

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
February 13, 2023 7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. December 12, 2022
2. January 9, 2023
3. January 23, 2023

IV. PUBLIC HEARINGS

1. 3900 State St. / 17, 25 and 33 Fagan Ave. – A site plan application to combine 17, 25 and 33 Fagan Ave. with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.

V. PRIVILEGE OF THE FLOOR

VI. PLANNING DEPARTMENT PRESENTATION – Average Density Development Subdivision and Special Use Permit Process and Steps

VII. NEW BUSINESS

1. RECOMMENDATION TO ZBA: 31 East St. -- A Recommendation to the ZBA regarding a site plan application for tenant change requiring a use variance to change a portion of the pre-existing nonconforming interior storage use to general office space in the RR-80 Zoning District.
2. RESOLUTION: 2023-05: A Resolution for site plan approval for a tenant change to a dental office at 1760 Union St.

VIII. DISCUSSION ITEM

1. 3900 State St. / 17, 25 and 33 Fagan Ave. – A site plan application to combine the three Fagan Ave. properties with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.
2. 2635 Balltown Rd. – Trinity Baptist Church -- A site plan application for clearing and grading for recreational areas on the rear of the property
3. 2837 Aqueduct Rd. – Rivers Ledge Sr. Center – A site plan application for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft. commercial space outbuilding.
4. 2309 Nott St. – A site plan application for a tenant change to a CHASE Bank with walk-up ATM service
5. 40.-1-54.11 – Sketch Plan application for a 2-Lot minor subdivision and lot line adjustment at Antonia Park / Polsinelli Drive

IX. REPORTS

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: February 27, 2023 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
December 12, 2022

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Genghis Khan
Mr. McPartlon (Virtual)
Chris LaFlamme
Michael Skrebutenas
Daci Shenfield (Virtual)
Leslie Gold (Virtual)
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

All members were present either virtually or in-person tonight.

III. MINUTES

- November 28, 2022

Mr. Skrebutenas made a motion to approve the minutes and it was seconded by Mr. Khan. After some grammatical corrections, the amended minutes were approved unanimously.

IV. PUBLIC HEARINGS

No public hearings tonight

V. PRIVILEGE OF THE FLOOR

Mr. Thomas Nicchi, the owner of the Broken Inn approached the podium. He stated that he has been working on this project since May 23, 2022. He asked the Town to respond to the legal issues or let discussions proceed while the legal decision is made to keep the momentum on the project going.

Mr. George Young of Ruffner Road approached the podium. He stated his opposition to proposed project at the Mohawk Country Club. He stated that his home will be directly affected by this project. He requested an independent assessment of the land by the Army Corps of

37 Engineers for wetlands. He noted that at least 40 homes on Ruffner were opposed to this
38 development.

39 Mr. John Vaillancourt of 1274 Ruffner Road approached the podium. He stated his concerns
40 regarding the project. He noted that he felt it was misleading that the address of the project did
41 not reflect the work and disruption that will take place on Ruffner Road, including taking down
42 a home to build a road into the new development. He asked for a review to be done with the
43 Army Corps of Engineers to make sure that there aren't wetlands and or excessive draining
44 issues on this site.

45 Mr. Albert Meyerer of 1166 Ruffner noted his opposition to the Mohawk Golf Club town home
46 project. He stated his concern for extra traffic and disruption to the neighborhood.

47 Ms. Carol Furmen of 1269 Ruffner Road stated her concerns regarding the proposed project at
48 the Mohawk Gold Club. She is concerned for the potential of 44 additional cars being in the
49 neighborhood. She is concerned for the pedestrians and cyclists that frequent Ruffner Road
50 daily. She noted her concern for the lack of capacity in the current water main and sewer line.

51 Mr. Aiden Schweitzer of 1277 Ruffner Road expressed his concerns regarding the Mohawk
52 Golf Club proposed project. He noted his concern for safety if a 3rd street is intersected near
53 Ruffner and Lynnwood. He stated that vehicles already run a nearby stop sign now and is
54 concerned it will be worse.

55 Mr. Holmes of 1301 Ruffner Road noted that this is the first time he is seeing the changes to the
56 plan and is concerned of the impact that this new plan will have on the residents and their
57 streets.

58 Ms. Carol Holmes of 1301 Ruffner approached the podium. She stated her concern for the
59 Mohawk Golf Club project. She noted that the developers told them they would keep the
60 residents updated if there were any changes and seeing the changes made to the new plan shows
61 that the developers have not kept their word with transparency.

62 Mr. Stephen Clemente of 1231 Ruffner Road (letter attached) stated his concerns regarding
63 notification of meetings and information regarding the Mohawk Golf Club proposed project. He
64 noted his concern for the extra traffic and speeding that will occur due to this project.

65 Ms. Gail King of Niskayuna was present to speak at the meeting. She stated she feels like her
66 business and other businesses in the CO-OP Plaza have been negatively affected by the Broken
67 Inn and the proposed outdoor seating for the restaurant. She noted that allowing this seating on
68 Town land will set a precedent for other businesses to use the right of way for personal
69 enterprise. She added that it will affect parking for the other businesses. She asked the Board
70 not to allow this project to go forward.

71 Mr. Mark Thomas of 1265 Ruffner Road stated his concerns for the project proposed at the
72 Mohawk Golf Club. He stated his concern for the lack of notice and knowledge that this project
73 is proceeding. He noted for the record that he strenuously objects to this proposed project
74 continuing.

Ms. Robertson noted that she received multiple emails regarding the project for town homes at the Mohawk Golf Club. She read letters from Becky Thomas (2), Shoshanah Bewlay, David Furman and Cliff Wohl (letters attached).

VI. UNFINISHED BUSINESS

1. 2023 Calendar Adoption

Mr. Skrebutenas made a motion to approve the calendar and it was seconded by Mr. LaFlamme. The calendar was adopted unanimously.

VII. NEW BUSINESS

1. RESOLUTION: 2022-33: A Resolution for site plan approval for new signage at Hillcrest Village apartments at 1515 Hillside Ave.

Mr. D'Arpino made a motion to approve the resolution and it was seconded by Ms. Shenfield. Hearing no discussion, Chairman Walsh called for a vote.

Upon voting, the resolution was approved 7-0.

| | |
|-----------------|-----|
| Mr. D'Arpino | AYE |
| Mr. Skrebutenas | AYE |
| Mr. Khan | AYE |
| Mr. LaFlamme | AYE |
| Mr. McPartlon | AYE |
| Ms. Shenfield | AYE |
| Chairman Walsh | AYE |

2. RECOMMENDATION TO ZBA: 2721 Balltown Rd. – A Recommendation to the ZBA regarding a site plan app. requiring a use variance for the construction of two additional 6-unit apartment buildings on the premises along with an accessory garage and associated parking.

Mr. Rob Stout, project attorney, stated that in accordance with a previous recommendation by the Planning Board, the garage and southern residential structure were flipped to the northern end of the property. Mr. Stout confirmed the applicant's plans to abide by a previous CAC recommendation that the back half of the property be set aside as forever wild. Mr. Stout stated the desire for trails to be added to this area, but confirmed no further development will take place. Mr. Stout mentioned as a final updated that just prior to the CAC meeting, a wetlands ecologist was on site to flag wetlands locations on the property. Exact plot locations and coordinates were not yet available for this meeting; however one of the two proposed buildings may be in jeopardy due to the location of the wetlands.

In response to a question from Mr. LaFlamme, Ms. Robertson stated that all of the applicant's area variances are currently off the table, as the plans and locations for the project are projected to change, and they are only reviewing the use variance.

Chairman Walsh read the Zoning Code denial letter from the Town which had three points. The first point was failure to comply with the use variance granted by the ZBA on 10/21/20- the construction of two new multi-family buildings does not meet the use variance previously granted therefore a new use variance is now required. The second point was that the application failed to comply with Section 220-4 of the Niskayuna Zoning Code and proposed multiple principal buildings on a lot, therefore a use variance was required. Thirdly, the application fails to comply with Section 220-10(K) of the Niskayuna Zoning Code, multi-family dwelling units are not listed as principal or special permitted use in the Zoning district.

Mr. D'Arpino recommended that this project does affect the Comprehensive Plan. He felt the extension of the current use variance can set a precedent for future applications, specifically in the R-P Zone. Chairman Walsh put the recommendation to a vote, which unanimously agreed with Mr. D'Arpino's recommendation to the Zoning Board.

Mr. D'Arpino recommended that the project is suitable for the parcel under consideration, as the parcel has already been granted use as a residential area and is surrounded by additional residential areas. Mr. D'Arpino emphasized the parcel already has residential units and is surrounded by residential units. The sizes and location of the additional units would be subject to further review by the Planning Board during the application process. The Planning Board could work to keep the buildings as small as possible, look at the number of buildings, work with the wetlands delineation, and work through other details. Mr. D'Arpino stated because the project was only at a concept level right now – they were just recommending action on an increase in number of residential units allowed and their role in site plan would be to minimize the number of units and the effects on the neighbors. Mr. Khan was concerned that when the Town first went from moving the property from one building with 3 units and a veterinary hospital to one building with 6 units, they were taking a problematic non-conforming use and making it better. H was concerned that this project was expanding the use and adding two additional buildings (or any number of additional units) to the property, which wasn't appropriate for the areas residential density. Chairman Walsh put the recommendation to a vote, which had 6 votes approving the recommendation and Mr. Khan dissenting. Mr. Khan stated his nay was in reference to the expansion of the project being unsuitable.

