

**TOWN OF NISKAYUNA**  
***Planning Board and Zoning Commission***  
**Agenda**  
**February 27, 2023 7:00 PM**

**REGULAR AGENDA MEETING**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
  - 1. February 13, 2023
- IV. PUBLIC HEARINGS**
- V. PRIVILEGE OF THE FLOOR**
- VI. PLANNING DEPARTMENT PRESENTATION – Average Density Development Subdivision and Special Use Permit Process and Steps**
- VII. NEW BUSINESS**
  - 1. RESOLUTION: 2023-06:– A Resolution for sketch plan approval of a 2-Lot minor subdivision and lot line adjustment, SEQR determination and a call for a public hearing at Antonia Park / Polsinelli Drive (40.-1-54.11)
  - 2. RESOLUTION: 2023-07: A Resolution for site plan approval for a tenant change to a CHASE Bank with walk-up ATM service at 2321 Nott St. E
- VIII. DISCUSSION ITEM**
  - 1. 31 East St. – NE Underlayments – A site plan app. for a tenant change under pre-existing nonconforming interior storage use in the R-R Zoning District.
  - 2. 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club – application for sketch plan approval including a Special Use Permit for a 22-lot Average Density Development (ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.
  - 3. 2209 Nott St. – The Broken Inn – A site plan app. for a new permanent seasonal outdoor picnic table area on Town property including additional and reconfigured parking.
  - 4. 2837 Aqueduct Rd. – Rivers Ledge Sr. Center – A site plan application for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft. commercial space outbuilding.
- IX. REPORTS**
- X. COMMISSION BUSINESS**
- XI. ADJOURNMENT**

**NEXT MEETING: March 13, 2023 at 7 PM**  
**To be Held in the Town Board Room & via Remote Software**

**TOWN OF NISKAYUNA**  
***Planning and Zoning Commission***  
***Hybrid Meeting***  
**Meeting Minutes**  
**February 13, 2023**

**Members Present:**

Kevin Walsh, Chairman  
David D'Arpino  
Genghis Khan  
Patrick McPartlon (Virtual)  
Chris LaFlamme  
Leslie Gold  
Nancy Strang  
Joseph Drescher

**Also Present:**

Laura Robertson, Town Planner  
Alaina Finan, Town Attorney  
Clark Henry, Assistant Planner (Virtual)

**I. CALL TO ORDER**

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

**II. ROLL CALL**

Mr. Skrebutenas was excused and absent.

**III. MINUTES**

Chairman Walsh discussed the minutes from 12/12/2022. Mr. Khan moved for approval of the minutes. Seconded by Mr. McPartlon. Chairman Walsh noted one spelling error, but no other corrections were made. After voting, the minutes were unanimously approved.

Chairman Walsh discussed the minutes from 1/9/2023. Mr. McPartlon moved for approval of the minutes. Seconded by Mr. D'Arpino. No changes were made and the minutes were unanimously approved.

Chairman Walsh discussed the minutes from 1/23/2023. Ms. Gold moved for approval of the minutes. Seconded by Ms. Strang. No changes were made and the minutes were unanimously approved.

**IV. PUBLIC HEARINGS**

Mr. Henry read the notice regarding the project on 17, 25 and 33 S Fagan Ave and 3900 State St.

Mr. Devin Dickinson and Mr. Vincent Salvagni approached the microphone as representatives of Matthew's Kia, the applicant. Mr. Dickinson gave a brief description of the project, in which Matthew's Kia on 3900 State St. would like to purchase 17, 25 and 33 S Fagan Ave. in order to demolish the homes on the property and put in a parking lot to satisfy inventory needs.



No members of the public were present in person or virtually to speak on the project. Ms. Robertson did say that she received a phone call from the owner of 25 S Amherst Ave. who wanted to pass along concerns that there is currently offloading of 18-wheeler type car deliveries on S Amherst Ave. and when multiple deliveries occur at once the road becomes impassable for emergency vehicles. Ms. Robertson also noted the caller stated that there is light pollution coming from the dealership into the residential neighborhoods. Finally, the caller said that it is against code for residents to park cars on their lawn, however she regularly sees cars parked on lawns at the Kia dealership which she finds unfair.

Hearing no further comments, Chairman Walsh closed the public hearing.

## **V. PRIVILEGE OF THE FLOOR**

Ms. Suzanne Mason of 2144 Mountainview Ave spoke to a point she made at the previous Planning Board meeting regarding the impacts that the Mohawk Club subdivision proposal would have on wildlife near Ruffner Rd. Ms. Mason read a letter she wrote that discussed how her family and neighbors have seen wildlife cross over her property for years. Ms. Mason cited owls, hawks and foxes as wildlife in the area.

Ms. Maureen Abrams of 2512 Hilltop Rd stated that her property is adjacent to the Mohawk Club, separated by a fence. Ms. Abrams witnessed the cutting down of trees on Mohawk Club property recently, in an area separate from the proposed subdivision. Ms. Abrams noted the different wildlife that she sees on her property that she feels will be negatively impacted by this development. Ms. Abrams questioned whether the Mohawk Club had the proper permitting to cut down the trees that they did.

A resident from 1265 Ruffner Rd stepped forward to read emails from two different residents in the area. The first email was from Rebecca and Justin Craig of 1324 Rowe Rd, who purchased their property for the natural area that surrounds it, and felt as though the development would contradict their reasoning to choose to live where they did. The Craig's stated that construction noises and loss of nature were only some of the many negative impacts associated with this project. The Craig's feared for public safety in the area, asking for a traffic study to be completed. They stated there are many children playing as well as pedestrians in the area that could be at risk due to an increase in traffic. The Craig's echoed previous statements regarding the ecology and wildlife that they see in their backyards along the tree lines. The Craig's would also like to see the developers plans to deal with water runoff and the impact this could have on neighboring properties. The Craig's believed statements made in previous meetings by the developers are dismissive of community concerns. The Craig's stated the development sets a bad precedent for the Town of Niskayuna, and harms its objective of having a small town feel.

The second email was from Ms. DeeDee Bernson 1323 Ruffner Rd. Ms. Bernson wrote about the business that she has owned for decades, and how prices have been going up since COVID, which she mentioned the Mohawk Club must be dealing with as well. Ms. Bernson said that there have been many wild areas that have disappeared in Niskayuna since she first moved here, largely due to new developments. Ms. Bernson said that new developments like this take away from the small town feel of Niskayuna. Ms. Bernson stated that the neighborhood in question has strong character and the neighbors are committed to maintaining that, and feels that increased

78 traffic brought on by this project will negatively affect that. Ms. Bernson furthered concerns  
79 about negative impacts to the wildlife in the area. Ms. Bernson also furthered concerns brought  
80 up by Ms. Abrams about trees cut down on Mohawk Club property and also believed that the  
81 loss of trees would negatively impact the aesthetics of the area. She questioned previous  
82 statements that Mohawk Club developers have made, such as assurances there will be no further  
83 development on the property. Ms. Bernson discussed the Club's refusal to create access points  
84 throughout the club, as they do not want to disturb their greens, however she stated that residents  
85 of the area do not want the access point affecting their neighborhood. Ms. Bernson questioned  
86 why the Town would not have the authority to refuse access via Ruffner Rd, since the State has  
87 refused access via Balltown Rd previously. She expressed concern with the proposed walking  
88 path on an existing paper road, as it would create two separate areas of disturbance. Ms. Bernson  
89 stated that claims that the Mohawk Club has not been altered since opening are untrue as they  
90 recently cut down trees on the property. Ms. Bernson cited a Daily Gazette article from 2019  
91 where the Club's owner, Mr. Rutherford, stated that the current acreage would not be considered  
92 for development. Ms. Bernson spoke about drainage issues in the area and how this development  
93 would do nothing but further those concerns. Ms. Bernson requested that if this project does go  
94 through the residences share the same characteristics of the rest of the homes in the area.

95 Ms. Johanna Horowitz of 1223 Ruffner Rd came to the microphone. Ms. Horowitz stated that the  
96 Mohawk Club has a history of not being good neighbors. Ms. Horowitz spoke further about the  
97 wet nature of the Ruffner Rd area, and how many months of the year her yard is ankle deep with  
98 water. Ms. Horowitz mentioned that at one point two trees had fallen over from Mohawk Club  
99 property onto her own, and fell on the fence that separates the two properties. Ms. Horowitz said  
100 that despite multiple calls the trees were never taken care of by the Club and are still there to this  
101 day. Ms. Horowitz expressed concern that the buffer between Ruffner Rd. properties and the  
102 development would be further disturbed.

103 Mr. Charles Horowitz of 1223 Ruffner Rd spoke to the significant investments that himself and  
104 many neighbors have made in their area, and that they have been long standing residents of that  
105 community. Mr. Horowitz believed that the newer residents plan on continuing the trend to  
106 invest long term in their Niskayuna neighborhood. Mr. Horowitz stated that as this would be a  
107 permanent change, it would forever alter the character of the neighborhood.

108 Hearing no further comments, Chairman Walsh closed Privilege of the Floor.

109 Mr. Henry gave a presentation regarding the general process of Average Density Development  
110 (ADD) has to take as required by Town Code. Mr. Henry walked through the process and noted  
111 its relation to both the Subdivision and Zoning Codes in Niskayuna. He noted the Mohawk Golf  
112 Club proposal was still at the very beginning of this code process.

## 113 **VI. UNFINISHED BUSINESS**

114 There was no unfinished business at this meeting.

## 115 **VII. NEW BUSINESS**

116 **1. RECOMMENDATION TO ZBA: 31 East St. -- A Recommendation to the ZBA**  
117 **regarding a site plan application for tenant change requiring a use variance to change a**

**portion of the pre-existing nonconforming interior storage use to general office space in the RR-80 Zoning District.**

Ms. Janet Konis was present on behalf of the application. Ms. Konis briefly discussed the project, including the continuing need for more landscaping.

Mr. LaFlamme, project lead, detailed his thoughts on the project. Mr. LaFlamme stated that although the proposed use is nonconforming, it is more beneficial to the community than the current use. Mr. LaFlamme stated that although the usage will be commercial, the applicants have made a commitment to making the property appear more residential, which is good for the community.

Mr. LaFlamme supported the inclusion of a bathroom in the plans, as it is far preferable to people on the property going outside in such close proximity to the Mohawk-Hudson Bike-Hike Trail.

Ms. Konis noted that none of the applicants other commercial properties have signage and therefore this property would not have any signs on any part of the premises. Ms. Konis also stated that there would be no walk-in business at this location.

Mr. LaFlamme made clear that if further development or expansion of the property were sought after in the future it would have to go through the same process, and would be less likely to pass.

Mr. D'Arpino mentioned that he was recusing himself from this project, and Mr. Drescher will be taking his place.

Chairman Walsh asked to the effect this project would have on the comprehensive plan. Mr. LaFlamme said that there is an effect on the comprehensive plan. Mr. LaFlamme reiterated that the use is nonconforming as the property is within a residentially zoned area, however this less intense use will be an improvement for the community. The Board unanimously agreed with Mr. LaFlamme that there is an effect on the comprehensive plan.

Chairman Walsh asked to the suitability of use for the proposed plan. Mr. LaFlamme believed that the use is suitable. Chairman Walsh noted that the proposed use would be an improvement aesthetically on the area. Six Board members voted that the use was suitable, with Ms. Gold saying the use is unsuitable. Ms. Gold stated that the use was unsuitable as it takes the property in a more commercial direction. Ms. Gold said that while she has faith in the current applicant, if they leave in a few years the property could be subject to more negative uses. Chairman Walsh made clear that if there was a tenant change they would have to come in front of the Planning Board before opening business.

Chairman Walsh asked if the project should be recommended for approval to the Zoning Board of Appeals. Mr. LaFlamme recommended that the ZBA grant the use variance. Six Board members voted that the ZBA should grant the use variance with Ms. Gold voting no for reasons previously mentioned.

**2. RESOLUTION: 2023-05: A Resolution for site plan approval for a tenant change to a dental office at 1760 Union St.**

Chairman Walsh briefly outlined the project as well as the resolution previously posted.

Chairman Walsh made a motion to modify condition number 1 of the resolution to add the “Planning Department” and “Building Department”, as well as to modify condition number 2 to strike the word “new” and replace it to “future” regarding tenants of the building. The motion was seconded by Mr. Khan. The motion was carried with a unanimous vote.

Mr. D’Arpino moved for adoption of the modified resolution. Seconded by Mr. McPartlon. After voting the resolution was adopted unanimously.

An individual on behalf of the applicant stepped forward for discussion. The individual noted that the preferred method of parking stated in the resolution would impede on the setback, and wanted to clarify that that would not be an issue.

Chairman Walsh responded saying that if that situation ended up occurring the applicant would have to return to the Planning Board and it may require an area variance request, which would be dealt with at that time. Chairman Walsh stated that the best scenario for both the Board and the applicant is that the site is suitable as is, and no additional parking is needed.

Ms. Gold asked how many employees the dentist office would have in total. The applicant said he was not sure but could figure out a number if the Board wished.

Hearing no further comments Chairman Walsh asked Mr. Henry to call role for a vote.

Upon voting the resolution was approved 6-1

Mr. LaFlamme	AYE
Mr. Khan	AYE
Mr. McPartlon	AYE
Ms. Gold	NAY
Ms. Strang	AYE
Mr. D’Arpino	AYE
Chairman Walsh	AYE

## VIII. DISCUSSION ITEMS

- 1. 3900 State St. / 17, 25 and 33 Fagan Ave. – A site plan application to combine the three Fagan Ave. properties with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.**

Mr. Devin Dickinson and Mr. Vincent Salvagni re-approached the microphone to discuss the project. Mr. Dickinson briefly described the project for the Board. Mr. Dickinson said that the lighting of the area will be minimal as the lot is mainly for storage and not to be used as a main show lot. Mr. Dickinson confirmed that lighting will be on 24 hours a day for safety reasons, but would be minimal as to not create a disturbance in the neighborhood.

201 Mr. Dickinson further confirmed with Mr. Khan that Matthew's would be open and flexible to  
202 altering light to the community's needs, specifically angling it away from housing.

203 Mr. Dickinson outlined a change from the previous plan, so now there is only one main entrance  
204 to the parking lot from the street, as opposed to the two that were there previously. Instead of two  
205 entrances, there will be a connection between the proposed lot and the current existing lot. This  
206 change lowers the amount of impervious surfaces which enhances the green space of the lot. This  
207 change also allows movement throughout all of the lots without going onto State St. which Mr.  
208 Dickinson stated would have many safety benefits.

209 Mr. Dickinson told Mr. LaFlamme that this proposal would give Matthew's 94 additional  
210 parking spaces. This number is down from the 107 of the previous proposal.

211 Mr. Dickinson responded to Ms. Strang by stating this current proposal is 60% impervious  
212 surface and 40% green space. Mr. Dickinson further stated that pervious pavement has many  
213 pros and cons, and could be considered as the project continues to progress.

214 Ms. Strang asked the applicants again about the possibility of lowering the lighting instead of the  
215 currently designed pole lighting. Mr. Dickinson restated that as this is not planned to be a show  
216 lot there is a lot of flexibility with the lighting, and therefore many options could be considered.

217 Mr. Khan mentioned that although the reduction in parking spaces from previous plans is good  
218 from a planning perspective it may not fulfill Matthew's needs. Mr. Salvagni stated that this plan  
219 is a compromise- it fulfills some of Matthew's needs while also being cognizant of the  
220 residential neighborhood surrounding. Mr. Salvagni also mentioned that while this will help in  
221 the short term there will come a time when they need even more parking space.

222 Mr. D'Arpino asked about the necessity of a curb cut on S Fagan Ave at all. Mr. D'Arpino was  
223 wondering about the possibility of having a sole entrance off of State St as the lots are now  
224 connected in this proposal. Mr. Dickinson stated his problem with that idea is that with the  
225 reconditioning lot being on the other side of S Fagan Ave, no entrance on the proposed lot to S  
226 Fagan would increase traffic either on State St or send cars all the way around the neighborhood.

227 In regards to questions asked about offloading by Chairman Walsh, Mr. Salvagni stated that  
228 neither the ingress nor egress on State St is conducive to 18-wheelers entering the premises. Mr.  
229 McPartlon stated that after hearing comments by both Ms. Strang and the phone call from the  
230 public hearing, he wanted to see a delivery plan and a proposed route for the 18-wheelers on  
231 Matthew's premises.

232 Mr. Salvagni confirmed that generally 10 cars are transported with each delivery. With one  
233 driver offloading the cars themselves, Mr. Salvagni agreed that an hour was a reasonable  
234 estimation of total delivery time.

235 Ms. Robertson noted that as she had earlier driven down by the site she noticed offloading in the  
236 turn lane on State St., which she stated was not safe and the deliverers should be told to deliver  
237 onsite. Mr. Salvagni promised a better solution to this problem.

238 Ms. Gold noted that there are some dealerships that have a sister store where deliveries are made  
239 and then staff drives the cars to the main lot, which eliminates any delivery problems.

240 Mr. McPartlon asked if the two above ground storm water management areas indicated the  
241 applicants were moving away from the underground vault proposal. The applicants confirmed  
242 that was the case for multiple reasons, including that this was an opportunity to further  
243 landscaping buffers and add green space.

244 Mr. McPartlon told the applicants that they would need to go in front of the Conservation  
245 Advisory Council to get SEQR approval before returning to the Planning Board who would need  
246 to vote on a recommendation to the Town Board for the special use permit.

247 Mr. McPartlon spoke on a site walk that was attended by himself, Ms. Robertson and Mr.  
248 LaFlamme. The members walked through S Fagan Ave as well as the reconditioning site. Mr.  
249 McPartlon noted the openness of much of the three parcels in question, which did not contain  
250 many trees. Mr. McPartlon stated that with the proposed buffer the lot could be fully buffered  
251 from the residences on S Amherst Ave. Mr. McPartlon also said that the reconditioning site  
252 looks much better in person than in the images that had been viewed in previous meetings. Mr.  
253 McPartlon stated that the remaining residential structure not included in the purchase with  
254 Matthew's (41 S Fagan Ave) would be shielded from any potential development due to trees and  
255 a curve in the road.

256 Ms. Robertson noted that the Tree Council recommended saving all the current trees on the  
257 residential lot. Ms. Robertson stated that in order to keep the neighborhood intact, development  
258 should not go past the trees on 25 S Fagan Ave. A majority of the neighborhood would remain  
259 undisturbed with that method. Ms. Robertson noted that as the lot currently stands there is only  
260 one residential lot bordering the parking lot however if it proceeds as planned there may be  
261 upwards of 6 properties that border it a commercial parking lot.

262 Mr. LaFlamme echoed Ms. Robertson's points and asked the applicants to explore re-  
263 development in the northern portions of the area, as the further south the lots go the more  
264 residential the area becomes. Mr. LaFlamme stated support for taking down 17 S Fagan Ave as it  
265 is surrounded already by commercial areas and is abandoned, however he would caution against  
266 further demolitions, especially 33 S Fagan Ave.

267 Mr. LaFlamme also stated that he would like to see a fully comprehensive traffic flow that  
268 incorporates the final reconditioning center site plan.

269 Mr. Dickinson reminded the Board that the owners of 17, 25 and 33 S Fagan Ave. approached  
270 Matthew's regarding the purchase of property, not the other way around. Mr. Dickinson also  
271 stated that out of any commercial use possible a parking lot would likely create the least amount  
272 of noise and disturbance to the community.

273 Mr. Dickinson pointed out that although the house and garage would be demolished on 33 S  
274 Fagan Ave, those portions would be used as green space not for a parking lot.

275 Mr. LaFlamme stated the new landscaping plan done by the applicants were an improvement to  
276 the plan.

277 Mr. McPartlon asked Ms. Robertson what would need to happen to make 25 S Fagan Ave a  
278 buildable lot. Ms. Robertson responded saying that it is currently a buildable lot as stands and  
279 would support a single family home building permit.

280 Mr. McPartlon asked if the structure on 33 S Fagan Ave could be preserved if it could be  
281 subdivided, as a way to compromise the demolition of homes in the neighborhood. Mr.  
282 McPartlon stated that tearing down these houses for a parking lot would go against the Town's  
283 comprehensive plan.

284 Ms. Strang asked if the owners of 41 S Fagan Ave have been notified of this project. Ms.  
285 Robertson said they did receive notice about the public hearing at tonight's meeting.

286 Mr. LaFlamme expressed interest in the idea of a lot line adjustment for 33 S Fagan Ave in order  
287 to retain more land for the property as well as preserve the house.

288 Mr. Salvagni stated that he had letters delivered to 41 S Fagan Ave as well as all houses on S  
289 Amherst Ave with his personal contact information and had not heard back from any of them.

290 Mr. Salvagni reiterated that this proposal absolutely fulfills a need now, however he could not  
291 guarantee that in the future they would not need more parking spaces.

292 Ms. Robertson stated that from her visit to the site there is a clear need for more parking, and the  
293 issue of delivery of cars in State street and on the side roads is unacceptable and needs to be  
294 remedied. However, she stated encroaching on an affordable residential neighborhood with  
295 access to the bus stop should not occur and could not be undone. She felt if the current proposal  
296 would not meet the future needs of the dealership – they should explore other offsite possibilities  
297 for their main inventory and minimize the parking lot expansion in Niskayuna to 17 S Fagan  
298 Ave, relieving the car repair and offloading issues but not overly impacting the residential  
299 neighborhood.

300 Mr. McPartlon reminded the Board that their next step was to make a recommendation to the  
301 Town Board on how this proposal impacts the comprehensive plan, and said that a proposal that  
302 allows for one of the two houses to be preserved would go a long way in considering a positive  
303 recommendation for him personally.

304 Mr. Khan restated Mr. LaFlamme's earlier point that a full comprehensive look at how all  
305 potential sites fulfill Matthew's needs would be helpful in the decision making process.

306 **2. 2635 Balltown Rd. – Trinity Baptist Church -- A site plan application for clearing and**  
307 **grading for recreational areas on the rear of the property**  
308

309 Ms. Tess Healey representative from Van Guilder Engineering, was present on behalf of Trinity  
310 Baptist Church. Ms. Healey stated that there would be a split-rail fence towards the end of the  
311 property. The property on the inside of the fence would be cleared while the outside of the fence  
312 would retain the wetlands as well as the 25-foot buffer required.

313 Ms. Healey reviewed previous concerns regarding other easements. Ms. Healey stated that there  
314 was one easement to the north of the property, however nothing else along the sanitary sewer  
315 line.

316 Ms. Healey informed the Board that the Army Corps of Engineers has approved the acreage  
317 reduction for the peninsula area in the middle of the property.

318 Ms. Healey mentioned the Tree Council's wishes for the preservation of three large oak trees as  
319 well as seven to eight large white pines. Ms. Healey indicated that a line of further trees could be  
320 planted along the southern part of the property from Balltown Rd to the start of the parking lot.

321 Ms. Robertson said that while Ms. Healey's comments did satisfy much of what the Planning  
322 Board was looking for, they would still need an official recommendation from the CAC before  
323 taking further action.

324 Mr. McPartlon supported calling for a tentative resolution for the meeting following the CAC  
325 recommendation.

326 Ms. Robertson stated that when the process comes for planting of further trees, the applicant  
327 could reach out again to the Town for guidance as to which trees would be most suitable in that  
328 region due to the wet clay soils.

329 **3. 2837 Aqueduct Rd. – Rivers Ledge Sr. Center – A site plan application for a 66**  
330 **apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a**  
331 **3,000 sq. ft. commercial space outbuilding.**  
332

333 Mr. Brett Steenburgh came forward on behalf of Rivers Ledge LLC. Mr. Steenburgh noted that  
334 one of the big changes from previous proposals was the removal of the underground parking.  
335 The reason for this change was the project was already over budget, and parking under the  
336 buildings was a significant cost. Mr. Steenburgh said that in place of this they are planning on  
337 having one covered parking space for each building unit.

338 Mr. Steenburgh said that they are investigating putting garages along the perimeter and based on  
339 discussions with the CAC, the preferred plan of action is adding carports with solar panels. Mr.  
340 Steenburgh stated he personally expects issues to arise with the solar panels because they would  
341 be located on the north side of a tall building, but the standard garages are a suitable backup plan.

342 In regards to the commercial portion of the property, Mr. Steenburgh proposed a retro diner. The  
343 diner would not be overly large and would not be a big draw for the surrounding neighborhoods,  
344 but would be a good option for the residents who live in Rivers Ledge.

345 Mr. Steenburgh said as of right now there are no renderings for the garages, but he would like to  
346 get the Board's input on the proceedings thus far.

347 Mr. LaFlamme confirmed with Mr. Steenburgh that this proposal is a reduction in nine units  
348 from the previous proposals. Despite the loss in units the height of the buildings remained the  
349 same.

350 Mr. Steenburgh stated that some of the reason for the shrinking footprint of the building was a  
351 nearby wetland boundary which made them readjust their plans.

352 Mr. Khan asked about some of the economics of the project, specifically asking if the senior  
353 building was needed to put the project in the black, or if the project balanced the books with just  
354 phase one. Mr. Steenburgh did not have an official answer to that question, but believed the  
355 second phase was required. Ms. Robertson confirmed that as part of the Planned Unit  
356 Development (PUD), two different types of housing were needed so this part of the plan was  
357 required.



358 Ms. Gold understood the reasoning for changing the parking situation, but was disappointed as  
359 she feels it makes the property as a whole less attractive. Mr. Steenburgh said the underground  
360 parking was a high priority item for many involved, however, financially it ended up being  
361 unfeasible.

362 Mr. Khan and Mr. McPartlon echoed Ms. Gold's concerns as this project originally was  
363 advertised as a premiere senior living facility, which the change in parking detracts from. Mr.  
364 Khan stated that as currently proposed, this plan is not conducive to senior living.

365 Mr. LaFlamme asked if being a senior was a requirement of living in the facility. Ms. Robertson  
366 said the way that the applicants got the PUD was having age restricted senior living as a  
367 requirement for one of the housing types. Mr. LaFlamme went on to say that he knows of many  
368 condos designed for seniors with detached garages, and wondered if the change in parking  
369 structures would be that detrimental to the project.

370 Mr. Steenburgh stated that the property would be fully plowed so seniors would not have to  
371 shovel snow themselves. Mr. Steenburgh went on to state that he has worked with many nice  
372 senior living facilities that have detached parking that have been successful.

373 Mr. McPartlon stated that he had a hard time sympathizing with the cost element of the parking,  
374 as the developer should have had a more accurate cost estimation to begin with. Mr. McPartlon  
375 also questioned the notion that the current parking location would be an optimal spot for solar  
376 panels, and did not envision that occurring.

377 Mr. McPartlon stated that other accommodations should be explored, such as a covered entryway  
378 for residents dropping off groceries for example.

379 Mr. Khan discussed putting this stage of the process on pause until more specifics were able to  
380 be worked through.

381 Mr. D'Arpino stated one of the nice aspects of phase one was the attention to landscaping,  
382 however this current design for phase two is surrounded by asphalt. Mr. D'Arpino also expressed  
383 concerns with the aesthetics of the current roofing situation.

384 Mr. D'Arpino stated that if this level of financial hardship was occurring now, it would not be  
385 long for many other aspects of the proposal to start getting cut as well.

386 Ms. Robertson asked about the entrances to the buildings, as some people who park in particular  
387 locations would have to walk a long distance to get into the building. Ms. Robertson asked if it  
388 were possible to attach the covered parking to the back side of the building in order to reduce  
389 asphalt coverage.

390 Chairman Walsh asked whether it would be possible to decrease the number of units in order to  
391 save money for the underground parking. Mr. Steenburgh said decreasing the number of units  
392 would worsen the financial stability of the project.

393 Mr. Steenburgh stated, to Ms. Robertson's question, that there may be some issues with  
394 connecting the parking to the building but he would look into it. Mr. D'Arpino pointed out that if  
395 parking were connected there would be first floor residents whose views would be looking out at  
396 the cars.

397 Ms. Gold asked about the height variance that was previously granted, as she believed it was  
398 granted under the premise that there would be underground parking. Ms. Finan stated that the

variance would have to have been granted based with a condition for underground parking. If the underground parking did not affect the overall height of the building and wasn't stated as a condition, it shouldn't be a condition. Ms. Robertson said that the underground parking may have been part of the discussion in the variance but it was not a stated condition and would not be affected by this site plan change.

Chairman Walsh asked the applicant to take the Board's comments under consideration and come back with some alternate ideas to keep working with the Board and thanked them for their time.

**4. 2309 Nott St. – A site plan application for a tenant change to a CHASE Bank with walk-up ATM service**

Ms. Jennifer Porter was present virtually on behalf of Chase Bank. Ms. Porter briefly described the project. Ms. Porter clarified that the exact address for Chase Bank inside of Shop Rite Plaza was 2321 Nott St. East as opposed to the 2309 as written in the application. The purpose of this proposal was for Chase Bank to lease property in Shop Rite Plaza to create a new bank with a walk-up ATM.

Mr. Mehmet Kara appeared virtually to discuss the architecture of the project. The current plan is to demolish the door at the existing restaurant space and replace it with a brand new glazing panel which would match the adjacent store fronts. Mr. Kara said the other existing door would be replaced with a similar door that is fully ADA compliant. Furthermore, an existing window would be demolished to have an after-hours deposit site as well as an ATM.

Mr. Kara confirmed with Chairman Walsh that there will be no vestibule to access the ATM. Mr. Kara also confirmed that the ATM will not project out onto the sidewalk.

Mr. Khan asked if there would be both banking and office operations inside, which Mr. Kara confirmed that it would be both.

Ms. Robertson stated that this bank would take the place of the former Karma Bistro and the parcel to the left which was a Cleaner. Both of these properties are currently vacant.

Mr. Kyle Goodwin presented himself virtually to discuss the lighting of the project. Mr. Goodwin stated that due to New York State law, there will be lighting 24/7 over the proposed ATM. Much of the other lighting needs are satisfied using existing lighting structures, however there will be additional canopy lighting added.

Chairman Walsh asked to the parking requirements of a bank. Ms. Robertson said she would double check but believed that the requirements would be less than the restaurant that was previously there.

Mr. Khan appreciated the exterior staying consistent with the rest of the surrounding buildings and not being proposed as bright blue.

Ms. Porter stated that other than the Chase logo located on the ATM itself, there is no other proposed signage at this time and the signage package would be submitted separately by their vendor.

The Board agreed that a public hearing would not be necessary for this tenant change.

Chairman Walsh said although he did not anticipate the new lighting having a substantial impact on the area, he would still like to see exactly how Chase was planning on lighting the ATM,

specifically in regards to the color of the light. Chairman Walsh stated that different lighting in this area could cause the ATM to stand out and look visually unappealing. Mr. Goodwin stated that the intent was to blend the lights with the surrounding area to the highest extent possible.

Ms. Robertson suggested an existing lighting plan with deltas to compare to the new lighting, as well as lighting color call-outs. She said the Board could call for a tentative hearing for the next meeting, provided the applicants provide information regarding the lighting, which Ms. Porter said they would.

**5. 40.-1-54.11 – Sketch Plan application for a 2-Lot minor subdivision and lot line adjustment at Antonia Park / Polsinelli Drive**

Mr. Fred Polsinelli was present to discuss the project. Mr. Polsinelli stated that he spoke with Mr. Lecce, who is set to buy the back parcel of the property, and Mr. Lecce stated he is willing to comply with Town requirements of the adjacent subdivision if he ever decided to do anything further with that particular parcel. Mr. Polsinelli clarified that Mr. Lecce does not want a deed restriction on it for no further subdivision, but stated he would need to come in front of the Board if he wished to develop it. Mr. Polsinelli confirmed that he is willing to put a no further subdivision condition on lots 1 and 2 but Mr. Lecce does not want that restriction on lot 3.

Mr. Brett Steenburgh, who is also working with Mr. Lecce, stepped forward and described that the back lot in question has many wetlands. Mr. LaFlamme asked why Mr. Lecce would have an issue placing a restriction on the land if it already has wetlands.

Ms. Robertson asked for confirmation that if the parcel in question were deeded to Mr. Lecce, he was amendable to folding it into the restrictions placed on Lot 4 of his previous subdivision which state any future subdivision of the unrestricted lands will require a major subdivision review. Mr. Polsinelli stated that was correct.

Ms. Gold asked if the paperwork for the lot line adjustment had to be signed before the Board could proceed. Ms. Robertson said that the lot line adjustment has to occur concurrently with the subdivision of the other two parcels but doesn't need to occur before.

Ms. Robertson noted that the CAC had concerns over the fact that the wetlands were not delineated on the property. Mr. Polsinelli said that historic wetlands had been delineated as well as delineations for the area of disturbance.

Mr. Steenburgh confirmed that there would be two individual driveways as opposed to one shared driveway.

Ms. Robertson said there are drainage issues in the area and, despite the fact that two lots would create less of an issue than eight, they still needed to be very vigilant with drainage. Ms. Robertson emphasized that the CAC wanted the Planning Board to fully analyze the water and drainage issues of the area.

Chairman Walsh asked for a resolution for sketch plan approval at the next meeting, as well as a public hearing and a SEQR determination.

**IX. REPORT**

No reports tonight.

**X. COMMISSION BUSINESS**

480 No commission business tonight.

481 **XI. ADJOURNMENT**

482 Chairman Walsh asked for a motion to adjourn. Mr. Khan made a motion to adjourn and it was  
483 seconded by Ms. Gold. The meeting was adjourned at approximately 10:38 PM.

DRAFT

Received

FEB 10 2023

Planning Office  
Niskayuna, NY

February 9, 2023

-My name is Louisa Lombardo. I have lived at 1242 Ruffner Road, on the corner of Mountain View since 1993, across the road and diagonal from the proposed demolition of 1245 Ruffner Road which is needed to provide egress for the proposed sub-division on the Mohawk County Club property.

-I attended the two meetings hosted at the country club, viewed video recordings of the town planning board meetings pertaining to this subdivision, as well as attending and speaking at the January 23 planning board meeting. I have read through the 2013 Comprehensive town development plan several times.

-As I reflect on the proposed subdivision sketch plans, including its various transformations since its initial inception; the feedback from the numerous surrounding neighborhood residents; as well as the comments and feedback from the planning board, I have gleaned a list of "take aways" that relate to the town's comprehensive plan from 2013.

-Excerpts from the 2013 Town of Niskayuna Comprehensive Development Plan

INTRODUCTION:

"The Comprehensive Plan provides a roadmap that sets out broad goals and objectives for the immediate and future preservation of valued community characteristics, while allowing for the enhancement of smart and sustainable growth."

-The Comprehensive Plan Committee ... "revealed several town characteristics or 'livability factors' that convince people to pay a premium to live in the Town..."

-"... "Preservation of community character not only has wide support from residents, its preservation makes economic sense ..."

-While encouraging housing development..."New development should not compromise the integrity of the surrounding neighborhoods."

-"More over, to insure that the viability of Niskayuna's traditional neighborhoods is maintained, encourage exterior maintenance, renovations, and/or additions, to existing housing stock that are congruent with and appropriately scaled to fit the existing house style and age. Such actions should harmonize with the surrounding streetscape and maintain the neighborhoods cohesive character."

-"Preserve and maintain the valuable historic, cultural, architectural, and archaeological heritage of Niskayuna for the benefit of present and future residents."

PLAN IMPLEMENTATION: page 9 section 2. "Subdivision regulation-to oversee the conversion of raw land into building sites adequately served by streets and services."

ISSUE AREA: NEIGHBORHOOD NARRATIVES page 12 section 4 describes Rosendale Estates. I would like to add that homes bordering on Ruffner Road, Hedgewood Lane and Hawthorne Road were initially referred to as "Hawthorne Hill". These homes have a unique historical characteristic of their own and will be dramatically impacted by the proposed sub-division.

-2125 Rosendale Road (on the corner of Ruffner Road) was built in 1840.

-2201 Rosendale Road "The Veeder Farm House" (on the corner of Hedgewood Lane) was built in 1700.

-2154 Rosendale Road: a Victorian home across Rosendale Road at the end of Hedgewood built in 1860.

-Many of the homes on Hedgewood Lane were built in the 1920's, '30s and '40s which makes them "historical" by their very nature.

-1202 Hedgewood Lane: "The Raffety House" built in 1948, is an example of mid-century modern architecture and according to a July 29, 2016 article by Indiana Nash in The Gazette, was recommended by the NYS Board for Historic Preservation.

-Many of the 1950's ranch style homes in Hawthorne Hills were "Godlewski Built". His designs replicated the style of the houses he admired when vacationing at the Cape, as told to me from an original homeowner.

-According to a January 12, 2012 Times Union article by Michael Lisi entitled: "Neighborhoods: Hawthorne Hills Niskayuna", His article begins, "Hawthorne Hills was a place to make dreams come true when houses were being built in the Niskayuna neighborhood back in 1966." The article boasted the "neighborhood's prime location, the size of the houses here and it's stately, mature setting. You'll find a large selection of executive ranches, brick and stone fronted colonials and even a few split levels."

-If 1245 Ruffner, built in 1957, is demolished, there will be one less iconic mid-century split level house on Ruffner Road.

-Real estate ads for homes for sale in the Rosendale Estates neighborhood state: desirable neighborhood, prestigious neighborhood, etc.

RESIDENTIAL DEVELOPMENT, page 79, section 7: "Residential areas throughout the Town are one of it's greatest assets and should be protected from inappropriate and poor design that does not contribute to the overall intent of the neighborhood...Building that is out of scale with the surrounding properties is not a beneficial contributing factor and can adversely affect property values.

AVERAGE DENSITY DEVELOPMENT page 102. Average density development is allowed in R-1/low density zones. Fieldstone, Hummingbird Manor and Kelts Farm are recent examples. However, each one of these developments has their outlet access via a road connecting to a 2 lane county road not stuck in the middle of an established and "historical" residential neighborhood road.

It is like trying to fit a square peg into a round hole.

Exploring the various aspects of the town comprehensive development plan, it is difficult to understand how the proposed sub-division fits in to the Town Comprehensive Plan or benefits the surrounding properties as touted by the country club.

-The Mohawk Club will not consider any options that disrupt the historical nature of their golf course, but yet they have no problem disrupting the historical and unique character of our neighborhood. If they did not want to alter the historical nature of the golf course, then why propose a development within sight and sound of the course?

The unique character of our neighborhood needs to be protected from the inappropriate and poor design of the subdivision. A "dumbbell" shaped development, consisting of "bookend" cul de sacs with "cookie cutter" town homes, requiring the demolition of an existing home, creates an inconsistent and unharmonious street scape along Ruffner Road, not to mention the safety concerns that it will bring will definitely have an adverse effect.

The country club touts that the subdivision will have little to no impact on the surrounding neighborhoods. The fact that they want to erect a "monument sign" (with annuals) advertising the subdivision shows an utter lack of sensitivity to our existing community. In the sketch plan presented on January 23, the monument sign had doubled in size! There is no monument sign for Rosendale Estates. In fact, most, if not all other, mounument signs are placed off of a major 2 lane road.

The country club representative stated that the club does not need the subdivision in order to sustain the club financially, nor would its inability to move forward with the subdivision create a financial hardship for the club. Either way, the club suffers no hardship. The surrounding neighborhoods would have to endure an irreversible and permanent hardship to the unique qualities of their community.

As stated in the comprehensive plan, people pay a premium to live in our town. Several recent homeowners shared during the January 23 privilege of the floor, that had they known about this sub division prior to purchasing their house, they would not have.

Current long-term residents could not have imagined that such a subdivision would ever be permitted when their homes were purchased 10,20,30,40 years ago.

Several current homeowners grew up in this neighborhood and returned as adults to enjoy raising their families just as their parents had done.

I can only imagine how the seller of 1245 would have felt knowing that their house was being purchased only so it could be demolished. They loved their home and invested heavily in repairs and maintenance so it could be enjoyed for a lifetime. They enjoyed raising their two young children in this neighborhood before needing to relocate out of state.

As one resident shared: most, if not all, of the surrounding residents are in opposition to this proposal. It appears that the only one in favor of it is in fact the country club itself.

Various planning board members have expressed concerns over this proposal. It is a weighty decision for the planning board to accept tearing down a house and putting in a road. Exploring the alternative egress plans that do not entail the demolition of a house proves that "there really is no good way to access this property that doesn't negatively impact the entire surrounding neighborhood."

Given what the community has expressed, there really is no good way to access this property that does not negatively impact the entire surrounding neighborhood.

If Hawthorn Hill was a neighborhood to make your "dreams come true" in the 1960's, the proposed country club subdivision makes our nightmares come true in the 2020's.

As one board member stated: "Just because you can, doesn't always mean you should."

Respectively Submitted,  
Louisa Lombardo

A handwritten signature in cursive script that reads "Louisa Lombardo".



Received

FEB 10 2023

Planning Office  
Niskayuna, NY

To: Town of Niskayuna Planning Board Committee

January 25, 2023

I have resided at 1242 Ruffner Road with my wife, Louisa Lombardo, for close to thirty years. After watching videos of the town planning committee meetings, I feel compelled to comment on some the statements made by representatives of the Country Club.

I listened carefully to both sides of the issue as well as to the comments from planning board members. Many valid points and ideas were raised. The representatives of the Country Club, however, consistently responded to these ideas and suggestions, by indicating that any change that would impact the golf course itself were non-negotiable and "off the table". They did not even want to entertain any possible option that could potentially address many of the issues raised by the people in the neighborhood. This response was troubling for several reasons.

From my experience in any type of discussion, involving conflicting interests and needs, that as many options, as possible, needed to be "on the table". This clearly was not the case with the representatives of the country club. Their position, which arbitrarily removes any option regarding the rest of the golf course, seriously compromises any prospect of reaching a mutually satisfying resolution to the problem.

The reason given for not touching any other part of the golf course was that it would affect the historic nature of the golf course. **If the country club truly wanted to preserve the historic nature of the golf course and club, they should not have proposed adding the development of townhomes in the first place.** But since they have, it should be incumbent upon them to consider all reasonable options and ideas. The golf course should not be considered sacrosanct while our neighborhood is to become significantly and permanently impacted by the development.

It is difficult to understand the historic nature of the course, besides the fact, that it has been around since the 1920's. It is not a civil war battlefield, a site of an historic event, or an ancient burial ground. It is a golf course that has been around for many years whose historic nature is valuable to a handful of people who play golf periodically, for at most, a few hours a day, six months of the year. Most golf courses, by their very nature, are modified routinely without negatively affecting play. The proposed sub-division will have a detrimental impact on the surrounding homes of the proposed sub-division, some of which have been in existence for as long as the country club and most since the mid-fifties and sixties. Residents live in their homes 24 hours a day, seven days a week and 365 days a year, and not just during the brief golf season.

The impact of the sub-division is so substantial, that any and all ideas to minimize it and lessen its effects on the *people* in the neighborhood, must be considered. I could only conclude from watching the discussions during the meetings that country club representatives were much more concerned about their piece of land, than they were about the people impacted by their plan. I hope in the future that the country club representatives would be open to considering

options where they bear the brunt of impact and value the lifestyles of the people living in the existing homes more than the wants and needs of the country club corporation.

The other item that seemed to be easily dismissed by the representatives of the country club was the effect the housing development would have on the amount of traffic added to current traffic situation. They said it would be negligible. I could see why they would think so: they do not live on Ruffner Road; they have not witnessed and experienced the traffic problems that happen every day. The added traffic is of great concern for the people who have experienced the current traffic problem. How can adding any additional traffic to the current traffic problem that affects the safety of people be so easily minimized? Common sense tells us that adding anything to existing problems only make them worse.

There have been and there will continue to be other issues articulated very effectively by other people advocating for our neighborhood. I hope my observations on these two issues will help the planning and the town boards make the right decision: to maintain the historic and unique nature of the Hawthorne Hill/Rosendale Estates neighborhoods and deny permission to build the proposed sub-division.

In sum, it appears that the country club wants to add a housing development that will not affect **any** part of the rest of the golf course while creating significant disruptions to the lives of many people. In short, it seems that **the country club wants to have its cake and eat it too**, while leaving the **crumbs** (negative effects) to the people in the neighborhood to deal with.

Sincerely,

Jim Dillon

A handwritten signature in black ink, appearing to read "Jim Dillon". The signature is written in a cursive, flowing style with a large initial "J" and "D".

February 9, 2023

TO: Conservation Advisory Council  
Town Planning Board

My name is Louisa Lombardo, I have lived at 1242 Ruffner Road for almost thirty years, almost forty in the town of Niskayuna.

-My house is across the street and diagonal from 1245 Ruffner Road. The Mohawk Country Club is proposing to demolish this home to construct a subdivision on undeveloped land adjacent to their golf course.

-I would like to reflect and answer some of the questions posed by the conservation advisory council based upon my experience living on Ruffner Road and gleaned from the many comments posed by the numerous residents living in the surrounding neighborhoods:

QUESTION:

2. "Will the proposed action result in a change in the use or intensity of the land?" \_\_\_\_\_ YES

3. "Will the proposed action impair the character or quality of the existing community?" \_\_\_\_\_ YES

5. "Will the proposed action result in an adverse change in the existing level of traffic...." \_\_\_\_\_ YES

8. "Will the proposed action impair the character or quality of important historic, archeological, architectural or aesthetic resources?" \_\_\_\_\_ YES

9. "Will the proposed action result in an adverse change to natural resources (e.g. wetlands, waterbodies, ground water, air quality, flora and fauna?" \_\_\_\_\_ YES

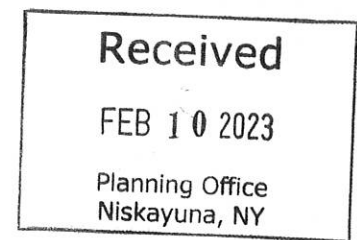
-It is important that the various town committees, councils, boards, etc. have a consistent understanding of the concerns surrounding this subdivision proposal.

-There is no way to understate the negative, irreversible and permanent impact this ill-conceived subdivision will have on all of the surrounding existing neighborhoods.

Respectfully Submitted,  
Louisa Lombardo

*Louisa Lombardo*

February 9, 2023  
TO: Niskayuna Town Planning Board



RE: Mohawk Country Club subdivision: "Monument sign with annuals"

My name is Louisa Lombardo, I reside at 1242 Ruffner Road and would like to comment on the Mohawk Country Club proposed subdivision.

-On the sketch proposals submitted to the planning board, they indicate a "Monument Sign with annuals" will be constructed at the entrance. On the sketch proposal presented at the January 23, 2023 planning board meeting, the monument sign had actually doubled in size!

-Erecting a monument sign to "advertise" an ill-considered subdivision off of a historic established neighborhood road demonstrates yet another example of the country club's lack of sensitivity as to the impact their proposal will have on the daily quality of life of the residents in most of the surrounding neighborhoods.

-I am submitting 13 photographs of the monument signs erected around the Town of Niskayuna. Each one is located at the entrance off of a main two-lane road, NOT stuck in the middle of an established residential road.

-If this ill-conceived and unwanted (by most if not all neighboring residents) sub-division is approved, the construction of a "monument sign with annuals" MUST NOT be allowed.

Respectfully Submitted,  
Louisa Lombardo

A handwritten signature in black ink that reads "Louisa Lombardo". The signature is written in a cursive, flowing style.





① Monument Signs in the Town of Niskayuna -

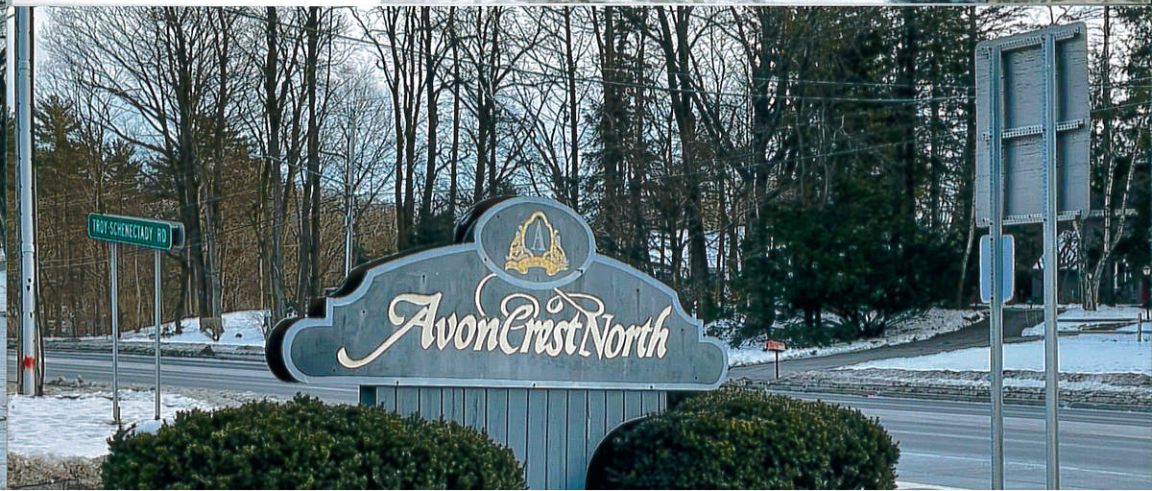
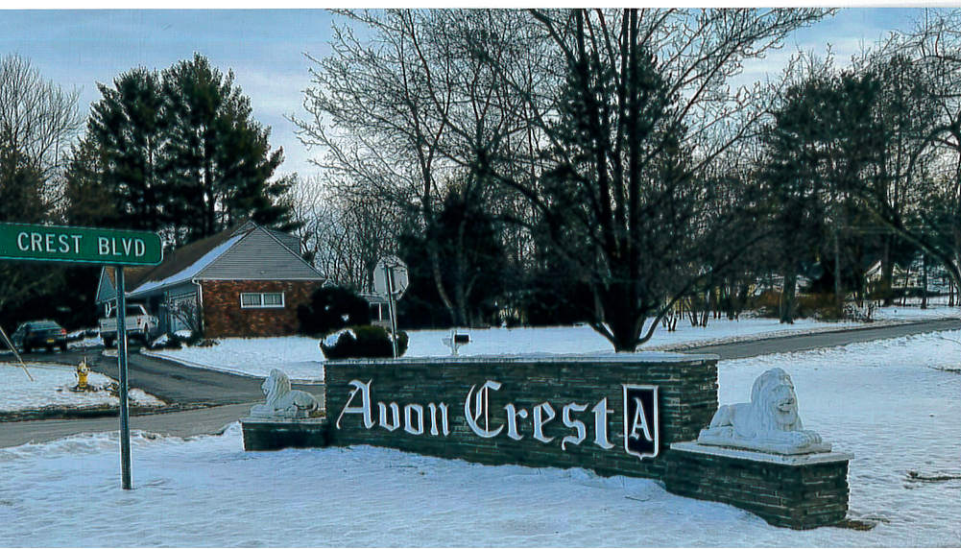
② They are located at the entrance of a - development - subdivision

OFF a major 2 lane Road

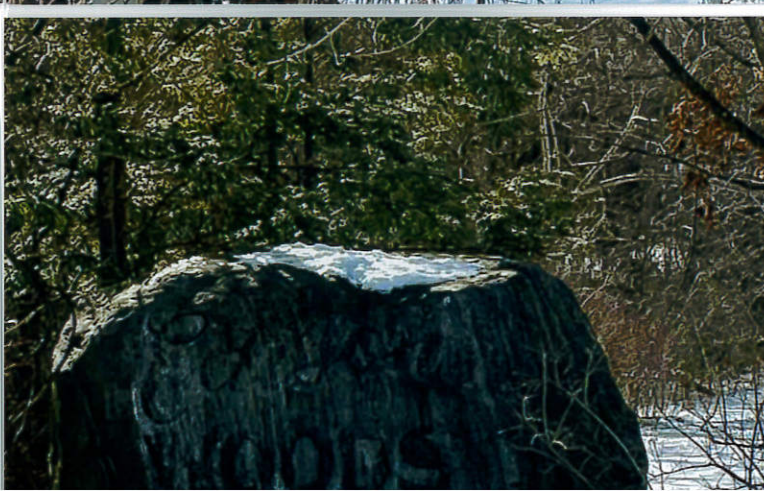
NOT - erected in the middle of a "historic" established neighborhood.













## Laura Robertson

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**From:** DeeDee Bernson <deedeebernson@gmail.com> on behalf of DeeDee Bernson  
**Sent:** Monday, February 13, 2023 3:01 PM  
**To:** lrobertson@niskayuna.org  
**Subject:** [EXTERNAL] Fwd: Communication for Meeting

To the Members of the Planning Board,

My name is DeeDee Bernson. I live at 1323 Ruffner Road. I have been a resident of Niskayuna for nearly 21 years. We relocated here from Massachusetts to buy a distributorship of Interstate Batteries. When we moved here we needed to be able to afford a house payment as well as being able to grow a business. So I understand and fully support wanting to improve a business, We have done that for the past 22 years. We have maintained growth in our business year over year. That does not necessarily transfer into similar profit margins though. Owning a business means having to deal with many cons that most are not familiar with especially since the arrival of Covid. Costs have skyrocketed in every sector of operations and I'm sure the Club is not immune to those increased expenses either which is why, I suspect, they are looking to develop the 14 acres off of Ruffner Road. We chose to move into the Rosendale Estates neighborhood of Niskayuna, and we specifically moved here for two reasons: 1) the great ratings of the school district and 2) the atmosphere and character of the town and its neighborhoods. There were many fully developed, mature neighborhoods with ample sized lots which housed many different styles of well-maintained dwellings all captured in areas perfect for walking either as a family to friends' houses or just strolling around with the dogs. We first lived on Preisman Drive then moved to Avon Crest to a larger house once we were able to secure our finances after operating our business for a few years. The house I currently reside in is my third house in the town. For a short time after my divorce, I moved to Burnt Hills to escape the high tax burden but decided in less than a year that I missed all that Niskayuna had to offer. It felt like home so I found a house in a neighborhood where I can care for my aging parents and my older rescue dogs.

There have been many changes that have occurred in the past 20 or so years mainly in the area of new developments. The wild, undeveloped areas are quickly disappearing and with that so is the original atmosphere that I fell in love with in this town and it leaves me wondering what the long-term plan is for Niskayuna. Are we striving to be more like towns with similarly rated school districts which are more developed like Bethlehem/Delmar or Clifton Park (Shenendehowa). We considered those areas when we relocated here from Massachusetts but decided those towns were not for us. They were too city-like even though they did have areas that were more residential. They didn't seem to have the small town feel we were looking for with the many conveniences Niskayuna offers.

Hawthorne Hills is a neighborhood with history. It is a well sought after area in the real estate market. People specifically request this area of town. Although I don't live in a house that is adjacent to the proposed development, I do feel as though it will negatively impact me and my neighborhood for a multitude of reasons. When walking through the neighborhood, you can't help but notice how its residents have pride in their neighborhood. Landscaping and exteriors are lovingly maintained and updated with manicured and new shrubbery, new driveways and walkways as well as new siding and paint. I, too, since purchasing my house just a few years ago have done all of these things (my house is scheduled to be freshly painted this spring) as well as replace all of my windows. All of these things will have cost me over \$50,000. We don't mind investing in our



homes as we also see this as an investment in our surrounding neighborhood. We all want to contribute to maintaining the character of our neighborhood and the value of our homes but what impact will this proposed traffic pattern have on our homes, our investments and for some of us our future retirement??

I constantly walk throughout the neighborhood and can't help but wonder how much MORE traffic this development will bring to the street. Ruffner Road is already a cut through for people coming from Rosendale Road to get through to Windsor onward to the ShopRite shopping center or The Coop not to mention everyone that travels Ruffner to get to the high school. There are many people who drive through the stop signs already with no regard for pedestrians. In addition to the increased traffic load, the idea of destroying the wildlife area to put in a development that will not look anything like the existing neighborhood does not seem like a trade-off any of us in the area are willing to make. Driving up and down Ruffner Road is such a pleasure to look over into the backyards of those houses and see the wooded area which houses the deer and foxes that traipse through the neighborhood. I have been so lucky to see four deer and two foxes walking through my backyard between my house and the houses on Rowe Road. On the other hand, my house which has natural cedar shakes and siding has been the target of a woodpecker this past summer. When I called several pest control companies, many refused to even come out to address the issue because woodpeckers are federally protected so any tampering with their habitat must be in compliance with federal law so I wonder if destroying that wooded area would potentially destroy their natural habitat and in so doing force any woodpeckers living in that 14 acres to find alternative places to live like more wooden homes like mine. When walking on the street this past weekend, I looked over the 14th tee down the hill onto the golf course to see that the Club has clear cut a section of wooded area. If I recall from listening to the developer and Mr. Sweet at the meeting on January 23rd, it was mentioned how there are many other areas on the property where the animals use as their habitat. After clearing this area, there is now one less. There is less and less space for them to live in our town and I am opposed to changing the existing character of our neighborhood to accommodate a new development in an already mature neighborhood all for the financial gain of the owner of the Club to the detriment of the wildlife and residents who live here. They also claimed that if they were to get approval for this project that even though they would be cutting down the majority of the trees in the area being considered for development, it would NOT impact the current visual appearance of the area from the street. I find that statement difficult to believe. I am curious, as I am sure my neighbors whose property boundary is that of the area being discussed, exactly how many feet from the existing property line will be left untouched and left wooded.

I have watched and rewatched and rewatched the January 23rd hearing and am perplexed by multiple statements made by the applicant's representatives:

1 - When discussing the possible expansion of the currently proposed 10 single family / 12 townhouse plan, they make assurances there are no future plans for additional development anywhere on Club property, refuse to put that in writing, BUT also state they are leaving a 60-foot right-of-way IN CASE they decide to pursue the idea of expanding development. Which is it??

2 - When discussing optional entry points of the proposed development, it was mentioned several times under no circumstances are they willing to have an access point to the proposed development come through the course at any of the 3 already existing entrances to the Club because they DON'T WANT to upset any of their existing pathways or greens. Well, as has been made clear by the MANY people that keep coming before this committee, we the people of the neighboring community of this proposed development DON'T WANT it to upset the character of our existing neighborhood!!! So if you feel compelled to approve the development, force their hand and only allow it if it be fully encompassed within their grounds without an egress on Ruffner, So. Country Club, Rowe or Hillside.

3 - It was said the possibility of a Balltown Road entrance is off the table because the State has already refused that as an option. If the state has the ability to refuse access on one of its roads, does not the town have the same authority? As has been said by more than one board member "just because you can, doesn't mean you

should" so therefore if it does not make any common sense to allow such a disruption to an existing, peaceful neighborhood, we would encourage you all to decline the request of this proposal.

4 - Mr. Sweet was directly asked by the board if the project is not approved will it have a negative financial impact on the Club and his response was "NO". With that being said, there should be no pressure to feel that this project needs to be approved to keep the Club solvent. I believe I also heard them mention that NOT ONLY do they wish to tear down the house at 1245 Ruffner to create an access road but they ALSO want to utilize the paper road on Ruffner to create a walking path. A walking path from where?? Why would the residents of the proposed new development not be able to use the street being built instead of creating two areas of disturbance on Ruffner Road. This proposition, to me, shows what everyone in the area has come to believe - the Club has no concern to the feelings of the current residents of the community but only as to how they can market it for the highest dollar value possible to new buyers. Mr. Sweet also asked the board if there was anything from preventing them from knocking the house down even if the plan to build a road on that site is denied implying they might do that regardless the project gets approved or not. Go ahead...it would be a great spot to let for all the dog walkers in the area get together to let their dogs play on the newly seeded area as he described it. It certainly would be more welcomed than the development, road and traffic circle they are currently proposing!!

5 - Mr. Sweet also claimed there has been NO adjustments made to the club's property since it's implementation. However, they just recently clear cut an entire section which is visible from Ruffner Road and Hillside Road.

As previously mentioned by a resident of the neighborhood, the club CANNOT be trusted to keep their word. According to the current owner, Mr. Rutherford, in an article in The Gazette dated November 16, 2019, he stated that the acreage being discussed would NOT be pursued for development as was previously discussed by the prior management. It has clearly been the plan to develop this area or otherwise they would not have purchased the house at 1245 Ruffner to create this new "public" access road. Mr. Rutherford is obviously a very smart business man. I have actually utilized his banking services when contracting mortgages on two of my homes. Banking is a lucrative business. In order to go from a multi-owner debt ridden facility to a one-owner with no debt facility leaves one to wonder how he plans to recoup his investment. It is obvious - develop and sell off part of the land and impose on the the residents in the neighborhood.

