# TOWN OF NISKAYUNA Planning Board and Zoning Commission

# **Agenda**

# February 12, 2024 7:00 PM

# REGULAR AGENDA MEETING

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF MINUTES
  - 1. January 22, 2024
- IV. PUBLIC HEARINGS
- V. PRIVILEGE OF THE FLOOR
- VI. UNFINISHED BUSINESS
- VII. NEW BUSINESS
  - 1. RESOLUTION: 2024-05: A Resolution for approval of Plat Plan Minor subdivision, for a 4-Lot minor subdivision at 2890 River Rd.
  - 2. RESOLUTION: 2024-06 A Resolution for recognition of Planning Board member Michael Skrebutenas
  - 3. RESOLUTION: 2024-07 A Resolution for recognition of Planning Board member Patrick McPartlon

# VIII. DISCUSSION ITEMS

- 1. 2690 Balltown Rd. GE Vernova -- An Application for Site Plan Review for construction of a new building requiring a height variance (DAC Building)
- 2. 2219 Nott St. An Application for Site Plan Review for a tenant change to b.inspired a home, gift and garden shop
- 3. 2501 Troy Schenectady Rd. CDJHM -- An application for site plan approval extension
- 4. 2475 Brookshire Dr. Tall Oaks Apartments An Application for Site Plan Review for a monument (directory) sign

### IX. REPORTS

- 1. Project Submittal Timelines Update
- X. COMMISSION BUSINESS
- XI. ADJOURNMENT

NEXT MEETING: February 26, 2024 at 7 PM

To be Held in the Town Board Room & via Remote Software

1	TOWN OF NISKAYUNA		
2	Planning and Zoning Commission		
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5		January 22, 2024	
6	<b>Members Present:</b>	Kevin Walsh, Chairman	
7		Chris LaFlamme	
8		Ehasuyi Gomes	
9 10		Genghis Khan Nancy Strang	
11		David D'Arpino	
12		Zumu Zimpine	
13	Also Present:	Rob Hess, Acting Town Attorney	
14		Laura Robertson, Town Planner	
15		Clark Henry, Assistant Town Planner (virtual)	
16		Trisha Bergami, Planning Department Secretary	
17	I. CALL TO ORDER		
18	Chairman Walsh called the hy	brid meeting to order at 7:00 P.M.	
19	II. ROLL CALL		
20	Ms. Bilofsky and Ms. Gold w	ere excused and absent.	
21	III. APPROVAL OF M	IINUTES	
22	1. January 8, 2024		
23 24	Mr. Khan made a motion to approve the minutes, seconded by Mr. D'Arpino. All were in favor with the exception of two abstentions, Ms. Gomes and Ms. Strang.		
25	IV. PUBLIC HEARINGS		
26 27 28	<ol> <li>2890 River Rd. – An application for Approval of Plat Plan – Minor Subdivision, for a 3-Lot minor subdivision</li> </ol>		
29	The following Public Hearing Notice was read into the minutes by Ms. Bergami.		
30 31 32 33 34 35 36	NOTICE IS HEREBY GIVEN that pursuant to the Code of the Town of Niskayuna, New York and the applicable provisions of the Town Law of the State of New York, a public hearing will be held by the Planning Board and Zoning Commission of the Town of Niskayuna in the Town Board Meeting Room at One Niskayuna Circle on the twenty second (22nd) day of January 2024 at 7:00 p.m. to consider an application from Ryan Lucey (property owner), for a 3-lot minor subdivision in the Town of Niskayuna (Tax Parcel ID#51-1-7.1 and 51.9-2-1.1). The properties are located within the R-1 Low Density Residential zoning district.		
37 38 39 40	A copy of the Application for Approval of Plat Plan – Minor Subdivision will be available for inspection at the Planning Department in the Niskayuna Town Hall and can be viewed at https://www.niskayuna.org/pbnotices under the "Public Hearings" tab and will be shown electronically during the public hearing.		
41 42 43	time and place. If you cannot	nion regarding the public hearing you may do so at the above-mentioned be present, you may request a virtual login to the meeting by emailing calling 518-386-4531 or you may set forth your opinion in a letter which	

- will be made part of the permanent record. Please note there is a five (5) minute time limit for each
- 45 speaker at the public hearing and submitted letters will not be read out loud at the public hearing, but such
- letters will be included in the minutes and added to the record.
- 47 The Planning Board and Zoning Commission of the Town of Niskayuna will hear all persons interested
- 48 during the aforementioned public hearing. BY ORDER of the Planning Board of the Town of Niskayuna,
- 49 New York. KEVIN A. WALSH Chairman, Planning Board and Zoning Commission
- 50 Chairman Walsh asked the representative for the applicant to come forward and give a high-level
- summary of the project for the public
- Mr. Dussault, Engineer for the project, said it is a three-lot minor subdivision with two homes on River
- Road and one on Seneca Road. He stated there is significant wetlands on the site. An easement will be
- 54 given to the Town of Niskayuna on the Eastern portion of the site along Seneca Road for a drainage
- easement to assist with the issues on Seneca Road and the culvert crossing under River Road. Mr.
- Dussault also mentioned that each lot will have its own bio-retention area.
- 57 Mr. Khan asked about the existing walking path. Mr. Dussault said the path is going to stay as is.
- 58 Chairman Walsh stated that seeing and hearing no one for comments, the Public Hearing was closed.

# V. PRIVILEGE OF THE FLOOR

- Mr. Mesbahi of 2184 Story Avenue asked what was needed to add a tenant to his property on 2219 Nott
- 61 Street.

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- 62 Chairman Walsh told Mr. Mesbahi to go into the Planning Department and submit a site plan application
- and then the Department can review it to see if it is in compliance with the code so that it can come before
- 64 the Board.
- 65 Chairman Walsh said with no one else wishing to speak, he would close the Privilege of the Floor.

# VI. UNFINISHED BUSINESS

67 No Unfinished Business.

# VII. NEW BUSINESS

- 1. RESOLUTION: 2024-03: A Resolution for site plan approval for a 2,700 sq. ft. addition (27%) to the existing 9,980 sq. ft. office building and expansion of the parking lot at 1430 Balltown Rd.
- 72 Chairman Walsh read the following into the record:
- 73 RESOLVED, that the Planning Board and Zoning Commission hereby determined that this project will
- 74 not have a significant effect on the environment and hereby directs the Town Planner to file a negative
- 75 SEQR declaration with the following comments from the CAC findings:
  - 1. Use white oaks for tree plantings
    - 2. Minimize the visual impact of the stormwater basin to the Town Center Overlay District
  - 3. Include EV charging stations on the site and continue exploring the use of green energy practices including solar panels.
    - 4. Consider a pesticide-free lawn maintenance program
- 81 FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced
- site plan meets the requirements of the Zoning Code and therefore, hereby approves this site plan with the
- 83 following conditions.
  - 1. Signage: This resolution is for tenant change only. The Planning Board shall review and approve any proposed signage for the building at a later date.

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- 2. Final Landscaping and tree planting plans shall be reviewed and approved by the Niskayuna Tree Council.
  - 3. Prior to site disturbance, the applicant shall participate in a preconstruction meeting with the Town of Niskayuna and TDE and shall address any concerns raised by the Town.
  - 4. Prior to the preconstruction meeting:
    - a. Any engineering and drainage concerns will be addressed to the satisfaction of the Town Superintendent of Water, Sewer and Engineering.
    - b. Any questions or concerns raised by the Town Designated Engineer (TDE) will be addressed by the applicant in a formal letter to the Town.
    - c. Any minor changes to the final site plans will be addressed to the satisfaction of the Town Planning Department.
  - 5. Prior to site disturbance, the site plan drawings shall be modified to reflect agreed upon decisions of the preconstruction meeting, if any, and distributed as required to the Town and to all involved contractors. Final site plans shall be submitted to the Town labeled "For Construction".
  - 6. Prior to site disturbance, confirmation by the applicant from the Department of Public Works that material specifications and site details, including road and utility plan/profiles, meet Town standards.
  - 7. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer and Engineering and shall remain in place until such time as natural vegetation has been successfully established.
- Mr. LaFlamme made a motion to move the resolution for adoption it was seconded by Ms. Strang.
- 109 Mr. LaFlamme asked about the traffic at the back of the building.
- 110 Ms. Robertson said they are proposing to remove the concrete median which will create more green space
- and make the intersection more of a four way stop. She stated there is still a fair amount of pavement in
- the area though.
- There was discussion on the future of this property and what control the Town would have if the School
- District were to purchase it. Mr. Khan stated if the school district owned the property outright it would
- not need Planning Board site plan approval in the future. Ms. Robertson stated that was correct.
- 116 Chairman Walsh said Ms. Gold emailed him and said she was unable to attend the meeting but stated she
- was in favor of this project and the resolution as written.
- Hearing no further comment, Chairman Walsh asked for roll to be called:

119	Mr. LaFlamme	Aye
120	Mr Khan	Ave

Mr. Khan Aye

Ms. Strang Aye

Mr. D'Arpino Aye

Ms. Gomes Recused

124 Chairman Walsh Aye

- 125 Chairman Walsh stated the resolution was approved.
- RESOLUTION: 2024-04: A Resolution for site plan approval for a tenant change to a Market 32 grocery store at 2333 Nott St. E.
- 128 Chairman Walsh read the following into the record:

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- RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves the site plan with the following conditions:
  - 1. Outdoor storage: No outdoor storage or obstructions shall be allowed on the sidewalk between the main grocery store entrance and the secondary grocery store entrance to protect pedestrian passageway through the plaza.
  - 2. Crosswalks: Prior to completion of the building permit, crosswalks shall be striped in the 6 locations identified by the Planning Office in the aerial map provided to the applicant labeled Nott Street Site Plan.
  - 3. Sidewalks: Prior to completion of the building permit, the missing section of sidewalk between the parking lot and Nott Street East, identified by the Planning Office in the aerial map provided to the applicant labeled Nott Street Site Plan, shall be installed to the satisfaction of the Planning Office.
  - 4. Landscaping: Prior to issuance of a building permit the applicant shall supply a landscaping plan for review and approval by the Tree Council. The landscaping beds in front of the proposed Market 32 should be refreshed; dead or severely distressed trees within the property should be removed, and any removed trees should be replanted.
  - 5. Signage: This resolution is for tenant change only. The Planning Board shall review and approve any proposed signage and façade color changes at a later date.
- 148 Ms. Strang made a motion to approve the resolution, seconded by Mr. D'Arpino.
- Mr. Hess asked if the Certificate of Occupancy can be conditioned upon completion of the landscaping.
- Ms. Robertson said completion of a building permit for a tenant change like this requires a final CO
- which would include the landscaping being completed. Ms. Robertson said a temporary CO could be
- done until the landscaping is complete if needed.
- Mr. Hess said he doesn't want to hold the project up but he wants to make sure the landscaping is an
- enforceable condition. Ms. Robertson said it would be a condition of the final CO. Mr. Hess said that was
- satisfactory.
- 156 Chairman Walsh made a motion to modify condition number four to strike "issuance of the building
- permit" and change it to "completion of the building permit", seconded by Mr. LaFlamme. All were in
- favor of the amended resolution.
- There were questions from the Board about potential treatments to the back of the building, especially
- 160 concerning painting over graffiti. Mr. Lee, Representative for Price Chopper, said he will include any
- possible changes to the back of the building when they come back for the signage and façade portion of
- their approvals.

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163 Chairman Walsh asked for roll to be called:

164	Mr. LaFlamme	Aye
165	Mr. Khan	Aye
166	Ms. Strang	Aye
167	Mr. D'Arpino	Aye
168	Ms. Gomes	Aye

170 Chairman Walsh stated the resolution was approved.

Aye

171 VIII. DISCUSSION ITEMS

Chairman Walsh

- 1. 2890 River Rd. An application for approval of Plat Plan Minor Subdivision, for a 3-Lot minor subdivision
- 175 Mr. Khan stated his only open question is the determination of whether the Town will get an easement to
- the wetland area or a deed. Mr. Khan said other than that discussion he thinks they are in a position to
- 177 call for a resolution.

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- Mr. Robert Coan, Attorney from Parisi, Coan & Saccocio, representing Mr. Lucy, stated they met with
- the Town Planner and her committee this week to discuss the lot along Seneca and whether they should
- do an easement to the Town or deed the parcel directly to the Town to give access for future water issues.
- Following that meeting Mr. Lucey stated he is willing to deed over the parcel to the Town with the intent
- that it will remain in a similar state and not developed in the future. The other issue that was discussed at
- that meeting was the path that is used by the residents of Seneca to get to the park. Mr. Coan said during
- the meeting they discussed which made more sense, either to deed or an easement for the path. Mr. Coan
- said he is leaning towards a deed and outright transfer ownership of that path area to the Town so Mr.
- Lucey is relieved of any liability with the path.
- Ms. Robertson said if this land is deeded over to the Town, they applicant should be able to use it for his
- Parkland requirement for the subdivision, which would save him \$3000 a lot. Mr. Khan stated the value
- of that land should be accounted for to ensure it is equal to the \$9000.
- 190 Chairman Walsh said as long as all the paperwork gets into the Planning Department, they can call for a
- tentative resolution for the February 12 meeting. Hearing no further discussion he thanked the applicants
- 192 for their attendance this evening.

# IX. REPORTS

- 194 Chairman Walsh formally welcomed Ms. Strang as a full time member and Ms. Gomes, who was
- appointed as an alternate to the Planning Board at the last Town Board meeting. He stated Ms. Bilofsky
- was also appointed to the Planning Board as a full time member but was unable to attend the meeting
- tonight. Chairman Walsh also thanked the Town Board for reappointing him the Chairman of the
- 198 Planning Board for 2024.
  - 1. 2690 Balltown Rd. GE Vernova (see attached maps)
- 200 Ms. Robertson GE didn't get their package submitted in time for this Planning Board meeting, but it will
- be ready for next meeting and she wanted the Board to take a look at it preliminarily. Ms. Robertson said
- GE is proposing the addition of another building to their northern parcel. Ms. Robertson said this
- building is too high so it will need a denial and have to go to the Zoning Board as well. Ms. Robertson
- said this would be on the same sewer line that goes to Kelt's Farm which is already full. She said this
- building is not really adding employees just moving them from another building but Clark is working
- with GE on their plans for future buildings to ensure the sewer line capacity is there.
  - 2. Project Submittal Timelines Update
- Ms. Robertson said they are going to put a package together for next meeting with a couple options.
- Mr. D'Arpino stated he felt this subject was important. There was much discussion on this topic.

# 210 X. COMMISSION BUSINESS

There was none.

### XI. ADJOURNMENT

- 213 Mr. Khan made a motion to adjourn, Mr. LaFlamme Seconded. All were in favor, the meeting was
- adjourned at 8:00 pm.
- 215 The video recording for this meeting can be found at: https://www.youtube.com/watch?v=lpb1mN-Oxa4&list



# **TOWN OF NISKAYUNA**

# PLANNING BOARD AND ZONING COMMISSION

# **AGENDA STATEMENT**

AGENDA ITEM NO. VII. 1	MEETING DATE: 2/12/2024
ITEM TITLE: RESOLUTION: 2024-05: a Resolution for a minor subdivision at 2890 River Rd.	approval of a Minor Subdivision, for a 3-lot
PROJECT LEAD: Genghis Khan	
APPLICANT: Michael Dussault, P.E., agent for the owner	er
SUBMITTED BY: Laura Robertson, Town Planner	
REVIEWED BY:  ☐ Conservation Advisory Council (CAC) ☐ Zoning Board ☐ OTHER:	d of Appeals (ZBA) $\square$ Town Board
ATTACHMENTS: ■ Resolution ■ Site Plan □ Map □ Report □ Other:	

# **SUMMARY STATEMENT:**

Michael Dussault, P.E., of Engineering Ventures, P.C. and agent for Ryan Lucey, property owner, has made an application for Sketch Plan Approval – 4-Lots or Less for a 4-lot subdivision at 2890 River Rd. The proposed subdivision will divide the existing 5.26 Acre property at 2890 River Rd and the 0.83 Acre property contiguous to it along Seneca Rd into 4 lots of 0.46, 0.46, 2.64 and 2.53 Acres, respectively. The existing home at 2890 River Rd is in very poor condition and will be demolished.

The property is located within the R-1 Low Density Residential zoning district.

Several iterations of TDE comment letters and corresponding response letters including revised site plans and documents from Mr. Dussault have been exchanged since the 1/22/24 PB meeting. Mr. Lucey and the Town have agreed that he will deed the large wetland area on the northeastern half of the property and the "footpath area" on the southwest portion of the property over to the Town. The legal details of the deed agreement are being finalized. All engineering issues appear to be closed out with the exception of the location of the split rail fence. At the 1/22/24 meeting the PB called for a tentative resolution for subdivision approval for the 2/12/24 meeting. A resolution is included in the meeting packet.

# **BACKGROUND INFORMATION**

The property owner, Ryan Lucey, met with Department Heads of the Niskayuna Planning, Water, Sewer & Engineering and Highway Departments to discuss a proposed 4-lot subdivision as shown in the drawing entitled "Subdivision Plan 2890 River Rd." by Engineering Ventures, P.C. dated 6/23/23 with no subsequent revisions. At the time Mr. Lucey owned the 5.26 Acre property at 2890 River Road and was in the process of purchasing the 0.83 Acre property contiguous to it along Seneca Rd. The utility review performed by the Town representatives identified the project area as being susceptible to flooding during heavy rain events. It was noted that a thorough storm water

review will be required. Mr. Lucey was informed that for his proposed subdivision to come before the Planning Board he would need to demonstrate site control by obtaining signature approval of the application from the current owner of the 0.83 Acre portion of land or wait until the sale of the land to him was completed.

On 8/23/23 Mr. Lucey provided with Planning Office with the following documents.

- A sketch plan application for a minor subdivision of 4-lots or less
- A "Contract For Purchase and Sale of Real Estate" dated 8/16/23 indicating that Mr. Lucey owned the 0.83 Acre parcel of land.
- A 1-page survey drawing entitled "Survey Lands of RPL Family Trust #2890 River Rd." by Gilbert VanGuilder Land Surveyor, PLLC dated 12/1/2022 with no subsequent revisions.
- A 1-page subdivision site plan entitled "Subdivision Plan Proposed 4-Lot 2890 River Rd." by Engineering Ventures P.C." dated 8/23/23 with no subsequent revisions.
- A Short Environmental Assessment Form (EAF) Part 1 dated 6/22/23.

# 6/23/23 Subdivision Drawing

This drawing includes 4 lots. Two (2) of the lots front River Road, one (1) lot fronts Seneca Road near its intersection with River Road and one (1) lot fronts Seneca Road near the cul-de-sac at the northeast end of the road.

# 8/23/23 Subdivision Drawing

This drawing includes 4 lots. Three (3) of the lots front River Road, the one (1) lot near the intersection of Seneca Rd and River Rd has been eliminated and the one (1) lot that fronts Seneca Rd. near the cul-de-sac at the northeast end of the road remains.

Mr. Lucey and his representatives are before the Board this evening to present and discuss his application. The Planning Board and Planning Office should review the application relative to Town codes and the current storm water conditions along Seneca Rd.

8/28/23 Planning Board (PB) meeting – Ryan Lucey and Michael Roman attended the meeting and presented the project to the Board. They explained the 6/23/23 4-lot subdivision drawing included two lots on Seneca Rd and two lots on River Rd. The 8/23/23 drawing includes one lot on Seneca Rd and 3 lots on River Rd. The Board and Planning Office discussed the history of storm water accumulation during storms in this general area and stated a through upstream and downstream storm water analysis will be needed. Mr. Khan stated that in other areas of Niskayuna the Board has essentially inherited storm water challenges – in this area, and on this project, they have the opportunity to avoid storm water related issues. The Board noted that the small strip of property along Seneca Rd near the intersection with River Rd may be able to be used to help mitigate storm water events. The Board concluded their discussion with a request that a few additional items be added to the site plan: the addition of limits of clearing and footprints of homes that are representative of the size the applicant intends to build.

<u>9/6/23 PB Project Lead site walk</u> – The PB project leads and Mr. Lucey walked the project site to obtain a first-hand look at the land, wetlands, grading, neighboring properties, etc.

<u>9/6/23 Conservation Advisory Council (CAC) meeting</u> – The CAC briefly reviewed the project at their regularly scheduled meeting. Ms. Robertson presented the site plan and provided background regarding the storm water challenges in the area. She asked the Board to familiarize

themselves with the project details and the project site. She suggested they drive by the area to get a first-hand feel for the distances between houses, storm water drainage areas, etc. Chairman Strayer noted that he would like to see a multi-use path be included in the plan connecting Seneca Rd to River Road Park. He also noted that a Town access easement along River Road along the project area would be helpful for the installation of a future sidewalk or multi-use path someday. Ms. Robertson said the CAC will be reviewing this again during the October 4, 2023 meeting.

9/11/23 Planning Board (PB) meeting – Mr. Roman and Mr. Lucey attended the meeting. The coproject leads, Patrick McPartlon and Genghis Khan updated the Board on their observations during the 9/6/23 site walk. They noted the upland properties, Iroquois and Rosendale schools, Campo Court, etc., and observed that water generally flows towards the existing culvert under Seneca Road and into the wetland area of 2890 River Road. Ms. Robertson noted that Niskayuna Zoning Code includes sections requiring the examination of upstream and downstream drainage when conducting a Stormwater Management Report. The discussion primarily focused on drainage and how to efficiently assess the existing condition and post-development condition. Ms. Robertson recommended that existing stormwater reports for the neighboring sites be reviewed by Mr. Lucey's engineer. Mr. McPartlon encouraged the Board members to visit the site and acquaint themselves with the grading, vegetation, etc. Ms. Finan noted that Mr. Lucey still needs to demonstrate full site control of the thin strip of land along Seneca Road via. either signed approval of the current land owner or evidence that he is the landowner. Ms. Robertson noted that the Planning Office is in the process of securing quotes for a TDE review of the project.

A summary of actions that have occurred since the 9/11/23 meeting is as follows.

- Mr. Lucey submitted a FOIL request and received the Stormwater Management Report for the Iroquois Middle School project that is currently underway.
- The Planning Office has received 2 quotes for a TDE review of the proposed project.
  - One additional quotation is expected.
- The Planning Office has located the Storm Water Management Report for the Campo Court 7-lot major subdivision that is upstream from the proposed action.
  - o Stormwater reports for other upstream areas are in the process of being located
- At the request of Mr. Lucey, a site walk with the Engineering and Highway Departments is planned for Thursday 10/5/23.

10/2/23 Planning Board (PB) meeting – Mr. Lucey and Mr. Roman attended the PB meeting. Chairman Walsh asked Mr. McPartlon, co-project lead of the project for the Planning Board, to provide a quick update since the last meeting. He stated that a Town Designated Engineer (TDE) was in the process of being selected and a site walk was being planned to familiarize everyone with the property. Mr. Roman added that the applicant's engineer was preparing a storm water management report.

10/4/23 Conservation Advisory Council (CAC) meeting – Laura Robertson, Town Planner, provided the CAC with background information on the proposed project. She described the slides and pictures that have been assembled documenting recent storm water related events in the area recently. A CAC member stressed that we need to make sure we are planning for the future and heeding storm water trends, etc. The CAC requested that the site plan drawings include representative footprints of the homes that are intended for the lots rather than small generic

squares or rectangles. They also requested an inventory of animals that inhabit the area that may be impacted by the development of the land.

10/5/23 Site walk — A site walk was held at noon on 10/5/23. Participant's included Ms. Robertson, Town Planner, & Mr. Henry of the Planning Office, Mr. Doug Cole, the TDE from Prime Engineering, Mr. Yetto Superintendent of Water, Sewer and Engineering, Mr. Smith Superintendent of the Highway Department, Mr. McPartlon and Mr. Khan of the Planning Board, Mr. Lucey and his team including his engineer and a few interested neighbors. The Planning Office explained the roles and responsibilities of each member of the project team and stressed the importance of how important communication between the applicant's engineer and the TDE will be to the success of the project. The group walked the upstream areas and discussed how storm water is managed and drains on the property. Prior to concluding the site walk meeting the group noted that the next step is for the applicant's engineer to complete and submit a storm water management report.

<u>10/16/23 Planning Board (PB) meeting</u> – Mr. Lucey and his design team were present at the meeting. Collectively, Mr. McPartlon, PB Project Co-Lead with Mr. Khan, Mr. Roman and Mr. Dussault, P.E. provided the Board with an update on the project.

- Mr. Roman noted that Mr. Lucey had closed on the purchase of the lot of land forming a thin strip along Seneca Rd.
- Mr. Dussault provided an update on the onsite and offsite stormwater analysis
  - o He noted that he agreed with the analysis performed on the Iroquois Middle School
  - o The upstream analysis was performed using the 25-year storm rainfall rates
  - o His downstream analysis was performed using the 5-year storm rainfall rates
  - o The analysis showed that the existing culverts under Seneca Rd. are undersized
  - With the assumptions noted in the report, the onsite stormwater discharge is essentially the same post-project as pre-project
- The Planning Board and Planning Office discussed how to best review and provide appropriate feedback to the applicant on the project at this stage (sketch plan stage) of the project.
- It was determined that TDE comments regarding the stormwater analysis and site plan would be valuable to help the applicant and the Board quantify potential challenges inherent in the site.
- The Board noted that a TDE had been selected and would begin the technical review as soon as an escrow account was set up.

The following activities and revisions to the site plan occurred since the 10/16/23 PB meeting.

- 10/27/23 An escrow account was established and the TDE was immediately engaged.
- 11/6/23 A revised site plan drawing was received (dated 11/3/23) consisting of 3-lots and is included in the packet for the 11/13 23 PB meeting.
- 11/8/23 A 1<sup>st</sup> TDE comment letter was received by the Planning Office and is included in the packet for the 11/13/23 PB meeting.

<u>11/8/23 Conservation Advisory Council (CAC) meeting</u> – The Planning Office provided a general review of the history and status of the project and noted receipt of the 1<sup>st</sup> TDE comment letter and revised 3-lot subdivision site plan. Ms. Robertson noted that the CAC will be reviewing the project in more detail as the review process moves forward.

11/13/23 Planning Board (PB) meeting – Mr. Roman, agent for Mr. Lucey, and Mr. Dussault, of Engineering Ventures, attended the meeting and represented Mr. Lucey. They referenced the revised site plan drawings dated 11/3/23 which now depict a 3-lot subdivision. Mr. Cole, of Prime

Engineering and TDE for the project, summarized his TDE response letter dated 11/8/23. A detailed discussion of the project ensued and the group agreed on the following.

- Site control for the application was established on 11/2/23 when Mr. Lucey's ownership of Tax Parcel 51.9-2-1.2, the lot of land along Seneca Rd. near the intersection of River Rd., was recorded in the Schenectady County Clerk's Office.
- Proposed design reduced from 4-lot subdivision to 3-lot subdivision.
- The new lots will include on-lot stormwater management practices (retention basins, etc.) such that the post development runoff will be equal to or less than the pre development runoff.
- Design includes an 80' wide easement to the Town that encompasses the ditch in the wetlands
- Stormwater report will have to be revised to reflect the 3-lot design.
- Stormwater analysis will be performed using 100 yr. rainfall rates.
- Mr. Lucey and the Town will explore a conservation easement, extending the 80' easement or deeding the land along Seneca Rd. near River Rd. to the Town to enable the land to be used as a stormwater management basin.
- Mr. Dussault will provide written responses to the TDE letter dated 11/8/23.
- The Town will include upstream and downstream analysis and culvert design in their town-wide drainage analysis project.

<u>11/27/23 Planning Board (PB) meeting</u> – The applicant and the Planning Board Project Leads provided the Board with an overview and update of the project. After a short discussion the PB approved Resolution 2023-28 granting sketch plan approval to the proposed 3-lot subdivision.

Since the 11/27/23 PB meeting the applicant has provided the following documents to the Planning Office.

- <u>11/28/23</u> A 21-page report entitled "Endangered Species Habitat Suitability Assessment Report" by Gilbert VanGuilder Land Surveyor, PLLC dated 9/22/23.
- 11/28/23 A 19-page report entitled "Phase 1 Archaeological Survey 2890 River Rd. Town of Niskayuna Schenectady County 23PR05721 by Timothy J. Abel, PhD 33512 SR 26 Carthage, NY 13619 dated 11/21/23.
- 12/5/23 A 1-page letter entitled "USACE 2890 River Road Subdivision and Three New Single-effecFamily Homes, 2890 River Rd, Niskayuna, NY 12309, 23PR05721 by Jessica Schreyer, Archaeology Unit Program Coordinator, of the New York State Parks, Recreation and Historic Preservation Department dated 12/4/23.

<u>12/6/23 Conservation Advisory Council (CAC) meeting</u> – The applicant and his engineer attended the meeting and updated the CAC on the proposed project. They noted that they are designing stormwater retention areas for each of the lots to control the post-development stormwater discharge to pre-development levels. They also noted that the basement elevation of the home on lot 2 will be 1' above the 100-year flood elevation. After a discussion the Council chose to table making a SEQR recommendation until they can review updated site plans that were discussed.

<u>12/8/2023 Complete Streets Committee Meeting -</u> The Complete Streets Committee reviewed the most recent revision to the subdivision drawings and expressed their support and recommendation to the Planning Board for a public access easement between Seneca Road and River Road Park along the existing trail connection and a public access easement along River Road for a potential future multi-use path.

12/11/23 Planning Board (PB) meeting – Mr. Ryan and his design team were present at the meeting. They described the revised plans and documents that were emailed to the Planning Office on Friday afternoon 12/8/23 (the plans were received too late to be included in the documentation packet for the 12/11/23 PB meeting so they were emailed separately to the PB members). Chairman Walsh noted the documents will be included in the meeting packet for the 1/8/24 PB meeting. It was noted that the CAC did not make a SEQR recommendation at their 12/6/23 meeting. LR explained that the applicant described design revisions that were underway on 12/6/23 but no documentation of the revised design was provided to the CAC at the meeting. Therefore, the CAC decided to table making a SEQR recommendation until they received and reviewed the revised documents. After a general discussion the PB called for a tentative resolution for the 1/8/24 PB meeting to make a SEQR determination based upon proposed CAC action on January 3<sup>rd</sup> and call for a public hearing for the 1/22/24 meeting.

 $12/28/23 - 2^{\text{nd}}$  TDE comment letter -- The TDE provided a 5-page comment letter regarding the following documents.

- The applicant's response letter dated 12/6/23
- Revised site plans dated 12/6/23
- Updated SWPPP dated 12/6/23
- Subdivision application dated 12/4/23
- Revised Short Form EAF dated 6/22/23

Noteworthy comments in the 2<sup>nd</sup> TDE comment letter include but are not limited to the following.