Mr. D'Arpino recommended The Planning Board to grant the use variances with the following points of clarification:

1. Sketch Plan/Site Plan review is not completed yet.
2. The project needs to fit within the residential character of the surrounding area.
3. The unique nature of the original use variance was that the renovation utilized an existing structure that retained the character of the original building while re-purposing it for residential use. This project is a new build.

Chairman Walsh put the recommendation to a vote, which had 6 votes approving the recommendation, with Mr. Khan dissenting. Mr. Khan again dissented. He stated he was

concerned about the impacts of the expansion of use, the density, and he was concerned that the project would not fit into the character of the surrounding area because it was not repurposing an existing building but adding new buildings

VIII. DISCUSSION ITEMS

1. 1851 Union St. – Mohawk Golf Club – application for sketch plan approval including a Special Use Permit for a 22-unit Average Density Development (ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.

Mr. Dave Kimmer was present to represent the applicant. Mr. Kimmer stated the owner has changed plans and is going from 22 townhomes to an Average Density Development consisting of 10 single family homes and 12 townhomes. The development size, road length and area of disturbance are all the same as previous plans. The ADD change consists of the single family homes being located at the southern end of the cul-de-sac with the townhomes at the northern end. Mr. Kimmer stated the applicant has taken the CAC recommendations to increase the conservation area as well as add a right-of-way stub at the end of the northern cul-de-sac to accommodate an alternate means of emergency access to the golf course. The emergency access point will utilize portions of existing cart paths and connect via Rowe Rd.

Mr. Kimmer re-iterated a desire to keep the entrance to the subdivision on Ruffner Rd but stated they couldn't use the stub from Lynnwood drive partially because the new road would not meet Town standards by being over 10% grade. This road would also disturb both the green of the golf course and storm water management area. A proposed road on the southern end of the property off of Ruffner road would not deal with the same grade issues as the north, but is undesirable for the applicant as it would disturb areas of the golf course.

Chairman Walsh brought up the Board's concern that the boulevard entrance would create two front yards on each of the adjacent homes which could impact the homeowners. Mr. Kimmer replied stating the house to the southern end of the boulevard would have a greater setback than required while the house on the other end would not have a new front yard at all as they will be fronting on the conserved land.

Mr. Khan expressed concern with the applicant's unwillingness to modify the golf course, and pushed for the proposed roads going through the course itself as opposed to the boulevard entrance. Mr. Kimmer responded saying even the construction of those roads would not eliminate the necessity of a boulevard entrance.

Ms. Robertson introduced a Complete Streets recommendation for a walking path between East Country Club Dr. and Ruffner Rd, which could mitigate some traffic impacts. Ms. Strang further recommended the greens of the course be changed to offer alternate entrances to the subdivision, out of respect to the neighborhood being affected.

Mr. Bill Sweet, on behalf of the Mohawk Club, stepped forward stating that these alternate routes would not alleviate traffic, just move it from Ruffner Rd. to East Country Club Dr. or Rowe Rd. Mr. Sweet as well as Chairman Walsh stated that a traffic summary will be available

at some point, however Mr. Sweet stated the 22 proposed units would not significantly further the existing traffic problems on Ruffner Rd. In regards to problems brought up regarding drainage issues between Ruffner and Rowe roads, Mr. Sweet detailed that these are occurring off of Mohawk Club property, and are hydrologically upgrade from the golf course, meaning the development will not impact the existing drainage issues.

Chairman Walsh stated that since there would be no public benefit to utilizing the open space in the area as parkland, there would be a payment in lieu of parkland applied, to which Mr. Sweet agreed. Chairman Walsh moved forward saying the Board needs to be at a place where they are comfortable calling for a public hearing, to which Ms. Robertson felt that the project should be vetted further before proceeding with the next step. Chairman Walsh recommended potential downsizing of lot size in order to preserve trees and greenery, as the limits of clearing may be difficult to enforce if greenspace / lots containing many trees are bought by new homeowners who want to maximize their yards.

Mr. Sweet confirmed he wished to keep the forested buffer between adjacent backyards on Ruffner Road at 50 feet and would work to make that happen. Ms. Gold inquired as to whether there was an official reason the golf course could not modify its holes, to which Mr. Sweet responded he was protecting the historic nature of the course. Mr. Sweet also told the Board that there will be no membership required to purchase property in the subdivision, and they will additionally impose no Homeowners Association on the lots. Chairman Walsh stated that Mr. McPartlon was not participating in the discussion as he has recused himself from this project.

2. 2475 Brookshire Dr. – Tall Oaks Apts. – site plan app. for the replacement of existing signage and the installation of new signage.

Mr. Tom Wheeler of AJ Signs was present virtually on behalf of the apartment ownership. Mr. Wheeler detailed previous modifications the owner has made to the property including an updated paint job and work to the pool, and expressed willingness to continue the updates with the signage. The displayed sign is a free standing sign with the same size as the current sign, however a new look. The sign is located on Pearse Rd.

Chairman Walsh and Ms. Robertson detailed to Mr. Wheeler that although the sign is currently 29 inches off the ground, if it were lowered to 24 inches it would no longer require a waiver because it will then comply with code. Mr. Wheeler stated lowering the sign would not be a problem. Another monument sign at the main entrance was proposed, with the same dimensions as the current sign. The sign was a masonry structure and Mr. Wheeler wished to replace the existing panel with a new one as well as again update the design on the sign. Ms. Robertson said that specific sign did not require Planning Board approval.

Mr. Wheeler detailed four columns, two at each entrance, that would be placed where there are columns currently standing, but have a “Tall Oaks” sign designation on them. Chairman Walsh stated that as long as the applicant conforms to the height code of the signage, he did not have a problem with the proposal. Chairman Walsh said in the time before the first January meeting the Board will have an opportunity to look at the site and come to a tentative resolution.

IX. REPORT**1. Planning Department Updates**

Ms. Robertson noted 1760 Union St. and 1752 Union St. are exploring tenant changes. The Coldwell Bank portion of 1760 is looking to move to 1752 Union St. Ms. Robertson stated 1752 would not see a substantial change in parking requirements, but there are plans to improve the aesthetics of the building. The use switching from a chiropractor office to a realtors office would be a less intensive use, which would usually be viewed favorably by the Board. Chairman Walsh saw minimal concerns with the tenant change proposal. Ms. Robertson said she could request the plans for building improvements to be looked at by the Board. Mr. Bellamy, on behalf of the project joined virtually to say that the roof, siding and windows would be the biggest exterior changes to the building. The siding will be a dark grey while the roof will stay consistent with other buildings in the area.

COMMISSION BUSINESS

Chairman Walsh informed the Board that Ms. Shenfield has tendered her resignation and will not be participating in further meetings. He thanked her for all the time she had spent on the Board and welcomed a resolution recognizing her service at the next meeting.

XI. ADJOURNMENT

Chairman Walsh asked for a motion to adjourn. Mr. Skrebutenas made a motion to adjourn and it was seconded by Mr. LaFlamme. The meeting was adjourned at approximately 9:10 pm.

Laura Robertson

From: Thomas, Becky H (DEC) <becky.thomas@dec.ny.gov> on behalf of Thomas, Becky H (DEC)
Sent: Monday, December 12, 2022 2:06 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] For the Planning Board meeting tonight regarding the Mohawk Golf Club development

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Lisa,

I am writing to oppose the Mohawk Golf Club development zoning change, application for sketch plan approval, and development.

All of our neighbors and everyone in the community that I have spoken to strongly oppose it.

This would result in a terrible impact on our homes and our community.

This would set a horrible precedent in the town.

A house should not be torn down to build additional roads.

We purchased our home at 1265 Ruffner Road because of the woods and privacy behind us that border the Club.

These woods are full of biodiversity including deer, turkey, fox, eagles, many different birds, many other animals, and wetlands that should be protected.

The Mohawk Club did not invite us or any of the impacted neighbors that we have talked to, to attend any of the town meetings by letter.

Please do not approve the destruction of beautiful wetlands, woods, biodiversity, and open space in our town.

Please do not allow the destruction of diverse wildlife and natural habitat.

Please do not tear down a house and build more roads.

Please do not allow increased traffic.

Please do not approve the destruction of privacy and views of all the homeowners who purchased their property on Ruffner Road because of these woods and views.

Please deny this zoning change, sketch plan approval, and development.

Thank you.

Becky Howe Thomas

Becky Thomas

Program Manager, Hudson River Estuary Program/NEIWPCC

New York State Department of Environmental Conservation

625 Broadway, Albany, NY 12233-3506
P: (518) 402-8218 | F: (518) 402-9029 | becky.thomas@dec.ny.gov

www.dec.ny.gov |  |  



Laura Robertson

From: Thomas, Becky H (DEC) <becky.thomas@dec.ny.gov> on behalf of Thomas, Becky H (DEC)
Sent: Monday, December 12, 2022 6:27 PM
To: Laura Robertson
Subject: [EXTERNAL] RE: [EXTERNAL] Re: [EXTERNAL] For the Planning Board meeting tonight regarding the Mohawk Golf Club development

Hi Laura,

Thank you for getting back to me so quickly! You are correct, however even though the peregrine falcon is no longer on the endangered species list, we must ensure it is adequately protected against reckless development and other threats than can disturb falcons and affect their survival.

Can you please change it to the following to be read:

A few months ago a neighbor and I saw a peregrine tree perching on a tree in that area. Once listed under the Endangered Species Act , the peregrine falcon was delisted in 1999. Now that the peregrine falcon is no longer on the Endangered Species list, we must ensure it is adequately protected against reckless development and other threats that can disturb falcons and affect their survival.

