

**TOWN OF NISKAYUNA**  
***Planning Board and Zoning Commission***  
**Agenda**  
**April 29, 2024**  
**7:00 PM**

**REGULAR AGENDA MEETING**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
  - 1. April 15, 2024
- IV. PUBLIC HEARINGS**
- V. PRIVILEGE OF THE FLOOR**
- VI. UNFINISHED BUSINESS**
- VII. NEW BUSINESS**
  - 1. RESOLUTION: 2024-13: A Resolution for an extension to the site plan approval for the CDJHM at 2501 Troy Schenectady Rd.
  - 2. RESOLUTION: 2024-14: A Resolution for site plan approval of a tenant change to a convenience store / smoke shop at 3905 State St.
  - 3. RESOLUTION: 2024-15: A Resolution for site plan approval of a 30' diameter yurt at 2565 Balltown Rd.
  - 4. RESOLUTION: 2024-16: A Resolution for lot line adjustment at 850 Oregon Ave. / 875 Stark Ave.
  - 5. RECOMMENDATION TO ZBA: 2546 Balltown Rd. – A Recommendation to the ZBA for an Application for Site Plan Review for new signage requiring a variance.
  - 6. RECOMMENDATION TO ZBA: 1769 Union St. – A Recommendation to the ZBA for an Application for Site Plan Review for new signage requiring a variance.
- VIII. DISCUSSION ITEMS**
  - 1. 2301 Nott St. E. – TD Bank – An application for site plan review for new signage
  - 2. 2333 Nott St. E. – Market 32 – An application for site plan review for signage
  - 3. 3359 Consaul Rd. – Ingersoll Place – An application for site plan review for a pavilion
  - 4. 2530 Balltown Rd. – Chinese Fellowship Church – An application for site plan review for a 777 sq. ft. addition
- IX. REPORTS**
  - 1. 1747 Union St. – Update on Façade Changes
  - 2. Zoning Code Updates (Short term rental regulations)
  - 3. Project Submittal Timelines Update
- X. COMMISSION BUSINESS**
- XI. ADJOURNMENT**

**NEXT MEETING: May 13, 2024 at 7 PM**  
To be Held in the Town Board Room & via Remote Software

**TOWN OF NISKAYUNA**  
***Planning and Zoning Commission***  
***Hybrid Meeting***  
**Meeting Minutes**  
**April 15, 2024**

**Members Present:**

Dave D'Arpino, Acting Chairman  
Nancy Strang  
Genghis Khan  
Ehasuyi Gomes  
Sarah Bilofsky  
Leslie Gold

**Also in attendance**

Robert Hess, Attorney  
Laura Robertson, Town Planner  
Clark Henry, Assistant Town Planner (virtual)  
Trisha Bergami, Planning Department Assistant

**I. CALL TO ORDER**

Acting Chairman D'Arpino called the hybrid meeting to order at 7:00 P.M.

**II. ROLL CALL**

Chairman Walsh and Mr. LaFlamme were absent/excused.

**III. APPROVAL OF MINUTES**

1. March 11, 2024

Ms. Strang made a motion to approve the minutes, seconded by Mr. Khan.

Acting Chairman D'Arpino asked to strike on page 6 line 249 from the minutes.

Mr. Khan made a motion to approve the minor modification to the minutes, seconded by Ms. Bilofsky. All were in favor.

Acting Chairman D'Arpino ask for a vote on the minutes including the approved minor change, all were in favor

**IV. PUBLIC HEARINGS**

No Public Hearings

**V. PRIVILEGE OF THE FLOOR**

Ms. Jackson (Jett) of 940 Inman Road said there is a crisis in Niskayuna. Another home on Milton Keynes has been put up as a AirBnB. Ms. Jackson said the home at 1230 Milton Keynes has been rented for the week and also it has been rented for 16 or 17 weekends this summer. She said for security reasons and vandalism she is concerned. Ms. Jackson said they are zoned R-1 and their neighborhood is not commercial. She stated they would like to put an end to it before it becomes and epidemic in Niskayuna.

Mr. Pantalone of 930 Inman Road said they appreciate everything the Town is doing and hopefully the neighbors can put a stop to this - not just for their neighborhood but for any place in town that is suffering from AirBnB.

Ms. Parisi of 1362 Ruffner Road said she is here to support the people of this neighborhood. She said she had the same issue about a year ago with an AirBnB next door to her. She said you don't know who is

41 supposed to be there, there are cars coming and going and double parking. Ms. Parisi said she spoke with  
42 her neighbor and mentioned the different people renting was upsetting to her. Her neighbor said she would  
43 do a year rental instead and she did, which has made the situation better for her neighborhood.

44 Mr. Parisi of 1362 Ruffner Road said he wanted to mention this is a security risk. The people who rent these  
45 homes are not vetted. He said the homes are rented at full capacity usually for the purpose of partying.

46 Ms. Scordino of 1240 Milton Keynes stated she lived next door to the rental home. She said she doesn't  
47 believe the new listing to be across the street but somewhere else in Niskayuna. Ms. Scordino said she  
48 believes that the vast major of Niskayuna is here to live in Niskayuna because it is a nice place to live and  
49 raise a family with a residential atmosphere when they are at their house. She said you wouldn't necessarily  
50 purchase a home next door to a hotel but basically her neighbors right now are running a hotel out of their  
51 home. Ms. Scordino said she has small children and felt safe knowing who lived in their cul-de-sac and  
52 but with rentals they have no idea who is coming and going.

53 Another issue Ms. Scordino wanted to share with the Board is that in the advertisements for the rental it  
54 says they are a rich community come stay here which made her feel like a target. Ms. Scordino said she  
55 doesn't think this is what Niskayuna wants and Niskayuna as a whole is not a tourist destination so she  
56 feels catering to people's ability to have an AirBnB in their house doesn't makes sense for the vast majority  
57 of the Niskayuna population.

58 Ms. Jackson of 940 Inman Road said years ago they fought hard to keep Troy Road residential, not letting  
59 it look like Central Avenue. She said they are going to work hard to prevent this from happening in the  
60 Town.

61 Hearing no further comments, Acting Chairman D'Arpino closed Privilege of the Floor.

## 62 VI. UNFINISHED BUSINESS

63 No Unfinished Business.

## 64 VII. NEW BUSINESS

- 65 1. RESOLUTION: 2024-10: A resolution for site plan approval for a monument (directory)  
66 sign at Tall Oaks Apartments at 2475 Brookshire Rd.

67 Acting Chairman D'Arpino read the following into the minutes:

68 NOW, THEREFORE, be it hereby

69 RESOLVED, that the Planning Board and Zoning Commission has determined that the proposed sign  
70 waiver as described above would have a minimum negative effect on aesthetics, and be it

71 FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant said waiver  
72 to allow for the signage as described in the aforementioned sign drawing, and be it

73 FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced  
74 site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore,  
75 hereby approves this site plan.

76 Mr. Khan moved for motion seconded by Ms. Bilofsky.

77 Thomas Wheeler of AJ Signs, representing the applicant, was on line and stated he was available to  
78 answer any additional questions.

79 Acting Chairman D'Arpino summarized that the sign is being placed at the end of the parking lot on the  
80 grass area where the fire lane pull off is. This was the preferred location that the Board selected at the last  
81 meeting. He asked if there was any further discussion.

82 Mr. Wheeler had nothing to add.

83 Mr. Khan said he supports the current resolution as drafted and the proposed sign location.

84 Hearing no further comments, Action Chairman D'Arpino asked for the roll to be called:

85 Ms. Strang Aye

86 Mr. Khan Aye

87 Ms. Gomes Aye

88 Ms. Bilofsky Aye

89 Ms. Gold Aye

90 Acting Chairman D'Arpino Aye

91 Acting Chairman D'Arpino stated the resolution was approved.

92 2. RESOLUTION: 2024-11: A resolution for site plan approval of community garden  
93 enhancements including a new shed for the Glen Eddy at 1 Glen Eddy Dr.

94 *Editor's Note: Ms. Robertson requested the Board go out of order to discuss the Zoning Code Updates*  
95 *under the reports section and then return to this resolution. The Board agreed and had a discussion about*  
96 *the Code updates for the benefit of the members of the audience that is covered in the "Zoning Code*  
97 *Updates" section of these minutes starting on page 9. The Board then returned to this Resolution for the*  
98 *Glen Eddy.*

99 Acting Chairman D'Arpino read the following into the minutes:

100 NOW THEREFORE, be it

101 RESOLVED, that this Planning Board and Zoning Commission finds that the site plan application  
102 referenced above meets the requirements of the Zoning Code and hereby approves this site plan.

103 Mr. Khan made a motion for approval seconded by Ms. Strang.

104 Mr. Zeglen of Environmental Design Partnership, representing the applicant, was online.

105 Mr. Khan stated this is a good use of the property and an upgrade of the existing space. He was supportive  
106 of the proposed improvements.

107 Mr. Zeglen said he had nothing to add.

108 Acting Chairman D'Arpino stated he felt the proposed shed and garden upgrades were not visible from  
109 the road and the design appears to be well executed. He stated he is also in support of these  
110 improvements.

111 Hearing no further comments, Action Chairman D'Arpino asked for the roll to be called:

112 Ms. Strang Aye

113 Mr. Khan Aye

114 Ms. Gomes Aye

115 Ms. Bilofsky Aye

116 Ms. Gold Aye

117 Acting Chairman D'Arpino Aye

118 Acting Chairman D'Arpino stated the resolution passed.

119 3. RESOLUTION: 2024-12: A resolution for site plan approval of a tenant change to a Papa  
120 John's restaurant at 412 Balltown Rd.

121 Acting Chairman D'Arpino read the following in the minutes:

122 NOW, THEREFORE, be it hereby



123 RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets  
124 the requirements of the Zoning Code and previous site plan and Zoning Board of Appeals approvals, and  
125 therefore, hereby approves the site plan and tenant change with the following conditions:

- 126 1. The applicant will review the condition of planting beds and trees surrounding the building  
127 with the Niskayuna Tree Council and make any changes or upgrades agreed upon during the  
128 site visit.

129 There was a motion for approval by Ms. Strang, seconded by Ms. Bilofsky.

130 Mr. Bjorneby, Architect representing the applicant, was on line to answer any questions.

131 Mr. Khan asked where the applicant ended up with the size and compliance of the proposed signage.

132 Mr. Bjorneby said they removed some of the Papa John's logo and brought the sign down to 21.32 square  
133 feet, which is in compliance with the previous waiver. He stated they removed the line beneath Papa  
134 John's that read "Better Ingredients, Better Pizza."

135 Ms. Robertson said the sign size is now less than the previously approved waiver and was therefore in  
136 compliance with Code. Mr. Khan stated he appreciated that.

137 Hearing no further comments, Acting Chairman D'Arpino asked for the roll to be called:

138 Ms. Strang	Aye
139 Mr. Khan	Aye
140 Ms. Gomes	Aye
141 Ms. Bilofsky	Aye
142 Ms. Gold	Aye
143 Acting Chairman D'Arpino	Aye

144 Acting Chairman D'Arpino stated the resolution was passed.

#### 145 **VIII. DISCUSSION ITEMS**

146 Acting Chairman D'Arpino stated for consistency's sake in their review of tenant façade signage, he was  
147 going to move item number 6 on the agenda, 2546 Balltown Road, to item number 1 for discussion.

148 *Editors Note: The agenda item numbers have been updated accordingly.*

- 149 1. 2546 Balltown Rd. – St. Peters Health – An application for site plan review for new signage

150 Thomas Wheeler of AJ Signs, representing the applicant, was on line and stated he was available to  
151 answer any additional questions.

152 Chairman D'Arpino said they were going to discuss 2546 Balltown Road signage first because it segued  
153 right into their next discussion about Albany Med.

154 Mr. Wheeler said they reduced the size of the façade sign from 36 square feet down to 16 square feet per  
155 the Board's request at the last meeting.

156 Mr. Khan said he is ok with the size coming down but he still has remaining concerns, which included the  
157 next agenda item as well. He was concerned this would be setting a precedence for every tenant in a medical  
158 office building wanting a façade sign.

159 Acting Chairman D'Arpino said with the tall trees there he doesn't know how much visibility the sign will  
160 have as proposed.

161 Ms. Bilofsky stated to Mr. Wheeler that with the reduction in size she questioned whether or not it was  
162 even readable from Balltown Road. Mr. Wheeler felt this was the smallest sign possible to still be readable.

163 Ms. Gold reiterated that the tenant is an established practice and she still had concerns that the signage  
164 would be a distraction for anybody driving by on Balltown Road. She felt it was too high up the building  
165 and could cause a crash to someone trying to read it.

166 Ms. Bilofsky asked the difference in the Balltown Road signage vs the Union Street signage.

167 Ms. Robertson said the buildings are in the same zoning but the Union Street building has variances and  
168 has four existing facade signs already. She stated the Building is branded as an Albany Med building with  
169 two flying As on the side and an Albany Med logo on the front. The EmUrgent Care has special signage  
170 that was worked through extensively with the Planning Board because of the nature of the business and the  
171 fact that the Planning Board required the Emurgent care to have a seperate entrance to be facing Union St,  
172 rather than an entrance intrinsic to the Building or on the sides.

173 Ms. Strang asked if Balltown Road is entitled to put up a façade sign.

174 Ms. Robertson said they are entitled to a single, eight-square-foot façade sign.

175 Acting Chairman D'Arpino said they need a Project Lead. He stated it would be worthwhile to go to the  
176 property and take a look at it to decide about the visual impacts to Balltown Road.

177 Ms. Strang volunteered to be Project Lead.

178 Ms. Bilofsky asked if the four names on the monument sign are the only tenants within the Building.

179 Mr. Wheeler said he would get that information to the Board for the next meeting and he was ready to move  
180 forward.

181 Ms. Robertson asked Mr. Wheeler if this was the proposal he was going to request the Board take action  
182 on to send to the Zoning Board. She summarized to him that she she does not hear a lot of support for the  
183 sign from the Board at this time.

184 Mr. Wheeler said yes, he wanted to move this sign forward to the Zoning Board and having the Planning  
185 Board make their recommendation.

186 Ms. Robertson said the Planning Department will issue a denial for the signage and bring it back to the  
187 April 29 meeting for the Planning Board recommendation to the Zoning Board.

188 Ms. Robertson asked about the monument panel. The Board agreed that it was fine. Ms. Robertson stated  
189 that the applicant can move forward with a building permit to replace the monument panel because it  
190 complied with Zoning and the Planning Board was okay with it. Mr. Wheeler stated he appreciated being  
191 able to move forward with the monument panel.

192 2. 1769 Union St. – Capital Cardiology – An application for site plan review for new signage

193 Mr. Colaruotolo of Vital Signs and Graphics, representing the applicant, was on line. He stated the sign  
194 would go in the middle of the existing signs already on the façade of the Albany Med building. Mr.  
195 Colaruotolo said he knows the sign they are requesting is larger than allowed but he felt it is aesthetically  
196 consistent with the two existing façade signs and would look bad if it were to be made smaller.

197 Acting Chairman D'Arpino said there are two signs already there and he agreed that it shouldn't be smaller  
198 than the two existing signs if it were to be allowed. He could see how it would fit there but he questioned  
199 another tenant sign.

200 Ms. Gomes said there is a bit of competition between St. Peters and Albany Med and she is concerned that  
201 approvals for one tenant would create a constant battle for more signage to go up.

202 Mr. Khan asked if the Board has a basis for saying no to the Capital Cardiology and Associates signage  
203 that is proposed for 1769 Union St.

204 Ms. Robertson said this applicant has been granted a lot of relief on signage and we do not have to allow  
205 any additional signage. However, if the Planning Board said no to the sign she believes that the applicant  
206 still has the ability to appeal to the Zoning Board.

207 Mr. Khan said he can see the building owner having their name on the building but not all the tenants. He  
208 said on this building the EmUrgent Care - which is special situation and a special entrance, is already on  
209 the façade. He feels too many signs doesn't look good. It will look like sign central. He feels the monument  
210 sign is sufficient for listing the tenants.

211 Ms. Robertson said from a Planning Department point of view she would not recommend allowing  
212 individual tenant façade signs on these buildings. She agreed the Balltown Road could have one façade  
213 sign even if it is just to mark the address.

214 Mr. Colaruotolo said all the letters are the same color on the monument sign and he feels it makes it hard  
215 for people to distinguish between tenants. He said this tenant gets lost in there.

216 Acting Chairman D'Arpino asked about a directory sign at the main entrance, something smaller at a visible  
217 level instead of marquee letters that are on Union Street.

218 Mr. Colaruotolo feels the tenant is not interested in that, he thinks they want to see this through as proposed.

219 Ms. Gomes said the Board needs to be mindful that Union Street has a particular brand and aesthetic and  
220 she doesn't want to allow companies to staking out territories and building up their signs. She said St.  
221 Peters and Albany Med battle and it is just sign, sign, sign. She feels that is a slippery slope. Ms. Gomes  
222 said her goal for Union St would be to maintain that family kind of walkability and that Main Street kind  
223 of feel on Union Street.

224 Ms. Bilofsky said the precedent is her concern in both these cases.

225 Ms. Robertson said her department will write a denial for each sign and put a recommendation to the ZBA  
226 on for next meeting. Ms. Robertson said she will verify along with Mr. Hess how the code works if the  
227 Zoning Board grants the variance and then the Planning Board still didn't want to approve the sign because  
228 of the code that states the signs must be approved by the Planning Board.

229 Ms. Strang volunteered to be project lead on this project.

230 Mr. Khan said he will co-lead with Ms. Strang on these two projects. He stated they will treat them as two  
231 individual projects.

232 3. 2501 Troy-Schenectady Rd. – CDJHM – An application for site plan approval extension

233 Mr. Dembling, President of the Capital Jewish Holocaust Memorial appeared in person.

234 Ms. Strang recused herself from this project.

235 Mr. Dembling said he is asking for an extension to raise money for this project. He is requesting a four-  
236 year extension with an update given by him after two years.

237 Mr. Khan reiterated his request that until they are financially ready to construct the memorial as planned  
238 there should be no clearing or disturbance of the site.

239 Ms. Robertson said when an applicant initially receives site plan approval it is for two years unless the  
240 Board extends the time frame. In her interpretation of the code – there is no time limit for how long the  
241 Board has the ability to extend the time frame for – it is open-ended.

242 Acting Chairman D'Arpino said Route 7 is going through a comprehensive evaluation and there is the  
243 potential that there could be a master plan that is implemented within a year or two that might impact that  
244 area. He said whatever happens there might factor into the current Holocaust plans.

245 Mr. Khan asked the difficult question "at what point are extensions too long for any kind of project".

246 Mr. Hess said the precedent setting is the least concerning part of this. He said he thinks it would be rare  
247 situation that developers would come to ask for longer than two years to begin a project. The situation that  
248 this project is none-for-profit is also different than the typical for-profit projects. He said he recommends  
249 as Council not to worry about the precedent part but he said the other concerns raised by the Board should  
250 be discussed.

251 Ms. Robertson said she does feel four years is a reasonable extension for what this will bring to Niskayuna.

252 Mr. Dembling said he has reached out to other monuments like this across the country and it took years to  
253 get them up and running.

254 Ms. Bilofsky said she thinks a great case was made for the two years however this is a unique situation and  
255 she is concerned about something being in there needing them to accept whatever changes might happen  
256 through the Comprehensive Plan.

257 Mr. Hess said the Comprehensive Plan is not going to affect projects that has already been approved – they  
258 would have a right to move forward as approved.

259 Mr. Dembling stated they did not need any variances on this project. It fits into the zoning for the property  
260 and is allowed.

261 Ms. Gomes asked if they were given the extension would that help being able to let donors know the Town  
262 is vested and has extended the project for four years, even if they would like an update after two.

263 Mr. Dembling said he wants to come back in two years with an update and yes, he does think it is important  
264 to show donors the partnership with the Town and the approvals.

265 Acting Chairman D'Arpino said he would suggest moving forward with the four-year extension and  
266 requested that they add conditions on the resolution that they make it an annual presentation every Spring  
267 to see where they are.

268 Mr. Dembling said he thinks every two years is better for updates. He doesn't mind returning to the Board  
269 if there is a major change but would like to focus on the longer timeframe goals.

270 Ms. Gold said she doesn't think it's fair to compare this to a regular commercial enterprise in terms of  
271 fundraising. She thinks four years gives an advantage for people to make a donation and have four years  
272 to get the money in. Ms. Gold said she thinks the four years is reasonable and she supports it.

273 Ms. Bilofsky agreed. She said with the uniqueness of the project and potential long-term benefit which she  
274 feels is valuable to the Town, she is in favor of it.

275 Mr. Khan said what moved him off the 50/50 mark is that the applicant said for this project to be successful  
276 they need four years. He said anybody can say that but given the nature of this project and the role it plays  
277 in the Town, he agrees with a four year extension. Mr. Khan said the discussion is showing several members  
278 of the Board are in favor of the four-year extension with a two-year update.

279 Ms. Robertson said based upon the discussion there will be a resolution prepared for next meeting.

280 Mr. Khan said he would like to condition the resolution with two things. The first is an update in two years  
281 and the other is an update if there is a change to the project or the Route 7 corridor that is materially is  
282 enough that the Board or applicant should become aware of it. Acting Chairperson D'Arpino agreed.

283 4. 3905 State St. – An application for site plan approval for a tenant change to a convenience  
284 store/smoke shop

285 Mr. Alsaidi, owner and applicant appeared virtually before the Board. He said he is opening up a mix  
286 convenient store with exotic drinks from Japan and tobacco like cigarette and cigars and CBD stuff.

287 Acting Chairman D'Arpino said they were only proposing to change out the sign panel correct. Mr. Alsaidi  
288 said the sign was too old to just change the panel they need a new sign which he emailed early that day.

289 Acting Chairman D'Arpino said they cannot act on that at this meeting but it can be put on for next meeting.

290 Mr. Alsaidi said he will be out of the country for a while but he would like to get the permits to get work  
291 done on the inside of the building and then do the signage when he gets back.

292 Ms. Robertson said they can split approvals up for tenant change and signage, that happens regularly with  
293 site plan reviews. She did ask about a clear path to the front of the store for customers that were parking in  
294 the spots at the rear of the building. She stated this building was configured very similarly to S&Gs building  
295 down the road and they worked long and hard to find a way to get customers from the rear to the front of  
296 the store safely. Mr. Alsaidi said there are 8 spots in the back and about 4 in the front.

297 Ms. Bilofsky asked if they allowed customers in through the back entrance or if they are only using the  
298 front entrance. Mr. Alsaidi said they are using the front entrance and only using the back entrance for an  
299 emergency exit.

300 Ms. Gomes said she noticed the parking spots in the front are very close to the front of the building. She  
301 asked will there be any kind of prevention to stop cars from pulling right up to the building not leaving  
302 space for people walking out of the store. She feels this is a safety concern. Mr. Alsaidi said he sees that  
303 now and will look into something to stop the cars.

304 The Board discussed options like barriers or signs to allow a clear walkway from the rear to the front of the  
305 store. Mr. Khan said he thinks they need to do a little bit of site work on this project.

306 Ms. Robertson said on the S & G site they delineated a walking area for people to get from the back to the  
307 front of the store through the 'working' part of the building. There wasn't room for a pedestrian walkway  
308 on the outside.

309 Mr. Khan said from a pedestrian safety perspective he doesn't feel having people walk up and down the  
310 small driveway from the back parking lot is safe. Mr. Khan said the simplest solution is to possibly have  
311 this place open up the rear entrance. Mr. Alsaidi said they can use the back entrance for people that park  
312 back there but they will need to buzz them in.

313 Ms. Gomes asked if there was sufficient lighting in the back of the building. Mr. Alsaidi said yes there is  
314 lighting.

315 Ms. Strang asked how many employees would be there and if there was sufficient parking.

316 Ms. Robertson said the parking is grandfathered in on this property. She said when a new tenant comes in,  
317 they make sure they are making the best improvements they can. Ms. Robertson said the last couple times  
318 they had a site plan like this they really focused on the pedestrian movement.

319 Mr. Khan said he thinks they need to be consistent and draw a line where pedestrian safety is concerned.  
320 Mr. Alsaidi said he will probably open the back and front doors for people to come in to make it safer for  
321 people in the back.

322 Acting Chairman D'Arpino said he thinks the tenant change is ok, he thinks there are some site  
323 improvements that need to be made. He said he needs to delineate some parking spaces in the front and  
324 some simple striping and some temporary curb stops aligned or affixed into the ground would be good first  
325 steps. He said it would be helpful if they could send a photograph of the back of the building to see what  
326 the store front looks like and also some pictures of the back parking lot.

327 Ms. Bilofsky asked if the store had been registered and did it have a name. Mr. Alsaidi said yes, it will be  
328 called Genie's Smoke Shop and it is a chain.

329 Mr. Khan said they need to see a better depiction of the site on the inside rear of the store where the entry  
330 will be.

331 Ms. Robertson asked if they wanted to have it as a discussion item for next meeting or a resolution hoping  
332 they can achieve all of the items in two weeks.

333 Acting Chairman D'Arpino said he is ok with resolution for next meeting as long as they get a little more  
334 information on the back of the building and striping a resolution would be fine. Acting Chairman said if  
335 they are concerned about it, they can table it to the following meeting.

336 Mr. Alsaidi agreed it would be better to wait and come to the May 13 meeting so he has all the items  
337 completed

338 5. 2565 Balltown Rd. – Schenectady JCC – An application for site plan approval of a yurt

339 Mr. Katz, Campus Director for JCC, was in person. Mr. Katz said the yurt is going to be used to provide  
340 additional space primarily for their summer camp. This will help add additional space during inclement  
341 weather. He said they have roughly 300 children at their camp so there is a need for more space. Mr. Katz  
342 said it will take the place of the volleyball courts that are no longer in use.

343 Acting Chairman D'Arpino said the rendering shows the yurt is not on a concrete slab like stated. Mr. Katz  
344 said the rendering is from the yurt company. It will be put on a poured Alaskan slab.

345 Mr. Khan asked how many people does the yurt hold. Mr. Katz said they would not put more than two  
346 camp groups in, and each group is 18 campers with 2 to 3 staff.

347 Acting Chairman D'Arpino asked that they remove the extra accessories off the drawing and highlight  
348 where the yurt will be placed. Mr. Katz stated yes they can do that.

349 Ms. Bilofsky asked if it will be rented out for birthdays or other events. Mr. Katz said they rent pavilions  
350 rarely. He said he can't say that it would never be rented, but he doesn't see it as a major purpose. He said  
351 it could happen maybe a couple times a year.

352 6. 850 Oregon Ave. / 875 Stark Ave. – An application for lot line adjustment

353 Mr. Smith of 850 Oregon Avenue was present. Mr. Smith said he made the corrections to the plat that  
354 needed to be made and he just received them this date. He understands they are too late for this meeting.  
355 Mr. Smith asked that this be put on for next meeting.

356 Acting Chairman D'Arpino said to recap it is a lot line adjustment that is adding a section of property over  
357 to Oregon Avenue. Acting Chairman D'Arpino said they prefer lot lines that are more directional, not  
358 segmented, so the proposal falls in conformance with that. Acting Chairman D'Arpino asked about a couple  
359 of the out-buildings shown on the map.

360 Mr. Smith said he is addressing them with the Building Department and intends to make them compliant  
361 with the Zoning Code.

362 Acting Chairman D'Arpino asked if they are a separate item that the Building Department would deal with.

363 Ms. Robertson said the accessory structures do not impact the lot line adjustment. They are currently out of  
364 conformance with the zoning so she wants to make sure that the applicant has submitted something to bring  
365 them into conformance with the zoning before the Chairman signs the lot line adjustment, but they don't  
366 physical effect the lot line change. Ms. Robertson said Mr. Smith has multiple avenues to bring the property  
367 into conformance prior to recording the plat.

368 Mr. Khan asked if they could condition the approval of the lot line resolution to include the moving of the  
369 carport and permitting of the chicken coop. Ms. Robertson said as long as they have valid permits issued  
370 to address the structures, he is legally bound to follow through with the permits and conditions of the  
371 Planning Board.

372 Ms. Gold said she feels the adjustment makes the lots more conforming but also make more sense for the  
373 yards. She noted a step slope between the two properties. Ms. Gold stated she is the project lead.

Ms. Robertson asked Mr. Hess if the surveyor should remove those accessory structures from the lot line adjustment when they are recoding it or should they leave it as is and make sure the resolution is conditioned with the building permit requirements.

Mr. Hess said the structures should remain on the lot line adjustment as is and it is important that the resolution have the condition to address the structures to keep the record clean.

Action Chairman D'Arpino called for a resolution with conditions for the next meeting.

## **IX. REPORTS**

### **1. Zoning Code Updates (Short term rental regulations)**

Ms. Robertson said the Town has reached out to AirBnB directly to get best practices from them and to learn about how to do enforcement with Town code and AirBnB. Ms. Robertson said the Town is working on a short-term solution which would be to mitigate what is happening at the AirBnB's while they work on updating the code and the long-term solution would be to adopt a short term rental code. She said AirBnb has collected a lot of best practices for government regulation which are really good and it has been shared with the Supervisor's office. Ms. Robertson said she is proposing at the next meeting or the one after to start looking at the combination of information they have as a starting place for code updates.

Mr. Khan asked if there are boundaries and if they can say no to short term rentals in Niskayuna. He asked what is allowed or how it is regulated in the code.

Ms. Robertson said the Town can't prohibit a use outright in all places in the Town but it can regulate place and time. She said from the other towns they looked at the regulations are more based on safety and some require a special use permits for an AirBnB. Ms. Robertson said currently there is no differentiation between a day rental and a year rental in Town Code. Ms. Robertson said when they look at the code, they have to make sure they do not adopt a code that negatively impacts long-term rental people that have been living in the town for decades.

Ms. Strang said it could be possible at the end of the decision-making on the code that the home on Milton Keynes could still be used as an AirBnB then. Ms. Robertson said it could. The Board would need to look at the regulations to see how that would work. She said she gets a little concerned with enforcement because a lot of enforcement of these AirBnB issues is going to be after hours and she is not expecting the Police Department to pick up enforcement on a Zoning issue. The question is how to notify the Building Inspectors to go out and possibly enforce the codes of AirBnb if the Town were to adopt them. She felt this is something the Board should definitely consider during discussions of Code adoption.

Mr. Khan asked for clarification on the statement that an AirBnB cannot be prohibited in all of Niskayuna. He asked if it is possible to prohibit on a zone-basis.

Ms. Robertson said she hasn't looked into it fully but usually yes, uses can be excluded from certain Zoning Districts. However, if the Town of Niskayuna excluded short term rentals from all residential Zoning districts that may be a de-facto exclusion which would also not be allowed.

Ms. Gomes asked if regulations can look at whether it couldn't be within so many feet of a school. There are numerous schools in Niskayuna, which would eliminate a large area from having AirBnBs.

Mr. Hess said he thinks this discussion is very helpful. He would like to get questions from the Board so when he comes back, he can have real answers for the Board.

Mr. Khan said this is not going to be an easy process but they need to go through and identify what their parameters are.

Ms. Bilofsky said she is interested in seeing how other towns are addressing this. She said she definitely wants to see what towns the size and scope of ours are doing, not tourist destinations Towns.

Mr. Khan asked if Niskayuna allows hotels.

- 418 Ms. Robertson said hotels are allowed in at least one zoning district, which she believes is C-N.
- 419 Ms. Robertson summarized the discussion, stating that in the short term the Town will be working with  
420 AirBnB to address the complaints, but in the long-term this Board will consider adoption of a new Zoning  
421 code. Adoption of the zoning code is a SEQR action which requires coordination with the County and  
422 Town Board. She said there are a lot of steps to get the Zoning Code changed.
- 423 Mr. Khan asked for clarification as to who is in contact with AirBnB. Mr. Robertson said the Supervisor's  
424 office is currently in contact with AirBnB.
- 425 Ms. Gold said she thinks there should be a limitation on how many days a year a home can be rented out  
426 this way. She feels it becomes a business if it is rented out for a good portion of a year. Ms. Gold said she  
427 feels the Board should look at renting out a room in the home as well. She stated she knows this is a  
428 different issue but feels it is related and there needs to be some consistency with the regulations. She felt  
429 that sometimes renting a room was better because the owner was there on the property which often caused  
430 better behavior from renters. She stated the Board should stop referring to this issue as AirBnB because  
431 there are many short-term rental companies.
- 432 Ms. Robertson said she agrees with the need to stop calling everything AirBnb and call everything short  
433 term rentals and she said she will also note to look at regulating renting a room in your home.
- 434 Acting Chairman D'Arpino asked if there was anything to add to this discussion or the updates to the Zoning  
435 Code.
- 436 Ms. Roberson said they know they have to do some work on the fees in the Zoning Code. Ms. Robertson  
437 said she is not sure they want to do this but they have the Neighborhood Mixed Use District that has not  
438 been applied anywhere.
- 439 Mr. Khan asked if they are getting rid of it. Ms. Robertson said no, they have the Zoning District but it has  
440 not been placed anywhere. Acting Chairman D'Arpino said this was something they worked on before  
441 COVID. He said if there was a way to start that committee back up it would be worth-while. There was  
442 much discussion on this topic and the previous work that had been done and concepts that the committee  
443 came up with needed to be explored to make sure the Code would create a mixed-use neighborhood that  
444 the Town of Niskayuna wanted to see. Ms. Robertson said it would be beneficial to the Town to get the  
445 mixed use code right and implement it ahead of future development.
- 446 Mr. Khan said they should set a target to get it done all of this done this year.

447 2. Project Submittal Timelines Update

- 448 Ms. Robertson said she did not have an update tonight.
- 449 Mr. Khan said when they open up the Zoning code for making amendments, perhaps they should write the  
450 project timelines into the code. Ms. Robertson said she thinks it would be helpful to put the process into the  
451 code.
- 452 Ms. Strang said she was on another Town's website and they had a table that listed - if you want to be on  
453 this meeting you need to have your packet in by this date, etc. She said it was updated every month but she  
454 is not sure how heavy of a lift that would be for Town staff to do.
- 455 Ms. Gomes said it would not have to be updated every month. Staff could probably do the entire year at  
456 once when they were setting the calendar dates. Mr. Khan said he does believe it should be embodied in  
457 the code.

458 **X. COMMISSION BUSINESS**

- 459 Ms. Bilofsky asked about the clearing between Channel 6 and CVS, she wondered if they were approved  
460 for anything beyond clearing. Ms. Robertson said they were only approved to clear the lot, there are no  
461 Planning Board approval for anything on there. She also said the developer combined the five homes/lots



462 into one lot. Only one single family home would be allowed to go back on that property without Planning  
463 Board approval for a subdivision or site plan.

464 Mr. Khan said he was concerned about over-clearing on River Road or on many projects. He doesn't feel  
465 the Town has a stiff enough penalty for over-clearing.

466 Acting Chairman D'Arpino said he can speak on this because he has been on several pre-construction  
467 meetings where there are several mature trees that have value to them so whether you charge \$100 a tree or  
468 \$500 a tree, the trees could be worth several thousand dollars at a lumber mill. It comes down to if you  
469 have a delineation that is to be non-cleared and there is a stipend associated with the clearing it has to be  
470 enforced. Acting Chairman D'Arpino said if it were enforced a couple times, all the developers talk and  
471 they are going to understand the penalties and costs.

472 Ms. Robertson said the Town's tree code right now actually requires that if a tree is designated for  
473 preservation during Planning Board subdivision review the developer has to pre-value it by having a  
474 certified arborist come out and state this tree is worth x amount of dollars. Ms. Robertson said if they don't  
475 get the pre value it is almost impossible to get it later and the Code is difficult to enforce. It is hard to get  
476 an arborist to come and say what a tree is worth once it's gone. As a result, they end up just getting the  
477 \$500 fine.

478 Mr. Khan asked what prevents the Board from working out a contract with an arborist and when we call  
479 then they need to come out and evaluate a subdivision.

480 Mr. Robertson said if the Board would like to review the code she will bring it to them. She stated what  
481 they could do is require as part of the subdivision review that a the developer gives money for the value of  
482 the trees the Board is designating to be preserved. The Tree Council can give recommendations and the  
483 Planning Board must actually designates the trees that they have to save.

484 Mr. Khan said he has yet to find a developer that doesn't over clear. Ms. Bilofsky said it's tragic. Her  
485 neighbors had a wooded back yard and now with the new softball field at the HS they have nothing.

486 Ms. Robertson said she can bring that process to them and they can check it out and they can tweak it if  
487 they want and get ready to start enforcing it.

488 Mr. Khan asked about the property on River Road that had been cleared. Ms. Robertson said that is just a  
489 single- family home but it was a big parcel of land so the clearing is very noticeable. It is not a subdivision  
490 though.

491 **XI. ADJOURNMENT**

492 Ms. Bilofsky made a motion to adjourn, Ms. Strang seconded. All were in favor. The meeting was  
493 adjourned at 9:20 pm.

494 *The video recording for this meeting can be found at: [youtube.com/watch?v=xEL2XNeVAf0](https://youtube.com/watch?v=xEL2XNeVAf0)*



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 1

MEETING DATE: 4/29/2024

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**ITEM TITLE:** RESOLUTION: 2024-13: A Resolution for an extension to the site plan approval for the CDHM at 2501 Troy Schenectady Rd.

**PROJECT LEAD:** Chris LaFlamme & Genghis Khan (original approval)

**APPLICANT:** Restoration of Eastern European Jewish Cemeteries Project, Inc., represented by Daniel W. Dembling

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☒ Town Board  
☒ OTHER: Economic Development, Historic Preservation & Environmental Conservation Committee, Tree Council

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Request Letter

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**SUMMARY STATEMENT:**

Dan Dembling, president of the Capital District Jewish Holocaust Memorial, LLC, applicant for the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Road, has requested an additional extension to the site plan approval for the Memorial that was re-issued on January 10, 2022 and November 24, 2022.

Mr. Dembling attended the 4/15/24 Planning Board (PB) meeting and confirmed his need for a 4-year extension to secure funding for the project. The PB agreed to a 4-year extension with the conditions noted below.

**BACKGROUND INFORMATION**

The Planning Board approved the Capital District Jewish Holocaust on February 10, 2020 with conditions for Site Plan and the conditions that were attached to the Special Use permit (see attached Resolution 2020-07. The minor subdivision associated with the project (Resolution 2020-06) was approved and recorded in Schenectady County and is complete.

On 12/13/21 the applicant explained to the Planning Department that they worked diligently to meet the timelines approved by the Board, but the COVID-19 pandemic affected the fundraising and final implementation dates for the project. They requested the site plan, which is the controlling timeline for all associated special use permits or variances, be re-authorized by the Planning Board for an additional two years. The Planning Department stated that they reviewed the former resolution and did not identify any conditions or issues with the plan that require

modification. On January 10, 2022, the Planning Board approved a site plan extension for two more years.

On 10/24/2022 the applicant returned to the Planning Board with a site plan revision that included a berm with additional landscaping to shield the memorial from the sound of Route 7 and the proposal to install a monument sign. On 11/14/2022, the Planning Board approved a resolution allowing the addition of the berm and monument sign, extending the site plan approval for two years from that date, or to 11/24/2022.

On November 15, 2023, the law firm Whiteman, Osterman and Hanna (WOH), representing the Capital District Jewish Holocaust Memorial, sent a letter to the Planning Board requesting renewal of the site plan approval.

On December 27, 2023 the Town received notification from Dr. Lozman that he was going to dedicate himself to the US Commission for the Preservation of American's Heritage Abroad and the baton was being passed to Dan Dembling, the present of the Holocaust Memorial.

In January of 2024 WOH reached out to the Town again to ensure the renewal would be brought to the Planning Board. The Planning Department placed them on the agenda for February 12. Based upon the review of the documents, with the last site plan approvals attached to this agenda statement, the site plan approval is good through November of 2024. The Planning Board has the option under the code to extend it longer and based upon discussions with the applicant – they may be requesting a longer extension this time.

Section 220-48 (E) states "Expiration. Final site plan approval shall expire two years after the date of final written approval by the Planning Board unless construction in accordance with the approved plan has begun or an extension of time has been granted by the Planning Board."

2/12/24 Planning Board (PB) meeting – Mr. Dembling attended the meeting and presented the application for an extension to the site plan approval to the Board. He stated that due to a variety of reasons, including COVID and escalating construction costs, they have only raised a small fraction of the funding needed to build the memorial. He explained a change in approach to the project with an emphasis on utilizing the future memorial as an educational tool. Ms. Robertson noted that an extension is not required until November or 2024. A general discussion followed and Mr. Dembling explained that he is quite confident that he will need a 4-year extension on the site plan approval due to the slow rate of fundraising. Ms. Robertson said she would check with the Town Attorney to determine if the Board could grant a 4-year extension. Ms. Robertson explained that there was no rush for the Board to call for a resolution for the next meeting. It was agreed that she would contact the Town Attorney and inform Mr. Dembling of the outcome.

3/4/24 – Ms. Robertson emailed Mr. Dembling informing him that her review of the code allows him to request a site plan approval extension for a period longer than 2 years. She asked him to provide a letter requesting the length of extension he is requesting.

3/19/24 – Mr. Dembling provided a letter to Chairman Kevin A. Walsh requesting a 4-year extension to the existing amended resolution (PB 2022-29) that is due to expire on 11/14/24.

