

TOWN OF NISKAYUNA
Planning Board and Zoning Commission

Agenda
April 17, 2023
7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. March 27, 2023

IV. PUBLIC HEARINGS

1. Antonia Park / Polsinelli Dr. (40.-1-54.11) – An Application for Approval of Plat Plan -- Minor Subdivision approval for a 2-lot minor subdivision and lot line adjustment.

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2023-14: A Resolution for site plan approval for new signage at the Bank of America located at 1757 Union St.

VIII. DISCUSSION ITEM

1. Antonia Park / Polsinelli Dr. (40.-1-54.11) – An Application for Approval of Plat Plan -- Minor Subdivision approval for a 2-lot minor subdivision and lot line adjustment.
2. 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club – application for sketch plan approval including a Special Use Permit for a 22-lot Average Density Development (ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.

IX. REPORTS

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: May 8, 2023 at 7 PM
To be Held in the Town Board Room
& via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
March 27, 2023

Members Present:

Kevin Walsh, Chairman
Chris LaFlamme
David D'Arpino
Genghis Khan
Patrick McPartlon
Leslie Gold
Nancy Strang
Joseph Drescher

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. Skrebutenas was excused and absent.

III. MINUTES

Mr. McPartlon made a motion to approve the minutes from the 3/13/23 meeting. Seconded by Mr. Khan. With no modifications being made, the Board voted to approve the minutes unanimously, with Ms. Strang abstaining.

IV. PUBLIC HEARINGS

- 1. 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club – An application for sketch plan approval including a Special Use Permit for a 22-lot Average Density Development (ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.**

Mr. Henry read the notice for the public hearing.

Mr. Dave Kimmer came forward to briefly discuss the project before opening the floor for public comment. Mr. Kimmer detailed that the proposed development would come from an access road via an existing paper street off of Ruffner Rd. Mr. Kimmer stated that roughly 3 acres of the area would be set aside as a conservation area, which included a 50 foot buffer from the Ruffner Rd. neighbors.

After Chairman Walsh opened the floor to the public, Mr. George Young of 1241 Ruffner Rd stepped forward. Mr. Young said surrounding an existing house with three different roads is out of character for the neighborhood, and would place undue burden on that homeowner (as

39 proposed in this plan). Mr. Young stated that his driveway is proposed to be used as the
40 emergency access road. Mr. Young said he had claim to this land and did not think the Town had
41 the right to give the land to the Mohawk Club. Mr. Young cited case law to supplement his
42 argument that he had claim to the land in question. He stated he had given his claim, in writing,
43 to the Town of Niskayuna.

44 Mr. Josh Spain of 1219 Ruffner Rd said that he opposed any access or emergency roads from
45 Ruffner Road, as the development would harm the character of the neighborhood as well as the
46 ecosystems in that area. Mr. Spain stressed that the TDE be given proper time to analyze the site
47 and their work should work in conjunction with outside agencies. Mr. Spain felt as if the current
48 plans do not have all the details necessary in terms of dimensions and size of lots. As Mr. Spain's
49 property borders the paper street and would have roads on three sides, he felt as if his property
50 values would suffer due to this development.

51 Ms. Terez Assalian of 2342 Algonquin Rd said that there would be no reasonable expectation
52 that those who bought homes on Ruffner Rd could have foreseen a development like this on the
53 14 acres in question. Ms. Assalian said that the right to quiet enjoyment was language found in
54 deeds when purchasing a home. Ms. Assalian asked how approving this project would be
55 progressive planning from the Planning Board. Ms. Assalian recommended a moratorium and
56 impact fees for the Planning Board to look at.

57 Mr. Mark Thomas of 1265 Ruffner Rd said that the density of the development would be twice
58 as much as the rest of the neighborhood, and that this would set a bad precedent. He stated that
59 other neighborhoods should fear development in the middle of their community should this be
60 approved.

61 Ms. Maddy McCarthy of 1237 Ruffner Rd said the development may impact safety and wildlife
62 of the neighborhood. Ms. McCarthy questioned the priorities of the town and said she has seen a
63 prevalence of cookie cutter homes recently. Ms. McCarthy spoke to some of the impacts of
64 deforestation such as greenhouse gas emissions and loss of habitat. Ms. McCarthy said that the
65 only people who spoke in favor of the development were asked to speak by the Mohawk Club.

66 Mr. Jackson Regan of 1357 Ruffner Rd said he has lived on Ruffner Rd his entire life and the
67 woodlands of that area are full of wildlife. Mr. Regan stated that destroying a neighborhood was
68 not worth the potential tax revenue received. Mr. Regan mentioned that the neighborhood is
69 currently peaceful with little through traffic, and this development would create a safety issue.
70 Mr. Regan asked how the Board could be serving the best interests of the Town while
71 simultaneously approving this development.

72 Mr. Bob Serotta of 1262 Hawthorn Rd said that wildlife, specifically the deer population, would
73 be displaced and harmed by this project. Mr. Serotta said he saw a bald eagle on Ruffner Rd
74 recently.

75 Ms. Deb Friedson of 2508 Whamer Ln said she was proud of some of the younger members who
76 spoke during this public hearing. Ms. Friedson said she has enjoyed the peaceful, historic nature
77 or her community for years and wanted to see it preserved.

78 Ms. Carol Furman of 1269 Ruffner Rd said she did not consider this development small and said
79 the density of development was high. Ms. Furman said the Mohawk Club concentrated traffic on
80 Ruffner Rd and this development would add to that, and the character of the neighborhood would

81 be impacted. Ms. Furman said that an increase in impervious surfaces would create runoff issues
82 on Rowe Rd and questioned the water and sewer capacities in the area.

83 Mr. Judd Staley of 1367 Ruffner Ct stated opposition to this development. Mr. Staley said that
84 harming the character of the neighborhood in this capacity would go against the Town's
85 Comprehensive Plan.

86 Mr. John Baranowski of 1101 Hedgewood Ln cited the Town code chapter 220 and stated that
87 portions of that chapter speak on ADDs needing to promote the health, safety and general
88 welfare of the community which he did not believe this would. Mr. Baranowski also spoke on
89 open space provisions mentioned within the code and said that this plan is directly against what
90 is stated.

91 Mr. Jim Dillon of 1242 Ruffner Rd recognized that the Mohawk Club had a right to develop their
92 property but not at the expense of the neighborhood. Mr. Dillon referenced previous Planning
93 Board meetings where the Mohawk Club did not entertain moving the development to another
94 portion of their property due to them not wanting to disturb the historic nature of the course. Mr.
95 Dillon argued that the course was not historic enough to not be altered. Mr. Dillon said due to the
96 Club's refusal to alter portions of the golf course while at the same time disrupting the
97 neighborhood, he had a tough time trusting them.

98 Ms. Carol Holmes of 1301 Ruffner Rd said that the Board should be listening to the younger
99 members who spoke at the hearing, as they are the future of Niskayuna.

100 Mr. Ken Schwartz of 1363 Ruffner Ct talked about the "No Trespassing" sign along the Mohawk
101 Club property as well as the fence that would be lining the proposed multi-use path. Mr.
102 Schwartz found it interesting that the Mohawk Club did not want the public interfering with their
103 land but they were okay interfering with the Ruffner Rd neighborhood.

104 Mr. Christopher Morris of 1917 Mayfair Rd opposed the development. Mr. Morris echoed many
105 concerns of his neighbors, specifically concerns regarding the contradiction this development
106 would have to the Comprehensive Plan as well as the impact it would have on the character of
107 the neighborhood. Mr. Morris also spoke to the deforestation issues with the development. Mr.
108 Morris believed that drainage would be an issue and was unsure that the water infrastructure
109 would be able to handle an increased capacity. Mr. Morris emphasized the importance of the
110 Tree Council in identifying trees to be preserved as well as conservation easements on the
111 property.

112 Mr. Jonathan Vaillancourt of 1274 Ruffner Rd stated that there has still been no update on how
113 this development would impact schools. Mr. Vaillancourt said it would be important for the TDE
114 to analyze electrical infrastructure capacities as well as water and sewer as that neighborhood
115 frequently loses power. Mr. Vaillancourt echoed ecological concerns and specifically mentioned
116 a large coyote population on the course. Mr. Vaillancourt asked the Board to restrict construction
117 to not occur during the weekends or holidays.

118 Ms. Louisa Lombardo of 1242 Ruffner Rd restated electrical problems in the area as well as
119 water issues that many in the Ruffner Rd area experience regularly. Ms. Lombardo said that the
120 layout of the proposal was unnatural and asked about the purpose of the bend in the road. Ms.
121 Lombardo stated that the loss of trees would allow for noise coming from the golf course to
122 travel further into the neighborhood. Ms. Lombardo said that if the Mohawk Club wanted to

123 preserve the historic nature of the course then adding a subdivision on the property would not
124 achieve that goal. Ms. Lombardo further asked about the purpose of the retention ponds.

125 Ms. Maureen Abrams of 2512 Hilltop Rd said that the Mohawk Club provides a significant
126 amount of noise pollution to her neighborhood. Ms. Abrams stated that the retention pond
127 proposed as well as the pond near her house amplifies the noise even further. Ms. Abrams
128 claimed that the Mohawk Club does not listen to complaints of their neighbors. Ms. Abrams
129 mentioned that the Mohawk Club has already cleared area on their property which may pollute
130 waters in the area due to runoff.

131 Mr. David Wood of 1218 S Country Club Dr believed that there was not enough land to allow
132 the paper road to bend into the development. Mr. Wood said a previous plan for a multi-use path
133 was shot down due to fears that walkers could be hit with golf balls. Mr. Wood stated that due to
134 previous cutting of trees the coyote population has increased in the remaining wooded areas. Mr.
135 Wood stated that this property has long been considered an area that could be sold if the Club ran
136 into financial difficulties.

137 Ms. Marlene Loux of 1191 Ruffner Rd lived directly next to the paper street. Ms. Loux said
138 although she knew the paper street was there she did not think it would be developed since she
139 had previously lived next to a golf course that did not engage in development like this. Ms. Loux
140 said that the highest and best use of the parcel in question is to be used as is which is
141 undisturbed.

142 Ms. Shoshana Bewlay of 1119 Ruffner Rd said if the development was approved to occur in the
143 location it is currently proposed, the Board should look at recommending ingress and egress
144 through existing Mohawk Club curb cuts which would have less impact on the community.

145 Mr. Richard Normandin of 2163 Nott St said he approved of development that worked with the
146 existing neighborhood, but did not feel as if this proposal worked with the Ruffner Rd area. Mr.
147 Normandin mentioned that he had lived near construction before and there was a severe lack of
148 peace and quiet. Mr. Normandin emphasized his disagreement with allowing construction 7 days
149 a week, and restated that this does not fit with the existing neighborhood.

150 Mr. David Amodeo of 1382 Rosehill Blvd. said his property already experiences high quantities
151 of runoff and feared that this development would increase that.

152 Mr. Gilles Chapados of 1200 Ruffner Rd recommended the Mohawk Club become a semi-
153 private club if they are struggling financially.

154 Mr. Mike Mason of 2144 Mountainview Ave opposed connecting the subdivision via Ruffner
155 Rd. Mr. Mason stated he did not think the right-of-way was correctly displayed on the plans and
156 was not supposed to be utilized in that manner. Mr. Mason noted that the cul-de-sac looked odd.
157 Mr. Mason echoed the concerns brought up by many of his neighbors.

158 Mr. Steven Clemente of 1231 Ruffner Rd asked to the legality of having a house surrounded on
159 three sides, as one of the existing houses would be with the proposed new roadways. Mr.
160 Clemente also asked about the Town code regarding road width and whether these plans fell into
161 those codes. Mr. Clemente requested knowledge regarding the impact the increased utilities,
162 including water and sewer, would have on the community. If infrastructure needed to be
163 expanded to accommodate the subdivision, Mr. Clemente wondered whether that cost would be
164 given to the developers or the taxpayers. Mr. Clemente said those opposed to the project
165 contribute more to the Town in terms of taxes, and wondered why the Mohawk Club's concerns

would take priority over the resident's. Mr. Clemente further touched upon the environmental impacts brought up by others, and requested an independent analysis of those impacts.

Ms. Cathy Carlock of Story Ave asked if the taxpayers got a vote in the progress of the development. Ms. Carlock said this could have long lasting impacts that will be felt for decades, and stated opposition to the proposal.

Ms. Carrie Kirkton of 1322 Ruffner Rd spoke virtually and opposed the project but said it should be examined thoroughly so it did not cause detrimental harm to the neighborhood. Ms. Kirkton stated that the desires of so few should not override the voices of so many.

Mr. William Howe of 1270 Ruffner Rd spoke virtually and stated that he has decades of experience working with a multitude of developments and stated that has led him to believe this is a bad project. Mr. Howe said that this development has no consideration for the surrounding neighborhoods nor the golf course itself. It is as if they tried solely to get as many properties into one area as possible.

Mr. Michael Venuti of 1149 Ruffner Rd spoke virtually and stated that although he is against the project the Mohawk Club has provided important services to the community in the past. Mr. Venuti shared his belief that the proposal was invasive on the community. Mr. Venuti stated that both personal investments and the character of the community would be at risk due to this development.

Mr. Philippe Menteur of 1318 Rowe Rd spoke virtually and strongly opposed the proposal.

Ms. Juliana Post-Good of 1169 Highland Park Rd spoke virtually and stated that everybody who spoke tonight had been against the project. Ms. Post-Good said that those voices would be representative of the families that could not be in attendance for tonight's meeting.

Ms. Rebecca Shurtleff of 1324 Rowe Rd spoke virtually and mentioned traffic, infrastructure and character were reasons she could not support the project. Ms. Shurtleff said that the quiet and unique nature of the neighborhood were reasons that she was drawn to Rowe Rd and this project did not fit in with that. Ms. Shurtleff did not believe that this proposal worked with Niskayuna's Comprehensive Plan and said that construction equipment would lead to a deterioration of the roads. Ms. Shurtleff stated that drinking was common on the golf course which was a safety hazard as they exited the premises. Ms. Shurtleff furthered infrastructure concerns for the area. Ms. Shurtleff thought that allowing this process to proceed would set a dangerous precedent for the Town going forward.

Hearing no further comments, Chairman Walsh closed the public hearing.

V. PRIVILEGE OF THE FLOOR

Mr. Dan Lange, one of the owners of Lange's Pharmacy said that striping should be allowed to occur in The Broken Inn's proposal due to the fact that a lack of striping will lower parking quantities for the pharmacy. Mr. Lange said as he is expected to plow and maintain the area in question he should be able to stripe it as well.

Mr. Richard Normandin of 2163 Nott St said he lives very close to The Broken Inn and while he said he appreciated what the business has done for the community he had concerns regarding the

206 quantity of people that could be brought to the area by this, or future proposals. Mr. Normandin
207 said noise was already a concern from the restaurant and more people could bring further noise
208 and disruptions to the community.

209 Hearing no further comments Chairman Walsh closed Privilege of the Floor.

210 **VI. UNFINISHED BUSINESS**

211 No unfinished business tonight.

212 **VII. NEW BUSINESS**

213 **1. RESOLUTION: 2023-09: An Amendment to Resolution 2023-06 for sketch**
214 **plan for a 2-lot minor subdivision and lot line adjustment, SEQR**
215 **determination and a call for a public hearing at Antonia Park / Polsinelli Dr.**
216 **(40.-1-54.11).**

217 Chairman Walsh summarized the resolution.

218 Ms. Gold moved for adoption of the resolution as is. Seconded by Mr. Khan.

219 Hearing no comments Chairman Walsh asked Mr. Henry to call the roll.

220 Upon voting the resolution was passed unanimously.

221 Mr. LaFlamme AYE

222 Mr. Khan AYE

223 Mr. McPartlon AYE

224 Mr. D'Arpino AYE

225 Ms. Gold AYE

226 Ms. Strang AYE

227 Chairman Walsh AYE

228 **2. RESOLUTION: 2023-10: A Resolution for site plan approval for new façade**
229 **and ATM signage at the CHASE Bank located at 2321 Nott St. E.**

230 Chairman Walsh briefly summarized the resolution.

231 With no project lead, Chairman Walsh made a motion to approve the resolution. Seconded by
232 Ms. Gold.

233 Hearing no comments Chairman Walsh asked Mr. Henry to call the roll.

234 Upon voting the resolution was passed unanimously.

235 Mr. LaFlamme AYE

236 Mr. Khan AYE

237 Mr. McPartlon AYE

238 Mr. D'Arpino AYE

239 Ms. Gold AYE

240 Ms. Strang AYE

241 Chairman Walsh AYE

242 **3. RESOLUTION: 2023-11: A Resolution for site plan approval for a tenant**
243 **change to Northeast Underlayments under pre-existing nonconforming**
244 **interior storage use at 31 East St.**

245 Chairman Walsh briefly summarized the resolution. Mr. D'Arpino reminded the Board he would
246 be recusing himself from this vote. Chairman Walsh said Mr. Drescher would be filling in for
247 him.

248 Mr. LaFlamme made a motion to approve the resolution. Seconded by Ms. Strang.

249 Chairman Walsh asked Ms. Janet Konis if she had a chance to read the conditions of the
250 resolution. Although Ms. Konis was not able to speak virtually, Ms. Robertson stated that she
251 had talked with Ms. Konis about the conditions and Ms. Konis was amenable to them. Ms.
252 Robertson said plans for increased landscaping and reconfiguring the parking so light pollution
253 would not affect neighboring houses was discussed.

254 Chairman Walsh mentioned that going forward the Board would need to be careful about
255 describing what incidental space entailed, as the proposed space for the office and bathroom was
256 actually more than the 10% of the interior building. The 10% rule was previously discussed for
257 this property, although the original dimensions hadn't changed.

258 Ms. Konis got her technology to work and described some future landscaping efforts that she
259 was pursuing, including different types of greenery that would be added to the property.

260 Ms. Konis said she had no issue with the rest of the conditions listed.

261 Hearing no further comments Chairman Walsh asked Mr. Henry to call the roll.

262 Upon voting the resolution was passed unanimously.

263 Mr. LaFlamme AYE

264 Mr. Khan AYE

265 Mr. McPartlon AYE

266 Ms. Gold AYE

267 Ms. Strang AYE

268 Mr. Drescher AYE

269 Chairman Walsh AYE

270 **4. RESOLUTION: 2023-12: A Resolution for site plan approval of a seasonal**
271 **public outdoor picnic table area on the property of 2209 Nott St (provided by**
272 **the Broken Inn).**

273 Chairman Walsh briefly summarized the resolution.

274 Mr. D'Arpino made a motion to approve the resolution. Seconded by Mr. Khan.

275 Mr. Thomas Nicchi came forward to discuss some of the conditions with the Board. Mr. Nicchi
276 said that condition number 2 which stated that the tables must be affixed to the sidewalk had not
277 previously been discussed by the Board, and he requested the condition get removed. Mr. Nicchi
278 said there may be instances where the tables need to be moved for any reason and he did not see
279 the benefits to this condition. Mr. Nicchi said that each table will have an umbrella that is to be
280 weighted down which should prohibit the tables from moving. Mr. Nicchi stated that The Broken
281 Inn will be a good partner with the Town and move tables to their original location if they are
282 moved.

283 Mr. Nicchi took issue with condition number 6 which detailed the striping for the adjacent
284 parking locations would be undertaken by the Town in conjunction with Schenectady County.
285 Mr. Nicchi referred to Mr. Lange's comments during Privilege of the Floor and said that the lot
286 is less safe now than if it were striped and it maximized parking opportunities. Mr. Nicchi said
287 that all tenants in that complex were in agreement that the lot should be striped immediately. Mr.
288 Nicchi said he was originally told that it would be his objective to stripe the lot and was unsure
289 why he could not do so.

290 Mr. Nicchi asked for clarification on when the building permit was to be issued. Mr. Nicchi
291 requested the building permit be issued tomorrow to allow the tables to go up.

292 Ms. Robertson said that a meeting before issuance of the building permit would be advised so
293 that all departments would be on the same page with how the progress on the site would proceed.
294 Mr. Nicchi said he would make himself available as soon as possible to get this meeting
295 underway.

296 Mr. Nicchi asked Ms. Finan why Mr. Lange would not be able to stripe the portion of the lot that
297 is on his property as he had done for the past 25 years. Ms. Finan responded saying the Town has
298 larger plans for that intersection as a whole and will take the responsibility for striping instead of
299 making the property owners bear that cost. Mr. Nicchi asked for a timeline regarding this
300 because based on previous conversations he has had with people from Metroplex he did not feel
301 optimistic this would be resolved soon.

302 Ms. Robertson said that the Town was committed to doing temporary striping as soon as the
303 weather was permissible.

304 Mr. McPartlon asked Ms. Robertson and Ms. Finan if the Town would be open to delegating the
305 responsibility of striping to the property owners. Ms. Robertson said that once Mr. Nicchi met
306 with building inspectors and got the locations of the tables and parking spaces confirmed then
307 the Town would temporarily stripe the location in question.

308 Ms. Robertson told Mr. Nicchi that the reason the lot had not yet been striped was because the
309 property and the applications that went with it had been in flux. Ms. Robertson reiterated that she
310 has had discussions with the Town Supervisor and the Highway Superintendent who are in
311 agreement that temporary striping will occur when the weather is right.

312 Mr. McPartlon made a motion to modify or strike condition number six since the Board does not
313 have the authority to tell the Town how to recondition or stripe the area. Mr. McPartlon shared
314 the concerns regarding safety and stated that it was notable that all the tenants in the complex are
315 in favor of the striping. Mr. McPartlon believed that striking this condition would expedite the
316 striping process.

317 Ms. Finan asked for clarification on this motion as the condition in question said that the Town
318 will be the one undertaking the striping and that would not affect the timeline of the project.

319 Chairman Walsh said he would be open to modifying the condition to allow the delegation of
320 striping but not the striking of the condition in its entirety.

321 Mr. McPartlon made a motion that condition number six be amended to state that at the sole
322 discretion of the Town the applicant may complete the striping. The motion was seconded by
323 Chairman Walsh.

324 Mr. D'Arpino discussed painting supplies that the County had that could be easily removed if the
325 striping had to be restructured in the future. Mr. D'Arpino said if this occurred the Town could
326 easily put the permanent striping in place when those plans were finalized.

327 Although Ms. Robertson restated that it would be the Town who would be in charge of the
328 striping, Chairman Walsh said that Mr. McPartlon's motion did not preclude that from
329 happening and stated his support for the modification.

330 Hearing no further discussion regarding the motion, Chairman Walsh called for a vote which
331 passed 5-2 with Ms. Gold and Mr. Khan dissenting.

332 Mr. D'Arpino agreed with Mr. Nicchi that he did not see the benefit of condition number two
333 which required the tables be affixed to the sidewalk. Mr. D'Arpino believed that could
334 compromise the existing asphalt and said that if the tables fall onto Town property it will be the
335 responsibility of the applicant to move them.

336 Ms. Gold asked about the wind rating of the tables. Chairman Walsh stated that the purpose of
337 affixing the tables was to prohibit them from moving to Town property, and had nothing to do
338 with wind. Ms. Gold furthered her concerns that the tables could get swept away in the wind.

339 Mr. D'Arpino made a motion to strike condition number two. It was seconded by Mr. McPartlon.

340 Chairman Walsh echoed Mr. Nicchi's previous opinion that the weighted umbrellas would help
341 keep the tables in place. Furthermore, as there are going to be planters on the site they will
342 minimize the ability for the tables to be moved.

343 Mr. Drescher and Chairman Walsh stated that affixing the tables may require studies to see what
344 utilities lay underneath the asphalt.

345 In response to Mr. LaFlamme, Mr. Nicchi said that if the safest method was to remove the
346 umbrellas when conditions got overly windy then that is what he would do.

347 Ms. Robertson stated her concern that the Board was creating site plan conditions that would
348 place enforcement burdens on the Building Department. Chairman Walsh restated that the
349 barriers in place would limit the amount of space that the tables could be moved.

350 Hearing no further discussion regarding the motion, Chairman Walsh called for a vote which
351 passed 5-2 with Ms. Gold and Mr. Khan dissenting.

352 Ms. Gold mentioned that if there was going to be outdoor seating then a garbage receptacle
353 would also be needed. Mr. Nicchi said there are currently trash cans outside.

354 Chairman Walsh clarified for Ms. Gold that there would be no table service, wait staff or drinks
355 to be brought outside.

356 Ms. Gold reiterated that no table service and no alcohol should be conditions that are explicitly
357 stated in the resolution.

358 Ms. Gold made an official motion to add the condition that no table service should occur and no
359 alcohol should be brought outside. There was no second on this motion. Chairman Walsh said he
360 believed that was already covered in previous agreements and paperwork.

361 Ms. Gold said she believed there were too many tables and they were too large, which would set
362 up future nuisances.

363 Mr. Khan asked about Mr. Normandin's Privilege of the Floor comment about noise. Mr. Nicchi
364 believed he was referring to a night where the Buffalo Bills were playing and the air conditioner
365 crashed, so the doors were propped open.

366 Ms. Robertson confirmed that she had received at least one complaint regarding the noise on that
367 property.

368 Ms. Robertson said that Metroplex was planning on adding bike racks to the area, and she did
369 not believe that bike racks were necessary on these plans.

370 Mr. Nicchi asked if it would be problematic for him to place temporary bike racks outside until
371 Metroplex came forward with permanent ones. The Board agreed to add reviewing the bike racks
372 and trash can locations to the preconstruction meeting required in the resolution.

373 Chairman Walsh restated that the modification regarding the striping was that the Town has the
374 opportunity to delegate the striping to the applicant. Ms. Robertson clarified that she would be
375 working with department heads to figure out the striping issue.

376 Mr. Nicchi asked if there could be a date at which if the Town had not striped the area it would
377 automatically be delegated to the applicant. Ms. Finan said that striping was an issue covered in a
378 previous special use permit and granting Mr. Nicchi's request would entail reviewing the entire
379 special use permit. She stated this type of request would have to go to the Town Board.

380 Hearing no further comments Chairman Walsh asked Mr. Henry to call the roll on the modified
381 resolution.

382 Upon voting the resolution was passed with a vote of 5-2.

383 Mr. LaFlamme AYE

384 Mr. Khan NAY

385 Mr. McPartlon AYE

386 Mr. D'Arpino AYE

387 Ms. Gold NAY

388 Ms. Strang AYE

389 Chairman Walsh AYE

390 **5. RESOLUTION: 2023-13: A Resolution to make a Recommendation to the**
391 **Town Board on a special use permit to combine 17, 25 and 33 Fagan Ave.**
392 **properties with the existing Kia Automobile lot at 3900 State St, remove two**
393 **single family homes and extend the Automobile sales lot onto S Fagan Ave.**

394 Ms. Strang noted that she would recuse herself from this vote, and would be replaced by Mr.
395 Drescher.

396 Chairman Walsh briefly summarized the resolution.

397 Mr. McPartlon moved for adoption of the resolution. Seconded by Chairman Walsh.

398 Ms. Robertson asked the Board to consider findings based on the site plan approval as detailed in
399 section 220-44 of the Town code.

400 1. Full conformance of the site plan with the regulations of Articles V and VI and all other
401 provisions of this chapter.

402

403 Chairman Walsh stated that he had reviewed Articles V and VI and believed that this proposal
404 was in compliance, contingent on final site plan review.

405 2. The adequacy and arrangement of vehicular traffic access and circulation, including
406 intersections, road widths, channelization structures and traffic controls. Consideration will
407 also be given to the project's impact on the overall circulation system as it relates to adjacent
408 uses.

409 Ms. Robertson and Mr. McPartlon stated that overall circulation has been reviewed and curb cuts
410 on S Fagan have been reduced to one. Chairman Walsh noted that given the location of the
411 singular curb cut, the amount of traffic going to State St. would be minimized especially as now
412 the reconditioning lot can access the main lot via S Fagan.

413 3. The adequacy and arrangement of pedestrian traffic access and circulation, including but not
414 solely limited to separation of pedestrian from vehicular traffic, walkway structures, control
415 of intersections with vehicular traffic and overall pedestrian convenience.

416

417 Ms. Robertson noted that this proposal has a sidewalk proposed out front of the applicant
418 property which extends to the intersection with the sidewalk at State Street. The proposed
419 sidewalk and street trees are an improvement to the existing corridor.

420 4. The location, arrangement and setting of off-street parking and loading areas.

Ms. Robertson and Mr. McPartlon discussed that the location, arrangement and setting of off street parking is code compliant and a designated off-loading area for vehicle deliveries should improve overall site safety. Chairman Walsh noted that this would improve safety further than just the site, as an off-loading location would prevent tractor trailers from off-loading on State St. Ms. Gold doubted whether the off-loading location would significantly influence the location at which deliveries are made.

5. The location, arrangement, size and design of buildings, lighting and signs.

Ms. Robertson stated that lighting and signs would need to be provided to the Planning Board for final site plan approval, but it is the Board's understanding that lighting will be minimal and security based. The Planning Board is not expecting any additional signage on S Fagan Ave. Chairman Walsh agreed with Ms. Robertson but added that the lighting was important for safety concerns as well.

6. The adequacy, type and arrangement of trees, shrubs and other landscaping constituting a visual and/or a noise-detering buffer between these and adjoining properties.

Ms. Robertson said that the Planning Board can continue to work with the Tree Council and the applicant to increase the buffering, especially for the homes on S Fagan Ave. Chairman Walsh noted that additional greenspace was to be added to the surrounding properties which would improve corridor appearance. Ms. Gold mentioned that the application is still a net loss of total greenspace, even with the added greenery. Mr. McPartlon said that while there is a net loss, this question addresses the visual and noise buffers provided in the proposal, not the overall gain or loss of greenspace, which he believed the applicant had succeeded in doing. Chairman Walsh reminded the Board that the original proposal had 144 parking spaces which had been reduced to 90 in order to accommodate the Board's greenspace requests.

7. In the case of multiple-family complexes, the adequacy of usable open space for controlled and informal recreation.

Chairman Walsh stated this was not applicable to this project.

8. The adequacy of provisions for the disposal of storm water, sanitary wastes, water supply for both fire protection and general consumption, solid waste disposal and snow removal storage areas.

Ms. Robertson noted that snow removal areas had already been delineated and no significant changes to sanitary sewer, water supply, fire protection or solid waste disposal were proposed. Storm water would need to be further examined during final site plan review. Ms. Robertson confirmed with Mr. McPartlon that a TDE would be required to perform the final review.

9. The adequacy of structures, roadways and landscaping in areas with moderate to high susceptibility to flooding and ponding and/or erosion.

The Engineering Department along with the TDE will be reviewing the stormwater management plan which will be more closely examined in final site plan review.

10. Protection of adjacent properties against noise, glare, unsightliness or other objectionable features.

Ms. Robertson reiterated previous discussions that stated a strong visual barrier to homes on S Amherst Ave. and S Fagan Ave. will be required to protect the residential nature of the neighborhood and to protect adjacent property values. This will be further examined during final site plan review. Mr. Salvagni confirmed with Ms. Gold that there was an existing PA system in place but that would not be expanded to the new lot.

11. Retention of existing trees for protection and control of soil erosion, drainage and natural beauty.

Ms. Robertson spoke to the applicant identifying a large Norway Spruce to remain standing, as well as several trees along the backyard lot lines with the S Amherst Ave. neighbors. The Tree Council can work with the applicant to identify if any more trees can be retained and the new planting plan. This will be further examined in the final site plan review.

12. In the case of multiple-family complexes, average density developments, planned unit development and commercial developments, excessive similarity and/or excessive dissimilarity or inappropriateness to any other structures existing or for which a permit has been issued or to any other structure included in the permit application.

Ms. Robertson stated this was not applicable for this project.

Ms. Robertson then stated she would read the findings proposed by the project lead as they related to the criteria outlined in Section 220-60 of the Town code and open up each point for discussion.

General Character: the general character of this proposal is complementary to the existing parking on 3900 State St but is disharmonious to the existing residential homes on S Fagan Ave and S Amherst Ave. Mr. McPartlon referenced the Comprehensive Plan and said this proposal balanced the commercial and residential characteristics of the neighborhood, as is detailed in the plan.

Mr. Drescher also referenced a different section of the 2013 Comprehensive Plan which says the Town should seek out development opportunities that will enhance the State St corridor without significantly transforming the existing character or harming adjacent residential homes. Mr. Drescher believed that the destruction of the two houses on S Fagan Ave is counter to the Comprehensive Plan.

Mr. McPartlon reiterated that he believed that given this dealership had been in place for a significant period of time, this proposal was a suitable balance of residential and commercial in the neighborhood which is referenced multiple times in the Comprehensive Plan.

Ms. Gold stated that as she had helped write the last Comprehensive Plan she agreed with Mr. Drescher's interpretation over Mr. McPartlon's. Ms. Gold also spoke to the relative affordability of the homes in question as well as their proximity to the bus line. Both Mr. Drescher and Ms. Gold restated that the destruction of the two homes was a point that they strongly felt went against the Comprehensive Plan.

Height and Use of Land: There is no significant height to the land or to the parking structures. The use is complimentary to the Highway Commercial corridor and detrimental to the adjacent residential homes.

507 Building or structures: There are no significant buildings or structures associated with this
508 proposal.

509 Provisions of Open Space and Treatment of Grounds: The buffered green areas adjacent to the
510 residences are critical transition areas from commercial to residential. The sidewalk and street
511 trees are important treatments to mitigate the impacts of this proposal to the community.

512 General Fitness of the structure or use to its proposed location: The Planning Board finds this
513 proposal helps sustain small scale commercial business on the State St. corridor. It also feels the
514 2013 Comprehensive Plan is neutral on future development in the Stanford Heights
515 neighborhoods.

516 Ms. Gold disagreed with this proposed finding and mentioned a case regarding RJ Murray across
517 the street previously where the Board fought to protect the neighborhood over commercial
518 development.

519 Provision for Automobile parking or storage: The provision for automobile parking and storage
520 is compliant with code.

521 Street capacity and Use: The street has no known capacity issues. Current offloading of
522 inventory vehicles is problematic to surrounding residential homes- onsite loading areas should
523 help with this. The sidewalk is a benefit to the street.

524 Public Health and Convenience: The Planning Board finds that it is an important component to
525 this proposal to ensure there is no light pollution from the parking lot onto the adjacent
526 residential homes.

527 Chairman Walsh noted that the applicant is willing to work with the Board and minimize their
528 lights. Ms. Gold mentioned that noise pollution and exhaust from vehicles could be problematic.

529 Preservation of general character of the neighborhood: On one hand, the development is
530 disharmonious to the residential character of parts of S Fagan Ave. At the same time, the area of
531 S Fagan Ave near its intersection with State St is, and has for a long time been, of a commercial
532 character.

533 And therefore, being that:

- 534 a) The current site plan mitigates some of the impacts to the neighborhood character
535 through landscape buffering and designated location for vehicle offloading on site and
536 b) This proposal is made possible by the mutual agreement of the existing residential
537 owners of 17, 25 and 33 S Fagan Ave. who desire to sell their homes to Matthew's Auto

538 Ms. Robertson noted that there are currently 2 residential properties directly adjacent to
539 commercial properties but this proposal would increase that to 8.

540 Chairman Walsh confirmed with Ms. Robertson that the applicant has agreed to combine the
541 proposed lots location with 3900 State St. in order to prohibit an independent business from
542 utilizing that site in the future.

543 Mr. LaFlamme asked if any Board members had seen clear future plans detailing the
544 reconditioning center across the street. Mr. McPartlon mentioned that he received an updated
545 revision which included a landscaped island at the corner of State St. and S Fagan Ave as well as
546 a landscape buffer between the reconditioning site and the adjacent home. Mr. McPartlon further

547 discussed plans depicting the parking lots being striped so an accurate count of the number of
548 spots can be seen.

549 Mr. McPartlon stated that the increased greenery on the reconditioning center lowered the
550 amount of impervious surfaces which was an improvement to that area.

551 Mr. Salvagni stated that although the Board had previously asked whether the reconditioning
552 center could be used for additional parking, the different nature of that business made that
553 impossible as cars were always being shuttled around.

554 Mr. LaFlamme stated he shared many of Mr. Drescher and Ms. Gold's concerns but
555 acknowledged the amount of concessions the applicant had made to the Board was significant.
556 Mr. LaFlamme further stated he may have approved of the first house being taken down but did
557 not think taking down two houses was consistent with the Comprehensive Plan.

558 Mr. Salvagni stated that many options were discussed to try and save the second house but none
559 were feasible for the dealership.

560 Mr. Khan noted that as the dealership's current storage lot is roughly 2 miles from the dealership,
561 having a closer lot would reduce emissions and the number of cars travelling on State St.
562 Chairman Walsh said that the current lot could be lost by the dealership at any time, and this
563 proposed lot would help the commercial balance referenced earlier by Mr. McPartlon.

564 Ms. Robertson discussed the idea of adding a condition of the special use permit that if the
565 proposed use was discontinued it would be up to the applicant to remove the asphalt so the land
566 could be returned to green space or for residential uses in the future. Mr. McPartlon asked how
567 that would work given the fact that the parcels would be combined under one address.

568 Chairman Walsh said the only reason that use would be discontinued would be if the dealership
569 moved locations, in which case the new tenant would have to come in front of the Planning
570 Board and the matter would be discussed then.

571 Ms. Gold stated that there is a trend where some states are seeing diminished numbers of car
572 dealerships and it should not be assumed that there would be another dealership taking that lot if
573 Matthew's happened to leave.

574 Mr. McPartlon told the Board that uses such as fast food establishments, hotels, general business
575 offices, bowling alleys and health clubs among others were permitted principle uses for this
576 zoning district for all of the parcels in question.

577 Hearing no further comments Chairman Walsh asked Mr. Henry to call the roll on Mr.
578 McPartlon's previous motion.

579 Upon voting the resolution failed with a vote of 4-3.

580 Mr. LaFlamme NAY

581 Mr. Khan AYE

582 Mr. McPartlon AYE

583 Mr. D'Arpino NAY

584 Ms. Gold NAY

585 Mr. Drescher NAY

586 Chairman Walsh AYE

587 Ms. Finan confirmed that since the only option remaining after the positive recommendation
588 failed was a negative recommendation, there would be no need to recall the roll to vote on a
589 negative recommendation.

590 Ms. Robertson said that since the results of the vote were unfavorable the findings shall contain
591 the reasoning for disapproval.

592 Mr. LaFlamme stated that his negative recommendation was on account of the increase of
593 commercial space being too great and there is one too many houses being taken down. Mr.
594 LaFlamme also stated he felt as if the reconditioning center was not being used efficiently.

595 Mr. D'Arpino said that the intent of the State St corridor was to be contiguous with Route 5 and
596 not to encroach on the residential neighborhoods which would occur if residential houses were
597 taken down. Mr. D'Arpino further stated that he did not feel comfortable with a parking lot being
598 a principle use, no matter the zoning district.

599 Ms. Gold restated her comments that the proposal did not pair with the Comprehensive Plan, and
600 that this would be disrupting one of the few residential areas in Niskayuna.

601 Mr. Drescher stated that after referencing the Town Code and Comprehensive Plan he did not
602 feel as if this proposal worked with either. Mr. Drescher believed there should be an importance
603 placed on preserving the residential over the commercial aspects of this corridor.

604 Mr. McPartlon did not see how either of the two homes proposed to be demolished would
605 qualify as affordable housing given what he has read in the Comprehensive Plan. Mr. McPartlon
606 also mentioned that neither house is currently in a marketable state for sale.

607 Mr. Salvagni expressed disappointment for the decision stating that he felt as if he had complied
608 with all requests made by the Board. Ms. Gold reminded Mr. Salvagni that this project would
609 still go to the Town Board despite the negative recommendation.

610 **VIII. DISCUSSION ITEMS**

611 **1. Antonia Park / Polsinelli Dr. (40.-1-54.11) – A sketch plan application for a 2-**
612 **lot minor subdivision and lot line adjustment.**

613 Chairman Walsh asked for a tentative resolution for the following meeting. No concerns
614 regarding this were mentioned by the Board.

615 **2 1757 Union St. – Bank of America - A site plan application for new signage.**

616 Chairman Walsh detailed that the signage would be replacing old signage with slightly different
617 color. There are no waivers involved just a site plan review from the Board.

618 Seeing no problems with the application, Chairman Walsh asked for a tentative resolution for
619 approval regarding this application.

620 **3. Union St / 1245 Ruffner Road – Mohawk Golf Club – application for sketch**
621 **plan approval including a Special Use Permit for a 22-lot Average Density**
622 **Development (ADD) subdivision consisting of 10 single-family detached**
623 **homes and 12 townhomes.**

624 Mr. Khan confirmed with Ms. Robertson that Weston and Samson was selected as the TDE for
625 this project. Ms. Robertson said that this group had no affiliation with the Mohawk Club and was
626 not a conflict of interest.

627 Mr. Bill Sweet and Mr. Dave Kimmer came in front of the Board to discuss the project. Mr.
628 Sweet felt as if the project was at a point where they could start to discuss logistics with the TDE
629 and deal with some of the misconceptions the public may have regarding this project.

630 Mr. Sweet discussed water and sewer issues and said he believed that since they are not utilizing
631 the same sewer system that Kelts Farm is using they will not maximize the sewer's capacity.

632 Mr. Sweet recognized the need to address concerns regarding the Comprehensive Plan and the
633 character of the neighborhood. Mr. Sweet believed that the subdivision was slightly different but
634 complementary to the existing neighborhoods around Ruffner Rd.

635 Mr. Sweet pointed out that the 50 foot buffer had been maintained through the most recent
636 iteration of the proposal.

637 Ms. Sweet informed Ms. Finan that Mr. Rutherford would be open to offering the Town the right
638 to first refusal if the property ever got to a point of being sold.

639 Mr. D'Arpino told Mr. Khan that while the cul-de-sac length is over 500 feet, the Town code
640 expresses that it should be less than 500, not that it must.

641 Mr. Sweet asked the Board what they thought of the multi-use path connectivity as members of
642 the public disapproved of the idea.

643 Ms. Gold mentioned that neighbors in the past have opposed sidewalks that now get utilized with
644 great regularity.

645 Mr. Sweet addressed the comment by Mr. Wood during the Public Hearing, stating that the
646 current designs allowed for enough space to the access road.

647 Mr. Khan brought up Mr. Spain's comments from the Public Hearing, regarding the fact that his
648 property would be surrounded by three roads. Ms. Robertson said that legally it will still be a
649 corner lot but will have three roads around it.

650 Ms. Robertson told Mr. Khan that she was going to double check what the original purpose of
651 the paper street was. Mr. Sweet believed that it was put in by a developer in the 50's or 60's who
652 was working in the Hawthorn Hills area, and put in a paper street as he was interested in buying
653 the Mohawk Club if it became available. Mr. Sweet was not positive on the validity of that but
654 that was what he had heard in the past.

655 Ms. Robertson relayed to Mr. Sweet that the Engineering and Highway Departments wanted the
656 paper street to remain in the middle of the right-of-way. Ms. Robertson said that decision came
657 because of precedent and maintenance issues brought up.

658 Chairman Walsh said that while traffic is dependent on time, from his experience there are not
659 usually many cars on Ruffner Rd. Mr. LaFlamme mentioned that the main problem was that the
660 road is so straight which leads people to increase speed on Ruffner Rd.

661 Chairman Walsh stated in response to public comments on why the Board would review such a
662 project, that the Board had a legal obligation to take the application through the entire Planning
663 Board process thoroughly.

664 Ms. Robertson answered a few questions emailed to her by the public. The first question asked if
665 there would be a proper traffic study completed so residents can understand the impact of the
666 project. Ms. Robertson stated that the applicant has already submitted some traffic information
667 and that the TDE will determine if that is sufficient. There will be data collected to understand
668 the traffic impact of this development.

669 Another question asked what the mitigation for tree removal would be. Ms. Robertson said that
670 typically teams will go in and identify trees to be saved, and planting plans will be established
671 with the applicant as well. Furthermore, with this level of clearing street trees would generally
672 need to be added even if they are off site.

673 The following question pertained to screening and how it would be maintained from the existing
674 neighborhoods. Ms. Robertson noted that it was too early in the process to give a definitive
675 answer on this, however she recommended adding further plantings to the proposed buffer area.

676 Ms. Robertson did not believe having a house surrounded on three sides by roads was prohibited
677 by code.

678 Ms. Robertson reiterated that the Town generally tries to keep cul-de-sacs under 500 feet long,
679 however the TDE will look at that to make sure it is code compliant. This will be one of the first
680 priorities for the TDE to examine.

681 Ms. Robertson confirmed that there will be an independent review of the applicant's long form
682 EAF. The Conservation Advisory Council will be one of the groups who looks at this, and their
683 next meeting is April 3.

684 Ms. Robertson stated that the Town's water and sewer study had not been completed, in response
685 to another question from the public. Ms. Robertson said that it would have to be done and a
686 timeline on that can be discussed later. Ms. Robertson also mentioned that the Town works hard
687 to make sure that water and sewer expansions are paid for by the developer.

688 Ms. Robertson mentioned that the CAC and Tree Council have not completed their individual
689 reviews, however the CAC is getting ready to make a recommendation to the Town Board
690 potentially as soon as April 3. The Tree Council is waiting for better weather to do a site walk,
691 which the developers have offered to take them on. Mr. Sweet recommended waiting until mid-
692 April for that walk as the snow has made the course extremely wet to walk through.

693 Mr. Khan stated that there had been a history of reaching out to the School Board regarding
694 developments without receiving any response, however Ms. Robertson said that she would be
695 willing to reach out to them regardless. Mr. Sweet said that he did not anticipate the townhouses
696 adding any strain onto the schools based on those who had expressed interest in them. Both Mr.
697 Sweet and Ms. Gold agreed that the single family homes would put little strain on the schools as
698 well, although no numbers are finalized at this time.

699 Chairman Walsh stated that many of the public's questions cannot be answered now as the
700 project is still in the early stages and would need to reach the Town Board before more detailed
701 answers are available.

702 Ms. Robertson said that the Board could either call for a resolution for the next meeting on April
703 17 or wait for further findings from the TDE, discuss them on the 17th and then call for a
704 resolution for the following meeting.

705 Mr. Sweet asked if a resolution could be made on the 17th, since the Planning Board only meets
706 once in April and he wanted to expedite the process if possible. If a resolution was not called for
707 the 17th, Mr. Sweet would have to wait until June for a public hearing with the Town Board
708 instead of May.

709 Chairman Walsh said that as there are three weeks until the next Planning Board meeting he
710 thought it would be worth it to try and compile and review all the necessary information to have
711 a resolution on the 17th. Mr. Khan thought that having a resolution on the 17th would be rushing
712 things.

713 Ms. Finan confirmed for Mr. Sweet that the Town Board would likely want the comments from
714 the TDE, and therefore they should be addressed before the project goes to the Town Board.

715 Ms. Gold said that as the TDE will be exploring items as important as water and sewer it would
716 be important to thoroughly review them.

717 Ms. Strang thought it may be worthwhile to have the TDE address the Board in person to address
718 their comments.

719 Mr. Khan reiterated that he believed it would be wise for all parties to not rush the process.

720 Chairman Walsh recommended calling for a tentative resolution, and if later on the Board
721 thought they were not ready to call for a resolution they could postpone it until the next meeting.

722 Mr. Sweet asked if it would be possible to sit down with Ms. Robertson, Mr. Khan and Mr.
723 D'Arpino to review the TDE's comments when ready to determine the most pertinent aspects to
724 address. Mr. Khan was open to that.

725 Mr. D'Arpino stated his desire to have the applicants look at a secondary connection that did not
726 involve taking down a house. Mr. Sweet said he would be willing to consider a future
727 connectivity point coming off of the cul-de-sac. He wanted the development to look like a
728 natural progression of the neighborhood.

729 Mr. Sweet stated that although the lot sizes are smaller than much of the rest of the
730 neighborhood, due to the amount of green space being kept in the development the overall
731 density is comparable to similar sized tracks throughout that neighborhood.

732 Ms. Gold said that a fully single-family development would take up much more green space than
733 the applicant's current proposal.

734 Ms. Robertson mentioned one of Mr. D'Arpino's previous points where he said that the
735 development should consist of aesthetically varied homes that are compatible with the
736 surrounding areas.

737 Ms. Gold mentioned that the ADD design does not allow for more housing units to be
738 incorporated than purely single-family developments.

739 Ms. Robertson emphasized that while the public comments are important, the Board cannot
740 disprove a project because of generalized opposition and must focus on specific code areas and
741 issues in their discussions.

742 Mr. Sweet stated that he anticipated each of the 10 single family homes being custom built
743 instead of replicating the same styles.

744 Ms. Robertson suggested looking for differentiations in the townhome construction as well.

745 Mr. Sweet said the stated hours of construction could be modified to not create extensive
746 disturbance, and said the size of this project would not lead to construction taking place over an
747 extended period of time.

748 **IX. REPORT**

749 Ms. Finan discussed the Article 78 on BR Holdings Property came back with a court ruling
750 against Niskayuna's Zoning Board of Appeals. Ms. Finan said it is the Town's intention to
751 appeals the court's decision.

752 **X. COMMISSION BUSINESS**

753 No commission business tonight.

754 **XI. ADJOURNMENT**

755 Chairman Walsh made a motion to adjourn and it was seconded by Ms. Gold. The meeting was
756 adjourned at approximately 11:49 PM.

Laura Robertson

From: Jane Christine <jcalund@gmail.com> on behalf of Jane Christine
Sent: Monday, March 27, 2023 11:57 AM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Objection to development of Golf Course

Good Afternoon-

I would like to formally object to the development of the Mohawk Golf Club. I moved to Mountainside Avenue in 2019 at the age of 32, and chose this neighborhood specifically for the unique quality of the homes. Each house is different, and has enough property that it does not encroach on its neighbor. I moved here from New Jersey, where the houses were so similar and on top of one another. Coming to this area of Niskayuna was a breath of fresh air. A quiet neighborhood with tree-lined streets, little through traffic, and surrounding woods and wildlife. This development of the golf course will disrupt many of these characteristics, and will also be extremely detrimental to local wildlife and green space. I ask that you do not approve the development of this area. Thank you for your time and attention.

-Jane Alund
2151 Mountainview Avenue, Niskayuna

Laura Robertson

From: Hkarnold <hkiparnold@gmail.com> on behalf of Hkarnold
Sent: Sunday, March 26, 2023 7:17 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Fwd: Mohawk Golf Club Ruffner Road development

Sent from my iPhone

Begin forwarded message:

From: hendrick arnold <hkiparnold@gmail.com>
Date: March 26, 2023 at 6:46:28 PM EDT
To: lrobertson@niskayuna.org
Subject: Mohawk Golf Club Ruffner Road development

Dear Niskayuna Planning Board,

I oppose the MGC Ruffner Road development. I live at 1406 Fox Hollow Road in Rosendale Estates and especially enjoy walking in the neighborhood. I walk on Ruffler Road at least a few times a week and enjoy sharing this experience with others who are frequently pushing strollers and walking dogs.. I am concerned the increased traffic will make walking there less enjoyable and even hazardous. A new proposed intersection with turning traffic accommodating 22 new homes will definitely increase traffic with its attendant noise, pollution and pedestrian risk. The density of the proposed development seems inconsistent with the existing Ruffner Road neighborhood. Please support quality of life and safety in our neighborhoods and say no to this development.

Respectfully,

Hendrick Kip Arnold

Laura Robertson

From: Beth Chapados <chapados.beth@gmail.com> on behalf of Beth Chapados
Sent: Friday, March 24, 2023 1:51 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Ruffner Rd

To the Town Planning Committee,

We just received the public meeting announcement and development drawing plan. I am angered by the fact that the proposal gives the illusion that no homes are affected across from the entrance to the new road. It seems like a misleading proposal. How many years ago was this “paper road” planned? Perhaps it was even before our home at 1200 Ruffner was even built. Even more disturbing to me is that one home on this new entrance will have roads on 3 sides of it. Seems illogical that this new proposal could be considered less invasive to the residents of Ruffner Road than the first proposal. The “paper road” provides less footage buffer than the removal of the existing house.

Elizabeth Chapados
1200 Ruffner Rd.

Laura Robertson

From: Margaret Corey <margaret.corey@gmail.com> on behalf of Margaret Corey
Sent: Sunday, March 26, 2023 6:30 PM
To: Laura Robertson
Subject: [EXTERNAL] Statement in Opposition to Special Use Permit Application for 1851 Union St and 1245 Ruffner Road

Dear Ms. Robertson,

I am unable to attend the March 27th Public Hearing on the subject special use permit, however, as noted in previous emails, I remain OPPOSED to issuance of this permit for the following reasons:

-The Town Comprehensive Plan notes that Neighborhood Character is an important consideration in evaluating new developments. This project, consisting of single family dwellings and townhouses, is not consistent with the surrounding Ruffner Road neighborhood. Many commenters have noted in previous statements the concerns over traffic increases resulting from the additional residences. The plans submitted by the developer show "cookie cutter" facades for the homes and townhouses that are not consistent with the existing and varied architecture of the neighborhood. The entrance to my own street, Hilltop Road, now has several houses with basically the same exterior, and they are clearly inconsistent with the remaining homes. The Planning Board should not make that mistake again by allowing this development.

-Many commenters, including myself, have noted the destruction of habitat for wildlife that will result from this development. In this time of global mass extinctions and climate change, protecting habitat needs to be a priority. Completion of the short form SEQA form is not sufficient for this project and the long form is needed.

-The serious concerns raised regarding providing utilities (water and sewer) to the new development have been discussed but not resolved. If the data showing that adequate capacity in these utilities, paid for by town taxpayers such as my husband and I, currently exists, it has not been made public. Allowing the project to proceed without this data is not fair to us existing taxpayers.

-Despite comments from a few Mohawk Club members that there is a "need" for this housing, no data-driven studies or information have been provided to show this.

-I noted in previous comments that there are still a lot of "trust us" statements by the developers, regarding such things as the size of the buffer zone between the proposed residences and existing homes, water and sewer capacity, and drainage issues. Proceeding with this approval without resolving these issues is not appropriate or fair to the many residents who are expressing their opposition to this proposal.

Considering the above, and the many other comments in opposition to this proposal, we strongly request that the Board deny approval of this Special Use Permit.

Thank you.

--

Margaret Corey
2529 Hilltop Road

March 27, 2023

My name is Rita Fleischman, I reside at 1353 Wemple Lane. I'm opposed to the Mohawk Club proposed housing development for the reasons that have already been brought to this planning board; changing the character of the neighborhood, access to the clubs properties, disruption of the wildlife and concerns to the infrastructure that have not been adequately addressed. In the January 25 Albany Business Review article Bill Sweet a member of the Mohawk Club stated the subdivision would be filling a need in Niskayuna for more town houses. Tonight I want to speak to the comments that were made at the last meeting by some Mohawk Club members. One member spoke of wanting to downsize from their current home and these townhouses would allow them to stay in community to be near children and grandchildren. Another member who does not live in Niskayuna supports the development stating it would allow retirees to remain in the community to be near family. I am a retired RN who spent the last 20 years providing home care services in this community and throughout Schenectady Co. I can tell you from experience that is not an affordable housing option for most people.

Respectfully submitted,
Rita Fleischman

Laura Robertson

From: Carol Furman <cfurm13@gmail.com> on behalf of Carol Furman
Sent: Monday, March 27, 2023 2:03 PM
To: Laura Robertson
Subject: [EXTERNAL] Fwd: Public hearing 3/27/ 2023

Proposed Mohawk Golf Club development behind Ruffner Road

I live at 1269 Ruffner Road and I am opposed to the plan to develop twenty-two homes behind Ruffner Road with the only access through a cul-de-sac off Ruffner Road.

A- This is not a small development! There are only twenty homes on Ruffner Road between Lynwood and Mountainview Roads. This development equals and exceeds this number. I do not think this number of homes is appropriate for a cul-de-sac.

B- The golf course has been a barrier to free flow of traffic as housing development occurred in the Country Club neighborhood and in the neighborhoods of Hilltop, McGovern, Wemple, Rowe , Whamer etc, causing traffic to concentrate on Ruffner. Now that the golf club wants to develop some of their land, the proposed plan would further concentrate traffic on Ruffner rather than develop a through street. This further degrades the character of the quiet residential neighborhood on Ruffner Road. This is a neighborhood that values the ability to walk, run and cycle on the street.

It also establishes a variation on normal construction of homes with backyards adjacent to another backyard on the street behind it: one of the existing houses on Ruffner Road will have road in front, road to one side, and road in back. — road on three sides! — if this development's access is built as proposed.

C- The plan for emergency access to Ruffner Road does not allow for any future development towards Rowe Road where normal north south traffic flow would occur in a complete thru street. Other variations of the proposed development created an access road for emergencies towards Rowe Road and left a space between houses for such a road. This would allow for future development and or correcting a poor access decision.

D- The proposed development is on land that slopes down behind Ruffner and north towards Rowe Road. Low land in these areas is wet and muddy during much of the year. Removal of trees and increased non-porous surfaces will likely increase the run off and result in even wetter backyard conditions for a number of existing Ruffner Road houses and beyond.

E- I am concerned about the impact of adding twenty two homes to current water and sewer lines on Ruffner Road.
Carol Furman

Laura Robertson

From: Mark Giemza <mark.giemza@gmail.com> on behalf of Mark Giemza
Sent: Sunday, March 26, 2023 12:22 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] MGC Development

I'm in favor of this new development. Please don't be swayed by this loud minority of people who are opposed to the project. New homes are a good thing, new infrastructure is a good thing.

Mark Giemza
1134 Millington Road
(518) 378-9807

Laura Robertson

From: Ruth <ruthhal1@aol.com> on behalf of Ruth
Sent: Monday, March 27, 2023 9:37 AM
To: LRobertson@Niskayuna.org
Subject: [EXTERNAL] Mohawk Club development project

Dear Laura,

Please share this with the planning committee. My name is Ruth Gilbert, my address is 2150 Mountainview Ave. and I have lived there for 48 years. My husband and I brought up our children in a community that was safe for them to ride a bike or walk. Now I fear for my neighbors who won't have this opportunity for their children or grandchildren. The whole idea of this project is very upsetting to me.

Best regards,
Ruth

Letter to the Niskayuna Planning Board - Public Meeting: March 27th, 2023

From: Stephen M. and Cathy A. Clemente 1231 Ruffner Road Niskayuna, NY 12309

RE: The Mohawk Golf Club Residential Development Proposal

Please ask the board to respectfully answer these questions for the public and Neighbors of Ruffner Rd.

1. Is it legal for a residential house in the Town of Niskayuna to have roadways surrounding it on three sides of its property boundary like 1219 Ruffner Road will have under the current proposed schematic #2?
2. What is the allowable width of the street onto Ruffner Road as proposed for the dead end road Ingress and Egress? Is there a fire code or town code standard ?
3. Has an independent review of the long form Environmental Impact Statement submitted by the developer been completed, analyzed, and reported back to the Planning Board ? If not, when is that expected ? Are Weston and Sampson Engineering designated to complete that analysis ?
4. Has a Town Engineering Sewer & Water Study been completed to assess the impact of 22 New Housing Units being added to the existing sewer system on Ruffner Road & Rosendale Road ?
5. As stated previously, certain segments of the systems are already considered at capacity by the town. Accordingly, should water & sewer capacity need to be expanded, who will bear the financial burden of that sewer/water system expansion? Will the tax payers of Niskayuna be expected to cover that cost ?
6. Have the Town Conservation Advisory Board and Tree Committees completed their reviews of the proposed Mohawk Golf Club Project ? When is that review required to be completed ? and to be submitted to which Board ? Planning ? Town ?
7. Should the concerns of a privately held commercial golf course, Mohawk Golf Club, outweigh the concerns of The Ruffner Road Neighborhood with hundreds of residents paying more in taxes than the business concern in question ?

We are against development that would significantly reduce our quality of life to hundreds of residents of our existing Ruffner Road neighborhood. Our concerns with this new option:

1. Change the Character of our Neighborhood.
2. Sewer capacity and cost issue
3. Water capacity and cost issue
4. Safety for our residents, children, and pets
5. Green Space and environmental effect including all the resident animals in the woodlot. I have submitted videos with coyotes and bald eagles. Fox, turkey, deer, and many bird species from other residents to be sent.

In Conclusion: **We urge the Board to require an independent analysis of the Full Environmental Impact Study(Long Form) to document the deficiencies in the MG Club's proposal and have them addressed.** Our sincere thanks to the Board for listening to our concerns and giving them kind consideration.

Laura Robertson

From: Richard Kaylor <richardkaylor@kjelectric.com> on behalf of Richard Kaylor
Sent: Monday, March 27, 2023 11:00 AM
To: osl550nm@aol.com; lrobertson@niskayuna.org
Subject: [EXTERNAL] Re: Opposition to the Proposed MGC Development Project

Good Morning,

We are opposed to the proposed MGC Development Project.

Over the past several decades, unchecked development has resulted in a significant loss of natural habitat for indigenous wildlife, while the apparent lack of proper planning has yielded inadequate infrastructure capacity: from storm water drainage/runoff, significantly reduced water pressure and unplanned power outages.

Another sprawling development project will have a deleterious impact on an already inadequate infrastructure and have a negative impact on the community's quality of life.

We ask that you reject the proposed MGC Development Project.

Sincerely,

Pamela & Richard Kaylor

Richard Kaylor

Vice President of Business Development

Phone: 518-783-7152

Email: richardkaylor@kjelectric.com

WEB: <http://www.kjelectric.com>



DISTRIBUTOR OF ELECTRIC MOTORS, DRIVES, CONTROLS, & PT PRODUCTS

STATE OF THE ART IN-HOUSE REPAIR SHOP AND CUSTOM PANEL SHOP

ON-SITE FIELD SERVICES, THERMOGRAPHY, VIBRATION ANALYSIS, & LASER ALIGNMENT



This communication, including attachments, is for the exclusive use of the addressee and contains proprietary, confidential and privileged information. If you are not the intended recipient, any use, copying, disclosure, dissemination or distribution is strictly prohibited. If you are not the intended recipient, please notify the sender immediately by return e-mail, delete this communication and destroy all copies.



Virus-free. www.avast.com

Laura Robertson

From: craig lynch <csl1249@yahoo.com> on behalf of craig lynch
Sent: Sunday, March 26, 2023 4:57 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] MGC Development

Please note the following from the residents of 1249 Hawthorn Road in regard to the development project referred to MGC Development at Ruffner Road

1. We OPPOSE the project as presented to the Town by the Developer
2. We moved here in 2000 and selected the neighborhood because of the character and charm vs other areas in Niskayuna. To alter it with the proposed development would ruin it and what the original developers wanted to achieve 50 plus years ago. In the era of MCMANSIONS this area is technically Niskayuna's only historical area and should be treated as so. In fact the Town needs to pay attention to this area. Streets are decaying, we lose power frequently and there are drainage issues. If the Town can't manage what currently exists how in the world is it going to manage more.
3. Access concerns - We have been involved in RE Development in the Cap District and throughout the country and this may be one of the worst plans we have witnessed. It does not work for anyone but the Developer. Not only does it create traffic and safety issues It kills the value of the existing homes which actually would reduce the tax value of each home reducing Niskayuna's current tax inflow for the homes. So whatever you gain with the new homes you lose from the old. Therefore it does nothing for the Town but upset an entire group of people and add to the cost of maintaining the roads.
4. Wildlife - while the rest of the world is focusing preserving green space this is an example of not preserving greenspace. And if approved for every tree that comes down from this project the Developer should plant a mature new one.
5. Infrastructure - The fact that the Board is actually entertaining this project shows that they have never been to our neighborhood. Pavement is decaying to the point it is dust, drainage does not work, and power is a big problem. We lose power several times a year and just not just during bad weather or for just a few hours sometimes for days. How can the Town consider adding more when it can't take care of what is existing. And the proposed plan will not just impact the infrastructure on Ruffner but the roads leading to or feeding Ruffner. Who is going to pay for the impact to those areas.

If approved we hope the Town will make the Developer responsible for just not the cost of his project but the cost of upgrading and maintaining anything and everything that his or her project impacts and just not the known but the unforeseen as well and that the Town requires the developer post a Bond to make sure they have something to fall back on when the cost escalates beyond the developers budget.

The recent cable line installation in the neighborhood where yards were destroyed and residents left with huge holes in their yard and other issues to deal with is why a bond should be posted.

And if the Golf Course is looking to develop land how about some nice affordable housing for the seniors who have lived here since the 50's or 60's or for the less fortunate who would like to send their kids to a fine school system like Niskayuna

In closing the Town has two assets which draw people here and allows the Town to charge the taxes they do. The School system and the quaint small Town appeal. Other School Systems are catching up. Don't kill the quaint.

1249 Hawthorn

Laura Robertson

From: Suzanne Mason <suzyumas726@gmail.com> on behalf of Suzanne Mason
Sent: Monday, March 27, 2023 9:07 AM
To: Suzanne Mason; Laura Robertson
Subject: [EXTERNAL] Mohawk Golf Club Proposal

Dear Laura,

Would you please share this letter with the Town Board and the Town Planning Board. Thank you.