Becky Thomas

Laura Robertson

From: Shoshanah Bewlay <sbewlay@gmail.com> on behalf of Shoshanah Bewlay
Sent: Monday, December 12, 2022 3:54 PM
To: Laura Robertson
Subject: [EXTERNAL] Tonight's meeting - Planning Board

Good afternoon, Ms Robertson.

I would appreciate it if you would read this note into the record at tonight's meeting of the Zoning Board, during the time reserved for public comment.

My family and I have lived on Ruffner Road for more than ten years. One of the principal reasons that Ruffner Road appealed to us was that the street fronted the Mohawk Club Golf Course, promising a quiet, picturesque neighbor. Over the last year, I have observed with dismay a development plan being put forward by the Club that would create a huge new high density housing development, eliminating the quiet, picturesque neighbor.

By knocking down a long-established home on our street to create a new road to permit access to a new high density development of single- and multi-family dwellings, the Club is looking to change the essential character of our street and neighborhood. A new road onto the Club's proposed neighborhood will drastically increase traffic and disturbance on our road of widely-spaced single family homes on large lots. My family and I are opposed to permitting the Club to knock down an existing home to use Ruffner Road to access this new high density housing development.

If the Board is inclined to grant the very many variances from the Code that the proposed development would require, I urge it to consider requiring the Club to reconfigure the Golf Course to permit access to its new neighborhood through existing Club land, denying permission to use Ruffner Road to do so. The Club currently has multiple existing curb cuts on both Union Street and Country Club Road permitting cars and trucks onto its property, and there are many golf cart roads already in existence throughout the Course. By using existing Club curb cuts and widening existing course roads, the Club is already able to accommodate its new neighborhood without ruining ours.

Thank you for your time and attention to this important matter.

Shoshanah and Bernard Bewlay
1119 Ruffner Road

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Shoshanah Bewlay

Laura Robertson

From: Stephen Clemente <smclem222@gmail.com> on behalf of Stephen Clemente
Sent: Monday, December 12, 2022 6:10 PM
To: lrobertson@niskayuna.org
Cc: Cathy Ann Vallee Clemente
Subject: [EXTERNAL] Mohawk Country Club Proposed Reclassification of Land Usage for Residential Units

Flag Status: Flagged

Good afternoon Laura:

Our names are Stephen M and Cathy A Clemente.

We live at 1231 Ruffner Road in Niskayuna.

We are at the intersection of Mountainview and Ruffner with the stop sign nearly right in front of our house.

We write to object vehemently to the Mohawk Golf Courses proposed use of the 15 Acres behind our house for residential units. By way of background, we closed on this house at the end of October of 2021 last year and new nothing about this proposed development.

If we had known, we would not have bought it.

We actually bought this house because it does back up against the wooded portion of the golf course and came from a house completely surrounded by rural woods and fields in Schodack, NY in Rensselaer County where we lived for 15 years. We bought in Niskayuna because of a well establish and planned zoning environment.

There are many reasons to NOT Approve this zoning change in our view.

- 1. Safety on Ruffner Road to it's residents.** – People already drive exceptionally fast on Ruffner Road as it is a cut through street to River Road, Van Antwerp, and beyond and rarely if ever stop for the stop sign. Had we know this, we wouldn't have been here. (A Niskayuna Cop could write 50 tickets a day here in front of our house)
- 2. Too Much Traffic already on Ruffner Road** - This development would compound this situation and make this intersection even more dangerous. We risk our lives daily on this street already...it's very busy.
- 3. Children running, playing, and biking. People walking their dogs, etc.** – **This street has tons of kids and pedestrians on it daily.** Just spend 20 minutes at any hour of the day, including nighttime, and watch the pedestrians, bikers, runners, kids playing, dog walkers. The school buses alone along with Garbage pickup services creates a major traffic issue in the morning and evening.
- 4. The proposed Single Egress onto Ruffner Road makes this a greater safety issue for Ruffner Road and Complex residents.** In fact you would probably have to put a traffic light into this development/complex for management, as the minimal additional 100-150 cars per day of the residents in and out would drastically change the traffic patterns and make it even more dangerous for Ruffner residents and their kids and pets.
- 5. This would drastically change the character of the neighborhood for the worse.**

We look forward to making our case in person with you and the board.

Stephen M Clemente
Catherine A Clemente
1231 Ruffner Road
Niskayuna, NY 12309
518-229-7705 Mobile
Smclem222@gmail.com

There are many reasons

Sent from [Mail](#) for Windows

Laura Robertson

From: David Furman <dcfurmanjr@gmail.com> on behalf of David Furman
Sent: Monday, December 12, 2022 4:00 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] MOHAWK GOLF CLUB AVERAGE DENSITY DEVELOPMENT APPLICATION

Flag Status: Flagged

MS. ROBERTSON:

I AM UNABLE TO ATTEND THE PLANNING BOARD MEETING TONIGHT BUT HAVE COMMENTS ABOUT IT THAT I WANT MADE KNOWN TO THE PLANNING BOARD AND TO THE PUBLIC AT LARGE.
THANK YOU IN ADVANCE FOR THIS.

DAVID C. FURMAN, JR.
1269 RUFFNER ROAD
NISKAYUNA, NY 12306
518-346-2746

AN APPARENTLY TOTALLY OVERLOOKED CONSIDERATION IN THE PROCESS OF APPROVING OR DISAPPROVING OF THIS PLAN IS GLOBAL CLIMATE CHANGE. TWO THINGS ARE EVIDENT IN THIS REGARD:

1. THE INTERGOVERNMENTAL PANEL'S REPORTS ON CLIMATE CHANGE HAVE CONSISTENTLY BEEN LESS DIRE THAN WHAT THE WORLD HAS ACTUALLY EXPERIENCED IN PAST DECADES; EVENTS HAVE RELIABLY HAPPENED FASTER AND MORE SEVERELY THAN WERE PREDICTED. THERE IS EVERY REASON TO EXPECT THIS TREND TO CONTINUE.
2. WE CAN EXPECT GREATER AND GREATER PROBLEMS AS TIME GOES ON WITH ISSUES RELATED TO EXTREME STORMS, FLOODS, AND DROUGHTS.

IN VIEW OF #1 ABOVE, IT SHOULD BE CLEAR TO ALL THAT WE SHOULD BE PLANNING FOR EVEN MORE EXTREME CONDITIONS THAN WHAT HAVE BEEN PREDICTED. THAT CAN BE EXPECTED TO AFFECT US IN AT LEAST THREE WAYS:

A. THERE IS A CLEAR NEED TO CONSIDER VASTLY GREATER DRAINAGE ISSUES IN THIS PROPOSED DEVELOPMENT THAN MERELY LOOKING AT THE PAST HISTORY OF THE AREA BECAUSE THINGS WILL GET MUCH WORSE. THERE ARE ALREADY DRAINAGE ISSUES IN THE LANDS BETWEEN HOUSES ON RUFFNER ROAD AND THE MOHAWK GOLF CLUB LANDS, ESPECIALLY THE NORTHERN PART OF THAT AREA. THE PROPOSED DEVELOPMENT DOES NOT SEEM TO RECOGNIZE THE EXPECTED GROWTH OF DRAINAGE ISSUES.

B. WE ARE ENCOURAGED TO MAINTAIN FORESTS AND TO PLANT NEW TREES IN AN EFFORT TO SEQUESTER CARBON DIOXIDE AND AVOID SOME OF THE PROBLEMS ASSOCIATED WITH

CLIMATE CHANGE. THE CLEARING OF TREES NECESSARY FOR THIS DEVELOPMENT IS OBVIOUSLY A STEP IN THE WRONG DIRECTION.

C. PRESENT BUILDING CODES ARE BASED ON THE PAST, BUT WE CAN EXPECT WORSE CONDITIONS TO PREVAIL IN COMING YEARS.

I SUGGEST THAT THIS WHOLE APPLICATION BE TABLED UNTIL SUCH TIME AS SERIOUS CONSIDERATION CAN BE GIVEN TO THE CLEARLY SERIOUS ISSUES CAUSED BY PAST, ONGOING AND FUTURE CHANGING CLIMATIC CONDITIONS.

Laura Robertson

From: Cliff Wohl <cliffwohl@gmail.com> on behalf of Cliff Wohl
Sent: Monday, December 12, 2022 5:33 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Proposed Development behind Rowe/Hilltop

Flag Status: Flagged

Laura,

I hope this note finds you well.

I am writing to express my concern for the proposed subdivision behind my home. I reside at 2540 Hilltop Road.

I'm strongly opposed to any type of development behind my home. New construction continues in Niskayuna, and with all the new development one would expect taxes to go down with an increased population - they continue to go up.

There's zero incentive for myself and the town to allow any additional neighborhoods to be built. I will join my neighbors and use whatever legal means necessary to prevent this project from happening.

Best,
Cliff Wohl

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
January 9, 2023

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Genghis Khan
Patrick McPartlon
Chris LaFlamme
Michael Skrebutenas
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

All members were present either virtually or in-person tonight.

III. MINUTES

There were no minutes for approval tonight.

IV. PUBLIC HEARINGS

No public hearings tonight

V. PRIVILEGE OF THE FLOOR

Carol Holmes of 1301 Ruffner Rd. approached the podium. She stated her fondness of the current character of Ruffner Rd., stating the only eyesore is the fence owned by the Mohawk Club by the 14th tee box. Ms. Holmes brought up times where she has contacted Mr. Bill Sweet of the Mohawk Club to fix the damaged fence lining her property, to which she has not seen a suitable answer.