- Site Plan
  - 2. Some of the large paved driveway/parking area on Lot 3 appears to shed water to the West, however, this new impervious area should be directed to the proposed bioretention area.
  - 7. We ask that the driveway culverts for all 3 lots be sized to convey the 100-year
     24-hour storm event and include velocity dissipation features at the outlets.
  - 8. The [lot 2] basement floor elevation is stated to be approximately 291.40, which is essentially at proposed grade at the rear of the home and would still be about 12" above the anticipated water level in the wetland during the 100-year storm event. The analysis was performed under the conservative assumption that the culvert crossing at Seneca Road and the wetlands adequately convey flows to the inlet of the River Road culvert (control point). The Applicant also states that the new homes will be constructed with waterproofing techniques and sump pump back up. We find this to be acceptable and it can be confirmed through Town building permit inspection during construction.
  - o 12. The Town multi-use path easement needs to be shown on lot 3. The Town will also require the applicant to prepare and show on the plan a utility easement between the Seneca Road right-of-way and the Town Park property for potential future utility installation.
  - o 13. The Town would like to see a Street Planting Plan as part of the next drawing set revisions. The code states that the trees shall have a minimum of 2.5" caliper at 5 feet above grade and be planted parallel to the street with a minimum of 2 trees per lot or one tree every 60 feet of road frontage.

# SWPPP

o 10. In Section IX.C. Maintenance, Inspections and Record Keeping, Permanent E&SC Practices and Post Construction Features, "Infiltration Basins" is

mentioned, however, no infiltration basins are proposed. The applicant should remove and replace with a section describing "Bioretention" practice requirements, as well as add a section for "Vegetated Swale" for the frontage area along Lot 3.

<u>1/3/24 Conservation Advisory Council (CAC) meeting</u> – Michael Roman and Michael Dussault attended the meeting on behalf of the applicant, Ryan Lucey. Chairman Strayer provided a short update on the project and Mr. Roman provided additional detail on a number of topics including the following.

- The number of proposed lots have been lowered from 4 to 3
- The Army Corps of Engineers permit regarding wetland disturbance is pending and they expect to receive approval very soon.
- Mr. Lucey agreed to provide the Town with a drainage easement allowing them to access
  a large portion of the southeastern portion of the property extending all the way to Seneca
  Road.
- Mr. Lucey is not in favor of granting an easement to the Town for a multi-use path from Seneca Road to River Road Park. He noted that he is in favor of keeping the existing footpath on Mr. Lucey's property.
  - Chairman Strayer noted that increasing pedestrian and multi-use path connectivity throughout Town is an initiative of the Comprehensive Plan and several councils and committees such as the Complete Streets Committee. He noted that easements for multi-use paths are regularly required for subdivisions. The multi-use path in the Kelts Farm subdivision and easements in recent subdivisions on Van Antwerp Road and Empire Drive were noted as examples. He stated keeping the walking connection private would cause problems in the future as any new homeowner could close it down at any time and limit it's use to only certain people. The benefit needed to be public and, for equity, needed to be available to everyone.

The Council asked if Mr. Lucey would agree to a legal agreement that precluded future development of the land in the southeastern corner of the property (along Seneca Rd.). A conservation easement was mentioned. Mr. Roman stated that he would need to speak with Mr. Lucey's attorney before he could comment further. Several Council members explained the Town's commitment and their commitment to preserving open space. Ms. Robertson noted that several Department Heads within the Town have reviewed this and have commented that having the Town own the land, rather than simply have an easement, is preferrable. She noted that if this path were to be pursued the land would actually need to be delineated as a 4<sup>th</sup> lot within the subdivision that would be deeded over to the Town Mr. Roman agreed to schedule a meeting during the week of 1/8/24 so that the involved parties could discuss this in more legal detail.

The CAC then proceeded to review and complete the EAF form and make a conditional SEQR recommendation to the lead agency (Planning Board).

The CAC findings are attached. They found significant negative effects to the environment, including inconsistency with the 2013 Comprehensive Plan and lack of connectivity to parks and neighborhoods in the subdivision, could be mitigated by adding a public access easement over the existing trail from the end of the Seneca Road cul-de-sac to the River Road Park. Because no further studies are needed and the impacted can be mitigated with a public access easement, they made this into a conditional negative SEQR recommendation. They also found conservation of the

undisturbed lands to be significantly important, as the drainage and wetlands in this area make this parcel extremely sensitive to development.

1/8/24 Planning Board (PB) meeting – Ryan Lucey, Michael Roman and Mike Dussault attended the meeting. The Board discussed Resolution 2024-01 for SEQR determination and call for a public hearing. After a detailed discussion with input from the Town Attorney and Town Planner, the Board determined it was more procedurally accurate to replace the conditioned negative SEQR declaration as proposed by the CAC with a negative SEQR declaration with the following four comments from the CAC findings. The resolution was amended and then passed by unanimous 7-0 votes.

- The Developer shall explore solar and EV ready options for the new homes as well as explore
  pesticide free options for lawn maintenance as the properties are directly adjacent to
  wetlands.
- 2. The Developer shall use native species wherever possible in their plantings plans.
- 3. Drainage is critical to the review of this subdivision, and the developer shall provide for ways to maintain the privately owned stormwater management practices in perpetuity.
- 4. The applicant shall provide a public access easement from the Seneca Road cul-de-sac to the River Road Park and conserve the remaining undisturbed lands of the subdivision through a conservation easement or deed to the Town of Niskayuna.

The Board also discussed the project, including the topics listed below, during the Discussion Items portion of the meeting.

- Mr. Dussault confirmed the discharge locations of the bio-retention ponds.
  - Lot 1 discharges to the gulley along River Rd.
  - Lot 2 discharges to the wetland area
  - Lot 3 discharges to the wetland area
- The attendees discussed options for Town ownership & maintenance of the path near the end of Cul-de-sac
  - o Mr. Lucey agreed to schedule a meeting with the Town Attorney and other Town representatives to discuss an easement or deed restriction, etc.
  - o Ms. Robertson also stated that the Superintendent of Water, Sewer and Engineering has also requested a utility easement in this area so that the current water line at the end of the Cul-de-sac may be extended into River Road Park. This eliminates the existing "deadheaded" line and will create a loop which is the preferred layout.
- Mr. Lucey agreed to design the driveway culverts to the 100 storm rainfall amounts he estimated that at most this would require the culverts to be increased one pipe diameter size.
- Mr. Lucey confirmed that the roof drains of the new homes will be piped to the bio-retention areas
- Mr. Lucey and the Board agreed to adjust the eastern boundary of Lot 2 so that it abutted the
  western edge of the proposed easement for the large wetland area near Seneca Rd.
- Ms. Robertson stated that a maintenance agreement for the stormwater bioretention ponds is required. She noted that a similar agreement was included in the recent 2-Lot subdivision along Polsinelli Dr.
- Ms. Robertson stated a street tree planting plan was still required and the limits of clearing would need to be flagged for the Tree Council.

<u>1/22/24 Planning Board (PB) meeting</u> – Mr. Khan provided the Board with an update of events that transpired since the 1/8/24 PB meeting. Mr. Ryan's attorney, Robert Coen, followed up and summarized his position regarding methods of allowing the Town access to the large wetland area on the northeastern half of the property and the area containing the existing footpath on the southwestern corner of the property. He stated that he recommends deeding the two portions of land to the Town. He stated that he provided Ms. Robertson with twenty-two (22) letters in support of maintaining the footpath connecting Seneca Rd. to River Road Park. Ms. Robertson noted that

the Board should consider Mr. Lucey's dedication of these portions of his property to the Town in lieu of parkland fees that would otherwise be required as part of the subdivision. She did note that trunk fees will apply to the two (2) new buildable lots resulting from the subdivision. After additional general discussion the Board called for a tentative resolution for subdivision approval for the 2/12/24 meeting.

<u>1/29/24</u> – A TDE comment letter was received dated 1/29/24 in response to the following documents from the applicant.

- Response letter dated 1/15/24
- Revised plans dated 1/15/24
- Response letter dated 1/23/24
- Revised plans dated 1/23/24
- Updated SWPPP dated 1/15/24

The TDE letter includes 9 comments, 5 of which have been closed out. The remaining open comments are listed below.

- 1. "7. We ask that the flared end section with stone apron detail be utilized on the inlet of each driveway culvert." (Flared ends are currently only shown on the outlet end).
- 2. "13. The proposed tree height or caliper, as appropriate for each species will need to be added to the detail."
- 3. "14. As per Town requirements, a split rail type fence is required at the 25' buffer border to the wetlands and needs to be called out on the site plan and detail provided."
- 4. "15. The Sewer Saddle Detail on Sheet C501 needs to be revised to utilize a Romac Industries, Inc. style "CB" Sewer Saddle."

<u>1/31/24</u> – The Planning Office & the TDE received an updated site plan and applicant's engineering response letter to the 1/29/24 TDE letter. The letter noted that it addressed the outstanding items in the TDE letter and that a Rev 1/31/24 version of the 9-page site plan drawing set was included.

<u>2/1/24</u> – Ms. Robertson emailed Mr. Dussault detailing a list of items that needed to be added to the subdivision map drawing that will be signed by Matt Yetto, Town Engineer, and Chairman Walsh of the Planning Board prior to filing in the Schenectady County Clerk's Office.

 $\underline{2/6/24}$  – The Planning Office and the TDE received an email from Mr. Dussault in response Ms. Robertson's 2/1/24 email and addressing the remaining open issues. The email includes the following.

- 1. A Rev 2/6/24 version of the 9-page site plan drawing set
- 2. A Rev 2/6/24 version of a subdivision map drawing including the items requested in Ms. Robertson's 2/1/24 email.

The open items in the TDE's 1/29/24 comment letter appear to have been addressed in the Rev 2/6/24 drawings, with the exception of the extents of the split rail fence. The Planning Board has typically required the split rail fence to follow the buffer through the forest, even if it is not close to the limits of clearing, and the applicant reduces the proposed split rail fence to only near the limits of clearing. The TDE is currently reviewing the revised drawings and a final letter of approval is expected very soon. The legalities of deeding the two portions of the property over to the Town are to be worked out in the near future.

A tentative resolution for site plan approval is included in the meeting packet.

# RESOLUTION NO. 2024-05

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 12TH DAY OF FEBRUARY 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN

GENGHIS KHAN
CHRIS LAFLAMME
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
SARAH BILOFSKY
EHASUYI GOMES

One of the purposes of the meeting was to take action on sketch plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by,	
whom moved its adoption, and seconded by	_

WHEREAS, Ryan Lucey, has made application to the Planning Board for a 4-Lot Minor Subdivision as shown on a 9-page drawing entitled "2890 River Road Minor Subdivision Town of Niskayuna, Schenectady County, NY" by Engineering Ventures, P.C. dated 2/6/24 with no further revisions including the following sheets:

- 1. C001 Site Legend and Notes
- 2. C101 Existing Conditions and Demolition Plan
- 3. C102 Overall Subdivision Plan
- 4. C103 Subdivision Plan
- 5. C104 Erosion and Sediment Control Plan
- 6. C501 Site Details
- 7. C502 Storm Details
- 8. C503 Erosion and Sediment Control Details (1 of 2)
- 9. C504 Erosion and Sediment Control Details (2 of 2)

, and

a 2-page drawing entitled "River Road Subdivision Town of Niskayuna, Schenectady County, NY" by Engineering Ventures, PC dated 2/6/24 with no further revisions including the following sheets:

- 1. C101 Minor Subdivision Plan (1 of 2)
- 2. C102 Minor Subdivision Plan (2 of 2)

, and

WHEREAS, the zoning classification of the property is R-1: Low Density Residential, and

WHEREAS, the Planning Board by its Resolution 2023-28, granted sketch plan approval for this project on November 27, 2023, and

WHEREAS, the Planning Board conducted a public hearing on January 22, 2024 to consider the application for minor subdivision, and

WHEREAS, the Planning Board referred this application to the Town's Designated Engineer (TDE) for review and they have responded with comments, and

WHEREAS, the Planning Board referred the Environmental Assessment Form to the Niskayuna Conservation Advisory Council (CAC) for their review and on January 3, 2024 the CAC recommended that a negative SEQR declaration be prepared with the following recommendations for the Planning Board to consider:

- The Developer shall explore solar and EV ready options for the new homes as well
  as explore pesticide free options for lawn maintenance as the properties are
  directly adjacent to wetlands.
- 2. The Developer shall use native species wherever possible in their plantings plans.
- 3. Drainage is critical to the review of this subdivision, and the developer shall provide for ways to maintain the privately owned stormwater management practices in perpetuity.
- 4. The applicant shall provide a public access easement from the Seneca Road culde-sac to the River Road Park and conserve the remaining undisturbed lands of the subdivision through a conservation easement or deed to the Town of Niskayuna

And,

WHEREAS, the Planning Board, acting in accordance with the State Environmental Quality Review (SEQR) regulations and local laws, has assumed the position of lead agency for this project and on January 8, 2024 via. Resolution 2024-01 directed the Town Planner to file a negative SEQR declaration for this project, and

WHEREAS, this Planning Board and Zoning Commission has discussed the requirements of Chapter 189 of the Code of the Town of Niskayuna for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, and

WHEREAS, the application was referred to the Complete Streets Committee and the Committee recommended that the path from the Seneca Road Cul-De-Sac to River Road park be made public in order to increase connectivity in the Town, and

WHEREAS, the Planning Board has discussed parkland requirements and agreed to accept Area 1 (+/- 83,453 SF) for drainage management and conservation initiatives and Area 2 (+/- 3,592 SF) for a public access pathway to River Road park and the installation of a water line, in lieu of \$9,000 of parkland fees, and

WHEREAS, the Superintendent of Water, Sewer and Engineering has reviewed the proposal and responded with comments, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby grant minor subdivision approval for a 3-Lot subdivision at tax map parcels 50.-1-7.1 and 51.9-2-1.1 as shown on the aforementioned drawings by Engineering Ventures PC subject to the following conditions:

- 1. In conjunction with recording the plat, the developer shall work with the Town Attorney to transfer the two areas labeled on the plat as Area 1 (+/- 83,453 SF) and Area 2 (+/- 3,592 SF), to be conveyed to the Town of Niskayuna. All conveyances shall be approved by the Town Attorney and filed in the Schenectady County recorder's office at the applicant's expense.
- 2. Prior to recording the plat, a final letter of approval shall be received from the Town Designated Engineer (TDE) regarding all engineering and drainage aspects of the site plan.
- 3. Prior to recording the plat, any engineering, sewer connection and drainage concerns will be addressed to the satisfaction of the Town Superintendent of Water, Sewer and Engineering.

- 4. Prior to recording the plat, any minor textual changes to the subdivision map will be addressed to the satisfaction of the Town Planning Department.
- 5. Prior to a final certificate occupancy for any of the single family homes, a final tree planting plan shall be submitted to and approved by the Niskayuna Tree Council. The Planning Board requires that as many trees as possible, including unmarked trees and understory, be preserved during the building permit and construction process so that the forested nature of the land is maintained and:
  - a. Norway Maple (Acer Platanoides) is an invasive species in New York. Prior to recording the plat, it shall be substituted with Red Maple (Acer Rubrum) or Sycamore (Platanus occidentalis), or a similar native species, in the 10 locations noted on the subdivision
  - b. The applicant shall work with the Council to plant two additional trees in the public ROW to the northwest of the driveway.
- 6. The limits of clearing on this subdivision shall be strictly adhered to during construction. To the maximum extent practicable the applicant shall retain as many of the site's healthy trees and native vegetation as possible.
- 7. Prior to issuing a building permit, the new houses shall be referred to and reviewed by the Architectural Review Board.
- 8. Prior to issuing a building permit, the applicant shall pay water and sewer trunk fees for the two new lots to the Town of \$2,000 for sewer (2 units x \$1,000 each unit) and \$2,000 for water (2 units x \$1,000 each unit).
- 9. Prior to issuance of a building permit, the applicant shall participate in a preconstruction meeting with the Town of Niskayuna if so requested by the Planning or Building Department.
- 10. Prior to site disturbance, the subdivision maps shall be modified to reflect agreed upon decisions of the preconstruction meeting, if any, and distributed as required to the Town and to all involved contractors. Final site plans shall be submitted to the Town labeled "for Construction."
- 11. Prior to final certificate of occupancy for any new homes, the applicant shall sign a Storm Water Control Facility Maintenance Agreement and Access Easement, in order to ensure the proposed storm water facilities are installed and maintained per plans.
- 12. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion

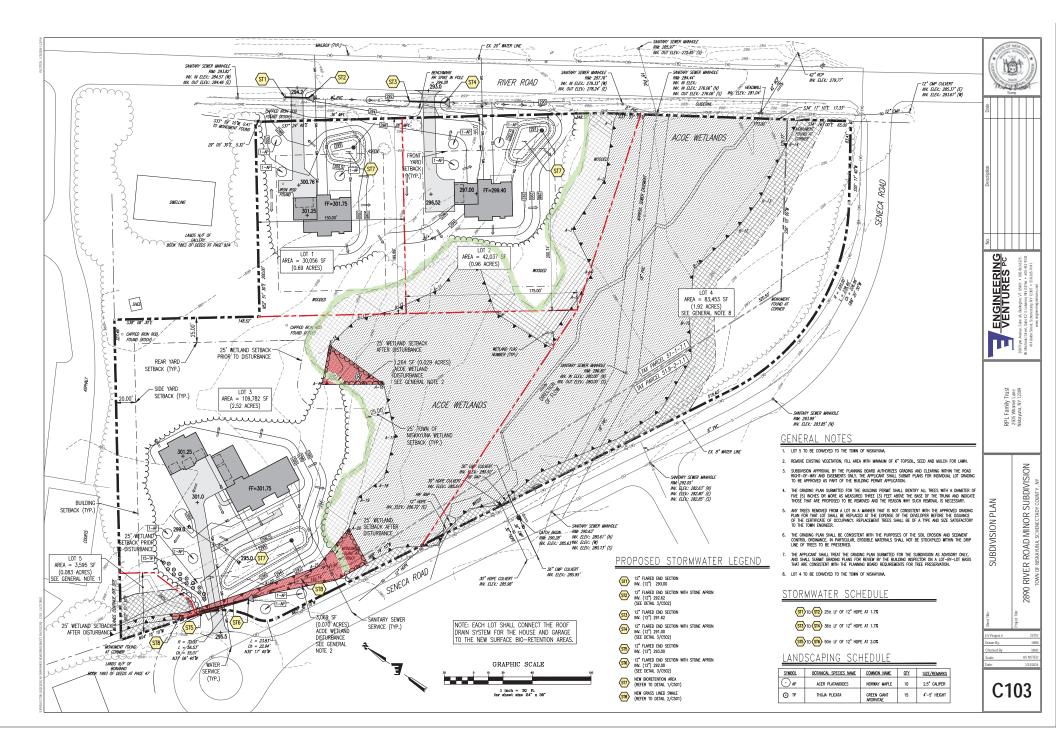
and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer, and Engineering and shall remain in place until such time as natural vegetation has been successfully established.

- 13. Wetland boundaries shall be recorded and shown on any plot plan of a building lot containing wetlands. Wetlands may not be disturbed, drained or physically altered in any way without first contacting the Army Corps of Engineers.
- 14. Additionally, the Town of Niskayuna requires that no land can be disturbed within a twenty-five (25) foot buffer from the boundary of the wetland. A split rail fence must be installed at said 25 foot buffer for each affected lot prior to issuance of a final certificate of occupancy.
- 15. Should the garage floor elevation (GFE) for individual lots deviate by more than six inches from the elevations approved for construction by the Planning Board and Zoning Commission or the Building Department, then revised grading plans shall be submitted immediately to the Town's Engineering office for their review and approval.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN GENGHIS KHAN CHRIS LAFLAMME DAVID D'ARPINO LESLIE GOLD NANCY STRANG SARAH BILOFSKY EHASUYI GOMES

The Chairman declared the same \_\_\_\_\_.





VICINITY MAP SCALE: 1"=400

PROJECT SITE AREA ROSENDALE RD [158]

### GENERAL NOTES

TAX MAP

- EXACT OBJECT LOCATIONS MAY DIFFER FROM THAT AS SHOWN, AND ADDITIONAL SUB-SURFACE AND SURFACE UNLINES MAY EXIST. THE CONTRACTOR IS TO PROCEED WITH GREAT CARE IN EXECUTING MAY WORK,
- Utilités Shown do not purport to constitute or represent al utilités locatés upon or adjacent to his sirvéres presures. Dating utilité locations are approximant out.\* The contraction spail, fall purpor al utilités. Au locategradois spail le réprortée to the domer no monetre. Sité contraction spail du utilité location spaince au utilité noires 72 hours, documé of médificiels and holdains, Propri to Ant Dogath, Gelluin, oil eussiène.
- -Mount for underly, including, including, including and including an including and including an i
- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT WARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT WARY FROM THE PLANS WITHOUT THE EXPRESSED APPROVAL FROM THE EXPRISE.
- THE CONTRACTOR IS INSTRUCTED TO COOPERATE WITH ANY AND ALL OTHER CONTRACTORS PERFORMING WORK ON THIS JOB SITE DURING THE PERFORMANCE OF THIS CONTRACT.
- THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO EXISTING CONDITIONS OR BETTER AS DETERMINED BY THE ENGINEER. ANY DAMAGED TREES, SHRUBS AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, UNLESS NOTED OTHERWISE.
- 6. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIRED PERMITS.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL BUILDING PERMITS. THE CONTRACTORS SHALL BE RESPONSIBLE FOR ALL WORK PERMITS, INSPECTIONS, AND CERTIFICATES.
- 8. THE CONTRACTOR WILL PROTECT EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE DISCINCE OR OWNER SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE UNDER THE SUPERMISSION OF A NEW YORK STATE LICENSED LAND SUPERVOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS AND SPECIFICATIONS, AND COORDINATE WORK WITH ALL CONTRACTS FOR THE SITE.
- 10.IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT EXPLORATORY TEST PITS AS MAY BE REQUIRED TO DETERMINE UNDERCROUND CONDITIONS.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWLTERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF MORK. DEWLTERING METHOD MUST BE APPROVED BY THE OWNER AND COORDINATED WITH THE CITY OF GLENS FALLS DEPARTMENT OF PUBLIC WORKS
- 13. MAINTAIN FLOW FOR ALL EXISTING UTILITIES, UNLESS NOTED OTHERWISE.
- 14. CONTRACTOR TO GRADE ALL AREAS ON THE SITE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND IMPERVIOUS SURFACES.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE CONTRACTOR SHALL PROVIDE MARKED-UP AS—BULT PLANS FOR ALL UTILITIES SHORING CONNECTIONS, BEDICS, MALES, LENGTHS OF LINES AND MINERIS. AS—BULT PLANS SHALL BE REVIEND BY THE OWNER AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED.
- 16. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION, MONTGRING, MAINTENANCE AND REMOVAL OF ALL TEMPORARY ENGOING CONTROL MESSURES AND TAKING PRECAUTIONARY STEPS TO AVOID MAY SEDIMENT TRANSFER TO INDIGIBLENCY STEES OR WESTERS OF THE STATE.
- 17. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM MATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAMED ARSING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

# SHEET\_INDEX

- SHEET SHEET TITLE

- SIRELL DREAD AND NOTES

  (101 STELLEGEND AND NOTES

  (101 DESTING CONDITIONS AND DEMOLITION PLAN

  (102 OFFERLE SIEGEMSON PLAN

  (103 SIEGEMSON PLAN

  (104 ERROSON AND SEMILIARIT CONTROL PLAN

  (501 STEL DEFAULS

  (502 STORM DETAILS

  (503 STER DEFAULS

  (504 DEFOSION AND SEMILIARIT CONTROL DEFAULS

  (1 07 2) C504 EROSION AND SEDIMENT CONTROL DETAILS (2 OF 2)

## SUBJECT PROPERTY:

TAX MAP PARCELS 51.-1-7.1 AND 51.9-2-1.1 2890 RIVER RD TOWN OF NISKAYUNA, SCHENECTADY COUNTY, NEW YORK

### APPLICANT/OWNER:

RPL FAMILY TRUST 2505 WHAMER LANE NISKAYUNA, NY 12309

# SURVEY NOTES

- 1. EXISTING PHYSICAL FEATURES, BOUNDARIES, AND TOPOGRAPY SHOWN HEREIN ARE BASED OF A PLAN ENTITLED "SURVEY LANDS OF RPL FAMILY TRUST #2890 RIVER ROAD", PREPARED BY GLBERT WANGUILDER LAND SURVEYOR, PLLC AND DATED DECEMBER 01, 2022.
- Engheering ventures has not performed any boundary or topographic surveys.
  The property lines, personers, and other field prepared support from the prepared to not define light, roots on Meet light, and not define light, roots on the light roots of his light property as suscept as the state of the light property as described in its statutes, and shall not be light as the basis of any land traverse for estimalisation of any personer travel.
- 3. CONTOUR INTERVAL DEPICTED HEREIN IS TWO (2) FOOT.
- 4. UTILITIES SHOWN DO NOT PURPORT TO CONSTITUTE OR REPRESENT ALL UTILITIES LOCATED UPON OR ADJACENT TO THE SURPCEP PREMISES. EXISTING UTILITIES SHOWN ON THE PLANS WEBE TRACE FROM FIELD DESERVATIONS OF YORIGINET WITHOUT SHOWN AND RECORD UTILITY DRIWINGS AND NOT GUARANTEED TO BE ACCURATE OR COMPLETE.



<u> MBOL</u>	LEGEND		
ISED FEATURES		EXISTING FEATURES	
•	BOUND	•	BOUND
•	BENCHMARK	•	BENCHMARK
	DRILL HOLE	•	DRILL HOLE
A	SURVEY POINT	A	SURVEY POINT
•	IRON PIN	•	IRON PIN
TP1	TEST PIT	TP1	TEST PIT
		81	
B1 <b>⊕</b>	BORING	•	BORING
P1	PERC TEST	21	PERC TEST
_	CATCH BASIN (SQUARE)	ī	CATCH BASIN (SQUARE)
	CATCH BASIN (ROUND)		CATCH BASIN (ROUND)
8	HEADWALL.	8	HEADWALL
Δ	FLARED END SECTION	Δ	FLARED END SECTION
<i>E</i>	STONE APRON	Æ.	STONE APRON
0	DRAIN MANHOLE (DMH)	0	DRAIN MANHOLE (DMH)
o C/0	DRAINAGE CLEAN OUT	o c/o	DRAINAGE CLEAN OUT
30	SANITARY SEWER MANHOLE (SMH)	3	SANITARY SEWER MANHOLE (SMH)
o C/0	SANITARY CLEAN OUT	o C/0	SANITARY CLEAN OUT
ж	HYDRANT	300	HYDRANT
*₫*	WATER SHUTOFF	<b>₩</b>	WATER SHUTOFF
¥≎≈××	TAPPING SLEEVE & WALVE	×	TAPPING SLEEVE & VALVE
×	GATE VALVE	ĕv ⊠	GATE VALVE
00	WELL	00	WELL
B	UTILITY POLE	G)	UTILITY POLE
-9	GUY POLE	-0	GUY POLE
■	ELECTRICAL MANHOLE	■	ELECTRICAL MANHOLE
4	FLOOD LIGHT	<	FLOOD LIGHT
-8	LIGHT POST	*	LIGHT POST
•	TELEPHONE MANHOLE	☞	TELEPHONE MANIHOLE
©	NATURAL GAS MANHOLE	©	NATURAL GAS MANHOLE
©	COMMUNICATION MANHOLE	©	COMMUNICATION MANHOLE
•	BOLLARD	•	BOLLARD
-	SINGLE POLE SIGN	-	SINGLE POLE SIGN
-	DOUBLE POLE SIGN	-0-0-	DOUBLE POLE SIGN
+100.5	SPOT ELEVATION	+ 100.00	SPOT ELEVATION