I live at 2144 Mountain View Ave in Niskayuna. I oppose the Mohawk Club's proposed development of the wild area adjacent to Ruffner Rd. It is out of character with the existing neighborhood in that the lots in our area are spacious, where those in the planned development are cramped, often with two units per lot. Each home in the Ruffner community is unique in design and landscaping. Rolling lawns, mature trees and gardens contribute to making each home different. The plan for this development shows ten single family dwellings of identical style, and six two-family units of identical style. The number of living units the developer plans to jam into his cul de sac is the same number of units as are currently stretched out over the entire length of the first block of Ruffner, about 1/3 mile. If the development were to be built, the traffic on that block, would double. What was once a peaceful neighborhood will become a heavily trafficked thoroughfare, not pedestrian-friendly, a place to avoid if (like me) you take a daily walk. The character of our neighborhood would be downgraded, along with our quality of life. Ruffner Rd. will become a place to escape. Please vote no to this proposal.

Thank you.

Suzanne Mason

Sent from my iPad

Laura Robertson

From: mike mason <hobo617@live.com> on behalf of mike mason
Sent: Monday, March 27, 2023 11:03 AM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Proposes Mohawk Golf Club Nonconforming Development

Dear Laura,

I am enclosing some of my objections to the MGC proposed to redevelop parcels for housing. Please share with the members or the Town Board and Town Planning Board.

1. I oppose the project. The Ruffner Rd. Community and the MGC are independent entities have been planned separately and gone their separate ways planning with out regard for the other.
2. I oppose an additional foot path connect between S. Country Club Drive and Ruffner Rd. A rarely used sidewalk already exists from Country Club Estates along Rosendale Rd. to Ruffner Rd., Hedgewood and Rosehill, there is no need for another. An additional foot path connection will present many additional costs and hazards.
3. I oppose an access road between Ruffner Rd. and the MGC since the two are independent of each other. It has always been so and remains that way. Presently the MGC has four access roads (two on Union Street, one on North Country Club and an emergency road on Rowe Rd.). Access has never been used or necessary from Ruffner Rd. and the paper street has never been used.
4. I oppose the use of all Ruffner Rd. utilities/infrastructure proposed by the MGC. They are sized to support the Ruffner Rd community, not the additional burden carelessly proposed by the MGC. The MGC has their own infrastructure and should continue to use it, not pass the burden on to the Ruffner Rd. Community.
5. I oppose further destruction of all wildlife/ habitat in the Ruffner Rd. neighborhood and surrounding area. Any further nonconformance with the R1 residential neighborhood will further disturb this tender balance.

Thank you for taking the time to read and consider my objections.

Michael Mason

2144 Mountain View Ave. Niskayuna

Laura Robertson

From: Joe McDonald <niskayunajoe@gmail.com> on behalf of Joe McDonald
Sent: Sunday, March 26, 2023 7:04 PM
To: LRobertson@niskayuna.org
Subject: [EXTERNAL] Opposition to Ruffner Road access

March 26, 2023

Ms. Robertson,

I want to thank you, as well as the Planning Board members, for their diligence in understanding the proposed development by the Mohawk Club for additional housing. I have watched the meetings on the town's Youtube channel, and am impressed by the respectful and professional nature of the Planning Board members questions and approach. We are fortunate to have them serving the town.

As far as the proposed development, I have no issue with the housing development per se, but do oppose the various access road options put forth. I have lived on Runner Road for 16+ years, and am also an avid runner, so I can tell you firsthand that there is more than enough traffic already on Ruffner Road. Adding an additional access road would increase traffic as well as safety issues.

In addition, the addition of the access road between 1191 and 1219 Ruffner Road would be detrimental to 1219 Ruffner Road, as this household would now have 3 roads alongside it (Ruffner in the front, and now this access road to its left and rear of its property.) The house across the street would also be affected, as exiting traffic would now be shining their lights right into their house at night. This is not fair to these people who have enjoyed living on Ruffner Road for many years.

Not only have I lived on Ruffner for 16 + years, but I lived on South Country Club for 14 years prior to that. During those 30 years, I have found the Mohawk Country Club to NOT to take care of their property outside of their pristine golf course. The fence around the perimeter, which is meant to keep people out, appears as if it has not been replaced in those 30 years, and it certainly has not been maintained. Most of the fence appears to be rusty, and in many cases, sagging or about to fall down. It is not uncommon to see tree limbs that have falling on the fence remain there for year. In addition, the grass outside of the fence goes uncut, and except for the town or nice neighbors, seldom are leaves picked up in the fall.

As stated above, I have no issue with the housing development but do not think it is right to disrupt so many with this access road. While the Mohawk Club may not want to provide an access road from their Union Street entrance, this is entirely possible, and in my humble opinion the only potential option forward.

Thank you for your consideration.

Dr Joseph M McDonald
1317 Ruffner Road
Niskayuna, NY 12309
518-937-1230 Cell

Christopher Morris
1917 Mayfair Road
Niskayuna, NY 12309

Niskayuna Planning Board
One Niskayuna Circle
Niskayuna, NY 12309

RE: Public Hearing 1851 Union St and 1245 Ruffner Road - Mohawk Golf Club

Chairman Walsh and Planning Board members,

I wish to express my opposition to the application for development of the Mohawk Golf Club (MGC) property adjacent to Ruffner Road.

My wife and I purchased a home in the County Club neighborhood of Niskayuna in late 2021. We were very much drawn to the neighborhood's character of older homes, walkability, proximity to Union Street, and family-friendliness. While the preferred scheme presented as part of this hearing does not exit directly into our neighborhood, I share the concerns voiced by the many residents of Rosendale Estates. Specifically, I would like to state the following concerns:

Impacts to neighborhood character:

The Rosendale Estates neighborhood is one of the most established and desirable in the Town. As noted in the first paragraphs of the Town's Comprehensive Plan *"Preservation of community character...has wide support from residents."* The Plan goes on to state that *"New development should not compromise the integrity of the surrounding neighborhoods."*

The plan also addresses "exterior maintenance, renovations, and/or additions" saying that *"Such actions should harmonize with the surrounding streetscape and maintain the neighborhood's cohesive character"* and they also should *"ensure that the viability of Niskayuna's traditional neighborhoods is maintained"*.

I would argue it's reasonable that any new development adjacent to an existing neighborhood receive the same *or more* scrutiny as a renovation or addition. It's my feeling the proposed MGC development would not maintain the neighborhood's cohesive character, nor would it ensure the viability of the Rosendale Estates neighborhood.

Loss of forested land:

Land development is a primary driver of deforestation. At the time the Comprehensive Plan was created, Residential land use comprised 86% of the town while parks and forested lands was only 6 % of land area. With limited open space left within its boundary, the Town must carefully consider the impacts of any and all development projects. These can include:

- loss of habitat for resident and migratory wildlife (most notably birds),
- loss of a natural heat-regulating landscape resulting in increased community heat-islands,
- loss of natural water management resources when faced with ever-increasing significant precipitation events.

The approximately 14 acre site proposed for development is nearly entirely comprised of a mixed successional forest. Loss of this 14 acres of open space would be equivalent to clearing ~10% of the H.G. Reist Nature Sanctuary, ~14% of the Lisha Kill Preserve, or ~16% of Mohawk River State Park. While the tree stock may not hold significant older hardwoods there are Oak, Hickory, and other species that could mature into specimen trees. This will not occur if the site is cleared for developed.

Concerns with site drainage and downstream impacts.

The watershed of the existing MGC is significant; the course already has three ponds totaling over 2.5 acres. The proposed development would not only eliminate the natural water management provided by the wooded lot, but it would add additional impervious surface in the form of houses, driveways, patios, and roadways, and increase the overall runoff from new lawns. While the site has retention ponds and water management features included, I am concerned that additional runoff will impact the neighboring community as well as stress the downstream infrastructure that is likely old and inadequate.

As I mentioned earlier, the MGC is our neighbor; I sincerely appreciate the efforts of Mr. Rutherford to keep the club solvent and maintain it as the valuable recreation and open space asset that it is. As the Planning Board continues to evaluate the MGC application I would respectfully suggest the following:

- Ensure the site design includes the maximum buffer distance, and in turn trees, as possible between existing homes on Ruffner Road and the new properties.
- Ensure the Tree Council is engaged to identify any trees that can be included in the site plan and left standing.
- Preserve, to the greatest extent possible, a treeline to maintain the existing aesthetic between the south and west extents of the site and existing course and the new homes.
- Consider potential Conservation Easements on other areas of the MGC to prevent future subdevelopment.
- Seriously evaluate, as part of Town Code section 189-21, requirements for parkland-set aside, including opportunities for passive recreation, open space, or bike-ped connectivity, and decline the fee in-lieu-of option or waiver.

I appreciate opportunity to submit these comments to the Board. To conclude I'd like to again quote the Town's Comprehensive Plan:

"As the Town continues to grow, existing large land parcels may be identified for development resulting in drastic shifts from their current use. Such development shifts require careful and deliberate consideration to determine redevelopment impacts on the surrounding area, infrastructure, and existing land use patterns. In these situations, acting proactively by considering possible development sceneries and their potential impacts will allow the Town to preserve its favorable character by directing it than rather having its future develop by outside forces."

Thank you,

A handwritten signature in black ink, appearing to be 'Allg' or similar, written in a cursive style.

Laura Robertson

From: Susan Olsen <susieolsen01@gmail.com> on behalf of Susan Olsen
Sent: Monday, March 27, 2023 2:38 PM
To: Laura Robertson
Subject: [EXTERNAL] MGC Special Use permit

Good Afternoon Ms. Robertson,

Due to a conflicting meeting, I am unable to attend tonight's meeting where the proposed Mohawk Golf Course Special Use Permit for the townhome/ single family residential development is being discussed.

Please accept my comments for the formal record.

The proposed residential development could add upwards of 70 plus cars to Ruffner Rd and the local street system during the morning peak hour rush. Will there be a traffic study so surrounding residents can understand the impact of this development on the residential street system?

The Mohawk Golf Course has been a fixture in the neighborhood for over a century. Not only does it welcome members to enjoy its recreational facilities, mature trees around the perimeter provide sound and visual barriers to neighborhoods and provide refuge to wildlife. This large parcel is home to deer, coyotes/coywolves, foxes, fishers, turkeys and pass-thru moose. The proposed elimination /clear cutting of trees will disrupt such barriers and dislocate wildlife. What will be the mitigation for all the tree removal? How will surrounding neighborhood screening be maintained or improved?

The owner is requesting a Special Use Permit to allow for townhomes in a single family neighborhood. Given this will increase density (and number of vehicles on the local street system), what will the surrounding neighborhoods get in return? Will the MGC enter into an agreement with the town such that if density increases are allowed through this proposal, residents are assured that the entire golf course won't develop accordingly? This Special Use Permit will set a precedent for future development proposals.

Finally what is the long-term residential development plan for the MGC? Citizens would like to know the residential buildout and would like MGC to allow the Town to change the property zoning such that an active golf course remains with a certain level of permitted residential development in identified areas. This would allow MGC reasonable financial return and would preserve the neighborhood character for a century to come.

The current zoning as it stands will ruin the neighborhood both in terms of the environs as well as overload the road system beyond carrying capacity. Approval for this Special Use Permit must address the current zoning and work with the current MGC owner to make the necessary changes to zoning.

The MGC has been a good neighbor over the last century, surrounding residents want to make sure this relationship stays in tact. This Special Use Permit approval should require MGC to agree to zoning changes that make the operating golf course permanent regardless of ownership.

Respectfully Submitted,
Susan Olsen

Laura Robertson

From: Amy Pritchard <amympritchard@gmail.com> on behalf of Amy Pritchard
Sent: Monday, March 27, 2023 4:18 PM
To: Laura Robertson
Subject: [EXTERNAL] Re: [EXTERNAL] Mohawk Club development

Good afternoon:

I would like to again express my strong opposition to the Mohawk Club proposed development for the following reasons:

1. This development will destroy the habitat of numerous animals and birds.
2. This development will change the character of our neighborhood.
3. This development poses safety concerns for our residents, children, and pets
4. The already failing infrastructure will be further taxed by this development
5. The local schools do not have room to support the increase in students

Thank you for your time,

Amy Pritchard
1241 Ruffner Road

On Mon, Mar 20, 2023 at 12:45 PM Amy Pritchard <amympritchard@gmail.com> wrote:
Thank you!

On Mon, Mar 20, 2023 at 11:33 AM Laura Robertson <lrobertson@niskayuna.org> wrote:

Hi Amy,

I have received this email and will forward in to the Planning Board and Town Board. I will also attach it to the March 13, 2023 PB minutes, thank you for your comments.

Laura

Laura Robertson, AICP

Town Planner

(518) 386 -4530

Town of Niskayuna

[1 Niskayuna Circle](#)

[Niskayuna, NY 12309](#)

lrobertson@niskayuna.org

From: Amy Pritchard [mailto:amympritchard@gmail.com]

Sent: Monday, March 13, 2023 6:45 PM

To: lrobertson@niskayuna.org

Subject: [EXTERNAL] Mohawk Club development

Good evening,

I live at [1241 Ruffner Rd, Niskayuna, NY 12309](#), and have lived in Niskayuna for 12 years.

Unfortunately I will not be able to attend the meeting this evening as my mother has been ill.

I would like to go on record as strongly opposing the Mohawk Club development for the following reasons:

1. Destruction of the habitat of numerous species of animal some of which may be endangered.

The Mohawk club should be required to have a nature study to determine the natural flora and fauna that inhabit this area, some of which may be endangered, all of which should not be displaced.

Additionally, the proposed land should be evaluated for wetlands.

2. Safety and infrastructure of the neighborhood.

The Mohawk Club should be required to obtain outside sources to evaluate the following:

Traffic

Sewage system

Power system

All of which are already a problem in the neighborhood

3. Integrity of the neighborhood.

This is and should remain a single family home neighborhood

4. Increased noise

Increase in traffic and population density

5. Increased burden on the schools.

Even if the population targeted in these dwellings is the older population in the area, by increasing the number of homes, families with children are likely to purchase the existing homes therein adding to the burden of the schools.

Lastly, if the above is deemed suitable for construction there should be no new roads. The access should be through current Mohawk Club roads with any additional roads being built within the club itself.

Thank you for your consideration,

Amy Pritchard

Laura Robertson

From: Carol Randles <carolwrandles@gmail.com> on behalf of Carol Randles
Sent: Sunday, March 26, 2023 3:51 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] My STRONG OBJECTION to the proposed Mohawk Golf club (MGC) Development.

This neighborhood has been my home for 62 years. The house I treasure was 100 yrs old last year and it was previously owned by my in-laws for 40 years before I came. I am proud to live here and determined to defend this neighborhood from OUTSIDE, PROFIT SEEKING ORGANIZATIONS!

The character of this neighborhood is a quiet, welcoming, **strong one** with **neighbors committed to helping one another. *We depend on this character to remain*** and not be overtaken by access roads, added pressures on **already aging sewer and power systems** and disruptions in the normal flow of traffic. Why should we, who pay the taxes here, have to submit to an individual who wants to **profit by destroying an entire way of life?** Please: May the Town Planning Board do everything it can to preserve our way of life here and REJECT THE MGC DEVELOPMENT.

Carol Randles

Laura Robertson

From: Zoe Schlesinger <zmschlesinger@gmail.com> on behalf of Zoe Schlesinger
Sent: Sunday, March 26, 2023 3:45 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Mohawk Club Development

Good afternoon,

My name is Zoe Schlesinger and I live at 1354 Rowe Road. I'm writing to let you know that I'm opposed to the Mohawk Club Development.

Thank you,
Zoe Schlesinger

March 27, 2023

To the Board:

Over the past few months, we, alongside our neighbors, have voiced a number of concerns regarding the Mohawk Golf Club's (MGC) proposed housing development. Today, we would like to once again state our direct opposition to the proposal, in any and all forms that would impact the surrounding neighborhood(s) – the character, traffic patterns, and infrastructure, in particular.

The character of this neighborhood is what drew us here. We fell in love with the peace and quiet, the landscape, and the fact that houses here are not only affordable, but have a charm that cannot be replicated in new construction. To us, it was amazing to find a suburban home like this, rather than the cookie-cutter developments that seem to be popping up all over the Capital Region. This area is truly a gem, and we have since come to learn that this is intentional, through the Town Comprehensive Plan.

Should the development move forward, construction noise will impact the peace and quiet. It will also alter the residential landscape, through the destruction of greenspace and the animals that reside in it. We have also yet to see renderings for the housing that will be built – so there is no guarantee the charm of the surrounding homes can or will be replicated. All of this comes as a direct contradiction to the Comprehensive Plan.

Additionally, the proposals introduced by MGC include the creation of new roadways, off of Ruffner Road or surrounding side streets. The creation of new access points will disrupt traffic patterns, and the heavy equipment needed for development will lead to quicker destruction of roadways, increasing the need for maintenance. There will also be an increase in traffic, which, even if small, threatens the safety of the people who call this area home.

Previously, we voiced concern about people drinking on the golf course and exiting onto these new streets in a neighborhood of kids, pets, and the elderly. I would like to reiterate this concern, stressing new information that has come to light: the fact that MGC openly encourages drinking, as displayed through their recent open bar party held to rally their members (many of whom do not reside in this neighborhood) in favor of their proposal.

Our final primary concern is about the local infrastructure, and the toll this development may take on local resources. Many neighbors have asked for confirmation or studies showing how this proposed development will interact with systems and services that are already in place, like water mains and waste pipes. I would also like to know if this project will have an impact on the local electrical grid, as we have already experienced 3 prolonged power outages in this area in the past 6 months.

So far, representatives of the MGC have not offered any concrete answers to these concerns, instead stating that there “should not” be an issue. To me, the phrase *should* is not reassuring in

this instance, and shows a complete lack of planning or foresight that could come at a financial and community cost further down the line. Their dedication to seeing this development through - even if it means adding grinder pumps to \$750,000 homes - is both admirable and asinine. (I don't know about anyone else, but if I'm spending over half a million dollars on a home, I don't want to manage the disposal of my own waste).

We understand that a property owner has every right to develop their land. However, all the proposals put forth by MGC come at a greater expense of neighboring property owners than the club itself. They have made it clear through statements in several public forums that they are unwilling to compromise, and will not explore development opportunities should they impact the layout of their club. They have been made aware that alternate options exist – sharing an access road with the Curling Club (which already has a traffic light in place and curb cut), or adding access off of Balltown Road – yet they dismiss these options as non-feasible, despite providing no evidence to support this point.

At 30 years old, we are some of the younger homeowners in the area. We have heard nothing but wonderful things from neighbors who have lived here for longer than we have been alive. What we are most concerned about is the next 30 years – and the precedent this development sets for the future of the Ruffner Road area, and the Niskayuna community at large. If any of the current proposals move forward, it will be made clear that the Boards favors for-profit development over its own Comprehensive Plan, and the community members that it has been elected to serve.

Thank you for the due diligence that you are putting into this, and for the consideration of our collective concerns.

Rebecca and Justin Craig
1324 Rowe Road, Niskayuna

Laura Robertson

From: Alicia Smith <amsmith03291979@yahoo.com> on behalf of Alicia Smith
Sent: Sunday, March 26, 2023 12:57 PM
To: LRobertson@niskayuna.org
Subject: [EXTERNAL] Ruffner Road development

>
> Good afternoon,
>
> My name is Alicia Heannings. My family and I recently moved into 1161 south country club drive. As a transplant I do not have the fond memories or tear jerking antidotes to try to persuade anyone to oppose this upcoming development. As a mother of a young family I hope that this community that we have so deeply fell in love with will not be so fundamentally changed as I regret having moved here. The calmness, beauty and charm are something that will be disrupted and never be able to be restored. I do not support this proposal. I foresee an increase to traffic that will impact my children's ability to play safely outside. I foresee a decrease in the wildlife especially our neighborhood bunnies that my children have named and love to see. I don't believe it's fair to my neighbors that live in the homes that will be directly affected. Having a new main access road between their homes I'm sure was not in the closing deal when they bought their forever home.
>
> Like I stated before; I'm new to the area but this is where I chose to move my family of six. My youngest is 3 and I want them to be able to experience this neighborhood as it is now. Quiet, calm and just beautiful. Bunnies and all.
>
> Thank you for taking the time to read this.
>
> Alicia Heannings
> Cell: 607-483-4141
> Home: 607-652-7607

Joshua Spain
1219 Ruffner Road
Niskayuna, NY 12309

26 March 2023

Town of Niskayuna Planning Board
Attn: Ms. Laura Robertson, AICP
One Niskayuna Circle
Niskayuna, New York 12309

Dear Ms. Robertson,

My name is Joshua Spain, and my three boys and I live at 1219 Ruffner Road. I am writing to you, once again, to express my opposition to any development by the Mohawk Golf Club of the wooded area along Ruffner Road.

When I wrote to you at the end of February, and also addressed the planning board on the evening of February 27 – I made a point to highlight my concerns that this development would **do irreparable harm to the character of our Ruffner Road neighborhood, as well as that of the surrounding neighborhoods**. I am writing to you now to say my opinion and stance on this has only grown stronger. Whether it is the destruction of an existing home, or the use of a “paper street” – the changes and risks this development brings to the neighborhood would be damaging to its fundamental character. As you have heard – time and time again – the construction that will be done for the roadways (main access and emergency) and the residences on those 13 acres, will **harm a thriving ecosystem** which serves as the habitat for an extensive amount of wildlife, plant life and trees. That ecosystem, that wildlife, that habitat – they all contribute to the rich history and character of our neighborhoods. Removing the demolition of a home and changing the location of the main access does not change that.

Admittedly, the newest proposal is extremely personal for my boys and me. The paper street borders on our property to the south – space that my neighbor, Marty Loux, and I have maintained as if our own for greater than 20 years. Most, if not all, residents of our neighborhood had no idea a paper street even exists there – a tribute to the great care we have taken with that property, and how it blends in with and is part of the natural, normal landscape of our own properties and the entire neighborhood. Take a quick look at the sketch plan for this proposal – and one glaring element is the fact that our residence would not just be a corner lot with a street in the front and the side – but **would become a peninsula with roadways on three of the four sides of the property**. Is that even legal? Is there a precedent for this in the town? Is there anyone who could possibly feel this will create some sort of benefit to my family and our property? It will most certainly negatively impact my property value, and it would clearly “undo burden” my property and my home, which goes against language in the Comprehensive Plan for our town.

I understand that many technical elements of the project – including sewer capacities, utilities access and supply, etc. – are yet to be worked out. Engaging a Town Designated Engineer to perform an independent, thorough assessment is critical – and while I know the engineer has been selected – I am asking that the TDE be given the appropriate amount of time, no matter the expense, and that the TDE’s work be thoroughly scrutinized. Where the TDE may not have

the expertise or authority to assess certain elements of the project and the Environmental Assessment (long form), **the appropriate agencies and authorities should be engaged**, such as US Army Corps of Engineers for wetlands, DOT for roads and traffic, and NYS DEC and/or Federal EPA for assessing the true impact on the habitat and wildlife that have been highlighted by so many. Furthermore, if deficiencies are found with any of the infrastructure required to support this development (if approved), I expect that our neighborhood and the taxpayers of our town would not have to bear the cost burden of whatever upgrades are required – **that cost should be covered solely by the developer**.

I find it interesting that this latest plan being presented by the Mohawk Golf Club lacks important details that would provide us all with necessary information to inform us of additional impacts on our neighborhood and specific residents in the vicinity of the proposed access road. Why aren't the homes depicted on the parcels near the new road? Why aren't the driveways depicted on the parcels near the new road? Why isn't the width of the new road – and distance to the parcels on either side – depicted? My guess is either because this proposal is now being rushed, or because that information will only cause more concern and negative comments from my neighbors and I – and it only reinforces the lack of trust we have in the Mohawk Golf Club. No matter what the outcome is here – we don't have any faith that the club will "do the right thing".

I've covered a lot here – and let me close with some quick summary points:

1. As stated, I oppose the development of the 13 acres, and I oppose any access (main/permanent and emergency) along Ruffner Road
2. This proposal will negatively impact the rich character of our neighborhood and the surrounding neighborhoods
3. The creation of my property as a "peninsula", bordered by 3 roadways is unacceptable, and will create undo burden on me as a resident and a homeowner
4. The work of the TDE needs to be closely scrutinized and outside agencies must be engaged to provide the appropriate technical skill and expertise on the different elements of the proposal. This applies to sewer/water/utilities and other infrastructure items, services (schools, emergency services, etc) and the impact on wildlife and the habitat that would be destroyed.
5. The Mohawk Golf Club must be held to a high standard throughout this process – and we already have evidence they are taking short cuts and not necessarily providing the appropriate information needed to assess the current proposal.

Thank you again for allowing me the opportunity to have my voice, and the voices of so many in my neighborhood and beyond, heard – to help inform you on the important decisions that are still to come.

With Sincere Regards..



Joshua Spain

Laura Robertson

From: Becky Thomas <beckythomas29@yahoo.com> on behalf of Becky Thomas
Sent: Monday, March 27, 2023 3:58 PM
To: Laura Robertson; chenry@niskayuna.org
Subject: [EXTERNAL] For you and the Planning Board regarding the Mohawk Golf Club request to destroy 14 acres of wood, wildlife, and our neighborhood

Hello Laura and Members of the Planning Board,

I would first like to thank Laura, Clark, and every member and alternate member of the Planning Board for all the time and effort you have spent reviewing the request for Special Use Permit Application. Thank you for hearing all the hundreds of residents that have come to oppose this development at every meeting and reading the hundreds of letters, emails, and petitions opposing it.

I would like to state my opposition towards this development and ask you to vote against any part of its approval to go forward.

In addition to the numerous high risks and so many negative high environmental impacts that would result from this project (destruction and clearing of 14 acres of woods and wetlands, destruction of plants and animals and loss of habitat for the diverse protected wildlife that residents have sent pictures and videos of, impact on surface water and land, and detrimental to aesthetics and views,) this project would increase traffic that is already a concern, decrease safety that is already a concern, increase reliance on already overburdened utilities and infrastructure, and provide no alleviation plan for existing school density problems.

This development is inconsistent and against the comprehensive plan and consistency of community character. It changes and negatively impacts the existing character of the neighborhood and surrounding neighborhoods. It is not congruent with the character of the neighborhood.

There is no benefit to ANYONE except for the owner of the Mohawk Golf Club and the developer. The only very few people that have come to speak in support of this development at the last Planning Board meeting only did so because every member of the Mohawk Club was invited to an open bar party and given talking points and asked to please attend a meeting and please speak up in support of this project.

Neighborhood residents have spoken with so many detailed examples proving that the Mohawk Golf Club is not a good neighbor. They are in fact, the opposite.

I have watched all the meetings and read all of the minutes of many different board meetings and committees over the past few months.

The current owner of the Mohawk Golf Club doesn't value trees, woods and wildlife. He has no concern for them. He has already eradicated so many trees and didn't even receive approval to do so. Neighbors had to make complaints and come to meetings to speak up to tell the town of the destruction already done. Only after this did the town find out and contact the Mohawk Golf Club. Only then did the Mohawk Golf Club submit a request for permit after it was done.

The Mohawk Golf Club owner and the developer does not care. They have been continually asked to look at other options and the boards have stated that some of these options looked more viable but they refuse to

entertain any of them. They do not care what their surrounding neighbors and town residents want or what the Boards want.

Their representative even stated to the Planning Board "you don't want to have to hear anymore of what these people want to say do you? You don't want any more of your time wasted?"

I have watched in shock and disbelief at the attitude, disrespect, and duplicity of these representatives towards the neighbors and the Planning Board.

Please do not condone this awful behavior.

One of the options is to not develop at all.

The representative for the Mohawk Golf Club even stated that no development would not be a problem.

The numerous large SEQR and long form Environmental Impact Statement impacts and risks cannot be mitigated.

Please tell the Town Board that this development cannot be approved.

Please do not start a dangerous precedent.

Please protect our town and its residents,

Please protect the integrity and character of the neighborhood.

Please protect the woods, wetlands, and diverse protected wildlife.

Thank you.

Becky Thomas
1265 Ruffner Road

Laura Robertson

From: Contact form at Town of Niskayuna NY <cmsmailer@civicplus.com> on behalf of Contact form at Town of Niskayuna NY
Sent: Monday, March 27, 2023 10:04 AM
To: lrobertson
Subject: [EXTERNAL] [Town of Niskayuna NY] Mohawk Club development (Sent by Maureen Woerner, reeniewoerner@gmail.com)

Hello lrobertson,

Maureen Woerner (reeniewoerner@gmail.com) has sent you a message via your contact form (<https://www.niskayuna.org/user/96/contact>) at Town of Niskayuna NY.

If you don't want to receive such e-mails, you can change your settings at <https://www.niskayuna.org/user/96/edit>.

Message:

I would appreciate your sharing this with the Conservation Advisory Council and Town Planning Board.

I strongly disapprove of the plans for housing development of the Mohawk Club property. From my research into these plans, I see a positive outcome for the developers and negative outcome for the whole Ruffner Road area, both for the residents and for the wildlife. It appears to me that many issues related to development of that area have yet to be resolved. Specific concerns have been addressed by many others, so I will not go into every detail. Would this development contribute anything to maintaining the lovely neighborhoods that already exist in Niskayuna or will it permanently change the existing neighborhood in a negative way?

Please listen to the concerns of the community!!!!

Sincerely,

Maureen Woerner

24 March 2023

Dr. George A. Young
1241 Ruffner Road
Niskayuna, NY 12309

Mr. Kevin A. Walsh, Chairman
Planning Board and Zoning Commission
Town of Niskayuna
Niskayuna, NY 12309

Mr. Walsh,

Regarding your recent Notice of Public Hearing for a special use permit for MGC Golf Operations, LLC, the proposed plan uses the driveway of my home, 1241 Ruffner Road, as an emergency access road. I am writing to the Town Planning Board to notify you that I claim this property and the Town of Niskayuna cannot grant use of this land to MGC Golf Operations, LLC, or any other Entity. My claim to this land meets the five (5) required elements of ownership by adverse possession found in New York State law (Article 5 of the Real Property Actions and Proceedings Law §§ 501, 521, 522): occupancy that has been "adverse, under claim of right, open and notorious, continuous, exclusive, and actual."

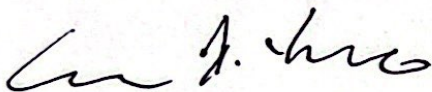
I meet the statutory requirements as follows:

1. Adverse/Hostile – Without permission of the Town of Niskayuna, I have developed, improved and utilized this land at my will. Since this land was previously used as access to a water tower that no longer exists for a water district that dissolved decades ago, it has been my belief since I purchased this home that this land belongs to me and I have acted as such and continuously since purchasing my home in August 2012.
2. Actual – I exercise direct control over this property and use this land daily. For example, if I do not clear the snow on this land, there is no access. I have paved and sealed this driveway, performed landscaping, and otherwise improved it since I purchased the property. This driveway provides the sole access to my garage and it is used for both parking and recreation by my family.
3. Exclusive – For a period of over 10 years, I have exclusively used, maintained and improved this driveway and the surrounding land at great personal expense. This maintenance includes paving and sealing the asphalt driveway, conducting snow removal, cutting the grass, removing leaves, trimming branches and removing trees, pest removal, as well as other landscaping to maintain drainage of the property.
4. Open and Notorious – I have used this property as a real owner since the purchase of my home in 2012. Specifically, this land is the only access point to my garage, which I use daily.
5. Continuous for the Statutory Period of 10 years – I purchased 1241 Ruffner Road on 29 August 2012, which exceeds the statutory period of 10 years.

Based on facts substantively similar to these, New York Courts have not hesitated to hold that property owners such as myself have established ownership of disputed parcels by adverse possession. *See, e.g., Waterview Towers, Inc. v. 2610 Cropsey Development Corp.*, 122 N.Y.S.3d 92, 94-95 (2d Dep't 2020) (on appeal, court agreed that improved private driveway adversely possessed by homeowner against claims of intended use made by developer); *Goss v. Trombly*, 835 N.Y.S.2d 493, 494-95 (3d Dep't 2007) (adverse possession established where owner cultivated and improved driveway, which was partially located on land deeded to adjacent property owners, regularly plowed the driveway and scraped ice from it in winter, mowed grass alongside it, trimmed overhanging trees and had truckloads of gravel hauled in twice to fill in ruts); *Best & Co. Haircutters, Ltd. v. Semon*, 916 N.Y.S.2d 632, 634 (2d Dep't 2011) (ownership by adverse possession established where landowner used gully which comprised most of disputed parcel to be filled and graded, and maintained and used the disputed parcel as a parking area immediately adjacent to its existing parking lot for the required period).

Therefore, I am requesting that the Town Planning Board reject the special use permit requested by MGC Golf Operations, LLC. Please contact me at the above address should you require any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read "G. A. Young", written in a cursive style.

George A. Young

Cc: Laura Robertson, Niskayuna Town Planner

Laura Robertson

From: Ursula Hall <uehall@hotmail.com> on behalf of Ursula Hall
Sent: Monday, March 27, 2023 5:10 PM
To: Laura Robertson
Cc: Geoff Hall
Subject: [EXTERNAL] Mohawk Club Development

Good afternoon Laura,

Unfortunately my husband and I will not be able to attend the public hearing tonight, but we wanted to express our continued concerns about the proposed project. Although the developers are proposing using the paper street for access, the project still impacts the character of the neighborhood, and will require the removal of several large trees. The traffic level has definitely increased over the years, and the additional traffic this project will add to Ruffner Rd, will remove severely compromise the ability to enjoy Ruffner as a pedestrian, or a toddler on a tricycle.

We would hope that the developers would continue to explore other access points which are directly adjacent to their property, and consider using the paper street as the emergency access road rather than the primary access point, in order to mitigate the development's traffic and other negative impacts on Ruffner Rd.

Many thanks to you and to all of the Board Members for taking the time to make these determinations.

Ursula and Geoff Hall

1310 Ruffner Rd.

Laura Robertson

From: Jessica Hilton <jessicarhilton@gmail.com> on behalf of Jessica Hilton
Sent: Tuesday, March 28, 2023 12:41 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Concerns regarding MGC Development

Good afternoon,

I hope this email finds you well. I am writing to voice some concerns regarding the proposed Mohawk Golf Course Development.

My primary concern is the proposed access.

The main road access will destroy the current environment, character, safety, and overall appeal to Ruffner Road. There will be increased traffic, road safety, walkability, the design and layout of houses will be altered significantly, and natural habitat, that is dwindling throughout our town, will be destroyed.

Natural habitat is another major concern.

The NYS DEC or EPA needs to be involved in the decision to destroy 13 acres of thriving habitat.

Infrastructure is the third.

I am concerned taxpayers will need to pay for necessary upgrades to the infrastructure to support a new neighborhood. With an expanding school system to support our already growing population, taxpayers can not take many more increases.

I hope the town and MGC can come up with a better way to support MCG and the integrity of Ruffner Road.

Regards,

Dr. Jessica Hilton
1916 Mayfair Rd.
518-275-7775

Rinaldo Miorini

1348 Stanley Lane, Niskayuna, NY 12309 – 443-902-2664 – rinaldomiorini1978@gmail.com

March 27, 2023

Kevin A. Walsh
Planning Board and Zoning Commission
One Niskayuna Circle
Niskayuna, NY 12039

Subject: 1851 Union St. and 1245 Ruffner Rd. Average Density Development Special Use Permit
Application

Dear Mr. Walsh,

With this letter, I would like to state my opposition to the 1851 Union St. and 1245 Ruffner Rd. Average Density Development.

The subdivision sketch plan available at <https://www.niskayuna.org/planning-board>, under the “News and Announcement” tab highlights aspects of the development that concern me; I will briefly list those concerns in the following paragraphs.

- History and Character. The low-density character of the residential zoning district of which Ruffner Rd. is part is benefit to the Town of Niskayuna. The architectural diversity in both style and layout that is evident to any persons walking or driving along Ruffner Rd. will be penalized by the proposed concentration of ten detached homes and twelve townhomes.
- Management of Flows. The proposed development will require the management of waters and traffic flows. The proposed average density development will generate water flows collected by the Ruffner Rd. sewer. There is no evidence that the existing infrastructure could take the additional load from 22 lots without deteriorating its capability and affecting new and existing families. In addition, and similarly, there is no evidence that the existing traffic capability of Ruffner Rd. would be compatible with the likely increase in traffic at morning and evening hours. At full capacity, the proposed development will add approximately 30% to the lots that now face Ruffner Rd., on both sides. Moreover, should the augmented traffic reach Union St. via Rosendale Rd., the traffic would affect the Ruffner-Rosendale intersection, which is not regulated by a traffic light or a roundabout. Finally, the augmented traffic would increase the hazard associated with walking along Ruffner Rd., which is a very popular activity in the neighborhood. An independent, town-designated engineer should conduct an appropriate review of the above-mentioned risks, among others. Moreover, the existing residents should not

pay any infrastructure changes designed specifically to manage the impact of the proposed development.

- Wildlife and Habitat. A proper review of the impact on wildlife should be conducted at State or Federal level (EPA). While it is known that loss of trees causes water drainage issues, it also causes loss of wildlife diversity through the multiple levels of the food chain. I have witnessed an increase in wildlife diversity in the last eight years, and the re-appearance of species I thought were confined to natural parks, including the red squirrel. The loss of trees associated with the proposed development could reverse the trend.
- Thermal Regulation. The average temperature during summer days has increased consistently with the general global warming trend. In such scenario, trees contribute to absorb solar radiation while extensive coverage of concrete, tarmac, and roofs increase the local temperature of concentrated developments. To maintain the temperature of the new homes within comfortable levels, the associated HVAC systems will transfer the accumulated heat from the houses to the surrounding air, together with the power utilized by the HVAC machinery. It is therefore easy to demonstrate that the proposed development will generate more heat than that received through the solar radiation during the summer, thus becoming a warm spot. Such warm spot will likely negatively affect the quality of outdoor life in the district.

Should you need any additional information, please contact me.

Best regards,

Rinaldo Miorini

A handwritten signature in black ink, appearing to read 'R. Miorini', followed by a period.

Laura Robertson

From: Amy Pritchard <amympritchard@gmail.com> on behalf of Amy Pritchard
Sent: Monday, March 27, 2023 4:18 PM
To: Laura Robertson
Subject: [EXTERNAL] Re: [EXTERNAL] Mohawk Club development

Good afternoon:

I would like to again express my strong opposition to the Mohawk Club proposed development for the following reasons:

1. This development will destroy the habitat of numerous animals and birds.
2. This development will change the character of our neighborhood.
3. This development poses safety concerns for our residents, children, and pets
4. The already failing infrastructure will be further taxed by this development
5. The local schools do not have room to support the increase in students

Thank you for your time,

Amy Pritchard
1241 Ruffner Road

On Mon, Mar 20, 2023 at 12:45 PM Amy Pritchard <amympritchard@gmail.com> wrote:
Thank you!

On Mon, Mar 20, 2023 at 11:33 AM Laura Robertson <lrobertson@niskayuna.org> wrote:

Hi Amy,

I have received this email and will forward in to the Planning Board and Town Board. I will also attach it to the March 13, 2023 PB minutes, thank you for your comments.

Laura

Laura Robertson, AICP

Town Planner

(518) 386 -4530

Town of Niskayuna

[1 Niskayuna Circle](#)

[Niskayuna, NY 12309](#)

lrobertson@niskayuna.org

From: Amy Pritchard [mailto:amympritchard@gmail.com]

Sent: Monday, March 13, 2023 6:45 PM

To: lrobertson@niskayuna.org

Subject: [EXTERNAL] Mohawk Club development

Good evening,

I live at [1241 Ruffner Rd, Niskayuna, NY 12309](#), and have lived in Niskayuna for 12 years.

Unfortunately I will not be able to attend the meeting this evening as my mother has been ill.

I would like to go on record as strongly opposing the Mohawk Club development for the following reasons:

1. Destruction of the habitat of numerous species of animal some of which may be endangered.

The Mohawk club should be required to have a nature study to determine the natural flora and fauna that inhabit this area, some of which may be endangered, all of which should not be displaced.

Additionally, the proposed land should be evaluated for wetlands.

2. Safety and infrastructure of the neighborhood.

The Mohawk Club should be required to obtain outside sources to evaluate the following:

Traffic

Sewage system

Power system

All of which are already a problem in the neighborhood

3. Integrity of the neighborhood.

This is and should remain a single family home neighborhood

4. Increased noise

Increase in traffic and population density

5. Increased burden on the schools.

Even if the population targeted in these dwellings is the older population in the area, by increasing the number of homes, families with children are likely to purchase the existing homes therein adding to the burden of the schools.

Lastly, if the above is deemed suitable for construction there should be no new roads. The access should be through current Mohawk Club roads with any additional roads being built within the club itself.

Thank you for your consideration,

Amy Pritchard

To Whom it May Concern,

My name is Melanie Romer and I live at 1250 Ruffner Road.

The same issues continue to come up, wild life, traffic, the historic nature of the neighborhood, water, and sewage. Mohawk states that this road off of Ruffner is their best option with the least amount of issues. I'm not sure we are looking at the same proposal. There are an abundant amount of issues. There are several issues that directly affect each Ruffner Road and surrounding roads. Mohawk refuses to acknowledge the discomfort of hundreds of people living here just so that they are not uncomfortable on their own golf course.

In regard to the historic preservation of neighborhoods:

The comprehensive plan states:

In a recent assessment of the Capital District, they identify 'livability' as "what sets us apart, [specifically]...our communities are close to our workplaces, but equally close to the outdoors. In addition, there are "pockets of parks and wild places, and historic places (See Reference 2)." Other studies also identify 'livability' or community character as an important tangible quality, which municipalities should strive to protect.

I urge you to protect our community's character, the wild and historic places such as Ruffner Road and the small patch of woods located parallel to our neighborhood.

Additionally, the plan states:

Residential areas throughout the Town are one of its greatest assets and should be protected from inappropriate and poor design that does not contribute to the overall intent of the neighborhood.

The proposal of the Mohawk neighborhood contradicts this statement. It is a poor design that directly affects Ruffner Road and does not contribute to our neighborhood whatsoever. The plan that Mohawk Golf Club has put forward also showcases the houses and townhomes to be "cookie cutter" houses which is in direct opposition to the comprehensive plan, "uniformity should be discouraged."

In regard to traffic:

The comprehensive plan states:

As road traffic and speeds increase, the road becomes a barrier, safety becomes a problem, and the sense of neighborhood is lost.

Ruffner Road is already a traffic issue due to the speed and amount of cars each day. The additional cars coming from this neighborhood will absolutely make our road a significant

safety concern. How can the amount of cars be too much for a road like Balltown or Union, but not too many cars for Ruffner Road? If it is too many cars for these main roads, shouldn't it be too many cars for a residential neighborhood?

Every plan that Mohawk Golf Club has put in front of the board is so far off base from what the comprehensive plan states. It is so incredibly frustrating to continue seeing and hearing the same plan from Mohawk Golf Club. At each and every meeting we have, the issues remain the same. So I ask- what are we doing? This proposed neighborhood still does not make sense and it will not make sense.

I really appreciate the board's willingness to hear the concerns of the neighbors and their immense knowledge. Thank you for your time.

Sincerely,
Melanie Romer

Laura Robertson

From: Deia Schlosberg <deia15@gmail.com> on behalf of Deia Schlosberg
Sent: Tuesday, March 28, 2023 3:19 PM
To: Laura Robertson
Subject: [EXTERNAL] Re: [EXTERNAL] Town meeting

Hi Laura-

I hope the meeting was productive. I'm sorry I wasn't able to attend in person. I would like to submit the following comment, though:

It seems that the needs of the golf club and the needs of the community are at odds here and it seems that there is an elegant solution to meet both sets of needs. The current proposal to create additional housing is not an answer to the problem of the golf club's financial sustainability; it is an answer to a lack of housing, which isn't being called for (affordable housing, yes, but this development plan doesn't address that need). It seems that a solution can be arrived at without creating undue harm on any particular residents while still allowing the golf club to sell off some of its property as a source of revenue. Perhaps the town, and/or the residents via a community grant, could purchase the golf club parcel to turn into a small park. There is enough room for a nature loop, a dog park, and a playground. As is, the residents of the neighborhood have to cross a large street to get to a park area, so it seems there are grounds for a grant of sorts. Such a proposal takes into account the finances of the club, the safety of the community, and the habitat requirements of local wildlife. I would happily volunteer to start a joint committee to look into potential grants and funding alternatives for such a plan, which seems like it has the potential to get buy-in from both "sides."

Thank you!

On Mon, Mar 27, 2023, 7:11 PM Deia Schlosberg <deia15@gmail.com> wrote:

Perfect!

Thanks, Laura. I'll send an email comment tonight.

Thank you!

On Mon, Mar 27, 2023, 6:43 PM Laura Robertson <lrobertson@niskayuna.org> wrote:

Hi Deia,

Yes, you can submit and email or letter to me, or attend virtually. The login is below. Feel free to reach out with any comments, thanks!

Planning Board

Monday, March 27 · 7:00 – 9:00pm

[Google Meet joining info](#)

Laura Robertson

From: Philip Tullgren <ptullgren@gmail.com> on behalf of Philip Tullgren
Sent: Tuesday, March 28, 2023 8:20 AM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Letter Opposing Mohawk Club Development Project

Dear Sir,

My wife, Patricia and I wish to be on record as opposing the proposed Mohawk Club Development Project that would build housing on the east side of the course bordering Ruffner Rd.

We oppose this project because -

It would forever alter the beautiful neighborhoods of Ruffner Rd and Highland Park Estates.

The overburdening of the recently paved Rosendale Rd with construction vehicles for who knows how long with the noise, road safety, and walkability issues that would come with this increased traffic.

The destruction of the current wildlife habitat that calls that wooded area of the club course home - including a recently increasing population of long necked pileated woodpeckers long absent from this area.

The last thing this town needs is more development - especially development that would destroy the character of such fine neighborhoods. This is Niskayuna not Colonie.

My name is Philip Tullgren. My wife Patricia and I have lived @ 1013 Rosendale Rd for over thirty years. We both say NO to the development proposal.

Thank you for your consideration.

Philip & Patti Tullgren

Niskayuna Town Planning Board
1 Niskayuna Circle
Niskayuna, NY 12309

March 27, 2023

RE: Mohawk Golf Club's application for a special use permit for development

Michael Venuti and Joy Nyman residing at 1149 Ruffner Road, Niskayuna oppose the proposal by the Mohawk Golf Club (MGC) for residential development within the golf club property, as described in the subdivision sketch plan.

Until recently, the MGC seems to have been coexisting in somewhat of a balance with the Ruffner Road neighborhood and the larger community, Niskayuna. While perhaps not always viewed as the perfect neighbor, MGC does provide recreational and social activities within the Niskayuna community (via membership) and serves as an important open space corridor.

However, the implementation of the proposed subdivision sketch plan (to create a residential setting within the golf course) will disrupt any sense of balance between MGC and the surrounding community. These imbalances will emerge as negative impacts to the environment, the neighborhood and ultimately the residents.

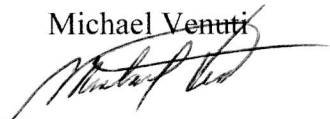
The impacts on the environment will, at a minimum, include the loss of habitat for a variety of plants and wildlife as well as negative impacts on any important identified or yet to be identified land features (i.e. wetlands) within the scope of the project.

It's no secret that Niskayuna is truly a gem of a town comprised of unique neighborhoods, architectural diversity and residents who take pride living in this amazing community. This sense of uniqueness is genuine and is the result of the Town's ongoing cohesive planning efforts, an obviously thoughtful process that has guided the Town to where it is today. However, the proposal in front of you feels somewhat different from previous and current developments; it's impact is more invasive, out of character, and could set an unforgiving precedent for future proposals. Imagine how it would feel as a resident in the proposed "zone of development," (multiple structures and access roads built within sight or close proximity to established residences) to know that these proposed changes will negatively impact their sense of peace at home, their emotional investment, financial investment, community investment as well as the character and charm of their community and their home. Simply, this proposal is not considerate of surrounding property owners and is not a reasonable or responsible proposal for our community.

In view of the many other very well expressed objections to the Mohawk Golf Club proposal as well as our appeal to protect the environment, preserve the character of our neighborhood and respect the wishes of the many residents, we urge you **not** to approve the MGC application for special use permit for development.

Thank you,

Michael Venuti



Joy Nyman



Laura Robertson

From: Rich Normandin <rich.normandin@gmail.com> on behalf of Rich Normandin
Sent: Monday, March 27, 2023 3:19 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Broken Inn - Request for Outdoor Seating - Concerns I'd like addressed

My concerns range around a few things.

6 tables - this seems excessive for a couple families enjoying dessert and instead sounds like they are trying to maximize their profits by having pub patrons able to sit outside so they can have more customers. These types of groups enjoying dinner / drinks are more likely to cause noise and require the door to the pub be opened fairly frequently. This means that noise INSIDE the bar will be coming OUTSIDE the bar. Not a big deal unless there is a game going on or one of their sing-alongs, etc <https://www.facebook.com/reel/1342842703231990>

4 additional parking spaces for what will be 6 additional tables (24 to 48 guests) is a net loss when it comes to increased crowd vs parking. They are already overflowing into the surrounding streets for parking, including both sides of Crescent causing traffic to become one lane.

My other questions are:

are they willing to commit to only having ice cream guests outside? If not I'd like them to present a plan around:

- Will alcohol be allowed? What about smoking?
- Will guests be limited to those being served food? If not, then why not?
- What will the "capacity" of the area be?
- Will guests be allowed to stand outside and drink / smoke?
- How will the noise level be monitored?

One of my concerns is why when asked about this on his facebook post the owner was unwilling to address the concerns publicly. Unless his answers would upset the local community, why was he unwilling to answer them there? Instead he posts an idyllic scene of families with children eating ice cream. If that is all it would be then I would eagerly sign up for this but he intentionally avoided answering even though he responded.

His post - see comments

<https://www.facebook.com/TheBrokenInnNiskayuna/posts/pfbid03FQpZ2VdYqux2tkrHLHSHsVoKJNjWZVrDj79YEEXM4PfWL3PM2aeuwSVnm8dND9pl>

Very Respectfully,
Richard Normandin

Laura Robertson

From: Melissa Cummins <missdish84@gmail.com> on behalf of Melissa Cummins
Sent: Saturday, March 18, 2023 1:20 AM
To: Laura Robertson
Subject: [EXTERNAL] Comments from the meeting
Attachments: IMG_3844.MOV

Hi Laura!

Here's a few videos from tonight . I'll have to send the files separately. But these guys are so freakin loud ! I just need to get some rest. Well past 8pm to be creating such disturbances. They are violating section 142 of the town code with all that racket . Seems petty but I guess we're there . They have been unloading /loading for hours now!! Chains clacking , doors slamming. ..

--

Melissa Cummins RN

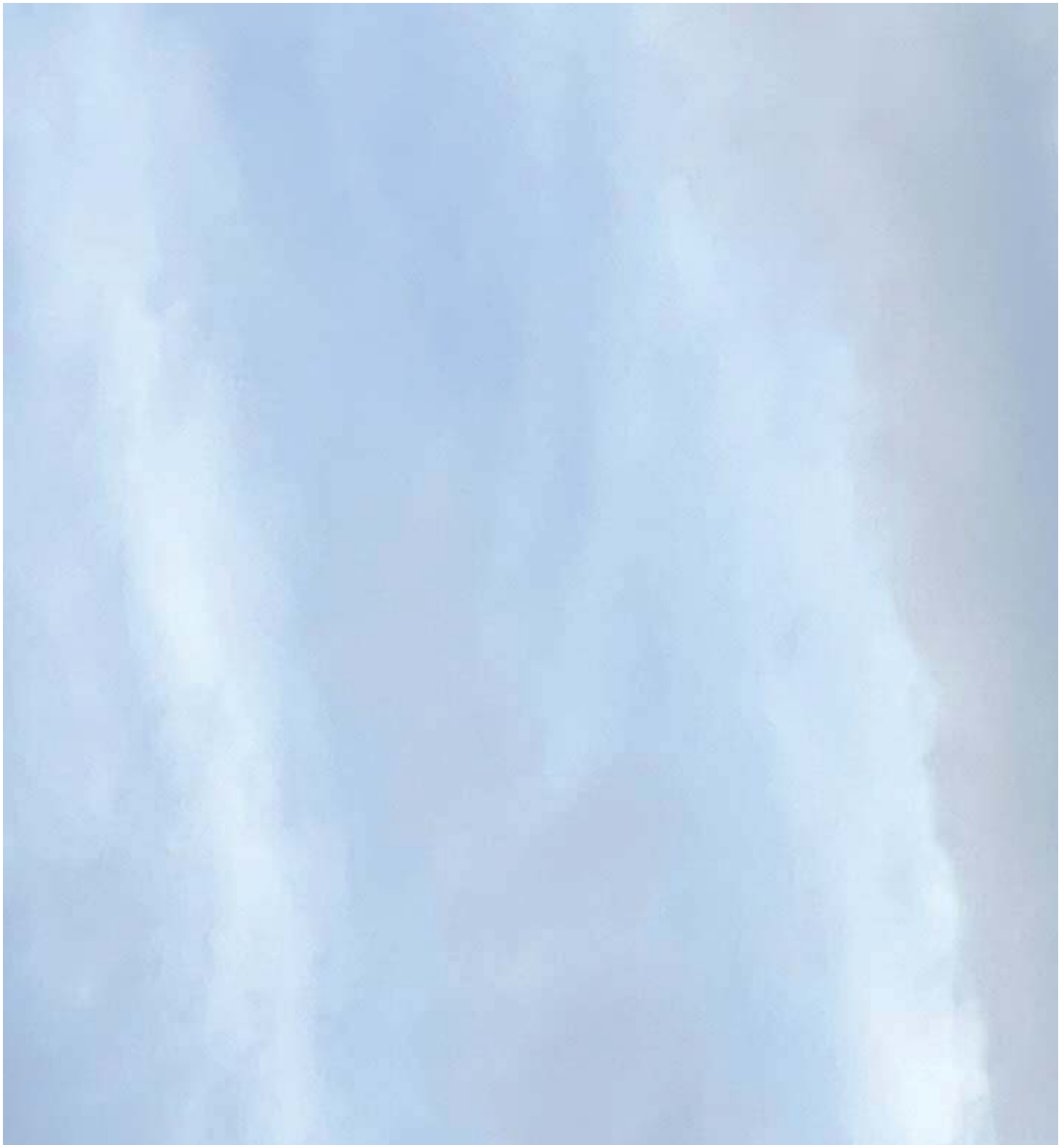
Laura Robertson

From: Melissa Cummins <missdish84@gmail.com> on behalf of Melissa Cummins
Sent: Saturday, March 18, 2023 1:22 AM
To: Laura Robertson
Subject: [EXTERNAL] Hopefully there done
Attachments: IMG_3851.MOV

Hours this guy has been here. Believe me I have better things to do like sleep. --
Melissa Cummins RN

Laura Robertson

From: Melissa Cummins <missdish84@gmail.com> on behalf of Melissa Cummins
Sent: Wednesday, March 22, 2023 5:13 PM
To: Laura Robertson
Subject: [EXTERNAL] Re: [EXTERNAL] Looking for update





Let's not mention how there parking their cars on the grass . Isn't that town property? I'm pretty sure that's against code ?

On Wed, Mar 22, 2023 at 5:08 PM Melissa Cummins <missdish84@gmail.com> wrote:

The haulers are still unloading in the road I'm going to attach a video . This is right now 505pm . So the "delivery plan" is nothing but writing on a piece of paper . This is not safe for my children. My son gets on and off the bus right here !

On Mon, Mar 13, 2023 at 11:49 AM Laura Robertson <lrobertson@niskayuna.org> wrote:

Hi Melissa,

Thanks for reaching out. Right now the 3rd house (41 S Fagan) is not included in the plan. They are bringing an updated plan to the Planning Board meeting tonight – the packet can be downloaded here: https://www.niskayuna.org/sites/g/files/vyhlif4781/f/agendas/pb_packet_3_13_2023.pdf. 3900 State street materials start on page 106. The next step in the process is for the Planning Board to make a recommendation to the Town Board on the special use permit. They can recommend approving the special use permit allowing the parking lot or recommend denying the special use permit (disallowing the parking lot). The Town Board will conduct its own public hearing on the project as well.

The website can be frustrating – the Town is actually moving to a new website in a few months that should be better. Because we livestream the videos so anyone can watch them at any time – the videos will always have to be on a separate website (youtube) because of storage size issues. If you are looking for something specific I can lay out the way it works and send you links that will work regularly though until we get our upgrade.

If it's looking pretty snowy tonight and you want to speak under privilege of the floor – you are welcome to attend in person or remotely. I copied the remote login below for you. Thanks Melissa!

Planning Board

Monday, March 13 · 7:00 – 9:00pm

Google Meet joining info

Video call link: <https://meet.google.com/wew-sjrv-int>

Or dial: (US) +1 563-538-1153 PIN: 813 802 873#

More phone numbers: <https://tel.meet/wew-sjrv-int?pin=2468195450018>

Laura

From: Melissa Cummins [mailto:missdish84@gmail.com]
Sent: Monday, March 13, 2023 9:16 AM
To: Laura Robertson
Subject: [EXTERNAL] Looking for update

Good morning!

This morning there is someone here surveying land across the street. Looks like he is doing 41 the 3rd house from state street? Can you please give me an update on where things were at with the 3900 state street project?? P. S the town website is so disorganized and not very user friendly. Someone should fix that . I can't help but feel like it's intentional on the town part . Nothing is in order . Minutes or recordings it makes navigating the website so difficult. I hope you have a great day! Thank you! ;)

--

Melissa Cummins RN

--

Melissa Cummins RN

--

Melissa Cummins RN

Laura Robertson

From: Melissa Cummins <missdish84@gmail.com> on behalf of Melissa Cummins
Sent: Wednesday, March 22, 2023 5:09 PM
To: Laura Robertson
Subject: [EXTERNAL] Re: [EXTERNAL] Looking for update
Attachments: IMG_3931.MOV

The haulers are still unloading in the road I'm going to attach a video . This is right now 505pm . So the "delivery plan" is nothing but writing on a piece of paper . This is not safe for my children. My son gets on and off the bus right here !

On Mon, Mar 13, 2023 at 11:49 AM Laura Robertson <lrobertson@niskayuna.org> wrote:

Hi Melissa,

Thanks for reaching out. Right now the 3rd house (41 S Fagan) is not included in the plan. They are bringing an updated plan to the Planning Board meeting tonight – the packet can be downloaded here: https://www.niskayuna.org/sites/g/files/vyhlif4781/f/agendas/pb_packet_3_13_2023.pdf. 3900 State street materials start on page 106. The next step in the process is for the Planning Board to make a recommendation to the Town Board on the special use permit. They can recommend approving the special use permit allowing the parking lot or recommend denying the special use permit (disallowing the parking lot). The Town Board will conduct its own public hearing on the project as well.

The website can be frustrating – the Town is actually moving to a new website in a few months that should be better. Because we livestream the videos so anyone can watch them at any time – the videos will always have to be on a separate website (youtube) because of storage size issues. If you are looking for something specific I can lay out the way it works and send you links that will work regularly though until we get our upgrade.

If it's looking pretty snowy tonight and you want to speak under privilege of the floor – you are welcome to attend in person or remotely. I copied the remote login below for you. Thanks Melissa!

Planning Board

Monday, March 13 · 7:00 – 9:00pm

Google Meet joining info

Video call link: <https://meet.google.com/wew-sjrv-int>

Or dial: (US) +1 563-538-1153 PIN: 813 802 873#

More phone numbers: <https://tel.meet/wew-sjrv-int?pin=2468195450018>

Laura

From: Melissa Cummins [mailto:missdish84@gmail.com]
Sent: Monday, March 13, 2023 9:16 AM
To: Laura Robertson
Subject: [EXTERNAL] Looking for update

Good morning!

This morning there is someone here surveying land across the street. Looks like he is doing 41 the 3rd house from state street? Can you please give me an update on where things were at with the 3900 state street project?? P. S the town website is so disorganized and not very user friendly. Someone should fix that . I can't help but feel like it's intentional on the town part . Nothing is in order . Minutes or recordings it makes navigating the website so difficult. I hope you have a great day! Thank you! ;)

--

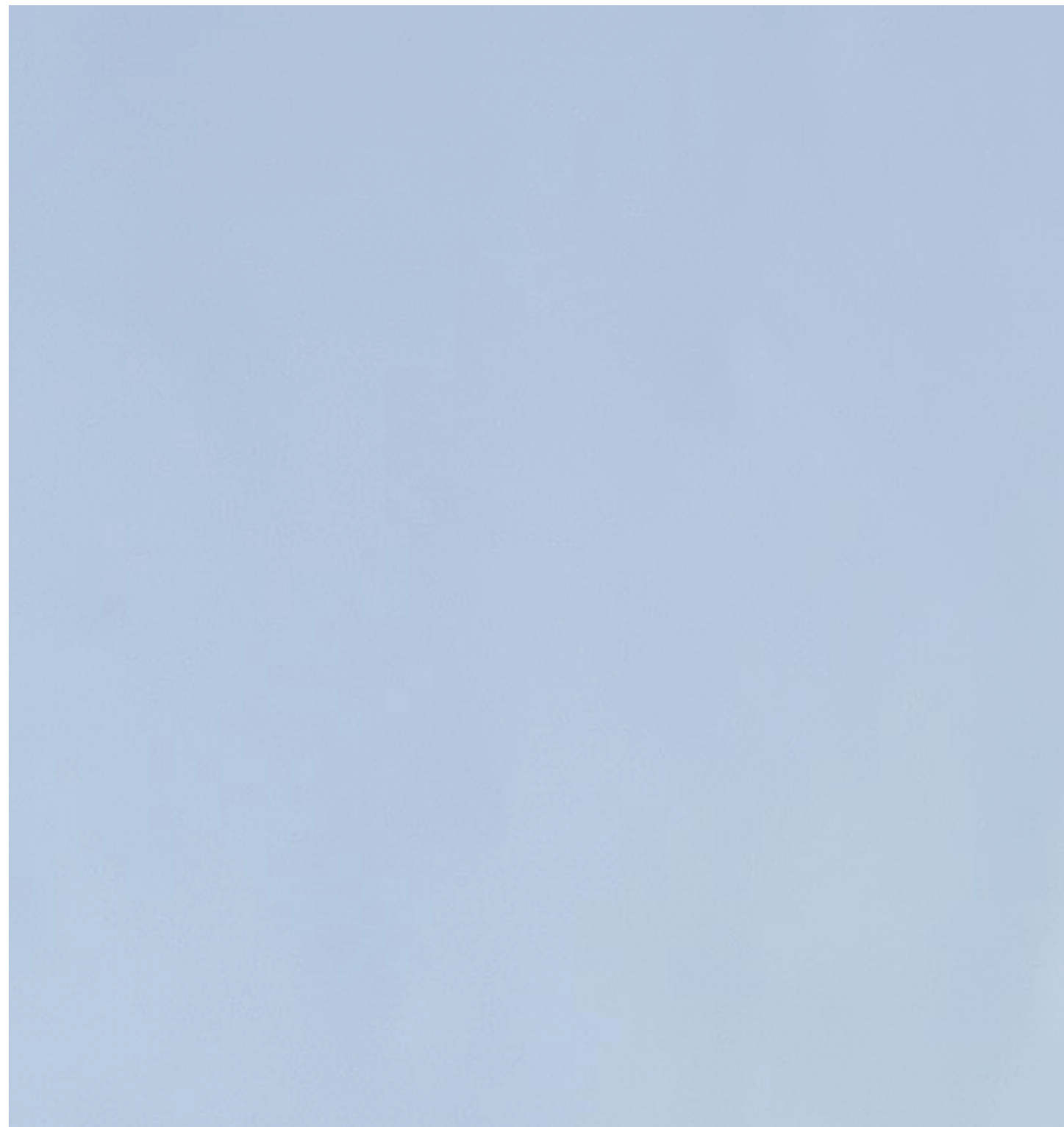
Melissa Cummins RN

--

Melissa Cummins RN

Laura Robertson

From: Melissa Cummins <missdish84@gmail.com> on behalf of Melissa Cummins
Sent: Monday, March 27, 2023 3:55 PM
To: Laura Robertson
Subject: [EXTERNAL] 3900 state street
Attachments: IMG_3983.MOV; IMG_3941.MOV; IMG_3942.MOV





I realized I didn't attach the videos and i just took another one because they are unloading again in the road. The police came back yesterday to follow up and advised me to call them next time the haulers are loading/unloading late making noise being loud . They spoke with them at the dealership. Can you please send me the virtual link to the meeting tonight . I'm not sure if I will physically be able to make it . Thank you

--

Melissa Cummins RN



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. IV. 1

MEETING DATE: 4/17/2023

ITEM TITLE: PUBLIC HEARING: An Application for Approval of Plat Plan – Minor Subdivision for a 2-lot minor subdivision and lot line adjustment at Antonia Park / Polsinelli Dr. (40.-1-54.11).