Shoshanah Bewley of 1119 Ruffner Rd. approached the podium. Ms. Bewley expressed her concerns with the density of the project which would diminish the current nature of the neighborhood. Ms. Bewley drafted a petition with other residents of Ruffner Rd. She cited concerns the proposed new road would pose in regards to traffic as well as the existing character

of the Ruffner Rd. area. Ms. Bewley expressed a desire for the Club to use existing roads within its limits to access their development, as opposed to an entrance on Ruffner Rd.

Mr. Mark Thomas of 1265 Ruffner Rd. came forward on behalf of his neighbor William Howe, also on Ruffner Rd. He stated traffic concerns, as well as disruption to the natural areas on site were mentioned heavily. Mr. Howe feared the development will be too much for Town utilities to handle.

Ms. Cynthia Schwartz of 1363 Ruffner Ct. shared traffic concerns regarding Ruffner Rd.

Mr. Jonathan Vaillancourt of 1274 Ruffner Rd. noted opposition to allowing entrance to the subdivision by tearing down an existing home, saying it could set a dangerous precedent. Mr. Vaillancourt wanted to make aware that both parcels on either side of the proposed entrance were owned by two separate individuals.

Mr. Albert Meyerer of 1166 Ruffner Rd. expressed further concerns regarding traffic.

Ms. Marlene Loux of 1191 Ruffner Rd. spoke to the traffic concerns of the area as well as devaluation of current homes.

Mr. Dennis Romero of 1122 Ruffner Rd. opposed the development on the Mohawk Club.

Ms. Robertson stated she had received nine emails prior to the meeting that she shared with both the Planning and Town Boards. She stated with the changes to COVID protocols the emails were not going to be read into the permanent record during the meeting but she can attach them to the minutes. Chairman Walsh thanked her and moved on to unfinished business.

VI. UNFINISHED BUSINESS

Chairman Walsh stated there was no unfinished business at this meeting

VII. NEW BUSINESS

1. RESOLUTION: 2023-01: A Resolution for recognition of Planning Board member Daci Shenfield.

Mr. Khan made a motion to approve the resolution and it was seconded by Mr. Skrebutenas. Hearing no discussion, Chairman Walsh called for a vote.

Upon voting, the resolution was approved 7-0.

Mr. LaFlamme AYE

Mr. Skrebutenas AYE

Mr. Khan AYE

Mr. McPartlon AYE

Mr. D'Arpino AYE

Ms. Gold AYE

Chairman Walsh AYE

The Board publically thanked Ms. Shenfield for her contributions over the years and stated she would also be welcomed back if she returned to Niskayuna.

2. RESOLUTION 2023-02: A Resolution for site plan approval for the replacement of the existing signage and the installation of new signage at Tall Oaks Apartments located at 2475 Brookshire Dr.

Chairman Walsh summarized the resolution as well as Niskayuna Zoning Code 220-26. Chairman Walsh described read from the proposed resolution that the applicant's sign package would have a minimum negative affect on community aesthetics so the Planning Board and Zoning Commission was proposing to grant the waivers requested on the plan. Chairman Walsh asked if there was a motion on the resolution. Mr. Skrebutenas moved for adoption of the motion, Ms. Gold seconded.

Mr. D'Arpino recused himself due to a professional relationship with a member of the applicant party. Chairman Walsh stated Ms. Strange would fill in for Mr. D'Arpino.

Mr. Khan noted that while it is preferable to remain within the zoning code, in this instance he felt the impact was minimal and may help with wayfinding. Ms. Robertson noted that the large sign was adjusted to 24 inches high above grade to comply with zoning regulations, as promised in the December meeting.

Upon voting, the resolution was approved 7-0

Mr. LaFlamme AYE

Mr. Skrebutenas AYE

Mr. Khan AYE

Mr. McPartlon AYE

Ms. Gold AYE

Ms. Strang AYE

Chairman Walsh AYE

3. RESOLUTION: 2023-03: A Resolution for site plan approval for remodeling the existing medical office building for general office space at 1758 Union St.

Chairman Walsh began by summarizing the resolution. The Planning Board found the site plan complied with the zoning code and proposed approval with three conditions. The first condition was that any waivers or special signage will need to be approved by the Planning Board. The second condition was that the applicant will explore planting street trees in the green areas adjacent to Union St. and submit a planting plan of findings to the Tree Council. The third condition was the applicant will replace asphalt and sidewalk within the Union Street ROW in accordance with a Schenectady County permit.

Mr. Skrebutenas moved for adoption of the motion, Mr. LaFlamme seconded.

Mr. Bellamy represented the applicant virtually for discussion. Mr. Bellamy reviewed the comments and conditions and was receptive to them. Ms. Gold noted that due to the less intense usage the impact on the community will be minimal.

Hearing no further comment, Chairman Walsh called for a vote on the resolution.

Upon voting, the resolution was approved 7-0

Mr. LaFlamme AYE

Mr. Skrebutenas AYE

Mr. Khan AYE

Mr. McPartlon AYE

Mr. D'Arpino AYE

Ms. Gold AYE

Chairman Walsh AYE

4. RESOLUTION: 2023-04: A Resolution for signage approval at the Volcano Korean BBQ and Hotpot at 2309 Nott St (Shop Rite Plaza #307 and 308).

Chairman Walsh summarized the resolution. The Planning Board found the resolution meets the zoning code as well as previous site plan approvals, and therefore a resolution for approval was proposed. Mr. Khan motioned for adoption, seconded by Mr. Skrebutenas.

Upon voting, the resolution was approved 7-0

Mr. LaFlamme AYE

Mr. Skrebutenas AYE

Mr. Khan AYE

Mr. McPartlon AYE

Mr. D'Arpino AYE

Ms. Gold AYE

Chairman Walsh AYE

VIII. DISCUSSION ITEMS

1. 3900 State ST. – A site plan application to combining 17, 25 and 33 Fagan Ave. with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.

Mr. Vincent Salvagni was present on behalf of the applicant to detail the project. Mr. Salvagni stated that Matthews Auto Group is under contract with 17, 25 and 33 South Fagan Ave to purchase their properties contingent on the Planning Board's approval. The applicants plan is to demolish the homes and pave the land with an impervious pavement with an underground water containment and treatment system. Mr. Salvagni said that the real estate arm of the operation has reached out to neighbors in the area.

153 Reading comments from the Conservation Advisory Council, Chairman Walsh detailed concerns
154 over removal of green space as well as seemingly underutilized areas owned by the same group
155 across the street on Fagan Ave. Chairman Walsh asked if this could be an opportunity to enhance
156 the already owned space across the street. Mr. Salvagni spoke briefly on future plans to enhance
157 the aforementioned lot; however those plans still included the site plan proposal in question. Mr.
158 Salvagni said the proposed lot could be used as a show lot as well as potentially a storage lot for
159 the adjacent Kia dealership. When prompted by Chairman Walsh, Mr. Salvagni said the lot
160 would have to be lit for security reasons, however, he assured the Board that there would be
161 ample buffering to avoid light pollution.

162
163 Mr. Khan inquired about customer parking on the lot, to which Mr. Salvagni responded that was
164 not in the plans. Mr. Khan then asked about the primary driver for the lot. Mr. Salvagni stated
165 that customer sales parking as well as customer service parking were two key factors that would
166 be bettered by this lot. He re-iterated that customer sales and service parking will occur solely on
167 the existing lot, with the proposed lot being set aside as a show and storage lot.

168
169 Chairman Walsh confirmed with Mr. Salvagni that there are three properties involved in this
170 project, and in total will yield 144 spaces for the dealership. Mr. Skrebutenas asked if the
171 applicant had looked into 4002 State St. which lays on the other end of S Fagan Ave entrance.
172 Mr. Salvagni explained that lot is already purchased and utilized by the dealership as a
173 reconditioning center. Mr. Salvagni expressed desire to reconfigure the 4002 lot; however, he
174 emphasized that doing so will still not mitigate the need for the project in question. When asked
175 about the Hyundai dealership owned across the street by the same owner, Mr. Salvagni stated
176 that lot has also reached its capacity and could not support the Kia dealership. Mr. Salvagni also
177 stated that this fix is not a long term solution, and more space will need to be found in the future
178 to remedy their parking issue.

179
180 Mr. Skrebutenas asked why the applicant couldn't use 4002 State street to display vehicles and
181 move the re-conditioning center elsewhere. Mr. Salvagni said that Matthews Auto Group would
182 gladly put inventory on State St. where it would be more visible, but utilizing the lot with the
183 reconditioning center- even if the reconditioning center were leveled- would not be big enough.

184
185 Chairman Walsh restated the importance of maximizing tree and buffer areas along the lot if the
186 project were to proceed. Mr. Salvagni confirmed due to closing times being at latest 6pm there
187 would be no nighttime activity occurring on the property, and as the lot will be used for parking
188 only there will be minimal noise pollution for neighbors.

189
190 Mr. McPartlon asked why the sudden need for such expansion as the property has been a car
191 dealership for a significant period of time. Mr. Salvagni said this is viewed as an opportunity to
192 move the storage area from its current location, which is roughly a mile and a half away, to a
193 much more convenient location. The current location is on Morris Rd. in Colonie, and the
194 agreement with Matthews Auto Group is on a month-by-month basis which could end at any
195 time.