In addition to the negative visual impact, deterioration of wildlife habitat, and increase in road traffic, I am opposed to the proposed project for how I believe it WILL impact my property even though I am not a direct neighbor. When I purchased my house at 1323 Ruffner Road, I considered installing an inground pool in my backyard. At that time, I was told by the town that due to the topography of my lot and that of my neighbors to the north of me on Ruffner and those to the west on Rowe combined with the soil composition in the area being primarily clay-based as well as the lack of sufficient drainage along the properties between Ruffner Road and Rowe Road, I would only be approved for the project if I committed to spending 10s of thousands of dollars in grading and retention to assure there would be no negative impact to those around me. I chose not to install the pool. Even so, after experiencing my first summer here, I discovered the negative consequences of having a yard with so much clay. I, too had a yard that was unmowable until mid-July. My first year in this house, I had to literally to weed-whack 1/2 of my back yard because even walking back there you would sink ankle high in water and muck so it was impossible to use any type of motorized equipment without getting stuck. I hired a professional local landscaper familiar with the area to create a french drain mimicking a rock riverbed with a collection area to gather rainwater runoff. When doing so, I made a point to put berms around the collection area to make sure whatever runoff was gathered would not continue to run downhill into my neighbors yards but would remain in my own. Looking out my back windows, I can see standing water in my neighbors' yard on Rowe Road for a couple of months during spring and the rainy season in fall. I didn't want to alleviate my problem by creating one for my neighbors. Not to mention during a good rainstorm, I continue to encounter issues with rain flowing down the street and into my driveway like a running brook straight into my backyard. I still need to have more work done in my backyard to remedy these issues. Water runoff and drainage is already

an existing problem in our neighborhood without the possibility of any negative side effects that will be created by the addition of a sub-division in an area that is currently wooded and by replaced by large areas of blacktop.

If the town does somehow feel compelled to approve this project, I would ask that you insist the project share the same characteristics of the existing neighborhood by mandating similar style houses with similar size lots. I respectfully request that you please do not change the neighborhood in which I have come to love. I apologize for the length of this letter but the more I have learned about this project, the more I have become passionate about all the reasons I am opposed to it. Thank you for your careful consideration of the life-long impact this project could have on the lives of those who live in the neighborhood as well as the character and reputation of Niskayuna as an entire community.

Respectfully,

DeeDee Bernson  
1323 Ruffner Road

## Laura Robertson

---

**From:** Rebecca Shurtleff <rebecca.shurtleff01@gmail.com> on behalf of Rebecca Shurtleff  
**Sent:** Monday, February 13, 2023 4:12 PM  
**To:** lrobertson@niskayuna.org  
**Subject:** [EXTERNAL] Concerns for Town/Planning Board, re: proposed Ruffner Rd development

Hi there,

While we're unable to attend tonight's Niskayuna Planning Board meeting, we did want to state our concerns regarding the proposed development near Ruffner Road/Mohawk Golf Club for the public record. Please see below for the full letter.

Thank you!

Rebecca Craig (Shurtleff)

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To Whom It May Concern:

We moved to Rosendale Estates in November 2022, after spending three years in the Mont Pleasant area of Schenectady. While there was no need for us to move only 10 minutes away, the beautiful old homes, the natural land surrounding the golf course, and the sense of quiet and community were driving factors in our decision to relocate. We have nothing negative to say about our experience in the area – we love it. However, we are disappointed to learn of the proposed housing development associated with the Mohawk Golf Club and would like to publicly state our opposition to the project.

Development of the land neighboring our property contradicts why we made the decision to live in this area; we do not want to be unwillingly subjected to constant construction noise, the loss of nature, or other negative impacts the project will have on our overall quality of life. Personal feelings aside, we have major concerns about this development being a hazard to both public safety and the environment.

In regard to public safety, it would be beneficial to see traffic studies for this area in particular and within similar developments to better understand the impact a project of this scope and scale will have on traffic

patterns and flow, as well as potential effects that may occur with increased usage of the roads. Also, from what we have observed during our time here, this is an area where children can safely play basketball at the end of their driveway, and ride their bikes and skateboards in the street; people run and walk their dogs safely and freely at all hours of the day. Increasing traffic to the club while disrupting typical traffic patterns (through the installation of new access points and/or roundabouts) may lead to increased accidents... With this, we implore those making the decisions around this proposal to consider the outcomes that may occur when combining this increased traffic and new traffic patterns with golfers who drink on the course all day and then exit into the surrounding neighborhood -- especially during summer vacation in an area where families previously felt safe to use the space in or near the road.

We understand that many neighbors have already vocalized ecological concerns with the development, and have raised awareness of the disruption it will bring to the local environment and wildlife. We can speak personally to the fact that the tree line in our backyard (situated between Rowe and Ruffner Roads, shared with the proposed development) hosts a number of animals including birds, squirrels, rabbits, deer, fox, and racoon, among others. The development would also be situated at the bottom of a hill – and with the likely removal of trees and ground cover to build roads and buildings, we would like to better understand the developer's solution to preventing water runoff, and the impact it may have on neighboring properties if diverted. Insight from the local Conservation Board and/or the Department of Environmental Conservation would be invaluable in this instance.

In addition to the concerns raised by the development of the land itself, the public statements made by the developer and their associates are dismissive of the growing community concern. A [January 25 article in the Albany Business Review](#) has a representative for the project quoted as saying that the development would “[fill] a need in Niskayuna.” This same article explains how an existing house – purchased at \$391,000 – would be demolished to make way for \$550,000-\$700,000+ townhomes and single-family homes. With the number of new-builds currently going up in Niskayuna, Clifton Park, and surrounding areas, it would be beneficial to understand where this claim originates, and what data the developer is using to substantiate and determine a “need,” – especially considering recent layoffs for large corporations typically associated with bringing people into the Capital Region (namely [GE](#) and [GlobalFoundries](#)).

This same representative boldly states that they expect to begin construction in the summer, regardless of community buy-in. This statement and this decision come as a metaphorical “slap in the face” and show complete disregard for the neighborhood that they are building within. While we are only two of many, many others who will be impacted by the results, sweeping statements such as these do nothing more than create immediate tension and resentment from the people who would like to see this done with due process and respect for rules and regulations. Should the Town allow this to happen, it will only show that the rules are in favor of profit over people -- and out-of-town club members seeking second properties will be prioritized over the vocally opposed community that already resides within town borders.

We understand that the Town of Niskayuna prides itself on a number of things, including its small-town feel, schools, and overall public perception. We can't disagree that this is a great place to live. But if the town allows this project to move forward in any way, it sets a dangerous precedent of ignoring public safety, the environment, and the legitimate concerns of its tax base, instead siding with profit-seeking developers over

those who personally reside within this town...Optics that will likely push away other families like ours from settling into the area.

We strongly wish that the Town would do everything in their power to prevent the development of this land. If that is not a viable option, we request that you seek out answers to our above concerns and do your due diligence to the community that you represent.

Thank you for your time.

Rebecca & Justin Craig  
1324 Rowe Road

# Average Density Development (ADD) Subdivision Process

**There are 3 Important  
Aspects of ADD Subdivisions**

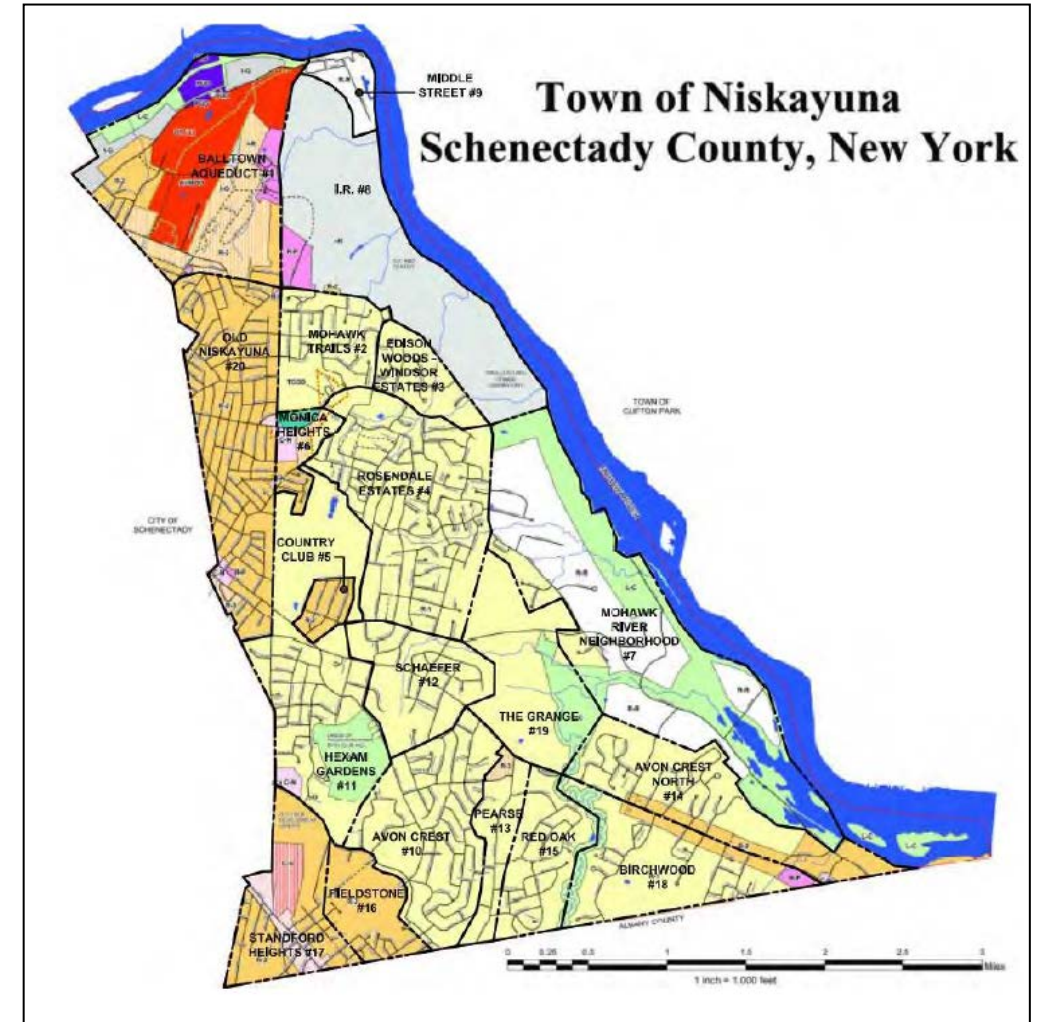
[www.niskayuna.org](http://www.niskayuna.org)

- 1. Subdivision of Land***
- 2. Average Density Development***
- 3. Special Principal Use***

# Average Density Development (ADD) Subdivision Process

## Zoning Districts

- **Principal Uses**
  - Permitted Principal Uses
  - Permitted Accessory Uses
  - Special Principal Uses





# Average Density Development (ADD) Subdivision Process

Planning Processes Are  
Defined in the TOWN  
CODE and ZONING  
CODE

[www.niskayuna.org](http://www.niskayuna.org)

The screenshot shows the official website of the Town of Niskayuna. The header features the town's name and seal, a search bar, and a home icon. A navigation menu includes links to Home, Departments, Boards & Committees, and Directory, along with a Quick Links dropdown. The main content area is divided into two sections. On the left, the 'Citizen Action Center' contains a grid of buttons for various services: Police, Community Programs Online Registration, Recreation Programs, Town Parks, Senior Center, Meeting Video, Minutes & Agendas, Employment, Town Code (circled in red), View and Pay Water Bill, Town Map, Subscribe to News, Send Us Comments, Standard Work Day and Reporting Resolution, 2022 Final Assessment Roll, NPD Racial Bias Audit Final Report, 2023 Adopted Budget, and Nisky Connects. On the right, a red banner announces 'Town of Niskayuna COVID-19 Updates Read more »'. Below this, a horizontal menu lists News, Meetings, Social Media, Town Photos, Community, and Summer Events. The main content area on the right displays three news items: 'The Niskayuna Historical Committee is seeking new members. »', 'BLOOD DRIVE: Assemblymember Phil Steck's 2nd Annual Blood Drive in partnership with the Town of Niskayuna »', and 'Traffic Advisory: River Road Water Main Break February 2, 2023 »'. A fourth item, 'The Niskayuna Community Programs Department is now accepting applications for summer part-time employment. »', is partially visible at the bottom.

Search

Niskayuna  
NEW YORK

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Police Community Programs Online Registration

Recreation Programs Town Parks

Senior Center Meeting Video

Minutes & Agendas Employment

Town Code View and Pay Water Bill

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2022 Final Assessment Roll NPD Racial Bias Audit Final Report

2023 Adopted Budget Nisky Connects

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News Meetings Social Media Town Photos Community Summer Events

The Niskayuna Historical Committee is seeking new members. »  
The Niskayuna Historical Committee is seeking new members. This committee supports the Town Historian's efforts to...

BLOOD DRIVE: Assemblymember Phil Steck's 2nd Annual Blood Drive in partnership with the Town of Niskayuna »  
Assemblymember Phil Steck's 2nd Annual Blood Drive in partnership with the Town of Niskayuna Friday, March 17, 2023 - 12...

Traffic Advisory: River Road Water Main Break February 2, 2023 »  
The Niskayuna Water Department is repairing a water main break located along River Road near Catherine Woods Drive. ...

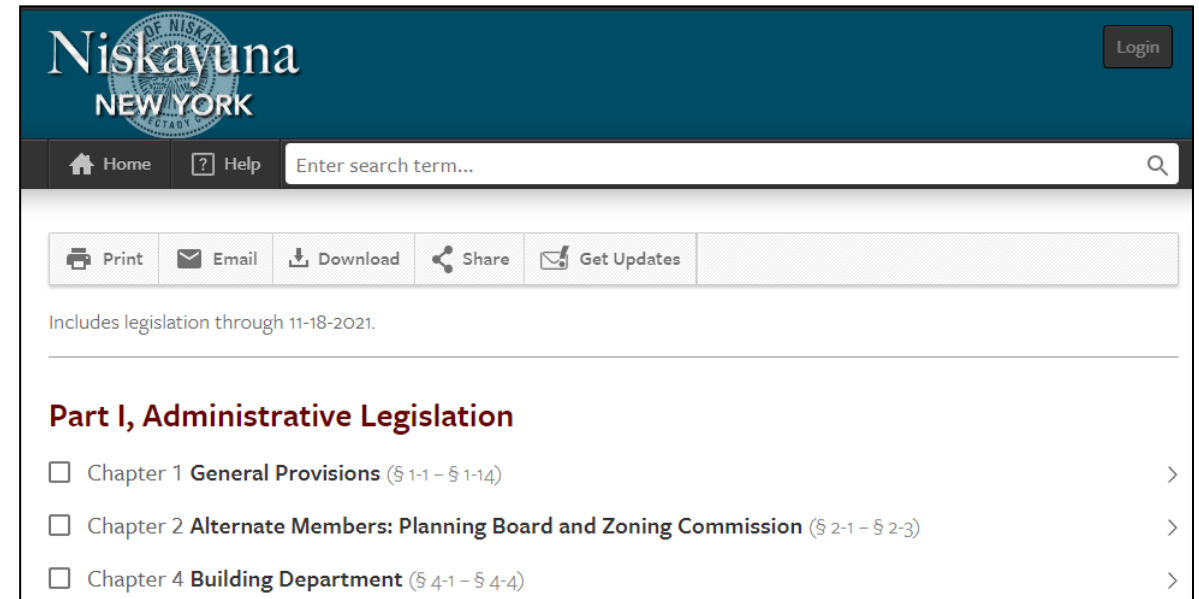
The Niskayuna Community Programs Department is now accepting applications for summer part-time employment. »  
The Niskayuna Community Programs Department is now accepting applications



# Average Density Development (ADD) Subdivision Process

**1. Subdivision of  
Land is Chapter 189  
of the Town Code**

**Zoning code is  
Chapter 220 of the  
Town Code**

www.niskayuna.org



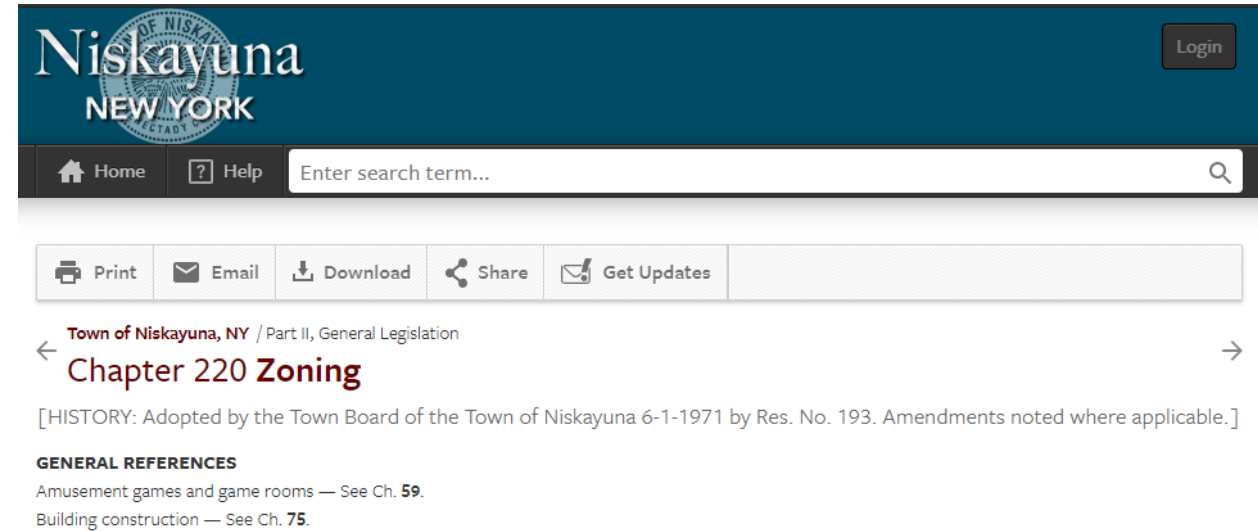
- ☐ Chapter 185 Streets and Sidewalks (§ 185-1 – § 185-44)
-  ☐ Chapter 189 Subdivision of Land (§ 189-1 – § 189-28)
- ☐ Chapter 193 (Reserved)
-  ☐ Chapter 220 Zoning (§ 220-1 – § 220-74)

**Appendix**

# Average Density Development (ADD) Subdivision Process

## 2. Average Density Development (ADD) Code is Article VI Section 220-28 of the Zoning Code

www.niskayuna.org



The screenshot shows the Niskayuna New York website. The header includes the town's name and a 'Login' button. Below the header is a navigation bar with 'Home' and 'Help' links, and a search bar. A secondary bar contains links for 'Print', 'Email', 'Download', 'Share', and 'Get Updates'. The main content area displays the breadcrumb 'Town of Niskayuna, NY / Part II, General Legislation' followed by 'Chapter 220 Zoning'. A history note states: '[HISTORY: Adopted by the Town Board of the Town of Niskayuna 6-1-1971 by Res. No. 193. Amendments noted where applicable.]'. Under the heading 'GENERAL REFERENCES', it lists 'Amusement games and game rooms — See Ch. 59.' and 'Building construction — See Ch. 75.'

### ☐ Article VI Supplementary Regulations Relative to Specific Uses

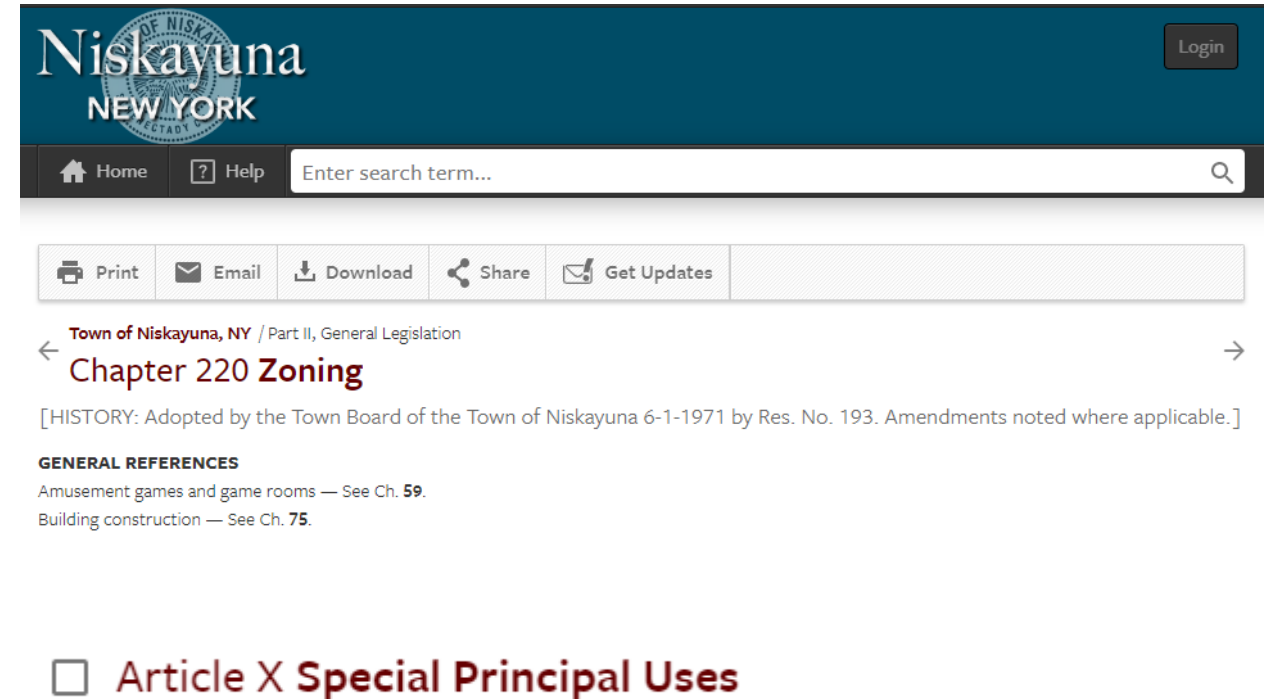
- ☐ § 220-26 Multiple-family dwellings.
- ☐ § 220-26.1 Hotels, inns and motels.
- ☐ § 220-27 Mobile homes and mobile home parks.
- ☐ § 220-28 Average density development.
- ☐ § 220-29 Home occupation uses.



# Average Density Development (ADD) Subdivision Process

## 3. Special Principal Use Code is Article X of the Zoning Code

**Special Principal Uses  
require a Special Use  
Permit by the Town Board**



The screenshot shows the official website of the Town of Niskayuna, New York. The header features the town's name and logo, a 'Login' button, and navigation links for 'Home' and 'Help'. A search bar is also present. Below the header, there are links for 'Print', 'Email', 'Download', 'Share', and 'Get Updates'. The main content area displays the breadcrumb 'Town of Niskayuna, NY / Part II, General Legislation' followed by 'Chapter 220 Zoning'. A historical note states: '[HISTORY: Adopted by the Town Board of the Town of Niskayuna 6-1-1971 by Res. No. 193. Amendments noted where applicable.]'. Under the 'GENERAL REFERENCES' section, it lists 'Amusement games and game rooms — See Ch. 59.' and 'Building construction — See Ch. 75.'. At the bottom, there is a checkbox next to the text 'Article X Special Principal Uses'.

**Niskayuna**  
NEW YORK

Home Help Enter search term...

Print Email Download Share Get Updates

Town of Niskayuna, NY / Part II, General Legislation  
**Chapter 220 Zoning**

[HISTORY: Adopted by the Town Board of the Town of Niskayuna 6-1-1971 by Res. No. 193. Amendments noted where applicable.]

**GENERAL REFERENCES**  
Amusement games and game rooms — See Ch. 59.  
Building construction — See Ch. 75.

☐ **Article X Special Principal Uses**

# ADD Project Process

1. **Sketch Plan (Planning Board)**
  - a. Applicant submits sketch plan app. and special use permit
  - b. Planning Board (PB) reviews project with applicant at PB meetings
  - c. Conservation Advisory Council (CAC) reviews project with applicant at CAC meetings
  - d. Tree Council (TC), Complete Streets (CS), ARB review project at their monthly meetings
  - e. PB holds a **PUBLIC HEARING** on their Recommendation to the Town Board (TB)
    - i. Mail out notification sent to residents within 500' of the perimeter of the site
  - f. PB acts on a Resolution for sketch plan and makes a Recommendation to TB re: SUP
2. **Special Use Permit (Town Board)**
  - a. CAC makes SEQR Recommendation on SUP to the Town Board
  - b. TB holds a **PUBLIC HEARING** regarding the project
    - i. General newspaper notification only – no individual address based mail outs
  - c. Town Board acts on a Resolution re: SUP
3. **Application for Preliminary Plat Plan – Major Subdivision (Planning Board)**
  - a. Applicant submits App. for Preliminary Plat Plan
  - b. PB reviews project with applicant at PB meetings
  - c. CAC, TC, CS, ARB review project at their monthly meetings
    - i. CAC makes a SEQR Recommendation to the PB on the subdivision
  - d. PB holds a **PUBLIC HEARING** regarding SEQR determination on the subdivision
  - e. PB takes action on a Resolution for approval
    - i. This allows applicant to construct the roads, utilities & 1 home (w/building permit)
4. **Site Development Permit Application (Building Department)**
  - a. Allows applicant to install roads & utilities
5. **Acceptance of Roads and Utilities (Town Board)**
  - a. Town Board acts on a Resolution to accept the roads and utilities
6. **Application for Approval of a Final Plat Plan – Major Subdivision (Planning Board)**
  - a. Applicant submits App. for Approval of a Final Plat Plan – Major Subdivision
  - b. PB review project with applicant at PB meetings
  - c. PB takes action on a Resolution for approval



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 1

MEETING DATE: 2/27/2023

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**ITEM TITLE:** RESOLUTION: 2023-06: A Resolution for sketch plan approval of a 2-Lot minor subdivision and lot line adjustment at Antonia Park / Polsinelli Drive (40.-1-54.11), SEQR determination and a call for a public hearing.

**PROJECT LEAD:** Ms. Gold

**APPLICANT:** Fred Polsinelli, Executor of the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Fred Polsinelli, Executor for the estate of Vincenza Polsinelli, submitted an Application for Site Plan Review for a 2-Lot minor subdivision including a lot line adjustment for Homestead Place at Antonia Park (parcel 40.-1-54.11).

**BACKGROUND INFORMATION**

The property is located within the R-1 Low Density Residential zoning district.

A site plan drawing entitled "Homestead Place at Antonia Park Section 9" authored by Gilbert VanGuilder Land Surveyor, PLLC" dated 10/17/22 with a most recent revision date of 12/5/22 was included with the application. The drawing shows the original 8.43 Acre property being divided as noted below.

1. Lot 1 – is a new lot that is 3.10 Acres in size
2. Lot 2 – is a new lot that is 3.02 Acres in size
3. Remaining Area – is 2.31 Acres in size and will be annexed to Lecce Development Corp.

Access to a Town water line is available at the end of the stub road (Polsinelli Dr.). Access to a Town sewer line is available at the intersection of the stub road and Rosehill Blvd.

The Planning Department will work with the applicant on previous wetland delineations on the property to ensure wetlands are properly identified and documented. The PD also recommends adding contours to the sketch plan to make sure drainage channels are properly identified.



The lands to the south of this parcel are deed restricted for no further development – the lands to the west are not. It would be good to discuss whether or not the back parcel of this property can be deed restricted when it is transferred to the adjacent property owner, Lecce Development Corp.

1/9/23 Planning Board meeting – Mr. Polsinelli appeared before the Board and explained his proposed project. The Planning Office and Planning Board requested that the following be added to the sketch plan drawing.

1. Contour lines so that drainage channels are properly identified.
2. Deed restrictions to prevent subsequent subdivision.
3. Water and sewer connections.

A revised site plan drawing with a revision date of 1/20/23 was provided to the Planning Office.

2/1/23 Conservation Advisory Council (CAC) meeting – The CAC reviewed the project and made the following recommendations.

1. Include the delineation of all wetlands on the property on the site plan drawing.
2. Include provisions that the newly created lots shall not be subdivided.
3. Have a TDE review the utility service and drainage for the property.

On 2/6/23 the applicant's engineer provided the following 6-page sketch plan drawing set to the Planning Office.

Page No.	Title	Author	Rev
1	Homestead Place at Antonia Park	Gilbert VanGuilder Land Surveyor, PLLC	1/20/23
2	Overall Site Plan	Brett Steenburgh, P.E. PLLC	2/3/23
3	Detailed Grading & Utility Plan	Brett Steenburgh, P.E. PLLC	2/3/23
4	E & SC Plan	Brett Steenburgh, P.E. PLLC	2/3/23
5	Details	Brett Steenburgh, P.E. PLLC	2/3/23
6	Details	Brett Steenburgh, P.E. PLLC	2/3/23

The Planning Office reviewed the 6-page drawing set relative to the PB and CAC requests listed above and noted the following.

No.	Description of Request	Status
1	Add contour lines and drainage paths	Contour lines added to pg. 3 but proposed drainage plan adds a new catch basin feeding an existing closed pipe Town storm water system that is already at maximum capacity
2	Deed restrict additional subdivision	A future subdivision note is included on pg. 3 but it only refers to "lot 4", two different lots are also identified as lot 2.
3	Show water and sewer connections	Shown on dwg. but an analysis should be performed to assure that the existing town utility systems can support the proposed connections.
4	Include wetland delineation	Wetlands are shown in the back lot but a reference note indicates the delineation is from a survey performed in 2006. A more recent survey is appropriate.

2/13/23 Planning Board (PB) meeting – Brett Steenburgh, P.E., the applicant's engineer, attended the meeting. He explained that Mr. Lecce disagreed with deed restricting potential future subdivision of the land that will be annexed to his property via. lot line adjustment. After a

short discussion it was agreed that the same "Future Subdivision Note" that is included in the 4-Lot Vincenzo Drive subdivision drawing will be added to the Antonia Park / Polsinelli Dr. 2-Lot subdivision drawing. The note reads as follows.

*"Any future subdivision of the unrestricted lands of Lot 4 will require a major subdivision review as required under the Town of Niskayuna subdivision law at that time".*

Ms. Robertson asked Mr. Steenburgh to reach out to the Town's Engineering Department immediately to discuss utilities because there were issues with sewer and drainage. The Board called for a resolution for sketch plan approval, SEQR determination and call for a public hearing for the 2/27/23 PB meeting.



RESOLUTION NO. 2023-06

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 27TH DAY OF FEBRUARY 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on sketch plan approval, make a SEQR determination and call for a public hearing.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_.  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Fred Polsinelli, Executor for the estate of Vincenza Polsinelli, has made application to the Planning Board for a 2-Lot Minor Subdivision including a lot line adjustment for Homestead Place at Antonia Park at tax map parcel 40.-1-54.11 as shown on a 1- page drawing entitled "Homestead Place at Antonia Park Section 9" by Gilbert VanGuilder Land Surveyor, PLLC dated 10/17/22 with no further revisions, and

WHEREAS, the zoning classification of the property is R-1: Low Density Residential, and

WHEREAS, this Planning Board and Zoning Commission has discussed the requirements of Chapter 189 of the Code of the Town of Niskayuna for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, and

WHEREAS the Planning Board referred the Environmental Assessment Form to the Niskayuna Conservation Advisory Council (CAC) for their review and on February 1,

2023, the CAC recommended that a negative declaration be prepared with recommendations for the Planning Board to consider, and

WHEREAS the Planning Board, acting in accordance with the State Environmental Quality Review (SEQR) regulations and local law, has contacted all involved agencies, and they have concurred with the Planning Board that it should assume the position of lead agency for this project, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby classify this sketch plan as a minor subdivision as defined by Chapter 189 of the Code of the Town of Niskayuna; and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant sketch plan approval for the concept subdivision drawing entitled "Homestead Place at Antonia Park Section 9" by Gilbert VanGuilder Land Surveyor, PLLC dated 10/17/22 with no further revisions, with the following conditions:

1. Sketch plan approval is a conceptual review of the proposed lot division for the purposes of classification and preliminary discussion as described in the Town of Niskayuna Zoning Sections 189-6 and 189-22. The location of proposed boundary lines, infrastructure, utilities and improvements are subject to change during the environmental review, engineering, public hearing and subdivision review process.

And be it hereby

FURTHER RESOLVED, that the Planning Board and Zoning Commission hereby determined that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative SEQR declaration with the following comments from the CAC findings:

1. Keep the limits of clearing as small as possible so that as many mature trees as possible may be preserved.
2. Wetlands should be added to the subdivision map and no disturbance of wetlands should be allowed
3. Drainage should be looked at closely to ensure no downstream impacts
4. No further subdivision restrictions should be added to the parcels

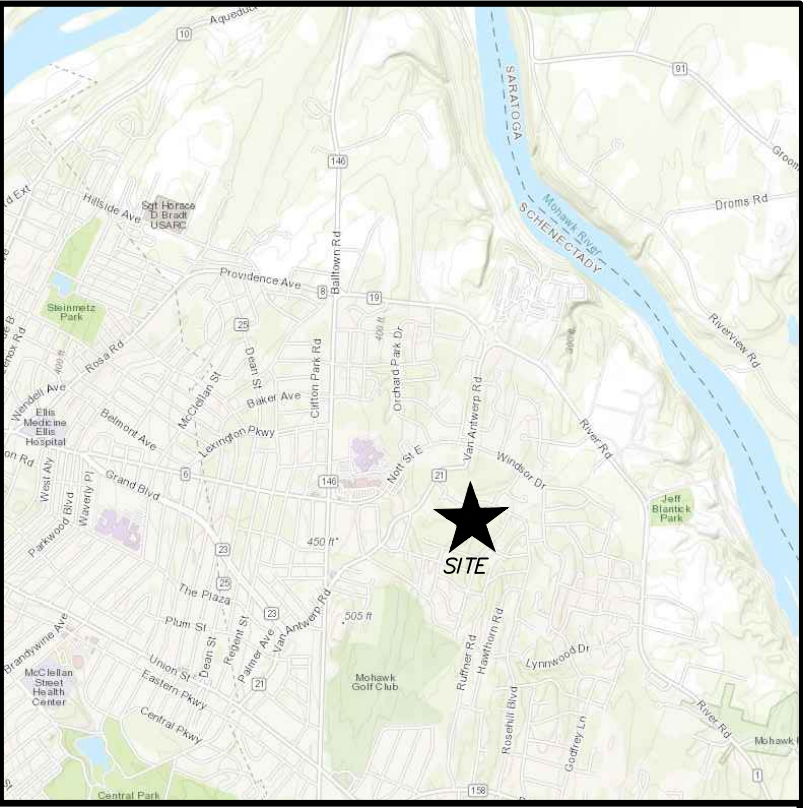
,and be it hereby

FURTHER RESOLVED that this Planning Board does hereby call for a public hearing to be held on Monday, March 13, 2023 at 7:00 pm in the Niskayuna Town Hall, 1 Niskayuna Circle, to consider the application of Fred Polsinelli, for a 2-lot minor subdivision including a lot line adjustment for Homestead Place at Antonia Park at tax map parcel 40.-1-54.11.

Upon roll call the foregoing resolution was adopted by the following vote:

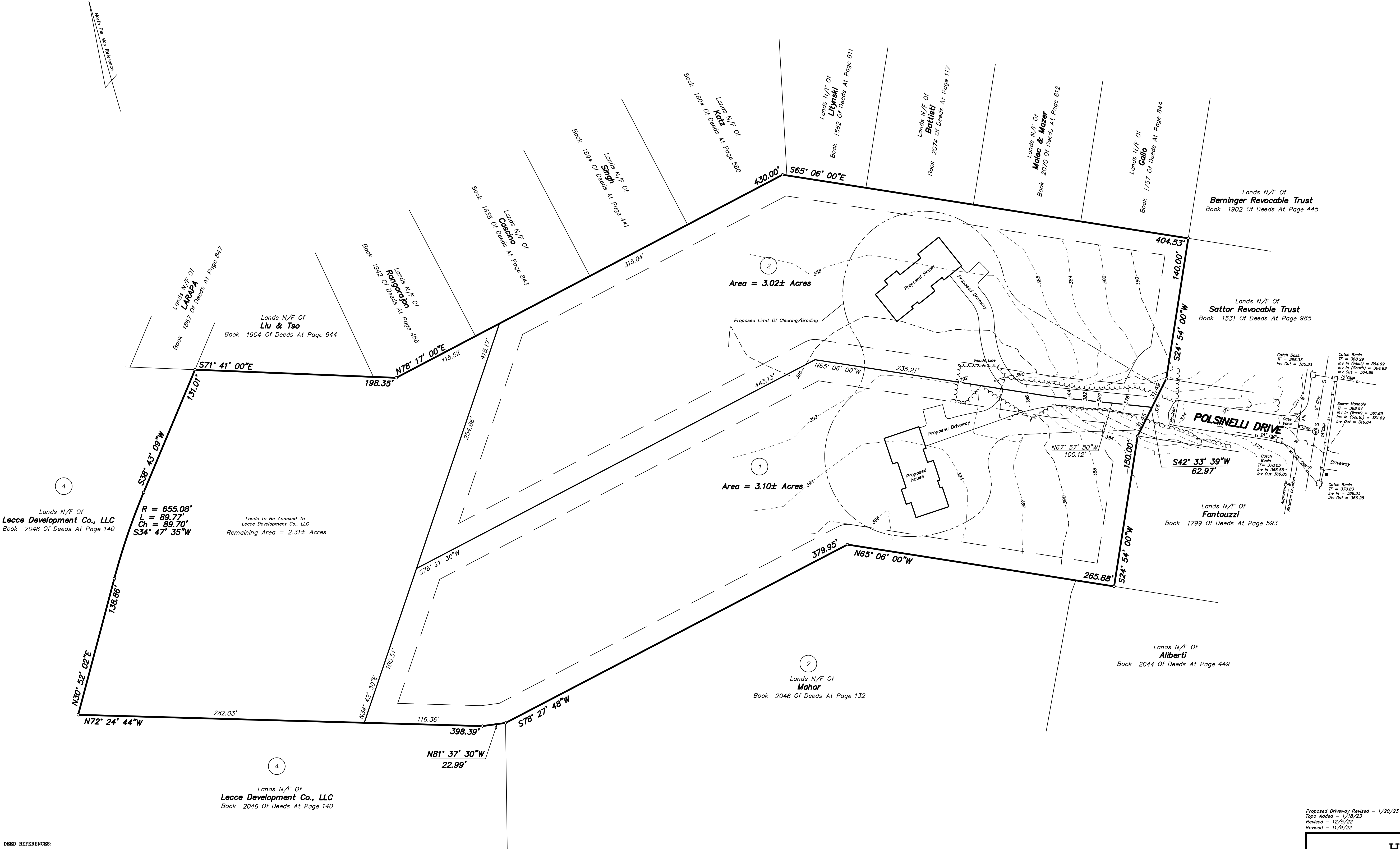
KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
JOSEPH DRESCHER

The Chairman declared the same \_\_\_\_\_.



SITE LOCATION

SITE STATISTICS:  
ZONING: R-1 SINGLE FAMILY DWELLING  
MIN. LOT SIZE - 18,000 SQ. FT.  
MIN. WIDTH - 100 FT.  
MIN. DEPTH - 125 FT.  
MIN. FRONT SETBACK - 35 FT.  
MIN. SIDE SETBACK - 20 FT./BOTH 40 FT.  
MIN. REAR SETBACK - 25 FT.



DEED REFERENCES:  
CONVEYANCE TO VINCENZA POLSINELLI BY DEED RECORDED IN THE SCHENECTADY COUNTY CLERK'S OFFICE IN BOOK 1851 OF DEEDS AT PAGE 649.

MAP REFERENCE:  
MAP ENTITLED, "ANTONIA PARK SECTION 10" DATED JUNE 18, 1990 PREPARED BY C.T. MALE ASSOCIATES, P.C.  
NOTES:

1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE AND/OR TITLE REPORT AND MAY BE SUBJECT TO WHATEVER STATEMENT OF FACTS THEY MAY REVEAL.
2. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
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5. THE PRESENCE OF WETLANDS WAS INVESTIGATED WITHIN THE LIMITS OF PROPOSED GRADING AND CLEARING ON MULTIPLE OCCASIONS DURING THE GROWING SEASON 2022. NONE WERE IDENTIFIED.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES OF THIS SURVEY MAP BEARING THE LAND SURVEYOR'S ORIGINAL SIGNATURE AND EMBOSSED SEAL SHALL BE CONSIDERED VALID.

Proposed Driveway Revised - 1/20/23  
Tape Added - 1/18/23  
Revised - 12/5/22  
Revised - 11/9/22

HOMESTEAD PLACE AT  
ANTONIA PARK  
SECTION 9

TOWN OF NISKAYUNA		SCHENECTADY COUNTY, NEW YORK	
MAP NUMBER: 23 - 22 - 12	SCALE: 1" = 50'	DATE: OCTOBER 17, 2022	

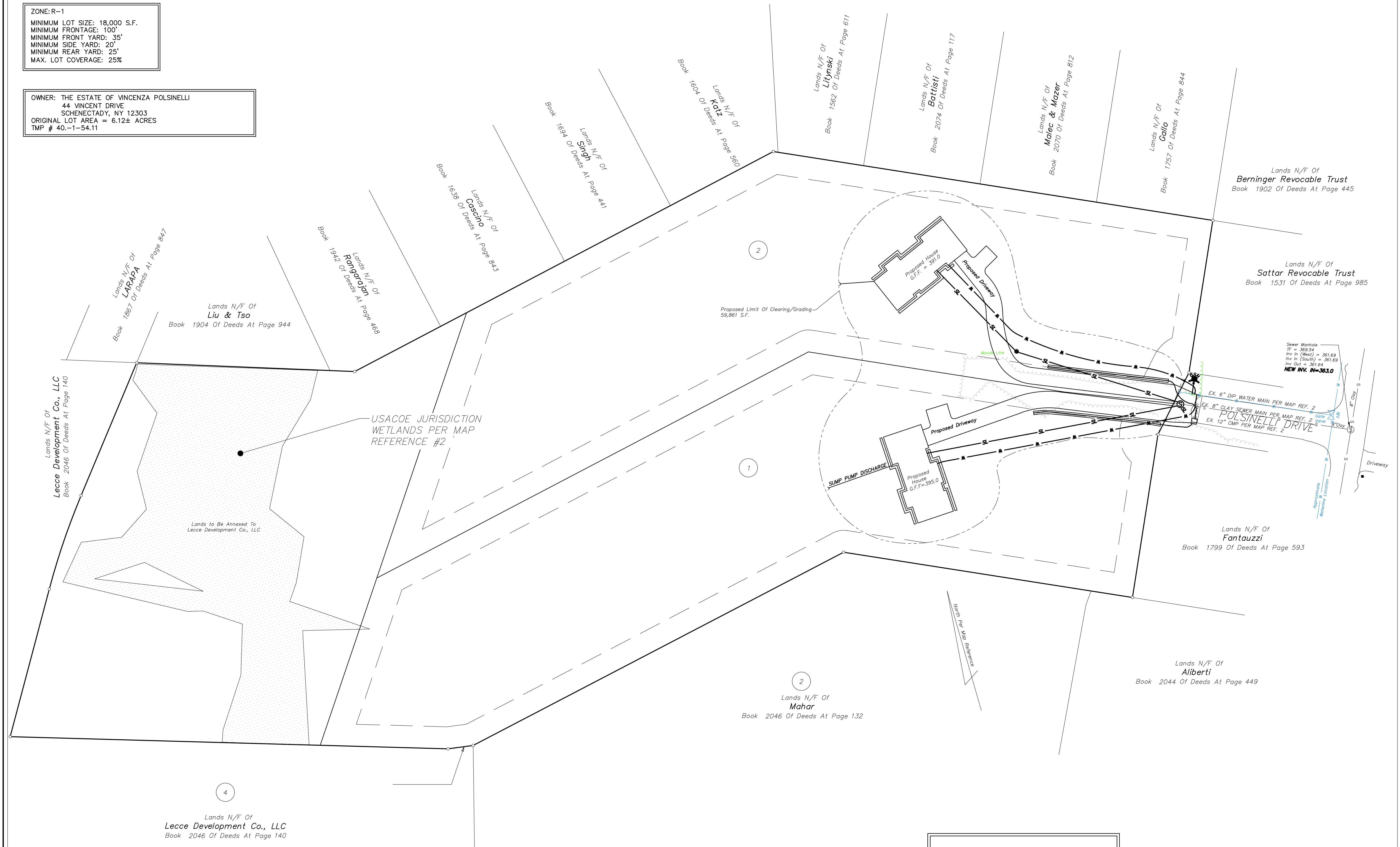
Gilbert VanGuilder  
Land Surveyor, PLLC  
Professional Land Surveyors  
988 Route 146, Clifton Park, New York 12065  
Telephone: (518) 383-0634  
gvglandsurveyors.com

KEVIN H. WEED, P.L.S. No. 51,005



ZONE: R-1  
 MINIMUM LOT SIZE: 18,000 S.F.  
 MINIMUM FRONTAGE: 100'  
 MINIMUM FRONT YARD: 35'  
 MINIMUM SIDE YARD: 20'  
 MINIMUM REAR YARD: 25'  
 MAX. LOT COVERAGE: 25%

OWNER: THE ESTATE OF VINCENZA POLSINELLI  
44 VINCENT DRIVE  
SCHENECTADY, NY 12303  
ORIGINAL LOT AREA = 6.12± ACRES  
TMP # 40.-1-54.11



CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH

TOWN ENGINEER MATTHEW YETTO, PE.

MAP REFERENCES:

2. MAP ENTITLED "PRELIMINARY PLAT HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" PREPARED BY RAYMOND L. GEMME, PE, LS AND DATED 11/20/2006

OVERALL SITE PLAN  
FRED POLSINELLI  
POL SINELLI DRIVE

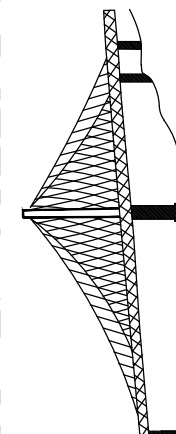
COUNTY OF SCHENECTADY	TOWN OF NISKAYUNA
DRAWN BY: BLS CADD FILE:	CHECKED BY: JOB NO.
STATE OF NEW YORK	
SCALE: 1" = 40'	

**SCALE: 1" = 40'**


**SHEET C-1**

DATE: FEBRUARY 3, 2023

**BRETT L. STEENBURGH, P.E. PLLC**

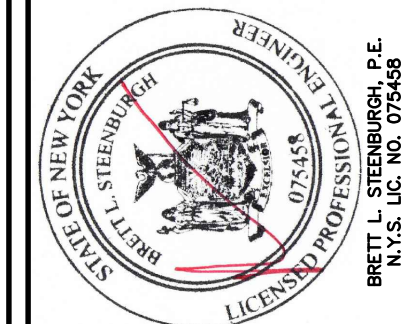


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bsteenburghpe@gmail.com



(518) 365-0675  
bsteenbourghpe@gmail.com

**ENGINEERING THAT TRANSFORMS  
IMAGINATION INTO REALITY**



Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

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[illegible]



WATER SERVICE NOTES:

A. ALL WATER SERVICES SHALL BE A MIN. OF 5 FEET DEEP FROM FINISHED GRADE TO THE TOP OF THE PIPE. THE CONTRACTOR SHALL CONSTRUCT THE WATER LINE SO THAT ALL CROSSINGS WITH OTHER UTILITIES HAVE THE REQUIRED CLEARANCES. INVERTS AT THE WATER AND SEWER CROSSINGS ARE NOTED ON THE PLANS

B. WATER LINES SHALL BE LAID AT LEAST 10 FT. HORIZONTALLY FROM ANY EXISITNG OR PROPOSED SEWER. WATER MAINS CROSSINGS SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 IN. BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER

C. HDPE WATER SERVICES SHALL BE INSTALLED WITH TRACER WIRE.

WATER NOTES:

A. THE TOWN OF NISKAYUNA SHALL BE NOTIFIED 72 HOURS PRIOR TO INSTALLATION DISINFECTION AND TESTING OF THE WATER MAIN.

SEWER NOTES:

A. EXISTING MANHOLE SHALL BE RAISED USING A 3 FOOT HIGH BARREL SECTION. THE NEW SECTION SHALL HAVE POLYMER STEPS. THE EXISTING CONE SECTION SHALL BE REMOVED AND THE BARREL SECTION INSTALLED USING NEW BUTYL SEALS. TWO LAYERS OF ASPHALT SEALANT SHALL BE APPLIED TO THE NEW SECTION. THE EXISTING CONE SECTION SHALL BE RE-USED. ALL STEPS SHALL BE ALIGNED.

B. UPON RAISING THE MANHOLE RIM, A POSITIVE PITCH OF THE FINISHED GRADE AWAY FROM THE MANHOLE IN ALL DIRECTIONS SHALL BE ESTABLISHED.

GENERAL NOTES

- IT IS THE INTENT OF THESE PLANS TO BE IN STRICT CONFORMANCE WITH ALL TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK, AND APPLICABLE FEDERAL RULES REGULATIONS, AND LAWS. IF CONFLICTS ARE NOTED BETWEEN THE ABOVE, AND THESE PLANS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE TOWN ENGINEER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS, AND MATERIALS GIVEN ON THE PLANS.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR ANY DAMAGE DONE OUTSIDE OF THE PROJECT AREA OR LIMITS OF CLEARING.
- EXCESS BUILDING MATERIAL AND CLEARING DEBRIS SHALL BE DISPOSED OF OFF SITE.
- UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS.
- SURVEY BASE MAPING HAS BEEN PROVIDED BY OTHERS BRETT L. STEENBURGH, P.E., LLC MAKES NO CERTIFICATION AS TO THE ACCURACY AND COMPLETENESS OF SAID MAPPING.
- CONFLICTS SHOWN ON PLANS OR BETWEEN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, OWNER REPRESENTATIVE AND/OR ENGINEER.

GENERAL NOTES:

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE HEALTH DEPARTMENT.

SOIL EROSION AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
- CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTERITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDD AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDD AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

FUTURE SUBDIVISION NOTE:

ANY FUTURE SUBDIVISION OF THE UNRESTRICTED LANDS OF LOT 4 WILL REQUIRE A MAJOR SUBDIVISION REVIEW AS REQUIRED UNDER THE TOWN OF NISKAYUNA SUBDIVISION LAW AT THAT TIME.

Tree Preservation Policy

- Subdivision approval by the Planning Board authorizes grading and clearing within the road right-of-way and easements only. The applicant shall submit plans for individual lot grading to be approved as part of the building permit application.
- The grading plan submitted for the building permit shall identify all trees with a diameter of 5 inches or more as measured 3 feet above the base of the trunk and indicate those that are proposed to be removed and the reason why such removal is necessary.
- Any trees removed from a lot in a manner that is not consistent with the approved grading plan for that lot shall be replaced at the expense of the developer before the issuance of the certificate of occupancy. Replacement trees shall be of a type and size satisfactory to the Town Engineer.
- The grading plan shall be consistent with the purposes of the Soil Erosion and Sediment Control Ordinance. In particular, erodible materials shall not be stockpiled within the drip line of trees to be preserved.

Grading Notes

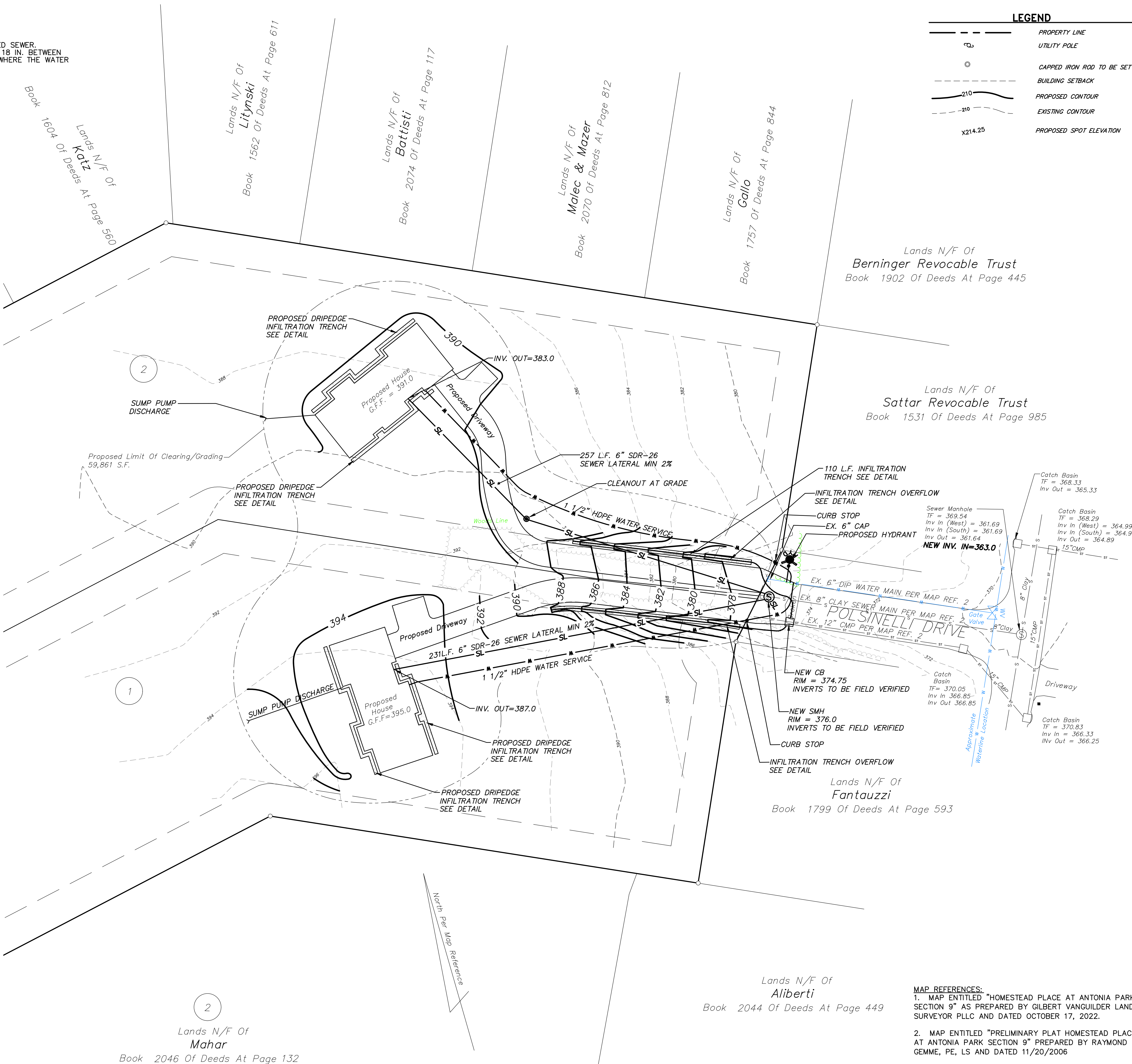
- The applicant shall treat the grading plan—submitted for the subdivision as advisory only, and shall submit grading plans for review by the Building Inspector on a lot-by-lot basis that are consistent with the Planning Board requirements for tree preservation.

CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH

DATE

TOWN ENGINEER MATTHEW YETTO, PE.

DATE



LEGEND

- PROPERTY LINE
- UTILITY POLE
- CAPPED IRON ROD TO BE SET
- BUILDING SETBACK
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION

MAP REFERENCES:

- MAP ENTITLED "HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" AS PREPARED BY GILBERT VANGUILDER LAND SURVEYOR PLLC AND DATED OCTOBER 17, 2022.
- MAP ENTITLED "PRELIMINARY PLAT HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" PREPARED BY RAYMOND L. GEMME, PE, LS AND DATED 11/20/2006

DETAILED GRADING AND UTILITY PLAN BRETT L. STEENBURGH, P.E. PLLC

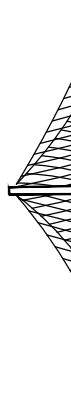
FRED POLSINELLI  
POLSNELLI DRIVE

TOWN OF NISKAYUNA  
STATE OF NEW YORK

COUNTY OF SCHENECTADY  
DRAWN BY: BLS  
CHECKED BY: JCB  
DATE: FEBRUARY 3, 2023

SCALE: 1" = 30'

SHEET C-2



ENGINEERING THAT TRANSFORMS  
IMAGINATION INTO REALITY

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Niskayuna, NY 12309  
(518) 365-0875  
bsteenburgpe@gmail.com

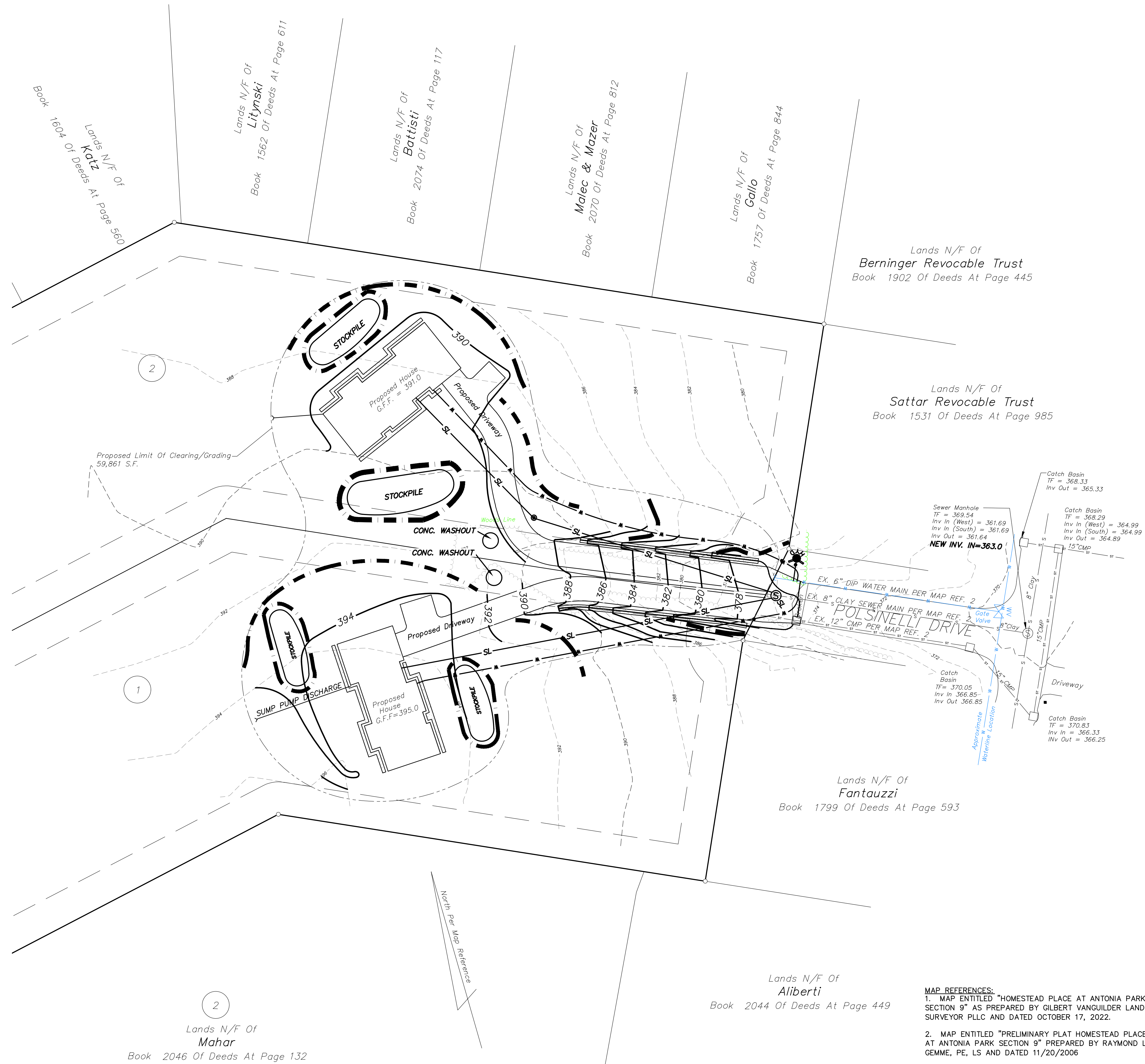


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NO. DATE. REVISIONS. BY.






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1. MAP ENTITLED "HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" AS PREPARED BY GILBERT VANGUILDER LAND SURVEYOR PLLC AND DATED OCTOBER 17, 2022.