PROJECT LEAD: Leslie Gold

APPLICANT: Fred Polsinelli, Executor of the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Public Hearing

SUMMARY STATEMENT:

Fred Polsinelli, Executor for the estate of Vincenza Polsinelli, submitted an Application for Approval of Plat Plan – Minor Subdivision for a 2-Lot minor subdivision including a lot line adjustment for Homestead Place at Antonia Park (parcel 40.-1-54.11). The property is located within the R-1 Low Density Residential zoning district.

A site plan drawing entitled “Homestead Place at Antonia Park Section 9” authored by Gilbert VanGuilder Land Surveyor, PLLC” dated 10/17/22 with a most recent revision date of 1/20/23 was included with the application. The drawing shows the original 8.43 Acre property being divided as noted below.

1. Lot 1 – is a new lot that is 3.10 Acres in size
2. Lot 2 – is a new lot that is 3.02 Acres in size
3. Remaining Area – is 2.31 Acres in size and will be annexed to Lecce Development Corp.

BACKGROUND INFORMATION

There is no action to be taken at a public hearing. The Public Hearing Notice is attached.



NOTICE OF PUBLIC HEARING

TO BE HELD BY THE
PLANNING BOARD & ZONING COMMISSION
OF THE TOWN OF NISKAYUNA

NOTICE IS HEREBY GIVEN that pursuant to the Code of the Town of Niskayuna, New York and the applicable provisions of the Town Law of the State of New York, a public hearing will be held by the Planning Board and Zoning Commission of the Town of Niskayuna in the Town Board Meeting Room at One Niskayuna Circle on the seventeenth (17th) day of April 2023 at 7:00 p.m. to consider an application from Fred Polsinelli, Executor for the estate of Vincenza Polsinelli, for a 2-lot minor subdivision and lot line adjustment at Antonia Park / Polsinelli Dr. (40.-1-54.11) in the Town of Niskayuna. The 8.43 Acre property is located within the R-1 Low Density Residential Zoning District.

A copy of the Application for Approval of Plat Plan - Minor Subdivision will be available for inspection at the Planning Department in the Niskayuna Town Hall and can be viewed at <https://www.niskayuna.org/planning-board> under the "News and Announcement" tab and will be shown electronically during the public hearing.

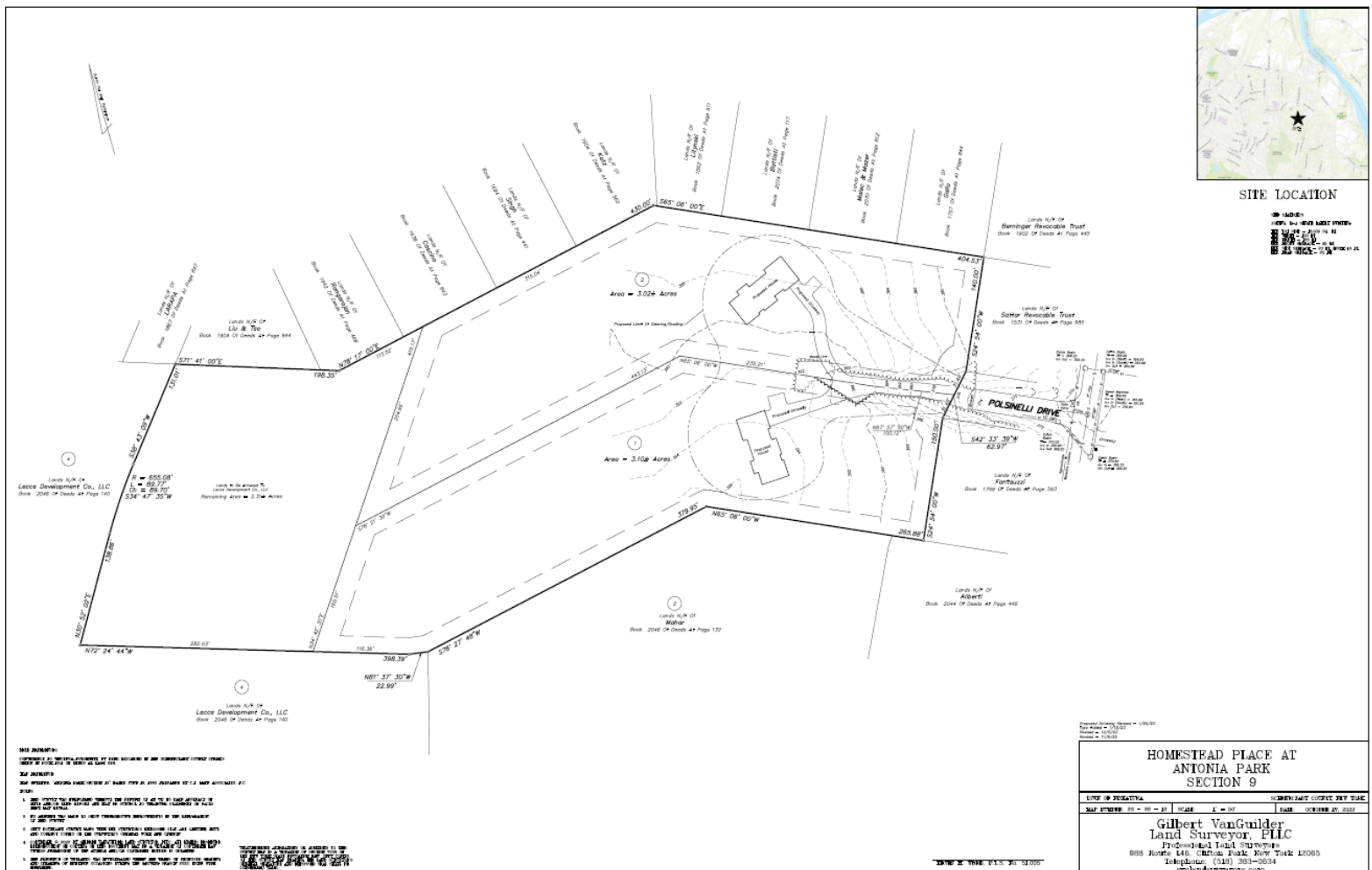
If you wish to express an opinion regarding the public hearing you may do so at the above-mentioned time and place. If you cannot be present, you may request a virtual login to the meeting by emailing lrobertson@niskayuna.org or calling 518-386-4531 or you may set forth your opinion in a letter which will be made part of the permanent record. Please note there is a five (5) minute time limit for each speaker at the public hearing and submitted letters will not be read out loud at the public hearing, but such letters will be included in the minutes and added to the record.

The Planning Board and Zoning Commission of the Town of Niskayuna will hear all persons interested during the aforementioned public hearing.

BY ORDER of the Planning Board of the Town of Niskayuna, New York.

KEVIN A. WALSH
Chairman, Planning Board and Zoning Commission

Antonia Park/ Polsinelli Drive 2-lot minor subdivision and lot line adjustment



This application proposes to subdivide the existing 8.43 Acre property into two lots of 3.10 and 3.02 Acres, respectively and utilize a lot line adjustment to convey the remaining 2.31 Acres to the Lecce Development Co., LLC for incorporation into Lot 4, Vincenzo Subdivision (6 St Gerard Dr).

- Access to a Town water line and Town sewer line is available at the end of the stub road (Polsinelli Dr.).
- Lecce Development Co, LLC has agreed to the following as noted in the suvey drawing.
 - “Any future subdivision of the unrestricted lands of Lot 4 will require a major subdivision review as required under the Town of Niskayuna subdivision law at that time”.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 4/17/2023

ITEM TITLE: RESOLUTION: 2023 – 14: A Resolution for site plan approval for new signage at the Bank of America at 1757 Union St.

PROJECT LEAD: TBD

APPLICANT: Kristen Macleod, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Kristen Macleod, of AJ Signs. and agent for the owner, has submitted an Application for Site Plan Review for replacement façade and directional signage for the Bank of America located at 1757 Union St. The property is located within the C-N Neighborhood Commercial zoning district.

The Planning Board reviewed the proposed new signs at the 3/27/23 meeting and called for a resolution for approval at the 4/17/23 meeting. A resolution for approval is included with the meeting packet.

BACKGROUND INFORMATION

A 22-page sign documentation package entitled "Bank of America 1757 Union St. Schenectady, NY" by Stratus Unlimited dated 11/1/22 was submitted to the Planning Office with the application.

Façade Signs

The application proposes to replace two existing façade signs with two new signs of smaller area. A third existing sign will be removed and not replaced. A replacement ATM Surround is proposed that is very similar to the existing surround. However, a portion of the surround may be viewed as a façade sign.

Schedule I-D C-N District Schedule of Supplementary Regulations column 7 Permitted signs states that "For each linear foot of building frontage, 1 square foot of sign area shall be permitted....Under no circumstances shall any 1 sign exceed 50 square feet." As proposed, all façade signs comply.

Article VIIIA Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards Section 220-48.4 Signs E (4) Illumination: states "Sign lighting should minimize glare

and maintain the aesthetic character of the area. Therefore, signs may be internally lit, backlit and externally lit.” As proposed, all façade sign comply.

The following table summarizes the existing and proposed replacement façade signs.

Sign Ref.	Façade Length (ft.)	Existing Sign Area (sq. ft.)	Proposed Sign Area (sq. ft.)
EXT-001	86	68.5	49.9
EXT-002	86	52	No replacement
EXT-003	48	52	49.9

Directional Signs

The application proposes to replace (9) existing directional signs with new signs of similar design.

Section 220-22 Signs A (3) Directional signs: states “Directional signs such as entrance, exit, etc., shall be of a size not to exceed three square feet and not to exceed four feet in height above the existing grade of the street unless otherwise specified in this chapter.”

The following table summarizes the existing and proposed replacement directional signs.

Sign Ref.	Existing Sign (Y/N)	Proposed Sign Area (sq. ft.)	Proposed Sign Ht. (sq. ft.)
EXT-004	Yes	2.7	3
EXT-005	Yes	2.7	3
EXT-006	Yes	2.7	3
EXT-007	Yes	2.3	Not dimensioned (>4’)
EXT-008	Yes (4 sq. ft.)	4	Not dimensioned (=4’)
EXT-009a	Yes (overhead)	2.9	(overhead)
EXT-009b	No	2.9	(overhead)
EXT-010	Yes (overhead)	2.9	(overhead)
EXT-014	No	2.9	(overhead)

ATM Signs

The application proposes to replace the existing ATM Surround with a new surround of very similar size, style and appearance.

The following table summarizes the existing and proposed replacement ATM Surround.

Sign Ref.	Existing Sign (Y/N)	Proposed Sign Area (sq. ft.)	Proposed Sign Ht. (sq. ft.)
ATM1	Yes	Not defined	Not defined but =

The Planning Board should review the proposed drawing package and review them with the applicant. It is the recommendation of the Planning Office that the Planning Board allow all the proposed signs and call for a tentative resolution for site plan approval for the 4/17/23 Planning Board meeting.

3/27/23 Planning Board (PB) meeting – The applicant presented the proposed new sign package to the Planning Board. After a short discussion the Board called for a resolution for site plan approval for the 4/17/23 meeting.

A resolution for approval of the proposed a sign package is included in the meeting packet.

RESOLUTION NO. 2023 - 14

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 17TH DAY OF APRIL 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Kristen Mcleod, of AJ Signs agent for the owner, made an application to the Planning Board and Zoning Commission for new signage at The Bank of America located at 1757 Union St., and

WHEREAS, a 22-page sign documentation package entitled "Bank of America 1757 Union St. Schenectady, NY" by Stratus Unlimited dated 11/1/22 was submitted to the Planning Office with the application, and

WHEREAS, the property is located within the C-N Commercial Neighborhood zoning district, and

WHEREAS, neighborhood retail convenience stores, including banks, qualify as permitted principal uses for this zoning district, and

WHEREAS, Schedule I-D C-N District Schedule of Supplementary Regulations column 7 Permitted signs states that "For each linear foot of building frontage, 1 square foot of sign area shall be permitted....Under no circumstances shall any 1 sign exceed 50 square feet." As proposed, this sign package reduces the number of façade signs and brings each remaining sign into compliance (under 50 square feet), and

WHEREAS, Article VIIIA Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards Section 220-48.4 Signs E (4) Illumination: states "Sign lighting should minimize glare and maintain the aesthetic character of the area. Therefore, signs may be internally lit, backlit and externally lit." As proposed, all façade sign lighting complies, and

Section 220-22 Signs A (3) Directional signs: states "Directional signs such as entrance, exit, etc., shall be of a size not to exceed three square feet and not to exceed four feet in height above the existing grade of the street unless otherwise specified in this chapter." As proposed, the existing seven (7) directional signs do not make any existing non-conformities worse and the Planning Board has determined that the two (2) new directional signs which require a waiver because they are mounted more than four feet in height above existing grade (on drive through canopy) are necessary for better pedestrian and traffic flow onsite, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission has determined that the proposed sign waivers as described above would have a minimum negative effect on aesthetics, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant said waivers to allow for the signage as described in a 22-page sign documentation package entitled "Bank of America 1757 Union St. Schenectady, NY" by Stratus Unlimited dated 11/1/22, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

The Chairman declared the same _____.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name AJ Signs

Address 842 Saratoga Rd
Burnt Hills NY 12027

Email ldnsten@AJsigns.com

Telephone 5183999291 Fax 518688079

Location:

Number & Street 1757 Union St

Section-Block-Lot 50.10 - 2 - 11

Zoning District

Proposal Description:

Replace existing wall signs and Directional
signs with new.

Signature of applicant: [Signature]

Date: 3/10/23

Signature of owner (if different from applicant): [Signature]

Date: 3/14/23

*Please see attached
Authorization
letters*

Each site plan application shall be accompanied by:

Sarah-Lynn Cinquegrani
Senior Vice President
Governance, Controls, Integration & Vendor Performance
Global Real Estate Operations Executive

Global Real Estate Services
540 W Madison Street (IL4-540-04-55)
Chicago, IL 60661-2591
T 312.992.6593
sarah-lynn.cinquegrani@bofa.com

Tuesday, June 14, 2022

via email

Christine Wilde
CBRE
2100 McKinney Ave, Suite 900
Dallas, TX 75201

RE: Authorized Representative for Global Real Estate Services for Bank of America, National Association and its affiliates ("Bank of America")

Dear Christine,

Bank of America hereby authorizes CBRE, Inc. and its affiliates ("CBRE") performing real estate related services for Bank of America to act as Bank of America's authorized representative in connection with Bank of America's matters related to real estate, including without limitation:

- Signing Notice of Commencement as notification to building owners in applicable states that require notification that a construction project is commencing on/in a property
- Signing Waiver of Claims for CAD drawings
- Signing Lien Agent Assignments in applicable states requiring lien agent assignments
- Completing and signing permit applications in applicable jurisdictions that require permits, design review applications or disclosure documents
- Participating in Energy Rebate programs on behalf of Bank of America in which a rebate is assigned to a project contractor and a change order is issued to the contractor for the rebate amount
- Signing utility applications
- Signing regulated waste manifests
- Signing authorization letters for signage (interior and exterior) vendors to act on Bank of America's behalf
- Signing Americans with Disabilities Act ("ADA") drawings, including those submitted to the Texas Department of Labor and Regulations

This authority will be in effect until revoked in writing by Bank of America.

The designation or use of "authorized representative" in this context does not affect Bank of America's responsibilities to perform and satisfy all other obligations applicable to Bank of America for services rendered by CBRE. The appointment of CBRE as an authorized representative shall not give CBRE any additional rights beyond those that Bank of America would have under any applicable regulations.

You are authorized to provide this letter as necessary to fulfill any real estate related services. Any recipient of this letter authorized is asked to cooperate with CBRE on behalf of Bank of America as provided herein.

Sincerely,



Sarah-Lynn Cinquegrani
Senior Vice President | Global Real Estate Operations Executive
Bank of America, N.A.



Bank of America
1757 Union St
Schenectady NY 12309

3/10/2023

To Whom It May Concern:

Bank of America will be installing the signage at their location, 1757 Union St. Schenectady NY. My company is contracted by Bank of America and CB Richard Ellis (CBRE). We give our sub-contractor, AJ Sign Company, authorization to install and obtain permits for the exterior signage for this facility.

This is a letter of authorization granting permission for AJ Sign Company to act as permitting agent and obtain said permits on behalf of Bank of America & CB Richard Ellis (CBRE).

Please direct any questions or comments to:

Brian Whitman
Status Unlimited LLC
Senior Program Manager
10000 Lincoln Dr East
Marlton NJ 08053
856-866-6873
Brian.Whitman@stratusunlimited.com

Sincerely,

A handwritten signature in black ink that reads "Brian Whitman". The signature is fluid and cursive, with a long horizontal stroke at the end.

Brian Whitman



PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THE MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

SOUTHEAST ELEVATION

Scale: 1/8"=1'-0"

Existing SQ. FT.	68.46
Proposed SQ. FT.	49.9

EXISTING CONDITIONS



EXT-001: EXISTING 3'-0" x 6'-1-1/4" SIGNAGE TO BE REMOVED & REPLACED; WALL TO BE REPAIRED AS REQUIRED; FILL HOLES WITH MATCHING CAULKING.

EXT-002: EXISTING ±3'-10" x 13'-7" FCO LETTERSET TO BE REMOVED; WALL TO BE REPAIRED AS REQUIRED; FILL HOLES WITH MATCHING CAULKING.



PROPOSED SIGNAGE

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

3

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whltman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405959	11/01/22 NS					

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE REPRODUCED, COPIED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

Scale: 1/8"=1'-0"

Existing SQ. FT.	52
Proposed SQ. FT.	49.9

NO EXISTING POWER AT LOCATION;
ELECTRICAL TO BE PROVIDED WITHIN 6'-0" OF SIGN LOCATION



PROPOSED SIGNAGE

Stratus™



1757 Union St
Schenectady, NY
12309-6317

4

6124

Brian Whitman

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

RIGHTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXT-003 C3ng

Scale: 3/8"=1'-0"

49.9 square feet



CABINET FACE: 1/8" thick aluminum sign panel. Chem weld 1"x1"x.125" Aluminum tube frame at perimeter to form sign box. Miter cut, weld and grind smooth at corners. Paint finish face and tube frame Garbo Silver. Gloss Finish.

LETTERS: 1/2" thick Plaskolite 2406 LD acrylic w/ routed back 5/16" from back leaving a 3/16" thick x 5/32" flange for drop in faces secured thru returns (see detail). Surface applied vinyl overlays to match colors shown w/ 3M overlaminates.
3" deep .040 alum returns - Aluminum Coil Bright Brushed Clear by Alumet Supply.
.090" alum. backs - insides painted w/ White Light Enhancement paint.

ILLUM.: Agilight White LED illumination as required by manufacturer or approved equivalent. **Self contained power supplies**

BACKING SHEET & FRAME: 1/8" Aluminum Angle Frame. Form as shown. Paint finish Bank of America Dark Gray, Semi-Gloss Finish.
Mechanically attach to rear tube frame with countersunk flathead stainless steel screws. Paint screw heads to match.
1" Aluminum tube frame at perimeter of backing sheet, size as required. Paint finish all exposed surfaces Bank of America Red. Semi-Gloss finish.

INSTALL: Preferred install is to thru bolt w/ a min 3/8" all thread fasteners; blocking as required.

QUANTITY: (2) Two Signs required

COLOR PALETTE

 **FACE:**
Matthews Garbo Silver
MP02650R14405 LVG. Full Gloss.

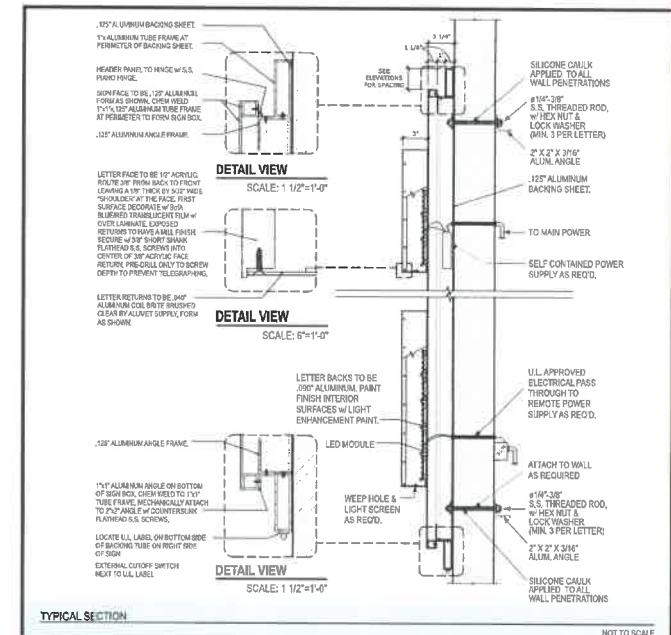
 **BACKING SHEET:**
Bank of America Dark Gray
MP58477. Semi-Gloss.

 **REAR TUBE FRAME:**
Matthews Red MP49696
Akzo Nobel Sign 20129. Semi-Gloss.

 **LOGO FACES:**
3M 3630-2413 Red
w/ Overlam 3M 3660M

 **COPY & LOGO FACES:**
3M 3630-8530 Blue
w/ Overlam 3M 3660M

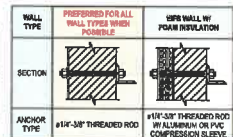
 **RETURNS:**
Brite Brushed Alum.
Coil -Alumet Supply




THIS SIGN IS INTENDED TO BE
INSTALLED IN ACCORDANCE WITH
THE REQUIREMENTS OF ARTICLE 604
OF THE NATIONAL ELECTRICAL CODE
AND/OR OTHER APPLICABLE LOCAL
CODES. THIS INCLUDES PROPER
GROUNDING AND BONDING OF SIGN.

TOLERANCE: $\pm 1/16"$ ON ALL DIMENSIONS

USE WHITE SILICONE TO CONCEAL LIGHT LEAKS



Stratus™

CLIENT: BANK OF AMERICA 	
ADDRESS: 1757 Union St Schenectady, NY 12309-6317	PAGE N 5

<u>ORDER NUMBER:</u> 1182949	<u>PROJECT NUMBER:</u> 4306
<u>SITE NUMBER:</u> 6124	<u>PROJECT MANAGER:</u> Brian Whitman
<u>ELECTRONIC FILE NAME:</u> K:\ACCOUNTS\BIBANK OF AMERICA\2022\NY\6124_Schenectady\4306 6124_Schenectady.cdr	

[illegible]

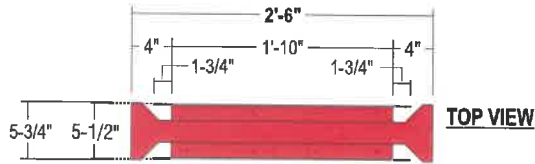
PHOTOS ARE THE EXCLUSIVE PROPERTY OF iStockphoto. THIS MATERIAL SHALL NOT BE USED, DUPLICATED, OR OTHERWISE REPRODUCED WITHOUT THE PREVIOUS WRITTEN CONSENT OF iStockphoto.

EXT-004 D/F DIRECTIONAL

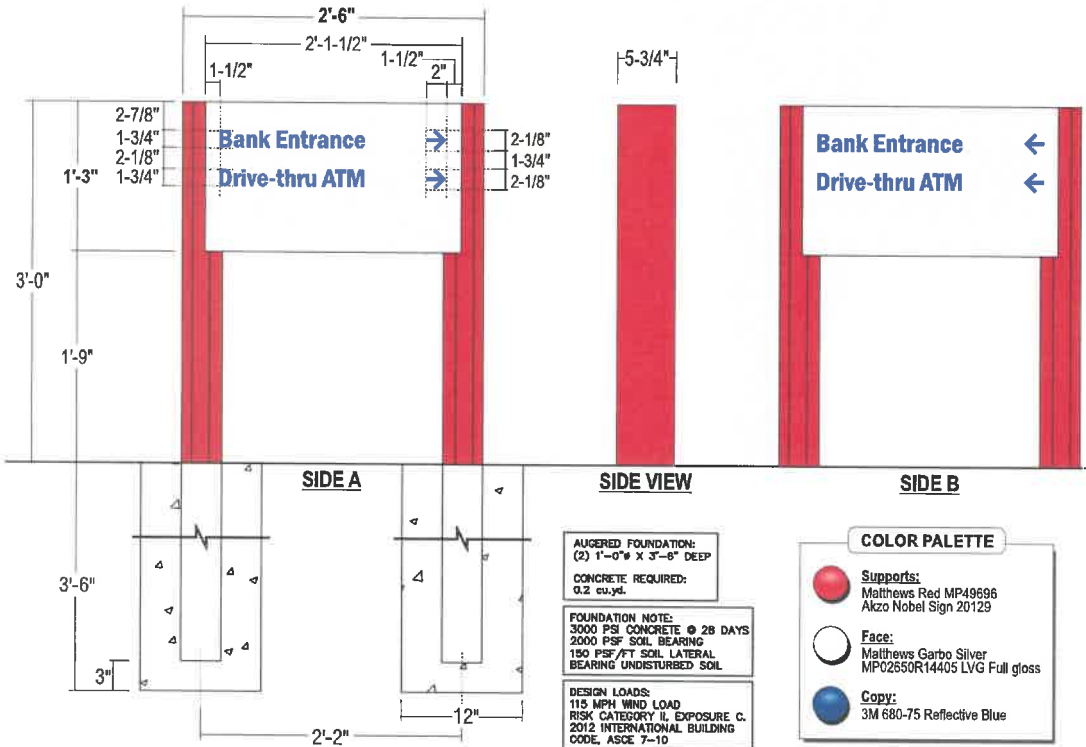
Scale: 1"=1'-0"

2.7 square feet

P1ng



TOP VIEW



SIDE A

SIDE VIEW

SIDE B

COLOR PALETTE

- **Supports:**
Matthews Red MP49696
Akzo Nobel Sign 20129
- **Face:**
Matthews Garbo Silver
MP02650R14405 LVG Full gloss
- **Copy:**
3M 680-75 Reflective Blue

FRAME: 1-1/2" x 1-1/2" angle frame; miter cut - weld & ground smooth at corners
Mechanically attached to support angles top & bottom - painted
Red semi-gloss finish
.090 alum. filler cap at top edge - painted Red SG

FACE: .125 alum. sign face painted Garbo Silver - gloss finish
Chemically welded to alum. angle frame

COPY: 3M Reflective blue vinyl copy;
Typeface - Franklin Gothic Demi Condensed

SUPPORTS: .090 break formed aluminum frame; cladding attaches to support tube;
weld to support tube verticals; painted Red semi-gloss finish

INSTALL: Asphalt to be core drilled; Direct burial of aluminum support tubes into
concrete footings. Install to meet all applicable city codes & engineering
requirements.

QUANTITY: (1) One sign required



**TYPICAL
ISOMETRIC VIEW**

EXISTING - SIDE A



EXISTING - SIDE B



EXISTING DIRECTIONAL TO BE REMOVED;
REMOVE SUPPORT POLES TO GRADE & CAP.
NEW SIGN TO BE INSTALLED FAR ENOUGH AWAY
TO ALLOW FOR NEW FOUNDATIONS.

StratusTM

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

6

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	406969	11/01/22 NS					

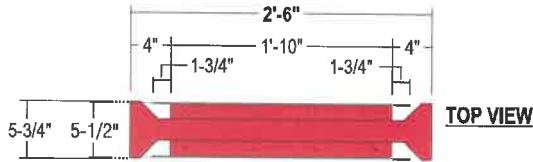
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXT-005 D/F DIRECTIONAL

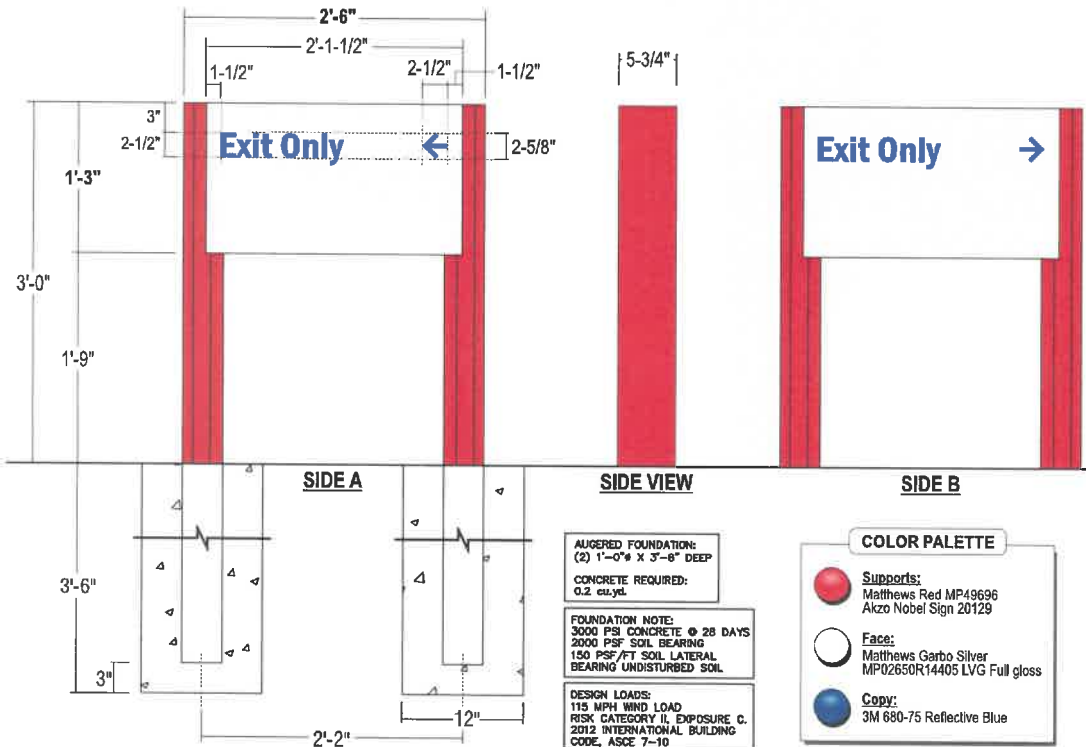
Scale: 1"=1'-0"

2.7 square feet

P1ng



TOP VIEW



SIDE A

SIDE VIEW

SIDE B

AUGERED FOUNDATION:
(2) 1'-0" x 3'-8" DEEP

CONCRETE REQUIRED:
0.2 cu.yd.

FOUNDATION NOTE:
3000 PSI CONCRETE @ 28 DAYS
2000 PSF SOIL BEARING
150 PSF/FT SOIL LATERAL
BEARING UNDISTURBED SOIL

DESIGN LOADS:
115 MPH WIND LOAD
RISK CATEGORY II, EXPOSURE C
2012 INTERNATIONAL BUILDING
CODE, ASCE 7-10

COLOR PALETTE

- Supports:**
Matthews Red MP49696
Akzo Nobel Sign 20129
- Face:**
Matthews Garbo Silver
MP02650R14405 LVG Full gloss
- Copy:**
3M 680-75 Reflective Blue

FRAME: 1-1/2" x 1-1/2" angle frame; miter cut - weld & ground smooth at corners
Mechanically attached to support angles top & bottom - painted
Red semi-gloss finish
.090 alum. filler cap at top edge - painted Red SG

FACE: .125 alum. sign face painted Garbo Silver - gloss finish
Chemically welded to alum. angle frame

COPY: 3M Reflective blue vinyl copy;
Typeface - Franklin Gothic Demi Condensed

SUPPORTS: .090 break formed aluminum frame; cladding attaches to support tube;
weld to support tube verticals; painted Red semi-gloss finish

INSTALL: Direct burial of aluminum support tubes into concrete footings.
Install to meet all applicable city codes & engineering requirements.

QUANTITY: (1) One sign required



**TYPICAL
ISOMETRIC VIEW**

EXISTING - SIDE A



EXISTING - SIDE B



EXISTING DIRECTIONAL TO BE REMOVED;
REMOVE SUPPORT POLES TO GRADE & CAP.
NEW SIGN TO BE ROTATED 90 DEGREES
TO FACE PERPENDICULAR TO TRAFFIC

StratusTM

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:
BANK OF AMERICA

ADDRESS:
1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:
7

ORDER NUMBER:
1182949

SITE NUMBER:
6124

ELECTRONIC FILE NAME:
K:\ACCOUNTS\BANK OF AMERICA\2022\NY6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:
4306

PROJECT MANAGER:
Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405969	11/01/22	NS				

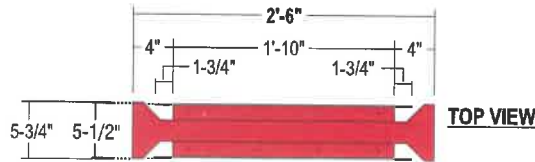
PROFILES ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXT-006 D/F DIRECTIONAL

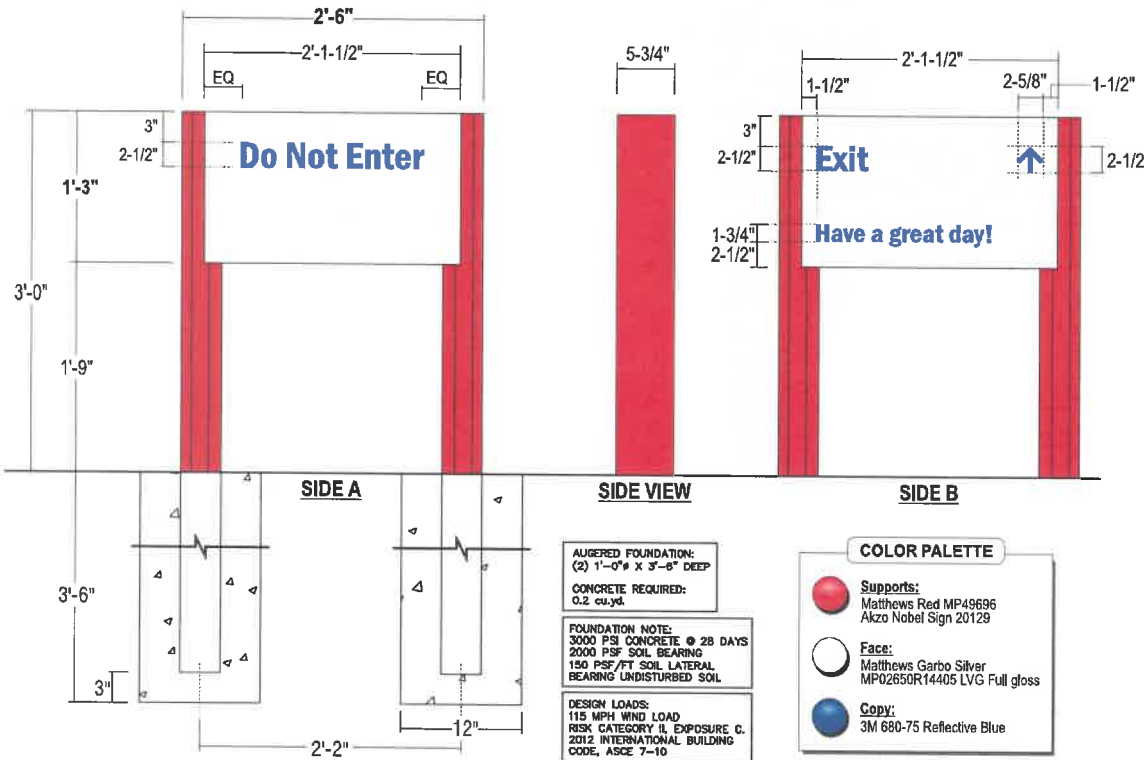
Scale: 1"=1'-0"

2.7 square feet

P1ng



TOP VIEW



SIDE A

SIDE VIEW

SIDE B

AUGERED FOUNDATION:
(2) 1'-0" x 3'-6" DEEP
CONCRETE REQUIRED:
0.2 cu.yd.

FOUNDATION NOTE:
3000 PSI CONCRETE @ 28 DAYS
2000 PSF SOIL BEARING
150 PSF/FT SOIL LATERAL
BEARING UNDISTURBED SOIL

DESIGN LOADS:
115 MPH WIND LOAD
RISK CATEGORY II, EXPOSURE C
2012 INTERNATIONAL BUILDING
CODE, ASCE 7-10

COLOR PALETTE

- Supports:**
Mathews Red MP49696
Akzo Nobel Sign 20129
- Face:**
Mathews Garbo Silver
MP02650R14405 LVG Full gloss
- Copy:**
3M 680-75 Reflective Blue

FRAME: 1-1/2" x 1-1/2" angle frame; miter cut - weld & ground smooth at corners
Mechanically attached to support angles top & bottom - painted
Red semi-gloss finish
.090 alum. filler cap at top edge - painted Red SG

FACE: .125 alum. sign face painted Garbo Silver - gloss finish
Chemically welded to alum. angle frame

COPY: 3M Reflective blue vinyl copy;
Typeface - Franklin Gothic Demi Condensed

SUPPORTS: .090 break formed aluminum frame; cladding attaches to support tube;
weld to support tube verticals; painted Red semi-gloss finish

INSTALL: Direct burial of aluminum support tubes into concrete footings.
Install to meet all applicable city codes & engineering requirements.

QUANTITY: (1) One sign required



TYPICAL ISOMETRIC VIEW

EXISTING - SIDE A



EXISTING - SIDE B



EXISTING DIRECTIONAL TO BE REMOVED;
REMOVE SUPPORT POLES TO GRADE & CAP.
NEW SIGN TO BE INSTALLED FAR ENOUGH AWAY
TO ALLOW FOR NEW FOUNDATIONS.

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

8

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405959	11/01/22 NS					

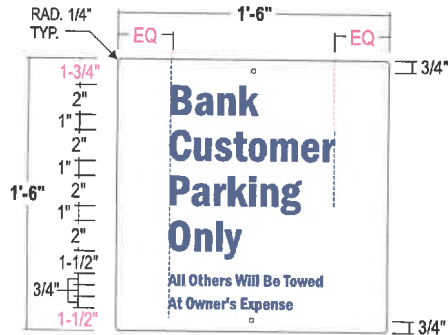
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, COPIED, OR OTHERWISE REPRODUCED WITHOUT THE PREVIOUS WRITTEN CONSENT OF STRATUS.

EXT-007 POLE MOUNTED REGULATORY SIGN

RW1ng - Bank Customer Parking w/ Optional Sub Copy

Scale: 1-1/2"=1'-0"

2.3 square feet



DETAIL - OPT. LAYOUT w/ SUB COPY

Scale: 1-1/2"=1'-0"



DETAIL - ROUND POLE BUCKLE BRACKETS

Scale: NTS

- FACE:** .125" Aluminum sign face w/ .25" radius corners. Paint entire sign Garbo Silver, semi-gloss finish. First surface decorate with reflective blue film copy. 1/4" thru holes centered in panel on top & bottom
- GRAPHICS:** Reflective blue film
- FONT:** Franklin Gothic Demi Condensed
- INSTALL:** Mount to existing pole using round pole buckle brackets as required
- QUANTITY** (1) One required

COLOR PALETTE



FACE:
Garbo Silver - Matthews
#MP02650R14405 LVG,
Semi-gloss finish



COPY:
3M #660-75 Reflective Blue

EXISTING CONDITIONS



EXISTING PANEL & BRACKETS
TO BE REMOVED & REPLACED

PROPOSED SIGNAGE

Scaled Proportionally



Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

9

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405959	11/01/22 NS					

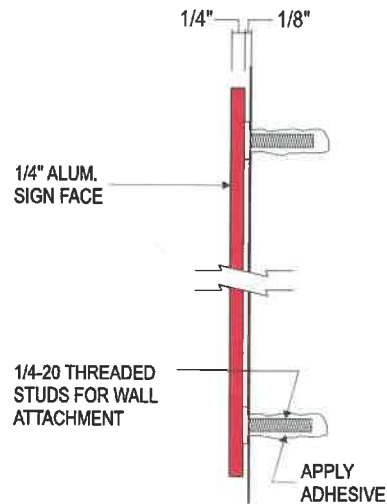
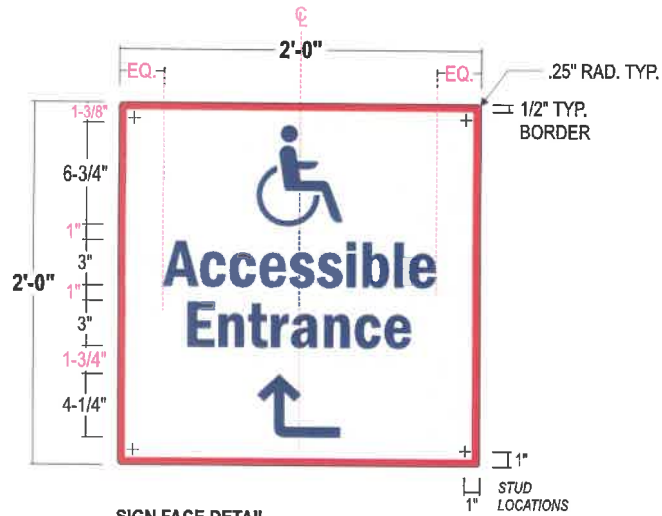
PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REPRESENTED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXT-008 ADA LARGE REGULATORY SIGN - WALL MOUNTED

Scale: 1-1/2"=1'-0"

HCD-1-Cng - ADA Accessible Entrance

4 square feet



COLOR PALETTE

- | | |
|---|---|
| <p>FACE:
Garbo Silver - Matthews
#MP02650R14405 LVG,
Semi-gloss finish</p> | <p>VINYL COPY:
Trans. Blue 3M 3630-8530
w/ Overlam 3M 3660M,
apply over Opaque White</p> |
| <p>BORDER:
Matthews Red MP49696
Akzo Nobel Sign 20129,
Satin finish</p> | <p>VINYL COPY:
Opaque White Vinyl
3M #7725-10</p> |

- SIGN FACE:** .25" Alum. with 1/4" radius corners. Paint entire sign Garbo Silver, semi-gloss finish. Mask face and paint 1/2" perimeter BOA Red, semi-gloss finish.
- GRAPHICS:** Translucent Blue film over White Opaque film. Verify all copy prior to fabrication.
- FONT:** Franklin Gothic Demi Condensed
- MOUNTING:** Weld threaded studs to second surface of sign face for wall attachment.
- INSTALL:** Attach to existing wall as required.
- QUANTITY** (1) one sign is required

EXISTING PANEL
TO BE REMOVED & REPLACED



EXISTING CONDITIONS



PROPOSED SIGNAGE

Scaled Proportionally

Stratus™

stratusunlimited.com

8859 Tyler Boulevard
Monterey, Ohio 44060

888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.

10

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

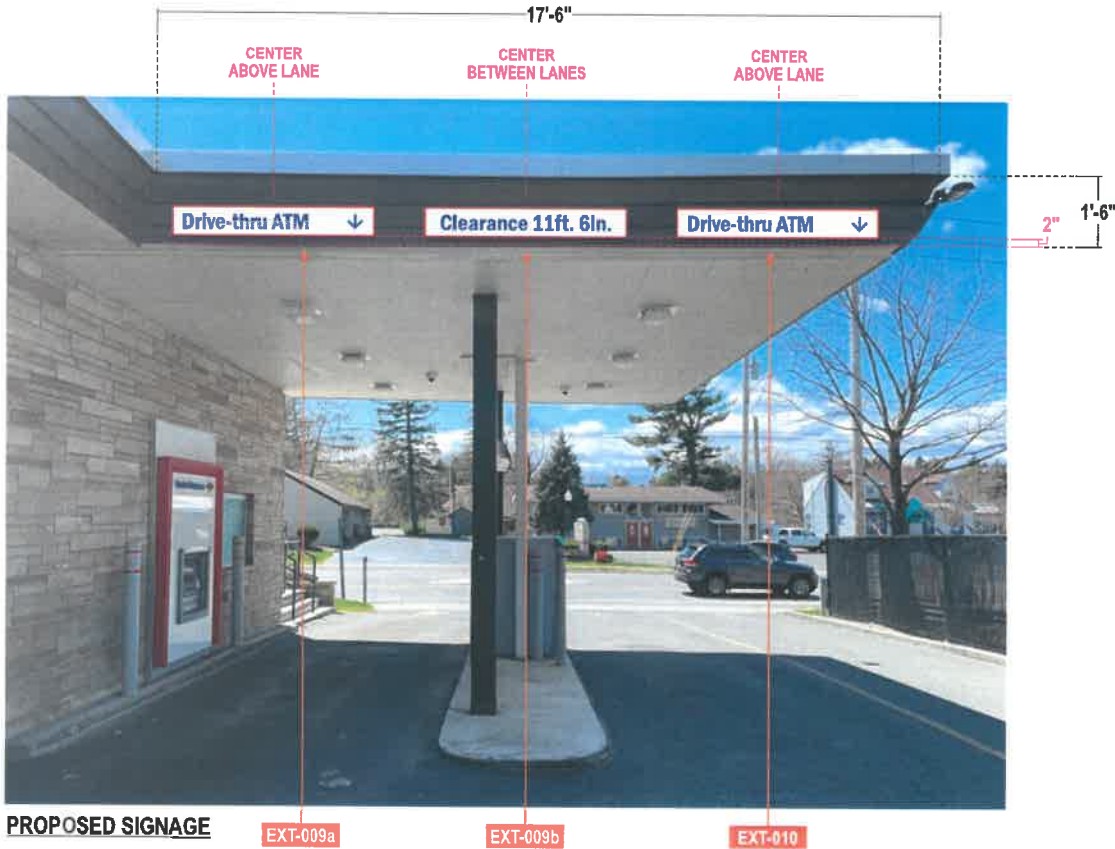
Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	406859	11/01/22	NS				

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

DRIVE-THRU ENTRANCE ELEVATION

Scale: 3/8"=1'-0"

EXISTING CONDITIONS



EXT-009
REMOVAL OF EXISTING
ELECTRONIC CANOPY SIGNS



EXISTING SIGNAGE TO BE REMOVED / REPLACED;
WALL TO BE REPAIRED AS REQUIRED;
FILL HOLES WITH MATCHING CAULKING.

StratusTM
stratusunlimited.com
8859 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:
BANK OF AMERICA

ADDRESS:
1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:
11

ORDER NUMBER:
1182949

SITE NUMBER:
6124

ELECTRONIC FILE NAME:
K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:
4306

PROJECT MANAGER:
Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405959	11/01/22 NS					

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, COPIED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.





Scale: 1-1/2"=1'-0"

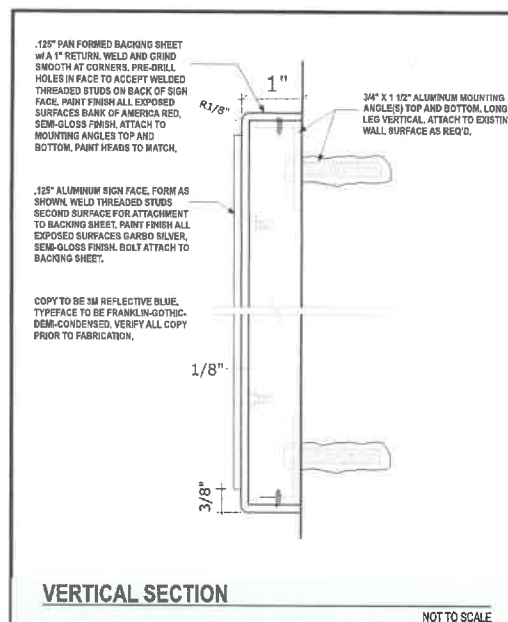
2.9 square feet



COLOR PALETTE

-  **Backer:**
Mathews Red MP49696
Akzo Nobel Sign 20129
-  **Face:**
Mathews Garbo Silver
MP02650R14405 LVG Full gloss
-  **Copy:**
3M 680-75 Reflective Blue

WALL TYPE	CMU, BRICK	PRE-CAST CONCRETE, CONCRETE	PREFERRED FOR ALL WALL TYPES WHEN POSSIBLE	EFB WALL W/ FOAM INSULATION
SECTION				
ANCHOR TYPE	#1/2" SLEEVE ANCHOR (SS/P ROD), 2" MIN. EMBEDMENT	#3/8" EXPANSION ANCHOR, 2 1/2" MIN. EMBEDMENT	#1/4"-3/8" THREADED ROD	#1/4"-3/8" THREADED R W ALUMINUM OR PVC COVERED INSUL SLEEVE

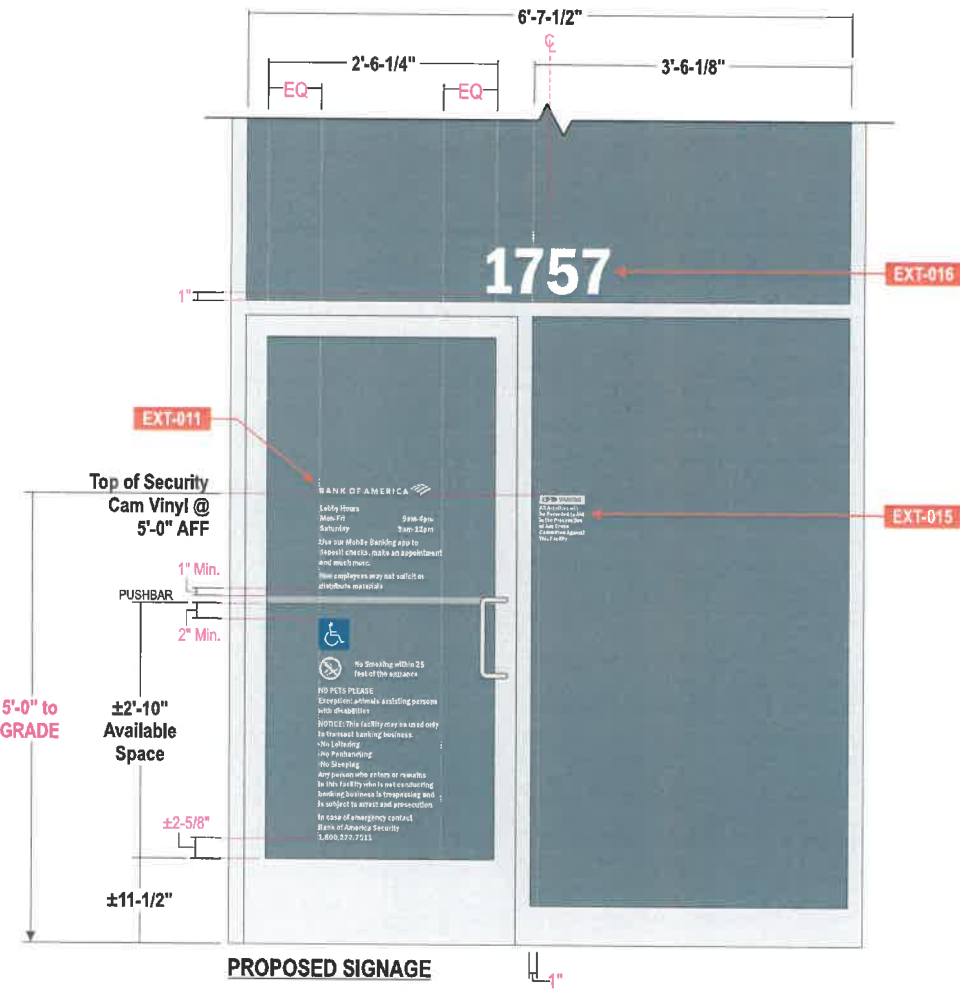


Patch and repair existing wall surface to like new condition. For brick or stone walls fill holes with matching silicone. Repaint to match existing color finish. Measure and verify clearance height prior to fabrication - deduct 2" from actual height for sign copy. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.


NORTHWEST ENTRANCE ELEVATION

Scale: 3/4"=1'-0"

EXISTING CONDITIONS



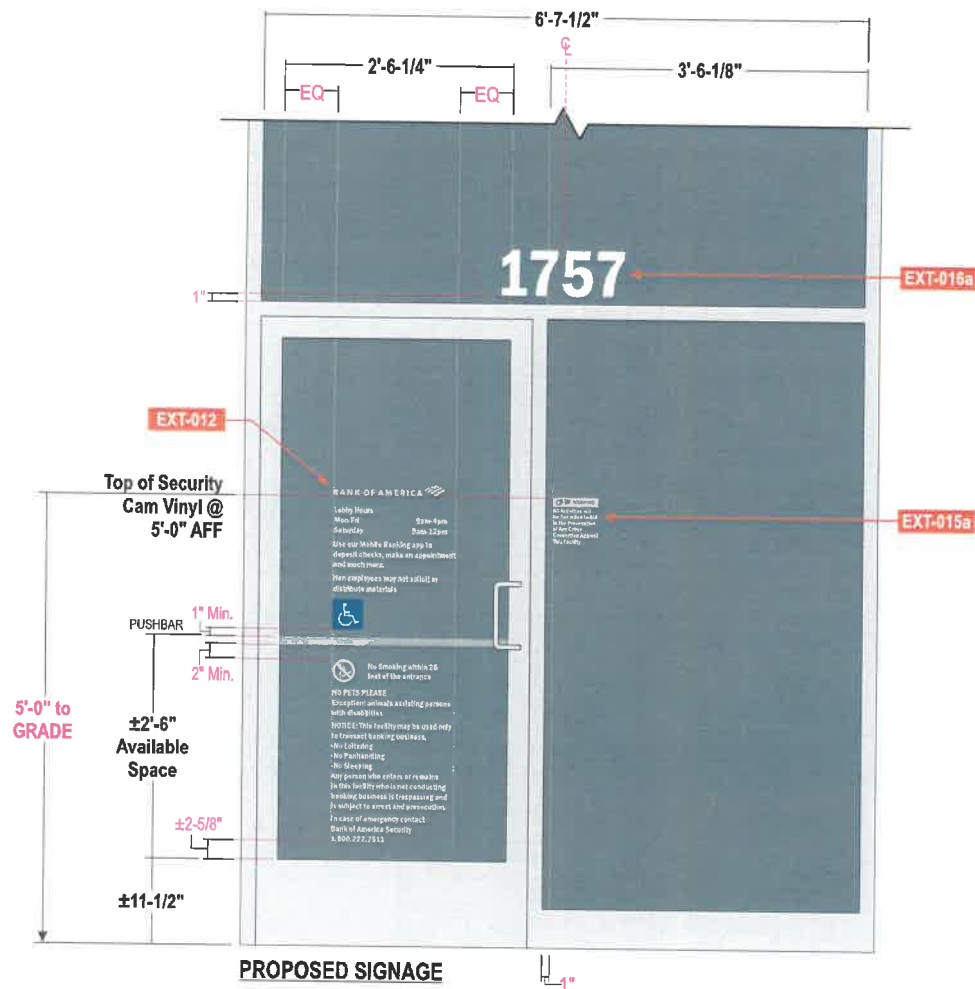
EXISTING VINYL TO BE REMOVED & REPLACED;
GLASS TO BE CLEANED OF ALL ADHESIVE RESIDUE
PRIOR TO NEW APPLICATION



stratusunlimited.com
8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT: BANK OF AMERICA	ORDER NUMBER: 1182949	PROJECT NUMBER: 4306	Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
ADDRESS: 1757 Union St Schenectady, NY 12309-6317	PAGE NO. 14	SITE NUMBER: 6124	PROJECT MANAGER: Brian Whitman	Original	406859	11/01/22 NS				
ELECTRONIC FILE NAME: K:\ACCOUNTS\BIBANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr				PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE COPIED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.						

Scale: 3/4"=1'-0"



EXISTING CONDITIONS



EXISTING VINYL TO BE REMOVED & REPLACED;
GLASS TO BE CLEANED OF ALL ADHESIVE RESIDUE
PRIOR TO NEW APPLICATION

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060

CLIENT:

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

15

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

[illegible]

PHOTO AND THE QUALITY PROPERTY OF VENATUS. THIS MATERIAL SHALL NOT BE UNCOLORED, COPIED, OR OTHERWISE REPRODUCED WITHOUT THE PREVIOUS WRITTEN CONSENT OF STRANGE.

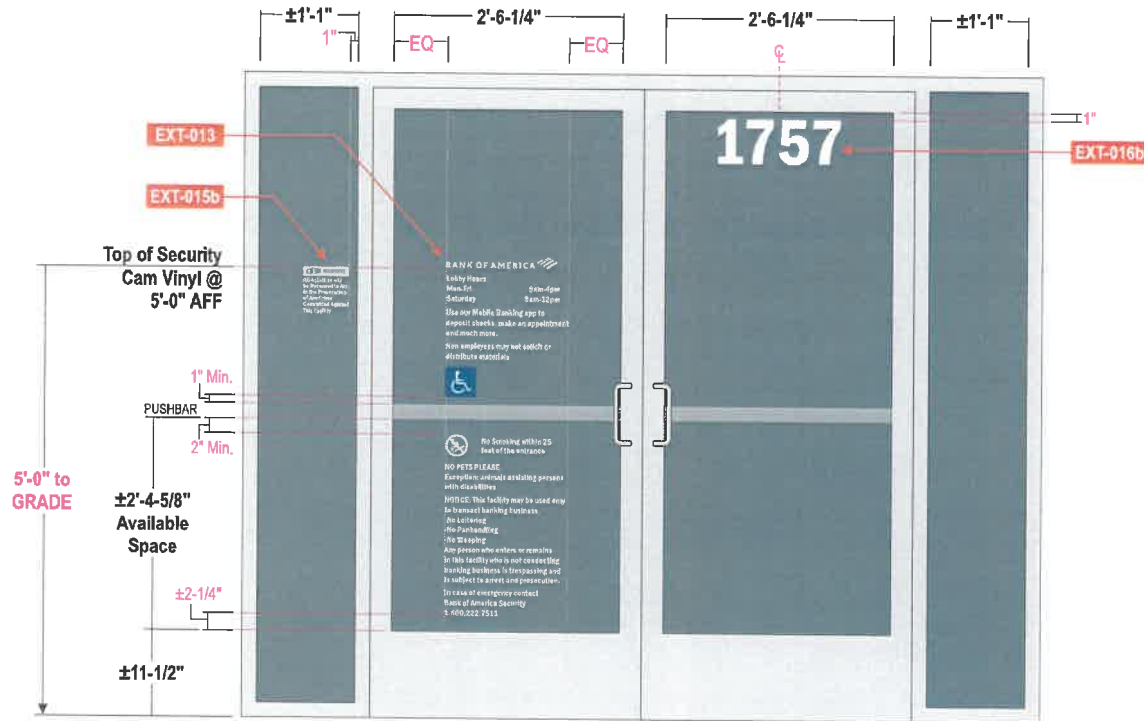
SOUTHEAST ENTRANCE ELEVATION

Scale: 3/4"=1'-0"

EXISTING CONDITIONS



EXISTING VINYL TO BE REMOVED & REPLACED;
GLASS TO BE CLEANED OF ALL ADHESIVE RESIDUE
PRIOR TO NEW APPLICATION



PROPOSED SIGNAGE

Stratus™

stratusunlimited.com

8859 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.

16

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description
Original	405959	11/01/22 NS	

Rev #	Req #	Date/Artist	Description

PHOTOS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REFINISHED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXT-011 ENTRANCE DOOR GRAPHICS - RETAIL CENTER, NY

Scale: 1-1/2"=1'-0"

**STANDARD with ADA DECAL - ENGLISH
(HIGH KICK PLATE)**

MATERIAL: White applied vinyl
3M #7725-10

FONT: Franklin Gothic Demi Condensed

APPLICATION: Apply all vinyl on first surface.

HANDICAP SYMBOL: Handicap symbol to be 3M IJ180c white digitally printed with a blue background to match PMS 7462C. Symbol to reverse out white. Overlamine with 3M 8520 matte overlamine. Finish to meet 70% gloss ADA compliance requirements. When required, always apply handicap vinyl to exterior of glass. Use only on Handicap accessible entrance doors.

QUANTITY: (1) One set required

NOTE: If entry door crash bar or other obstructions are on the front of the door, space copy above or below as required. Provide a minimum space of 1" above and 2" below the obstruction or crash bar. Maintain a minimum of 4" above bottom mullion.

If there is not enough space to apply necessary copy, convert to a door plaque. Placement of crash bar and dimensions of bottom mullion are shown in example only, field verify exact conditions prior to fabrication.

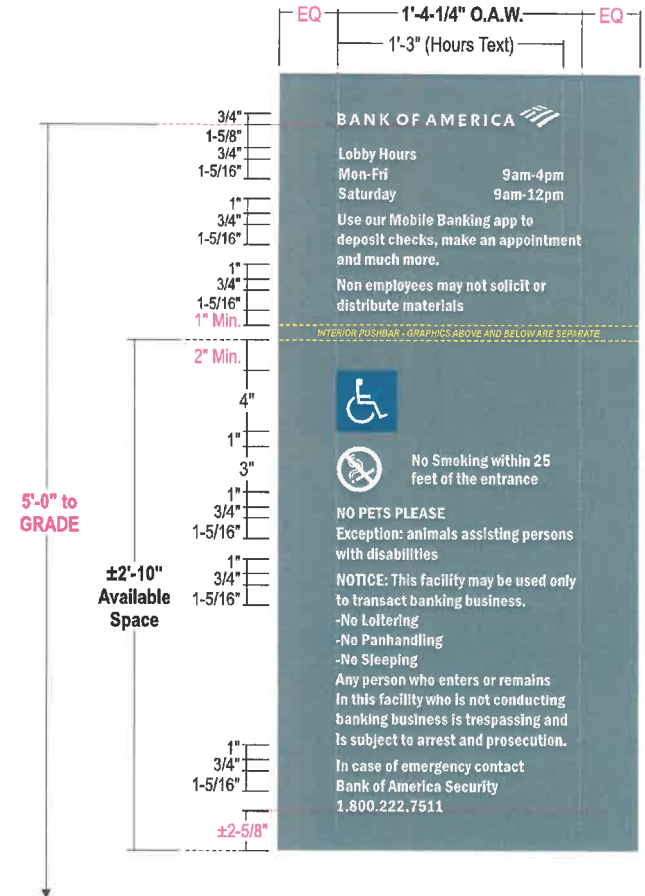
COLOR PALETTE



TEXT / GRAPHICS:
Opaque White Vinyl
3M #7725-10



HANDICAP SYMBOL:
Reverse digital print
Pantone #7462-C



Stratus™

stratusunlimited.com

8859 Tyler Boulevard
Mentor, Ohio 44060

888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

17

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	406959	11/01/22 NS					

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE PREWRITTEN CONSENT OF STRATUS.

STANDARD with ADA DECAL - ENGLISH
(HIGH KICK PLATE)

MATERIAL: White applied vinyl
3M #7725-10

FONT: Franklin Gothic Demi Condensed

APPLICATION: Apply all vinyl on first surface.

HANDICAP SYMBOL: Handicap symbol to be 3M IJ180c white digitally printed with a blue background to match PMS 7462C. Symbol to reverse out white. Overlamine with 3M 8520 matte overlamine. Finish to meet 70% gloss ADA compliance requirements. When required, always apply handicap vinyl to exterior of glass. Use only on Handicap accessible entrance doors.

QUANTITY: (1) One set required

NOTE: If entry door crash bar or other obstructions are on the front of the door, space copy above or below as required. Provide a minimum space of 1" above and 2" below the obstruction or crash bar. Maintain a minimum of 4" above bottom mullion.

If there is not enough space to apply necessary copy, convert to a door plaque. Placement of crash bar and dimensions of bottom mullion are shown in example only, field verify exact conditions prior to fabrication.

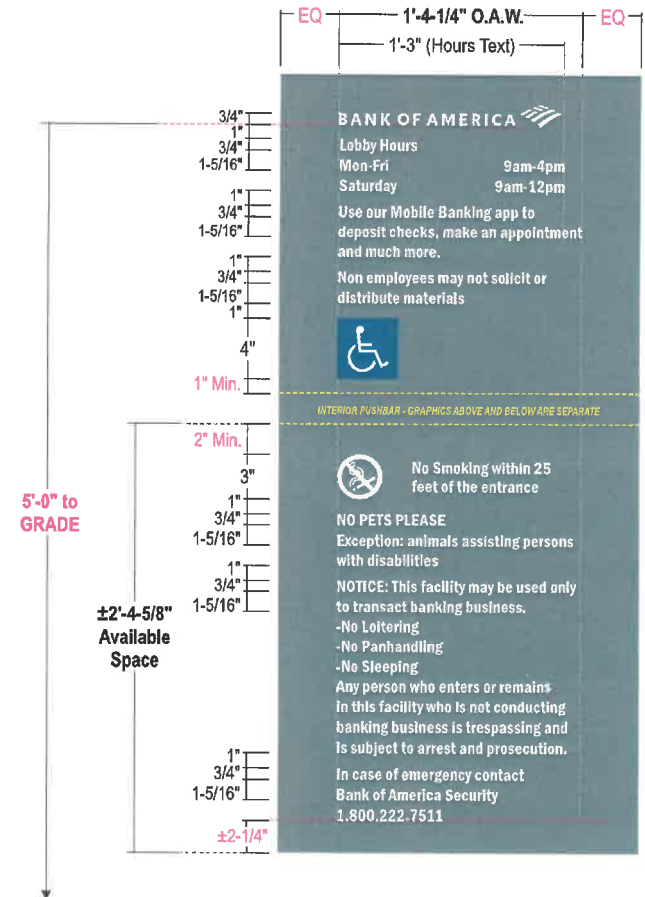
COLOR PALETTE



TEXT / GRAPHICS:
Opaque White Vinyl
3M #7725-10



HANDICAP SYMBOL:
Reverse digital print
Pantone #7462-C



Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

19

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405859	11/01/22 NS					

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE REPRODUCED WITHOUT THE WRITTEN CONSENT OF STRATUS.