196
197 Ms. Robertson reminded the Board that the site in question is not vacant and they were
198 discussing the removal of two single family homes to put in a parking lot. Chairman Walsh

referred to the Town Zoning Code stating that in that area both commercial and residential activities are permissible. Ms. Strang asked whether the dealership would be open to providing both a fence and tree lines as a buffer to neighbors to which Mr. Salvagni responded that the dealership wishes to be good neighbors and anything within reason will be met.

Ms. Robertson and Ms. Strang pushed for a safe space to drop off cars whether or not this project progresses as it had been noted that cars had previously been dropped off for people by stopping on State St. Ms. Strang also expressed concern with car transporters heading into the residential areas of Fagan and Amherst Ave.

Ms. Strang asked whether the neighbor who would now be isolated on Fagan Ave. was the same neighbor who expressed dissent with the project. Mr. Salvagni said that household had not yet been approached. Mr. Salvagni said originally he was approached by the immediate adjacent neighbor who was interested in the plan. This was followed by the next neighbor expressing interest as well. Mr. Salvagni detailed plans to tell all neighbors, both on Fagan Ave and Amherst Ave. of the project in advance of the public hearing.

Ms. Robertson confirmed the Planning Department has received a copy of the purchase agreements for the homes. Chairman Walsh believed the next proper step is to have a public hearing to gather what the folks in that area think about the project.

Ms. Gold had concerns over the demolition of older homes in an affordable area of Niskayuna, as did Ms. Robertson. Ms. Robertson noted that while portions of that area are zoned commercially, once the border is crossed from Colonie into Niskayuna it becomes significantly more residential and it is residential all around. Ms. Robertson believed that setting the precedent that single family homes could be replaced by parking lots could be dangerous for other nearby streets in the same zoning, namely S Amherst Ave. She was concerned this project would negatively impact the character of the neighborhood and put more homes at risk for future commercialization.

Mr. Salvagni reminded the Board that there are commercial buildings, such as a McDonald's on State St. by Albany St., to which Ms. Robertson responded that that was a single-block of all commercial as opposed to the Fagan Ave. region which is more extensively residential. Mr. Khan agreed that taking this project with caution was paramount, however stated that since the property is in a commercially zoned district parking lots would be permissible.

Mr. Salvagni re-iterated that the dealership wanted full participation from the public and to gather their opinions on the issue, but believed also that a parking lot would be the least invasive use of the land. Ms. Gold and Ms. Robertson pushed back on this point and stated maintaining the residential use was the least invasive. Ms. Robertson stated that even if all the neighbors were in agreement that this project should go forward, she would still have hesitancy recommending approval as a Planner given the future precedent this could set in the neighborhood.

Mr. McPartlon requested a full survey of current impervious surfaces owned by Matthews Auto Group as well as a full survey of the Group's parking needs including existing staff, storage and customer parking. Mr. McPartlon believed gathering those figures would give the Board a full

understanding of exactly how efficiently the land could be used as well as the exact needs for the dealership. Mr. McPartlon questioned whether the last single family home owner on this side of the road would be interested in also being bought by Matthews, and this was countered by Ms. Gold who believed that option should be left untouched and the residential homes should be protected.

Mr. D'Arpino would like to see a figure showing the amount of people who buy cars on site as opposed to online. While Mr. Salvagni did not have an exact amount he said confidently that less than 2% of cars were purchased online.

Ms. Robertson recommended at least one more meeting for the Board to look at parking needs and larger buffers before calling for a public hearing. Mr. Salvagni said updates would have to be made to the building in the near future, in order to match Kia guidelines, regardless of the outcome of this decision. Mr. Salvagni also mentioned that there needed to be minor touch ups along the grounds, but needed to define the exact property lines first. Mr. Salvagni said they had a decent idea of the property lines but nothing was precise.

Mr. Khan asked Ms. Robertson about some green space on Matthews's property to see if that could be suitable for parking lot extension, however Mr. Salvagni stated that the grade was too severe for that purpose.

Ms. Gold wanted further information on security provisions on the proposed expansion. Mr. Salvagni said that lighting was certainly part of the plan, along with security cameras.

Hearing no further discussion, Chairman Walsh thanked the applicant for the time and asked for another discussion item at the following meeting, with the parking and the buffers updated.

2. 2635 Balltown Rd. – Trinity Baptist Church – site plan application for clearing and grading for recreational areas on the rear of the property

No member was present on behalf of the Church, so Mr. McPartlon detailed the updates that he had on the project. Mr. McPartlon said there was a revised site plan that addressed previous Board questions regarding grading on the southern property boundary. Mr. McPartlon also received a note regarding tree preservation and a residential buffer although no detail of a planting plan was mentioned including how the buffer would be achieved. Nearly the entire proposed recreational fields have a wetlands buffer; however Mr. McPartlon wished to hear more from the applicant themselves. Mr. McPartlon believed exact delineation of the wetland buffers would be necessary to proceed.

Chairman Walsh inquired as to if a split-rail fence would be required along the entirety of the site. Ms. Robertson stated that a split-rail fence would be necessary along the back end of the property as well as between the recreational area and the church due to the presence of wetlands. Ms. Robertson said the applicant did not object to putting the fence in their plans, however had not yet done so. Mr. Henry informed the Board that the applicant did in fact put the split rail fence in the plan which was later found and shown for the Board. The Board was satisfied with the location of the split rail fence being all around the wetland buffers and along the forest buffer to the adjacent residential properties.

Mr. McPartlon stated there was an edit to the notes that should make the tree preservation clearer on the drawings. He stated with the last few edits he was comfortable taking action on the project. Chairman Walsh recommended that either Ms. Robertson or Mr. Henry reach out to the applicants about the edits and when the applicant was ready, the Board can call for a resolution.

3. 40.-1-54.11 – Sketch Plan app. for a 2-Lot minor subdivision and lot line adjustment at Antonia Park

Mr. Fred Polsinelli was present to discuss the application. Mr. Polsinelli discussed the family history of the property which was originally purchased by his grandfather. Mr. Polsinelli has tried to sell the remaining portions of the property in the past to no avail. In order to have more success selling the property, Mr. Polsinelli would like to divide the parcel into two buildable lots. The proposed lots will be roughly 3 acres each that will enter from the already existing Polsinelli Drive stub street. The back lot of the property is roughly 2 acres which is proposed to be deeded to the Lecce Group for inclusion into Lot 4 of Vincenzo Subdivision.

Mr. Polsinelli confirmed that his plans were to receive the entitlements, subdivide, and then sell to the builder. Mr. LaFlamme inquired to the density of the woods on the property and the desirability to keep them as they are. Mr. Polsinelli stated that when he examined the grounds previously it was so overgrown that he had to clear away many plants and vines that were killing off trees, however he did not remove any mature and healthy trees. Mr. Polsinelli would prefer not to place restrictions on what can be done with the wooded areas as doing so could negatively affect the business aspect for him. He furthered his argument by stating the original master plan for the parcel was approved for 18 houses, which he is now lowering to two.

Mr. Polsinelli was asked what Mr. Lecce's intent was for the back 2 acres of the property. He stated while he did not have official plans for the property he believed it would be used only as a buffer area to Mr. Lecce's home. Mr. Polsinelli was informed by the Board that they would request no further subdivision of the lots.

Ms. Robertson and Mr. Khan confirmed that the land that would be deeded to Mr. Lecce is not currently deed restricted, meaning that Mr. Lecce would be allowed to submit application to subdivision that land if he desired. Mr. LaFlamme recommended that restrictions be placed on all three parcels in question to preserve the natural areas within them. Mr. Polsinelli would be amenable to restricting the main two lots to have only one house each, but would have to confer with Mr. Lecce if he would be okay restricting the back lot to no further development. Mr. Polsinelli stated he contracted an engineer to survey the disturbed areas of the property and heard back with news that there were no wetlands in the areas proposed to be disturbed.

Ms. Robertson recommended the engineer detail the direction the stormwater travels on that property as well as find out whether a rain garden would be necessary on the property. Mr. Polsinelli stated there were both water and sewer on the connecting stub street which the subdivisions could connect to.

Mr. D'Arpino asked whether Mr. Polsinelli could create the lot lines so they were more regular shapes, as opposed to the current trapezoidal shape, however Mr. Polsinelli showed that he had already tried that however it did not work as planned. By doing as Mr. D'Arpino suggested, one of the lots would be substantially bigger than the other.

Mr. Polsinelli was asked about if water would drain down towards Angelina Drive. Mr. Polsinelli stated the grade was gentle down to the east and west. In regards to Mr. Khan's question, Mr. Polsinelli confirmed the grade from the stub road headed towards Rowe Rd.

Chairman Walsh read aloud an email sent in earlier regarding this project that was submitted to the Board within the packet of emails for the night but was specific to the Polsinelli Subdivision. The email was from Margaret Corey and stated that she had concerns over clear-cutting the area as she had seen in an earlier project in the neighborhood on Vincenzo Drive. Ms. Corey also had concerns regarding wetlands impacts, which had been discussed earlier in this meeting. There were further questions regarding storm water and sewer flows, which Chairman Walsh determined would be investigated further in the future.

The Board asked for information on the deed restrictions to be brought back to the next meeting, as well as contour lines and drainage paths.

Ms. Robertson reminded the Board that the back lot could not be its own parcel because it was landlocked, so it would have to be deeded to Mr. Lecce and be part of a lot line adjustment occurring at the same time as the subdivision. Chairman Walsh stated that was understood and called for the next discussion item.