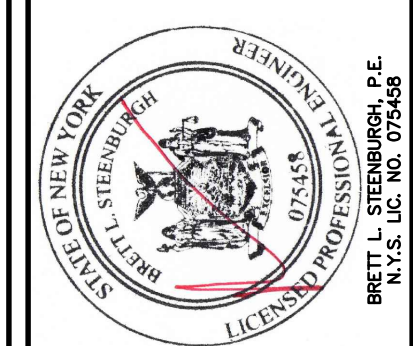
2. MAP ENTITLED "PRELIMINARY PLAT HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" PREPARED BY RAYMOND U. GEMME, PE, LS AND DATED 11/20/2006

COUNTY OF SCHENECTADY		TOWN OF NISKAYUNA		STATE
PERMIT NO. BY: BLS	CHECKED BY:	FRED POLSINELLI		SC
ADD. FILE:	JOB NO.	POLSINELLI DRIVE		SI
DATE:		FEBRUARY 3, 2023		

**BRETT L. STEENBURGH, P.E. PLLC**


 2832 Rosendale Road  
 Niskayuna, NY 12009  
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 bsteenburgpe@gmail.com

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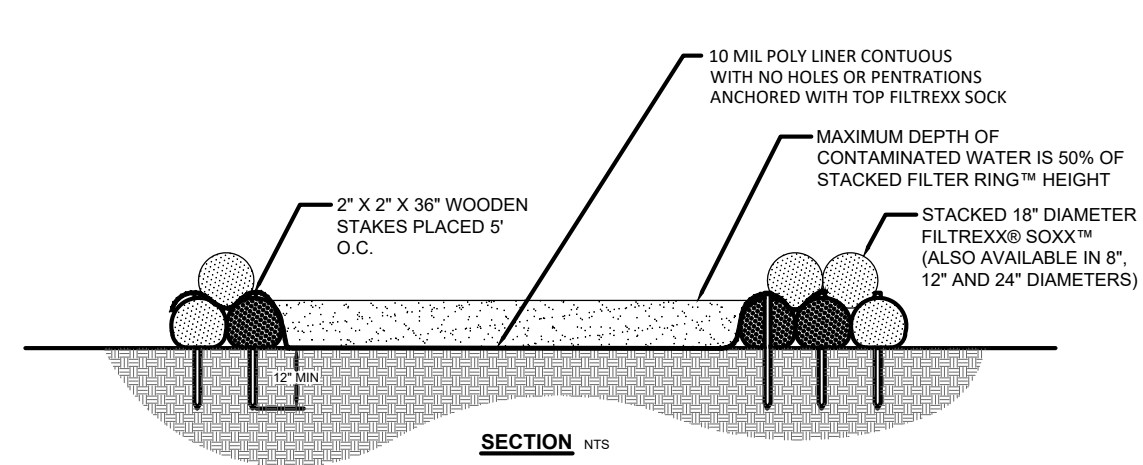
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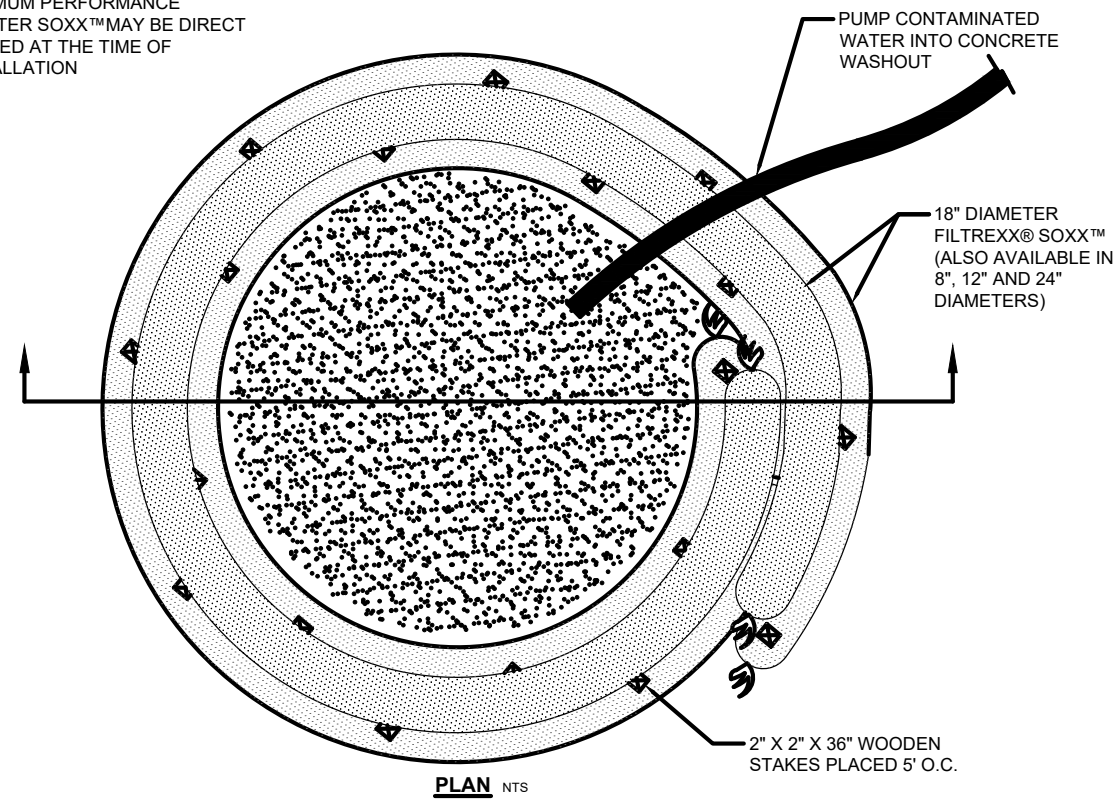






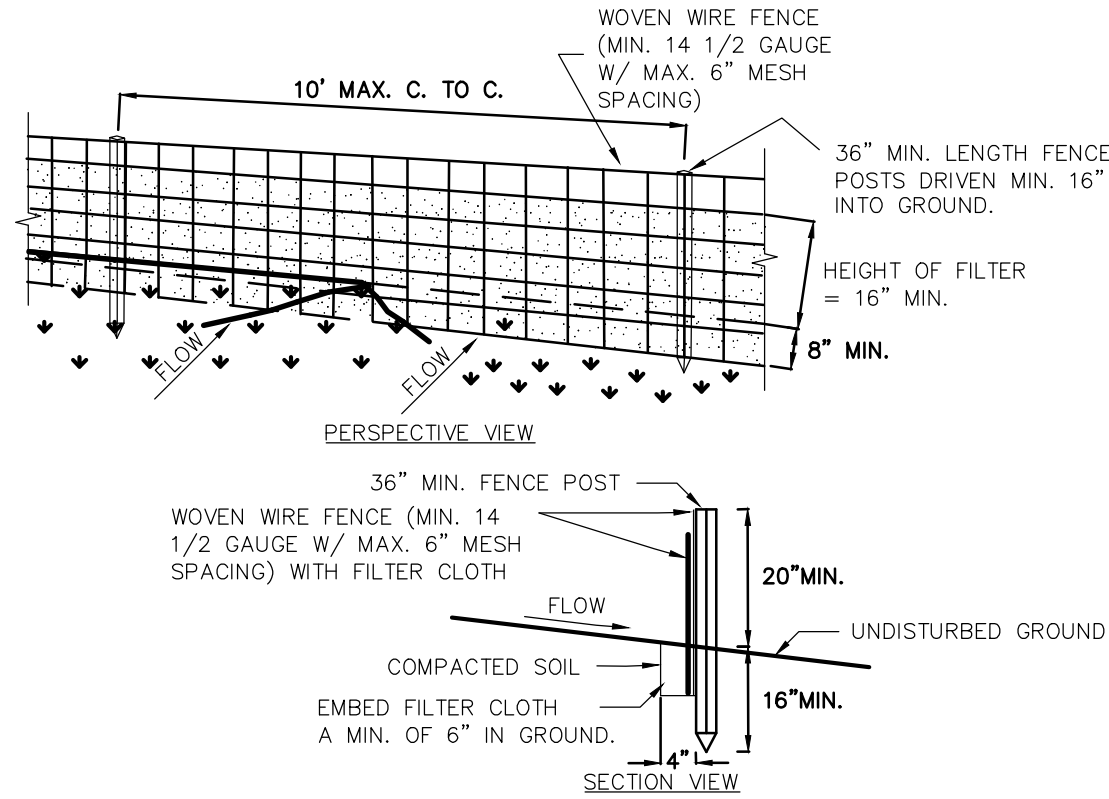


NOTES:  
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.  
2. FILTER SOXX™ MAY BE DIRECT SEDED AT THE TIME OF INSTALLATION.



### FILTREXX® CONCRETE WASHOUT

NTS

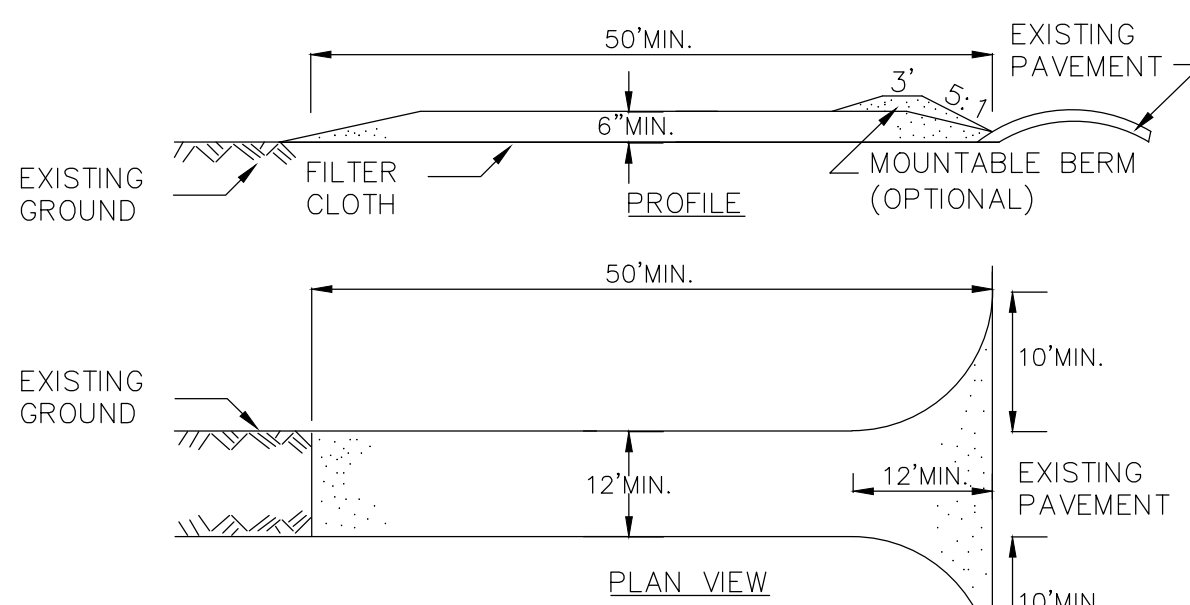


### CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

### SILT FENCE DETAIL

(NOT TO SCALE)

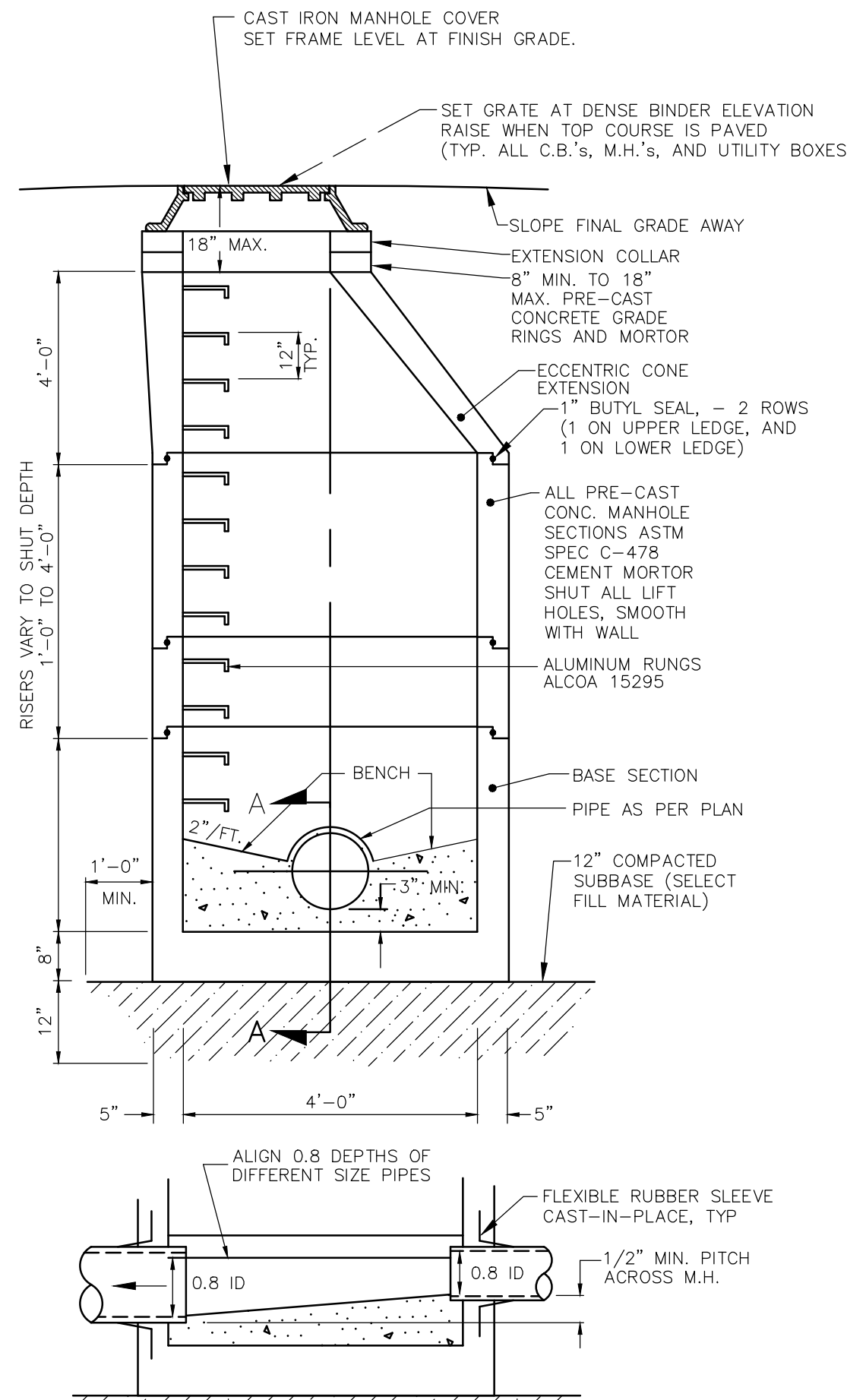


### CONSTRUCTION SPECIFICATIONS

- STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS – NOT LESS THAN SIX (6) INCHES.
- WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

### STABILIZED CONSTRUCTION ENTRANCE DETAIL

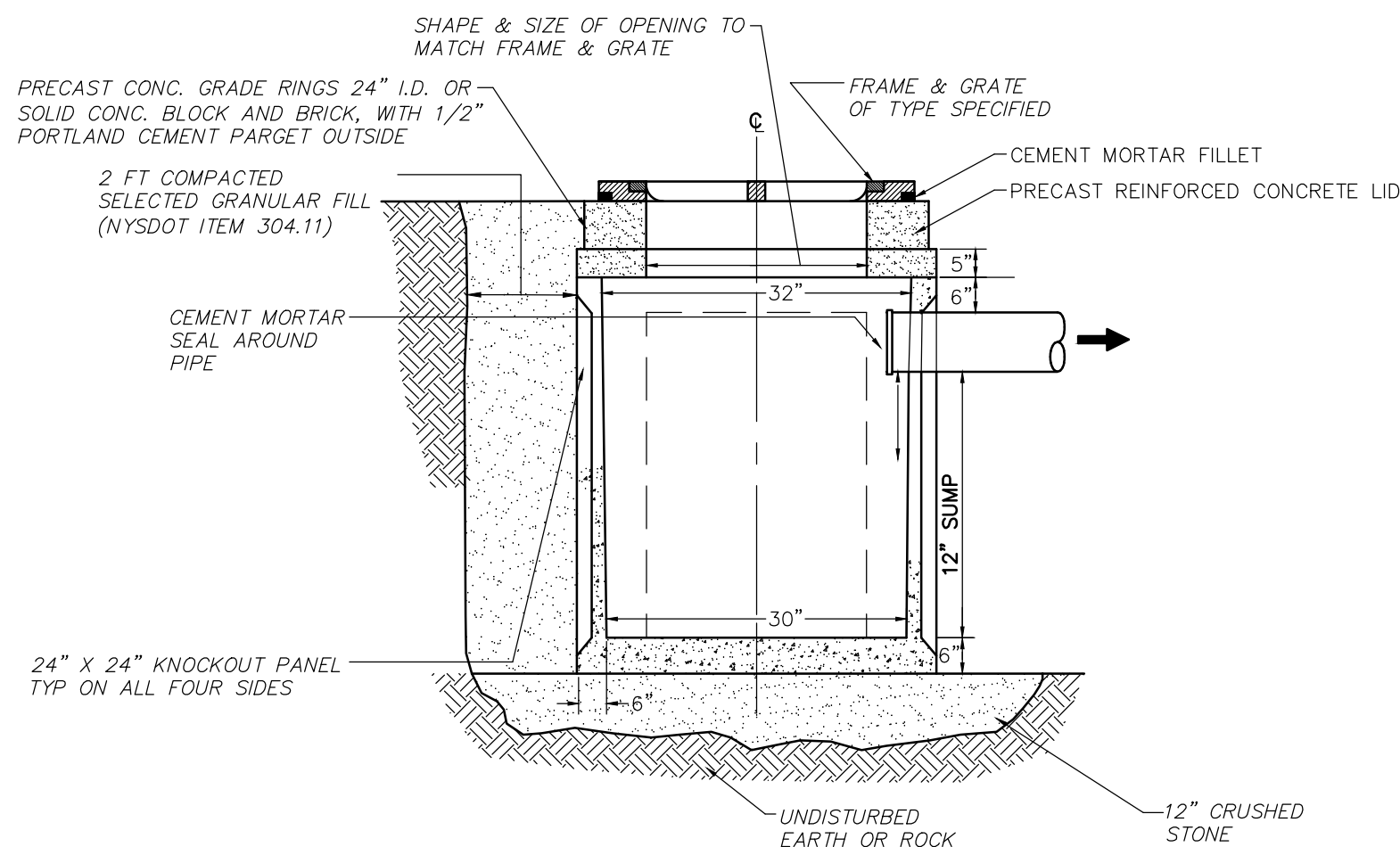
(NOT TO SCALE)



### SECTION A-A

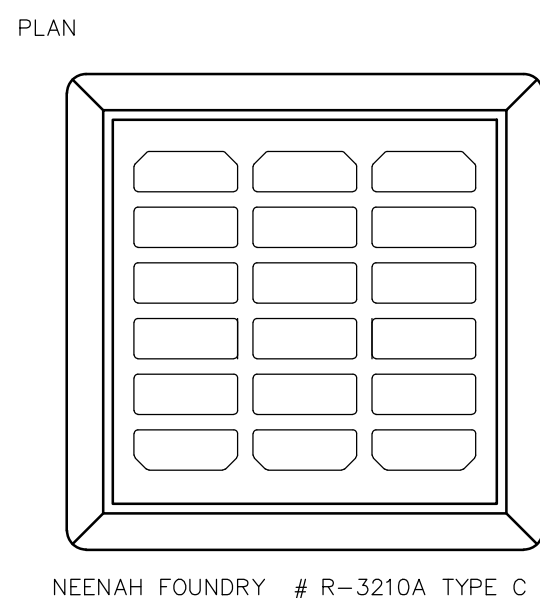
### TYPICAL PRE-CAST CONCRETE MANHOLE

(NOT TO SCALE)

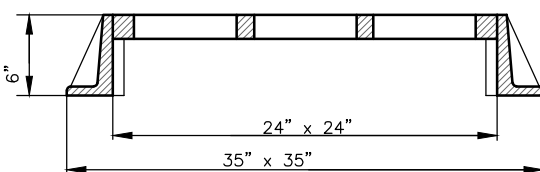


### STANDARD SQUARE PRECAST CONCRETE CATCH BASIN (TYPE 2)

(NOT TO SCALE)



NEENAH FOUNDRY # R-3210A TYPE C



### INLET STRUCTURE FRAME & COVER

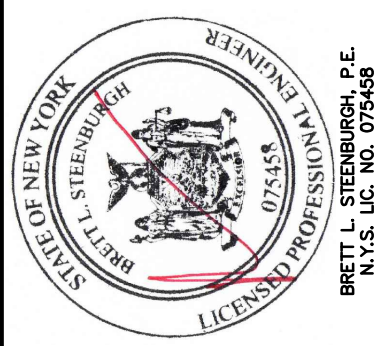
(NOT TO SCALE)

- NOTES:
- CEMENT MORTAR ALL AROUND FRAME.
  - FRAMES AND COVERS BY NEENAH FOUNDRY

NO.	DATE	REVISIONS	B.Y.



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bsteenburghp@bsteenburghp.com

**ENGINEERING THAT TRANSFORMS  
IMAGINATION INTO REALITY**

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA DRAWN BY: BLS CADD FILE: DATE: FEBRUARY 3, 2023	STATE OF NEW YORK SCALE: AS NOTED	SHEET C-5
	DETAILS FRED POLSINELLI POLISINELLI DRIVE TOWN OF NISKAYUNA	

CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH	DATE
--	------

TOWN ENGINEER MATTHEW YETTO, PE.	DATE
----------------------------------	------

**CAC SEQR FINDINGS EAF**

**2023-03**

**Polsinelli 2 Lot Subdivision**

**2/1/2023**

**PART 2**

**1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?**

No to small. The CAC noted that only two lots where significantly more could be potentially considered is more acceptable within that area that has a history of drainage issues.

**2. Will the proposed action result in a change in the use or intensity of use of land?**

Yes, small. There will be a small change as one parcel is being subdivided into two lots and there will be some open space lost.

**3. Will the proposed action impair the character or quality of the existing community?**

Yes, small. The limits of clearing are very important and should be strictly adhered to. Deed restricting for no further subdivision is also incredibly important for the quality of the community. Protecting the wetlands and providing an adequate 25 foot buffer is also essential.

**4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?**

No. There is no CEA in the area.

**5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?**

No. With only two lots there will be minimal impact in this regard.

**6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?**

The CAC noted that use of energy efficient practices within the new homes as well as a lack of pesticides in future lawns would be greatly helpful to the environment. This was noted even though Mr. Polsinelli has no intention on developing the homes, it was asked to be passed on to buyers.

**7. Will the proposed action impact existing: (a) public / private water supplies?(b) public / private wastewater treatment utilities?**

Yes, small impact. Water and sewer connections are nearby and the addition of two units usually has minimal impact on the current systems.

**8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?**

Yes, small. The CAC noted less clearing is better for aesthetic resources and it's important to retain forest here.

**9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?**

Yes, small. It is important to overlay the historic wetlands on the current surveys to indicate there are wet areas throughout the parcel. Minimal clearing is important and protection of the wetlands is essential for flora and fauna on the property. Having historic wetlands indicated on the survey helps with this.

**10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?**

Yes. Drainage is a documented issue in this neighborhood, and therefore the Planning Board is advised to look at this very closely. There may be potential for rain gardens or other mitigating factors to be added to the site to help with rainwater.

**11. Will the proposed action create a hazard to environmental resources or human health? No.**

The CAC did not identify any hazards to environmental resources or human health.

**PART 3**

The Council was concerned with the wetlands on the property. While the applicant stated that there were no wetlands on the area of disturbance, and the area of disturbance had been examined, there was no detail of historic wetlands on the surveys and the rest of the property had not been delineated to show where they may be. The Council recommended at least providing details on historic wetlands on future surveys because protection of wetlands was essential to mitigating the environmental impacts of this subdivision.

The CAC discussed the concern of loss of green spaces and trees in the area. While the applicant stated he would not commit to fully preserving the land for economic reasons, he did state willingness to deed restrict the back portions of the properties for no further subdivision. It was also noted that the original zoning of the area allowed for up to 26 units, so the 2 planned homes would be a substantial improvement to maintaining open space.

The CAC discussed concerns over storm water management. It was determined that suitable plans could not be made until full contours of the area were produced, but mitigation techniques such as rain gardens may have to be employed.

The CAC noted that the least amount of tree clearing possible would be beneficial for the community.

The CAC stated that clean energy, LED lights, minimal area lighting, solar panels, landscaping and landscape screening, and pesticide-free practices would be important to mitigate the environmental impacts of any additional buildings to the site.

**The CAC voted unanimously for a recommendation to the Planning Board on a negative declaration with the condition that:**

1. The limits of clearing were very small
2. Drainage was looked into closely
3. Wetlands or historic wetlands were added to the subdivision map
4. No further subdivision restrictions were added to all parcels.

# Short Environmental Assessment Form

## Part 1 - Project Information

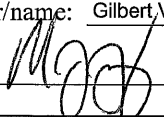
### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

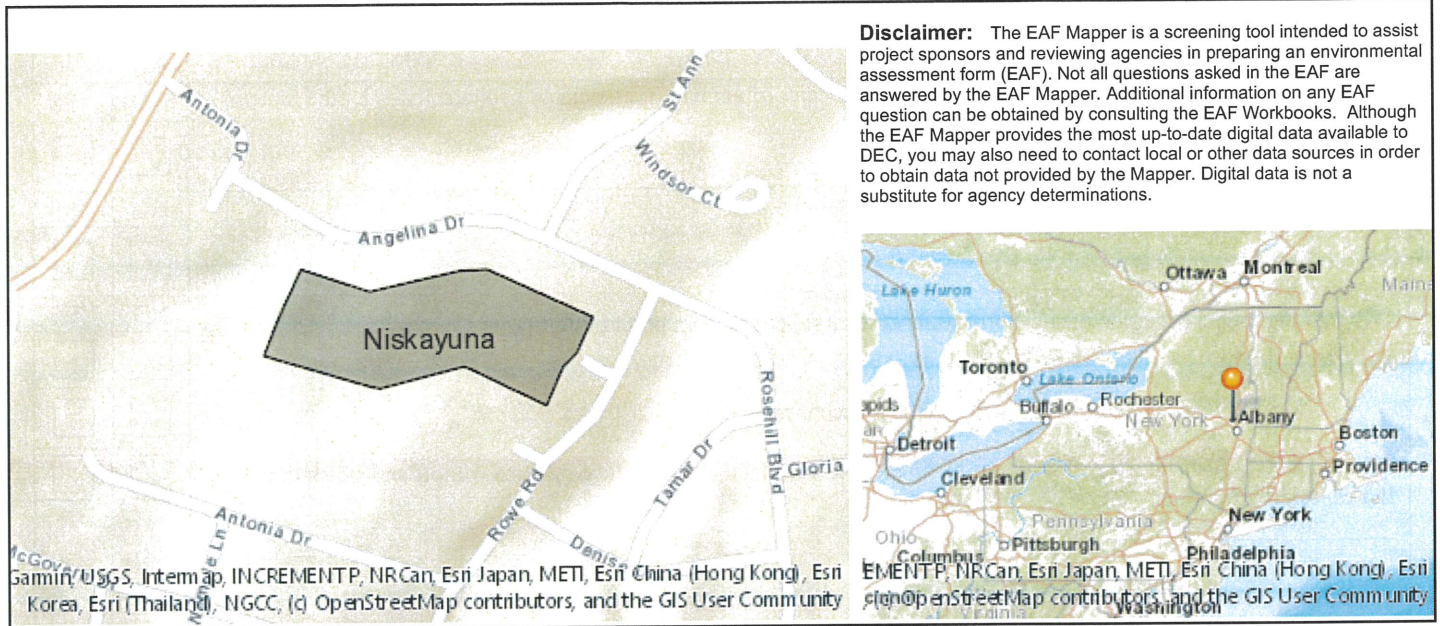
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>							
Name of Action or Project: Polsinelli 3 Lot Homestead Place at Antonia Park Section 9							
Project Location (describe, and attach a location map): Homestead Place at Antonia Park Section 9 Niskayuna, NY							
Brief Description of Proposed Action: 3 Lot Subdivision, 2 Building Lots, with remaining 2.32+/- acres of land to be annexed to Lecce Development co. LLC							
Name of Applicant or Sponsor: The Estate of Vincenza Polsinelli, C/O Frederico G Polsinelli		Telephone: 518 928-6449 E-Mail: Fgp414v@hotmail.com					
Address: 414 Vincent Drive							
City/PO: Schenectady		State: NY	Zip Code: 12303				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; text-align: center;"> <tr> <td>NO</td> <td>YES</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3. a. Total acreage of the site of the proposed action?		8.43+/- acres					
b. Total acreage to be physically disturbed?		1.35+/- acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.43+/- acres					
4. Check all land uses that occur on, are adjoining or near the proposed action:							
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)							
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):							
<input type="checkbox"/> Parkland							

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: <u>Gilbert, VanGuilder Land Surveyor, PLLC   Patrick Jarosz</u> Date: <u>12/6/2022</u>  Signature: <u></u> Title: <u>Agent</u>		





Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 2

MEETING DATE: 2/27/2023

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**ITEM TITLE:** RESOLUTION: 2023-07: A Resolution for site plan approval for a tenant change to a CHASE Bank with walk-up ATM service at 2321 Nott St. E.

**PROJECT LEAD:** TBD

**APPLICANT:** Kimberly Keene, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Kimberly Keene, of Project Expeditors Consulting Corp. and agent for the owner, has submitted an Application for Site Plan Review for a tenant change to a CHASE Bank with an outside walk-up ATM machine at Suites 2 and 3 of 2321 Nott St. E. The two suites were most recently occupied by Karma Bistro and Best Cleaners, respectively. The property is located within the C-N Neighborhood Commercial zoning district, the Town Center Overlay District (TCOD) and is part of a Planned Unit Development (PUD).

**BACKGROUND INFORMATION**

Ms. Keene is proposing to combine Suites 1 and 2 of 2321 Nott St. E. The following documents were included with the application.

1. Site Plan Drawings – A 7-page site plan drawing set entitled “CHASE Proposed Site Improvements” by Stonefield Engineering and Design was provided containing the following sheets.
  - a. Cover Sheet “C-1”
  - b. Overall Site Plan “C-2”
  - c. Existing Conditions Plan “C-3”
  - d. Demolition, Site & Grading Plan “C-4”
  - e. Lighting Plan “C-5 & C-6”
  - f. Construction Details “C-7”
2. Architectural Drawings – A 5-page drawing set entitled “CHASE Niskayuna North” by TPG Architecture was provided containing the following sheets.
  - a. Existing Floorplan “A-100” dated 1/19/23



- b. Proposed Construction Plan “A-101” dated 1/19/23
  - c. Elevations Sheet 1 of 2 “A-700” dated 1/19/23
  - d. Elevations Sheet 2 of 2 “A701” dated 1/19/23
  - e. Colored Elevations “SK-001” dated 12/12/22
3. Environmental Assessment Form (EAF)-- dated 1/27/23

As mentioned in the Summary Statement portion of this Agenda Statement, the proposed project falls within the C-N Neighborhood Commercial zoning district, the Town Center Overlay District (TCOD) and is part of a Planned Unit Development (PUD).

Article VIIIA, Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards contains zoning code requirements regarding signs, pedestrian amenities and architectural review standards. The Planning Office informed the applicant of these requirements and requested larger colored renderings of the proposed exterior façade including the ATM machine.

2/13/23 Planning Board (PB) meeting – The CHASE Bank team presented the proposed project to the PB. They noted that no façade signs are proposed at this time. The Board and the CHASE design team discussed the lighting requirements for ATMs relative to the general area lighting of the neighboring store fronts.

The Board requested additional materials from the CHASE team to demonstrate that the proposed exterior ATM and associated lighting will blend with the neighboring store fronts. The Board called for a tentative resolution for site plan approval for the 2/27/23 meeting.

#### 2/27/2023 UPDATE

Chase Bank reached out to the Planning Department to see if the Town had existing lighting plans for the Plaza. Mr. Henry also did a site visit and included some pictures of the current lighting. The Planning Department has not located an existing lighting plan. Given that the only outstanding items are future signage and to ensure the lighting blends into the plaza – the Planning Department drafted a resolution with these conditions being deferred to the Planning/Building Department.

To be consistent with recent reviews and approvals of the Plaza, the Planning Department also added a condition that the applicant must re-landscape the planting beds along the plaza, remove any dead trees along the boundary with Stewards – and replant anything removed as approved by the Tree Council.

A draft resolution is attached.

RESOLUTION NO. 2023 - 07

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 27TH DAY OF FEBRUARY 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_-.

WHEREAS, Kimberly Keene, of Project Expeditors Consulting Corp., has made an application to the Planning Board and Zoning Commission for site plan approval for tenant changes at 2321 Nott St. E. to combine Suites 2 and 3 into a CHASE Bank with an outside walk-up ATM, and

WHEREAS, Site Plan Drawings consist of a 7-page drawing set entitled "CHASE Proposed Site Improvement" by Stonefield Engineering and Design, and

WHEREAS, Architectural Drawings consist of a 5-page drawing set entitled "CHASE Niskayuna North" by TPG Architecture, and

WHEREAS, the proposed interior floorplan and front building facade are shown in the Architectural Drawings", and

WHEREAS, the property is a portion of a Planned Unit Development (PUD) within the C-N Commercial Neighborhood zoning district and Town Center Overlay District (TCOD), and

WHEREAS, neighborhood retail convenience stores, including banks, qualify as permitted principal uses for this zoning district, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions.

1. Signage: Prior to issuance of a building permit the Planning Office will review and approve any proposed code compliant signage.
2. Lighting: Prior to issuance of a building permit - the applicant shall supply existing lighting and color temperature data to the Planning Office as well as an explanation of how the new lighting will blend into the existing lighting while complying with ATM requirements. The lighting changes will be reviewed and approved by the Planning Office provided they are code compliant and blend with the surrounding lighting conditions and color temperatures.
3. Landscaping: Prior to issuance of a building permit - the applicant shall supply a landscaping plan for review and approval by the Tree Council. The landscaping beds in front of Chase bank should be refreshed, dead or severely distressed trees along the border of the property with Stewarts should be removed, and any removed trees should be replanted.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
LESLIE GOLD  
NANCY STRANG  
JOSEPH DRESCHER

The Chairman declared the same \_\_\_\_\_.



# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

Name Project Expeditors Consulting Corp.

Address 28 Station Street  
Manalapan, NJ 07731

Email kkeene@peconsultingcorp.com

Telephone 732-786-2484 Fax \_\_\_\_\_

### Location:

Number & Street 2309 Nott Street East

Section-Block-Lot 40 - 1 - 17.21

Zoning District C-N, TCOD

### Proposal Description:

JPMorgan Chase Bank N.A. proposes to lease approximately 3,622 square feet of space within the Niskayuna Shopping Center and fit out a new bank with walk-up ATM service. Additionally, exterior lighting upgrades are proposed to meet NYS Safety Act requirements for the 24 hr vestibule ATM. Improvements are proposed parking area to bring the site into ADA compliance.

Signature of applicant: \_\_\_\_\_

Date: 1/24/23

Signature of owner (if different from applicant) \_\_\_\_\_

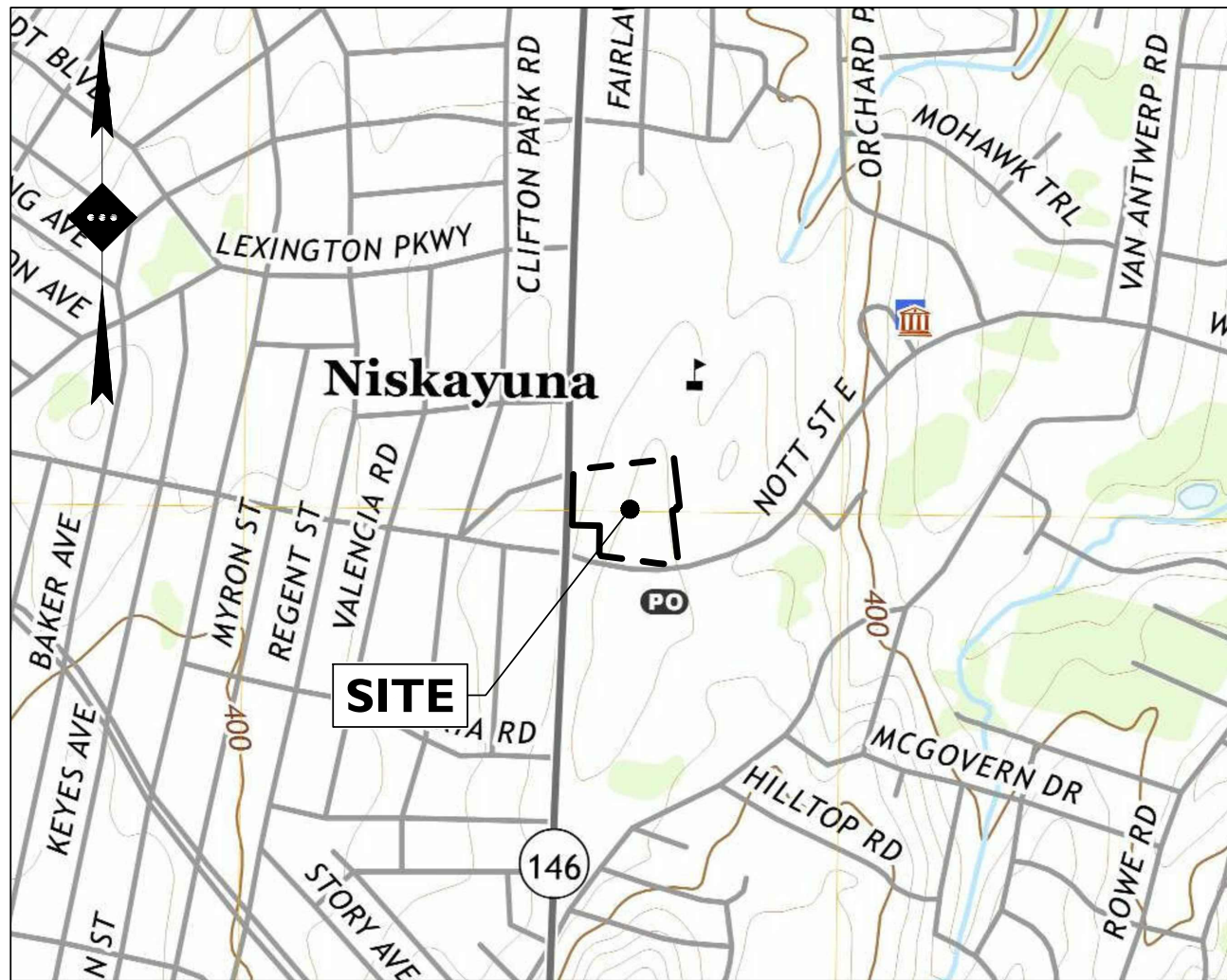
DocuSigned by:

Robert Vonancken

7CEDF956E6434E4...

Date: 1/27/2023

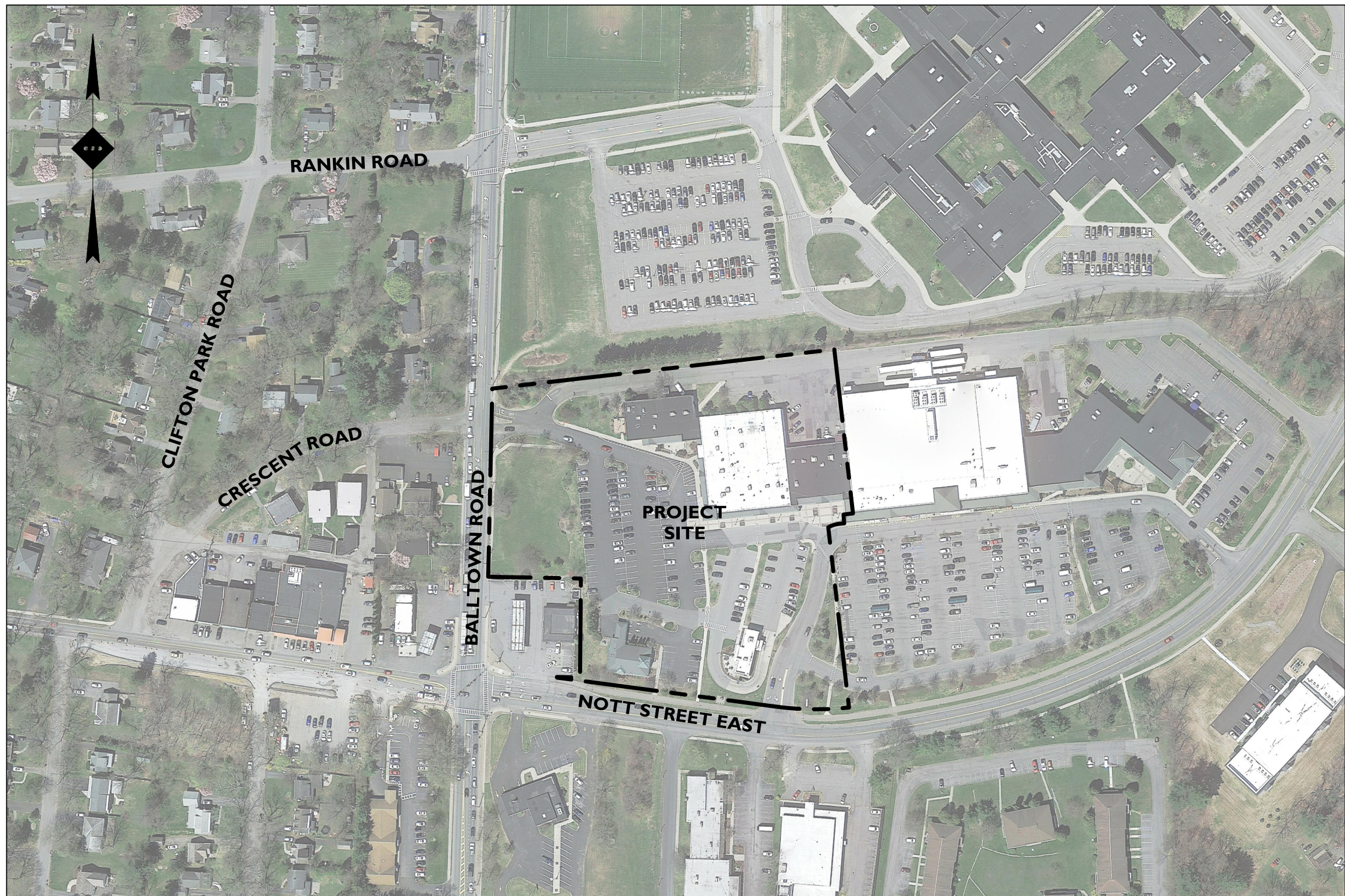




SOURCE: UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES TOPOGRAPHIC MAP - SCHENECTADY QUADRANGLE - NEW YORK, 2019

## LOCATION MAP

SCALE: 1" = 1,000'±



SOURCE: GOOGLE EARTH PRO, RETRIEVED 10/05/2022

## AERIAL MAP

SCALE: 1" = 180'±

# SITE PLANS FOR CHASE PROPOSED SITE IMPROVEMENTS

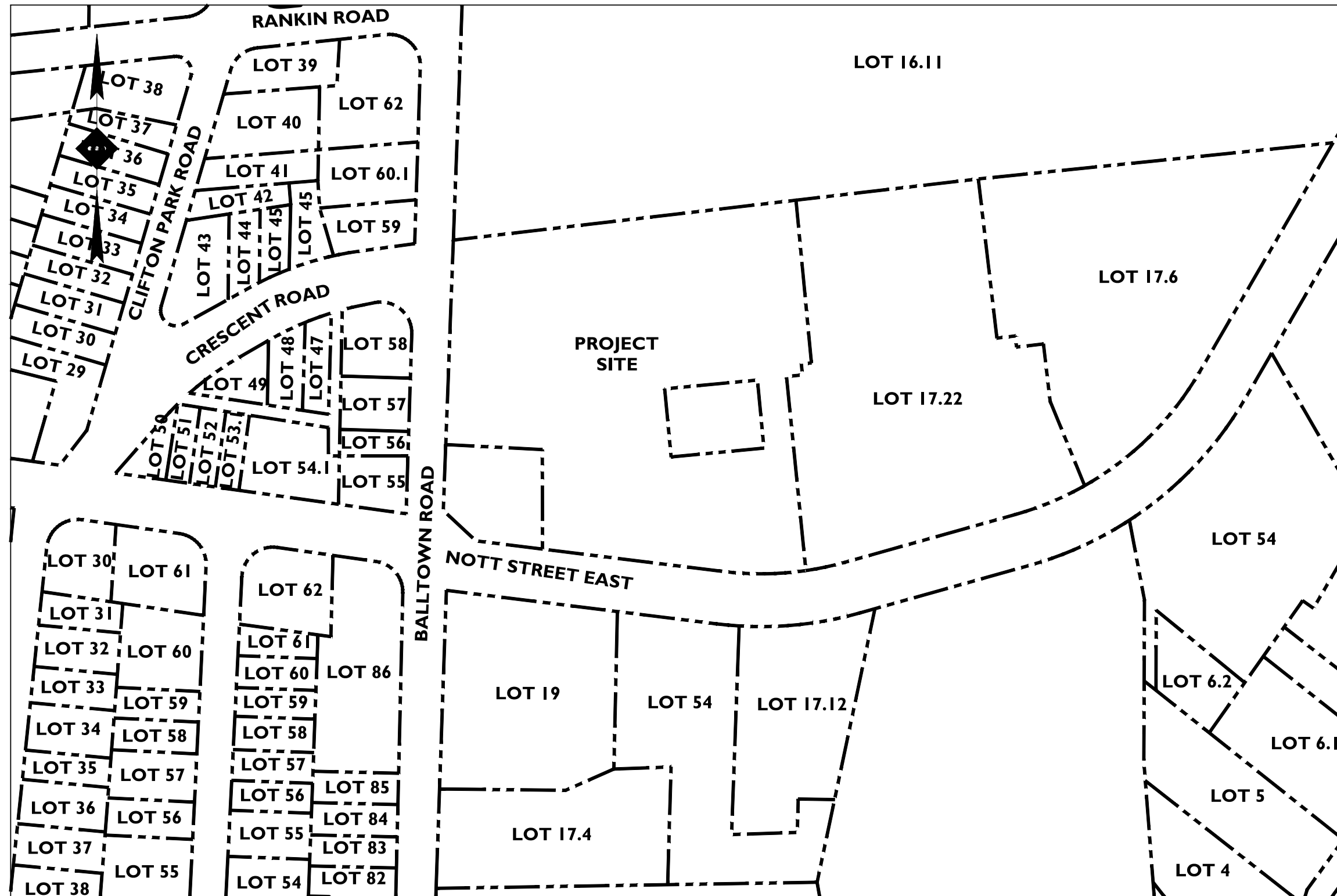
SECTION 40 BLOCK I LOTS 17.21 & 17.30

2309 NOTT STREET

TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

## APPLICANT & OWNER

COLVEST/HTFD/MAN/WFLD LLC  
C/O THE COLVEST GROUP  
1259 EAST COLUMBUS AVENUE  
SPRINGFIELD, MA 01105

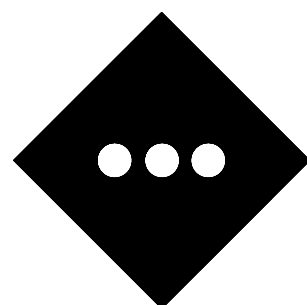


SOURCE: HARTFORD COUNTY GIS, DATE RETRIEVED 02/17/2022

## TAX & ZONING MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



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engineering & design

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www.stonefieldeng.com

584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305



Know what's below  
Call before you dig.

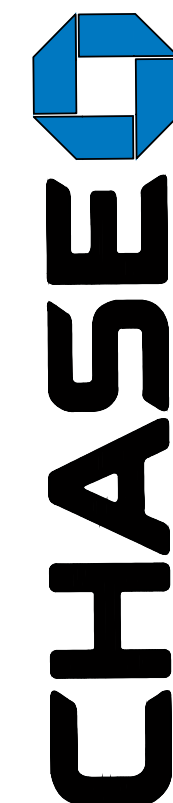
## PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN DATED 10/12/2022.
  - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO., RETRIEVED ON 10/05/2022.
  - LOCATION MAP OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES TOPOGRAPHIC MAP, SCHENECTADY QUADRANGLE - NEW YORK, DATED 2019.
  - TAX AND ZONING MAPS OBTAINED FROM THE SCHENECTADY COUNTY ONLINE MAPPER, RETRIEVED ON 12/12/2022.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

## SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
OVERALL SITE PLAN	C-2
EXISTING CONDITIONS PLAN	C-3
DEMOLITION, SITE & GRADING PLANS	C-4
LIGHTING PLAN	C-5 & C-6
CONSTRUCTION DETAILS	C-7

ACCESSIBILITY UPGRADES PLAN



PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK I, LOTS 17.21 & 17.30  
2309 NOTT STREET  
TOWN OF NISKAYUNA  
SCHENECTADY COUNTY, STATE OF NEW YORK

ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: NYC-220281

TITLE:

COVER SHEET

DRAWING:

C-1



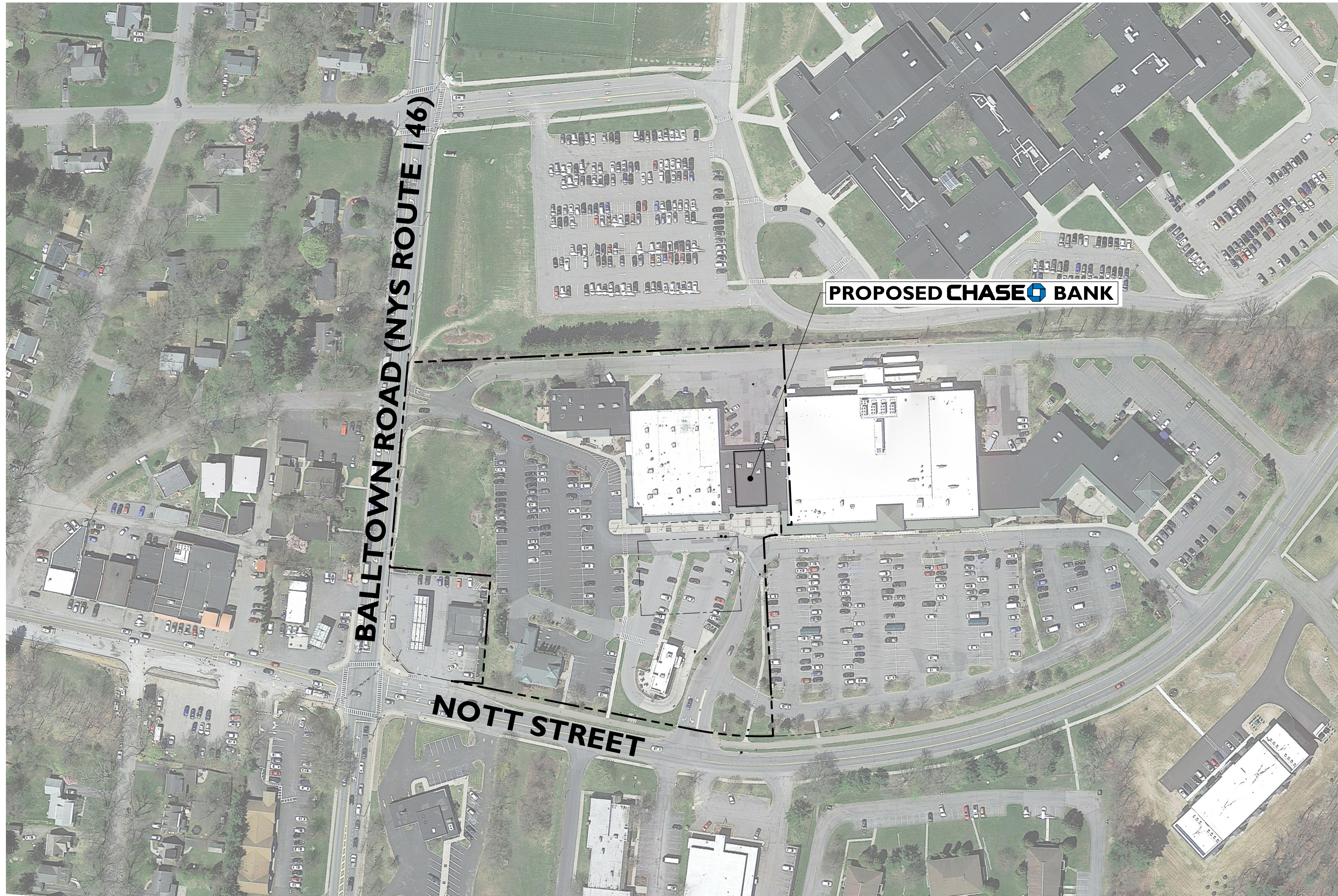
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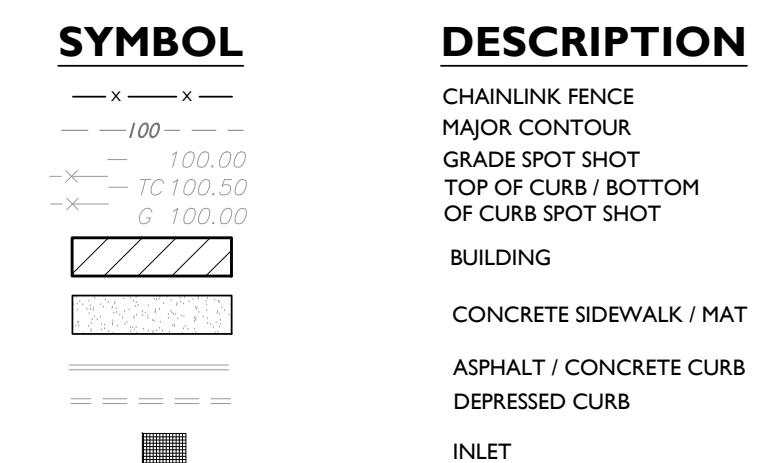
NOT APPROVED FOR CONSTRUCTION

ISSUE	DATE	BY	DESCRIPTION
1	12/14/2022	PI	ISSUED FOR REVIEW



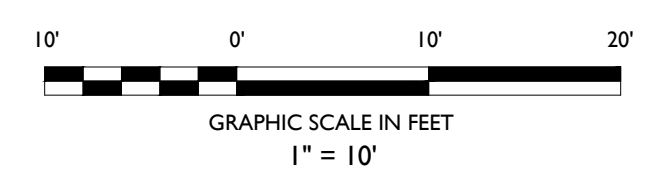
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**SURVEY NOTES:**

I. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

[illegible]

**NOT APPROVED FOR CONSTRUCTION**



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**ACCESSIBILITY UPGRADES PLAN**

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**CHASE** 

**PROPOSED SITE IMPROVEMENTS**

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30  
2309 NOTT STREET  
TOWN OF NISKAYUNA  
SCHENECTADY COUNTY, STATE OF NEW YORK

ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER



**STONEFIELD**  
engineering & design

SCALE:	1" = 10'	PROJECT ID: NYC-220281
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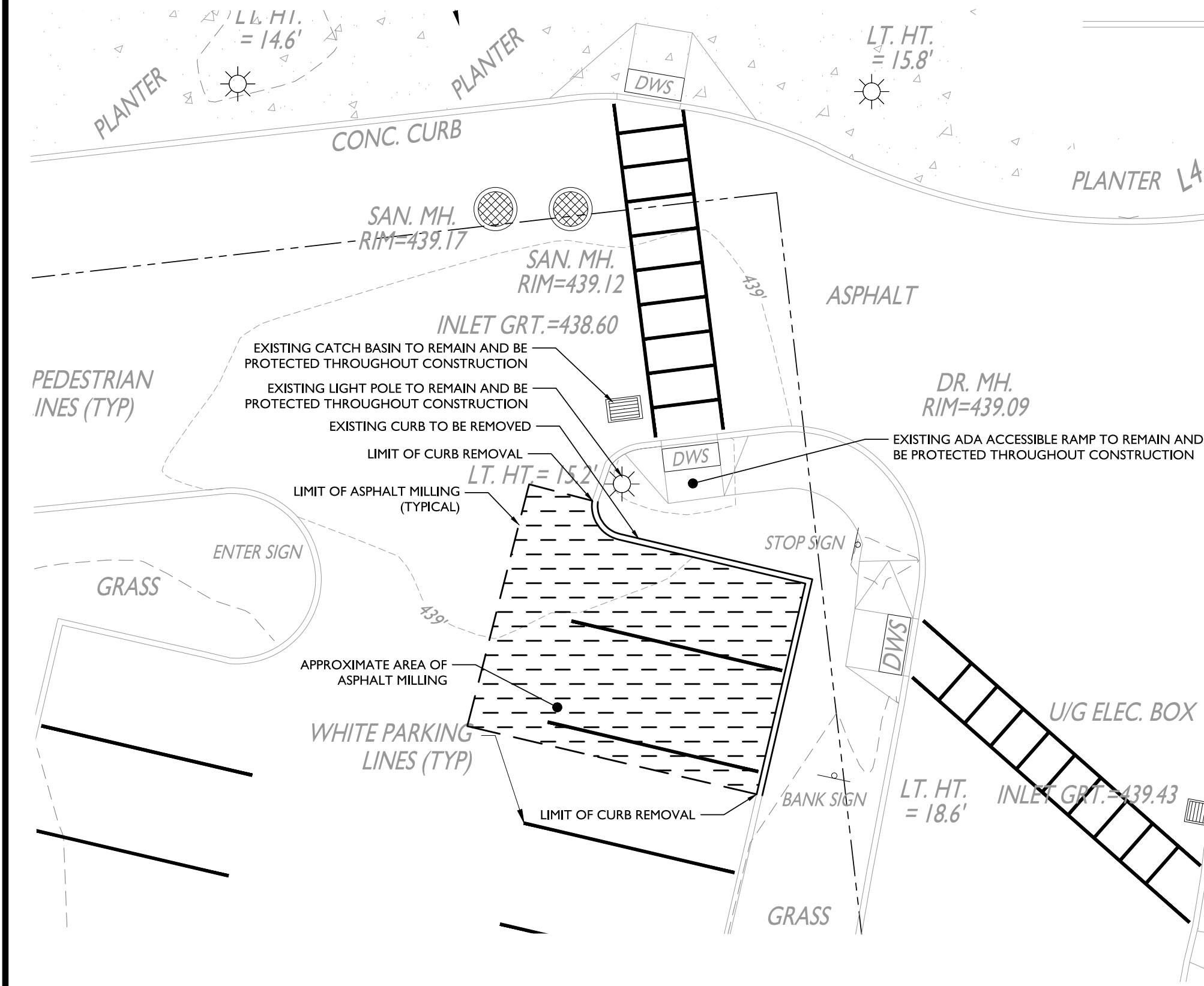
**EXISTING CONDITIONS  
PLAN**

DRAWING:

**C-3**



NOTE:  
CONCRETE REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST REMOVAL AREA AS REQUIRED TO PROVIDE PROPOSED GRADES. WHERE PRACTICAL, CONTRACTOR CAN EXTEND LIMITS OF REMOVAL BASED ON LOCATION OF EXISTING CONCRETE JOINTS FOR EASE OF CONSTRUCTION.



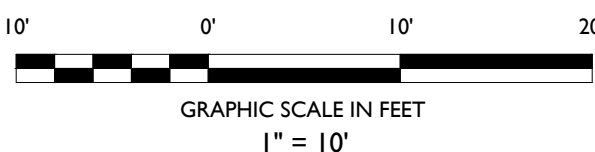
## DEMOLITION PLAN

### DEMOLITION LEGEND

- APPROXIMATE LIMIT OF DEMOLITION
- AREA OF ASPHALT MILL OVERLAY
- EXISTING CURB

#### DEMOLITION NOTES

- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED, BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



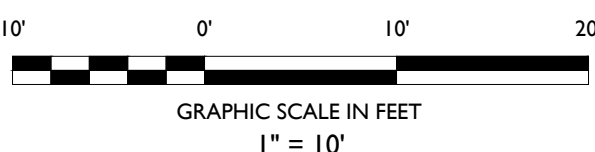
### GRADING LEGEND

- PROPOSED SPOT ELEVATION
- PROPOSED GRADE TO MEET EXISTING SPOT ELEVATION
- TOP OF CURB / BOTTOM OF CURB ELEVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION

#### ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

## GRADING PLAN



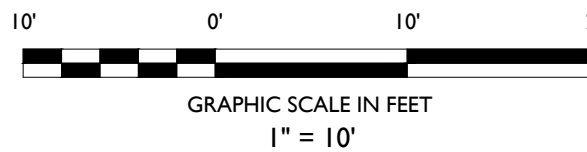
### SITE LEGEND

- PROPOSED ACCESSIBLE ROUTE
- PROPOSED SAWCUT LINE
- PROPOSED ASPHALT MILL OVERLAY
- PROPOSED CONCRETE
- PROPOSED CURB
- EXISTING CURB

#### GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

## SITE PLAN

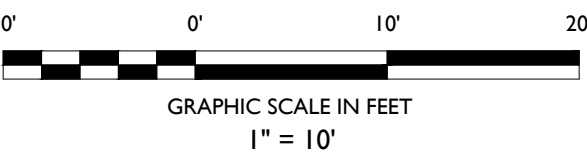


### ADA LEGEND

- 2.0% MAXIMUM SLOPE WITHIN ALL DIRECTIONS
- 5.0% MAXIMUM RUNNING SLOPE  
2.0% MAXIMUM CROSS SLOPE
- 8.2% MAXIMUM RUNNING SLOPE  
2.0% MAXIMUM CROSS SLOPE

NOTE: THIS ADA SLOPE SUMMARY INSET IS INTENDED TO SERVE AS A DESIGN SUMMARY OF THE GRADING PLAN. THE GRADING PLAN SHALL TAKE PRECEDENCE OVER THE SLOPES INDICATED WITHIN THIS INSET. THE CONTRACTOR SHALL REFER TO THE SPOT SHOTS INDICATED ON THE GRADING PLAN FOR USE DURING CONSTRUCTION.