Scale: $\frac{3}{8}''=1'-0''$

Scale: $\frac{3}{8}''=1'-0''$



PROPOSED SIGNAGE

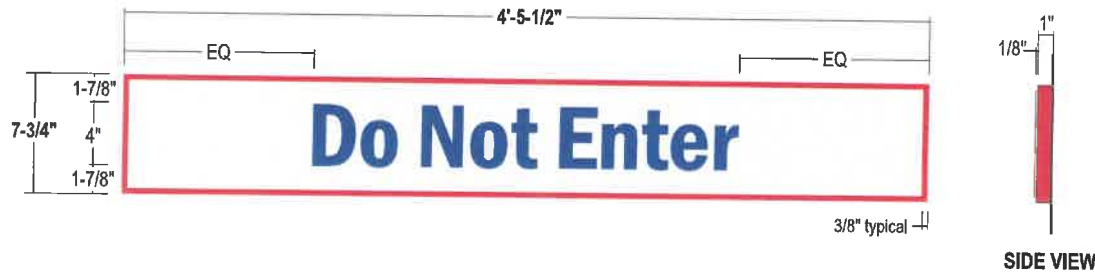
[illegible]

EXT-014 SMALL S- TYPE REGULATORY DIRECTIONAL/ INFORMATIONAL SIGNS

Scale: 1-1/2"=1'-0"

SS2ng - Directional Regulatory

2.9 square feet



BACKER: .125 pan formed aluminum w/ 1" return; Weld & grind smooth at corners
Pre-drilled holes in face of backer to accept studs from sign face
Painted Red - semi gloss finish

FACE: .125 aluminum sign face painted Garbo Silver - semi gloss finish
Threaded rods welded to backside to bolt into 1" deep backer

COPY: 3M Reflective blue vinyl; Typeface - Franklin Gothic Demi Condensed

WALL MATERIAL: Wood

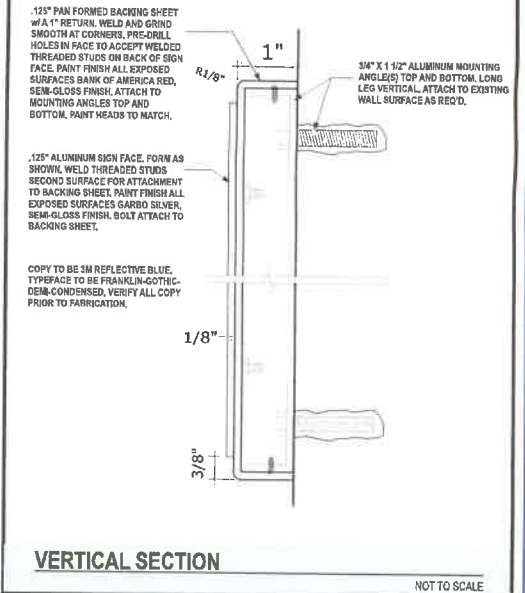
INSTALL: Backer to have 3/4" x 1-1/2" alum. mounting angles top & bottom installed to backer using SS c/s flat head screws thru returns
Attach flush to wall surface; Lag into blocking

QUANTITY: (1) One canopy sign required

COLOR PALETTE



WALL TYPE	CMU, BRICK	PRE-CAST CONCRETE, CONCRETE	PREFERRED FOR ALL WALL TYPES WHEN POSSIBLE	EFS WALL W/ FOAM INSULATION
SECTION				
ANCHOR TYPE	#1/2" SLEEVE ANCHOR (#3/8" BOLT), 2" MIN. EMBEDMENT	#3/8" EXPANSION ANCHOR, 2 1/2" MIN. EMBEDMENT	#1/4"-3/8" THREADED ROD	#1/4"-3/8" THREADED ROD W/ ALUMINUM OR PVC COMPRESSION SLEEVE



VERTICAL SECTION

NOT TO SCALE

Patch and repair existing wall surface to like new condition. For brick or stone walls fill holes with matching silicone. Repaint to match existing color finish. Measure and verify clearance height prior to fabrication - deduct 2" from actual height for sign copy. Field verify dimensions of the sign & surrounding space shown in the proposed image. If the field verification indicates that the sign will not fit, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing.

Stratus™

stratusunlimited.com
8858 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569

CLIENT:

BANK OF AMERICA

ADDRESS:

1757 Union St
Schenectady, NY
12309-6317

PAGE NO.:

21

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev # Req # Date/Artist Description

Original 405959 11/01/22 NS

Rev # Req # Date/Artist Description

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, COPIED, REPRODUCED OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.

EXT-015 ENTRANCE DOOR GRAPHICS

Scale: 1:2

EXT-015a SECURITY CAMERA VINYL**EXT-015b**

MATERIAL: White applied vinyl
3M #7725-10

FONT: Franklin Gothic Demi Condensed

APPLICATION: Apply all vinyl on first surface.

PREF. INSTALL: Applied to sidelight next to entrance, 1" from frame on glass

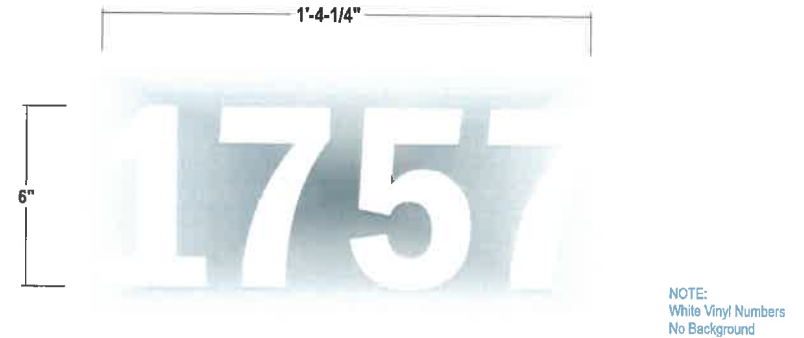
QUANTITY: (3) Three sets required

COLOR PALETTE

Applied Vinyl:
Opaque White Vinyl
3M #7725-10

EXT-016 ENTRANCE DOOR GRAPHICS

Scale: 3"=1'-0"

EXT-016a ADDRESS VINYL**EXT-016b**

MATERIAL: White applied vinyl
3M #7725-10

FONT: Franklin Gothic Demi Condensed

APPLICATION: Apply all vinyl on first surface.

PREF. INSTALL: Applied to transom above entrance, 1" from mullion

QUANTITY: (3) Three sets required

COLOR PALETTE

Applied Vinyl:
Opaque White Vinyl
3M #7725-10

Stratus™

stratusunlimited.com

8959 Tyler Boulevard
Mentor, Ohio 44060
888.503.1569**CLIENT:****BANK OF AMERICA****ADDRESS:**1757 Union St
Schenectady, NY
12309-6317**PAGE NO.:**

22

ORDER NUMBER:

1182949

SITE NUMBER:

6124

ELECTRONIC FILE NAME:

K:\ACCOUNTS\BANK OF AMERICA\2022\NY\6124_Schenectady\4306_6124_Schenectady.cdr

PROJECT NUMBER:

4306

PROJECT MANAGER:

Brian Whitman

Rev #	Req #	Date/Artist	Description	Rev #	Req #	Date/Artist	Description
Original	405959	11/01/22 NS					

PRINTS ARE THE EXCLUSIVE PROPERTY OF STRATUS. THIS MATERIAL SHALL NOT BE USED, REPRODUCED, OR OTHERWISE REPRODUCED WITHOUT THE PRIOR WRITTEN CONSENT OF STRATUS.



PROPOSED SIGNAGE



EXISTING CONDITIONS



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 4/17/2023

ITEM TITLE: DISCUSSION: Antonia Park / Polsinelli Dr. (40.-1-54.11) -- An application for plat plan approval for a 2-lot minor subdivision and lot line adjustment.

PROJECT LEAD: Ms. Gold

APPLICANT: Fred Polsinelli, Executor of the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Fred Polsinelli, Executor for the estate of Vincenza Polsinelli, submitted an Application for Site Plan Review for a 2-Lot minor subdivision including a lot line adjustment for Homestead Place at Antonia Park (parcel 40.-1-54.11).

A public hearing regarding the proposed subdivision was held earlier in the meeting this evening. A Town Designated Engineering (TDE) review of the technical project materials is in process and a first comment letter is expected on 4/14/23 and will be discussed at the meeting.

BACKGROUND INFORMATION

The property is located within the R-1 Low Density Residential zoning district.

A site plan drawing entitled "Homestead Place at Antonia Park Section 9" authored by Gilbert VanGuilder Land Surveyor, PLLC" dated 10/17/22 with a most recent revision date of 12/5/22 was included with the application. The drawing shows the original 8.43 Acre property being divided as noted below.

1. Lot 1 – is a new lot that is 3.10 Acres in size
2. Lot 2 – is a new lot that is 3.02 Acres in size
3. Remaining Area – is 2.31 Acres in size and will be annexed to Lecce Development Corp.

Access to a Town water line is available at the end of the stub road (Polsinelli Dr.). Access to a Town sewer line is available at the intersection of the stub road and Rosehill Blvd.

The Planning Department will work with the applicant on previous wetland delineations on the property to ensure wetlands are properly identified and documented. The PD also recommends adding contours to the sketch plan to make sure drainage channels are properly identified.

The lands to the south of this parcel are deed restricted for no further development – the lands to the west are not. It would be good to discuss whether or not the back parcel of this property can be deed restricted when it is transferred to the adjacent property owner, Lecce Development Corp.

1/9/23 Planning Board meeting – Mr. Polsinelli appeared before the Board and explained his proposed project. The Planning Office and Planning Board requested that the following be added to the sketch plan drawing.

1. Contour lines so that drainage channels are properly identified.
2. Deed restrictions to prevent subsequent subdivision.
3. Water and sewer connections.

A revised site plan drawing with a revision date of 1/20/23 was provided to the Planning Office.

2/1/23 Conservation Advisory Council (CAC) meeting – The CAC reviewed the project and made the following recommendations.

1. Include the delineation of all wetlands on the property on the site plan drawing.
2. Include provisions that the newly created lots shall not be subdivided.
3. Have a TDE review the utility service and drainage for the property.

On 2/6/23 the applicant's engineer provided the following 6-page sketch plan drawing set to the Planning Office.

Page No.	Title	Author	Rev
1	Homestead Place at Antonia Park	Gilbert VanGuilder Land Surveyor, PLLC	1/20/23
2	Overall Site Plan	Brett Steenburgh, P.E. PLLC	2/3/23
3	Detailed Grading & Utility Plan	Brett Steenburgh, P.E. PLLC	2/3/23
4	E & SC Plan	Brett Steenburgh, P.E. PLLC	2/3/23
5	Details	Brett Steenburgh, P.E. PLLC	2/3/23
6	Details	Brett Steenburgh, P.E. PLLC	2/3/23

The Planning Office reviewed the 6-page drawing set relative to the PB and CAC requests listed above and noted the following.

No.	Description of Request	Status
1	Add contour lines and drainage paths	Contour lines added to pg. 3 but proposed drainage plan adds a new catch basin feeding an existing closed pipe Town storm water system that is already at maximum capacity
2	Deed restrict additional subdivision	A future subdivision note is included on pg. 3 but it only refers to "lot 4", two different lots are also identified as lot 2.
3	Show water and sewer connections	Shown on dwg. but an analysis should be performed to assure that the existing town utility systems can support the proposed connections.
4	Include wetland delineation	Wetlands are shown in the back lot but a reference note indicates the delineation is from a survey performed in 2006. A more recent survey is appropriate.

2/13/23 Planning Board (PB) meeting – Brett Steenburgh, P.E., the applicant's engineer, attended the meeting. He explained that Mr. Lecce disagreed with deed restricting potential future subdivision of the land that will be annexed to his property via lot line adjustment. After a short discussion it was agreed that the same "Future Subdivision Note" that is included in the 4-Lot Vincenzo Drive subdivision drawing will be added to the Antonia Park / Polsinelli Dr. 2-Lot subdivision drawing. The note reads as follows.

"Any future subdivision of the unrestricted lands of Lot 4 will require a major subdivision review as required under the Town of Niskayuna subdivision law at that time".

Ms. Robertson asked Mr. Steenburgh to reach out to the Town's Engineering Department immediately to discuss utilities because there were issues with sewer and drainage. The Board called for a resolution for sketch plan approval, SEQR determination and call for a public hearing for the 2/27/23 PB meeting.

2/27/23 Planning Board (PB) meeting – The PB discussed Resolution 2023-06 thereby approving the sketch plan, directing the Town Planner to file a Negative SEQR declaration with (4) comments from the Conservation Advisory Council (CAC) included and calling for a public hearing to be held on March 13, 2023.

Mr. Polsinelli spoke with the Planning Board at the 2/27/2023 and requested that the public hearing be postponed to 3/27/2023. The Planning Department did not file the public hearing in time for this meeting – therefore the resolution should be amended to call for a public hearing at the next available Planning Board meeting, April 17, 2023. The Planning Board took action on this resolution prior to the discussion item this evening.

Due to the unintentional delay and the unusual circumstance of only one PB meeting in April – the Planning Department recommends also calling for a tentative resolution for approval at the April 17, 2023, which can be tabled if there is significant public comment requiring additional items to be addressed. The Planning Department will work on hiring a TDE by April 17 for this project.

The applicant had a meeting with the Engineering Department discussing the issues with connecting into the Town Sewer line. The Engineering Department is currently working on flow metering of the sewer line and is communicating with the DEC on these two potential connections to this line. Because this is an outstanding item, the Planning Board can consider a condition in the resolution that delays the allowance of any building permit until the sewer connections can be made (subject to Town Attorney approval).

3/27/23 Planning Board (PB) meeting – The Board quickly reviewed the project, called for a public hearing to be held at the 4/17/23. The Planning Office noted that a Town Designated Engineer (TDE) had been selected.

Although the Board stated they would be okay calling for a tentative resolution –based on the timeline for selecting the TDE, the Planning Department has delayed this proposed action until it and the Board have time to digest the TDE comments and public concerns. Therefore no resolution is proposed for the Board meeting at the April 17 meeting.

The TDE Comment letter indicates comments and clarifications on the SEAF, requests clearly delineating the wetland 25 foot buffer on the plan, requests confirmation from the applicant on some water and sewer details and well as confirmation from the Town Engineering Department on any existing downstream drainage issues, requests contours along the northern lot line to

understand drainage there and requests additional details in the stormwater management report. The letter is attached.

The Planning Department also had an internal meeting with the Highway Department, who requested snow removal areas be delineated on the drawings as well as more separation of the driveways from the initial end of the Town owned street (for maintenance and snow removal purposes).

The PB should absorb feedback from the public hearing and the TDE comment letter and consider calling for a tentative resolution for the 5/8/23 PB meeting if they feel the comments can be addressed.



KB Group of NY, Inc. dba PRIME AE Group of NY

Albany Office

100 Great Oaks Boulevard | Suite 114 | Albany, New York 12203
P: 518.382.1774

April 14, 2023

Laura Robertson, AICP
Town Planner
One Niskayuna Circle
Niskayuna, NY 12309

Re: Town of Niskayuna
Polsinelli Drive 2-Lot Subdivision Review
Our Project No. 23362

Dear Mrs. Robertson,

We are in receipt of the Short Environmental Assessment Form (SEAF) Part 1 dated 12/6/2022, CAC SEQR Findings EAF dated 2/1/2023, Site Plan dated revised on 1/20/2023, and Stormwater Management Report dated 4/7/2023 as prepared by Brett L. Steenburgh, P.E. PLLC. The Applicant proposed a 2-lot subdivision located on 8.43 +/- acres in the Town of Niskayuna, tax map 40.-1-54.11. The project would consist of 2 proposed building lots with the remaining 2.32 +/- acres of land to be annexed to Lecce Development co. LL. Based on our review of the Stormwater Management Report we provide the following comments:

Short Environmental Assessment Form:

1. The Applicant indicated in their response to question 17 that there will be no storm water discharge. As the Proposed Project includes two residential homes and two paved driveways that are increasing the pervious cover of the site, we suggest the Applicant change their answer to question 17 and answer the following questions 17.a and 17.b.

CAC SEQR Findings EAF:

1. As per the CAC comments, historic wetlands and wetlands are requested to be shown on the site plan.
2. As per CAC comments, a 25-foot buffer from wetlands and historic wetlands is requested to be shown on the site plan.

Site Plan:

1. Please confirm and label onsite the site plan that there is 10-foot horizontal separation distance between water and sanitary laterals.
2. If existing contours on the residential properties to the north and northeast of the parcel to be developed were shown, it would help to determine the potential impacts for runoff from the proposed development.
3. The Town Engineering Department should be consulted about any existing downstream storm sewer issues from the proposed project discharge on Polsinelli Drive.
4. The applicant should obtain information from the Town Engineering Department about the connection requirements for the water services, sanitary sewer laterals and storm sewer connection.
5. Please provide callouts and references to the corresponding details of the erosion and sediment control practices depicted on the E & SC Plan.



CONNECTING. CREATING. CONSERVING. COMMUNITY.
www.primeeng.com

6. A Detail of the Subsurface Detention Area should be provided in plan view and longitudinal section (only the transverse section has been provided) so that the perforated piping can be verified to be distributing the flows throughout the entire practice.

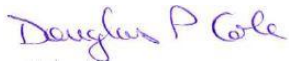
Stormwater Management Report:

1. Infiltration trenches are shown along the house drip edges and driveways, however, it was also mentioned that the soil is not suitable for infiltration (soil group D). Please clarify.
2. Please provide brief descriptions of the erosion and sediment control practices to be employed during construction in the report.
3. Please include an O&M discussion for the proposed infiltration trench and subsurface stone detention basin, as the practices will need to be properly maintained by the homeowners in the future.
4. Please clarify how sediment in the drip edge and driveway infiltration trenches will be addressed.
5. Please provide dimensions, material specifications and installation details for the post-construction practices proposed.
6. Please provide the NYSDEC worksheets for the infiltration trench and subsurface stone detention area that were used for sizing the practices.
7. Are sump pump discharges from both homes utilized in the surface runoff calculations? Can they be directed to the storm sewer?

If you have any questions, please feel free to contact me.

Sincerely,

KB Group of NY, Inc. dba PRIME AE Group of NY

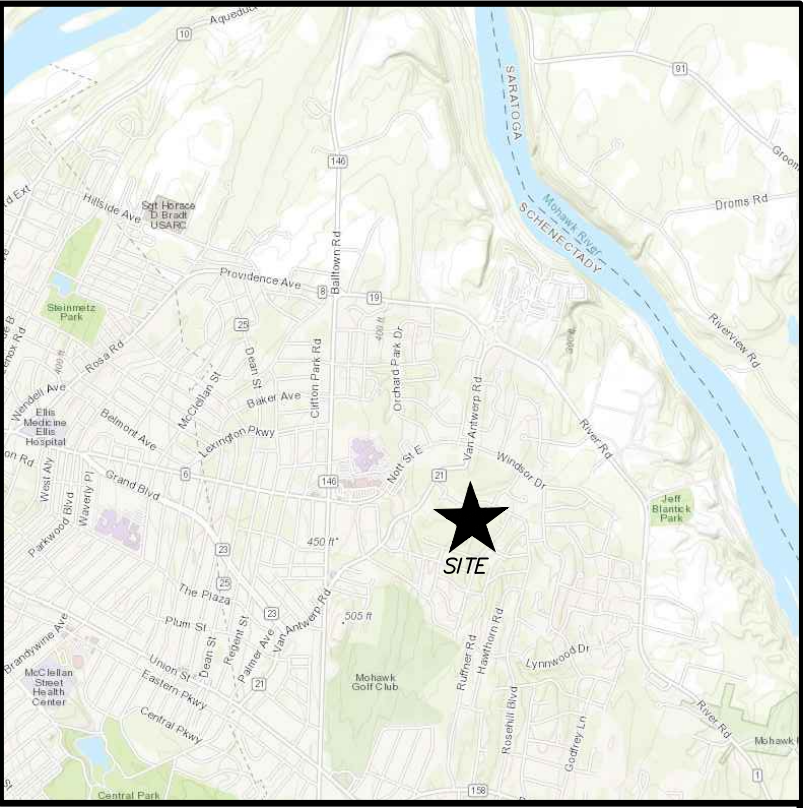


Douglas P. Cole, P.E.

Senior Director of Engineering

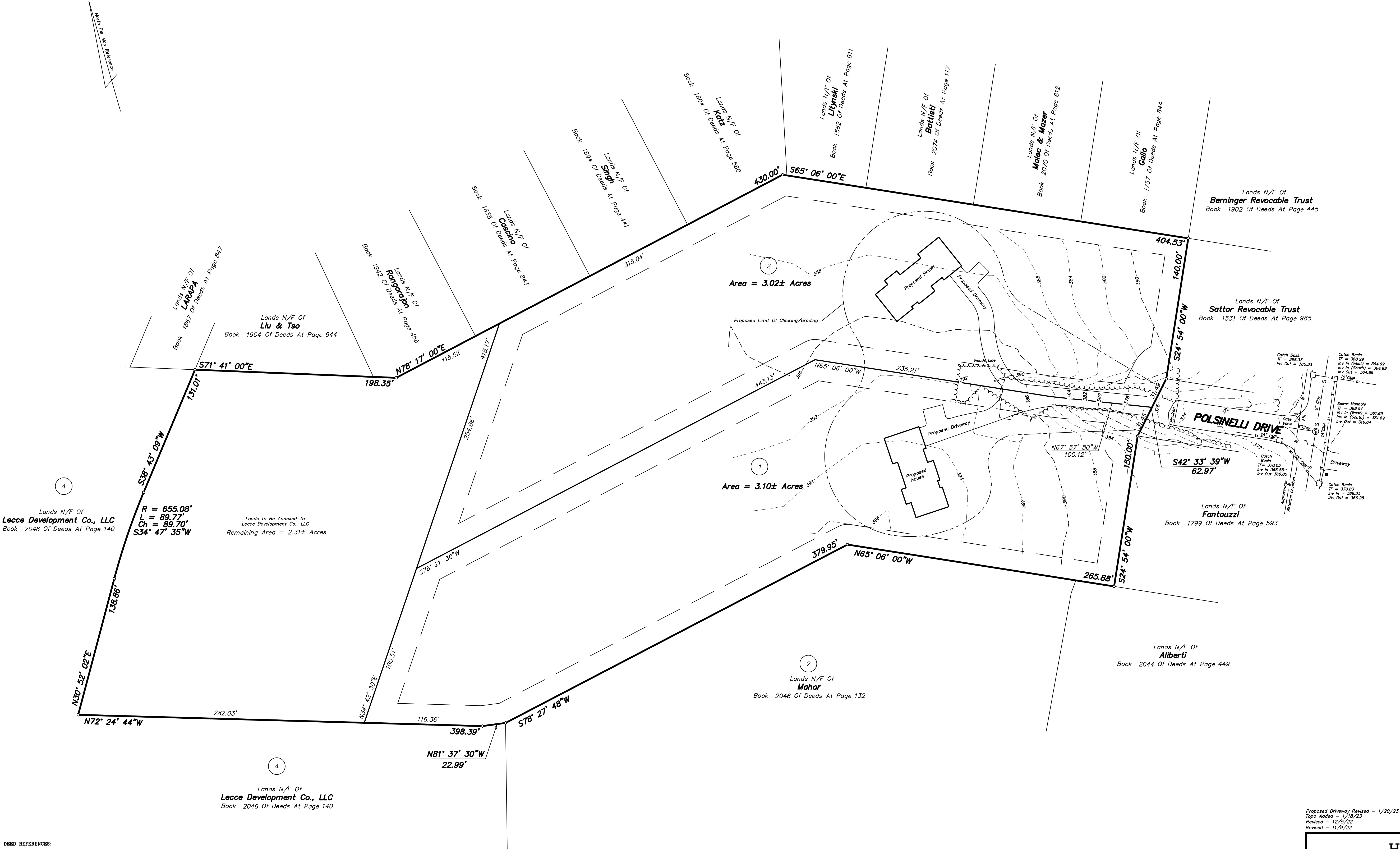
cc: Matthew Yetto, Superintendent of Water, Sewer, and Engineering
Clark A. Henry, Assistant Town Planner
Brett Steenburgh, P.E.





SITE LOCATION

SITE STATISTICS:
ZONING: R-1 SINGLE FAMILY DWELLING
MIN. LOT SIZE - 18,000 SQ. FT.
MIN. WIDTH - 100 FT.
MIN. DEPTH - 125 FT.
MIN. FRONT SETBACK - 35 FT.
MIN. SIDE SETBACK - 20 FT./BOTH 40 FT.
MIN. REAR SETBACK - 25 FT.



DEED REFERENCES:
CONVEYANCE TO VINCENZA POLSINELLI BY DEED RECORDED IN THE SCHENECTADY COUNTY CLERK'S OFFICE IN BOOK 1851 OF DEEDS AT PAGE 649.

MAP REFERENCE:
MAP ENTITLED, "ANTONIA PARK SECTION 10" DATED JUNE 18, 1990 PREPARED BY C.T. MALE ASSOCIATES, P.C.

- NOTES:
1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE AND/OR TITLE REPORT AND MAY BE SUBJECT TO WHATEVER STATEMENT OF FACTS THEY MAY REVEAL.
 2. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
 3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
 4. COPYRIGHT © 2022 BY GILBERT VANGUILDER LAND SURVEYOR, PLLC. ALL RIGHTS RESERVED. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND/OR COPYRIGHT HOLDER IS OBTAINED.
 5. THE PRESENCE OF WETLANDS WAS INVESTIGATED WITHIN THE LIMITS OF PROPOSED GRADING AND CLEARING ON MULTIPLE OCCASIONS DURING THE GROWING SEASON 2022. NONE WERE IDENTIFIED.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES OF THIS SURVEY MAP BEARING THE LAND SURVEYOR'S ORIGINAL SIGNATURE AND EMBOSSED SEAL SHALL BE CONSIDERED VALID.

Proposed Driveway Revised - 1/20/23
Tape Added - 1/18/23
Revised - 12/5/22
Revised - 11/9/22

HOMESTEAD PLACE AT
ANTONIA PARK
SECTION 9

TOWN OF NISKAYUNA		SCHENECTADY COUNTY, NEW YORK	
MAP NUMBER: 23 - 22 - 12	SCALE: 1" = 50'	DATE: OCTOBER 17, 2022	

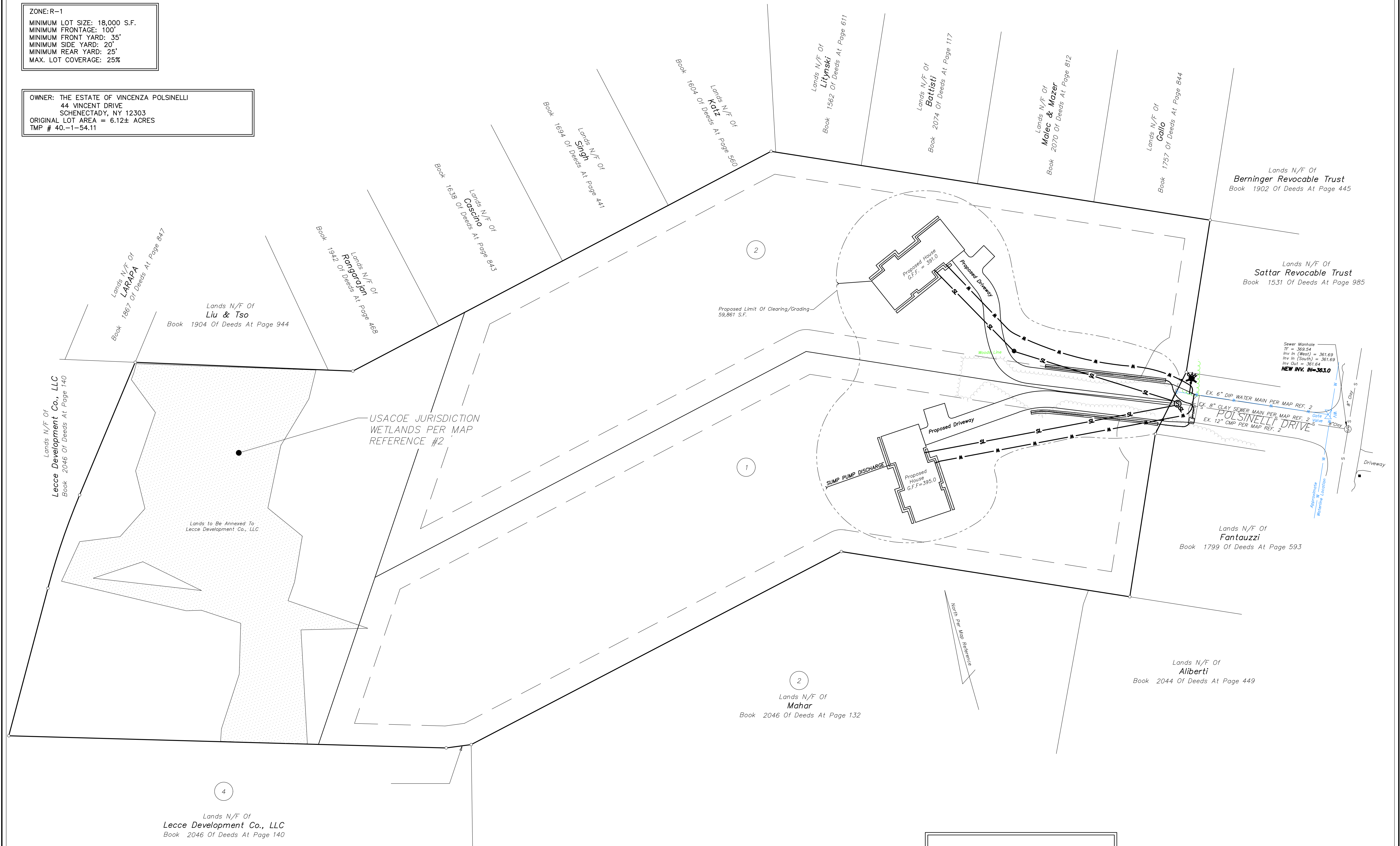
Gilbert VanGuilder
Land Surveyor, PLLC

Professional Land Surveyors
988 Route 146, Clifton Park, New York 12065
Telephone: (518) 383-0634
gvglandsurveyors.com

KEVIN H. WEED, P.L.S. No. 51,005

ZONE: R-1
 MINIMUM LOT SIZE: 18,000 S.F.
 MINIMUM FRONTAGE: 100'
 MINIMUM FRONT YARD: 35'
 MINIMUM SIDE YARD: 20'
 MINIMUM REAR YARD: 25'
 MAX. LOT COVERAGE: 25%

OWNER: THE ESTATE OF VINCENZA POLSINELLI
44 VINCENT DRIVE
SCHENECTADY, NY 12303
ORIGINAL LOT AREA = 6.12± ACRES
TMP # 40.-1-54.11



CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH

TOWN ENGINEER MATTHEW YETTO, PE

MAP REFERENCES:

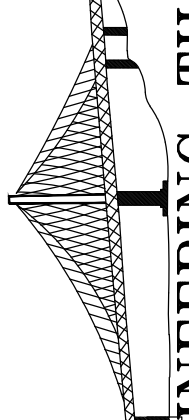
1. MAP ENTITLED "HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" AS PREPARED BY GILBERT VANGUILDER LAND SURVEYOR PLLC AND DATED OCTOBER 17, 2022.
2. MAP ENTITLED "PRELIMINARY PLAT HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" PREPARED BY RAYMOND L. GEMME, PE, LS AND DATED 11/20/2006

OVERALL SITE PLAN
FRED POLSINELLI

POLSINELLI DRIVE
TOWN OF NISKAYUNA
COUNTY OF SCHENECTADY
STATE OF NEW YORK

DRAWN BY: BLS CCADD FILE: CHECKED BY: JOB NO.	SCALE: 1" = 40'
--	-----------------

BRETT L. STEENBURGH, P.E. PLLC



2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675

**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

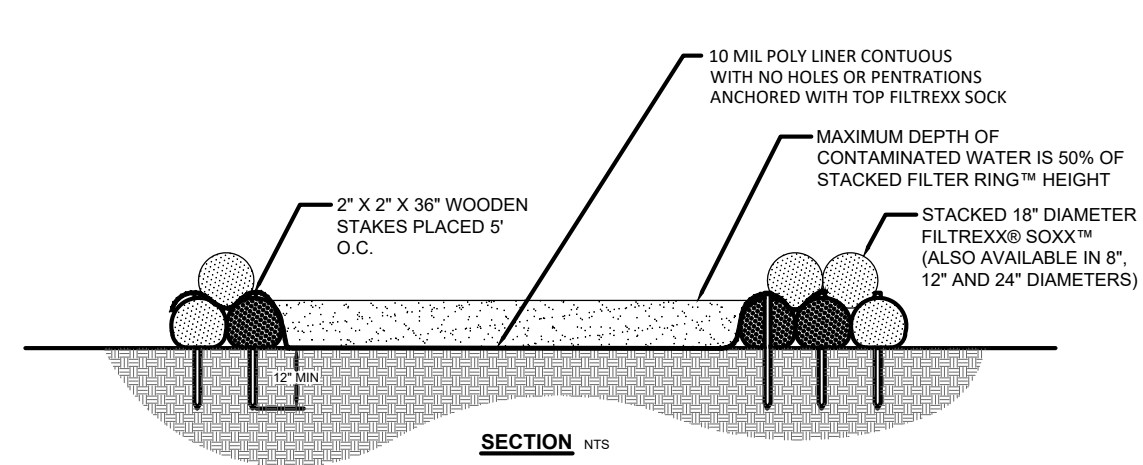


Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

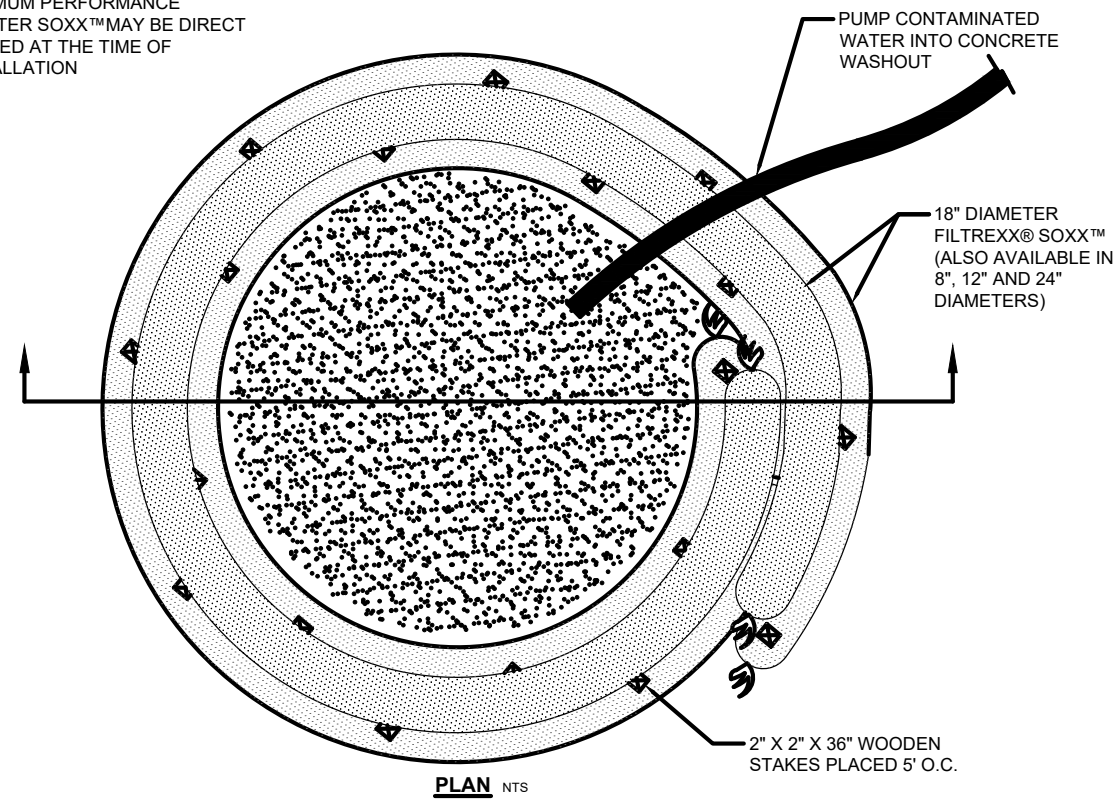
Unauthorized alterations or additions to this document is a violation of Sec. 7209 Sub. 2 of the NYS Education Law.
Copyright © 2021 Brett L. Steenburgh, P.E., PLLC
All rights reserved. No use or reproduction of this material is permitted without the express written consent of Brett L. Steenburgh, P.E., PLLC.

[illegible]

NO.	DATE:	REVISIONS	BY:
-----	-------	-----------	-----

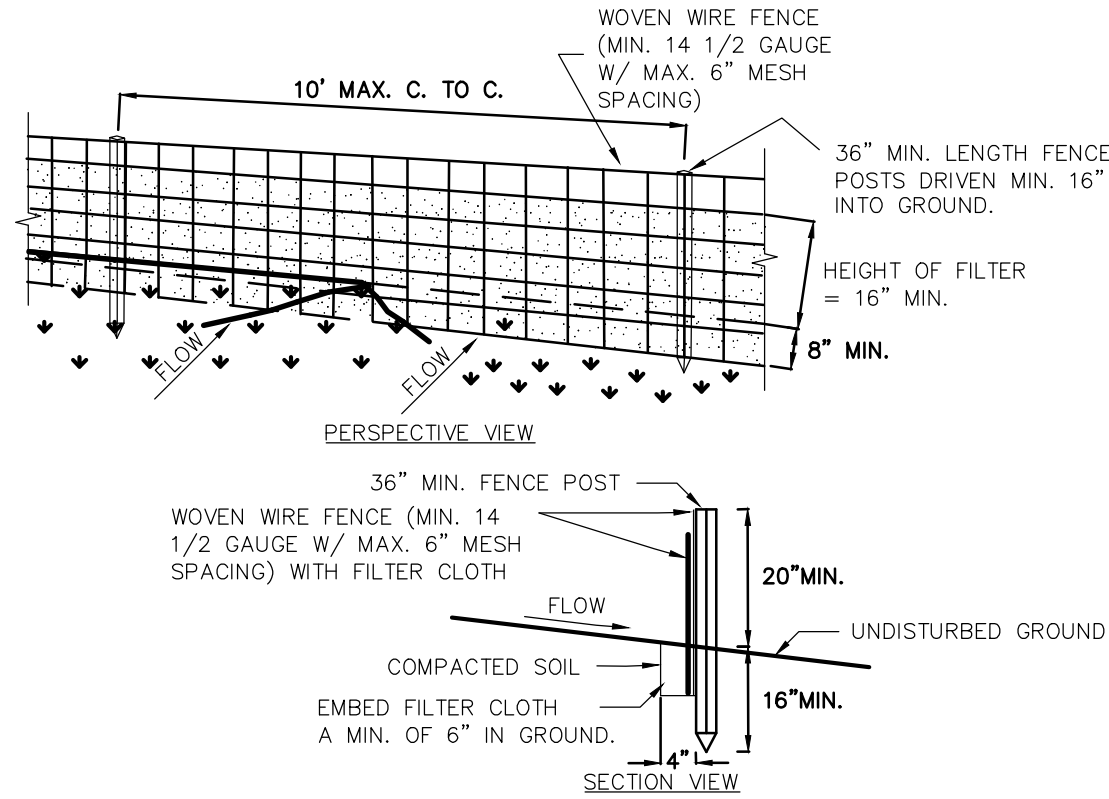


NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. FILTER SOXX™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.



FILTREXX® CONCRETE WASHOUT

NTS

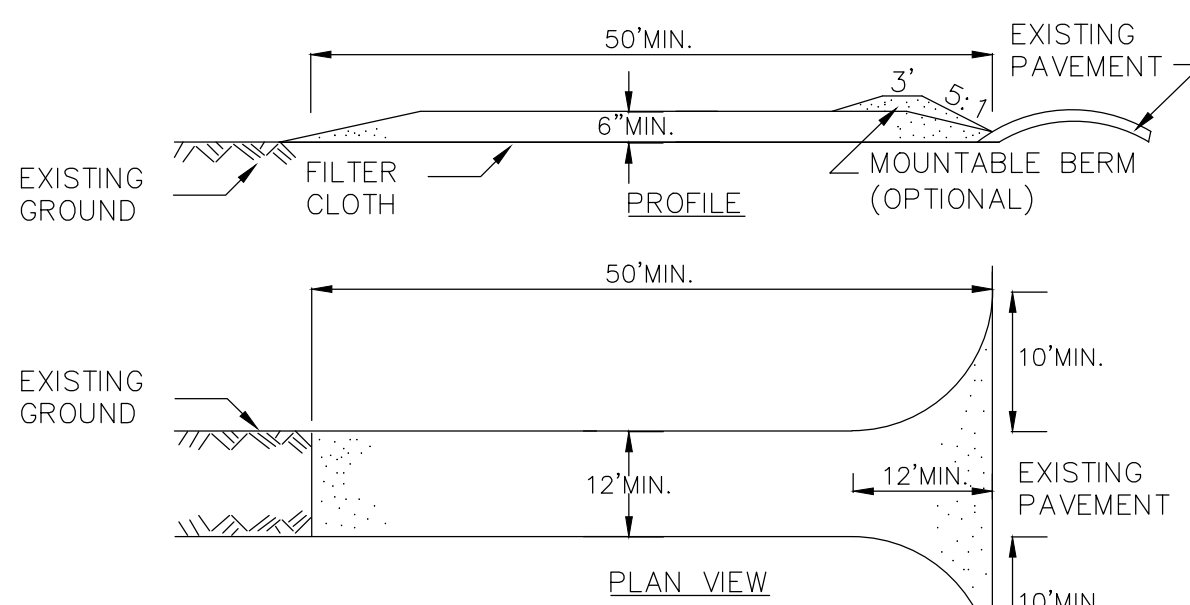


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE DETAIL

(NOT TO SCALE)

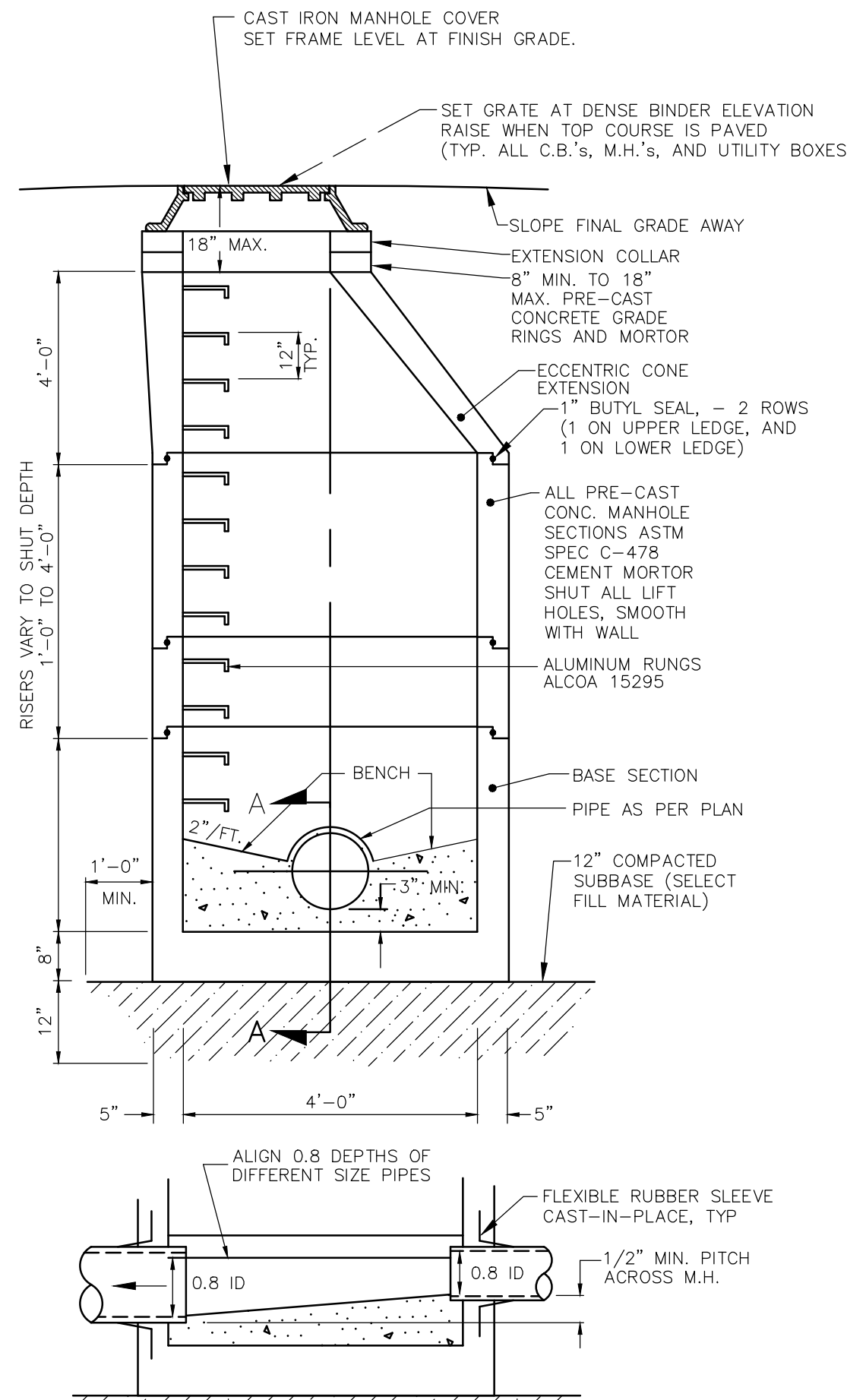


CONSTRUCTION SPECIFICATIONS

- STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS – NOT LESS THAN SIX (6) INCHES.
- WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

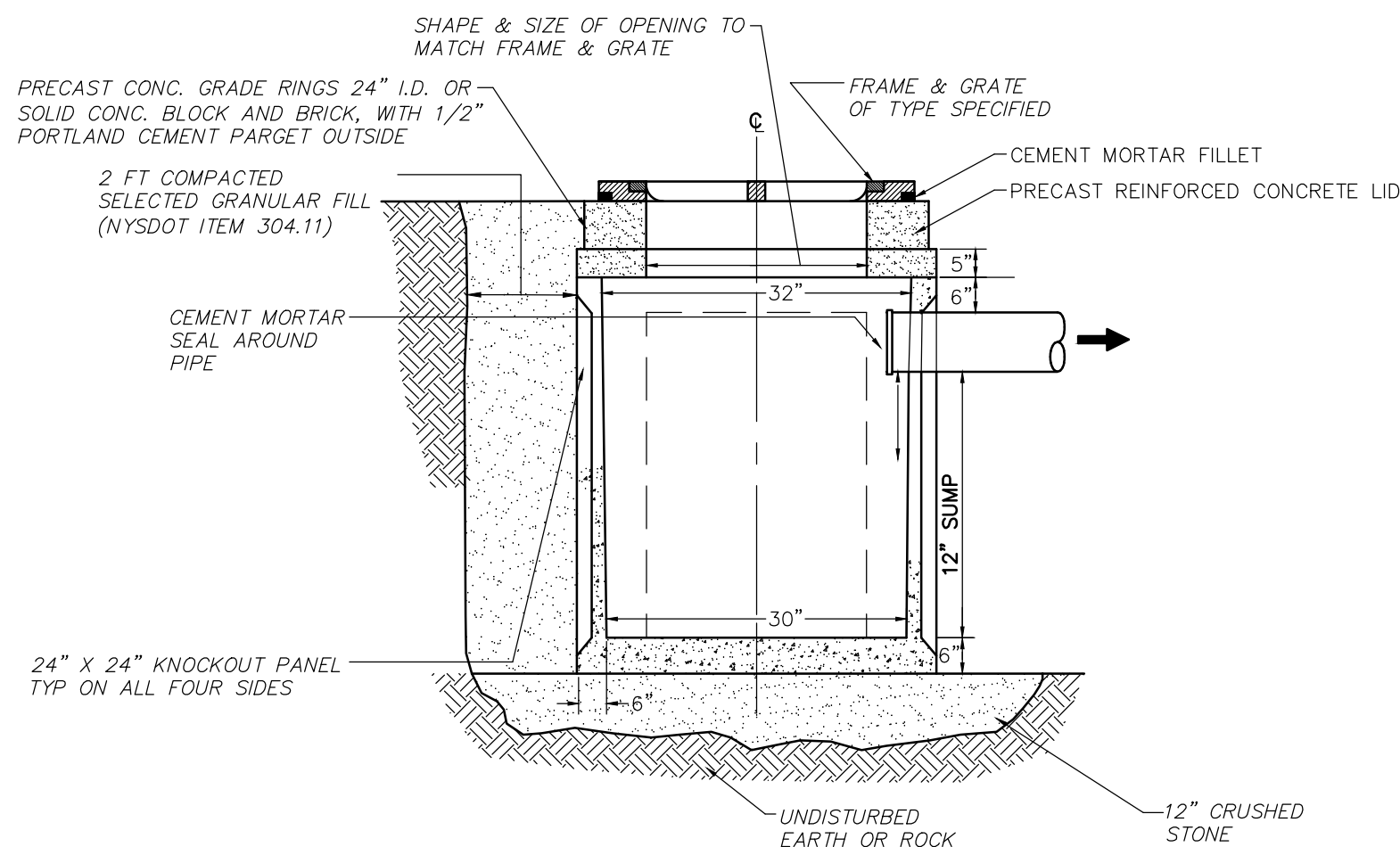
(NOT TO SCALE)



SECTION A-A

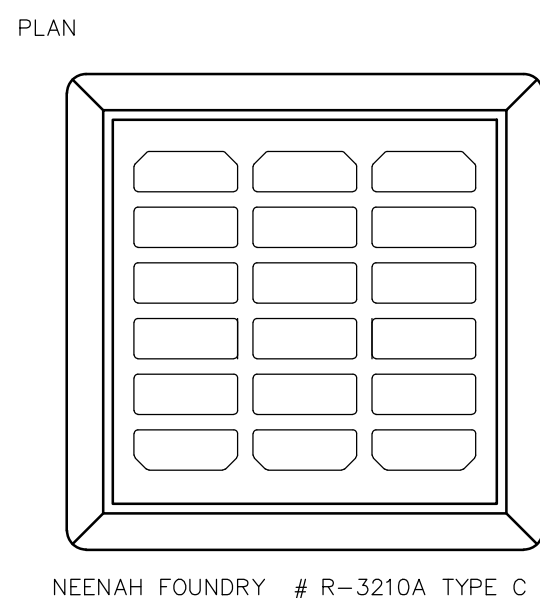
TYPICAL PRE-CAST CONCRETE MANHOLE

(NOT TO SCALE)

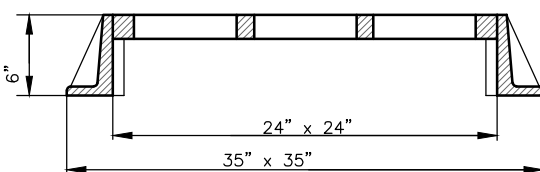


STANDARD SQUARE PRECAST CONCRETE CATCH BASIN (TYPE 2)

(NOT TO SCALE)



NEENAH FOUNDRY # R-3210A TYPE C



INLET STRUCTURE FRAME & COVER

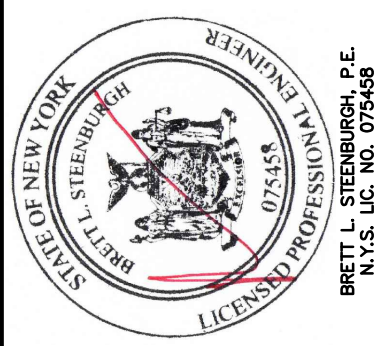
(NOT TO SCALE)

- NOTES:
- CEMENT MORTAR ALL AROUND FRAME.
 - FRAMES AND COVERS BY NEENAH FOUNDRY

NO.	DATE	REVISIONS	B.Y.



Scaling of these drawings shall be done only for review and approval purposes. Contractors shall not scale drawings for layout and construction. Unauthorized alterations or additions to these drawings are prohibited. Copyright 2021 Brett L. Steenburgh, P.E. All rights reserved. No part of this material may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying and recording, or by any information storage or retrieval system, without the express written consent of Brett L. Steenburgh, P.E., PLLC.



BRETT L. STEENBURGH, P.E. PLLC
2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0875
bsteenburghp@gmail.com

**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA DRAWN BY: BLS CADD FILE: DATE: FEBRUARY 3, 2023	STATE OF NEW YORK SCALE: AS NOTED	SHEET C-5
	DETAILS FRED POLSINELLI POLISINELLI DRIVE TOWN OF NISKAYUNA	

CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH	DATE
--	------

TOWN ENGINEER MATTHEW YETTO, PE.	DATE
----------------------------------	------

CAC SEQR FINDINGS EAF

2023-03

Polsinelli 2 Lot Subdivision

2/1/2023

PART 2

1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?

No to small. The CAC noted that only two lots where significantly more could be potentially considered is more acceptable within that area that has a history of drainage issues.

2. Will the proposed action result in a change in the use or intensity of use of land?

Yes, small. There will be a small change as one parcel is being subdivided into two lots and there will be some open space lost.

3. Will the proposed action impair the character or quality of the existing community?

Yes, small. The limits of clearing are very important and should be strictly adhered to. Deed restricting for no further subdivision is also incredibly important for the quality of the community. Protecting the wetlands and providing an adequate 25 foot buffer is also essential.

4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?

No. There is no CEA in the area.

5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?

No. With only two lots there will be minimal impact in this regard.

6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?

The CAC noted that use of energy efficient practices within the new homes as well as a lack of pesticides in future lawns would be greatly helpful to the environment. This was noted even though Mr. Polsinelli has no intention on developing the homes, it was asked to be passed on to buyers.

7. Will the proposed action impact existing: (a) public / private water supplies?(b) public / private wastewater treatment utilities?

Yes, small impact. Water and sewer connections are nearby and the addition of two units usually has minimal impact on the current systems.

8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?

Yes, small. The CAC noted less clearing is better for aesthetic resources and it's important to retain forest here.

9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?

Yes, small. It is important to overlay the historic wetlands on the current surveys to indicate there are wet areas throughout the parcel. Minimal clearing is important and protection of the wetlands is essential for flora and fauna on the property. Having historic wetlands indicated on the survey helps with this.

10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?

Yes. Drainage is a documented issue in this neighborhood, and therefore the Planning Board is advised to look at this very closely. There may be potential for rain gardens or other mitigating factors to be added to the site to help with rainwater.

11. Will the proposed action create a hazard to environmental resources or human health? No.

The CAC did not identify any hazards to environmental resources or human health.

PART 3

The Council was concerned with the wetlands on the property. While the applicant stated that there were no wetlands on the area of disturbance, and the area of disturbance had been examined, there was no detail of historic wetlands on the surveys and the rest of the property had not been delineated to show where they may be. The Council recommended at least providing details on historic wetlands on future surveys because protection of wetlands was essential to mitigating the environmental impacts of this subdivision.

The CAC discussed the concern of loss of green spaces and trees in the area. While the applicant stated he would not commit to fully preserving the land for economic reasons, he did state willingness to deed restrict the back portions of the properties for no further subdivision. It was also noted that the original zoning of the area allowed for up to 26 units, so the 2 planned homes would be a substantial improvement to maintaining open space.

The CAC discussed concerns over storm water management. It was determined that suitable plans could not be made until full contours of the area were produced, but mitigation techniques such as rain gardens may have to be employed.

The CAC noted that the least amount of tree clearing possible would be beneficial for the community.

The CAC stated that clean energy, LED lights, minimal area lighting, solar panels, landscaping and landscape screening, and pesticide-free practices would be important to mitigate the environmental impacts of any additional buildings to the site.

The CAC voted unanimously for a recommendation to the Planning Board on a negative declaration with the condition that:

1. The limits of clearing were very small
2. Drainage was looked into closely
3. Wetlands or historic wetlands were added to the subdivision map
4. No further subdivision restrictions were added to all parcels.

Short Environmental Assessment Form

Part 1 - Project Information

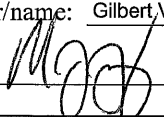
Instructions for Completing

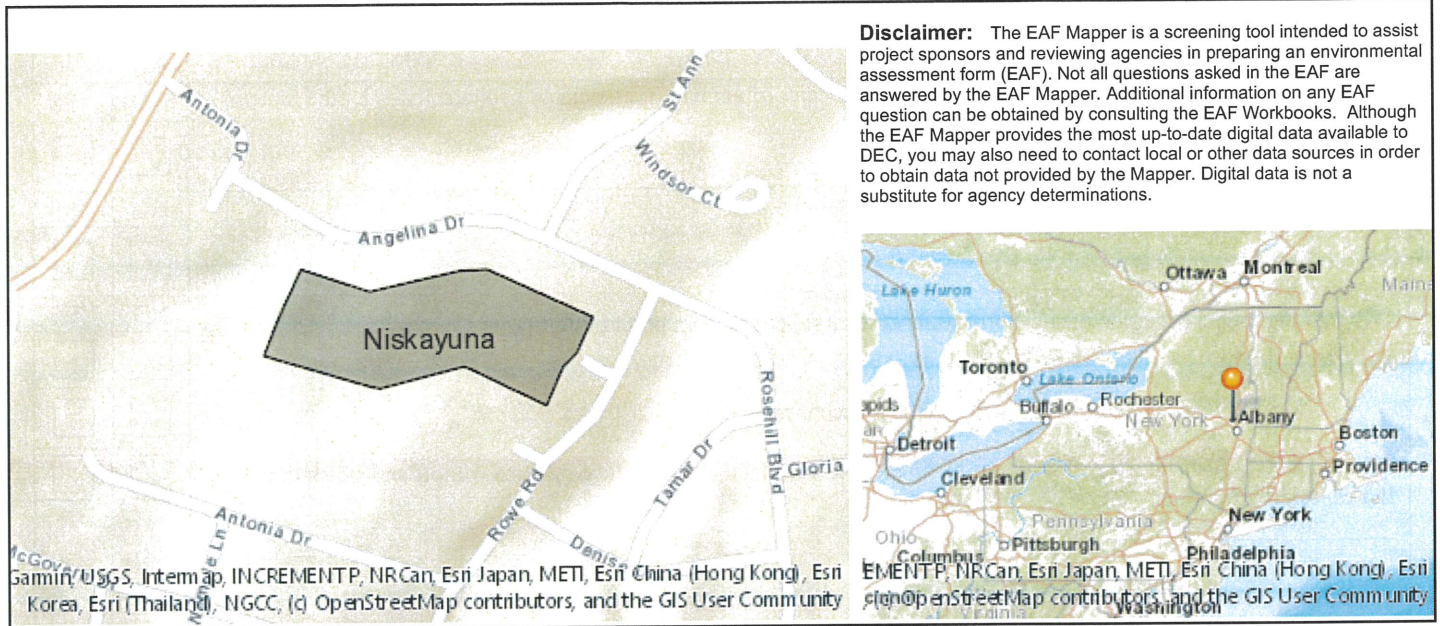
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Polsinelli 3 Lot Homestead Place at Antonia Park Section 9			
Project Location (describe, and attach a location map): Homestead Place at Antonia Park Section 9 Niskayuna, NY			
Brief Description of Proposed Action: 3 Lot Subdivision, 2 Building Lots, with remaining 2.32+/- acres of land to be annexed to Lecce Development co. LLC			
Name of Applicant or Sponsor: The Estate of Vincenza Polsinelli, C/O Frederico G Polsinelli		Telephone: 518 928-6449 E-Mail: Fgp414v@hotmail.com	
Address: 414 Vincent Drive			
City/PO: Schenectady		State: NY	Zip Code: 12303
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		8.43+/- acres	
b. Total acreage to be physically disturbed?		1.35+/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.43+/- acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Gilbert, VanGuilder Land Surveyor, PLLC Patrick Jarosz</u> Date: <u>12/6/2022</u> Signature: <u></u> Title: <u>Agent</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

STORMWATER MANAGEMENT REPORT

LOCATION

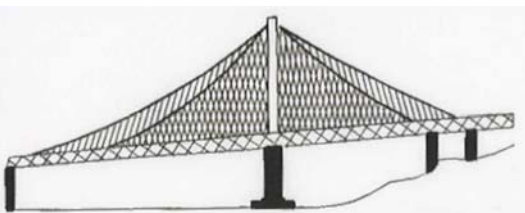
Polsinelli Drive
Town of Niskayuna
State of New York

PREPARED FOR

Fred Polsinelli

Date Prepared

April 7, 2023



Brett L. Steenburgh, P.E. PLLC

2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675

Civil ♦ environmental ♦ structural Engineering

1.0 PROJECT DESCRIPTION

The parcel is located at the terminus of Polsinelli Drive in the Town of Niskayuna. The parcel is owned by The Estate of Vincenza Polsinelli and is 6.12 Acres in size. The parcel is vacant and wooded with minimal underbrush.

It is proposed to develop two residential building lots off the terminus of Polsinelli Drive. Each lot will have its own driveway extending from Polsinelli Drive to a proposed house at the top of the hill.

1.1 NATURE OF CONSTRUCTION

The project will consist of the disturbance 1.37 acres and stabilization of approximately 1.37 acres of land. There will be minimal clearing along the side lines of the proposed lots.

1.2 AREA OF DISTURBANCE

The project will consist of the disturbance 1.37 acres of land. Since the area of disturbance is less than five acres for a residential development, the project does not require a NYSDEC SPDES permit for construction activity.

1.3 SOILS

Although the Web Soil Survey indicates gravely silt present on the subject parcel test pits performed on the parcel for a previous subdivision indicated hardpan and silt near Polsinelli Drive with some areas of silty gravel at the top of the hill. A site walk confirmed that there is minimal infiltration into the existing soils, therefore hydrologic soil group D has been used in all drainage calculations.

2.0 STORMWATER MANAGEMENT OBJECTIVES

The stormwater objectives for this development are a function of limited downstream capacity issues. The town and residents along Rowe Road have expressed concerns regarding the capacity of the storm sewer along Rowe Road as well as other downstream issues. Therefore, even though the proposed development is minimal it is necessary to attenuate stormwater on the parcel before discharge off site. The objective is to maintain or reduce the stormwater off site for the proposed two lots.

Under the existing conditions, stormwater from the proposed area of development leaves the site at three locations. Location A is the terminus of Polsinelli Drive. Location B is the rear of the adjoining residential properties near the northeast property corner of the development and location C is at the northerly property boundary with the residential properties. Each of these locations have been identified as analysis points for the stormwater runoff calculations.

Under the proposed conditions, all stormwater from developed impervious areas will be directed to analysis point A at the terminus of Polsinelli Drive. Portions of the yard and undeveloped areas will discharge to analysis points B and C. Since the overall runoff curve number for the parcel has increased through the development of impervious areas (rooftops and driveways) it is necessary to attenuate storm water on the parcel before discharge off site into the storm sewer system in Polsinelli Drive.

The proposed houses will be constructed with a gravel drip edge to capture roof runoff. The gravel drip edge will provide some storage of the stormwater in the stone voids. Based upon soil test pits previously performed and the neighboring development to the south, it is assumed that there will be some exfiltration into the soils from these drip edges. However, this was not taken into account in the drainage calculations. Therefore, this will be a conservative design. As the drip edge area fills with runoff, before reaching the surface it will enter a perforated pipe overflow which will be conveyed to the new catch basin to be installed on Polsinelli Drive.