4. 31 East St. – NE Underlayments – site plan app. for a tenant change under pre-existing nonconforming interior storage use in the R-R Zoning District.

Mr. and Mrs. Geoffrey and Janet Konis were present to discuss their property. Mr. Konis stated that he has been long searching for a property to store equipment and supplies for his underlayment business in this area. He stated they have a main property for the same business in Warrensburg and an additional property in Albany but need one in this area. Mr. and Mrs. Konis are under contract for the property with the stipulation that they be connected to water and sewer. Therefore, Mr. and Mrs. Konis would like to bring both water and sewer to the property in order to bring sanitary areas to the property. A sketch was presented to the Board which intends to satisfy the property owners needs with as little imposition to neighbors as possible. Mr. Konis also expressed desire to add green space as well as clean up the parking. They stated they did not need outdoor material storage.

Chairman Walsh inquired about the office staff that would be utilizing the property. Mrs. Konis stated that a salesman, an estimator, and an office support staff were proposed for the Niskayuna location. Mrs. Konis confirmed that the salesman would be on the road often however the estimator would primarily be in the site in question. Chairman Walsh raised concerns with the staffing on site. Storage of equipment was an allowable pre-existing non-conforming use, however, having the property functioning as an office would be an expansion of uses. Chairman Walsh also questioned the drainage issues present in that area.

Mr. Konis stated that he currently has engineers aware of the drainage issue who are confident they can find solutions to install a septic system. Ms. Robertson confirmed that indoor storage would be allowed under the proposed site plan, however, the office space would require a use variance. Ms. Robertson recommended that all future plan from the currently permitted use be wrapped up into a singular use variance request, as multiple variances become increasingly difficult to grant. Mrs. Konis confirmed that the only outdoor storage space would be for vehicles, which would not require a use variance, and they are only looking for a small amount of office space and bathroom.

Ms. Robertson said that if interior office space is a necessity for the applicants then a breakdown of the building would be needed with square footage of the actual office space proposed.

Chairman Walsh requested numbers on how many people and vehicles would be coming and going from the property on a regular basis. Chairman Walsh stressed that the more employees and vehicles on site would create an increased disturbance for the neighbors in the area.

Ms. Gold asked about the size of the trucks that would be going into the property, which Mr. Konis confirmed would be one-ton pickup trucks. Mr. Konis stated there are occasional tractor-trailers that would make deliveries but they do not come on a daily basis. While Mr. Konis agreed that the width of East St. is not very wide, he does not believe the trucks in use would cause issues.

After concerns were raised regarding the property's proximity to the bike trail, Mr. Konis stated that there are no plans to disturb the green space surrounding the area.

Mr. Khan asked about the increase of market in this area for the Konis', due to their dispersed locations throughout New York State. Mr. Konis said he is trying to focus his business around the Upstate New York area, with Albany being the center. Mr. Konis confirmed that they are currently and will continue to do significant business in the Schenectady area.

Chairman Walsh told the Board that the next potential public hearing would occur at the Zoning Board of Appeals meeting, and not the Planning Board.

IX. REPORT

1. 2042 Balltown Rd. – Church of Christ new signage

Mr. Henry informed the Board that the signage will be an exact duplicate of what is currently there, which is code compliant. Mr. Henry confirmed that the signage does not have any lighting. Mr. Henry had already asked the applicants to slightly lower the sign to comply with code, but other than that did not find any issues.

COMMISSION BUSINESS

Mr. LaFlamme asked Ms. Robertson about 1380 Van Antwerp Ave and questioned what was the outcome with the historic garage. Mr. LaFlamme was curious to know if there was another

design or application for the new garage. Ms. Robertson said that the old garage had been demolished but there was not currently an application before the Board for a new garage.

Mr. McPartlon stated that Alex Ritmo will not be back before the Planning Board. Ms. Robertson confirmed that the Zoning Board denied Mr. Ritmo's use variance appeal.

Chairman Walsh took time to thank Jean Fotti for her service to the Planning Department and congratulate her in her new opportunities in the Supervisor's Office.

Chairman Walsh stressed the importance of assigning a point person to each project, specifically the three presented before the Board today.

XI. ADJOURNMENT

Chairman Walsh asked for a motion to adjourn. Ms. Gold made a motion to adjourn and it was seconded by Mr. Khan. The meeting was adjourned at approximately 9:27 pm.

Laura Robertson

From: Shoshanah Bewlay <sbewlay@gmail.com> on behalf of Shoshanah Bewlay
Sent: Monday, January 9, 2023 3:06 PM
To: Laura Robertson
Cc: Bernard Bewlay
Subject: [EXTERNAL] Re: Tonight's meeting - Planning Board

Hello again Ms Robertson:

I understand that tonight there is another meeting of the planning board. Would you please read the below into the record during the time reserved for public comment? Many thanks. Shoshanah Bewlay

For the record:

Good evening members of the Planning Board:

I wrote to you before your last meeting and I am again asking for your attention tonight on a matter of great importance to my family and my neighbors on Ruffner Road.

My family and I have lived on Ruffner Road for more than ten years. One of the principal reasons that Ruffner Road appealed to us was that the street fronted the Mohawk Club Golf Course, promising a quiet, safe, picturesque neighbor. Over the last year, I have observed with dismay a development plan being put forward by the Club that would create a huge new high density housing development, eliminating the quiet, safe and picturesque neighbor.

Recently, we and our neighbors on Ruffner Road have signed a petition that is designed to further inform you of our collective objections to the Mohawk development. We hope that you will take notice of this document and feel free to contact any signer in the event you have questions.

I continue to feel, in common with my neighbors, that by knocking down a long-established home on our street to create a new road to permit access to a new high density development of single- and multi-family dwellings, the Club is looking to change the essential character of our street and neighborhood. **Such an essential change should be the subject of intense scrutiny because it is strongly disfavored in zoning law.**

A new road onto the Club's proposed neighborhood is a very bad idea. It will drastically increase traffic and disturbance on our road of widely-spaced single family homes on large lots. My family and I are opposed to permitting the Club to knock down an existing home to use Ruffner Road to access this new high density housing development.

If the Board is inclined to grant the very many variances from the Code that the proposed development would require — and as reflected in the Ruffner Road residents petition we are certainly against this for the reasons stated therein — we urge it to require the Club to reconfigure the existing Golf Course to permit access to its new neighborhood through existing Club land, denying permission to use Ruffner Road to do so. The Club currently has multiple existing curb cuts on both Union Street and Country Club Road permitting cars and trucks onto its property, and there are many golf cart roads already in existence throughout the Course.

By using existing Club curb cuts and widening existing course roads, the Club — if permitted to obtain the legion required variances to build a high density development on its course — is already able to accommodate its new neighborhood on the golf course land without ruining ours.

Thank you for your time and attention to this important matter.

Shoshanah and Bernard Bewlay
1119 Ruffner Road

On Mon, Dec 12, 2022 at 3:53 PM Shoshanah Bewlay <sbewlay@gmail.com> wrote:
Good afternoon, Ms Robertson.

I would appreciate it if you would read this note into the record at tonight's meeting of the Zoning Board, during the time reserved for public comment.

My family and I have lived on Ruffner Road for more than ten years. One of the principal reasons that Ruffner Road appealed to us was that the street fronted the Mohawk Club Golf Course, promising a quiet, picturesque neighbor. Over the last year, I have observed with dismay a development plan being put forward by the Club that would create a huge new high density housing development, eliminating the quiet, picturesque neighbor.

By knocking down a long-established home on our street to create a new road to permit access to a new high density development of single- and multi-family dwellings, the Club is looking to change the essential character of our street and neighborhood. A new road onto the Club's proposed neighborhood will drastically increase traffic and disturbance on our road of widely-spaced single family homes on large lots. My family and I are opposed to permitting the Club to knock down an existing home to use Ruffner Road to access this new high density housing development.

If the Board is inclined to grant the very many variances from the Code that the proposed development would require, I urge it to consider requiring the Club to reconfigure the Golf Course to permit access to its new neighborhood through existing Club land, denying permission to use Ruffner Road to do so. The Club currently has multiple existing curb cuts on both Union Street and Country Club Road permitting cars and trucks onto its property, and there are many golf cart roads already in existence throughout the Course. By using existing Club curb cuts and widening existing course roads, the Club is already able to accommodate its new neighborhood without ruining ours.

Thank you for your time and attention to this important matter.

Shoshanah and Bernard Bewlay
1119 Ruffner Road

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Shoshanah Bewlay

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Shoshanah Bewlay

Laura Robertson

From: Beth Chapados <chapados.beth@gmail.com> on behalf of Beth Chapados
Sent: Sunday, January 8, 2023 9:32 AM
To: lrobertson@niskayuna.org
Cc: Gilles
Subject: [EXTERNAL] Ruffner Road

Dear Town Planning Committee,

My husband and I are out of town and unable to be at the public meeting concerning the construction of an access road to the golf club development. We chose our home 4 years ago to retire in a one level ranch and because of the beautiful open views of wildlife. We are avid walkers and enjoy the peaceful walks along the road. The possibility that an access road will be directly across from our driveway, with headlights directly into my kitchen view is extremely upsetting. We moved in it to retire because we love the community neighborhood, please don't force us to move. The access road will greatly devalue our property, and we thought we had made our last move.

The construction noise I'm sure is inevitable, but the trucks and traffic should be directed through the golf property, and not destroy the established neighborhoods right to quiet.

Thank you for your consideration.

Gilles and Elizabeth Chapados
1200 Ruffner Rd.