4/15/24 Planning Board (PB) meeting – Mr. Dembling attended the meeting and discussed the project with the board. He confirmed that he believes it will take all of the requested 4-year time extension to raise funding for the memorial. Board members noted that significant changes can occur over a 4-year period. They referenced current grant applications for traffic calming

measures along on Rt 7 as an example. The board called for a resolution for the 4/29/24 with the following conditions.

- A 4-year extension from the current expiration date of 11/14/24
- Applicant to appear before the Board and provide a project update at the November 2026 meeting
- Applicant will work with Planning Board to attend any necessary meetings if there are major changes to the Route 7 corridor or other large, relevant events majorly impacting the project.
- Request remains for no site disturbance until applicant demonstrates that the project funding is in place

A resolution for site plan approval is included in the meeting packet.

RESOLUTION NO. 2024 - 13

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF APRIL 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

One of the purposes of the meeting was to take action on a time extension to a final site plan review and approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_.  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Mr. Dan Dembling, has made an application to the Planning Board for a 4-year time extension to the previously approved site plan for a 2.08-acre religious education facility including a monument sign and earthen berm at 2501 Troy Schenectady Road, as shown in a 10 page site plan set entitled "Existing Conditions Plan for Holocaust Memorial, 2501 Troy Schenectady Road, Town of Niskayuna, County of Schenectady, State of New York," by Hershberg & Hershberg, consulting engineers and land surveyors, and dated 5/1/2017, with additionally approved site plan amendment dates added as follows:

Page No.	File Name	Name	Author	Date Drawn	Rev.
1	CDJHM001	Overall Plan	"A"	10/14/22	5/11/21
2	CDJHM002	Site Plan for Proposed Sign	"A"	10/14/22	10/21/22
3	CDJHM003	Site Plan with Section	"A"	NA	NA
4	CDJHM004	Monument Sign A100	"B"	10/14/22	10/14/22
5	CDJHM005	Monument Sign Rendered	"B"	NA	NA
6	CDJHM006	Short-term Sign Rendered	"B"	NA	NA

and,

WHEREAS, the zoning classification of the property is R-1: Low Density Residential zoning district, and

WHEREAS, A religious education facility in an R-1 Zone requires a special use permit, and

WHEREAS the Planning Board conducted a public hearing on February 12, 2018 to consider the application for a special use permit and preliminary site plan review, and

WHEREAS this application was referred to the Schenectady County Planning Department and on November 20, 2017 the County responded that it conditionally approved of the project, pending NYSDOT approval of highway access, and

WHEREAS, the application was referred to the Niskayuna Conservation Advisory Council, and on January 3, 2018, the Council recommended a negative declaration, and

WHEREAS, the Town Board, acting in accordance with the State Environmental Quality Review regulations and local law, assumed the position of lead agency for this project, determined the project will not have a significant effect on the environment and directed the Town Planner to file a negative declaration, and

WHEREAS, the Town Board granted a special use permit on June 20, 2019 to allow a religious education facility at 2501 Troy Schenectady Road, by its Resolution No. 2018-182, and

WHEREAS, the Planning Board and Zoning Commission – granted minor subdivision approval for the subdivision of a property at 2501 Troy Schenectady Road as shown on a map entitled “Proposed Subdivision, Capital District Jewish Holocaust Memorial, 2501 Troy Schenectady Road” prepared by Hershberg & Hershberg and dated February 6, 2018, by its Resolution 2020-06, and

WHEREAS, On January 10, 2022 the Planning Board and Zoning Commission granted a 2-year time extension to the previously approved site plan, by its Resolution No. 2022-01, and

WHEREAS, On November 14, 2022, the Planning Board and Zoning Commission granted site plan amendment approval to allow for the installation of a monument sign and earthen berm and an additional 2-year time extension to the previously approved site plan, by its Resolution No. 2022-29, and

WHEREAS, the Planning Board finds that the timelines involved in community fundraising for the project, the requirement for donations to be given reasonable security on permitting in place, the uniqueness of this proposal, and the overall benefits to the

Town of Niskayuna from such a facility require a rare exception to the standard approvals of two years, and

WHEREAS, the Planning Board referred this application to the Town's Engineering Department and the department does not object to the proposed plans, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby grant and extend final site plan approval for a special use permit to allow the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Road, subject to the following conditions:

1. Wetlands may not be disturbed, drained or physically altered in any way without first contacting the Army Corps of Engineers. Additionally, the Town of Niskayuna requires that no land can be disturbed within a twenty-five (25) foot buffer from the boundary of the wetland.
2. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer, and Engineering and shall remain in place until such time as natural vegetation has been successfully established.
3. Prior to issuance of a final CO, the applicant shall sign a Storm water Control Facility Maintenance and Access Agreement, in order to ensure the proposed storm water facilities are installed and maintained per plans.
4. Prior to site disturbance, the applicant shall participate in a preconstruction meeting with the Town of Niskayuna and shall address any concerns raised by the Town or the Town Designated Engineer (TDE).
  - A. Pursuant to this site plan amendment, the project is approved to install monument sign as outlined in the drawings noted above, with minor associated clearing, to mark the entrance to the memorial prior to full site disturbance or the preconstruction meeting requirement.
5. Prior to site disturbance, the site plan maps shall be modified to reflect agreed upon decisions of the preconstruction meeting, if any, and distributed as required to the Town and to all involved contractors. Final site plans shall be submitted to the Town labeled "For Construction."

6. Prior to site disturbance, confirmation shall be made by the applicant to the Department of Public Works that material specifications and site details, including road and utility plan/profiles, meet Town standards.
7. Prior to the preconstruction meeting, any engineering and drainage concerns will be addressed to the satisfaction of the Town Superintendent of Water, Sewer and Engineering, including item #7 in the TDE comment letter dated 2/3/2020.
8. Prior to the preconstruction meeting, any questions or concerns raised by the Town Designated Engineer will be addressed by the applicant in a formal letter to the Town.
9. Prior to the preconstruction meeting, the applicant shall provide written approval from the NYSDOT for the curb cut on Route 7.
10. As a condition of the special use permit, hours of operation for the property shall be dawn to dusk.
11. As a condition of the special use permit, a thick vegetative buffer shall be established along the Route 7 corridor to protect the residential nature of the corridor and limit impact to adjacent properties.
  - A. Pursuant to this site plan amendment, an earthen berm shown in page 2 of the 6-page drawing set noted above is approved to be added to the grading plan to create additional screening and noise reduction to the site.
12. As a condition of the special use permit, temporary onsite restroom facilities shall be required at any time the memorial is open, with an area reserved on the site plan that will adequately serve for the construction of permanent bathrooms in the event that they are deemed necessary by the Town and overseeing Foundation.
13. All large events that require traffic control / Niskayuna police presence shall be coordinated with the Town of Niskayuna Police Department in well in advance of each event.
14. Final site plan approval shall be granted for four (4) additional years following the expiration date of Resolution 2022-29; therefore site plan approval shall expire on November 14, 2028 unless construction in accordance with the approved plan has begun or an additional extension of time has been granted by the Planning Board.
15. The applicant shall appear before the Planning Board and Zoning Commission at their November 2026 meeting to provide a comprehensive update on the status of the project.



16. Applicant will work with Planning Board to attend any necessary meetings if there are major changes to the Route 7 corridor or other large, relevant events with possible implications on the approvals of the project occur.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

The Chairman declared the same \_\_\_\_\_.

March 19, 2024

**VIA EMAIL**

Chairman Kevin A. Walsh  
Members of the Planning Board  
One Niskayuna Circle  
Niskayuna, NY 12309  
United States

**RE: Holocaust Memorial – 2501 Troy Schenectady Road, Niskayuna NY**

Dear Chairman Walsh and Members of the Planning Board:

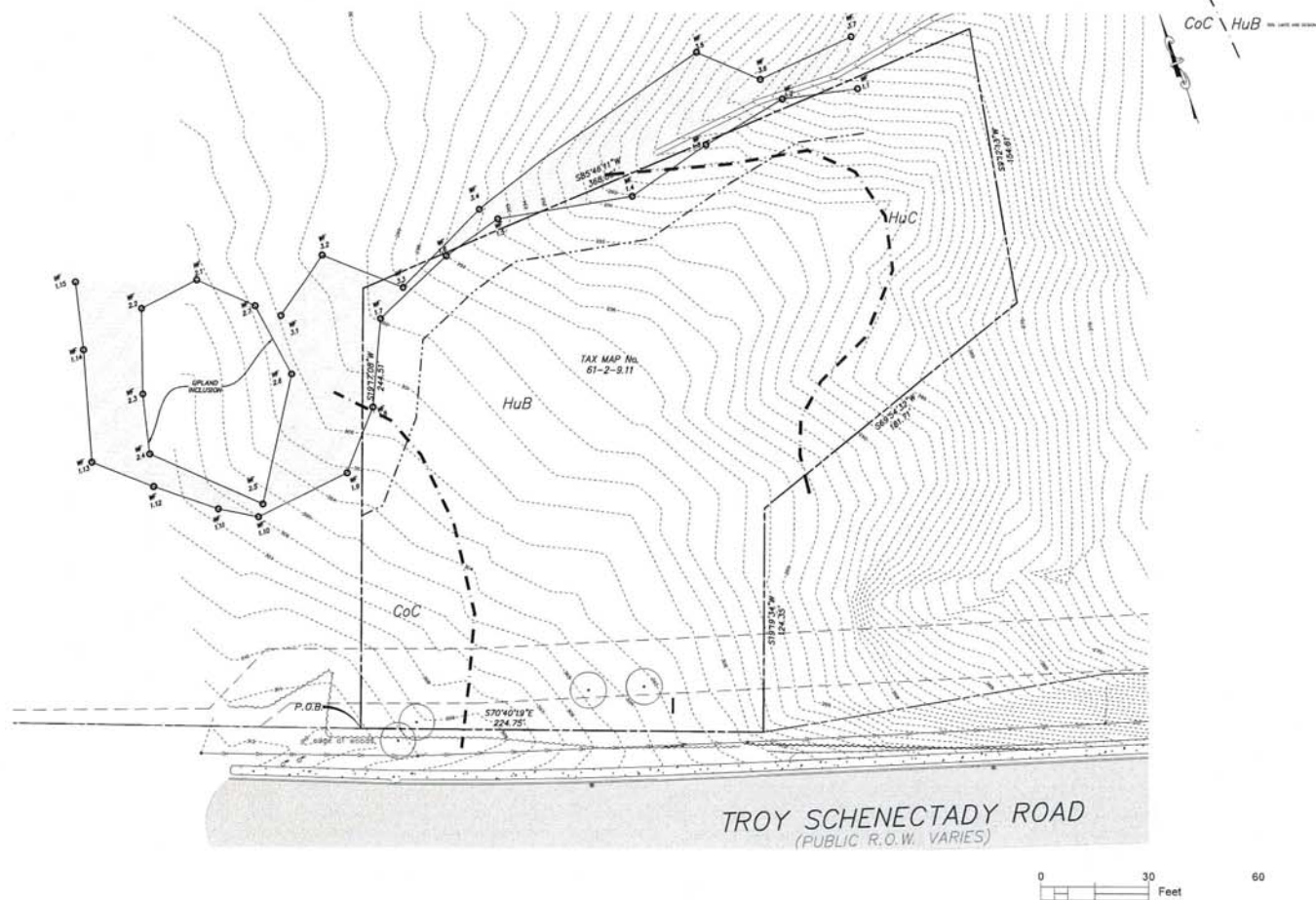
Our Firm represents Capital District Jewish Holocaust Memorial, Inc. (the “Applicant”), in relation to its approved Holocaust Memorial at 2501 Troy Schenectady Road (the “Project”). We attended the Town of Niskayuna Planning Board (“Planning Board”) meeting on February 12, 2024, to request a 2-year extension of the site plan approval. During the meeting we were informed that the Planning Board may grant a 4-year extension of the site plan approval pursuant to Zoning Code § 220-48(E).

Based on the foregoing we respectfully request a 4-year extension of the Project’s site plan approval, commencing from the November 2024 expiration date, while the Applicant continues to raise funds for the Project. Thank you for your assistance in this matter. Please do not hesitate to contact me if you have any questions.

Sincerely,

/s/ *Melissa Cherubino*

Melissa Cherubino



(FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION)



HERSHBERG  
&  
HERSHBERG

Consulting Engineers  
and Land Surveyors

18 Locust Street  
Albany, New York 12201

ALTERATION OF THIS  
DOCUMENT EXCEPT BY A  
LICENSED PROFESSIONAL  
ENGINEER OR LAND  
SURVEYOR, IS ILLEGAL



REMARKS	DATE
LAYOUT REVISED	6/7/17
SITE PLAN REVISIONS	8/29/18

REVISIONS

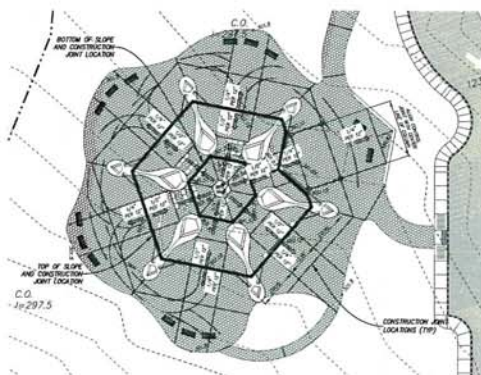
2000044	DATE: 11-20	BY: JAW	DATE: 06-06	PROJECT: 0000
<p>EXISTING CONDITIONS PLAN FOR          HOLOCAUST MEMORIAL          2501 TROY SCHENECTADY ROAD          TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK</p>				

[illegible]

EXISTING SITE COVERAGE STATISTICS			
DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	80,804	2.08	100.00%
IMPERVIOUS AREA	0	0	0
BUILDING COVERAGE	0	0	0
PAVEMENT/SEWER/WALK COVERAGE	0	0	0
PERVIOUS AREA	80,804	2.08	100.00%

PROPOSED SITE COVERAGE STATISTICS			
DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	80,804	2.08	100.00%
IMPERVIOUS AREA	31,812	0.73	35.11%
BUILDING COVERAGE	0	0	0
PAVEMENT/SEWER/WALK COVERAGE	31,812	0.73	35.11%
PERVIOUS AREA	48,992	1.35	64.89%



NOTE:  
CONSTRUCTION JOINTS, AFTER CONCRETE HAS CURED, REMOVE TOP OF DEVICE,  
CON-TIE OR EQUAL, AND FILL WITH POLYURETHANE CAULK.

CONSTRUCTION JOINT LOCATIONS AND SPOT ELEVATIONS FOR STAMPED CONCRETE PLAN  
SCALE: 1"=20'

[illegible]

**PROPOSED LEGEND**

① PROPOSED LAND FILL

② PROPOSED DRAINAGE

PROPOSED STATUS OF TREE

— NEW STUMP REMOVAL

— NEW UNDERGROUND CULVERT

— PROPOSED CONTAINER

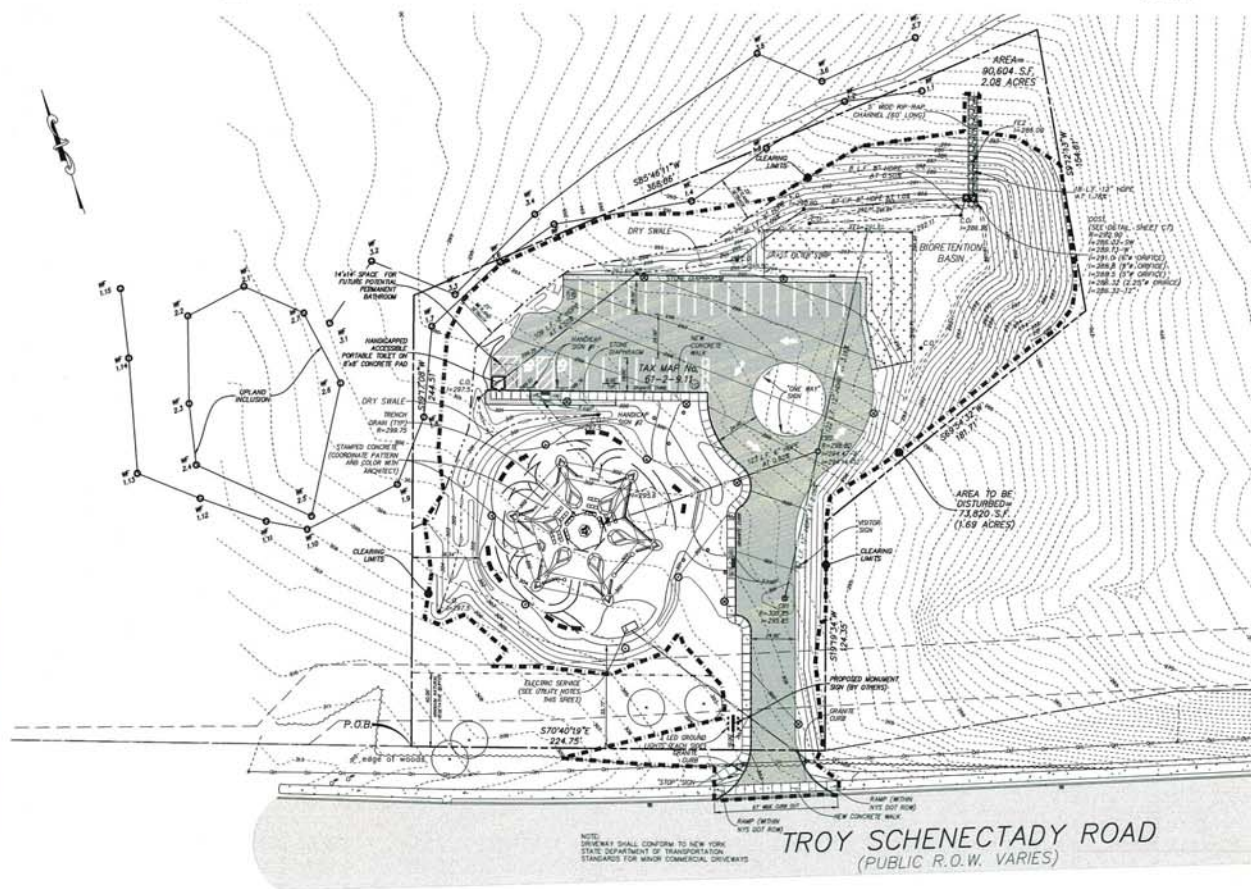
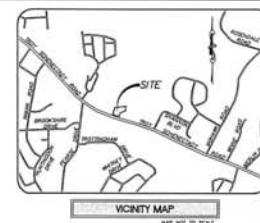
 NEW UNDERGROUND CULVERT

 NEW STUMP REMOVAL

 NEW DRAINAGE

 NEW DRAINAGE

1. POWER SERVICE TO BE SUPPLIED BY NATIONAL GRID AND INSTALLED TO NATIONAL GRID REQUIREMENTS. SUBMIT SHOP DRAWING.
2. SECURITY SYSTEM AND SECURITY LIGHTING BY OTHERS.



**SITE PLAN**  
SCALE: 1"=30'

TOWN OF NISKAYUNA APPROVAL: \_\_\_\_\_

Planned start conditions	Set
1.0	1.0
1.5	1.5
2.0	2.0
2.5	2.5
3.0	3.0
3.5	3.5
4.0	4.0
4.5	4.5
5.0	5.0
5.5	5.5
6.0	6.0
6.5	6.5
7.0	7.0
7.5	7.5
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76.5	

Time Interval	Rate
0 to 10	0.00
10 to 20	0.00
20 to 30	0.00
30 to 40	0.00
40 to 50	0.00
50 to 60	0.00
60 to 70	0.00
70 to 80	0.00
80 to 90	0.00
90 to 100	0.00

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Albany, New York 12204

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DATE	REMARKS
5/18/17	GRADING AND LANDSCAPE REQS
8/10/17	DONOR WALL ADDED
8/29/17	SITE PLAN REVISIONS
9/12/17	COORDINATION WITH SHERR
12/18/17	SEEK WALK TO RT 7/DRIVEWAY NO

## REVISIONS

**SITE PLAN FOR  
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
2501 TROY SCHENECTADY ROAD  
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK**

[illegible]

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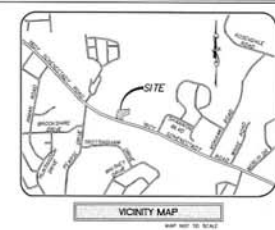
PLANT MATERIAL SCHEDULE									
SYM	AMT	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	MIN. BALL DIA.	MIN. PIT DIA.	SOURCE	REMARKS
<b>MAJOR DECIDUOUS TREES</b>									
AR	8	ALER BUBBON VAR. "OCTOBER GLORY"	RED MAPLE	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	HL SP	
OP	1	QUERCUS BUBBON	NORTHERN RED OAK	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	HL SP	
OP	2	QUERCUS PAULSTRIUS	FR. OAK	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	HL SP	
<b>MINOR DECIDUOUS TREES</b>									
AA	4	ABULANCHER AMORICA	SERVICE BERRY	6" x 7" HT.	8.8 x 8	24"	40"	NO	CLUMP FORM
AL	2	ALTA CAMPARINE	RED MAPLE	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	HL SP	
AL	2	ALTA CAMPARINE	RED MAPLE	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	HL SP	
<b>EVERGREEN TREES</b>									
AR	8	ARNS CONICULUM	WAXY FICUS	6" x 7" HT.	8.8 x 8	24"	40"	NO	SPACE B. E.S.
AV	8	ARNS CONICULUM	WAXY FICUS	6" x 7" HT.	8.8 x 8	24"	40"	NO	SPACE B. E.S.
PA	7	PAULS STRIBUS	WAXY FICUS	6" x 7" HT.	8.8 x 8	24"	40"	NO	SPACE B. E.S.
PS	8	PAULS STRIBUS	WAXY FICUS	6" x 7" HT.	8.8 x 8	24"	40"	NO	SPACE B. E.S.
<b>GRASSES</b>									
SS	23	SCHIZOCYLLUM SCOPULUM	LITTLE BLUE STYR	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	NO	SPACE B. E.S.
PS	18	PSALMUS VITICOLA "SHENECTADY"	SHENECTADY SWITCH GRASS	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	NO	SPACE B. E.S.
<b>HERBACEOUS PLANTS</b>									
DE	18	DESMONDI CHALMOMERA	CHALMOMERA	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	NO	SPACE B. E.S.
<b>SHRUBS</b>									
PS	13	PSALMUS VITICOLA	SHENECTADY SWITCH GRASS	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	NO	SPACE B. E.S.
SS	12	SSALMUS VITICOLA	SHENECTADY SWITCH GRASS	2 1/2" x 1" CAL.	8.8 x 8	24"	30"	NO	SPACE B. E.S.

KEY TO ABBREVIATIONS:  
 ROOTS: NO - NORTHERN BROWN; SP - FALL BROWN; HAZZARD  
 BALL - BALLED AND BURLAPPED  
 CO - CONTAINER GROWN

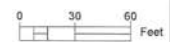
EXISTING LEGEND	
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GENERAL NOTES	
1.	EXISTING TREES TO REMAIN TO BE TAGGED.



TROY SCHENECTADY ROAD  
 (PUBLIC R.O.W. VARIES)



TOWN OF NISKAYUNA APPROVAL	
PLANNED BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

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 Consulting Engineers and Land Surveyors  
 18 Locust Street  
 Albany, New York 12203

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DATE	REVISIONS
6/1/73	1. INITIAL DESIGN
6/1/73	2. REVISIONS
6/1/73	3. REVISIONS
6/1/73	4. REVISIONS

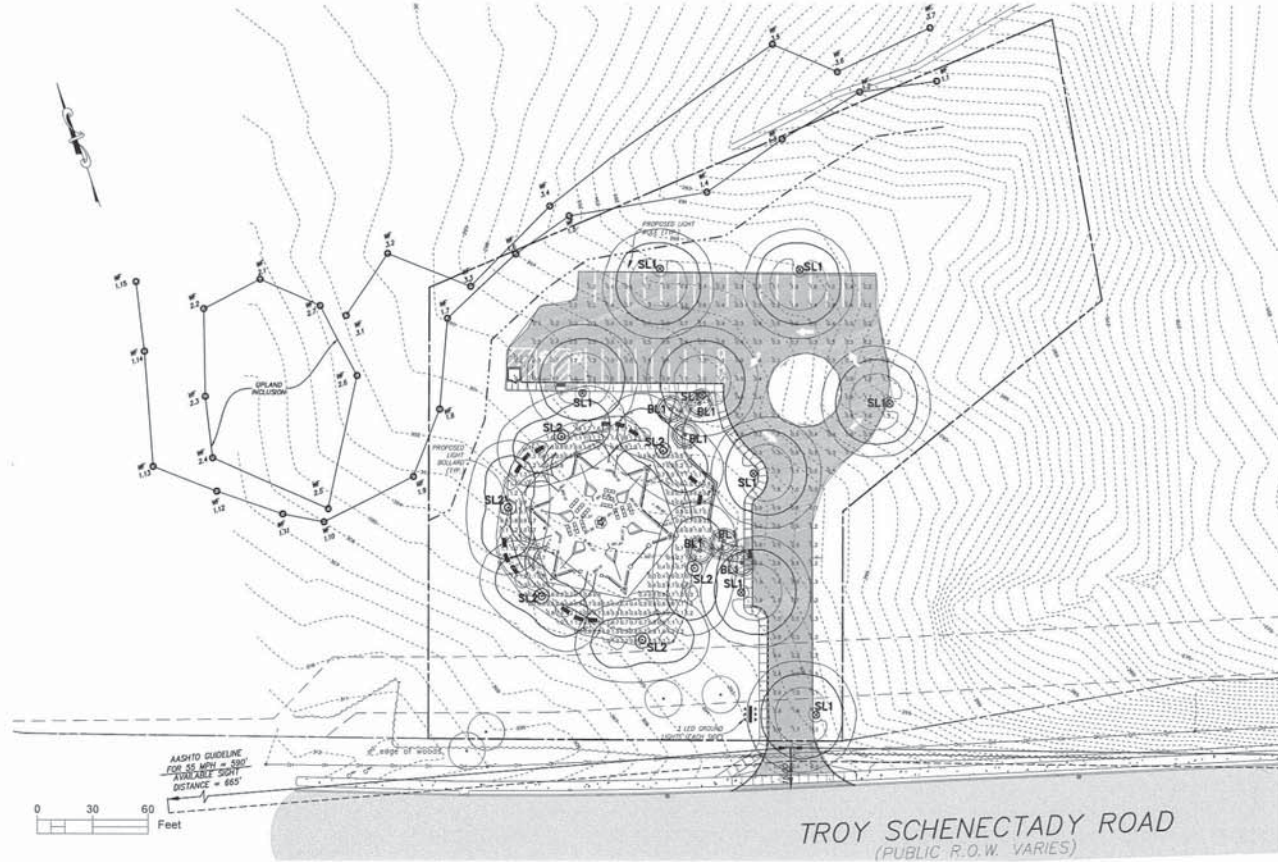
LANDSCAPE AND SIGHT DISTANCE PLAN FOR  
 CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
 2501 TROY SCHENECTADY ROAD  
 TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

SCALE: 1"=30'  
 DATE: 10/24/04  
 DRAWN: J. HERSHBERG  
 CHECKED: J. HERSHBERG  
 PROJECT NO.: 03004-01-00

**EXISTING LEGEND**

	PURPOSED COURT FILL
	PURPOSED BRIDGE

Schichtende								
Symbol	Label	STF	Materialtype	Coating function	Description	Capacity mm³/mm	LF	Weight
⊗	<b>SL1</b>	0	ultrafine lighting	WAGL 1231-F1 200-400 WAGL 71 100-120 0200 WAGL 12 400 120 0200	AGGL-Form top with F1 inside Neutronenabsorption	1000	0.5	20.410
⊙	<b>SL2</b>	0	ultrafine lighting	WAGL 1231-F1 200-400 WAGL 71 100-120 0200 WAGL 12 400 120 0200	AGGL-Form top with F1 inside Feldwegabsorption	1000	0.5	20.410
⊙	<b>BL1</b>	0	ultrafine lighting	WAGL 1231-F1 200-400 WAGL 71 100-120 0200	AGGL-Form top with F1 inside AGGL-Form top with F1 inside	100	0.8	5.27



TROY SCHENECTADY ROAD  
(PUBLIC R.O.W. VARIES)

TOWNS OF NISKAYUNA APPROVAL \_\_\_\_\_

Approved grade courses	Unit
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Time (min)	g/g
0	0.00
10	0.05
20	0.10
30	0.15
40	0.20
50	0.25
60	0.30
70	0.35
80	0.40
90	0.45
100	0.50
110	0.55
120	0.60
130	0.65
140	0.70
150	0.75
160	0.80
170	0.85
180	0.90
190	0.95
200	1.00
210	1.05
220	1.10
230	1.15
240	1.20
250	1.25
260	1.30
270	1.35
280	1.40
290	1.45
300	1.50
310	1.55
320	1.60
330	1.65
340	1.70
350	1.75
360	1.80
370	1.85
380	1.90
390	1.95
400	2.00
410	2.05
420	2.10
430	2.15
440	2.20
450	2.25
460	2.30
470	2.35
480	2.40
490	2.45
500	2.50
510	2.55
520	2.60
530	2.65
540	2.70
550	2.75
560	2.80
570	2.85
580	2.90
590	2.95
600	3.00
610	3.05
620	3.10
630	3.15
640	3.20
650	3.25
660	3.30
670	3.35
680	3.40
690	3.45
700	3.50
710	3.55
720	3.60
730	3.65
740	3.70
750	3.75
760	3.80
770	3.85
780	3.90
790	3.95
800	4.00
810	4.05
820	4.10
830	4.15
840	4.20
850	4.25
860	4.30
870	4.35
880	4.40
890	4.45
900	4.50
910	4.55
920	4.60
930	4.65
940	4.70
950	4.75
960	4.80
970	4.85
980	4.90
990	4.95
1000	5.00

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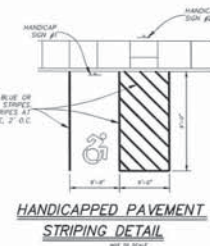
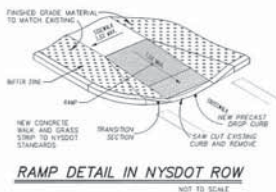
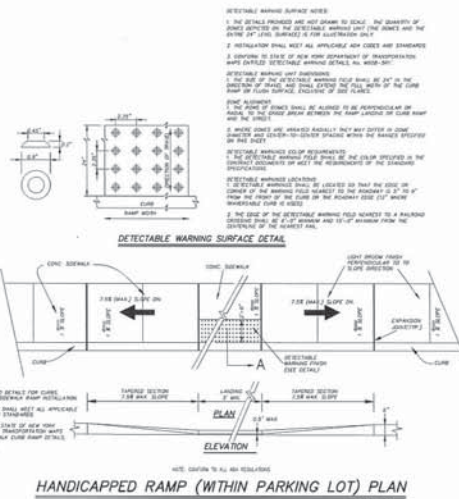
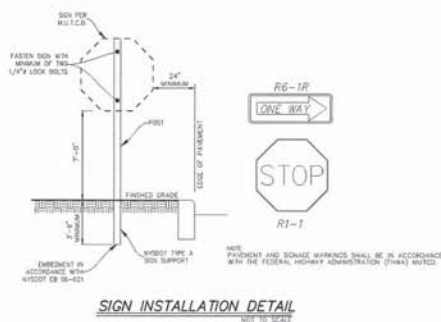
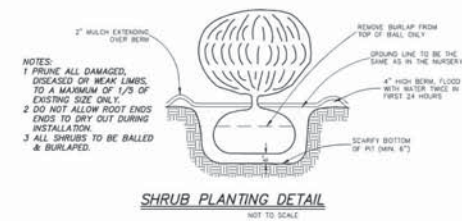
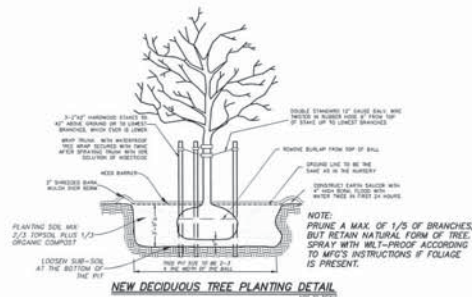
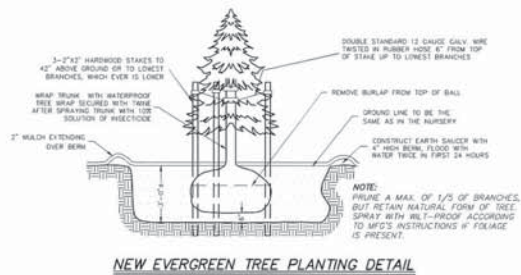


REVISIONS	REMARKS	DATE
	LANDSCAPING REVISED	5/19/18
	NEW NEIGHBOR LAYOUT	5/19/18
	GRADING AND LANDSCAPE REVISED	5/18/18
	CONCRETE WALL ADDED	6/26/18
	SITE PLAN REVISIONS	6/26/18
	SIDEWALK TO SET 7	12/16/18

LIGHTING PLAN FOR  
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
2501 TROY SCHENECTADY ROAD  
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

C4





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**HERSHBERG & HERSHBERG**  
Consulting Engineers and Land Surveyors

18 Locust Street  
Albany, New York 12203

DATE	REVISIONS
8/28/78	
12/17/78	

**SITE DETAILS FOR**  
**CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL**  
**2501 TROY SCHENECTADY ROAD**  
**TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK**

DATE: 10/17/78  
SCALE: AS SHOWN  
BY: HSH



Planned Study Coverage	yr 5
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END ENCLER

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END



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HERSHBERG**  
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and Land Surveyors  
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Albany, New York 12203

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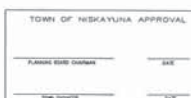
REMARKS	DATE
SITE PLAN REVISIONS	8/29/78

REVISIONS

**SITE DETAILS FOR**  
**CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL**  
**2501 TROY SCHENECTADY ROAD**  
**TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK**

FILE 110044	SCALE: AS NOTED	BY: MAW	CHK: CHN	DATE: 1/17/10	170044-8 DMC
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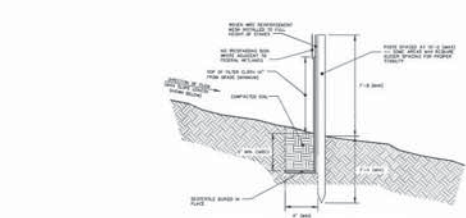




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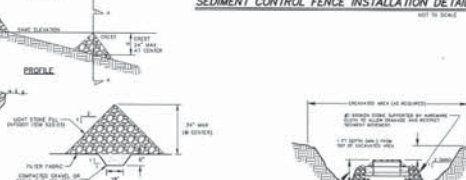




<u>CONSTRUCTION SPECIFICATIONS FOR FABRICATED MET FENCE</u>	
1. INSTALL MET FENCE IN ACCORDANCE WITH THE JULY 2016 THE NEW YORK STANDARD SPECIFICATIONS FOR HIGHWAY AND SEWERAGE CONSTRUCTION.	POSTS: STEEL TUBES "4" OR "6" IN DIA. 8' SPACING
2. WHERE MET FENCE TO BE FASTENED SEQUENTIALLY TO EXISTING POSTS, THE MET FENCE SHALL BE FASTENED TO EXISTING POSTS BY "4" OR "6" DIA. WELD BOLTS.	FENCE: METAL PIPE, 1 1/2" DIA. 12' MAX. WELD BOLTS
3. WHERE MET FENCE TO BE FASTENED SEQUENTIALLY TO EXISTING POSTS, THE MET FENCE SHALL BE FASTENED TO EXISTING POSTS BY "4" OR "6" DIA. WELD BOLTS.	12' MAX. WELD BOLTS, 12' MAX. WELD BOLTS
4. WHERE MET FENCE TO BE FASTENED SEQUENTIALLY TO EXISTING POSTS, THE MET FENCE SHALL BE FASTENED TO EXISTING POSTS BY "4" OR "6" DIA. WELD BOLTS.	12' MAX. WELD BOLTS, 12' MAX. WELD BOLTS
5. WHERE MET FENCE TO BE FASTENED SEQUENTIALLY TO EXISTING POSTS, THE MET FENCE SHALL BE FASTENED TO EXISTING POSTS BY "4" OR "6" DIA. WELD BOLTS.	12' MAX. WELD BOLTS, 12' MAX. WELD BOLTS

[illegible][illegible]

8. SUT FENCE SHALL BE REMOVED AS SOON AS THE DISTURBED AREA HAS ACHIEVED FINAL STABILIZATION.



1. CONCRETE SLAB ON GROUND

2. REINFORCING BARS (REINFORCEMENT)

3. FORMWORK

4. BRACE

5. BRACE

6. BRACE

7. BRACE

8. BRACE

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MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONST

NEW YORK

EROSION SEDIMENT CONTROL DETAILS FOR  
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
2501 TROY SCHENECTADY ROAD  
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF N.Y.

SCALE: AS NOTED      CITY: NEW YORK      DATE: 1/17/78      TOWN: NISKAYUNA





and not to bind.



## SUBDIVISION MAP STANDARD NOTES

## GENERAL

4. BY SIGNATURE OF A BALDING FORMER, THE TOWN OF NICHOLSON DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DRAINAGE BY GENERAL APPROVAL OF THESE PLANS. THE DRAINAGE MUST ASSURE ANY AND ALL LIABILITIES FOR DRAINAGE CLAIMED ARISING OUT OF UNEXPECTED STORM WATER FLOW.

#### ENVIRONMENTAL AND CLIMATE CONTROL MEASURES

- Sample to be used for testing results from origin and destination of the material or material of origin, whether or not it is identified by the construction site documents.
- Where as practicable, existing vegetation shall be preserved.
- Site preparation activities shall be planned to avoid the area and duration of soil disruption.
- Whenever feasible, exposed soil shall be covered and "Treated or Contaminated" Soil is avoided.

## MAINTENANCE OF CRIMINAL CONTROL MEASURES

9. THE DEVELOPER/CONTRACTOR OF THE DRAINAGE SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROJECT, TO ASSURE PROPER FUNCTION. EROSION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, IF NEEDED, REPAIRED, RE-DESIGNED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPILL AREAS, WHICH SHALL BE APPLIED TO ADEQUATELY SLOPED AREAS AS NOTED UNIT, DRAINAGE COVER IS WELL ESTABLISHED.

**NOI PRESERVATION POLICY**

1. TUESDAY APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND IMPROVEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.

3. THE EVACUATION PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL EXITS WITH A NUMBER OF 3-DIGIT OR MORE AS MEASURES TO TEST ABOVE THE RATES OF 34.5% AND 30% AND THE THREATS THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.

7. The CHAINING PLAN shall be consistent with the PURPOSES of the SIM. CRACK AND ELEMENT CONTROL, IN PARTICULAR, CRACKS/2 MATERIALS SHALL NOT BE STOCKPILED WITHIN THE JUMP LINE OR NEEDS TO BE PRESERVED.

**GRADING NOTES**

- THE APPLICANT SHALL PREPARE THE GRADING PLAN SUBMITTED FOR THE SUBMISSION AS ADOPTED ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR THE ZONATION.