MAHOLE MANHOLF N MANHOLE SIGN SIGN ACCESSIBLE PARKING STALL DRAINAGE FLOW

( ) ( ) DECODUOUS TREE NRCS SOIL CLASSIFICATION

WETLAND SETBACK

ACCESSIBLE PARKING STALL

DRAINAGE FLOW

• DECIDUOUS TREE

CONIFEROUS TREE

## LINETYPE LEGEND

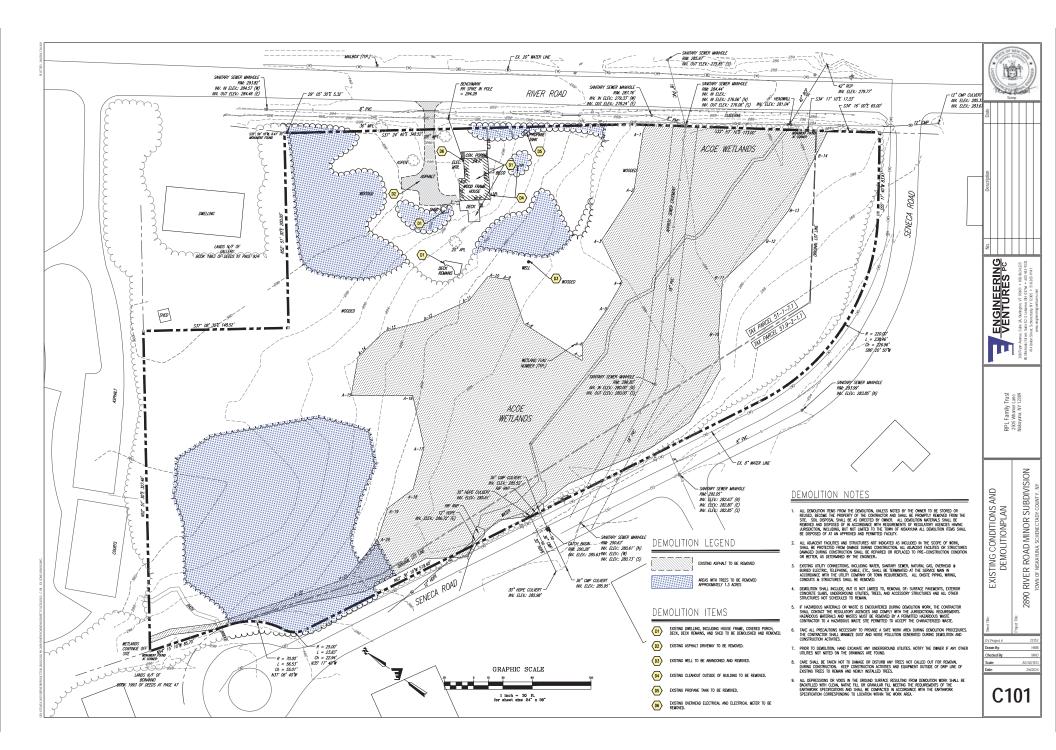
PROPOSED FEATURES		EXISTING FEATURES	
100	MAJOR CONTOUR	100	- MAJOR CONTOUR
98	MINOR CONTOUR	98	- MINOR CONTOUR
	PROPERTY LINE		- PROPERTY LINE
	BUILDING SETBACK		- BUILDING SETBACK
	··- WETLAND SETBACK		— WETLAND SETBACK
	EASEMENT		- EASEMENT
	CENTERUNE		- CENTERLINE
	EDGE OF PAVEMENT		— EDGE OF PAVEMENT
	- EDGE OF GRAVEL		- EDGE OF GRAVEL
	EDGE OF CONCRETE		- EDGE OF CONCRETE
	CURB		— CURB
x x	FENCE (BARBED WIRE)	x x	FENCE (BARBED WIRE)
·	FENCE (CHAIN LINK)		- FENCE (CHAIN LINK)
	FENCE (WOODEN)		- FENCE (WOODEN)
• • • • •			GUARD RAIL
~~~~	. TREE LINE	. ~~~~	. TREE LINE
	∞. STONE WALL	-00000000000000000000000000000000000000	STONE WALL
s	SANITARY SEMER	s	SANITARY SEWER
		(S)	SANITARY SEWER APPROX
-FM	SEWER FORCEMAIN	FM	SEWER FORCEMAIN
SD	STORM LINE		STORM LINE
		(SD)	STORM LINE APPROX.
UD-	UNDER DRAIN	up	UNDER DRAIN
FD	FOUNDATION DRAIN	FD	FOUNDATION DRAIN
RD			
	· - DITCH/SWALE	$\rightarrow \dots \rightarrow \dots \rightarrow \dots$	- DITCH/SWALE
UCT	UNDERGROUND TELECOMM	UGT	UNDERGROUND TELECOMM
	OVERHEAD TELECOMM	OHT-	
	UNDERGROUND ELECTRIC		
OHE -	OVERHEAD ELECTRIC	OHE	OVERHEAD ELECTRIC
	—— 8" WATER LINE	(W)	

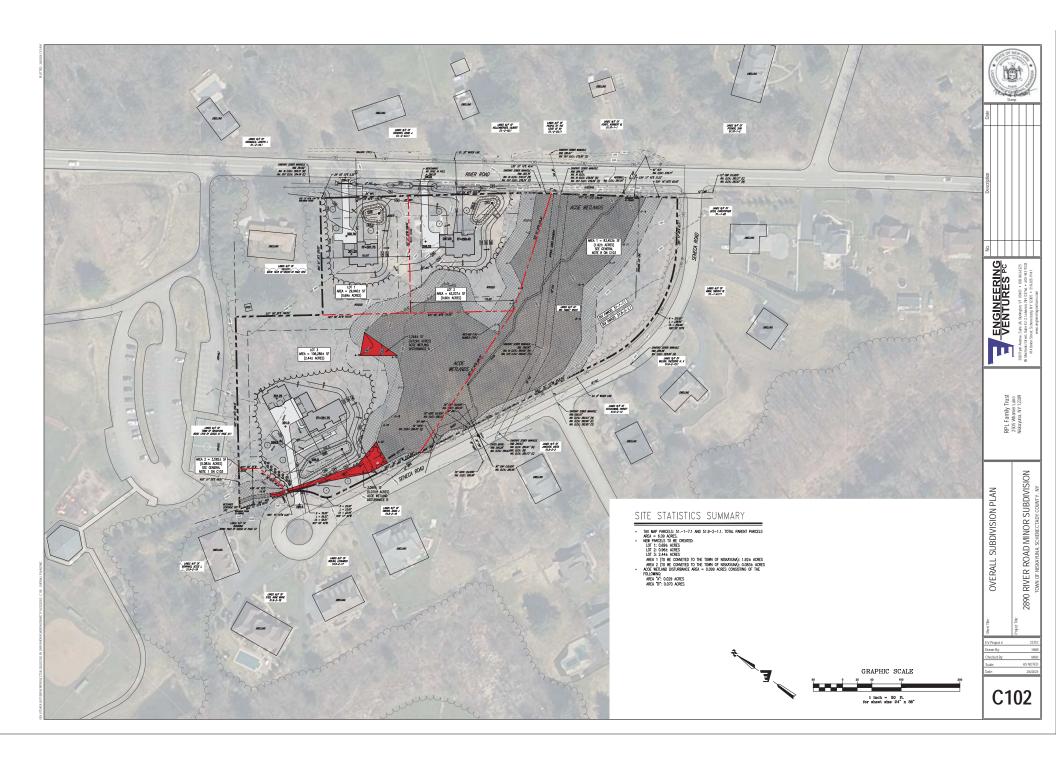
ENGINEERING VENTURES PC 

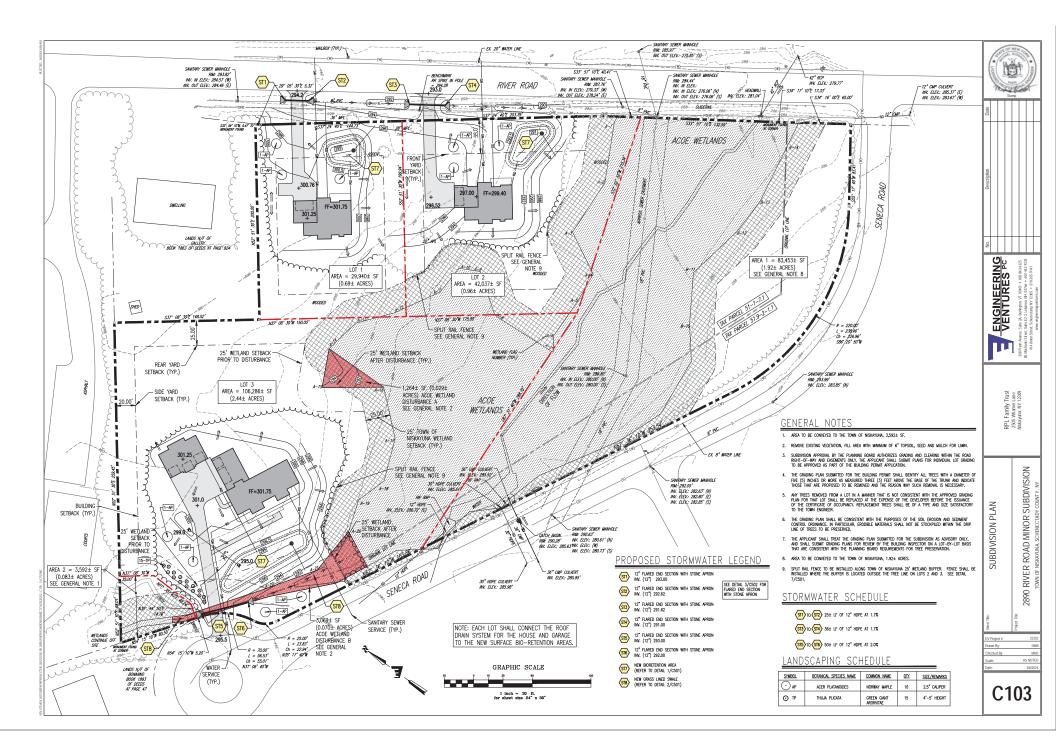
Family Whamer Whamer NY

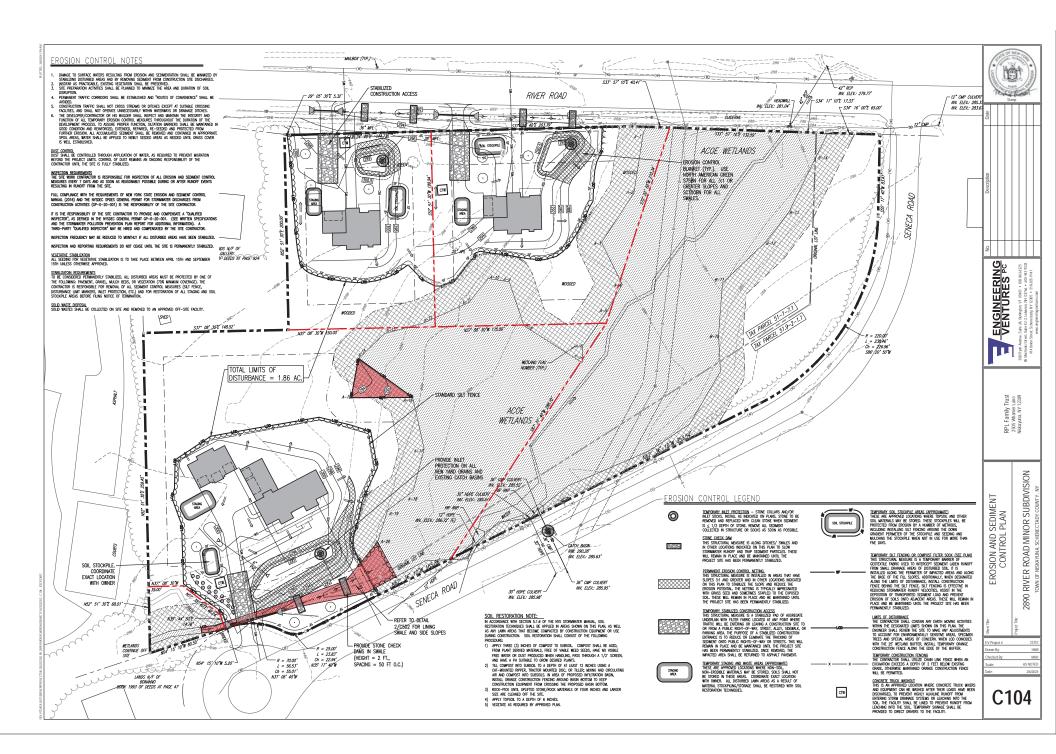
ROAD MINOR SUBDIVISION RIVER

LEGEND AND





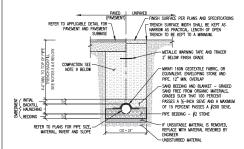




NULLES:
1. UNLESS OTHERWISE NOTED, ASSUME CLASS "C" SOILS, PERFORM ALL EXCAVATIONS TO OSHA
REQUIREMENTS.
2. BEDDING TO PROVIDE A FIRM, STABLE, CONTINUOUS AND UNIFORM SUPPORT FOR THE FULL LENGTH OF

- 2. BECOME TO FRONCE A FAMS, STAREL, CONTINUOUS AND UNKNOWN SUPPORT FOR THE FULL LIGHTH OF PAPE.

  A WIND A START AND A START OF THE SELL DOES DON A DOLE PROCHEM SEDMENT FROM DIFFERING AND A START OF THE SELL DOES DON'T DOLE PROCHEM SEDMENT FROM DIFFERING AND THE SELL OF THE SELL OF



- GRAFFY AND SERVE FORCE MAIN TREMEN MOTES.

  1. UNLESS OFFERENCE MOTE, ASSIME CLASS "S'OLS, PERFORM ALL DOWNTONES TO GOAN REQUIREMENTS.

  1. EXCEPTION FOR THAN, STREEL OFFERENCE AND UNDOWN SUPPORT FOR THE CIVIL LICIORIS OF PIPE.

  1. EXCEPTION FOR MOST AND ASSIME CLASS "S'OLS, PERFORM ALL DOWNTONES AND AND ADDRESS OF SIX MOST SERVED."

  1. EXCEPTION FOR FORCE MOST AND ADDRESS SHAPL BE PROMISED TO PROVIDE A MINIMAL DURANCE OF SIX MOST SERVED.

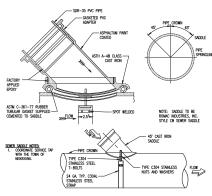
  1. EXCEPTION FOR THE STREET SHAPLE OF PROVIDE AN ANNUAL DURANCE OF SIX MOST SERVED.

  1. EXCEPTION FOR THE STREET SHAPLE OF THE MOST SHAPLE OF THE MINIMAL METERS DOWNTON THE TRECH.

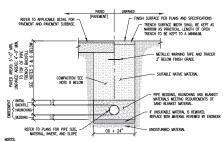
  DURANG CONSTRUCTION AND THE OF UNSURRELE MINIMAL METERS OF THE EMPHRISHMENT SHAPLE ON THE PERFORMANCE.

- 5. REDICT SECRETAL MINISTRA, PROCESSOR WITHOUT SECTIONS OF THE PARTMENS SPECIFICATIONS INCLUDED ON THE PROCESSOR AND PRESENT AND PROCESSOR AND

GRAVITY AND SEWER FORCE MAIN TRENCH DETAIL



SEWER SADDLE DETAIL



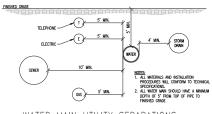
- NOTES:
  1. UNISSO OFFERMES MOTED, ASSAME CLASS "C" SOLS, PEPERAN ALL DICAMOIGNE TO COM REQUISIMENTS.
  1. UNISSO OFFERMES MOTED, ASSAME CLASS "C" SOLS, PEPERAN ALL DICAMOIGNE TO COM REQUISIMENTS.
  1. PROVISE MINIMAL DOORS AS SORION OFFER MUSE PEPE CONFERNES, EETER DO REALIZAND OFFER SMALLER HAVE ENGLISHED AS A REALIZAND MOTE OF A MOTE AND A REALIZAND OFFER MOTE AND A REALIZAND OFFER MOTE OF SOLICE AND A REALIZAND OFFER MOTE AND A REALIZAND CONFERNMENT OF SOLICE AND A REALIZAND CONFER MOTE AND A REALIZAND SH SIDE OF ALL PIPES. I BACKFILL MATERIAL, INCLUDING ROADWAY LOCATIONS, SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH I CONSTRUCTION AND FREE OF UNSUITABLE MATERIALS AS DEFINED IN THE EARTHWORK SPECIFICATIONS INCLUDED ON THESE
- DURING UNDIRECTION FROM TITLE, OF ORGANIZATION OF THE PER TO INSIDE PIPE IS NOT DAMAGED.

  7. NO MEDITAL SHAPES SHALL BE COMPLETED, IN 12" (MISTES, TO 92% OF MODIFIED PROCERS (ASM 1557) TO WITHIN 3 FEET OF PRINCIPLE ORDER. IN ARGUS MURIES WERE COMPLETED, IN 12" (MISTES). TO 92% OF MODIFIED PROCESS (ASM 1557) TO WITHIN 3 FEET OF PRINCIPLE ORDER. IN ARGUS MURIES ROUGHED, DIRECT, AND PRINCIPLE STEET SHALL BE COMPLETED. IN 6" LOTES, TO 10" (MISTES).

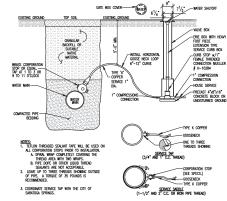
  1. THE STEET OF MUSIC MURIES AND ARGUS MURIES AND PROGRAM THE UPPER 3 FEET SHALL BE COMPLETED.

  1. THE STEET OF MUSIC MURIES AND ARGUS MURIES AND ARGUS
- 95% MODIFED PROCTOR (ASTA 1557) AND IN LAWN OR OTHER UNDEVELOPED SPACE THE UPPER 3 FEET SHALL BE COMPACTED, IN 6" LIVERS, 10 92% MODIFED PROCTOR (ASTA 1557) AND IN LAWN OR OTHER UNDEVELOPED SPACE THE UPPER 3 FEET SHALL BE COMPACTED TO 92% MODIFED PROCTOR.

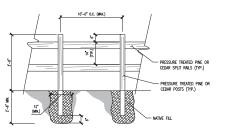
WATER TRENCH DETAIL NOT TO SCALE 4



WATER MAIN UTILITY SEPARATIONS



COPPER SERVICE CONNECTION DETAIL



WOOD SPLIT RAIL FENCE DETAIL

### SITE/FARTHWORK SPECIFICATIONS

ALL EARTHWORK MATERIALS SHALL BE OBTAINED FROM APPROVED SOURCES. THEY SHALL CONSIST OF SATISFACTORILY GROUPE, FREE DRIVINGS MATERIAL, REASONABLY FREE FROM LOWA, SIT, CLAY AND ORGANIX MATERIAL. PARTHMORK MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING TABLES:

A. IMPORTED STRUCTURAL FILL:
SIEVE DESIGNATION PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES 4 INCHES 1/4 INCH NO. 4 NO. 200 B. #2 STONE: SIEVE DESIGNATION PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES 1 1/2 INCHES 1 INCHES 1/2 INCH 100 90 - 100 0 - 15

C. GRAVEL SUBBASE: NYSDOT SECTION 733.04, TYPE SIEVE DESIGNATION PERCENT BY WEIGHT PASSING SOUARE MESH SIEVES 2 INCHES

D. SAND BLANKET / BEDDING
SIEVE DESIGNATION PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES 100 90 - 100 70 - 100 60 - 100 0 - 20 0 - 8 1 1/2 INCH 1/2 INCH NO. 4 NO. 100 NO. 200

E. <u>LIGHT STONE FILL</u> (RIP RAP) STONE SIZE PERCENT BY TOTAL WEIGHT

ANY FILL REQUIRED TO ESTABLISH FINAL GRADES OR SUBGRADES SHALL BE MADE USING IMPORTED STRUCTURAL FILL.

TOLLINE RELIGIOUS OF THE TROPALE AND ANSWERS SERVICE LEAVINGS, THE DIFFEST SERVICE SHALL SERVICE OFFICIALS PROOF AND SHALL SER INVESTED OF A RECEIVED DRIESE PROMED BY THE OWNER, PROOF FALLING SHALL SE PERSONED IN OFFICE PROOF SHALL SHALL SERVICE AND AN INTUITY PERSONED OFFICIAL SHALL SERVICE AND AN INTUITY OF SHALL SERVICE OFFICE AND AN INTUITY OFFICE OF ANY EXISTING STRUCTURES SHALL BE PERSONED USED FORDER LIVE SHALL BE

IF THE PROOF ROLL DETRIFFES SUBGRADE MATERIAS THAT ARE NET, LOOSE, OR DISTURBED, THEY SHALL BE REMAND BEFORE PLACING BUSINESSES, THEY SHALL BE REMAND OF THE PROJECT GETECHNICAL DISTURBES. SMALE PROJECT GETECHNICAL DISTURBES SHALL BE REMANDAL SHALL BE DETECTION. SHAND AND GENETIC BROWNED SHAPE SHALL BE REMANDED WITH BROWNED STRUCTURE. FILL, A RUN-CF-BANK SHAND AND GRAVEL CONFORMING TO THE GRADATION LIMITS OF NOTE TA AND COMPATIONS DESCRIBED IN 100T END.

ALL FILL MATERIALS, INCLUDING IMPORTED STRUCTURAL FILL AND GRAVEL SUBBASE, SHALL BE PLACED IN LIFTS NOT EXCEEDING 12 NOVES LOGS THICKNESS AND COMPACTED TO A DRY DENSITY OF AT LEAST 95 PERCENT OF THE MATERIAL'S MAXIMUM DRY DENSITY AS IT IS DEFINED BY THE MODIFIED PROCTOR COMPACTION TEST, ASTIM DESIGNATION D-1557.

COMPACTION TESTING SHALL BE PERFORMED FOR EVERY LAYER OF MATERIAL PLACED AND FOR EVERY 500 SQUARE FEET OF MEA AND EVERY 100 LINEAR FEET OF UTILITY TRENCH. PERFORM A MAINLAIN OF THREE TESTS PER LIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING.

7. UNLESS OTHERWISE NOTED, ASSUME CLASS "C" SOILS, PERFORM ALL EXCAVATIONS TO OSHA REQUIREMENTS.

TO

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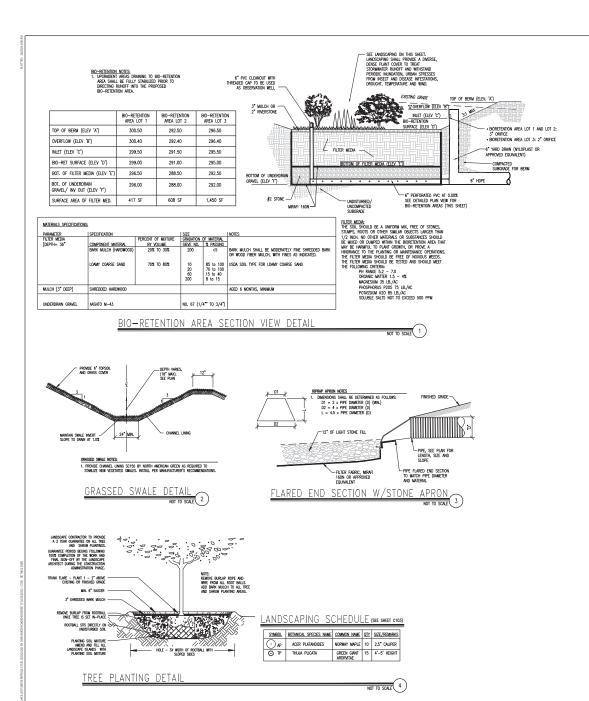
> Frust Lane 12309 Family 7 Whamer L yuna, NY 1 RPL 2505 Niska)

> > ROAD MINOR SUBDIVISION RIVER 2890

DET

SITE

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No Description

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VENTURES PC
281 Franciscus Sub St. James (1 1564 0 - 182 83-523)
B. Admired St. B. St. James (1 1564 0 - 182 83-523)
B. Admired St. B. B. L. James (1 1564 0 - 182 83-53-54)

RPL Family Trust 2505 Whamer Lane Niskayuna, NY 12309

STORM DETAILS

ROAD MINOR SUBDIVISION

RIVER

Troject # 2

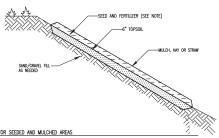
 EV Project #
 22352

 Drawn By:
 HMB

 Checked By:
 MHE

 Scale:
 AS NOTED

 Date:
 285/202



FERTILIZER- 10 LBS. PER 1000S.F. SPRING SEEDING FALL SEEDING

LIME - 90 LBS, PER 1000S.F. DOLOMITIC GROUND LIMESTONE NOT LESS THAN 85% OF THE TOTAL CARBONATE

TOP SOIL
6" MINIMUM APPROVED TOPSOIL

STRAW MULCH- 2 BALES PER 1000S.F. APPLY BINDER OR NETTING AS NEEDED

NOTES FOR SEEDED AND MULCHED AREAS

1. MULCH: HAY OR STRAW MAY BE UTILIZED AND SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE.

2. SEED: SHALL BE OF THE FOLLOWING MIXTURE

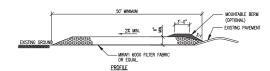
KENTUCKY BLUE GRASS -----20 POUNDS / ACRE CREEPING RED FESCUE ----20 POUNDS / ACRE RYE GRASS ----5 POUNDS / ACRE

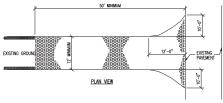
3. COVER SEED WITH  $\frac{1}{4}$  INCH SOIL UNLESS A HYDROSEEDER IS USED. 4. MULCH ANCHORING: SHALL BE ACCOMPLISHED BY DEGRADABLE MULCH NETTING, USE WHEN SLOPES ARE GREATER THAN 10%.

5. TOPSOIL AND MULCHING NOT TO BE APPLIED IN AREAS OF TRAVEL WAYS

SEEDING AND MULCHING OF DISTURBED AREAS SHALL TAKE PLACE WITHIN 48 HOURS OF FINAL GRADING.

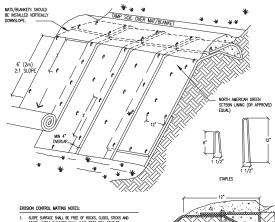
### SEED AND MULCHED AREAS DETAIL





### STABILIZED CONSTRUCTION ENTRANCE NOTES:

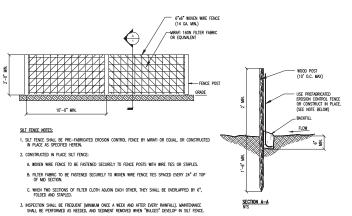
- 1. STONE SIZE: USE 1-1/2" CRUSHED STONE.
- SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCE SHALL BE PIPED ACROSS THE ENTRANCE.
- MANTENANCE THE ENTRANCE SHALL BE MANTANED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING
  OF SERVICING TONIO PRIEND FORTH-OF-WAYS. THIS MAY REQUIRE PERSIONS (TOP DRESSING WITH ADDITIONAL STONE
  AS CONDITIONS DAWNOL REPARK ARG/NE CREADULT MY MEGISHES USED TO THE SERVICING. IS SOMETHY
  SPILED, DROPPED, WISHED, OR TRACKED ONTO PUBLIC ROHT-OF-WAYS WIST BE REMOVED MANEDWITLY.
- 4. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- Wheels shall be cleaned to remove mud prior to entrance onto public right-of-way, when washing is required, it simul be done on an area stabilized with stone which drains into an approved sediment trapping device.



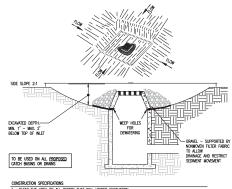
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.

LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL DO NOT STRETCH.

EROSION CONTROL MATTING DETAIL



SILT FENCE DETAIL



CONSIDERATION SPEED-FACINITY

C. CURP THE RES OF ALL DEBSES THAT WILL HINDER EXCHANDON.

2. GROVE, PAPERSON TO THE RUITE UNKNOWNER MOUNDAIN THE BOSH.

VERY STREET OF ALL DEBSES THAT WILL HINDER EXCHANDON.

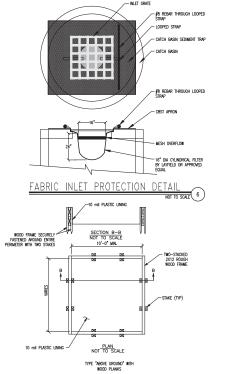
VERY STREET OF ALL DEBSES THAT WILL HINDER EXCHANDON.

FOR THAT OF ALL DEBSES THAT OF CONTRIBUTION OF BORNIES, THAT DEBSES THAT DEBSES WITH STREET SOIL TO FINAL GROVE, COMPACT IF PROPERTY AND STREETE WITH PERMANENT SEEDING.

S. GROWED, BUSS, GOTTE GUERNES, FIRETON OF STREETE WITH PERMANENT SEEDING.

FOR THAT OF ADMINISTRATION OF ALL DEBSES DEBSES OF THE YEST STREETED WITH THE WITH SECTION OF THE W





WOOD FRAME CONCRETE WASHOUT DETAIL

ENGINEERING VENTURES PC 11

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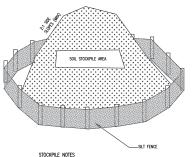
RIVER ROAD MINOR SUBDIVISION EROSION AND SEDIMENT CONTROL DETAILS (1 OF 2)

IREE PROTECTION NOTES:

1. TO ACCULANCE THE CRITICAL ROOT RADIUS, ESTIMATE THE TREE'S HEIGHT AND MULTIPLE
BY 40 FRENCHT (0.40). THE RESULT IS THE APPROXIMATE DISTANCE FROM THE TREE
TRUMK TO THE EDGE OF THE CONSTRUCTION FENCING.

- FENCE SPECIMEN TREES AND GROUPS OF TREES, WHERE ROOT LOSS WILL OCCUR, ROOT PRUNE ONE FOOT BEYOND THE CONSTRUCTION FENCE USING A VIBRATING KNIFE OR NARROW TRENCHER ALWAYS WITH SHAPP BLACES TO MAKE CLEAN CUTS. BACKFILL MANEDIATELY AND COPER WITH 3 NOTES OF MALCH.
- INSTALL SILT FENCE ON THE INTERIOR OF THE CONSTRUCTION FENCING TO KEEP SOIL FROM DISTURBED AREAS OUT OF THE ROOT ZONES OF TREES TO BE SAVED.
- 4. FERTILIZE, WATER, AERATE AND OTHERWISE AID TREE HEALTH.
- COORDINATE THE FINAL LOCATION OF THE CONSTRUCTION FENCING AND ROOT PRUNING WITH THE OWNER.

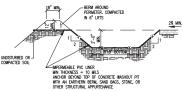
TREE PROTECTION FENCING DETAIL



- 1. STOCKPILES TO HAVE MAXIMUM 2:1 SIDE SLOPES.
- 2. SILT FENCE SHALL BE PLACED AROUND THE PERIMETER OF STOCKPILE AREA.
- STOCKPILE AREA TO BE STABILIZED WITH VEGETATION, GEOTEXTILE, OR COVER. IF COVER TO BE USED, COVER SHALL BE SECURED WITH USE OF SAND BAGS OR OTHER MEASURES TO PREVENT COVER FROM BLOWING OFF STOCKPILE.
- 4. STOCKPILES SHALL BE PLACED ON DRY AND STABLE AREAS.

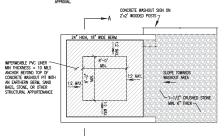
TOPSOIL STOCKPILE AREA

NOT TO SCALE 2

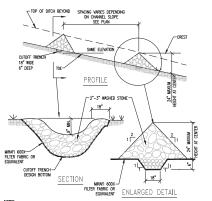


### CONCRETE WASHOUT AREA NOTES

- 1. ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE
- 1. ALL CONCRET MONOUT FACILITIES SAVE, SE INSPECTIO DAILY, COMMEDIO RELIGIORE SAVALE SE DECEMBERA DAIL REPREMEIPER/PLAZES MARRIENELY DESCES MANNERS DAIL NE MAN SCALE SAVE MAN SERVICIA SE MAN SERVICIA SE MAN SERVICIA SE PARA SE MAN SE M



# EXCAVATED CONCRETE TRUCK WASHOUT DETAIL



# NOTES: 1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE UNES, GRADES AND LOCATIONS SHOWN IN PLANS.

- IN PLANS.
  SET SPACING OF CHECK DAWS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAW IS AT THE SAME ELEVATION OF THE TICE OF THE UPSTREAM DAW.
  SETTION THE STORE A MANIMAL OF 15 FEET BENOON THE DIFFOR BAWNS TO PREVENT CUTTING AROUND THE DAW.
  THE DAW.

- PROJECT THE CONNECT THE CONTINUENCE AND FIRST DURS TO ME HOUSE OUT AND ENGUING WHIT STONE OF LIKER AS APPROPRIATE. PRUTETINANCES SUCH AS CULLETE ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OF BLOCKAGE FROM DISPLACED STONES.
  REMOVE ACQUIMILITIES SEDIMENT BEHIND CHECK DAM WHEN 1/2 THE HEIGHT OF THE DAM. REPLACE STONES AS NECESSARY.

STONE CHECK DAM DETAI NOT TO SCALE 6

### GENERAL FROSION CONTROL NOTES

# STATES, ACTOS 1. HE TO-STEE FRESON CONTROL PLAN CORROMATO? SHALL SE PRESENT ON-STE FROM DAY-TO-DAY, AND SHALL SE RESPONGELE FOR SCHAME HE RESPOND CONTROL SEASONES REQUIRED BY THE ERSONS CONTROL TANK EDWAL MONTON, AND FRENENCY INSCLILLED MONAMENED. THE CONTROL PROSING CONTROL TANK EDWAL MERTIN SCHOOL OF REVENUES AND MONTONEY OF RESPOND AND MONTONEY OF REVENUES AND MONTONEY OF REVENUES AND MONTONEY OF REVENUES. A COPY OF THESE PLANS AND MONTONING MONTONEY CROSSES SHALL SERVE FORCE AND AND MONTONING PROMISERS. TO COPY OF THESE PLANS AND MONTONING MONTONING CROSSES SHALL SERVE FORCE AND AND MONTONING PROMISERS.

- EROSION CONTROL MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROLS", DATED NOVEMBER 2016, OR LATEST EDITION.
- DISTURBANCE LIMITS ARE TO BE MARKED, AND THE FOLLOWING MANAGEMENT PRACTICES INSTALLED, PRIOR TO BEGINNING EARTH WORK IN ANY GIVEN AREA, SILT FENCE, CONSTRUCTION ENTRANCE, NILET PROTECTION, AND TREE PROTECTION FENCING.
- THE PERIOD BETWEEN OCTOBER 15TH AND APRIL 15TH IS CONSIDERED THE "INITIER CONSTRUCTION PERIOD". A PLAN FOR WINTER CONSTRUCTION MUST BE DEVELORED BY THE CONTRICTOR, AND SUBMITTED TO THE ENGINEER AT LEAST 30 DAYS IN ADMIANCE OF PROPOSED EARTH DISTINGANCE DURING THIS PERIOD.
- S. ALL SCHEED, MACK MET TO BE CHINATED (TREMPANY OF TIME) WHIRE Y DOES OF WHILE SCHEBBOOK AFTER THIS THE MEY MET MET SCHEBBOOK WHITE THE THOUGH WHICH THE TRUDWING DESPRISE.

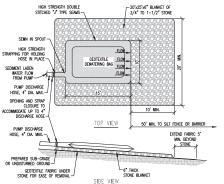
  SIMPLICATION SO HE CREATED "FROM S TO CONTINUE THE ME MET MET MAY A HOUSE AND TO PRECIPITATION IS IN WOCK S COLORISON WHITH A SUIT-CONTINUE DESIDENCY, ETC. OR MORE IN DEPTH. IN OUCE SHALL, ONE EDITIONS OF MEET MEN HE HAVE AND THE SHALL SHAL
- THE CONTRACTOR IS RESPONSELE FOR DAILY INSPECTION OF THE ADMICENT ROADWAYS FOR OFF—SITE TRACKING OF SOIL MATERIALS, SOIL, STOKE, AND DEBBIS FOUND LEWING THE SITE ARE TO BE REMOVED (WHEN FOUND) BY SMEETING AT THE END OF EACH CONSTRUCTION BUY, OR MICHOE RECOLUNITY WHEN MEEDED TO PREVENT IMPACTS TO ADMICENT ROADS AND