Sent from my iPad

Laura Robertson

From: Margaret Corey <margaret.corey@gmail.com> on behalf of Margaret Corey
Sent: Sunday, January 8, 2023 4:51 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Comments on potential residential construction on Mohawk Club property

Dear Ms. Robertson,

Some of my neighbors mentioned that the Planning Board will be discussing a potential residential construction project on Mohawk Club property at tomorrow's meeting. I did not see this topic on the agenda. In the event the topic is raised, I offer these comments on the project:

Residential property owners adjacent to the golf course purchased their property assuming the course would remain as it is. There have been some issues over the years with drainage changes to the course, but were resolved. Potential construction of what has been described as multi-family dwellings is very concerning. There is already some through traffic on Ruffner Road, and the traffic will increase with this project. Additionally, a potential entrance from Rowe Road will create more traffic on a straight road with no stop signs and cars already speed. A traffic study and mitigation is needed.

There is a significant bird and wildlife population in the neighborhood, including the rare pileated woodpecker. Accommodations for protecting wildlife habitat should be part of the project.

The drainage in this part of Niskayuna is not good, to say the least. Personally, I live "downstream" from the Mohawk Club and have neighbors who have experienced significant basement flooding in the past due to work on the course. Drainage plans and mitigation are critical. Can the developer use porous pavement, for example?

Thank you.

--

Margaret Corey

Laura Robertson

From: Carol Furman <cfurm13@gmail.com> on behalf of Carol Furman
Sent: Monday, January 9, 2023 3:09 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Town planning board privilege of the floor Jan 9

Please read the following statement by Carol Furman, 1269 Ruffner Road re: proposed development of townhomes and single family residences by Mohawk Golf Club behind Ruffner Road. There are presently twenty single family residences on Ruffner Road between Lynwood and Mountainview Roads, including 1237 Ruffner which is opposite Mountainview. The proposed development is for 12 Townhomes and ten single family homes, a total of twenty two new homes, more than presently on a full block but exiting from a cul-de-sac just one lot away from a present intersection.

If planners were expanding a town by adding new blocks of housing, would they not want the flow of traffic to connect to a previous pattern of streets considering not only safety, efficient flow to major routes, but also the possibility of future further development?

Is it not a goal of the town to maintain the character of present neighborhoods? Can you say that approving a plan for access and egress to and from such a development from a cul-de-sac through a previous house lot, close to an intersection and doubling the traffic originating from that block would not significantly affect the safety, light, noise, and use of that street by walkers, runners, and cyclists?

Golf courses in parts of the country have closed, sold their land for development. If that should happen here, how will the plan for traffic for this development set up the possibility for further development and connection to other of Niskayuna's roads?

Sent from my iPad

Laura Robertson

From: Ame Heller <asheller123@aol.com> on behalf of Ame Heller
Sent: Monday, January 9, 2023 8:15 AM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Mohawk Golf Club Residential Development

To Whom It May Concern,

As a homeowner on Ruffner Road for over 20 years, I 'm writing to express significant concern about the Mohawk Golf Club Residential Development. This proposed use will change the character of the neighborhood in undesirable ways. There will be more traffic, when there is already more than enough traffic in this neighborhood given that Ruffner Road is a cut-through street. I am aware of the traffic situation from driving and frequently walking around the neighborhood. The proposed development will also mean less green space. I implore you to consider other options for this proposed development.

Sincerely,
Ame Heller
1351 Ruffner Road, Niskayuna

Laura Robertson

From: William Howe <whowe3@yahoo.com> on behalf of William Howe
Sent: Monday, January 9, 2023 12:46 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Mohawk Golf Club Proposed Ruffner Rd Development

Hello, My name is William Howe, residing at 1270 Ruffner Rd in Niskayuna.

I am a Civil Engineer and former Director of Contracts for the New York State Department of Transportation, and I have grave concerns regarding the proposed development near Ruffner Rd.

First, the traffic on Ruffner Rd is already a problem. There are many walkers, bikers, mothers with strollers and other pedestrians on the street at all times. Cars and utility vehicles are frequently parked on both sides of the street, often reducing it to one-lane or very narrow two-lane traffic. These pedestrians and bicyclists must weave through parked vehicles and into active traffic lanes without being visible. Traffic routinely ignores speed limits and stop signs. The last thing the street needs is another 100 cars dumped onto it, or an additional intersection. It really needs more traffic calming measures.

Second, the proposed development would destroy a belt of woods that serves as a home and migration route for much wildlife. A few months ago I saw a rare peregrine falcon perched on a tree nearby. Although no longer on the endangered list, the nests of these rare birds are still protected by regulation. Open space, critical to all residents regarding property values and quality of life, is increasingly rare in Niskayuna.

Third, the proposed development will strain already overtaxed water, sewer and electric systems. The town currently has frequent problems with water and sewer lines and electrical outages are far too common in our area. As far as I know, no study has been done regarding the impact of the proposed development on the power grid, and the only study of water and sewer was done by an engineer working for the developer, not an independent engineering study. Replacing trees and grassy areas with parking lots and buildings would certainly exacerbate runoff problems. All three of these areas need to be studied by a firm which has no financial ties to the developer.

As a Niskayuna taxpayer and lifelong town resident, I am completely opposed to this destructive proposed project. It appears to me that the Mohawk Club, the developer and even the Town have an "act now, deal with problems later" attitude about this whole project.

Please consider the major negative impacts of the town, its residents and our quality of life. As best I can see, there are no positive impacts of this project whatsoever.

Very truly yours,

William A. Howe
518-248-1965

Sent from [Mail](#) for Windows

Laura Robertson

From: Judy McDonald <niskayunajudy@gmail.com> on behalf of Judy McDonald
Sent: Sunday, January 8, 2023 7:44 PM
To: Laura Robertson
Subject: [EXTERNAL] Mohawk Club housing development wit Ruffner Rd access

Ms. Robertson,

My husband and I are very concerned about the proposed development by the Mohawk Club for additional housing that would be accessed solely via a new road connecting to Ruffner Rd. As it is now, the traffic on Ruffner Rd is excessive in volume and speed. This additional volume will be a burden to the neighborhood and cause additional safety concerns.

If the Mohawk Club wishes to develop their land for housing then they can access this development through their own land. A road can be created from their parking lot running adjacent to North Country Club and East Country Club Roads. There is no reason for our neighborhood to bear the burden of this development.

We have lived on Ruffner Rd for 17 years and previously lived on South Country Club Dr. In both neighborhoods we found the Mohawk Club to be very poor neighbors. They don't maintain the fence or their property up to the road and it is an eye soar. We certainly do not want them being more of a presence in our neighborhood.

Thank you for your consideration on this matter.

--

Judy McDonald
1317 Ruffner Road
Niskayuna NY 12309
(518) 937-3479
NiskayunaJudy@Gmail.com

Laura Robertson

From: Melanie Romer <mromer1250@gmail.com> on behalf of Melanie Romer
Sent: Monday, January 9, 2023 5:19 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Planning Meeting Concerns- Jan 9, 2023

Good evening,

I currently live at 1250 Ruffner Road and have a few concerns about the proposed plans for the neighborhood across the street.

There is already a significant amount of cars that use Ruffner Road as a pass through to Rosendale Road. This proposed neighborhood will only intensify the current traffic issue for residents who use these roads for walking, running, biking etc.

Additionally, cars pulling in and out of the proposed neighborhood will directly impact the houses around the entry point. Specifically, 1250 and 1242 Ruffner Road will have lights constantly shining directly into their houses, while 1241 Ruffner will have a shared driveway with all the potential new cars. Residents of Ruffner Road purchased these homes because they are in a nice, quiet neighborhood that is walkable and safe. This proposed neighborhood is threatening those very attributes.

While I do not support the development of this neighborhood, I am completely against the plan to have the entrance to a new neighborhood on Ruffner Road, more specifically where 1245 Ruffner is currently located. There needs to be other proposed locations for an entrance that doesn't disrupt an already established neighborhood.

I want to reiterate; my concerns are in the placement of the entrance to this proposed neighborhood as well as the additional traffic on this street causing a big safety concern for Ruffner residents. If plans for this development progress, I look forward to presentations of additional placements of the entrance.

Thank you for your time,
Melanie Romer
Ruffner Road resident.

Laura Robertson

From: richard sleicher <r_sleicher@msn.com> on behalf of richard sleicher
Sent: Monday, January 9, 2023 11:06 AM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Planning Board

Please enter my comments regarding the Mohawk Club special use permit into the record:

I am not in favor of the project but since I believe it will happen, I would like to comment on the access to the property.

I feel the proposed boulevard is improper, because it means destroying a home and making a road next to 2 houses that never anticipated this. It would certainly affect living in the houses adjacent to the boulevard as well as adversely affect their property values. The same applies to access near Lynnwood. As board member Khan pointed out in the previous meeting, there is a right a way. The right of way cannot be complained about since it already exists and was known. The fact that the golf course does not want to use the right of way because it would alter 1 green is unpersuasive. The residents of the area cannot be asked to accept all of the inconvenience of this project.

