



CALCULATING FRONT AND EXTERIOR SIDE YARD SETBACKS (R-E, R-1, R-2, R-3, AND R-4 RESIDENTIAL ZONING DISTRICTS) - FACT SHEET -

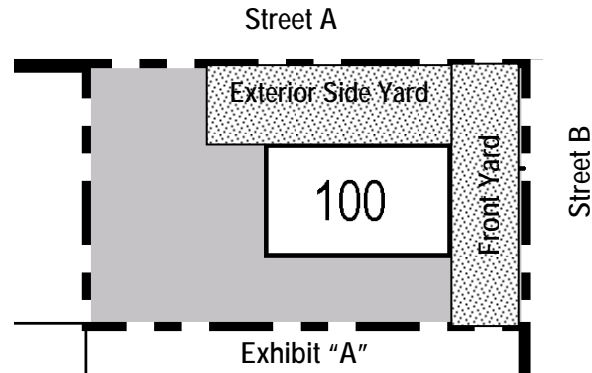


In the R-E, R-1, R-2, R-3, and R-4 Zoning Districts, the required front yard setback and required exterior side yard setback is typically calculated based on the following:

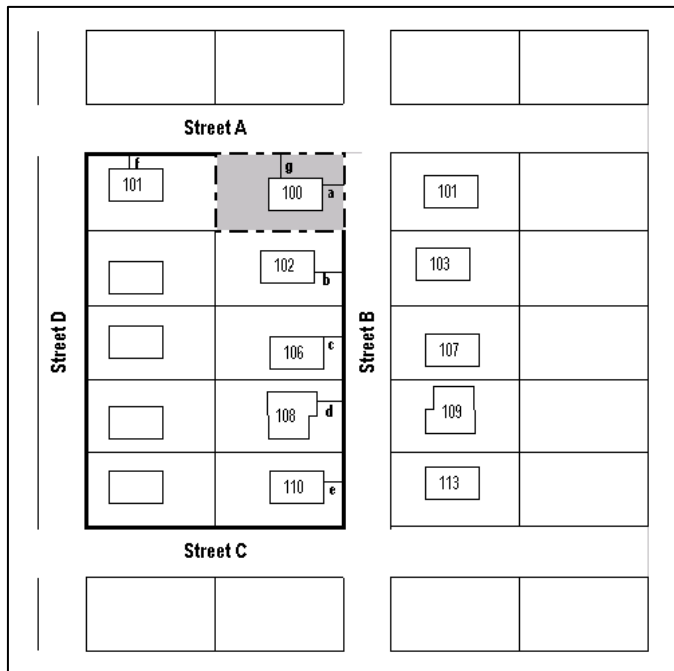
Front Yard: In all residential districts where lots comprising 40% or more of the frontage between two intersecting streets are developed with buildings having front yards of more than 15-feet in depth*, *the average of such front yards shall establish the minimum front yard setback for the entire frontage.*

Exterior Side Yard: In all residential districts where lots comprising 40% or more of the frontage between two intersecting streets are developed with buildings having a yard of more than 10-feet in depth*, *the average of such yards (exterior side and front) shall establish the minimum front yards for the entire frontage.*

Based on the definitions in the Zoning Ordinance, for corner lots, the larger of the two lot dimensions adjacent to the street shall be considered the exterior side lot line (and thus exterior side yard) and the smaller of the two lot dimensions adjacent to the street shall be considered the front lot line (and thus the front yard). (see Exhibit "A")



Upon building permit submittal, Design Commission submittal or Zoning Board of Appeals submittal, whichever comes first, the average front yard setback and/or exterior side yard setback of the properties along the same frontage as the subject property shall be provided. This dimension is measured from the closest part of the foundation of the structure to the property line. The following is a pictorial example of what shall be required (example for *100 Street B - Subject Property*):



Front Yard Setback

100 Street B (dimension 'a' - EXISTING):	22 feet
102 Street B (dimension 'b'):	30 feet
106 Street B (dimension 'c'):	22 feet
108 Street B (dimension 'd'):	27 feet
110 Street B (dimension 'e'):	22 feet
Total	123 feet
<i>Divided by Total number of Properties</i>	<i>5</i>
Average Setback	24.6 feet

Exterior Side Yard Setback

101 Street D (dimension 'f'):	15 feet
100 Street B (dimension 'g'):	20 feet
Total	35 feet
<i>Divided by Total number of Properties</i>	<i>2</i>
Average Setback	17.5 feet

This fact sheet is not intended to be a complete summary of zoning information nor is it intended to replace the Zoning Ordinance. Please refer to the Zoning Ordinance for more information, which can be found on the Village's website at www.vah.com. Whenever there might be a discrepancy between the information provided on the fact sheet and the information found in the Zoning Ordinance, the information in the Zoning Ordinance shall apply.