### LEGEND



ZEPHYRUS LINE



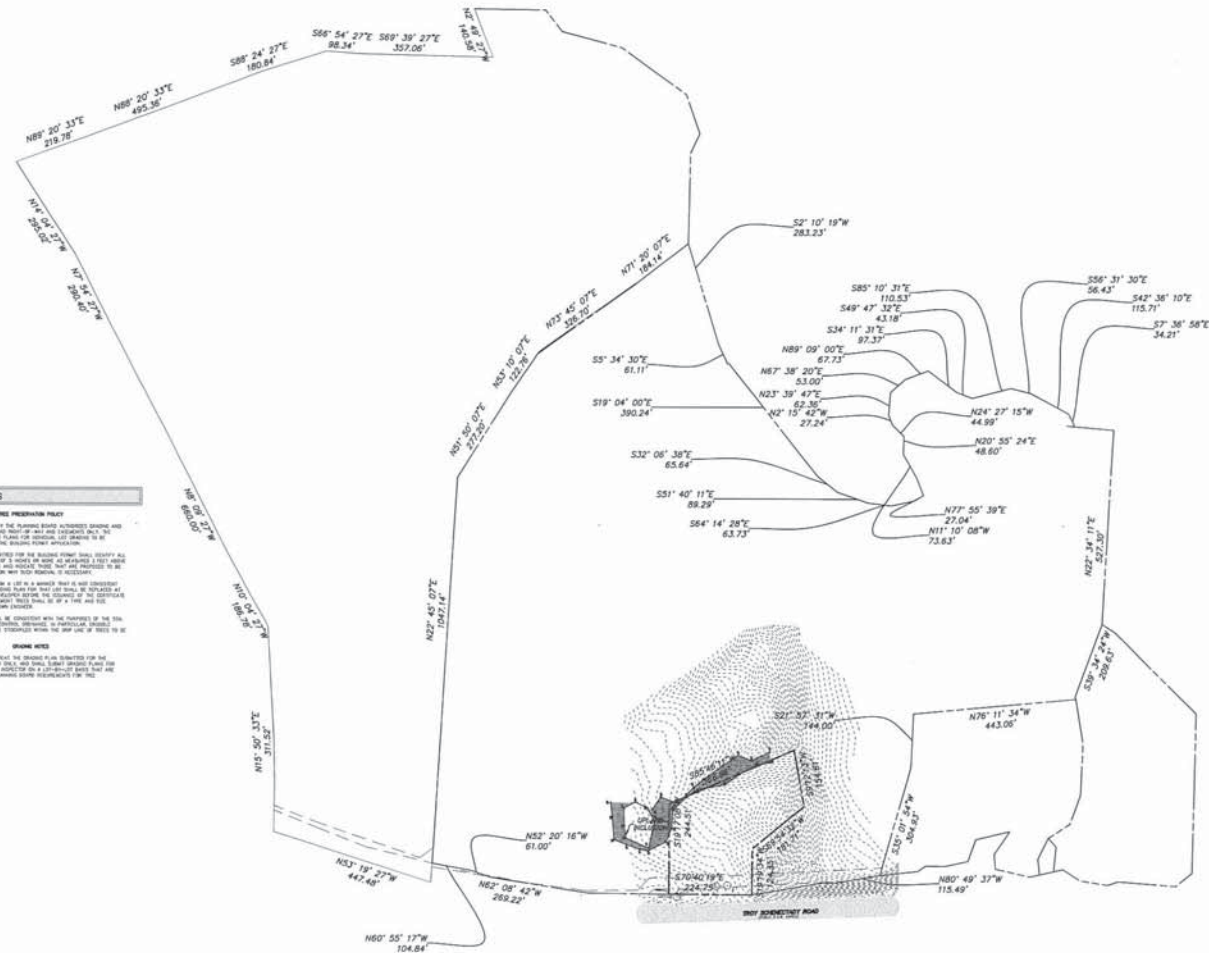
PROPERTY LINE

## OWNER

CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL, LLC  
17 JOHNSON ROAD, LATHAM, NY 12110

## SUBONDER

MOST HOLY REDEEMER  
2501 TRUY SCHENECTADY ROAD, SCHENECTADY, NY 12309



DOES NOT AFFECT

1528.794 MEMO  
1531.176 UTILITY  
1531.396 UTILITY  
1531.426 UTILITY  
1679.710 UTILITY

NO LOCATION

1276.7 UTILITY  
1061.00 SEWER  
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TOWN OF NISRAYUNA APPROVAL

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HERSHBERG  
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Consulting Engineers  
and Land Surveyors  
18 Locust Street  
Albany, New York 12202

ALTERATION OF THIS  
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LICENSED PROFESSIONAL  
ENGINEER OR LAND  
SURVEYOR, IS ILLEGAL



DATE \_\_\_\_\_

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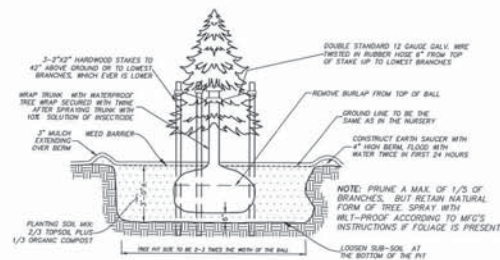
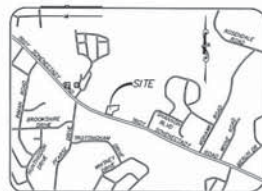
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PROPOSED SUBDIVISION  
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
2501 TROY SCHENECTADY ROAD  
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

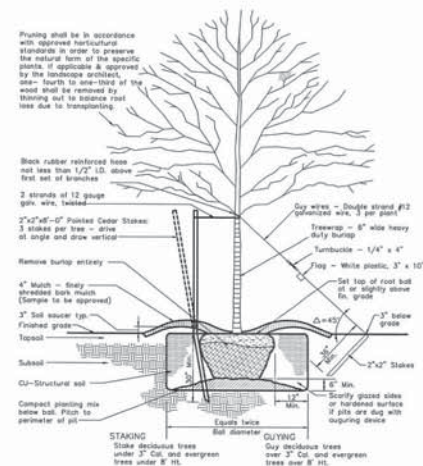
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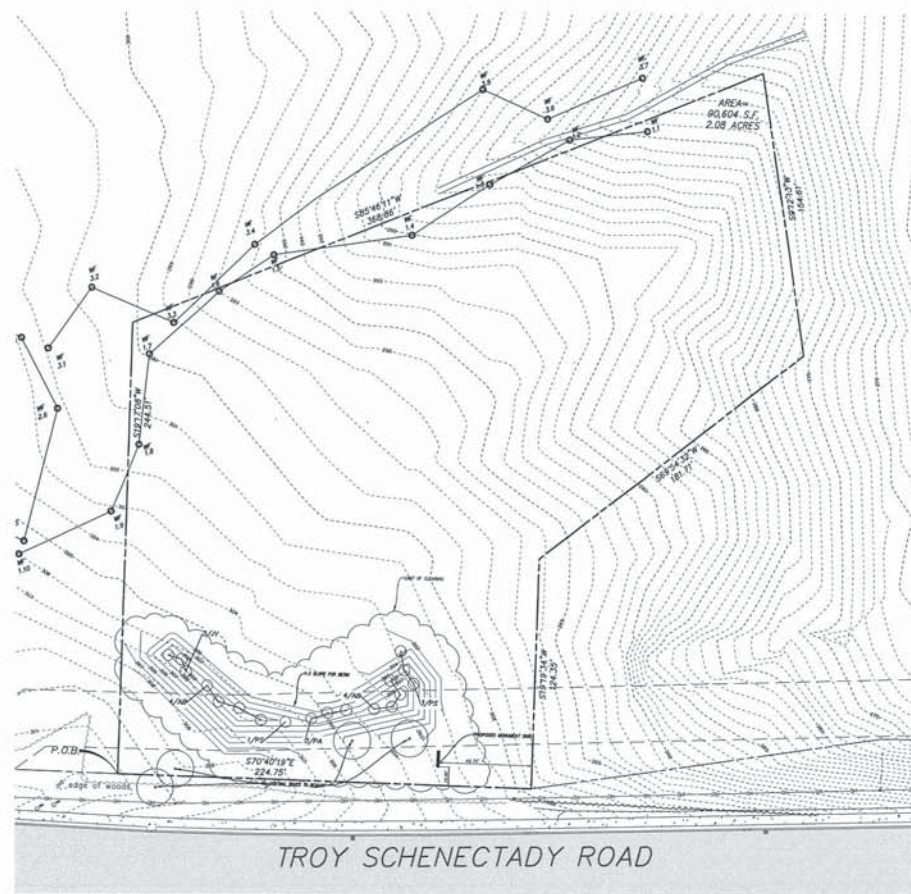




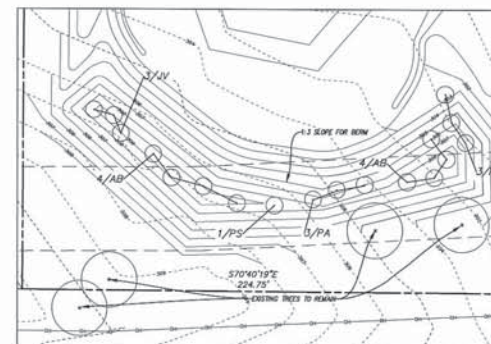
NEW EVERGREEN TREE PLANTING DETAIL



TREE PLANTING DETAIL  
NOT TO SCALE



PLANT MATERIAL SCHEDULE					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	AMT	COMMENTS
TREES					
AB	ABIES CONCOLOR	WHITE FIR	5'-8' HT.	8	B.B.B.
EP	EUROPIUS VIGNANA	EASTERN RED CEDAR	6'-8' HT.	3	B.B.B. NURS
PA	PICEA ABIES	NORWAY SPRUCE	10'-12' HT.	3	B.B.B.
PS	PRUNUS STROBUS	WHITE PINE	5' HT.	3	B.B.B.



LANDSCAPING/BERM DETAIL PLAN

SCALE:  $r^2=$ 

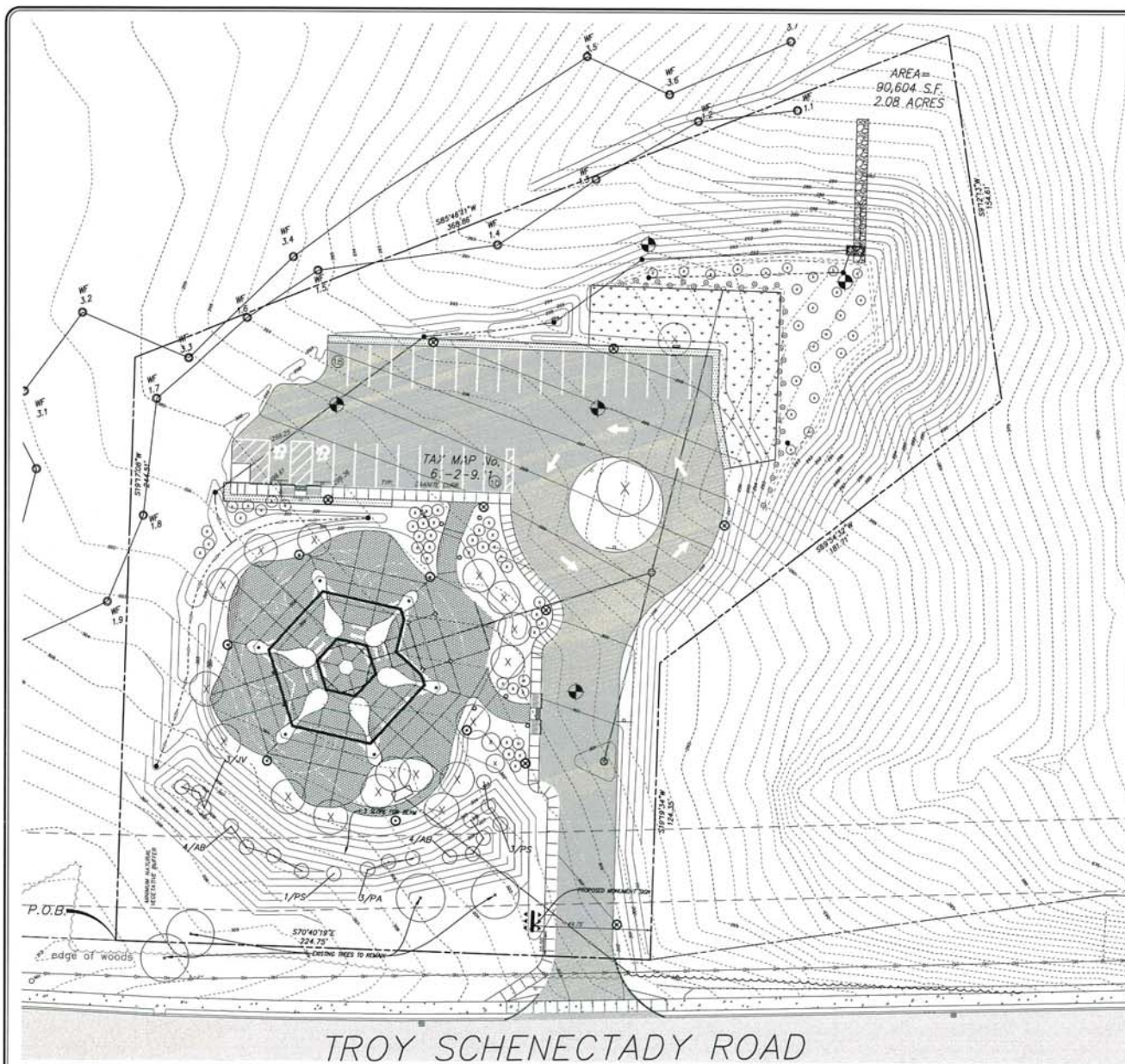
TOWNSHIP OF NISKAYUNA APPROVAL: \_\_\_\_\_

Plasma drug (ng/ml)	hAUC
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104857600	1.00
209715200	1.00
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838860800	1.00
1677721600	1.00
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26843545600	1.00
53687091200	1.00
107374182400	1.00
214748364800	1.00
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1717986918400	1.00
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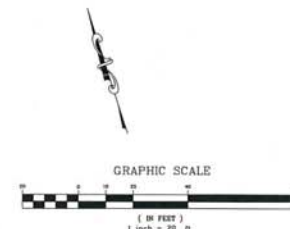




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UTILITY NOTES

1. POWER SERVICE TO BE SUPPLIED BY NATIONAL GRID AND INSTALLED TO NATIONAL GRID REQUIREMENTS. SUBMIT SHOP DRAWING.



SCALE: 1"=20'

TOWN OF NISKAYUNA APPROVAL

PLANNED ENGINE DRAWING

TOWN ENGINEER

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION

**HERSHBERG & HERSHBERG**  
Consulting Engineers and Land Surveyors  
18 Latent Street  
Albany, New York 12203

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DATE: 5/17/21

REVISIONS:

NO.	DATE	DESCRIPTION
1	5/17/21	ISSUED FOR PERMITTING

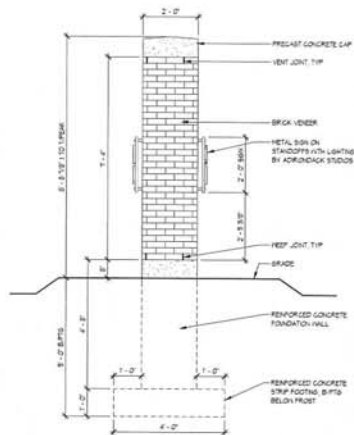
OVERALL PLAN FOR  
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
2501 TROY SCHENECTADY ROAD  
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

SCALE: AS NOTED

CHECKED BY: [Signature]

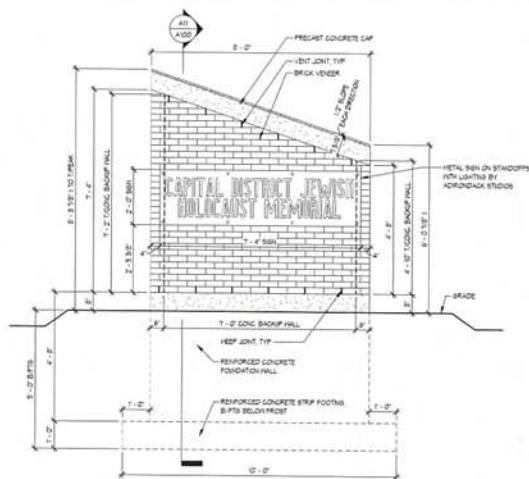
DATE: 5/17/21

02



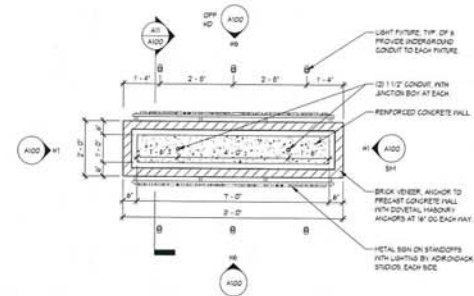
H1 MONUMENT SIGN ELEVATION

1/2" = 1'-0" H11 / A100



H6 MONUMENT SIGN ELEVATION

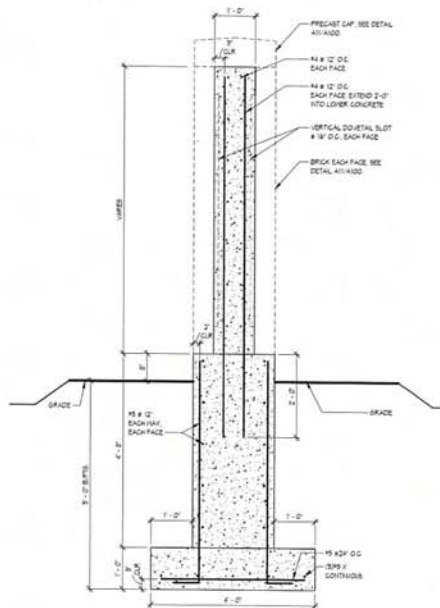
1/2" = 1'-0" H11 / A100



H11 MONUMENT SIGN PLAN

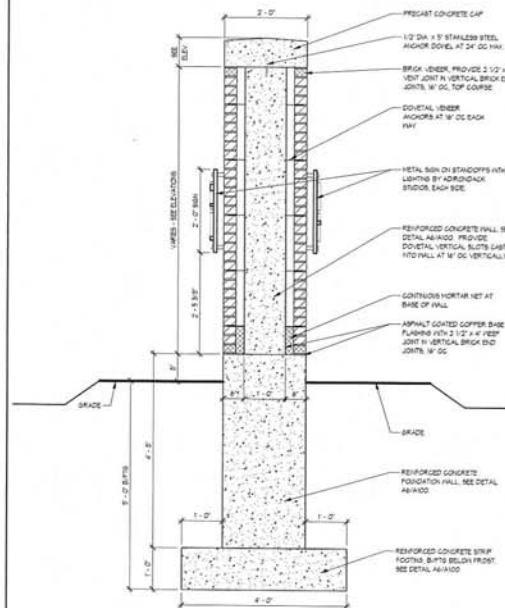
1/2" = 1'-0"

NOT  
USED



A6 MONUMENT SIGN SECTION - REINFORCING

3/4" = 1'-0"



A11 MONUMENT SIGN SECTION

3/4" = 1'-0"



307 Washington Avenue  
Albany, New York 12206 USA  
http://www.DDArch.com  
T: 518.463.8066 F: 518.463.8610

PROJECT TITLE  
CAPITAL DISTRICT JEWISH  
HOLOCAUST MEMORIAL  
2501 TROY-SCHENECTADY RD  
NISKAYUNA, NY 12309

DDA PROJECT #M17-006

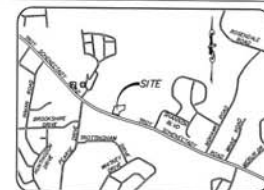
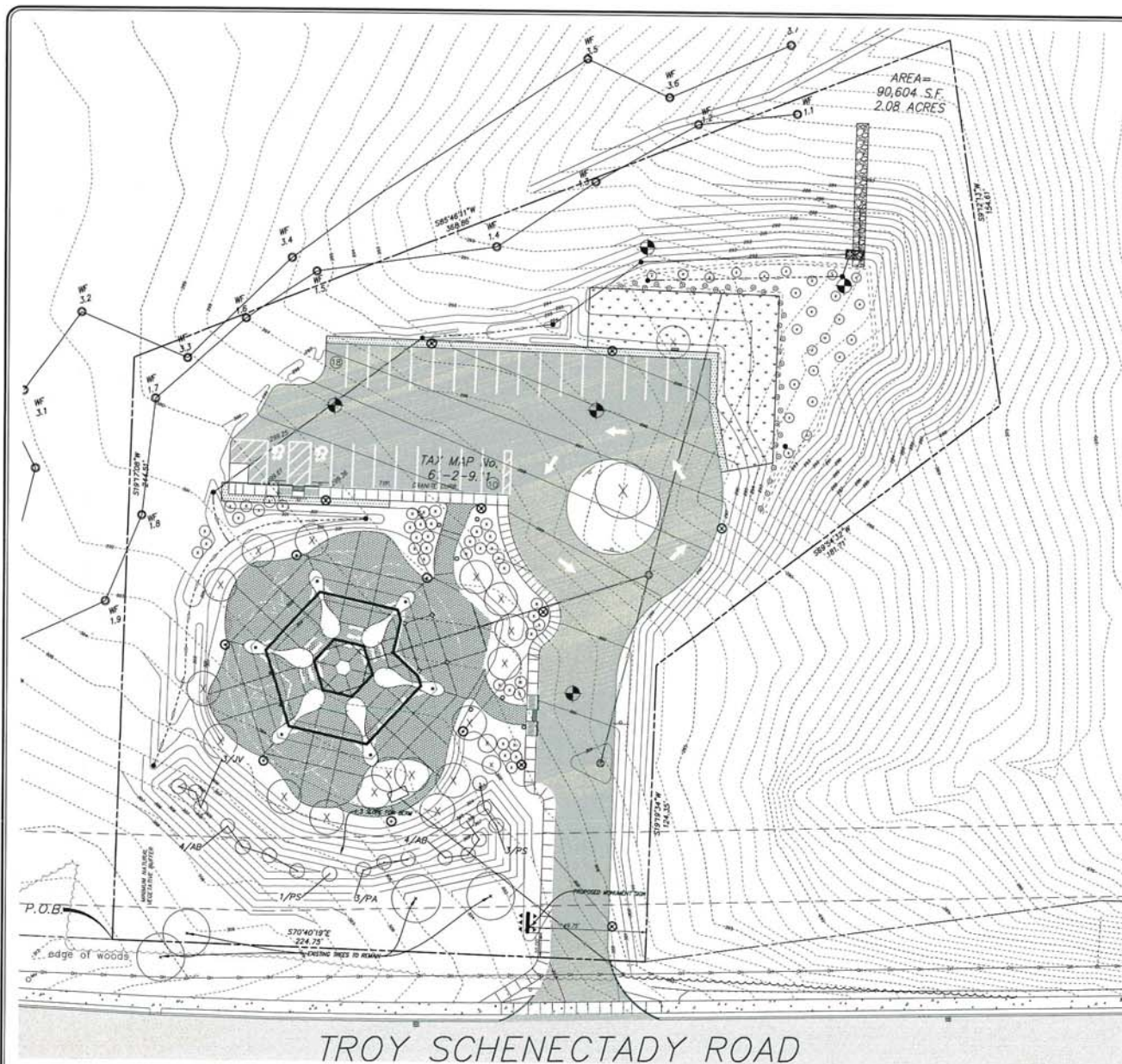
PROGRESS DRAWINGS  
NOT FOR  
CONSTRUCTION  
10/14/22

MONUMENT SIGN

SHEET NUMBER

A100

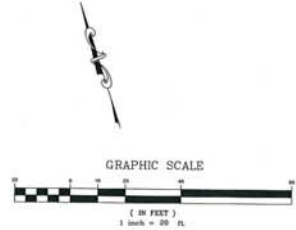




VICINITY MAP  
MAP NOT TO SCALE

LEGEND	
1. ROAD	2. SIDEWALK
3. DRIVEWAY	4. DRIVE
5. DRIVE	6. DRIVE
7. DRIVE	8. DRIVE
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95. DRIVE	96. DRIVE
97. DRIVE	98. DRIVE
99. DRIVE	100. DRIVE

UTILITY NOTES  
1. POWER SERVICE TO BE SUPPLIED BY NATIONAL GRID AND INSTALLED TO NATIONAL GRID REQUIREMENTS. SUBMIT SHOP DRAWING.



SCALE: 1"=80'

TOWN OF NISKAYUNA APPROVAL

PLANNING BOARD CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

TOWNSHIP \_\_\_\_\_ DATE \_\_\_\_\_

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION



**HERSHBERG & HERSHBERG**  
Consulting Engineers  
and Land Surveyors  
18 Locust Street  
Albany, New York 12203

ALLOCATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ILLEGAL.



DATE: 5/1/02

REVISIONS

NO.	DATE	DESCRIPTION
1	5/1/02	PRELIMINARY PLAN

OVERALL PLAN FOR  
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL  
2501 TROY SCHENECTADY ROAD  
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

SCALE: 1"=80'

DATE: 5/1/02

SCALE: 1"=80'







CAPITAL DISTRICT JEWISH  
HOLOCAUST MEMORIAL





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 2

MEETING DATE: 4/29/24

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**ITEM TITLE:** RESOLUTION: 2024-14: A Resolution for site plan approval of a tenant change to a convenience store / smoke shop at 3905 State St.

**PROJECT LEAD:** TBD

**APPLICANT:** Zakaria Alsaidi, agent for the owner

**SUBMITTED BY:** Laura Robertson

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Zakaria Alsaidi, agent for the property owner, submitted an application for site plan review for a tenant change to a convenience store / smoke shop at 3905 State St.

The property lies within the C-H Commercial Highway zoning district. Retail and service stores are permitted principal uses in the district.

The applicant presented the application to the Board at their 4/15/24 meeting. A detailed discussion was held regarding parking spaces and store access. The Board requested that several additional items be provided prior to the 4/29/24 meeting and agreed to act on a tentative resolution for site plan approval if the requested items were submitted.

**COMPREHENSIVE PLAN**

The proposed action complies with the current (2013) Comprehensive Development Plan for the Town.

**BACKGROUND INFORMATION**

The following documents were included with the application.

1. A 1-page pictorial rendering of the site documenting parking spaces in the front and rear of the building.
2. A 1-page sketch of the proposed interior layout of the building space.

- In the site plan application Mr. Alsaïdi includes the following information.
  - The sign will remain the same – he will only be changing the panels of the sign
  - Exterior lighting will remain as-is
  - The new business will be a convenience store / smoke shop and will sell drinks, snacks, cigarette vape and CBD products.
  - Hours of operation will be 9 A.M. to 9 P.M.
  - He will have approximately 4 employees

§ 220-32.7 Tobacco retailer, e-cigarette retailers and marijuana retailers (B) of the zoning code states that tobacco, e-cigarette and marijuana retailers shall not be located within 1,000 feet from the property lines of any Niskayuna Central School District school, nursery school, school of private instruction, or child day-care center. The Planning Office has determined that the proposed location of 3905 State St. complies with this requirement.

§ 76 Retail Dispensaries and On-Site Consumption Licenses, 76-2, states that “The Town Board of the Town of Niskayuna, Schenectady County, hereby requests the Cannabis Control Board prohibit the establishment of retail dispensary licenses and onsite consumption licenses within its jurisdiction and hereby opts out.” The Planning Office has determined this proposal does not include hosting retail cannabis dispensaries or on-site cannabis consumption, which is prohibited in Niskayuna.

This site is set up similarly to 4013 State St where the Planning Board explored with the applicant how to move customers from the back parking to the front of the store. The Planning Department recommends discussing signage or a back entrance that directs customers to the front of the store if parking is proposed also in the rear.

4/15/24 Planning Board (PB) meeting – Mr. Alsaïdi attended the meeting via. videoconference and presented his application to the Board. He explained that the new retail store would be a Genie Smoke Shop franchise and that he currently has several stores across the United States. The board inquired how many parking spaces exist on the property. Mr. Alsaïdi replied that there are 8 spaces behind the building and several spaces in front of the building. The Board discussed the safest method of allowing patrons who park in the back parking area to enter the store. It was agreed upon that the store would have customer entrances on both the front and rear facades. The Board agreed to call for a resolution for site plan approval for the 4/29/24 PB meeting but they required that the following additional information be provided before they act on the resolution.

- Update the site plan to include clearly dimensioned and marked parking spaces including concrete curb stop bumpers on all parking spaces identifying the end of the parking spaces (partially complete)
- The parking spaces near State St. should be marked or striped (condition to resolution added)
- Provide plan view photographs of the front and back of the building (submitted)
- Review lighting in the front and rear of the building and document the location of light poles and provide pictures of the level of illumination at the site (not complete)

It was agreed that signage would be reviewed by the Planning Board at a future date.

At the April 22 Complete Streets Meeting, the Complete Streets Committee had the following comments related to the site plan application:

1. Fix curb ramps and designate an area for people to walk from sidewalk to sidewalk along State Street – either via sidewalk extension or a painted crosswalk. There is currently no area for pedestrians to walk along State Street. Complete Streets felt if there was not room for parking and a sidewalk – a sidewalk should take precedence at the front of the building.
2. Look at ways to add greenspace to the front / sides of building, especially if the parking doesn't fit.
3. Complete Streets noted the front parking spaces, as configured, mean that cars would back out into sidewalk area / State Street. They suggested looking at a configuration with less parking spaces out front where the parking faced the adjacent business to the east. That way cars could back out into the driveway for the store and face State Street squarely when they exited the property.
4. One of the front parking spaces should be handicap accessible.

A tentative resolution for site plan approval is included with the meeting package. It contains conditions to account for the incomplete resubmittal of the parking plan and Complete Streets comments about the sidewalk and ADA parking space. The requirement for the ARB review is standard and the sidewalk condition was taken directly from a recent tenant change on Union Street which required Schenectady County involvement and was completed successfully.

RESOLUTION NO. 2024-14

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF APRIL 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Zakaria Alsaïdi made an application to the Planning Board and Zoning Commission for site plan approval for tenant change at 3905 State St. to a convenience store / smoke shop as described in the following documents:

1. A 1-page Google Earth image of the top and front view of the building.
2. A 1-page hand sketch of the proposed interior floor plan of the building.

, and

WHEREAS, the zoning classification of the property is C-H Commercial Highway zoning district and retail and service stores are permitted principal uses in the district, and

WHEREAS, the proposed tenant change complies with the Economic Development section of the 2013 Niskayuna Comprehensive Plan, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, the Planning Board has determined that the proposed tenant change is classified as a Type II action under State Environmental Quality Review (SEQR) regulations and local law, and no further SEQR review is necessary, and

WHEREAS, the Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan and Zoning Board of Appeals approvals, and therefore, hereby approves the site plan and tenant change with the following conditions:

1. A final parking lot striping and configuration plan shall be submitted to the Planning Department for their review and approval.
  - a. All parking spaces are to be marked or striped and are to include a concrete curb stop identifying the end of the parking space.
  - b. One ADA compliant parking space shall be included at the front of the building.
2. Parking areas are located at the front and rear of the building. Customer entrances are required on the front and rear facades near each respective parking area. Customer signage and 'path' from the back of the building to the front shall be review and approved by the Planning and Building Departments.
3. Site lighting, additional greenspace and existing façade shall be reviewed by the Architectural Review Board for their comments and recommendations to the applicant.
4. Applicant shall repair / replace curb ramps from the sidewalk that serves this property according to the specifications of New York State Department of Transportation and extend or mark the area of the sidewalk in front of the building to provide for safe pedestrian crossing.
5. Any and all proposed signage for the property shall be reviewed and approved by the Planning Board at a future date.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME

DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

The Chairman declared the same \_\_\_\_\_.





# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### **Applicant (Owner or Agent):**

Name Zakaria Alsaïdi

Address 154 Madison ave  
Albany NY 12202

Email Zakalsaidi5@gmail.com

Telephone 510-228-6625 Fax \_\_\_\_\_

### **Location:**

3905 State St  
Number & Street Schenectady, NY 12304  
United States

Section-Block-Lot \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Zoning District \_\_\_\_\_

### **Proposal Description:**

This space used to be a battery store it's a retail I'm not changing anything I'm only adding showcases and coolers for drinks . the sign will stay the same I'm only changing the panels of the sign will be adding window sign where it would say open. The lights for out side will also stay the same The new business will be Convenient/smoke shop we will be selling drinks and snacks, cigarette vape and CBD. Our operating hour is from 9 am to 9 pm. We will have around four employees.

Signature of applicant: [Signature] Date: 03/17/2024

Signature of owner (if different from applicant): \_\_\_\_\_

Date: 03/17/2024



## **Each site plan application shall be accompanied by:**

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Bathroom  
Exit closet

Show cases

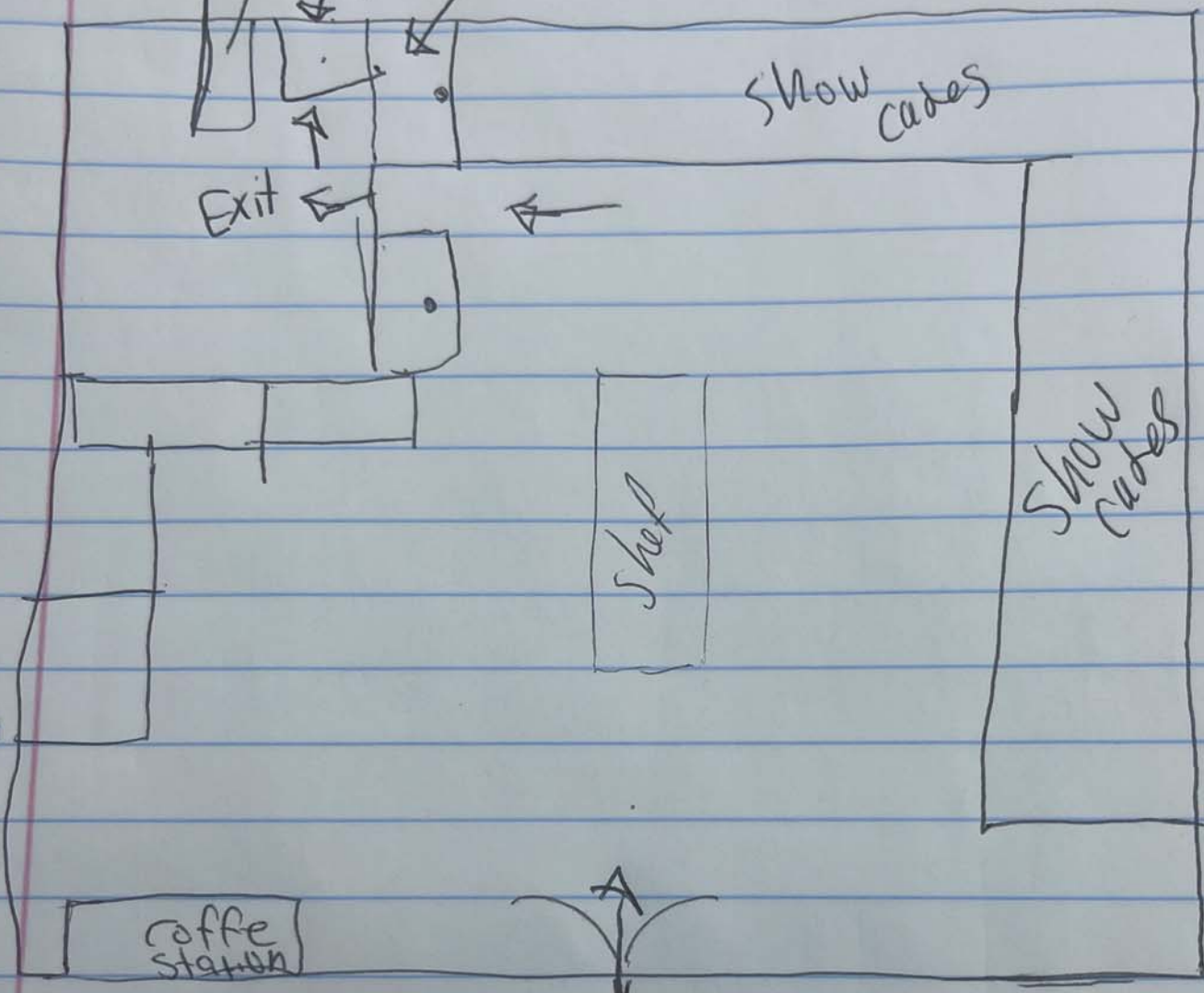
Exit

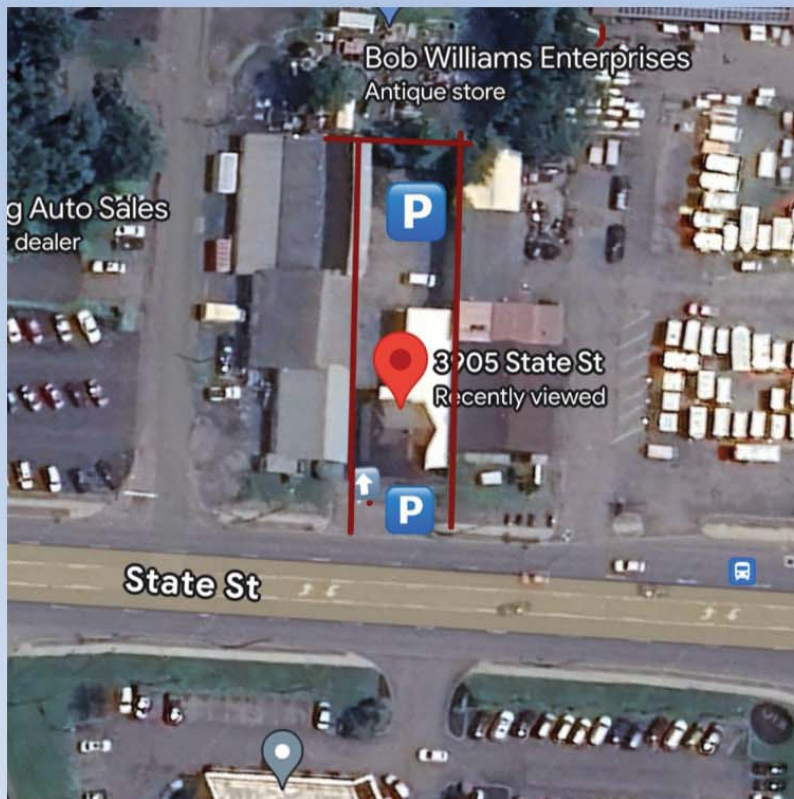
Shelf

Show cases

coffee station

entrance





**THE PARKING FOR THE SPACE IS ON THE FRONT AND THE BACK IN THE FRONT. THERE IS PARKING FOR FOUR CARS AND IN THE BACK THERE IS PARKING FOR 8 CARS**

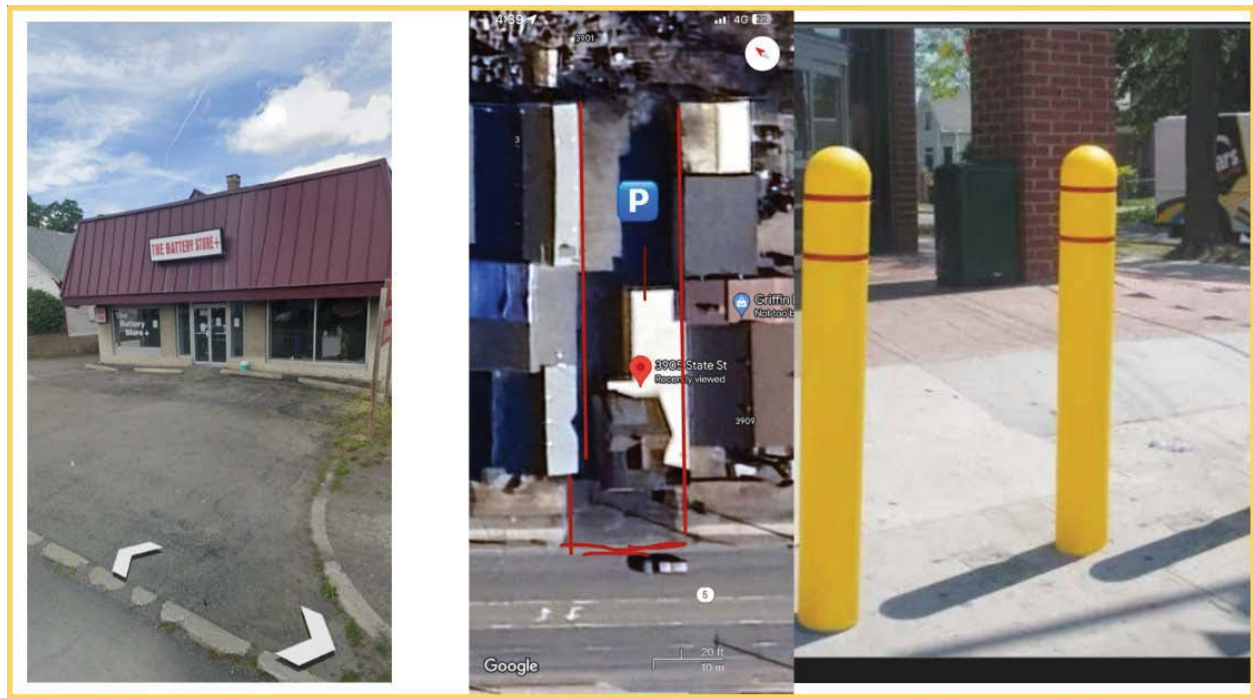


3901 NY-5

9 months ago · [See more dates](#) >



## 3905 State St.



This is the exit from the back of the store and it's shared with the tenant upstairs. The other door is the storage door.





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 3

MEETING DATE: 4/29/24

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**ITEM TITLE:** RESOLUTION: 2024-15: A Resolution for site plan approval of a 30' diameter yurt at 2565 Balltown Rd.

**PROJECT LEAD:** Ms. Strang

**APPLICANT:** Andrew Katz, agent

**SUBMITTED BY:** Laura Robertson

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Andrew Katz, agent for the JCC, submitted an application for site plan review for the addition of a 30' diameter by approximately 14' high yurt on the property. The property lies within the R-3 High Density Residential zoning district. Places of worship, religious education facilities, parish houses and rectories are special principal uses in the district. This is the first appearance of this project before the Planning Board.

Mr. Katz presented the project to the Planning Board at their 4/15/24 meeting. They requested a simplified site plan drawing that focused on the addition of the yurt and called for a resolution for site plan approval for the 4/29/24 meeting.

**COMPREHENSIVE PLAN**

The proposed action complies with the current (2013) Comprehensive Development Plan for the Town.

**BACKGROUND INFORMATION**

The following documents were included with the application.

1. A 1-page survey drawing entitled, "Schenectady Jewish Community Center, 2565 Balltown Road, Schenectady, New York 12309, Proposed Overall Site Plan" by the Chazen Companies dated 11/1/99 with a most recent revision of Rev 2 5/22/00 that shows the surveyed property line boundaries of the property and contour lines defining the topography.

2. A 1-page site plan drawing entitled, "Schenectady Jewish Community Center, 2565 Balltown Road, Schenectady, NY 12309, Site Plan" dated 3/26/24 with no subsequent revision that shows the proposed location for the yurt and includes the locations of recent improvements to the property (EV charging stations) and proposed future improvements (afterschool building addition, replace children's pool with a splash pad).
3. An 8-page brochure from Pacific Yurts, Inc. containing manufacturer's information on their "30' Yurt".
4. A Short Form EAF signed by Andrew Katz dated 3/19/24.