- IF DEMATERING IS REQUIRED FOR CONSTRUCTION, THE CONTRACTOR MUST UTILIZE SEDMENT FILTER BAGS (OR ALTERNATE APPROVED BY THE ENGINEER) TO PREVENT DISCHARGE OF SEDMENT-LAGEN WATER OFF SITE.

# TEMPORARY/CONSTRUCTION EROSION CONTROL MEASURES 1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE DISTURBED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS DISTURBED, THE DISTURBANCE SHALL BE KEPT TO THE SHORTEST PRACTICAL DURATION AS APPROVED BY THE ENGINEER.

- Dust shall be controlled with water distributed by a truck-mounted spray bar. Calcium chloride (Aashto M 144) or sodium chloride (Aashto M 143) shall be used as directed by the engineer.
- 3. SILT FENCES SHALL BE INSTALLED GENERALLY 10 FEET FROM THE BASE OF THE FILL SLOPES, OR AS SHOWN ON THE PLANS SHEETS SHALL REMAIN IN PLACE UNTIL THE PROJECT SITE WAS BEEN STARLUZED. SOMEWAY THAT US SHOWN ON HE BEHIND THE SIT FEINCE WHEN IT BECOMES 6 MONES DEEP AT THE FENCE. THE SIT FEINCE WILL BE REPAYRED AS NECESSARY TO WANTAIN A PROPER SEDIMENT BARRIER.
- EXCAVATED MATERIAL FROM EARTH EXCAVATION AND DITCH DIGGING SHALL BE PLACED ONSITE IN A LOCATION TO APPROVED OF BY THE OWNER AND/OR THE ENGINEER OR USED FOR PROJECT FILL MATERIAL IF DETERMINED SU THE OWNER'S EMPRESSIONATE
- STOOPLED MATERIAL (TOPSOLL BORROW, ETC.) SWALL HAVE SLIT FENCE CONSTRUCTED AROUND THE PERMETER. THE STOOPLED MATERIAL SHALL BE SEEDED AND MALDERS AS SOON AS POSSIBLE TO PREVENT SOLL PROSION MO SECREMENTATION OFF STEL LOCATE STOOPLED ON THE UPHALL SIZE OF TOSTUBERS DATES, IF POSSIBLE, DIAMEN WHOY CONDITIONS, STOOPLED MATERIAL SHALL BE COVERED OF WINTERD APPROPRIATELY TO PREVENT WIND ERROSON.
- 6. SLOYES GREATER THAN 3-1 SHALL HAVE DROSON CONTROL NETTING INSTALLED TO SHARLED THE SLOYE AND REDUCE THE DROSON POINTAIN. NETTING SHALL EN RECOGNIZATE HIM IN IT WORTH LOWERTY, STOREN AS MANAFACTERS OR BROOKED THE STATE OF THE STATE OF

# PERMANENT EROSION CONTROL MEASURES 1. WHEN FINAL GRADES ARE REACHED IN AN AREA, IT SHALL BE SEEDED AND MULCHED WITHIN 48 HOURS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE OF ALL DISTURBED AREAS, INCLUDING WATERING UNTIL THE AREA IS INSPECTED AND ACCEPTED BY THE OWNER OR ENGINEER.
- 3. AFTER THE SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND INSTALL PERMANENT VEGETATION ON THE DISTURBED
- RE-SELING SHALL BE DONE WITH ALL ARDS ARE COMPLETELY COVERED WITH A MATURE STRAND OF GROSS, AN AREA SHALL BE CONSIDERED CONCERN WHEN THE DITTER SHAPE COMMINE A RESPONDENCE STAND OF BROSS, AREA THAT, IN THE OPPHONE OF THE OWNERLY, ARE FORDOMNENTED WITH SHAPE ALL BE FORDING THE OWNERLY, ARE FORDING THE OWNER AND THE OWNER SHEED THE WARREST SPECIFIED PREVIOUSLY, DERICONNIC CULTION NOT TO CHIEF DIMAGE TO NEW OR DISTRIBUTED MATERIAL.
- 5. ALL STABILIZATION INVOLVING SEEDING IS TO BE COMPLETED BY SEPTEMBER 15TH.



- NOTES:
  1. ALL PROJECT DEMATERING PUMPS SHALL DISCHARGE INTO A PUMPED SEDIMENT CONTROL DEMCE.
  2. GEOTEXITILE BMG MATERIAL BUSED ON PARTICLE SIZE IN PUMPED WATER, I.E., FOR COARSE PARTICLES A WOVEN

- 2. GUIDILIZE BOS MINIONE DESCEND OF PRITICE SIZE IN FOURTH MORE, L., DY CURNED PRITICES A MONTH METRICAL PRISONER AND AN ADMINISTRATION OF THE PRISONER OF THE BOSON OF THE PRISONER OF THE PR
- Floor, Grass Lawn or Coarse Gravel/Stone.

  Discharge Location shall meet all requiatory setracks from Wetlands and other water coursess.

  Heavy Equipment access to the the pumped sediment control device site shall be maintained for replacement and disposal.
- O FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF FAMING AND REMOVAL

PUMPED WATER FILTER BAG

NOT TO SCALE 5

### WINTER FROSION CONTROL NOTES

WINTER CONSTRUCTION STANDARDS AND EROSION AND SEDMENT CONTROL MEASURES APPLY TO ALL CONSTRUCTION ACTIVITIES INVOLVED WITH ONGOING LAND DISTURBANCE AND EXPOSURE BETWEEN OCTOBER 15TH TO THE FOLLOWING APPL 15T.

WINTER CONSTRUCTION PROCEDURES

1. DURING WINTER CONSTRUCTION, INSPECTIONS BY THE ON-SITE FUAN COORDINATOR SHALL OCCUR DAILY WHEN
AREAS ARE UN-STABLE, AND WEEKLY PRIOR TO ANY FOREASTED RAIK, THAW OR SPRING WELT WHEN TEMP

- IF THE SITE WILL NOT HAVE EARTH DISTURBING ACTIVITIES ONDOING DURING THE WINTER CONSTRUCTION PERSOD, ALL DIREC EMPOSED SOL WAST BE STREAMED HE STERLEDING VERSITION, STRING FOR OTHER ACCEPTAGE. MACH, MATTINE, ROCK, OR OTHER PROPRIED MATERIAS, SUCH AS ROLLED BESSON ORTHOR, PROPRIED OF AREAS WITH MALCH CONER IS PREPERSED BUT SEEDING ALONE IS NOT ACCEPTAGE FOR PROPRIE STREAMEDION.
- PREPARE A SNOW MANAGEMENT PLAN WITH ADEQUATE STORAGE FOR SNOW AND CONTROL OF MELT WATER, REQUIRING CLEARED SNOW TO BE STORED IN A MANNER NOT AFFECTING ONCOING CONSTRUCTION ACTIVITIES
- Enlarge and Stabilize access points to provide for snow management and stockpling. Snow management activities must not destroy or degrade installed erosion and sediment control practices.
- 5. LIMITS OF DISTURBANCE SHALL BE MOVED OR REPLACED TO REFLECT BOUNDARY OF WINTER WORK.
- A MINIMUM 25-FT BUFFER SHALL BE MAINTAINED FROM ALL PERMETER CONTROLS (SUCH AS SLT FENCE) TO ALLOW FOR CLIARING AND MAINTENANCE. MARK SLT FENCE WITH TALL STAKES THAT ARE VISIBLE ABOVE THE SHOW PACK.
- SNOW IS TO BE REMOVED FROM ALL STRUCTURAL EROSION AND SEDMENT CONTROL MEASURES FOLLOWING EACH STRUCKET, NO SNOW SPORGE UP-GRODENT OF DISTURBANCE. NO SNOW SPORGE IN SEDMENT PONDS/MENSIS. IF MECESSARY, SNOW/JCE MASTE BE REMOVED FROM TO STARLIZATION OF DISTURBED AREAS.
- 8. EDGES OF DISTURBED AREAS THAT DRAIN TO A WATERBOODY WITHIN 100 FT SHALL HAVE 2 ROWS OF SILT FENCE, 5
- DRAINAGE STRUCTURES SHALL BE KEPT OPEN AND FREE OF SNOW AND ICE DAMS. ALL DEBRIS, ICE DAMS, OR DEBRIS FROM PLOWING OPERATIONS, THAT RESTRICT THE FLOW OF RUNOFF AND MELTWATER, SHALL BE REMOVED.
- SEDIMENT BARRIERS MUST BE INSTALLED AT ALL APPROPRIATE PERMETER AND SENSITIVE LOCATIONS. SLT FENCE AND OTHER PRACTICES REQUIRING EARTH DISTURBANCE MUST BE INSTALLED BEFORE THE GROUND FREEZES.
- STOCKPILES MUST BE PROTECTED BY THE USE OF ESTABLISHED VECETATION, ANCHORED STRAW MULCH, ED STABLIZATION MATTING, OR OTHER DURNELE COVERNO. A BARRIER MUST BE INSTALLED AT LEAST 15 FT IT THE TOE OF THE STOCKPILE IT PREVIOUS TO UN MORATION AND TO CAPTURE LODGE SOIL.
- 12. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEXCHES SHOULD BE INTIMUTED BY THE END OF THE MEXT GUISNESS DAY AND COMPLETED WITHIN THESE (3) DAYS. ROLLED EROSINO CORRINGL BLANCESS MUST BE USED ON ALL SLOPES 13 OR STEEPER
- 13. IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABLIZATION, IT SHALL BE APPLIED AT DOUBLE THE STANDARD ARE OF 2 TONS PER ACRE, MANNS THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURES'S RECOMMEDIED RATE.
- 14. TO ENSURE ADEQUATE STABILIZATION AND COVER OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL, SHOULD BE STABILIZED AT THE END OF EACH WORK DAY WITH THE FOLLOWING DISCEPTIONS: a. WORK WILL RESUME WITHOUT AP HOURS IN THE SUME AREA AND NO PREPENTATION IS FORECAST.
- b. THE WORK IS IN DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES, FOUNDATION EXCAVATIONS. OR WATER MANAGEMENT AREAS.
- 15. USE STONE PATHS TO STABILIZE ACCESS PERIMETERS OF BULLINGS UNDER CONSTRUCTION AND AREAS WHER CONSTRUCTION VEHICLE TRAFFIC IS ANTICIPATED. STONE PATHS SHOULD BE A MINIMAM 10 FT IN WIDTH BUT WIDER AS ENCESSARY TO ACCOMMODITE EQUIPMENT.
- ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE BY OCTOBER 15, OR IF NOT POSSIBLE, THEN PRIOR TO GROUND FREEZE.
- 17. SNOW AND ICE SHALL BE REMOVED TO LESS THAN 1" THICKNESS PRIOR TO STABILIZATION

### CONSTRUCTION SEQUENCING

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A DETAILED CONSTRUCTION SECUENCE DETAILING THE SPECIFIC WORK THAT WILL BE PERFORMED. THE SECUENCE PROVIDED IS FOR GENERAL WORK ITEMS TO ENSURE THAT SEDIMENT LADEN RUNOFF IS NOT DISCHARGED FROM SITE. CONTRACTOR TO ENSURE THAT NO MORE THAN 5 ACRES IS DISTURBED AT ANY ONE TIME WITHOUT AREAS BEING FULLY STABILIZED.

- OBTAIN ALL NECESSARY APPROVALS AND PERMITS FROM THE APPROPRIATE AGENCIES INCLUDING THE MYSDEC, ACCE, AND THE TOWN OF INSKRYUNA.
- 2. HOLD PRE-CONSTRUCTION MEETING WITH ALL NECESSARY PARTICIPANTS AT LEAST ONE WEEK PRIOR TO STARTING
- 3. INSTALL STABILIZED CONSTRUCTION ENTRANCE, MARK LIMITS OF DISTURBANCE WITH FLAGGING/TAPING OF APPROPRIATE MEASURES, INSTALL SILT FENCING DOWNSLOPE OF WORK AREAS AS SHOWN ON THE PLAN, INSTALL INLET PROTECTION ON EXISTING CATCH BASIN IN SENECA ROAD.
- BEGIN DEMOLITION OF EXISTING STRUCTURES AND UTILITIES AS SHOWN ON THE DEMOLITION PLAN. CONTRACTOR
  TO STORE EXCAVATED SUBBASE MATERIAL FOR RE-USE ON SITE IN DESIGNATED STAGING AREA, IF DEEMED
- STRP TOPSOIL FROM AND BEGIN FOUNDATION EXCANATION AND ROUGH GRADING. FUTURE BIO-RETENTION BASIN AREAS NOT TO BE EXCANATED AT THIS TIME TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING THE BASINS.
- 8. INSTALL PROPOSED WATERLINE AND SANITARY SEWER LINE
- 9. INSTALL ALL REMAINING UNDERGROUND UTILITIES, INCLUDING STORM CONVEYANCE SYSTEMS.
- 10. FINAL GRADE PAVEMENT AREAS AND INSTALL PAVEMENT BASE COURSES.
- . Once all upslope tributary areas have been stabilized, the Bio-retention basins may be installed. Special care to be taken to not compact the native soils at the bottom of the Bio-retention basins
- 12. INSTALL LANDSCAPING AND IMMEDIATELY STABILIZE ALL 3:1 SLOPES WITH EROSION CONTROL BLANKET.
- 13 INSTALL ANY REMAINING HARDSCAPE
- 14. ONCE ALL DISTURBED AREAS HAVE ACHEVED FINAL STABILIZATION, THE REMAINING EROSION CONTROL FEATURES SHALL BE REMOVED. STABILIZE MY AREAS DISTURBED DURING THE REMOVAL OF TEMPORARY EAS MEASURES. INSTALL FERMINENT SEED AND MULCH ON ANY AREAS NOT ARREASY STABILIZED.
- 15. INSTALL BINDER AND WEARING COURSES FOR ALL PAVENENT AREAS



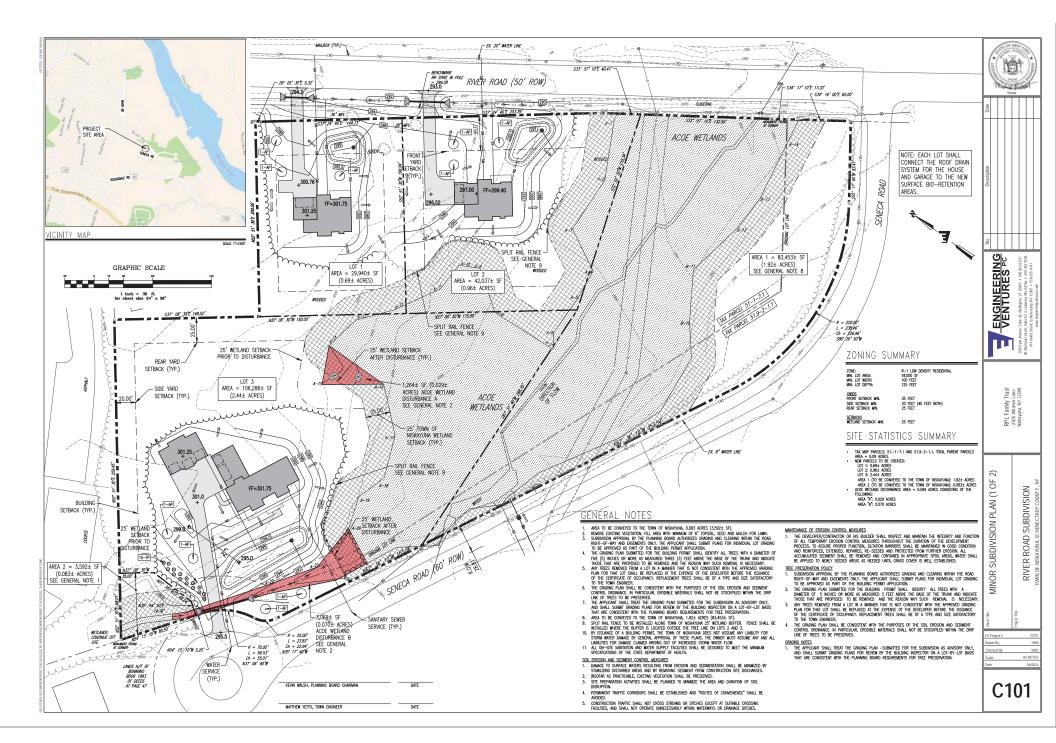
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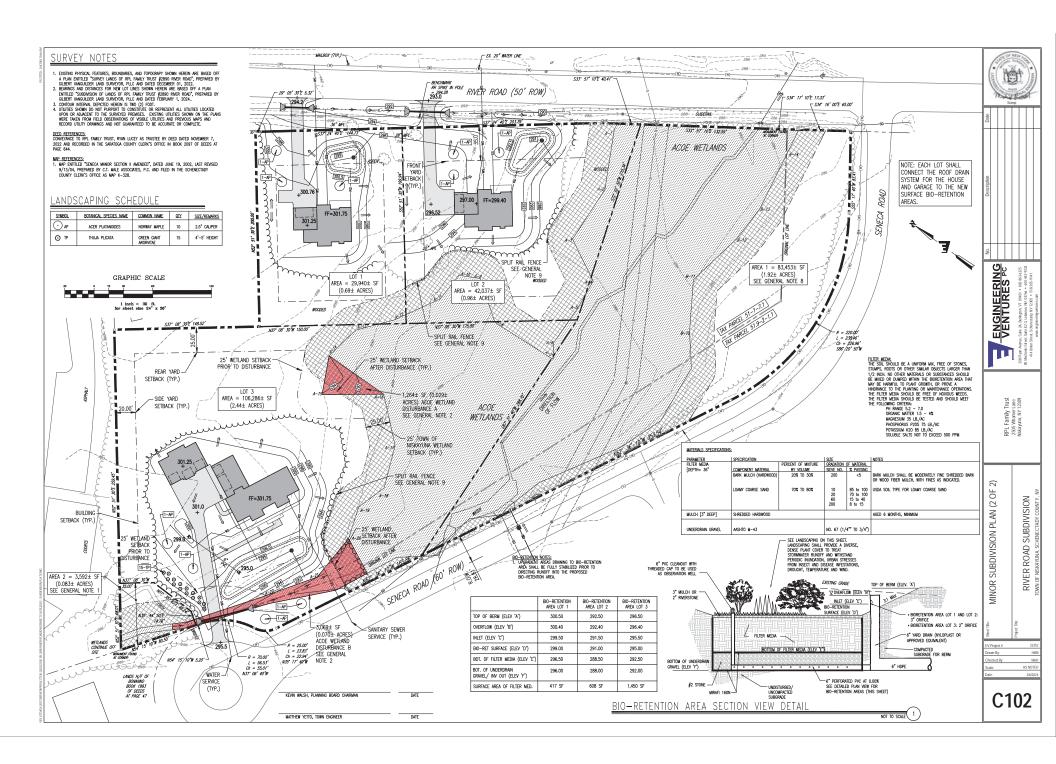
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# **TOWN OF NISKAYUNA**

# PLANNING BOARD AND ZONING COMMISSION

# **AGENDA STATEMENT**

AGENDA ITEM: VII. 2	MEETING DATE: 2/12/2024	
ITEM TITLE: RESOLUTION: 2024-06: A Resolution for Recognition of former Planning Board member Michael Skrebutenas		
PROJECT LEAD: Kevin Walsh		
APPLICANT: N/A		
SUBMITTED BY: Laura Robertson, Town Planner		
REVIEWED BY:  ☐ Conservation Advisory Council (CAC) ☐ Zoning Board ☐ OTHER:	d of Appeals (ZBA) $\square$ Town Board	
ATTACHMENTS: ■ Resolution □ Site Plan □ Map □ Report □ Other:		
SUMMARY STATEMENT:		
Attached is a resolution recognizing the services of Michael Skrebutenas to the Town Planning Board and Zoning Commission.		
BACKGROUND INFORMATION		
N/A		

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 12TH DAY OF FEBRUARY 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN

GENGHIS KHAN
CHRIS LAFLAMME
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
SARAH BILOFSKY
EHASUYI GOMES

One of the purposes of the meeting was to take action on a resolution of recognition for former Planning Board and Zoning Commission member Michael Skrebutenas.

The meeting was duly called to order by the Chairman.	
The following resolution was offered by,	
whom moved its adoption, and seconded by	

WHEREAS, Michael Skrebutenas was appointed to the Planning and Zoning Commission by the Niskayuna Town Board on June 25, 2013 and served continuously as a Planning Board member for over 10 years; and

WHEREAS, Mr. Skrebutenas has dedicated himself to driving good housing development policy and practice, serving as Deputy Commission/President for the New York State Housing and Community Renewal office, Deputy Secretary for Economic Development and Housing in the Governor's Office, Senior Vice President and Regional Director of Community Preservation at the Community Preservation Corporation (CPC) and most recently becoming Senior Vice President of housing at the Local Initiatives Support Corporation (LISC); and

WHEREAS, Mr. Skrebutenas worked on a range of policy and programmatic opportunities to fuel housing development in underserved communities, working to help families facing pressure from evictions, racial discrimination, health and economic crisis; and

WHEREAS, Mr. Skrebutenas brought his passion and professional knowledge to each and every Town of Niskayuna Planning Board meeting, ensuring development

proposals had the proper financing to make it to the finish line and asking the hard questions about affordable housing and equity in the Town of Niskayuna; and

WHEREAS, Mr. Skrebutenas reviewed each Planning Board packet to ensure projects took into account the needs of the surrounding neighborhoods and the greater good of the Town, and he excelled at comprehensively thinking about projects and identifying potential impacts for the Board to address; and

WHEREAS, Mr. Skrebutenas, in his capacity as a Planning Board member, treated residents and applicants with kindness and respect and demonstrated the kind of excellence in service to the public that the Town of Niskayuna strives for; and

WHEREAS, Mr. Skrebutenas served the people of the Town of Niskayuna with honor and distinction, and his knowledge and deep understanding of affordable housing and development financing will be greatly missed.

NOW, THEREFORE, be it

RESOLVED, that the Planning Board and Zoning Commission of the Town of Niskayuna offers its personal and official thanks and appreciation to MICHAEL SKREBUTENAS, and it does so publicly to commend him for his excellent service.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN GENGHIS KHAN CHRIS LAFLAMME DAVID D'ARPINO LESLIE GOLD NANCY STRANG SARAH BILOFSKY EHASUYI GOMES

The Chairman declared the same
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# **TOWN OF NISKAYUNA**

# PLANNING BOARD AND ZONING COMMISSION

# **AGENDA STATEMENT**

AGENDA ITEM: VII. 3	MEETING DATE: 2/12/2024	
ITEM TITLE: RESOLUTION: 2024-07: A Resolution for member Patrick McPartlon	Recognition of former Planning Board	
PROJECT LEAD: Kevin Walsh		
APPLICANT: N/A		
SUBMITTED BY: Laura Robertson, Town Planner		
REVIEWED BY:  ☐ Conservation Advisory Council (CAC) ☐ Zoning Boar ☐ OTHER:	rd of Appeals (ZBA) $\square$ Town Board	
ATTACHMENTS: ■ Resolution □ Site Plan □ Map □ Report □ Other:		
SUMMARY STATEMENT:		
Attached is a resolution recognizing the services of Patrick McPartlon to the Town Planning Board and Zoning Commission.		
BACKGROUND INFORMATION		
N/A		

#### RESOLUTION NO. 2024 - 07

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 12TH DAY OF FEBRUARY 2024 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN

GENGHIS KHAN
CHRIS LAFLAMME
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
SARAH BILOFSKY
EHASUYI GOMES

One of the purposes of the meeting was to take action on a resolution of recognition for former Planning Board and Zoning Commission member Patrick McPartlon.

The meeting was duly called to order by the Chairman.	
The following resolution was offered by,	
whom moved its adoption, and seconded by	

WHEREAS, Patrick McPartlon was appointed as an alternate to the Zoning Board of Appeals by the Niskayuna Town Board on May 26, 2015 and quickly moved to a full time member of the Board on March 22, 2016, serving continuously for over 2 years; and

WHEREAS, during his time on the Zoning Board, Mr. McPartlon expertly balanced the responsibilities of the Zoning Board with the appeal requests of residents of the Town of Niskayuna, and his ability to clarify the issues and find compromises with homeowners helped bring difficult and complicated appeal cases to fair conclusions; and

WHEREAS, Patrick McPartlon was appointed to the Planning Board on August 22, 2017, bringing with him his knowledge of the Zoning Code and his understanding of the effect that Planning can have on occupants of the future homes, where he served continuously for over 6 years; and

WHEREAS, Patrick McPartlon professionally serves as the Director of Finance at Kingsway Community, and he brought his passion for serving others to each and every Zoning Board and Planning Board meeting, thoroughly reviewing the projects to ensure

the most public benefit to the surrounding community and the least disruption to adjacent neighbors; and