## ADA SLOPE SUMMARY



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Phone 718.606.8305

ACCESSIBILITY UPGRADES PLAN

**CHASE**

PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30  
230 NORT STREET  
NEW YORK, NY 10012  
SCHENECTADY COUNTY, STATE OF NEW YORK

ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER


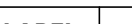

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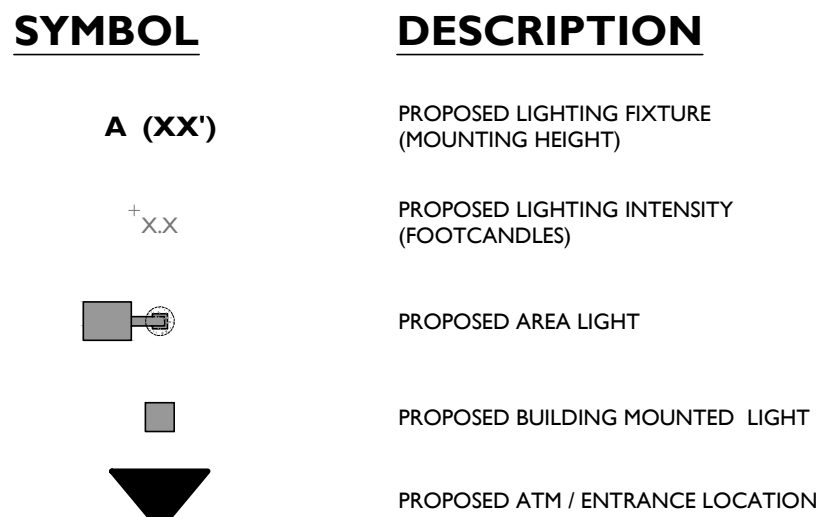
SCALE: 1" = 10' PROJECT ID: NYC-220281

TITLE:  
**DEMOLITION, SITE &  
GRADING PLANS**

DRAWING:  
**C-4**



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	2	SLICE MEDIUM OUTDOOR LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES	SLM-LED-18L-SIL-FT-30-70CRI-IH.ies
	B	5	EVOLVE LED CANOPY LIGHT	SYMMETRIC MEDIUM	0.90	EVOLVE	ECLS01_ASSM740-120-277V.ies
	C	1	SLICE MEDIUM OUTDOOR LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES	SLM-LED-18L-SIL-FT-30-70CRI-IH.ies



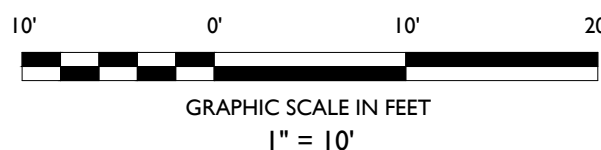
**NOTE:**  
PHOTOMETRIC MODEL OF PROPOSED FIXTURES

### GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION LEVELS AND PERFORMANCE DATA. THE DESIGNER HAS CONSIDERED THE EFFECTS OF UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WITHIN THE EXISTING LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURES.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE MOST LIKELY FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
  - a. LIGHT EMISSIONS DIODES (LED): 0.90
  - b. HIGH PRESSURE SODIUM: 0.72
  - c. METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY CHANGES TO THE LIGHTING PLAN SET THAT CONTRADICTS EXISTING/PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

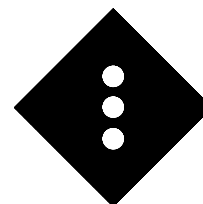
## ATM LIGHTING NOTES

3. THE CONTRACTOR SHALL REPLACE PLANT COVERS, RE-PLANT AND RE-BALAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE THE EXISTING LIGHTING FIXTURES SCHEDULE. THE CONTRACTOR SHALL UNLESS INDICATED OTHERWISE, THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:  
a. FUTURE "W" = MINIMUM WATTAGE
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES DO NOT MEET THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
5. THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED EXISTING LIGHT FIXTURE SHALL BE IN GOOD CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURES, ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURES TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED ARCHITECTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY EXISTING LIGHT FIXTURES TO BE REMOVED OR REPLACED. ALL EXISTING TREE LIGHTS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE THE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 4 FEET ABOVE THE GRADE. THE CONTRACTOR SHALL REMOVE THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING EXISTING LIGHT FIXTURES. EXISTING LIGHT FIXTURES SHALL BE TRIMMED TO PREVENT LIGHT INTERFERENCE.
6. PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING FIXTURES TO BE REMOVED, REPAIRED AND NOTICED BY DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC. IF DAMAGED OR INOPERABLE LIGHTS, THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THE PLAN SET.
7. THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND NOT FOR VISUAL COMFORT.
8. ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
9. EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES SHALL BE IDENTIFIED WITHIN THE PLAN SET. THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET, THE PROPOSED LIGHT FIXTURES HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATTY LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNCONTROLLED LIGHT FIXTURES.

[illegible]

**NOT APPROVED FOR CONSTRUCTION**

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## ACCESSIBILITY UPGRADES PLAN

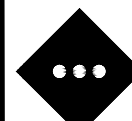


## PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK I, LOTS 17.21 &amp; 17.30

2307 NORTH STREET  
TOWN OF NISKAYUNA  
SCHENECTADY COUNTY, STATE OF NEW YORK

**ZACHARY E. CHAPLIN, P.E.**  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER



**STONEFIELD**  
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SCALE:	1" = 10'	PROJECT ID: NYC-22028
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TITLE: **OVERALL LIGHTING PLAN**

**DRAWING:**

**C-5**

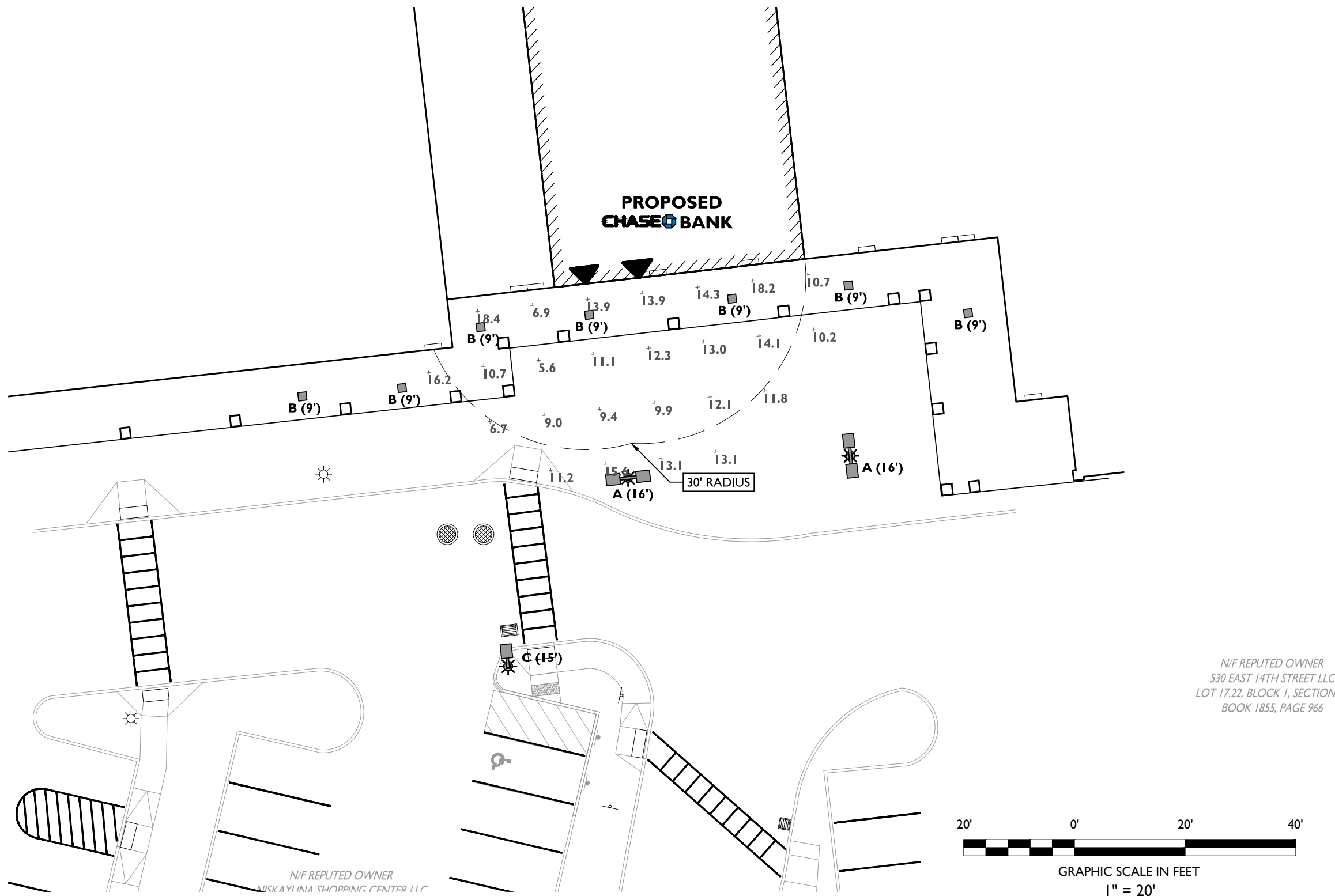


NEW YORK STATE LIGHTING REQUIREMENTS

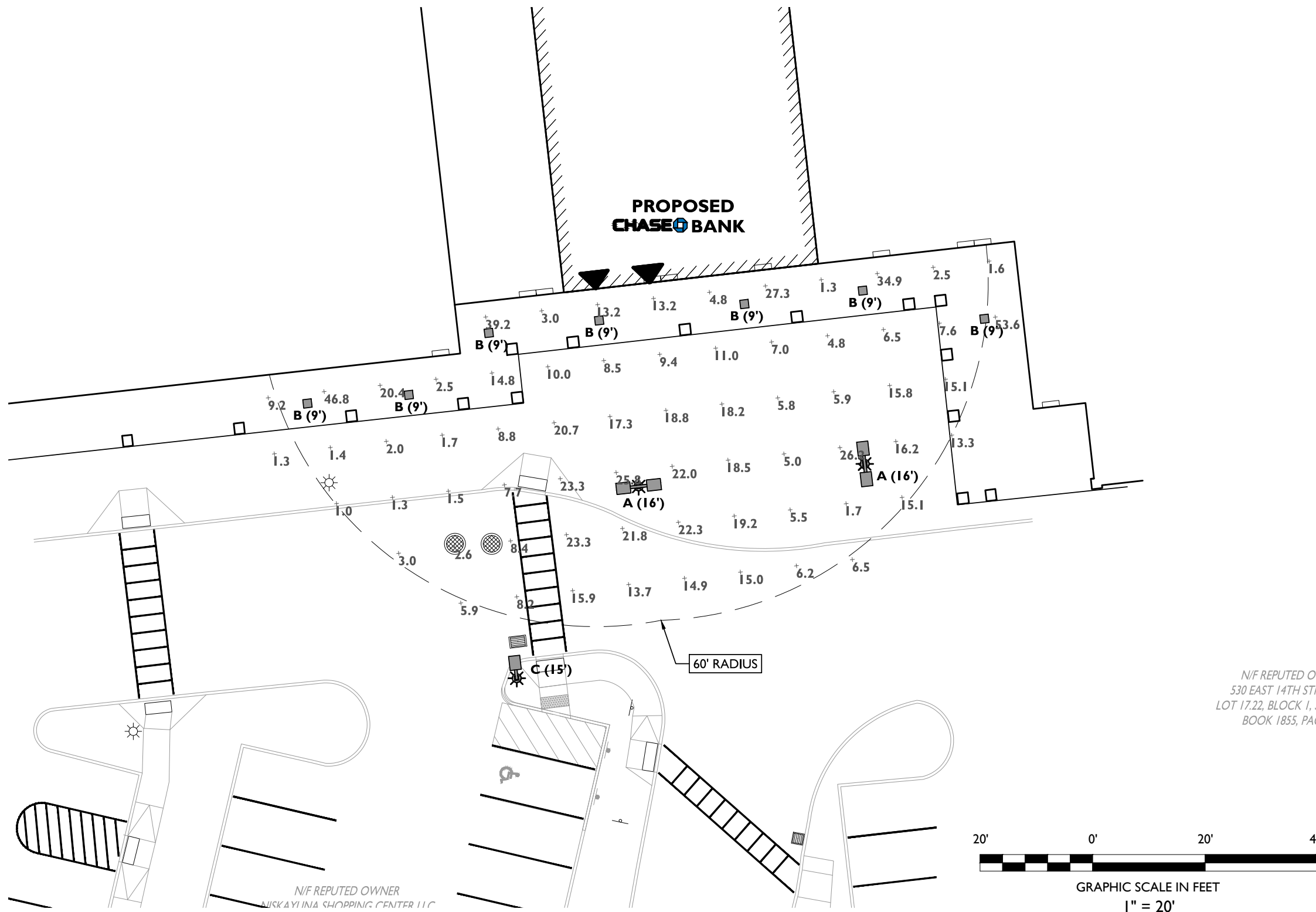
REQUIRED	PROPOSED
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 30 FEET OUTWARD IN ALL DIRECTIONS AT GROUND LEVEL	5.6 FC
MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE	COMPLIANT
MINIMUM 1 FOOTCANDLES AT FACE OF ATM EXTENDING 60 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE MEASURED NORMAL TO A LIGHT SOURCE	1.0 FC
MINIMUM 5 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE	9.3 FC

ACCORDING TO § 75-B.4.iv OF THE NEW YORK BANKING LAWS - ARTICLE 2-AA - ATM BANKING LAWS, A MINIMUM OF 2 FOOTCANDLES 50 FEET OUTWARD IN ALL DIRECTIONS AT 5 FT ABOVE GRADE NEED ONLY BE PROVIDED IF THE PRIOR TWO REQUIREMENTS FOR 30 FT AND 60 FT DISTANCES HAVE NOT BEEN MET.

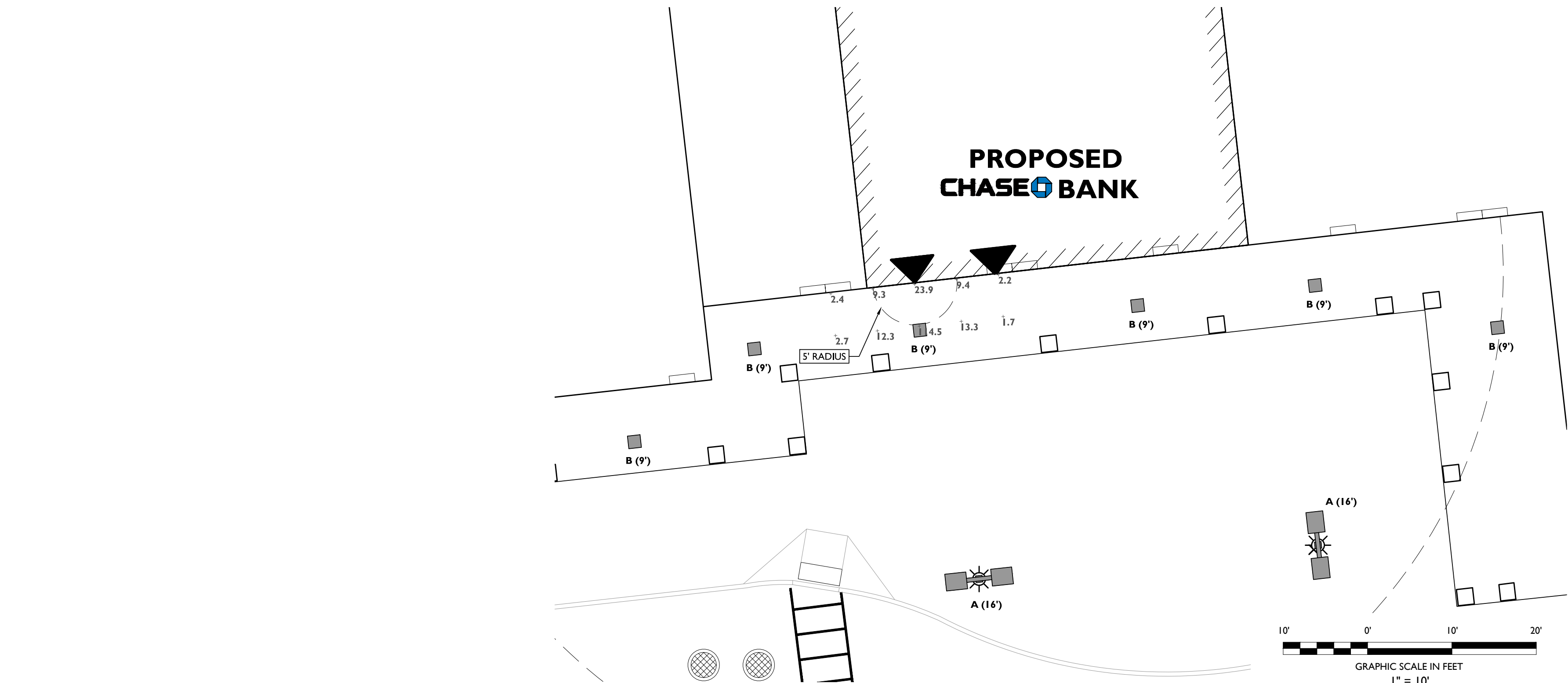
PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	LUMINAIRE	DISTRIBUTION	LLF	MANUFACTURER
	A	2	SLICE MEDIUM OUTDOOR LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES
	B	7	EVOLVE LED CANOPY LIGHT	SYMMETRIC MEDIUM	0.90	EVOLVE
	C	1	SLICE MEDIUM OUTDOOR LED AREA LIGHT	FORWARD THROW	0.90	LSI INDUSTRIES
					IES FILE	
					SLM-LED-18L-SIL-FT-30-70CRI-H-I.ies	
					ECLS01_ASSM740_____-120-277V.I.ES	
					SLM-LED-18L-SIL-FT-30-70CRI-H-I.IES	



LIGHTING AT GRADE (HORIZONTAL PLANE)



LIGHTING AT 60" ABOVE GRADE (NORMAL TO LIGHT SOURCE)



LIGHTING AT 60" ABOVE GRADE (HORIZONTAL PLANE)

SYMBOL	DESCRIPTION
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED CANOPY MOUNTED LIGHT
	PROPOSED ATM / ENTRANCE LOCATION

NOTE:  
PHOTOMETRIC MODEL OF PROPOSED FIXTURES

- GENERAL LIGHTING NOTES
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
  - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
  - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
    - LIGHT EMITTING DIODES (LED): 0.90
    - HIGH PRESSURE SODIUM: 0.72
    - METAL HALIDE: 0.72
  - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
  - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

- ATM LIGHTING NOTES:
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
    - FIXTURE 'X' = MINIMUM X WATTS
  - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
  - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
  - ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
  - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
  - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
  - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
  - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

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Phone 718.606.8305

**CHASE**

ACCESSIBILITY UPGRADES PLAN

PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30  
230 WEST STREET  
JERSEY CITY, NEW JERSEY 07310  
Schenectady County, State of New York

ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER

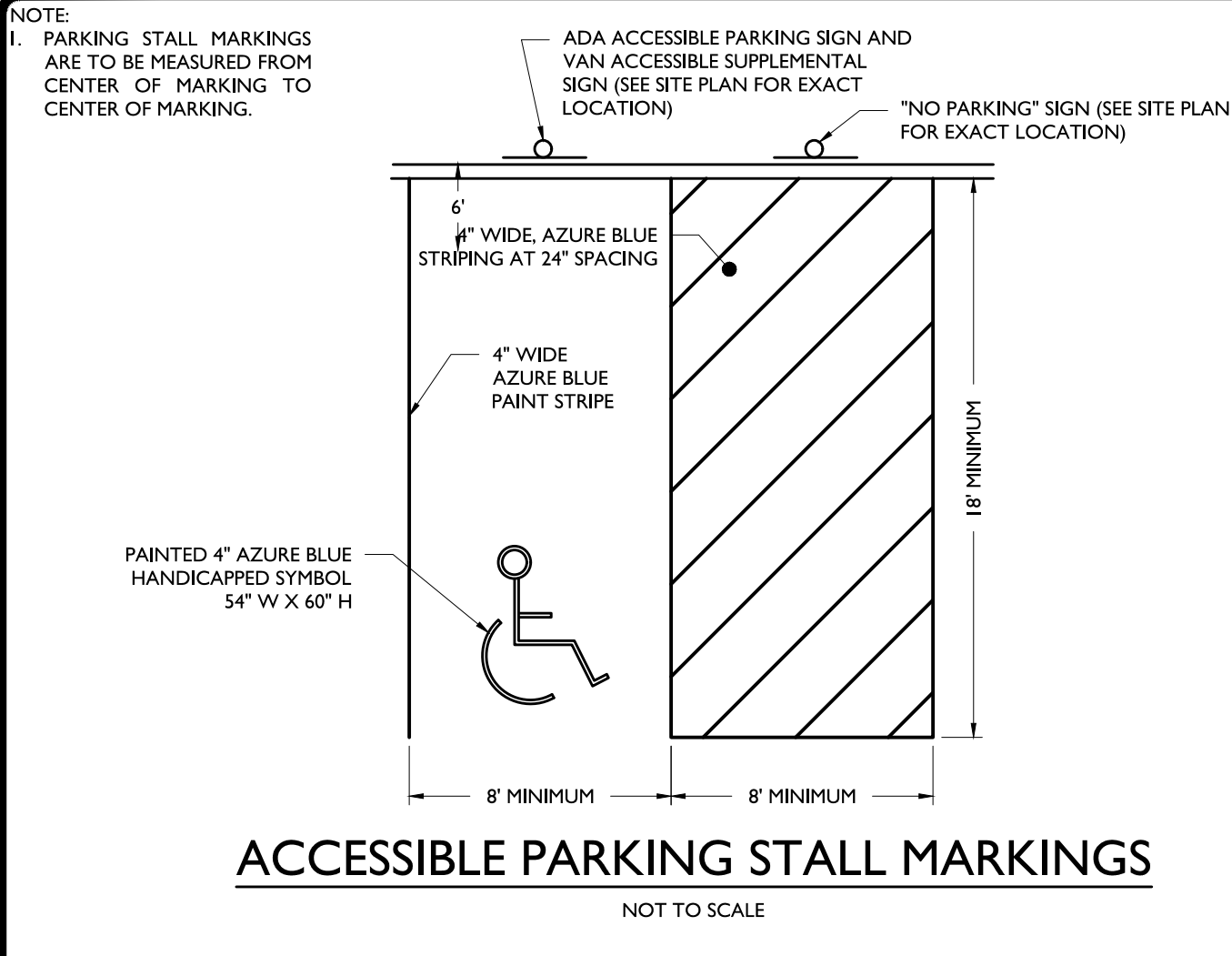
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SCALE: AS SHOWN PROJECT ID: NYC-220281

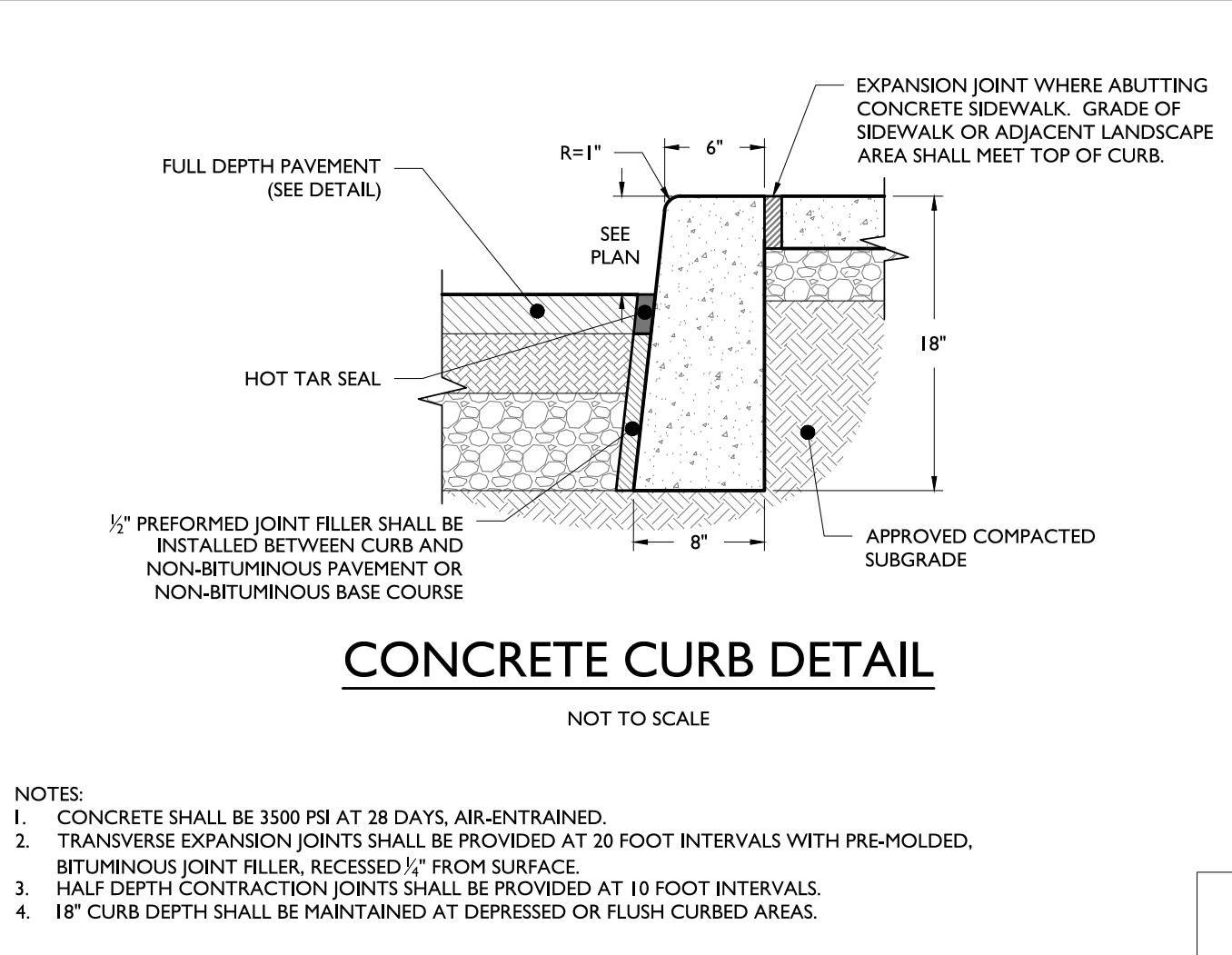
TITLE:  
**ATM SECURITY  
LIGHTING PLAN**

DRAWING:  
**C-6**

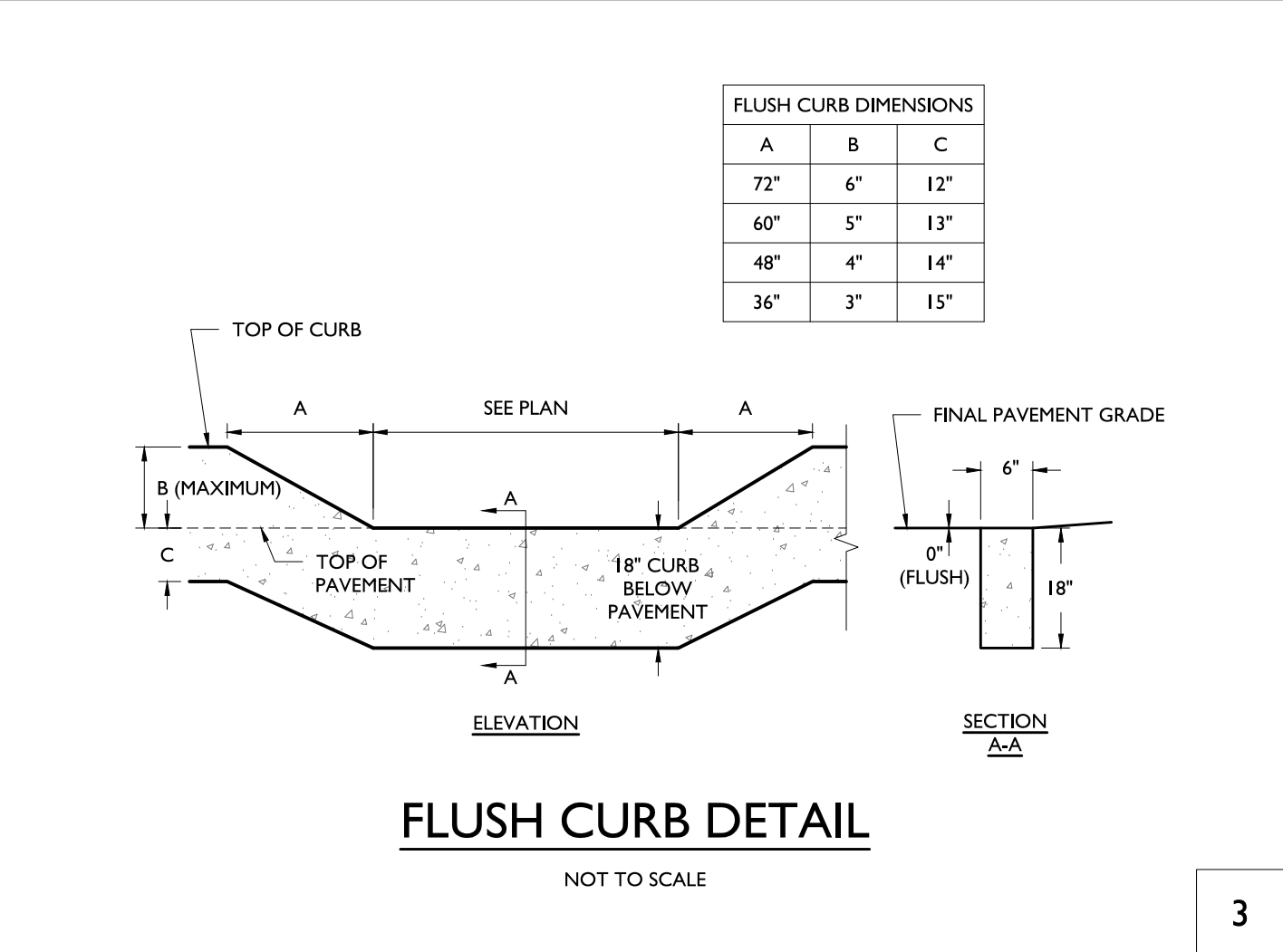




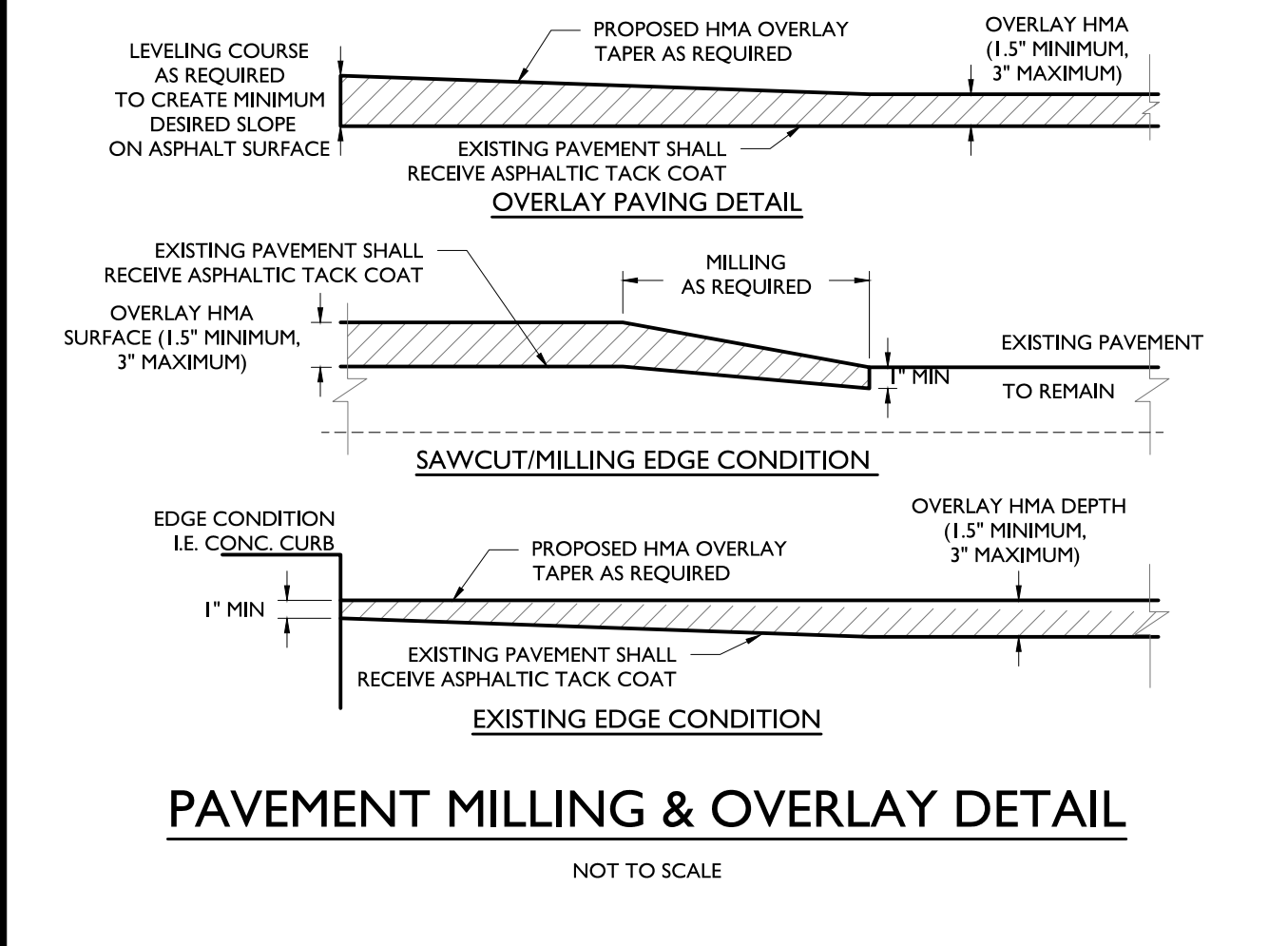
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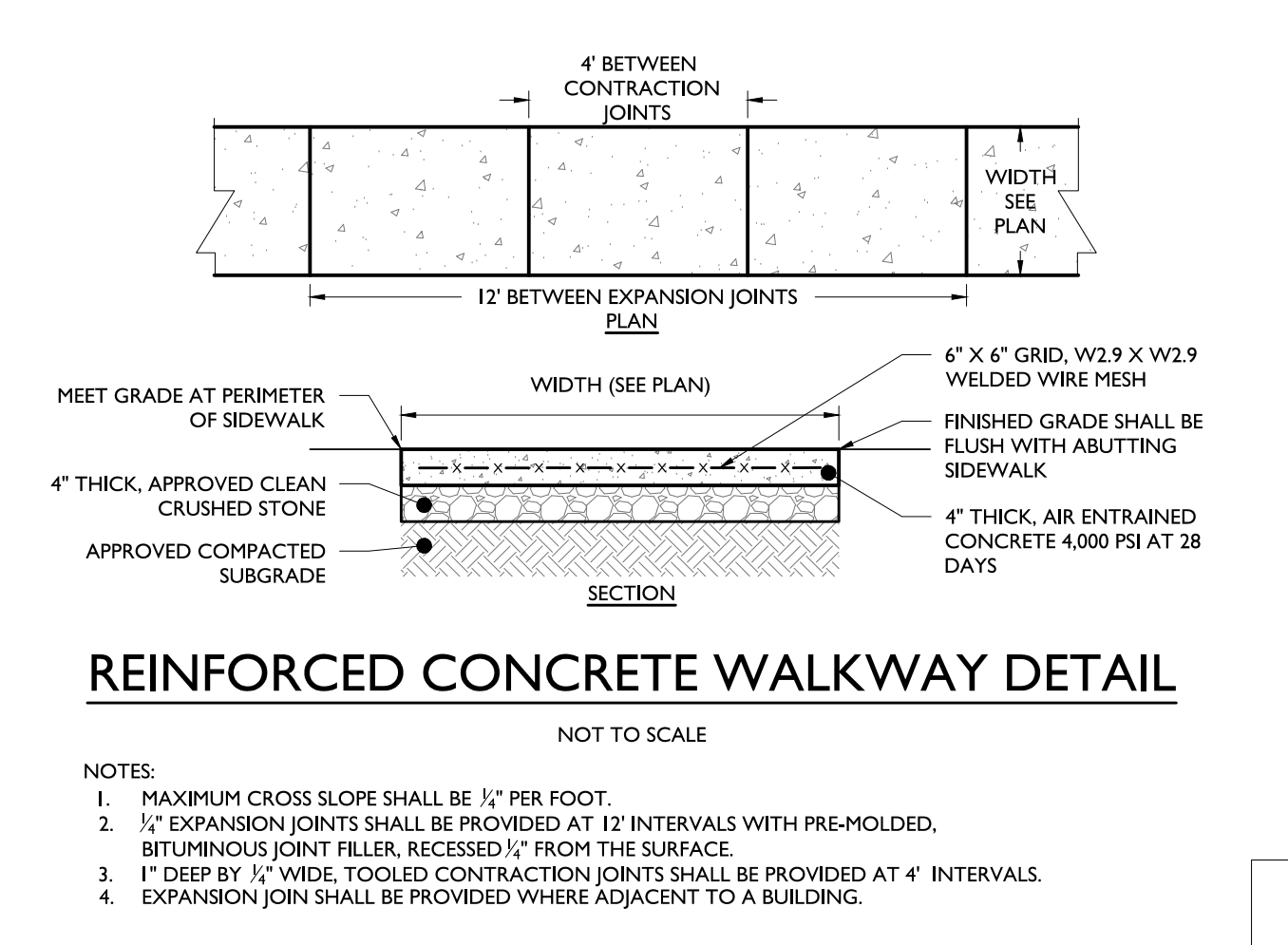
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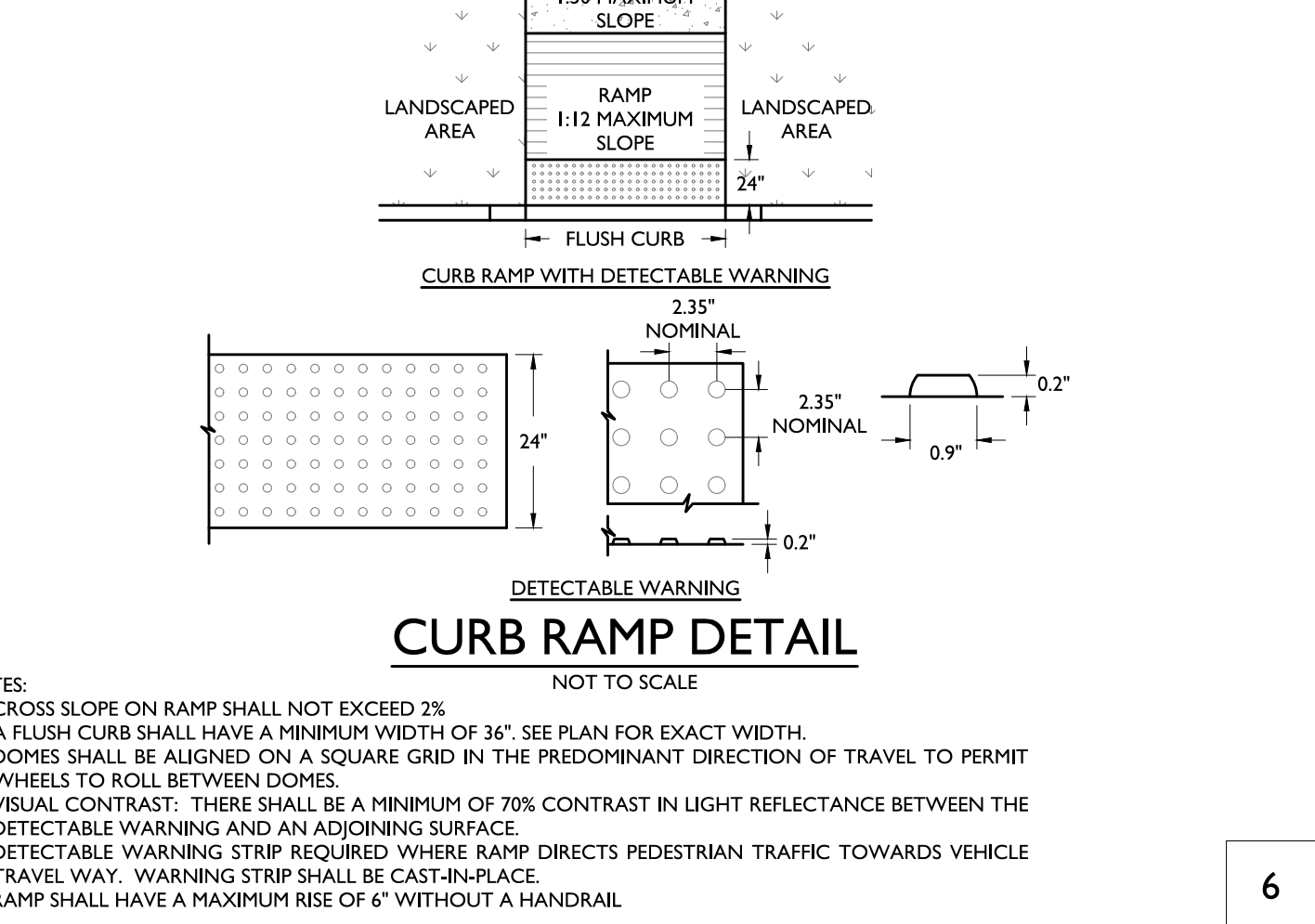
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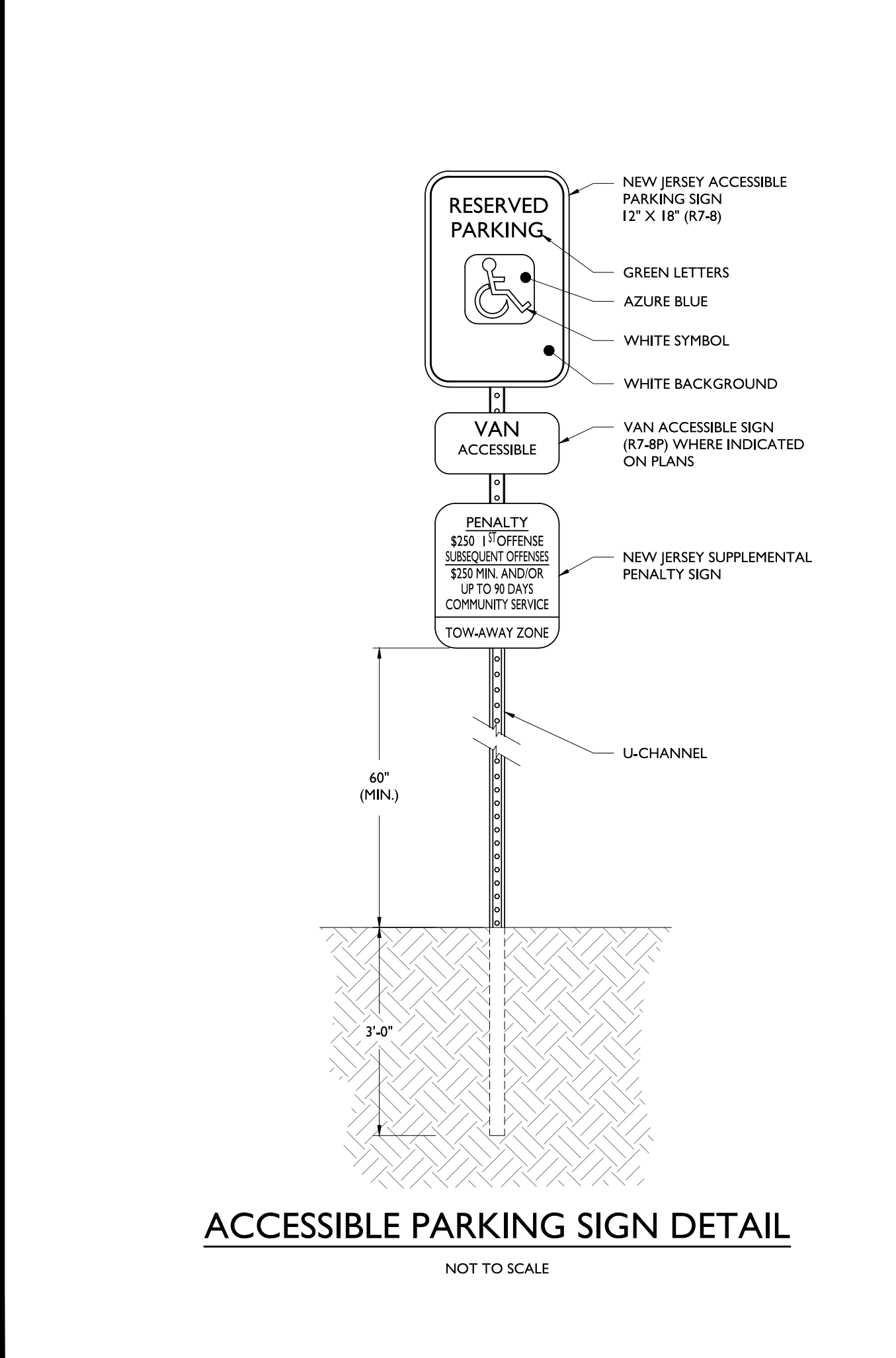
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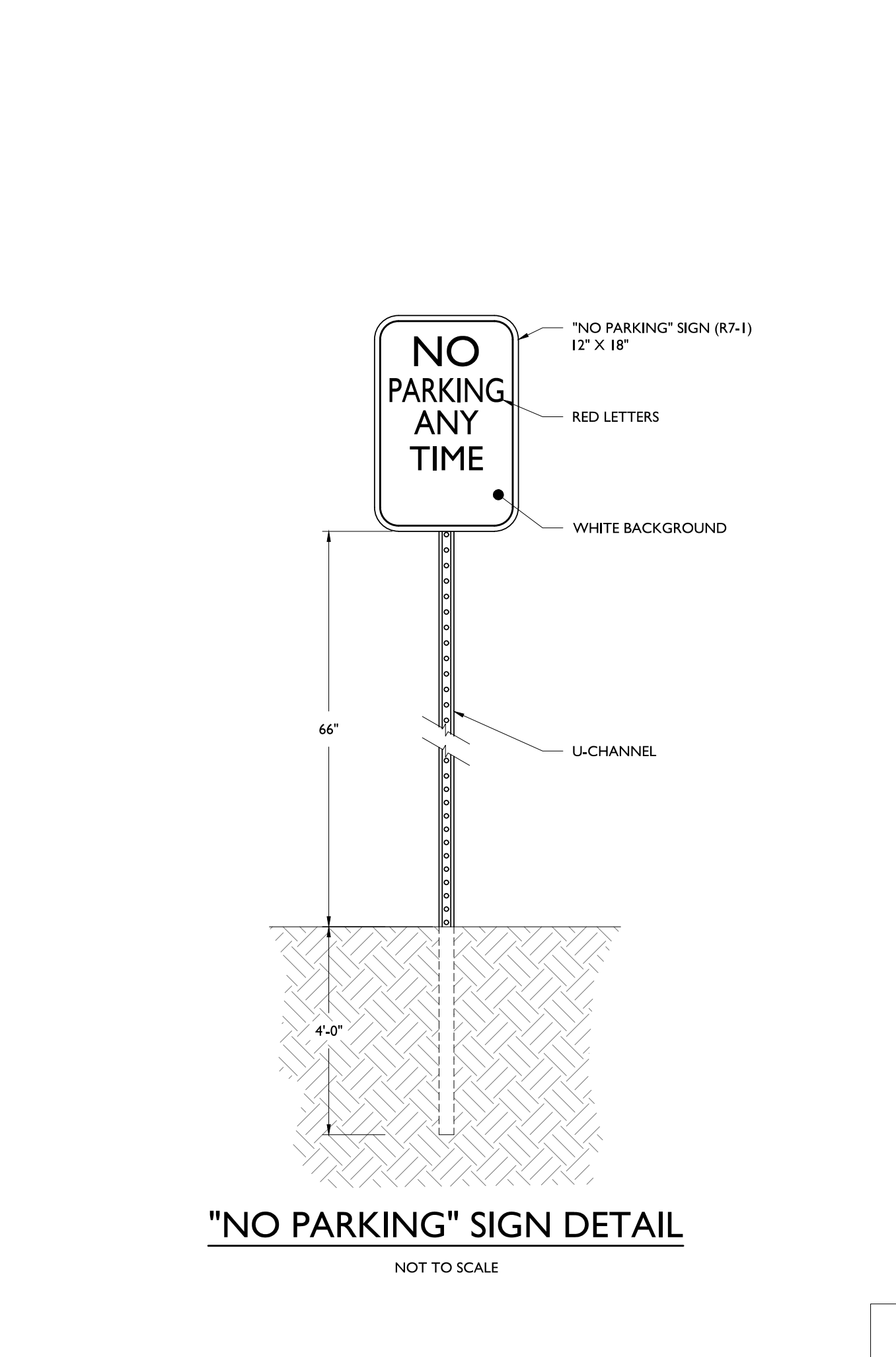
5



6



7



8

Type: \_\_\_\_\_

**Slice Medium Outdoor LED Area Light**

Back to Quick Links

**PERFORMANCE**

DELIVERED LUMENS\*

Lumen Package	Distribution	CRI	3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	Bid Rating	Delivered Lumens	Efficacy	Bid Rating	Delivered Lumens	Efficacy	Bid Rating	
9L	2	70	9411	149	82-UG-02	9603	152	82-UG-02	9603	152	82-UG-02	63
	3		9548	152	82-UG-02	9743	155	82-UG-02	9743	155	82-UG-02	
	SW		9261	147	83-UG-02	9450	150	83-UG-02	9450	150	83-UG-02	
	FT		9484	150	82-UG-02	9607	153	82-UG-02	9607	153	82-UG-02	
	FTA		9531	151	82-UG-02	9725	154	82-UG-02	9725	154	82-UG-02	
	AM		9649	153	82-UG-01	9845	156	82-UG-01	9845	156	82-UG-01	
12L	2	70	12533	147	83-UG-02	12788	150	83-UG-02	12788	150	83-UG-02	85
	3		12714	150	82-UG-02	12874	153	82-UG-02	12874	153	82-UG-02	
	SW		12233	145	84-UG-02	12584	148	84-UG-02	12584	148	84-UG-02	
	FT		12683	148	82-UG-02	12861	151	82-UG-02	12861	151	82-UG-02	
	FTA		12682	149	83-UG-02	12950	152	83-UG-02	12950	152	83-UG-02	
	AM		12848	151	83-UG-01	13111	154	83-UG-02	13111	154	83-UG-02	
18L	2	70	16421	136	83-UG-03	18797	139	83-UG-03	18797	139	83-UG-03	135
	3		18091	138	83-UG-03	19072	141	83-UG-03	19072	141	83-UG-03	
	SW		18178	134	84-UG-02	18498	137	84-UG-02	18498	137	84-UG-02	
	FT		18235	137	83-UG-03	19054	140	83-UG-03	19054	140	83-UG-03	
	FTA		18656	138	83-UG-03	19037	141	83-UG-03	19037	141	83-UG-03	
	AM		18886	140	83-UG-02	19271	143	83-UG-02	19271	143	83-UG-02	
24L	2	70	24847	141	84-UG-03	25354	144	84-UG-03	25354	144	84-UG-03	176
	3		25210	143	83-UG-04	25724	146	83-UG-04	25724	146	83-UG-04	
	SW		24481	139	85-UG-03	24950	142	85-UG-03	24950	142	85-UG-03	
	FT		24867	142	83-UG-04	25407	145	83-UG-04	25407	145	83-UG-04	
	FTA		25182	143	84-UG-03	25678	146	84-UG-03	25678	146	84-UG-03	
	AM		25473	145	83-UG-02	25993	148	83-UG-02	25993	148	83-UG-02	
30L	2	70	31109	134	84-UG-03	31743	137	84-UG-03	31743	137	84-UG-03	232
	3		31562	136	84-UG-04	32206	139	84-UG-04	32206	139	84-UG-04	
	SW		30612	132	85-UG-03	31237	135	85-UG-03	31237	135	85-UG-03	
	FT		31283	135	84-UG-04	31921	138	84-UG-04	31921	138	84-UG-04	
	FTA		31503	136	84-UG-03	32146	139	84-UG-03	32146	139	84-UG-03	
	AM		31882	137	83-UG-03	32543	140	84-UG-03	32543	140	84-UG-03	
36L	2	70	36846	129	84-UG-03	37597	131	84-UG-03	37597	131	84-UG-03	286
	3		37383	131	84-UG-04	38146	133	84-UG-04	38146	133	84-UG-04	
	SW		36258	127	85-UG-04	36998	129	85-UG-04	36998	129	85-UG-04	
	FT		37052	130	84-UG-04	37808	132	84-UG-04	37808	132	84-UG-04	
	FTA		37313	133	84-UG-04	38075	133	84-UG-04	38075	133	84-UG-04	
	AM		37774	132	84-UG-03	38545	135	84-UG-03	38545	135	84-UG-03	
42L	2	70	42623	121	85-UG-04	43492	124	85-UG-04	43492	124	85-UG-04	352
	3		43045	123	84-UG-05	44177	125	84-UG-05	44177	125	84-UG-05	
	SW		41943	119	85-UG-04	42799	122	85-UG-04	42799	122	85-UG-04	
	FT		42963	122	84-UG-05	43737	124	84-UG-05	43737	124	84-UG-05	
	FTA		43183	123	85-UG-04	44044	125	85-UG-04	44044	125	85-UG-04	
	AM		43096	124	84-UG-03	43588	127	84-UG-03	43588	127	84-UG-03	
48L	2	70	45975	114	85-UG-04	46914	116	85-UG-04	46914	116	85-UG-04	401
	3		46446	115	84-UG-05	47398	118	84-UG-05	47398	118	84-UG-05	
	SW		46243	112	85-UG-04	46166	114	85-UG-04	46166	114	85-UG-04	
	FT		46235	114	84-UG-05	47178	116	84-UG-05	47178	116	84-UG-05	
	FTA		46559	115	85-UG-04	47509	117	85-UG-04	47509	117	85-UG-04	
	AM		47134	116	84-UG-03	48006	119	84-UG-03	48006	119	84-UG-03	

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Page 4/9 Rev. 07/27/22  
SPEC-1023-A-0420

9

**Evolve® LED Canopy Soffit (ECLS)**

Catalog Logic & Spec Tables

Project Name: \_\_\_\_\_  
Date: \_\_\_\_\_ Type: \_\_\_\_\_  
Notes: \_\_\_\_\_

**ECLS 01**

PROD. ID	GEN.	VOLTAGE	OPTIC CODE	DISTRIBUTION <sup>1</sup>	CRI (min)	CCT	DIMMING	CONTROLS	MOUNTING	COLOR	OPTIONS
E = Eave	01	0 = 120-277	TS = 3,700 hrs	SM = Symmetric Medium	7 = 70	50 = 5000K	1 = None	1 = None	JM = J-Bar Mount	BLCK = Black	SC = Side Conduit Holes
C = Canopy		D = 347 <sup>2</sup>	AS = 5,400 hrs			40 = 4000K	A = Wired to Control	A = Motion Sensor IR Program <sup>3</sup>	PM = Pendant Mount	DKBZ = Dark Bronze	Y = Coastal Finish <sup>4</sup>
LS = Soffit			BS = 7,100 hrs			50 = 5000K	D = External Wired 0-100% Dimm	E = Dimmable Motion Sensor	RM = Recessed Mount	GRAY = Gray	XGX = Special Options
									SM = Surface Mount w/ Beauty Plate	WHITE = White	

<sup>1</sup> Not Available with Optical Code TS  
<sup>2</sup> Requires Dimming Option A  
<sup>3</sup> Recommended for installations within 750 feet from coast. Lead time varies, check with factory.