During a meeting at the JCC with Ms. Robertson and Mr. Henry of the Planning Office, Mr. Katz verbally provided the following additional detail.

- They do not plan on providing electricity to the yurt
- A concrete pad will be poured as a base for the yurt
- As shown in the site plan drawing, the yurt will be located near the center of the fields near the existing tennis courts and will not be visible from Balltown Rd. or neighboring properties.

4/15/24 Planning Board (PB) meeting – Mr. Katz appeared at the meeting and presented the project to the board. He clarified that the yurt will be installed on a poured concrete slab and is designed to hold a maximum of 18 children. Mr. Katz presented and explained the site plan drawing that was included with the application. The plan included details for several other accessory type projects at the site. For ease of readability, the Board requested a version of the site plan be provided that only included information and details related to the proposed yurt. The board concluded their discussion by calling for a tentative resolution for the 4/29/24 meeting.

A resolution for site plan approval is included in the meeting packet.

RESOLUTION NO. 2024-15

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF APRIL 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

One of the purposes of the meeting was to take action on an application for site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Andrew Katz submitted an Application for Site Plan Review for the addition of a 30' diameter yurt at 2565 Balltown Rd as described in the following documents:

1. A 1-page site plan drawing entitled, "G-1, Site Plan, Schenectady Jewish Community Center, 2565 Balltown Road, Schenectady, NY 12309" dated 3/26/24 with no subsequent revisions,
2. An 8-page brochure from Pacific Yurts, Inc. containing manufacturer's information on their "30' Yurt".

, and

WHEREAS, the zoning classification of the property is R-3 High Density Residential and R-2 Medium Density Residential, and

WHEREAS, places of worship, religious education facilities, parish houses and rectories are special principal uses in the district, and

WHEREAS, the Planning Board shall refer this project to the Niskayuna Architectural Review Board (ARB) for review of the images, and

WHEREAS, the Planning Board has determined that the proposed additional accessory structure is classified as a Type II action under State Environmental Quality Review (SEQR) regulations and local law, and no further SEQR review is necessary, and

WHEREAS, the Planning Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon.

NOW THEREFORE, be it

RESOLVED, that this Planning Board and Zoning Commission finds that the site plan application referenced above meets the requirements of the Zoning Code and previous site plan approvals and hereby approves this site plan.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

The Chairman declared the same \_\_\_\_\_.





**SRG**  
STRACHER ROTH GILMORE  
ARCHITECTS

ARCHITECTURE  
PLANNING  
INTERIOR DESIGN  
REHABILITATION

343 3RD STREET  
SCHENECTADY, NY 12305  
(518) 274-9412  
FAX (518) 274-4048  
info@strgarch.com

SEAL



PROJECT TITLE  
**SCHENECTADY JEWISH COMMUNITY CENTER**  
2565 BALLTOWN ROAD  
SCHENECTADY NY 12309

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: 03/06/2024

SCALE: AS NOTED

DESIGNED BY: MJR

DRAWN BY: MJR

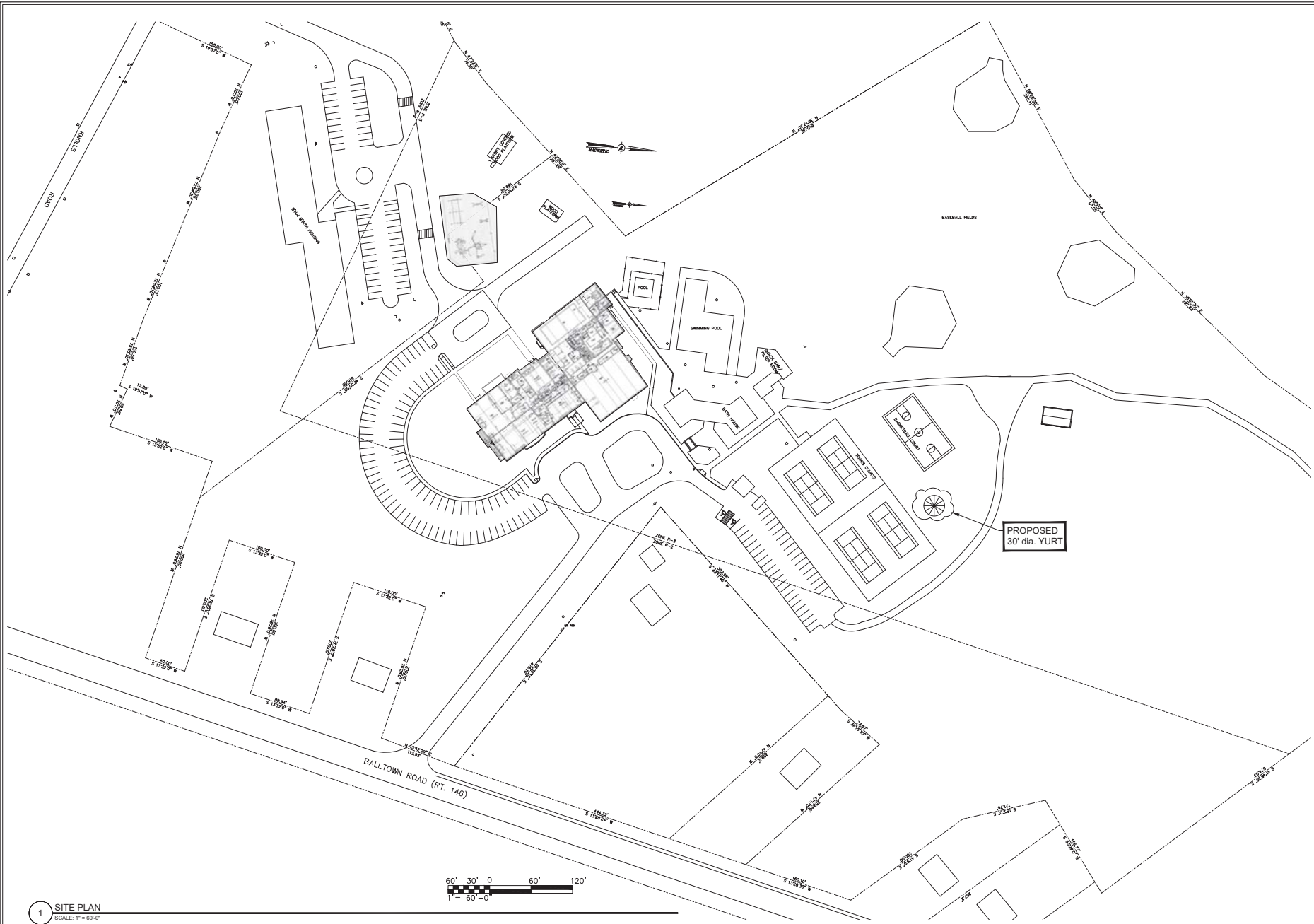
SHEET TITLE

**SITE PLAN**

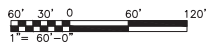
SHEET

**G-1**

COMP. NO. 2141.0M



**1 SITE PLAN**  
SCALE: 1" = 60'-0"



File: P:\ARCHITECTURE\2024\146\_SJC\146\_SJC\_SCHENECTADY\_JEWISH\_COMMUNITY\_CENTER\_SITE\_PLAN.dwg  
Saved: 4/10/2024 4:23:53 PM  
User: Dave Sullivan

## Suggested Platform Construction – 30' Yurt

Being what we call a 'soft' structure, the yurt reacts more readily to climatic conditions than do 'rigid' structures, therefore it is important to choose your site carefully and take into account prevailing wind patterns, overhead tree limbs, water runoff, etc. In general, the best site would be protected from the wind, would receive morning sun and afternoon shade and be free from overhead objects such as large dead tree limbs that could damage the yurt in heavy winds. Plan your entry so that the doorway faces away from prevailing winds.

For a secure and comfortable installation, a well-built platform is necessary. To ensure a weather proof installation the platform needs to be circular and the same diameter as the yurt so the side cover fabric can extend below the interior floor level. This will provide a draft-free and watertight seal. Any exterior decking should be separated from, or at a lower level than the yurt platform. Unless you are skilled, enlist the help of an experienced carpenter for building the platform.

The following plans show the typical construction of the yurt platform and are a suggestion only. Keep in mind that every site will be different, so the platform construction and footings should reflect the conditions of each individual site. The site and soil conditions and local building requirements will dictate the footing size and depth below grade. Check with your local building department to determine if you will need an engineered design for permit.

### Notes:

1. The total height of the drip edge should be at least 8" to protect the platform's beams. The bottom portion of the drip edge will be visible once the yurt is installed. It should be stained or painted to protect it and to match the exterior color scheme.
2. The 1" portion of the drip edge that extends above floor level will be visible on the inside and can be painted or stained to match the interior color scheme.
3. Plywood skirting (to prevent airflow beneath the floor) and a vapor barrier may also be desirable. Some building departments will require vent openings in the underfloor enclosure to prevent trapped moisture.
4. If you plan to connect the yurt to an existing building (or another yurt) be sure to allow a minimum of 12" between the existing building and your yurt platform. A covered walkway can be built to connect the two after the yurt is installed.
5. Keep in mind that the fabric windows open from the outside. If you plan to have the platform elevated you should consider adding a catwalk or exterior decking for window access.
6. If you plan to install a "floating" floor on your platform, please contact Pacific Yurts for recommendations on how to prepare the platform.
7. When using the 2x6 T&G flooring be sure it is kiln dried and has a low moisture content to avoid gaps as the wood dries.
8. Consider incorporating insulation between the beams maintaining 1" air space from the underside of your flooring. Pacific Yurts recommends using rigid foam insulation with reflective side facing upward, however it is also possible to use other insulation materials.

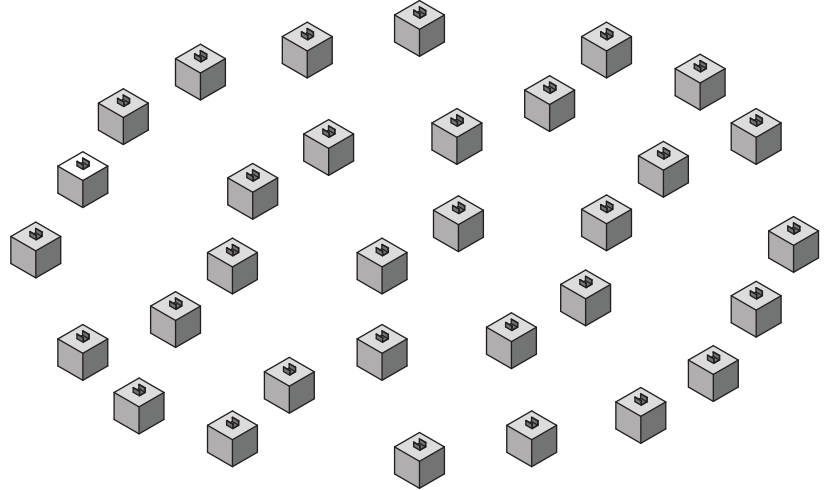


## 30' Platform Construction Overview

- 1.) Lay out footings according to framing plan and level.

**Notes:**

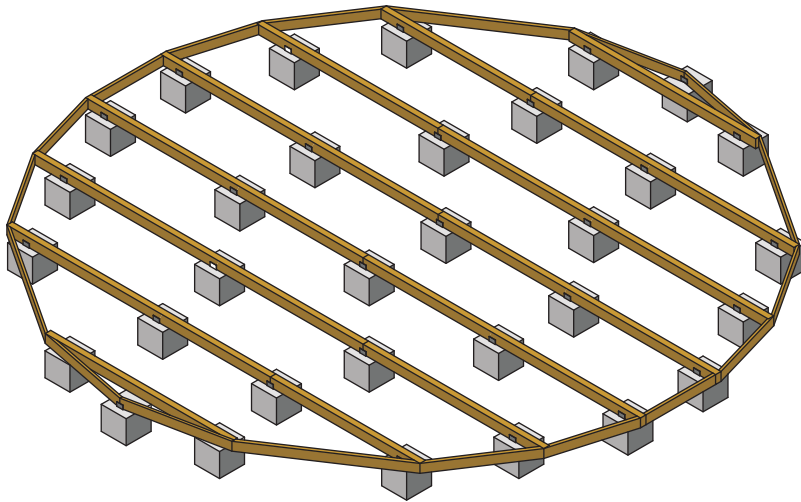
- Poured concrete footings may be required. Consult a local contractor or engineer for proper determination and for local building requirements.
- If you purchase the Central Column option an additional footing will be necessary in the center of the platform.



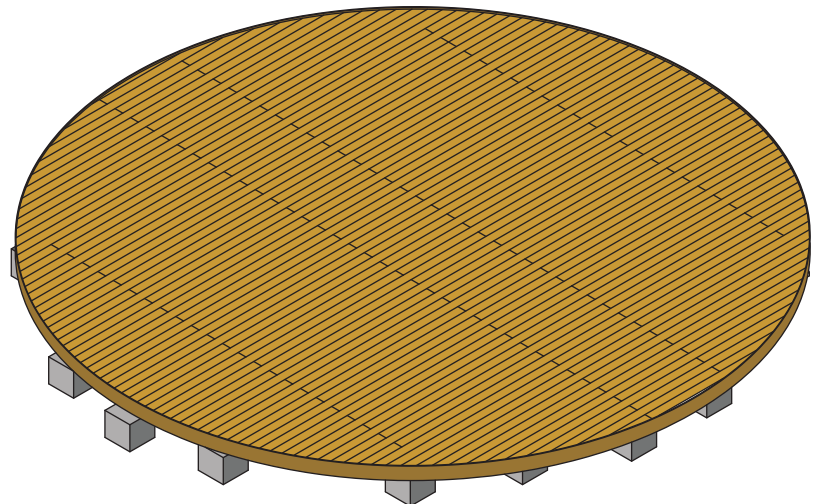
- 2.) Cut beams to length, level them, and fasten onto footings.
- 3.) Cut 2x6 perimeter blocking and fasten to beams.
- 4.) Install floor insulation (optional).

**Notes:**

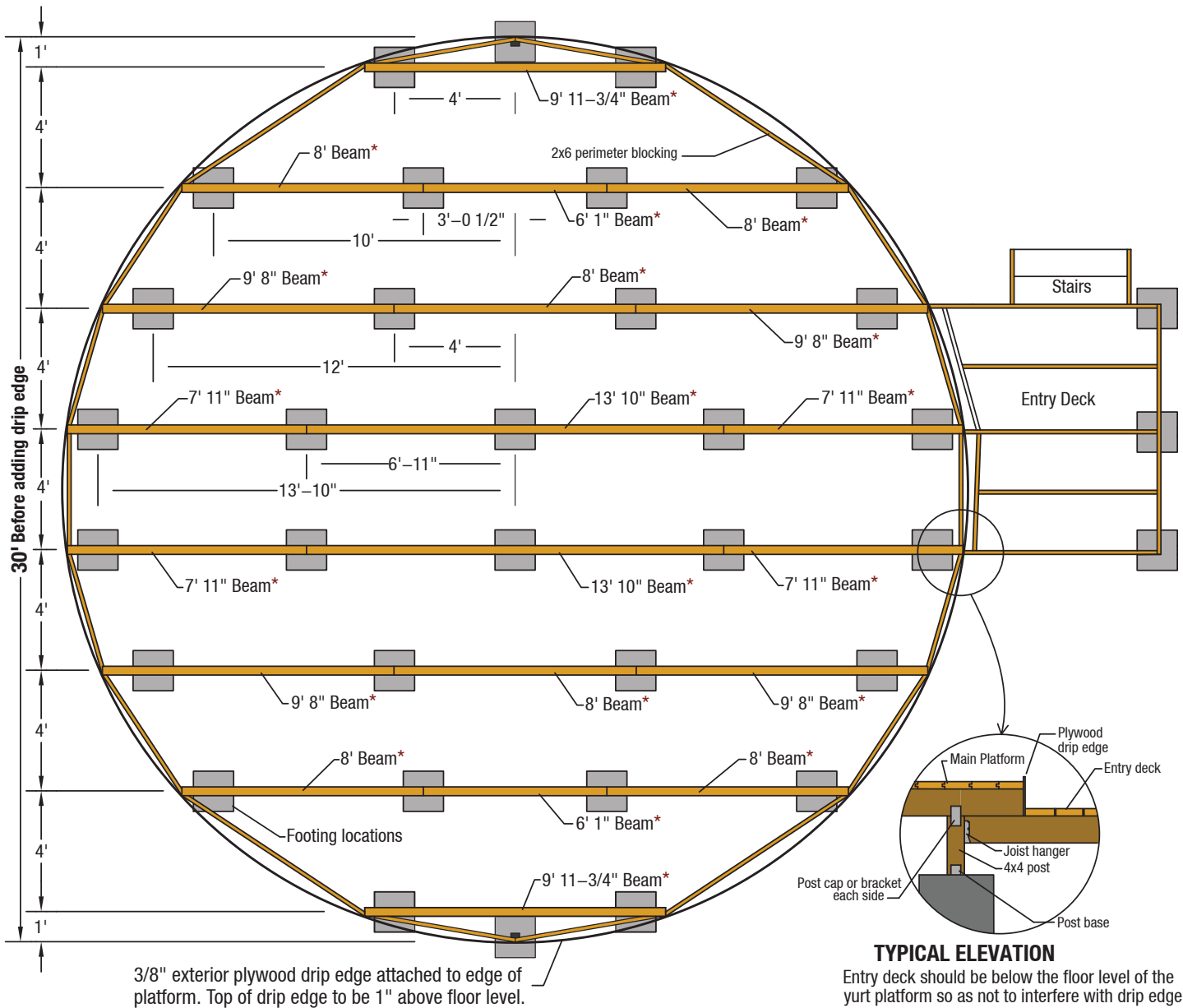
- Diagram assumes level site. On sloping terrain vertical support posts and cross bracing may be necessary.
- If 1-1/8" plywood flooring is used we recommend adding 2x6 blocking between beams (four feet on center).
- If you plan to purchase the cable tie-down option an extra block will be needed in the center of the platform.



- 5.) Fasten flooring (1-1/8" plywood or 2x6 T&G) onto beams.
- 6.) Cut flooring into a circle with diameter matching that of the yurt.
- 7.) Cut 3/8" exterior plywood (OSB is best for small yurts) into strips of desired width and fasten around perimeter of flooring so that 1" protrudes above floor level. This is the plywood drip edge.
- 8.) Use caulking to provide a seal between flooring and drip edge.



## Typical 30' Platform Framing Plan



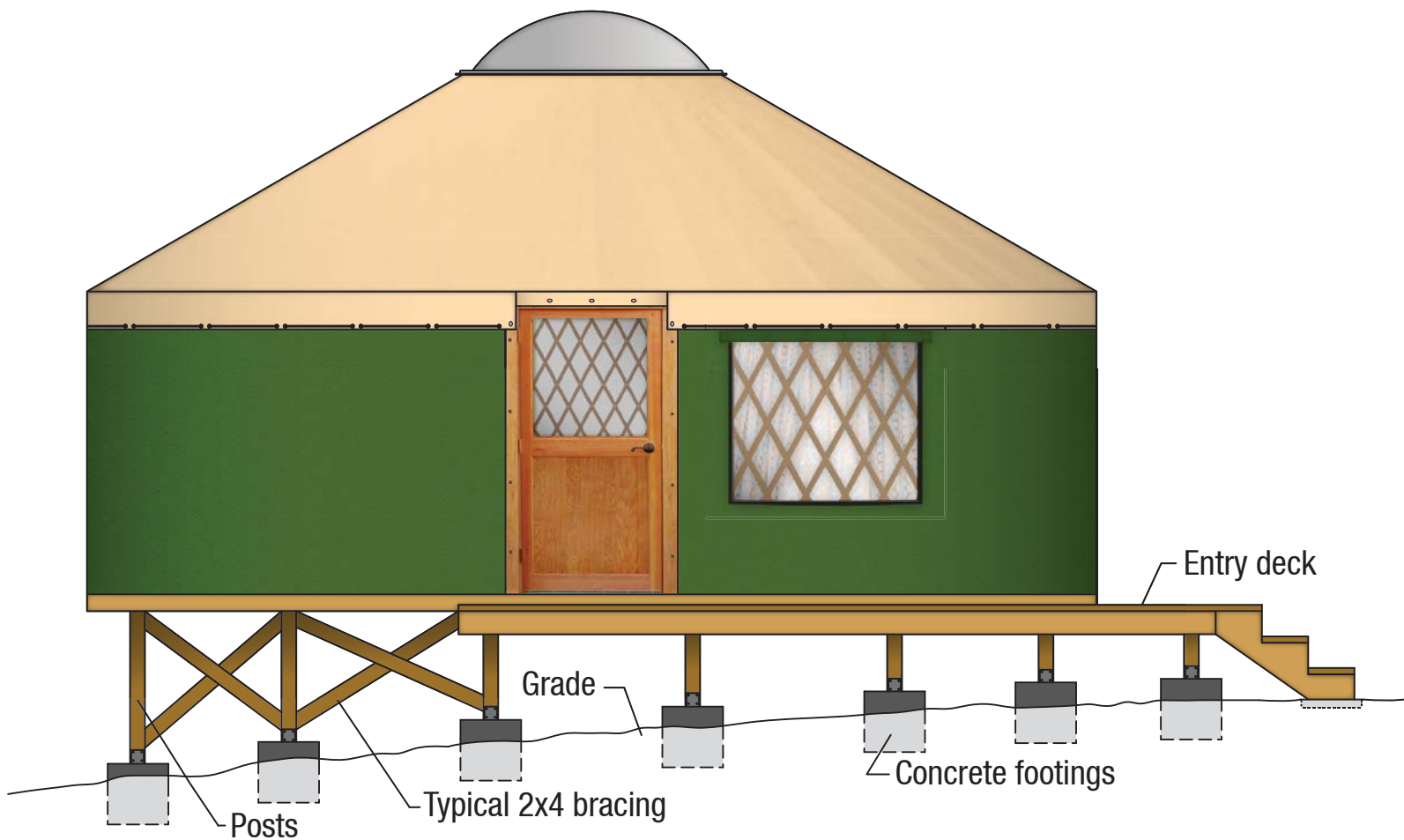
\*4"x6" or 4"x8" beams may be appropriate, depending on use and conditions.

### Notes:

- 1.) Platform construction and footings should reflect conditions of each individual site and local building requirements.
- 2.) 2x6 T&G or 1-1/8" plywood flooring to be laid perpendicular to beams and trimmed to the same diameter as that of the yurt.
- 3.) 30' diameter measurement does not include the drip edge.
- 4.) Site and soil conditions and local building requirements will dictate footing size and depth below grade.
- 5.) Footings may need to be embedded in the ground to below the local frost depth, and should extend 6" above ground surface minimum.

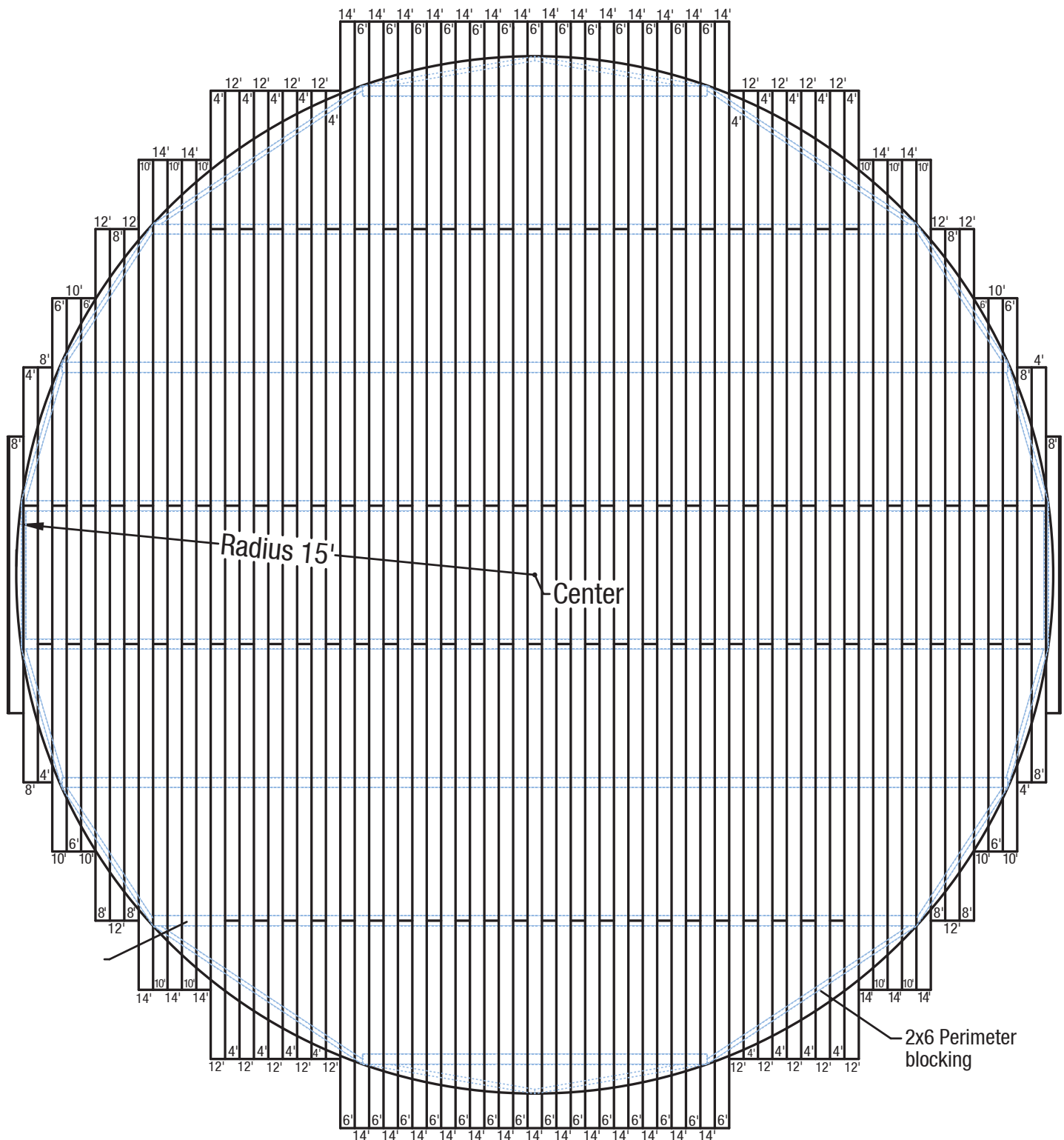


## Typical Platform Elevation



Note: Platform and footings should be designed according to the conditions of each individual site and local building requirements. Site and soil conditions will dictate footing size and depth below grade.

## 2x6 T&G Layout – 30' Yurt

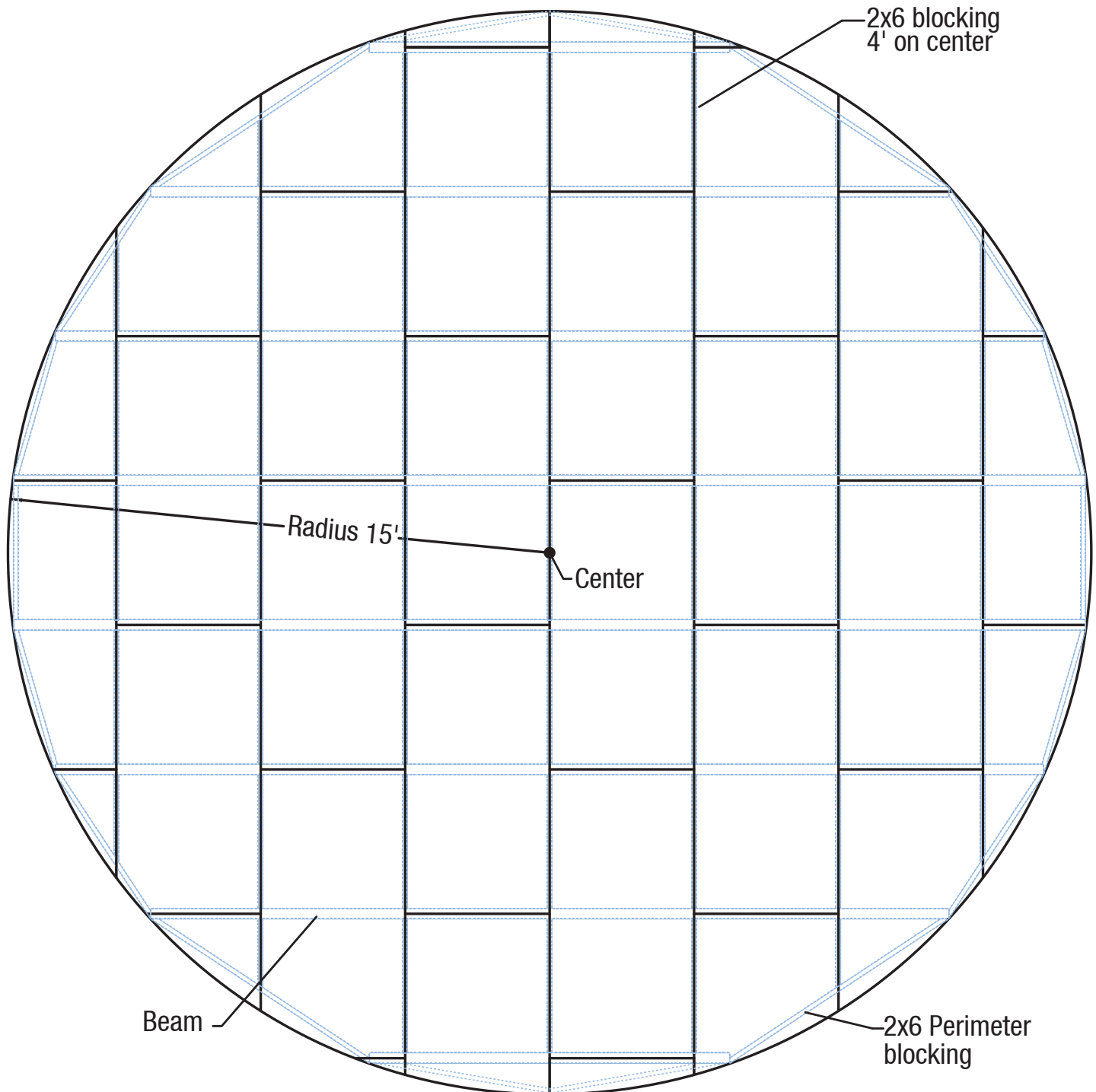


1.) Make a compass using a board or non-stretch string and a nail at the center to mark radius.

2.) Using a sharp circular saw carefully cut the platform to exactly 30 feet in diameter.

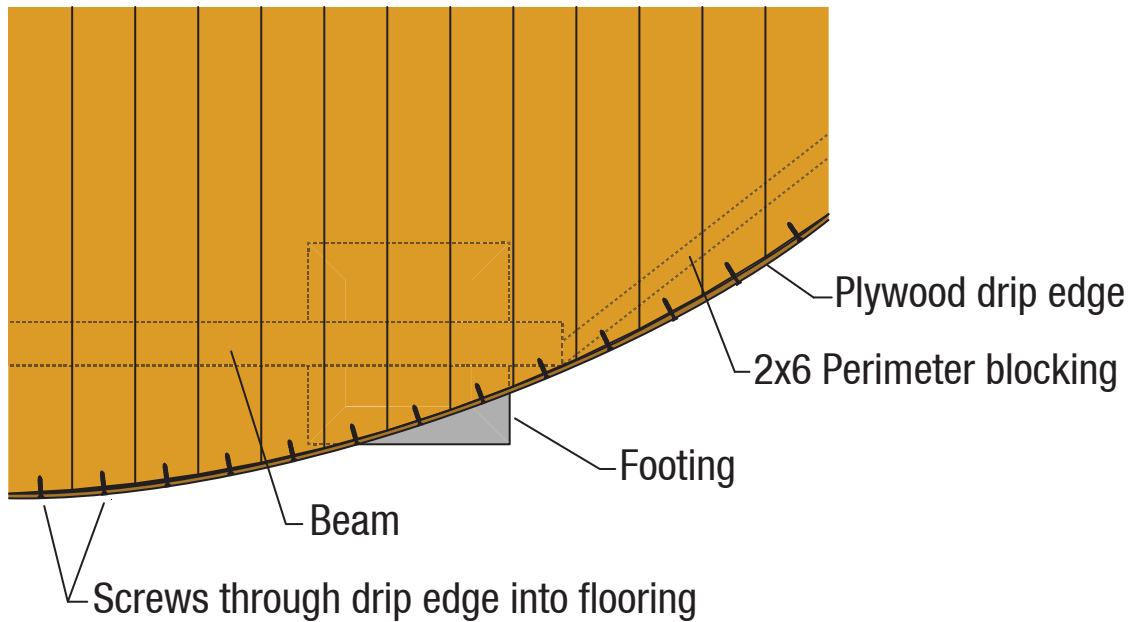
**Note:** 2x6 T&G is often used for open beam ceilings and may have a V-groove which should face down so as not to catch debris and make floor sweeping difficult.

## Plywood Layout – 30' Yurt

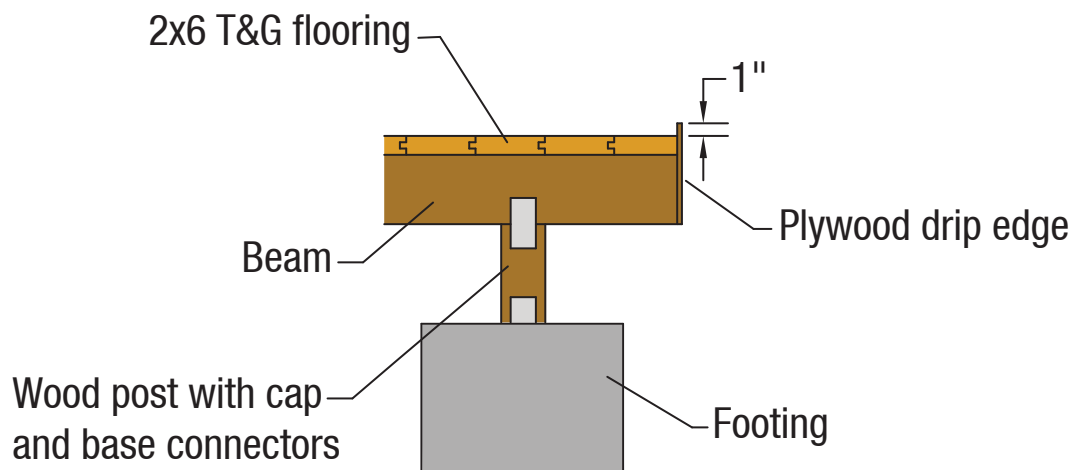


- 1.) Make a compass using a board or non-stretch string and a nail at the center to mark radius.
- 2.) Using a sharp circular saw carefully cut the platform to exactly 30 feet in diameter.

## Plan View



## Elevation





## 30' Diameter Yurt Platform Materials List

Note: This materials list represents the minimum amount of lumber required for a basic circular platform on flat level ground. It does not include any exterior deck/porch materials, insulation or footings. For sloped sites or to elevate the platform you will need to add posts and cross bracing.

Platform Materials (2x6 T&G Flooring Option)		
Material	Quantity	Use
2x6 Kiln Dried T&G 'Select Deck'	37 @ 14' 86 @ 12' 16 @ 10' 23 @ 8'	Platform Flooring
2x6 Standard & Better	6 @ 10' 5 @ 8'	Perimeter Blocking
4x6 or 4x8 Standard & Better	2 @ 14' 6 @ 10' 12 @ 8'	Beams
3/8" Exterior Plywood Siding (no groove)	3 Sheets (4' x 8')	Plywood Drip Edge

Platform Materials (1-1/8" Plywood Flooring Option)		
Material	Quantity	Use
1-1/8" T&G Plywood	24 Sheets (4' x 8')	Platform Flooring
2x6 Standard & Better	6 @ 10' 26 @ 8'	Blocking
4x6 or 4x8 Standard & Better	2 @ 14' 6 @ 10' 12 @ 8'	Beams
3/8" Exterior Plywood Siding (no groove)	3 Sheets (4' x 8')	Plywood Drip Edge



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 4

MEETING DATE: 4/29/2024

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**ITEM TITLE:** RESOLUTION: 2024-16: A Resolution for lot line adjustment at 850 Oregon Ave. / 875 Stark Ave.

**PROJECT LEAD:** Ms. Gold

**APPLICANT:** Ray Smith

**SUBMITTED BY:** Laura Robertson

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Mr. Ray Smith, Mr. Timothy Stewart, Mr. Andrew Stewart and Ms. Joy Stewart Irr. Trust submitted an application for lot line adjustment to transfer a portion of the lot at 875 Stark Ave. to 850 Oregon Ave. The result will be more rectangularly shaped lots for both 875 Stark Ave and 850 Oregon Ave.

The Board reviewed the project at the 4/15/24 PB meeting and called for a resolution for approval for the 4/29/24 meeting. Several outbuildings were noted to be noncompliant relative to the zoning code but easily rectifiable. Mr. Smith agreed to work with the Building Department to resolve the issue via building permits prior to approval of the lot line adjustment.

**COMPREHENSIVE PLAN**

No references to lot line adjustments or the configuration of lots were found in the 2013 Comprehensive Plan.

**BACKGROUND INFORMATION**

The property is located in the R-2 Medium Density Residential zoning district.

Section 189-19 Lots A (2) states: "Shapes of lots shall lend themselves to utilization of entire lots as building and yard space. Shapes such as triangles and quadrangles with small included angles are discouraged." As proposed, the lot line adjustment makes both lots more rectangular in shape and has no adverse effect on neighboring properties.

2/26/24 Planning Board (PB) meeting – Chairman Walsh presented the application for a lot line adjustment to the Board. Ms. Robertson projected the sketch that was provided with the

application and explained the portion of land that would transfer from 875 Stark Ave. to 850 Oregon Ave. After a short discussion the Board stated that they agreed with the adjustment in principal but noted that a formal survey drawing showing the pre and post adjustment property layouts is required. Ms. Robertson told the Board that the Planning Office would reach out to Mr. Smith and work with him regarding the survey drawing.

Mr. Smith provided the Planning Office with a 2-page survey drawing as described below.

1. Page 1 depicts the current layout of the aforementioned lots and is entitled, "Lot Line Adjustment Plan Between the Lands of Raymond J. Smith & Joy P. Stewart Irrevocable Trust" by Ausfeld & Waldruff Land Surveyors L.L.P. dated 3/18/24 with a most recent revision date of 4/2/24.
2. Page 2 depicts the proposed post lot line adjustment layout of the aforementioned lots and includes the same drawing title and revision status as Page 1.

The Planning Office reviewed the drawings and noted a few errors regarding the identification and labeling of the lots. A previous letter noting the requirement for building permits and possible additional Zoning Board action for two unpermitted structures on the property is included but, provided the proper building permits are submitted, these structures do not affect the lot line adjustment. An email was sent to Mr. Smith on 4/5/24 requesting a revised version of the drawings prior to final approval.

4/15/24 Planning Board (PB) meeting – Mr. Smith attended the meeting and reviewed the application with the Board. He noted that his Engineer is making the updates that were requested to the survey drawing. The Board noted that some of the outbuildings identified on the drawing were nonconforming with the Zoning Code, however noted there are several ways to bring them into compliance. Ms. Robertson stated that she would work with Mr. Smith to review the options and have Building Permits submitted to bring the property into compliance. She stated none of the Code violations were impacted by the lot line adjustment but the Board should have them addressed prior to allowing any further action on the parcel.

The Board called for a resolution for lot line adjustment with a condition stating the outbuildings must be brought into compliance with the Zoning.

A resolution for lot line adjustment is included in the meeting packet.