WHEREAS, Mr. McPartlon's attention to detail ensured projects took into account the needs of community stakeholders and the greater good of the Town, and he excelled at identifying potential impacts for the Board to address and asking questions that led to a better overall project; and

WHEREAS, Mr. McPartlon was never afraid of a challenge and often volunteered to be project lead on the most difficult projects with a lot of public scrutiny, where he would bring his attention to detail and hard work ethic to bear to bring each project to a fair conclusion; and

WHEREAS, Mr. McPartlon, in his capacity as a Planning Board member, treated residents and applicants with kindness and respect and demonstrated the kind of excellence in service to the public that the Town of Niskayuna strives for; and

WHEREAS, Mr. McPartlon served the people of the Town of Niskayuna with honor and distinction, and his knowledge and deep understanding of the Zoning Code and Planning issues will be greatly missed.

NOW, THEREFORE, be it

RESOLVED, that the Planning Board and Zoning Commission of the Town of Niskayuna offers its personal and official thanks and appreciation to PATRICK MCPARTLON and it does so publicly to commend him for his excellent service.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN GENGHIS KHAN CHRIS LAFLAMME DAVID D'ARPINO LESLIE GOLD NANCY STRANG SARAH BILOFSKY EHASUYI GOMES

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#### PLANNING BOARD AND ZONING COMMISSION

#### **AGENDA STATEMENT**

AGENDA ITEM NO. VIII. 1	MEETING DATE: 2/12/2024
ITEM TITLE: DISCUSSION: 2690 Balltown Rd. – GE Vernova – Anew 27,700 sq. ft. high bay DAC building requiring a 19 ft. height PROJECT LEAD: TBD	• • • •
APPLICANT: Corrie Whalen	
SUBMITTED BY: Corrie Whalen	
REVIEWED BY:  ■ Conservation Advisory Council (CAC) □ Zoning Board of Appel □ OTHER:	eals (ZBA) $\square$ Town Board
ATTACHMENTS:  ☐ Resolution ■ Site Plan ☐ Map ☐ Report ☐ Other:	

#### **SUMMARY STATEMENT:**

Corrie Whalen submitted an application for site plan review for the construction of a new building requiring a height variance on the recently established GE Vernova lot at 2690 Balltown. This site was formerly known as the GE Training building.

The property is located within the I-R Research & Development zoning district. Research, experimental and testing laboratories are permitted principal uses in the district.

#### **COMPREHENSIVE PLAN**

The Economic Development section of the 2013 Comprehensive Development Plan (Comp. Plan) includes the following.

2. Issue: Present Zoning Classification I-R Research & Development as a Limit to Economic Growth

Page 74 of the Comp. Plan states, "In the previous decade, no new research and development facilities have located within the Town of Niskayuna. In 2001 The SI Group, formerly known as Schenectady International, expanded to locate its corporate headquarters in Niskayuna, Environment One received approval to construct a 40,000 sq. ft. addition to the existing facility and in 2002 G.E. Global Research (formerly G.E. R & D) received approval for a multi-million-dollar expansion." The section goes on to state, "The Town may wish to investigate broader economic development opportunities and not limit itself to the niche opportunity of research and development facilities."

Reasonable expansion of an existing research and development site that serves to further solidify that entity as an economic stronghold in the community is consistent with the Comp Plan.

#### **BACKGROUND INFORMATION**

The following documents were included with the site plan application.

- 1. A 12-page site plan drawing entitled "GE RELC DAC Building 2690 Balltown Rd." by C.T. Male Associates dated "Progress Set 1/4/24."
- 2. A 15-page set of "civil drawings" entitled "GE RELC DAC Building 2690 Balltown Rd." by C.T. Male Associates dated "Issued For Town Permitting 02/06/2024."
- 3. A Short Form EAF signed by Corrie Whalen dated 1/12/24
- 4. A 203-page Stormwater Pollution Prevention Plan (SWPPP) entitled "GE RELC DAC Building 2690 Balltown Rd." by C.T. Male Associates dated 1/19/24.
- 5. A soil survey aerial image
- 6. A photo rendering of the exterior image

The General Electric Company is dividing into three (3) unique companies: Healthcare, Aerospace and Energy (GE Vernova). In an effort to support the three (3) companies and allocate operating costs proportionally, the GE Global Research Center divided into 2-Lots, approved by the PB via Resolution 2023-27 on 11/27/23. The northern most lot will be owned and operated by GE Vernova (beginning in approximately April). The aforementioned site plan application is to construct a new 27,700 sq. ft. and 54 ft. tall building on the northern site.

The Planning Office and Mr. Charles Dumas, agent for GE Vernova, established a draft project sequence of required events and the project has begun review at the CAC and Tree Council.

<u>1/30/24</u> – Details of the proposed project were circulated to Niskayuna Fire District No. 1 for comment.

<u>2/6/24</u> -- A Zoning Coordination Referral was sent to the Schenectady County Dept. of Economic Development & Planning.

<u>2/7/24 Conservation Advisory Council (CAC) meeting</u> – Charles Dumas, agent for GE Vernova, Karl Platt, of GE Vernova, and Peter Lilholt, of C.T. Male Associates attended the meeting and collaboratively presented the project. Mr. Dumas explained that DAC is an acronym for "direct air capture", a process for removing and storing carbon dioxide from the atmosphere. He explained that the process has been proven on a smaller (1X) scale basis and the purpose of the proposed building is to demonstrate that the process may be scaled up to a larger (10X) scale. Demonstrating the technology on this larger scale supports their goal of establishing regional DAC centers beginning with a pilot location in Houston, TX.

A discussion ensued that included the following relevant details of the project.

- The building will be mostly laboratory space
- The building will be approximately 2,200' from Balltown Rd.
- Approximately 12 people will be added bringing the total staffing on site to approximately 112
- 1,200 amps of electrical will be provided

- No wastewater will be discharged
- Stormwater management bioretention pond is included with a discharge point to the southeast corner of the site
- The GE Vernova site currently contains 330 parking spaces
  - o Based on 1 space / 300 sf of building area approximately 420 spaces are required
  - Mr. Dumas stated that they are confident the current number of parking spaces is adequate so they will demonstrate that they could add 90 additional spaces to the site if needed but will be requesting a waiver for the additional spaces from the PB.
- The CAC raised the following concerns which the GE Vernova team agreed to examine
  - Bird strikes associated with the large glass frontage on one side of the building investigate reflective glass that prevents bird strikes
  - View of the proposed building from the bike path & all public vantage points asked for renderings
  - Requested attempting a net-zero energy design, including the inclusion of Solar panels on the roof or ground mounted onsite
  - Level of noise emanating from the HVAC units would it disturb wildlife or bike path users

<u>2/8/2024 Tree Council (TC) Meeting</u> – The Tree Council reviewed the proposed limits of clearing and had the following questions and comments:

- 1. There are only 4 trees in the proposed planting plan. More trees need to be planted to replace what was removed TC suggested rows along sidewalks and roadways
- 2. TC asked what was the large white area surrounded by lawn that is not labeled lawn. Is this meant to be a biodiversity field?
- 3. The TC remembered when the existing stormwater areas outflow would overflow and the overflow water went down to the bikepath. There was a lot of erosion and damage to trees from this. They wanted to know where the overflow for the new basin was going and if the old basin had been fixed.
- 4. For the planting plan they suggested that the blue gramma be changed to little bluestem (more native to NY), or Indian grass or switch grass. They also requested more biodiversity in the perennials. For instance, instead of having 250 gayfeathers, have 75 gayfeathers, 75 coneflowers, 50 black eyed susans and 50 salvias, for instance. Also spreading out the blooming time of the different species benefits the pollinators.
- For the area being cleared the Tree Council requested either a walk through of the site or a map showing how many trees of significance (over 10" in diameter) will be cleared.

The applicant is before the Board this evening to present the project and address any questions the Board may have. The next step is for the Board to decide whether or not to call for a public hearing and make their recommendation for the height of the building to the ZBA.

### Application for Site Plan Review

Applicant (Owner or Agent):	Location:
Name Corne Wholen Address I Research Circle	Number & Street 2690 Bilton Rd. Section-Block-Lot 40 - 1 - 45.3
Telephone Fix Fax	Zoning District
Proposal Description:	
	20 21 4 <del>20</del> 21 4 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2

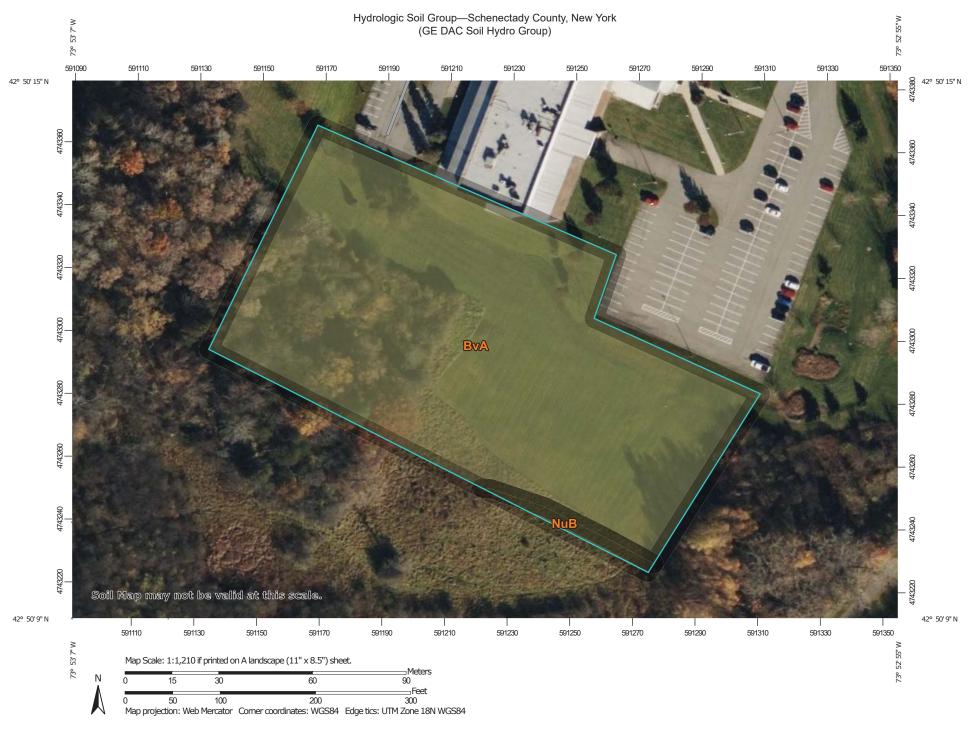
### Each site plan application shall be accompanied by:

- 1. Twelve (12) site plan maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
- 2. A lighting plan showing the lighting distribution of existing or proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
- 3. Six (6) copies of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review", of the Code of the Town of Niskayuna.

- 4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
- 5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of *two hundred dollars* (\$200.00) plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
- 6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Signature of applicant:	Date: 1/16/24
Signature of owner (if different from applicant):	
Date: 1/16/24	





# (ege)

# GE RELC - DAC BUILDING 2690 BALLTOWN ROAD



**2690 BALLTOWN ROAD** 

ISSUED FOR TOWN PERMITTING 02/06/2024



NEW YORK STATE
----------------



SITE LOCATION MAP

	DRAWING LIST	
SHEET NUMBER	SHEET TITLE	SHEET DESCRIPTION
SHEET NUMBER	SHEET TILE	SHEET DESCRIPTION
01	COVER SHEET	G-001
02	GENERAL NOTES, LEGENDS, & ABBREVIATIONS	G-002
03	EXISTING CONDITIONS & DEMOLITION PLAN	C-101A
04	SITE LAYOUT PLAN	C-101
05	SITE GRADING PLAN	C-102
06	SOIL EROSION AND SEDIMENT CONTROL PLAN	C-103
07	SITE UTILITY PLAN	C-104
08	SITE LANDSCAPING & LIGHTING PLAN	C-105
09	SITE DETAILS	C-501
10	COURTYARD DETAILS	C-502
11	WATER DETAILS	C-503
12	SANITARY SEWER DETAILS	C-504
13	STORM SEWER DETAILS	C-505
14	EROSION & SEDIMENT CONTROL DETAILS	C-506



# ISSUED FOR TOWN PERMITTING 02/06/2024

#### © 2023

WARRING: IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING LINGE THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN TIEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFEX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY FOLLOWED HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION, ARCHITECTURE

WARNING: IT IS A FOLGATION OF THIS LAW FOR ANY PERSON, UNLESS HE IS ACTING LUCKER THE DISECTION OF A LECENDE PROFESSIONAL REGISSERY OF TO ALTER AN ITEM SIX AVIVAY. IF AN ITEM SEASON THE SEAL OF AN ENCINEER OR AND SURVEYOR IS ACTION. IT SAME SIX ATTEMPT OF A LITTLE SEAL OF LAW SURVEYOR SHALL SHARL SHARL SHARL SEAL SHARL SHA

### **C.T. MALE ASSOCIATES**

Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400
GLENS FALLS, NY JOHNSTOWN, NY POUGHKEEPSIE, NY SYRACUSE, NY



PROJECT NO. 23.3617 DRAWING NO. 23-0700

G-001

FEATURE	SYM	BOL
	PROPOSED	EXISTING
ROADS		
	ASPHALT MILLINGS ASPHALT CONC	1194.
SIDEWALKS		19%
CURB / GUTTER		TIPE
GRAVEL ROAD/DRIVEWAY		196
BLACK TOP / CONC. DRIVEWAY		TIPE
BOX BEAM / CORRUGATED GUIDE RAIL	ТҮРЕ	199E
FENCE	SIZE AND TYPE	SIZE AND TYPE
STONE WALL	-0000000000-	-0000000000
RAILROAD		
DITCH		
STREAM / RIVER	=:::=:::=	=::=::=
POND/LAKE BOUNDARY		
RIPRAP		
ROCK OUTCROP		
CONTOURS	100	100
BASE LINE / TRAV. PT.		<u>\</u>
BUILDING		
EASEMENT LINE		
COUNTY / CITY BOUNDARY	TYPE	TYPE
ROAD CENTERLINE		
PROPERTY LINE		
R.O.W. / ST / HWY BDY		
CAPPED IRON ROD FOUND		O CHRE
CAPPED IRON ROD SET		o <sup>CIRS</sup>
IRON PIPE/ROD FOUND		O O
SQUARE/TRIANGULAR MONUMENT	SMON ATMON	SMON ATMON
TRAVERSE/BASE LINE POINT		å <sup>BL</sup>
BENCH MARK		BENCHMARK FOUND "X" CUT HYD. BOLT ELEVATION=742.40"
SPOT ELEVATION	+ELEV	+n.ev
SOIL BORING/GEOPROBE/PAVE CORE	SB GP PC	9° 9° 9°
TEST PIT	B <sup>TP</sup>	® <sup>™</sup>
EDGE OF WOODS	uiu	·uu·
DECIDUOUS/CONIFEROUS TREE	(?) (3)	⊕ *
DECIDUOUS/CONIFEROUS SHRUB		SHRUB #SHRUB
STUMP		STUMP
HEDGE		
MAIL BOX RESIDENCE		, Mil
U.S. MAIL BOX		USMB
NEWSPAPER BOX		• ND
SIGN / BILLBOARD		
N.Y.S. MILE MARKER		MILE MARKER 7 1410 2207
SILT FENCE	-0e00	
WETLANDS DELINEATION FLAG	O <sub>MF</sub>	O <sup>WLF C-14</sup>
	y y	O _WLF-C-H

FEATURE	SYMBOL		
	PROPOSED	EXISTING	
UTILITY POLE		p <sup>NUMBER</sup>	
UTILITY POLE w/LIGHT	#	p(—) NUMBER	
UTILITY POLE w/GUY	#	← — -p <sup>NUVBER</sup>	
STREET LIGHT	*-	۰,	
YARD LIGHT		*,,	
LAMP POST	<b>■</b> LP	• LP	
ELECTRIC MANHOLE	<b>E</b> MH <b>⊕</b>	O EMPI	
ELECTRIC METER		∆ DATE	
TRANSFORMER	TRANS	□ TRANS	
HAND HOLE	<b>●</b> HH	o HH	
RAFFIC SIGNAL SUPPORT POLE	SSP	0550	
TRAFFIC SIGNAL POLE	TSP	O TSP	
TRAFFIC SIGNAL BOX	TSB	D <sup>TSB</sup>	
TRAFFIC SIGNAL HEAD	+	-0-	
POLICE / FIRE CALL BOX	PCB FCB	PCB FCB	
SANITARY SEWER	SIZE AND TYPE	SIZE AND TYPE———	
FORCE MAIN	SIZE AND TYPE	SIZE AND TYPE	
SANITARY MANHOLE	SMH	O SMH	
CLEAN OUT	со	o <sup>CD</sup>	
SEWER VALVE	<b>s</b> V	°2A	
STORM SEWER	SIZE AND TYPE	SIZE AND TYPE———	
RT w/ END SECTION & PLAIN END	ES SIZE AND TYPE	ES SIZE AND TYPE——	
STORM MANHOLE	STMH	o <sup>STMI</sup>	
CATCH BASINS	CB CBCI CBR	0 80 00 0	
WATER LINE	SIZE AND TYPE	SIZE AND TYPE——	
WATER VALVE	•wv	•wv	
FIRE HYDRANT	HYD	∢ <sup>HND</sup>	
CURB STOP	wso	• WSO	
WATER MANHOLE	WMH	O WAR	
WELL	WELL	• WELL	
GAS LINE	SIZE AND TYPE	SIZE AND TYPE	
GAS VALVE	_GV	• GV	
GAS DRIP	_GD	GD GD	
GAS TEST	GT	o at	
UNDERGROUND ELECTRIC	UE	E	
OVERHEAD ELECTRIC	ε		
UNKNOWN OVERHEAD WIRES		OHW	
UNDERGROUND TELEPHONE	ит	ит	
TELEPHONE MANHOLE	● <sup>TMH</sup>	o™H	
TELEPHONE PEDESTAL		D TPED	
UNDERGROUND CABLE T.V.	ucatv ——	ucaty	
CABLE T.V. PEDESTAL		D CPED	
		<u> </u>	

#### GENERAL NOTES

- 1. OWNER & APPLICANT:
- WHERE THERE IS A DISCREPANCY BETWEEN THE NOTES IN THE CONTRACT DOCUMENTS, THE MORE CONSERVATIVE DIRECTIVE SHALL BE ADHERED TO.
- DIG SAFELY NEW YORK (PHONE 800-962-7962 / PHONE 811 / WWW.DIGSAFELYNEWYORK.COM) SHALL BE NOTIFIED PRIOR TO CONDUCTING ANY TEST BORINGS, EXCAVATION OR CONSTRUCTION. UTILITY MARK-OUTS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- 6. CONTRACTOR SHALL REMOVE AND REPLACE IN KIND ANY AND ALL DRAINAGE CULVERTS DISTURBED WHETHER SHOWN ON PLANS OR NOT.

- 9. CONTRACTOR SHALL RESTRAIN ALL UTILITY POLES TO UTILITY OWNER'S REQUIREMENTS AS REQUIRED DURING COMPTRICTION.
- 11. ALL UNDERGROUND UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION AND ARE FOR INFORMATION ONLY. THEIR EXACT LOCATION SHALL BE VERIFIED AT THE SITE BEFORE CONSTRUCTION BEGINS CONTRACTOR SHALL COMPACT HEW YORK AT 1-800-962-7962 PRIOR TO EXCAVATION. CONTRACTOR SHALL COMPLY WITH ALL PROVISIONS OF MYS CODE RULE 752 (IN MYGRE PART 755).
- 12. AT THE END OF EACH WORKDAY THE PROJECT SITE SHALL BE LEFT IN A CLEAN AND SAFE CONDITION. ALL EXCAVATIONS SHALL BE BACKFILLED AND ALL ROADWAYS SHALL BE CLEANED. NO EXCAVATION SHALL BE LEFT OPEN OVERNICHT EXCEPT WITH PRIOR APPROVAL OF THE ENGINEER AND ALL PROPER SAFETY PRECAUTIONS IN PLACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING RECORDS OF THE LOCATION OF ALL PIPE INSTALLED AND WORK PERFORMED.
- 14. ALL DUCTILE IRON PIPE INSTALLED UNDER THIS PROJECT SHALL BE CEMENT LINED THICKNESS CLASS 52
- 15. ALL BURIED DUCTILE IRON PIPE AND FITTINGS SHALL BE WRAPPED IN POLYETHYLENE ENCASEMENT