In order to capture the storm water produced on the driveway a gravel trench will be constructed along the edge of the driveway for each house. To maintain pre-development conditions, it is necessary to attenuate the stormwater conveyed to this trench. The trench will flow along the edge of the driveway to a subsurface stone attenuation basin. These basins will be 25'x20'x4'deep. Since we do not anticipate any exfiltration into the soil in this area, each basin will have a 4" perforated under drain as well as a 4" perforated overflow. The underdrain and overflow will both be connected to a 6" solid pipe with the overflow pipe from the house drip edges. This pipe will connect directly to a new catch basin at the terminus of Polsinelli Drive. The catch basin will be constructed on the existing storm sewer which is presumed to be stubbed at the property line.

A completed HydroCAD analysis has been performed to evaluate the effect of the development on downstream infrastructure at each analysis point. The analysis has been completed for the 2, 10 and 100 year storm events. The Cornell extreme precipitation values have been utilized for each storm event as follows:

2 Year Storm = 2.57 in
10 Year Storm = 3.65 in
100 Year Storm = 6.07 in

From the HydroCAD analysis we have been able to determine the peak rate of runoff off from the parcel in both the pre and post development conditions. The following tables document the peak runoff rate to each of the analysis points for each of the calculated storm events:

Analysis Point A

Storm Event	Existing Runoff (CFS)	Proposed Runoff (CFS)	Percent Reduction
2 Year = 2.57in	0.90	0.75	17%
10 Year = 3.65 in	1.79	1.41	21%
100 Year = 6.07 in	4.03	4.04	0%

Analysis Point B

Storm Event	Existing Runoff (CFS)	Proposed Runoff (CFS)	Percent Reduction
2 Year = 2.57in	0.65	0.64	0%
10 Year = 3.65 in	1.28	1.26	0%
100 Year = 6.07 in	2.86	2.80	2%

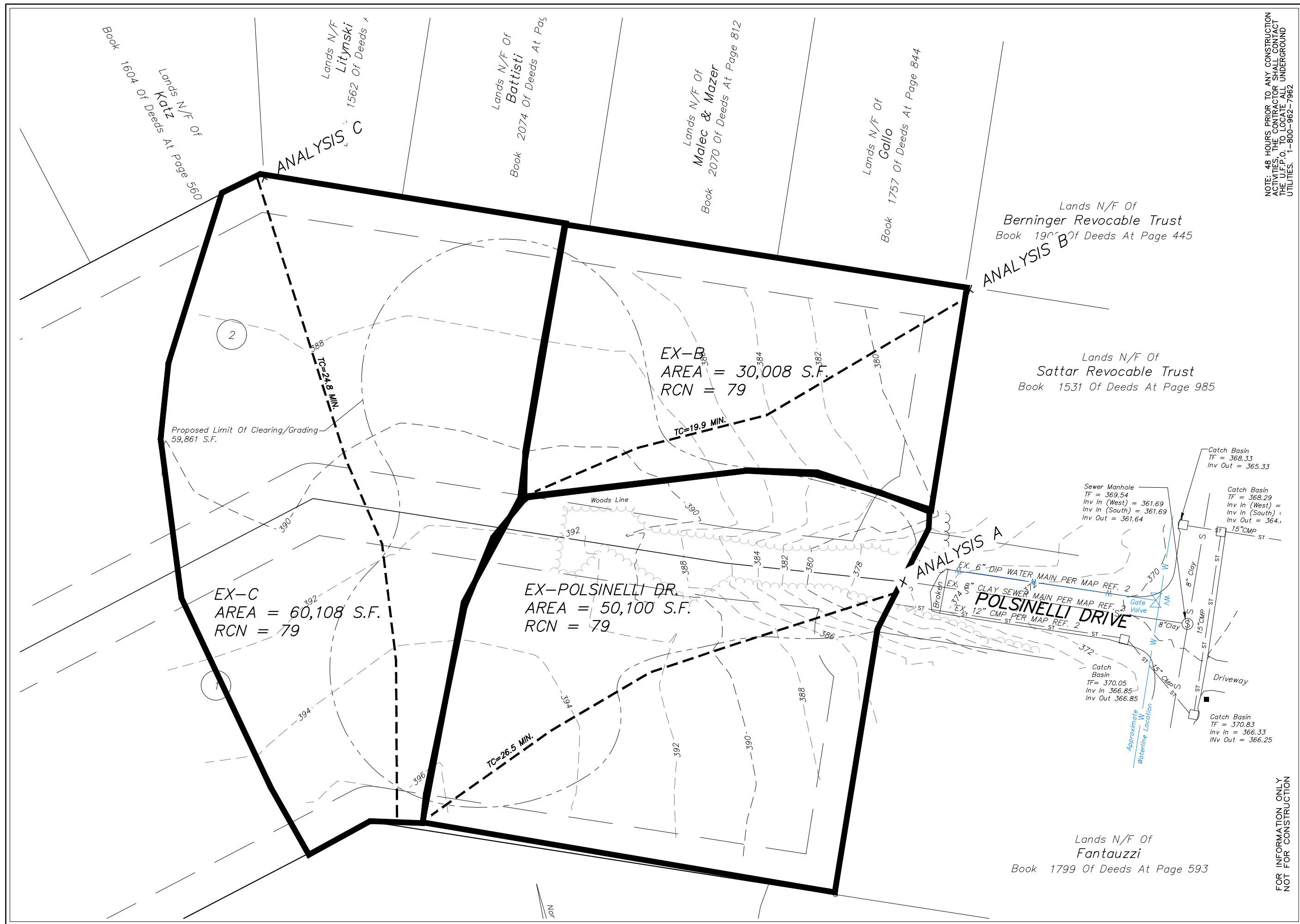
Analysis Point C

Storm Event	Existing Runoff (CFS)	Proposed Runoff (CFS)	Percent Reduction
2 Year = 2.57in	1.13	1.08	4%
10 Year = 3.65 in	2.24	2.14	5%
100 Year = 6.07 in	5.03	4.81	10%

Based on the above information and supporting calculations, it is our professional opinion that the proposed development will not have an adverse impact on downstream infrastructure.

Appendix A

Storm Water Management Calculations



NOTE: 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONTACT THE U.F.P.O. TO LOCATE ALL UNDERGROUND UTILITIES. 1-800-962-7962

Do not scale drawings – use dimensions shown, verify all dimensions on site. Unauthorized alterations or additions to this document is a violation of Sec. 7209 Sub. 2 of the NYS Education Law. Copyright 2012 Brett L. Steenburgh P.E. PLLC. All rights reserved. No use or reproduction of materials is permitted without the express written consent of Brett L.

DOCTE : STERNBERGUE D F

BRETT L. STEENBURGH, P.E. PLLC



CIVIL ENVIRONMENTAL STRUCTURAL

EXISTING DRAINAGE

FRED POLSINELLI
POLSNELLI DRIVE

POL SINELLI DRIVE
TOWN OF NISKAYUNA
HENECTADY STATE OF NEW YORK

CHECKED BY: JOB NO.	SCALE: 1" =
------------------------	-------------

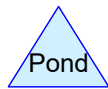
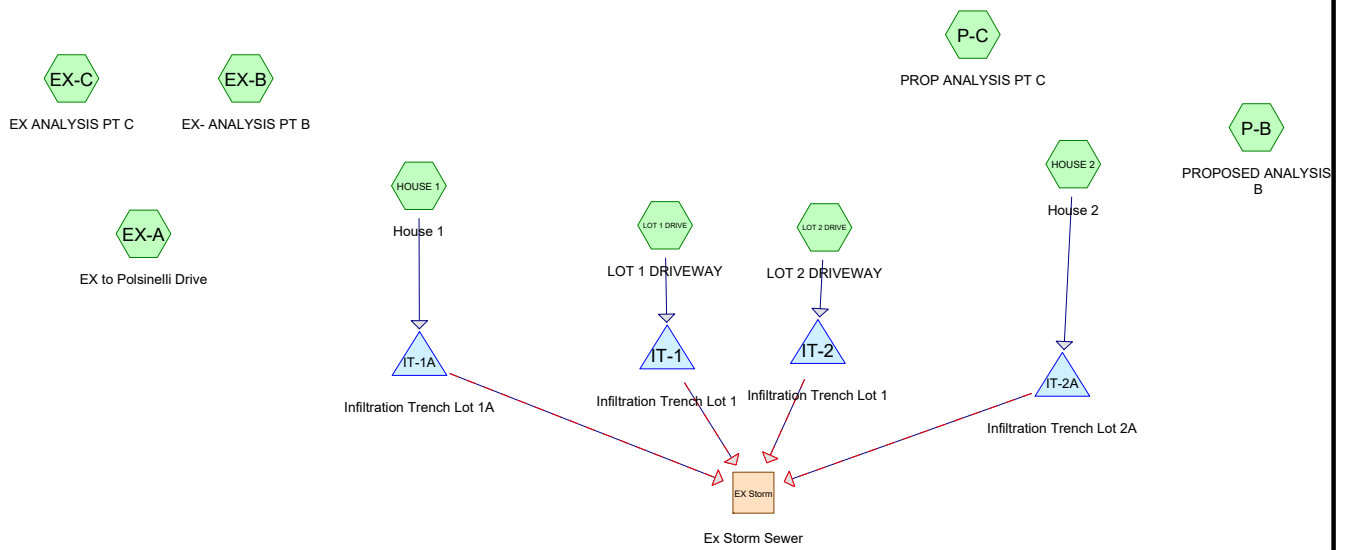
CHECKED BY: JOB NO.	SCALE: 1" =
------------------------	-------------

<p>CHECKED BY:</p> <p>JOB NO.</p>	<p>RECEIVED:</p> <p>DATE:</p>
---	---

CHECKED BY:	
JOB NO.	

SCALE: 1" = 50'

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION



Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.465	80	>75% Grass cover, Good, HSG D (LOT 1 DRIVE, LOT 2 DRIVE)
0.297	98	Paved parking, HSG A (HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE)
4.539	79	Woods, Fair, HSG D (EX-A, EX-B, EX-C, P-C)
1.137	79	Woods/grass comb., Good, HSG D (LOT 1 DRIVE, P-B)
6.438	80	TOTAL AREA

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.297	HSG A	HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE
0.000	HSG B	
0.000	HSG C	
6.141	HSG D	EX-A, EX-B, EX-C, LOT 1 DRIVE, LOT 2 DRIVE, P-B, P-C
0.000	Other	
6.438		TOTAL AREA

Pollsinelli

Prepared by HP

HydroCAD® 10.10-6a s/n 12135 © 2020 HydroCAD Software Solutions LLC

Printed 4/7/2023

Page 4

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.465	0.000	0.465	>75% Grass cover, Good	LOT 1 DRIVE, LOT 2 DRIVE
0.297	0.000	0.000	0.000	0.000	0.297	Paved parking	HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE
0.000	0.000	0.000	4.539	0.000	4.539	Woods, Fair	EX-A, EX-B, EX-C, P-C
0.000	0.000	0.000	1.137	0.000	1.137	Woods/grass comb., Good	LOT 1 DRIVE, P-B
0.297	0.000	0.000	6.141	0.000	6.438	TOTAL AREA	

Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Width (inches)	Diam/Height (inches)	Inside-Fill (inches)
1	EX Storm	0.00	-5.00	100.0	0.0500	0.012	0.0	12.0	0.0
2	IT-1	377.00	375.25	25.0	0.0700	0.012	0.0	4.0	0.0
3	IT-1	374.00	373.70	30.0	0.0100	0.012	0.0	4.0	0.0
4	IT-1A	393.50	303.50	150.0	0.6000	0.012	0.0	4.0	0.0
5	IT-2	376.50	377.00	25.0	-0.0200	0.012	0.0	4.0	0.0
6	IT-2	374.00	373.70	30.0	0.0100	0.012	0.0	4.0	0.0
7	IT-2A	393.50	303.50	150.0	0.6000	0.012	0.0	4.0	0.0

Pollsinelli

Prepared by HP

HydroCAD® 10.10-6a s/n 12135 © 2020 HydroCAD Software Solutions LLC

Type II 24-hr Rainfall=2.57"

Printed 4/7/2023

Page 6

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment EX-A: EX to Polsinelli Drive Runoff Area=50,100 sf 0.00% Impervious Runoff Depth>0.79"
 Flow Length=300' Tc=26.5 min CN=79 Runoff=0.90 cfs 0.076 af

Subcatchment EX-B: EX- ANALYSIS PT B Runoff Area=30,008 sf 0.00% Impervious Runoff Depth>0.80"
 Flow Length=240' Tc=19.9 min CN=79 Runoff=0.65 cfs 0.046 af

Subcatchment EX-C: EX ANALYSIS PT C Runoff Area=60,108 sf 0.00% Impervious Runoff Depth>0.79"
 Flow Length=372' Tc=24.8 min CN=79 Runoff=1.13 cfs 0.091 af

Subcatchment HOUSE 1: House 1 Runoff Area=3,115 sf 100.00% Impervious Runoff Depth>2.17"
 Tc=6.0 min CN=98 Runoff=0.25 cfs 0.013 af

Subcatchment HOUSE 2: House 2 Runoff Area=3,115 sf 100.00% Impervious Runoff Depth>2.17"
 Tc=6.0 min CN=98 Runoff=0.25 cfs 0.013 af

Subcatchment LOT 1 DRIVE: LOT 1 Runoff Area=32,485 sf 9.54% Impervious Runoff Depth>0.90"
 Flow Length=240' Tc=25.7 min CN=81 Runoff=0.69 cfs 0.056 af

Subcatchment LOT 2 DRIVE: LOT 2 Runoff Area=15,847 sf 22.67% Impervious Runoff Depth>1.06"
 Flow Length=240' Tc=27.7 min CN=84 Runoff=0.38 cfs 0.032 af

Subcatchment P-B: PROPOSED ANALYSIS Runoff Area=28,131 sf 0.00% Impervious Runoff Depth>0.80"
 Flow Length=220' Tc=18.3 min CN=79 Runoff=0.64 cfs 0.043 af

Subcatchment P-C: PROP ANALYSIS PT C Runoff Area=57,523 sf 0.00% Impervious Runoff Depth>0.79"
 Flow Length=372' Tc=24.8 min CN=79 Runoff=1.08 cfs 0.087 af

Reach EX Storm: Ex Storm Sewer Avg. Flow Depth=0.20' Max Vel=6.75 fps Inflow=0.75 cfs 0.099 af
 12.0" Round Pipe n=0.012 L=100.0' S=0.0500 ' /' Capacity=8.63 cfs Outflow=0.75 cfs 0.099 af

Pond IT-1: Infiltration Trench Lot 1 Peak Elev=375.85' Storage=443 cf Inflow=0.69 cfs 0.056 af
 Primary=0.41 cfs 0.055 af Secondary=0.00 cfs 0.000 af Outflow=0.41 cfs 0.055 af

Pond IT-1A: Infiltration Trench Lot 1A Peak Elev=393.78' Storage=334 cf Inflow=0.25 cfs 0.013 af
 Primary=0.14 cfs 0.006 af Secondary=0.00 cfs 0.000 af Outflow=0.14 cfs 0.006 af

Pond IT-2: Infiltration Trench Lot 1 Peak Elev=374.85' Storage=204 cf Inflow=0.38 cfs 0.032 af
 Primary=0.28 cfs 0.032 af Secondary=0.00 cfs 0.000 af Outflow=0.28 cfs 0.032 af

Pond IT-2A: Infiltration Trench Lot 2A Peak Elev=393.78' Storage=334 cf Inflow=0.25 cfs 0.013 af
 Primary=0.14 cfs 0.006 af Secondary=0.00 cfs 0.000 af Outflow=0.14 cfs 0.006 af

Total Runoff Area = 6.438 ac Runoff Volume = 0.457 af Average Runoff Depth = 0.85"
95.39% Pervious = 6.141 ac 4.61% Impervious = 0.297 ac

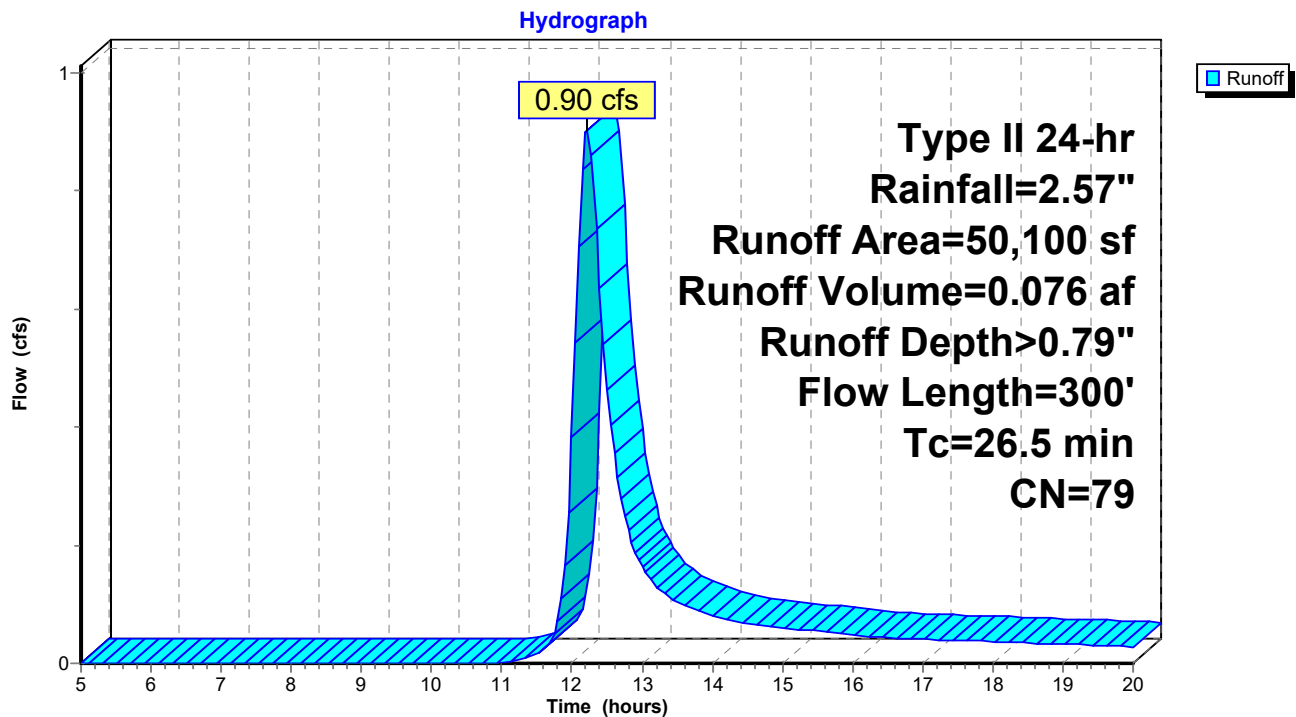
Summary for Subcatchment EX-A: EX to Polsinelli Drive

Runoff = 0.90 cfs @ 12.22 hrs, Volume= 0.076 af, Depth> 0.79"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
50,100	79	Woods, Fair, HSG D
50,100		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
23.8	100	0.0200	0.07		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
2.7	200	0.0600	1.22		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
26.5	300	Total			

Subcatchment EX-A: EX to Polsinelli Drive

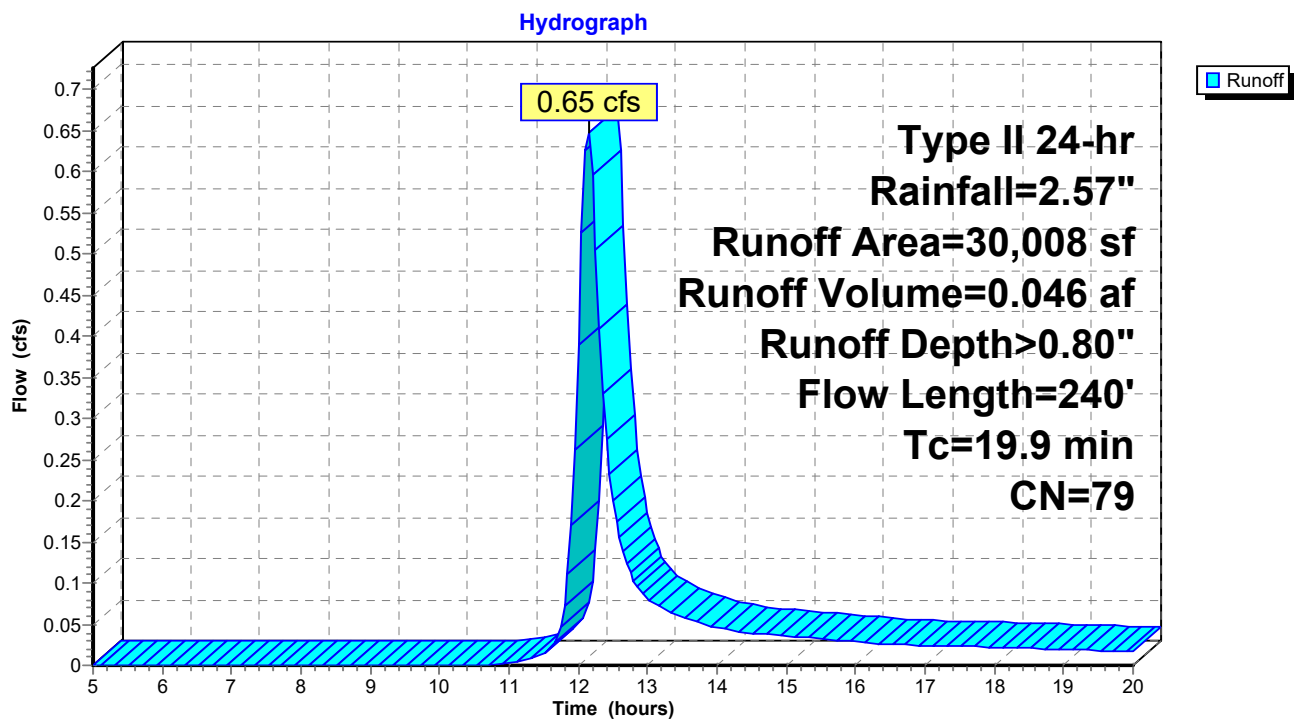
Summary for Subcatchment EX-B: EX- ANALYSIS PT B

Runoff = 0.65 cfs @ 12.14 hrs, Volume= 0.046 af, Depth> 0.80"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
30,008	79	Woods, Fair, HSG D
30,008		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.1	100	0.0400	0.09		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
1.8	140	0.0700	1.32		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
19.9	240	Total			

Subcatchment EX-B: EX- ANALYSIS PT B

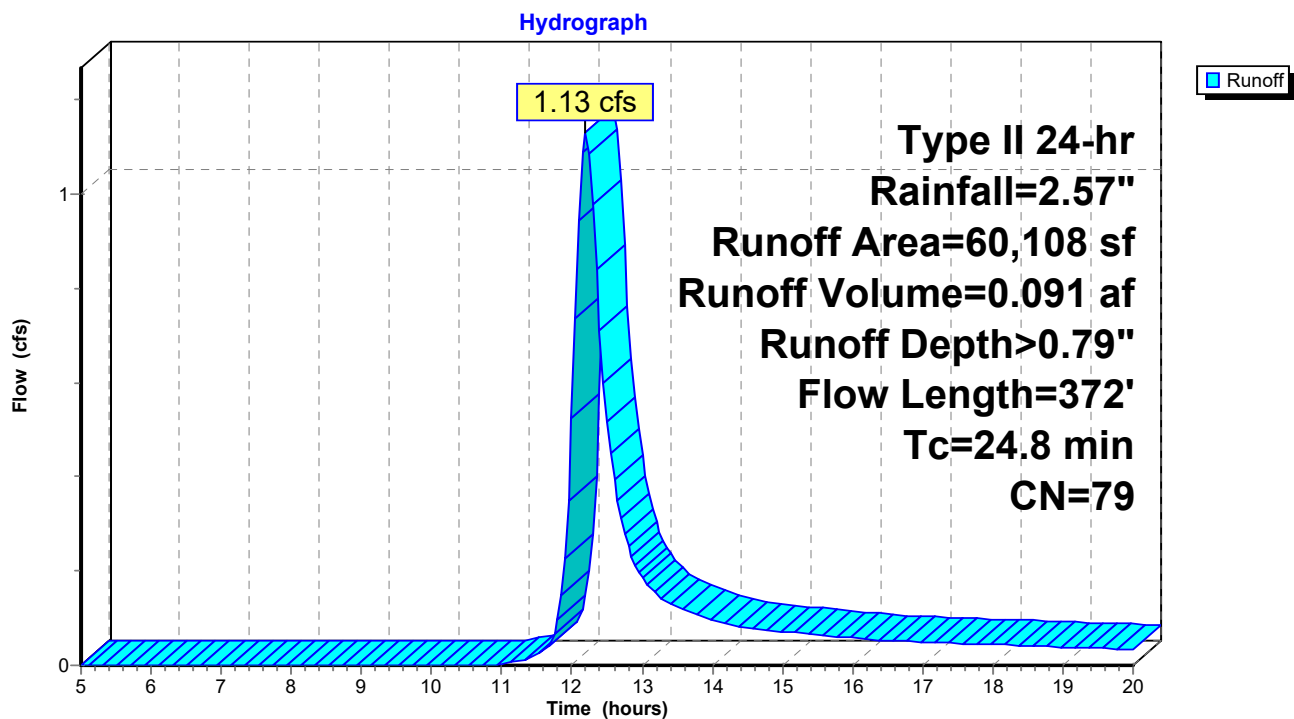
Summary for Subcatchment EX-C: EX ANALYSIS PT C

Runoff = 1.13 cfs @ 12.20 hrs, Volume= 0.091 af, Depth> 0.79"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
60,108	79	Woods, Fair, HSG D
60,108		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.3	100	0.0300	0.08		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
4.5	272	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.8	372	Total			

Subcatchment EX-C: EX ANALYSIS PT C

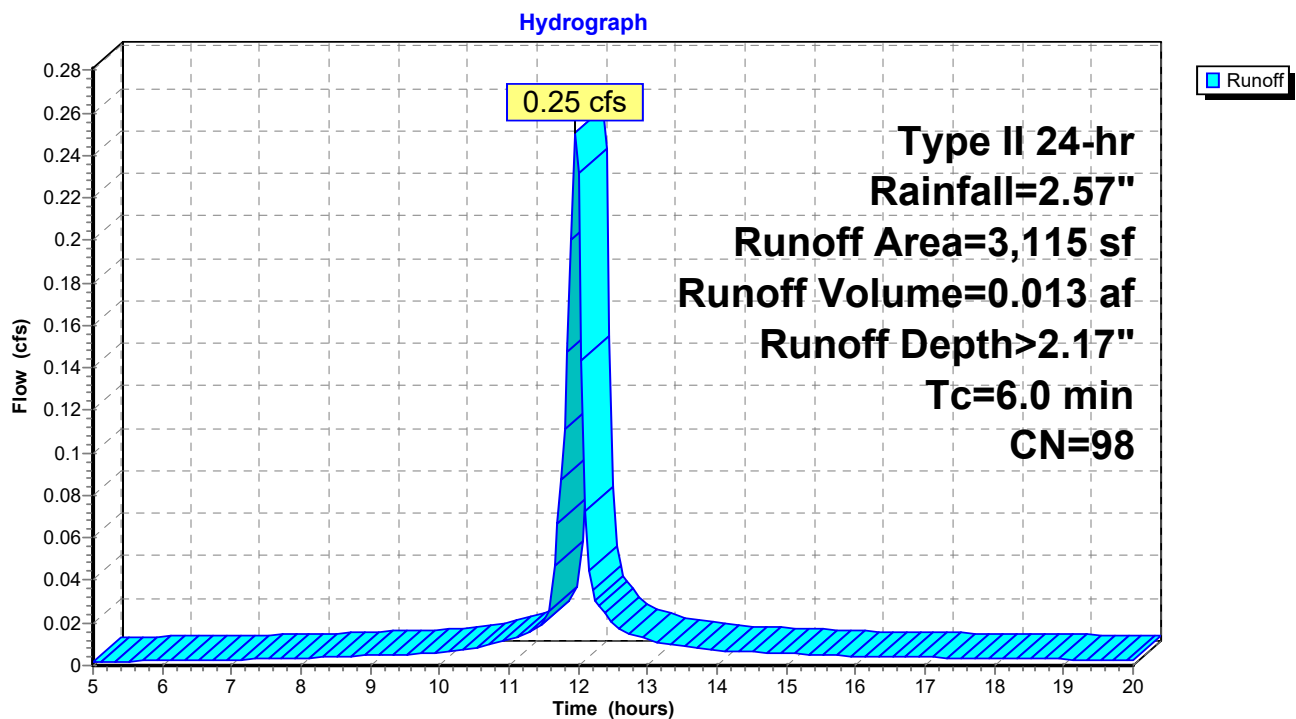
Summary for Subcatchment HOUSE 1: House 1

Runoff = 0.25 cfs @ 11.96 hrs, Volume= 0.013 af, Depth> 2.17"
 Routed to Pond IT-1A : Infiltration Trench Lot 1A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
3,115	98	Paved parking, HSG A
3,115		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, TR-55 Min.

Subcatchment HOUSE 1: House 1

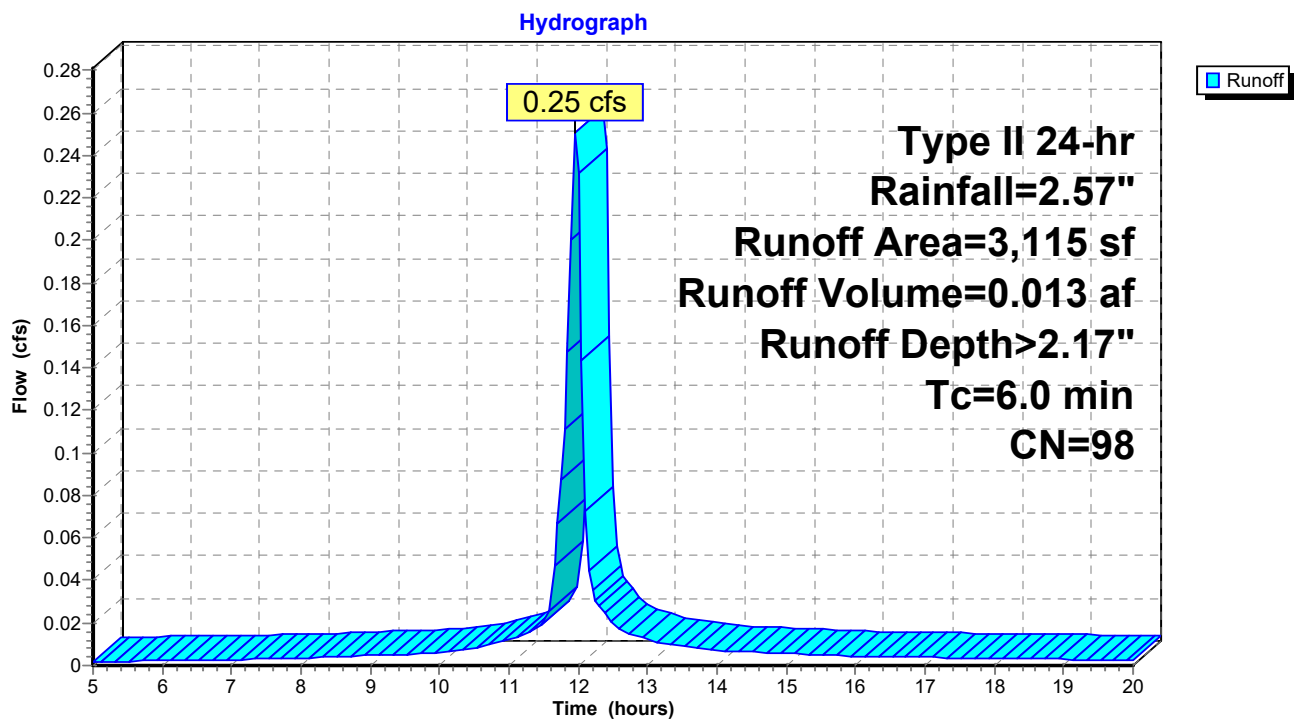
Summary for Subcatchment HOUSE 2: House 2

Runoff = 0.25 cfs @ 11.96 hrs, Volume= 0.013 af, Depth> 2.17"
 Routed to Pond IT-2A : Infiltration Trench Lot 2A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
3,115	98	Paved parking, HSG A
3,115		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, TR-55 Min.

Subcatchment HOUSE 2: House 2

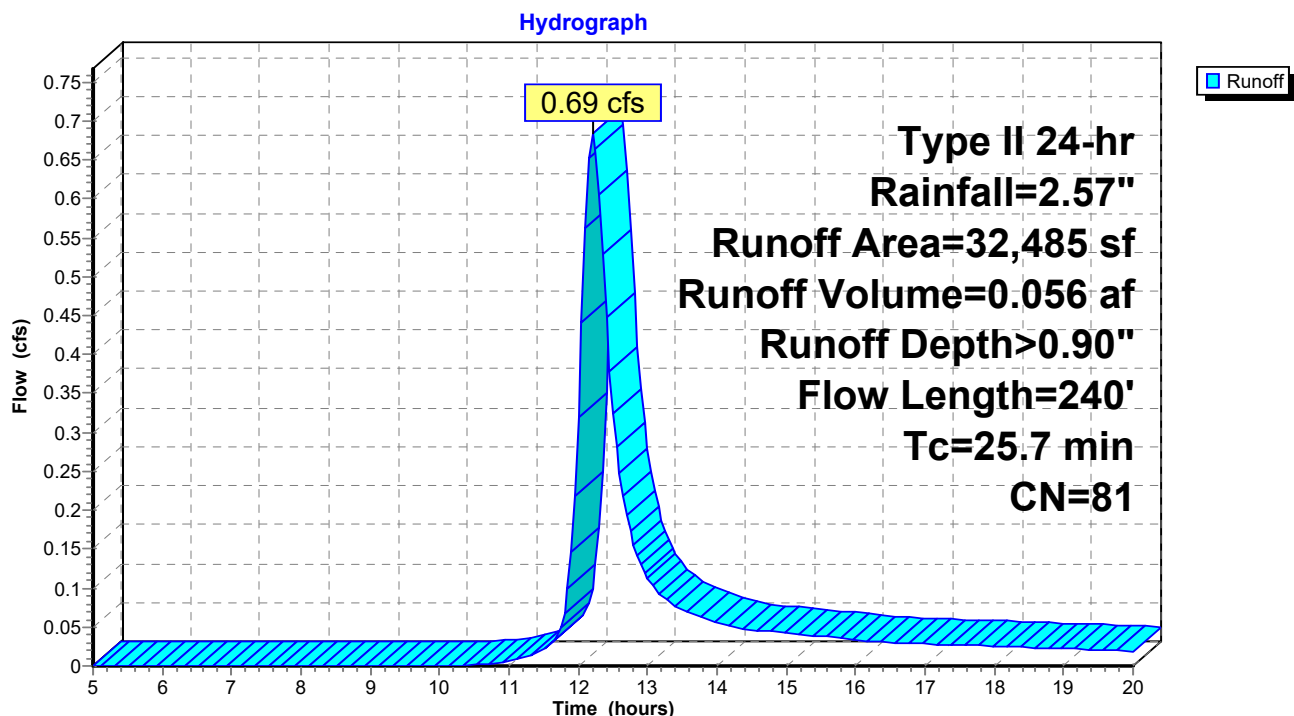
Summary for Subcatchment LOT 1 DRIVE: LOT 1 DRIVEWAY

Runoff = 0.69 cfs @ 12.21 hrs, Volume= 0.056 af, Depth> 0.90"
 Routed to Pond IT-1 : Infiltration Trench Lot 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
3,100	98	Paved parking, HSG A
8,000	80	>75% Grass cover, Good, HSG D
21,385	79	Woods/grass comb., Good, HSG D
32,485	81	Weighted Average
29,385		90.46% Pervious Area
3,100		9.54% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
23.8	100	0.0200	0.07		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
1.9	140	0.0600	1.22		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
25.7	240	Total			

Subcatchment LOT 1 DRIVE: LOT 1 DRIVEWAY

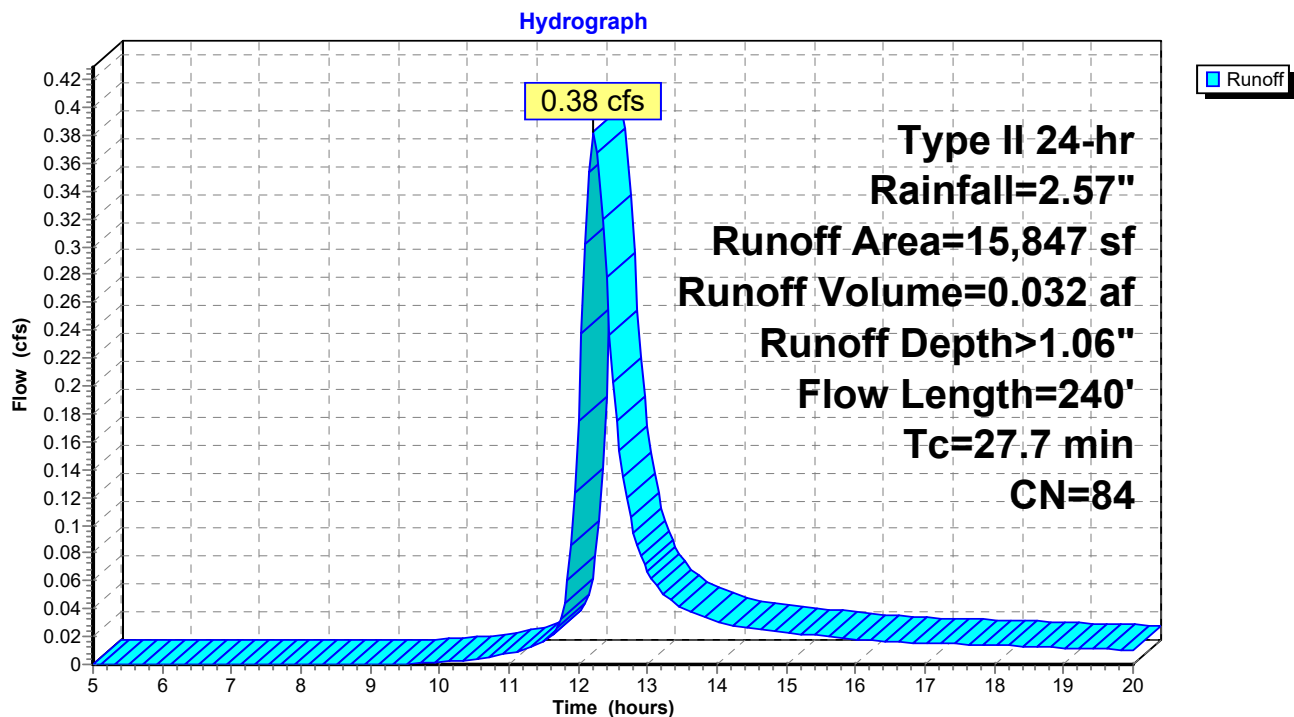
Summary for Subcatchment LOT 2 DRIVE: LOT 2 DRIVEWAY

Runoff = 0.38 cfs @ 12.22 hrs, Volume= 0.032 af, Depth> 1.06"
 Routed to Pond IT-2 : Infiltration Trench Lot 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
3,592	98	Paved parking, HSG A
12,255	80	>75% Grass cover, Good, HSG D
15,847	84	Weighted Average
12,255		77.33% Pervious Area
3,592		22.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
27.3	100	0.0150	0.06		Sheet Flow, Grass: Bermuda n= 0.410 P2= 2.60"
0.4	140	0.1000	6.42		Shallow Concentrated Flow, Paved Kv= 20.3 fps
27.7	240	Total			

Subcatchment LOT 2 DRIVE: LOT 2 DRIVEWAY

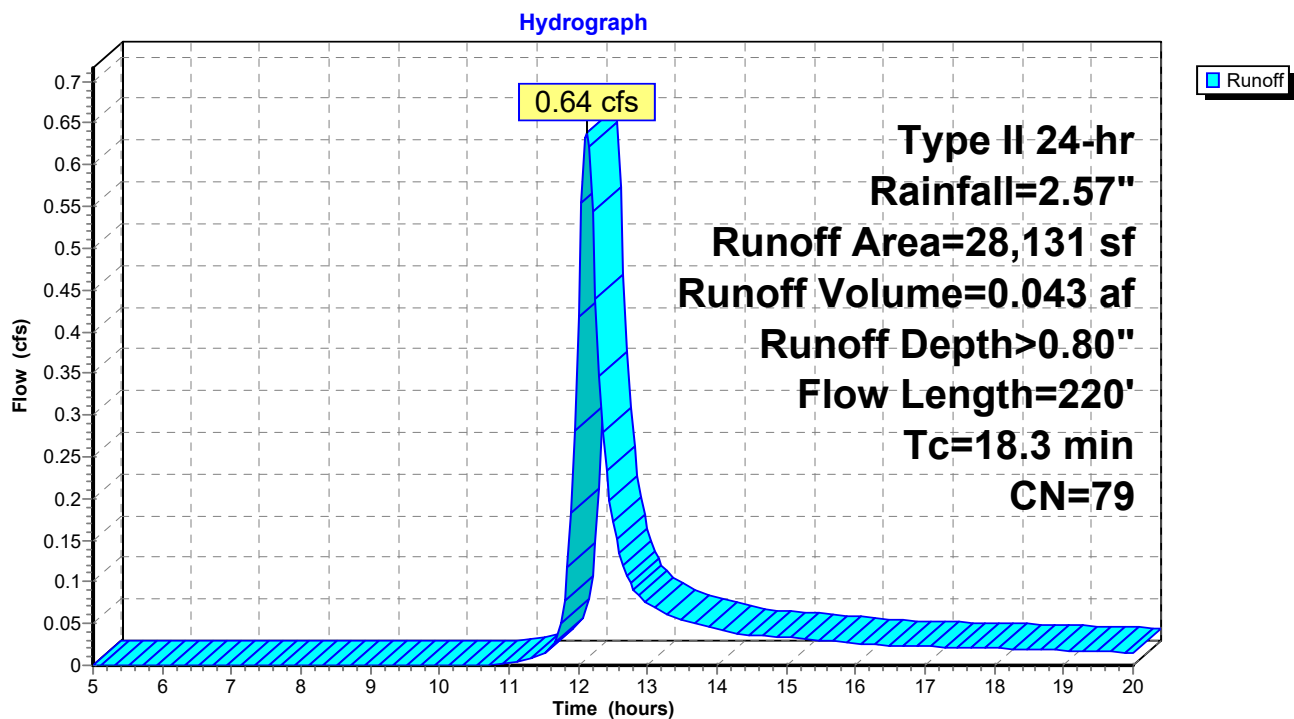
Summary for Subcatchment P-B: PROPOSED ANALYSIS B

Runoff = 0.64 cfs @ 12.12 hrs, Volume= 0.043 af, Depth> 0.80"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
28,131	79	Woods/grass comb., Good, HSG D
28,131		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.8	100	0.0500	0.10		Sheet Flow, Grass: Bermuda n= 0.410 P2= 2.60"
1.5	120	0.0700	1.32		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
18.3	220	Total			

Subcatchment P-B: PROPOSED ANALYSIS B

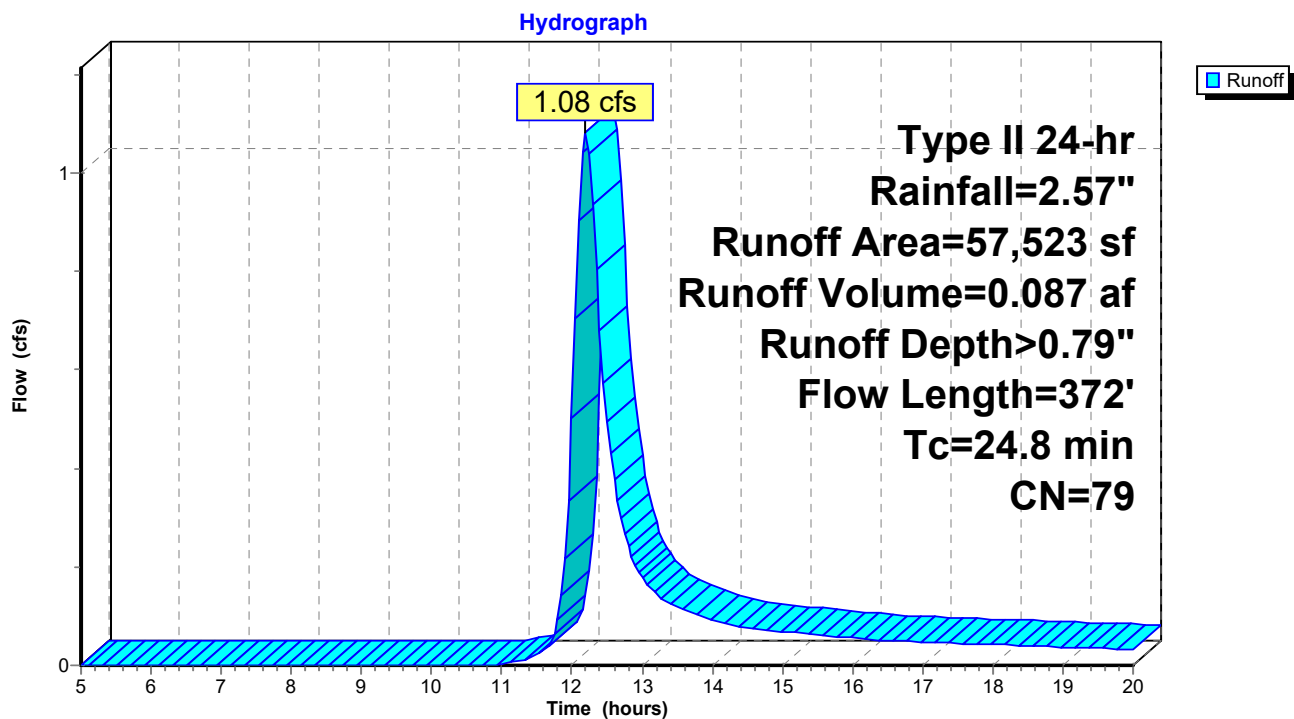
Summary for Subcatchment P-C: PROP ANALYSIS PT C

Runoff = 1.08 cfs @ 12.20 hrs, Volume= 0.087 af, Depth> 0.79"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=2.57"

Area (sf)	CN	Description
57,523	79	Woods, Fair, HSG D
57,523		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.3	100	0.0300	0.08		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
4.5	272	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.8	372	Total			

Subcatchment P-C: PROP ANALYSIS PT C

Summary for Reach EX Storm: Ex Storm Sewer

[52] Hint: Inlet/Outlet conditions not evaluated

[65] Warning: Inlet elevation not specified

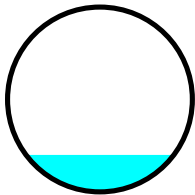
[88] Warning: Qout>Qin may require smaller dt or Finer Routing

Inflow Area = 1.253 ac, 23.68% Impervious, Inflow Depth > 0.95"
Inflow = 0.75 cfs @ 12.39 hrs, Volume= 0.099 af
Outflow = 0.75 cfs @ 12.40 hrs, Volume= 0.099 af, Atten= 0%, Lag= 0.6 min

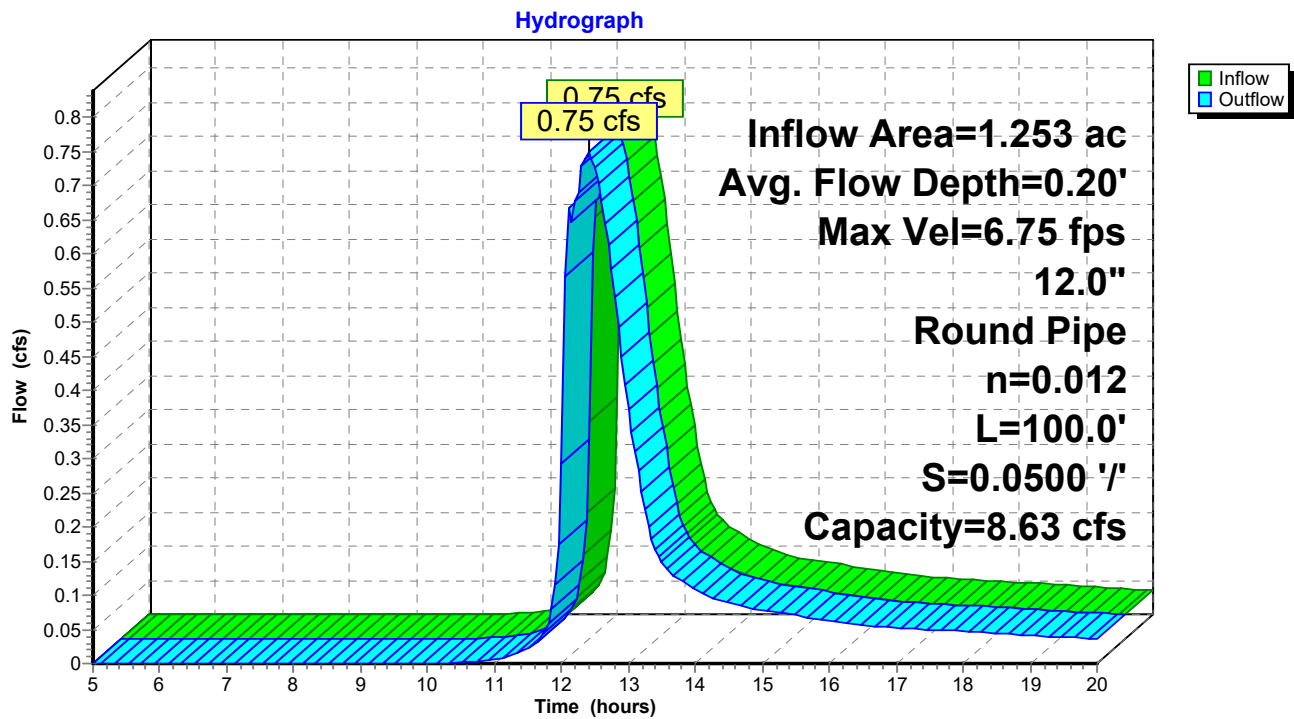
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 6.75 fps, Min. Travel Time= 0.2 min
Avg. Velocity= 3.23 fps, Avg. Travel Time= 0.5 min

Peak Storage= 11 cf @ 12.40 hrs
Average Depth at Peak Storage= 0.20' , Surface Width= 0.80'
Bank-Full Depth= 1.00' Flow Area= 0.8 sf, Capacity= 8.63 cfs

12.0" Round Pipe
n= 0.012
Length= 100.0' Slope= 0.0500 '/'
Inlet Invert= 0.00', Outlet Invert= -5.00'



Reach EX Storm: Ex Storm Sewer



Summary for Pond IT-1: Infiltration Trench Lot 1

Inflow Area = 0.746 ac, 9.54% Impervious, Inflow Depth > 0.90"
 Inflow = 0.69 cfs @ 12.21 hrs, Volume= 0.056 af
 Outflow = 0.41 cfs @ 12.42 hrs, Volume= 0.055 af, Atten= 39%, Lag= 13.1 min
 Primary = 0.41 cfs @ 12.42 hrs, Volume= 0.055 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 375.85' @ 12.42 hrs Surf.Area= 600 sf Storage= 443 cf

Plug-Flow detention time= 14.3 min calculated for 0.055 af (99% of inflow)
 Center-of-Mass det. time= 10.7 min (826.5 - 815.7)

Volume	Invert	Avail.Storage	Storage Description
#1	374.00'	1,172 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 2,930 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
374.00	600	0	0
375.00	600	600	600
376.00	600	600	1,200
377.00	600	600	1,800
378.00	600	600	2,400
378.10	10,000	530	2,930

Device	Routing	Invert	Outlet Devices
#1	Secondary	378.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	377.00'	4.0" Round Culvert L= 25.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 377.00' / 375.25' S= 0.0700 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf
#3	Primary	374.00'	4.0" Round Culvert L= 30.0' CMP, mitered to conform to fill, Ke= 0.700 Inlet / Outlet Invert= 374.00' / 373.70' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.41 cfs @ 12.42 hrs HW=375.84' (Free Discharge)

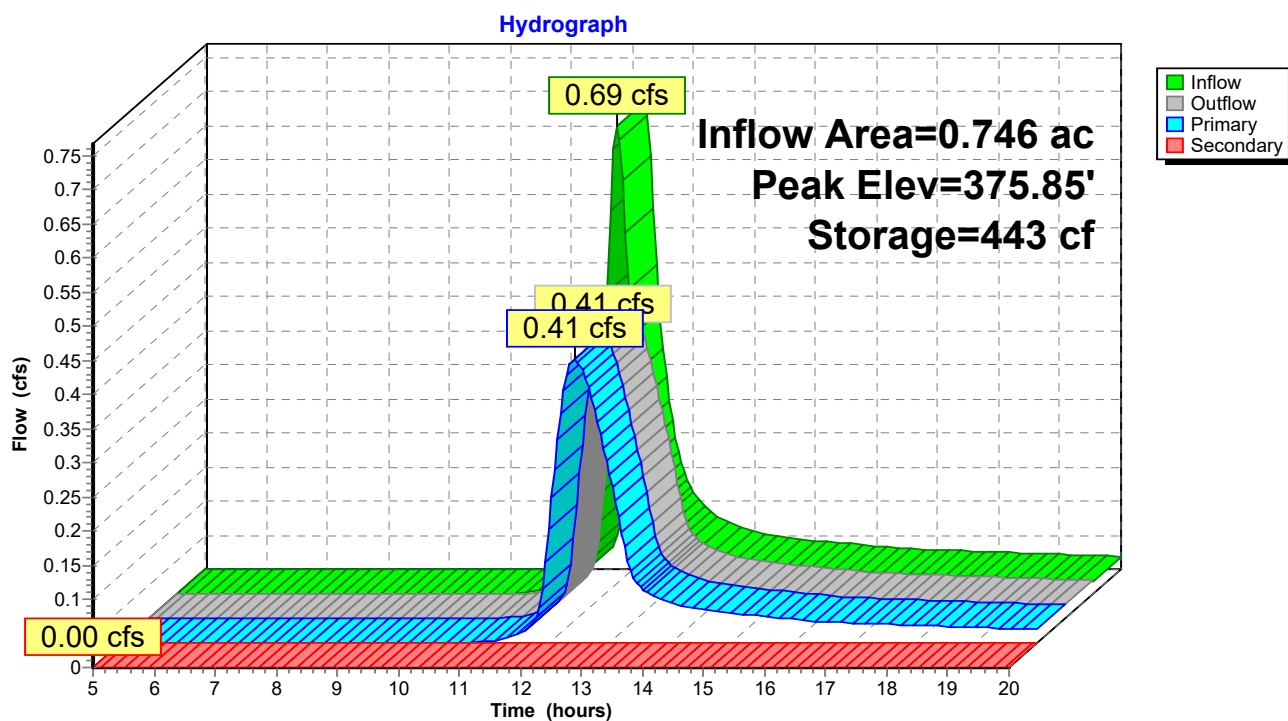
↑ **2=Culvert** (Controls 0.00 cfs)

↑ **3=Culvert** (Barrel Controls 0.41 cfs @ 4.74 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=374.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-1: Infiltration Trench Lot 1



Summary for Pond IT-1A: Infiltration Trench Lot 1A

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.072 ac, 100.00% Impervious, Inflow Depth > 2.17"
 Inflow = 0.25 cfs @ 11.96 hrs, Volume= 0.013 af
 Outflow = 0.14 cfs @ 12.07 hrs, Volume= 0.006 af, Atten= 44%, Lag= 6.4 min
 Primary = 0.14 cfs @ 12.07 hrs, Volume= 0.006 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 393.78' @ 12.07 hrs Surf.Area= 300 sf Storage= 334 cf

Plug-Flow detention time= 194.5 min calculated for 0.006 af (46% of inflow)
 Center-of-Mass det. time= 101.3 min (836.7 - 735.4)

Volume	Invert	Avail.Storage	Storage Description
#1	391.00'	566 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 1,415 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
391.00	300	0	0
392.00	300	300	300
393.00	300	300	600
394.00	300	300	900
394.10	10,000	515	1,415

Device	Routing	Invert	Outlet Devices
#1	Secondary	394.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	393.50'	4.0" Round Culvert L= 150.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 393.50' / 303.50' S= 0.6000 1' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

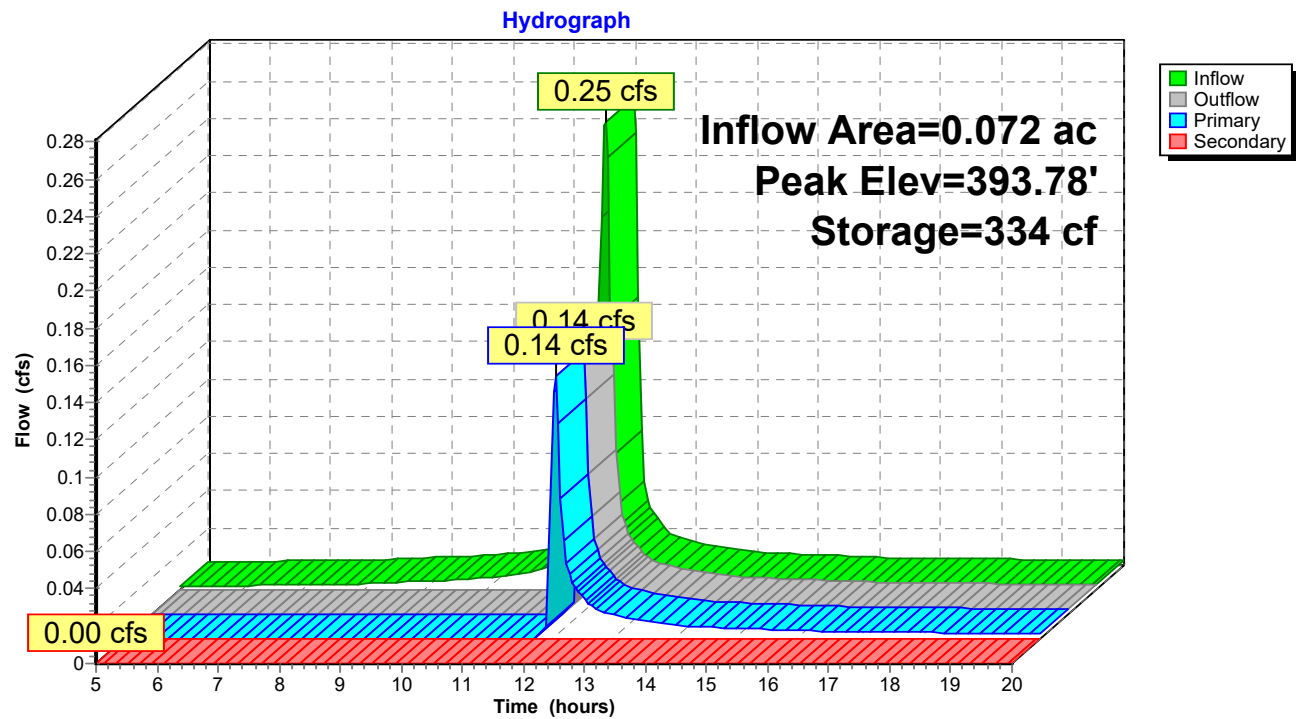
Primary OutFlow Max=0.13 cfs @ 12.07 hrs HW=393.76' (Free Discharge)

↑**2=Culvert** (Inlet Controls 0.13 cfs @ 1.74 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=391.00' (Free Discharge)

↑**1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-1A: Infiltration Trench Lot 1A



Summary for Pond IT-2: Infiltration Trench Lot 1

Inflow Area = 0.364 ac, 22.67% Impervious, Inflow Depth > 1.06"
 Inflow = 0.38 cfs @ 12.22 hrs, Volume= 0.032 af
 Outflow = 0.28 cfs @ 12.40 hrs, Volume= 0.032 af, Atten= 27%, Lag= 10.7 min
 Primary = 0.28 cfs @ 12.40 hrs, Volume= 0.032 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 374.85' @ 12.40 hrs Surf.Area= 600 sf Storage= 204 cf

Plug-Flow detention time= 13.9 min calculated for 0.032 af (99% of inflow)
 Center-of-Mass det. time= 9.5 min (819.0 - 809.5)

Volume	Invert	Avail.Storage	Storage Description
#1	374.00'	1,172 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 2,930 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
374.00	600	0	0
375.00	600	600	600
376.00	600	600	1,200
377.00	600	600	1,800
378.00	600	600	2,400
378.10	10,000	530	2,930

Device	Routing	Invert	Outlet Devices
#1	Secondary	378.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	377.00'	4.0" Round Culvert L= 25.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 376.50' / 377.00' S= -0.0200 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf
#3	Primary	374.00'	4.0" Round Culvert L= 30.0' CMP, mitered to conform to fill, Ke= 0.700 Inlet / Outlet Invert= 374.00' / 373.70' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.28 cfs @ 12.40 hrs HW=374.85' (Free Discharge)

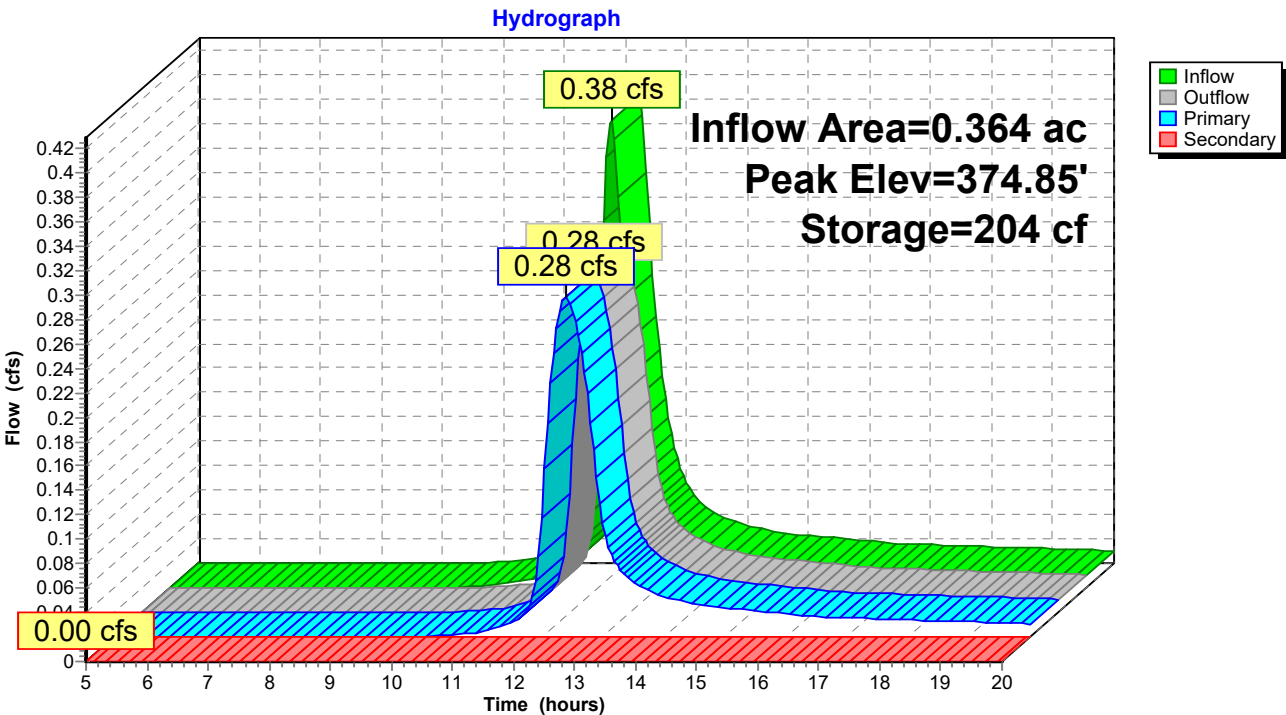
↑ **2=Culvert** (Controls 0.00 cfs)

↑ **3=Culvert** (Barrel Controls 0.28 cfs @ 3.19 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=374.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-2: Infiltration Trench Lot 1



Summary for Pond IT-2A: Infiltration Trench Lot 2A

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.072 ac, 100.00% Impervious, Inflow Depth > 2.17"
 Inflow = 0.25 cfs @ 11.96 hrs, Volume= 0.013 af
 Outflow = 0.14 cfs @ 12.07 hrs, Volume= 0.006 af, Atten= 44%, Lag= 6.4 min
 Primary = 0.14 cfs @ 12.07 hrs, Volume= 0.006 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 393.78' @ 12.07 hrs Surf.Area= 300 sf Storage= 334 cf

Plug-Flow detention time= 194.5 min calculated for 0.006 af (46% of inflow)
 Center-of-Mass det. time= 101.3 min (836.7 - 735.4)

Volume	Invert	Avail.Storage	Storage Description
#1	391.00'	566 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 1,415 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
391.00	300	0	0
392.00	300	300	300
393.00	300	300	600
394.00	300	300	900
394.10	10,000	515	1,415

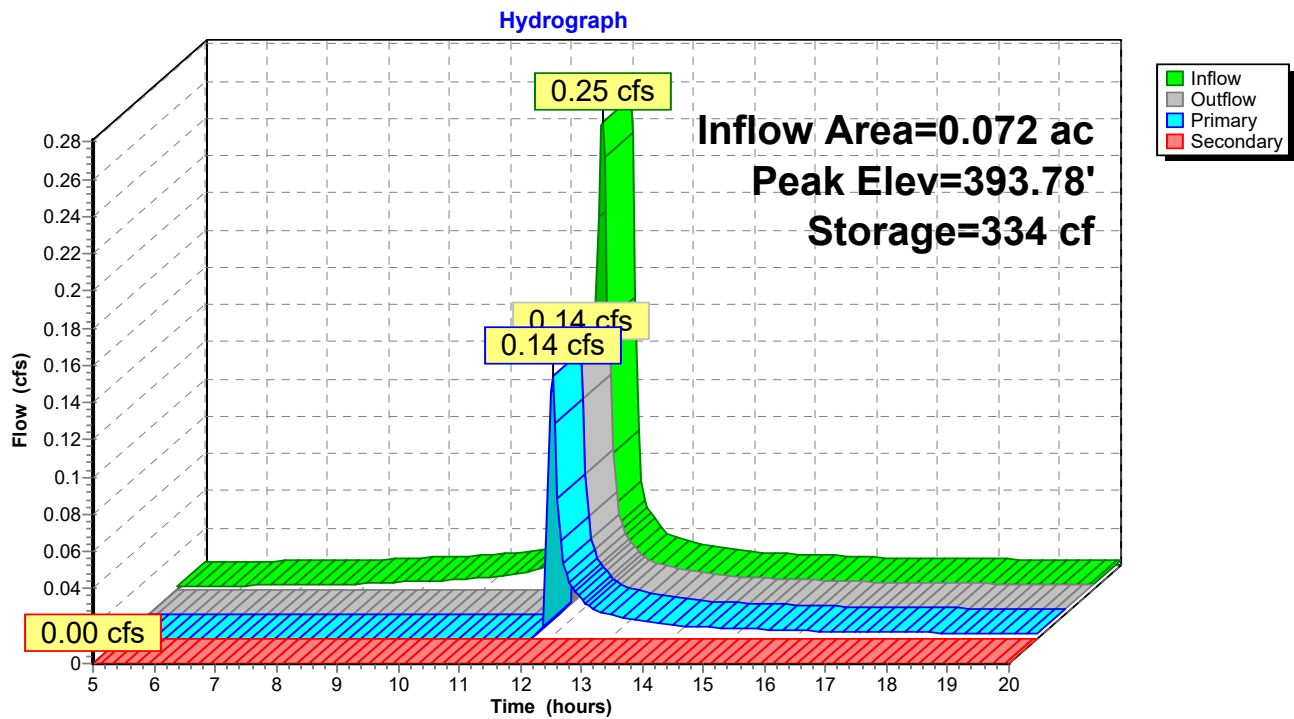
Device	Routing	Invert	Outlet Devices
#1	Secondary	394.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	393.50'	4.0" Round Culvert L= 150.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 393.50' / 303.50' S= 0.6000 ' /' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

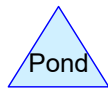
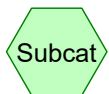
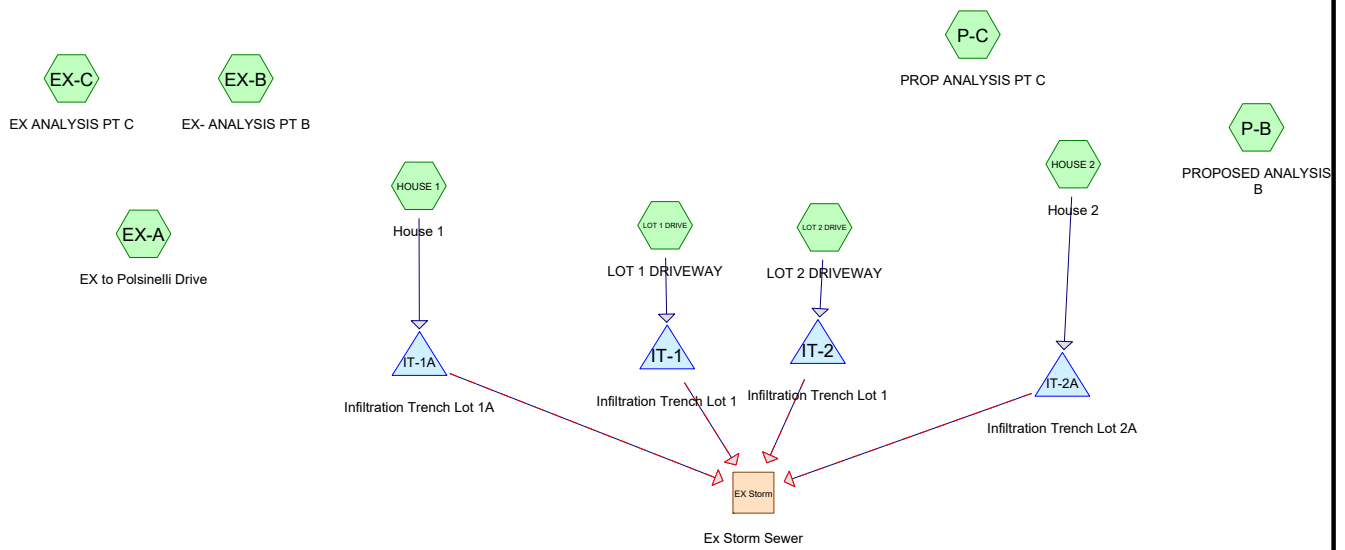
Primary OutFlow Max=0.13 cfs @ 12.07 hrs HW=393.76' (Free Discharge)

↑ **2=Culvert** (Inlet Controls 0.13 cfs @ 1.74 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=391.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-2A: Infiltration Trench Lot 2A



Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.465	80	>75% Grass cover, Good, HSG D (LOT 1 DRIVE, LOT 2 DRIVE)
0.297	98	Paved parking, HSG A (HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE)
4.539	79	Woods, Fair, HSG D (EX-A, EX-B, EX-C, P-C)
1.137	79	Woods/grass comb., Good, HSG D (LOT 1 DRIVE, P-B)
6.438	80	TOTAL AREA

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.297	HSG A	HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE
0.000	HSG B	
0.000	HSG C	
6.141	HSG D	EX-A, EX-B, EX-C, LOT 1 DRIVE, LOT 2 DRIVE, P-B, P-C
0.000	Other	
6.438		TOTAL AREA

Pollsinelli

Prepared by HP

HydroCAD® 10.10-6a s/n 12135 © 2020 HydroCAD Software Solutions LLC

Printed 4/7/2023

Page 4

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.465	0.000	0.465	>75% Grass cover, Good	LOT 1 DRIVE, LOT 2 DRIVE
0.297	0.000	0.000	0.000	0.000	0.297	Paved parking	HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE
0.000	0.000	0.000	4.539	0.000	4.539	Woods, Fair	EX-A, EX-B, EX-C, P-C
0.000	0.000	0.000	1.137	0.000	1.137	Woods/grass comb., Good	LOT 1 DRIVE, P-B
0.297	0.000	0.000	6.141	0.000	6.438	TOTAL AREA	

Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Width (inches)	Diam/Height (inches)	Inside-Fill (inches)
1	EX Storm	0.00	-5.00	100.0	0.0500	0.012	0.0	12.0	0.0
2	IT-1	377.00	375.25	25.0	0.0700	0.012	0.0	4.0	0.0
3	IT-1	374.00	373.70	30.0	0.0100	0.012	0.0	4.0	0.0
4	IT-1A	393.50	303.50	150.0	0.6000	0.012	0.0	4.0	0.0
5	IT-2	376.50	377.00	25.0	-0.0200	0.012	0.0	4.0	0.0
6	IT-2	374.00	373.70	30.0	0.0100	0.012	0.0	4.0	0.0
7	IT-2A	393.50	303.50	150.0	0.6000	0.012	0.0	4.0	0.0

Pollsinelli

Prepared by HP

HydroCAD® 10.10-6a s/n 12135 © 2020 HydroCAD Software Solutions LLC

Type II 24-hr Rainfall=3.65"

Printed 4/7/2023

Page 6

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment EX-A: EX to Polsinelli Drive Runoff Area=50,100 sf 0.00% Impervious Runoff Depth>1.53"
Flow Length=300' Tc=26.5 min CN=79 Runoff=1.79 cfs 0.147 af

Subcatchment EX-B: EX- ANALYSIS PT B Runoff Area=30,008 sf 0.00% Impervious Runoff Depth>1.54"
Flow Length=240' Tc=19.9 min CN=79 Runoff=1.28 cfs 0.088 af

Subcatchment EX-C: EX ANALYSIS PT C Runoff Area=60,108 sf 0.00% Impervious Runoff Depth>1.53"
Flow Length=372' Tc=24.8 min CN=79 Runoff=2.24 cfs 0.176 af

Subcatchment HOUSE 1: House 1 Runoff Area=3,115 sf 100.00% Impervious Runoff Depth>3.15"
Tc=6.0 min CN=98 Runoff=0.36 cfs 0.019 af

Subcatchment HOUSE 2: House 2 Runoff Area=3,115 sf 100.00% Impervious Runoff Depth>3.15"
Tc=6.0 min CN=98 Runoff=0.36 cfs 0.019 af

Subcatchment LOT 1 DRIVE: LOT 1 Runoff Area=32,485 sf 9.54% Impervious Runoff Depth>1.67"
Flow Length=240' Tc=25.7 min CN=81 Runoff=1.30 cfs 0.104 af

Subcatchment LOT 2 DRIVE: LOT 2 Runoff Area=15,847 sf 22.67% Impervious Runoff Depth>1.90"
Flow Length=240' Tc=27.7 min CN=84 Runoff=0.68 cfs 0.058 af

Subcatchment P-B: PROPOSED ANALYSIS Runoff Area=28,131 sf 0.00% Impervious Runoff Depth>1.54"
Flow Length=220' Tc=18.3 min CN=79 Runoff=1.26 cfs 0.083 af

Subcatchment P-C: PROP ANALYSIS PT C Runoff Area=57,523 sf 0.00% Impervious Runoff Depth>1.53"
Flow Length=372' Tc=24.8 min CN=79 Runoff=2.14 cfs 0.169 af

Reach EX Storm: Ex Storm Sewer Avg. Flow Depth=0.27' Max Vel=8.09 fps Inflow=1.41 cfs 0.184 af
12.0" Round Pipe n=0.012 L=100.0' S=0.0500 '/ Capacity=8.63 cfs Outflow=1.41 cfs 0.184 af

Pond IT-1: Infiltration Trench Lot 1 Peak Elev=377.74' Storage=898 cf Inflow=1.30 cfs 0.104 af
Primary=0.91 cfs 0.103 af Secondary=0.00 cfs 0.000 af Outflow=0.91 cfs 0.103 af

Pond IT-1A: Infiltration Trench Lot 1A Peak Elev=394.03' Storage=375 cf Inflow=0.36 cfs 0.019 af
Primary=0.25 cfs 0.012 af Secondary=0.00 cfs 0.000 af Outflow=0.25 cfs 0.012 af

Pond IT-2: Infiltration Trench Lot 1 Peak Elev=375.93' Storage=463 cf Inflow=0.68 cfs 0.058 af
Primary=0.42 cfs 0.057 af Secondary=0.00 cfs 0.000 af Outflow=0.42 cfs 0.057 af

Pond IT-2A: Infiltration Trench Lot 2A Peak Elev=394.03' Storage=375 cf Inflow=0.36 cfs 0.019 af
Primary=0.25 cfs 0.012 af Secondary=0.00 cfs 0.000 af Outflow=0.25 cfs 0.012 af

Total Runoff Area = 6.438 ac Runoff Volume = 0.862 af Average Runoff Depth = 1.61"
95.39% Pervious = 6.141 ac 4.61% Impervious = 0.297 ac

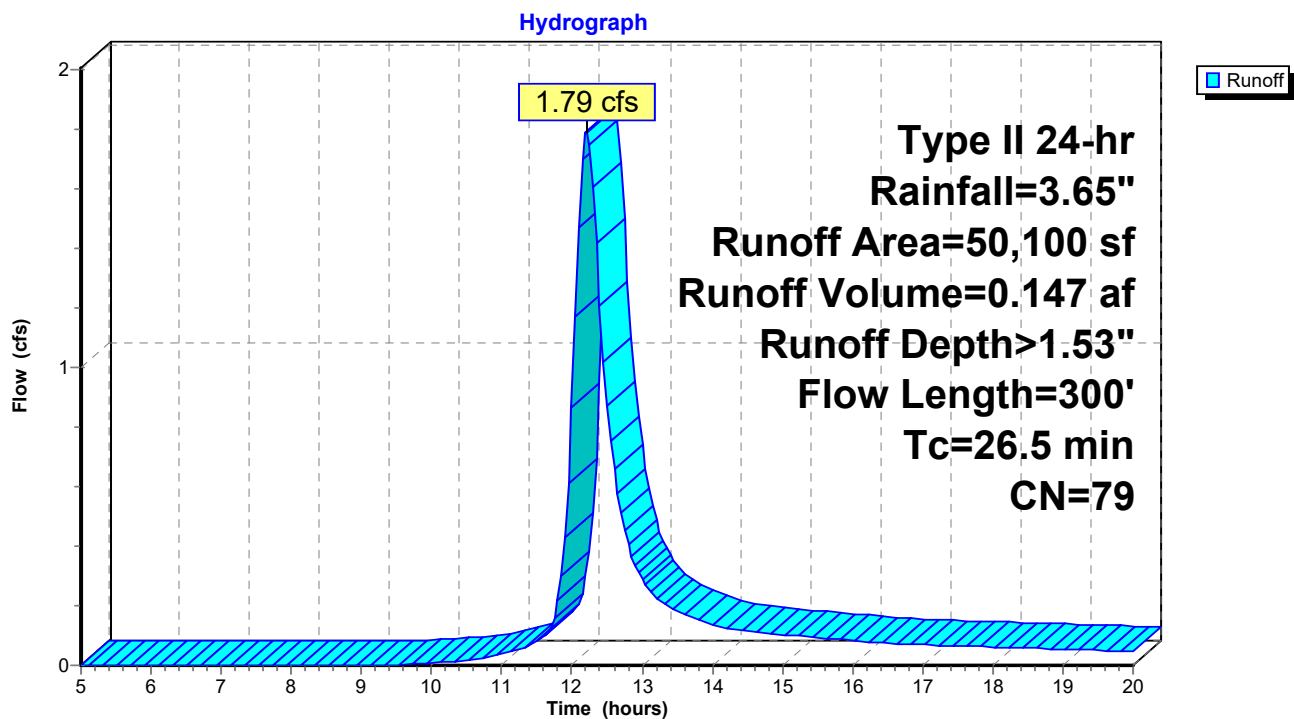
Summary for Subcatchment EX-A: EX to Polsinelli Drive

Runoff = 1.79 cfs @ 12.21 hrs, Volume= 0.147 af, Depth> 1.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
50,100	79	Woods, Fair, HSG D
50,100		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
23.8	100	0.0200	0.07		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
2.7	200	0.0600	1.22		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
26.5	300	Total			

Subcatchment EX-A: EX to Polsinelli Drive

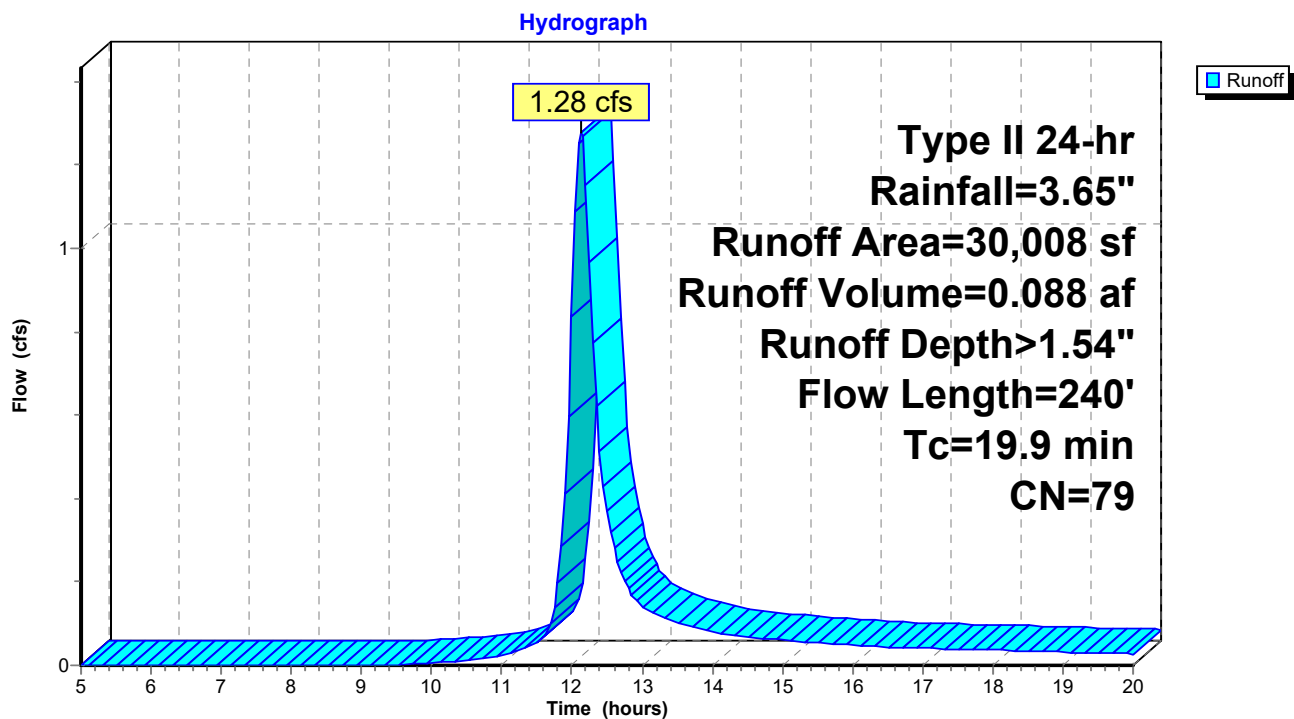
Summary for Subcatchment EX-B: EX- ANALYSIS PT B

Runoff = 1.28 cfs @ 12.13 hrs, Volume= 0.088 af, Depth> 1.54"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
30,008	79	Woods, Fair, HSG D
30,008		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.1	100	0.0400	0.09		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
1.8	140	0.0700	1.32		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
19.9	240	Total			

Subcatchment EX-B: EX- ANALYSIS PT B

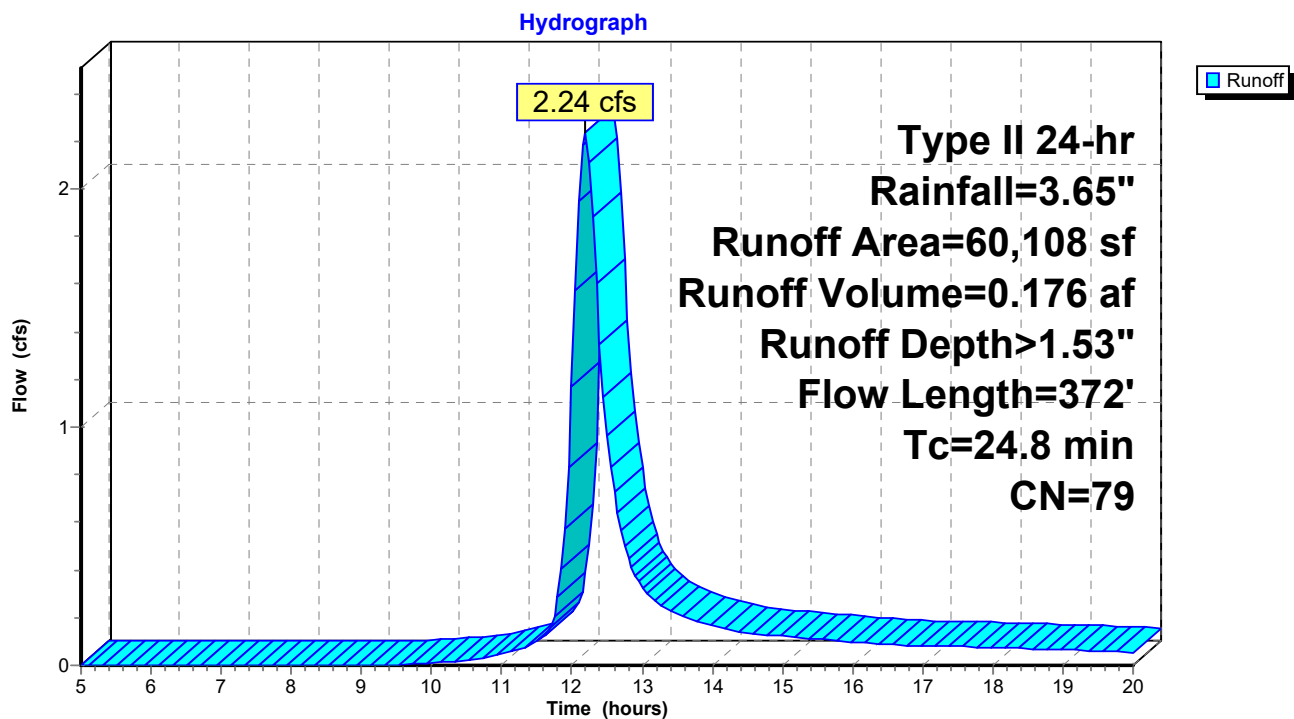
Summary for Subcatchment EX-C: EX ANALYSIS PT C

Runoff = 2.24 cfs @ 12.19 hrs, Volume= 0.176 af, Depth> 1.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
60,108	79	Woods, Fair, HSG D
60,108		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.3	100	0.0300	0.08		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
4.5	272	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.8	372	Total			

Subcatchment EX-C: EX ANALYSIS PT C

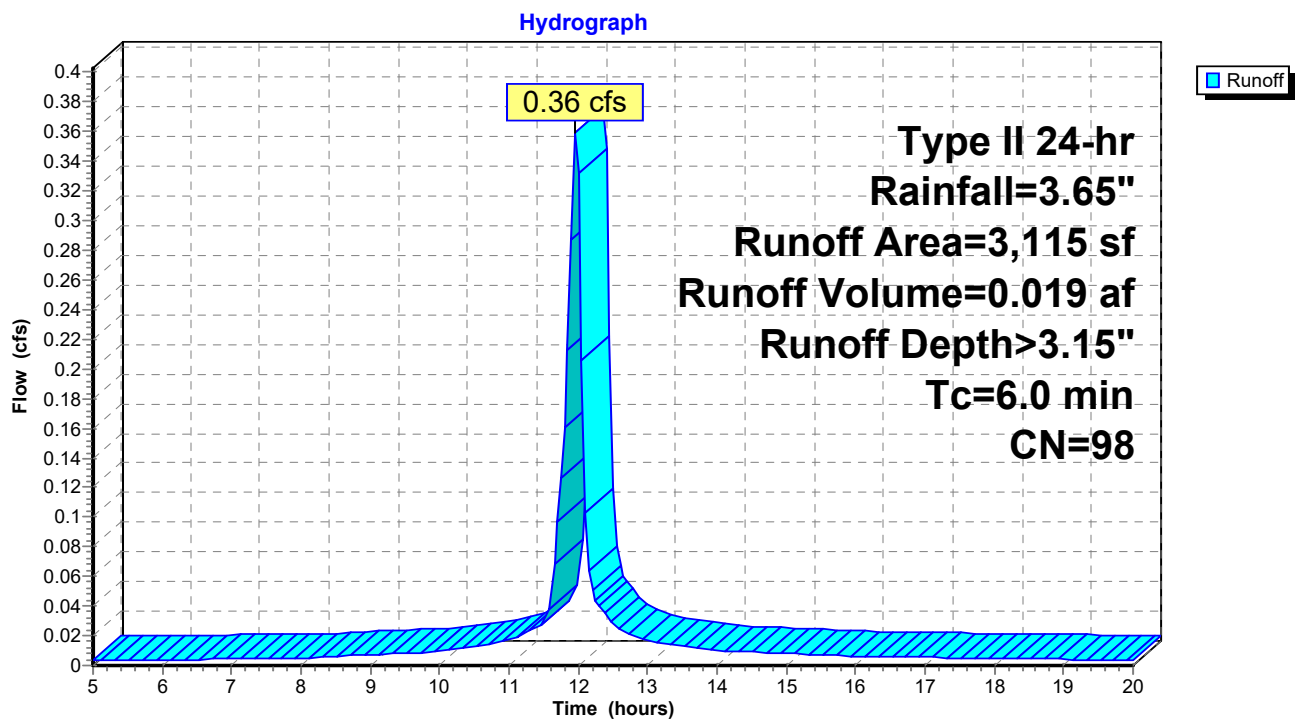
Summary for Subcatchment HOUSE 1: House 1

Runoff = 0.36 cfs @ 11.96 hrs, Volume= 0.019 af, Depth> 3.15"
 Routed to Pond IT-1A : Infiltration Trench Lot 1A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
3,115	98	Paved parking, HSG A
3,115		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, TR-55 Min.

Subcatchment HOUSE 1: House 1

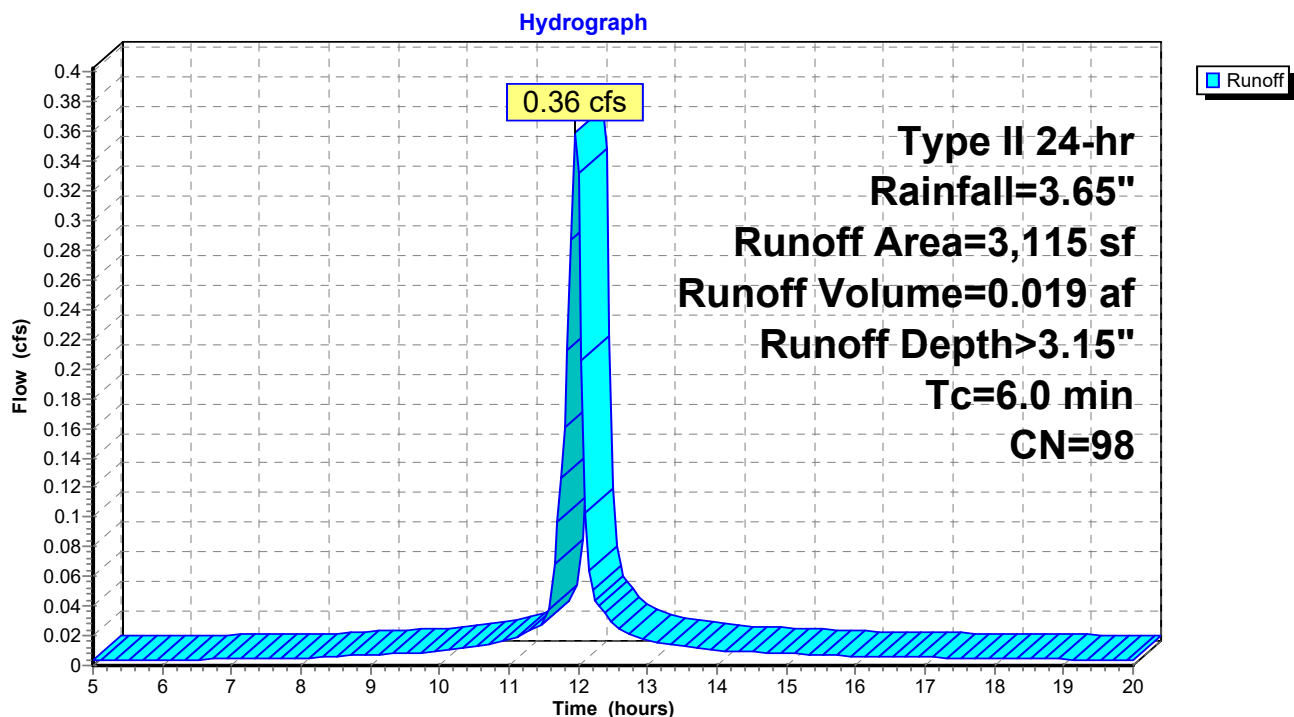
Summary for Subcatchment HOUSE 2: House 2

Runoff = 0.36 cfs @ 11.96 hrs, Volume= 0.019 af, Depth> 3.15"
 Routed to Pond IT-2A : Infiltration Trench Lot 2A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
3,115	98	Paved parking, HSG A
3,115		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, TR-55 Min.

Subcatchment HOUSE 2: House 2

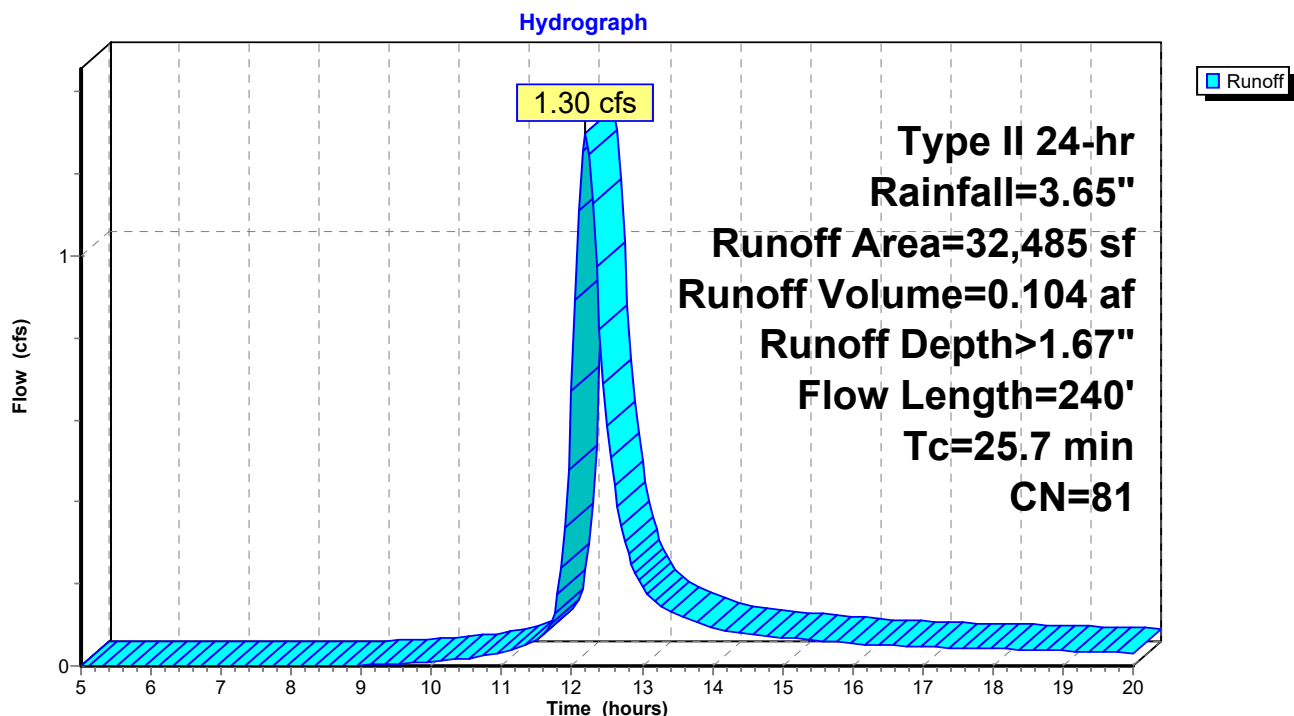
Summary for Subcatchment LOT 1 DRIVE: LOT 1 DRIVEWAY

Runoff = 1.30 cfs @ 12.20 hrs, Volume= 0.104 af, Depth> 1.67"
 Routed to Pond IT-1 : Infiltration Trench Lot 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
3,100	98	Paved parking, HSG A
8,000	80	>75% Grass cover, Good, HSG D
21,385	79	Woods/grass comb., Good, HSG D
32,485	81	Weighted Average
29,385		90.46% Pervious Area
3,100		9.54% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
23.8	100	0.0200	0.07		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
1.9	140	0.0600	1.22		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
25.7	240	Total			

Subcatchment LOT 1 DRIVE: LOT 1 DRIVEWAY

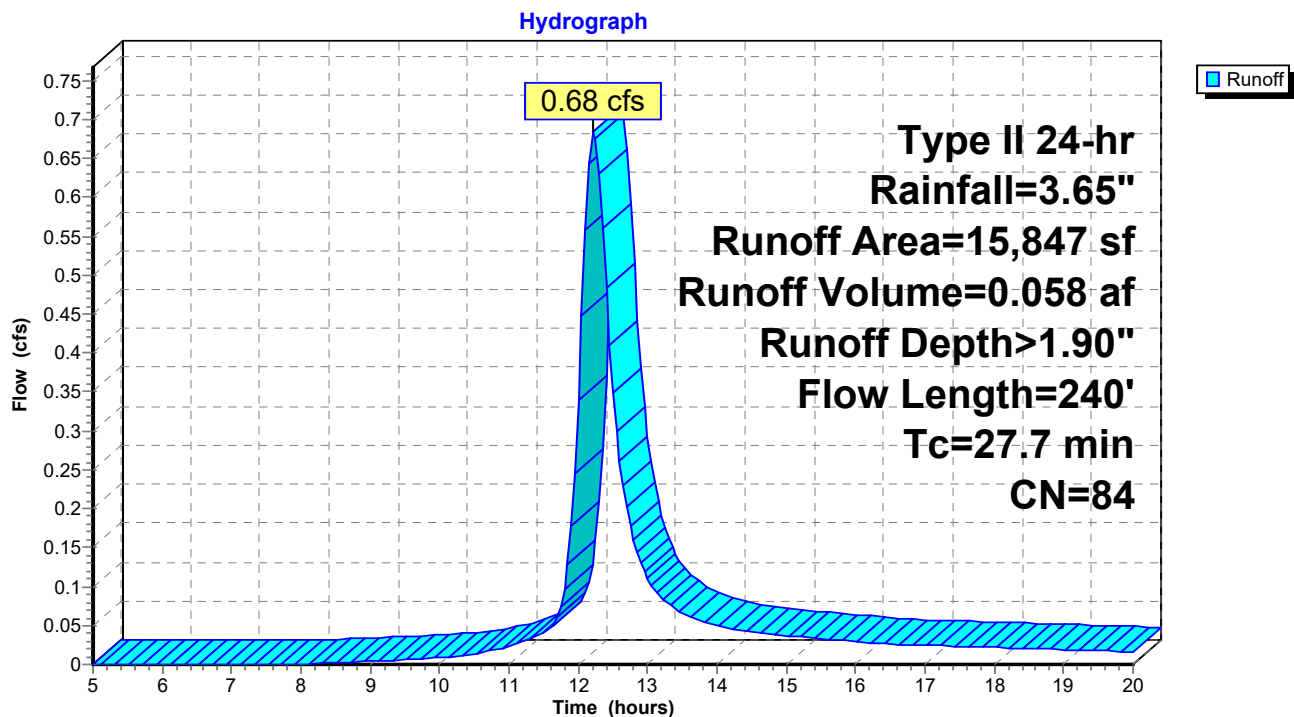
Summary for Subcatchment LOT 2 DRIVE: LOT 2 DRIVEWAY

Runoff = 0.68 cfs @ 12.22 hrs, Volume= 0.058 af, Depth> 1.90"
 Routed to Pond IT-2 : Infiltration Trench Lot 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
3,592	98	Paved parking, HSG A
12,255	80	>75% Grass cover, Good, HSG D
15,847	84	Weighted Average
12,255		77.33% Pervious Area
3,592		22.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
27.3	100	0.0150	0.06		Sheet Flow, Grass: Bermuda n= 0.410 P2= 2.60"
0.4	140	0.1000	6.42		Shallow Concentrated Flow, Paved Kv= 20.3 fps
27.7	240	Total			

Subcatchment LOT 2 DRIVE: LOT 2 DRIVEWAY

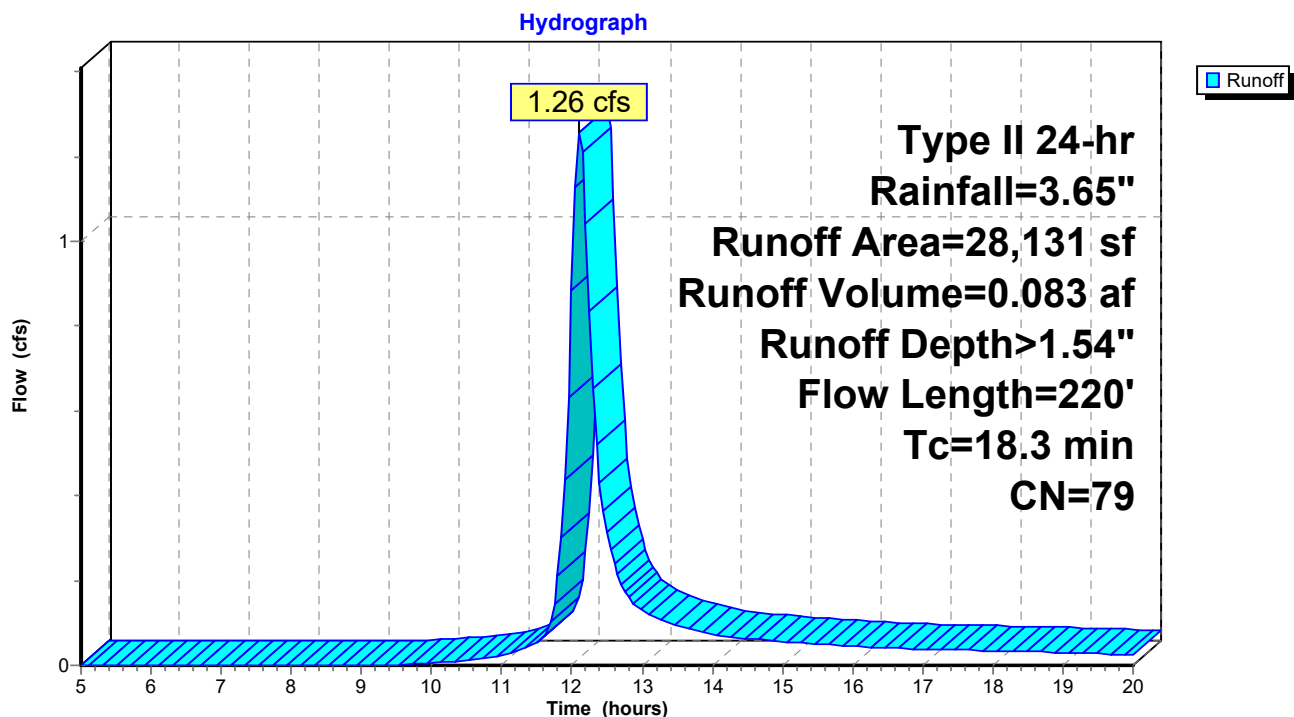
Summary for Subcatchment P-B: PROPOSED ANALYSIS B

Runoff = 1.26 cfs @ 12.11 hrs, Volume= 0.083 af, Depth> 1.54"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
28,131	79	Woods/grass comb., Good, HSG D
28,131		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.8	100	0.0500	0.10		Sheet Flow, Grass: Bermuda n= 0.410 P2= 2.60"
1.5	120	0.0700	1.32		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
18.3	220	Total			

Subcatchment P-B: PROPOSED ANALYSIS B

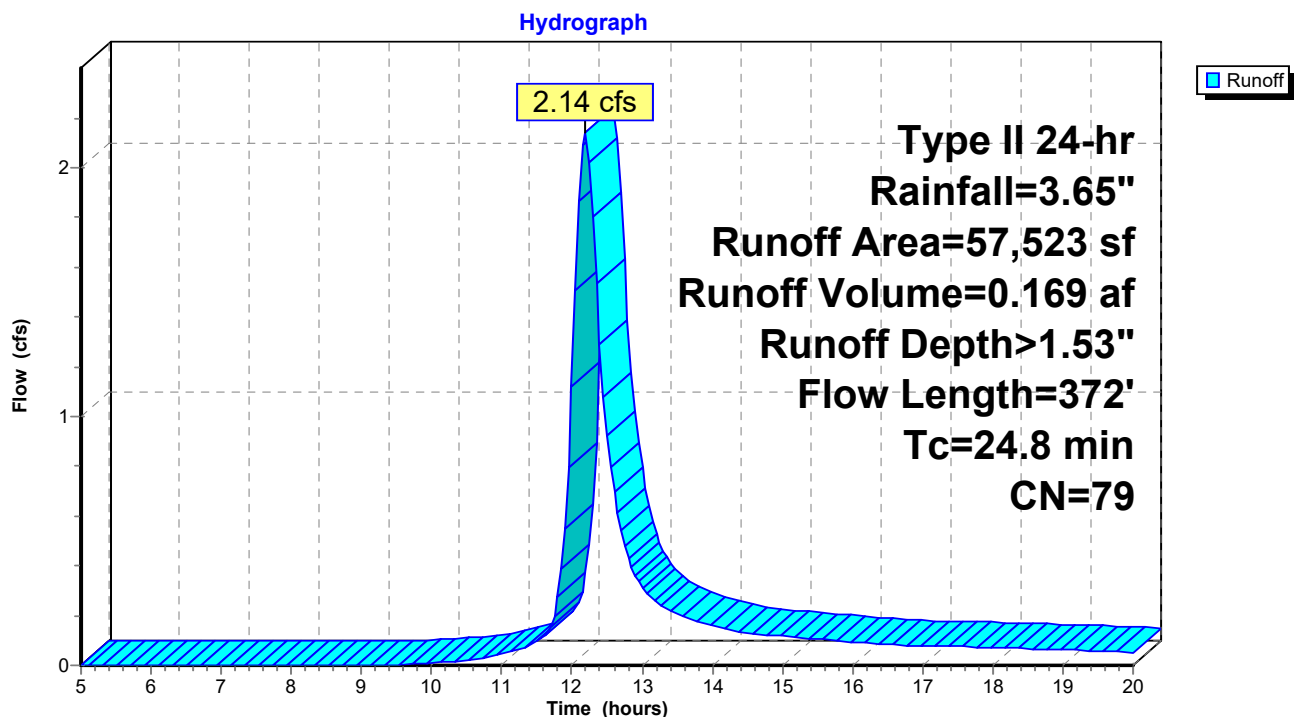
Summary for Subcatchment P-C: PROP ANALYSIS PT C

Runoff = 2.14 cfs @ 12.19 hrs, Volume= 0.169 af, Depth> 1.53"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=3.65"

Area (sf)	CN	Description
57,523	79	Woods, Fair, HSG D
57,523		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.3	100	0.0300	0.08		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
4.5	272	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.8	372	Total			

Subcatchment P-C: PROP ANALYSIS PT C

Summary for Reach EX Storm: Ex Storm Sewer

[52] Hint: Inlet/Outlet conditions not evaluated

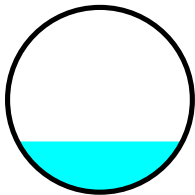
[65] Warning: Inlet elevation not specified

Inflow Area = 1.253 ac, 23.68% Impervious, Inflow Depth > 1.76"
Inflow = 1.41 cfs @ 12.37 hrs, Volume= 0.184 af
Outflow = 1.41 cfs @ 12.38 hrs, Volume= 0.184 af, Atten= 0%, Lag= 0.5 min

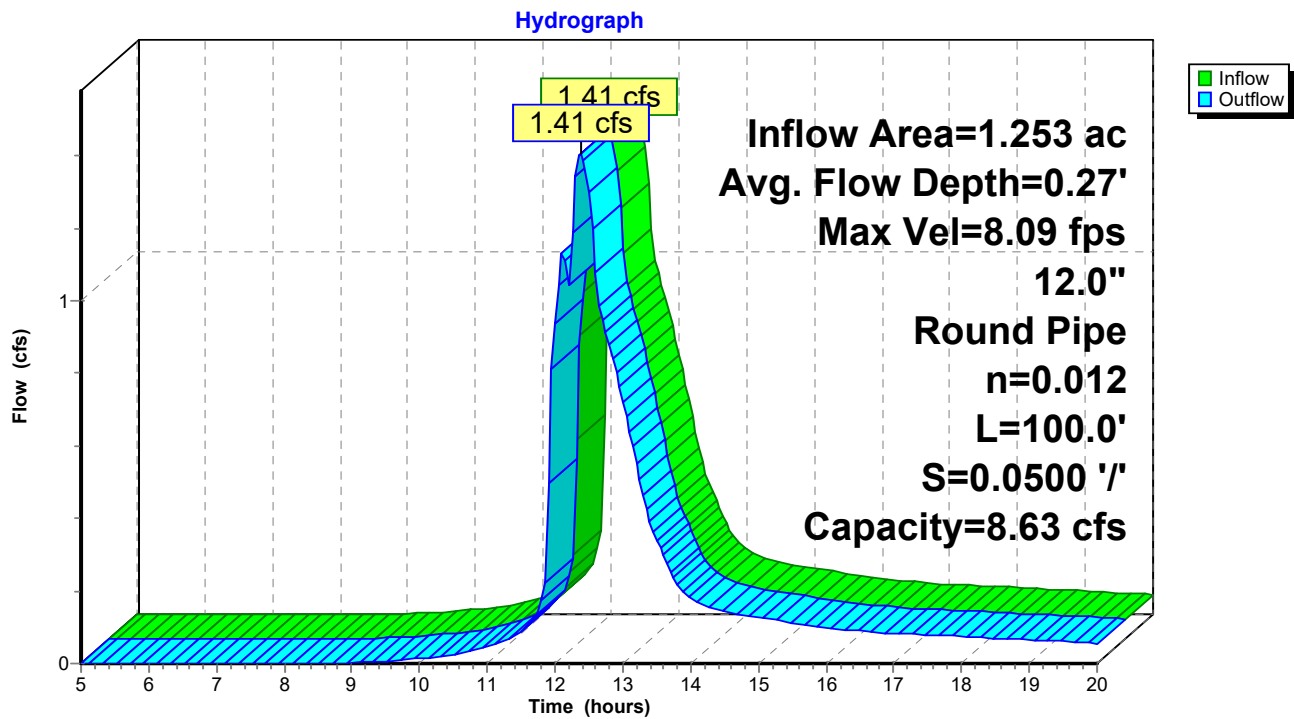
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 8.09 fps, Min. Travel Time= 0.2 min
Avg. Velocity= 3.59 fps, Avg. Travel Time= 0.5 min

Peak Storage= 17 cf @ 12.38 hrs
Average Depth at Peak Storage= 0.27' , Surface Width= 0.89'
Bank-Full Depth= 1.00' Flow Area= 0.8 sf, Capacity= 8.63 cfs

12.0" Round Pipe
n= 0.012
Length= 100.0' Slope= 0.0500 '/'
Inlet Invert= 0.00', Outlet Invert= -5.00'



Reach EX Storm: Ex Storm Sewer



Summary for Pond IT-1: Infiltration Trench Lot 1

Inflow Area = 0.746 ac, 9.54% Impervious, Inflow Depth > 1.67"
 Inflow = 1.30 cfs @ 12.20 hrs, Volume= 0.104 af
 Outflow = 0.91 cfs @ 12.37 hrs, Volume= 0.103 af, Atten= 30%, Lag= 10.5 min
 Primary = 0.91 cfs @ 12.37 hrs, Volume= 0.103 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 377.74' @ 12.37 hrs Surf.Area= 600 sf Storage= 898 cf

Plug-Flow detention time= 15.4 min calculated for 0.103 af (99% of inflow)
 Center-of-Mass det. time= 12.9 min (815.8 - 803.0)

Volume	Invert	Avail.Storage	Storage Description
#1	374.00'	1,172 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 2,930 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
374.00	600	0	0
375.00	600	600	600
376.00	600	600	1,200
377.00	600	600	1,800
378.00	600	600	2,400
378.10	10,000	530	2,930

Device	Routing	Invert	Outlet Devices
#1	Secondary	378.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	377.00'	4.0" Round Culvert L= 25.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 377.00' / 375.25' S= 0.0700 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf
#3	Primary	374.00'	4.0" Round Culvert L= 30.0' CMP, mitered to conform to fill, Ke= 0.700 Inlet / Outlet Invert= 374.00' / 373.70' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.91 cfs @ 12.37 hrs HW=377.73' (Free Discharge)

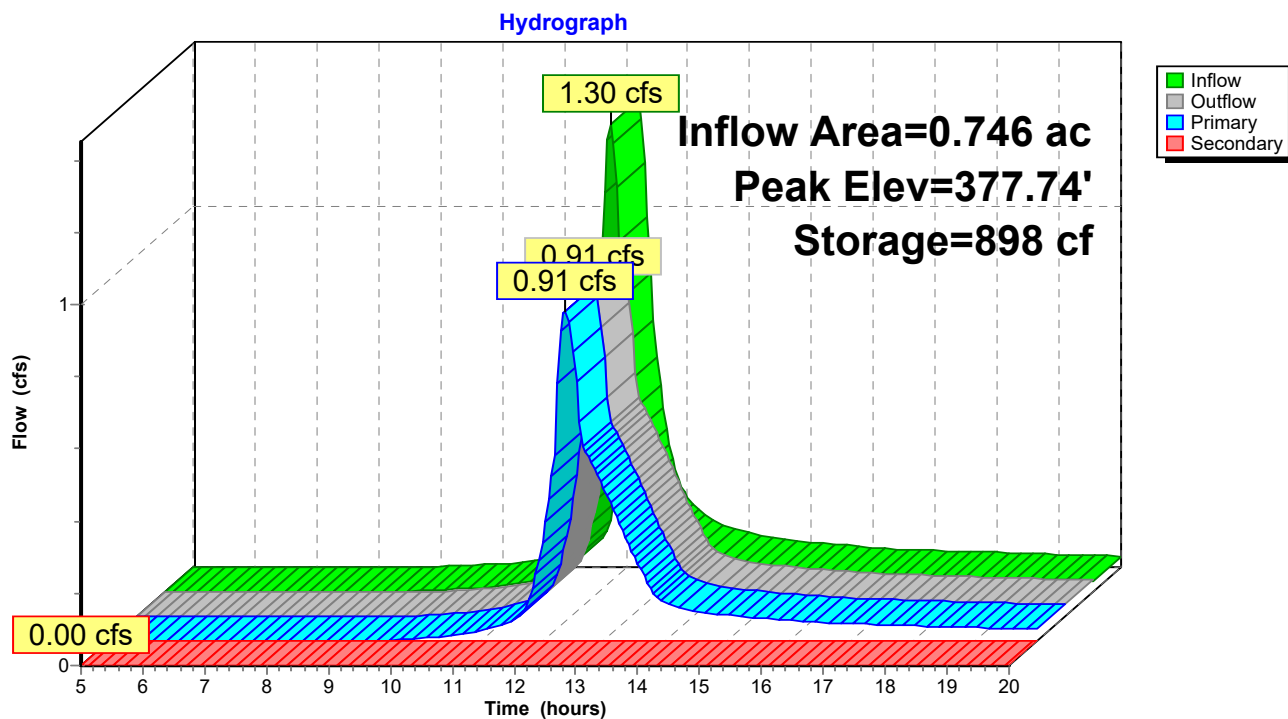
↑ **2=Culvert** (Inlet Controls 0.31 cfs @ 3.60 fps)

↑ **3=Culvert** (Barrel Controls 0.59 cfs @ 6.78 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=374.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-1: Infiltration Trench Lot 1



Summary for Pond IT-1A: Infiltration Trench Lot 1A

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.072 ac, 100.00% Impervious, Inflow Depth > 3.15"
 Inflow = 0.36 cfs @ 11.96 hrs, Volume= 0.019 af
 Outflow = 0.25 cfs @ 12.03 hrs, Volume= 0.012 af, Atten= 30%, Lag= 4.3 min
 Primary = 0.25 cfs @ 12.03 hrs, Volume= 0.012 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 394.03' @ 12.03 hrs Surf.Area= 2,752 sf Storage= 375 cf

Plug-Flow detention time= 143.8 min calculated for 0.012 af (63% of inflow)
 Center-of-Mass det. time= 71.6 min (803.7 - 732.1)

Volume	Invert	Avail.Storage	Storage Description
#1	391.00'	566 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 1,415 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
391.00	300	0	0
392.00	300	300	300
393.00	300	300	600
394.00	300	300	900
394.10	10,000	515	1,415

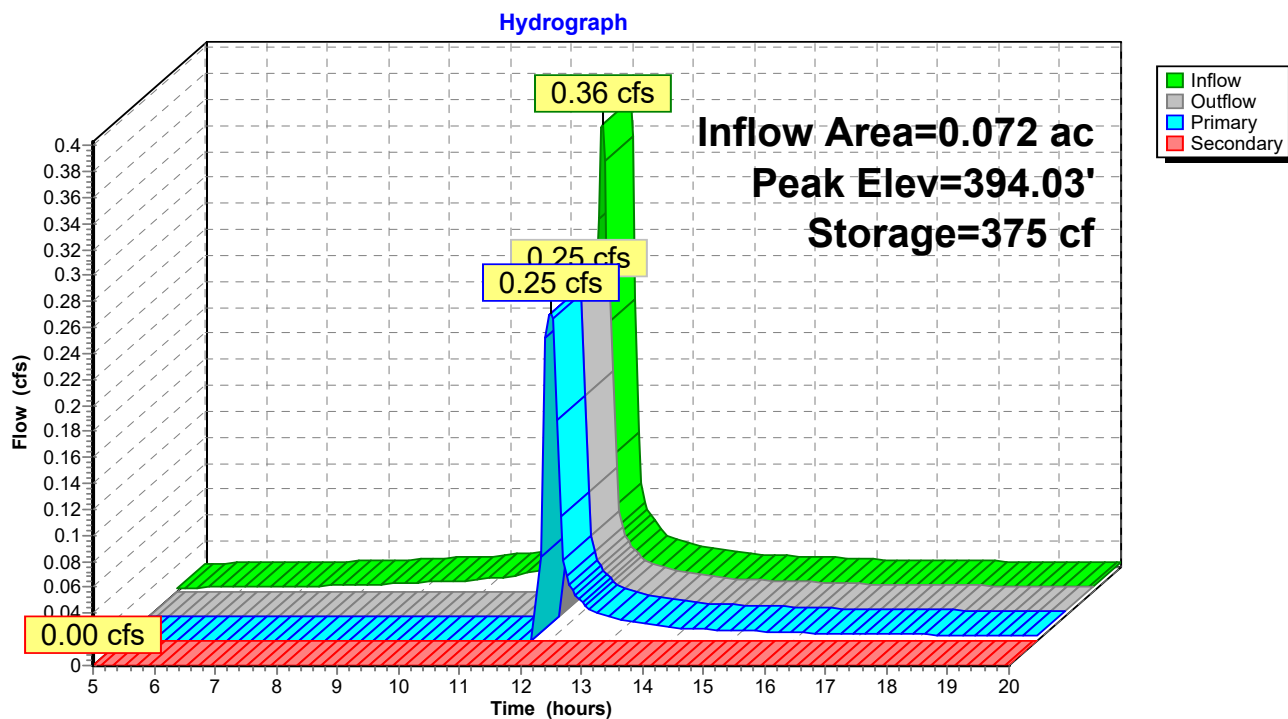
Device	Routing	Invert	Outlet Devices
#1	Secondary	394.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	393.50'	4.0" Round Culvert L= 150.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 393.50' / 303.50' S= 0.6000 ' /' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.25 cfs @ 12.03 hrs HW=394.02' (Free Discharge)

↑ **2=Culvert** (Inlet Controls 0.25 cfs @ 2.87 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=391.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-1A: Infiltration Trench Lot 1A

Summary for Pond IT-2: Infiltration Trench Lot 1

Inflow Area = 0.364 ac, 22.67% Impervious, Inflow Depth > 1.90"
 Inflow = 0.68 cfs @ 12.22 hrs, Volume= 0.058 af
 Outflow = 0.42 cfs @ 12.44 hrs, Volume= 0.057 af, Atten= 38%, Lag= 13.6 min
 Primary = 0.42 cfs @ 12.44 hrs, Volume= 0.057 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 375.93' @ 12.44 hrs Surf.Area= 600 sf Storage= 463 cf

Plug-Flow detention time= 14.9 min calculated for 0.057 af (99% of inflow)
 Center-of-Mass det. time= 11.6 min (809.1 - 797.4)

Volume	Invert	Avail.Storage	Storage Description
#1	374.00'	1,172 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 2,930 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
374.00	600	0	0
375.00	600	600	600
376.00	600	600	1,200
377.00	600	600	1,800
378.00	600	600	2,400
378.10	10,000	530	2,930

Device	Routing	Invert	Outlet Devices
#1	Secondary	378.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	377.00'	4.0" Round Culvert L= 25.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 376.50' / 377.00' S= -0.0200 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf
#3	Primary	374.00'	4.0" Round Culvert L= 30.0' CMP, mitered to conform to fill, Ke= 0.700 Inlet / Outlet Invert= 374.00' / 373.70' S= 0.0100 '/' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.42 cfs @ 12.44 hrs HW=375.93' (Free Discharge)

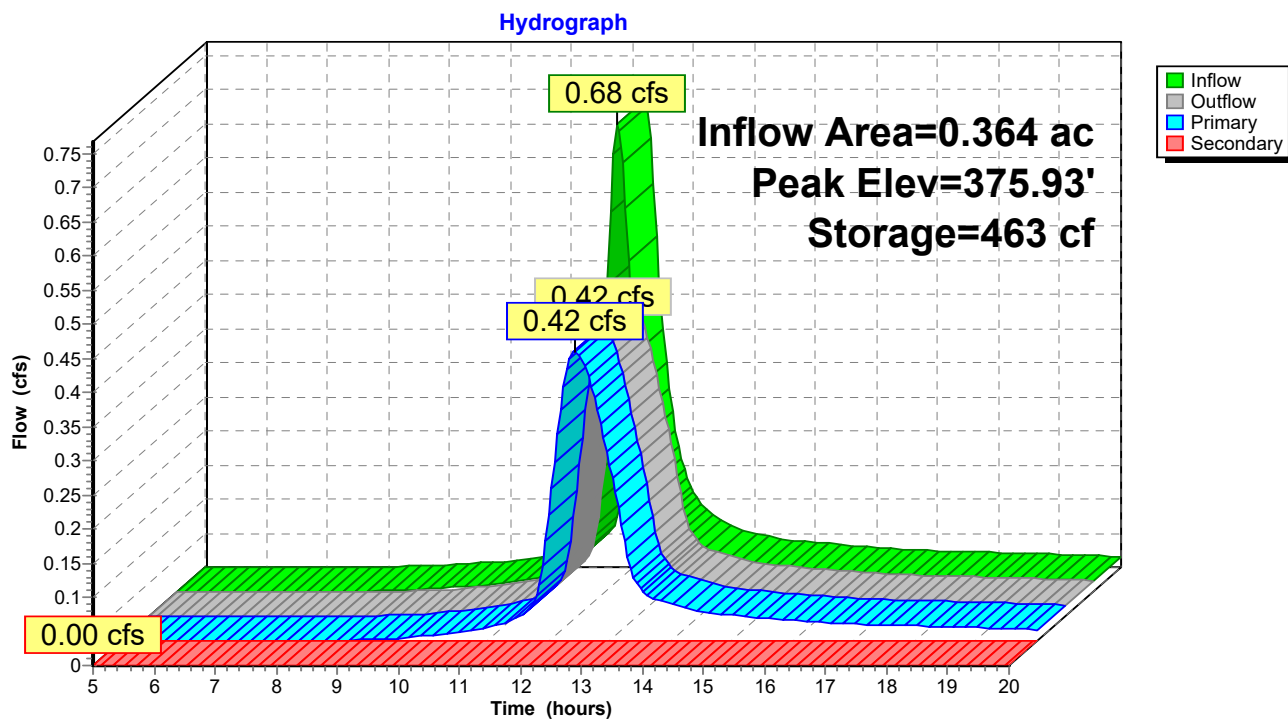
↑ **2=Culvert** (Controls 0.00 cfs)

↑ **3=Culvert** (Barrel Controls 0.42 cfs @ 4.86 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=374.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-2: Infiltration Trench Lot 1



Summary for Pond IT-2A: Infiltration Trench Lot 2A

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.072 ac, 100.00% Impervious, Inflow Depth > 3.15"
 Inflow = 0.36 cfs @ 11.96 hrs, Volume= 0.019 af
 Outflow = 0.25 cfs @ 12.03 hrs, Volume= 0.012 af, Atten= 30%, Lag= 4.3 min
 Primary = 0.25 cfs @ 12.03 hrs, Volume= 0.012 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 394.03' @ 12.03 hrs Surf.Area= 2,752 sf Storage= 375 cf

Plug-Flow detention time= 143.8 min calculated for 0.012 af (63% of inflow)
 Center-of-Mass det. time= 71.6 min (803.7 - 732.1)

Volume	Invert	Avail.Storage	Storage Description
#1	391.00'	566 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 1,415 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
391.00	300	0	0
392.00	300	300	300
393.00	300	300	600
394.00	300	300	900
394.10	10,000	515	1,415

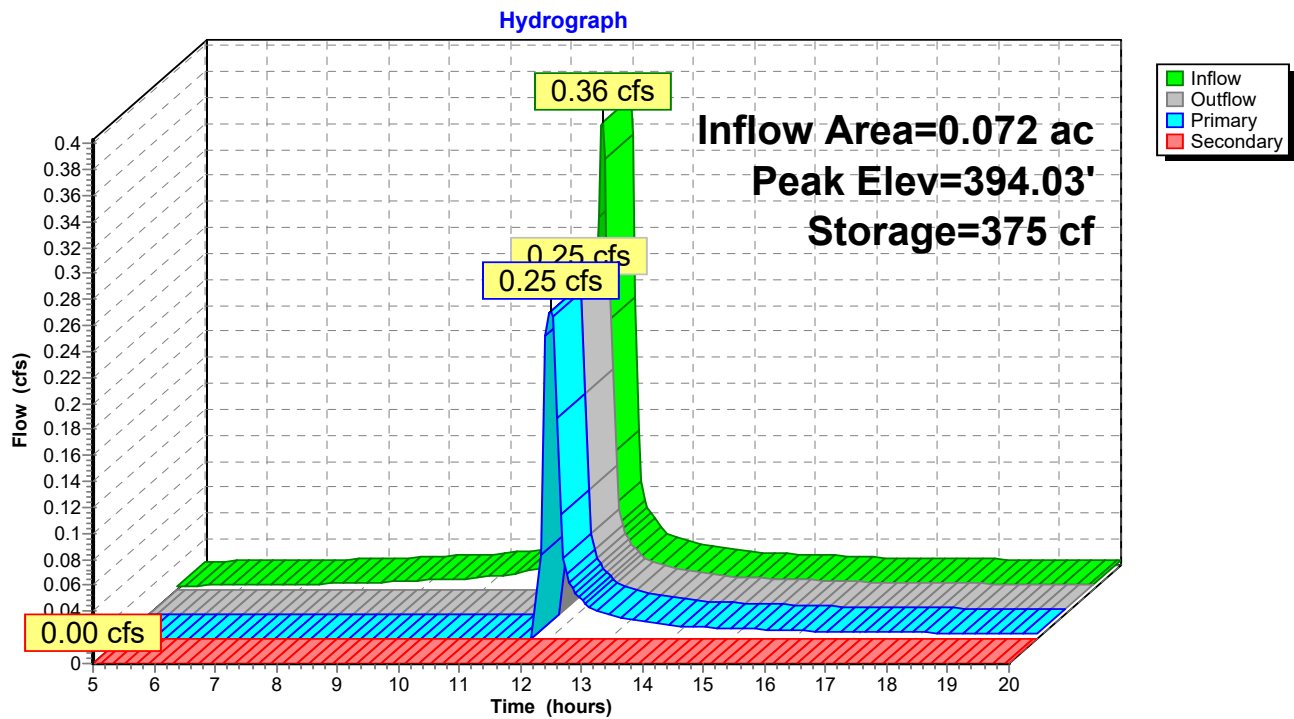
Device	Routing	Invert	Outlet Devices
#1	Secondary	394.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	393.50'	4.0" Round Culvert L= 150.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 393.50' / 303.50' S= 0.6000 ' /' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