RESOLUTION NO. 2024-16

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF APRIL 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

One of the purposes of the meeting was to take action on an application for a lot line adjustment.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Ray Smith and Timothy Stewart, Mr. Andrew Stewart and Ms. Joy Stewart Irr. Trust, property owners of 850 Oregon Ave and 875 Stark Ave, respectively, have made application to the Planning Board for a lot line adjustment between the two properties as noted in a 2-page survey drawing entitled, "Lot Line Adjustment Plan Between the Lands of Raymond J. Smith & Joy P. Stewart Irrevocable Trust" by Ausfeld & Waldruff Land Surveyors L.L.P. dated 3/18/24 with a most recent revision date of 4/15/24, and

WHEREAS, the zoning classification of the property is R-2: Medium Density Residential, and

WHEREAS, the Planning Board has determined that the proposed lot line adjustments are classified as a Type II action under State Environmental Quality Review (SEQR) regulations and local law, and no further SEQR review is necessary, and

WHEREAS, the Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,



NOW, THEREFORE, be it hereby

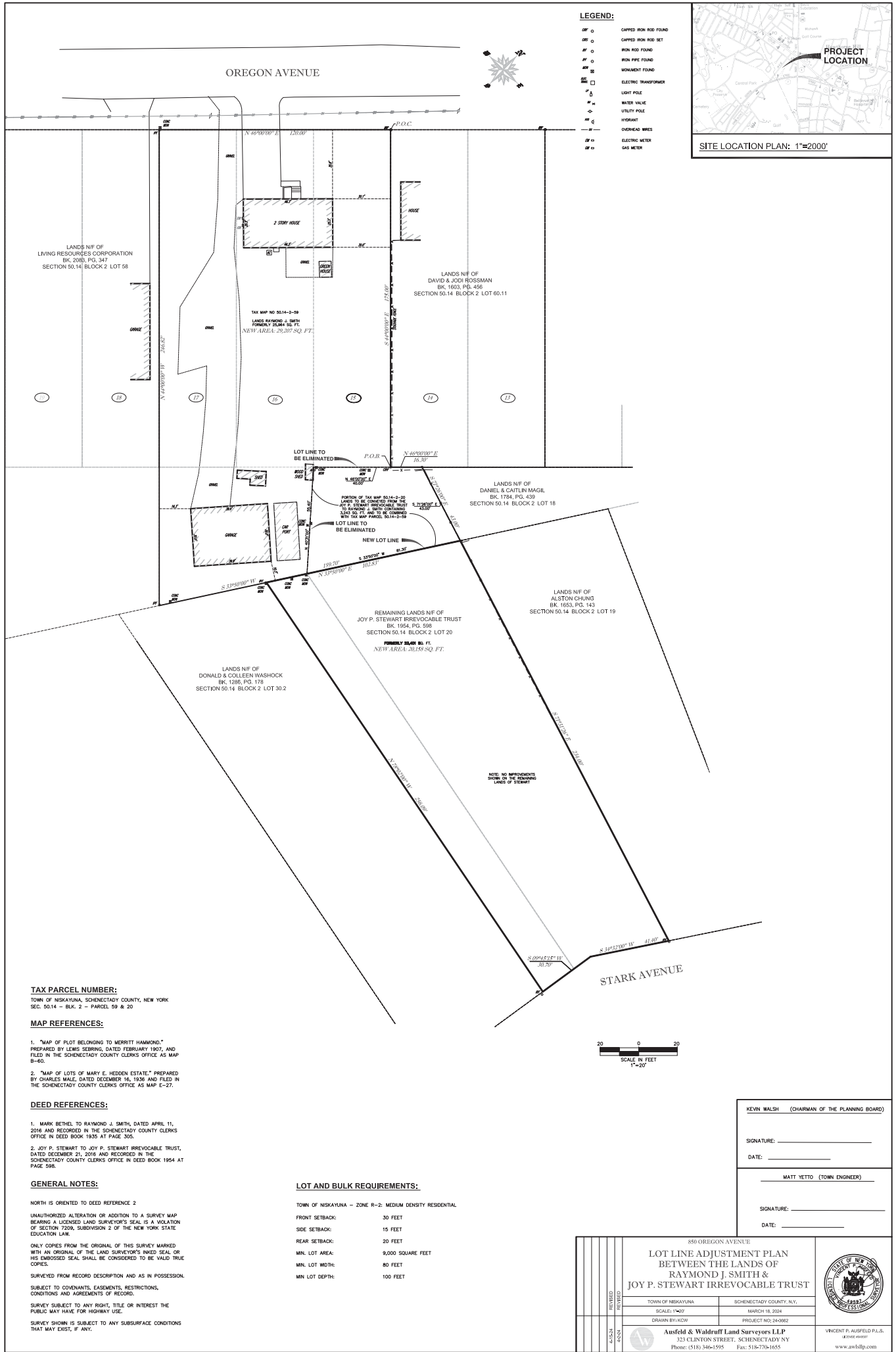
RESOLVED, that the Planning Board and Zoning Commission does hereby grant final lot line adjustment approval for 850 Oregon Ave. and 875 Stark Ave. as shown on the aforementioned 2-page survey drawing, with the following conditions:

1. Prior to recording the plat, the applicant residing at 850 Oregon Ave shall obtain valid building permits from the Town of Niskayuna Building Department that bring all existing accessory structures on the property into compliance with the Niskayuna Zoning Code.
2. Prior to recording the plat – the final lot line adjustment map and associated deed shall be sent to the Planning Department for their review and approval. Any changes, additions or deletions requested shall be addressed to the satisfaction of the Planning Department before printing the mylars.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

The Chairman declared the same \_\_\_\_\_.





**Laura Robertson**  
Planner

## **TOWN OF NISKAYUNA**

### **PLANNING DEPARTMENT**

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530  
Fax: (518) 386-4592  
[lrobertson@niskayuna.org](mailto:lrobertson@niskayuna.org)

### **LOT LINE ADJUSTMENT REVIEW**

April 24, 2024

Ray Smith  
850 Oregon Ave  
Niskayuna, NY 12309

RE: Application for Lot Line Adjustment: 850 Oregon Ave and 875 Stark Ave

Dear Applicant,

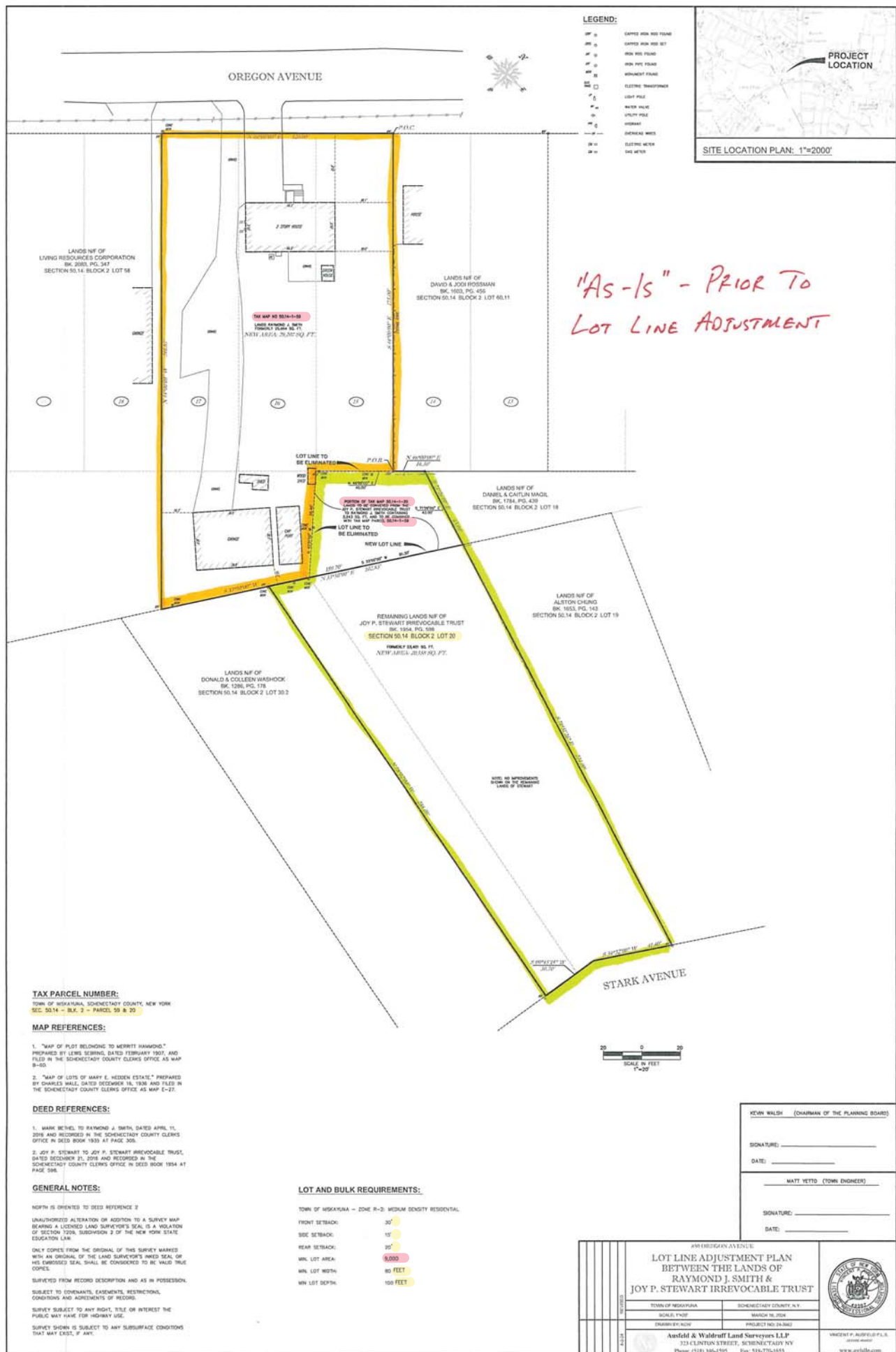
The Town of Niskayuna received a Lot Line Adjustment application for the Lands of Raymond J. Smith (850 Oregon Ave) and Joy P. Stewart Irrevocable Trust (875 Stark Ave). The Planning Department has reviewed the submitted plan and determined that this Lot Line Adjustment is in conformance with the Town's Zoning Ordinance and can go before the Planning Board for approval, subject to the completion of two Building Permits to bring the currently existing accessory structures into compliance with the Zoning Code on the property.

The Town of Niskayuna has scheduled your Lot Line Adjustment to go before the Planning Board and Zoning Commission on April 29, 2024.

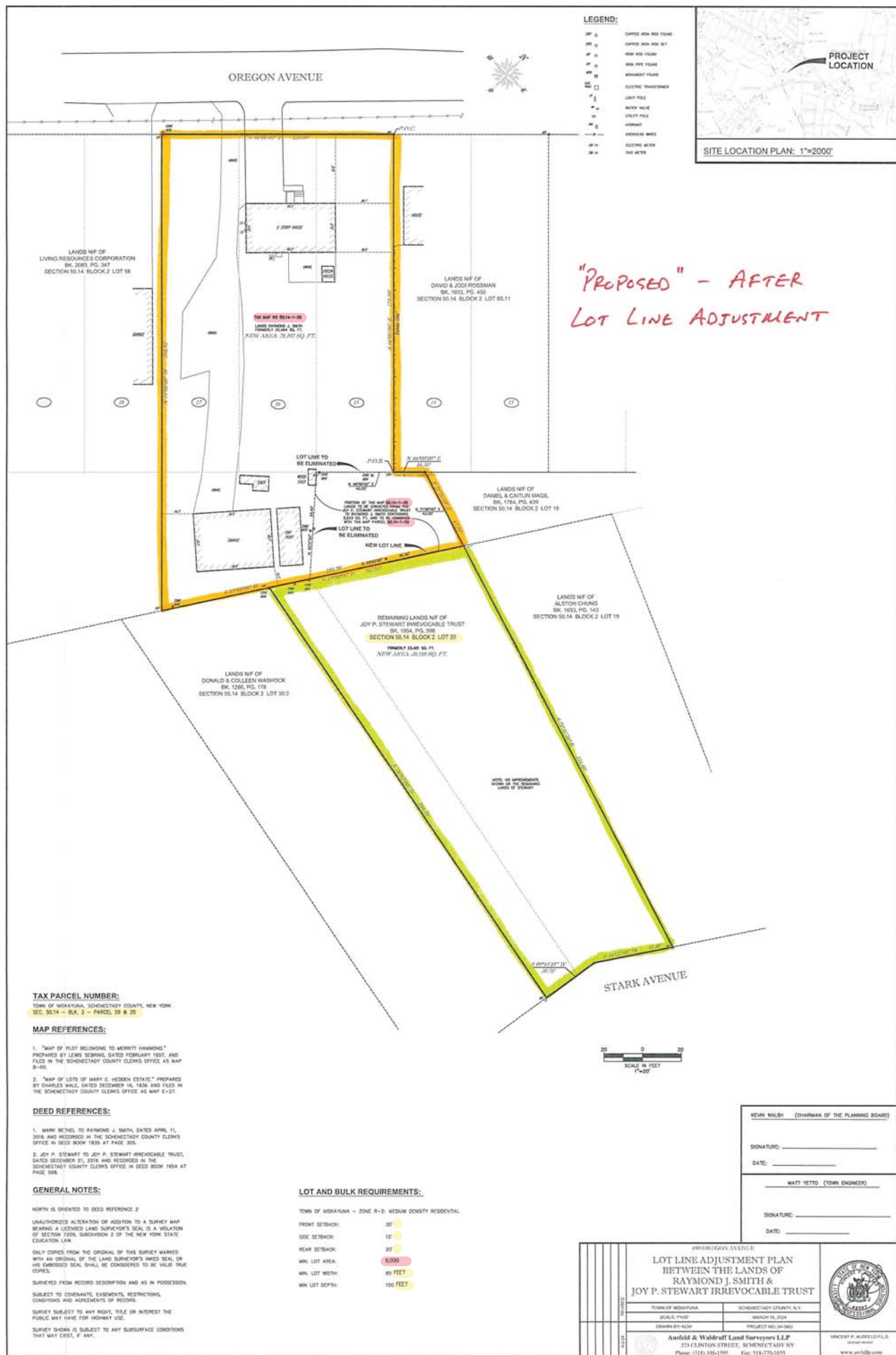
Prior to recording the plat, please draft a deed for the portion of land being deeded from Joy P Stewart Irrevocable Trust to Raymond J. Smith. This must be recorded with the lot line adjustment in Schenectady County. It is recommended that you also create a single deed for each adjusted parcel, but this is not required.

Should you have any questions you can contact me at (518) 386-4531 or by email at [lrobertson@niskayuna.org](mailto:lrobertson@niskayuna.org).

Laura Robertson  
Town Planner









# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 5

MEETING DATE: 4/29/2024

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**ITEM TITLE:** RECOMMENDATION: A Recommendation to the ZBA for an Application for Site Plan Review for new signage requiring an area variance at 2546 Balltown Rd.

**PROJECT LEAD:** Ms. Strang & Mr. Khan

**APPLICANT:** Tom Wheeler, agent

**SUBMITTED BY:** Laura Robertson

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Recommendation to the ZBA

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**SUMMARY STATEMENT:**

Tom Wheeler of AJ Signs, agent for the owner, submitted an application for new signage for the façade facing Balltown Rd. of the medical office building at 2546 Balltown Rd. Current signage for the building consists of a multi-panel freestanding sign near Balltown Rd. There currently is no façade signage.

The property lies within the R-P Residential and Professional zoning district. Medical office buildings are special principal uses in the district.

Mr. Wheeler confirmed that his client would like to pursue variances from the ZBA for the size, materials and lighting of a façade sign. The next step for the Planning Board is to make a recommendation to the ZBA regarding an 8.1 sq. ft. size variance ( $16.1 - 8 = 8.1$ ), a material variance (acrylic) and lighting (internally illuminated) variance. The denial letter was provided on 4/19/24. On 4/23/24 the applicant informed the Planning Office that the cardiology office includes an urgent care cardiology walk-in clinic and they would like to pursue a variance for the 36 sq. ft façade sign as originally proposed.

**COMPREHENSIVE PLAN**

The current (2013) Comprehensive Development Plan does not include references to signage.

**BACKGROUND INFORMATION**

A 2-page drawing set entitled, "St Peters Health Partners, Cardiology Associates, Balltown Road, Niskayuna" by A&J Sign Co. dated 10/17/22 with no subsequent revisions was provided with the application.

Column 7 Permitted Signs of Schedule I-H for the R-P zoning district includes the following,

§ 220-22

*"For nonresidential uses:*

1. *1 wall sign per principal building, which shall be attached to the building and shall not protrude more than 1 foot from the building face. Such a sign shall be a single-face sign and **shall not exceed 8 square feet in area.***
2. *1 freestanding sign...*
3. *All signs shall be approved by the Planning Board for size, construction and lighting. In general, the following standards shall apply: **sign surfaces shall be of wood or masonry construction, with painted or raised messages;** the number of separate colors on a sign shall be limited to 2 plus white; and sign lighting shall be limited to direct external lighting."*

Article V Supplementary Regulations § 220-22 does not grant the Planning Board the authority to waive any of the specific requirements of the section.

As proposed, the aforementioned 2-page drawing set depicts a 36 sq. ft. (144" x 36") internally illuminated façade sign fabricated from aluminum and acrylic. Therefore, a variance of 28 sq. ft. of sign area (36 – 8) for a 36 sq. ft. sign, a variance for an internally illuminated sign and a variance for a sign constructed of acrylic and aluminum are required.

### **Reference Property Also Located in the R-P District**

1769 Union St. – Albany Med. Urgent Care building – received a variance from the ZBA for a total of 285 sq. ft. of facade signage in 2017.

3/11/24 Planning Board (PB) meeting – Tom Wheeler of AJ Signs attended the meeting and presented the project to the Board. A discussion followed. The PB challenged the need for a façade sign for one of the individual businesses in the multi-business medical office building. The Planning Office and Planning Board concurred that the proposed panel for the monument sign at the street was acceptable upon approval of a building permit (no PB action required). The Board asked Mr. Wheeler to share their concerns regarding the façade sign with his client.

Mr. Wheeler provided the Planning Office with a revised (smaller) version of the sign. The proposed size of the sign was reduced from 36 sq. ft. to 16.1 sq. ft.

4/15/24 Planning Board (PB) meeting – Mr. Wheeler attended the meeting and explained that St. Peter's Health and Cardiology Associates of Schenectady would like to request relief from the zoning code for the 16.1 sq. ft. sign as designed / constructed and illuminated in the aforementioned drawings. The Planning Office and Planning Board Chairman stated that the

proposed replacement panel for the monument sign is acceptable and can move to approval via a building permit with the Building Department. Ms. Robertson stated that the Building and Planning Office will provide a denial letter to Mr. Wheeler for the façade sign. She informed him that his next step is to submit an application to appear before the ZBA. The Planning Office provided a denial letter on 4/19/24.

4/17/24 Architectural Review Board (ARB) meeting – The ARB reviewed the application during their regularly scheduled videoconference. Their suggestion is to follow the industry accepted wayfinding practice of using building facades to assist motorists in identifying the address of the building. Once inside the building wall display cabinets and other forms of internal signage are typically used to locate businesses. They suggested using a large “2546” sign on the façade rather than the proposed tenant signage.

4/23/24 The applicant emailed the Planning Office stating that St. Peter’s Health and Cardiology Associates of Schenectady contains an urgent care cardiology walk-in clinic. They indicated they would prefer to pursue an area variance for the 36 sq. ft. wall sign that was originally proposed. They requested that the denial letter from the Planning Office be modified accordingly.

At the 4/29/24 PB meeting the board should review the proposal for a 36 sq. ft. façade sign and make a recommendation on the proposal to the ZBA.





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**Town of Niskayuna**  
**M E M O R A N D U M**

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**TO:** File

**FROM:** Laura Robertson, Town Planner

**DATE:** April 29, 2024

**RE:** 2546 Balltown Rd. - St. Peter's Health - Cardiology Associates of Schenectady

---

At a regular Planning Board and Zoning Commission (PB) meeting held on April 29, 2024, the PB reviewed the appeal by Tom Wheeler, agent for St. Peter's Health Medical Associates - Cardiology Associates of Schenectady, of 2546 Balltown Rd. for a variance from Schedule I-H Column 7 (1) and of Schedule I-H Column 7 (3) of the Niskayuna Zoning Code. The property is located in the R-P Residential and Professional Zoning District.

Schedule I-H Column 7 (1) states for nonresidential uses, one (1) wall sign is allowed per principal building, which shall be attached to the building and shall not protrude more than one (1) foot from the building face. Such a sign shall be a single-face sign and shall not exceed eight (8) square feet in area. As proposed, there is one (1) wall sign measuring 16.1 sq. ft. Therefore, a variance for 8.1 sq. ft. of sign area is required.

Schedule I-H Column 7 (3) states for nonresidential uses, all signs shall be approved by the Planning Board for size, construction and lighting. In general, the following standards shall apply: sign surfaces shall be of wood or masonry construction, with painted or raised messages; the number of separate colors on a sign shall be limited to 2 plus white; and sign lighting shall be limited to direct external lighting. As proposed, there is one (1) wall sign constructed of aluminum and acrylic with internal illumination. Therefore, a variance for a wall sign constructed of aluminum and acrylic with internal illumination is required.

The Planning Board made the following recommendations:

**Effect on the Comprehensive Plan -**

**Suitability of Use -**

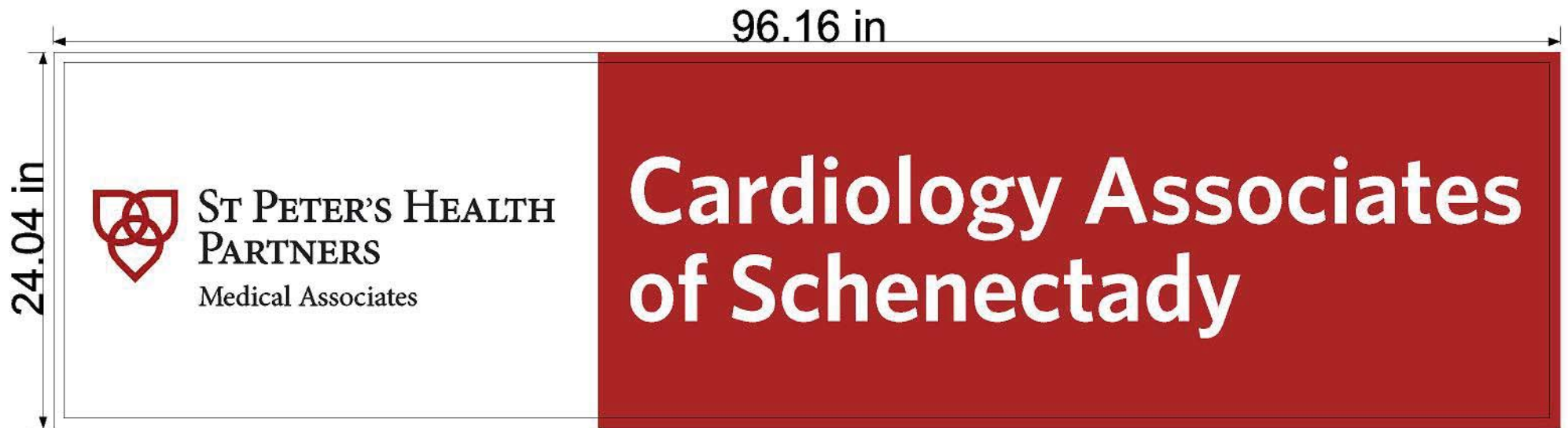
**RECOMMENDATION -**

# Exterior Wall Sign

Qty: (1) Single Sided

Materials: TBD

Colors: ■ 3630 Dark Red  
■ 7125 Black





Thomas J. Cannizzo  
Building Inspector

## TOWN OF NISKAYUNA BUILDING DEPARTMENT

One Niskayuna Circle  
Niskayuna, New York 12309-4381  
(518) 386-4522  
FAX: (518) 386-4556  
building@niskayuna.org

Kenneth P. Hassett  
Building Inspector

### BUILDING AND ZONING PERMIT DENIAL

**Address: 2546 Balltown Rd.**

**Application Date: 3/7/24**

---

Thomas Wheeler  
AJ Sign Company  
842 Saratoga Rd.  
Burnt Hills, NY 12027

Dear Mr. Wheeler:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that your Application for Site Plan Approval for a façade sign has been denied by reason of failure to comply with the provisions of Schedule I-H Column 7 (1) and of Schedule I-H Column 7 (3) of the Niskayuna Zoning Code. The property is located in the R-P Residential and Professional Zoning District.

Schedule I-H Column 7 (1) states for nonresidential uses, one (1) wall sign is allowed per principal building, which shall be attached to the building and shall not protrude more than one (1) foot from the building face. Such a sign shall be a single-face sign and shall not exceed eight (8) square feet in area. As proposed, there is one (1) wall sign measuring 16.1 sq. ft. Therefore, a variance for 8.1 sq. ft. of sign area is required.

Schedule I-H Column 7 (3) states for nonresidential uses, all signs shall be approved by the Planning Board for size, construction and lighting. In general, the following standards shall apply: sign surfaces shall be of wood or masonry construction, with painted or raised messages; the number of separate colors on a sign shall be limited to 2 plus white; and sign lighting shall be limited to direct external lighting. As proposed, there is one (1) wall sign constructed of aluminum and acrylic with internal illumination. Therefore, a variance for a wall sign constructed of aluminum and acrylic with internal illumination is required.

Under the provisions of Section 220-69 the Zoning Ordinance of the Town of Niskayuna you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

A handwritten signature in black ink, appearing to read "Laura Robertson".

---

Laura Robertson, Deputy Code Enforcement Officer

4/19/24

Date



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 6

MEETING DATE: 4/29/2024

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**ITEM TITLE:** RECOMMENDATION: A Recommendation for the ZBA for an Application for Site Plan Review for new signage requiring a variance at 1769 Union St.

**PROJECT LEAD:** Ms. Strang & Mr. Khan

**APPLICANT:** Jamey Colaruotolo, agent

**SUBMITTED BY:** Laura Robertson

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: ZBA Recommendation

---

**SUMMARY STATEMENT:**

Jamey Colaruotolo of Vital Signs and Graphics, agent for the owner, submitted an application for new façade signage for the façade facing Union St. of the Albany Med medical office building at 1769 Union St. The Zoning Board of Appeals (ZBA) granted signage variances at their March 15, 2017 meeting as described below.

The property lies within the R-P Residential and Professional zoning district. Medical office buildings are special principal uses in the district.

The Planning Board reviewed the proposed signage at their 4/15/24 meeting. The Architectural Review Board (ARB) reviewed and discussed the application at their 4/17/24 meeting. The ARB's advice is to utilize the industry accepted practice of using building facades to help identify the street address of the building rather than tenants within the building. The PB and Planning Office agreed to proceed with drafting a denial letter to the applicant so they could proceed with an application to the ZBA requesting the appropriate variances.

**COMPREHENSIVE PLAN**

The current (2013) Comprehensive Development Plan does not include references to signage.

**BACKGROUND INFORMATION**

A 1-page drawing entitled, "1769 Union Street, Niskayuna, NY, Capital Cardiology" by Vital Sign & Graphics dated 2/22/24 with no subsequent revisions was submitted to the Planning Office on 4/1/24.

Column 7 Permitted Signs of Schedule I-H for the R-P zoning district includes the following,

§ 220-22

*“For nonresidential uses:*

1. *1 wall sign per principal building, which shall be attached to the building and shall not protrude more than 1 foot from the building face. Such a sign shall be a single-face sign and **shall not exceed 8 square feet in area.***
2. *1 freestanding sign...*
3. *All signs shall be approved by the Planning Board for size, construction and lighting. In general, the following standards shall apply: **sign surfaces shall be of wood or masonry construction, with painted or raised messages;** the number of separate colors on a sign shall be limited to 2 plus white; and sign lighting shall be limited to direct external lighting.”*

ZBA variance dated 3/15/17

Zoning Code Section	Sign Type	Requirement	Approved Variance	Approved Total
220-22 A (3)	Directional	3 sf area, max 4 ft height, max	3.25 sf 1 ft	<b>6.25 sf 5 ft</b>
220-22 A (12)	Address	12 sf area, max 6 ft height, max	None required “Over 6 ft”	None required <b>Over 6 ft</b>
Schedule I-H Column 7 (1)	Wall sign	1 max, 8 sf or less	5, 285 sf	<b>6, 293 sf</b> 11.66 sf 51 sf 152.34 sf 36 sf 36 sf 6 sf
Schedule I-H Column 7 (2)	Freestanding	1, 15 sf & 8’ H, max	70 sf, 2’ H	<b>85 sf, 10’ H</b>

Address signs may be lit 24 hours a day  
Any lit wall signs will be turned off between 11 P.M. and 5:30 A.M.  
The freestanding sign will not be lit between 11 P.M. and 5:30 A.M.

As proposed, the aforementioned 1-page drawing set depicts one (1) 292” w x 52” h (105.4 sq. ft.) internally illuminated façade sign fabricated from aluminum and acrylic. Therefore, variances are required for the following:

- one (1) additional wall sign with internal illumination constructed of aluminum and acrylic
- 105.4 sq. ft. of additional wall sign area
- Resulting in a total of seven (7) wall signs totaling 398.4 sq. ft. with internal illumination, constructed of acrylic and aluminum.



Article V Supplementary Regulations § 220-22 does not grant the Planning Board the authority to waive any of the specific requirements of the section.

4/15/24 Planning Board (PB) meeting – Mr. Colaruotolo attended the meeting and presented the project to the Board. The Board reviewed the current table of signage variances for the property. Ms. Robertson outlined the next steps for the project: a denial letter from the Planning Office for the proposed new sign followed by an application to appear before the ZBA by Mr. Colaruotolo. The Board discussed the advantages and disadvantages of additional façade signage on the building.

4/17/24 Architectural Review Board (ARB) meeting – The ARB reviewed the application during their regularly scheduled videoconference. Their suggestion is to follow the industry accepted wayfinding practice of using building facades to assist motorists in identifying the address of the building. Once inside the building wall display cabinets and other forms of internal signage are typically used to locate businesses. They suggested using a large “1769” sign on the façade rather than the proposed tenant signage.

The next step for the Planning Board is to make a Recommendation to the ZBA regarding the variances.



---

**Town of Niskayuna**  
**M E M O R A N D U M**

---

**TO:** File

**FROM:** Laura Robertson, Town Planner

**DATE:** April 29, 2024

**RE:** 1769 Union St. – Capital Cardiology Associates

---

At a regular Planning Board and Zoning Commission (PB) meeting held on April 29, 2024, the PB reviewed the appeal by Jamey Colaruotolo, agent for Capital Cardiology Associates of 1769 Union St. for a variance from Schedule I-H Column 7 (1) and of Schedule I-H Column 7 (3) of the Niskayuna Zoning Code. The property is located in the R-P Residential and Professional Zoning District.

Schedule I-H Column 7 (1) states for nonresidential uses, one (1) wall sign is allowed per principal building, which shall be attached to the building and shall not protrude more than one (1) foot from the building face. Such a sign shall be a single-face sign and shall not exceed eight (8) square feet in area. At the March 15, 2017 Zoning Board of Appeals (ZBA) meeting the Board granted a variance for five (5) additional wall signs, a two (2) foot projection variance for a blade sign and a variance for 285 sq. ft. of façade sign area. As proposed, there is one (1) additional wall sign measuring 105.4 sq. ft. Therefore, variances for one (1) wall sign and for 105.4 sq. ft. of additional sign area are required.

Schedule I-H Column 7 (3) states for nonresidential uses, all signs shall be approved by the Planning Board for size, construction and lighting. In general, the following standards shall apply: sign surfaces shall be of wood or masonry construction, with painted or raised messages; the number of separate colors on a sign shall be limited to 2 plus white; and sign lighting shall be limited to direct external lighting. As proposed, there is one (1) additional wall sign constructed of aluminum and acrylic with internal illumination. Therefore, a variance for one (1) wall sign of aluminum and acrylic with internal illumination is required.

The Planning Board made the following recommendations:

**Effect on the Comprehensive Plan –**

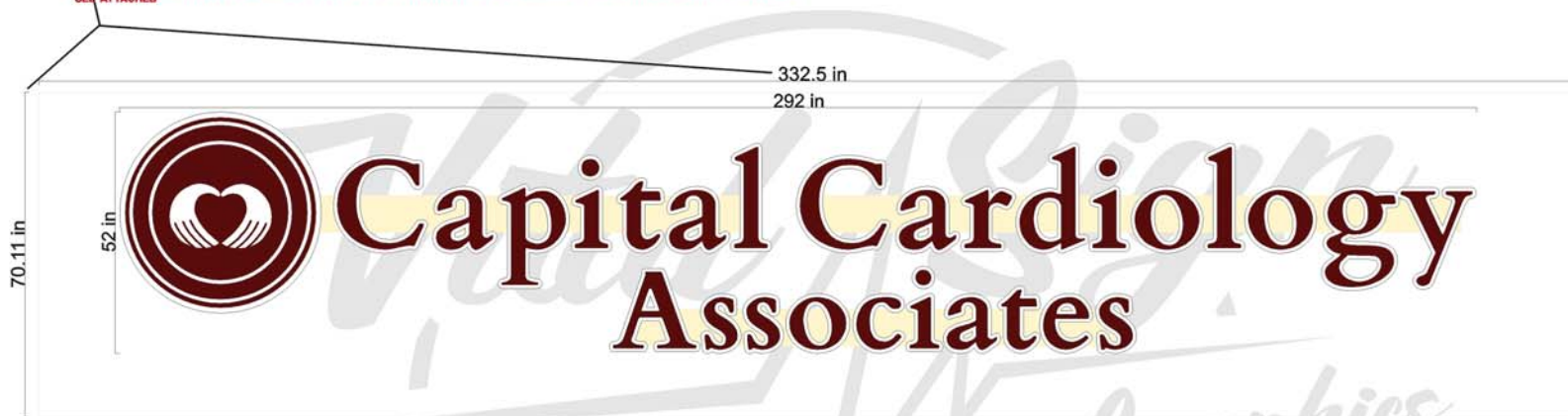
**Suitability of Use –**

**RECOMMENDATION –**

1769 UNION STREET, NISKAYUNA NY

CHANNEL LETTERS/LOGO MOUNTED ON COLOR MATCHED RACEWAY INSTALLED ON BUILDING

THESE MEASUREMENTS ARE THE DIMENSIONS BETWEEN THE WHITE TRIM ON THE OUTSIDE OF THE CENTER SECTION OF THE BUILDING  
SEE ATTACHED



DAY VIEW



NIGHT VIEW



*Thank You!*  
SUBMITTED BY **AJC**

COMPANY **CAPITAL CARDIOLOGY**

DATE **2/22/24**

NAME **PATRICIA**

ESTIMATE

PHONE

COMMENTS

EMAIL

**COMPLETE  
SIGN  
Service**

THIS DESIGN IS THE ORIGINAL AND UNPUBLISHED WORK OF VITAL SIGN & GRAPHICS CO., INC.  
AND MAY NOT BE REPRODUCED, COPIED, OR EXHIBITED IN ANY WAY WITHOUT WRITTEN  
CONSENT OF AN AUTHORIZED OFFICER OF THE COMPANY



Thomas J. Cannizzo  
Building Inspector

## TOWN OF NISKAYUNA BUILDING DEPARTMENT

One Niskayuna Circle  
Niskayuna, New York 12309-4381  
(518) 386-4522  
FAX: (518) 386-4556  
building@niskayuna.org

Kenneth P. Hassett  
Building Inspector

### BUILDING AND ZONING PERMIT DENIAL

**Address:** 1769 Union St.

**Application Date:** 3/7/24

---

Jamey Colaruotolo  
Vital Sign and Graphics  
251 Saratoga St.  
Cohoes, NY

Dear Mr. Colaruotolo:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that your Application for Site Plan Approval for a façade sign has been denied by reason of failure to comply with the provisions of Schedule I-H Column 7 (1) and of Schedule I-H Column 7 (3) of the Niskayuna Zoning Code. The property is located in the R-P Residential and Professional Zoning District.

Schedule I-H Column 7 (1) states for nonresidential uses, one (1) wall sign is allowed per principal building, which shall be attached to the building and shall not protrude more than one (1) foot from the building face. Such a sign shall be a single-face sign and shall not exceed eight (8) square feet in area. At the March 15, 2017 Zoning Board of Appeals (ZBA) meeting the Board granted a variance for five (5) additional wall signs, a two (2) foot projection variance for a blade sign and a variance for 285 sq. ft. of façade sign area. As proposed, there is one (1) additional wall sign measuring 105.4 sq. ft. Therefore, a variance for one (1) wall sign and a variance for 105.4 sq. ft. of sign area are required.

Schedule I-H Column 7 (3) states for nonresidential uses, all signs shall be approved by the Planning Board for size, construction and lighting. In general, the following standards shall apply: sign surfaces shall be of wood or masonry construction, with painted or raised messages; the number of separate colors on a sign shall be limited to 2 plus white; and sign lighting shall be limited to direct external lighting. As proposed, there is one (1) additional wall sign constructed of aluminum and acrylic with internal illumination. Therefore, a variance for one (1) wall sign of aluminum and acrylic with internal illumination is required.

Under the provisions of Section 220-69 the Zoning Ordinance of the Town of Niskayuna you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

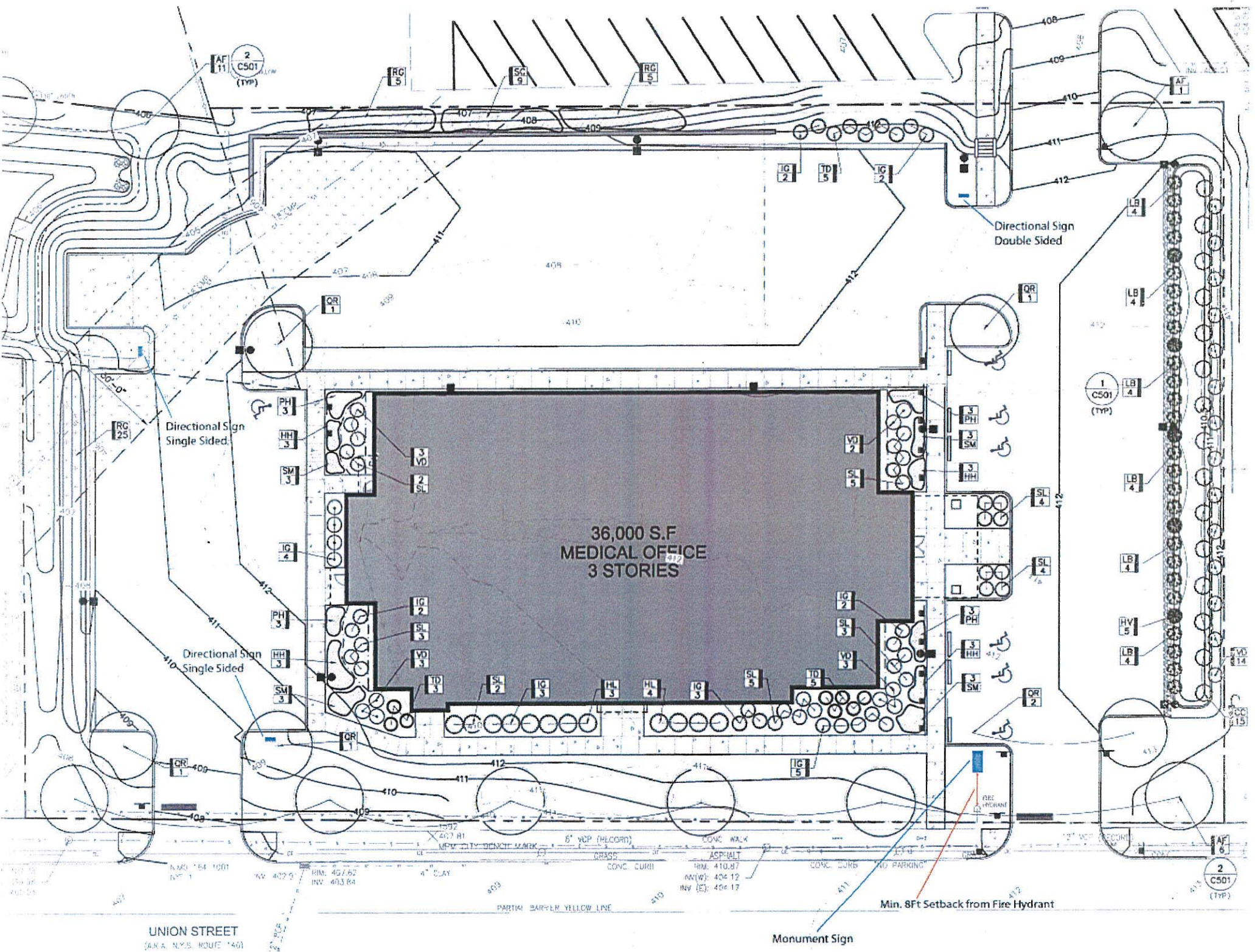
---

Laura Robertson, Deputy Code Enforcement Officer

4/19/24

Date










8'-9" 16"

# ENTRANCE

Sign Type A:  
 Quantity 1 ea. Overall: 11.66 Sq Ft  
 -LED Internally Illuminated Channel Letters  
 with Lexan Sign Faces Decorated with Translucent Film  
 -Face Color: White w/ 3M 3630 Blue Translucent Film  
 -Trim Cap Color: Pepsi Blue  
 -Return Color: Pepsi Blue


17'-0.5" 36" 19"



# ALBANY MED

Sign Type E:  
 Quantity 1 ea. Overall: 51 Sq Ft  
 -LED Internally Illuminated Channel Letters  
 with Lexan Sign Faces Decorated with Translucent Film  
 -Face Color: White w/ 3M 3630 Blue Translucent Film  
 -Trim Cap Color: White  
 -Return Color: White

15'-8" 12" 23" 2'-6" 8"




# ALBANY MED

# EmUrgentCare

a partnership with

7'-10" 23" 25"



# CapitalCare

Sign Type D-C3:  
 Quantity 1 ea.  
 Overall: 98 Sq Ft

"Albany Med EmUrgentCare"  
 -LED Internally Illuminated Channel Letters  
 with Lexan Sign Faces Decorated with Translucent Film  
 -Face Color: White w/ 3M 3630 Blue, 73 Dark Red  
 -Trim Cap & Return Color: Pepsi Blue, Red

"a partnership with"  
 -"a partnership with" to be 1/4" plate cut aluminum,  
 non-illuminated letters. Stud Mounted to Building

"CapitalCare"  
 -LED Internally Illuminated Channel Letters  
 with Lexan Sign Faces Decorated with Translucent Film  
 -Face Color: White w/ Green 3M Film  
 -Trim Cap & Return Color: White



ajsigns.com  
 (518) 399-9291  
 842 NY-50  
 Burnt Hills, NY 12027

Client | Albany Medical Center  
 Project | Union Street Medical  
 Location | 1769 Union Street Niskayuna, NY

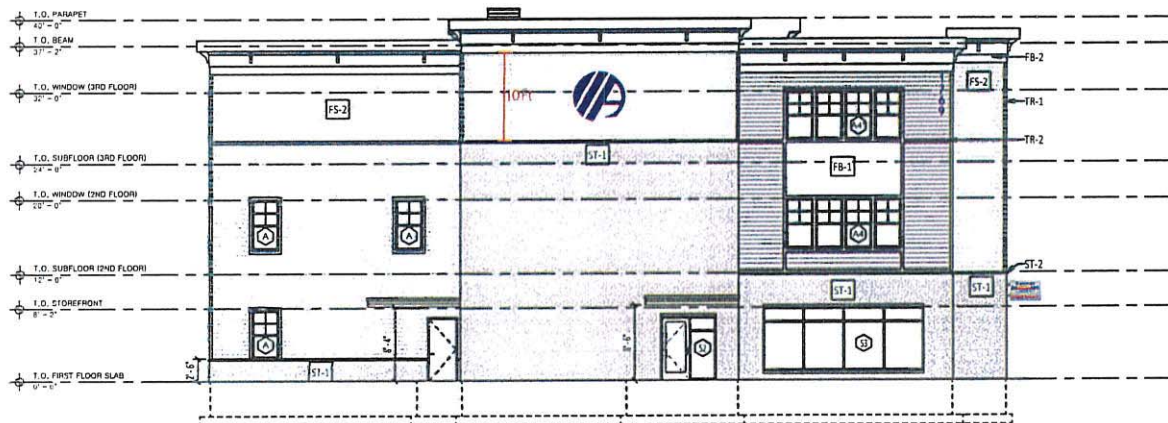
Customer Approval | \_\_\_\_\_ Date | \_\_\_\_\_  
 Landlord Approval (If Required) | \_\_\_\_\_ Date | \_\_\_\_\_

File Name | Union Street Medical - South Elevation Signage REVISED  
 Salesperson | Bridgette Shoemaker Designer | BKS Date | 01/03/17 Revision | 3 - 1/17

Original drawings and designs are the property of AJ Sign Co. and may not be duplicated or reproduced in whole or part as a drawing or sign without written permission from AJ Sign Co. Drawing value is included in project pricing. If drawings (i.e. Designer's Renderings) do not result in a subsequent project you will then be financially responsible for the value of drawings. Designer's Renderings are available for purchase for use in competitive bid processes upon request.