- 16. SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, WATER MAINS SHALL BE LAID AT SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALF FROM MAY EXSTRING OF PROPOSED SEWER MAIN, VERTICAL AID SEPARATION SHALL BE MAINTAINED TO PROVIDE EIGHTEEN (18) INCHES BETWEEN TOP OF SEWER MAIN THE HOWERT OF THE WATER MAIN AT UTILITY CROSS TOW, WHEN MOSSIBLE TO DISTANT HE PROPER VERTICAL SEPARATION, PRESSURE RATED PIPE SHALL BE USED TEN (10) FEET ON EACH SIDE OF THE WATER MAIN BERONG CROSSED.
- 17. THE PROJECT IS NOT WITHIN A 100-YEAR FLOODPLAIN.
- CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, WALKS, CURBS, FENCES ETC. TO A CONDITION AT LEAST AS GOOD AS THEY WERE BEFORE BEING DISTURBED. MAILBOXES, POSTS, ETC.. SHALL BE LEAST AS GOUD AS THEY WERE BEFORE BEING DISTURBED. MAILBUXES, POSTS, ETC., SHALL BE PROTECTED OR REMOVED AND REPLACED EXACTLY AS THEY WERE BEFORE BEING DISTURBED. DAMAGED ITEMS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- 19. BOX ALL TREES AND HOUSE ALL SHRUBS & HEDGES TO REMAIN BEFORE PLACING EARTH AGAINST OR NEAR THEM. SHRUBS & HEDGES WHICH MUST BE REMOVED DURING CONSTRUCTION SHALL BE HEALED IN AND REPLANTED IN AS GOOD A CONDITION AS THEY WERE BEFORE THEIR REMOVAL, ANY DAMAGED TREES, SHRUBS AND/OR HEDGES SHALL BE REPLACED AT THE CONTRACTOR'S EXEMSE.
- 20. ANY WORK IN AND ADJACENT TO EXISTING DITCHES OR DRAINAGE SWALES SHALL BE RESTORED BY THE END OF EACH DAY.
- 21. ANY TRENCH WORK ADJACENT TO CATCH BASINS WILL REQUIRE THAT THE CONTRACTOR SUPPORT THE

- STRUCTURE FROM SHIFTING, SETTLEMENT, OR DAMAGE. SELECT GRANULAR BACKFILL SHALL BE PLACED AND COMPACTED ADJACENT TO DRAINAGE STRUCTURES AS NEEDED.
- 22. NO WORK, STORAGE OR TRESPASS SHALL BE PERMITTED BEYOND THE BOUNDARIES OF ANY EASEMENTS WITHOUT WRITTEN PERMISSION OF THE PROPERTY OWNER.
- 23. THE CONTRACTOR SHALL VERIFY THE DEPTH OF EXISTING UTILITIES, CROSSING EITHER BELOW OF
- IN A WELL VEGETATED UPLAND AREA. WHEN COMPLETED, ALL DEPOSITED SEDIMENTS SHALL BE DISPOSED OF OFF-SITE.
- EROSION CONTROL FABRIC SHALL BE USED ON ALL SLOPES GREATER THAN 1V:3H AND MORE THAN 5
  FEET HIGH.
- 26. ADEQUATE SURVEY LAYOUT INFORMATION WILL BE PROVIDED TO THE SUCCESSEUL BIDDER

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADDIQUATE EROSION CONTROL MEASURES.
  WHETHER ROWNED IN THE DRAWNINGS ON BOY. IN GENERAL, SITE FERE, SILT SOCK AND STONG CHECK
  DAMS ARE NOT SHOWN ALONG PIPELINE INSTALLATION ROUTES, HOWEVER SHALL BE INSTALLED TO
  REVENT EROSION AND SEDIMENT TRANSPORT.
- 30. UTILITY SERVICES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATION, ETC.) TO PRIVATE PROPERTIES SHALL BE LOCATED PRIOR TO WATERLINE INSTALLATION. CONTRACTOR SHALL PLAN CROSSINGS OF THESE SERVICES APPROPRIATELY TO AUDIO UN
- 31. AT THE END OF EACH WORK DAY, THE JOBSITE SHALL BE LEFT IN A CLEAN AND SAFE CONDITION.
- 32. ADEQUATE RECORDS SHALL BE MAINTAINED OF THE LOCATION OF ALL WORK INSTALLED.

#### MAP NOTES: TOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

- 34. WEGRMATION SHOWS HEREON WAS SECTION SUPPLY ENTITLED TEXTENDED TORGGRAPHIC THE FRAMING CENTER PORTION OF LANDS NOW OR FROMERLY OF GENERAL ELECTRIC COMPANY DATED
- 3. VERTICAL DATUM SHOWN HEREON PER MAP REFERENCE NO. 1.
- SURFACE FEATURES SUCH AS CATCH BASIN RIMS, MANHOLE COVERS, WATER VALVES, GAS VALVES, ETC. ARE THE RESULT OF FIELD SURVEY UNLESS NOTED OTHERWISE.
- DIG SAFELY NEW YORK (PHONE 800-962-7962 / PHONE 811/ WWW.DIGSAFELYNEWYORK.COM) SHALL BE NOTIFIED PRIOR TO BE CONDUCTING ANY TEST BORNINGS, EXCAVATION OR CONSTRUCTION. UTILITY MARK-OUTS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- 7. AREAS OUTSIDE LIMITS OF NOVEMBER 2023 SURVEY WERE NOT CHECKED OR VERIFIED

INFORMATION SHOWN HEREON WAS FROM A SURVEY ENTITLED "EXTENDED TOPOGRAPHIC "THE LEARNING CENTER" PORTION OF LANDS NOW OR FROMERLY OF GENERAL ELECTRIC COMPANY" DATED NOVEMBER 3, 2023 PREPARED BY C.T. MALE ASSOCIATES.



		UTILITY PROVIDER INFORMATION				
SERVICE AREA	UTILITY TYPE	CONTACT	ALTERNATE CONTACT	EMERGENCY CALLOU		
NATIONAL GRID EAST ELEC 2	ELECTRIC	NATIONAL GRID PREMIER LEVERAGE VOICECALL (866)-507-3010 X3	NATIONAL GRID PREMIER LEVERAGE VOICECALL (631)-418-7886	NATIONAL GRID PREMIER LEVERAGE VOICECALL		
NATIONAL GRID EAST GAS 2	GAS	NATIONAL GRID PREMIER LEVERAGE VOICECALL (866)-507-3010 X3	NATIONAL GRID PREMIER LEVERAGE VOICECALL (631)-418-7886	NATIONAL GRID PREMIER LEVERAGE VOICECALL		
TOWN OF NISKAYUNA	HIGHWAY, SANITARY, SEWER, STORM SEWER, WATER	MATT YETTO (518)-366-1897	MATT YETTO (518)-366-1897	MATT YETTO (518)-366-1897		

#### **ISSUED FOR TOWN PERMITTING 02/06/2024**

Ī	PETER L. LILHOLT, JR. P.E. NO. 074704	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A	Γ
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- 1	(SE 100 SE)		<u>A</u>				© 2023 C.T. MALE ASSOCIATES	ľ
- 1	A Admit A		<b>A</b>				DESIGNED: OKS	L
- 1			<u>A</u>				DRAFTED : DCP	Ŀ
- 1			<u> </u>				CHECKED : PLL	Γ
- 1			Δ				PROJ. NO : 23.3617	ı
- 1			<b>A</b>				SCALE : NONE	ı
			<u>A</u>				DATE: FEB. 6, 2024	ı

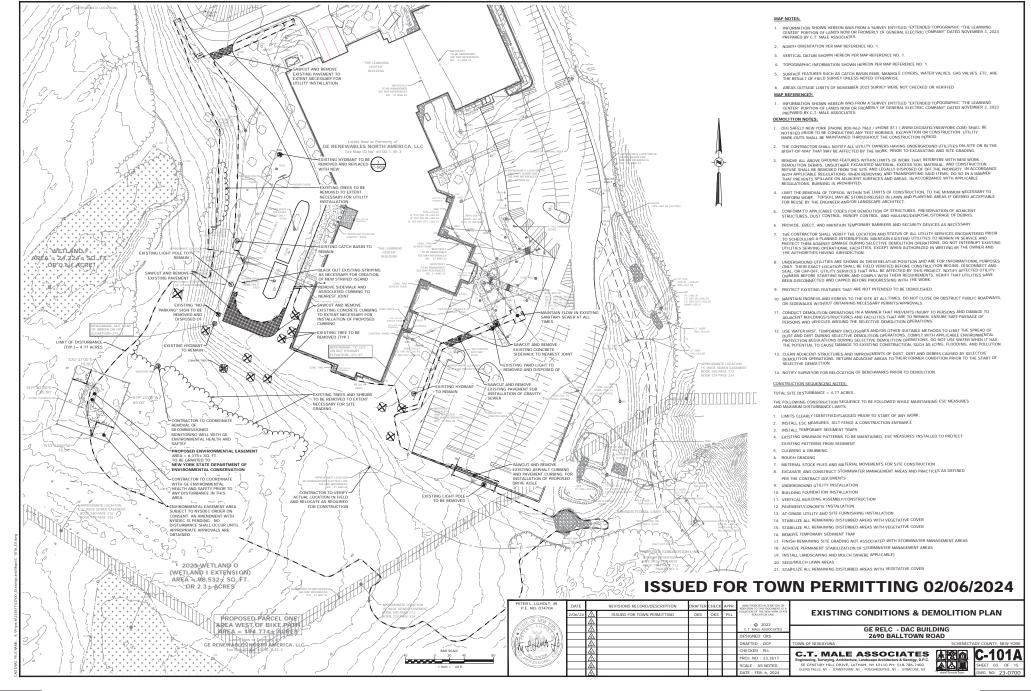
**GENERAL NOTES, LEGENDS, & ABBREVIATIONS** 

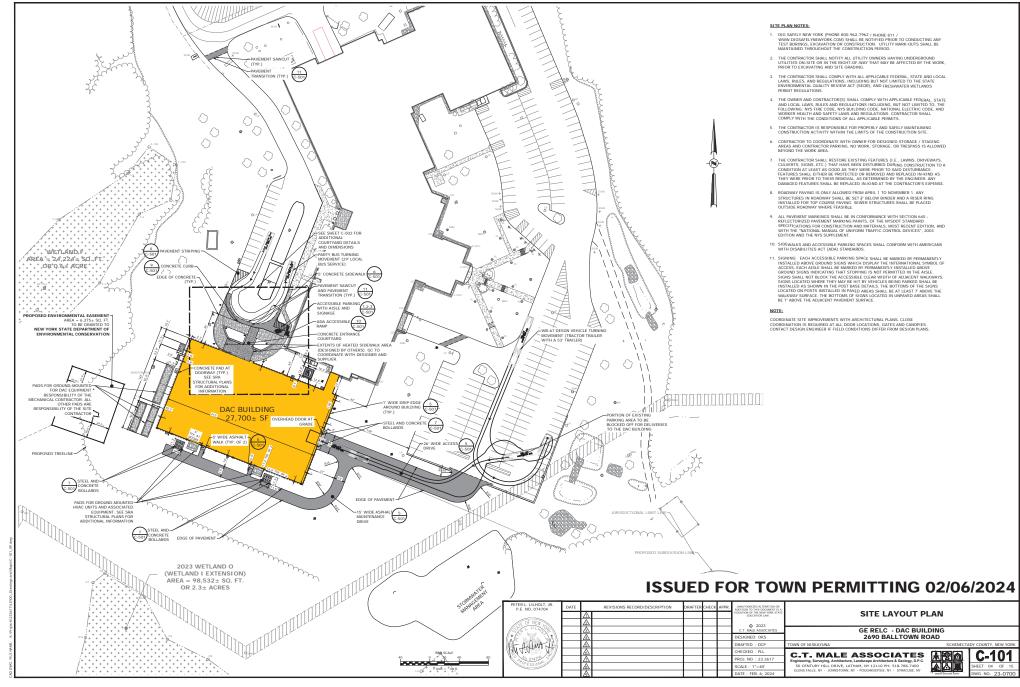
GE RELC - DAC BUILDING 2690 BALLTOWN ROAD

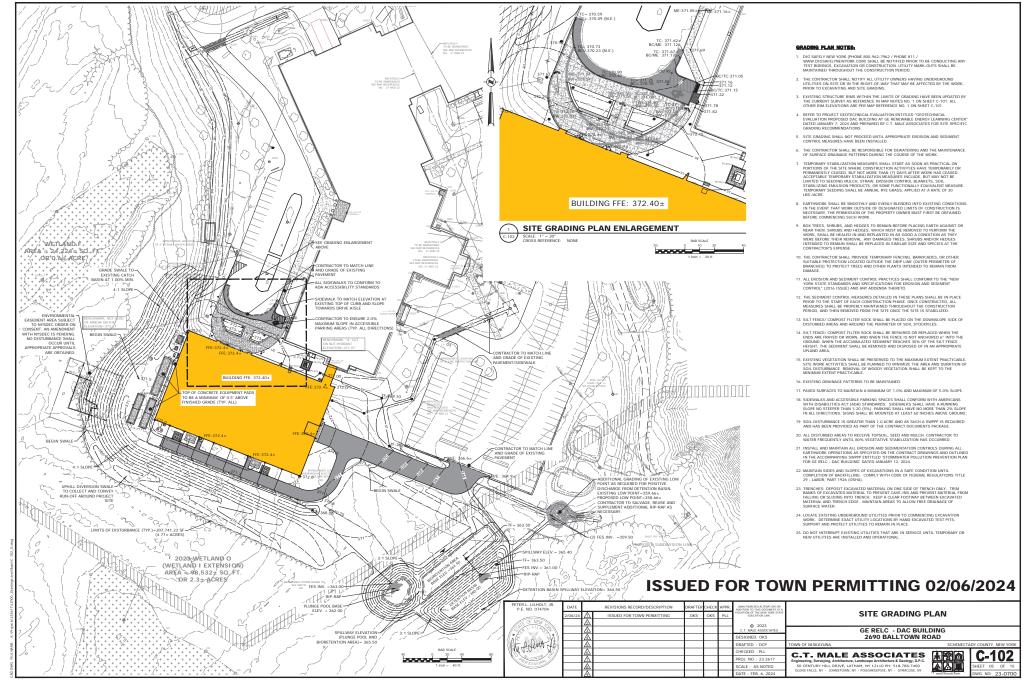
C.T. MALE ASSOCIATES
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50 CENTURY HILL DRIVE, LATHAM, NY 1213 D PH: 518.786.7400
CLEIS FALS, NY - JOHNSTON, MY - POURCHEEPIS HY - SYNGLUSE, NY ngineering, surveying, Architecture, Landscape Architecture & Geology, D.P.C. SO CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400 GLENS FALLS, NY - JOHNSTOWN, NY - POUGHKEEPSIE, NY - SYRACUSE, NY

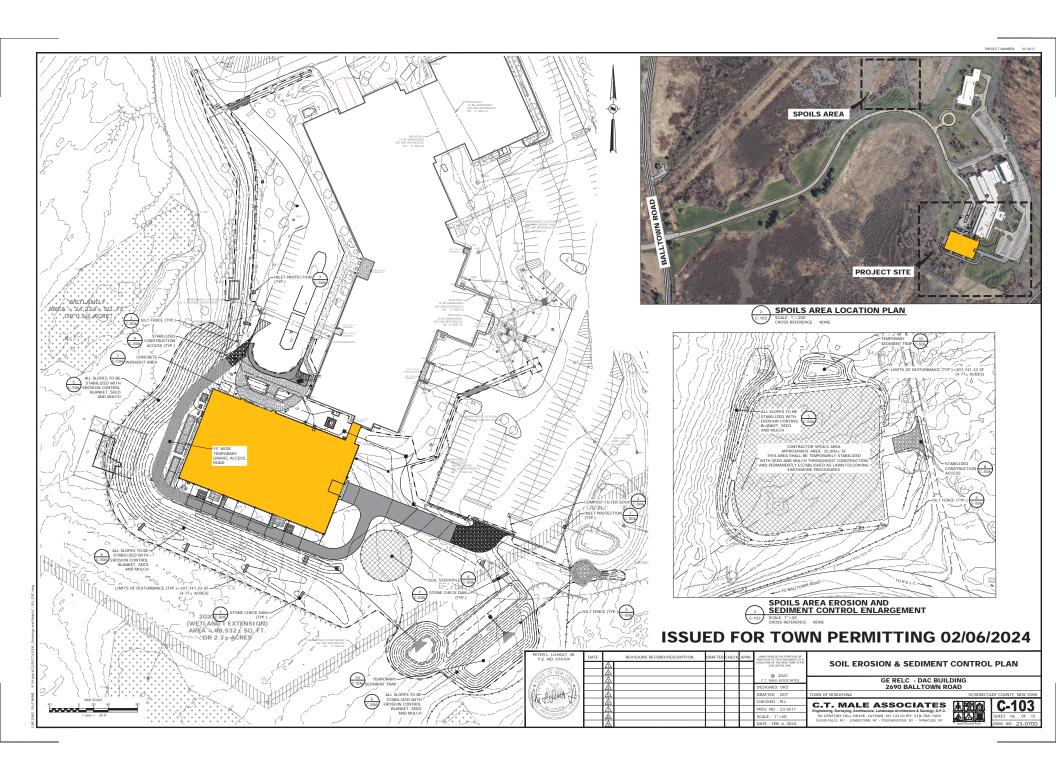


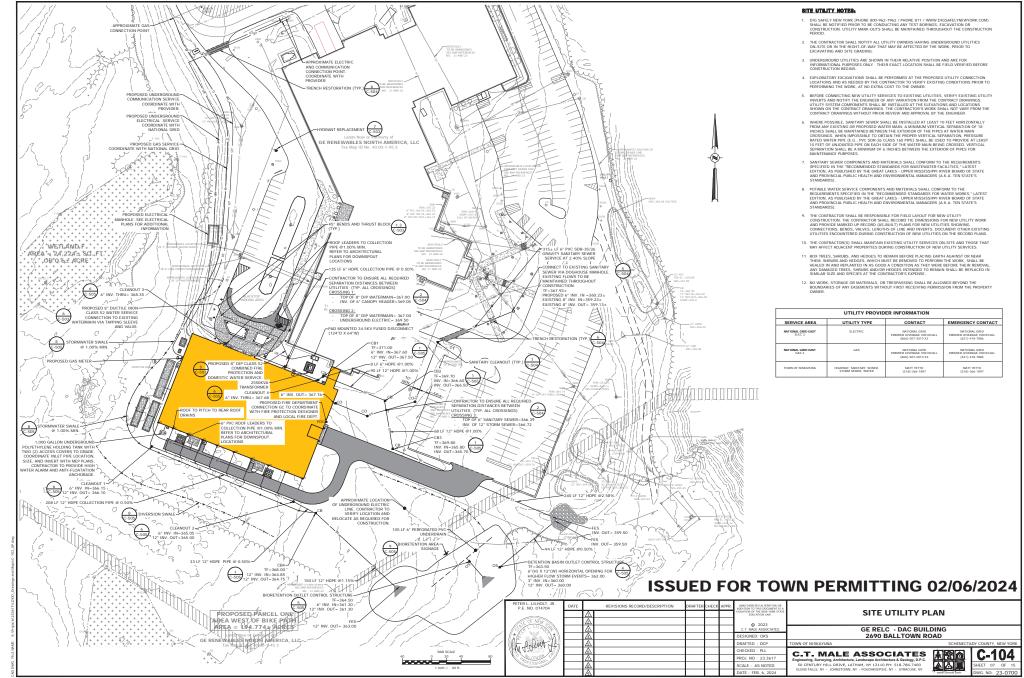


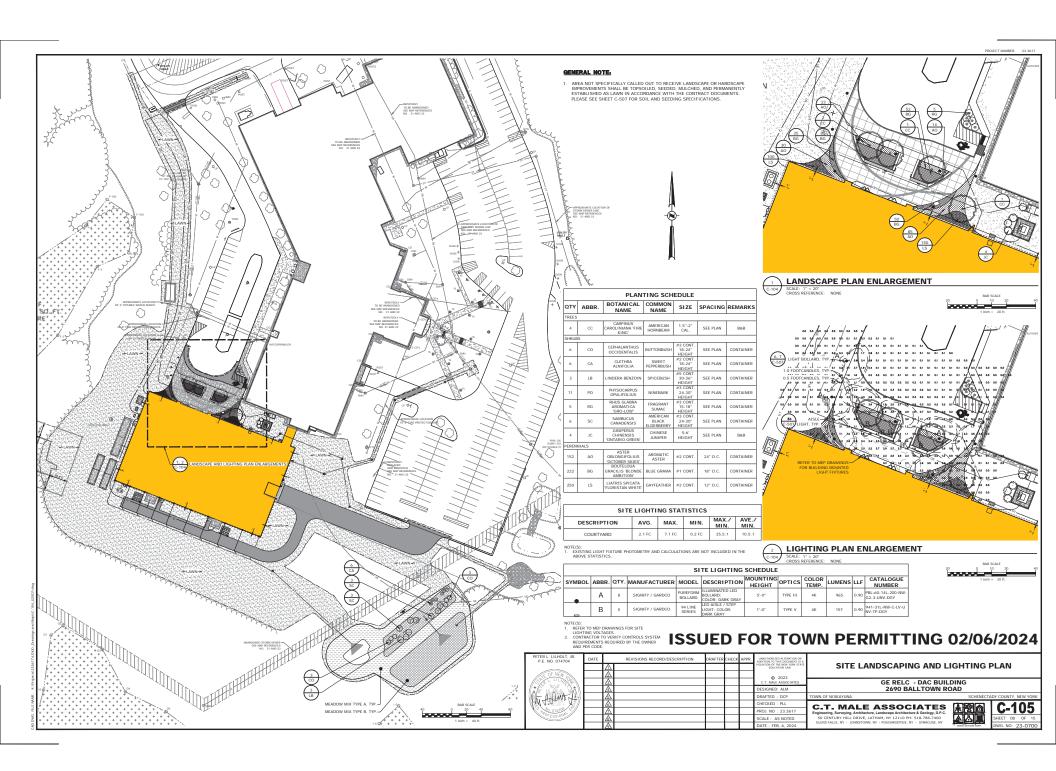


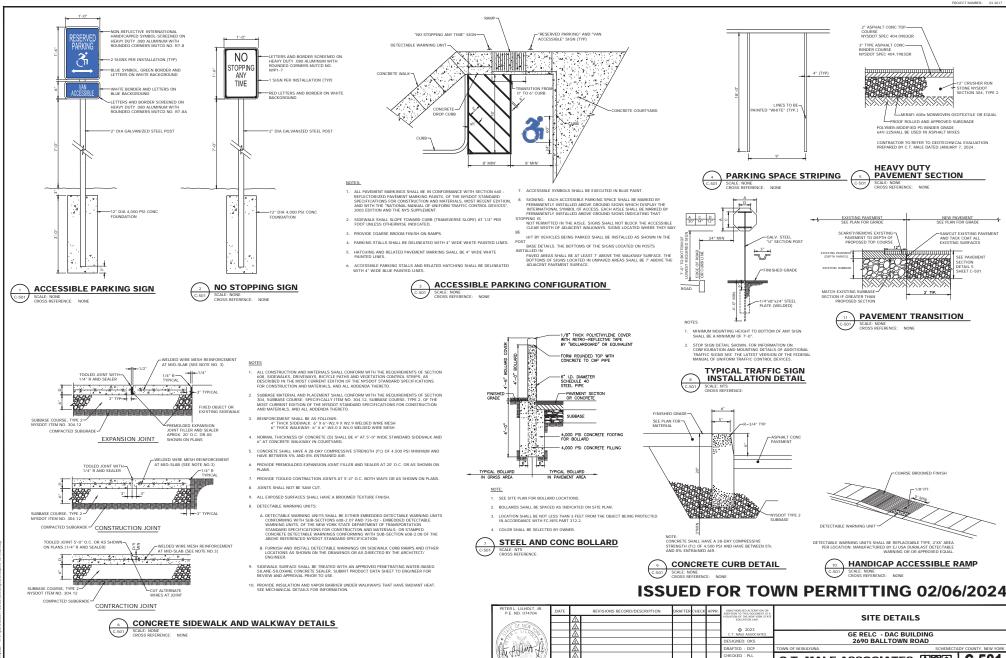












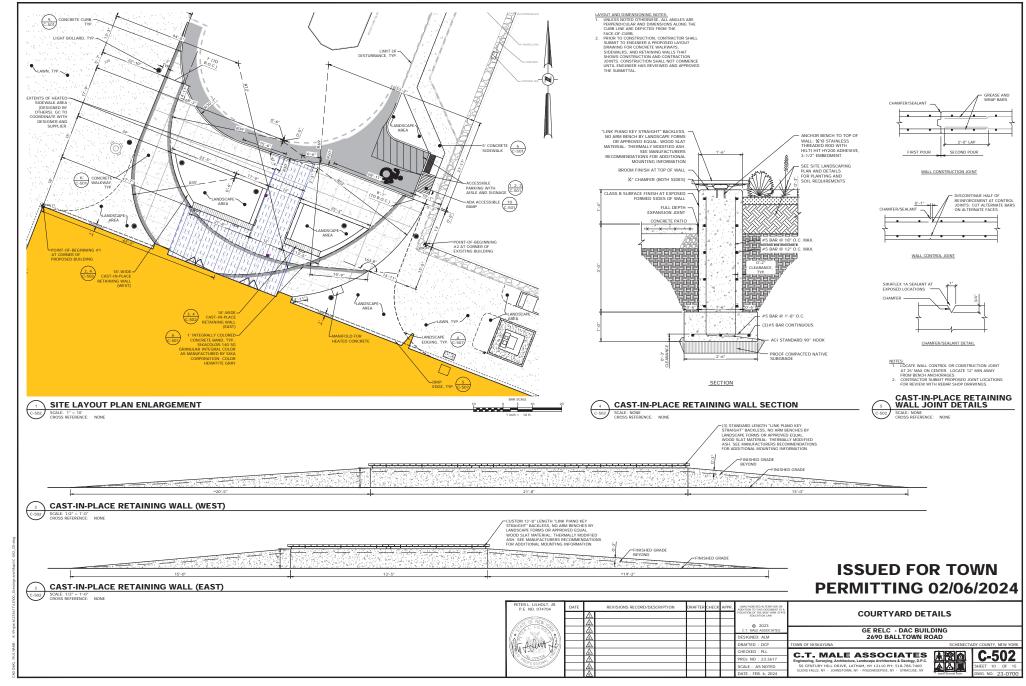
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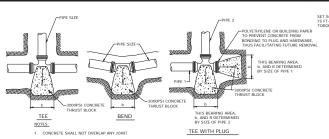
PROJ. NO : 23.3617

SCALE: AS NOTED

C.T. MALE ASSOCIATES

igineering, Surveying, Architecture, Landscape Architecture & Geology, D.F. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400 GLENS FALLS, NY - JOHNSTOWN, NY - POUGHKEEPSIE, NY - SYRACUSE, NY





- 3. FOR REDUCERS, USE MECHANICAL JOINT FITTINGS WITH RETAINER GLANDS
- 4. FOR DIMENSIONS AND THRUST REACTIONS. SEE TABLE ON THIS SHEET.

THRUST REACTIONS-R(LB) PER 100PSI INTERNAL PRESSURE								
NOM PIPE DIA IN.	DEAD END	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND			
4	1,810	2,559	1,385	706	355			
6	3,739	5,288	2,862	1,459	733			
8	6,433	9,097	4,923	2,510	1,261			
10	9,677	13,685	7,406	3,776	1,897			
12	13,685	19,353	10,474	5,340	2,683			
14	18,385	26,001	14,072	7,174	3,604			
16	23,779	33,628	18,199	9,278	4,661			

REQUIRED BEARING AREAS -b (SQFT) FOR BEARING BLOCKS*					
(INCHES)	TEE	90° BEND	45° BEND	22 1/2 ° BEND	11 1/4 ° BEND
4	2.0	2.8	1.5	0.8	0.4
6	4.2	5.9	3.2	1.6	0.8
8	7.2	10.1	5.5	2.8	1.4
10	10.9	15.4	8.3	4.2	2.1
12	15.4	21.8	11.8	6.0	3.0
14	20.6	29.1	15.8	8.0	4.0
16	26.8	37.9	20.5	10.4	5.2

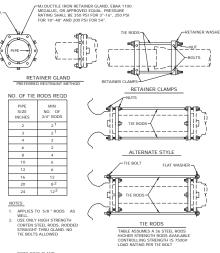
\*FACTOR OF SAFETY=1.5 SOIL BEARING OF 3,000 PSI 225 PSI DESIGN PRESSURE

NOTES: 1. VALUES FOR TEE APPLY TO TEES, END PLUGS, CAPS, AND TAPPING SLEEVES.

- REQUIRED BEARING AREAS ARE DUE TO THRUSTS CAUSED BY 150PSI WORKING PRESSURE PLUS 50%(75 PSI) SURGE ALLOWANCE RESULTING IN 225 PSI TOTAL INTERNAL PRESSURE.
  - REQUIRED BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING CAPACITY OF 3,000 POUNDS PER SOULAR FOOT. DUE TO OTHER SOIL CONDITIONS ENCOUNTERED, BEARING AREAS MAY BE MODIFIED BY THE ENGINEER.

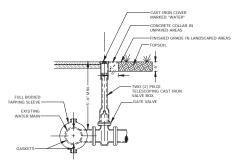
SOIL	SB (LB/SQ FT)
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9.000

IN MUCK, PEAT, OR RECENTLY PLACED FILL ALL THRUSTS SHALL BE RESISTED BY PILES OR TIE RODS TO SOLID FOUNDATIONS, OR BY REMOVAL OF SUCH UNSTABLE MATERIAL AND REPLACEMENT WITH BALLAST OF SUFFICIENT STABILITY TO RESIST THE THRUSTS, ALL AS REQUIRED BY THE ENGINEER.





THRUST RESTRAINT OPTIONS SCALE: NONE CROSS REFERENCE: NONE



NOTES

1. WET TAP OF PUBLIC WATER MAIN SHALL BE PERFORMED UNDER THE SUPERVISION OF THE ENGINEER, AND THE TOWN OF NISKAYUNA WATER DEPARTMENT.

2. TAPPING SLEEVE AND VALVE SUPPORT SHALL BE COORDINATED WITH THE ENGINEER TO SUIT FIELD CONDITIONS.

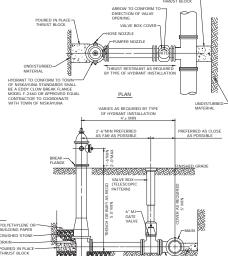
3. MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.

4. VALVE OPERATING DIRECTION SHALL BE CLOCKWISE TO OPEN (TURNING RIGHT).

5. TAPPING SLEEVE SHALL BE SELECTED TO FIT EXISTING PIPE MATERIAL (C.I., D.I., A.C.) AND OUTSIDE DIAMETERS.

6. TAPPING SLEEVE & VALVE SHALL BE IN ACCORDANCE WITH TOWN OF NISKAYUNA WATER DEPARTMENT STANDARDS & AS MANUFACTURED BY MJ.





#### ELEVATION TYPICAL HYDRANT INSTALLATION SCALE: NONE CROSS REFERENCE: NONE

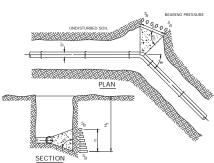
-ANCHORING TEE

C-503

PETER L. LILHOLT, JR. P.E. NO. 074704	DATE		REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A	
		$\mathbb{A}$					VIOLATION OF THE NEW YORK STATE EDUCATION LAW.	WATER DETAILS
SE OF NEW		Δ					© 2023	
196 may 24 M		Δ					C.T. MALE ASSOCIATES	GE RELC - DAC BUILDING
(AC DAD WA)		$\triangle$					DESIGNED: OKS	2690 BALLTOWN ROAD
Et. A. WITE		$\triangle$					DRAFTED : DCP	TOWN OF NISKAYUNA SCHENECT
And Ash		$\triangle$					CHECKED : PLL	C.T. MALE ASSOCIATES (基)
POE 0.074 TU		Δ					PROJ. NO : 23.3617	Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
1.5510		$\triangle$					SCALE: AS NOTED	50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400 GLENS FALLS, NY - JOHNSTOWN, NY - POUGHKEEPSIE, NY - SYRACUSE, NY
		Δ					DATE: FEB. 6, 2024	GLENS FALLS, NY - JUNISTOWN, NY - POGGINEEPSIE, NY - STRALUSE, NY

TO BE VARIED AS I DRAIN LOCATION I

#### TYPICAL CONCRETE THRUST BLOCK DETAILS SCALE: NONE CROSS REFERENCE: NONE



NOTES:

1. BEARING SURFACT SHOULD, WHERE POSSIBLE, BE PLACED AGAINST UNDISTURBED SOIL
WHERE IT IS NOT POSSIBLE. THE FILL BETWEEN THE BEARING SURFACE AND UNSTURBED
SOIL MUST BE COMPACTED TO A TLEAST POSI. STRANGAP POSCOTOR DESIGN.

2. BLOCK HEIGHT (IV) SHOULD BE COULD TO OR LESS THAN ONE-HEIT THE TOTAL DEPTH TO THE
BOTTOM OF THE BOOK, IV). BLOCK THE SHOULD SHOULD BE COULD THE SHOULD BE SHOULD B

- BLOCK HEIGHT(h) SHOULD BE CHOSEN SUCH THAT THE CALCULATED BLOCK WIDTH(b) VARIES BETWEEN ONE AND TWO TIMES THE HEIGHT.
   FOR DIMENSIONS AND THRUST REACTIONS. SEE TABLE ON THIS SHEET.





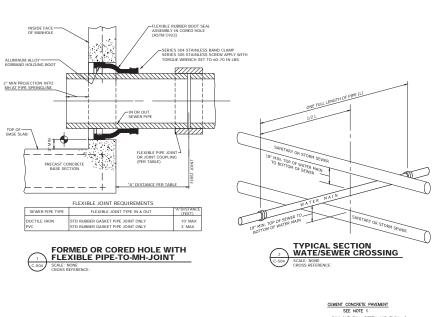
10" 13.2" 0.018 0.024 15.3" 17.9" 0.031 17.4" 20.0"

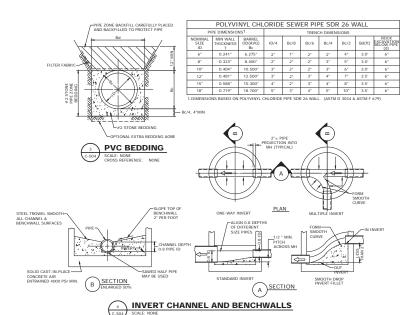
**DIP BEDDING DETAIL - WATER** 

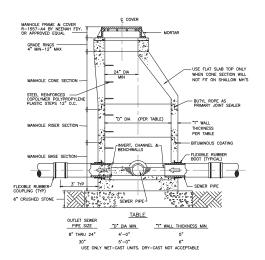
6"

SCALE: NONE CROSS REFERENCE: NONE

**ISSUED FOR TOWN PERMITTING 02/06/2024** 

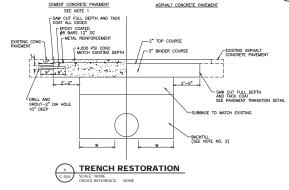






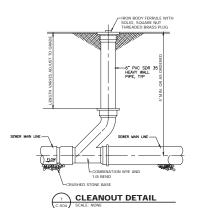
S PRECAST CONC INSERTION MANHOLE

SCALE: NONE
CROSS REFERENCE:



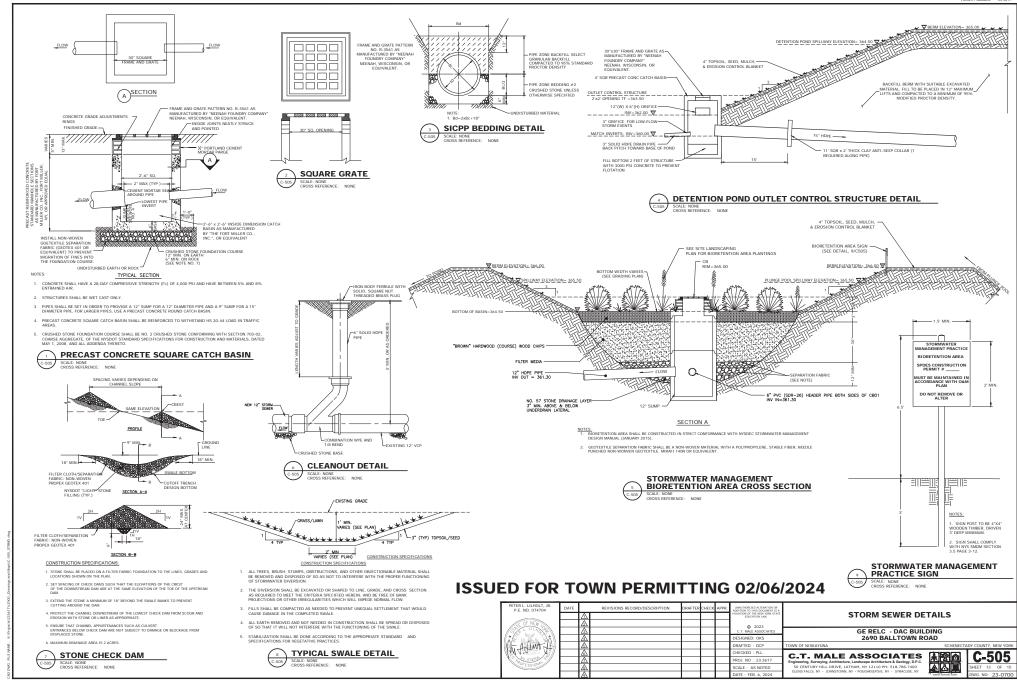
WHEN CONCRETE IS USED, IT SMALL BE REINFORCED PORTLAND CEMENT CONCRETE WITH DOMES, INSTALLED AT THE REQUIRED SPACING IN ACCORDANCE WITH SECTION WITH DOMES, INSTALLED AS THE RECORD OF THE SECTION OF THE

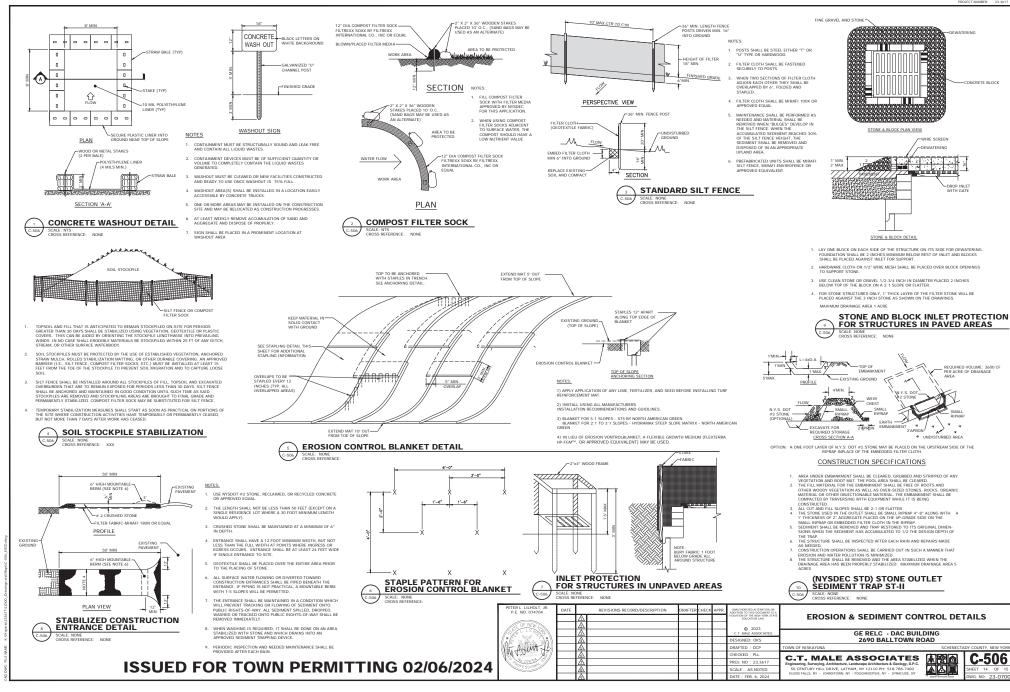
WHEN "W" IS LESS THAN 18", CONTROLLED DENSITY BACKFILL (K-KRETE OR EQUAL) SHALL BE USED, WHEN "W" IS 18" OR MORE, BACKFILL SHALL BE SELECT GRANULAR MATERIAL FROM THE BOTTOM OF THE TERLOH TO THE BOTTOM OF THE SUBBASE COURSE, PLACEMENT SHALL BE AS DESCRIBED IN SECTION 200, EARTHWORK OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION CURRENT SPECIFICATIONS AND ADDEND

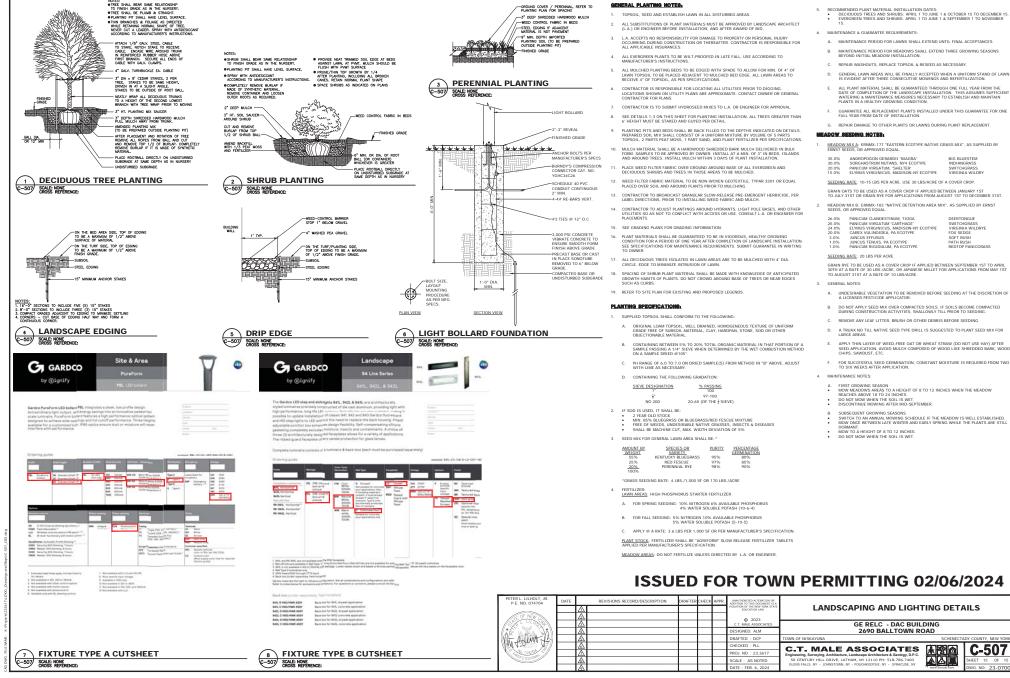


### **ISSUED FOR TOWN PERMITTING 02/06/2024**

PETER L. LILHOLT, JR. P.E. NO. 074704	DATE		REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A	
		$\Delta$					VIOLATION OF THE NEW YORK STATE EDUCATION LAW.	SANITARY SEWER SETAILS
SE OF NEW		4					© 2023	
/\$% \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		Δ					C.T. MALE ASSOCIATES	GE RELC - DAC BUILDING
1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		A					DESIGNED: OKS	2690 BALLTOWN ROAD
AF alling It		$\triangle$					DRAFTED : DCP	TOWN OF NISKAYUNA SCHENECTADY COUNTY, NEW YORK
MM 4:00 MEN		Δ					CHECKED : PLL	C.T. MALE ASSOCIATES 本層局 C.504
07470 07		Δ					PROJ. NO : 23.3617	Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
OF ESSION		$\triangle$					SCALE: AS NOTED	50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH: 518.786.7400 A  SHEET 12 OF 15
		A					DATE: FEB. 6, 2024	GLENS FALLS, NY - JOHNSTOWN, NY - POUGHKEEPSIE, NY - SYRACUSE, NY - Www.Ztmale.bom DWG. NO: 23-0700







### Short Environmental Assessment Form Part 1 - Project Information

#### **Instructions for Completing**

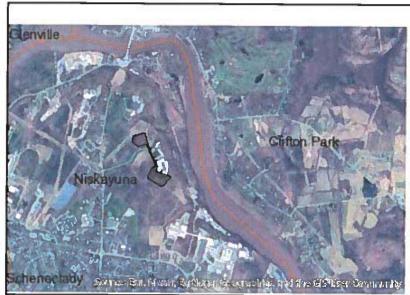
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information					
GE Vernova					
Name of Action or Project:					
GE RELC DAC BUILDING					
Project Location (describe, and attach a location map):					
2690 Balltown Road, Town of Niskayuna, Schenectady County Tax Map Parcel 40.00-1	-45.3				
Brief Description of Proposed Action:					
GE Vernova is proposed a new building at their existing RELC facility located at 2690 Balltown Road. The proposal consists of a new 27,700± square foot building with associated entrance courtyard, truck access drive and on-site stormwater treatment practices. The proposed building will be located to the west of the existing Learning Center Building. The new building will be connected to the adjoining Learning Center Building via an enclosed corridor. The existing access drives for the RELC will provided access to Balltown Road and no additional parking areas are proposed. An access drive for trucks is proposed at the south side of the proposed building to the existing on-site drives.					
Name of Applicant or Sponsor:	Telephone: 518 - 391	-5187			
GE Vernova E-Mail: Corrie. Whelen					
Address:	•				
1 Research Circle					
City/PO: State: Zip Code:					
Niskayuna NY 12309					
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?					
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.					
2. Does the proposed action require a permit, approval or funding from any oth		1	NO	YES	
If Yes, list agency(s) name and permit or approval: NYSDEC NOI SPDES Stormwate	er .			~	
3. a. Total acreage of the site of the proposed action?  b. Total acreage to be physically disturbed?  c. Total acreage (project site and any contiguous properties) owned  or controlled by the applicant or project sponsor?  194.77± acres  194.77± acres					
4. Check all land uses that occur on, are adjoining or near the proposed action:					
5. Urban Rural (non-agriculture) Industrial Commerci	al 🗹 Residential (suburi	ban)			
		,			
Forest Agriculture  Aquatic  Other(Specify): Research & Develoment  Parkland					

E Table many and action					
5. Is the proposed action,	NO	YES	N/A		
a. A permitted use under the zoning regulations?		~			
b. Consistent with the adopted comprehensive plan?		V			
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?					
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?		NO	YES		
If Yes, identify:	أ	~			
		_			
8. a. Will the proposed action result in a substantial increase in traffic above present levels?		NO	YES		
b. Are public transportation services available at or near the site of the proposed action?	-		片片		
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed			브		
action?		<u></u>			
9. Does the proposed action meet or exceed the state energy code requirements?		NO	YES		
If the proposed action will exceed requirements, describe design features and technologies:					
10. Will the proposed action connect to an existing public/private water supply?		NO	YES		
If No, describe method for providing potable water:	_		V		
11. Will the proposed action connect to existing wastewater utilities?		NO	YES		
If No, describe method for providing wastewater treatment:					
			•		
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district		NO	YES		
which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?		~			
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?					
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		NO	YES		
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?					
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres:	[	ات			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
☑ Shoreline ☑ Forest ☐ Agricultural/grasslands ☐ Early mid-successional		
☑Wetland ☐ Urban ☑ Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
Bald Eagle		<b>&gt;</b>
16. Is the project site located in the 100-year flood plan?	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,		~
a. Will storm water discharges flow to adjacent properties?	~	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<b>V</b>	
If Yes, briefly describe:		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:		
	انا	ш
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste	NO	YES
management facility? If Yes, describe:		
	<b>V</b>	$  \sqcup  $
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:		
NYSDEC Environmental Site Remediation Database, Site No. 447011, 447013, 447017 and 447013A		
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BE	ST OF	
MY KNOWLEDGE		
Applicant/sponsor/name: Corrie Whalen  Date: 1/12/24  Signature: Title: Director Site Opera		
Applicant/sponsor/name: Corrie While Date: 1/12/34  Signature: Title: Director Site Opera	group	_



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Sources: Esri, HERE, Garmin, USGS, Intermac, INCREMENT P RCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri Thailand, NGCC, (c) OpenStreetMap contributors, and the GIS User Edifimionity, Esri HERE, Garnin, Max USSS, NPS

Part 1 / Question 7 [Critical Environmental Area]

No

Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]

No

Part 1 / Question 12b [Archeological Sites]

Yes

Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]

....

Regulated Waterbodies]

Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.

Part 1 / Question 15 [Threatened or Endangered Animal]

Yes

Part 1 / Question 15 [Threatened or Endangered Animal - Name]

**Bald Eagle** 

Part 1 / Question 16 [100 Year Flood Plain]

No

Part 1 / Question 20 [Remediation Site]

Yes



# TOWN OF NISKAYUNA BUILDING DEPARTMENT

One Niskayuna Circle Niskayuna, New York 12309-4381 (518) 386-4522 FAX: (518) 386-4556 building@niskayuna.org

Kenneth P. Hassett Building Inspector

#### **BUILDING AND ZONING PERMIT DENIAL**

Address:	2690 Balltown Rd.	Application Date: 1/16/24

GE Vernova 2690 Balltown Rd. Corrie.whalen@ge.com

M

Dear Mr. Whalen:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that your Application for Site Plan Approval for a new building at 2690 Balltown Rd. has been denied by reason of failure to comply with the provisions of Section 220-17 A of the Niskayuna Zoning Code. The property is located in the I-R Research and Development Zoning District.

Section 220-17 Height regulations A states: "No building or structure shall exceed a height of thirty-five (35) feet above the average finished grade adjoining the building unless otherwise specified in this chapter. The finished grade of artificial berms or similar earthen structures created for insulation or other purposes adjacent to the building shall be disregarded in the determination of average finished grade." As proposed, the building is fifty-four (54) feet above the average finished grade, therefore a nineteen (19) foot height variance is required.

Under the provisions of Section 220-69 the Zoning Ordinance of the Town of Niskayuna you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

Lower Roberts	
0 - 1 - 1 - 3 - 3 - 3 - 3 - 3 - 3 - 3 - 3	<u>1/26/24</u>
Laura Robertson, Deputy Code Enforcement Officer	Date



### PLANNING BOARD AND ZONING COMMISSION

#### AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2	MEETING DATE: 2/12/2024			
ITEM TITLE: DISCUSSION: 2219 Nott St. E. – A site plan applicate b.inspired – a home, gift and garden shop.  PROJECT LEAD: TBD	tion for a tenant change to			
I NOOLOT LEAD. 100				
APPLICANT: Embarek and Aliza Mesbahi – property owners and Anne Brenner, proposed enant				
SUBMITTED BY: Embarek and Aliza Mesbahi and Anne Brenner				
<b>REVIEWED BY:</b> ☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appel ☐ OTHER:	als (ZBA) $\square$ Town Board			
ATTACHMENTS:  ☐ Resolution ■ Site Plan ☐ Map ☐ Report ☐ Other:				

#### **SUMMARY STATEMENT:**

Embarek and Aliza Mesbahi and Anne Brenner have submitted an application for a tenant change from a vacant commercial space to a b.inspired home goods store focusing on goods for the home, table and garden at 2219 Nott St. E. The location was most recently a nail salon.

The property lies within the C-N Neighborhood Commercial zoning district. Retail and service stores are permitted principal uses in the district.

This is the first appearance of this project before the Planning Board.

#### **COMPREHENSIVE PLAN**

The proposed tenant change complies with the Economic Development section of the current (2013) Comprehensive Development Plan. Page 77 includes the following regarding the Town Center:

"Development in the Nott Street / Balltown Rd. area should be distinguished from existing commercial districts in that it should be a centralized node versus strip development, pedestrian friendly, and oriented to serve Town residents. Existing trends in commercial activity, combined with future plans for public buildings, provide Niskayuna with an opportunity to develop a commercial area nearer to the center of Town."

The proposed b.inspired home goods store (retail service store) is well matched to the objectives for the Town Center Overlay district portion of Town.

#### **BACKGROUND INFORMATION**

The following documents were included with the application.

- 1. An email from Anne M. Brenner to Laura Robertson entitled "b.inspired home information" dated 2/2/24
- 2. Three untitled (3) interior floorplan sketches stamped "Received Jan 18 2024 Planning Office Niskayuna, NY"
- 3. Signage Plans from Mathews Sign for the window treatments

The email states that b.inspired opened in the Village of Scotia in 2018, moved to Upper Union St. in 2020 and resided there through the end of 2023. Ms. Brenner indicates that the store appeals to all ages and is beloved for their array of goods and level of quality.

The email also notes that the store will typically have only one employee in the store but two part-time occasional employees may help on Fridays and Saturdays. Hours of operation are proposed to be Wed – Fri 11-5 and Sat. 10-4.

Signage is minimal and consist of painting the store name on both sides of the door on the outside windows (see attached plan). The proposed signs are 10 square feet (20 square feet total) and well within the allowable limit (40 square feet of frontage), but a waiver would be required for the second façade sign because only one is allowed.

The applicant is before the Board this evening to present the project and address any questions that arise.



One Niskayuna Circle Niskayuna, New York 12309-4381

Phone: (518) 386-4530

# **Application for Site Plan Review**

Applicant (Owner or Agent):	Location:
Name MESBAHI	Number & Street 2219 NOTT ST
Address 2184 Story Ave	Section-Block-Lot
NISKY NY 12309	
Email jeabrs @ gwail.com Telephone 518-312-1829	Zoning District
Proposal Description:	
	Brenner to operate
boinspired home, most re	Brenner to operate reently operated on Union ST. Il home decor.
moving to Notit St. to se	Il home decor.
MARANA	1 1 1/21
Signature of applicant:	Date: 1 1 1 2 4
Cianature of owner (if different from applicant	). M
Signature of owner (if different from applicant	)
Date: 18/24	Received
	JAN 18 2024
	Planning Office Niskayuna, NY

#### Laura Robertson

From: Anne M Brenner < labrenner4640@msn.com > on behalf of Anne M Brenner

**Sent:** Friday, February 2, 2024 9:39 AM

**To:** lrobertson@niskayuna.org

**Subject:** [EXTERNAL] b.inspired home information

Hi Laura-it was nice to chat with you yesterday. As requested, please find information about my business.

b.inspired home was established in 2018, I opened a small retail shop in the Village of Scotia after working for many years in public health and infectious disease. I moved my business from the Village to Upper Union Street in the fall of 2020. I entered into a 3 year lease at that time which concluded in September of 2023. I extended that lease thru January 31, 2024 so that I was able to stay thru the holiday season, which is usually one of my busiest.

I am relocating to 2219 Nott Street, a strategic move to a bustling area with the right foot traffic and a customer base that supported me on Upper Union. We are excited to join and compliment the other businesses on Upper Nott Street.

b.inspired home is a home goods store focusing on goods for the home, table and garden. We are a beloved store not only the array of goods we carry, but for the quality. We appeal to all ages and look forward to curating a new look in our new location.

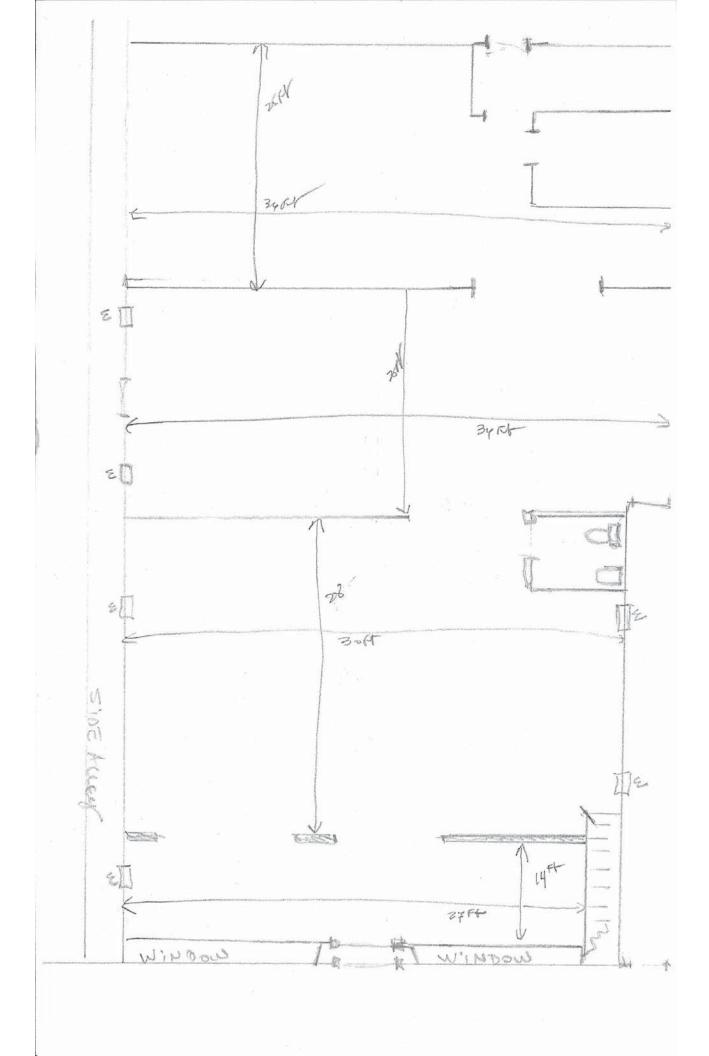
I am the owner and major staff for the store, I do have (2) part-time, occasional staff that help at the store on Fridays and Saturday. We anticipate that we will utilize the parking lot across the street to park unless told otherwise. Our hours of operation have been Wed-Fri 11-5/Sat 10-4. I do plan on meeting with the other business owners in the plaza to assess their hours to see how we could compliment them. Plans for signage will be minimal with basic lettering in the store window. Matthews Sign did the lettering on Upper Union and we anticipate doing something similar in the new space.

I look forward to meeting all of you on February 12th, please be in touch if I can provide anything further at this time.

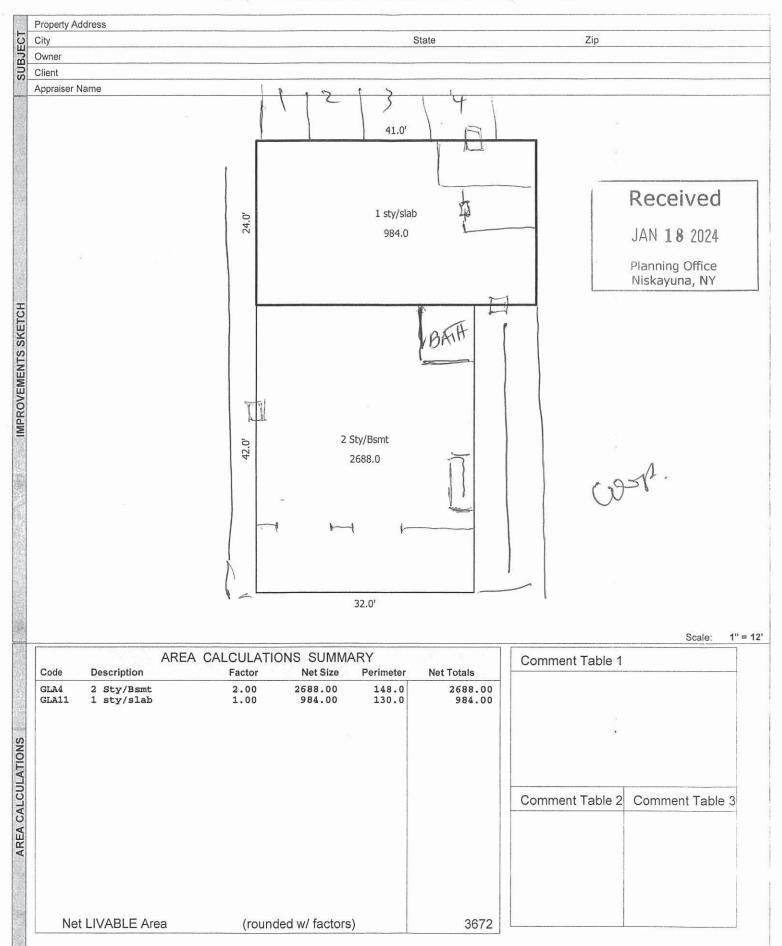
Thank you,

anne m. brenner b.inspired home 2219 Nott Street schenectady, new york 12309 www.binspiredlifestyle.com

PRIVATE SPACE For OWNER RETAIL STORE WITH fo be USED BY DE INSPIRAD



## SK CH/AREA TABLE ADDE DUM



# b.inSpired/home

2 WINDOWS LETTERED AT 2291 NOTT ST. WHITE VINYL LETTERS 24" X 60" MATTHEWS SIGNS





# **TOWN OF NISKAYUNA**

#### PLANNING BOARD AND ZONING COMMISSION

#### AGENDA STATEMENT

AGENDATTEM NO. VIII. 3	MEETING DATE: 2/12/2024
ITEM TITLE: DISCUSSION: A site plan application fo Capital District Jewish Holocaust Memorial at 2501 Tr	
PROJECT LEAD: Chris LaFlamme & Genghis Khan (	original approval)
<b>APPLICANT:</b> Restoration of Eastern European Jewis Daniel W. Dembling	h Cemeteries Project, Inc., represented by
SUBMITTED BY: Laura Robertson, Town Planner	
REVIEWED BY:  Conservation Advisory Council (CAC) Zoning Bo OTHER: Economic Development, Historic Preserva Tree Council	
ATTACHMENTS:  ☐ Resolution ■ Site Plan ☐ Map ☐ Report ■ Other	: Request Letter

#### **SUMMARY STATEMENT:**

Dan Dembling, president of the Capital District Jewish Holocaust Memorial, LLC, applicant for the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Road, has requested an additional extension to the site plan approval for the Memorial that was re-issued on January 10, 2022 and November 24, 2022.

#### **BACKGROUND INFORMATION**

The Planning Board approved the Capital District Jewish Holocaust on February 10, 2020 with conditions for Site Plan and the conditions that were attached to the Special Use permit (see attached Resolution 2020-07. The minor subdivision associated with the project (Resolution 2020-06) was approved and recorded in Schenectady County and is complete.

On 12/13/21 the applicant explained to the Planning Department that they worked diligently to meet the timelines approved by the Board, but the COVID-19 pandemic affected the fundraising and final implementation dates for the project. They requested the site plan, which is the controlling timeline for all associated special use permits or variances, be re-authorized by the Planning Board for an additional two years. The Planning Department stated that they reviewed the former resolution and did not identify any conditions or issues with the plan that require modification. On January 10, 2022, the Planning Board approved a site plan extension for two more years.

On 10/24/2022 the applicant returned to the Planning Board with a site plan revision that included a berm with additional landscaping to shield the memorial from the sound of Route 7 and the proposal to install a monument sign. On 11/14/2022, the Planning Board approved a resolution allowing the

addition of the berm and monument sign, extending the site plan approval for two years from that date, or to 11/24/2022.

On November 15, 2023, the law firm Whiteman, Osterman and Hanna (WOH), representing the Capital District Jewish Holocaust Memorial, sent a letter to the Planning Board requesting renewal of the site plan approval.

On December 27, 2023 the Town received notification from Dr. Lozman that he was going to dedicate himself to the US Commission for the Preservation of American's Heritage Abroad and the baton was being passed to Dan Dembling, the present of the Holocaust Memorial.

In January of 2024 WOH reached out to the Town again to ensure the renewal would be brought to the Planning Board. The Planning Department placed them on the agenda for February 12. Based upon the review of the documents, with the last site plan approvals attached to this agenda statement, the site plan approval is good through November of 2024. The Planning Board has the option under the code to extend it longer and based upon discussions with the applicant – they may be requesting a longer extension this time.

Section 220-48 (E) states "Expiration. Final site plan approval shall expire two years after the date of final written approval by the Planning Board unless construction in accordance with the approved plan has begun or an extension of time has been granted by the Planning Board."

The applicant, Dan Dembling, will be before the Board to discuss any questions they have an discuss some additional plans for bringing the Holocaust Memorial to fruition.

#### RESOLUTION NO. 2022 - 29

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 14TH DAY OF NOVEMBER 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN

**GENGHIS KHAN** 

MICHAEL A. SKREBUTENAS

CHRIS LAFLAMME

PATRICK MCPARTLON

DAVID D'ARPINO

**DACI SHENFIELD** 

LESLIE GOLD

NANCY STRANG

FILED TOWN OF NISKAYUNA

NOV 15 2022

MICHELE M MARTINELLI TOWN CLERK

One of the purposes of the meeting was to take action on a site plan amendment.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Mr. Khan. whom moved its adoption, and seconded by Ms. Strang.

WHEREAS, Dr. Michael Lozman, Director of Restoration of Eastern European Jewish Cemeteries Project, Inc., has made an application to the Planning Board for the installation of a monument sign and earthen berm to the previously approved site plan for a 2.08-acre religious education facility at 2501 Troy Schenectady Road, as shown in a 10 page site plan set entitled "Existing Conditions Plan for Holocaust Memorial, 2501 Troy Schenectady Road, Town of Niskayuna, County of Schenectady, State of New York," by Hershberg & Hershberg, consulting engineers and land surveyors, and dated 5/1/2017, and

WHEREAS, the site plan amendments are shown in the revised set of drawings as follows:

Page	File Name	Name	Author	Date Drawn	Rev.
No.					
1	CDJHM001	Overall Plan	"A"	10/14/22	5/11/21
2	CDJHM002	Site Plan for Proposed Sign	"A"	10/14/22	10/21/22
3	CDJHM003	Site Plan with Section	"A"	NA	NA
4	CDJHM004	Monument Sign A100	"B"	10/14/22	10/14/22
5	CDJHM005	Monument Sign Rendered	"B"	NA	NA
6	CDJHM006	Short-term Sign Rendered	"B"	NA	NA

WHEREAS, the zoning classification of the property is R-1: Low Density Residential zoning district, and

WHEREAS, A religious education facility in an R-1 Zone requires a special use permit, and

WHEREAS the Planning Board conducted a public hearing on February 12, 2018 to consider the application for a special use permit and preliminary site plan review, and

WHEREAS this application was referred to the Schenectady County Planning Department and on November 20, 2017 the County responded that it conditionally approved of the project, pending NYSDOT approval of highway access, and

WHEREAS, the application was referred to the Niskayuna Conservation Advisory Council, and on January 3, 2018, the Council recommended a negative declaration, and