OPTICAL CODE	DIST CODE	3000K	4000K	5000K	120-277V	347-480V
TS	SM	3600	3700	3700	29	N/A
AS		5200	5400	5400	39	43
BS		6900	7100	7100	54	58

For additional information on ECLS IES files, please click the following link: [ECLS IES Files](#)

**GE current**  
a daintree company

10

				ISSUED FOR REVIEW		DESCRIPTION	
				PI	BY		
				1	12/14/2022		
					DATE		
					ISSUE		

NOT APPROVED FOR CONSTRUCTION

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**CHASE**

ACCESSIBILITY UPGRADES PLAN

PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30  
2300 NORTH STREET  
NEW YORK, NY 10001  
SCHENECTADY COUNTY, STATE OF NEW YORK

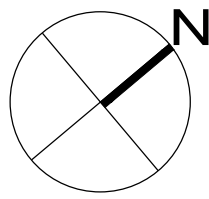
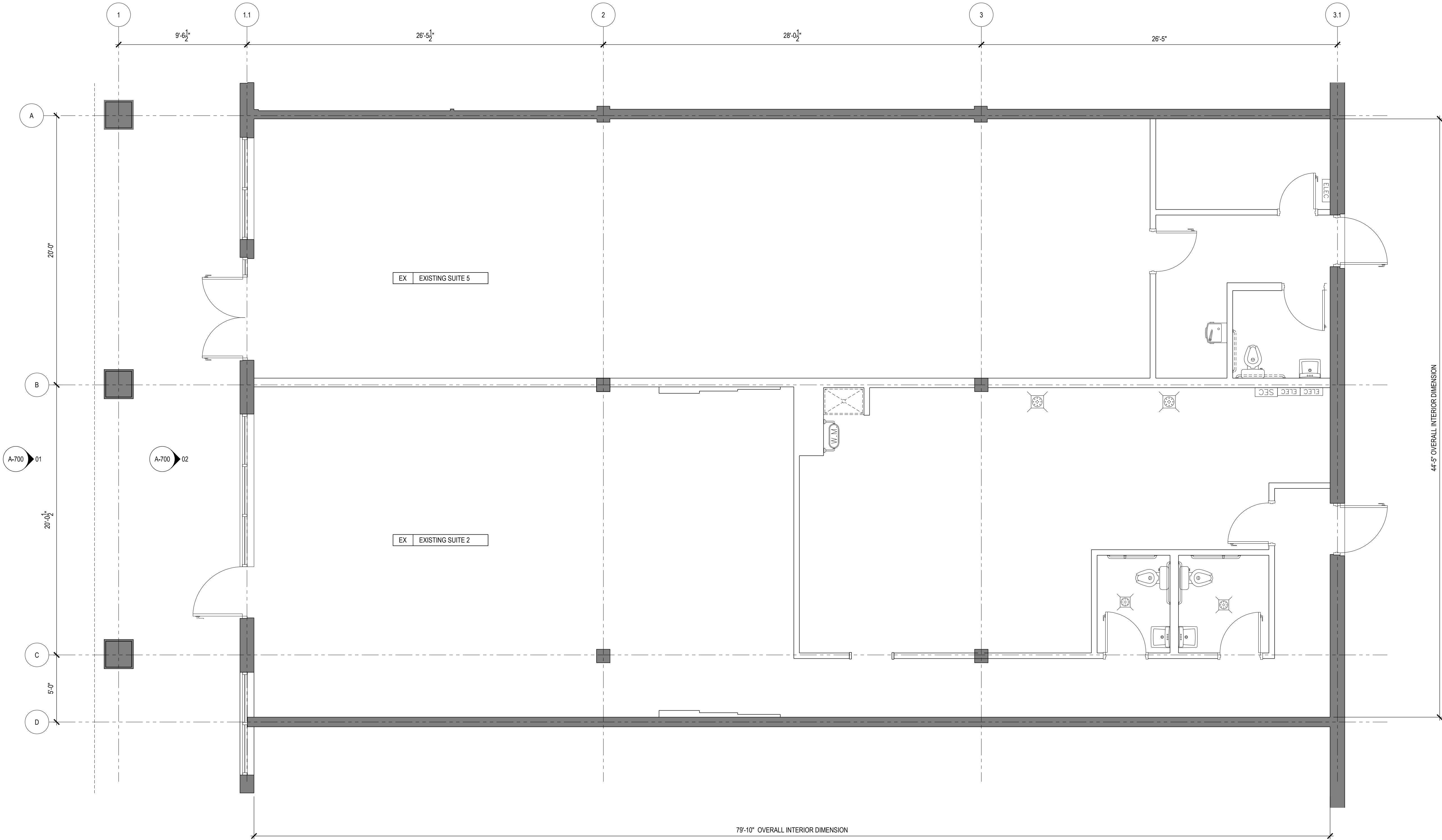
ZACHARY E. CHAPLIN, P.E.  
NEW JERSEY LICENSE No. 53605  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
engineering & design

SCALE: AS SHOWN PROJECT ID: NYC-220281

TITLE:  
CONSTRUCTION NOTES  
& DETAILS

DRAWING:  
**C-7**



SCALE: 1/4" = 1'-0"

01 EXISTING FLOOR PLAN - 3550 SQ FT


01	ISSUED FOR BID/PERMIT	01/19/2023	TPG
NO.	REVISION	DATE	BY

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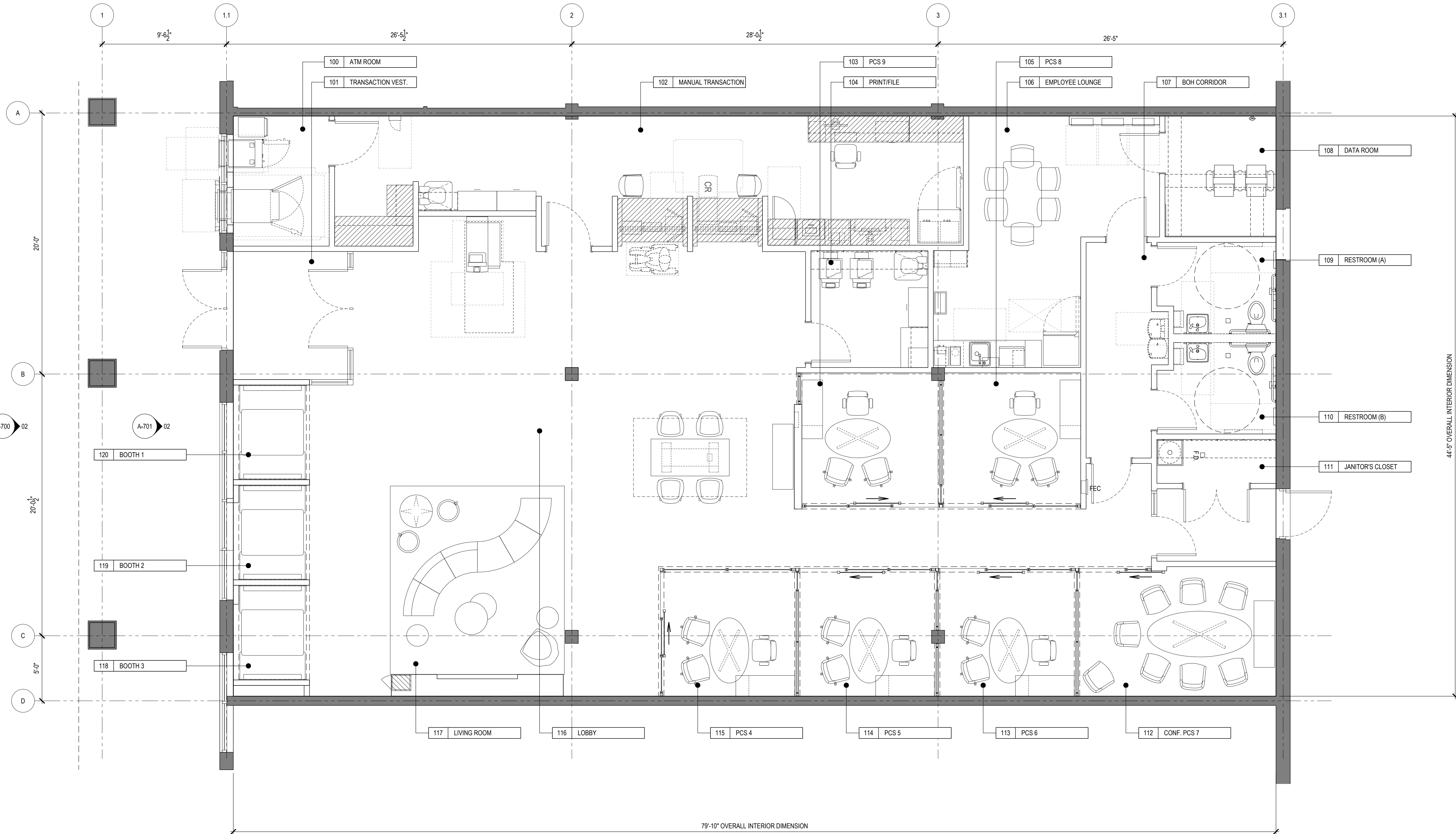
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132 WEST 31ST STREET, 5TH FLOOR, NEW YORK, NY 10001  
212.768.0800 | TPGARCHITECTURE.COM

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PROJECT  
JPMORGAN CHASE BANK, N.A.  
NISKAYUNA NORTH  
2309 NOTT ST  
EAST NISKAYUNA, NY 12309

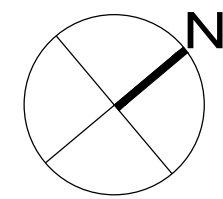
DRAWING  
EXISTING FLOOR PLAN  
3550 SQ FT

SEAL	DATE	01/19/2023
	PROJECT NO.	1522691-00
	SCALE	1/4" = 1'-0"
	DWG NO.	A-100
CAD FILE NO.		PAGE
CAD PLANS.DWG		



44'-5" OVERALL INTERIOR DIMENSION

79'-10" OVERALL INTERIOR DIMENSION



SCALE: 1/4" = 1'-0"

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PROJECT  
**JPMORGAN CHASE BANK, N.A.**  
**NISKAYUNA NORTH**  
2309 NOTT ST  
EAST NISKAYUNA, NY 12309

DRAWING  
PROPOSED CONSTRUCTION PLAN  
3550 SQ FT

SEAL	DATE	01/19/2023
	PROJECT NO.	1522691-00
	SCALE	1/4" = 1'-0"
	DWG NO.	A-101
CAD FILE NO.		PAGE
CAD PLANS.DWG		

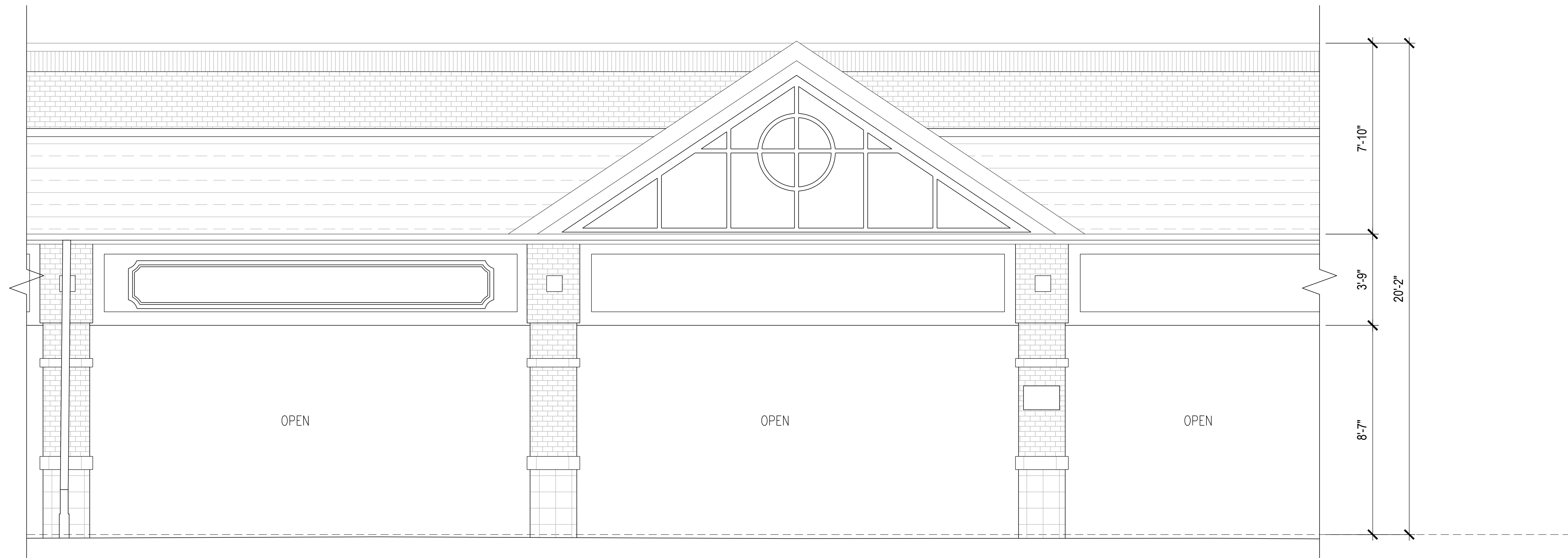
01 PROPOSED CONSTRUCTION FLOOR PLAN - 3550 ST FT





## 01 | EXISTING ELEVATION

**SCALE: 1/4" = 1'-0"**



## 01 | PROPOSED ELEVATION

**SCALE: 1/4" = 1'-0"**

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PROJECT

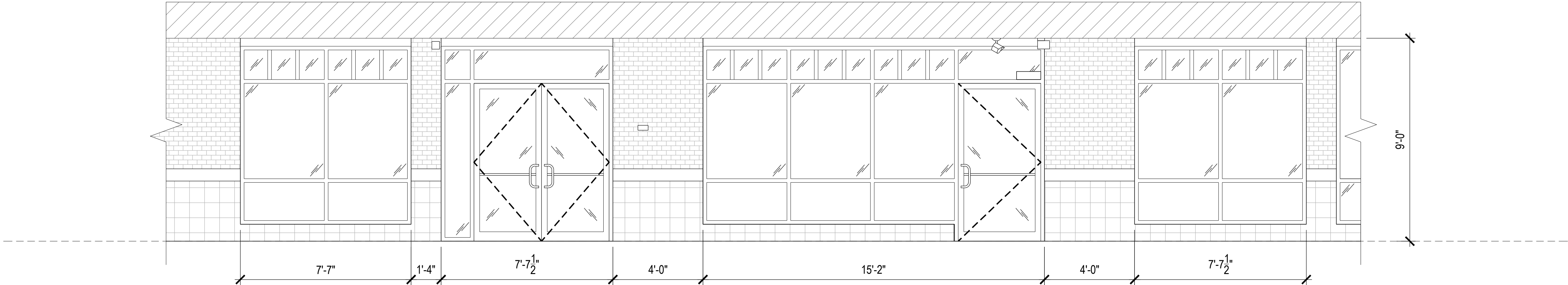
**JPMORGAN CHASE BANK, N.A.**  
**NISKAYUNA NORTH**  
2309 NOTT ST  
EAST NISKAYUNA, NY 12309

DRAWING

ELEVATIONS SHEET 1 OF 2

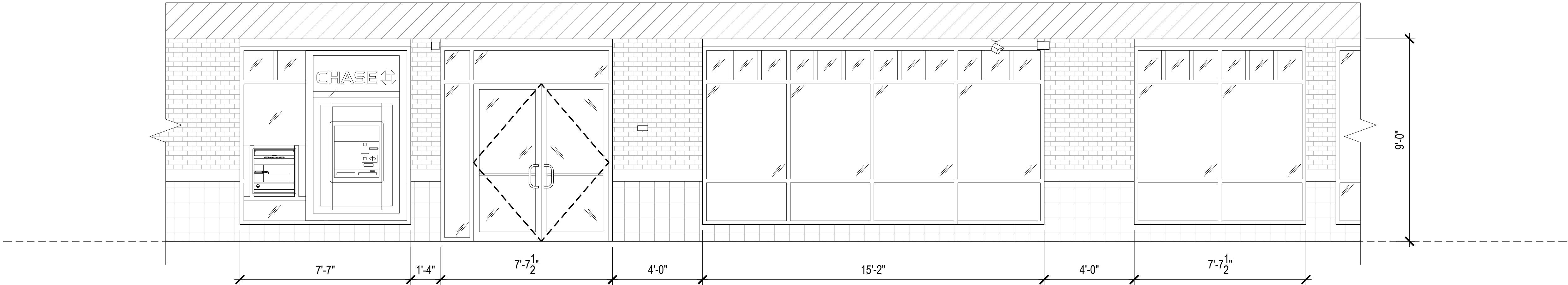
3550 SQ FT

SEAL	DATE	01/19/2023
	PROJECT NO.	1522691-00
	SCALE	1/4" = 1'-0"
	DWG NO.	
	A-700	
	CAD FILE NO. CAD PLANS DWG	PAGE



01 EXISTING ELEVATION

SCALE: 1/4" = 1'-0"



01 PROPOSED ELEVATION

SCALE: 1/4" = 1'-0"

01	ISSUED FOR BID/PERMIT	01/19/2023	TPG
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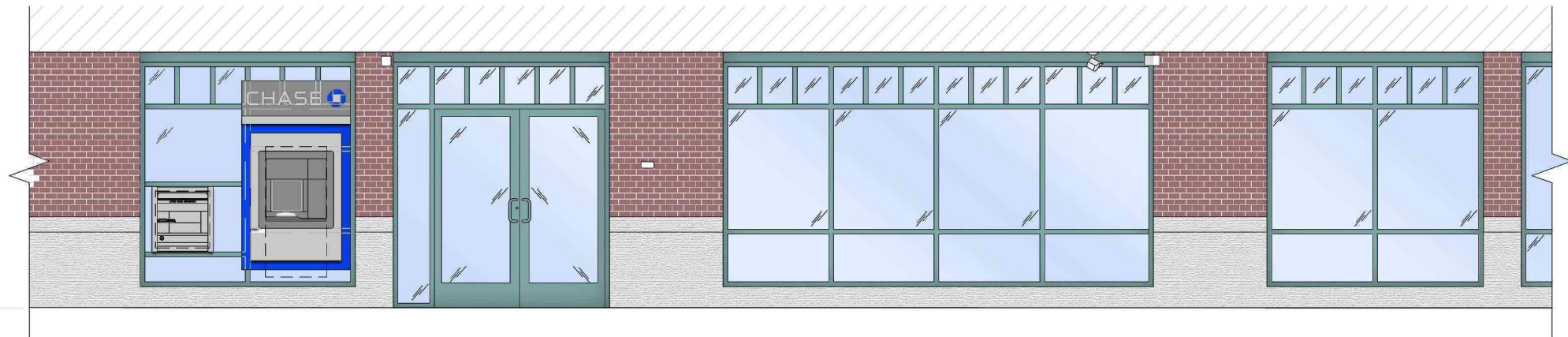
PROJECT  
JPMORGAN CHASE BANK, N.A.  
NISKAYUNA NORTH  
2309 NOTT ST  
EAST NISKAYUNA, NY 12309

DRAWING  
ELEVATIONS SHEET 2 OF 2  
3550 SQ FT

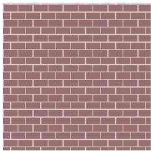
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	PROJECT NO.	1522691-00
	SCALE	1/4" = 1'-0"
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CAD FILE NO.		PAGE
CAD PLANS.DWG		



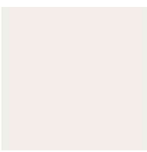
SOUTH ELEVATION



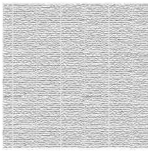
SOUTH STOREFRONT ELEVATION



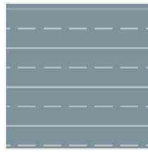
Red Brick  
(Existing)



Cream  
Stucco  
(Existing)



Grey Stone  
(Existing)



Green Roof  
Tiles  
(Existing)



Green Anodized  
Mullions

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PROJECT  
**CHASE NISKAYUNA NORTH**  
2309 Nott St. East.  
Niskayuna, NY 12309

PROJECT NO.  
1522691-00

DRAWN BY  
TPG

DATE  
12/12/2022

DRAWING  
**COLORED ELEVATIONS**  
(FOR REFERENCE ONLY)

SCALE  
NTS

FLOOR  
01

DRAWING  
SK-001

# *Short Environmental Assessment Form*

## *Part 1 - Project Information*

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:			State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3.   a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5.     Urban       Rural (non-agriculture)       Industrial       Commercial       Residential (suburban) <input type="checkbox"/> Forest     Agriculture                   Aquatic       Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest    Agricultural/grasslands    Early mid-successional Wetland <input type="checkbox"/> Urban    Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: _____  Signature: _____ Title: _____		



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes









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SATURDAY - SUNDAY  
10AM - 5PM

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10:00AM - 6:00PM  
SATURDAY - SUNDAY  
10:00AM - 4:00PM

MONDAY - FRIDAY  
10:00AM - 6:00PM  
SATURDAY - SUNDAY  
10:00AM - 4:00PM

AVA

+1

JOH





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SUITE 311



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# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

---

AGENDA ITEM NO. VIII. 1

MEETING DATE: 2/27/2023

---

**ITEM TITLE:** 31 East St. – NE Underlayments – A site plan app. for a tenant change under pre-existing nonconforming interior storage use in the R-R Zoning District.

**PROJECT LEAD:** Chris LaFlamme

**APPLICANT:** Geoffery Konis, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

---

**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Recommendation

---

**SUMMARY STATEMENT:**

Geoffery and Janet Konis submitted an Application for Site Plan Review for a tenant change of the property at 31 East St. Mr. Konis is proposing to utilize the existing structure for interior storage of materials associated with his Northeast Underlayments business. The town Zoning Enforcement Officer originally determined that a use variance was required. At their 2/15/23 meeting the ZBA reversed that decision thereby eliminating the need for a use variance for the reasons noted below.

**BACKGROUND INFORMATION**

Geoffery and Janet Konis submitted an Application for Site Plan Review for a tenant change of the property at 31 East St. Mr. Konis is proposing to utilize the existing structure for interior storage of materials associated with his Northeast Underlayments business.

The property is currently a pre-existing nonconforming facility for Barbera Concrete, Inc that is under notice and orders from the Building Department for failing to comply with the Zoning Code. The current tenant has not received site plan approval for its current tenancy and has not received Town approval for its outdoor storage. The property is under a purchase contract contingent upon planning approval – and this is a good time to address the outstanding issues with the property with the proposed tenant change.

The property is located within the R-R Rural Residential zoning district. A storage facility is not a permitted principal use or a special principal use in the R-R zoning district.

The following details regarding the proposed use were included with the application.

- Year round use, 5 days per week M-F
- Will be used for the storage of materials



- Delivery of materials will occur approx. 2X per week – 2 to 3 trucks
- NE Underlayment workers will arrive at 7 – 8 a.m. daily, load up, go out to jobs & return at 3 – 4 p.m.
- Propose addition of a bathroom & crew room
- Propose locating a dumpster on site for dry trash and construction debris
- Trailers would be left on site
- Exterior lighting (motion sensor activated) directed downward

Northeast Underlayments states they are an ARDEX Preferred Installer of cementitious underlayments, toppings, patches, Portland and Gypsum Floors and other products that most subcontractors cannot access. They are also a long well established independent, locally owned and operated authorized Dealer for The Icynene Spray Foam Insulation System.

A site plan sketch showing the proposed locations for the garbage dumpster, personal parking, truck parking, truck or trailer parking and new green space areas was also included with the application.

At the request of the Planning Board during the 1/9/23 PB meeting, a sketch of the existing interior floor plan entitled “Building As-Is” by North East Underlayments was provided as well as a similar sketch of the applicant’s proposed interior floor plan. The interior of the building is currently one large open storage area. The proposed interior floor plan includes the addition of a 6’ x 6’ (36 sq. ft.) bathroom and a 32’ x 10’ (320 sq. ft.) open office area.

1/9/23 Planning Board (PB) meeting – Mr. Konis attended the PB meeting in-person and presented his application to the Board. He noted that Northeast Underlayment’s main facility is located in North Creek, NY but they do quite a bit of business in the Niskayuna / Schenectady County area and would like to have a location in the area. He stated they would like to add an office area and bathrooms inside the existing building and park their trucks on the lot overnight. Ms. Robertson noted that the property is pre-existing nonconforming and any deviation from using the property and building as they currently exist for the use of indoor storage will require the granting of a use variance by the ZBA. The PB asked Mr. Konis to provide a sketch of the proposed interior floorplan for the building.

The Planning Office reviewed the application and issued a denial of the Application for Site Plan Review based on the following.

Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. The property is currently a pre-existing nonconforming use with 100% of interior area used as interior storage, as shown in the “Building As-Is” floorplan sketch. As proposed, the sketch of the proposed interior floorplan reduces the square footage of interior storage area and transforms that area to a 32’ x 10’ (320 sq. ft.) general office area and 6’ x 6’ (36 sq. ft.) bathroom area. As proposed, the transformation of the 356 sq. ft. of interior storage area to general office area including a bathroom area, changes the use from interior storage to general office use. General office use is not a permitted principal use or a special principal use in the RR-80 zoning district.

Section 220-52 Changes in nonconforming uses (A) states: “No nonconforming use shall be changed to other than a conforming use for the district in which it is situated.” As proposed and stated above, general office use is not a conforming use in the RR-80 zoning district, therefore a use variance is required.



1/23/23 Planning Board (PB) meeting – Mr. Konis attended the meeting and described the floorplan drawing that was provided. The PB requested additional information such as: the number of employees that will be at the site, the number of and type of vehicles that will be at the site and how long the various vehicles are expected to be at the site. They also noted that in the use variance application, and to properly inform them so that they can make a recommendation to the ZBA regarding the application, a financial analysis demonstrating that dry storage alone is not economically feasible is required.

2/1/23 Conservation Advisory Council (CAC) meeting – Janet Konis, applicant, was present at the meeting via a video conference link. She had gathered the information that the PB requested during their 1/23/23 meeting and provided the following.

- 1 truck with a trailer will be left at the site overnight
- 1 car and office worker will be at the site during normal working hours
- 1 car and sales person will be in and out of the building multiple times per day

Chairman Strayer noted that a large truck comes and goes currently with the present dry interior storage use. The CAC carefully reviewed the EAF form that was provided and unanimously approved a motion to make a Negative SEQR declaration (findings attached).

2/13/23 Planning Board (PB) meeting – The PB reviewed the project and discussed the CAC's Negative SEQR declaration. The Planning Office noted that the Schenectady County Department of Economic Development & Planning responded to the Town's Zoning Coordination and Referral submission with a deferral to local consideration. The Board recommended 6-1 that the ZBA grant the use variance.

2/15/23 Zoning Board of Appeals (ZBA) meeting – The applicant's request for a use variance was heard by the ZBA at their regularly scheduled meeting on 2/15/23. The Board decided to reverse the determination of the Zoning Enforcement Officer that a use variance was required. Based upon the evidence presented by the applicant, the Board found that the proposal complied with Town Code Section 220-54. The Board did not find an overall change or increase in nonconforming use (Town Code Section 220-52); therefore no use variance was required. They based their decision on the following points.

- The proposed office / restroom area is incidental to the interior storage use due to its small size relative to the overall size of the building.
- The Board found no increase in inherent nuisance to the proposal.
- The ZBA noted the lack of proposed exterior storage was critical to their decision
- The Board found no significant extension or alteration to the structure, and noted that the landscaping and façade improvements would help the building blend into the surrounding residential neighborhood and bike path.

The site plan application was referred back to the Planning Board for site plan review with an advisory note that no outdoor storage is allowed under these findings and any vehicles parked on the property have to be registered, licensed and operational.

2/22/23 Architectural Review Board (ARB) – The ARB briefly reviewed images of the project site, the condition and appearance of the existing building and the applicant's main headquarters in North Creek, NY. Board members recognized the building from passing it while riding on the neighboring bike path. They confirmed that they would enjoy working with the applicant regarding architectural and aesthetic techniques to cost effectively improve the appearance of the building.



The PB should review the ZBA's decision and consider calling for a tentative resolution for the 3/13/23 PB meeting with conditions for Architectural and Tree Council review and approval prior to building permit, as well as a restriction for no outdoor storage and operation vehicles only onsite.



**TOWN OF NISKAYUNA**  
**ZONING BOARD OF APPEALS**  
**One Niskayuna Circle**  
**Niskayuna, New York 12309**  
**(518) 386-4530**

February 21, 2023

Geoffery and Janet Konis  
86 Ridge St  
North Creek, NY 12853

Dear Mr. and Mrs. Konis,

At its regularly scheduled meeting held on February 15, 2023, the Zoning Board of Appeals ("the Board") reviewed the following case:

Appeal by Geoffery and Janet Konis for a variance from Section 220-10 (A) and Section 220-52 (A) of the Zoning Ordinance of the Town of Niskayuna as it applies to the property at 31 East Street, Niskayuna, New York, located in the RR-80 Rural Residential Zoning District, to convert a portion of a pre-existing nonconforming interior storage building to office space and a bathroom. Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. General office use is not a permitted use in the RR-80 zoning district. Section 220-52 Changes in nonconforming uses (A) states: "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated." The property is currently a pre-existing nonconforming use with 100% of the interior area dedicated to dry interior storage. As proposed, 356 square feet of interior storage would be changed to a 32' x 10' (320 sq. ft.) general office area and 6' x 6' (36 sq. ft.) bathroom area. As proposed, a portion of pre-existing nonconforming interior storage building is proposed to change to a secondary nonconforming use, general office, therefore a use variance is required

It was the decision of the Board to reverse the determination made by the Zoning Enforcement Officer that a use variance was required. The applicant, purchaser of 31 East Street, provided details about the proposed use of the space including total square footage of indoor storage space, number of employees present, hours of operation, proposed repairs to the building and improvements to the landscaping. Based upon the evidence presented, the Board found that the proposal complied with Town Code section 220-54, maintenance of the nonconforming use (indoor storage), because the proposed office/restroom area was incidental to the interior storage use due to the discussion regarding the amount of space the proposed office/restroom area would occupy compared to the size of the total building. The Board found no increase in inherent nuisance to the proposal and indicated the lack of outdoor storage was critical to this decision. The Board also found no significant extension or alteration to the structure, indicating that the landscaping and façade improvements would help the building blend into the surrounding residential properties and bike path, and would reduce the impact of the nonconforming use to the neighborhood. The Board did not find an overall change or increase in nonconforming use (Town Code Section 220-52); therefore no use variance was required.

The site plan application was referred back to the Planning Board for site plan review with an advisory note that no outdoor storage is allowed under these findings and any vehicles parked on the property have to be registered, licensed and operational.

The Board based its decision on the findings of fact set forth in the applicant's appeal and the discussion between the applicant (or the applicant's representative) and the Board members during the meeting. You can view a video of the meeting at <https://www.youtube.com/watch?v=99Zc1gWYMn4&list=PLfof9Ej2RfcNoJbueLoRmi35Si39n5hVl&index=30>.

The approval of a variance by the Board does not constitute authorization to proceed with the establishment on extension of any use, nor the construction of any structure. It shall authorize the filing of an application for permits with the Building Department on approval as required by Town Code.



Town Code Section A235-10(D) provides: "Unless otherwise specified, any order or decision of the Board for a permitted use shall expire if a building or occupancy permit for the use is not obtained by the applicant within 90 days from the date of the decision; however, the Board may extend this time an additional 90 days." As such, you must proceed with applying for a permit within 90 days of the date of this decision.

Sincerely,

*Keith Frary / LMS*

Keith Frary  
Chairperson

cc: Town Clerk  
Building Department  
ZBA File





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**Town of Niskayuna**  
**M E M O R A N D U M**

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**TO:** File

**FROM:** Laura Robertson, Town Planner

**DATE:** February 13, 2023

**RE:** 31 East St.

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At a regular Planning Board and Zoning Commission meeting held on February 13, 2023 the Planning Board reviewed a Recommendation to the ZBA regarding a site plan application for tenant change requiring a use variance to change a portion of the pre-existing nonconforming interior storage use to general office space in the RR-80 Zoning District. The application was denied by reason of failure to comply with the provisions of Section 220-10 (A) and Section 220-52 (A) of the Niskayuna Zoning Code for the following reasons:

Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. General office use is not a permitted use in the RR-80 zoning district.

Section 220-52 Changes in nonconforming uses (A) states: "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated." The property is currently a pre-existing nonconforming use with 100% of the interior area dedicated to dry interior storage. As proposed, 356 square feet of interior storage would be changed to a 32' x 10' (320 sq. ft.) general office area and 6' x 6' (36 sq. ft.) bathroom area. As proposed, a portion of pre-existing nonconforming interior storage building is proposed to change to a secondary nonconforming use, general office, therefore a use variance is required.

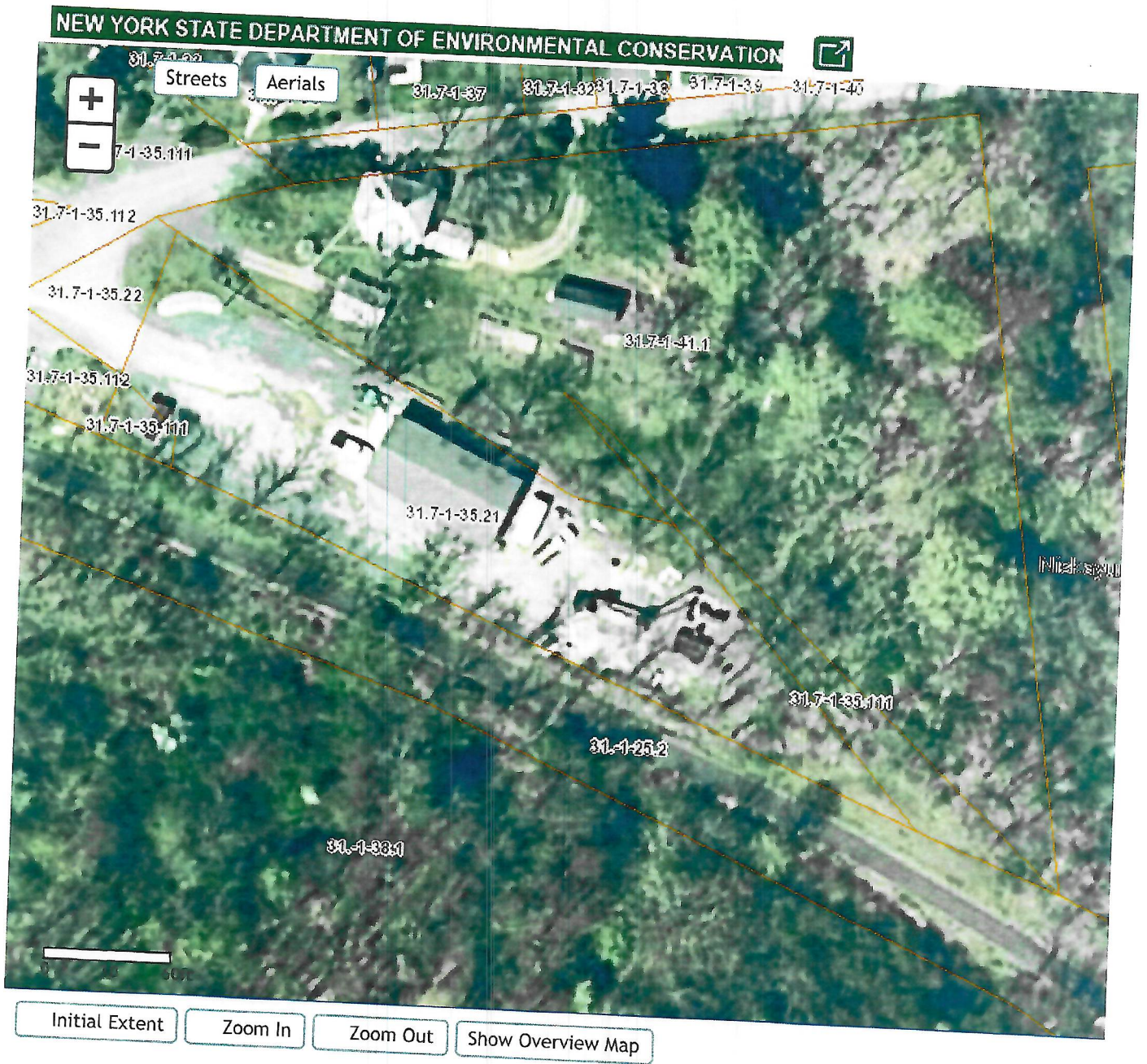
The Planning Board made the following recommendations:

**Effect on the Comprehensive Plan** - The Planning Board voted 7-0 that there IS AN EFFECT on the Comprehensive Plan because the proposal expands the current pre-existing nonconforming use to include a use that is not a permitted principal use, permitted accessory use or special principal use in the RR-80 zone.

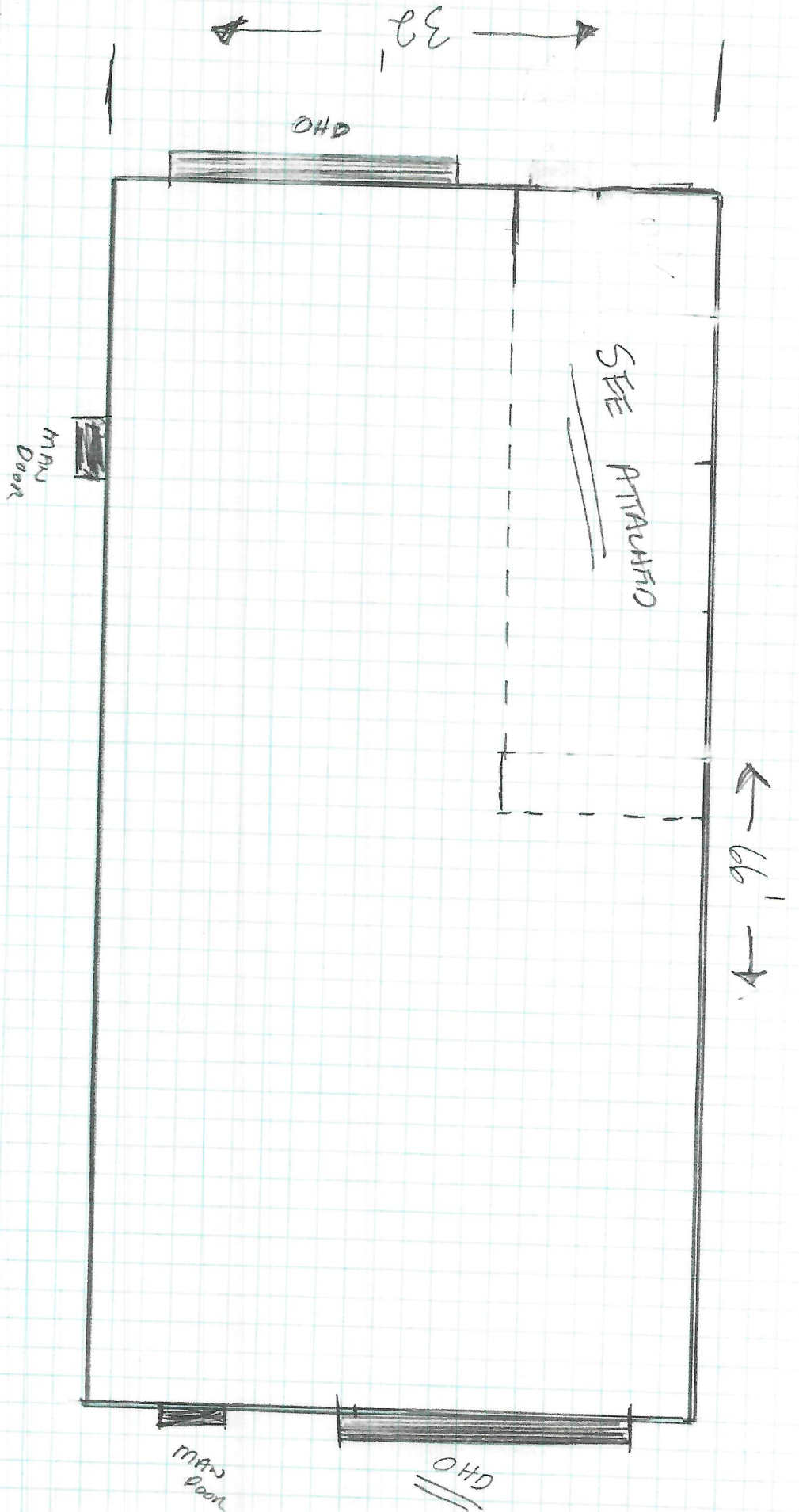
**Suitability of Use** - The Planning Board voted 6-1 that the use variance WAS SUITABLE for the area. The Board noted the proposal includes a small low impact business that will not include any walk-in customers, is less intense than the current use and as shown in the site plan will improve the current condition of the property. The Board also noted that this is a unique property that is not well suited to uses listed in the RR-80 zone. The one Board member who voted that the proposed use was not suitable expressed concerns about the ramifications granting of the variance could have with regards to future tenants and overall expansion of commercial use there.

**RECOMMENDATION** - The Planning Board voted 6-1 that the ZBA GRANT the use variance for the reasons noted, above. The dissenting voter reiterated the concern that granting the use variance could have a negative impact should a change in tenant occur.









\* BUILDING AS IS \*

1 SQ = 2' APPROXIMATELY



ENTRY  
DOOR

5x6  
ENTRY

6x6  
BATHROOM

DOOR  
TO SHOP

SHOP  
AREA

OPEN  
OFFICE  
AREA

DOOR  
TO  
SHOP

1/4" = 1'0" APPROXIMATELY



## Janet Konis

---

**From:** JMPR 57 <jmpr57@hotmail.com>  
**Sent:** Thursday, January 26, 2023 12:07 PM  
**To:** Janet Konis



This is our main  
Building in  
Warrensburg, NY  
7 Rocky Ridge Rd

We try to make  
things nice for  
our Community  
and our self's



Sent from JRKonis iPhone



## Janet Konis

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**From:** JMPR 57 <jmpr57@hotmail.com>  
**Sent:** Thursday, January 26, 2023 12:18 PM  
**To:** Janet Konis



Northeast Spray  
Foam Truck +  
Trailer

Sent from JRKonis iPhone



Google Maps 7 Rocky Ridge Road



Image capture: Sep 2014 © 2023 Google



7 Rocky Ridge Road

All

Street View & 360°

Rollies Road

Rocky Ridge F  
arrensburg, N

ain St



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
31 East ST			
Name of Action or Project: NORTHEAST Underlayments LLC			
Project Location (describe, and attach a location map):			
Brief Description of Proposed Action: To taking the building and carve out 15% of the inside for a open office and Bathroom			
Name of Applicant or Sponsor: Geoffery + Janet Konis		Telephone: 518-222-4170	
Address: 86 Ridge ST		E-Mail: JKonis@northeastunderlayments.com	
City/PO: North Creek		State: NY	Zip Code: 12853
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input type="checkbox"/> YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:			NO <input checked="" type="checkbox"/> YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		8 acres	
b. Total acreage to be physically disturbed?		8 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		0 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: <u>We are a Spray Foam Insulation Company</u> <u>and will take care insulation</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: <u>It would be a new</u> <u>Engineer System by John E Hitchcock Jr ABD Engineers</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			
_____			
_____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
_____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
_____		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>  Applicant/sponsor/name: _____ Date: <u>1/20/23</u> Signature: <u>Janet R. Konis</u> Title: _____		



## ZONING COORDINATION REFERRAL

For Use By SCDEDP

### SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING

Received \_\_\_\_\_

Case No. \_\_\_\_\_

Returned \_\_\_\_\_

Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

**FROM:** Legislative Body  
Zoning Board of Appeals  
Planning Board

Municipality: \_\_\_\_\_

**TO:** Schenectady County Department of Economic Development and Planning  
Schaffer Heights, 107 Nott Terrace, Suite 303  
Schenectady, NY 12308

(tel.) 386-2225  
(fax) 382-5539

**ACTION:** Zoning Code/Law Amendment  
Zoning Map Amendment  
Subdivision Review  
Site Plan Review

Special Permit  
Use Variance  
Area Variance  
Other (specify) \_\_\_\_\_

**PUBLIC HEARING OR MEETING DATE:** \_\_\_\_\_

**SUBJECT:**

**REQUIRED ENCLOSURES:**

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:  
  
the boundary of any city, village or town;  
the boundary of any existing or proposed County or State park or other recreation area;  
the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;  
the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;  
the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;  
the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

**SUBMITTED BY:**

Name: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

E-mail: \_\_\_\_\_ Phone: \_\_\_\_\_



Date: \_\_\_\_\_

Signature





# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

Purchasing

### **Applicant (Owner or Agent):**

Name Geoffery Konis

Address 86 Ridge ST  
North Creek, NY 12853

Email \_\_\_\_\_

Telephone 518-796-3695 Fax \_\_\_\_\_

### **Location:**

Number & Street 31 East ST

Section-Block-Lot 31.7 - 1 - 35.21

Zoning District RR

### **Proposal Description:** YEAR Round Use

Storage of material - Bathroom, Crew Room,  
delivery of material 2x @ week, possible 2-3  
trucks + Trailers left on site, Outside downward  
lighting on Building (motion sensor) Dumpster  
for Construction debris, dry trash. Travel would  
be in at 7 or 8 am load up out to jobs, back  
at 3 to 4 pm leave for home. Operation i's  
5 days a week m-f

Signature of applicant: \_\_\_\_\_

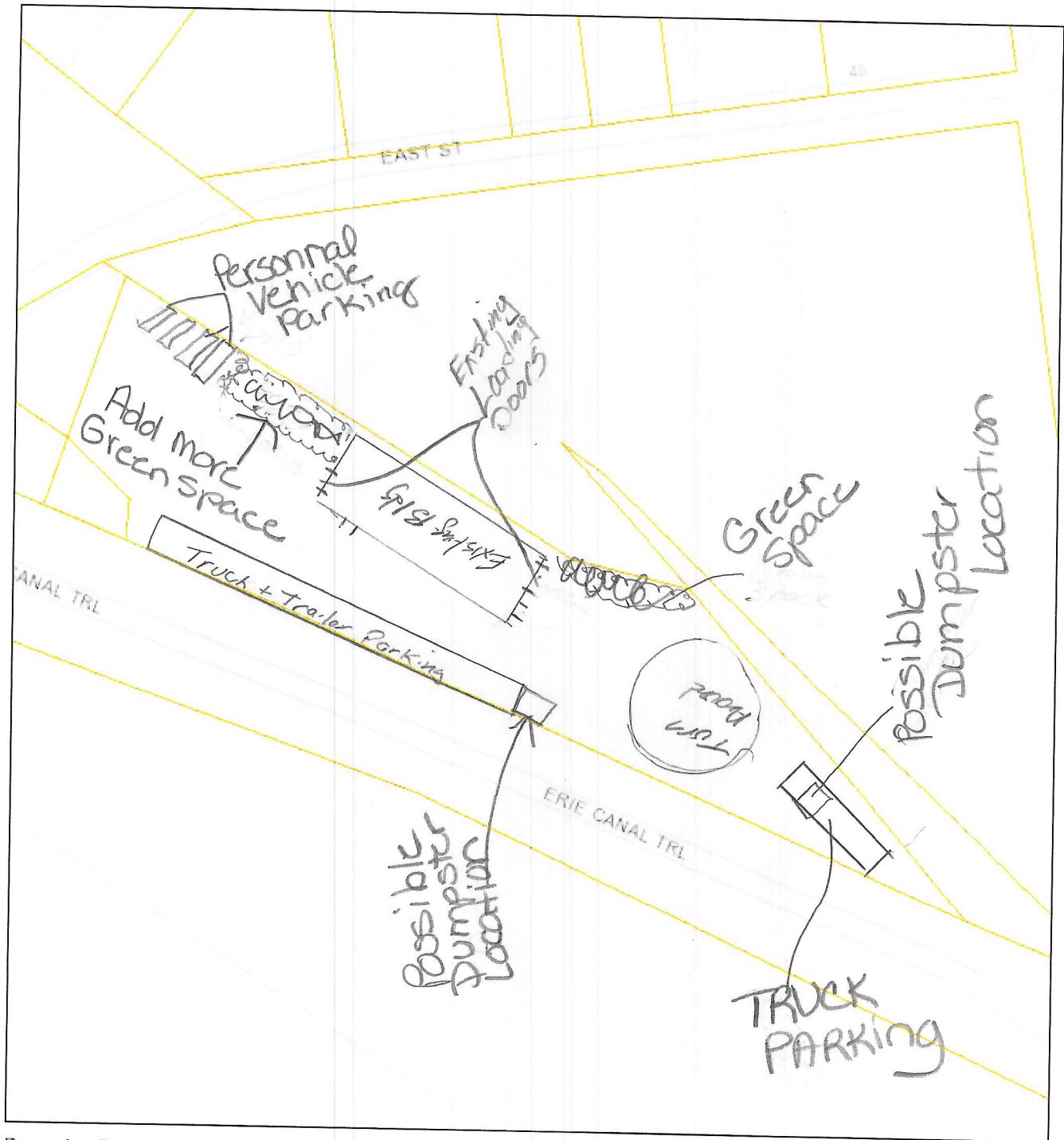
Date: 12/8/22

Signature of owner (if different from applicant): \_\_\_\_\_

Date: \_\_\_\_\_

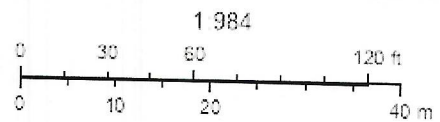


## Untitled Map



December 7, 2022

 Parcels



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox, and the GIS User Community

This map and information is provided as is. We make no warranties or guarantees, expressed or implied. No Author



## **CAC SEQR FINDINGS**

**EAF 2023-02**

**31 East St– Use Variance Application**

**2/1/2023**

### **PART 2**

**1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?**

Yes, the land use is rural residential and does not contemplate additional commercial. However, the CAC said that since this is already a non-conforming use and the applicant is trying to make it less impactful to the neighborhood, the conflict is small.

**2. Will the proposed action result in a change in the use or intensity of use of land?**

No. The intensity of the use will be less than is currently operating at the site. It was noted though that the currently operating business at the site wasn't reviewed or approved by the Town.

**3. Will the proposed action impair the character or quality of the existing community?**

No. Furthermore, the CAC noted that the agreement to cleaning up the lot and adding green spaces along the neighboring lot lines would benefit the existing community. It was also noted that less large trucks coming and going would also be a benefits.

**4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?**

No. There is no CEA in the area.

**5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?**

No. There will be little traffic implications for this project. Although the proposal is near access to the bike path, there will be no changes to that specific area. The CAC requested that a current wildflower field between the bike path access point and the property in question be left untouched.

**6. Will the proposed action cause an increase in the use of energy and/or does it fail to incorporate reasonably available energy conservation or renewable energy opportunities?**

No. The business is proposing to insulate the building and add a proposed heat pump.

**7. Will the proposed action impact existing: (a) public / private water supplies?(b) public / private wastewater treatment utilities?**

Yes, a small use. With the addition of a bathroom tapping into the public water supplies there will be some impact however very minimal and better than no bathroom onsite.

**8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?**



No to small impairment on historic, archaeological, architectural or aesthetic resources. The CAC noted the increased landscaping is important here.

**9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?**

No. Furthermore, with additional landscaping the above items may be enhanced.

**10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?**

No – there are no changes to impervious surfaces and additional landscaping will help.

**11. Will the proposed action create a hazard to environmental resources or human health?**

No. The CAC did not identify any hazards to environmental resources or human health but requested data sheets of storage of chemicals in the building .

**PART 3**

The Council discussed allowing this space to be partially used as an office space would be a new non-conforming use in the R-R zone, however, given that the current use of the property is non-conforming and the new proposal is less intensive, the use would not be burdensome to the community. With only a handful of people working there during the day, and the bigger crews only stopping by to pick up supplies, it was determined that there would not be many people coming and going as there has been.

The CAC noted concerns about an aesthetic change to the community. While the building will have to have some external modifications, most of the changes will occur inside the building, and the external updates will keep with the character of the current building. Furthermore, the applicants have committed to keeping green space on site and plan to add further trees, flowers and other plants to the site to buffer the neighboring residences.

The CAC discussed the addition of a septic system to the property, however due to the low usage projected on site this should have little impact on the neighbors.

The CAC discussed whether traffic would worsen on the narrow streets of the area, however, it was found that the largest trucks that would enter the site are already smaller than the ones currently used on the property, and would drive through with less frequency. Additionally, there would be no customers driving into the office space added.

The CAC discussed the proximity of the site to the Mohawk-Hudson Bike-Hike Trail. Given the fact that the applicants have committed to increased landscape to buffer by the trail and protection of the existing wildflower field, this was not deemed an issue.

**The CAC voted unanimously to recommend a negative declaration to the Zoning Board of Appeals on the Use Variance.**



## ZONING COORDINATION REFERRAL

### SCENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING

Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

For Use By SCDEDP

Received 2-7-23  
Case No. N-1-23  
Returned 2-14-23

**FROM:** ☐ Legislative Body  
☒ Zoning Board of Appeals  
☒ Planning Board

Municipality: \_\_\_\_\_

**TO:** Schenectady County Department of Economic Development and Planning  
Schaffer Heights, 107 Nott Terrace, Suite 303  
Schenectady, NY 12308

(tel.) 386-2225  
(fax) 382-5590  
Schenectady County

**ACTION:** ☐ Zoning Code/Law Amendment  
☐ Zoning Map Amendment  
☐ Subdivision Review  
☒ Site Plan Review

☐ Special Permit  
☒ Use Variance  
☐ Area Variance  
☐ Other (specify) \_\_\_\_\_

**FEB 07 2023**

Economic Development  
and Planning Dept.

**PUBLIC HEARING OR MEETING DATE:** February 15, 2023

**SUBJECT:** The Town of Niskayuna has received an application from Geoffery and Janet Konis for a use variance at 31 East Street. They would like to convert a portion of a pre-existing nonconforming interior storage building to office space and a bathroom. The property is located in the RR-80 Rural Residential Zoning District. General Office use is not permitted in the zoning district

**REQUIRED ENCLOSURES:** 1. Public hearing notice & copy of the application.  
2. Map of property affected. (Including Tax Map I.D. number if available)  
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:
  - ☐ the boundary of any city, village or town;
  - ☒ the boundary of any existing or proposed County or State park or other recreation area;
  - ☒ the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
  - ☐ the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
  - ☐ the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
  - ☐ the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

#### SUBMITTED BY:

Name: Laura Robertson

Title: Town Planner

Address: 1 Niskayuna Circle, Niskayuna, NY 12309

E-mail: lrobertson@niskayuna.org

Phone: 518-386-4530



Date: 2/1/23

Signature





## PLANNING & ZONING COORDINATION REFERRAL

Case No. N-01-23

Applicant Geoffery & Janet Konis

Referring Officer Laura Robertson

Municipality Niskayuna

Considerations: Regarding a pre-existing nonconforming storage building, requesting a use variance to add an office and bathroom. Property is in a Rural Residential (RR) District. Located at the end of east street approximately 400' east of Balltown Road immediately north of the Mohawk Hudson Bike Trail. Individual septic is proposed. Municipal water is provided.

### RECOMMENDATION

Receipt of zoning referral is acknowledged on February 7, 2023. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

- ☐ \*Approve of the proposal.
- ☒ Defer to local consideration (No significant county-wide or inter-community impact)
- ☐ Modify/Conditionally Approve. Conditions:

☒ Advisory Note:  
The site plan should identify location and engineering details for the proposed septic system.

☐ Disapprove. Reason:

\*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

2/13/23  
Date

  
Ray Gillen, Commissioner  
Economic Development and Planning





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 2

MEETING DATE: 2/27/2023

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**ITEM TITLE:** DISCUSSION: 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club – application for sketch plan approval including a Special Use Permit for a 22-lot Average Density Development (ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.

**PROJECT LEAD:** Genghis Khan & David D’Arpino

**APPLICANT:** Matthew Moberg, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Matthew Moberg, agent for the owner of the Mohawk Golf Club, submitted a Sketch Plan Application and average density development special use permit for a Major Subdivision of a 14 acre portion of the existing property including the construction of 10 single family homes and 12 townhomes.

A significant amount of new supporting material is provided for this project as noted in pages 6 & 7 of this Agenda Statement. However, an approved plan for the provision of utilities (primarily water and sewer) has been identified by the Town as a critical path item for this project. An approved plan is not included with the new material that was provided. The Planning Office has documented the new materials that were provided but an approved utility plan is required for further action.

**BACKGROUND INFORMATION**

The property is located within the R-1 Low Density Residential zoning district.

In November of 2022, the applicant submitted a sketch plan drawing entitled The following entitled “Sketch 22-lot Townhouse Layout Residential Subdivision Mohawk Golf Club 1851 Union St. and 1245 Ruffner Rd.” by ABD Engineers, LLP 411 Union St. Schenectady, NY dated October 20, 2022 and labeled Dwg. “5429A-S4 Townhouse” with no subsequent revisions and a 2-page drawing set entitled “Unit – A” by Pigliavento Builders. The initial sketch plan includes the removal of a single family home on Ruffner Road in order to construct access to the greater Mohawk Golf Club parcel.

The initial sketch plan was all townhome units (22). The Planning Department found that Townhomes, as single family dwellings, are a permitted principal use in the R-1 zoning district but, with their contiguous sidewall, they did not comply with the side setback requirement of the R-1 district and therefore required area variances from the Zoning Board of Appeals (ZBA). The aforementioned sketch plan drawing provided with the application included a table of 67 required area variances.



Additionally, in a letter to the applicant, the Planning Department outlined the following additional concerns over the initial sketch plan:

### **Utility Concerns**

The Town of Niskayuna maintains a 6 inch water main on Ruffner Road, which is in the High Pressure Zone. This Zone may not have the capacity to handle the addition of 22 single family units. An independent engineering analysis of the water system capacity for this area will be required.

The sewer line to the Niskayuna Waste Water treatment plant is near or at capacity. An independent engineering analysis of the sewer system capacity for this development may be required.

There are known drainage issues in the area. Depending on where the storm water management pond is discharged to – an independent downstream drainage analysis may be required.

A wetland delineation will be required.

### **Emergency Access**

Section 189-17 (J) (1) states: "Where cul-de-sacs are designed to be permanent, they should, in general, not exceed 500 feet in length and shall terminate in a circular turnaround having a minimum right-of-way radius of 60 feet and pavement radius of 45 feet." As these cul-de-sacs appear to be longer than 500 feet, the Planning Board should discuss a proposed secondary means of access for emergencies.

### **General Planning**

It is important to keep in mind the long term gains to the Mohawk Golf Club that come from integrating potential residential development into the golf course campus while preserving the natural and scenic quality of open space and ensuring the subdivision is in harmony with the development pattern of the neighboring residential properties.

Some thoughts to consider that may help with some of the above goals include:

1. A more organic shaped road which follows the contours of the land and has vistas which open out onto the golf course, which would add value both to the golf course and the proposed homes.
2. A walking connection from the proposed subdivision to the golf course.
3. Quality open spaces such as a gathering pavilion or picnic area which overlook the golf course and provide amenities to the home owners, which would continually connect them to the land and to the golf course.
4. Discussion on parkland, preservation of natural features and trees, and conformance with the Comprehensive Plan are important to the ultimate layout of any proposed subdivision in the area.

### **Complete Streets**

The Complete Streets Committee identified a critical multi-use path connection along the Mohawk Golf Club property – between Rosendale Heights (Country Club Estates) neighborhood and Ruffner Road, along the boundary with 1218 S Country Club Drive. A walking/biking



connection here would be critical to connecting neighborhoods and promoting alternative transportation methods that reduce greenhouse gas emissions. This connection should be a part of any development discussion to offset traffic impacts.

11/14/22 Planning Board (PB) meeting --- Mr. Dave Kimmer of ABD Engineering and Mr. Bill Sweet of the Mohawk Club presented the project to the PB. They noted that the proposed project would disturb approximately 10 acres of the property. The Board noted the number of variances that will be required particularly those related to the size of the proposed lots. The Planning Office stated that cul-de-sacs have emergency access challenges. The developers indicated that they believe the boulevard entrance with wide access roads should address this concern. The PB expressed concerns regarding the mass and scale of the garage doors that dominate the front facades of the townhomes. The PB asked that Mr. Kimmer and Mr. Sweet provide additional information on the items listed below.

1. Explore and present alternate site plan layouts that eliminate the need for cul-de-sacs. This may include ring roads or a road looping through the property.
2. Reduce the number of required variances by adjusting the lot sizes to be more zoning code compliant. This may require impeding on the currently proposed 50' buffer between the existing homes on Ruffner Rd. and the proposed townhomes.
3. Investigate widening the boulevard roads to facilitate emergency access.
4. Explore ways to decrease the visual impact of the aligned front facing garages, including working with the Niskayuna ARB.

11/15/22 Conservation Advisory Council (CAC) meeting – Dave Kimmer and Bill Sweet repeated the presentation they made to the PB on 11/14/22. During the discussion Mr. Sweet added that the Mohawk Club would maintain the storm water management areas. The CAC was concerned with the loss of greenspace with the proposal and asked for greenspace to be offset somewhere else on the Club parcel. The developer did not want to offset greenspace within the Mohawk Golf Club. The CAC requested the developer maximize the undevelopable greenspace within the subdivision by reducing some of the oversize lots at the ends and adding this area to the community greenspace. The CAC agreed with the additional detail the PB requested and added that they would like the developer to explore quantifying and mitigating the increased traffic on Ruffner Road and the surrounding area.

The Planning Office spoke with Mr. Kimmer about the Thanksgiving holiday shortened turnaround between the 11/14 and 11/28 PB meetings. Mr. Kimmer stated that they would not be able to address the action items in time for the 11/28 meeting and would target the 12/12/22 PB meeting, instead.

11/16/22 Architectural Review Board (ARB) meeting – the ARB reviewed the site plan and elevation images of the project very briefly at their 11/16/22 meeting. The Planning Office made them aware of the PB's concern regarding the size and proportion of the garage doors. The ARB will review the project in more detail during their December meeting.

11/28/22 Planning Board (PB) meeting – Mr. Kimmer attended the meeting and represented the applicant. The PB had a general discussion of the site plan that was presented at the 11/14/22 PB meeting. Ms. Robertson noted that the project is at the sketch plan phase of the review process. She reminded the PB that to approve the sketch plan they need to be generally in support of the design – 22 units, overall layout, etc. Mr. Kimmer explained how the proposed boulevard entrance to the subdivision complies with NYS Emergency Access Fire Code. He also presented a “loop layout” site plan design that disturbs approximately 25% - 30% more land and would include several “thru lots”.

The Board noted that demolishing an existing home and using the lot to create a boulevard entrance to the subdivision is a significant change to the two immediately adjacent properties and the neighborhood. They noted that this should be considered very carefully during the sketch plan review



process. They asked the applicant to thoroughly explore all possible access points to the land for alternate entrance and emergency access options. Ms. Robertson reminded Mr. Kimmer that the Niskayuna code is more stringent regarding the allowed length of cul-de-sac roads than the NYS Fire Code. Mr. Kimmer acknowledged that he has some additional CAD work to complete and committed to provide the materials requested in the 11/14/22 and 11/28/22 meetings.

12/6/22 -- The applicant provided the Planning Office with a significantly revised site plan design and documentation set on 12/6/22. The following documents were stamped "Received Dec 06 2022 Planning Office Niskayuna, NY".

1. A summary letter authored by Joseph J. Bianchine, P.E. addressed to Laura Robertson, Town Planner dated 12/6/22 that describes the new Average Density Development design proposal.
2. An Application for Special Use Permit
3. A 2-page (containing two options for page 1) site plan drawing entitled "Sketch 22-Lot Subdivision Average Density Development Mohawk Golf Club 1851 Union St. and 1245 Ruffner Rd." dated December 6, 2022 with no subsequent revisions.
4. A 1-page exhibit entitled "Alternate Access Exhibit Average Density Development Mohawk Golf Club" dated December 6, 2022 with no subsequent revisions.
5. A Full Environmental Assessment Form (EAF) dated 12/6/22.