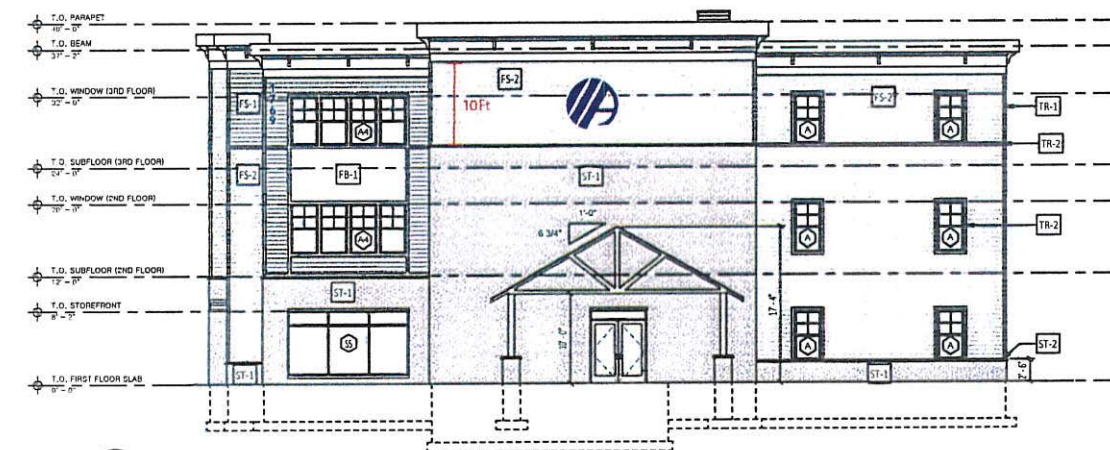
Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_  
 Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_





2 West Elevation  
A201 SCALE: 1/8" = 1'-0"

ROAD >



1 East Elevation  
A201 SCALE: 1/8" = 1'-0"

6Ft



**Sign Type F6:**  
Quantity 2 ea. Overall: 36 Sq Ft  
-Non-Illuminated Fabricated Aluminum Action A Large  
-Decorated with High Performance Film  
-Satin Paint Finish in White  
-High Performance Vinyl Match to 3M 3630 Blue



2Ft

**Sign Type G:**  
Quantity 1 ea. Overall: 6 Sq Ft  
-Blade Mounted Directional Sign. LED Internally Illuminated  
-Fabricated Aluminum with Push-Thru Acrylic "EmUrgentCare" and  
- "<- Entrance" to illuminate. All Other Letters/Logos to be HP Vinyl  
-Paint/Colors: TBD

1769

13.5"

**Sign Type B2:**  
Quantity 2 ea. Overall: 5.5 Sq Ft  
-Building Address Numbers LED Internally Illuminated Channel  
-Letters with Lexan Sign Faces Decorated with Translucent Film  
-Face Color: White w/ 3M 3630 Blue Translucent Film  
-Trim Cap Color: White  
-Return Color: White



ajsigns.com  
(518) 399-9291  
842 NY-50  
Burnt Hills, NY 12027

Client | Albany Medical Center  
Project | Union Street Medical  
Location | 1769 Union Street Niskayuna, NY

Customer Approval | \_\_\_\_\_ Date | \_\_\_\_\_  
Landlord Approval (If Required) | \_\_\_\_\_ Date | \_\_\_\_\_

File Name | Union Street Medical - East West Elevation Signage REVISED  
Salesperson | Bridgette Shoemaker Designer | BKS Date | 01/30/17

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Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_  
Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_



# Proposed Monument Sign for Union Street Medical

Quantity 1 ea.

Overall: 85Sq Ft

- LED Internally Illuminated Monument Sign with "Action A" Logo Element Topper
- All Aluminum Constuction on (2) Steel Poles, Mounted on Anchor Bolt Foundations
- "Albany Medical Center" to be Push-Thru Acrylic Lettering
- All Name Panels to be Stencil Cut Style Acrylic Letters
- Base to be Wrapped in Stone Look Materials to Match Building Finishes
- Paint Colors/Finishes TBD



ajsigns.com  
(518) 399-9291  
842 NY-50  
Burnt Hills, NY 12027

Client | Albany Medical Center  
Project | Union Street Medical  
Location | 1769 Union Street Niskayuna, NY

Customer Approval | \_\_\_\_\_ Date | \_\_\_\_\_  
Landlord Approval (If Required) | \_\_\_\_\_ Date | \_\_\_\_\_

File Name | Union Street Medical - Proposed Monument REVISED  
Salesperson | Bridgette Shoemaker Designer | BKS Date | 01/30/17

Original drawings and designs are the property of AJ Sign Co. and may not be duplicated or reproduced in whole or part as a drawing or sign without written permission from AJ Sign Co. Drawing value is included in project pricing. If drawings (in Designer's Rendering) do not result in a subsequent project you will then be financially responsible for the value of drawings. Designer's Renderings are available for purchase for use as competitive bid packages upon request.

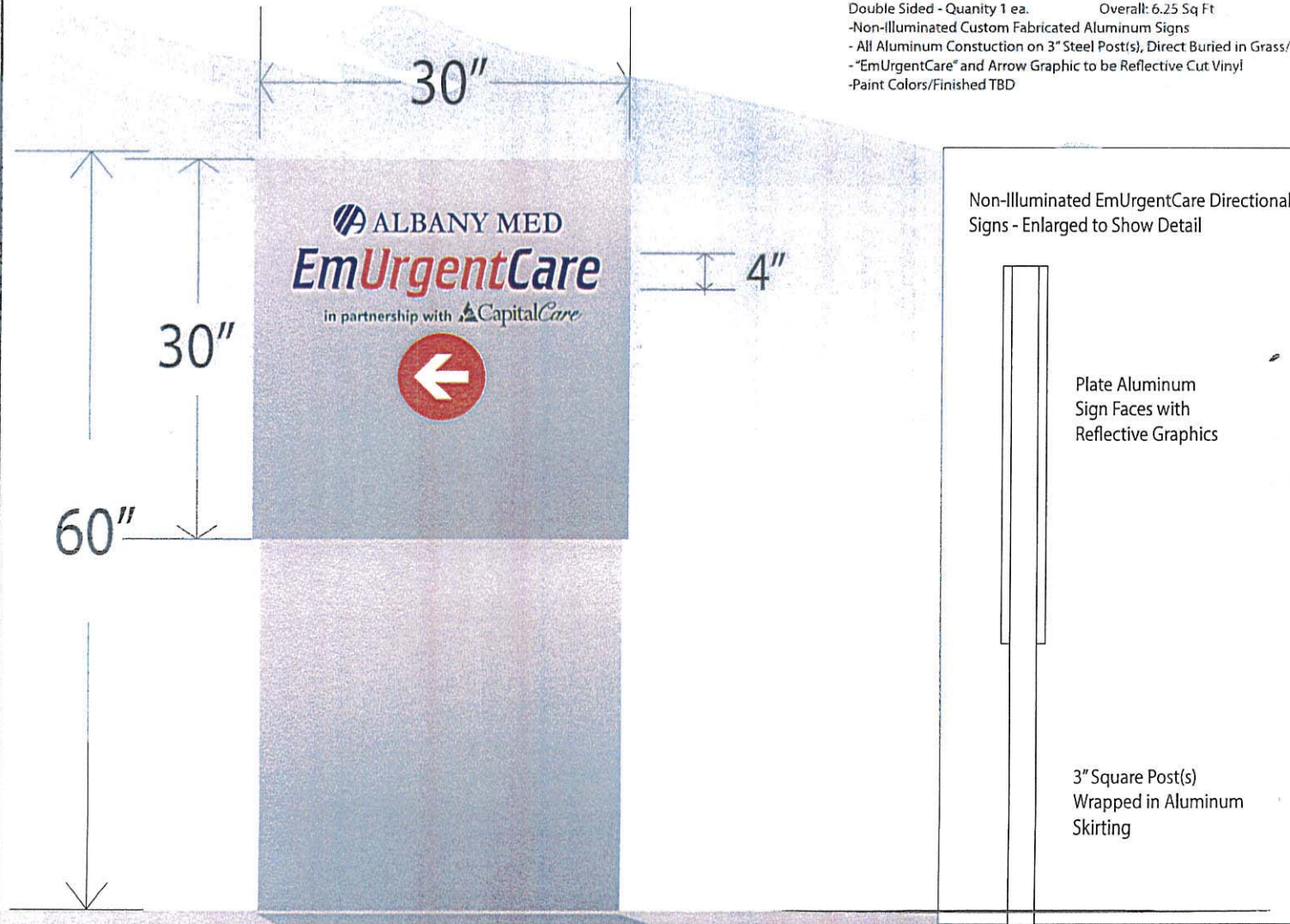
Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_  
Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_



## EmUrgentCare Directional Typical of Qty 3

### EmUrgentCare Directional Signs

- Single Sided - Quantity 2 ea. Overall: 6.25 Sq Ft
- Double Sided - Quantity 1 ea. Overall: 6.25 Sq Ft
- Non-Illuminated Custom Fabricated Aluminum Signs
- All Aluminum Construction on 3" Steel Post(s), Direct Buried in Grass/Soil
- "EmUrgentCare" and Arrow Graphic to be Reflective Cut Vinyl
- Paint Colors/Finished TBD



ajsigns.com  
(518) 399-9291  
842 NY-50  
Burnt Hills, NY 12027

Client | Albany Medical Center  
Project | Union Street Medical  
Location | 1769 Union Street Niskayuna, NY

Customer Approval | \_\_\_\_\_ Date | \_\_\_\_\_  
Landlord Approval (If Required) | \_\_\_\_\_ Date | \_\_\_\_\_

File Name | Union Street Medical - Proposed Freestanding Signage  
Salesperson | Bridgette Shoemaker Designer | BKS Date | 12/28/16 Revision | 8 - 12/16

Original drawings and designs are the property of AJ Sign Co. and may not be duplicated or reproduced in whole or part as a drawing or sign without written permission from AJ Sign Co. Drawing value is included in project pricing. If drawings (i.e. Designer's Renderings) do not result in a subsequent project you will then be financially responsible for the value of drawings. Designer's Renderings are available for purchase for use in competitive bid processes upon request.

Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_  
Revision Note | \_\_\_\_\_ Date | \_\_\_\_\_

**TOWN OF NISKAYUNA**  
**ZONING BOARD OF APPEALS**  
**One Niskayuna Circle**  
**Niskayuna, New York 12309**  
**(518) 386-4530**

FILED  
TOWN OF NISKAYUNA  
MAR 22 2017  
Michelle M. Martinelli  
Town Clerk

March 21, 2017

AJ Signs  
842 Saratoga Road  
Burnt Hills, NY 12027

Dear AJ Signs:

At its regularly scheduled meeting held on March 15, 2017, the Board reviewed the following case:

**The appeal of AJ Signs (agent), 842 Saratoga Road, Burnt Hills, New York**, for variances from **Section 220-22 A (3) & (12)** and **Schedule I-H Column 7 (1) & (2)** of the Zoning Ordinance of the Town of Niskayuna for the installation of a sign package for the medical office building **at 1769 Union Street**. The property is located in the R-P: Residential Professional Zoning District.

**Section 220-22 A (3)** states that directional signs, such as entrance, exit, etc., shall be of a size not to exceed three (3) square feet and not to exceed four (4) feet in height above the existing grade. As proposed, the directional signs are 6.25 square feet and five (5) feet in height. Therefore, a variance of 3.25 square feet in size and a variance for one (1) foot in height are required for each directional sign (3 total).

*It was the decision of the board to grant the variances as written.*

**Section 220-22 A (12)** states that address signs shall not exceed twelve (12) square feet in area or six (6) feet in height above the average grade at its location. As proposed, the address signs are over six (6) feet above the average grade. Therefore, a variance to allow the signs to be placed over six (6) feet above grade is required for each address sign (2 total).

*It was the decision of the board to grant the variances as written. For clarification, the address signs may be lit 24 hours a day.*

**Schedule I-H, Column 7 (1)** states for nonresidential uses, one (1) wall sign is allowed per principal building, which shall be attached to the building and shall not protrude more than one (1) foot from the building face. Such a sign shall be a single-face sign and shall not exceed eight (8) square feet in area. As proposed, there are six (6) wall signs including: one (1), 11.66 square foot "Entrance" sign, one (1), 51 square foot "Albany Med" sign, one (1), 152.34 square foot "EmUrgent Care" sign, two (2), 36 square foot "flying A" signs and one (1), six (6) square foot blade mounted directional sign perpendicular to the entrance door. Therefore, a variance for five



(5) additional wall signs, a two (2) foot projection variance for the blade sign and a variance for 285 square feet of facade sign area are required.

*It was the decision of the Board to grant the variances with the following conditions:*

- 1) *Any lit signs will be turned off between 11 P.M. and 5:30 A.M.*

**Schedule I-H, Column 7 (2)** allows one (1) freestanding sign, which shall be a ground sign whose entire bottom shall be in contact with or in close proximity (within two (2) feet) to the ground. Such a sign shall not exceed fifteen (15) square feet in area and eight (8) feet in height above the average grade at its location. As proposed, the sign is 85 square feet and ten (10) feet high. Therefore, a 70 square foot variance is required for size and a two (2) foot variance is required for height.

*It was the decision of the Board to grant the variances with the following conditions:*

- 1) *The sign will not be lit between 11 P.M. and 5:30 A.M.*

Sincerely,

*Fred Goodman/LMS*

Fred Goodman  
Chairman

cc: Town Clerk  
Building Department  
ZBA File



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 1

MEETING DATE: 4/29/24

---

**ITEM TITLE:** DISCUSSION: 2301 Nott St. E. – TD Bank – An application for site plan review for new signage.

**PROJECT LEAD:** TBD

**APPLICANT:** Thomas Wheeler, agent

**SUBMITTED BY:** Laura Robertson

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Thomas Wheeler, of AJ Signs, submitted an application for site plan review to update the existing signage at TD Bank located at 2301 Nott St. E.

The property lies within the C-N Neighborhood Commercial zoning district and Town Center Overlay District.

This is the applicant's first meeting with the Planning Board to present and review the project.

**COMPREHENSIVE PLAN**

The proposed action complies with the current (2013) Comprehensive Development Plan for the Town.

**BACKGROUND INFORMATION**

1. A 10-page drawing package from "Atlas, Branding the World" located in West Palm Beach, FL dated 3/19/24 was included with the application.

The table shown below compares the existing signs "E01 – E06" to their corresponding proposed signs "S01 – S08" as shown in the 10-page drawing package in terms of type, size & waiver required.

Old Sign	Sign Type	Sign Size	Code Requirement	Frontage	New Sign	Sign Type	Sign Size	Description of Waiver Required
E01	Monument panel		NA	NA	S07	Monument panel	NA	NA
E02	Façade "TD"	17.6	220-48.4 Schedule I-D 1 sign per façade 1 sq. ft per liner ft. of frontage not to exceed 50 sq. ft.	50 ft.	S01	Façade "TD"	TD 13.7 sf Bank 7.1 sf	2 signs on 1 façade 70% of sign area - TD logo
E03	Façade "TD"	17.6	"	50 ft.	S02	Façade "TD"	28 sf	70% of sign area - TD logo
NA	NA	NA	"	65 ft.	S03	Façade "TD"	13.7 sf	70% of sign area - TD logo
E04	Directional: TD, Enter Drive Thru	2 sf 3 ft high	220-22 A (3) 3 sq. ft., 4 ft. high		S04	Directional: TD, Enter Drive Thru	3.0 sf 4 ft high	None
E05	Directional: TD, Drive-Thru, ATM	2 sf 3 ft high	220-22 A (3) 3 sq. ft., 4 ft. high		S05	Directional: TD, Drive-Thru, ATM	3.0 sf 4 ft high	None
E06	Directional: Exit	2 sf 3 ft high	220-22 A (3) 3 sq. ft., 4 ft. high		S06	Directional: Exit	3.0 sf 4 ft high	None
NA	NA	NA	NA		S08	Directional: TD Bank	1.1 sf	None

### **Sign S01**

- Replaces Sign E02
- Requires a waiver for 2 signs on one façade
  - The TD logo with the green background is considered 1 sign
  - The word "Bank" is considered a second sign
- Requires a waiver for a sign with a logo of more than 30% of the sign area
  - The TD logo with the green background is more than 30% of sign area.

### **Sign S02**

- Replaces Sign E03
- Requires a waiver for a sign with a logo of more than 30% of the sign area
  - The TD logo with the green background is more than 30% of sign area

### **Sign S03**

- Is a new sign – previously there was no sign on this façade
- Requires a waiver for a sign with a logo of more than 30% of the sign area
  - The TD logo with the green background is more than 30% of sign area

### **Signs S04, S05, S06 & S08**

- All signs are code compliant

The applicant is before the board this evening to present the application and address any questions that arise.



# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

Name AT Signs

Address 842 Saratoga Rd  
Burnt Hills NY 12027

Email Kristen@ATSigns.com

Telephone 518 399 9291 Fax 518 880 1719 Zoning District

### Location:

Number & Street 2301 North St E

Section-Block-Lot 40 - 1 - 17.21

### Proposal Description:

- S01 Replace existing TD Logo with new sign TD Bank  
S02 Add new TD Logo that is larger than the old TD Logo  
S03 Add new TD Logo

Signature of applicant: 

Date: 4/9/24

Signature of owner (if different from applicant): 

Date: 4/16/24

authorized agent for  
Niskayuna Shopping Center, LLC

Each site plan application shall be accompanied by:





BRANDING THE WORLD

National Headquarters

1077 West Blue Heron Blvd

West Palm Beach, FL 33409

800.772.7937

www.atlasbtw.com

Dear Customer:

This letter is required in order for Atlas to apply for permit(s) to install signs at your location. It must be signed by an authorized officer (or owner) of your company and **must** be notarized.

*Thank you.*

I: Julie Bashant Property Owner or agent of:

2301 Nott Street East, Niskayuna, NY 12309

Address

Do hereby give permission to Jeffery Adinolfe with Atlas Sign Holdings, Inc., Atlas Sign Industries of NC LLC, Atlas Sign Industries, Atlas Sign Industries FLA, LLC or any of their agents to sign permit applications, submit & pick-up permits and erect signage at the above address on our behalf.

Julie Bashant - authorized agent for Niskayuna Shopping Center, LLC

Property Owner or Agent (Please type or print)

[Signature]  
Signature of Property Owner or Agent

3/19/24  
Date

P.O. Box 965 Latham, NY 12110

Mailing Address

518-869-0792

Telephone Number

This instrument was acknowledged before me this 19<sup>th</sup> Day of March, 2024

[Signature]  
Notary Public (Signature)

Cole Harvey Carner  
Notary Public (Printed Name)

Personally Known ☒

Produced Identification ☐

Type: \_\_\_\_\_

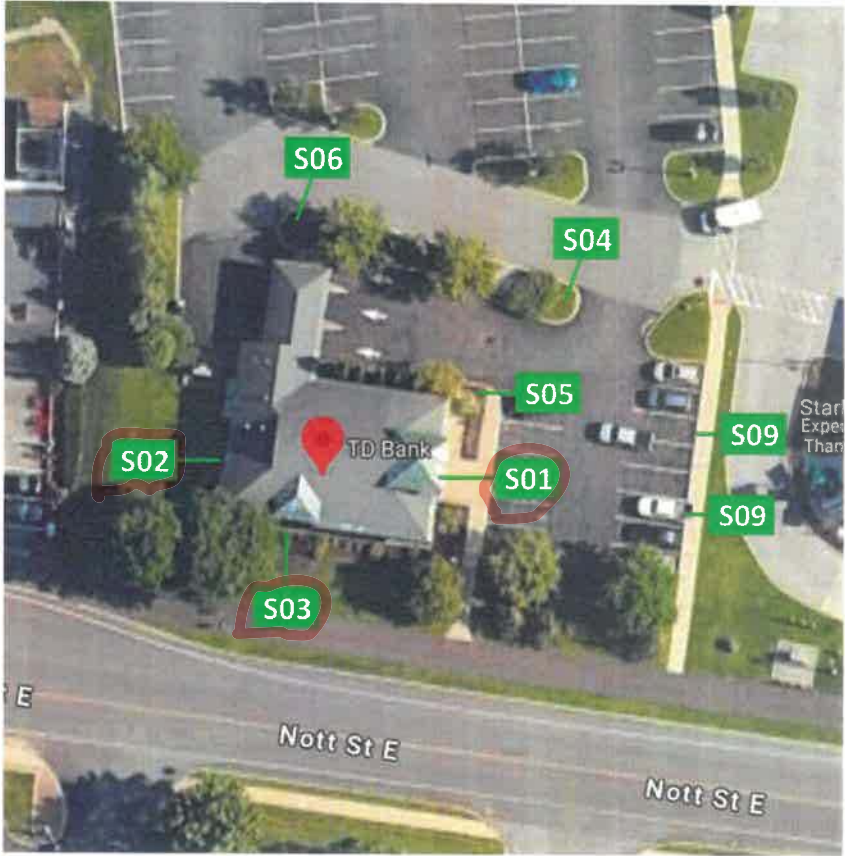
COLE HARVEY CARNER  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01CA6430491  
Qualified in Rensselaer County  
Commission Expires MARCH 14, 2026

Site Plan and Code

Code

**Wall Signs:**  
For each linear foot of building frontage, 1 square foot of sign area shall be permitted. Such sign shall only be attached to the building face and shall not protrude more than 1 foot from the building face and shall be a single-face sign. Where uses are joined by a common wall, such sign area shall not be combined into a common sign area. Under no circumstances shall any 1 sign exceed 50 square feet.

Sign	Proposed Sign	Qty	SQ FT
S01	Face Lit Channel Letters	1	34.05
S02	IL Shield	1	27.86
S03	IL Shield	1	13.8
S04	Non IL Directional	1	2.99
S05	Non IL Directional	1	2.99
S06	Non IL Directional	1	2.99
S07	Monument	1	-
S08	Non IL Directional	1	-
S09	Parking Signs	2	-



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.allasblw.com

Revisions:			
REV	DESCRIPTION	DATE	BY
001	Initial Design	01/25/2024	SH
002	Revised Design	01/25/2024	TLD
003	Final Design	01/25/2024	TLD

SP

PM: SH  
Drawn By: TLD  
Date: 01.25.2024

Address: 2301 Nott Street East  
City/State: Niskayuna, NY 12309  
Drawing Number: 180835

Face Lit Channel Letters

Action:

- Remove Existing Non IL wall sign and LED Light bar.
- Patch, repair, and paint area.
- Manufacture and install (1) face lit channel letterset.

Description:

- TD Shield construction to be aluminum returns with white acrylic faces secured with trimcap. Vinyl to be applied to logo faces with TD Copy to be exposed face material.
- Letterset and logo cabinet to be illuminated with white LEDs.
- Logo to be mounted flush to wall with non corrosive fasteners.
- Letters to be mounted with nylon spacers.

Material & Color:

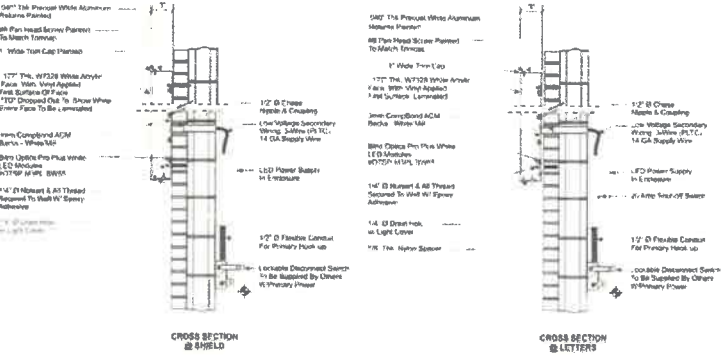
- Logo and Letter Vinyl: 3M 3630-5741 Light Green Translucent Vinyl (First Surface)
- Entire Logo and Letter Faces to be laminated with 3M 3660M
- Logo and Letter Returns: MP65220 R165605 TD Light Green (Satin Finish)
- Logo and Letter Trim Cap: MP65220 R165605 TD Light Green (Satin Finish)
- Logo and Letter Faces: 7328 White Acrylic
- Logo and Letters Illumination: White LED



Existing



Proposed



ELECTRICAL NOTES

- All materials and fasteners meet 3004.4
- All electrical components are UL listed, labeled and approved
- Sign grounded according to NEC 600.7.7
- Signs manufactured and tested per NEC 600.3 and marked per NEC 600.4
- All branch circuits per NEC 600.3(B)(1) or (B)(2)
- All Signs controlled by photo cell or time clock per EBC 13-415 (ABC) 1.4
- One usable 20 amp disconnect per sign per circuit per NEC 600.6(A) 1



Sign Type	Part Number	A	B	C	D	E	F	G	H	Sq. Ft. (4 Line)
LP-CL-G-3.6	TDB-CL-RMT-G-42	3'-6"	9'-8 3/4"	3'-10 15/16"	1'-5 9/16"	4'-10 3/16"	0'-11 9/16"	3"	3"	34.05



National Headquarters: 1077 West Blue Heron Blvd  
West Palm Beach Florida 33404  
800 772.7932  
www.atlasblw.com

Revisions

...	...
...	...
...	...

S01

SH  
TLD  
01.25.2024

2301 Nott Street East  
Niskayuna, NY 12309  
180835



Illuminated Shield  
(3) illuminated sides

Action:

- Remove Existing Non IL wall sign and LED Light bar.
- Patch, repair, and paint area.
- Manufacture and install (1) 3 illuminated sided internally illuminated wall cabinet flush to fascia.

Description:

- Face, left and right side faces are illuminated.
- Acrylic faces to be assembled with adhesive and acrylic rods.
- Left and right sides of Face to be secured to aluminum retainers.
- Top and bottom of sign to be capped with aluminum.
- Faces to have TD light green vinyl applied first surface.
- Entire face to be laminated with 3M 3660M Laminate.

Material & Color:

Vinyl: 3M 3630-5741 Light Green Translucent Vinyl (First Surface)

Entire face to be laminated with 3M 3660M

Face: 7328 White Acrylic

Paint : MP65220 R165605 TD Light Green (Satin Finish)

Illumination: White LED



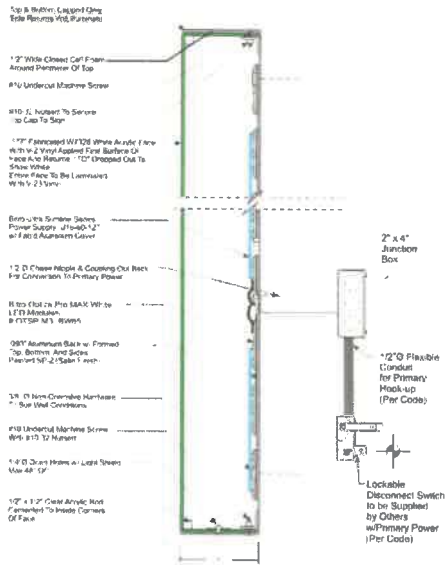
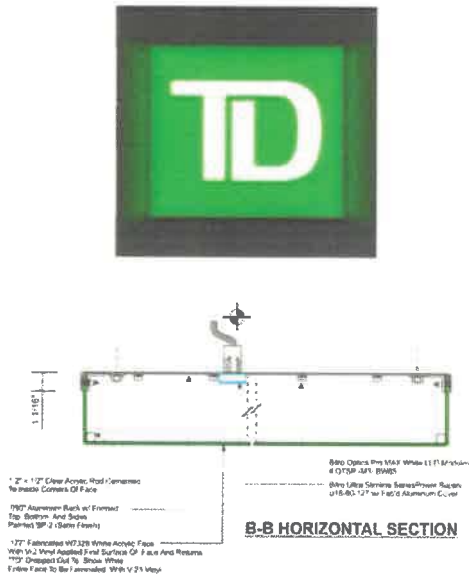
Existing



Proposed



Sign Type	Part Number	A	B	C	D	Sq. Ft.
3SS-5-LP	TD-3S-RMT-60	5'-0"	2'-10 15/16"	5'-7 1/16"	4"	27.86



National Headquarters: 1077 West Blue Heron Blvd  
West Palm Beach Florida 33404  
800.772.7932  
www.atlasblw.com

Revisions

1  
2  
3

S02

SH  
TLD  
01.25.2024

2301 Nott Street East  
Niskayuna, NY 12309

180835



2301 Nott Street East  
Niskayuna, NY 12309  
180835

Non Illuminated Directional

Action:

- Remove existing directional.
- Manufacture and install new DF directional sign.

Description:

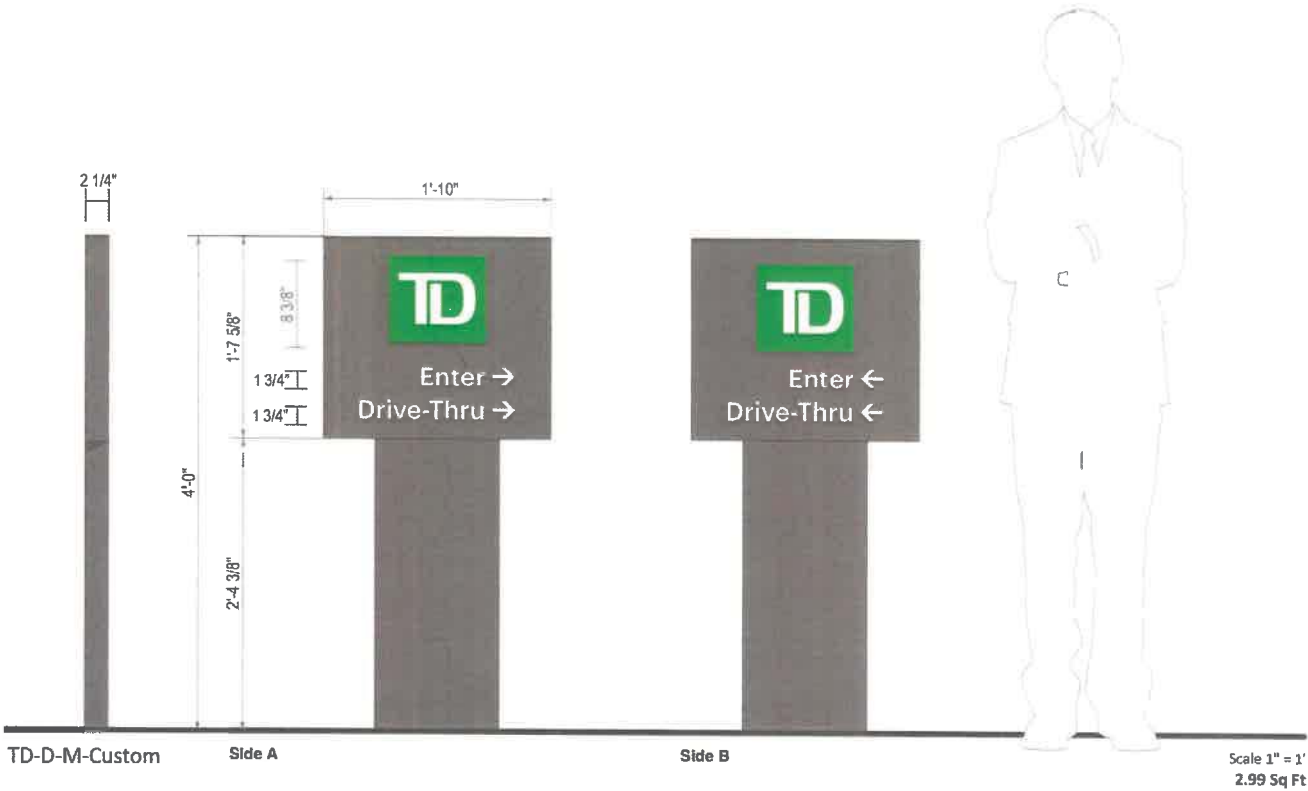
- Directional to be of 2" x 2" aluminum tube frame with aluminum skin painted to match Cloak Gray.
- Vinyl graphics to be applied to face.
- All fasteners to be countersunk screws and painted to match sign.
- Sign to be direct buried in concrete footing.

Material & Color:

- Paint: SW6278 Cloak Gray (Satin Finish)
- Vinyl: 3M 5000-10 Scotchlite Reflective White
- Vinyl: 3M U680-10 Scotchlite Reflective Film to match PMS 361C With 3M MCS approved injet inks



Existing directional to be removed



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:

Rev	Description	By	Date
001	Initial Design	SH	01/25/2024
002	Revised Design	TLD	01/25/2024
003	Final Design	TLD	01/25/2024

S04

PM: SH  
Drawn By: TLD  
Date: 01.25.2024

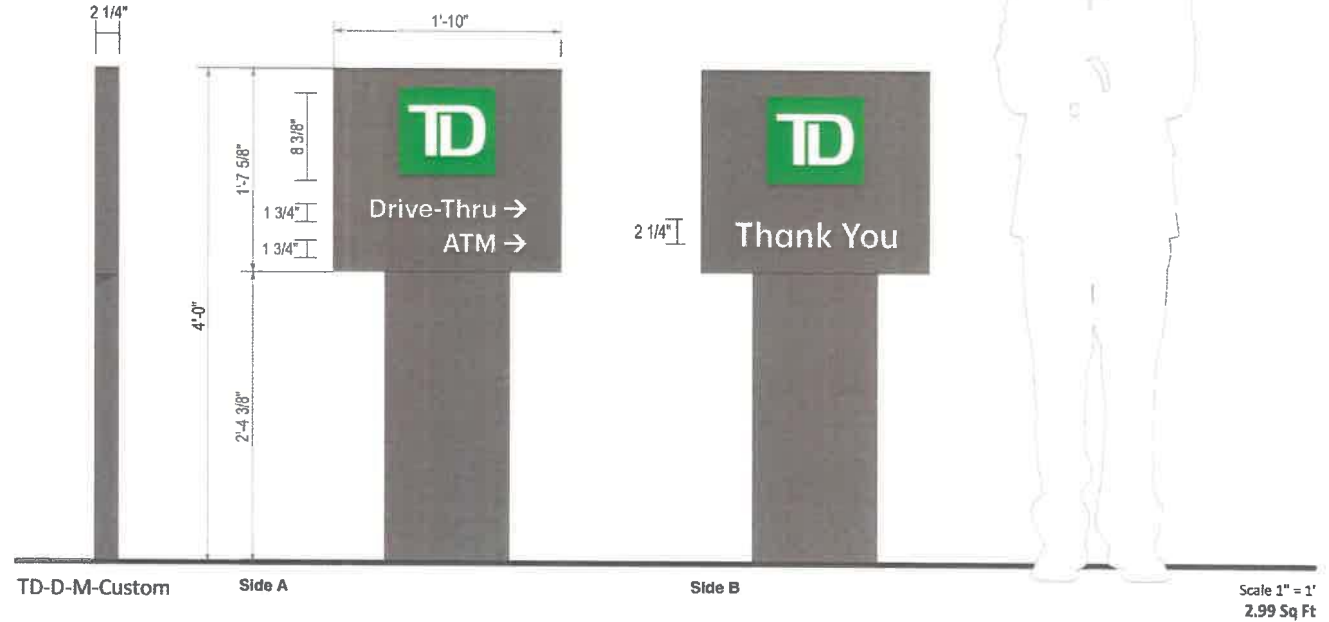
Address: 2301 Nott Street East  
City/State: Niskayuna, NY 12309  
Drawing Number: 180835

**Action:**

- Description:**

- Material & Color:**

Vinyl: 3M U680-10 Scotchlite Reflective Film to match PMS 361C  
With 3M MCS approved injet inks



Non Illuminated Directional

Action:

- Remove existing directional.
- Manufacture and install new DF directional sign.

Description:

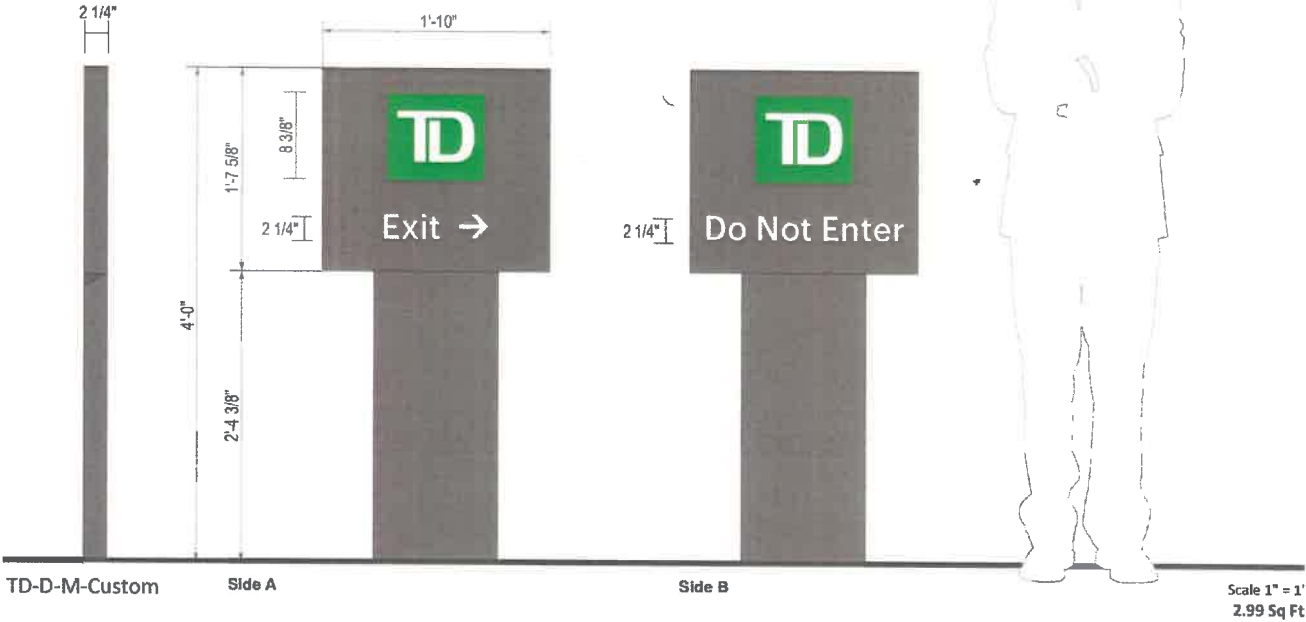
- Directional to be of 2" x 2" aluminum tube frame with aluminum skin painted to match Cloak Gray.
- Vinyl graphics to be applied to face.
- All fasteners to be countersunk screws and painted to match sign.
- Sign to be direct buried in concrete footing.

Material & Color:

- Paint: SW6278 Cloak Gray (Satin Finish)
- Vinyl: 3M 5000-10 Scotchlite Reflective White
- Vinyl: 3M IJ680-10 Scotchlite Reflective Film to match PMS 361C With 3M MCS approved injet inks



Existing directional to be removed



National Headquarters: 1077 West Blue Heron Blvd.  
West Palm Beach, Florida 33404  
800.772.7932  
www.atlasblw.com

Revisions:

REV	DESCRIPTION	DATE
001	Initial Design	01.25.2024
002	Revised Design	01.25.2024
003	Final Design	01.25.2024

S06

Drawn by: SH  
TLD  
Date: 01.25.2024

Address: 2301 Nott Street East  
Niskayuna, NY 12309  
Drawing Number: 180835



Monument | Tenant Vinyl

Action:

- Remove (2) vinyl from existing panels. Clean and remove any residue.
  - Manufacture and install (2) new vinyl graphics to existing panels.
- Vinyl Color to be verified in field.