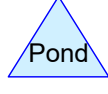
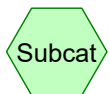
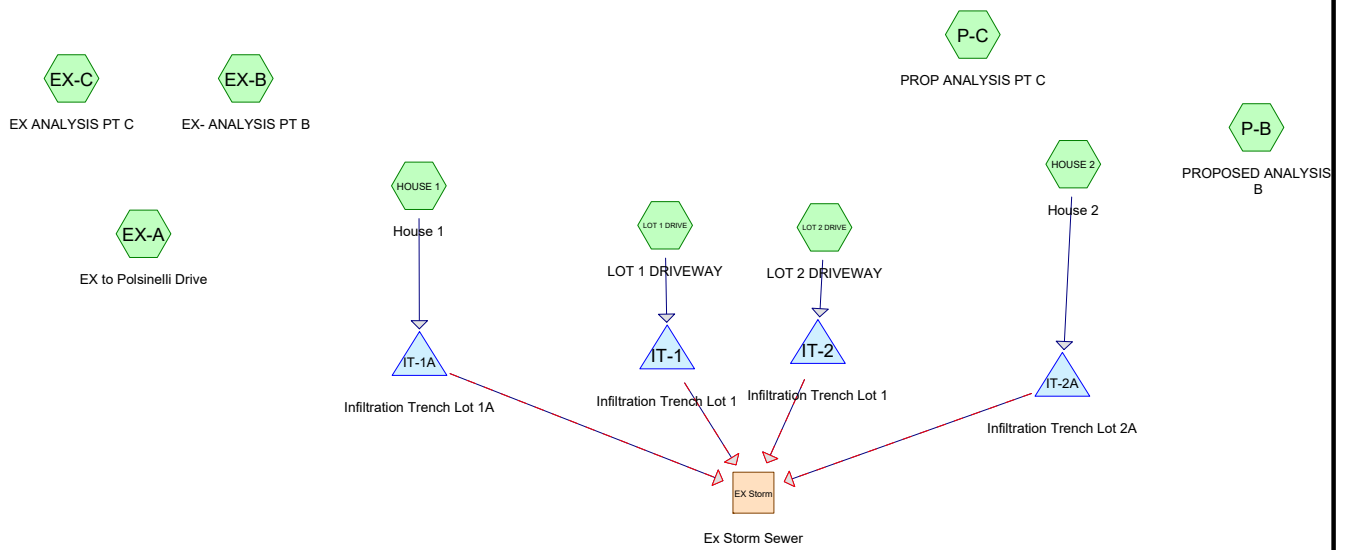
Primary OutFlow Max=0.25 cfs @ 12.03 hrs HW=394.02' (Free Discharge)

↑ **2=Culvert** (Inlet Controls 0.25 cfs @ 2.87 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=391.00' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Controls 0.00 cfs)

Pond IT-2A: Infiltration Trench Lot 2A



Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.465	80	>75% Grass cover, Good, HSG D (LOT 1 DRIVE, LOT 2 DRIVE)
0.297	98	Paved parking, HSG A (HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE)
4.539	79	Woods, Fair, HSG D (EX-A, EX-B, EX-C, P-C)
1.137	79	Woods/grass comb., Good, HSG D (LOT 1 DRIVE, P-B)
6.438	80	TOTAL AREA

Soil Listing (all nodes)

Area (acres)	Soil Group	Subcatchment Numbers
0.297	HSG A	HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE
0.000	HSG B	
0.000	HSG C	
6.141	HSG D	EX-A, EX-B, EX-C, LOT 1 DRIVE, LOT 2 DRIVE, P-B, P-C
0.000	Other	
6.438		TOTAL AREA

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.000	0.465	0.000	0.465	>75% Grass cover, Good	LOT 1 DRIVE, LOT 2 DRIVE
0.297	0.000	0.000	0.000	0.000	0.297	Paved parking	HOUSE 1, HOUSE 2, LOT 1 DRIVE, LOT 2 DRIVE
0.000	0.000	0.000	4.539	0.000	4.539	Woods, Fair	EX-A, EX-B, EX-C, P-C
0.000	0.000	0.000	1.137	0.000	1.137	Woods/grass comb., Good	LOT 1 DRIVE, P-B
0.297	0.000	0.000	6.141	0.000	6.438	TOTAL AREA	

Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Width (inches)	Diam/Height (inches)	Inside-Fill (inches)
1	EX Storm	0.00	-5.00	100.0	0.0500	0.012	0.0	12.0	0.0
2	IT-1	377.00	375.25	25.0	0.0700	0.012	0.0	4.0	0.0
3	IT-1	374.00	373.70	30.0	0.0100	0.012	0.0	4.0	0.0
4	IT-1A	393.50	303.50	150.0	0.6000	0.012	0.0	4.0	0.0
5	IT-2	376.50	377.00	25.0	-0.0200	0.012	0.0	4.0	0.0
6	IT-2	374.00	373.70	30.0	0.0100	0.012	0.0	4.0	0.0
7	IT-2A	393.50	303.50	150.0	0.6000	0.012	0.0	4.0	0.0

Pollsinelli

Prepared by HP

HydroCAD® 10.10-6a s/n 12135 © 2020 HydroCAD Software Solutions LLC

Type II 24-hr Rainfall=6.07"

Printed 4/7/2023

Page 6

Time span=5.00-20.00 hrs, dt=0.05 hrs, 301 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment EX-A: EX to Polsinelli Drive Runoff Area=50,100 sf 0.00% Impervious Runoff Depth>3.45"
Flow Length=300' Tc=26.5 min CN=79 Runoff=4.03 cfs 0.331 af

Subcatchment EX-B: EX- ANALYSIS PT B Runoff Area=30,008 sf 0.00% Impervious Runoff Depth>3.46"
Flow Length=240' Tc=19.9 min CN=79 Runoff=2.86 cfs 0.199 af

Subcatchment EX-C: EX ANALYSIS PT C Runoff Area=60,108 sf 0.00% Impervious Runoff Depth>3.46"
Flow Length=372' Tc=24.8 min CN=79 Runoff=5.03 cfs 0.397 af

Subcatchment HOUSE 1: House 1 Runoff Area=3,115 sf 100.00% Impervious Runoff Depth>5.33"
Tc=6.0 min CN=98 Runoff=0.60 cfs 0.032 af

Subcatchment HOUSE 2: House 2 Runoff Area=3,115 sf 100.00% Impervious Runoff Depth>5.33"
Tc=6.0 min CN=98 Runoff=0.60 cfs 0.032 af

Subcatchment LOT 1 DRIVE: LOT 1 Runoff Area=32,485 sf 9.54% Impervious Runoff Depth>3.65"
Flow Length=240' Tc=25.7 min CN=81 Runoff=2.80 cfs 0.227 af

Subcatchment LOT 2 DRIVE: LOT 2 Runoff Area=15,847 sf 22.67% Impervious Runoff Depth>3.96"
Flow Length=240' Tc=27.7 min CN=84 Runoff=1.40 cfs 0.120 af

Subcatchment P-B: PROPOSED ANALYSIS Runoff Area=28,131 sf 0.00% Impervious Runoff Depth>3.46"
Flow Length=220' Tc=18.3 min CN=79 Runoff=2.80 cfs 0.186 af

Subcatchment P-C: PROP ANALYSIS PT C Runoff Area=57,523 sf 0.00% Impervious Runoff Depth>3.46"
Flow Length=372' Tc=24.8 min CN=79 Runoff=4.81 cfs 0.380 af

Reach EX Storm: Ex Storm Sewer Avg. Flow Depth=0.48' Max Vel=10.80 fps Inflow=4.01 cfs 0.395 af
12.0" Round Pipe n=0.012 L=100.0' S=0.0500 '/ Capacity=8.63 cfs Outflow=4.04 cfs 0.395 af

Pond IT-1: Infiltration Trench Lot 1 Peak Elev=378.32' Storage=1,172 cf Inflow=2.80 cfs 0.227 af
Primary=1.09 cfs 0.190 af Secondary=1.73 cfs 0.036 af Outflow=2.81 cfs 0.226 af

Pond IT-1A: Infiltration Trench Lot 1A Peak Elev=394.08' Storage=506 cf Inflow=0.60 cfs 0.032 af
Primary=0.27 cfs 0.024 af Secondary=0.08 cfs 0.001 af Outflow=0.35 cfs 0.025 af

Pond IT-2: Infiltration Trench Lot 1 Peak Elev=378.04' Storage=1,007 cf Inflow=1.40 cfs 0.120 af
Primary=0.96 cfs 0.119 af Secondary=0.00 cfs 0.000 af Outflow=0.96 cfs 0.119 af

Pond IT-2A: Infiltration Trench Lot 2A Peak Elev=394.08' Storage=506 cf Inflow=0.60 cfs 0.032 af
Primary=0.27 cfs 0.024 af Secondary=0.08 cfs 0.001 af Outflow=0.35 cfs 0.025 af

Total Runoff Area = 6.438 ac Runoff Volume = 1.905 af Average Runoff Depth = 3.55"
95.39% Pervious = 6.141 ac 4.61% Impervious = 0.297 ac

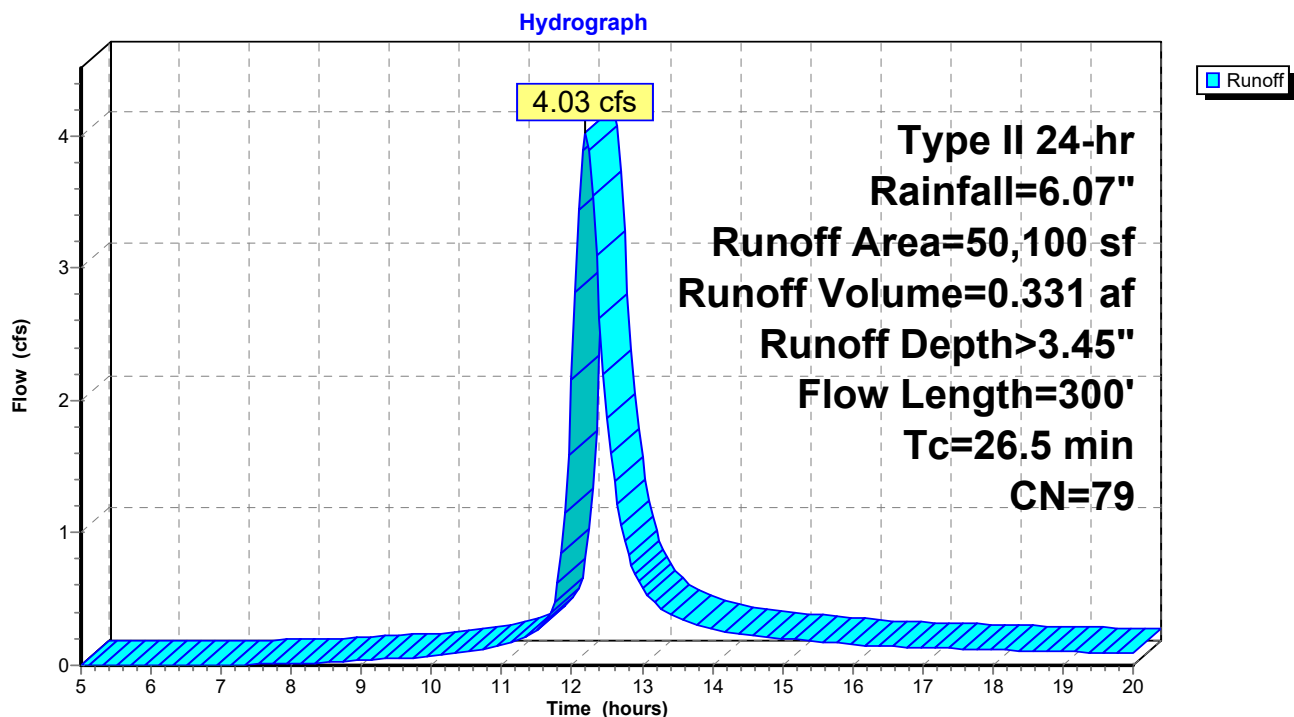
Summary for Subcatchment EX-A: EX to Polsinelli Drive

Runoff = 4.03 cfs @ 12.20 hrs, Volume= 0.331 af, Depth> 3.45"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
50,100	79	Woods, Fair, HSG D
50,100		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
23.8	100	0.0200	0.07		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
2.7	200	0.0600	1.22		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
26.5	300	Total			

Subcatchment EX-A: EX to Polsinelli Drive

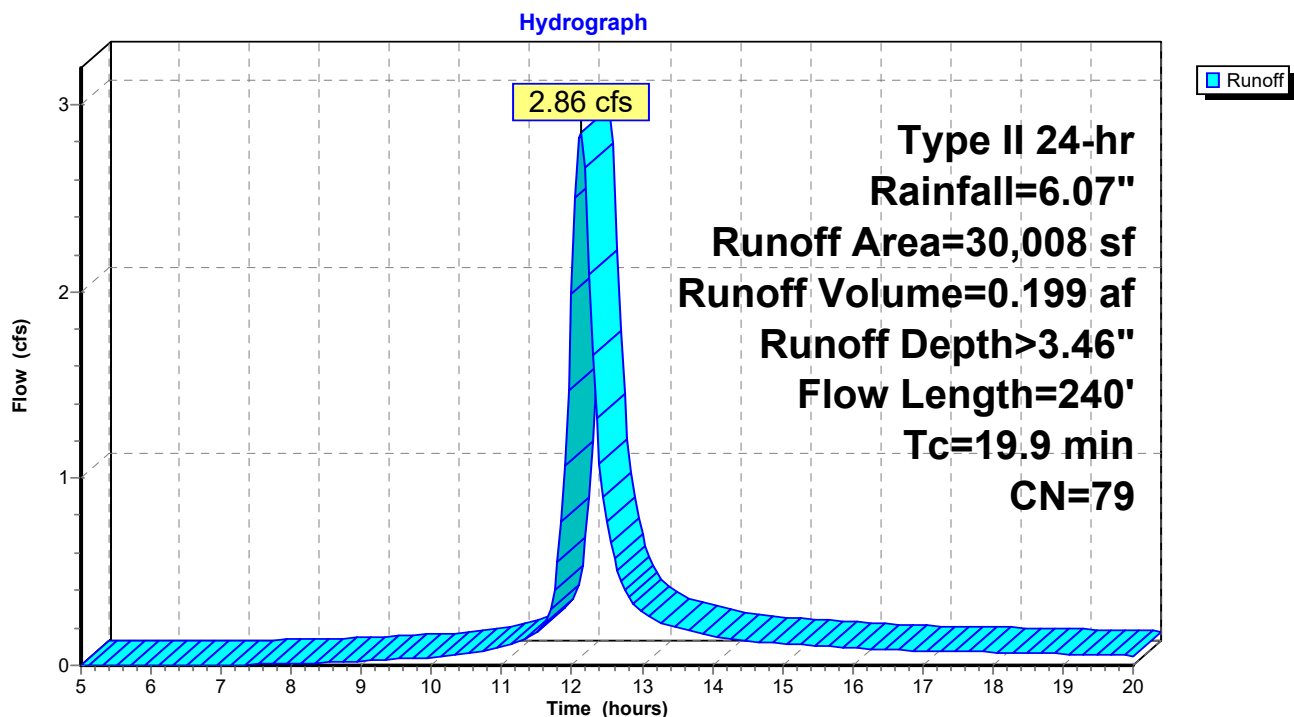
Summary for Subcatchment EX-B: EX- ANALYSIS PT B

Runoff = 2.86 cfs @ 12.12 hrs, Volume= 0.199 af, Depth> 3.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
30,008	79	Woods, Fair, HSG D
30,008		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
18.1	100	0.0400	0.09		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
1.8	140	0.0700	1.32		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
19.9	240	Total			

Subcatchment EX-B: EX- ANALYSIS PT B

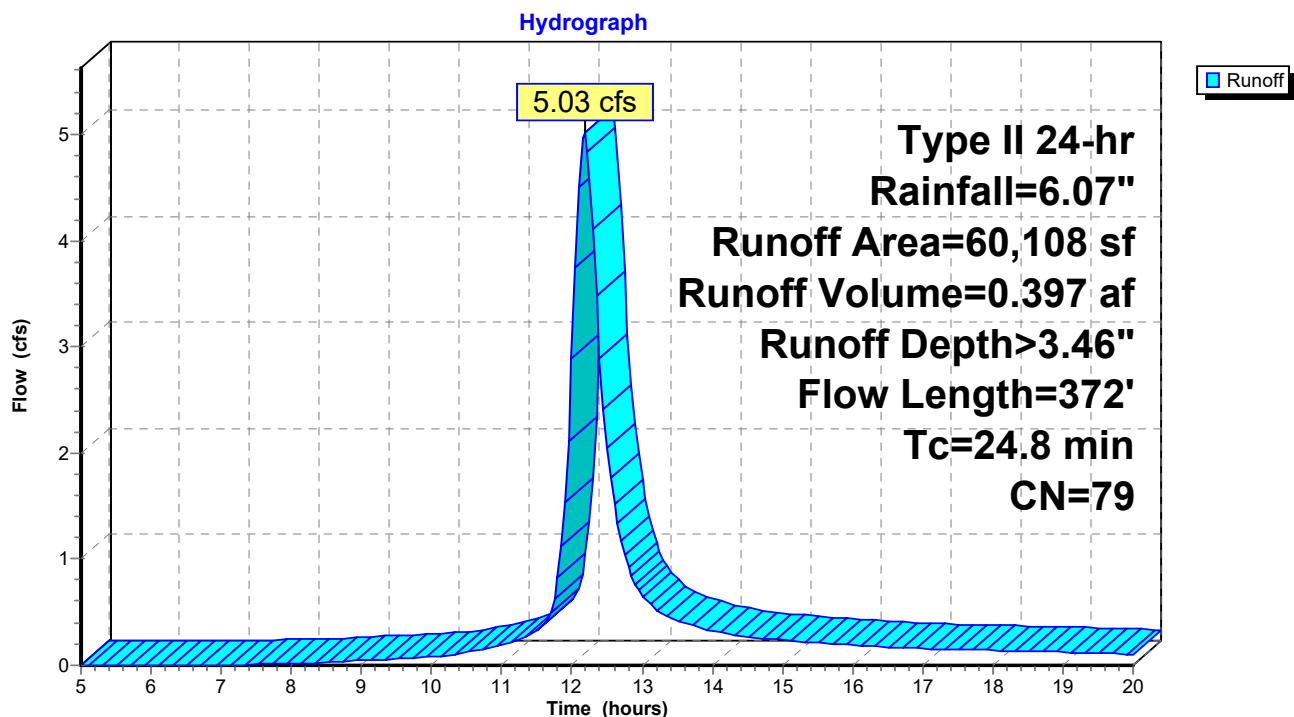
Summary for Subcatchment EX-C: EX ANALYSIS PT C

Runoff = 5.03 cfs @ 12.18 hrs, Volume= 0.397 af, Depth> 3.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
60,108	79	Woods, Fair, HSG D
60,108		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.3	100	0.0300	0.08		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
4.5	272	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.8	372	Total			

Subcatchment EX-C: EX ANALYSIS PT C

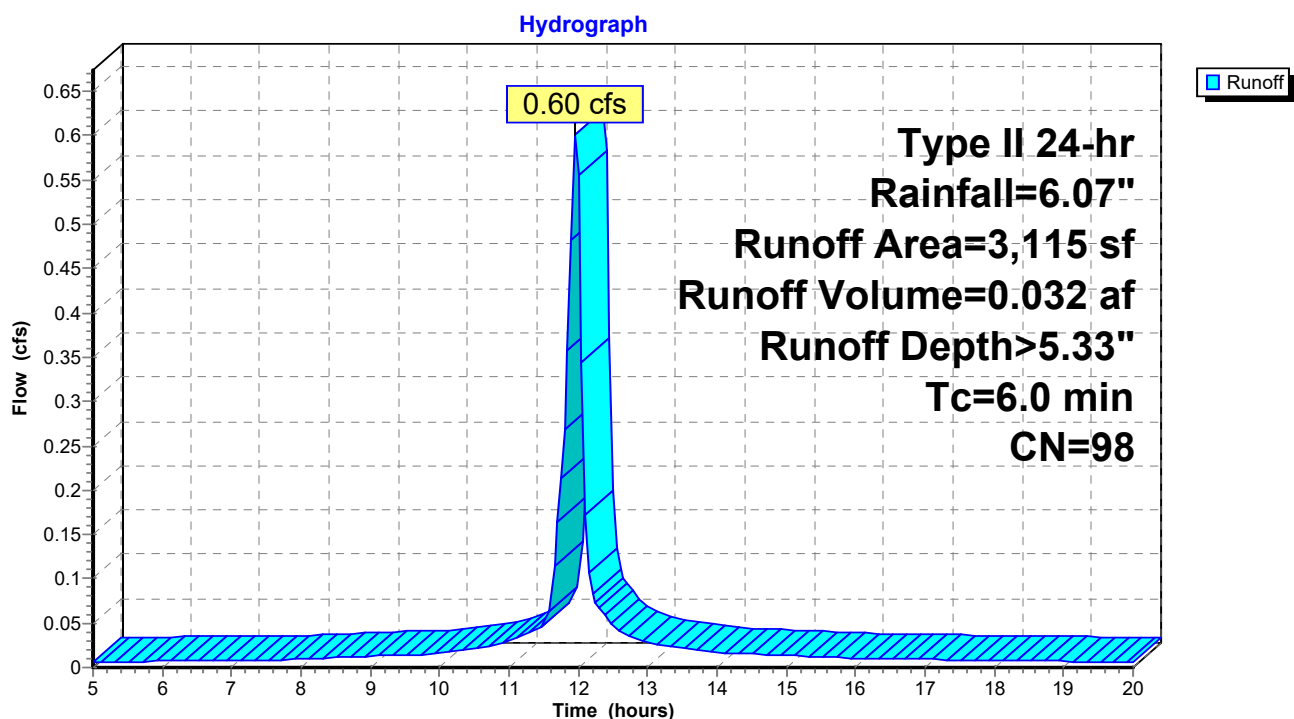
Summary for Subcatchment HOUSE 1: House 1

Runoff = 0.60 cfs @ 11.96 hrs, Volume= 0.032 af, Depth> 5.33"
 Routed to Pond IT-1A : Infiltration Trench Lot 1A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
3,115	98	Paved parking, HSG A
3,115		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, TR-55 Min.

Subcatchment HOUSE 1: House 1

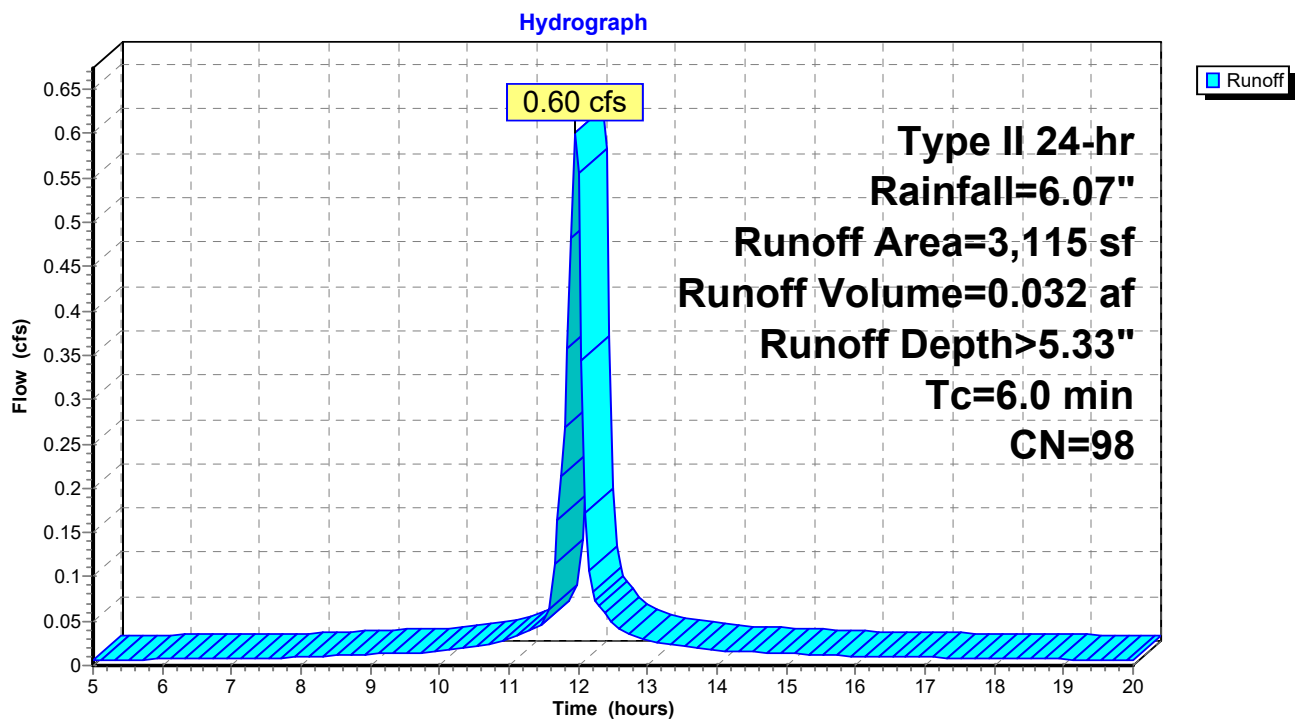
Summary for Subcatchment HOUSE 2: House 2

Runoff = 0.60 cfs @ 11.96 hrs, Volume= 0.032 af, Depth> 5.33"
 Routed to Pond IT-2A : Infiltration Trench Lot 2A

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
3,115	98	Paved parking, HSG A
3,115		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
6.0					Direct Entry, TR-55 Min.

Subcatchment HOUSE 2: House 2

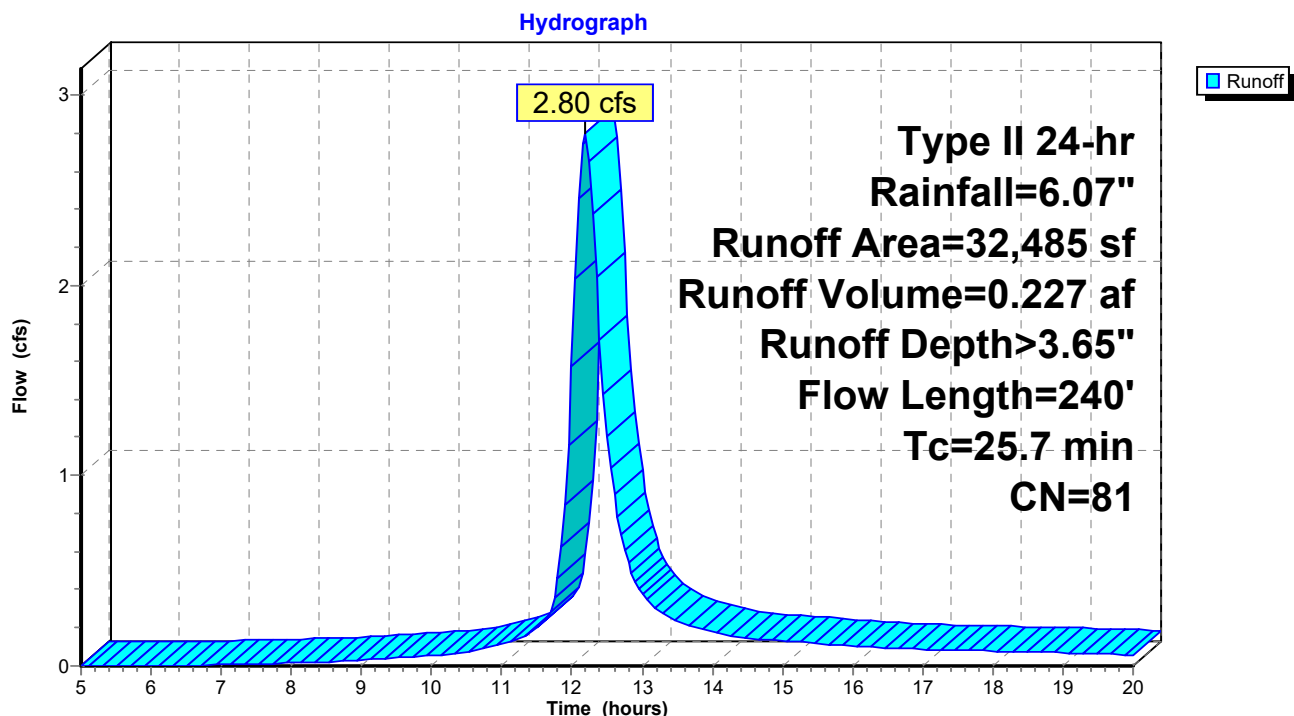
Summary for Subcatchment LOT 1 DRIVE: LOT 1 DRIVEWAY

Runoff = 2.80 cfs @ 12.19 hrs, Volume= 0.227 af, Depth> 3.65"
 Routed to Pond IT-1 : Infiltration Trench Lot 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
3,100	98	Paved parking, HSG A
8,000	80	>75% Grass cover, Good, HSG D
21,385	79	Woods/grass comb., Good, HSG D
32,485	81	Weighted Average
29,385		90.46% Pervious Area
3,100		9.54% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
23.8	100	0.0200	0.07		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
1.9	140	0.0600	1.22		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
25.7	240	Total			

Subcatchment LOT 1 DRIVE: LOT 1 DRIVEWAY

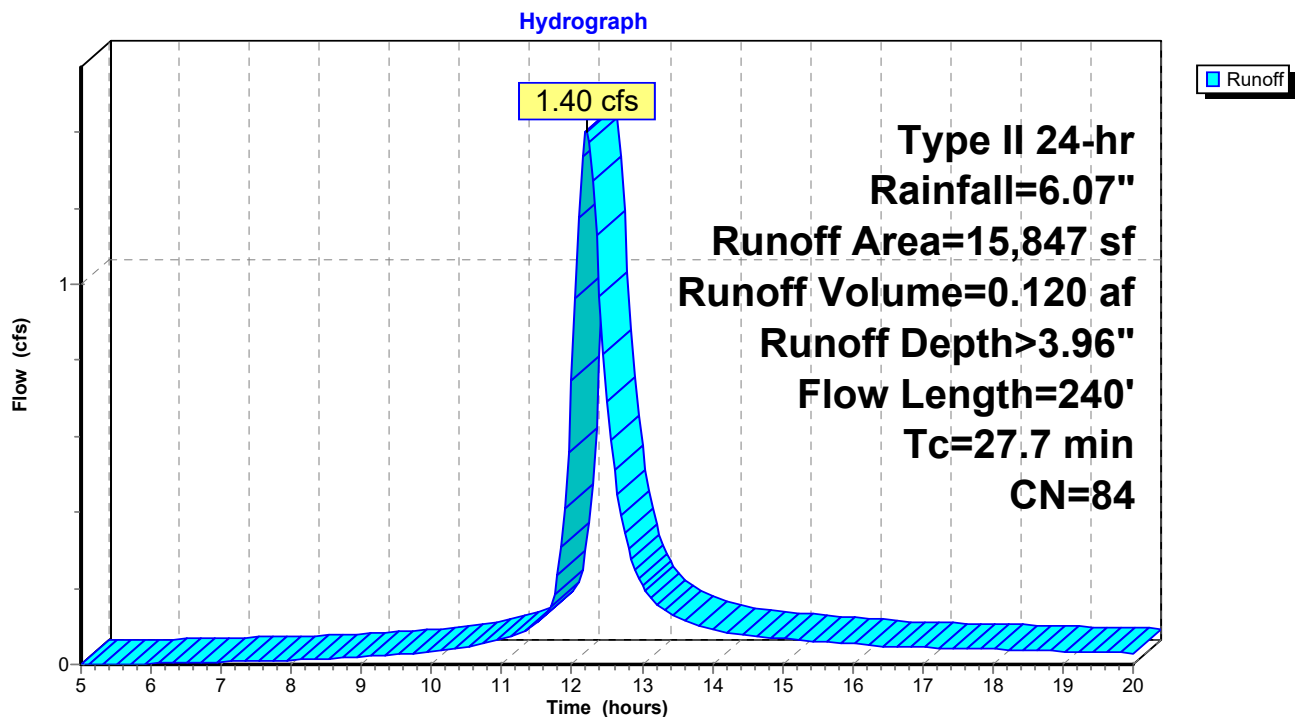
Summary for Subcatchment LOT 2 DRIVE: LOT 2 DRIVEWAY

Runoff = 1.40 cfs @ 12.21 hrs, Volume= 0.120 af, Depth> 3.96"
 Routed to Pond IT-2 : Infiltration Trench Lot 1

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
3,592	98	Paved parking, HSG A
12,255	80	>75% Grass cover, Good, HSG D
15,847	84	Weighted Average
12,255		77.33% Pervious Area
3,592		22.67% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
27.3	100	0.0150	0.06		Sheet Flow, Grass: Bermuda n= 0.410 P2= 2.60"
0.4	140	0.1000	6.42		Shallow Concentrated Flow, Paved Kv= 20.3 fps
27.7	240	Total			

Subcatchment LOT 2 DRIVE: LOT 2 DRIVEWAY

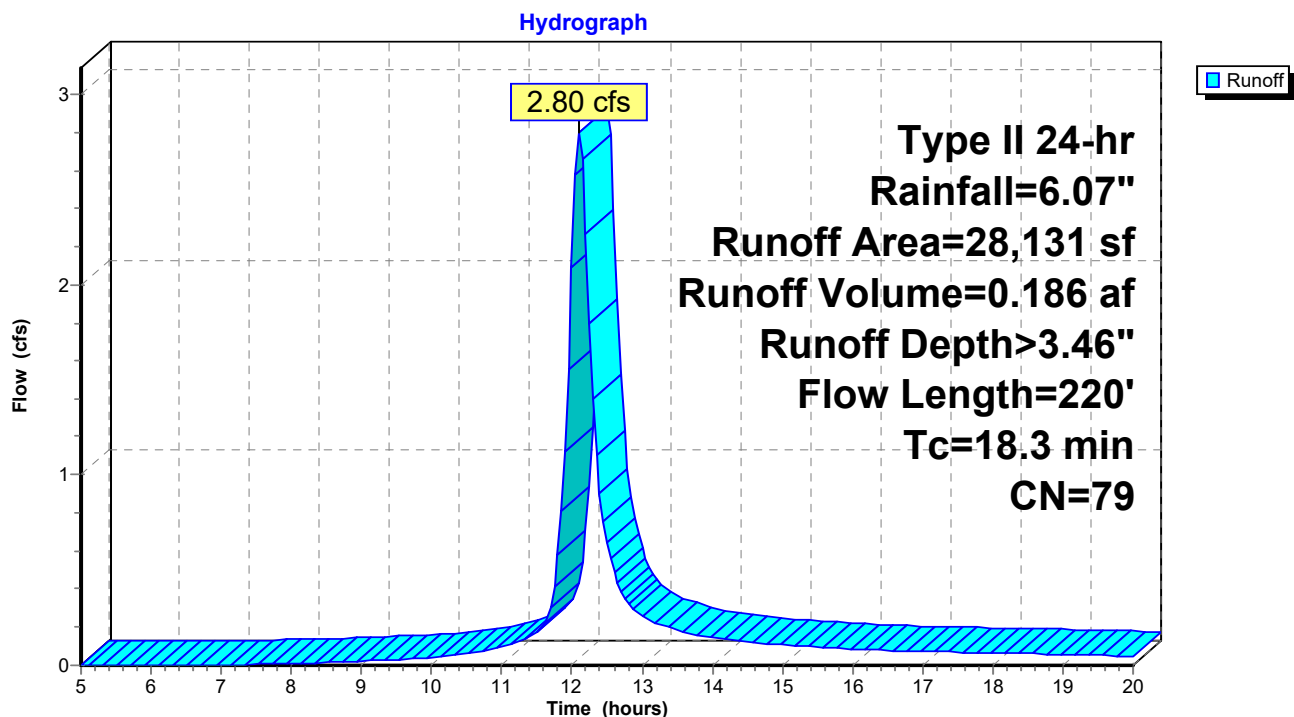
Summary for Subcatchment P-B: PROPOSED ANALYSIS B

Runoff = 2.80 cfs @ 12.11 hrs, Volume= 0.186 af, Depth> 3.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
28,131	79	Woods/grass comb., Good, HSG D
28,131		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
16.8	100	0.0500	0.10		Sheet Flow, Grass: Bermuda n= 0.410 P2= 2.60"
1.5	120	0.0700	1.32		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
18.3	220	Total			

Subcatchment P-B: PROPOSED ANALYSIS B

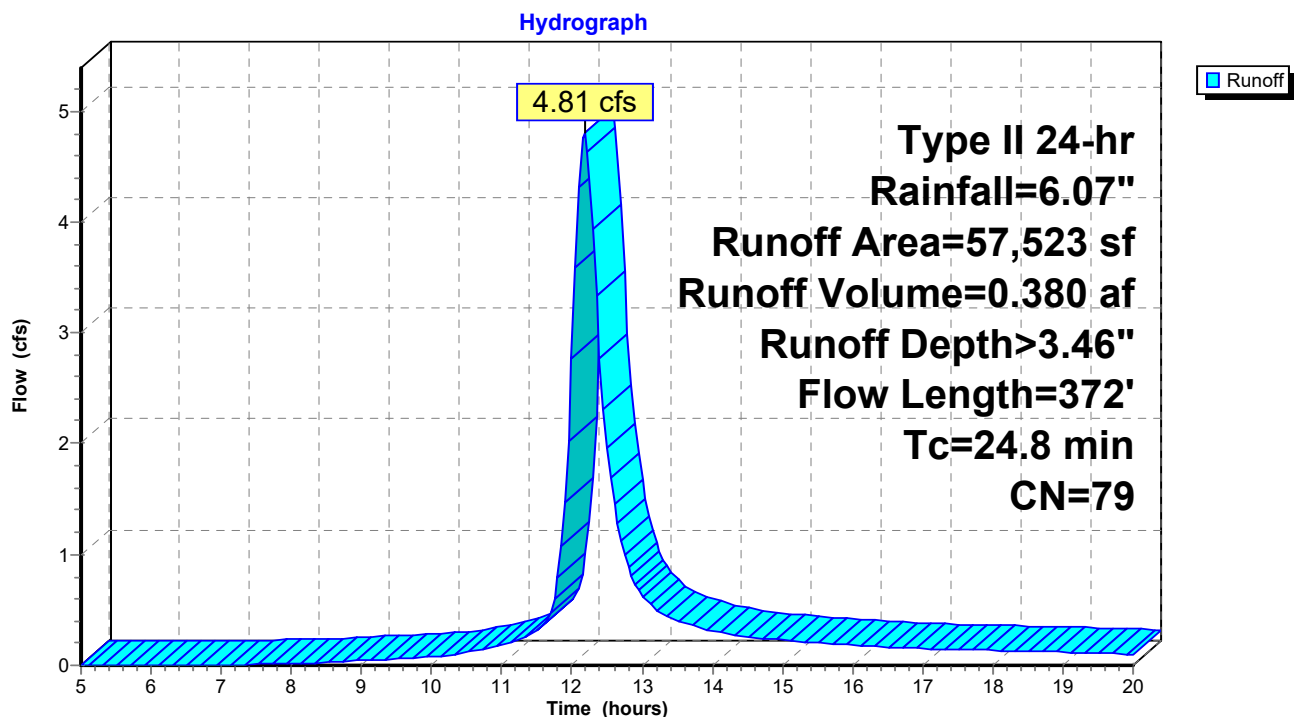
Summary for Subcatchment P-C: PROP ANALYSIS PT C

Runoff = 4.81 cfs @ 12.18 hrs, Volume= 0.380 af, Depth> 3.46"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Type II 24-hr Rainfall=6.07"

Area (sf)	CN	Description
57,523	79	Woods, Fair, HSG D
57,523		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.3	100	0.0300	0.08		Sheet Flow, Woods: Light underbrush n= 0.400 P2= 2.60"
4.5	272	0.0400	1.00		Shallow Concentrated Flow, Woodland Kv= 5.0 fps
24.8	372	Total			

Subcatchment P-C: PROP ANALYSIS PT C

Summary for Reach EX Storm: Ex Storm Sewer

[52] Hint: Inlet/Outlet conditions not evaluated

[65] Warning: Inlet elevation not specified

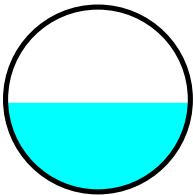
[88] Warning: Qout>Qin may require smaller dt or Finer Routing

Inflow Area = 1.253 ac, 23.68% Impervious, Inflow Depth > 3.78"
Inflow = 4.01 cfs @ 12.24 hrs, Volume= 0.395 af
Outflow = 4.04 cfs @ 12.22 hrs, Volume= 0.395 af, Atten= 0%, Lag= 0.0 min

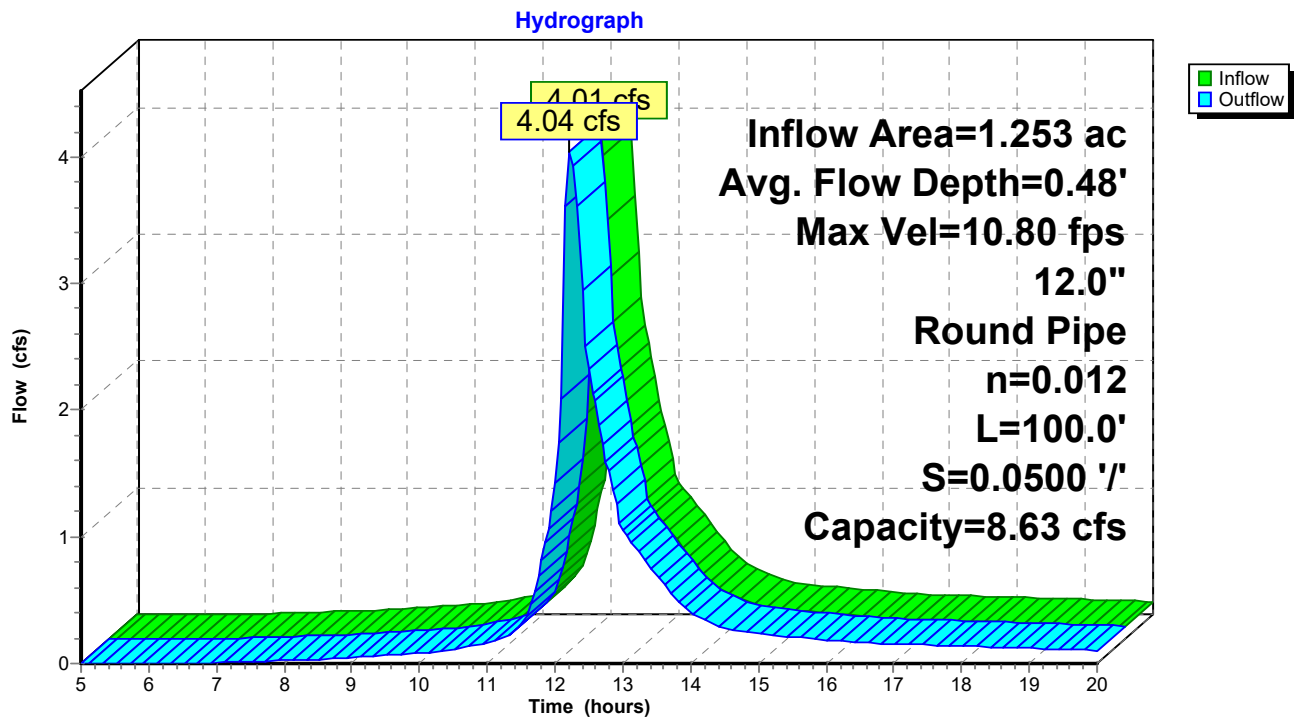
Routing by Stor-Ind+Trans method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
Max. Velocity= 10.80 fps, Min. Travel Time= 0.2 min
Avg. Velocity= 4.20 fps, Avg. Travel Time= 0.4 min

Peak Storage= 37 cf @ 12.21 hrs
Average Depth at Peak Storage= 0.48' , Surface Width= 1.00'
Bank-Full Depth= 1.00' Flow Area= 0.8 sf, Capacity= 8.63 cfs

12.0" Round Pipe
n= 0.012
Length= 100.0' Slope= 0.0500 '/'
Inlet Invert= 0.00', Outlet Invert= -5.00'



Reach EX Storm: Ex Storm Sewer



Summary for Pond IT-1: Infiltration Trench Lot 1

[93] Warning: Storage range exceeded by 0.22'

[88] Warning: Qout>Qin may require smaller dt or Finer Routing

Inflow Area = 0.746 ac, 9.54% Impervious, Inflow Depth > 3.65"
 Inflow = 2.80 cfs @ 12.19 hrs, Volume= 0.227 af
 Outflow = 2.81 cfs @ 12.19 hrs, Volume= 0.226 af, Atten= 0%, Lag= 0.1 min
 Primary = 1.09 cfs @ 12.19 hrs, Volume= 0.190 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 1.73 cfs @ 12.19 hrs, Volume= 0.036 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 378.32' @ 12.19 hrs Surf.Area= 10,000 sf Storage= 1,172 cf

Plug-Flow detention time= 12.6 min calculated for 0.225 af (99% of inflow)
 Center-of-Mass det. time= 10.9 min (796.9 - 786.0)

Volume	Invert	Avail.Storage	Storage Description
#1	374.00'	1,172 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 2,930 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
374.00	600	0	0
375.00	600	600	600
376.00	600	600	1,200
377.00	600	600	1,800
378.00	600	600	2,400
378.10	10,000	530	2,930

Device	Routing	Invert	Outlet Devices
#1	Secondary	378.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	377.00'	4.0" Round Culvert L= 25.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 377.00' / 375.25' S= 0.0700 ' /' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf
#3	Primary	374.00'	4.0" Round Culvert L= 30.0' CMP, mitered to conform to fill, Ke= 0.700 Inlet / Outlet Invert= 374.00' / 373.70' S= 0.0100 ' /' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=1.09 cfs @ 12.19 hrs HW=378.31' (Free Discharge)

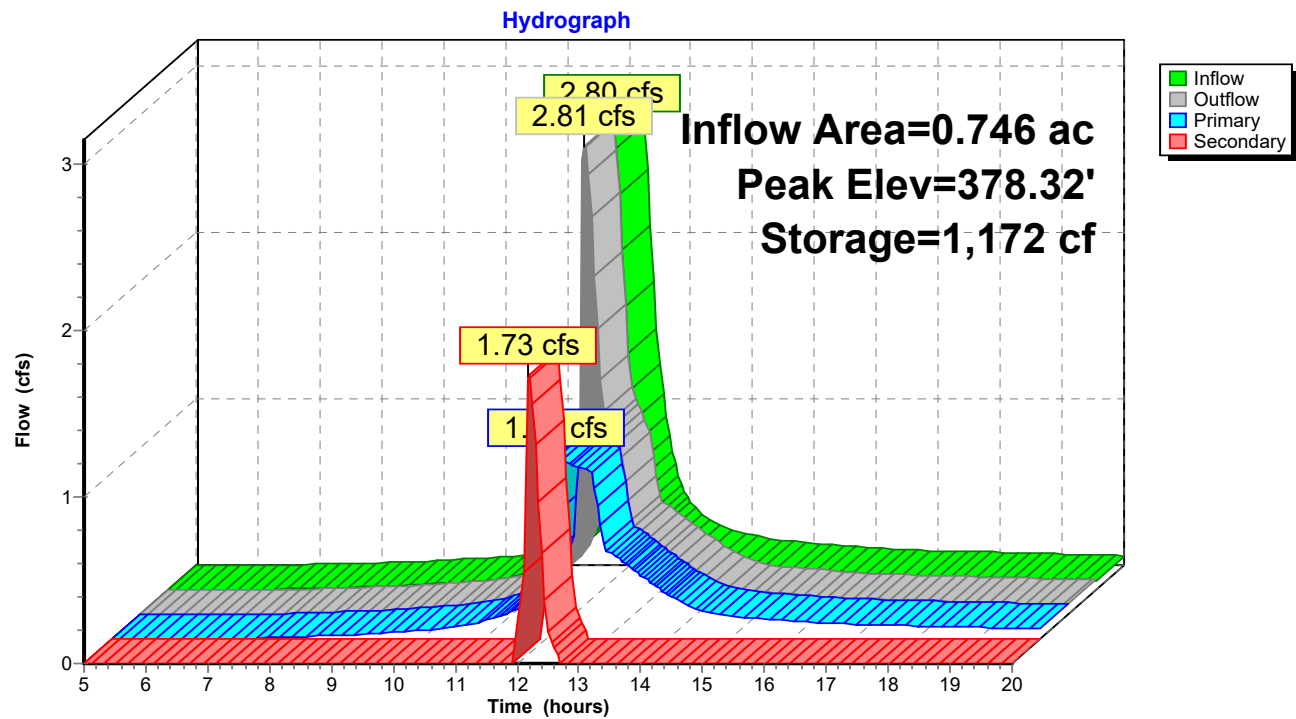
↑ **2=Culvert** (Inlet Controls 0.45 cfs @ 5.16 fps)

↑ **3=Culvert** (Barrel Controls 0.64 cfs @ 7.30 fps)

Secondary OutFlow Max=1.71 cfs @ 12.19 hrs HW=378.31' (Free Discharge)

↑ **1=Broad-Crested Rectangular Weir** (Weir Controls 1.71 cfs @ 1.29 fps)

Pond IT-1: Infiltration Trench Lot 1



Summary for Pond IT-1A: Infiltration Trench Lot 1A

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.072 ac, 100.00% Impervious, Inflow Depth > 5.33"
 Inflow = 0.60 cfs @ 11.96 hrs, Volume= 0.032 af
 Outflow = 0.35 cfs @ 12.05 hrs, Volume= 0.025 af, Atten= 41%, Lag= 5.4 min
 Primary = 0.27 cfs @ 12.05 hrs, Volume= 0.024 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.08 cfs @ 12.05 hrs, Volume= 0.001 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 394.08' @ 12.05 hrs Surf.Area= 8,415 sf Storage= 506 cf

Plug-Flow detention time= 113.7 min calculated for 0.025 af (78% of inflow)
 Center-of-Mass det. time= 55.9 min (785.0 - 729.2)

Volume	Invert	Avail.Storage	Storage Description
#1	391.00'	566 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 1,415 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
391.00	300	0	0
392.00	300	300	300
393.00	300	300	600
394.00	300	300	900
394.10	10,000	515	1,415

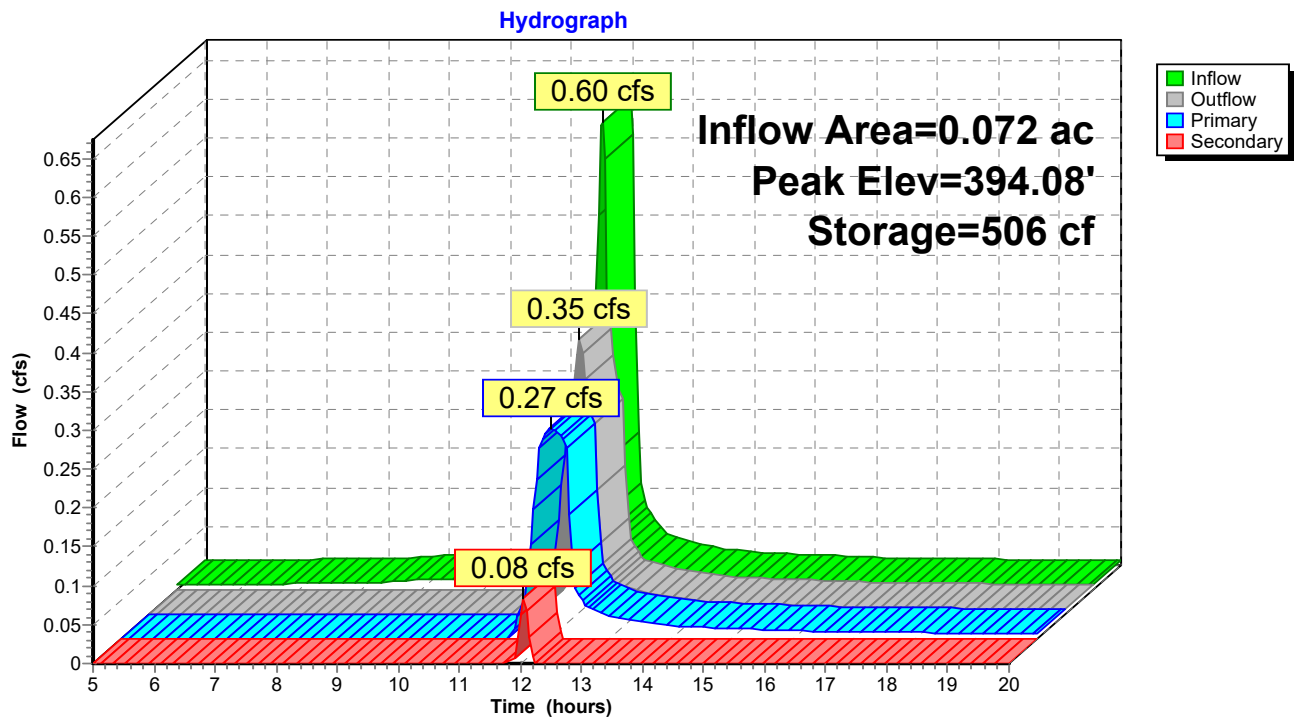
Device	Routing	Invert	Outlet Devices
#1	Secondary	394.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	393.50'	4.0" Round Culvert L= 150.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 393.50' / 303.50' S= 0.6000 ' / Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.27 cfs @ 12.05 hrs HW=394.08' (Free Discharge)

↑**2=Culvert** (Inlet Controls 0.27 cfs @ 3.11 fps)

Secondary OutFlow Max=0.08 cfs @ 12.05 hrs HW=394.08' (Free Discharge)

↑**1=Broad-Crested Rectangular Weir** (Weir Controls 0.08 cfs @ 0.46 fps)

Pond IT-1A: Infiltration Trench Lot 1A

Summary for Pond IT-2: Infiltration Trench Lot 1

Inflow Area = 0.364 ac, 22.67% Impervious, Inflow Depth > 3.96"
 Inflow = 1.40 cfs @ 12.21 hrs, Volume= 0.120 af
 Outflow = 0.96 cfs @ 12.40 hrs, Volume= 0.119 af, Atten= 32%, Lag= 11.6 min
 Primary = 0.96 cfs @ 12.40 hrs, Volume= 0.119 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.00 cfs @ 5.00 hrs, Volume= 0.000 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 378.04' @ 12.40 hrs Surf.Area= 4,724 sf Storage= 1,007 cf

Plug-Flow detention time= 15.6 min calculated for 0.119 af (99% of inflow)
 Center-of-Mass det. time= 13.3 min (794.3 - 781.0)

Volume	Invert	Avail.Storage	Storage Description
#1	374.00'	1,172 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 2,930 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
374.00	600	0	0
375.00	600	600	600
376.00	600	600	1,200
377.00	600	600	1,800
378.00	600	600	2,400
378.10	10,000	530	2,930

Device	Routing	Invert	Outlet Devices
#1	Secondary	378.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	377.00'	4.0" Round Culvert L= 25.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 376.50' / 377.00' S= -0.0200 ' / Cc= 0.900 n= 0.012, Flow Area= 0.09 sf
#3	Primary	374.00'	4.0" Round Culvert L= 30.0' CMP, mitered to conform to fill, Ke= 0.700 Inlet / Outlet Invert= 374.00' / 373.70' S= 0.0100 ' / Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.96 cfs @ 12.40 hrs HW=378.04' (Free Discharge)

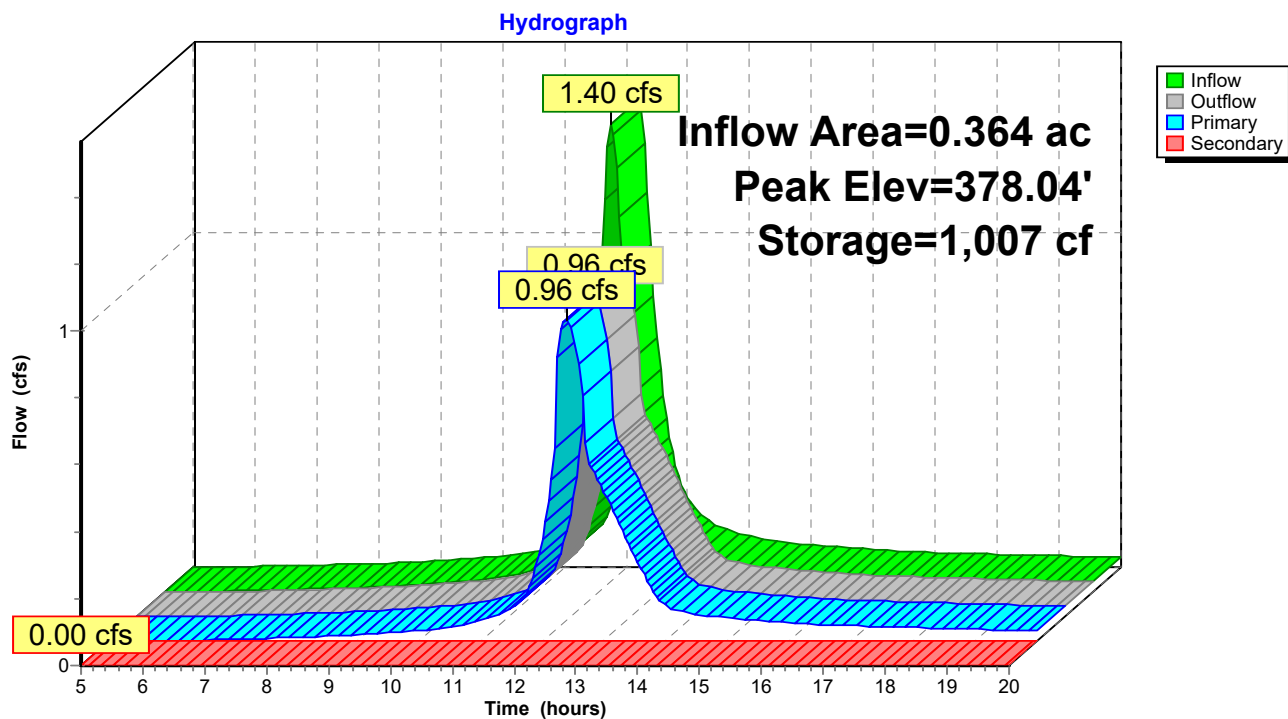
2=Culvert (Outlet Controls 0.34 cfs @ 3.91 fps)

3=Culvert (Barrel Controls 0.62 cfs @ 7.07 fps)

Secondary OutFlow Max=0.00 cfs @ 5.00 hrs HW=374.00' (Free Discharge)

1=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

Pond IT-2: Infiltration Trench Lot 1



Summary for Pond IT-2A: Infiltration Trench Lot 2A

[82] Warning: Early inflow requires earlier time span

Inflow Area = 0.072 ac, 100.00% Impervious, Inflow Depth > 5.33"
 Inflow = 0.60 cfs @ 11.96 hrs, Volume= 0.032 af
 Outflow = 0.35 cfs @ 12.05 hrs, Volume= 0.025 af, Atten= 41%, Lag= 5.4 min
 Primary = 0.27 cfs @ 12.05 hrs, Volume= 0.024 af
 Routed to Reach EX Storm : Ex Storm Sewer
 Secondary = 0.08 cfs @ 12.05 hrs, Volume= 0.001 af
 Routed to Reach EX Storm : Ex Storm Sewer

Routing by Stor-Ind method, Time Span= 5.00-20.00 hrs, dt= 0.05 hrs
 Peak Elev= 394.08' @ 12.05 hrs Surf.Area= 8,415 sf Storage= 506 cf

Plug-Flow detention time= 113.7 min calculated for 0.025 af (78% of inflow)
 Center-of-Mass det. time= 55.9 min (785.0 - 729.2)

Volume	Invert	Avail.Storage	Storage Description
#1	391.00'	566 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 1,415 cf Overall x 40.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
391.00	300	0	0
392.00	300	300	300
393.00	300	300	600
394.00	300	300	900
394.10	10,000	515	1,415

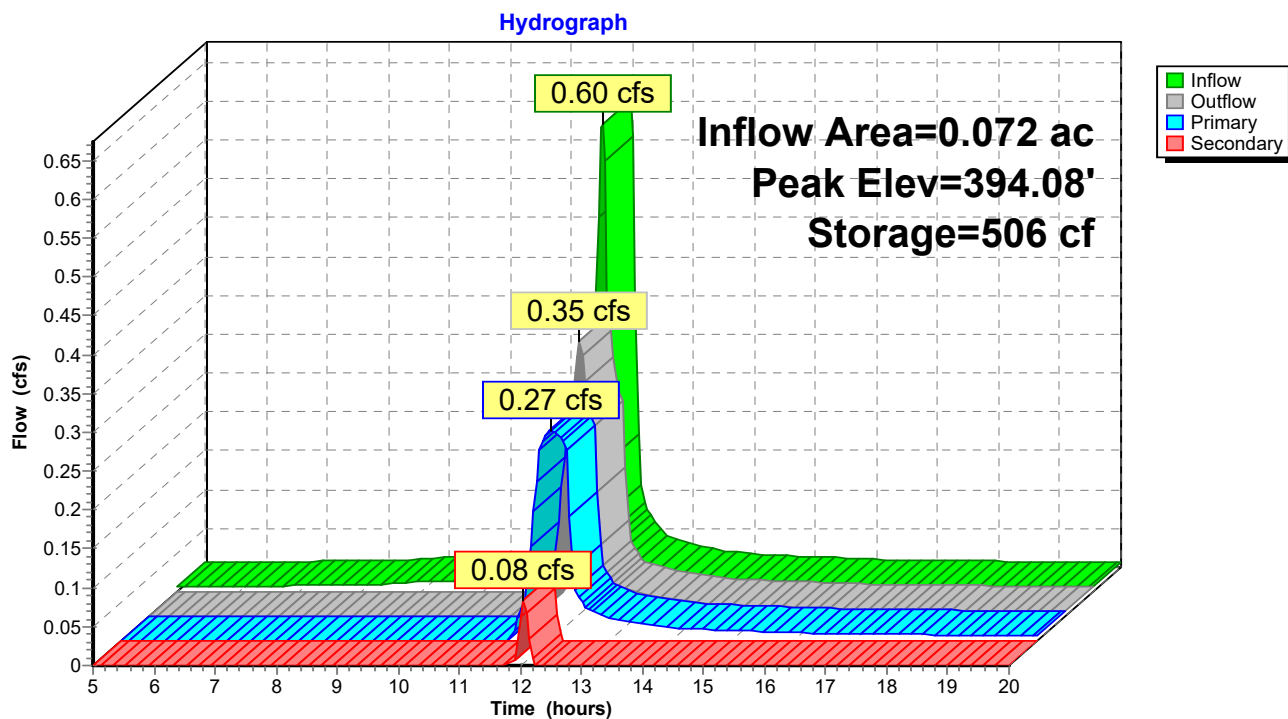
Device	Routing	Invert	Outlet Devices
#1	Secondary	394.05'	5.0' long x 10.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 Coef. (English) 2.49 2.56 2.70 2.69 2.68 2.69 2.67 2.64
#2	Primary	393.50'	4.0" Round Culvert L= 150.0' CMP, end-section conforming to fill, Ke= 0.500 Inlet / Outlet Invert= 393.50' / 303.50' S= 0.6000 ' /' Cc= 0.900 n= 0.012, Flow Area= 0.09 sf

Primary OutFlow Max=0.27 cfs @ 12.05 hrs HW=394.08' (Free Discharge)

↑ **2=Culvert** (Inlet Controls 0.27 cfs @ 3.11 fps)

Secondary OutFlow Max=0.08 cfs @ 12.05 hrs HW=394.08' (Free Discharge)

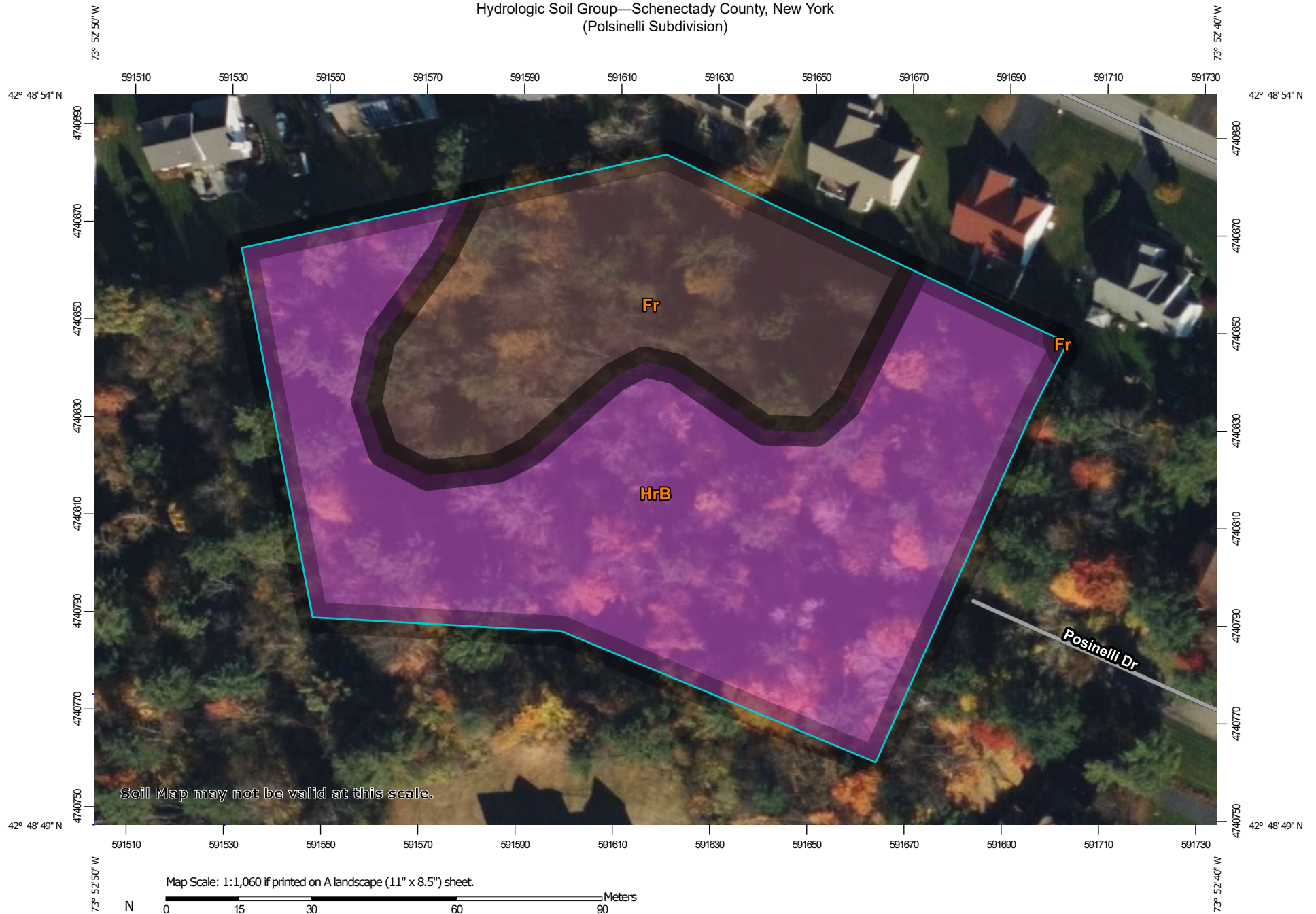
↑ **1=Broad-Crested Rectangular Weir** (Weir Controls 0.08 cfs @ 0.46 fps)

Pond IT-2A: Infiltration Trench Lot 2A

Appendix B

Soils Report


Hydrologic Soil Group—Schenectady County, New York
(Polsinelli Subdivision)



Hydrologic Soil Group—Schenectady County, New York
(Polsinelli Subdivision)

MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:15,800.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Schenectady County, New York
 Survey Area Data: Version 21, Sep 10, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 15, 2021—Nov 8, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
Fr	Fredon silt loam	B/D	1.1	33.6%
HrB	Howard gravelly silt loam, 3 to 8 percent slopes	A	2.3	66.4%
Totals for Area of Interest			3.4	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 4/17/2023

ITEM TITLE: DISCUSSION: 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club – application for sketch plan approval including a Special Use Permit for a 22-lot Average Density Development (ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.