The project summary letter describes the revised design as an Average Density Development subdivision consisting of a mix of 12 townhomes and 10 single family homes. The letter also includes the following description of the changes.

1. A secondary access to the subdivision is now shown in the plans. A 12' wide grass paver access road will connect to the existing golf course maintenance / cart path via a full width 60' Town R.O.W. stub off of the northern cul-de-sac.
2. There are two "Sheet 1s" included in the plan set. The second Sheet 1 demonstrates that it is possible, although less desirable, to meet the open space requirements for an ADD project set forth in Niskayuna zoning code Section 220-28 F (4) (a).
3. A separate color exhibit is included which demonstrates why building roads from either of the existing access points to the north or south along Ruffner Road would not be possible without steep slopes or excessive disturbance to existing golf course features and / or neighboring properties.

12/7/22 Conservation Advisory Commission (CAC) – The CAC reviewed the 12/6/22 site plan drawings. Mr. Kimmer of ABD Engineers and Mr. Sweet of the Mohawk Club attended the meeting and explained why the design has shifted back to an Average Density Design (ADD). They noted that a secondary emergency access road off of the north end of the property is included in the revised design. They explained that the project now includes 10 single-family homes and 12 townhomes and complies with all of the requirements of an ADD subdivision.

The CAC discussed with the applicant their concern for the reduction of quality wildlife habitat and open space from this proposal and asked if there is a consideration for offsetting the loss elsewhere on the golf course. The applicants agreed to explore a development restriction near the Schenectady Water reservoir that wouldn't the ability of the club to use the land for the golf course needs.

The CAC discussed with the applicant the long term plans for the development and protection of the golf club, including where future development could go along Balltown Road. They requested the applicant consider a long range plan for the golf club that would protect the golf club operations and outline anywhere there could be future changes and development.



The CAC felt there would be traffic impacts and wanted the applicant to explore traffic mitigation in the area, including a critical complete streets connection between Country Club Estates and Ruffner Road. The applicants agreed to see if they could fit a walking path connection from the corner of South and East Country Club Drive to Ruffner Road.

The Planning Office noted that the applicants should review the plan with the Town Water & Sewer Department and complete a traffic count analysis.

12/12/23 Planning Board (PB) meeting – Dave Kimmer, of ABD Engineers, and Bill Sweet of the Mohawk Club attended the meeting and described the revised site plan. Mr. Kimmer explained that the applicant had reimagined the project and is no longer pursuing 22 townhomes. The project is now proposed as an Average Density Development (ADD). This eliminates the need for the 67 area variances. He noted that ten (10) single-family detached homes are included and that an emergency access path was added. After a general discussion the Board stated they would prefer to provide access to the proposed development via. an existing easement or the extension of an existing road rather than demolishing an existing home to create room for a new road. They asked the applicants to explore providing access from East Country Club Drive. Dave Kimmer agreed to explore this option. The Board also reviewed and discussed the open space requirement of an ADD project.

1/9/23/23 Planning Board (PB) meeting – The project was not on the agenda for the 1/9/23 meeting.

1/23/2023 UPDATE: Dave Kimmer provided the Planning Office with the following documents in response to the action items noted in the 12/12/23 PB meeting.

- A modified site plan that now includes a roundabout at the intersection with Ruffner Rd to calm the existing traffic on Ruffer Rd and help mitigate impacts caused by the ADD project.
- An exhibit showing a proposed walking path connection between East Country Club Drive and Ruffner Rd.
- A typical townhome image with a side-load garage
  - Floor plans and elevation view images are included
- A 3-sheet traffic exhibit and document with supporting calculations (using ITE Trip Generation, 9<sup>th</sup> Edition)
  - The documents compare the estimated traffic (trip) impact of the ADD “as proposed” to the traffic impact that could be expected if alternative access points to the south and north are used thereby creating a “thru connection”.

Traffic Direction	Peak Period	As Proposed (trips)	Thru Connection (trips)
Southbound	AM	6.4	71.6
	PM	8.1	95.1
Northbound	AM	6.4	60.8
	PM	8.1	80.6

*Example* -- the ITE Trip Generation analysis is estimating that “As Proposed”, with a single entrance off of Rufner Rd., 6.4 trips of southbound traffic will be added during the AM peak and 8.1 trips of southbound traffic will be added during the evening peak.

Mr. Moberg and Mr. Sweet of the Mohawk Club led a project site walk on their property so that members of the Planning Board and Planning Office could see and assess the location first hand. The attendees included: Mr. Khan and Mr. D’Arpino of the Planning Board, Mr. Kimmer of ABD Engineers (engineer for the Mohawk Club) and Planning Office staff.



The Planning Office has initiated the process of securing a Town Designated Engineer (TDE) to review the traffic exhibit and other technical materials on behalf of the Town.

1/23/23 Planning Board (PB) meeting – Dave Kimmer, of ABD Engineers, and Bill Sweet of the Mohawk Club attended the meeting and presented their updated site drawings and traffic exhibit. A general discussion of the overall project followed that included topics of concern that were raised by neighboring residents during Privilege of The Floor earlier in the meeting. Ms. Robertson provided a top level summary of the project and briefly described the numerous steps that remain, including several public hearings, before the project could be acted on by the Planning Board. The Board requested that the applicant provide additional information on the following items.

- Demonstrate that they have taken a hard look at all options to provide access to the 14 acre site by creating fully documented design drawings for access from other points including: Rowe Rd., East Country Club Drive and the existing easement connecting to Ruffner Rd.
- Continue to formalize the proposed deed restrictions that have been discussed.
- Provide the Town Planning Office with a long term strategic plan for the Mohawk Club or initiate a process to work with the Town to develop one.

2/6/23 Meeting to discuss utilities – Dave Kimmer and Joe Bianchine of ABD Engineers and Bill Sweet of The Mohawk Club attended a meeting at Town Hall with staff from the Planning, Engineering and Legal Departments to discuss utility (water and sewer) related service to the proposed project site. The Town presented existing DEC capacity concerns in the gravity sewer trunk line along River Road to the wastewater treatment plant. They stated that a documented and approved water and wastewater plan for the project is a required next step. Without an approved plan for water and wastewater there is no way to know the true feasibility of the project.

2/22/23 Architectural Review Board (ARB) meeting – The ARB reviewed the most recent site plan documents for the project at their 2/22/23 meeting (rescheduled from 2/15/23). The Board commented that the existing plan, including the positioning & renderings of the proposed homes, neither capitalized on the potential for beautiful views of the golf course nor did it blend well with the neighboring homes. They commented that it appeared to be a “densified” design that located as many dwelling units as possible on the land. Their suggestion was to consider a smaller number of more upscale units on larger lots contiguous to the fairway with more picturesque views of the golf course. They noted that they would be happy to work with all involved parties as appropriate.

The Planning Office received an updated documentation package for the project on 2/17/23 consisting of the following.

1. **DENSITY EXHIBIT:** A “Density Exhibit” that depicts the number of lots (homes) on (10) ten, 14-acre areas of land contiguous to the proposed project site to the north, south and east.

	Project Site	1	2	3	4	5	6	7	8	9	10
Acres	14	14	14	14	14	14	14	14	14	14	14
Lots	22	28	25	28	25	25	20	19	23	48	46

2. **HISTORICAL EXHIBIT:** An 8-page “Historical Exhibit” that consists of aerial images of the proposed project site, including the surrounding lands, for the time span of 1940 thru 2021. The images provide a time stamped sequential progression of the development of this portion of Niskayuna.



3. **OVERALL GOLF COURSE MAP:** A 1-page image of the layout of the golf course and the overall club grounds including the driving range, 9-hole course and undeveloped land.
4. **OVERALL STORM WATER:** A 1-page map of the project area that includes existing storm water retention areas, the general direction of storm water flow on the land and proposed storm water management areas.
5. **SUBDIVISION PLAN:** A revised 3-page subdivision plan with a revision date of 2/16/23.
  - a. The plan indicates a connection to the sewer main on Ruffner Road
  - b. The traffic circle that was included in the previous drawing revision is removed.
6. **TRAFFIC STATISTICS:** A table of proposed traffic statistics using the ITE Trip Generation, 9<sup>th</sup> Edition manual.
7. **ALTERNATE LAYOUTS:** A 12-page document set of (9) nine alternate methods of providing primary and emergency access to the proposed 14 acre site including advantages and concerns for each method.
8. **ALTERNATE LAYOUTS TABLE:** A 4-page document that summarizes the (9) alternate layouts from the Alternate Layout exhibit including the advantages and concerns for each in a tabular format.
9. **COVER LETTER:** A 2-paged cover letter addressed to Ms. Laura Robertson, Town Planner dated 2/17/23 that lists the documents that were provided with the letter and a request to be placed on the agenda for the 2/27/23 Planning Board meeting.

As previously mentioned, it is the Town's policy to utilize a consulting engineering firm to act as a Town Designated Engineer (TDE) to review technical materials including but not limited to: water, sewer, drainage, traffic, roadways, etc. The Planning Office is securing quotations for this service and will initiate a technical review in the next few weeks.

As noted above during the 2/6/23 Utilities Meeting, it is the opinion of the Town Planning, Legal and Engineering Offices that an approved plan for the provision of water and sewer service is a required next step for this project.

The Planning Board may review and comment on the additional materials provided with the applicant's letter dated 2/17/23, especially concerning direction to the applicant about possible alternative entrances, but no further action should be taken without preliminary water and sewer service plans submitted to the Town that address the issues detailed in the 2/6/2023 meeting.



PARTNERS  
JOSEPH J. BIANCHINE, P.E.  
LUIGI A. PALLESCHI, P.E.  
ROBERT D. DAVIS, JR., P.L.S.

**ABD ENGINEERS, LLP.**  
411 Union Street  
Schenectady, NY 12305  
518-377-0315 Fax 518-377-0379  
www.abdeng.com

DEDICATED  
RESPONSIVE  
PROFESSIONAL

February 17, 2023

**Re: Mohawk Golf Club Subdivision  
1849 Union St & 1245 Ruffner Rd  
Town of Niskayuna  
Project #5429A**

---

Ms. Laura Robertson, Town Planner  
**Town of Niskayuna**  
One Niskayuna Circle  
Niskayuna, NY 12309-4381

Dear Laura:

In response to the feedback received to date from the Town Planning Board, Planning Department, and from neighbors of the proposed Mohawk Golf Club Subdivision, we have made the following revisions to the plans, as noted below:

1. The subdivision plan has been modified to remove the roundabout at the intersection with Ruffner Road. A standard T intersection is proposed instead.
2. A twelve-sheet exhibit is enclosed, showing the proposed layout (Scheme #1) compared to eleven other fully detailed alternate schemes. The scheme number, along with advantages and concerns for each scheme are shown in yellow on each sheet.
3. A supplemental document is also enclosed to accompany the alternate scheme exhibit listed above, with each scheme, description, advantages, and concerns in a table format.
4. An overall course map is enclosed, showing the entire golf course property in the context of the surrounding roads and neighborhoods. Each area of the property is outlined and labeled.
5. A second overall course map is enclosed, showing the existing and proposed drainage patterns and how they flow through the golf course to the Town's stormwater system.
6. A neighborhood density map is enclosed, demonstrating that the density of the proposed subdivision is in character with the density of the surrounding neighborhood.



7. An eight-sheet historical exhibit is enclosed, showing the property boundary of the Mohawk Golf Course superimposed over historical aerial imagery from 1942 to 2021. This exhibit demonstrates that for at least 80 years (A) the layout of the golf course has remained the same, and (B) the surrounding woods and farmland have been developed over time, in many stages, to make way for new housing.
8. An updated traffic table is enclosed, showing only the additional traffic that is anticipated from the proposed subdivision.

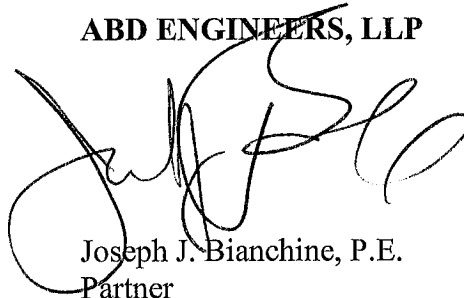
Enclosed for further review of the proposed Mohawk Golf Club subdivision are the following revised materials:

1. Three (3) copies of the revised Subdivision Plans
2. Three (3) copies of the Alternate Layout Exhibits
3. Three (3) copies of the Alternate Layout Table
4. Three (3) copies of the Overall Course Map
5. Three (3) copies of the Overall Stormwater Map
6. Three (3) copies of the Neighborhood Density Map
7. Three (3) copies of the Historical Exhibits
8. Three (3) copies of the revised Traffic Table

We greatly appreciate you scheduling this project for review at the February 27, 2023 Planning Board meeting. Should you have any questions or need anything further, please do not hesitate to contact me.

Very truly yours,

**ABD ENGINEERS, LLP**

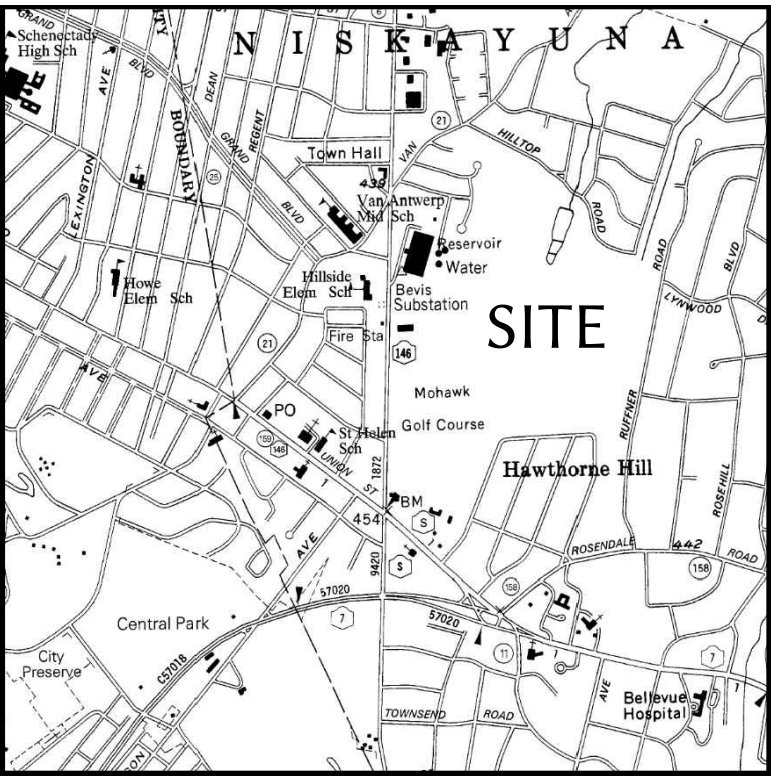


Joseph J. Bianchine, P.E.  
Partner

JJB:dmk  
encl.

cc: Matt Moberg w/encl (via email)  
Bill Sweet w/encl (via email)  
5429A-2023-02-17





## SITE LOCATION

GENERAL NOTES:

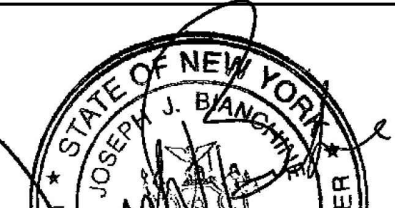
1. BASE MAPING PREPARED BY ABD ENGINEERS, LLP FROM A FIELD SURVEY COMPLETED IN JUNE 2021, AND GIS INFORMATION.
2. THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST WITHIN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXISTING, EVEN APPROXIMATE, LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS OR HER RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PROVIDE (48) HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.F.P.O. (1-800-962-7962).
3. EXISTING AND PROPOSED GAS, ELECTRIC, AND TELECOMMUNICATIONS SERVICE LAYOUTS ARE SCHEMATIC ONLY. ALL REMOVALS, FINAL LOCATIONS, AND ALL REQUIREMENTS SHALL BE COORDINATED WITH ALL UTILITY COMPANIES.

ZONING: R-1 (LOW DENSITY RESIDENTIAL) – SINGLE FAMILY DWELLINGS		
	REQUIRED (CONVENTIONAL ZONING)	REQUIRED (AVG. DENSITY DEVELOPMENT)
LOT AREA:	18,000 SF MIN.	9,000 SF MIN.
LOT WIDTH:	100' MIN.	50' MIN.
LOT DEPTH:	125' MIN.	62.5' MIN.
LOT COVERAGE:	25% MAX.	25% MAX.
YARD DIMENSIONS:		
FRONT:	35' MIN.	17.5' MIN.
SIDE:	20' MIN.	10' MIN.
REAR:	25' MIN.	12.5' MIN.

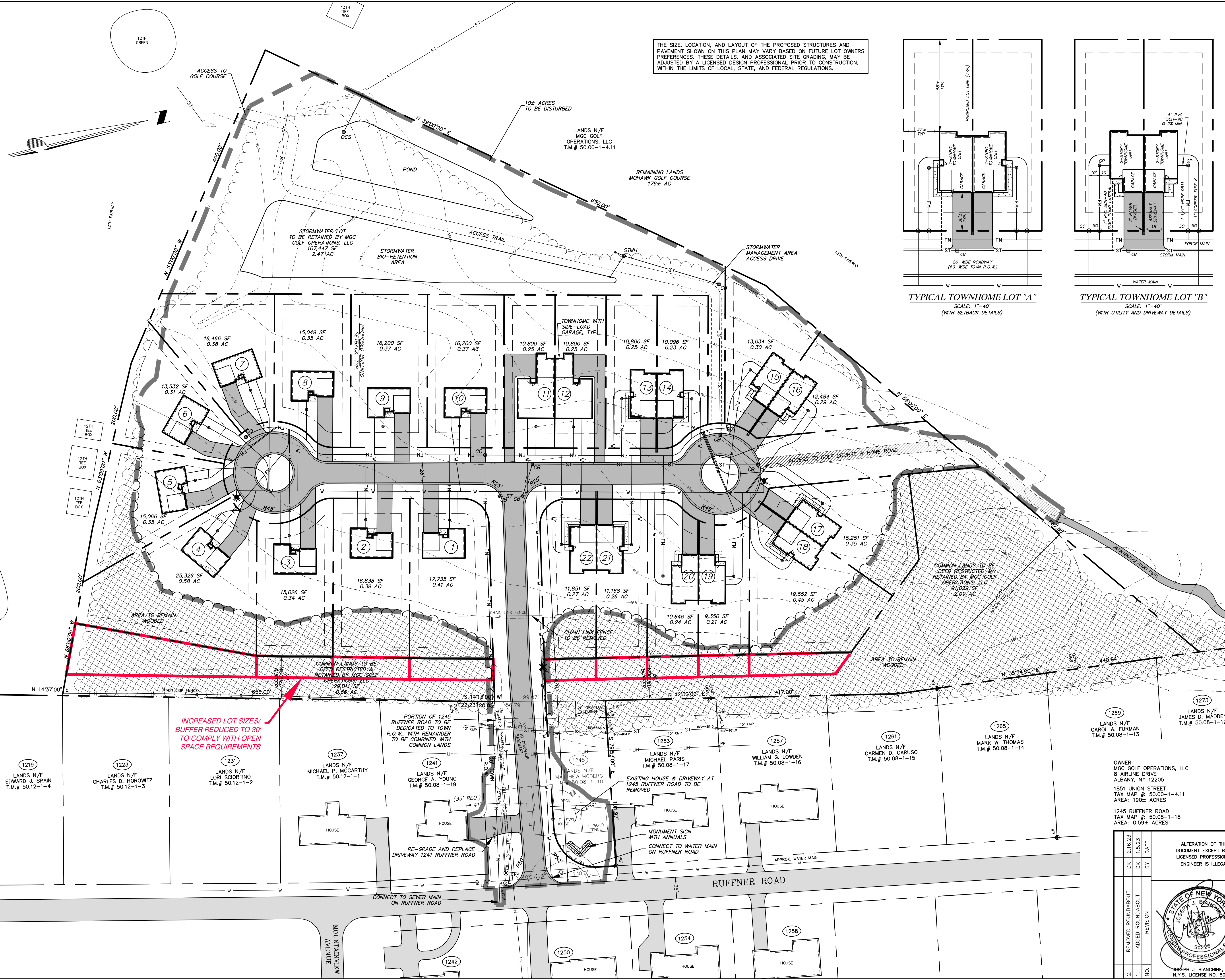
APPROXIMATE SITE STATISTICS		PROPOSED	
BUILDINGS:	38,000± SF	6.2%	
PAVEMENT:	75,000± SF	12.1%	
GREEN SPACE:	505,200± SF	81.7%	
TOTAL	628,472± SF (14.43± AC)	100.0%	

OPEN SPACE STATISTICS	
STANDARD TOTAL LOT AREA (18,000 SF X 22):	396,000 SF
PROPOSED TOTAL LOT AREA:	313,274 SF
PERCENT REDUCTION:	20.9%
TOTAL PROJECT AREA:	628,472 SF
PROPOSED OPEN SPACE:	120,050 SF
PERCENT OPEN SPACE: (SHALL BE GREATER THAN OR EQUAL TO PERCENT REDUCTION)	19.1%

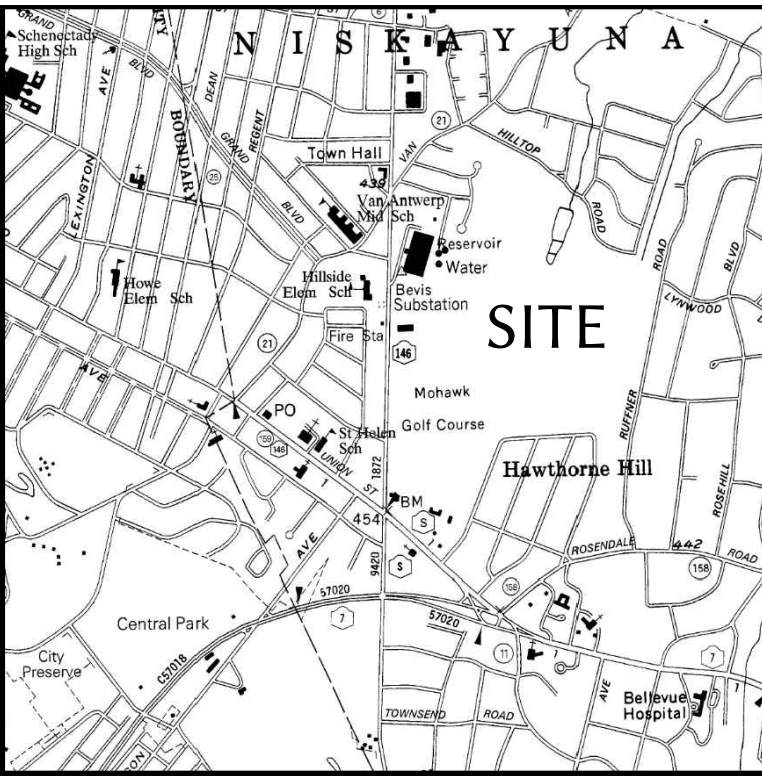
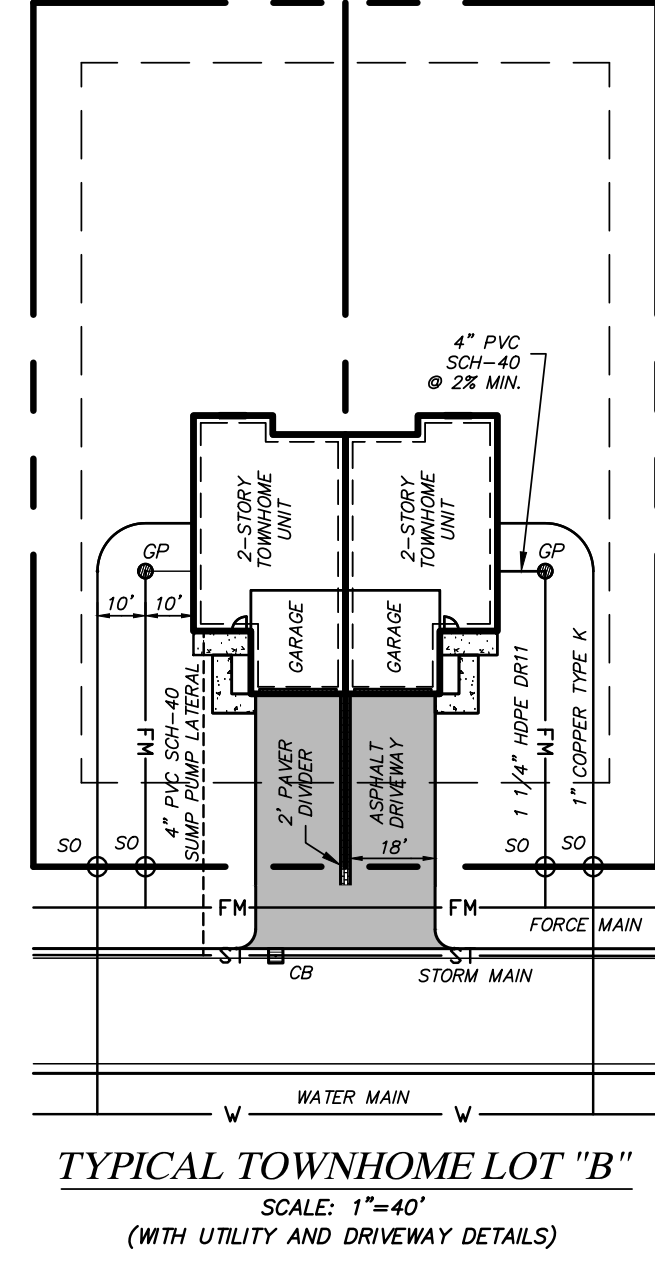
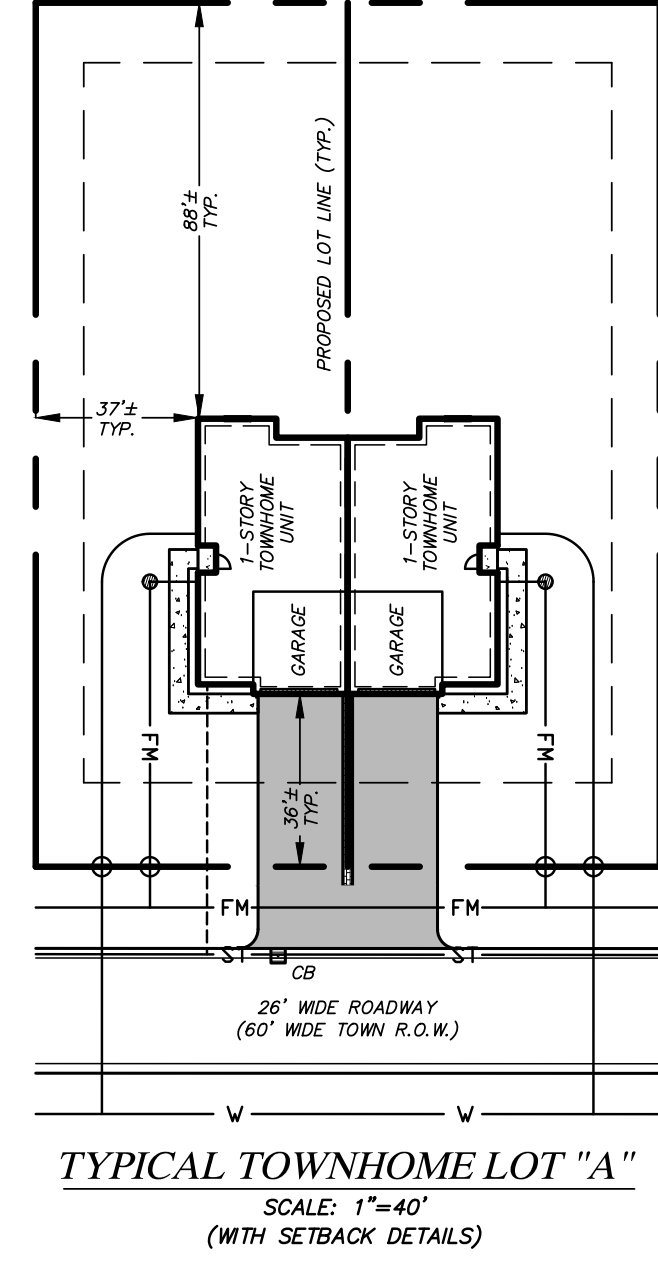
## NON-COMPLIANT OPEN SPACE PERCENTAGE

2.	REMOVED ROUNDABOUT	DK	2.18.23	ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS ILLEGAL  	SKETCH 22-LOT SUBDIVISION <b>AVERAGE DENSITY DEVELOPMENT</b> <b>MOHAWK GOLF CLUB</b> 1851 UNION STREET & 1245 RUFFNER ROAD
1.	ADDED ROUNDABOUT	DK	1.5.23		
NO.	REVISION	BY	DATE		
JOSEPH J. BIANCHINE, P.E. N.Y.S. LICENSE NO. 50226					TOWN OF NISKAYUNA      COUNTY OF SCHENECTADY STATE OF NEW YORK <b>ABD ENGINEERS, LLP</b> 411 Union Street Schenectady, NY 12305 518-377-0315 Fax 518-377-0379 <a href="http://www.abdeng.com">www.abdeng.com</a>
DATE: DECEMBER 6, 2022					SCALE: 1" = 50' DWG. 5429A-S4 AVG SHEET 1 OF 2





THE SIZE, LOCATION, AND LAYOUT OF THE PROPOSED STRUCTURES AND PAVEMENT SHOWN ON THIS PLAN MAY VARY BASED ON FUTURE LOT OWNERS' PREFERENCES. THESE DETAILS, AND ASSOCIATED SITE GRADING, MAY BE ADJUSTED BY A LICENSED DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION, WITHIN THE LIMITS OF LOCAL, STATE, AND FEDERAL REGULATIONS.



SITE LOCATION

- GENERAL NOTES:
- BASE MAPPING PREPARED BY ABD ENGINEERS, LLP FROM A FIELD SURVEY COMPLETED IN JUNE 2021, AND GIS INFORMATION.
  - THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST WITHIN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS OR HER RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PROVIDE (48) HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.F.P.O. (1-800-962-7962).
  - EXISTING AND PROPOSED GAS, ELECTRIC, AND TELECOMMUNICATIONS SERVICE LAYOUTS ARE SCHEMATIC ONLY. ALL REMOVALS, FINAL LOCATIONS, AND INSTALLATION REQUIREMENTS SHALL BE COORDINATED WITH ALL UTILITY COMPANIES.

ZONING:	R-1 (LOW DENSITY RESIDENTIAL) - SINGLE FAMILY DWELLINGS	
	REQUIRED (CONVENTIONAL ZONING)	REQUIRED (AVG. DENSITY DEVELOPMENT)
LOT AREA:	18,000 SF MIN.	9,000 SF MIN.
LOT WIDTH:	100' MIN.	50' MIN.
LOT DEPTH:	125' MIN.	62.5' MIN.
LOT COVERAGE:	25% MAX.	25% MAX.
YARD DIMENSIONS:		
FRONT:	35' MIN.	17.5' MIN.
SIDE:	20' MIN.	10' MIN.
REAR:	25' MIN.	12.5' MIN.

APPROXIMATE SITE STATISTICS			PROPOSED
BUILDINGS:		38,000± SF	6.2%
PAVEMENT:		75,000± SF	12.1%
GREEN SPACE:		505,200± SF	81.7%
TOTAL:		628,472± SF (14.43± AC)	100.0%

OPEN SPACE STATISTICS	
STANDARD TOTAL LOT AREA (18,000 SF X 22):	396,000 SF
PROPOSED TOTAL LOT AREA:	336,323 SF
PERCENT REDUCTION:	15.1%
TOTAL PROJECT AREA:	628,472 SF
PROPOSED OPEN SPACE:	95,530 SF
PERCENT OPEN SPACE:	15.2%
(SHALL BE GREATER THAN OR EQUAL TO PERCENT REDUCTION)	

COMPLIANT OPEN SPACE PERCENTAGE

OWNER:  
MGC GOLF OPERATIONS, LLC  
8 AIRLINE DRIVE  
ALBANY, NY 12205  
1851 UNION STREET  
TAX MAP # 50.08-1-4.11  
AREA: 190± ACRES  
1245 RUFFNER ROAD  
TAX MAP # 50.08-1-18  
AREA: 0.59± ACRES

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS ILLEGAL

JOSEPH J. BIANCHINI, P.E.  
N.Y. LICENSE NO. 50226

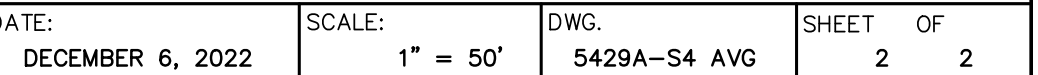
SKETCH 22-LOT SUBDIVISION  
**AVERAGE DENSITY DEVELOPMENT**  
**MOHAWK GOLF CLUB**  
1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY

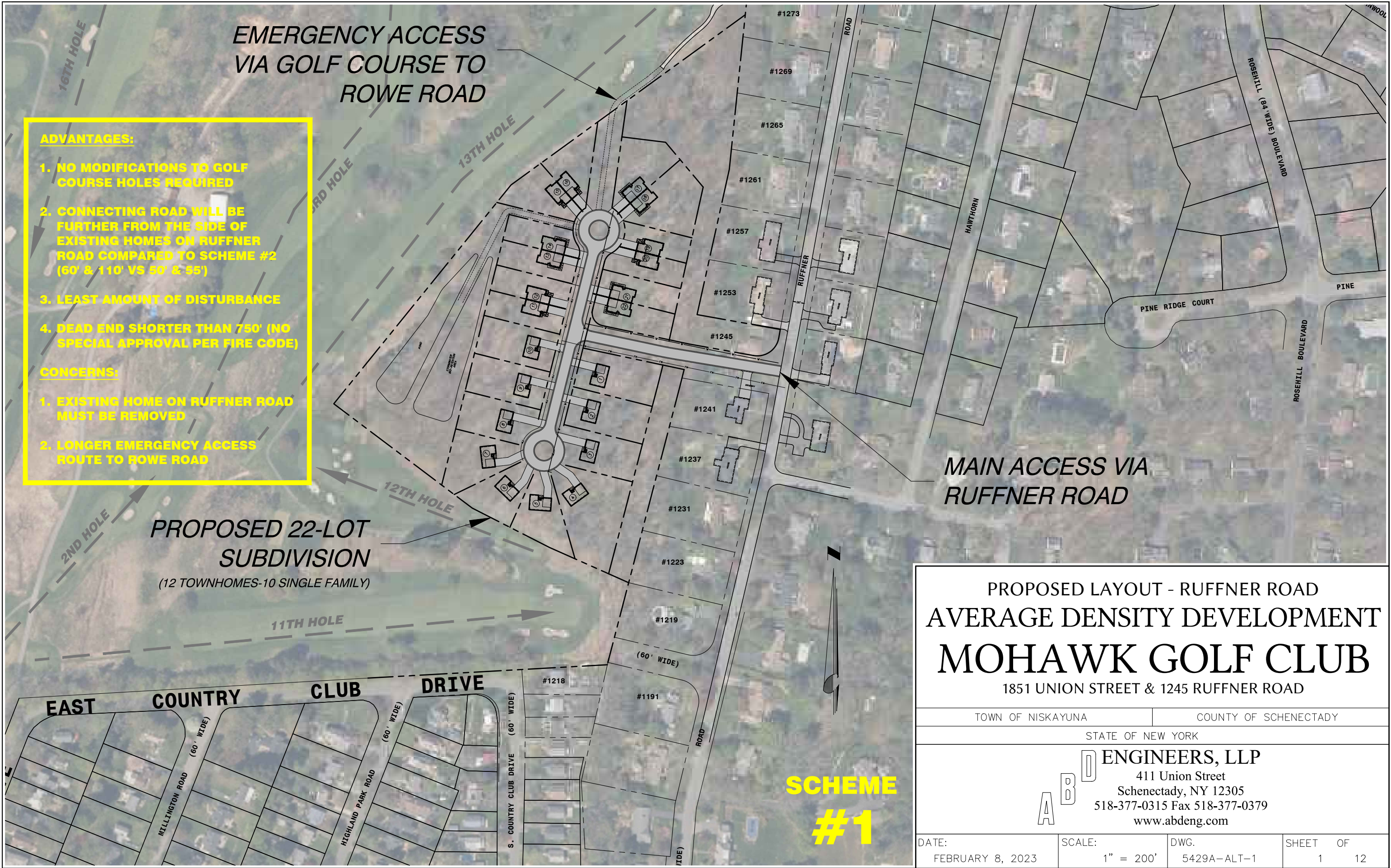
STATE OF NEW YORK  
**ABD ENGINEERS, LLP**  
411 Union Street  
Schenectady, NY 12305  
518-377-0315 Fax 518-377-0379  
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DATE: DECEMBER 6, 2022 SCALE: 1" = 50' DWG. 5429A-S4 AVG SHEET 1 OF 2











**PROPOSED 22-LOT  
SUBDIVISION**  
(12 TOWNHOMES-10 SINGLE FAMILY)

**ADVANTAGES:**

**1. EXISTING HOME ON RUFFNER ROAD  
REMAINS**

**CONCERNS:**

**1. 11TH HOLE OF GOLF COURSE MUST  
BE MODIFIED**

**2. CONNECTING ROAD WILL BE  
CLOSER TO THE SIDE OF EXISTING  
HOMES ON RUFFNER ROAD  
COMPARED TO SCHEME #1  
(50' & 55' VS 60' & 110')**

**3. 0.5± ACRE ADDITIONAL  
DISTURBANCE**

**4. 75± LF ADDITIONAL NEW ROADWAY**

**5. DEAD END LONGER THAN 750' MAY  
REQUIRE SPECIAL APPROVAL PER  
FIRE CODE**

**MAIN ACCESS VIA  
RUFFNER ROAD**

**EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD**

**SCHEME  
#2**

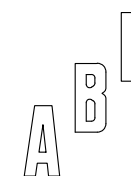
**ALTERNATE LAYOUT - RUFFNER ROAD STUB  
AVERAGE DENSITY DEVELOPMENT  
MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK



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DATE:  
FEBRUARY 8, 2023

SCALE:  
1" = 200'

DWG.  
5429A-ALT-2

SHEET OF  
2 12



**PROPOSED 22-LOT  
SUBDIVISION**  
(12 TOWNHOMES-10 SINGLE FAMILY)

**ADVANTAGES:**

**1. EXISTING HOME ON RUFFNER ROAD  
REMAINS**

**CONCERNS:**

**1. 11TH HOLE OF GOLF COURSE MUST  
BE MODIFIED**

**2. CONNECTS TO OLDER, NARROWER  
EXISTING STREET (24'W VS 26'W)**

**3. MORE HOMES DIRECTLY AFFECTED  
BY ADDITIONAL TRAFFIC TO  
ROSENDALE ROAD (48 VS 26)**

**4. NORTHBOUND AND SOUTHBOUND  
TRAFFIC CONCENTRATED TO ONE  
DIRECTION**

**5. NEW ROADWAY IN CLOSER  
PROXIMITY TO BACK YARDS ON  
RUFFNER ROAD**

**6. 1± ACRE ADDITIONAL DISTURBANCE**

**7. 15± LF ADDITIONAL NEW ROADWAY**

**8. DEAD END LONGER THAN 750' MAY  
REQUIRE SPECIAL APPROVAL PER  
FIRE CODE**

**EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD**

**MAIN ACCESS VIA  
EAST COUNTRY  
CLUB DRIVE**

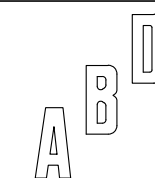
**ALTERNATE LAYOUT - COUNTRY CLUB DRIVE (A)  
AVERAGE DENSITY DEVELOPMENT  
MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK



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Schenectady, NY 12305  
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DATE:  
FEBRUARY 8, 2023

SCALE:  
1" = 200'

DWG.  
5429A-ALT-3A

SHEET OF  
3 12

**SCHEME  
#3A**



**PROPOSED 22-LOT  
SUBDIVISION**  
(12 TOWNHOMES-10 SINGLE FAMILY)

**ADVANTAGES:**

**1. EXISTING HOME ON RUFFNER ROAD  
REMAINS**

**CONCERNS:**

**1. 11TH HOLE OF GOLF COURSE MUST  
BE MODIFIED**

**2. 12TH HOLE OF GOLF COURSE MUST  
BE MODIFIED**

**3. CONNECTS TO OLDER, NARROWER  
EXISTING STREET (24'W VS 26'W)**

**4. MORE HOMES DIRECTLY AFFECTED  
BY ADDITIONAL TRAFFIC TO  
ROSENDALE ROAD (48 VS 26)**

**5. NORTHBOUND AND SOUTHBOUND  
TRAFFIC CONCENTRATED TO ONE  
DIRECTION**

**6. 0.5± ACRE ADDITIONAL  
DISTURBANCE**

**7. DEAD END LONGER THAN 750' MAY  
REQUIRE SPECIAL APPROVAL PER  
FIRE CODE**

**EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD**

**MAIN ACCESS VIA  
EAST COUNTRY  
CLUB DRIVE**

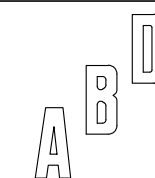
**ALTERNATE LAYOUT - COUNTRY CLUB DRIVE (B)  
AVERAGE DENSITY DEVELOPMENT  
MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK



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FEBRUARY 8, 2023

SCALE:  
1" = 200'

DWG.  
5429A-ALT-3B

SHEET OF  
4 12

**SCHEME  
#3B**



**ADVANTAGES:**

1. EXISTING HOME ON RUFFNER ROAD REMAINS

**CONCERNS:**

1. 13TH HOLE OF GOLF COURSE MUST BE MODIFIED

2. 14TH HOLE OF GOLF COURSE MUST BE MODIFIED

3. 1± ACRE OF GOLF COURSE BECOMES ISOLATED AND UN-USABLE

4. EXISTING STORMWATER MANAGEMENT AREA MUST BE MODIFIED

5. NORTHBOUND AND SOUTHBOUND TRAFFIC CONCENTRATED TO ONE DIRECTION

6. NEW ROADWAY IN CLOSER PROXIMITY TO BACK YARDS ON RUFFNER ROAD

7. 1.8± ACRES ADDITIONAL DISTURBANCE

8. 500± LF ADDITIONAL NEW ROADWAY

9. DEAD END LONGER THAN 750' MAY REQUIRE SPECIAL APPROVAL PER FIRE CODE

MAIN ACCESS VIA  
ROWE ROAD

EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD

PROPOSED 22-LOT  
SUBDIVISION

(12 TOWNHOMES-10 SINGLE FAMILY)

**SCHEME  
#4A**

ALTERNATE LAYOUT - ROWE ROAD (A)  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

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FEBRUARY 8, 2023	1" = 200'	5429A-ALT-4A	5	12



**ADVANTAGES:**

1. EXISTING HOME ON RUFFNER ROAD REMAINS

**CONCERNS:**

1. 13TH HOLE OF GOLF COURSE MUST BE MODIFIED

2. 14TH HOLE OF GOLF COURSE MUST BE MODIFIED

3. 2± ACRES OF GOLF COURSE BECOMES ISOLATED AND UN-USABLE

4. EXISTING STORMWATER MANAGEMENT AREA MUST BE MODIFIED

5. NORTHBOUND AND SOUTHBOUND TRAFFIC CONCENTRATED TO ONE DIRECTION

6. 1.7± ACRES ADDITIONAL DISTURBANCE

7. 420± LF ADDITIONAL NEW ROADWAY

8. DEAD END LONGER THAN 750' MAY REQUIRE SPECIAL APPROVAL PER FIRE CODE

MAIN ACCESS VIA  
ROWE ROAD

EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD

PROPOSED 22-LOT  
SUBDIVISION

(12 TOWNHOMES-10 SINGLE FAMILY)

**SCHEME  
#4B**

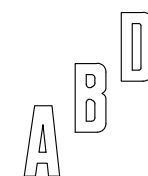
ALTERNATE LAYOUT - ROWE ROAD (B)  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK



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1" = 200'

DWG.  
5429A-ALT-4B

SHEET OF  
6 12



**ADVANTAGES:**

1. EXISTING HOME ON RUFFNER ROAD REMAINS

**CONCERNS:**

1. 13TH HOLE OF GOLF COURSE MUST BE MODIFIED

2. 14TH HOLE OF GOLF COURSE MUST BE MODIFIED

3. 0.3± ACRES OF GOLF COURSE BECOMES ISOLATED AND UN-USABLE

4. EXISTING STORMWATER MANAGEMENT AREA MUST BE MODIFIED

5. NEW ROADWAY IN CLOSER PROXIMITY TO BACK YARDS ON RUFFNER ROAD

6. NEW ROADWAY WILL HAVE 10%± SLOPE

7. NEW INTERSECTION WILL HAVE LIMITED SIGHT DISTANCE

8. NEW INTERSECTION WILL NOT ALIGN WITH LYNWOOD DRIVE

9. 2.0± ACRES ADDITIONAL DISTURBANCE

10. 400± LF ADDITIONAL NEW ROADWAY

11. DEAD END LONGER THAN 750' MAY REQUIRE SPECIAL APPROVAL PER FIRE CODE

MAIN ACCESS VIA  
RUFFNER ROAD  
@LYNWOOD DRIVE

EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD

PROPOSED 22-LOT  
SUBDIVISION  
(12 TOWNHOMES-10 SINGLE FAMILY)

SCHEME  
#5A

ALTERNATE LAYOUT - RUFFNER/LYNWOOD (A)  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

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DATE:  
FEBRUARY 8, 2023

SCALE:  
1" = 200'

DWG.  
5429A-ALT-5A

SHEET OF  
7 12



**ADVANTAGES:**

1. EXISTING HOME ON RUFFNER ROAD REMAINS

**CONCERNS:**

1. 13TH HOLE OF GOLF COURSE MUST BE MODIFIED

2. 14TH HOLE OF GOLF COURSE MUST BE MODIFIED

3. 0.7± ACRES OF GOLF COURSE BECOMES ISOLATED AND UN-USABLE

4. EXISTING STORMWATER MANAGEMENT AREA MUST BE MODIFIED

5. NEW ROADWAY IN CLOSER PROXIMITY TO BACK YARDS ON RUFFNER ROAD

6. NEW ROADWAY WILL HAVE 10%± SLOPE

7. NEW INTERSECTION WILL HAVE LIMITED SIGHT DISTANCE

8. NEW INTERSECTION WILL NOT ALIGN WITH LYNWOOD DRIVE

9. 1.9± ACRES ADDITIONAL DISTURBANCE

10. 370± LF ADDITIONAL NEW ROADWAY

11. DEAD END LONGER THAN 750' MAY REQUIRE SPECIAL APPROVAL PER FIRE CODE

MAIN ACCESS VIA  
RUFFNER ROAD  
@LYNWOOD DRIVE

EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD

PROPOSED 22-LOT  
SUBDIVISION  
(12 TOWNHOMES-10 SINGLE FAMILY)

SCHEME  
#5B

ALTERNATE LAYOUT - RUFFNER/LYNWOOD (B)  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK

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DATE:  
FEBRUARY 8, 2023

SCALE:  
1" = 200'

DWG.  
5429A-ALT-5B

SHEET OF  
8 12



**ADVANTAGES:**

1. EXISTING HOME ON RUFFNER ROAD REMAINS

**CONCERNS:**

1. 13TH HOLE OF GOLF COURSE MUST BE MODIFIED

2. 14TH HOLE OF GOLF COURSE MUST BE MODIFIED

3. 1.1± ACRES OF GOLF COURSE BECOMES ISOLATED AND UN-USABLE

4. EXISTING STORMWATER MANAGEMENT AREA WOULD BE DISPLACED

5. NEW ROADWAY IN CLOSER PROXIMITY TO BACKYARDS ON RUFFNER ROAD

6. NEW ROADWAY TO RUFFNER ROAD WILL HAVE 10%± SLOPE

7. NEW INTERSECTION AT RUFFNER ROAD WILL HAVE LIMITED SIGHT DISTANCE

8. NEW INTERSECTION WILL NOT ALIGN WITH LYNWOOD DRIVE

9. 2.5± ACRES ADDITIONAL DISTURBANCE

10. 770± LF ADDITIONAL NEW ROADWAY

11. DEAD END LONGER THAN 750' MAY REQUIRE SPECIAL APPROVAL PER FIRE CODE

MAIN ACCESS VIA  
RUFFNER ROAD &  
ROWE ROAD

EMERGENCY ACCESS  
VIA EX. EASEMENT TO  
RUFFNER ROAD

PROPOSED 22-LOT  
SUBDIVISION  
(12 TOWNHOMES-10 SINGLE FAMILY)

SCHEME  
#6

ALTERNATE LAYOUT - RUFFNER & ROWE  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY

STATE OF NEW YORK

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411 Union Street  
Schenectady, NY 12305  
518-377-0315 Fax 518-377-0379  
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DATE:	SCALE:	DWG.	SHEET	OF
FEBRUARY 8, 2023	1" = 200'	5429A-ALT-6	9	12



**ADVANTAGES:**

1. EXISTING HOME ON RUFFNER ROAD REMAINS

**CONCERNS:**

1. 2ND HOLE OF GOLF COURSE MUST BE MODIFIED
2. 10TH HOLE OF GOLF COURSE MUST BE MODIFIED
3. 11TH HOLE OF GOLF COURSE MUST BE MODIFIED
4. 11TH HOLE OF GOLF COURSE WILL BE ISOLATED BY NEW ROADWAY
5. CLUBHOUSE PARKING WILL BE LOST
6. NORTHBOUND AND SOUTHBOUND TRAFFIC CONCENTRATED TO ONE DIRECTION
7. 4.0± ACRES ADDITIONAL DISTURBANCE
8. 2,500± LF ADDITIONAL NEW ROADWAY
9. NEED FOR ADDITIONAL STORMWATER MANAGEMENT
10. DEAD END LONGER THAN 750' MAY REQUIRE SPECIAL APPROVAL PER FIRE CODE

**PROPOSED 22-LOT SUBDIVISION**

(12 TOWNHOMES-10 SINGLE FAMILY)

**EMERGENCY ACCESS VIA EX. EASEMENT TO RUFFNER ROAD**

**MAIN ACCESS VIA UNION STREET**

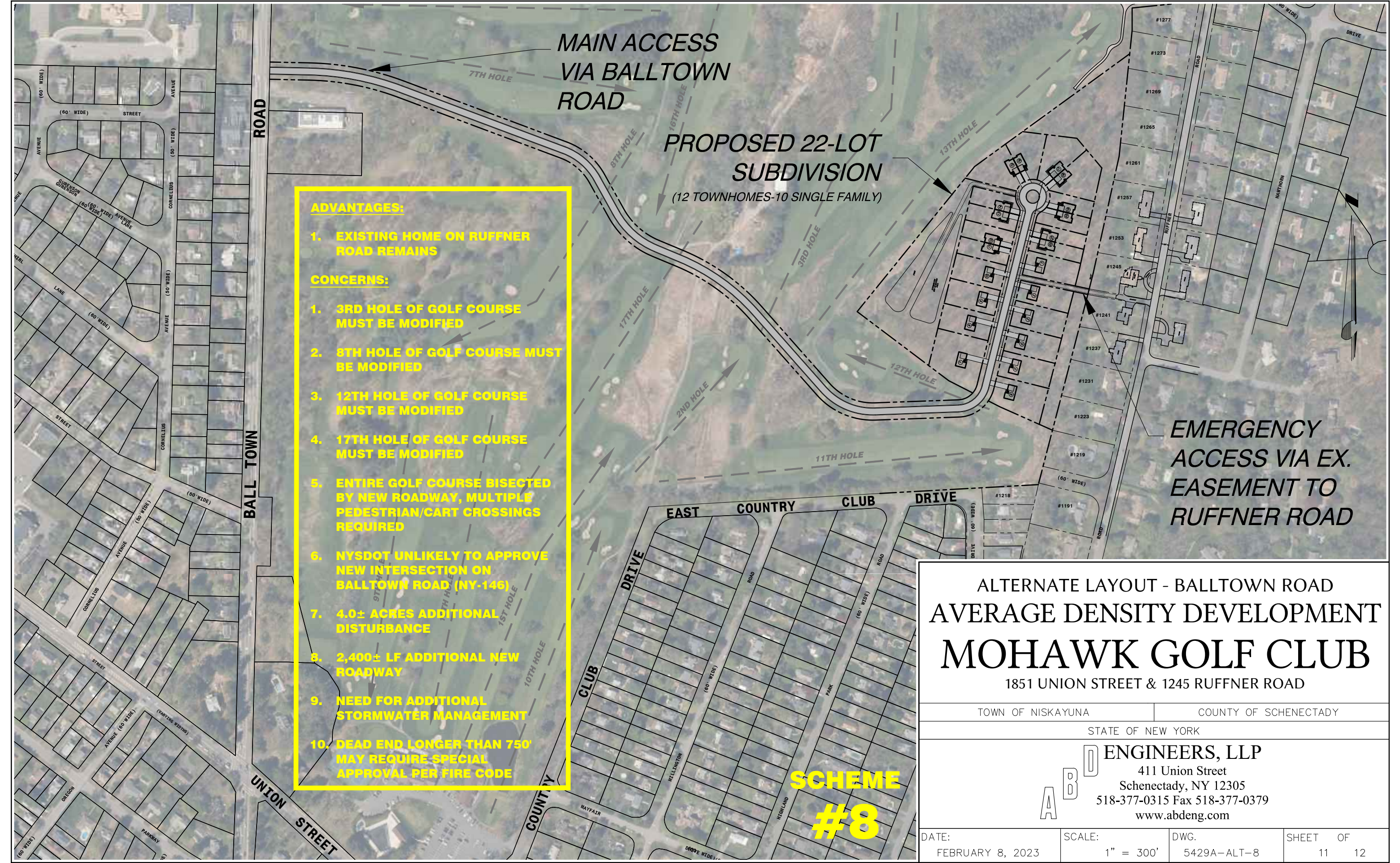
**SCHEME #7**

ALTERNATE LAYOUT - UNION STREET  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**  
1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA		COUNTY OF SCHENECTADY	
STATE OF NEW YORK			
<b>ABD ENGINEERS, LLP</b> 411 Union Street Schenectady, NY 12305 518-377-0315 Fax 518-377-0379 www.abdeng.com			

DATE: FEBRUARY 8, 2023	SCALE: 1" = 300'	DWG. 5429A-ALT-7	SHEET OF 10 12
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PROPOSED 22-LOT  
SUBDIVISION  
(22 SINGLE FAMILY HOMES)

ADVANTAGES:

1. NO SPECIAL USE PERMIT REQUIRED
2. NO MODIFICATIONS TO GOLF COURSE HOLES REQUIRED
3. CONNECTING ROAD WILL BE FURTHER FROM THE SIDE OF EXISTING HOMES ON RUFFNER ROAD COMPARED TO SCHEME #2
4. DEAD END SHORTER THAN 750' (NO SPECIAL APPROVAL PER FIRE CODE)

CONCERNS:

1. EXISTING HOME ON RUFFNER ROAD MUST BE REMOVED
2. NO REAR YARD BUFFER TO NEIGHBORS ON RUFFNER ROAD
3. NO CONSERVATION AREA
4. 300± LF ADDITIONAL NEW ROADWAY
5. MORE TRAFFIC FROM ALL SINGLE FAMILY HOMES
6. GREATER BURDEN ON SCHOOLS FROM ALL SINGLE FAMILY HOMES

MAIN ACCESS VIA  
RUFFNER ROAD

SCHEME  
#9

ALTERNATE LAYOUT - RUFFNER ROAD  
CONVENTIONAL DEVELOPMENT  
MOHAWK GOLF CLUB

1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK

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DATE:  
FEBRUARY 8, 2023

SCALE:  
1" = 200'

DWG.  
5429A-ALT-9

SHEET OF  
12 12



## Mohawk Golf Club - Average Density Development

February 16, 2023

1851 Union Street & 1245 Ruffner Road

ABD Project #5429A

Layout Scheme Evaluation

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
1	Proposed Layout to Ruffner Road between #1241 & #1253	1 No modifications to golf course holes required	1 Existing home on Ruffner Road must be removed
		2 Connecting road will be further from the side of existing homes on Ruffner Road compared to scheme #2 (60' & 110' vs 50' & 55')	2 Longer emergency access route to Rowe Road
		3 Least amount of disturbance	
		4 Dead end shorter than 750' (no special approval per fire code)	

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
2	Alternate Layout to Ruffner Road Stub between #1191 & #1219	1 Existing home on Ruffner Road remains	1 11th hole of golf course must be modified
			2 Connecting road will be closer to the side of existing homes on Ruffner Road compared to scheme #1 (50' & 55' vs 60' & 110')
			3 0.5± acre additional disturbance
			4 75± LF additional new roadway
			5 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
3A	Alternate Layout to Country Club Drive (A) at S. Country Club Dr.	1 Existing home on Ruffner Road remains	1 11th hole of golf course must be modified
			2 Connects to older, narrower existing street (24'w vs 26'w)
			3 More homes directly affected by additional traffic to Rosendale Road (48 vs 26)
			4 Northbound and southbound traffic concentrated to one direction
			5 New roadway in closer proximity to back yards on Ruffner Road
			6 1± acre additional disturbance
			7 15± LF additional new roadway
			8 Dead end longer than 750' may require special approval per fire code



SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
3B	Alternate Layout to Country Club Drive (B) at S. Country Club Dr.	1 Existing home on Ruffner Road remains	1 11th hole of golf course must be modified
			2 12th hole of golf course must be modified
			3 Connects to older, narrower existing street (24'w vs 26'w)
			4 More homes directly affected by additional traffic to Rosendale Road (48 vs 26)
			5 Northbound and southbound traffic concentrated to one direction
			6 0.5± acre additional disturbance
			7 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
4A	Alternate Layout to Rowe Road (A) between #2540 & #1302	1 Existing home on Ruffner Road remains	1 13th hole of golf course must be modified
			2 14th hole of golf course must be modified
			3 1± acre of golf course becomes isolated and unusable
			4 Existing stormwater management area must be modified
			5 Northbound and southbound traffic concentrated to one direction
			6 New roadway in closer proximity to back yards on Ruffner Road
			7 1.8± acres additional disturbance
			8 500± LF additional new roadway
			9 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
4B	Alternate Layout to Rowe Road (B) between #2540 & #1302	1 Existing home on Ruffner Road remains	1 13th hole of golf course must be modified
			2 14th hole of golf course must be modified
			3 2± acres of golf course becomes isolated and unusable
			4 Existing stormwater management area must be modified
			5 Northbound and southbound traffic concentrated to one direction
			6 1.7± acres additional disturbance
			7 420± LF additional new roadway
			8 Dead end longer than 750' may require special approval per fire code



SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
5A	Alternate Layout to Ruffner/Lynwood (A) between #1277 & #1301	1 Existing home on Ruffner Road remains	1 13th hole of golf course must be modified
			2 14th hole of golf course must be modified
			3 0.3± acres of golf course becomes isolated and un-usable
			4 Existing stormwater management area must be modified
			5 New roadway in closer proximity to back yards on Ruffner road
			6 New roadway will have 10%± slope
			7 New intersection will have limited sight distance
			8 New intersection will not align with Lynwood Drive
			9 2.0± acres additional disturbance
			10 400± LF additional new roadway
			11 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
5B	Alternate Layout to Ruffner/Lynwood (B) between #1277 & #1301	1 Existing home on Ruffner Road remains	1 13th hole of golf course must be modified
			2 14th hole of golf course must be modified
			3 0.7± acres of golf course becomes isolated and un-usable
			4 Existing stormwater management area must be modified
			5 New roadway in closer proximity to back yards on Ruffner road
			6 New roadway will have 10%± slope
			7 New intersection will have limited sight distance
			8 New intersection will not align with Lynwood Drive
			9 1.9± acres additional disturbance
			10 370± LF additional new roadway
			11 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
6	Alternate Layout to Ruffner & Rowe between #1277 & #1301 and #2540 & #1302	1 Existing home on Ruffner Road remains	1 13th hole of golf course must be modified
			2 14th hole of golf course must be modified
			3 1.1± acres of golf course becomes isolated and un-usable
			4 Existing stormwater management area would be displaced
			5 New roadway in closer proximity to back yards on Ruffner road
			6 New roadway will have 10%± slope
			7 New intersection at Ruffner Road will have limited sight distance
			8 New intersection will not align with Lynwood Drive
			9 2.5± acres additional disturbance
			10 770± LF additional new roadway
			11 Dead end longer than 750' may require special approval per fire code



SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
7	Alternate Layout to Union Street	1 Existing home on Ruffner Road remains	1 2nd hole of golf course must be modified
			2 10th hole of golf course must be modified
			3 11th hole of golf course must be modified
			4 11th hole of golf course will be isolated by new roadway
			5 Clubhouse parking will be lost
			6 Northbound and southbound traffic concentrated to one direction
			7 4.0± acres additional disturbance
			8 2,500± LF additional new roadway
			9 Need for additional stormwater management
			10 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
8	Alternate Layout to Balltown Road	1 Existing home on Ruffner Road remains	1 3rd hole of golf course must be modified
			2 8th hole of golf course must be modified
			3 12th hole of golf course must be modified
			4 17th hole of golf course must be modified
			5 Entire golf course bisected by new roadway, multiple pedestrian/cart crossings required
			6 NYSDOT unlikely to approve new intersection on Balltown Road (NY-146)
			7 4.0± acres additional disturbance
			8 2,400± LF additional new roadway
			9 Need for additional stormwater management
			10 Dead end longer than 750' may require special approval per fire code

SCHEME #	DESCRIPTION	ADVANTAGES	CONCERNS
9	Alternate Layout to Ruffner Road (Conventional Subdivision)	1 No special use permit required	1 Existing home on Ruffner Road must be removed
		2 No modifications to golf course holes required	2 No rear yard buffer to neighbors on Ruffner Road
		3 Connecting road will be further from the side of existing homes on Ruffner Road compared to scheme #2 (60' & 110' vs 50' & 55')	3 No conservation area
		4 Dead end shorter than 750' (no special approval per fire code)	4 300± LF additional new roadway
			5 More traffic from all single family homes
			6 Greater burden on schools from all single family homes





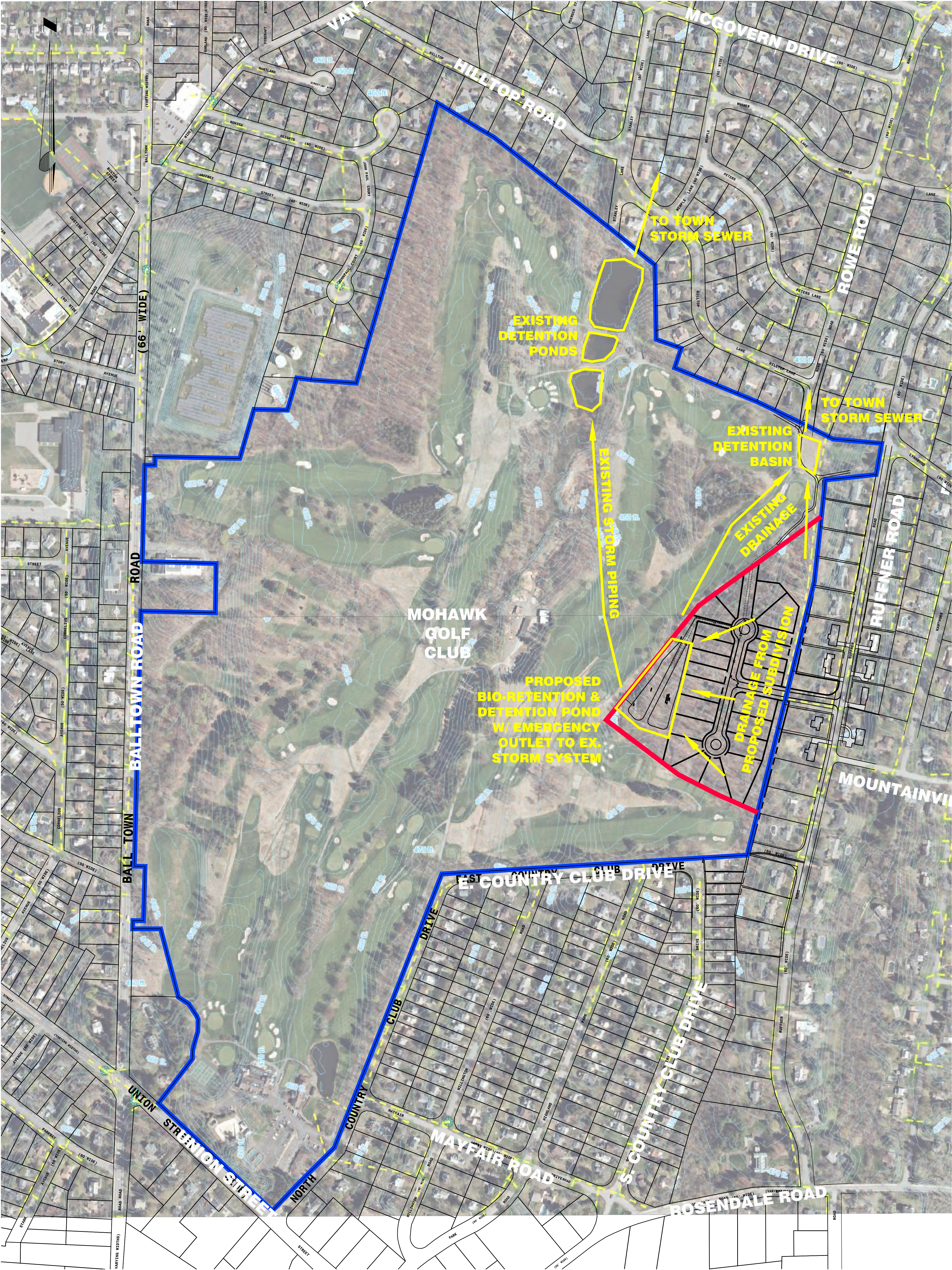
OVERALL COURSE MAP  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**  
1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY

STATE OF NEW YORK  
**ENGINEERS, LLP**  
411 Union Street  
Schenectady, NY 12305  
518-377-0315 Fax 518-377-0379  
www.abdeng.com

DATE: JANUARY 24, 2023 SCALE: 1" = 300' DWG. 5429A-S4 AVG SHEET 1 OF 1





OVERALL STORMWATER MAP  
AVERAGE DENSITY DEVELOPMENT  
**MOHAWK GOLF CLUB**  
1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA		COUNTY OF SCHENECTADY	
STATE OF NEW YORK			
<b>ENGINEERS, LLP</b> 411 Union Street Schenectady, NY 12305 518-377-0315 Fax 518-377-0379 www.abdeng.com			







**VAN ANTWERP  
ROAD**

**BALLTOWN ROAD**

**MOHAWK  
GOLF  
CLUB**

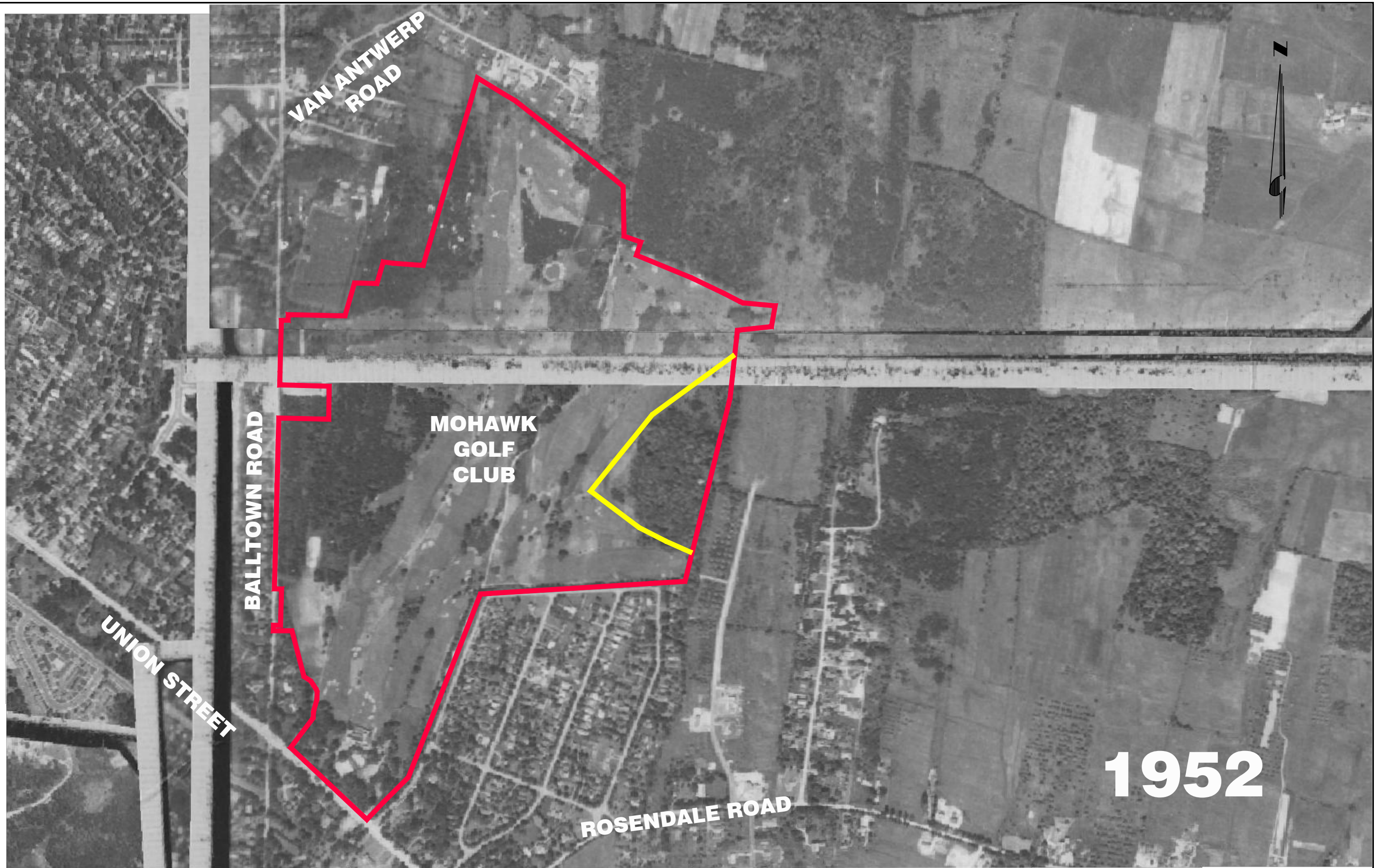
**UNION STREET**

**ROSENDALE ROAD**

**1942**

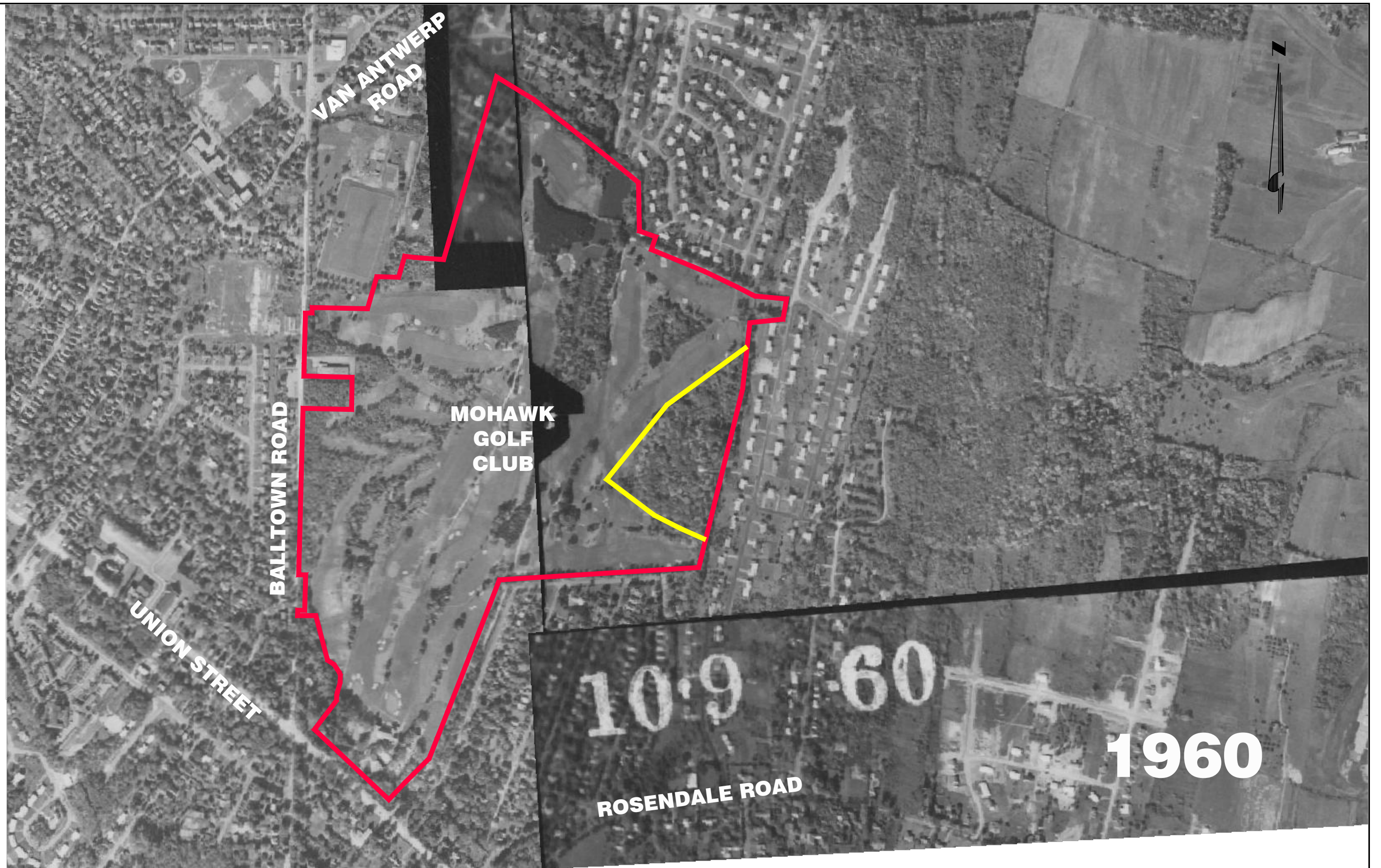






**1952**





VAN ANTWERP  
ROAD

BALLTOWN ROAD

UNION STREET

MOHAWK  
GOLF  
CLUB

10-9 60

ROSENDALE ROAD

1960





1730

VAN ANTWERP  
ROAD

DPZ-1JJ-

7

L-7

BALLTOWN ROAD

MOHAWK  
GOLF  
CLUB

UNION STREET

ROSENDALE ROAD

1968







VAN ANTWERP  
ROAD

BALLTOWN ROAD

UNION STREET

MOHAWK  
GOLF  
CLUB

ROSENDALE ROAD

1974







VAN ANTWERP  
ROAD

BALLTOWN ROAD

MOHAWK  
GOLF  
CLUB

UNION  
STREET

ROSENDALE ROAD

1982







**2004**





2021



**Mohawk Golf Club - Average Density Development**

1851 Union Street &amp; 1245 Ruffner Road

ABD Project #5429A

Traffic Statistics - Weekdays

*Per ITE Trip Generation, 9th Edition*

February 16, 2023

**ADDITIONAL TRAFFIC FROM PROPOSED SUBDIVISION****Southbound**

(Assumes 50/50 north/south split based on 2014 traffic counts on NY-146)

**Single Family Homes**

	Rate (per Unit)	Units	Direction Factor	Total
Daily Average	9.52	9	50%	42.8
AM Peak	0.75	9	50%	3.4
PM Peak	1.00	9	50%	4.5

**Townhomes**

	Rate (per Unit)	Units	Direction Factor	Total
Daily Average	5.81	12	50%	34.9
AM Peak	0.44	12	50%	2.6
PM Peak	0.52	12	50%	3.1

**TOTAL ADDITIONAL TRAFFIC - SOUTHBOUND**

Daily Average	77.7
AM Peak	6.0
PM Peak	7.6

**Northbound**

(Assumes 50/50 north/south split based on 2014 traffic counts on NY-146)

**Single Family Homes**

	Rate (per Unit)	Units	Direction Factor	Total
Daily Average	9.52	9	50%	42.8
AM Peak	0.75	9	50%	3.4
PM Peak	1.00	9	50%	4.5

**Townhomes**

	Rate (per Unit)	Units	Direction Factor	Total
Daily Average	5.81	12	50%	34.9
AM Peak	0.44	12	50%	2.6
PM Peak	0.52	12	50%	3.1

**TOTAL ADDITIONAL TRAFFIC - NORTHBOUND**

Daily Average	77.7
AM Peak	6.0
PM Peak	7.6





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 3

MEETING DATE: 2/27/2023

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**ITEM TITLE:** DISCUSSION: 2209 Nott St. – The Broken Inn – A site plan app. for a new permanent seasonal outdoor picnic table area on Town property including additional and reconfigured parking.

**PROJECT LEAD:** David D'Arpino

**APPLICANT:** Thomas Nicchi, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER: ARB

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Thomas Nicchi, of Stand Up Global, proprietor of The Broken Inn, and agent for the property owner, submitted an Application for Site Plan Review for a permanent seasonal outdoor picnic table area on Town property including additional and reconfigured parking. Mr. Nicchi proposes to purchase and provide the tables, chairs, umbrellas, bike racks and parking barriers referenced in the project application.

**BACKGROUND INFORMATION**

2207 2209 Nott Street is located within the C-N Commercial Neighborhood Zoning district and Town Center Overlay District. Section 220-10 District regulations E C-N Neighborhood Commercial District (3) Special principal uses (d) Restaurants, sit-down or take-out (no vehicle pickup and ordering facilities) allows a restaurant to be located in the C-N district upon granting of a special permit by the Town Board. The Town Board granted a special use permit on December 22, 2020 to allow a restaurant with bar, sit-down or take-out (no vehicle pickup and ordering facilities) by Resolution No. 2020-327.

Temporary outdoor seating (on private & Town property) and reconfigured parking

- **5/27/22** – A site plan application, signed by the property owner, for temporary outdoor seating was approved with a memo. from the Planning Office to safely allow public assembly and queuing at and around the ice cream window.

Proposed outdoor dining (on private & Town property), expansion of hours & reconfigured parking

- **10/19/22** – A proposal, not supported by the property owner, to expand the hours of operation of The Broken Inn, expand the public assembly and queuing area to add a Broken Inn outdoor dining area



on private and Town owned property and reconfigure parking is denied by the Planning Office via email for not having the required approval of the property owner.

Proposed outdoor dining (on Town property), expansion of hours & reconfigured parking

- **12/14/22** – A site plan application, not supported by and independent of the property owner, to expand the hours of operation of The Broken Inn, expand the public assembly and queuing area to add a Broken Inn outdoor dining area on Town owned property and reconfigure parking is denied by the Planning Office via a letter for the following reasons.
  - The application did not have the approval of the legal owner of the property – modification of hours and expansion of use are tied to the special use permit amendment of which requires the property owner's approval.
  - NYS Covid-19 related legislation allowing restaurants to use sidewalks & streets for outdoor dining has expired and Niskayuna Town Code only allows outdoor dining on private property.

Proposed exterior seating (dining?) - (on private & Town property) and reconfigured parking

- **2/14/23** -- A site plan application, signed by the property owner, to expand the public assembly and queuing areas to add a public picnic table area on private and Town owned property and reconfigured parking is received by the Planning Office.

The Planning Office placed the proposal described in the Application for Site Plan Review dated and received on 2/14/23 on the meeting agenda this evening to allow the applicant to present the project to the Board and answer questions from the Planning Board and Planning Office. The application is supported by the private property owner but questions still persist regarding the potential expansion of use relative to the special use permit and the appropriateness of use of public property.

Inconsistencies also exist in the documents provided with the application regarding the proposed use of the land for only general outdoor seating or for outdoor dining.

- Page 1 of the narrative document includes the statement “request permission to place an exterior seating, dining and bicycle parking area” .....
- The remainder of the document, including the portion entitled “Seating Area” refers only to seating and does not make any reference to dining.
- The 3 site plan drawings provided with the application all include an area identified as “proposed outdoor dining area”.

The Planning Board should use this meeting to seek clarification of the most recent proposal to understand whether the tables are proposed to be public or private (who they serve) and whether any outdoor dining is proposed or if it is seating only. Once the proposal is clarified the Town Planning Office and Legal Department will be properly informed so that they can define a next step for the project. If the project is allowed to move forward the Planning Board and Planning Office will review the comments from other Town councils and committees that were made during the aforementioned previous projects relative to this new proposal. The Town is also exploring its own ideas for improvements to the area with Metroplex, which will also need to be considered.

The agenda item is proposed for discussion only.



## TOWN OF NISKAYUNA

### Application for Site Plan Review

#### **Applicant (Owner or Agent):**

Name Thomas Nicchi  
Address 1604 Lexington Pkwy  
NISKAYUNA NY 12309  
Telephone 518-365-7685 Fax \_\_\_\_\_

#### **Location:**

Number & Street 2209 Nott Street  
Section-Block-Lot 40.14 - 5 - 50  
Zoning District C-N

#### **Proposal Description:**

Please see attached.

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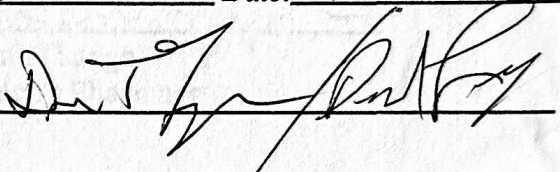
#### **Each site plan application shall be accompanied by:**

1. Twelve (12) site plan maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A lighting plan showing the lighting distribution of existing or proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. Six (6) copies of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review", of the Code of the Town of Niskayuna.



4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. **Administration Fees:** An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of *two hundred dollars (\$200.00)* plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. **Consulting Fees:** The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Signature of applicant:  Date: 2/14/23

Signature of owner (if different from applicant): 

Date: 2/14/23



February 14, 2023

Niskayuna Building Department  
One Niskayuna Circle  
Niskayuna, NY 12309

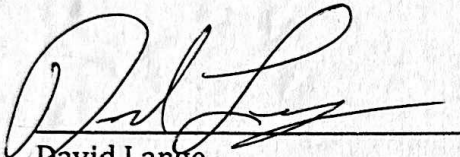
Sir or Madam:

As the owner of 2209 Nott Street, we have reviewed and approve of proposed modification to parking and exterior seating presented by Thomas Nicchi on 2/14/23.

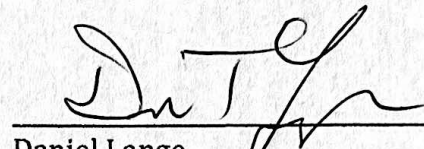
Please note that we reserve the right to revoke our approval should the applicant request to modify the hours of operation in order to open earlier than 4:00pm on Mondays through Fridays

Please note that the applicant is financially responsible for all modifications (including striping, planter barricades and parking bumpers).

Regards,



David Lange  
Lange's Pharmacy



Daniel Lange  
Lange's Pharmacy



## **2209 Nott Street (UPDATED - FEBRUARY 2023)**

For both safety, increased parking, and community enjoyment we request permission to place an exterior seating, dining and bicycle parking area on the Clifton Park Rd side of 2209 Nott Street. Our layout has been drawn up by MJ Engineering to work in concert with the new Nott Street construction which they designed as well.

Please note - this plan requires no expenditures by the Town of Niskayuna.

### **SAFETY:**

At present there is a temporary barricade area set up along the side of our business (The Broken Inn) so that people can safely walk, sit and eat ice cream. This was previously approved by the Planning Board and has been widely welcomed and used by the community.

At present there are no defined parking spaces (not striped).

At present there is no space for bicycles to be parked. They are laid on the ground or set to lean against a building thus limiting "sidewalk" area (there are no sidewalks).

At present there is no place for visitors to the Plaza to sit outside.

At present there is no defined road area (no lines) at the intersection of Clifton Park Rd and Crescent Rd and this area has become a high speed "cut through" for motorists looking to avoid the stoplight at Balltown Rd when travelling from Nott Street (Eastbound) to Balltown Rd (Northbound).

### **PARKING:**

The proposed layout would increase usable parking spaces in this area from 11 spaces at present to a proposed 15 spaces (net gain of 4 additional parking spaces to the plaza) on the Clifton Park Rd side of the building.

The new parking would be defined by concrete parking bumpers at the front of each spot and striped parking spaces, neither of which exist currently.

### **SIDEWALK/BARRICADE/ BICYCLES/SEATING:**

The proposed layout would allow for a seated area of six tables for guests of the plaza to sit and enjoy.

The proposed layout would allow for an area for people to park their bicycles. No bicycle parking exists currently.

### **SIDEWALK:**

The proposed layout would continue the 8' wide sidewalk area recently built on the Nott Street side of the building. It would run adjacent to the Clifton Park Rd side of the building and would be the same width as the newly placed sidewalk. This would not be raised but rather stamped to match the sidewalks on Nott Street.

### **PLANTER BARRICADES -**

The proposed outdoor area would be delineated by painted/striped lines, parking bumpers, and planter barricades. Per planter barricades - these would be spaced out to allow visitors to the Plaza to easily walk through them for easy access to the building. There would be 9 planter barricades in



total. The planter barricades are each 6' x 2' and are to be constructed by using wood framing around the exterior of a water jersey barricade as we have been using for quite some time and that currently meet traffic safety standards. These will be wood framed with wood fencing material on four sides and would have a flower planter bed placed across the top. This construction allows us to create something that is both safe and visually appealing while also allowing us to move them should that be needed (seasonal, during construction, etc). The Broken Inn will purchase and construct the planter barricades and will maintain them.

**BICYCLE AREA** – We request to create an area for bicycles/bicycle rack which would increase safety and further encourage people to ride their bicycles to the Plaza. This area would be designed for approx. 10 bicycles to be parked (2 racks – each approx. 8' long x 2' wide). Bicycle racks to be purchased by The Broken Inn. Cleanliness of this area to be maintained by The Broken Inn.

**SEATING AREA** – We request to create an area for outdoor seating where guests of The Broken Inn's Ice Cream window can sit outside and safely enjoy their ice cream. This area would be safely enclosed from the parking area by planter barricades and would include 6 octagon shaped picnic tables with umbrellas. Each of these tables would seat between 4 and 8 guests (depending on guest size – children vs adult). It would be adjacent to the new sidewalk on the South side and adjacent to an 8' sidewalk area on the East side. The area would have tables with umbrellas for shade, string lights hanging over the area for evening lighting, and would be handicap accessible. Lightbulbs to be incandescent bulbs not to exceed 25w each. This area would not create any lighting that faced towards residences, and would be closed one hour prior to the restaurant closing to ensure no additional evening noise to those residences nearest by. There will be no music (live or recorded) played in this area. Tables, trash cans and any other furnishings to be paid for by The Broken Inn. Cleanliness of this area to be maintained by The Broken Inn.

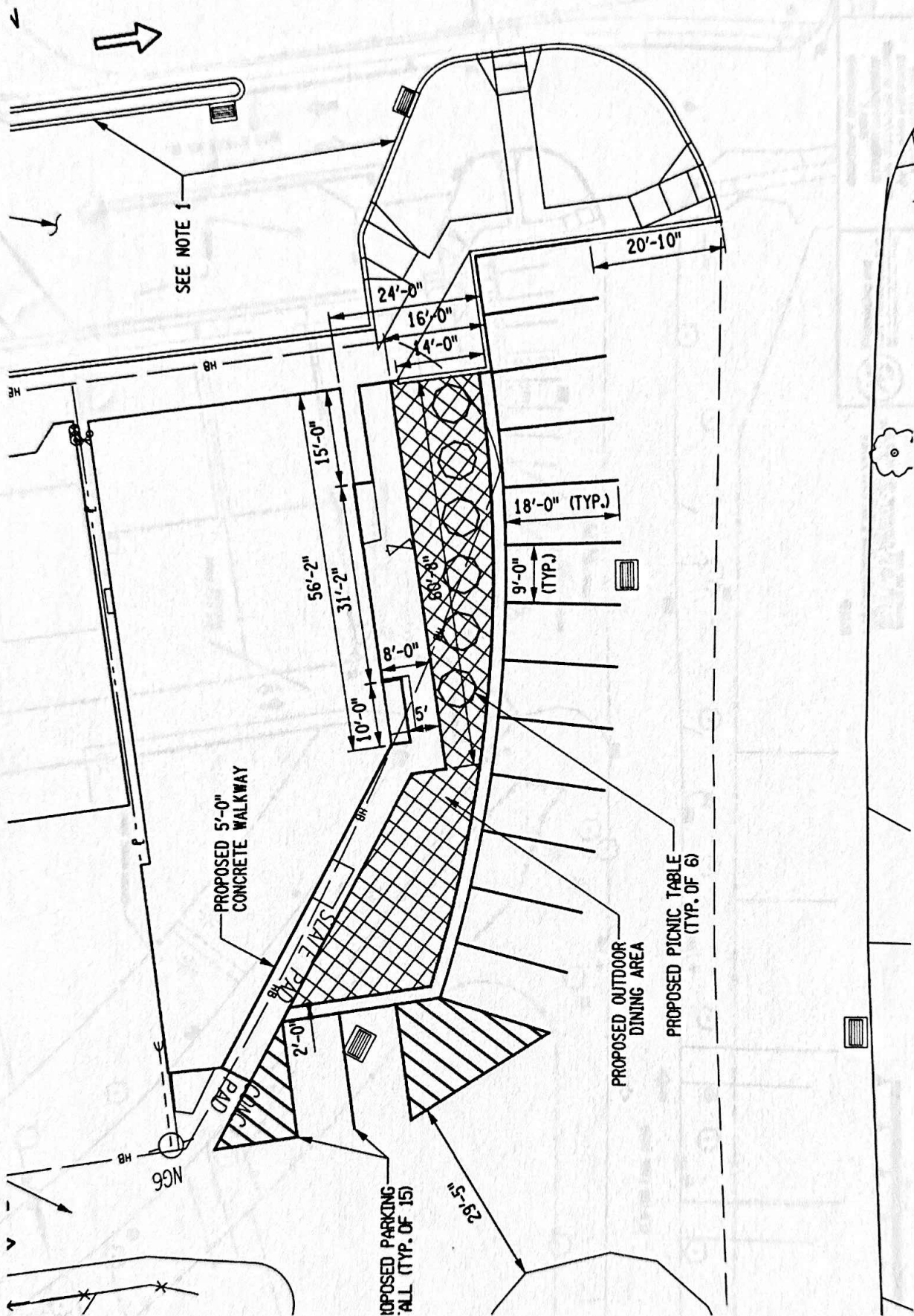
**SEASONAL NOTE:**

While this seating area would be used on a seasonal basis, the safety benefits related to the parking/motorists area would take remain all year long. The seated areas are likely to be used from approximately April 1<sup>st</sup> until October 31<sup>st</sup> (possibly a few weeks on either side depending on weather). Outside of this time frame the picnic tables and umbrellas will be removed and stored at another site at the expense of The Broken Inn

**SUMMARY:**

Allowing this area to be created improves safety, increases parking and makes the entire plaza more welcoming to guests. It makes great use of an area that is truly a "no mans land", continues the great work that has already started and is clearly wanted by the majority of the community as reflected in the 150+ letters of support already sent in. And again, our plan comes at no expense to the town.









1. THE EXISTING CONDITION OF HWY STREET INCLUDING CURBS, SIDEWALKS AND LANE MARKINGS REPRESENT THE PROPOSED DESIGN OF SOROCENTARY COUNTY'S PM1 LITIGATION HWY STREET SAFETY IMPROVEMENTS. CONSTRUCTION IS SCHEDULED FOR 2022.



**Engineering and  
Land Surveying, P.C.**  
1400 Chestnut Road • Collins Park, NY 12508

**CONCEPT DRAWING  
NOTT  
STREET/CRESCENT  
ROAD OUTDOOR DINING  
AREA AND PARKING  
MODIFICATIONS**

MARCH 2022  
 MJ PROJ. NO.: 874-38  
 EXAMINING NO. 1.0

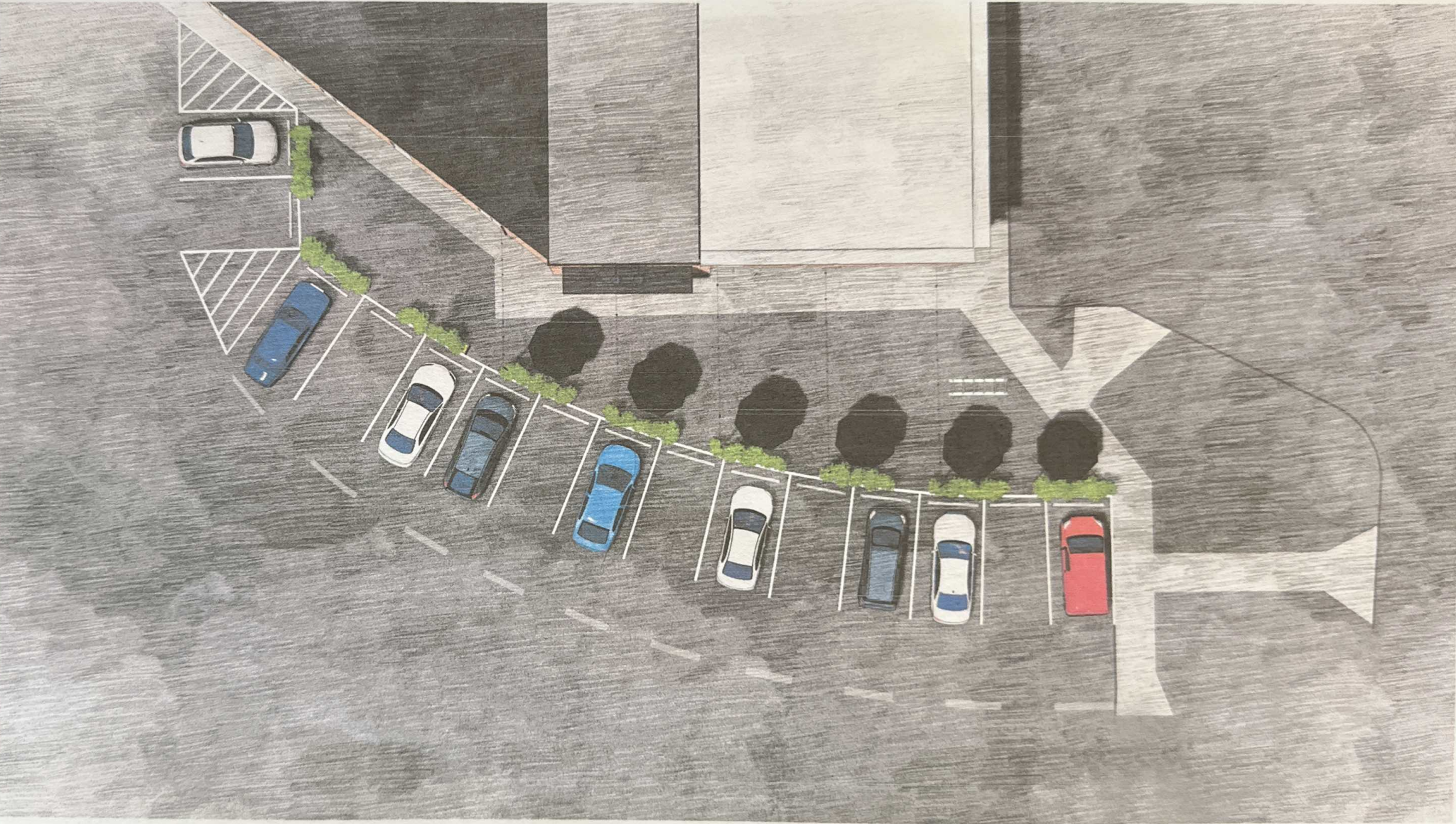










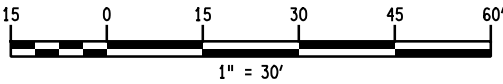








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DATE/TIME = 2/13/2023 3:55:53 PM  
USER = ngibson



**NOTES:**

1. THE EXISTING CONDITION OF NOTT STREET INCLUDING CURBS, SIDEWALKS AND LANE WIDTHS REPRESENT THE PROPOSED DESIGN OF SCHENECTADY COUNTY'S PIN 1760.60 NOTT STREET SAFETY IMPROVEMENTS. CONSTRUCTION IS SCHEDULED FOR 2022.



Engineering and  
Land Surveying, P.C.  
1533 Crescent Road - Clifton Park, NY 12065

**CONCEPT DRAWING  
NOTT  
STREET/CRESCENT  
ROAD OUTDOOR DINING  
AREA AND PARKING  
MODIFICATIONS**

MARCH 2022

MJ PROJ. No.: 874.30

DRAWING NO.

**1.0**





# TOWN OF NISKAYUNA

## PLANNING DEPARTMENT

One Niskayuna Circle  
Niskayuna, New York 12309-4381

**Laura Robertson**  
Town Planner, AICP, CFM

Phone: (518) 386-4530  
Fax: (518) 386-4592  
[lrobertson@niskayuna.org](mailto:lrobertson@niskayuna.org)

December 14, 2022

VIA EMAIL

Thomas Nicchi  
Niskayuna, NY 12309

**Re: Site Plan and Special Use Permit Application for the Broken Inn at 2207 / 2209 Nott St**

The Town of Niskayuna has received your Special Use Permit application for the modification of the Broken Inn's hours of operation and expansion of restaurant dining within the Town ROW. At this time, the Town has determined this application is not able to proceed without the approval of the legal owner of the property at 2207 / 2209 Nott St. Both the expansion of the hours and the expansion of restaurant dining capacity are inextricably tied to the original Special Use Permit – and modification or expansion of the restaurant requires modification or expansion of the existing Special Use Permit, which is held by the legal owner of the property.

Furthermore, the legislation that New York State enacted in 2021 to allow restaurants to utilize sidewalks and streets for outdoor dining during COVID has expired. There is currently no provision within Niskayuna Town Code that would allow for the expansion of outdoor dining into the public Right Of Way. Outdoor dining is only permitted within Town Code on private property. Therefore, your application is being returned to you and your check will be refunded within the next few weeks by the Planning Department.

During the spring of 2022, a safety issue related to pedestrians queuing outside the ice-cream window storefront was brought to the attention of the Planning Department and emergency authorization was issued to install temporary safety barriers and parking lot striping to protect the patrons. The safety area and barriers were temporary to allow you to pursue a more permanent solution to address the popularity of the ice cream window.

Prior to operation of the ice cream window in the spring of 2023 – a site plan application must be submitted to the Town of Niskayuna that proposes permanent protections to pedestrians queuing along the building. The site plan application shall be constrained by the conditions of the original Special Use Permit and can only provide for parking barriers, striping and benches at a maximum of 8 feet from the wall of the building.

If you have any questions, please feel free to reach out to me at 518-386-4531, thanks.

Sincerely,

Laura Robertson, AICP, CFM  
Town Planner





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 4

MEETING DATE: 2/27/2023

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**ITEM TITLE:** DISCUSSION: 2837 Aqueduct Rd. (Rivers Ledge) – site plan app for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space.

**PROJECT LEAD:** Genghis Khan & Chris LaFlamme

**APPLICANT:** Chuck Pafundi, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board  
☒ OTHER: ARB (in process)

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

**BACKGROUND INFORMATION**

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

**Phase 2 – Revision 1**

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

**Phase 2 – Revision 2**



The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

## **Phase 2 – Revision 3**

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.
3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.



4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

## **SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL**

**Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:**

*The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.*

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*
- h) *The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

5/23/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and presented the Rev 3 version of the proposed Senior Center. He noted that since they last appeared before the



PB (11/8/21) their design team completely redesigned their approach. One of their primary goals was to break up the long length of the building with the use of a row house look and a variety of façade depths, colors, etc. He noted that they were able to maintain the requirement of 1 parking space for each apartment unit in the building. PB members noticed and commented on the height of the building being 41' (35' is max. allowed per zoning code) and would therefore still require a variance. The PB suggested that Mr. Pafundi utilize a mixture of roof lines – dormers, gable, mansard roof, etc. to soften the building appearance.

Mr. Pafundi stated that he can have his architects and civil engineers work together to create a rendering of how the building will appear with the existing trees and vegetation around it. Mr. Pafundi noted that he is working with the Army Corps of Engineers regarding wetlands.

The PB established the following action items.

- Applicant – work with design team regarding the PB's façade comments
  - Create a rendering showing proposed building with exiting trees around it to help w/scale
  - Explore ways to shorten the height of the building and also make it appear shorter
- PO – schedule a review with the ARB
- PO – provide pictures of Notts Landing to Mr. Pafundi

On Monday June 6, 2022 Mr. Pafundi emailed the Planning Office stating that he and his design team evaluated the following 3 design options.

1. Reduce the height of the building to comply with the 35' maximum zoning code height.
2. Employ design features such as dormers, gable roofs, mansard roofs, etc. to reduce the visual impact of a building that is taller than 35'. (Make the building appear <= 35').
3. Proceed with the design as it was presented at the 5/23/22 PB meeting and request a variance for building height from the Zoning Board of Appeals (ZBA).

In the email Mr. Pafundi stated that they would like to proceed with option 3. A scaled rendering of the 41' high building and the surrounding trees was also provided.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office described the details of the Rev 3 version of the proposed Senior Center Building to the CAC. After an engaged discussion the CAC members concurred on offering the following suggestions.

- They would like to see what a 2 story rendition would like that complies with the 35' height requirement because they are concerned about the height.
- They asked for green energy practices to be utilized – solar, EV charging stations, etc.
- They asked the Planning Board to require pesticide free maintenance of the building grounds, especially with all the wetland around
- They asked for a path or walkway to connect all of the buildings, including the small commercial building, to the bike path.
- They requested outdoor seating and outdoor recreation space for the senior center building and outdoor seating for the commercial building.
- They appreciated the reduction in wetland impacts.



6/13/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and explained that the developer would like to pursue approval of the 41' high building as shown in the "Rev 3" design. He noted that their design team believes the extra 6' ( $41 - 35 = 6$ ) of building height allows for a more residential looking pitched roof design. He requested that the Planning Board proceed with the "Rev 3" design and make a recommendation either for or against the design so that he could pursue an area variance for 6 additional feet of building height with the ZBA. Ms. Robertson displayed the colored rendering that was included in the PB meeting packet that showed a scaled side elevation view of the building including the nearby trees. After discussion the PB requested the following additional detail for the 7/11/22 PB meeting and agreed to make a recommendation on the ZBA application at that meeting.

6/15/22 Architectural Review Board (ARB) meeting – the ARB reviewed the most recent images of the building and discussed the upcoming ZBA meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – Mr. Pafundi attended the meeting and repeated the presentation he made to the Planning Board at their 6/13/22 meeting. He responded to each of the CAC's requests from their 6/8/22 meeting and explained why some could be implemented and why others could not. Mr. Pafundi and the CAC discussed several potential additions to the site plan including the following.

- Add a sidewalk and cross walk that connects the small commercial building that is part of the Senior Center site plan to the bike path.
- Add an outdoor seating and potentially dining area between the Senior Center and River Run Drive.
- Add more landscape screening between the Senior Center building and Aqueduct Road
  - Utilize a mixture of evergreen and deciduous trees
  - Retain as many existing trees as possible
- Utilize pesticide free landscaping practices

Mr. Pafundi noted that he is working with his team to produce architectural renderings of the Senior Center as viewed from the Rexford side of the Mohawk River. The Planning Board previously asked for renderings that show where the air conditioning units will be located on the buildings.

7/11/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and addressed the questions that were raised at the 6/13/22 PB meeting. He confirmed that the HVAC units will not be visible from the sidewalks, streets or anywhere outside and around the building. He noted that the design team is still working on preparing renderings of how the proposed Senior Center building will appear when viewed from the Alplaus side of the Mohawk River. He expected to have the renderings in time for the 8/24/22 ZBA meeting. He also noted that the final package has been submitted to the Army Corps of Engineers and that the first comments from the Town's TDE were received on 7/7/22. The PB inquired about how the "barbell" ends of the building connect with the main building roofline. Mr. D'Arpino requested an aerial roof plan. Mr. Pafundi agreed to provide the plan. The PB discussed the effect on the comprehensive plan, the suitability of use and then recommended with a vote of 7-0 that the ZBA grant the requested area variance for building height.

8/3/22 Schenectady County Planning and Zoning Coordination Referral – The Commissioner of Economic Development and Planning received the Town's referral and approved the proposal on 8/3/22.



8/17/22 Architectural Review Board (ARB) – The ARB reviewed the most recent documents and renderings of the proposed Senior Center at their 8/17/22 meeting. The Planning Office had prepared a Power Point presentation of several existing “row house” type buildings in the Capital District for reference. The presentation includes buildings in Ballston Spa, Saratoga, Green Island as well as generic “row house images” that were obtained with a simple Goggle search. The ARB still has concerns regarding the mass and scaling of the buildings. They agreed that a roofline plan is necessary to assess how the building would be constructed and how it would appear from various viewing angles. The ARB agreed to schedule a follow up working session with Mr. Pafundi and HCP Architects.

8/24/22 ZBA meeting – The Zoning Board of Appeals reviewed the application for an area variance for 6 additional feet of building height and granted the variance at their 8/24/22 meeting. They requested that the applicant work with the Planning Board to remove white siding from the proposed new building (per Alplaus resident request at meeting).

8/29/22 Planning Board (PB) meeting – Mr. Pafundi was not able to attend the 8/29/22 PB meeting. Chairman Walsh and Ms. Robertson updated the Board regarding the ZBA’s granting of the area variance for building height. The PO and PB discussed the next steps for the project and the outstanding action items from the 7/11/22 PB meeting.

Mr. Pafundi and his engineer Mr. Steenburgh submitted a “site section view” drawing to the Planning Office on 9/8/22. The drawing shows a cross section view of an elevation view of the Alplaus side of the Mohawk River, the Mohawk River, and the Niskayuna side of the Mohawk River. The drawing shows the general elevation differences between the homes on the Alplaus side of the river and the Rivers Ledge site. The Planning Office reviewed their notes from previous meetings and compiled the following list of open action items for review at the 9/12/22 meeting.

1. Add a sidewalk and cross walk that connects the small commercial building to the existing bike path.
2. Add outdoor seating / dining area between the Sr. Center and River Run Drive.
3. Add more landscape screening between the Sr. Center building and Aqueduct Rd.
  - a. Utilize a mixture of evergreen and deciduous trees.
  - b. Retain as many existing trees as possible.
4. Per resolution 2021-31 Condition 3 (h) install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.
5. Remove white siding from the proposed buildings.
6. Provide a roof plan for the Sr. Center building.
7. Meet with the ARB to continue to refine the façade design of the building.

9/12/22 Planning Board (PB) meeting – Mr. Steenburgh attended the meeting on behalf of the applicant. Ms. Robertson informed the PB that the area variance for a building height of 41’ (6’ variance) was approved by the ZBA at their 8/24/22 meeting. Ms. Robertson noted that nearby residents had requested that white siding not be used on the Senior Center building due to the high level of reflectiveness and brightness. Mr. Steenburgh agreed. He also noted that a roof plan will be provided for the 10/3/22 meeting.

A roof plan drawing was received and is included in the meeting packet.



10/3/22 Planning Board (PB) meeting – There were no representatives on behalf of the applicant at the meeting. The PB briefly discussed the roof plan. Mr. D'Arpino explained how the HVAC system will be stored and concealed. The Planning Office noted that the Weston and Sampson engineering firm has been selected as the TDE for the project. The PB requested additional information and details for the smaller 3,000 sq. ft. building.

On 1/10/23 Mr. Steenburgh emailed the Planning Office stating that construction costs associated with the underground parking have made the project cost prohibitive. The email includes a revised sketch plan that includes 55 car port parking spaces to meet the one covered space per unit as required in the Town zoning code. The revision status of the drawing was not changed but a hard copy version is stamped "Received Jan 10 2023 Planning Office Niskayuna, NY" and saved in the paper folder archives. The sketch plan now includes 55 covered parking spaces and 69 uncovered parking spaces.

A new 23-page design package entitled "Exterior Perspective – View from Aqueduct Road, Rivers Ledge Development Senior Building, Aqueduct Road, Niskayuna, NY 12309 by HCP Architects dated 12/12/22 was also included with the email. The design package includes renderings of the exterior of the revised building, window and siding specifications, interior floor plans and manufacturer's spec. sheets for several other key components of the proposed design.

While the Planning Office does not object to changing the parking to above ground, the Board should explore the visual change/impact to the Mohawk Hudson Bike Hike Trail, what the materials for the proposed garages would be, whether the main building height can be lowered as a result of the loss of the underground parking, what the impact is to landscaping and screening. The PO notes the conditions for Phase 2 of the PUD includes:

1. Preserving and protected the rural character of Aqueduct Road
2. Mitigate the loss of wetlands with landscaping and protect northern long-eared bat trees
3. Reduce impacts to wetlands (as proposed one building reduces impacts)
4. Construct a public parking lot (shown in proposed plan)
5. Explore transit opportunities / bus stop on premises
6. Meet multi-family dwelling regulations wherever possible
7. Install a sidewalk from the edge of Rivers Ledge property line down Aqueduct road to the entrance to Aqueduct Park on Aqueduct Road (not shown)

The Board should review and discuss the revised design.

2/23/2023

At the 2/13/2023 Planning Board meeting, the Board expressed dismay that the underground parking was not proposed as part of the senior center building and asked the applicant to look into several alternative designs to keep the feel of the PUD. Some of the considerations were:

1. Look at underground parking again
2. Look at moving underground parking adjacent to building
3. Look at breaking up the sea of asphalt around this building
4. Consider less covered parking – only covered parking to one side of building
5. Consider inside of building – entrances and exits are not conducive to walking to covered parking – consider covered entry or walkway to parking

2/27/2023



The applicant requested to come before the Board to discuss some of their findings following the last Planning Board meeting and discuss options to pursue for approval.

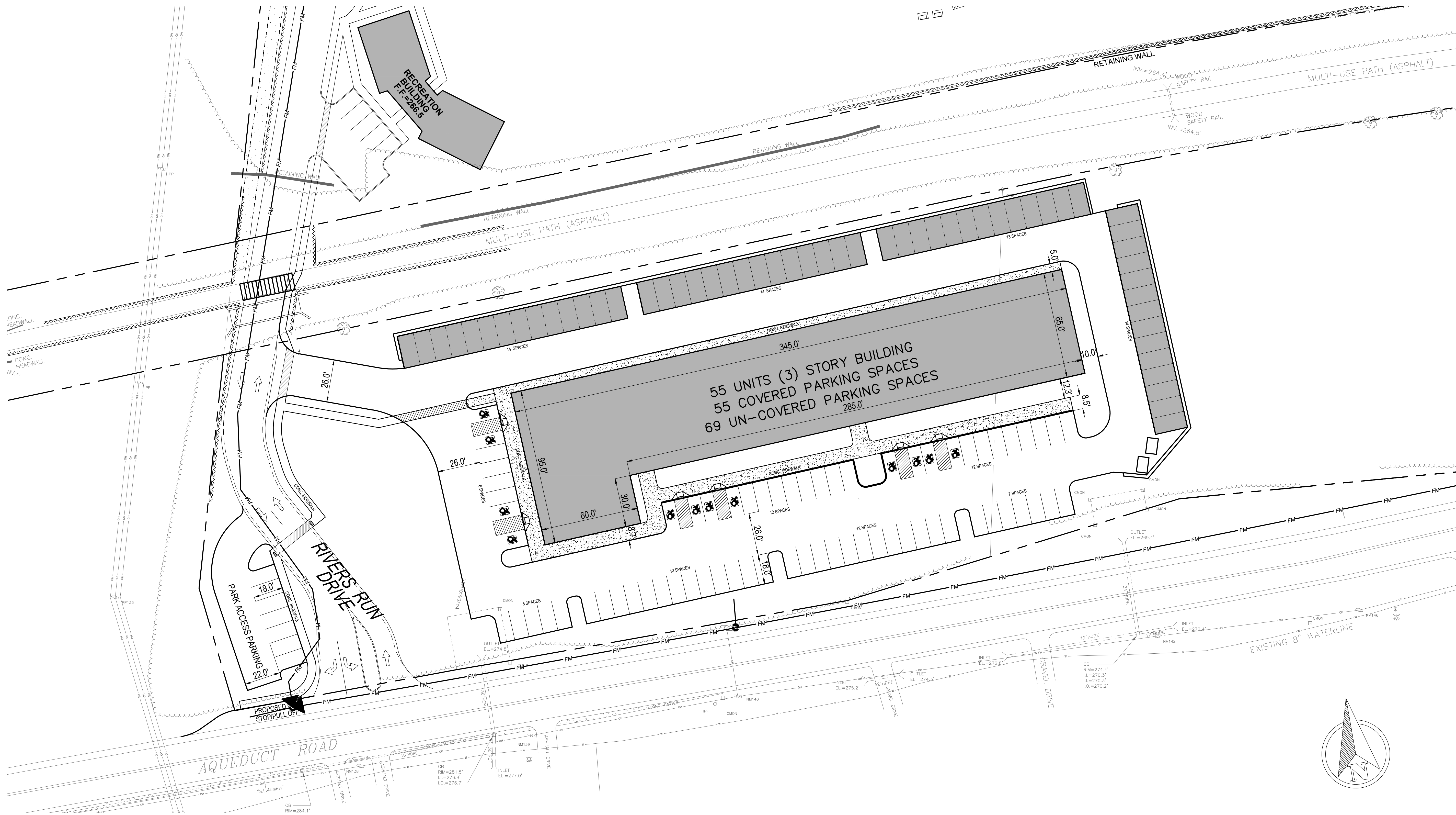


SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA  
APPLICANT: RIVERS LEDGE OF NISKAYUNA  
49 RAILROAD AVENUE  
ALBANY, NY 12205  
AREA = 5.25± ACRES  
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
MAIN BUILDING: 55 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
PARKING PROVIDED = 124 SPACES  
GARAGE SPACES = 55 SPACES  
OUTDOOR SPACES = 69 SPACES  
BUILDING HEIGHT - 41'  
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
PARKING PROVIDED = 11 SPACES  
BUILDING HEIGHT - 16'

LEGEND

- |   |   |    |                         |
|---|---|----|-------------------------|
| 1 | HANDICAP RAMP PER ADA STANDARDS             | 10 | BEGIN GUIDE RAIL        |
| 2 | CONCRETE SIDEWALK                           | 11 | END GUIDE RAIL          |
| 3 | BEGIN CURB                                  | 12 | CROSSWALK               |
| 4 | END CURB                                    | 13 | CONNECT TO EX. SIDEWALK |
| 5 | HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P) | 14 | DUMPSTER ENCLOSURE      |
| 6 | STOP SIGN (MUTCD R1-1 MIN. 30" X 30")       |    |                         |
| 7 | NO PARKING ANYTIME SIGN (MUTCD R7-1)        |    |                         |
| 8 | BEGIN RETAINING WALL                        |    |                         |
| 9 | END RETAINING WALL                          |    |                         |



BRETT L. STEENBURGH MAP REFERENCE:  
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS  
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

**BRETT L. STEENBURGH, P.E. PLLC**  
2832 Rosendale Road  
Niskayuna, NY 12309  
(518) 365-0875  
bsteenburgpe@gmail.com  
**ENGINEERING THAT TRANSFORMS  
IMAGINATION INTO REALITY**

**SKETCH PLAN**  
**PHASE 2 - RIVERS LEDGE OF NISKAYUNA**  
**2837 AQUEDUCT ROAD**  
COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK  
DRAWN BY: CHECKED BY: SCALE: 1" = 30'  
CADD FILE: JOB NO. DATE: MAY 11, 2022  
**SHEET S-1**

Sealing off these drawings shall be done only for review and approval purposes. Contractors shall not be permitted to make any changes or alterations to the drawings without the express written consent of Brett L. Steenburg, P.E., PLLC.  
Unauthorized alterations or additions to the drawings shall be deemed to be a violation of the Professional Engineer's Code of Ethics and may result in disciplinary action.  
Copyright 2021 Brett L. Steenburg, P.E., PLLC. All rights reserved.  
Brett L. Steenburg, P.E., PLLC  
NYS Lic. No. 075458

**Dig Safety. New York**  
**Call 811**  
before you dig

NO.	DATE	REVISIONS	BY:
1	8/9/22	REVISED AS PER THE COMMENTS	







## EXTERIOR CLADDING SPECIFICATIONS

## WINDOW SPECIFICATIONS

### CULTURED STONE VENEER:

- CASA DI SASSI
  - VOLTERRA TURIN

EIFS BRICK

- STOCREATIV BRICK
  - OHIO STANDARD BRICK
  - COLOR: VARIES

SIDING / TRIM:

- JAMES HARDIE FIBER CEMENT
- 7" SMOOTH LAP SIDING
  - COLOR: VARIES
- VERTICAL & PANEL SIDING
  - COLOR: VARIES
- TRIM, FASCIA & SOFFITS
  - COLOR: VARIES

STANDING SEAM METAL ROOF - DORMERS & SHED ROOFS:

- ATAS 2" FIELD-LOK
  - COLOR: BLACK

ROOFING:

- GAF TIMBERLINE HDZ
- ARCHTIECTURAL ASPHALT SHINGLES
  - COLOR: WEATEHRED WOOD

WINDOWS:

- ANDERSEN 100 SERIES OR EQUAL
- SINGLE HUNG: (2) 2'-6" X 5'-0"
  - EXT. COLOR: VARIES
  - INT. COLOR: WHITE

## SLIDING PATIO DOORS

- ANDERSEN 100 SERIES OR EQUAL
- GLIDING PATIO DOOR: 8'-0"w X 7'-0"h
  - EXT. COLOR: VARIES
  - INT. COLOR: WHITE

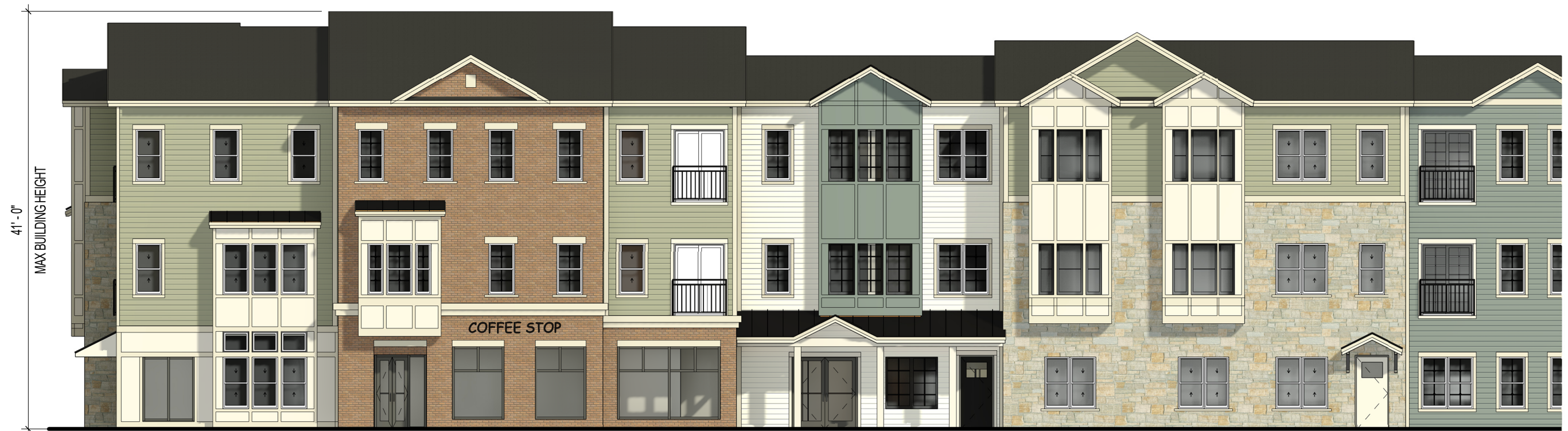
BUILDING ENTRANCES:

- KAWNEER 350 MEDIUM STILE ALUMINUM ENTRANCES
- 3-1/2" VERTICAL STILES AND TOP RAILS
- 10" HIGH BOTTOM RAIL
- ALUMINUM FINISH: PERMAFLUOR, VARIES