Description:

- Translucent vinyl applied first surface to existing face.

Material & Color:

Vinyl: TBD (First Surface)



Existing



Proposed



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West Palm Beach, Florida 33404  
800.772.7932  
www.atlasbtw.com

Revisions:

NO.	DESCRIPTION	DATE
1	Initial Design	01.25.2024
2	Revised Design	01.25.2024
3	Final Design	01.25.2024

S07

PM: SH  
Drawn By: TLD  
Date: 01.25.2024

Address: 2301 Nott Street East  
City: Niskayuna, NY 12309  
Drawing Number: 180835

## Action:

- ## Material & Color:

■ Vinyl: 3M 3630-61 Slate Gray Translucent Vinyl (First Surface)

Technical drawing of a TD Bank sign. The sign is rectangular with a dark background. It features the TD logo (a green square with white 'TD' text) and the word 'Bank' in white. Dimensions are indicated: the sign is 1'-10" wide and 0'-7 1/8" high. A smaller section, likely the letter 'D' of the logo, is shown with a width of 1'-2 15/16" and a height of 0'-5 3/8".



BRANDING THE WORLD

**Revisions:**

[illegible]

PM: SH

Drawn By TLD

Date: 01.25.2024

Address 2301 Nott Street East

Niskayuna, NY 12309

Drawing Number 180835

2301 Nott St. E. TD Bank

Old Sign	Sign Type	Sign Size	Code Requirement	Frontage	New Sign	Sign Type	Sign Size	Description of Waiver Required
E01	Monument panel		NA	NA	S07	Monument panel	NA	NA
E02	Façade "TD"	17.6	220-48.4 Schedule I-D 1 sign per façade 1 sq. ft per liner ft. of frontage not to exceed 50 sq. ft.	50 ft.	S01	Façade "TD"	TD 13.7 sf Bank 7.1 sf	2 signs on 1 façade 70% of sign area - TD logo
E03	Façade "TD"	17.6	"	50 ft.	S02	Façade "TD"	28 sf	70% of sign area - TD logo
NA	NA	NA	"	65 ft.	S03	Façade "TD"	13.7 sf	70% of sign area - TD logo
E04	Directional: TD, Enter Drive Thru	2 sf 3 ft high	220-22 A (3) 3 sq. ft., 4 ft. high		S04	Directional: TD, Enter Drive Thru	3.0 sf 4 ft high	None
E05	Directional: TD, Drive-Thru, ATM	2 sf 3 ft high	220-22 A (3) 3 sq. ft., 4 ft. high		S05	Directional: TD, Drive-Thru, ATM	3.0 sf 4 ft high	None
E06	Directional: Exit	2 sf 3 ft high	220-22 A (3) 3 sq. ft., 4 ft. high		S06	Directional: Exit	3.0 sf 4 ft high	None
NA	NA	NA	NA		S08	Directional: TD Bank	1.1 sf	None



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 2

MEETING DATE: 4/29/2024

---

**ITEM TITLE:** DISCUSSION: 2333 Nott St. E. – Market 32 – An application for site plan approval for a tenant change including new signage.

**PROJECT LEAD:** Leslie Gold

**APPLICANT:** Kelly O'Neill, agent for the owner

**SUBMITTED BY:** Kelly O'Neill, agent for the owner

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Kelly O'Neill submitted a site plan application for a tenant change to a Market 32 grocery store at 2333 Nott St. E. The site was previously a Shop Rite grocery store until approximately 12/1/23.

At the 1/8/24 Planning Board (PB) meeting, the applicant agreed to pursue approval of signage for the Market 32 store independently from tenant change approval. At their regularly scheduled meeting on 1/22/24 the PB granted the tenant change with PB Resolution 2024-04. Please refer to the agenda statement for the 1/22/24 PB meeting for all background information regarding that action.

An updated signage package was received and reviewed by the Planning Office resulting in the comments included herein.

**COMPREHENSIVE PLAN**

The proposed application complies with the Economic Development section, beginning on page 73, of the 2013 Niskayuna Comprehensive Plan.

**BACKGROUND INFORMATION**

The property is located in a Planned Development District (PDD) within the C-N Neighborhood Commercial zoning district and Town Center Overlay District (TCOD). Grocery stores are allowable uses in the PDD.



The following documents were provided with the site plan application.

1. A 15-page drawing set entitled “Price Chopper P North (SR) Niskayuna, 2333 Nott Street East, Niskayuna, NY 12309 US” by Saxton Sign Corp dated 4/26/24 with no subsequent revisions.
2. A 1-page drawing entitled, “Exterior Building Elevations Painting and Signage Scope of Work” by Price Chopper, Golub Corporation, Engineering Department 461 Nott St. Schenectady, NY12308 dated 4/26/24 with no subsequent revisions.

## RELEVANT SECTIONS OF THE ZONING CODE

- Schedule I-D Column 7 Permitted Signs states, “For each linear foot of building frontage, 1 square foot of sign area shall be permitted...Under no circumstances shall any 1 sign exceed 50 square feet.”
- Section 220-22 A (3) states, “Directional signs, such as entrance, exit, etc., shall be of a size not to exceed three square and not to exceed four feet in height above the existing grade of the street unless specified in this chapter.”
- Section 220-48.4 E (9) states, “Number of signs. A maximum of one façade sign per use is permitted, except that a use fronting on two streets may have one sign for each building front...”

## SUMMARY OF PLANNING OFFICE SIGNAGE REVIEW

### Top level comparison

The Planning Office analyzed the signage proposed for the Market 32 at 2333 Nott St. E. relative to signage approved for the previous tenant at that address (Shop Rite), and the existing signage at the Market 32 on Balltown Rd. in Mohawk Commons. A table showing the frontage, number of façade signs on the main façade and the total sign area for each location is included below.

Name	Address	Frontage (ft.)	No. of Façade Signs (main façade)	Total Sign Area (sq. ft.)
Market 32	2333 Nott St. E.	281	13	223.28
Shop Rite	2333 Nott St. E.	281	7	152.95
Market 32	Balltown Rd. MC	343	13	257.82

**Description of proposed sign waivers for Market 32 at 2333 Nott St. E.**

A. Façade Signs – a total of 13 façade signs are proposed resulting in the need for 13 variances as shown in the table below.

No.	Description	Size (sq. ft.) South Elevation (Nott St.)	Size (sq. ft.) Plaza Corner Monument (Nott St.)	Size (sq. ft.) Plaza Corner Monument (Balltown)	Schedule I-D Column 7 Variance Required (sign area)	Schedule I-D Column 7 Variance Required (sign > 50 sq. ft.)	Section 220-48.4 E (9) Variance Required (number of signs)
1a	Market 32 Place			44.71			
1b	Market 32 Place		44.71				
2	Market 32	124.50				74.5 sq. ft.	
3	Grocery Pickup	9.72					1
4	Dairy	3.50					1
5	Recycling Center	11.18					1
6	Bakery	4.50					1
7	Deli	2.27					1
8	Butcher	4.80					1
9	Seafood	4.80					1
10	Foodfare	5.30					1
11	Florist	4.40					1
12	Welcome	40.25					1
13	Produce	5.40					1
14	Café	2.66					1
	<b>TOTAL</b>	<b>223.28</b>	44.71	44.71	0	1	12

**Market 32 is requesting the following waivers**

- ***A waiver for 13 new façade signs on the South (Nott St.) façade***
- ***A waiver for 74.5 sq. ft. of sign area for the Market 32 façade sign measuring 124.50 sq. ft. on the South (Nott St.) façade***
- ***A waiver allowing 6 directional signs measuring 6 ft. above grade***

The Planning Board should review and discuss the requested signage waivers relative to the reference data included on the following page.

## BACKGROUND / REFERENCE APPROVALS

### Shop Rite Signage – Approved 7/26/11

- Approximate building frontage = 281'
- Approximate square footage of façade signage / linear ft. of building frontage = 0.54
- Waiver granted allowing 152.95 sq. ft. of total façade signage (waiver of 102.95 sq. ft.)
- Waiver granted allowing 7 façade signs (waiver of 6 façade signs)
- Waiver granted allowing 82.4 sq. ft. of Shop Rite Script façade sign (waiver of 32.4 sq. ft.)

	Sign Name	Size (sq. ft.)	Waiver (sq. ft.)
1	Bottle Return	11.25	
2	Circle logo	15.9	
3	Entrance	7.5	
4	Shop Rite script (reduced from 140.1 sq. ft.)	82.4	82.4 – 50 = 32.4
5	Circle logo	15.9	
6	Pharmacy department within	12.5	
7	Entrance	7.5	
Total		152.95	152.95 – 50 = 102.95

### Market 32 Signage – Mohawk Commons Store (C-S Shopping Center Commercial District)

- Approximate building frontage = 343'
- Approximate square footage of façade signage / linear ft. of building frontage = 0.75
- Waiver granted allowing 11 façade signs on the front façade (waiver of 10 façade signs)
- Waiver allowing a 175.6 sq. ft. façade sign (125.6 sq. ft. waiver)
- Waiver allowing 257.82 total sq. ft. of façade signage (207.82 sq. ft. waiver)
- Waiver allowing a 118.125 sq. ft. sign (68.125 sq. ft. waiver)

	Sign Name	Size (sq. ft.)	Waiver (sq. ft.)
1	Market	175.6	125.6 (175.6 – 50)
2	Welcome	22.45	
3	Florist	4.4	
4	Butcher	4.8	
5	Dairy	3.5	
6	Seafood	4.8	
7	Produce	5.4	
8	Bakery	4.5	
9	Deli & Cheese	7.5	
10	Food Fare	5.3	
11	Pharmacy +	19.57	
Total		257.82	207.82 (257.82-50)
12	Market (West)	118.125	68.125 (118.125-50)
Total		118.125	



# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

Name Saxton Sign Corp

Address 1320 Rt 9  
Castleton, NY 12033

Email DKATZ@SAXTONSIGN.COM

Telephone 518-754-2026 Fax \_\_\_\_\_

### Location:

Number & Street 2333 NOTT ST

Section-Block-Lot \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Zoning District \_\_\_\_\_

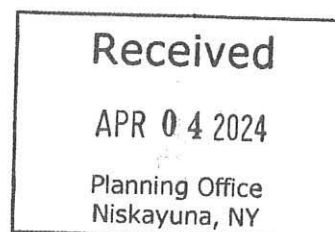
### Proposal Description:

Installation of new signage for the re-branding  
of Price chopper to Market 32

Signature of applicant: [Signature] Date: 4/3/24

Signature of owner (if different from applicant): \* ATTACHED \*

Date: 4/3/24





**Each site plan application shall be accompanied by:**

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.



From:

Thomas Lee, Price Chopper Design Project Manager

The exterior building signage and pylon sign as shown in the attached drawing as produced by Saxton Signs is approved by Thomas Lee, Design Project Manager. On behalf of Price Chopper/Market 32, I hereby give Saxton Sign permission to obtain the signage permit.

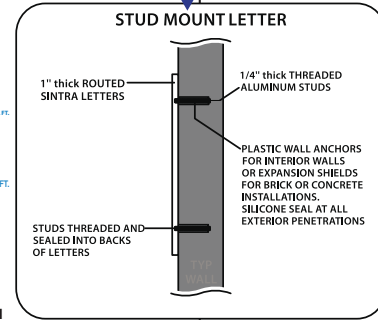
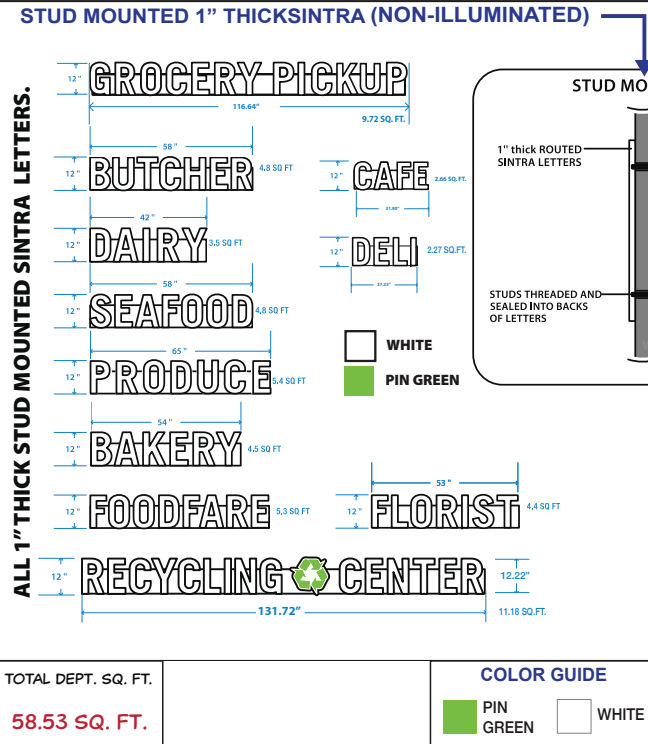
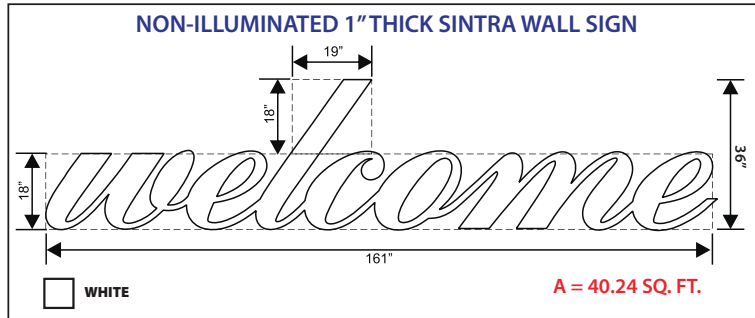
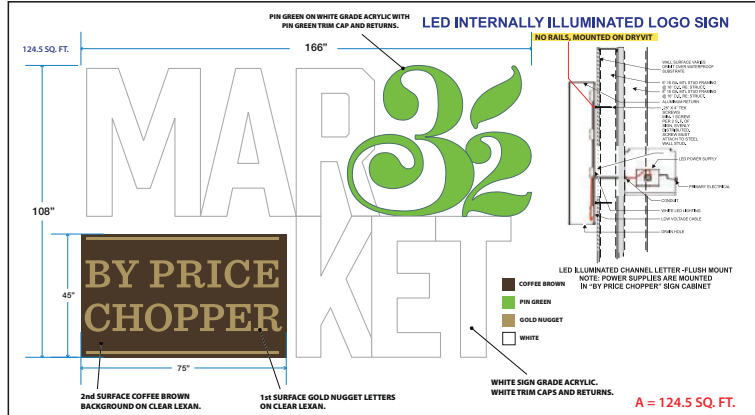
Thomas Lee  
Design Project Manager

STATE OF NEW YORK                    )  
COUNTY OF SCHENECTADY        )    SS.:

On the 22<sup>nd</sup> day of July in the year 2021 before me, the undersigned a Notary Public in and for said state personally appeared Thomas Lee and personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual executed the instrument.

Notary Public

CARRIE TERRAFERMA  
Notary Public, State of New York  
No. 01TE6192413  
Qualified in Albany County  
Commission Expires September 2, 2024



**DESCRIPTION:**

QTY (1) Set of 108"H - "Market 32" LED internally Lit Letters (No Rails, mounted on Dryvit) w QTY (1) 45" x 75" - "By Price Chopper" Box Sign

QTY (1) Set of 18" - 1" Thick Sintra "Welcome" Script Letters

QTY (1) Set of 12" - 1" Thick Sintra "GROCERY PICKUP" Letters

QTY (1) Set of 12" - 1" Thick Sintra "DAIRY" Letters

QTY (1) Set of 12" - 1" Thick Sintra "RECYCLEING CENTER" Letters

QTY (1) Set of 12" - 1" Thick Sintra "BAKERY" Letters

QTY (1) Set of 12" - 1" Thick Sintra "DELI" Letters

QTY (1) Set of 12" - 1" Thick Sintra "BUTCHER" Letters

QTY (1) Set of 12" - 1" Thick Sintra "SEAFOOD" Letters

QTY (1) Set of 12" - 1" Thick Sintra "FOODFARE " Letters

QTY (1) Set of 12" - 1" Thick Sintra "FLORIST" Letters

QTY (1) Set of 12" - 1" Thick Sintra "PRODUCE" Letters

QTY (1) Set of 12" - 1" Thick Sintra "CAFE" Letters



1-800-942-6366  
518.732-7704  
fax: 518.732-7716  
saxtonsign.com

**CLIENT:**  
Price Chopper P  
North (SR) Niskayuna

**JOB LOCATION:**  
2333 Nott Street East  
Niskayuna, NY 12309 US

**CUSTOMER APPROVAL**

**DATE**

THIS ORIGINAL DRAWING AND DESIGN IS THE PROPERTY OF SAXTON SIGN CORPORATION AND MAY NOT BE DUPLICATED OR REPRODUCED IN WHOLE OR IN PART AS A DRAWING OR SIGN WITHOUT WRITTEN PERMISSION FROM SAXTON SIGN CORP.



**DATE:** 4/26/24  
**FOLDER:** Drawings/Pat/Market 32/  
**FILE NAME:**  
231485-06 Exterior Signs  
**REVISION:**  
**DRAWN BY:** Chelsea Meissner  
**SALESPERSON:** Pat Boni



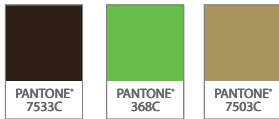




**DESCRIPTION:**  
 INSTALL (2) SETS  
 of MARKET 32  
 PLACE ILLUMINATED  
 CHANNEL LETTERS  
 O.A.S. 47.5" H X 142.5" W  
 MOUNTED ON DRIVET OVER  
 TILE WALLS



Target PMS  
 Colors to  
 Match:



TARGET VINYL COLOR GUIDE TO MATCH



PROPOSED



EXISTING



1-800-942-6366  
 518.732-7704  
 fax: 518.732-7716  
 saxtonsign.com

**CLIENT:**

Price Chopper P  
 North (SR) Niskayuna

**JOB LOCATION:**

2333 Nott Street East  
 Niskayuna, NY 12309 US

**CUSTOMER APPROVAL**

**DATE**

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**DATE:** 4/26/24

**FOLDER:** Drawings/Pat/Market 32/  
**FILE NAME:** 231485-04 More Exterior Signs

**REVISION:**

**DRAWN BY:** Chelsea Meissner

**SALESPERSON:** Pat Boni







SIGN B



**DESCRIPTION:**  
**INSTALL QTY (2)**  
 40.125\"H X 134.5\"W SINGLE FACE  
 ILLUMINATED SIGNS "MARKET 32  
 PLACE" MOUNTED BACK TO BACK  
 ON EXISTING MONUMENT SIGN.  
 LEXAN FACES WITH VINYL GRAPHICS.

SIGN C



**DESCRIPTION:**  
**INSTALL QTY (2)** 28.25\"H X 86.5\"W SINGLE FACE  
 ILLUMINATED SIGNS "MARKET 32 PLACE"  
 MOUNTED BACK TO BACK ON EXISTING  
 MONUMENT SIGN. LEXAN FACES WITH  
 VINYL GRAPHICS.

SIGN D



**DESCRIPTION:**  
**INSTALL QTY (2)** 27.625\"H X 84.5\" (CUT SIZE)  
 "MARKET 32 PLACE" LEXAN FACES  
 FOR EXISTING MONUMENT SIGN.  
 LEXAN FACES WITH VINYL GRAPHICS.



1-800-942-6366  
 518.732-7704  
 fax: 518.732-7716  
 saxtonsign.com

**CLIENT:**

Price Chopper P  
 North (SR) Niskayuna

**JOB LOCATION:**

2333 Nott Street East  
 Niskayuna, NY 12309 US

**CUSTOMER APPROVAL****DATE**

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**DATE:** 4/26/24

**FOLDER:** Drawings/Pat/Market 32/  
**FILE NAME:**

231485-04 More Exterior Signs

**REVISION:**

**DRAWN BY:** Chelsea Meissner

**SALESPERSON:** Pat Boni





**DESCRIPTION:**  
**QTY (4) 13.25\"H x 39.5\"W**  
**Dibond Signs mounted back to back on**  
**QTY (1) Double-face entrance and**  
**QTY (1) Double-face exit signs.**



Target PMS  
Colors to  
Match:



**1-800-942-6366**  
**518.732-7704**  
**fax: 518.732-7716**  
**saxtonsign.com**

**CLIENT:**

**Price Chopper P**  
**North (SR) Niskayuna**

**JOB LOCATION:**

**2333 Nott Street East**  
**Niskayuna, NY 12309 US**

**CUSTOMER APPROVAL**

**DATE**

THIS ORIGINAL DRAWING AND DESIGN IS THE PROPERTY OF SAXTON SIGN CORPORATION AND MAY NOT BE DUPLICATED OR REPRODUCED IN WHOLE OR IN PART AS A DRAWING OR SIGN WITHOUT WRITTEN PERMISSION FROM SAXTON SIGN CORP. ©

**DATE:** 4/26/24

**FOLDER:** Drawings/Pat/Market 32/

**FILE NAME:**  
**231485-04 More Exterior Signs**

**REVISION:**

**DRAWN BY:** Chelsea Meissner

**SALESPERSON:** Pat Boni





Overall Site Plan



## 047 NOTT STREET MARKET 32 - ENLARGED SITE PLAN



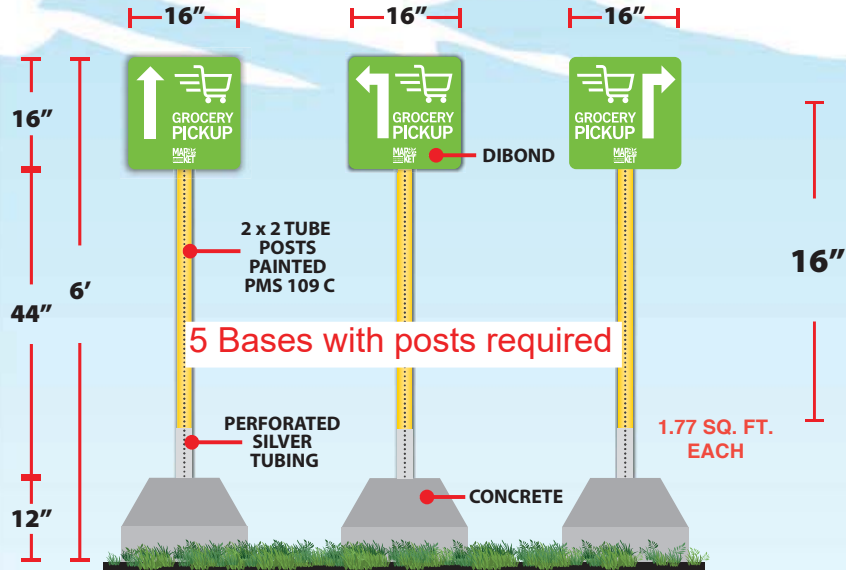






# 047 NOTT STREET MARKET 32 - GROCERY PICKUP PARKING STALL SIGNS

PAGE 9



## DESCRIPTION:

(6) Single-face 16"H x 16"W x 1/8" Thick Dibond signs with 1" Radius Rounded corners. Mount signs to separate aluminum 2" x 2" tube posts, painted PMS 109 C. Order yellow dibond for yellow backs.

### COLOR GUIDE

	PIN GREEN PMS 368 C		WHITE
	PMS 109 C		BLACK



1-800-942-6366  
518.732-7704  
fax: 518.732-7716  
saxtonsign.com

CLIENT:  
MARKET 32

JOB LOCATION:

CUSTOMER APPROVAL

DATE

THIS ORIGINAL DRAWING AND DESIGN IS THE PROPERTY OF SAXTON SIGN CORPORATION AND MAY NOT BE DUPLICATED OR REPRODUCED IN WHOLE OR IN PART AS A DRAWING OR SIGN WITHOUT WRITTEN PERMISSION FROM SAXTON SIGN CORP.

DATE: 4/26/24  
FOLDER: Drawings/Pat/Market 32  
FILE NAME:  
Pick-Up Dibond Signs 3  
REVISION:  
DRAWN BY: CM  
SALESPERSON: PB





## 047 NOTT STREET MARKET 32 - GROCERY PICKUP PARKING STALL SIGNS



Typical Grocery Pickup Parking Stall Sign



**1**

# GROCERY PICKUP RESERVED

The green section of the sign is 25" tall

The overall sign is 36" tall x 12" wide  
The material we print these on is E-Panel also know as DiBond

Let us know you're here.  
Use the app or call

**518-769-9410**

The white section of the sign is 11" tall

Phone number changes based on store location



**DATE: 4/26/24**

2

# GROCERY PICKUP RESERVED

Let us know you're here.  
Use the app or call

**518-769-9410**



Phone number  
changes based on  
store location

**DATE: 4/26/24**

3

GROCERY  
PICKUP  
RESERVED

Let us know you're here.  
Use the app or call

518-769-9410

Phone number  
changes based on  
store location



DATE: 4/26/24

4

# GROCERY PICKUP RESERVED

Let us know you're here.  
Use the app or call

**518-769-9410**

Phone number  
changes based on  
store location



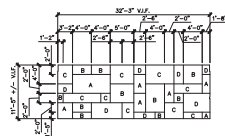
**DATE: 4/26/24**



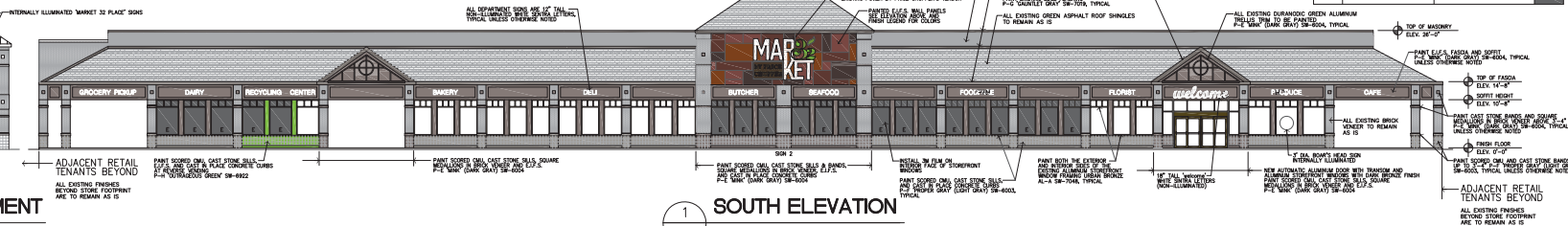


The overall sign is 36" tall x 12" wide.  
The bottom of the pole mounted sign in the planted island to be at 7'-3" above the grade to match the current existing signs in this site

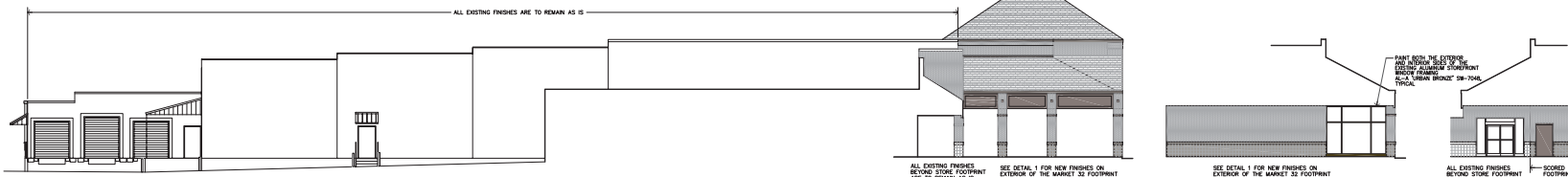




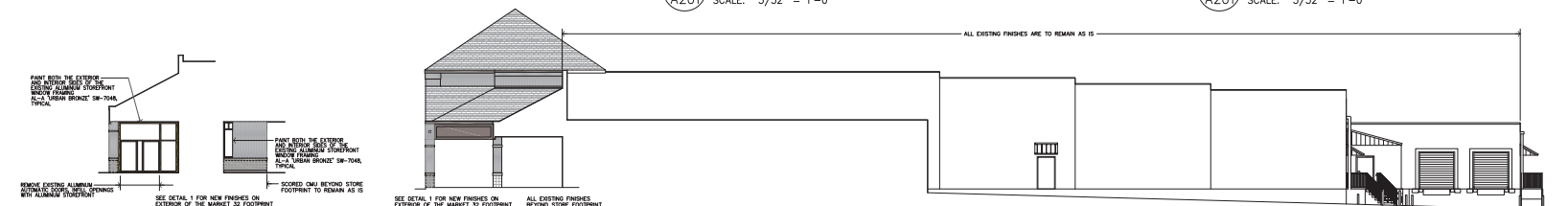
(A201) SCALE:  $3/32" = 1'-0"$



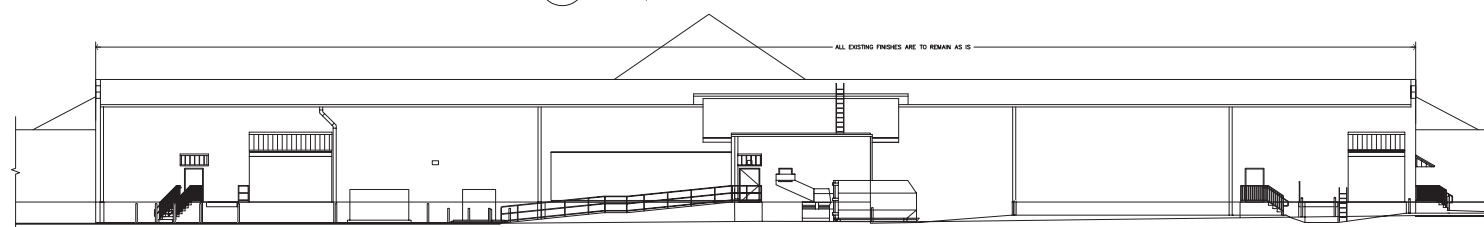
SCALE:  $3/32" = 1'-0"$



(A201) SCALE:  $3/32" = 1'-0"$



3A PARTIAL EAST  
A201 SCALE: 3/32" = 1'-0"



A201 SCALE:  $\frac{3}{32}'' = 1'-0''$

EXTERIOR INSULATION FINISH SYSTEM COLORS			
KEY		COLOR	
A	DRYVT SYSTEMS - E.A.F.S.	PMS 725 (R08 125,64,22)	
B	DRYVT SYSTEMS - E.A.F.S.	SW6593 275-06 RUSTIC RED	
C	DRYVT SYSTEMS - E.A.F.S.	SW6505 FIDKY BROWN	
D	DRYVT SYSTEMS - E.A.F.S.	SW2735 252-C1 ROOKWEE	
E	3M BRIDGEM DLM	BLACK/GRY	

3	GROCERY GROUP	1	9.72 S.F.
4	DAIRY	1	3.50 S.F.
5	RECYCLING CENTER	1	11.18 S.F.
6	BAKERY	1	4.50 S.F.
7	DELI	1	2.27 S.F.
8	BUTCHER	1	4.80 S.F.
9	SEAFOOD	1	4.80 S.F.
10	FOODFARE	1	5.30 S.F.
11	FLORIST	1	4.40 S.F.
12	WELCOME	1	40.25 S.F.
13	PRODUCE	1	5.40 S.F.
14	CAFE	1	2.66 S.F.
15	BOAT'S HEAD	1	9.00 S.F.
TOTAL		16	121.30 S.F.

[illegible]

Drawing Title: **EXTERIOR BUILDING ELEVATIONS PAINTING AND SIGNAGE SCOPE OF WORK**  
 DATE: 04.23.24  
 SCALE: AS NOTED  
 PROJECT # 047-01  
 DRAWN BY: T. LEE  
 APPROV BY:

A201

RESOLUTION NO. 2024-04

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 22ND DAY OF JANUARY 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
CHRIS LAFLAMME  
DAVID D'ARPINO  
~~LESLIE GOLD~~  
NANCY STRANG  
SARAH BILOFSKY  
EHASUYI GOMES

**FILED  
TOWN OF NISKAYUNA**

JAN 23 2024

**MICHELE M MARTINELLI  
TOWN CLERK**

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Ms. Strang,  
whom moved its adoption, and seconded by Mr. D'Arpino.

WHEREAS, Kelly O'Neill has made an application to the Planning Board and Zoning Commission for site plan approval for tenant change at 2333 Nott St. E. to a Market 32 grocery store as described in the Application for Site Plan Review form and accompanying documentation package listed below, and

WHEREAS, the property is located in a Planned Development District (PDD) within the C-N Neighborhood Commercial zoning district and the Town Center Overlay District (TCOD). Grocery stores are permitted principal uses in the PDD, and

WHEREAS, the proposed tenant change complies with the Economic Development section of the 2013 Niskayuna Comprehensive Plan, and

WHEREAS, the following documents were provided with the site plan application.

1. An 11-page slide set of marked up colored renderings of the site with notes addressing the following topics:
  - a. Page 1 - parking lot - sidewalks, crosswalks and landscaping
  - b. Page 2 - parking lot - grocery pickup and way finding signage



- c. Page 3 – parking lot – parking spaces, grocery pickup parking spaces, shopping cart corral locations and parking lot lighting
  - d. Page 4 – parking lot – new main entrance, cross walk striping and stop sign
  - e. Page 5 – parking lot – new main entrance, cross walk striping and stop sign
  - f. Page 6 – dimensioned grocery pickup parking stall signs
  - g. Page 7 – picture of a typical pickup parking stall sign, pole and base
  - h. Page 8 – drawing of a typical grocery pickup parking stall sign (w/dimensions)
  - i. Page 9 – drawing of a typical grocery pickup parking stall sign “2”
  - j. Page 10 – drawing of a typical grocery pickup parking stall sign “3”
  - k. Page 11 – drawing of a typical grocery pickup parking stall sign “4”
2. A 1-page drawing entitled “Exterior Building Elevations Painting and Signage Scope of Work, Price Chopper 2333 Nott Street East, Niskayuna NY 12309” by Golub Corporation Engineering Department 461 Nott Street Schenectady NY 12308 dated 11/29/23 with no subsequent revisions.
  3. A 1-page drawing with a file name including “demo work” and entitled “EQD1, General Equipment Plan – Proposed – Not For Construction, Price Chopper “Niskayuna” 2333 Nott Street East, Niskayuna, NY 12309” by Golub Corporation Engineering Department 461 Nott Street Schenectady, NY 12308 dated 11/28/23 with no subsequent revisions.
  4. A 1-page drawing with a file name including “new plan” and entitled “EQ01, General Equipment Plan – Proposed – Not For Construction, Price Chopper “Niskayuna” 2333 Nott Street East, Niskayuna, NY 12309” by Golub Corporation Engineering Department 461 Nott Street Schenectady, NY 12308 dated 11/28/23 with no subsequent revisions.

WHEREAS, the Planning Board referred this application to the Town’s Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, the Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves the site plan with the following conditions:

1. Outdoor storage: No outdoor storage or obstructions shall be allowed on the sidewalk between the main grocery store entrance and the secondary grocery store entrance to protect pedestrian passageway through the plaza.
2. Crosswalks: Prior to completion of the building permit, crosswalks shall be striped in the 6 locations identified by the Planning Office in the aerial map provided to the applicant labeled Nott Street Site Plan.
3. Sidewalks: Prior to completion of the building permit, the missing section of sidewalk between the parking lot and Nott Street East, identified by the Planning Office in the aerial map provided to the applicant labeled Nott Street Site Plan, shall be installed to the satisfaction of the Planning Office.
4. Landscaping: Prior to completion of the building permit – the applicant shall supply a landscaping plan for review and approval by the Tree Council. The landscaping beds in front of the proposed Market 32 should be refreshed; dead or severely distressed trees within the property should be removed, and any removed trees should be replanted.
5. Signage: This resolution is for tenant change only. The Planning Board shall review and approve any proposed signage and façade color changes at a later date.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN -- Aye  
GENGHIS KHAN -- Aye  
CHRIS LAFLAMME -- Aye  
DAVID D'ARPINO -- Aye  
~~LESLIE GOLD~~  
NANCY STRANG -- Aye  
~~SARAH BILOFSKY~~  
EHASUYI GOMES -- Aye

The Chairman declared the same duly adopted.



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

---

AGENDA ITEM NO. VIII. 3

MEETING DATE: 4/29/24

---

**ITEM TITLE:** DISCUSSION: 3359 Consaul Rd. – Ingersoll Place – An application for site plan review for a new pavilion.

**PROJECT LEAD:** TBD

**APPLICANT:** Caroline Thompson

**SUBMITTED BY:** Laura Robertson

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Caroline Thompson, a representative of Ingersoll Place, submitted an application for site plan review for the construction of a new 16' x 18' pavilion on their property at 3359 Consaul Road. The proposed location is adjacent to the pond and wildlife preserve making the pavilion an exciting new venue for resident activities.

The property lies within the R-1 Low Density Residential zoning district. Nursing homes are special principal uses in the district.

This is the applicant's first meeting with the Planning Board to present and review the project.

**COMPREHENSIVE PLAN**

The proposed action complies with the current (2013) Comprehensive Development Plan for the Town.

**BACKGROUND INFORMATION**

The following documents were provided with the application.

1. A 2-page document entitled "Ingersoll Place Description of Pavilion Project."
2. A 2-page snip taken from a survey drawing of the property.
3. 9 pages of pictures including an image of the proposed pavilion, site location and sightlines from various vantage points

#### 4. A short form EAF

The narrative included with the application includes the following details in support of the application.

- Their mission is to provide a supportive and nurturing environment for older adults
- Residents will be able to relax, enjoy the sights and sounds of nature and socialize with friends & family
- The pavilion will also serve as an exciting new venue for scheduled events and activities
- The pavilion will be located near their pond that borders the Henry Gerber Reist Wildlife Sanctuary
- An ADA-compliant walkway will like the existing East Wing Garden to the new pavilion
- Habitat-appropriate plants, flowers and shrubbery will flank the walkway
- The pavilion will provide covered seating for at least 15 individuals.
- Ingersoll Place is partnering with the Environmental Clearinghouse of Schenectady (ECOS) to provide educational programming to its residents. ECOS has already provided two education programs for residents: Trees Around You and Bees in Nature.
- The pavilion will only be seen by one neighbor (when all the leaves are down) and the parking lot of the O.D. Heck Center.
- There will not be any electricity or lighting at the pavilion
- To date they have received several grants to support the project.
  - The Carlilian Foundation \$9,000
  - JM McDonald \$6,000
  - The William Gundry Broughton Foundation \$5,000
  - Price Chopper / Market 32 \$1,000

Schedule I-B Column 5 for the R-1 zoning district lists the following Minimum Yard Dimensions: Front = 35', Side = 20', rear = 25'. The site plan drawing includes a hand drawn sketched-in location for the pavilion with a dimension of 20.6 ft. to the side property line.

Section 220-18 Accessory structures A General (3) states: "Unless otherwise specified, accessory structures shall not exceed 15 feet in height." The materials provided do not include a dimensioned drawing documenting the height of the pavilion.

The applicant is appearing before the Planning Board to present the project.





# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

### Location:

Name Caroline Thompson Number & Street 3359 Consaw Rd  
Address 3359 Consaw Rd Section-Block-Lot 60. - 1 - 14  
Schenectady, NY 12304  
Email Caroline@ingersollplace.com  
Telephone 518-370-4419 Fax 518-393-9410 Zoning District R-1

### Proposal Description:

To construct a 16x18 pavilion adjacent to our  
pond and the Reist Wildlife Preserve that will  
serve as an exciting new venue for scheduled  
events and activities and a place of beauty  
where residents can relax, enjoy the sights  
and sounds of nature, and socialize with  
family and friends.

Signature of applicant: Caroline Thompson Date: 4/2/24

Signature of owner (if different from applicant): \_\_\_\_\_

Date: \_\_\_\_\_

## **Ingersoll Place Description of Pavilion Project**

Ingersoll Place is a small, stand-alone, 86-bed assisted living and memory care facility located on Consaul Road in Schenectady. Ingersoll provides a family environment; sharing the deep affection and mutual respect of a close-knit community. The staff work together as a team; committed to and responsible for the well-being of each and every resident. Our mission is to provide a supportive and nurturing environment for older adults who are unable to remain in their own homes due to physical limitations, mild to moderate cognitive impairment generally associated with aging and/or need assistance with activities of daily living.

We would like to construct a multi-purpose outdoor pavilion where residents can relax, enjoy the sights and sounds of nature and socialize with friends and family. The pavilion will also serve as an exciting new venue for scheduled events and activities.

Ingersoll Place has a pond that borders the Henry Gerber Reist Wildlife Sanctuary in Niskayuna. The Pavilion, to be located in proximity to the pond and wildlife sanctuary will provide residents, staff and visitors, especially those with mobility challenges, greater opportunity to enjoy green spaces, gardens, birds and other wildlife in a natural setting.

The Pavilion Project will expand resident engagement and learning opportunities with emphasis on the Reist Sanctuary, its geology, ecology and the diverse wildlife that dwells there. It will strengthen Ingersoll's role as an essential and innovative provider of elder care services. The project will feature an ADA-compliant walkway that links Ingersoll's existing East Wing Garden to the new pavilion which overlooks a small pond and the adjacent woodlands of the Reist Sanctuary. Habitat-appropriate plants, flowers and shrubbery will flank the walkway and create a visually appealing approach to the pavilion.