WHEREAS, the Town Board, acting in accordance with the State Environmental Quality Review regulations and local law, assumed the position of lead agency for this project, determined the project will not have a significant effect on the environment and directed the Town Planner to file a negative declaration, and

WHEREAS, the Town Board granted a special use permit on June 20, 2019 to allow a religious education facility at 2501 Troy Schenectady Road, by its Resolution No. 2018-182, and

WHEREAS, the Planning Board referred this application to the Town's Engineering Department and the department does not object to the proposed plans, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby grant final site plan approval for a special use permit to allow the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Road, subject to the following conditions:

1. Wetlands may not be disturbed, drained or physically altered in any way without first contacting the Army Corps of Engineers. Additionally, the Town of Niskayuna requires that no land can be disturbed within a twenty five (25) foot buffer from the boundary of the wetland.

- 2. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer, and Engineering and shall remain in place until such time as natural vegetation has been successfully established.
- 3. Prior to issuance of a final CO, the applicant shall sign a Storm water Control Facility Maintenance and Access Agreement, in order to ensure the proposed storm water facilities are installed and maintained per plans.
- 4. Prior to site disturbance, the applicant shall participate in a preconstruction meeting with the Town of Niskayuna and shall address any concerns raised by the Town or the Town Designated Engineer (TDE).
  - A. Pursuant to this site plan amendment, the project is approved to install monument sign as outlined in the drawings noted above, with minor associated clearing, to mark the entrance to the memorial prior to full site disturbance or the preconstruction meeting requirement.
- 5. Prior to site disturbance, the site plan maps shall be modified to reflect agreed upon decisions of the preconstruction meeting, if any, and distributed as required to the Town and to all involved contractors. Final site plans shall be submitted to the Town labeled "For Construction."
- 6. Prior to site disturbance, confirmation shall be made by the applicant to the Department of Public Works that material specifications and site details, including road and utility plan/profiles, meet Town standards.
- 7. Prior to the preconstruction meeting, any engineering and drainage concerns will be addressed to the satisfaction of the Town Superintendent of Water, Sewer and Engineering, including item #7 in the TDE comment letter dated 2/3/2020.
- 8. Prior to the preconstruction meeting, any questions or concerns raised by the Town Designated Engineer will be addressed by the applicant in a formal letter to the Town.
- 9. Prior to the preconstruction meeting, the applicant shall provide written approval from the NYSDOT for the curb cut on Route 7.
- 10. As a condition of the special use permit, hours of operation for the property shall be dawn to dusk.

- 11. As a condition of the special use permit, a thick vegetative buffer shall be established along the Route 7 corridor to protect the residential nature of the corridor and limit impact to adjacent properties.
  - A. Pursuant to this site plan amendment, an earthen berm shown in page 2 of the 6-page drawing set noted above is approved to be added to the grading plan to create additional screening and noise reduction to the site.
- 12. As a condition of the special use permit, temporary onsite restroom facilities shall be required at any time the memorial is open, with an area reserved on the site plan that will adequately serve for the construction of permanent bathrooms in the event that they are deemed necessary by the Town and overseeing Foundation.
- 13. All large events that require traffic control / Niskayuna police presence shall be coordinated with the Town of Niskayuna Police Department in well in advance of each event.
- 14. Per Niskayuna Town Code Section 220-48 E: Final site plan approval shall expire two years after the date of this written final approval of the Planning Board unless construction in accordance with the approved plan has begun or an additional extension of time has been granted by the Planning Board.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN -- Aye
GENGHIS KHAN -- Aye
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON -- Aye
DAVID D'ARPINO -- Aye
DACI SHENFIELD -- Aye
LESLIE GOLD -- Aye
NANCY STRANG -- Aye

The Chairman declared the same duly adopted.



## TOWN OF NISKAYUNA

Received
FEB 0 2 2004
Niskayuna Building Dept.

One Niskayuna Circle Niskayuna, New York 12309-4381

Phone: (518) 386-4530

# **Application for Site Plan Review**

# Applicant (Owner or Agent):

Name: <u>Daniel W. Dembling Address</u>: <u>P.O. Box 396, Latham NY 12110</u>

Email: Info@CDJHM.com or DanD@DDArch.com

<u>Telephone: 518-463-8066</u> or Cell (518) 469-7913 Fax: 518-463-8610

**Project Location:** 

Number & Street: 2501 Troy Schenectady Road Address Niskayuna NY

Section-Block-Lot 61. - 2- 9.11 Zoning District R1

## **Proposal Description:**

The Applicant is requesting a two-year extension of the February 10, 2022, site plan approval to construct a memorial park with parking, lighting, landscaping, water/sewer facilities and associated infrastructure improvements. Included in the extension request is the prior site plan amendment adding a berm and monument sign to the Project by Resolution 2022-29. This extension request does not include any additional proposed changes to the site plan.

Signature of applicant:  PRESIDENT - APITAL HOLOCIAL SIGNATURE of owner (if different from applicant):	Date: 01 31 2024  DISTRICT JEWISH  ST MEMORIAL, LNC
Date:	
3-2018	Page 1 of 2

#### Each site plan application shall be accompanied by:

- 1. Digital copies in pdf format of all application forms and supporting documents.
- 2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
- 2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
- 3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
- 4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
- 5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of \$200.00 plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
- 6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.



One Commerce Plaza Albany, New York 12260 518.487.7600 Melissa Cherubino Associate 518.487.7641 mcherubino@woh.com

November 15, 2023

#### VIA EMAIL

Chairman Kevin A. Walsh Members of the Planning Board One Niskayuna Circle Niskayuna, NY 12309 United States

RE: Holocaust Memorial – 2501 Troy Schenectady Road, Niskayuna NY

Dear Chairman Walsh and Members of the Planning Board:

We represent our client, Dr. Michael Lozman, Director of Restoration of Eastern European Jewish Cemeteries Project, Inc. (the "Applicant") in relation to its approved Holocaust Memorial at 2501 Troy Schenectady Road (the "Project"). The Town of Niskayuna Planning Board ("Planning Board") issued a site plan approval for the Project on February 10<sup>th</sup>, 2020, which was renewed on January 11, 2022. A copy of the approval is enclosed for your reference. We hereby respectfully request a 2-year extension of the site plan approval from the current expiration date of February 10, 2022 pursuant to Zoning Code § 220-48(E).

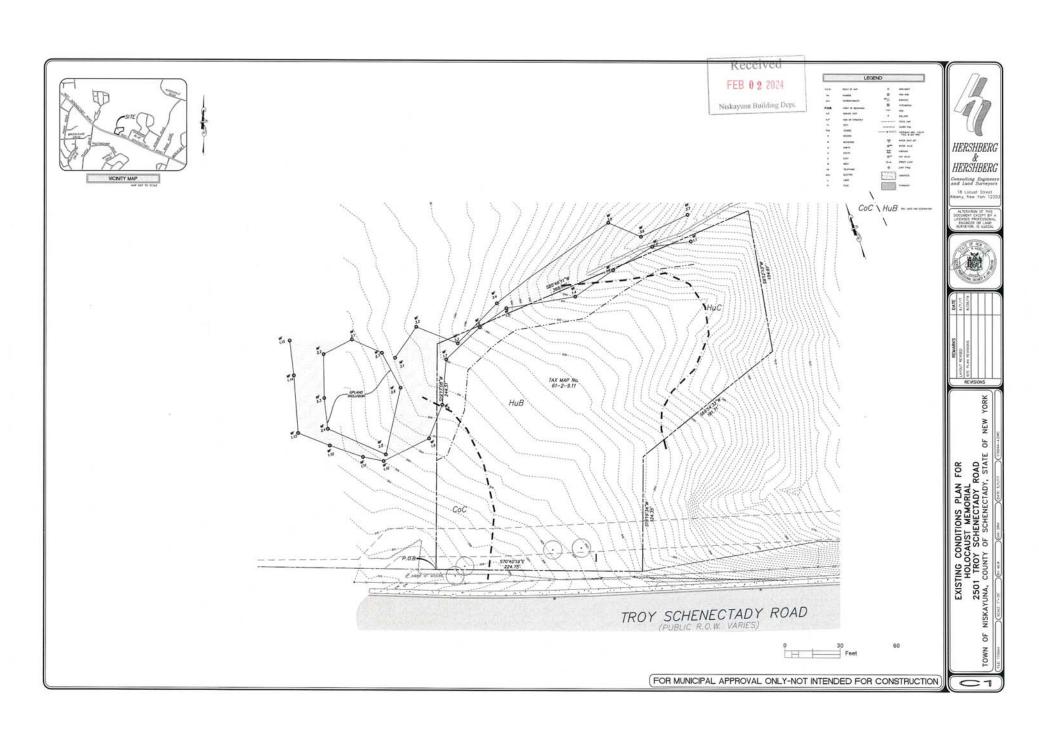
The Town should also be aware that a special permit was issued for the Project on June 20, 2019. Pursuant to Zoning Code § 220-65(B)(2), a special permit shall expire if "[c]onstruction has not begun in accordance with the approved plan within two years *after the date of final site plan approval by the Planning Board*." (Emphasis added). It is our understanding that if the Planning Board extends the site plan (see above), the special use permit shall remain valid.

We respectfully request that the Planning Board grant a 2-year extension of the Project's site plan approval at its December 13<sup>th</sup>, 2023 meeting while the Applicant continues to raise funds for the Project. Thank you for your assistance in this matter. Please do not hesitate to contact me if you have any questions.

Sincerely,

Isl Melissa Cherubino

Melissa Cherubino





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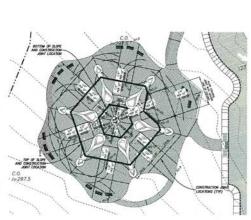
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FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION



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Consulting Enginee and Land Surveyor 18 Locust Street bony, New York 127

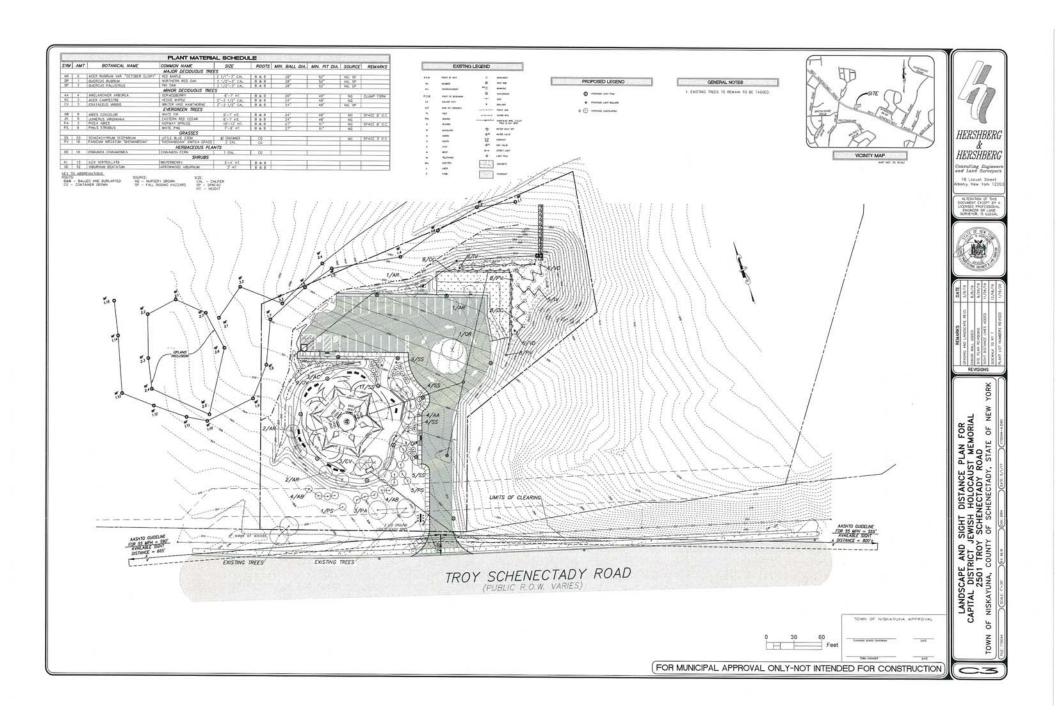
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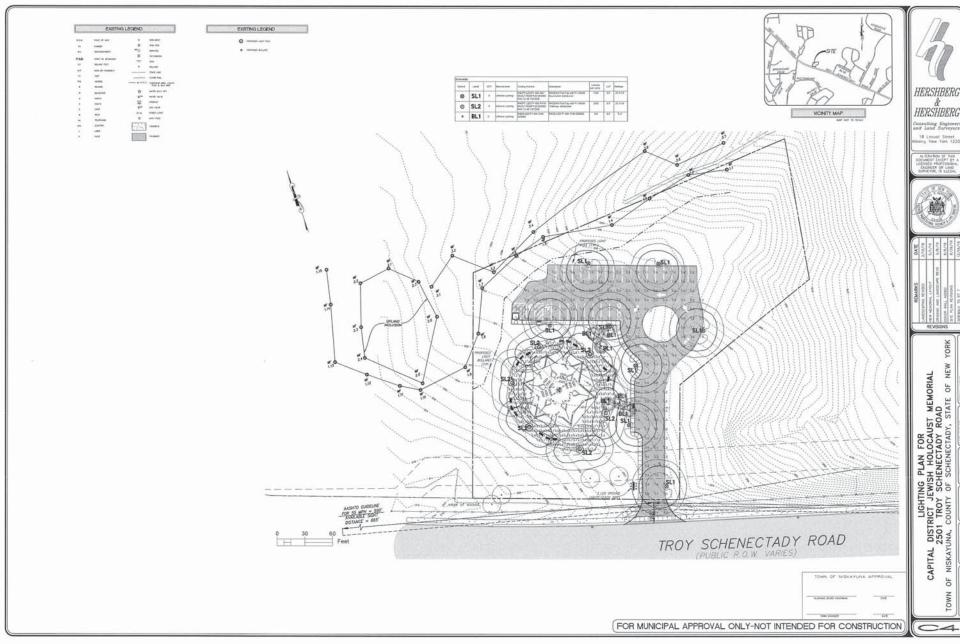


OF NEW SITE PLAN FOR
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2501 TROY SCHENECTADY ROAD
NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NE

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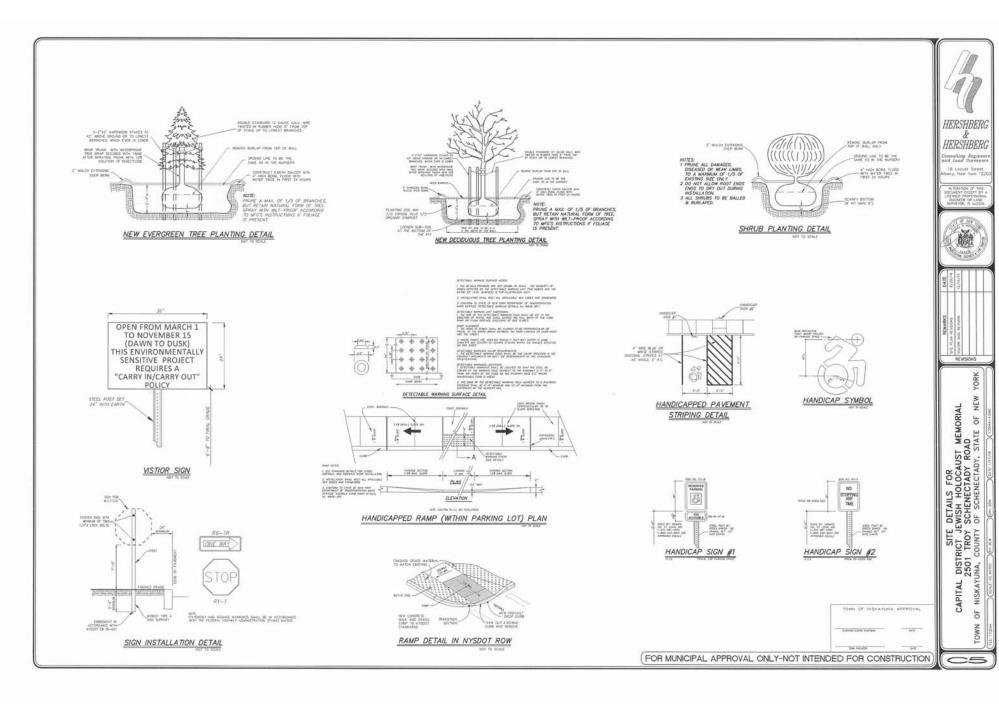




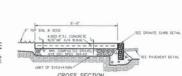


& HERSHBERG









CONCRETE WALK DETAIL

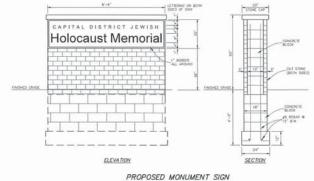
STAMPED CONCRETE DETAIL

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NEW GRANITE CURB DETAIL





CONCRETE PAD FOR PORTABLE TOILET DETAIL

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FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION



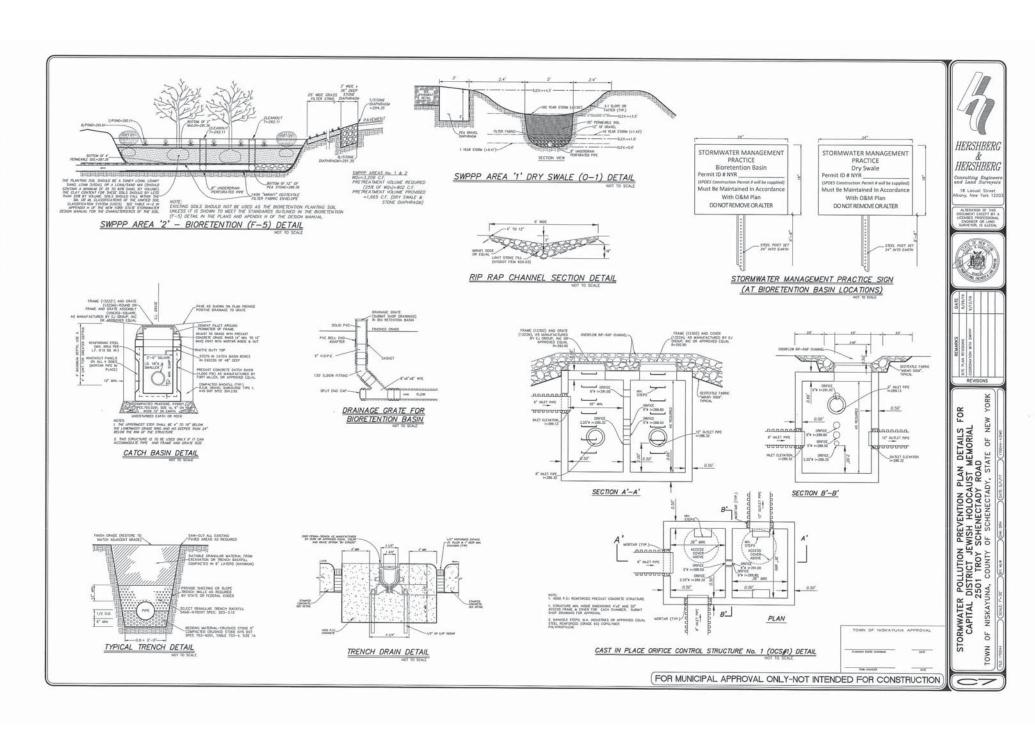
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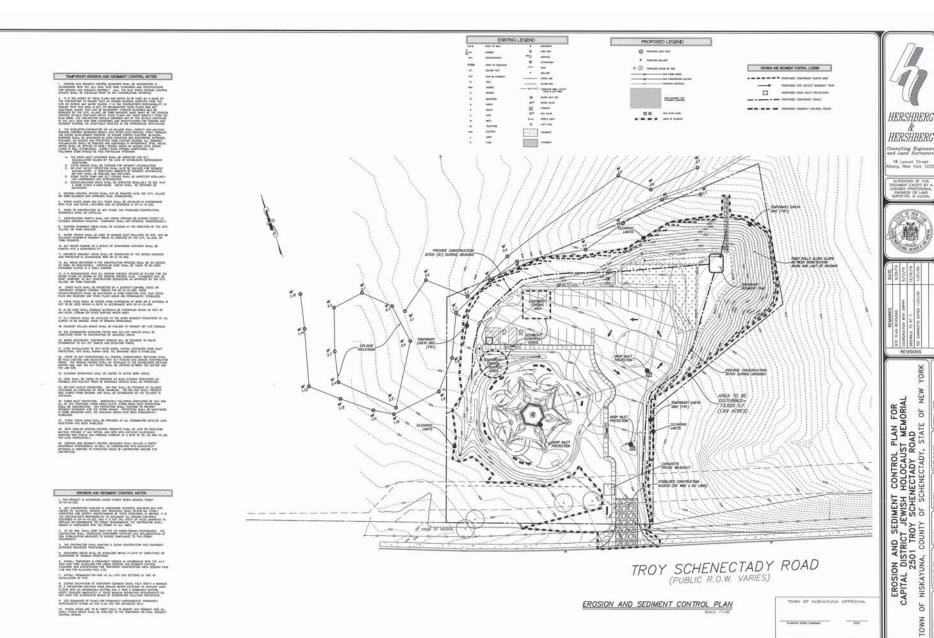
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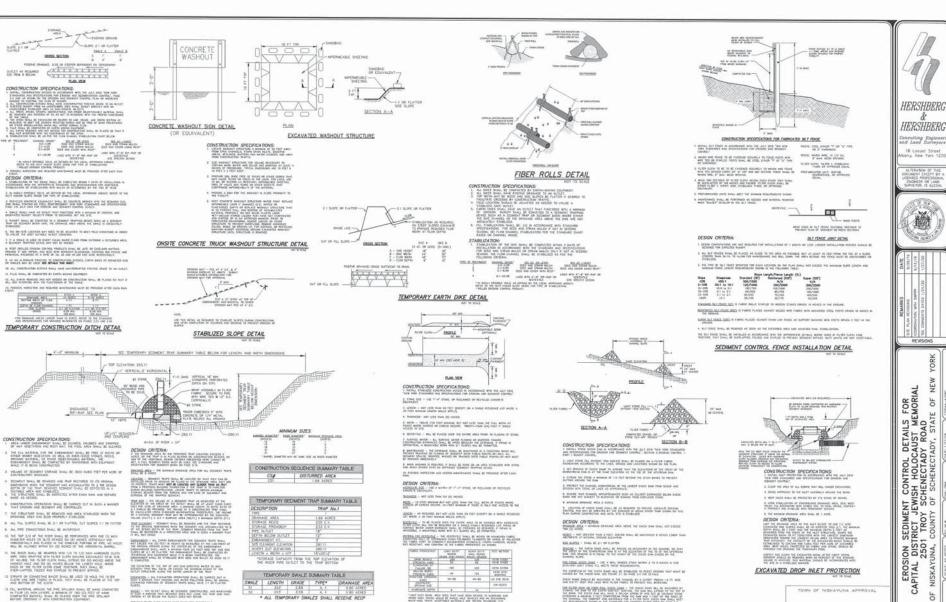
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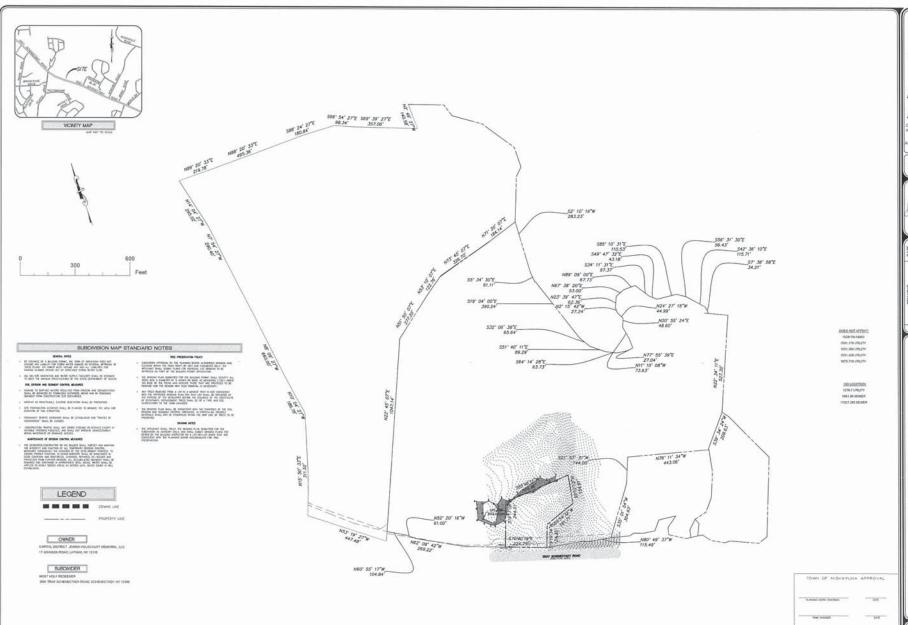
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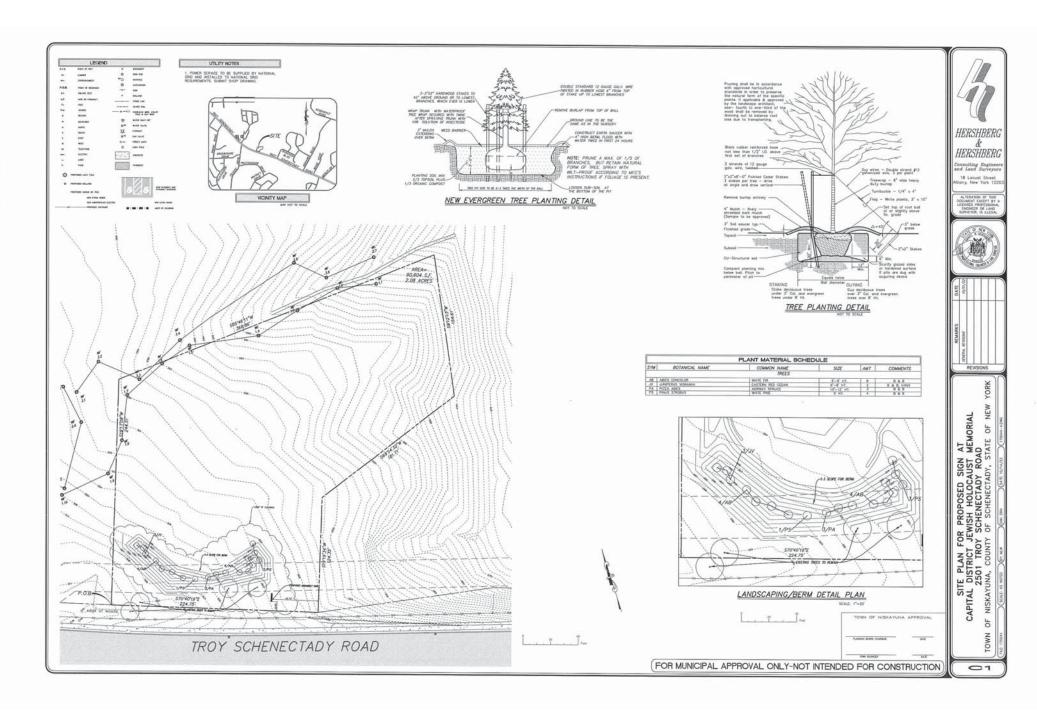


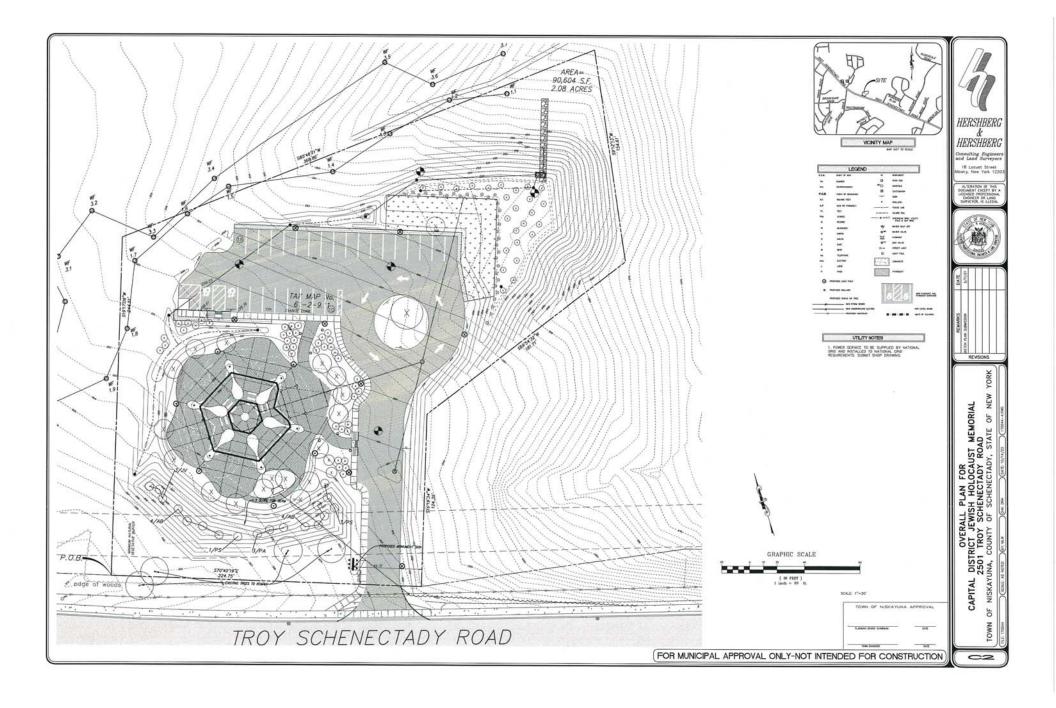
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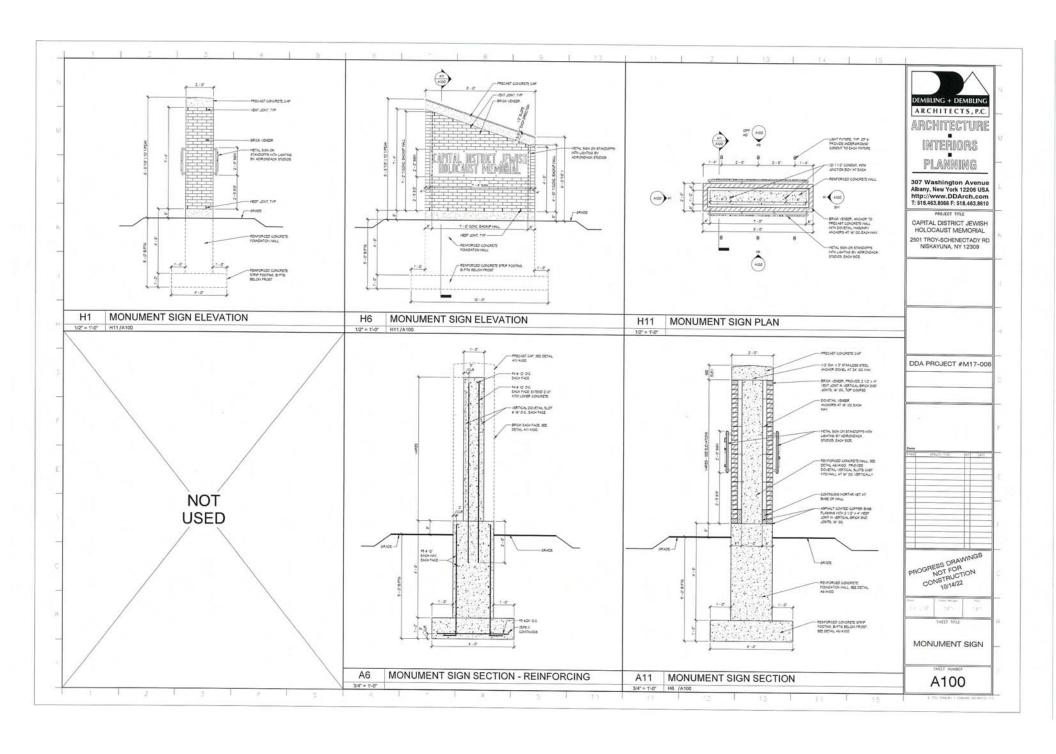
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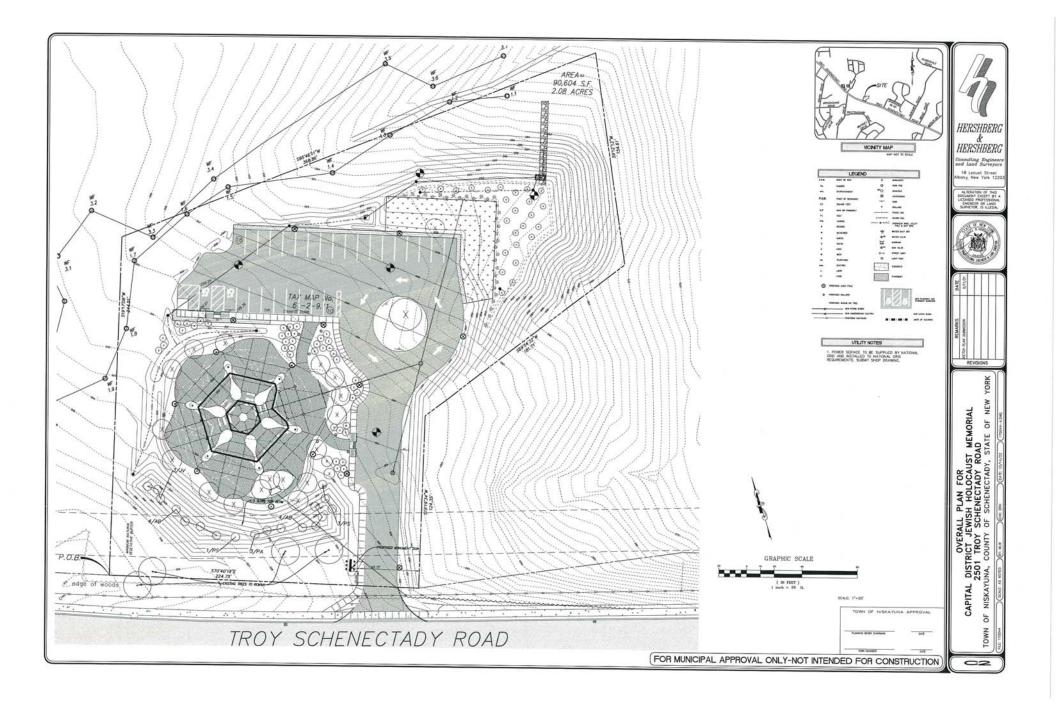
PROPOSED SUBDIVISION
APITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW CAPITAL OF TOWN

C10











CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL





# **TOWN OF NISKAYUNA**

#### PLANNING BOARD AND ZONING COMMISSION

#### AGENDA STATEMENT

AGENDA ITEM NO. VIII. 4	MEETING DATE: 2/12/2024
ITEM TITLE: DISCUSSION: 2475 Brookshire Dr. – Tal a monument (directory) sign.	I Oaks Apartments A site plan application for
PROJECT LEAD: TBD	
APPLICANT: Kristen Macleod	
SUBMITTED BY: Laura Robertson, Town Planner	
REVIEWED BY:  Conservation Advisory Council (CAC)  OTHER:	ard of Appeals (ZBA) $\square$ Town Board
ATTACHMENTS:  ☐ Resolution ■ Site Plan ☐ Map ☐ Report ☐ Other:	

#### **SUMMARY STATEMENT:**

Kristen Macleod of AJ Signs, agent for the owner of the Tall Oaks Apartments, submitted an Application for Site Plan Review for a new monument (directory) sign at 2475 Brookshire Dr.

On 1/9/23 with PB Resolution 2023-02, the Planning Board approved an application for a waiver of one (1) additional entrance point sign at each of the two (2) entrance points to the apartment complex at Brookshire Dr. and Pearse Rd., respectively. That waiver resulted in two (2) entrance point signs at each of the Brookshire Dr. and Pearse Rd. entrances. Replacement panels for the existing sign at Troy – Schenectady Rd. and a new monument sign along Pearse Rd. near Brookshire Dr. were also included in the application and were determined to be code compliant.

This application is to install a new monument (directory) sign on a grassy island in the parking lot near the Pearse Rd. entrance to the complex but within the apartment complex grounds (not at an entrance).

#### **COMPREHENSIVE PLAN**

The Economic Development section of the current (2013) Comprehensive Development Plan was reviewed. The Plan does not include any specific requirements or guidance regarding signage.

#### **BACKGROUND INFORMATION**

The property is located within the R-3 High Density Residential zoning district. Schedule I-C of the Niskayuna zoning code, lists Sections 220-22 and 220-26 as the relevant signage requirements and regulations associated with the district.

A 1-page drawing entitled "Directory Sign" by AJ Sign Co. dated 1/17/24 with no subsequent revision was included with the application.

#### **PROPOSAL**

<u>Schedule I-C R-3 District</u> Column 7 Permitted Signs states that for multiple-family dwelling units the following sections of the zoning code apply: 220-22 and 220-26

<u>Section 220-22 A (10)</u> states: "At any time there is a new sign or a modification or a replacement of an existing sign associated with a nonresidential use identified in Section 220-10 as a permitted or speical principal use, with a legally nonconforming nonresidential use or with <u>multifamily dwellings</u>, the following standards apply.....

- (a) In residential and conservation districts:
- 3. Freestanding signs shall be ground (monument) signs only. Building signs shall be wall signs only." (Section 220-4 Definitions of the zoning code includes the following: "Sign, Ground A freestanding sign whose entire bottom is in contact with or in close proximity (within two feet) to the ground.")...
- 4. Freestanding signs shall have a minimum setback of 10 feet from the right-of-way line and ten feet from the side property line. They shall be located in a manner that does not interfere with required minimum sight distance at driveways or intersections.

As proposed, the new monument (directory) sign complies with the regulations described above.

<u>Section 220-26 J</u> of the zoning code states: "In addition to the regulations of Section 220-22 A (10), one sign may be permitted at each access point to the site. In addition to the principal sign(s), any number of directional signs, each not to exceed four square feet in area and eight feet above average grade, may be permitted."

As proposed, the new monument (directory) sign does not appear to be either a sign at an access point or a directional sign. The Board should review the application and site plan drawing and determine if the proposed sign is code compliant or if a waiver for an additional sign at the Pearse Rd. entrance point is required.



One Niskayuna Circle Niskayuna, New York 12309-4381

Phone: (518) 386-4530

# **Application for Site Plan Review**

Applicant (Owner or Agent):	Location:
Name AJ Signs	Number & Street <b>2475 Brookshire Dr</b>
Address 842 Saratoga RD  Burnt Hills NY 12027	Section-Block-Lot 61.5-2-11.1
Email Kristen@Ajsigns.com	
<u>Telephone</u> : 5183999291	5186880179 Zoning District R3
Proposal Description: Installation of 16 sq ft freestanding directory si	ign for Tall oaks installed in the parking
Lot of building 11	
Signature of applicant:	Date:
Signature of owner (if different from applicant)  Date:	NA

Directory Sign
Qty: (x1) Double Sided
Materials: 2 Layers 1.25" Aluminum & 4" Aluminum Tube Frame & Posts w/ High Performance Vinyl

Colors: Vinyl: White

Paint: 7125 Dark Gray

Vinyl: Pantone 2317C

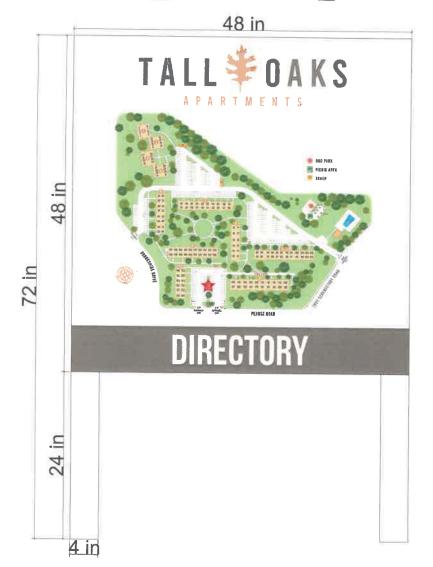






Photo Representation of Approximate Sizing



842 Saratoga Road Burnt Hills, NY 12027 (518) 399-9291 AJSigns.com

Client: Jankow

Project: Directory Sign

Location: Tall Oaks Apartments

Customer Approval:

Landlord Approval (If Required):

Date:

Date:

File Name: E44413 Salesperson: Tom Designer: Lisa Date: 01/17/24

Original drawings and designs are the property of AJ Sign Co. and may not be duplicated or reproduced in whole or part as a drawing; sign without written permission from AJ Sign Co. Drawing value is included in project pricing. If drawings it is, Designer's Rendering) don't resurt in a subsequent project you will then in francably responsible for the value of drawings. Designer's Renderings are available for purchase for use in comprehits being because upon required.