MAX BUILDING HEIGHT

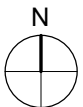
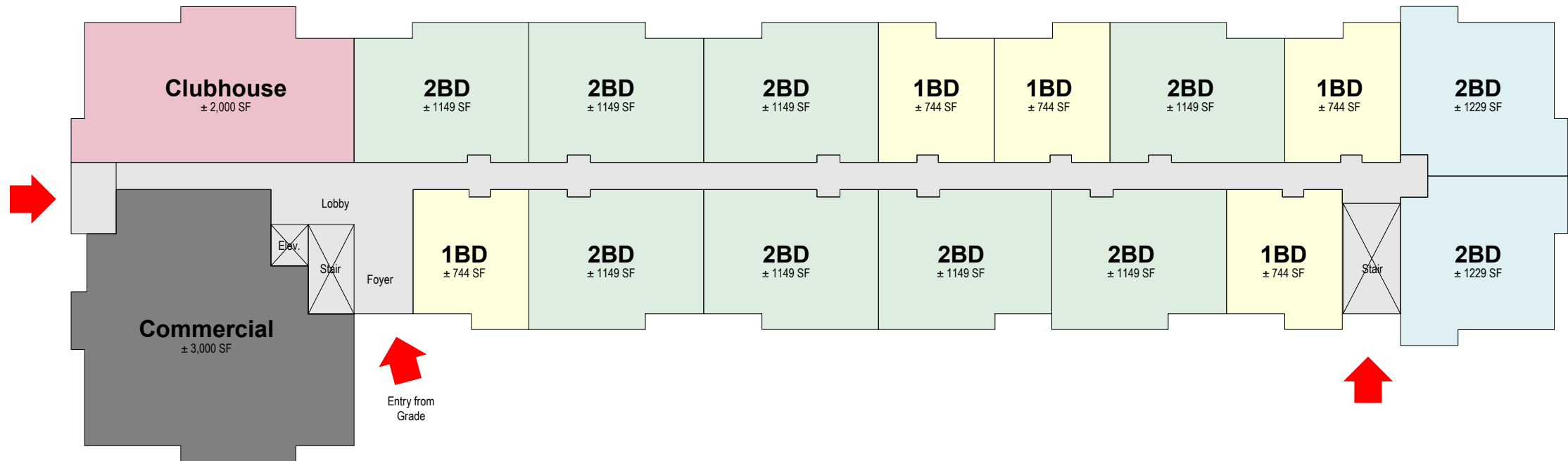
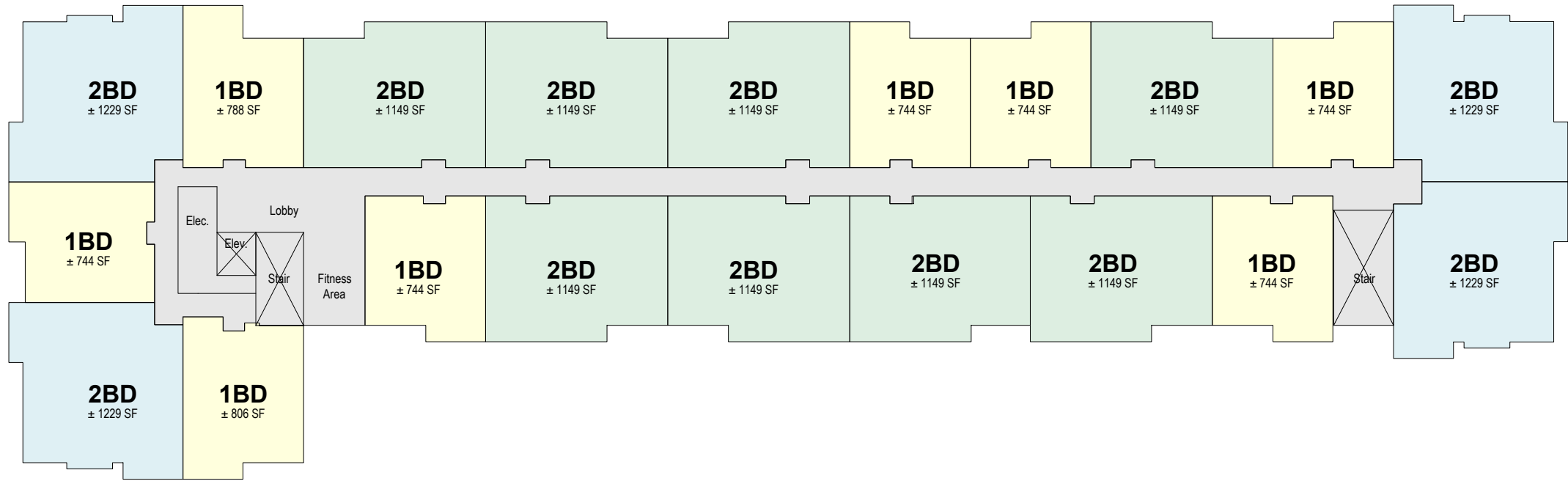
West Elevation



MAX BUILDING HEIGHT

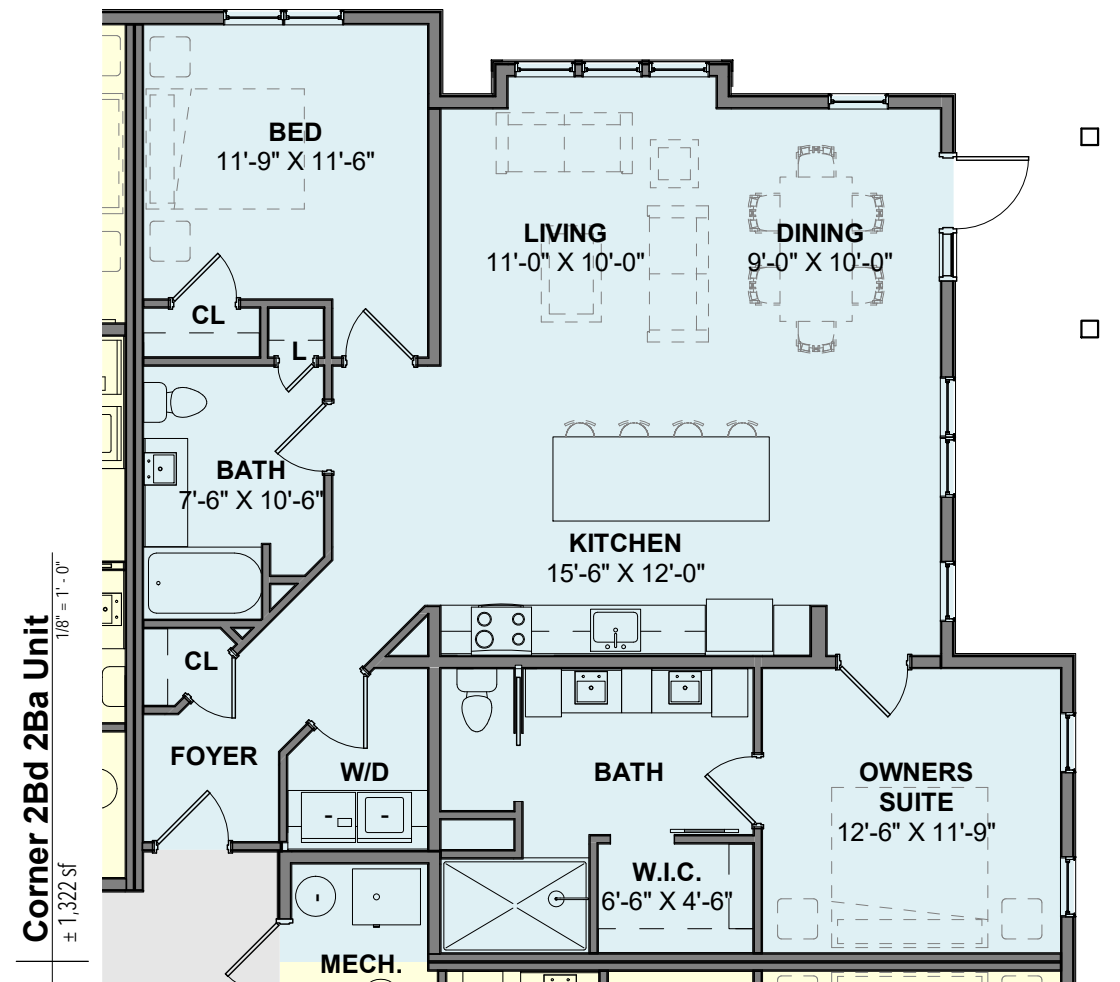
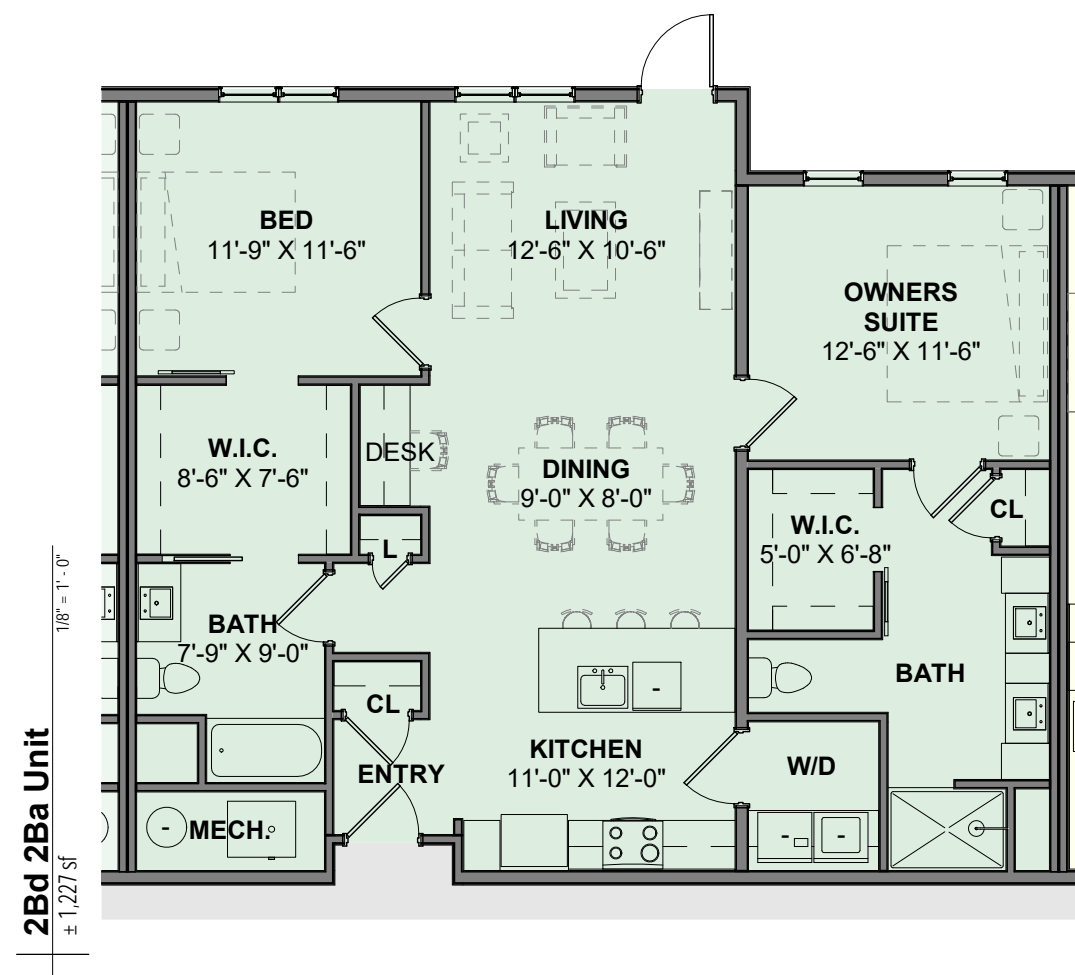
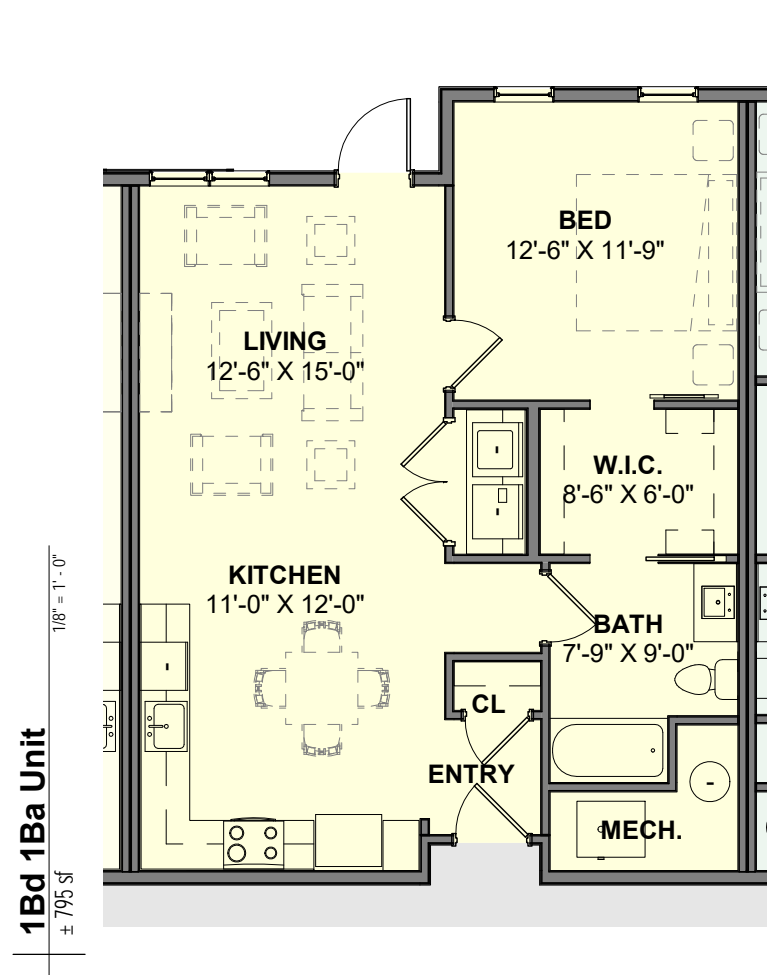
### South Elevation - West Wing





Unit Count Matrix			
	1 Bedroom	2 Bedroom	
First Floor	5	10	± 55 Units
Second Floor	8	12	
Third Floor	8	12	
Total	21	34	









VOLTERRA





Niveo



Terracina



Turin



CASA DI SASSI'S Volterra has a historically classic appearance and consists of stones hewed in rectangular shapes with unique textures and ruggedness. The stone heights enable ease of installation and coursing.

Left: Turin Volterra

Top: Niveo Volterra



## ACCENTS



Keystone  
8" x 5" x 10"



Trim Stone  
6" x 8"



Watertable  
3" x 3" x 24"

## CAPS



Flat Wall Cap  
W: 10", 12", 14", 16" & 18"  
L: 23.5"



Chiseled Cap  
W: 14", 18", 22", 24" & 31"



Natural Cap  
18" x 24", 18" x 36" and  
24" x 24"

## BRACKETS



Wood Bracket  
6" x 6.25"  
*Available in Brown and Grey*



Stone Bracket  
2.5" x 11"

## MANTELS



Barn Beam Mantel



Barn Beam Mantel

60" x 8.5" x 6" (L x W x H)  
*Available in Brown and Grey*



Wood Grain Mantel

60" x 8.5" x 6"  
*Available in Brown and Grey*



Stone Mantel

60" x 10" x 2.5"



## UTILITIES



Light Block

10" x 15"

4" Hole



Small Light Block

8" x 10"

4" Hole



Double Receptacle

8" x 8"



Single Receptacle

6" x 8"



Hose Bib

5" x 5"

1.5" Hole

## HEARTHSTONES



20" x 20" x 2"

## ACCESSORY COLOR GUIDE



Cream



Fumo



Mezzo



Sage



Terra

Limestone	
Imperia	Cream, Sage, Terra
Salerno	Cream, Sage, Terra

EZ Ledge	
Bergamo	Sage, Terra
Cremona	Fumo, Mezzo
Gola	Mezzo, Sage, Terra
Matera	Mezzo, Sage, Terra
Niveo	Cream

Kwik Stack	
Carbone	Fumo, Mezzo
Matera	Mezzo, Sage, Terra
Niveo	Cream

Blends	
Bella	Mezzo, Sage
Bianco	Cream
Bolzano	Cream, Mezzo
Cremona	Fumo, Mezzo
Terracina	Sage, Terra

Fieldstone	
Gola	Mezzo, Sage, Terra
Legno	Cream, Sage, Terra
Monte	Sage, Terra

Granite	
Luce	Cream, Terra

Old World	
Bella	Mezzo, Sage
Dorato	Cream, Terra
Euro	Cream, Sage, Terra
Grigio	Fumo, Mezzo, Sage
Turin	Fumo, Mezzo

Volterra	
Niveo	Cream
Turin	Fumo, Mezzo
Terracina	Sage, Terra

Brick	
Neve	Cream
Rosso	Fumo, Mezzo

Ledgestone	
Bella	Mezzo, Sage
Carbone	Fumo, Mezzo
Cremona	Fumo, Mezzo
Gola	Mezzo, Sage, Terra
Matera	Mezzo, Sage, Terra
Monte	Sage, Terra
Murano	Sage, Terra

Country Rubble	
Matera	Mezzo, Sage, Terra
Murano	Sage, Terra
Turin	Fumo, Mezzo

Barnstone	
Catania	Sage, Terra





## StoCreativ® Brick

The classic look of brick in a lightweight, energy-efficient cladding.

StoCreativ® Brick is a cost-effective, easy-to-apply decorative wall finish system that can be used over any Sto cladding or other prepared exterior surface including Stucco, EIFS, Tilt-up and CMU to achieve the classic look of brick.

Using self-adhering stencils applied over a primer layer to create the appearance of mortar, this simple finish system offers a sustainable alternative to heavier brick, while avoiding the hassle of dealing with multiple trades and cumbersome accessories.

Available with a variety of brick patterns and color options for both the finish layer and mortar, StoCreativ® Brick is a lightweight, single source system, ideal for new construction and restoration.





## StoCreativ® Brick Benefits:

### A cost-effective, time-efficient process to achieve the classic look of brick

- Light weight decorative finish system which can reduce costly structural requirements needed for heavier claddings
- Quick and simple application process using self-adhering stencils; doesn't require highly-specialized labor or expensive accessories
- Easy to install even in tight spaces where brick and other heavier claddings just won't work; ideal for restoration of buildings in urban areas
- StoCreativ® Brick is ready to install when you need it; no time wasted waiting for custom colors or special orders

### Sustainable, 'single source' system for increased energy-efficiency and greater peace of mind

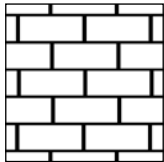
- StoCreativ® Brick can be installed over any continuous insulation (ci) wall system from Sto, thus providing a proven and hassle-free 'single source' solution to meet ASHRAE design standard 90.1-2010 and the new IGCC/IECC\* energy code requirements.
- Light-weight system which creates less solid waste in production and at end-of-life than heavier claddings
- Can be combined with other Sto finishes for multi-cladding aesthetics, thus avoiding the hassle of dealing on the jobsite with multiple suppliers and trades.

### Exceptional design versatility

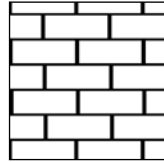
- Wide range of decorative and protective 100% Acrylic wall finishes in virtually unlimited colors
- By varying application technique and finish color combination, StoCreativ® Brick can be used to match any brick veneer texture including aged ones; perfect for building restoration.
- This lightweight wall finish system can also be used to create decorative custom shapes, virtually impossible to achieve with heavy claddings.

\*IGCC: International Green Construction Code - IECC: International Energy Conservation Code

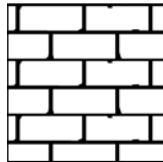
### Available Brick Patterns



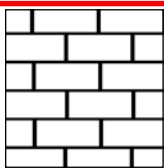
Utility Brick 3/8" (RP)



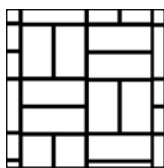
New York Brick 1/2" (RP)



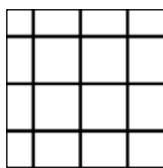
Used Wall Brick (RP)



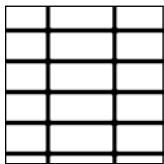
Ohio Standard Brick (RP)



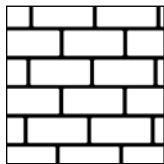
Block Pattern (RP)\*



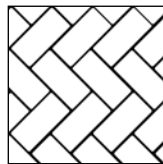
Square 8.5 (RP)\*



Stack Ribbon Brick (RP)\*



Baltimore Brick (RP)\*



Herringbone (RP)\*

RP: Recycled Plastics

\*3 - 4 weeks lead time; Minimum order quantity applies.

Sto New Name	Dimension (inches)		Sheets Per Box	Coverage (Sq. Feet)
	Width	Height x Mortar Joint Width		
Utility Brick 3/8" (RP)	11.5"	3.625" x .375"	32	480
New York Brick 1/2" (RP)	8"	2.25" x .5"	47	450
Used Wall Brick (RP)	7.75"	2.5" x .375"	32	480
Ohio Standard Brick (RP)	7.75"	2.5" x .375"	32	480
Block Pattern (RP)	8"	3.75" x .5"	37	480
Square 8.5 (RP)	7 7/8"	7 7/8" x .5"	37	480
Stack Ribbon Brick (RP)	8"	3.5" x .5"	32	480
Baltimore Brick (RP)	7.5"	3.375" x .5"	34	480
Herringbone (RP)	8"	4" x .5"	48	480

RP: Recycled Plastics

### Sto Corp.

3800 Camp Creek Parkway  
Building 1400, Suite 120  
Atlanta, GA 30331

Phone: 404-346-3666

Toll Free: 1-800-221-2397

Fax: 404-346-3119

[www.stocorp.com](http://www.stocorp.com)

5877 03/18

**Sto** | Building with conscience.

### ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to this product, and to the structure of the building or its components. STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME. For the fullest, most current information or proper application, clean-up and mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto. Corp. website, [www.stocorp.com](http://www.stocorp.com).





Building with conscience.

# StoCast Brick Color Collection

Resin Cast Brick



Creativity Begins. **Sto Finishes.®**



Brushed/Sand Faced Bricks



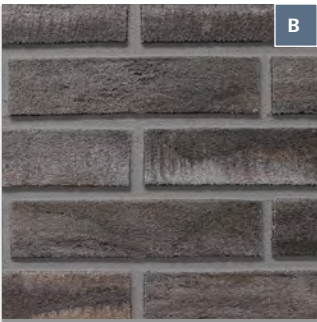
Albi S9.4936      ■ 13



Bordeaux S9.5317      ■ 10



Brighton S9.4748      ■ 12



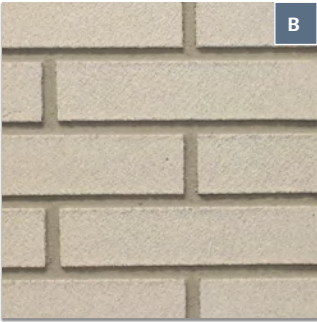
Durham S9.4824      ■ 10



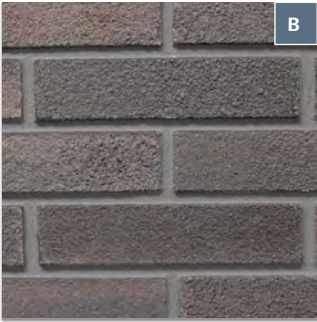
Leiria S9.7227      ■ 11



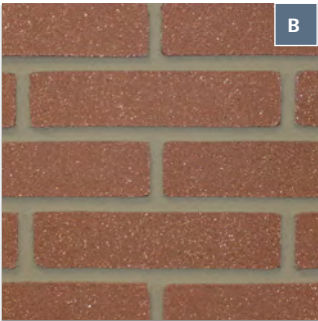
Mayfield S9.5895      ■ 90



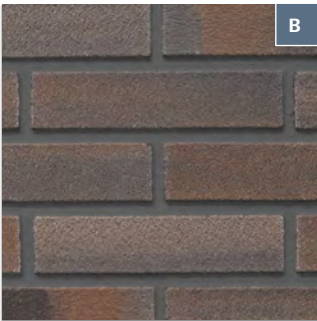
Milwaukee S9.5974      ■ 85



Princeton S9.8419      ■ 11



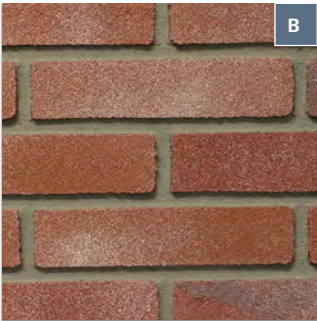
Richmond S9.6526      ■ 10



Salem S9.6597      ■ 11



Savannah S9.7341      ■ 15



St. Louis S9.5287      ■ 13

Heavy Texture



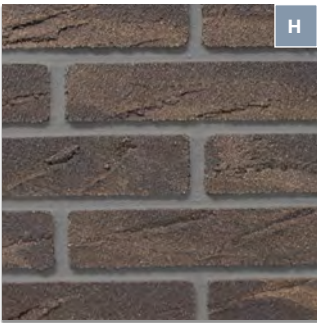
Toulouse S9.6689      ■ 10



Wexford S9.4865      ■ 13



Arlington S9.3900      ■ 13

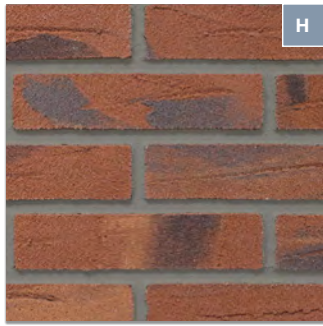


Bainbridge S9.5083      ■ 11

NOTE: Custom colors and custom matching are available in addition to these StoCast Brick standards.      ■ 00 Light Reflective Value

Light Texture





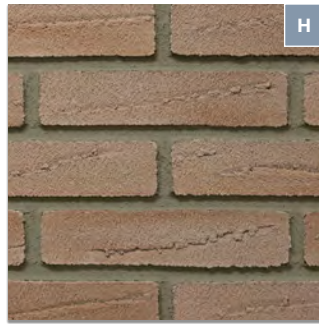
Cambridge S9.3488

■ 11



Davenport S9.3812

■ 65



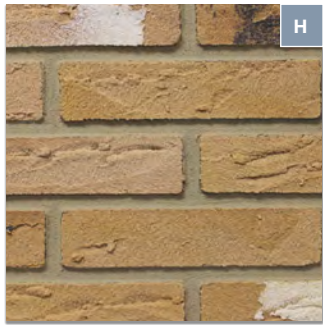
Kensington S9.5627

■ 35



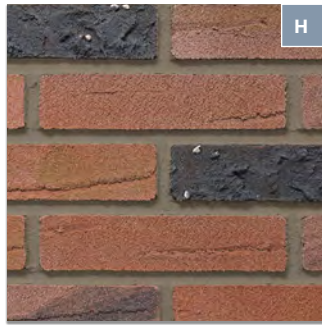
Newberry S9.4988

■ 13



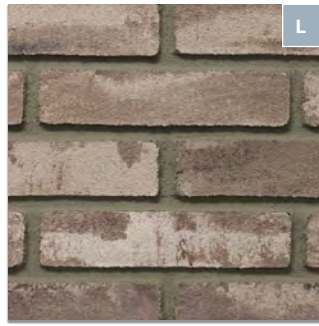
Westend S9.6527

■ 44



Winston S9.5575

■ 14



Harrison S9.6897

■ 11



Lexington S9.6683

■ 30

### Light Texture

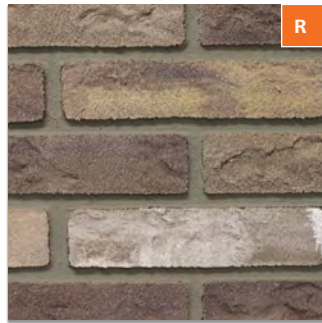
### Rolled

### Tumbled



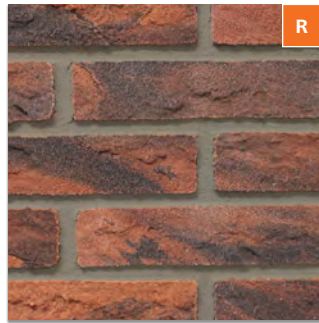
Madison S9.4435

■ 33



Brandenburg S9.7094

■ 16



Portmarnock S9.6761

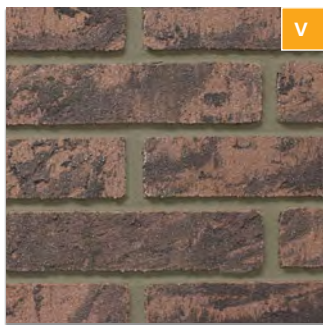
■ 20



Hamilton S9.6855

■ 18

### Vertical/Blade Cut



Lubeck S9.6118

■ 17



Sunderland S9.4475

■ 15

- B **Brushed/Sand Faced Bricks**
- H **Heavy Texture**
- L **Light Texture**
- R **Rolled**
- T **Tumbled**
- V **Vertical/Blade Cut**

NOTE: Custom colors and custom matching are available in addition to these StoCast Brick standards.

■ 00 Light Reflective Value



## Flexible, lightweight, sustainable and durable

StoCast Brick is a highly customizable and versatile facade aesthetic that can be used in a variety of wall systems, ceilings, and soffits in both new and existing construction.

StoCast Brick uses the same technology as Sto's traditional acrylic finishes and therefore allows for nearly endless possibilities for customized designs. By using StoCast Brick together with StoTherm® ci, it is possible to combine continuous thermal insulation with the appearance of a traditional brick facade and add design accents to any building

## Wide range of looks and design options

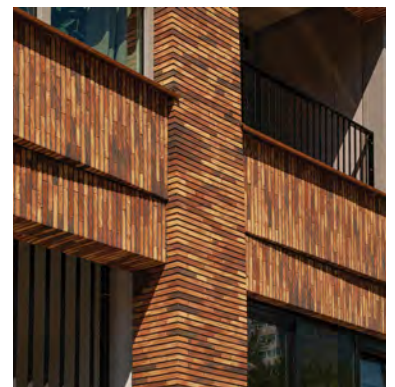
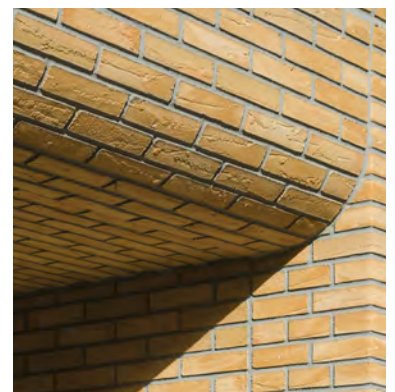
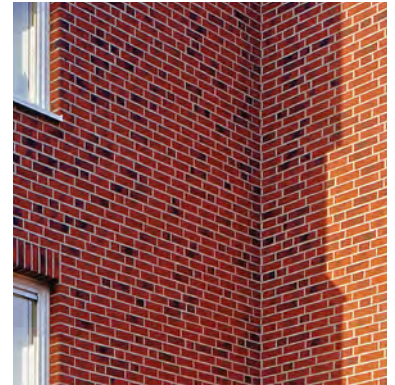
With 30 standard bricks and our custom matching abilities, our large selection of StoCast Brick works with any building style. Whether the design calls for a modern, traditional or rustic design, StoCast Brick is both classic and contemporary.

StoCast Brick joins a wide range of aesthetic options provided by Sto. Designers ask for design freedom but with the assurance that the entire building envelope will perform. With this new outstanding offer, architects can now add brick to the vast aesthetics options Sto offers, while enjoying the continuity and compatibility of the wall cladding throughout the entire building, no matter the aesthetic chosen.

Creativity Begins. **Sto Finishes.®**

### Limitations

This chart offers a representation of StoCast Brick color. Actual color of manufactured product may vary slightly from the chart. Furthermore, samples may vary slightly in color and texture from production materials made for a particular job. It is always recommended to install a large sample wall area to assure desired results.



### Sto Americas

#### Sto Corp.

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#### ATTENTION

Sto products are intended for use by qualified professional contractors, not consumers, as a component of a larger construction assembly as specified by a qualified design professional, general contractor or builder. They should be installed in accordance with those specifications and Sto's instructions. Sto Corp. disclaims all, and assumes no, liability for on-site inspections, for its products applied improperly, or by unqualified persons or entities, or as part of an improperly designed or constructed building, for the nonperformance of adjacent building components or assemblies, or for other construction activities beyond Sto's control. Improper use of Sto products or use as part of an improperly designed or constructed larger assembly or building may result in serious damage to this product, and to the structure of the building or its components. **STO CORP. DISCLAIMS ALL WARRANTIES EXPRESSED OR IMPLIED EXCEPT FOR EXPLICIT LIMITED WRITTEN WARRANTIES ISSUED TO AND ACCEPTED BY BUILDING OWNERS IN ACCORDANCE WITH STO'S WARRANTY PROGRAMS WHICH ARE SUBJECT TO CHANGE FROM TIME TO TIME.** For the fullest, most current information on proper application, clean-up, mixing and other specifications and warranties, cautions and disclaimers, please refer to the Sto Corp. website, [www.stocorp.com](http://www.stocorp.com).



# STATEMENT COLLECTION™



# ColorPlus® Technology

Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for the Northeast, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

**HardiePlank**  
smooth & cedarmill

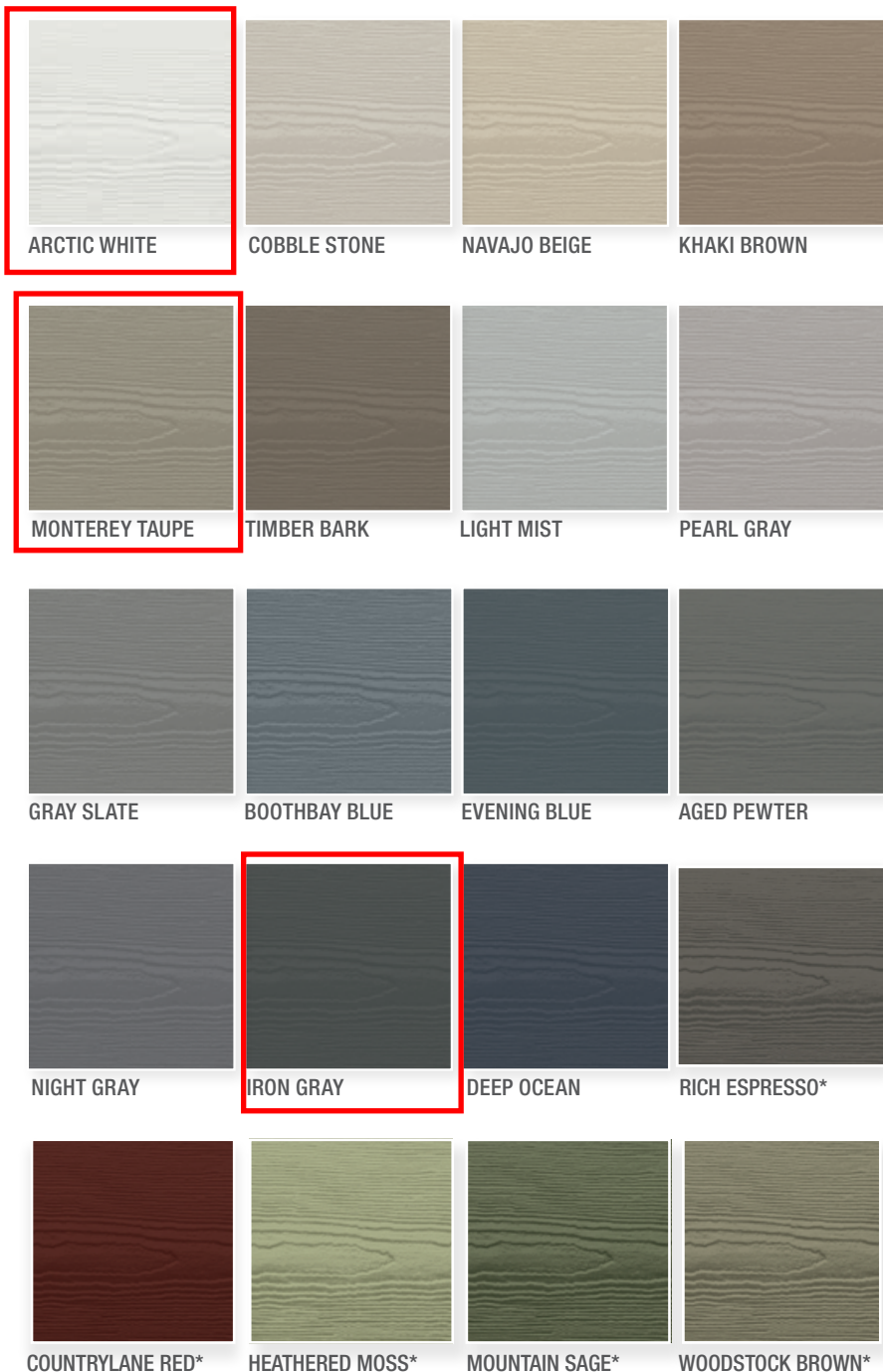
**HardiePanel™**  
4' x 10'

**HardieShingle™**  
5" & 7" exposure

\*ADDITIONAL LEAD TIME MAY APPLY



## Plank, Panel, Shingle and Battens Color Offering



## Trim Color Offering



Colors shown are as accurate as printing methods will permit.  
Please see actual product sample for true color.



# HardiePlank®



**SELECT CEDARMILL®**

Width 6.25 in 8.25 in  
Exposure 5 in 7 in

# HardiePanel®



**SELECT CEDARMILL®**

Size 4 ft x 10 ft



**SMOOTH**

Width 6.25 in 8.25 in  
Exposure 5 in 7 in



**SMOOTH**

Size 4 ft x 10 ft

# HardieShingle®

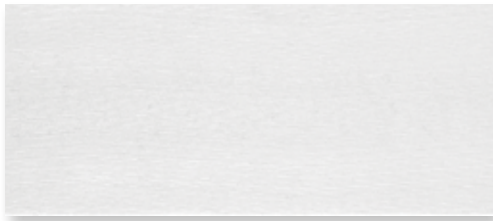


**STRAIGHT EDGE PANEL**

Height 14 in 15.25 in  
Exposure 5 in 7 in

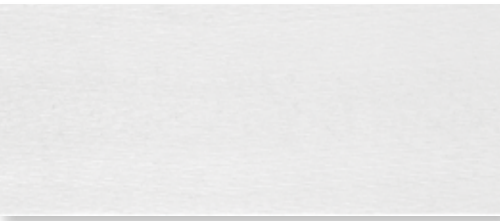
# HardieTrim®

**4/4 SMOOTH**



Thickness .75 in  
Length 12 ft boards  
Width 3.5 in 5.5 in 7.25 in 11.25 in

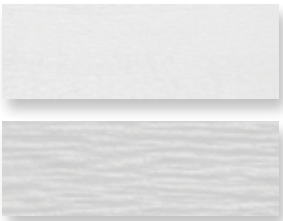
**5/4 SMOOTH**



Thickness 1 in  
Length 12 ft boards  
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

# BATTEN BOARDS

**4/4 SMOOTH & RUSTIC GRAIN®**



.75 in  
2.5 in



Selecting a color? Request a product sample  
at [jameshardiepros.com/samples](https://jameshardiepros.com/samples)

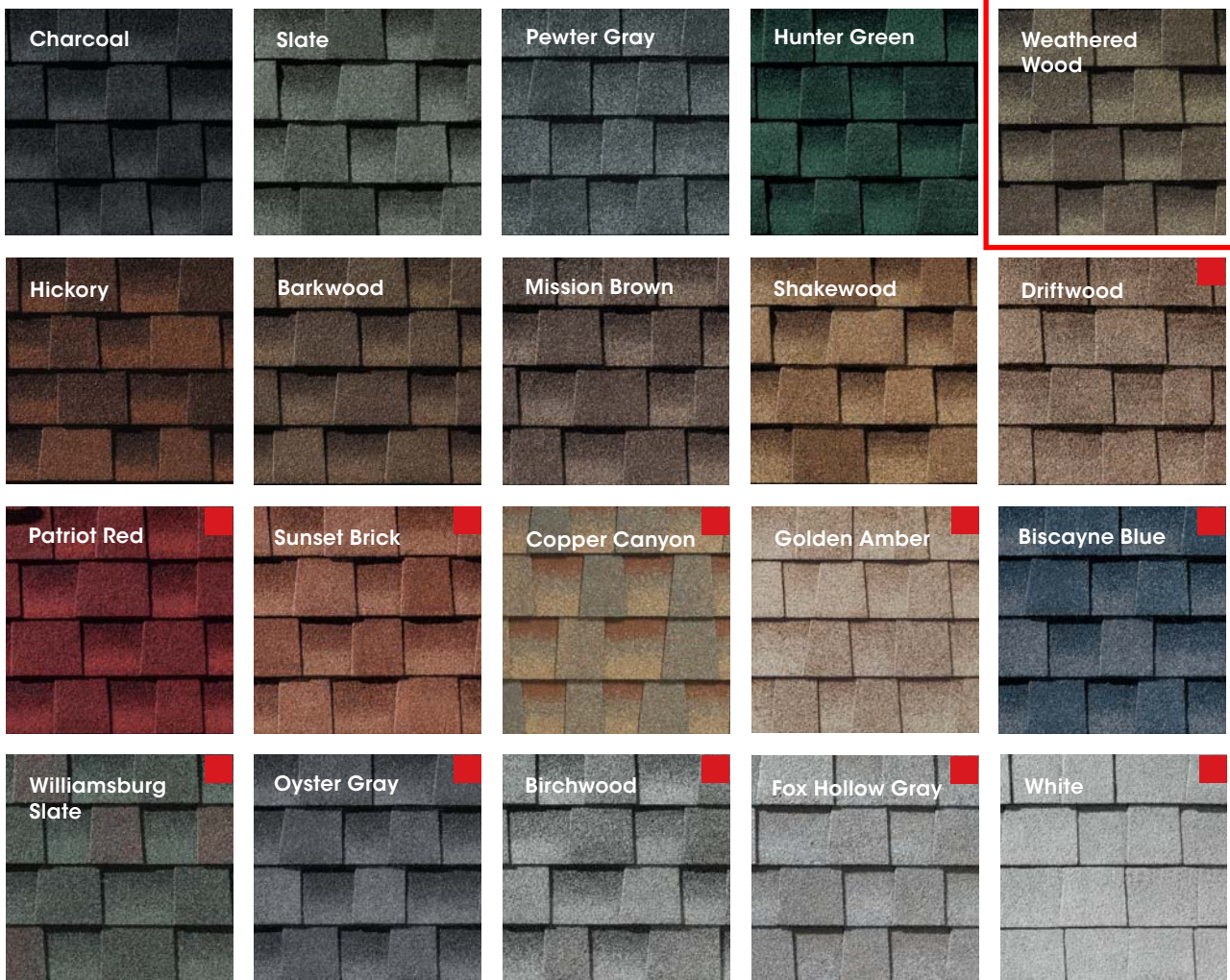


# GAF Timberline<sup>®</sup> HDZ<sup>™</sup>

High Definition<sup>®</sup> Lifetime<sup>†</sup> Shingles



Timberline<sup>®</sup> shingles protect millions of families nationwide with great value and a genuine wood-shake look. Peace of mind has never looked so good.



For more details visit [gaf.com/hdz](http://gaf.com/hdz)

<sup>†</sup> 15-year WindProven<sup>™</sup> limited wind warranty on Timberline<sup>®</sup> HDZ<sup>™</sup> Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit [gaf.com/LRS](http://gaf.com/LRS) for qualifying GAF products.

**NOTE:** It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Available regionally



---

# 100 SERIES

## WINDOWS & PATIO DOORS

---

### THE SMART ALTERNATIVE TO VINYL

Whether you're replacing, remodeling or building, Andersen® 100 Series windows and patio doors are a smart step up from vinyl. They provide uncommon value, combining time-tested performance with long-lasting beauty. Our 100 Series products are made with our revolutionary Fibrex® composite material, which comes in deep, rich colors that can dramatically enhance any project. In addition, Fibrex material is environmentally responsible and energy efficient, making 100 Series products a winning choice for anyone considering vinyl windows and doors.

---

#### DURABILITY

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight. And 100 Series products come with durable, low-maintenance finishes that won't fade, flake, blister or peel.\*



#### DEEP, RICH COLORS

Our 100 Series windows come in beautiful colors that can set a project apart.

#### ENVIRONMENTALLY SMART

Our Fibrex composite material is composed of 40% reclaimed wood fiber by weight.



\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.



# FIBREX® MATERIAL. STRONG ON PERFORMANCE. GENTLE ON THE ENVIRONMENT.

With Fibrex® composite material, you get the best of both worlds: a top-performing product that is environmentally responsible.

Developed by Andersen, Fibrex material is a revolutionary structural composite material that blends the very best attributes of vinyl and wood. Fibrex material saves on natural resources because it is composed of 40% reclaimed wood fiber by weight. Special polymer formulations surround and fill each wood fiber, enabling top performance.

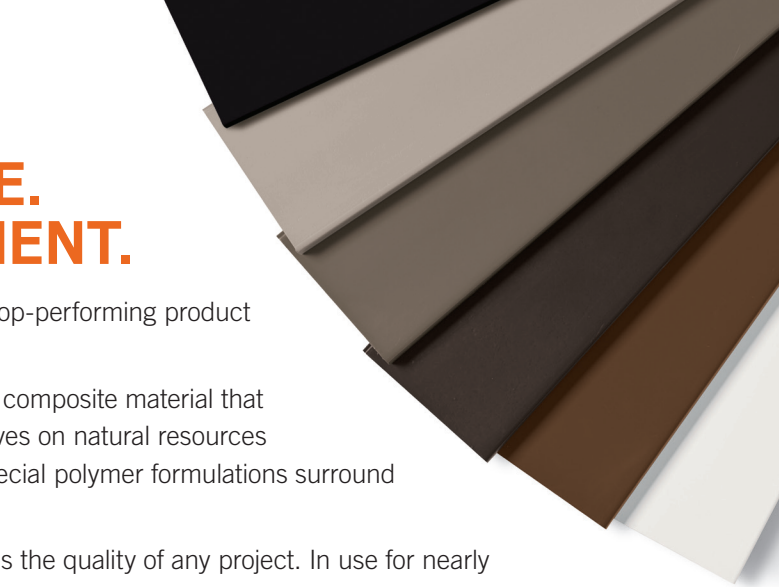
The result is a material that provides uncommon value and enhances the quality of any project. In use for nearly two decades in Andersen® products, Fibrex material has proven its strength and durability in all types of climates.

## A REVOLUTIONARY BUILDING MATERIAL

- Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight
- It blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills
- For exceptional durability, Fibrex material retains its stability and rigidity in all climates

## ENVIRONMENTALLY RESPONSIBLE

- Since Andersen developed the highly sustainable Fibrex material, reuse of waste wood fiber has prevented the harvesting of nearly 90 million board-feet of timber
- 100 Series windows can help builders earn LEED® points in three key categories: Energy & Atmosphere, Materials & Resources and Indoor Environmental Quality
- 100 Series products meet or exceed California Section 01350 Specification, a California indoor emission standard — one of the toughest in the country
- Like all Andersen windows, the 100 Series product line is designed to last\* and help reduce future waste streams



See how Andersen created Fibrex material at [andersenwindows.com/fibrex](http://andersenwindows.com/fibrex).

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

All logos and marks are trademarks of their respective owners.



# GLASS OPTIONS

Andersen has the glass you need to get the performance you want with options for every climate, project and customer. Check with your supplier for the selections that are ENERGY STAR® certified in your area.

PERFORMANCE COMPARISON OF ANDERSEN® 100 SERIES GLASS OPTIONS

GLASS	E N E R G Y		L I G H T	
	U-FACTOR	SOLAR HEAT GAIN COEFFICIENT	VISIBLE LIGHT TRANSMITTANCE	UV PROTECTION
	How well a product prevents heat from escaping.	How well a product blocks heat caused by sunlight.	How much visible light comes through a product.	How well a product blocks ultraviolet rays.
<b>High-Performance Low-E</b> Energy-efficient Low-E glass is available in all Andersen® 100 Series products, and can help reduce energy bills in any climate.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
<b>High-Performance Low-E with HeatLock® Coating</b> Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factors.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
<b>High-Performance SmartSun™</b> Thermal control similar to tinted glass, but with the visible light transmittance of clear glass.	★★★★☆	★★★★★	★★★★☆	★★★★★
<b>High-Performance SmartSun with HeatLock Coating</b> Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factors.	★★★★☆	★★★★★	★★★☆☆	★★★★★
<b>Clear Dual-Pane</b> Dual-pane glass is available for projects where codes allow its use.*	★★☆☆☆	☆☆☆☆☆	★★★★★	☆☆☆☆☆

Center of glass performance only. Ratings based on glass options available as of January 2018. Visit [andersenwindows.com/energystar](http://andersenwindows.com/energystar) for ENERGY STAR® map and NFRC total unit performance data.

## TIME-SAVING TRANSLUCENT FILM

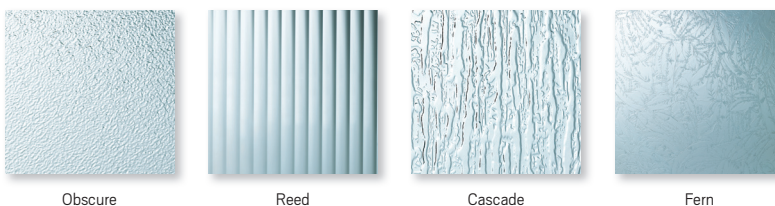
We help protect 100 Series windows and doors during delivery and construction with a translucent film that minimizes time spent masking on the jobsite, then peels away for a spotless window. For details, contact your Andersen supplier.



## ADDITIONAL GLASS OPTIONS

Tempered safety glass is available (standard on gliding patio doors) as well as sound-reducing glass options.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch to your home.



Cascade and Reed patterns are only available in a vertical orientation.

\*See your local code official for building code requirements in your area.

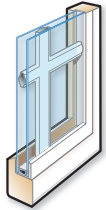


# GRILLE OPTIONS

Grilles for Andersen® 100 Series windows and patio doors are available in a wide variety of patterns to complement virtually any style of home. Plus, they give you options for easy cleaning and architectural authenticity many vinyl windows can't match.

## CONFIGURATIONS

### FINELIGHT™ GRILLES-BETWEEN-THE-GLASS



Finelight grilles make glass easy to clean. They have an elegant, sculpted profile, plus they offer a two-sided color scheme, allowing you to have grilles that match not only the interior but also your exterior color choice.

Finelight with Exterior Grilles make interior glass easier to clean, while permanent exterior grilles provide architectural style and detail.



### FULL DIVIDED LIGHT

For an authentic look, Full Divided Light features permanently applied grilles to the interior and exterior of the window with a spacer between the glass.

### SIMULATED DIVIDED LIGHT

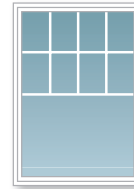
Simulated Divided Light offers permanent grilles on the exterior and interior with no spacer between the glass.



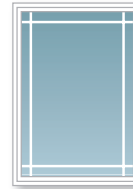
## PATTERNS



Colonial



Modified Colonial



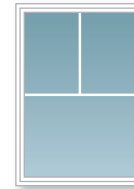
Prairie A



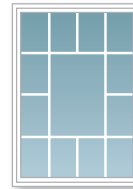
Simulated Single-Hung\*



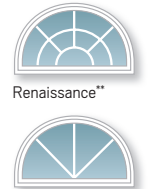
Short Fractional



Tall Fractional



Victorian



Renaissance\*\*



Sunburst\*\*

### Specified Equal Light

Any number of same-size rectangles across or down. Some limitations apply.



2 x 1



1 x 3



2 x 2



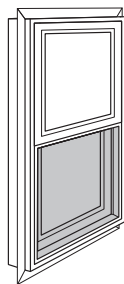
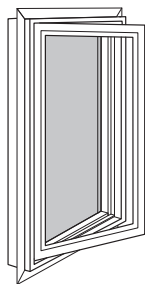
2 x 4

Note: Some grille patterns not available in all configurations and products.

## INSECT SCREENS

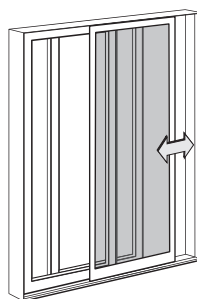
Insect screens for windows and patio doors have a fiberglass screen mesh. Optional TruScene® insect screens for windows are made with a micro-fine stainless steel mesh, providing 50% more clarity than our conventional insect screens.

### WINDOWS



Insect screens are available for all 100 Series venting windows.

### PATIO DOORS



#### Gliding Insect Screen

Gliding insect screens are available for two-panel doors.

\*Our 2 1/4" wide grille can make a casement window look like a single-hung. Can also be used with a Specified Equal Light pattern grille.

\*\*Renaissance and Sunburst patterns are only available with Finelight grilles.



### FEATURES

#### CASEMENT & AWNING

##### Frame

- A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.
- B** Durable, low-maintenance finish won't fade, flake, blister or peel.\*

Concealed receiving brackets mounted on the hinge side of the frame keep the sash tightly secured within the window frame when closed.

- C** Three flange options include:
  - 1 3/8" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.
  - 1" (25) flange setback with stucco key.
  - No-flange option for use as an insert/replacement window.

##### Sash

- D** Fibrex material construction provides long-lasting performance\*. The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.
- E** The dual weatherstripping system combines both an exterior watershed design and a bulb weatherstrip seal between the sash and frame. The result is a long-lasting\*, energy-efficient barrier against wind, water and dust.

##### Glass

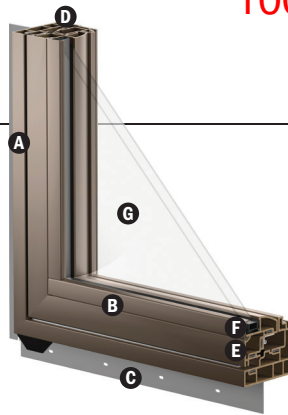
- F** A glazing bead and silicone provide superior weathertightness and durability.
- G** High-Performance glass options include:
  - Low-E SmartSun™ glass
  - Low-E SmartSun HeatLock® glass
  - Low-E glass
  - Low-E HeatLock glass
  - Dual-pane glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

##### Patterned Glass

Patterned glass options are available. See page 10 for more details.



##### Hardware

Sash operator provides almost effortless opening and closing, regardless of unit size. Long-lasting stainless steel hinge channels are used at the head and sill to provide easy operation.



##### Single-Action Casement Lock

Single-action lock easily releases all concealed locking points on casement sash. The lock and folding handle match the window's interior.

##### Awning Sash Locks



Awning sash locks provide an added measure of security and weathertightness. Awning hardware style and color options are compatible with 100 Series casement windows to ensure a consistent appearance when used in combination designs.

#### SINGLE-HUNG

##### Frame

- A** Frame constructed with Fibrex composite material. This construction produces a rigid frame.
- B** A durable, side-loaded balancer provides for easy sash opening and closing. The lower sash can be removed without the use of tools.
- C** Durable, low-maintenance finish won't fade, flake, blister or peel.\*
- D** Three flange options include:
  - 1 3/8" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.
  - 1" (25) flange setback with stucco key.
  - No-flange option for use as an insert/replacement window.
- E** Weep holes are located on the exterior sill nose for proper water management.

##### Sash

- The lower sash has a check rail cover with a unique raised profile design, allowing the sash to be opened and closed easily.
- F** Fibrex material construction provides long-lasting performance\*. The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.
- G** Dual-felt weatherstripping provides a long-lasting\*, energy-efficient barrier against wind, water and dust.

##### Glass

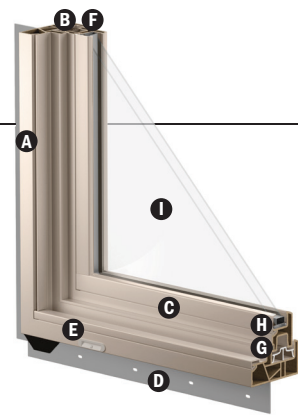
- H** A glazing bead and silicone provide superior weathertightness and durability.
- I** High-Performance glass options include:
  - Low-E SmartSun™ glass
  - Low-E SmartSun HeatLock® glass
  - Low-E glass
  - Low-E HeatLock glass
  - Dual-pane glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

##### Patterned Glass

Patterned glass options are available. See page 10 for more details.

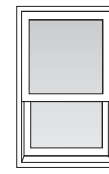


##### Hardware

##### Sash Lock

Sash lock engages automatically when lower sash is closed. The sash lock matches the window's interior. An optional sash lift is available.

##### Sash Options



Reverse Cottage Style

##### Shapes



Arch Single-Hung

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details. Dimensions in parentheses are in millimeters.



### FEATURES

#### GLIDING PATIO DOORS

##### Frame

**A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.

**B** Durable, low-maintenance finish won't fade, flake, blister or peel.

Factory-assembled doors arrive at the jobsite ready to install.

**C** Dual-felt weatherstripping, applied on the inside pocket of both side jambs and the head jamb, creates a positive seal between the frame and panels. The result is a long-lasting, energy-efficient barrier against wind, water and dust.

A full-length combination weatherstrip/interlock system provides a flexible seal at the meeting stile.

##### Sill

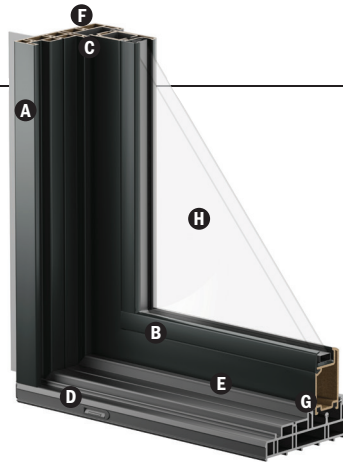
**D** One-piece sill design with weep holes located on the sill exterior provides superior water management. The heavy gauge PVC construction is wear-resistant and neutral gray in color.

**E** The roller track has a stainless steel cap that resists denting for smooth, reliable operation.

##### Panel

**F** Fibrex material construction provides long-lasting performance. The panel, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.

**G** Dual corrosion-resistant\* ball-bearing rollers on the operating door panel provide smooth operation with self-contained leveling adjusters. The rollers have deep grooves to increase engagement with the roller track and resist lateral movement. Metal reinforcement inserted into the panel stiles provides additional stability.



##### Glass

A glazing bead and silicone provide superior weathertightness and durability.

**H** High-Performance glass options include:

- Low-E SmartSun™ tempered glass
- Low-E SmartSun HeatLock® tempered glass
- Low-E tempered glass
- Low-E HeatLock tempered glass
- Dual-pane tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

##### Patterned Glass

Patterned glass options are available. See page 10 for more details.

##### Hardware

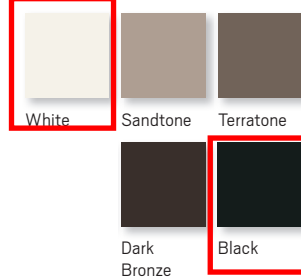
###### Locking System



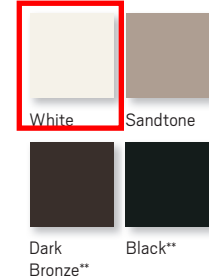
A two-point locking system engages a steel receiver plate that is secured into the side jamb. This provides enhanced security and a weathertight seal, with the operating panel pulled tightly into the jamb.

Tulsa and Afton hardware options are available. Tulsa hardware exterior handles match the door's exterior color, while interior handles come in white or sandtone to match the interior. Afton hardware has the same finish inside and out.

### EXTERIOR COLORS



### INTERIOR COLORS

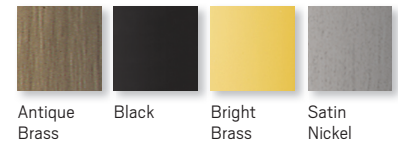


### HARDWARE FINISHES

#### TULSA

Tulsa hardware matches the exterior and interior color options shown above.

#### AFTON



### GLIDING PATIO DOOR HARDWARE

#### TULSA (Standard)



Exterior Handle  
Black  
Cocoa Bean  
**Dark Bronze**  
Sandtone  
Terratone  
White

Interior Handle  
Black  
Dark Bronze  
Sandtone  
**White**

*Bold name denotes finish shown.*

#### AFTON (Optional)



Exterior Handle Interior Handle  
Antique Brass | Bright Brass  
Black | **Satin Nickel**

### ACCESSORIES Sold Separately

#### Hardware

##### Auxiliary Foot Lock

Provides an extra measure of security when the door is in a locked position. Available in colors that coordinate with the interior.

#### Grilles

Grilles are available in a variety of configurations. See page 11 for details.

#### Insect Screens

Insect screens are available with a gray fiberglass screen mesh and are color-matched to the door exterior. The latch mechanism is contained within the insect screen handle for easy operation.

#### Sidelights & Transoms

Patio door sidelights and transoms are available for 100 Series gliding patio doors. See pages 85-86.

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\*Dark Bronze and Black interiors are only available with Dark Bronze and Black exteriors respectively.

Printing limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples.