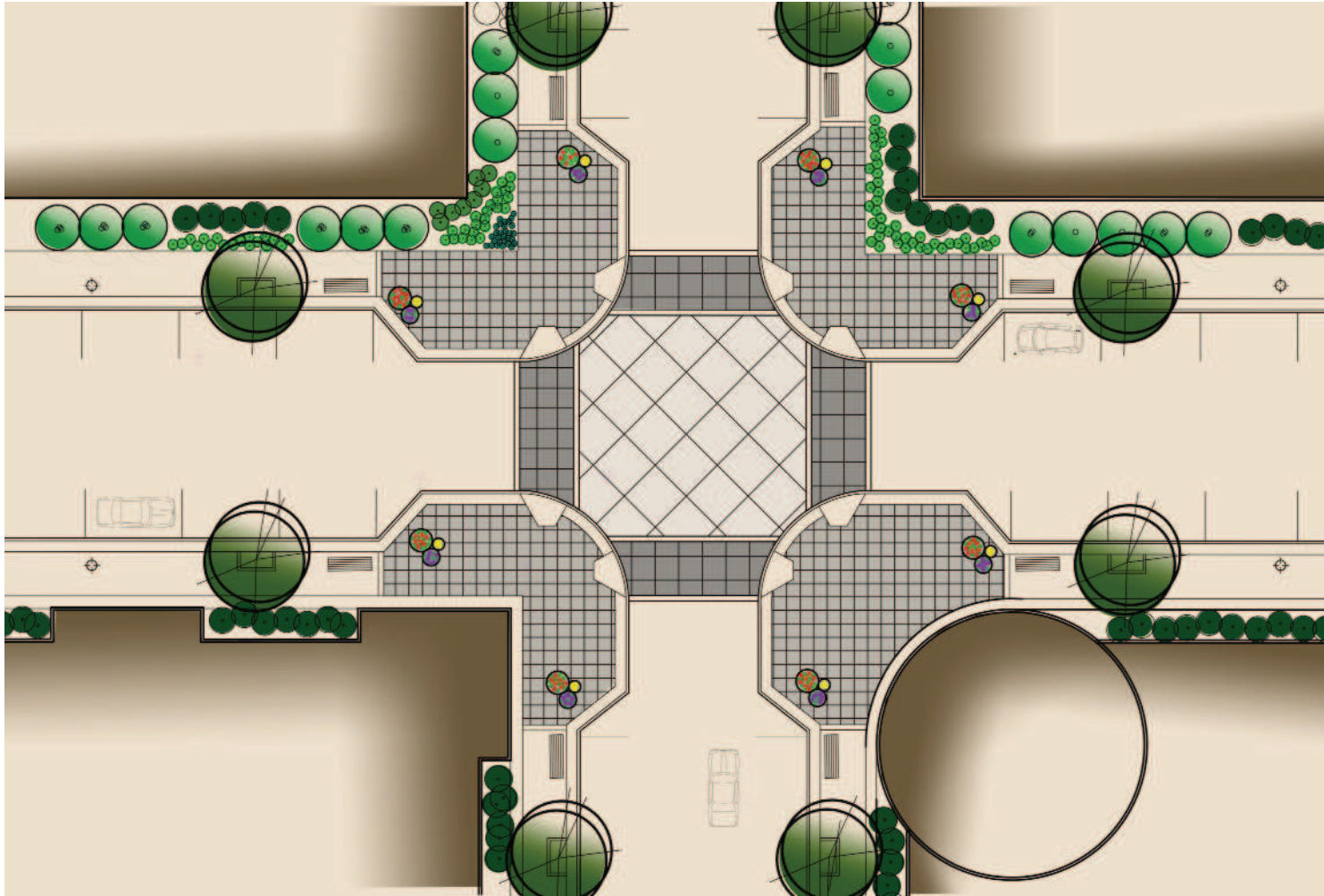


Figure 26. Curb bump out of Hickory Avenue and Campbell Street

## Design Features

The use of street trees and other types of plant material along each corridor are important elements to help define the street edge and help soften the building mass as well as complement the architecture. Landscaping, along with lighting and street furniture will reinforce the modern design theme of the area. Landscaping will be used to add texture, color, form and seasonal interest and will be used to provide visual screening of undesirable views such as parking lots. The use of streetscape elements such as light fixtures, benches, trash receptacles and stamped concrete at key intersections will enhance and articulate the area. The streetscape is designed to be **low maintenance and cost effective**. Streetscape furnishings shall consist of contemporary furnishings in order to carry out the modern aesthetic.

- Install colored stamped concrete at the corners of key intersections along with curb bumpouts
- Paving colors will be tones of gray to establish a fresh modern look
- Utilize concrete for the walkways
- Implement decorative lighting within or along the right-of-way
- incorporate shade trees on public right-of-way that are spaced 35-40 feet apart
- Incorporate street furnishings that include benches, trash cans and raised planters

## Kensington Road Improvements

Along Kensington Road, landscaped medians should be incorporated where feasible. Medians will help provide visual connectivity for the south commercial district and the north commercial/mixed use. A few of the benefits that medians can provide include:

- **Environmental**—landscaped medians incorporate trees and other plantings that help reduce the urban heat island effect.
- **Stormwater management**—medians collect and store stormwater, reducing the amount that enters storm sewers.
- **Aesthetics**—median plantings contribute to the “greening” and beautification .

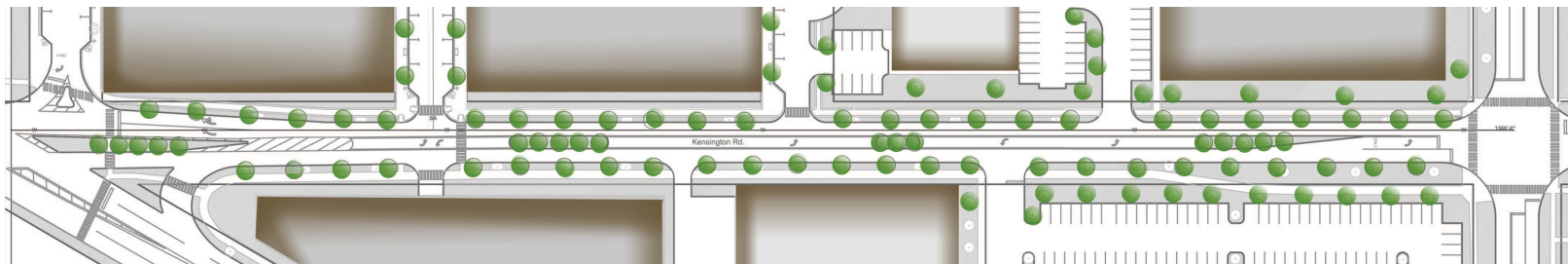


Figure 27. Kensington Road



## Site Furnishings

The overall style of the site furnishings will complement the architecture and will consist of a clean and modern aesthetic.

### Benches

- Clean, modern geometry
- Steel finish
- Should be carefully and conveniently located



### Trash Receptacles

- Clean, modern geometry
- Steel finish
- Complement bench and site furnishings package



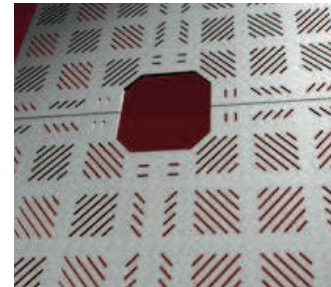
### Colored Stamped Concrete

- Grey color
- Located at key intersections



### Tree Grates

- Simple modern design
- Complement site furnishings package



### Street Lights

- Modern, sculptural style
- Energy efficient LED light fixture
- Dark sky compliant



### Bike Racks

- Simply designed with minimal visual impact
- Design consistent with bench and trash receptacle
- Shall be conveniently located but separate from pedestrian walks



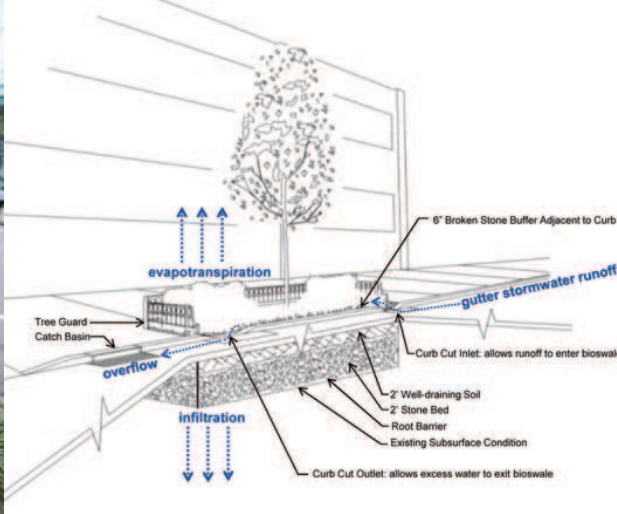
### Pervious Pavement

- Explore the use of pervious pavement for parking lots
- Reduce water run-off
- Environmental benefits



## Bio-Swales

Bio-swales are planting beds designed to remove silt and pollution from surface runoff water. They consist of a swaled drainage course with gently sloped sides and are filled with vegetation. The water's flow path, along with the wide and shallow ditch, is designed to maximize the time water spends in the swale, which aids in the trapping of pollutants. In addition to filtering runoff, bio-swales will absorb some of the water which will reduce run-off. Bio-swales will be incorporated into the streetscape within the core area.



The application of the recommended design treatments and details defined in this document can help establish a unified modern theme and unique visual image of the Hickory/ Kensington area. The use of the brick pavers at key intersections, light poles, and other site elements are essential in achieving a consistent level of corridor detail and beautification.



## 9. Summary

The design standards set forth in these Design Guidelines will serve to direct the overall aesthetic quality of the development of the Hickory/Kensington area towards the creation of a vibrant, mixed use neighborhood with a fresh and modern aesthetic that will be unique to Arlington Heights, and will provide new housing and commercial opportunities in a walkable, pedestrian friendly environment.



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