PROJECT LEAD: Genghis Khan & David D’Arpino

APPLICANT: Matthew Moberg, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Matthew Moberg, agent for the owner of the Mohawk Golf Club, submitted a Sketch Plan Application and average density development special use permit for a Major Subdivision of a 14 acre portion of the existing property including the construction of 10 single family homes and 12 townhomes.

A new site plan that includes primary access to the property from an existing easement along Ruffner Road, therefore eliminating the demolition of the existing home at 1245 Ruffner Rd., was provided for the 3/13/23 Planning Board meeting. The plan also includes a walking path connecting Country Club Drive to Ruffner Rd. The Planning Board should review the CAC’s comments from their 4/3/23 meeting and discuss the TDE’s first review letter.

BACKGROUND INFORMATION

The property is located within the R-1 Low Density Residential zoning district.

In November of 2022, the applicant submitted a sketch plan drawing entitled The following entitled “Sketch 22-lot Townhouse Layout Residential Subdivision Mohawk Golf Club 1851 Union St. and 1245 Ruffner Rd.” by ABD Engineers, LLP 411 Union St. Schenectady, NY dated October 20, 2022 and labeled Dwg. “5429A-S4 Townhouse” with no subsequent revisions and a 2-page drawing set entitled “Unit – A” by Pigliavento Builders. The initial sketch plan includes the removal of a single family home on Ruffner Road in order to construct access to the greater Mohawk Golf Club parcel.

The initial sketch plan was all townhome units (22). The Planning Department found that Townhomes, as single family dwellings, are a permitted principal use in the R-1 zoning district but, with their contiguous sidewall, they did not comply with the side setback requirement of the R-1 district and therefore required area variances from the Zoning Board of Appeals (ZBA). The aforementioned sketch plan drawing provided with the application included a table of 67 required area variances.

Additionally, in a letter to the applicant, the Planning Department outlined the following additional concerns over the initial sketch plan:

Utility Concerns

The Town of Niskayuna maintains a 6 inch water main on Ruffner Road, which is in the High Pressure Zone. This Zone may not have the capacity to handle the addition of 22 single family units. An independent engineering analysis of the water system capacity for this area will be required.

The sewer line to the Niskayuna Waste Water treatment plant is near or at capacity. An independent engineering analysis of the sewer system capacity for this development may be required.

There are known drainage issues in the area. Depending on where the storm water management pond is discharged to – an independent downstream drainage analysis may be required.

A wetland delineation will be required.

Emergency Access

Section 189-17 (J) (1) states: "Where cul-de-sacs are designed to be permanent, they should, in general, not exceed 500 feet in length and shall terminate in a circular turnaround having a minimum right-of-way radius of 60 feet and pavement radius of 45 feet." As these cul-de-sacs appear to be longer than 500 feet, the Planning Board should discuss a proposed secondary means of access for emergencies.

General Planning

It is important to keep in mind the long term gains to the Mohawk Golf Club that come from integrating potential residential development into the golf course campus while preserving the natural and scenic quality of open space and ensuring the subdivision is in harmony with the development pattern of the neighboring residential properties.

Some thoughts to consider that may help with some of the above goals include:

1. A more organic shaped road which follows the contours of the land and has vistas which open out onto the golf course, which would add value both to the golf course and the proposed homes.
2. A walking connection from the proposed subdivision to the golf course.
3. Quality open spaces such as a gathering pavilion or picnic area which overlook the golf course and provide amenities to the home owners, which would continually connect them to the land and to the golf course.
4. Discussion on parkland, preservation of natural features and trees, and conformance with the Comprehensive Plan are important to the ultimate layout of any proposed subdivision in the area.

Complete Streets

The Complete Streets Committee identified a critical multi-use path connection along the Mohawk Golf Club property – between Rosendale Heights (Country Club Estates) neighborhood

and Ruffner Road, along the boundary with 1218 S Country Club Drive. A walking/biking connection here would be critical to connecting neighborhoods and promoting alternative transportation methods that reduce greenhouse gas emissions. This connection should be a part of any development discussion to offset traffic impacts.

11/14/22 Planning Board (PB) meeting --- Mr. Dave Kimmer of ABD Engineering and Mr. Bill Sweet of the Mohawk Club presented the project to the PB. They noted that the proposed project would disturb approximately 10 acres of the property. The Board noted the number of variances that will be required particularly those related to the size of the proposed lots. The Planning Office stated that cul-de-sacs have emergency access challenges. The developers indicated that they believe the boulevard entrance with wide access roads should address this concern. The PB expressed concerns regarding the mass and scale of the garage doors that dominate the front facades of the townhomes. The PB asked that Mr. Kimmer and Mr. Sweet provide additional information on the items listed below.

1. Explore and present alternate site plan layouts that eliminate the need for cul-de-sacs. This may include ring roads or a road looping through the property.
2. Reduce the number of required variances by adjusting the lot sizes to be more zoning code compliant. This may require impeding on the currently proposed 50' buffer between the existing homes on Ruffner Rd. and the proposed townhomes.
3. Investigate widening the boulevard roads to facilitate emergency access.
4. Explore ways to decrease the visual impact of the aligned front facing garages, including working with the Niskayuna ARB.

11/15/22 Conservation Advisory Council (CAC) meeting – Dave Kimmer and Bill Sweet repeated the presentation they made to the PB on 11/14/22. During the discussion Mr. Sweet added that the Mohawk Club would maintain the storm water management areas. The CAC was concerned with the loss of greenspace with the proposal and asked for greenspace to be offset somewhere else on the Club parcel. The developer did not want to offset greenspace within the Mohawk Golf Club. The CAC requested the developer maximize the undevelopable greenspace within the subdivision by reducing some of the oversize lots at the ends and adding this area to the community greenspace. The CAC agreed with the additional detail the PB requested and added that they would like the developer to explore quantifying and mitigating the increased traffic on Ruffner Road and the surrounding area.

The Planning Office spoke with Mr. Kimmer about the Thanksgiving holiday shortened turnaround between the 11/14 and 11/28 PB meetings. Mr. Kimmer stated that they would not be able to address the action items in time for the 11/28 meeting and would target the 12/12/22 PB meeting, instead.

11/16/22 Architectural Review Board (ARB) meeting – the ARB reviewed the site plan and elevation images of the project very briefly at their 11/16/22 meeting. The Planning Office made them aware of the PB's concern regarding the size and proportion of the garage doors. The ARB will review the project in more detail during their December meeting.

11/28/22 Planning Board (PB) meeting – Mr. Kimmer attended the meeting and represented the applicant. The PB had a general discussion of the site plan that was presented at the 11/14/22 PB meeting. Ms. Robertson noted that the project is at the sketch plan phase of the review process. She reminded the PB that to approve the sketch plan they need to be generally in support of the design – 22 units, overall layout, etc. Mr. Kimmer explained how the proposed boulevard entrance to the subdivision complies with NYS Emergency Access Fire Code. He also presented a “loop layout” site plan design that disturbs approximately 25% - 30% more land and would include several “thru lots”.

The Board noted that demolishing an existing home and using the lot to create a boulevard entrance to the subdivision is a significant change to the two immediately adjacent properties and the

neighborhood. They noted that this should be considered very carefully during the sketch plan review process. They asked the applicant to thoroughly explore all possible access points to the land for alternate entrance and emergency access options. Ms. Robertson reminded Mr. Kimmer that the Niskayuna code is more stringent regarding the allowed length of cul-de-sac roads than the NYS Fire Code. Mr. Kimmer acknowledged that he has some additional CAD work to complete and committed to provide the materials requested in the 11/14/22 and 11/28/22 meetings.

12/6/22 -- The applicant provided the Planning Office with a significantly revised site plan design and documentation set on 12/6/22. The following documents were stamped "Received Dec 06 2022 Planning Office Niskayuna, NY".

1. A summary letter authored by Joseph J. Bianchine, P.E. addressed to Laura Robertson, Town Planner dated 12/6/22 that describes the new Average Density Development design proposal.
2. An Application for Special Use Permit
3. A 2-page (containing two options for page 1) site plan drawing entitled "Sketch 22-Lot Subdivision Average Density Development Mohawk Golf Club 1851 Union St. and 1245 Ruffner Rd." dated December 6, 2022 with no subsequent revisions.
4. A 1-page exhibit entitled "Alternate Access Exhibit Average Density Development Mohawk Golf Club" dated December 6, 2022 with no subsequent revisions.
5. A Full Environmental Assessment Form (EAF) dated 12/6/22.

The project summary letter describes the revised design as an Average Density Development subdivision consisting of a mix of 12 townhomes and 10 single family homes. The letter also includes the following description of the changes.

1. A secondary access to the subdivision is now shown in the plans. A 12' wide grass paver access road will connect to the existing golf course maintenance / cart path via a full width 60' Town R.O.W. stub off of the northern cul-de-sac.
2. There are two "Sheet 1s" included in the plan set. The second Sheet 1 demonstrates that it is possible, although less desirable, to meet the open space requirements for an ADD project set forth in Niskayuna zoning code Section 220-28 F (4) (a).
3. A separate color exhibit is included which demonstrates why building roads from either of the existing access points to the north or south along Ruffner Road would not be possible without steep slopes or excessive disturbance to existing golf course features and / or neighboring properties.

12/7/22 Conservation Advisory Commission (CAC) – The CAC reviewed the 12/6/22 site plan drawings. Mr. Kimmer of ABD Engineers and Mr. Sweet of the Mohawk Club attended the meeting and explained why the design has shifted back to an Average Density Design (ADD). They noted that a secondary emergency access road off of the north end of the property is included in the revised design. They explained that the project now includes 10 single-family homes and 12 townhomes and complies with all of the requirements of an ADD subdivision.

The CAC discussed with the applicant their concern for the reduction of quality wildlife habitat and open space from this proposal and asked if there is a consideration for offsetting the loss elsewhere on the golf course. The applicants agreed to explore a development restriction near the Schenectady Water reservoir that wouldn't the ability of the club to use the land for the golf course needs.

The CAC discussed with the applicant the long term plans for the development and protection of the golf club, including where future development could go along Balltown Road. They requested the

applicant consider a long range plan for the golf club that would protect the golf club operations and outline anywhere there could be future changes and development.

The CAC felt there would be traffic impacts and wanted the applicant to explore traffic mitigation in the area, including a critical complete streets connection between Country Club Estates and Ruffner Road. The applicants agreed to see if they could fit a walking path connection from the corner of South and East Country Club Drive to Ruffner Road.

The Planning Office noted that the applicants should review the plan with the Town Water & Sewer Department and complete a traffic count analysis.

12/12/23 Planning Board (PB) meeting – Dave Kimmer, of ABD Engineers, and Bill Sweet of the Mohawk Club attended the meeting and described the revised site plan. Mr. Kimmer explained that the applicant had reimagined the project and is no longer pursuing 22 townhomes. The project is now proposed as an Average Density Development (ADD). This eliminates the need for the 67 area variances. He noted that ten (10) single-family detached homes are included and that an emergency access path was added. After a general discussion the Board stated they would prefer to provide access to the proposed development via. an existing easement or the extension of an existing road rather than demolishing an existing home to create room for a new road. They asked the applicants to explore providing access from East Country Club Drive. Dave Kimmer agreed to explore this option. The Board also reviewed and discussed the open space requirement of an ADD project.

1/9/23/23 Planning Board (PB) meeting – The project was not on the agenda for the 1/9/23 meeting.

1/23/2023 UPDATE: Dave Kimmer provided the Planning Office with the following documents in response to the action items noted in the 12/12/23 PB meeting.

- A modified site plan that now includes a roundabout at the intersection with Ruffner Rd to calm the existing traffic on Ruffer Rd and help mitigate impacts caused by the ADD project.
- An exhibit showing a proposed walking path connection between East Country Club Drive and Ruffner Rd.
- A typical townhome image with a side-load garage
 - Floor plans and elevation view images are included
- A 3-sheet traffic exhibit and document with supporting calculations (using ITE Trip Generation, 9th Edition)
 - The documents compare the estimated traffic (trip) impact of the ADD “as proposed” to the traffic impact that could be expected if alternative access points to the south and north are used thereby creating a “thru connection”.

Traffic Direction	Peak Period	As Proposed (trips)	Thru Connection (trips)
Southbound	AM	6.4	71.6
	PM	8.1	95.1
Northbound	AM	6.4	60.8
	PM	8.1	80.6

Example -- the ITE Trip Generation analysis is estimating that “As Proposed”, with a single entrance off of Rufner Rd., 6.4 trips of southbound traffic will be added during the AM peak and 8.1 trips of southbound traffic will be added during the evening peak.

Mr. Moberg and Mr. Sweet of the Mohawk Club led a project site walk on their property so that members of the Planning Board and Planning Office could see and assess the location first hand.

The attendees included: Mr. Khan and Mr. D'Arpino of the Planning Board, Mr. Kimmer of ABD Engineers (engineer for the Mohawk Club) and Planning Office staff.

The Planning Office has initiated the process of securing a Town Designated Engineer (TDE) to review the traffic exhibit and other technical materials on behalf of the Town.

1/23/23 Planning Board (PB) meeting – Dave Kimmer, of ABD Engineers, and Bill Sweet of the Mohawk Club attended the meeting and presented their updated site drawings and traffic exhibit. A general discussion of the overall project followed that included topics of concern that were raised by neighboring residents during Privilege of The Floor earlier in the meeting. Ms. Robertson provided a top level summary of the project and briefly described the numerous steps that remain, including several public hearings, before the project could be acted on by the Planning Board. The Board requested that the applicant provide additional information on the following items.

- Demonstrate that they have taken a hard look at all options to provide access to the 14 acre site by creating fully documented design drawings for access from other points including: Rowe Rd., East Country Club Drive and the existing easement connecting to Ruffner Rd.
- Continue to formalize the proposed deed restrictions that have been discussed.
- Provide the Town Planning Office with a long term strategic plan for the Mohawk Club or initiate a process to work with the Town to develop one.

2/6/23 Meeting to discuss utilities – Dave Kimmer and Joe Bianchine of ABD Engineers and Bill Sweet of The Mohawk Club attended a meeting at Town Hall with staff from the Planning, Engineering and Legal Departments to discuss utility (water and sewer) related service to the proposed project site. The Town presented existing DEC capacity concerns in the gravity sewer trunk line along River Road to the wastewater treatment plant. They stated that a documented and approved water and wastewater plan for the project is a required next step. Without an approved plan for water and wastewater there is no way to know the true feasibility of the project.

2/22/23 Architectural Review Board (ARB) meeting – The ARB reviewed the most recent site plan documents for the project at their 2/22/23 meeting (rescheduled from 2/15/23). The Board commented that the existing plan, including the positioning & renderings of the proposed homes, neither capitalized on the potential for beautiful views of the golf course nor did it blend well with the neighboring homes. They commented that it appeared to be a “densified” design that located as many dwelling units as possible on the land. Their suggestion was to consider a smaller number of more upscale units on larger lots contiguous to the fairway with more picturesque views of the golf course. They noted that they would be happy to work with all involved parties as appropriate.

The Planning Office received an updated documentation package for the project on 2/17/23 consisting of the following.

1. **DENSITY EXHIBIT:** A “Density Exhibit” that depicts the number of lots (homes) on (10) ten, 14-acre areas of land contiguous to the proposed project site to the north, south and east.

	Project Site	1	2	3	4	5	6	7	8	9	10
Acres	14	14	14	14	14	14	14	14	14	14	14
Lots	22	28	25	28	25	25	20	19	23	48	46

2. **HISTORICAL EXHIBIT:** An 8-page “Historical Exhibit” that consists of aerial images of the proposed project site, including the surrounding lands, for the time span of 1940 thru 2021. The images provide a time stamped sequential progression of the development of this portion of Niskayuna.

3. **OVERALL GOLF COURSE MAP:** A 1-page image of the layout of the golf course and the overall club grounds including the driving range, 9-hole course and undeveloped land.
4. **OVERALL STORM WATER:** A 1-page map of the project area that includes existing storm water retention areas, the general direction of storm water flow on the land and proposed storm water management areas.
5. **SUBDIVISION PLAN:** A revised 3-page subdivision plan with a revision date of 2/16/23.
 - a. The plan indicates a connection to the sewer main on Ruffner Road
 - b. The traffic circle that was included in the previous drawing revision is removed.
6. **TRAFFIC STATISTICS:** A table of proposed traffic statistics using the ITE Trip Generation, 9th Edition manual.
7. **ALTERNATE LAYOUTS:** A 12-page document set of (9) nine alternate methods of providing primary and emergency access to the proposed 14 acre site including advantages and concerns for each method.
8. **ALTERNATE LAYOUTS TABLE:** A 4-page document that summarizes the (9) alternate layouts from the Alternate Layout exhibit including the advantages and concerns for each in a tabular format.
9. **COVER LETTER:** A 2-paged cover letter addressed to Ms. Laura Robertson, Town Planner dated 2/17/23 that lists the documents that were provided with the letter and a request to be placed on the agenda for the 2/27/23 Planning Board meeting.

As previously mentioned, it is the Town's policy to utilize a consulting engineering firm to act as a Town Designated Engineer (TDE) to review technical materials including but not limited to: water, sewer, drainage, traffic, roadways, etc. The Planning Office is securing quotations for this service and will initiate a technical review in the next few weeks.

2/27/23 Planning Board (PB) meeting – Dave Kimmer of ABD Engineers and William Sweet of the Mohawk Club attended the meeting and presented the new project documents to the Board. Mr. Kimmer stated that he had a conversation with Matt Yetto, Town Engineer, regarding providing water and sewer to the project site and believes they have come up with an alternative connection that solved the capacity issues. Ms. Robertson stated that the alternate sewer connection had not been evaluated yet and that he does not have Town approval; a full sewer study by the applicant would be required. She stated there is also a possibility of needed a public lift station. Mr. Sweet stated that he understood and wanted the project to advance with the understanding that the utility / engineering analysis will be completed at a later date. Chairman Walsh noted that the applicant's #1 plan is to demolish the existing house at 1245 Ruffner Rd. and provide access to the proposed subdivision via a newly constructed road on that property. He asked if the applicant has a #2 plan. Mr. Kimmer said no, they are fully committed to the #1 plan.

The Planning Board members expressed major concerns over demolishing the existing home at 1245 Ruffner Rd, indicating they felt that would have a negative impact on the neighborhood. Several Board members expressed support in further reviewing alternate designs.

Design Option (Scheme)	Main Access Point	Emergency Access Point
------------------------	-------------------	------------------------

3A	S. Country Club Dr.	Ruffner Rd.
7	Union St.	Ruffner Rd.
8	Balltown Rd.	Ruffner Rd.
2	Ruffner Rd. at existing easement	Ruffner Rd.

The applicant stated that they would like to move forward and have a public hearing on their preferred design – Scheme #1. The Board voted and agreed to hold a public hearing on design Scheme #1 at the 3/13/23 PB meeting.

3/1/23 Conservation Advisory Council (CAC) meeting –

At the March 1 CAC meeting, the CAC went carefully through the long form EAF and summarized their concerns with the project as follows:

- Impact to utilities was a concern
- Clearing 14 acres of land has impact of aesthetics and creates loss of habitat for a number of different species
- This parcel was a core part of the public/private recreation and open space system
- Impact to the character of the neighborhood was a concern.
- Removing the home was a concern that it would set a bad precedence for the Town of Niskayuna.
- There are alternatives proposed by the applicant that mitigate some of the impacts to the surrounding community and the neighborhood disruption, but they aren't being pursued by the applicant.
- A public road that runs through the golf course could open up further development of the parcel which is also concerning – there needs to be a long term plan for the golf club.

They specifically noted the following sections of Part 2:

1. Impact on land (1) – the water table is 2 feet , drainage is a concern to be evaluated
2. Impacts on Surface water (3) – drainage to the Rowe Rd / Whamer, Hilltop drive area to be evaluated
3. Impacts on Plants and Animals (7) – substantial impacts to predominant species (g) and conversion of more than 10 acres of forest (h)
4. Impact on Aesthetic Resources (9) – publically seen (c) & (d), diminish enjoyment of aesthetic resource (e)
5. Impact on Historic and Archeological Resources (10) – Golf course may be on 1982 historic inventory to be evaluated
6. Impact on Open Space and Recreation (11) – impairment of ecosystem services and wildlife habitat (a) and potential loss of future recreational resource (b)
7. Impact on Transportation (13) – still being evaluated
8. Consistency with Community Plans (17) – large impacts
9. Consistency with Community Character (18) – large impacts

On March 2, 2023, Dave Kimmer, on behalf on the Mohawk Golf Club, withdrew their request for a public hearing on March 13 and indicated they would be submitting an alternative design to the Planning Board on March 13 for their review, with a request to call for a public hearing on that design, potentially for March 27, 2023. The public hearing was withdrawn by Planning Staff.

On March 6, 2023, a new design and supporting documents were provided to the Planning Office for review. The new design is based on Scheme #2 with primary access to the proposed subdivision

from the existing 60' easement off of Ruffner Rd and emergency access from the existing easement near 1245 Ruffner Rd.

3/3/2023 Complete Streets (reviewing scheme #2) – A Complete Streets member questioned the measurements on the single family home sketch plan (via email) and whether or not they were truly compliant with Town Zoning requirements. The Committee discussed that they were in favor of pedestrian connections to County Club Estates, Rowe Road and Ruffner as part of any development proposal here – to increase connectivity between neighborhoods.

3/9/2023 Tree Council – The Tree Council heard comments from the public concerned about trees being removed in the Ruffner Road neighborhood generally and also the amount of trees being removed specifically for this proposal. The Council briefly discussed the plan and discussed whether or not clearing could be done over top of wetlands. They made the following comments:

1. 10 acres was a large swath of clear cutting that did not appear to include saving groves or trees interspersed with development. They suggested considering alternative home configurations that allowed pockets of trees to be saved between some of the lots.
2. They questioned whether or not the stormwater ponds could be incorporated into the golf course as water features, allowing more forest to remain and not be cleared to create detention ponds
3. They requested trees of significance (10" DBH) be marked on future plans to see if different road or home configurations could avoid removing the larger trees.

Planning Department – In its review on the revised plans, the Planning Department notes that 1245 Ruffner Road is no longer proposed to be demolished and replaced with a road access, which is an improvement to the plan. The plan utilizes an existing paper street for access, shows a multi-use path connection to Country Club Drive, and shows some modification to the golf course layout. The Planning Department notes the following items still need to be worked through:

1. Utilities – the utility connections and drainage have not been preliminarily studied/designed and reviewed by a Town Designated engineer to ensure that the water and sewer systems have capacity and the project is not draining to areas within the Town that are at capacity.
2. Number of Lots – The Planning Department is requesting a new single family drawing with lot line dimensions labeled (and new access point shown) to verify that the 22 lot number is compliant with the new road configuration and Town Code.
3. Wetland delineation – the applicant indicated at the 2/27/23 meeting that the road configuration for Scheme #2 may require a wetland permit. The Board has also expressed concerns that a single wetland determination was completed during a draught last year (summer 2022). A new wetland determination will be required for the parcel and proposed access way.
4. The proposed public road is not shown in the center of the ROW. The Planning Department needs to check with Highway and Engineering if this is an issue for maintenance in the future.
5. The applicant presents two ADD drawings for the Planning Board to discuss, one with a 50 foot buffer to the Ruffner Road residents (that does not comply with the square footage of open space set aside) and one that shows a 30 foot buffer but lots that are compliant with the square footage of open space requirement. The applicant will need to comply with the square footage of open space requirement. The Planning Department recommends exploring options that increase open space set asides along the golf course and in other areas around the edges of the subdivision – to try and get the 50 foot buffer to be compliant with code.

3/13/23 Planning Board (PB) meeting – Bill Sweet, of The Mohawk Golf Club and David Kimmer, of ABD Engineers attended the meeting and spoke on behalf of the applicant. Mr. Sweet noted that he felt the project had reached an appropriate stage for a Town Designated Engineer (TDE) to be engaged. The Board discussed the 5 items listed above, agreed to call for a public hearing on design Scheme #2 for the 3/27/23 PB meeting and requested the following pieces of information.

1. Planning Office to engage a TDE to immediately address the following items.
 - a. Review Building and Fire code regarding cul-de-sacs
 - b. Review applicant's utility plans (water, sewer, drainage)
2. Planning Board members are requested to review the Town of Niskayuna subdivision code (Section 189-17 J (1))
3. The applicant is to explore a first right of refusal clause on the property that provides the Town of Niskayuna the first opportunity to purchase any land the Mohawk Club places up for sale in the future.
4. The applicant will explore relocating storm water detention ponds onto golf course as potential water hazards, as a way to decrease the amount of tree clearing necessary for the project.

The Planning Board should review any new information that is provided and consider calling for a Recommendation to the Town Board regarding the special use permit for the 4/17/23 PB meeting.

3/27/23 Planning Board (PB) meeting – Dave Kimmer of ABD Engineers and Bill Sweet of The Mohawk Club attended the meeting to speak to the Board. Many residents and neighbors came forward to speak about the project during the public hearing. The Board discussed Weston & Sampson, the TDE for this project. The Board identified the following concerns as items for the TDE to explore:

1. A traffic study to corroborate the applicant's traffic assessment
2. Potential code violations, including but not limited to cul-de-sac length
3. Utilities information such as water and sewer line connections.
 - a. Mr. Sweet believed as a new sewer line had been proposed the development would not exceed capacity limits, but should still be examined

Ms. Robertson informed the applicants that the Town insisted on the paper street being placed in the middle of the right-of-way. Tree conservation was discussed, and Mr. Sweet offered to take members of the Tree Council on a site visit to identify trees of value when the weather was amenable. Although no significant impacts were expected in regards to schools, Ms. Robertson stated she would follow through with the School District to keep them informed of the plans.

The Board generally agreed that the 4/17/23 meeting should be used to analyze the TDE's first review letter.

4/3/23 Conservation Advisory Council (CAC) meeting – Bill Sweet of the Mohawk Club attended the meeting. The ADD concept was discussed and while Ms. Robertson and Mr. Henry showed how ADD would maximize the amount of green space, members of the Council felt as if it was inappropriate and the houses were too congested in the parcel. Mr. Strayer stressed the importance the Mohawk Club had for the Town and wanted to make sure it was an asset that could be used into the future. The Council went through part 2 of the long form EAF and noted their main concerns:

- Drainage concerns needed to be further evaluated but were noted due to the grading of the neighborhood and the high water table on site

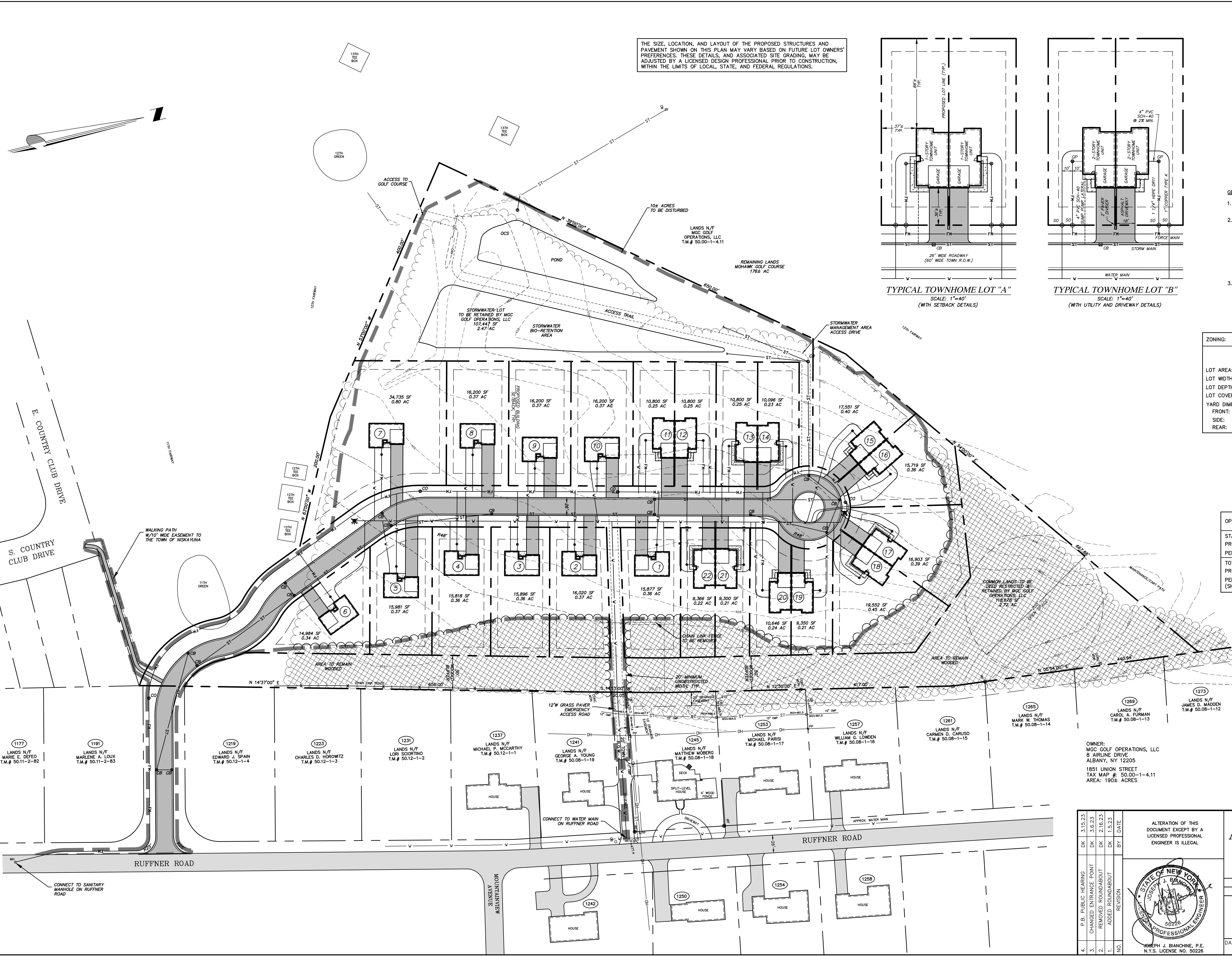
- Clearing of trees was noted to have an ecological impact as well as a public aesthetic impact on the area
- It was determined that the project would have significant conflict with both community plans and community character
 - Expansion of public utilities was noted a major area of concern
 - Concern regarding this project opening doors to further expansion on Club property- large scale development could lead to serious changes all over town
 - Impact on schools was undetermined but identified as a potential issue
 - Density of proposal was a key issue identified by many Council members

In order to mitigate the aforementioned concerns, the Council requested:

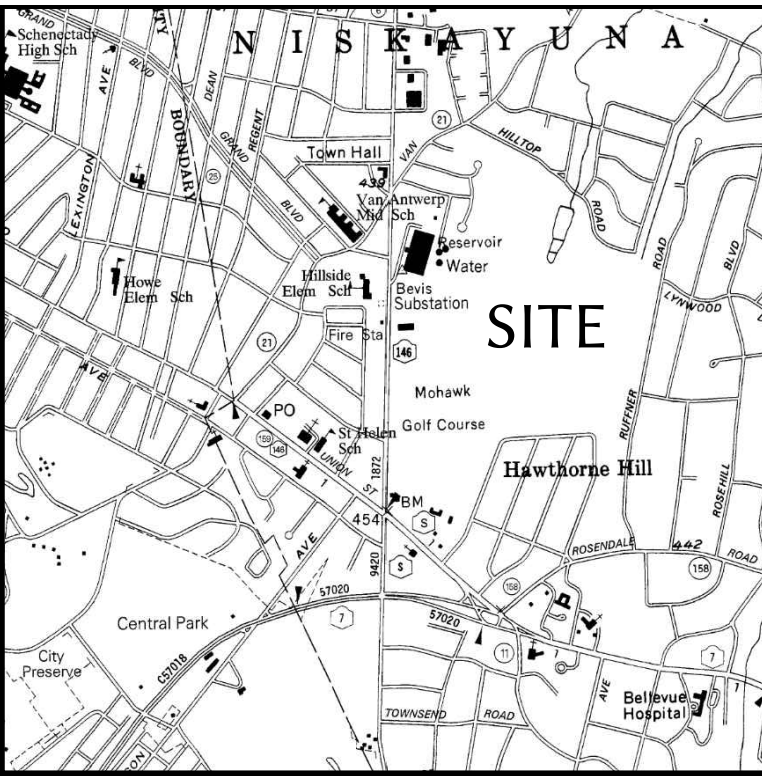
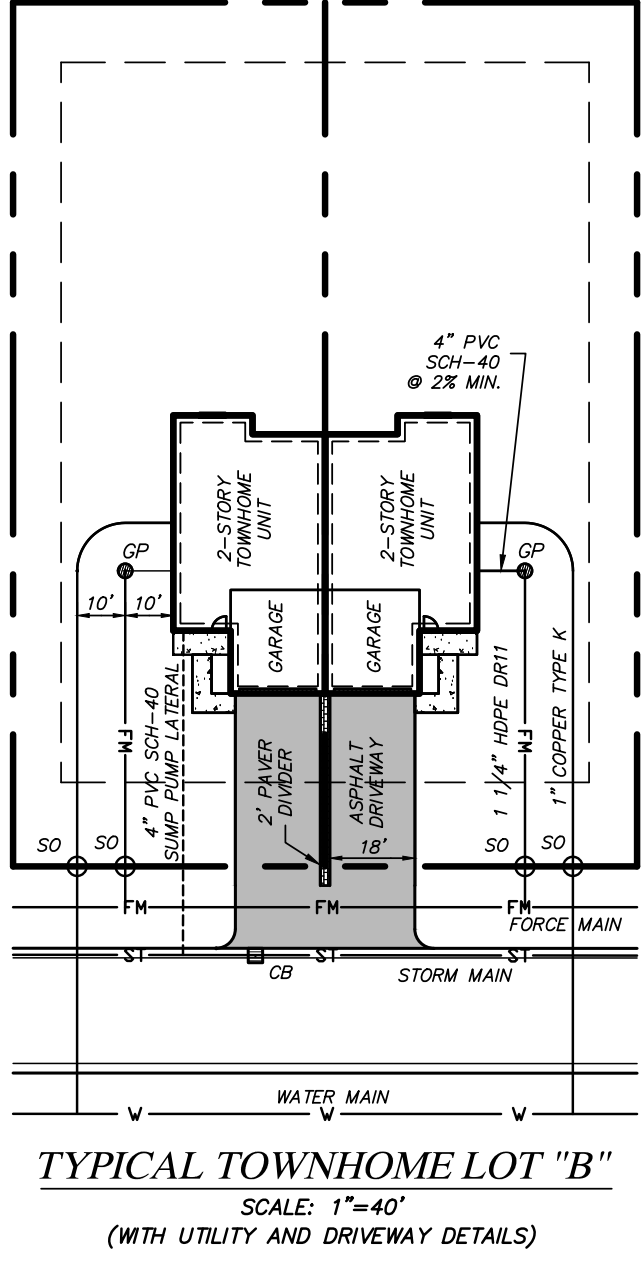
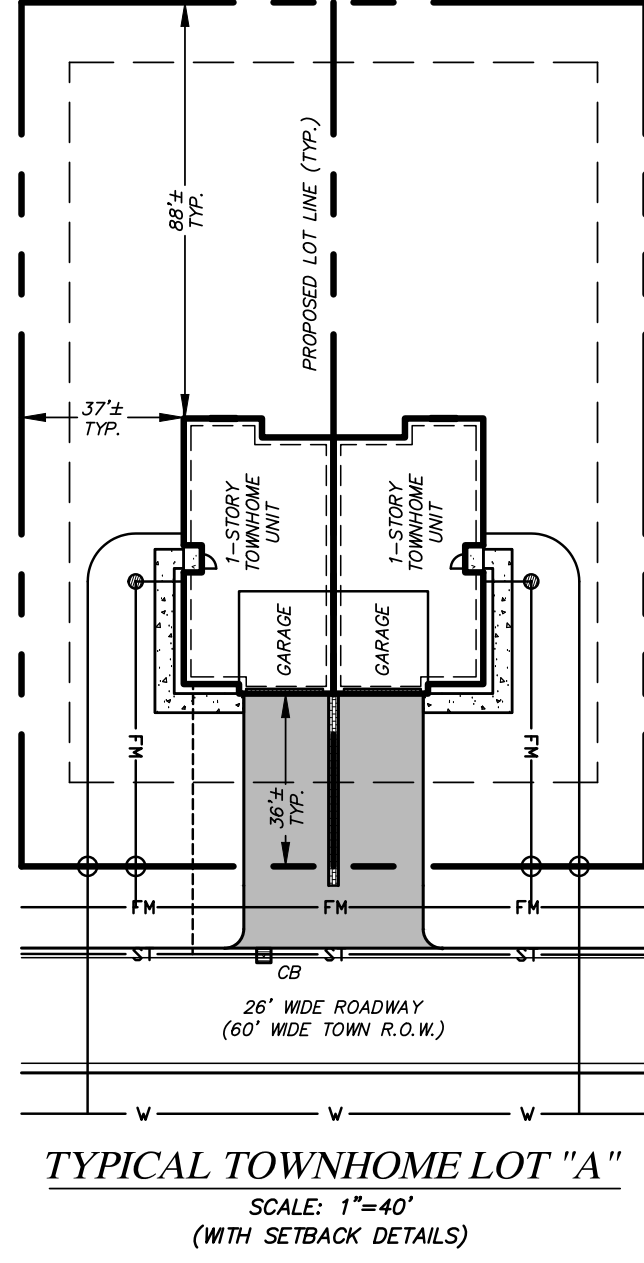
- A long term plan for the Club that detailed potential areas of development, as well as areas to be set aside for conservation
- Permission from the Club to allow the Town to conduct a Natural Resources Inventory on their property
- Incorporate green Town initiatives such as the pesticide free and low mow campaigns when possible

Although they voted unanimously that the Town Board adopt a positive recommendation for SEQR and require an Environmental Impact Statement to review project alternatives, the Council still stressed that they wanted an amicable relationship with the Club and wanted to work with them to find a solution that benefitted all parties. The CAC's findings are attached to this agenda statement – Part 2 and Part 3 of the Long Form EAF will be forwarded to the Town Board prior to their calling for a public hearing.

The Planning Board should review and discuss the notes from the 4/3/23 CAC meeting and the TDE's 1st comment letter and discuss the next steps for the project, including preparing findings for the next meeting. As of the posting of this agenda statement, the TDE letter has not been received by the Planning Office yet, but it is expected prior to the meeting on Monday.



THE SIZE, LOCATION, AND LAYOUT OF THE PROPOSED STRUCTURES AND PAVEMENT SHOWN ON THIS PLAN MAY VARY BASED ON FUTURE LOT OWNERS' PREFERENCES. THESE DETAILS, AND ASSOCIATED SITE GRADING, MAY BE ADJUSTED BY A LICENSED DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION, WITHIN THE LIMITS OF LOCAL, STATE, AND FEDERAL REGULATIONS.



SITE LOCATION

- GENERAL NOTES:
- BASE MAPPING PREPARED BY ABD ENGINEERS, LLP FROM A FIELD SURVEY COMPLETED IN JUNE 2021, AND GIS INFORMATION.
 - THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST WITHIN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS OR HER RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PROVIDE (48) HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.F.P.O. (1-800-962-7962).
 - EXISTING AND PROPOSED GAS, ELECTRIC, AND TELECOMMUNICATIONS SERVICE LAYOUTS ARE SCHEMATIC ONLY. ALL REMOVALS, FINAL LOCATIONS, AND INSTALLATION REQUIREMENTS SHALL BE COORDINATED WITH ALL UTILITY COMPANIES.

ZONING: R-1 (LOW DENSITY RESIDENTIAL) - SINGLE FAMILY DWELLINGS		
	REQUIRED (CONVENTIONAL ZONING)	REQUIRED (AVG. DENSITY DEVELOPMENT)
LOT AREA:	18,000 SF MIN.	9,000 SF MIN.
LOT WIDTH:	100' MIN.	50' MIN.
LOT DEPTH:	125' MIN.	62.5' MIN.
LOT COVERAGE:	25% MAX.	25% MAX.
YARD DIMENSIONS:		
FRONT:	35' MIN.	17.5' MIN.
SIDE:	20' MIN.	10' MIN.
REAR:	25' MIN.	12.5' MIN.

APPROXIMATE SITE STATISTICS		
	PROPOSED	
BUILDINGS:	38,000± SF	6.1%
PAVEMENT:	72,000± SF	11.5%
GREEN SPACE:	514,781± SF	82.4%
TOTAL:	624,781± SF (14.34± AC)	100.0%

OPEN SPACE STATISTICS	
STANDARD TOTAL LOT AREA (18,000 SF X 22):	396,000 SF
PROPOSED TOTAL LOT AREA:	328,795 SF
PERCENT REDUCTION [(396,000-328,795)/396,000]:	17.0%
TOTAL PROJECT AREA:	624,781 SF
PROPOSED OPEN SPACE:	118,678 SF
PERCENT OPEN SPACE (118,678/624,781)	19.0%
(SHALL BE GREATER THAN OR EQUAL TO PERCENT REDUCTION)	

OWNER:
MOC GOLF OPERATIONS, LLC
8 AIRLINE DRIVE
ALBANY, NY 12205
1851 UNION STREET
TAX MAP # 50.00-1-4.11
AREA: 190± ACRES

3.15.23	DK	3.15.23	BY	DATE
3.	CHANGED ENTRANCE POINT	DK	3.15.23	
2.	REMOVED ROUNDABOUT	DK	2.16.23	
1.	ADDED ROUNDABOUT	DK	1.13.23	
NOL	REVISION	BY	DATE	

STATE OF NEW YORK
JOSEPH J. BLANCHINE, P.E.
50226
LICENSED PROFESSIONAL ENGINEER

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS ILLEGAL

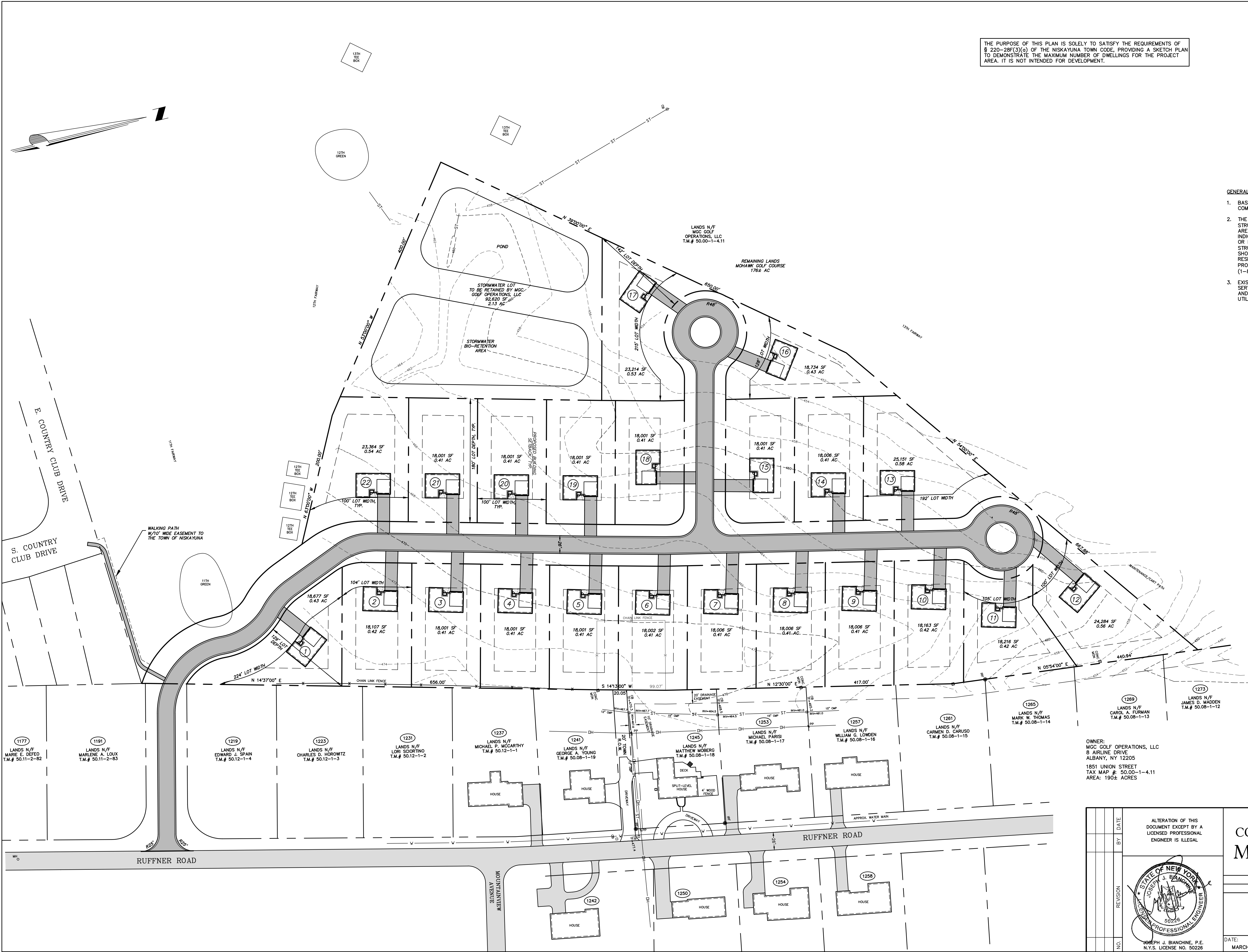
SKETCH 22-LOT SUBDIVISION
AVERAGE DENSITY DEVELOPMENT
MOHAWK GOLF CLUB
1851 UNION STREET

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY

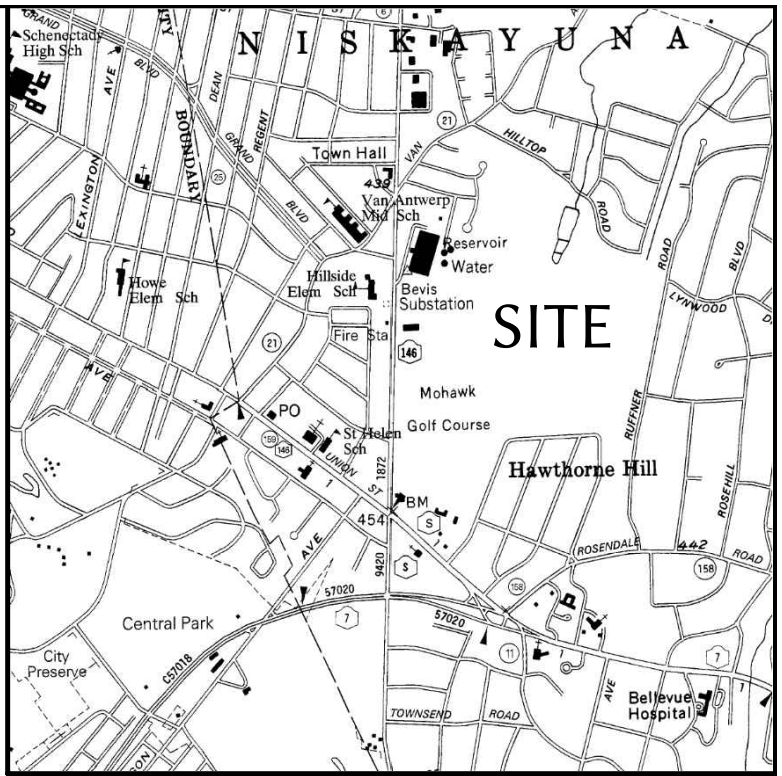
STATE OF NEW YORK

ABD ENGINEERS, LLP
411 Union Street
Schenectady, NY 12305
518-377-0315 Fax 518-377-0379
www.abdeng.com

DATE: DECEMBER 6, 2022 SCALE: 1" = 60' DWG. 5429A-S10 AVG SHEET 1 OF 1



THE PURPOSE OF THIS PLAN IS SOLELY TO SATISFY THE REQUIREMENTS OF § 220-28f(3)(c) OF THE NISKAYUNA TOWN CODE, PROVIDING A SKETCH PLAN TO DEMONSTRATE THE MAXIMUM NUMBER OF DWELLINGS FOR THE PROJECT AREA. IT IS NOT INTENDED FOR DEVELOPMENT.



SITE LOCATION

GENERAL NOTES:

1. BASE MAPPING PREPARED BY ABD ENGINEERS, LLP FROM A FIELD SURVEY COMPLETED IN JUNE 2021, AND GIS INFORMATION.
2. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST WITHIN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE ARE MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS OR HER RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PROVIDE (48) HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.F.P.O. (1-800-962-7962).
3. EXISTING AND PROPOSED GAS, ELECTRIC, AND TELECOMMUNICATIONS SERVICE LAYOUTS ARE SCHEMATIC ONLY. ALL REMOVALS, FINAL LOCATIONS, AND INSTALLATION REQUIREMENTS SHALL BE COORDINATED WITH ALL UTILITY COMPANIES.

ZONING:	R-1 - SINGLE FAMILY DWELLINGS
LOT AREA:	18,000 SF MIN.
LOT WIDTH:	100' MIN.
LOT DEPTH:	125' MIN.
LOT COVERAGE:	25% MAX.
YARD DIMENSIONS:	
FRONT:	35' MIN.
SIDE:	20' MIN.
REAR:	25' MIN.

OWNER:
MGC GOLF OPERATIONS, LLC
8 AIRLINE DRIVE
ALBANY, NY 12205
1851 UNION STREET
TAX MAP #: 50.00-1-4.11
AREA: 190± ACRES

NO.

REVISION

BY

DATE

STATE OF NEW YORK
JOSEPH J. BLANCHINE, P.E.
LICENSED PROFESSIONAL ENGINEER
50226

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS ILLEGAL

SKETCH 22-LOT SUBDIVISION
CONVENTIONAL SINGLE FAMILY
MOHAWK GOLF CLUB
1851 UNION STREET

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY

STATE OF NEW YORK
ABD ENGINEERS, LLP
411 Union Street
Schenectady, NY 12305
518-377-0315 Fax 518-377-0379
www.abdeng.com

DATE: MARCH 13, 2023 SCALE: 1" = 60' DWG. 5429A-S10 CONVENTIONAL SHEET 1 OF 1

CAC Preliminary Findings

At the April 3 CAC meeting, the CAC went carefully through the long form EAF and summarized their concerns with the project as follows:

- A lack of a long-term plan for the entirety of the Mohawk Club property
- Clearing of 14 acres of land has impact of aesthetics and creates loss of habitat for a number of different species. Additionally, trees and greenery would have to be permanently removed both for the main access road and the additional emergency access road
- Piecemeal development of the Mohawk Club may diminish its ability to remain the open space asset that it is for the Town of Niskayuna. A public road that runs through the golf course could open up further development of the parcel which is also concerning – there needs to be a long term plan for the golf club.
- This parcel was a core part of the public/private recreation and open space system
- Impact to the character of the neighborhood was a concern.
- There are alternatives proposed by the applicant that mitigate some of the impacts to the surrounding community and the neighborhood disruption, but they aren't being further flushed out for full environmental mitigation.

They specifically noted the following sections of Part 2:

- Impact on Land (1): The water table in the specified area is two feet which could lead to drainage issues- it was noted that the developer is planning on getting a second wetlands delineation to add clarity to these concerns.
- Impact on Surface Water (3): Drainage onto Rowe Rd, Whamer Ln and Hilltop Dr needs to be further evaluated.
- Impact on Plants and Animals (7): Significant impact found on predominant species in the area as well as more than 10 acres of forest being converted for residential purposes.
- Impact on Aesthetic Resources (9): Project would diminish public enjoyment of aesthetic resources.
- Impact on Historic and Archaeological Resources (10): Mohawk Club may be on 1982 historic inventory- needs to be evaluated.
- Impact on Open Space and Recreation (11): Ecosystem services and wildlife habitats would be impaired. Piecemeal development of Mohawk Club could lead to future loss of recreational resources.
- Impact on Transportation (13): Still to be evaluated.
- Impact with Community Plans (17): Large impact- public sewer lines, water lines and stormwater detention pond will need to be expanded and created (f). Public utilities may need to be expanded further if future golf course property is developed (f/g). The project is inconsistent with local land use plans and could open the door for future development (c/g).
- Impact with Community Character (18): Large impact- impact on schools was not anticipated to be high but needed to be looked into (b). The density of the proposal

would be inconsistent with the existing community (e). Leftover green space would not be as effective post-development as it is as one collective unit.

MOTION FOR A POSITIVE DECLARATION: Chairman Dart Strayer made a motion to recommend a positive declaration to the Town Board, seconded by Mr. Ramasubramanian. The Board voted unanimously (6-0) on a positive declaration.

- Density is too high – explore alternatives with less density that mitigate more environmental concerns
- Revisit how open space is working to make it more usable and vibrant
- Long range plan for the Club is needed, and should be created to work with the Town's comprehensive plan
- Full development of Mohawk Club could lead to hundreds of new housing units which would have serious ramifications for many Town services
- Specifically, piecemeal development would not work well with Town
- Requested that Mohawk Club allow Town to perform Natural Resource Inventory on their property
- Mohawk Club is a vital asset within the Town- it is the Board's intention to work with the Club to find a solution that works with both the Town and the Club

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Mohawk Golf Club Subdivision - Ruffner Road		
Project Location (describe, and attach a general location map): 1851 Union Street		
Brief Description of Proposed Action (include purpose or need): Subdivide 14± acres from existing Mohawk Golf Course, adjacent to Ruffner Road. A new Town road will be built off an existing ROW stub, on which twelve (12) new single-family townhouse lots and ten (10) single family conventional lots are proposed as an Average Density Development, with common lands to remain with the Mohawk Golf Course.		
Name of Applicant/Sponsor: Matthew Moberg (MGC Golf Operations, LLC)	Telephone: 814-571-4414	
	E-Mail: mmoberg@homesteadfunding.com	
Address: 8 Airline Drive		
City/PO: Albany	State: NY	Zip Code: 12205
Project Contact (if not same as sponsor; give name and title/role): Joseph J. Bianchine, P.E. (ABD Engineers, LLP)	Telephone: 518-377-0315	
	E-Mail: joe@abdeng.com	
Address: 411 Union Street		
City/PO: Schenectady	State: NY	Zip Code: 12305
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Niskayuna Town Board, approval for Average Density Development	To be submitted
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Niskayuna Planning Board, Subdivision Approval	To be submitted
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Schenectady County Planning Board, referral	To be submitted
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Army Corps of Engineers, Wetland Determination	To be submitted
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

NYS Heritage Areas: Mohawk Valley Heritage Corridor

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

R1 (Low Density Residential)

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Niskayuna CSD

b. What police or other public protection forces serve the project site?

Niskayuna PD

c. Which fire protection and emergency medical services serve the project site?

Niskayuna FD #1

d. What parks serve the project site?

River Road Park, Blatnick Park, Niskayuna Soccer Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? _____ 14± acres

b. Total acreage to be physically disturbed? _____ 10± acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 190± acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential

ii. Is a cluster/conservation layout proposed? ☒ Yes ☐ No

iii. Number of lots proposed? 22 residential + 1 Storm + 1 Conservation + Remaining Lands

iv. Minimum and maximum proposed lot sizes? Minimum 0.21± Maximum 0.80±

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: _____ 24 months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	22			
At completion of all phases				

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes,	
i. Total number of structures _____ ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Purpose of the impoundment: <u>Temporary stormwater</u> ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Stormwater runoff</u> iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ TBD million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ TBD height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>TBD</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____ _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No ix. Summarize site reclamation goals and plan: _____ _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>Freshwater Forested/Shrub Wetland (isolated)</u> _____ _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
Wetlands will be channeled using culverts to further direct them to the existing municipal storm system.

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☒ Yes ☐ No
 If Yes:

- acres of aquatic vegetation proposed to be removed: TBD
- expected acreage of aquatic vegetation remaining after project completion: TBD
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
Site preparation
- proposed method of plant removal: Excavation
- if chemical/herbicide treatment will be used, specify product(s): N/A

v. Describe any proposed reclamation/mitigation following disturbance: _____
N/A

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 6,000± gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
 If Yes:

- Name of district or service area: Niskayuna Water District #3
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☐ Yes ☒ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
1,100± feet of new water main
- Source(s) of supply for the district: Schenectady-Niskayuna SSA

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____
N/A

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: 3,000± gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 5,400± gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
 If Yes:

- Name of wastewater treatment plant to be used: Niskayuna Wastewater Treatment Plant
- Name of district: Niskayuna Sewer District #6
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 1,600± feet of new LPSS with grinder pumps and/or grinder pump station. _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____ If Yes: <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): N/A _____ _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ N/A _____ _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____ If Yes: <ul style="list-style-type: none"> i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or <u>2.5±</u> acres (impervious surface) _____ Square feet or <u>14±</u> acres (parcel size) ii. Describe types of new point sources. <u>Roof drains, foundation drains, pavement wing-edges</u> iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? <u>On-site bio-retention area & pond</u> • If to surface waters, identify receiving water bodies or wetlands: _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____ f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____ If Yes, identify: <ul style="list-style-type: none"> i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____ If Yes: <ul style="list-style-type: none"> i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ii. In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input checked="" type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____ <div style="text-align: center;">N/A</div></p> <p>iii. Parking spaces: Existing <u>0</u> Proposed <u>N/A</u> Net increase/decrease <u>N/A</u></p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: <u>New Town road proposed to serve the 22 residential lots.</u></p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7am-5pm</u> • Saturday: <u>7am-5pm</u> • Sunday: <u>7am-5pm</u> • Holidays: <u>7am-5pm</u> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>Residential (24/7)</u> • Saturday: <u>Residential (24/7)</u> • Sunday: <u>Residential (24/7)</u> • Holidays: <u>Residential (24/7)</u> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7am-5pm</u> • Saturday: <u>7am-5pm</u> • Sunday: <u>7am-5pm</u> • Holidays: <u>7am-5pm</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>Residential (24/7)</u> • Saturday: <u>Residential (24/7)</u> • Sunday: <u>Residential (24/7)</u> • Holidays: <u>Residential (24/7)</u>
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7am-5pm</u> • Saturday: <u>7am-5pm</u> • Sunday: <u>7am-5pm</u> • Holidays: <u>7am-5pm</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>Residential (24/7)</u> • Saturday: <u>Residential (24/7)</u> • Sunday: <u>Residential (24/7)</u> • Holidays: <u>Residential (24/7)</u> 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p style="margin-left: 20px;">Noise from construction equipment _____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">Describe: <u>Tree clearing for development</u></p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="margin-left: 20px;"><u>Residential building lighting, 75+ feet from nearest residential property line.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">Describe: <u>Tree clearing for development</u></p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p style="margin-left: 20px;">_____</p> <p style="margin-left: 20px;">_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p style="margin-left: 20px;">_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p style="margin-left: 20px;">_____</p> <p style="margin-left: 20px;">_____</p> <p style="margin-left: 20px;">_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☒ Other (specify): Golf Course

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	2.5	+2.5
• Forested	14.0	2.6	-11.4
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal) (Isolated)	TBD	TBD	TBD
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Landscaped</u>	0	8.9	+8.9

<p>c. Is the project site presently used by members of the community for public recreation?</p> <p>i. If Yes: explain: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?</p> <p>If Yes,</p> <p>i. Identify Facilities:</p> <p>Hillside Elementary School, Van Antwerp Middle School</p> <p>_____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>e. Does the project site contain an existing dam?</p> <p>If Yes:</p> <p>i. Dimensions of the dam and impoundment:</p> <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <p>ii. Dam's existing hazard classification: _____</p> <p>iii. Provide date and summarize results of last inspection: _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?</p> <p>If Yes:</p> <p>i. Has the facility been formally closed?</p> <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <p>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____</p> <p>_____</p> <p>iii. Describe any development constraints due to the prior solid waste activities: _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?</p> <p>If Yes:</p> <p>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?</p> <p>If Yes:</p> <p>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</p> <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Yes – Spills Incidents database <input type="checkbox"/> Yes – Environmental Site Remediation database <input type="checkbox"/> Neither database </div> <div> Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ </div> </div> <p>ii. If site has been subject of RCRA corrective activities, describe control measures: _____</p> <p>_____</p> <p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</p> <p>If yes, provide DEC ID number(s): _____</p> <p>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ 6+ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site: <div style="display: flex; justify-content: space-between;"> <div style="width: 60%;"> Silt Loam _____ _____ _____ </div> <div style="width: 35%; text-align: right;"> 100 % _____ _____ </div> </div>	
d. What is the average depth to the water table on the project site? Average: _____ 2± feet	
e. Drainage status of project site soils: <div style="display: flex; justify-content: space-between;"> <div style="width: 30%;"> <input type="checkbox"/> Well Drained: <input checked="" type="checkbox"/> Moderately Well Drained: <input type="checkbox"/> Poorly Drained </div> <div style="width: 65%; text-align: right;"> _____% of site 100 % of site _____% of site </div> </div>	
f. Approximate proportion of proposed action site with slopes: <div style="display: flex; justify-content: space-between;"> <div style="width: 40%;"> <input checked="" type="checkbox"/> 0-10%: <input type="checkbox"/> 10-15%: <input type="checkbox"/> 15% or greater: </div> <div style="width: 55%; text-align: right;"> 100 % of site _____% of site _____% of site </div> </div>	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
<ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name _____ Classification _____ • Wetlands: Name Freshwater Forested/Shrub Wetland (isolated) Approximate Size TBD • Wetland No. (if regulated by DEC) _____ 	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes:	
i. Name of aquifer: Sole Source Aquifer Names: Schenectady-Niskayuna SSA	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ <u>Typical Suburban</u> _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres</p>	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: <u>Mohawk Towpath Scenic Byway</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Scenic Byway</u> iii. Distance between project and resource: _____ 1 miles.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Joseph J. Bianchine, P.E. (ABD Engineers, LLP) Date March 6, 2023

Signature  Title Professional Engineer



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: Mohawk Valley Heritage Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names: Schenectady-Niskayuna SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No