The pavilion, with covered seating for at least 15 individuals, in addition to lawn space accommodations, has been designed for use by individual residents as well as group gatherings as part of Ingersoll's extensive activities program. Anticipated new activities will include but are not limited to birdwatching, drawing/sketching sessions and presentations by local wildlife experts and nature enthusiasts.

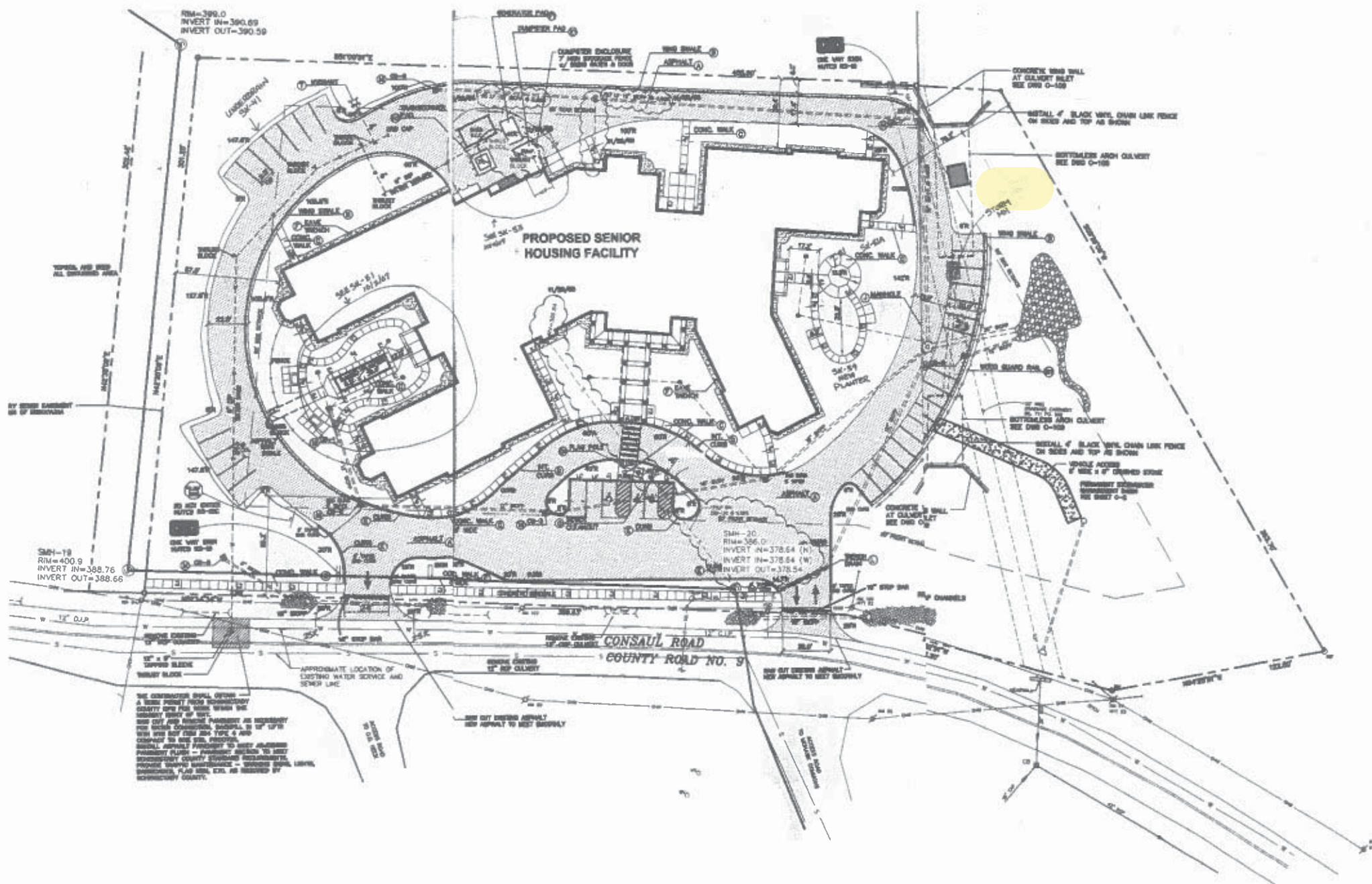
The presence of animals – both domestic and in the wild – plays a significant role in the health and wellbeing of most residents at Ingersoll Place. This observation is consistent with numerous studies that cite such benefits as reductions in stress, anxiety and loneliness, as well as heightened feelings of wellbeing. Tangible proof are the smiles, laughter and lively chatter of residents during their interactions with Oreo and Buttercup, Ingersoll's bunnies-in-residence, hands-on visits with the traveling petting zoo, therapy dogs and beloved family pets. Deer sightings, along with glimpses of herons, ducks, turkeys, foxes, turtles and more, are met with whoops of excitement by residents and staff, alike.

Ingersoll Place is partnering with the Environmental Clearinghouse of Schenectady (ECOS) to provide educational programming to its residents. ECOS has already provided two education programs for residents: **Trees Around You and Bees in Nature**. They will be providing additional programming once the pavilion is constructed and residents can gather in its space. ECOS provides these programs free-of-charge using nature-inspired volunteers.

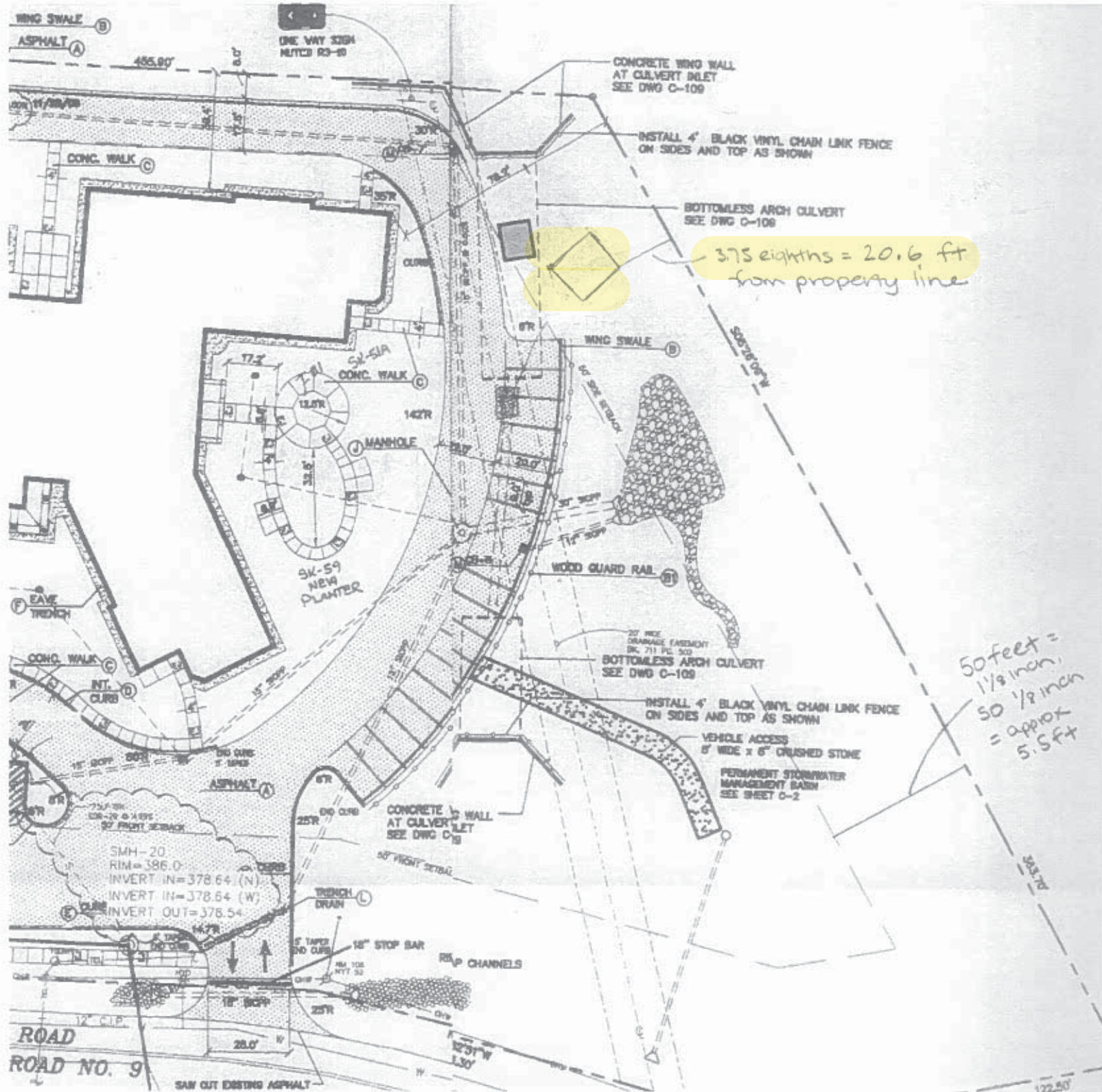
The pavilion would only be seen by one neighbor (when all the leaves are down) and the parking lot of the O.D. Heck Center. There will not be any electricity or lighting at the pavilion.

To date, we have received several grants to support this project. The Carlilian Foundation donated \$9,000, JM McDonald \$6,000, The William Gundry Broughton Foundation \$5,000 and Price Chopper/Market 32 \$1,000.









Magnified  
view of  
affected  
area

50 feet =  
1 1/8 inch,  
50 1/8 inch  
= approx  
5.5 ft





rendering of  
pavilion







360° view from  
pavilion site #1













3600 new from  
pavilion site  
#4

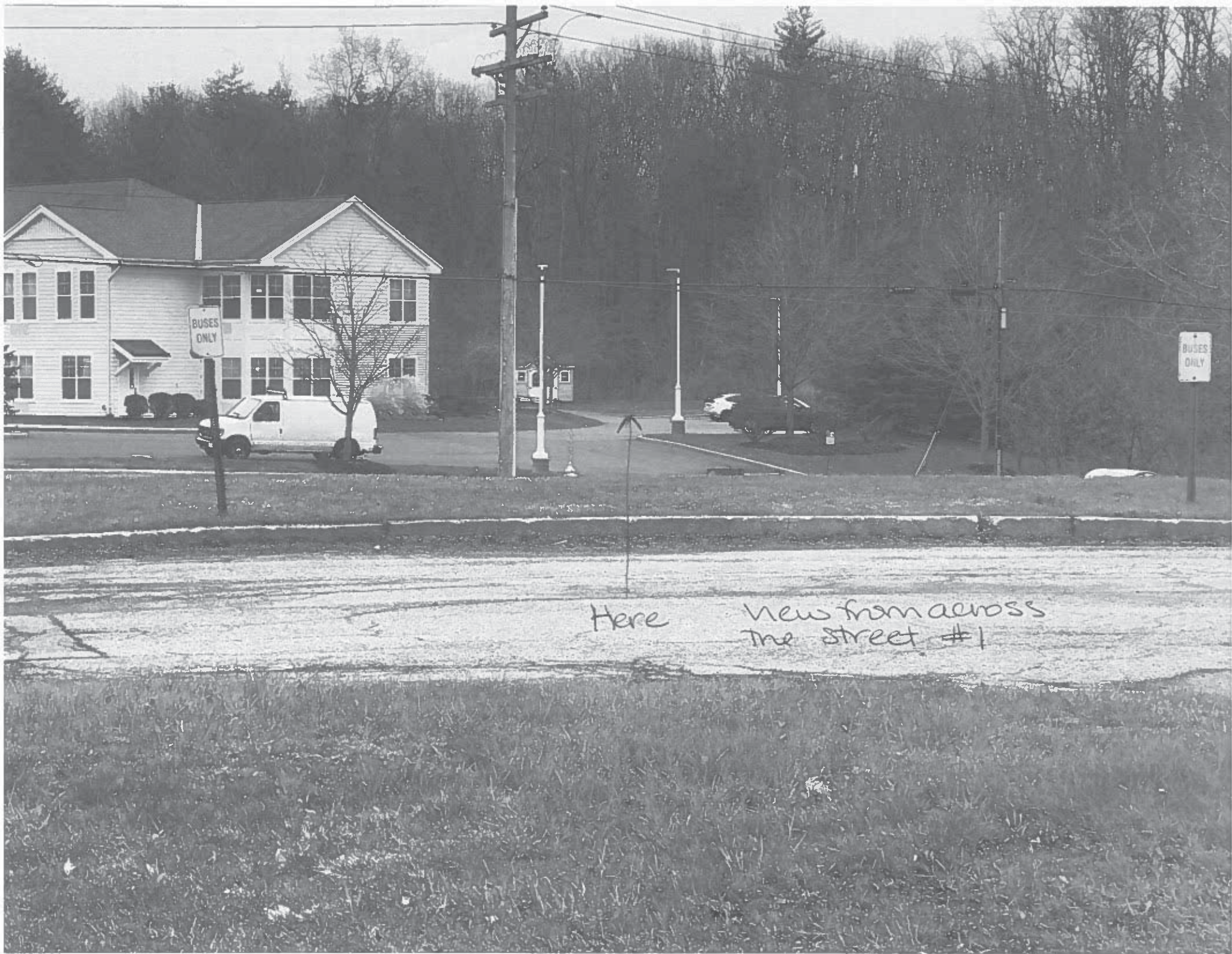




3600 new from  
pavilion site #5







Here view from across  
the street #1



View from  
across street  
# 2

here



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>							
Ingersoll Place Assisted Living Facility							
Name of Action or Project: Pavilion Installation Project							
Project Location (describe, and attach a location map): 3359 Consaul Rd. Schenectady NY 12304							
Brief Description of Proposed Action: Construct a 16' x 18' pavilion near the pond for the enjoyment of the residents.							
Name of Applicant or Sponsor: Caroline Thompson		Telephone: 518-370-4419					
		E-Mail: caroline@ingersollplace.com					
Address: 3359 Consaul Rd.							
City/PO: Schenectady (Niskayuna)		State: NY	Zip Code: 12304				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3. a. Total acreage of the site of the proposed action?		3.992 acres					
b. Total acreage to be physically disturbed?		0.01 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.992 acres					
4. Check all land uses that occur on, are adjoining or near the proposed action:							
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Bird Sanctuary							
<input type="checkbox"/> Parkland							



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies:			
No energy usage. _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
No potable water needed. _____			
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
No wastewater treatment required. _____			
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
_____			
_____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Camellie Thompson</u> Date: <u>4/19/24</u>		
Signature: <u>Camellie Thompson</u> Title: <u>Executive Director</u>		



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 4

MEETING DATE: 4/29/24

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**ITEM TITLE:** DISCUSSION: 2530 Balltown Rd. – Chinese Fellowship Church -- An application for site plan review for a 777 sq. ft. addition.

**PROJECT LEAD:** TBD

**APPLICANT:** TBD

**SUBMITTED BY:** Laura Robertson

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

A representative of the Chinese Fellowship Church submitted an application for site plan review for a 1-story 777 sq. ft. addition to the rear of the building at 2530 Balltown Rd.

The property lies within the R-P Residential and Professional zoning district. Places of worship, religious educational facilities, parish houses and rectories are special principal uses in the district.

This is the applicant's first meeting with the Planning Board to present and review the project.

**COMPREHENSIVE PLAN**

The proposed action complies with the current (2013) Comprehensive Development Plan for the Town.

**BACKGROUND INFORMATION**

The following documents were provided with the application.

1. A 1-page site drawing entitled "Chinese Fellowship Bible Church, 2530 Balltown Road, Niskayuna, NY 12309" by Keith A. Cramer, Architect dated 4/15/24 with no subsequent revisions.
2. A Short Form EAF



3. A 5-page drawing set entitled “Chinese Fellowship Bible Church, 2530 Balltown Road, Niskayuna, NY 12309” by Keith A. Cramer, Architect dated 4/15/24 with no subsequent revisions including elevation renderings, an interior floorplan and pictures of the existing building where the additional will be constructed.

The site plan application form notes that the proposed addition will include a kitchen.

The site plan drawing includes the following information for pre and post construction conditions.

No.	Description	Pre-construction	Addition	Post-construction	% of Total Lot
1	Building Area	13,808 SF	777 SF	14,585 SF	8.4
2	Paved Area	31,090 SF	330 SF	31,402 SF	18.2
3	Parking Spaces	64/59?	0	64/59?	NC

Chapter 220-4 Definitions, defines “Floor Area, Gross” as “The sum of horizontal areas of a building, excluding unenclosed or unheated porches, unenclosed decks, unfinished basement areas or garages, measured from the exterior face of the exterior walls.”

Schedule I-C Column 6 Minimum Off-Street Parking Spaces requires “1 space for each 200 sq. ft. of floor area but not less than 1 space for each 4 seats where provided.” The site plan drawing provided with the application states that 64 parking spaces exist on the property although the Planning Office could only identify 59.

Design	Floor Area	Spaces Req'd.	Actual Spaces	Surplus / Deficit
Current	13,808	69	64/59	5/10
Addition	777	4	NA	NA
As Proposed	14,585	73	64/59	9/14

The applicant is appearing before the Planning Board this evening to present the project and answer any questions that arise.

**TOWN OF NISKAYUNA**  
*Application for Site Plan Review*

**Applicant (Owner or Agent):**

Name CHINESE FELLOWSHIP BIBLE CHURCH

Address 2530 BALLTOWN RD  
NISKAYUNA, NY 12209

Telephone 518.381.6752 Fax SAME

**Location:**

Number & Street 2530 BALLTOWN RD.

Section-Block-Lot 40,-1-2.1 -       

Zoning District RP

**Proposal Description:**

777 SF ADDITION, 1-STORY, KITCHEN, ON REAR SIDE OF BUILDING.

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**Each site plan application shall be accompanied by:**

1. Twelve (12) site plan maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A lighting plan showing the lighting distribution of existing or proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. Six (6) copies of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review", of the Code of the Town of Niskayuna.

4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **two hundred dollars (\$200.00)** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Signature of applicant: Kyle L. Yarn Date: APRIL 17, 2024

Signature of owner (if different from applicant): [Signature]

Date: 4/17/24



AREA = 3.97 AC, 172,933 SF

EXISTING BUILDING TOTAL AREA: +/- 13,808 SF, 8%  
PROPOSED ADDITION: 777 SF, 0.4%

PROPOSED TOTAL BUILDING AREA: +/- 14,585 SF, 8.4%

EXISTING PAVED AREA: +/- 31,090 SF, 18%

PROPOSED NEW SIDEWALK/PAVED AREA: +/- 330 SF, 0.2%

PROPOSED TOTAL PAVED AREA: +/- 31,420 SF, 18.2%

EXISTING GREEN SPACE: +/- 128,035 SF, 74%

PROPOSED GREEN SPACE: +/- 126,928 SF, 73%

OWNER: CHINESE FELLOWSHIP BIBLE CHURCH  
2530 BALLTOWN ROAD, NISKAYUNA, NY 12309  
C/O KYLE YAU (518) 381-6752

TAX ID #: 40-1-2.1

SWIS: 422400

LOT SIZE: 560.96'x66.85'x303.87'x424.7' NORTH LINE;  
172,933 SF, 3.97 AC-NO CHANGE

PROPERTY CLASS: 620- RELIGIOUS

SITE: COM 1

ZONING: RP

NEIGHBORHOOD: 42001- NOTT/BALLTOWN

CONSTRUCTION TYPE: V-B; NO CHANGE

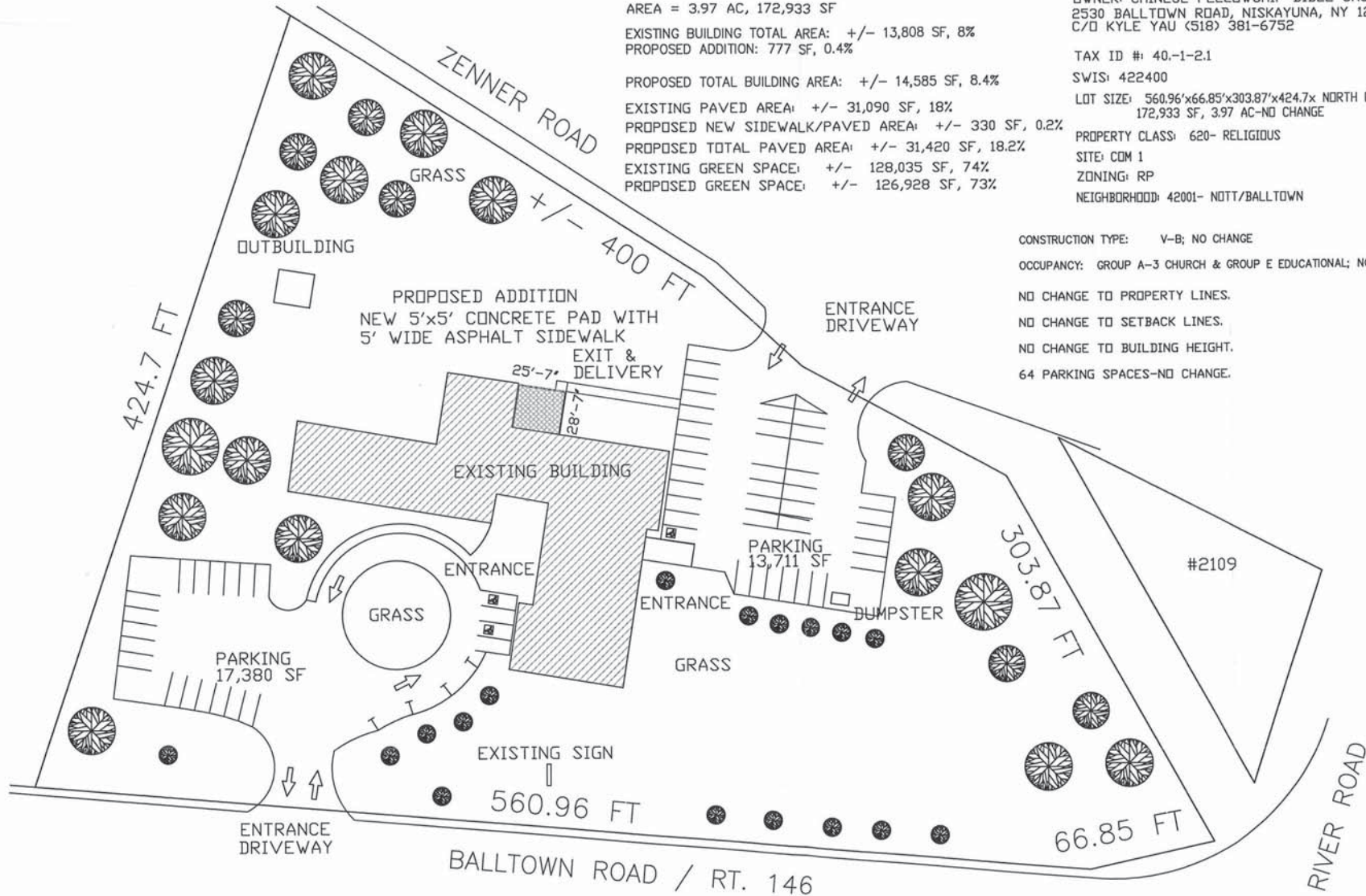
OCCUPANCY: GROUP A-3 CHURCH & GROUP E EDUCATIONAL; NO CHANGE

NO CHANGE TO PROPERTY LINES.

NO CHANGE TO SETBACK LINES.

NO CHANGE TO BUILDING HEIGHT.

64 PARKING SPACES-NO CHANGE.



SITE PLAN

BASED ON TAX MAPS & SURVEY BY:  
C.T. MALE ASSOC. 1/15/88

KEITH A. CRAMER, ARCHITECT  
95 HURST AVE., ALBANY, NY 12208  
(518) 438-8352  
cramerkeith@msn.com

CHINESE FELLOWSHIP BIBLE CHURCH  
2530 BALLTOWN ROAD  
NISKAYUNA, NY 12309

DATE:  
APRIL 15, 2024  
REVISED:

SCALE:  
1"=50'

SHEET:  
S1  
OF 1

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

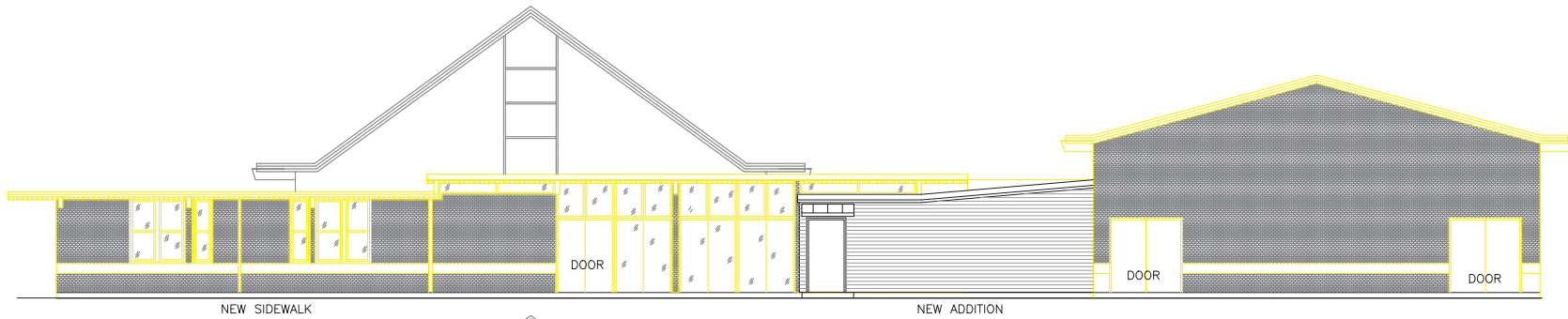
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
CHINESE FELLOWSHIP BIBLE CHURCH			
Name of Action or Project: NEW ADDITION FOR KITCHEN			
Project Location (describe, and attach a location map): 2530 BALLTOWN ROAD, NISKAYUNA, NY 12309			
Brief Description of Proposed Action: 777 SQ FT ADDITION TO EXISTING BUILDING, 1-STORY, SLAB-ON-GRADE, STEEL STUD CONSTRUCTION.			
Name of Applicant or Sponsor: CHINESE FELLOWSHIP BIBLE CHURCH		Telephone: 518.381.6752	
		E-Mail: KYLEYAU@ICLOUD.COM	
Address: 2530 BALLTOWN ROAD			
City/PO: NISKAYUNA		State: NY	Zip Code: 12309
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<div>NO YES</div> <div><input checked="" type="checkbox"/> <input type="checkbox"/></div>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			<div>NO YES</div> <div><input checked="" type="checkbox"/> <input type="checkbox"/></div>
3. a. Total acreage of the site of the proposed action?		3.97 acres	
b. Total acreage to be physically disturbed?		0.02 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.97 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): OFFICE			
<input type="checkbox"/> Parkland			

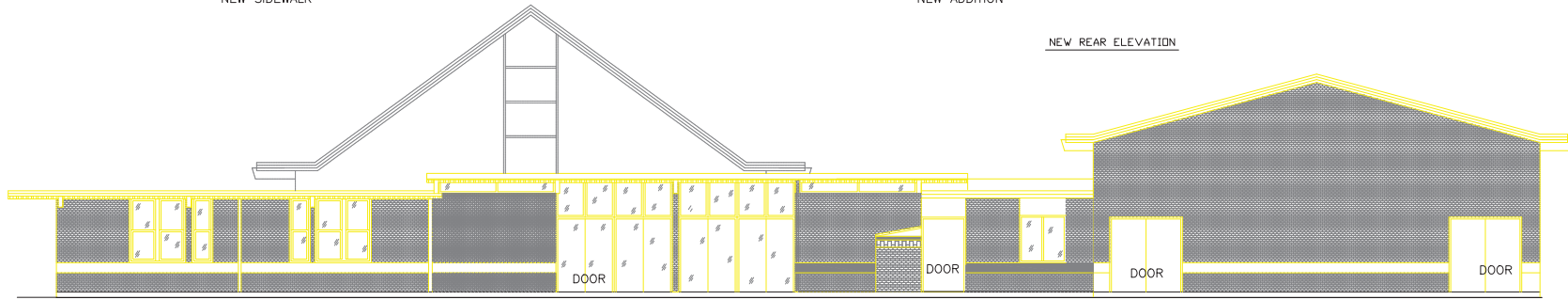
5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px;">             a. Will storm water discharges flow to adjacent properties?              b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?           </div> If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
BUILD HAS EXISTING RAIN GUTTERS THAT WILL REMAIN AND NEW ADDITION WILL CONNECT TO THEM		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p><b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b></p> <p>Applicant/sponsor/name: <u>KYLE LAU FOR CFBC</u>      Date: <u>april 17, 2024</u></p> <p>Signature: <u>KYLE YAU</u>      Title: <u>PASTOR</u></p>		

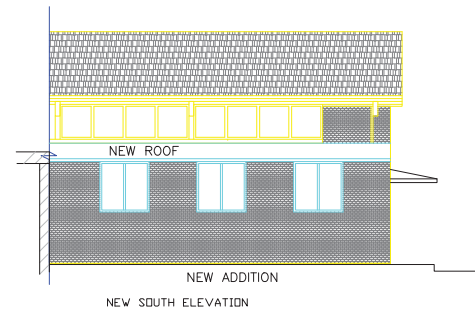
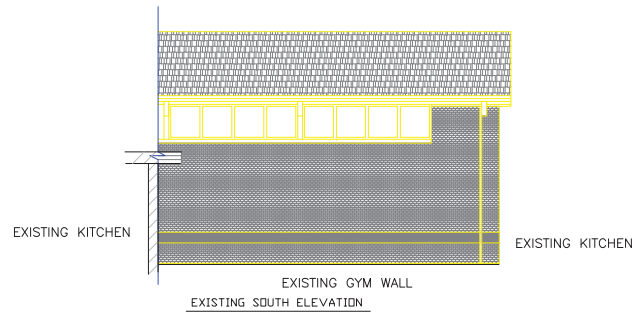


NEW REAR ELEVATION



EXISTING KITCHEN

EXISTING REAR ELEVATION



KEITH A. CRAMER, ARCHITECT  
95 HURST AVE, ALBANY, NY 12208  
(518) 438-8352  
cramerkeith@msn.com



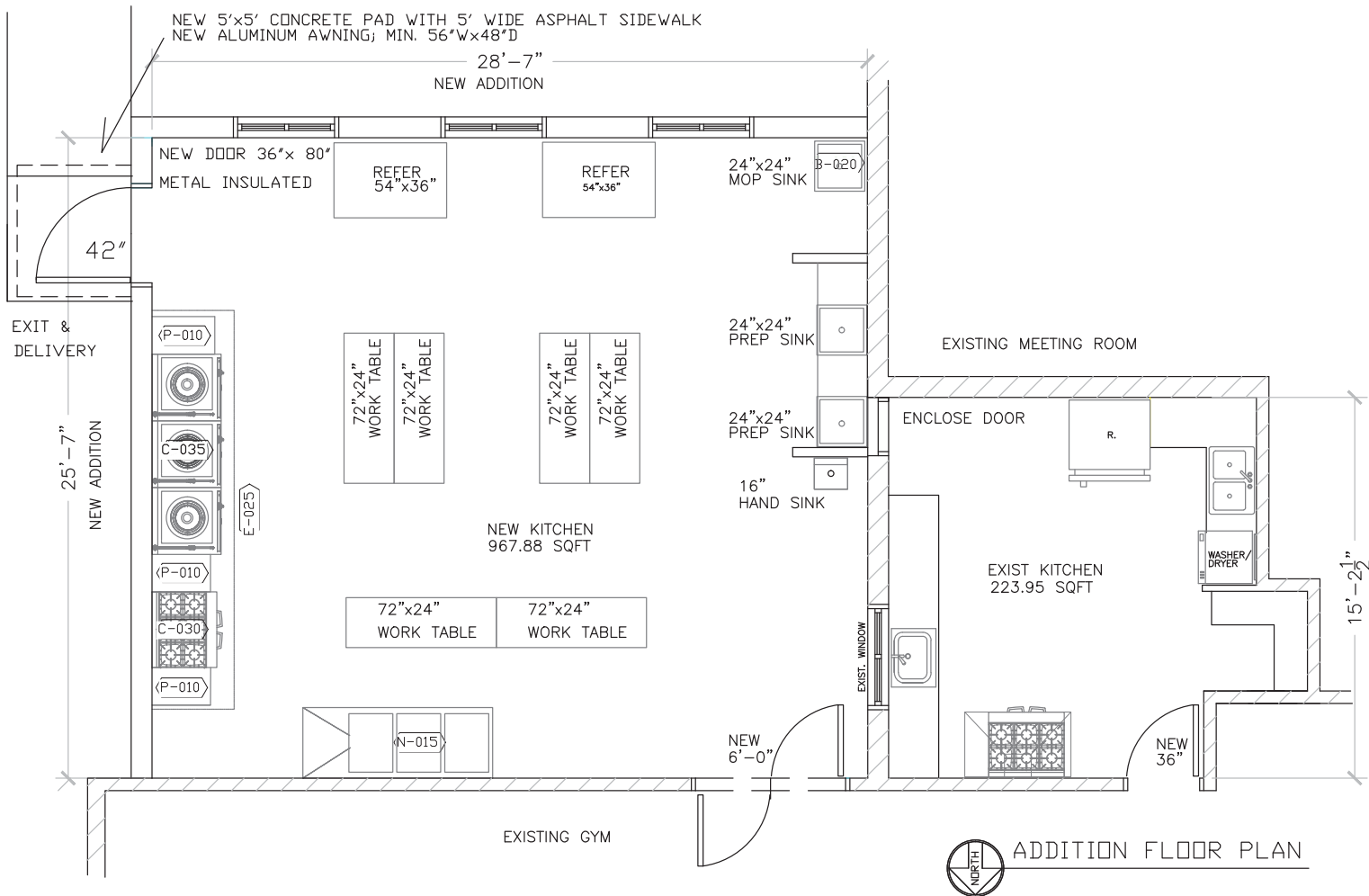
CHINESE FELLOWSHIP BIBLE CHURCH  
2530 BALLTOWN ROAD  
NISKAYUNA, NY 12309

DATE:  
APRIL 15, 2024  
REVISED:

SCALE:  
1/8"=1'-0"


SHEET:

A1  
OF 1



 ADDITION FLOOR PLAN

KEITH A. CRAMER, ARCHITECT  
95 HURST AVE. ALBANY, NY 12208  
(518) 438-8352  
cramerkeith@msn.com



CHINESE FELLOWSHIP BIBLE CHURCH  
2530 BALLTOWN ROAD  
NISKAYUNA, NY 12309

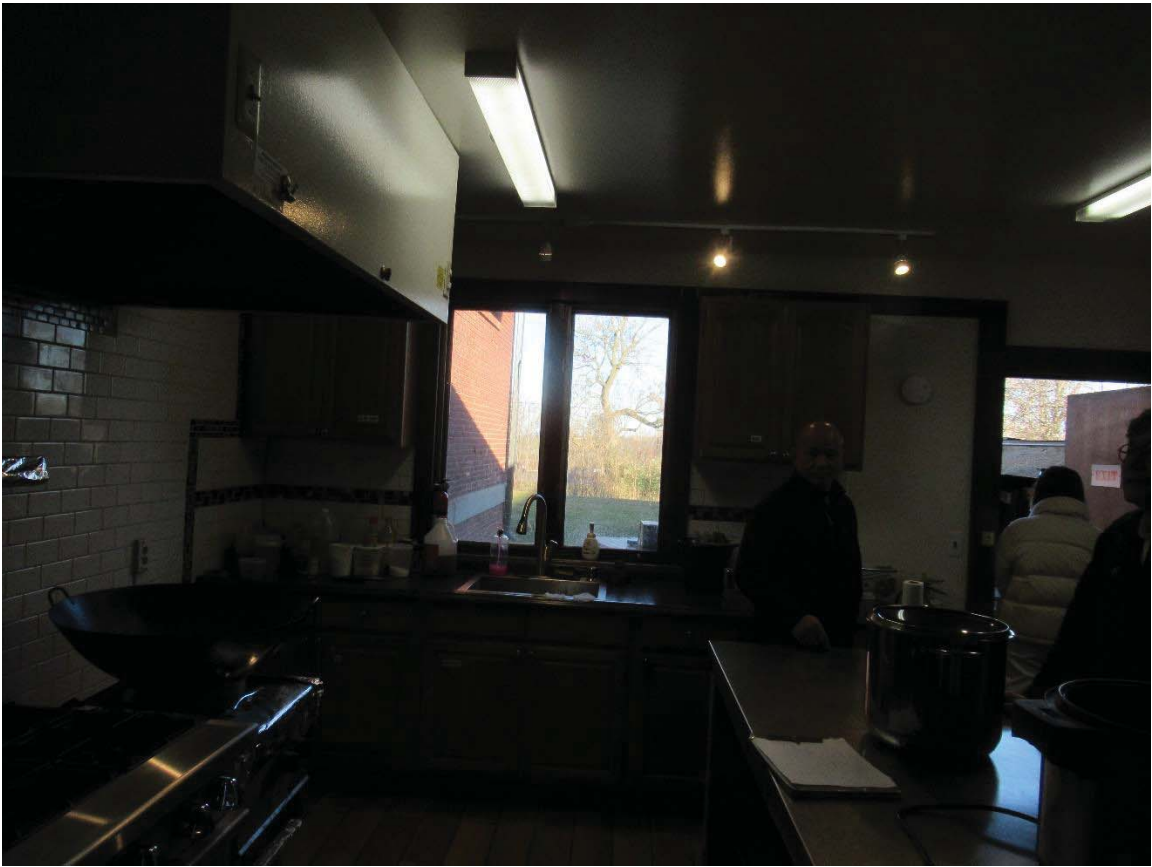
DATE: APRIL 15, 2024  
REVISED:

SCALE:  
1/4"=1'-0"

SHEET:  
**A1**  
OF 1













# ZONING

220 Attachment 15

## SCHEDULE I-C

### Part 1 R-2 District

#### Schedule of Supplementary Regulations Town of Niskayuna

[Amended 9-8-1987 by Res. No. 276; 12-19-1989 by Res. No. 89-322; 4-2-1991 by Res. No. 91-101; 10-27-1992 by L.L. No. 8-1992; 6-7-1994 by L.L. No. 5-1994; 4-20-1999 by L.L. No. 5-1999; 6-6-2000 by L.L. No. 2-2000]

1	2	3			4	5				6	7	8	
Zoning District	Permitted Uses	Minimum Lot Size			Maximum Percentage of Coverage by Building and Structures	Minimum Yard Dimensions (feet)				Minimum Required Off-Street Parking Space(s) (Also see § 220-19.)	Permitted Signs (Also see § 220-22.)	Additional Use Regulations, Prohibitions, Notes, Other Provisions and Requirements (Also see §§ 220-16 and 220-21.)	
		Area	Width (feet)	Depth (feet)		Front	Side		Rear				
R-2 Medium-Density Residential	Single-family dwelling	9,000 sq. ft.	80	100	30	30	15	30	20	Same as R-R and R-1 Districts unless otherwise noted			All residences: Same as R-R and R-1 Districts, except quartering of horses shall be prohibited.
	Private college facilities	25 acres	500	600	20	100	100	200	100	1 space for each 4 seats where athletic events involving paid admissions are conducted plus 1 space for each 10 students otherwise	In addition to the R-R District regulations, any number of directional signs each not to exceed 4 square feet in area and not higher than 8 feet above the average grade at their locations.		
	Places of worship, religious education facilities, parish houses and rectories	2 acres	150	150	25	50	25	50	50	1 space for each 200 square feet of floor area but not less than 1 space for each 4 seats where provided			
	Hospitals	5 acres	400	400	25	75	75	150	75	1 space for each 2 beds plus 1 space for each 2 employees plus 1 space for each staff doctor	In addition to the R-R District regulations, signs not to exceed 6 square feet in area for the purpose of giving direction to emergency facilities	Such use shall front and access only to a major arterial highway.	
	Nursery schools	1 acre	150	150	25	25	25	50	25	1 space per teacher and staff member			
	Care homes and nursing homes	5 acres	100	150	20	50	50	100	25	See § 220-31G	See § 220-22A(10) for nonresidential signs in residential area	See § 220-31	
	Mobile home parks <sup>1</sup>	See § 220-27.											
	Adult day-care centers in independent buildings	9,000 square feet	80	100	30	30	15	30	20	1 space for each employee, plus 0.15 space for each client	1 permanent sign attached to the building (no freestanding), not to exceed 2 square feet in area, which may be illuminated by low-intensity lamp(s) only	See § 220-32.1.	
	Child day-care centers									1 space for each employee, plus 0.15 space for each child	1 permanent sign attached to the building, not to exceed 2 square feet, which may be illuminated by low-intensity lamp(s) only	See § 220-32.2.	
	Schools of private instruction	5 acres	250	500	10	100	50	100	100	1 space for each 10 students plus 1 space for each staff member		1. Such use shall front and access only to a major or minor arterial highway. 2. There shall be a maximum FAR (floor area ratio) of 0.15. For all nonresidential uses: There shall be a minimum 25% of the total land area of the site reserved as landscaped open space. At the discretion of the Planning Board, a portion of this open space shall be used to provide landscaping internal to required off-street parking areas	

220 Attachment 15:1

AS-15  
13,808  
14,585

PARKING SPACES REQ'D.  
13,808/200 = 69.04  
14,585/200 = 72.9

PARKING SPACES  
EXISTING  
604/59?  
922 64/59?

777 SF/200 = 3.9 = 74 SPACES.