Finally I am adamantly opposed to an emergency exit to Rowe. All this does is include another neighborhood into this project unnecessarily. First the need for an emergency exit needs to be demonstrated. We have many cul-de-sacs or single entry roads in this town. Lynnwood had 6 alone. The sewer plant is accessed by one road. If our town employees can accept this danger so can residents of this project. Buyers of these homes will be able to make the decision whether not having an emergency access is safe. I cannot understand how an emergency vehicle careening down a golf cart path would add to safety. One would have to ensure the path is suitable for this purpose. What standards would apply? How would the path be plowed and salted and who would be responsible for this? The town would be taking on added liability by travelling down a path with golfers. The minor benefit an emergency access is outweighed by the added risks of having vehicle go down a path where they are not expected. The risks of a pedestrian golfer or cart being struck or emergency vehicle being struck with a golf ball are higher than the minor benefit of having an emergency access. Wouldn't it be better to have an emergency vehicle go across a lawn if need be? Alternatively, why not put the emergency access to Ruffner near Lynnwood or the proposed boulevard location?

Richard Sleicher (pronounce sly-chur)
2532 Hilltop Road
Niskayuna

Laura Robertson

From: Margaret Corey <margaret.corey@gmail.com> on behalf of Margaret Corey
Sent: Saturday, January 7, 2023 3:38 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] January 9 2023 Planning Board Meeting- Comments on item VIII.3

Dear Ms. Robertson,

I am unable to attend the January 9 meeting but I am submitting comments on agenda item VIII.3, Discussion of sketch plan for a 2 lot minor subdivision in Antonia Park.

I reside in the vicinity of the project (in the Woodcrest neighborhood) and frequently pass the project location when walking around the neighborhood. My husband and I are also retired environmental engineers and we are familiar with both the SEQR process and wetlands delineation procedures.

Comments:

I support requiring the applicant to add contour lines to the project plan.

I note the development area limits removal of mature trees in the area. This needs to be enforced, earlier (similar) development off Vincenzia resulted in clear cutting a large area of mature forest (much more than needed to construct the homes there), and there has been no observed effort to replace any of the trees.

The wetlands delineation, as noted in the SEQR application, is critical. I am almost certain there are wetlands in the area. In fact, some earlier and ongoing construction of homes off Antonia Blvd. resulted in observed encroachment on wetlands, by the use of construction and demolition debris as fill. There were also no evident stormwater runoff controls in the area. In fact I filed a complaint with NYSDEC about these observations. The planning board must insist that a proper wetlands delineation be made and any mitigation needed be enforced.

SEQR question 9: the applicant answers that the project meets or exceeds energy efficiency goals but does not specify how.

SEQR question 12.b: archeological/historical considerations are likewise not addressed.

I also support the concept of placing deed restrictions on the undeveloped property which is going to Lecce Development.

There has been development in several locations in this neighborhood (housing on the Van Antwerp end of Hilltop Road), and we understand there are plans forthcoming for development on the Mohawk Golf Club property. Drainage in the area is poor and additional development needs to be carefully and thoughtfully planned.

--

Margaret Corey

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
January 23, 2023

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Genghis Khan
Patrick McPartlon (Virtual)
Chris LaFlamme
Leslie Gold
Nancy Strang
Joseph Drescher

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. Skrebutenas was excused and absent.

III. MINUTES

There were no minutes for approval tonight.

IV. PUBLIC HEARINGS

No public hearings tonight

V. PRIVILEGE OF THE FLOOR

Ms. Louisa Lombardo of 1242 Ruffner Rd. approached the podium. Ms. Lombardo felt the proposed subdivision on the Mohawk Golf Club property would not enhance the existing community as outlined in the 2013 Town Comprehensive Plan. The new plans to incorporate a roundabout on Ruffner were also troublesome to Ms. Lombardo. Ms. Lombardo objected to the proposed monument sign at the front of the subdivision, and was unsure the flowers planted by the sign would be maintained.

Ms. Ursula Hall of 1310 Ruffner Rd. objected to any proposals regarding the Mohawk Club which seek special use permits. Ms. Hall also objected to the proposed roundabout. Ms. Hall felt the development proposal was unacceptable.

35 Ms. Suzanne Mason of 2144 Mountainview Ave. feared the loss of green space and wildlife as a
36 result of the project. The increase of traffic also concerned Ms. Mason.

37 Ms. Carol Furman of 1269 Ruffner Rd. questioned the decision to put a roundabout one
38 property away from the intersection with Mountainview Ave. Ms. Furman believed the short
39 distance between the intersection and roundabout would increase safety risks. Ms. Furman
40 expressed doubt with traffic summaries previously presented. Water and sewer planning were
41 other areas where Ms. Furman thought the proposal fell short.

42 Ms. Shoshanah Bewley of 1119 Ruffner Rd. objected to the density of the proposed
43 subdivision, which is higher than the way Ruffner Rd properties are currently configured. Ms.
44 Bewley found the demolition of a house on Ruffner Rd. to make way for the subdivision
45 troublesome. Ms. Bewley stated that the Mohawk Club should use their own streets and utilities
46 inside their property to make room for the subdivision. Ms. Bewley would like to see an
47 independent traffic and environmental study done on the project. Ms. Bewley further cited
48 wetland and wildlife impacts in her objection.

49 Mr. Albert Meyerer of 1166 Ruffner Rd. expressed more concerns for the house proposed to be
50 knocked down, as well as with traffic. Mr. Meyerer discussed the high pedestrian usage of
51 Ruffner Rd. as reasons why the increased traffic is unsafe. Mr. Meyerer was also concerned
52 about the proposed roundabout.

53 Mr. Benjamin Romer of 1250 Ruffner Rd. lives directly across from the proposed boulevard
54 entrance and roundabout to the subdivision. Mr. Romer believed the proposed development
55 would ruin the fabric of the neighborhood. Mr. Romer stated that the roundabout being directly
56 on his driveway would assuredly harm his property value as well as lead to multiple safety
57 concerns.

58 Mr. Ken Schwartz of 1363 Ruffner Ct. approached the podium and read a letter on behalf of his
59 wife, Cynde Schwartz. The letter details that the Mohawk Club proposal offers no concern for
60 the greater good of the neighborhood. The letter cites previous street additions, namely Whamer
61 Ln. increasing traffic in the area, and believes that this project will do the same. There was
62 further concern regarding the boulevard entrance and the proposed roundabout.

63 Mr. Charles Horowitz of 1223 Ruffner Rd. claims the disdain for the Mohawk Club project is
64 very widespread throughout the Ruffner Rd. neighborhood, and furthermore stated that he has
65 not heard one person speak in favor of the proposal. Mr. Horowitz does not have one
66 overarching problem with the project, but says the multitude of negatives makes it
67 unacceptable.

68 Ms. Jenny Frank of Old Niskayuna came forward stated that the rest of the town should have
69 more access to information about this project.

70 Ms. Johanna Horowitz of 1223 Ruffner Rd. described limited green space and increased traffic
71 as issues that would be exacerbated by this development. Ms. Horowitz spoke on the long history
72 of the Rosendale area, and felt as if this project jeopardizes the area's history.

Ms. Marlene Loux of 1191 Ruffner Rd. stated beliefs that the Mohawk Club was in a time of financial hardship and was planning on selling the property in a few years. Ms. Loux believed that allowing this development could open the door for further developments in the area.

Mr. Sean Moran of 1357 Ruffner Rd. detailed heavy traffic and lack of walkability as current Ruffner Rd. issues that would be made worse by this development. Mr. Moran also cited sewer and water main concerns.

Mr. Mark Thomas came to the podium to speak on behalf of Ms. Margaret Corey of Hilltop Rd. Ms. Corey believed that the traffic and open space analyses completed by the Mohawk Club seemed incomplete. Ms. Corey believed traffic would backup further than just the Ruffner/Rowe Rd. neighborhoods. Furthermore, Ms. Corey stated that there was more open space in the original plans than currently offered. More sewer and water concerns were addressed. Mr. Thomas then read a letter on behalf of his wife, Becky Thomas of 1265 Ruffner Rd. Mrs. Thomas expressed one of the main reasons for purchasing a house on Ruffner Rd. was the extensive open space and wildlife. Destruction of a house to construct the boulevard entrance was another key issue she objected to.

Mr. David Amodeo of 1382 Rosehill Blvd. stepped forward and described the wetland nature of his property. Being downhill from the proposed development, Mr. Amodeo feared even more water may infiltrate his property.

Mr. Lou D'Ambrosi of 1184 Hedgewood Ln. had questions involving the long term plan for development on the Mohawk Club property. Mr. D'Ambrosi also had concerns about how the school, water and sewer systems would be able to handle increased development. Mr. D'Ambrosi would like to see other entrances to the subdivision be explored outside of Ruffner Rd.

Mr. Omar Alloush of 2201 Rosendale Rd. believed traffic, infrastructure and ecology would be heavily impacted by the development. Mr. Alloush also stated he does not think the public should be required to help the private Mohawk Club with their project. Mr. Alloush did not think the proposed homes were representative of what Niskayuna residents want.

Ms. Terressa Mannix of 1230 Ruffner Rd. stated support for previous comments made, especially regarding traffic. Ms. Mannix felt as if Ruffner Rd. is already at its capacity.

Mr. Steven Clemente of 1231 Ruffner Rd. spoke on a petition he dropped off this morning to the Planning Department with 116 signatures opposing the development. Mr. Clemente further echoed traffic concerns in the area. Mr. Clemente mentioned the Club has access to Balltown Rd and Union St, and could use those as access points to the development. Water and sewer issues are concerns that Mr. Clemente would like to see further investigated. Mr. Clemente also cited the large wildlife population in the area that would be negatively impacted by the proposal.

Mr. Clemente read a letter drafted by Ms. Tracey Morehouse of 1206 Ruffner Rd. Ms. Morehouse further expressed concerns that an increase in traffic would be negative for the community. Ms. Morehouse had noticed that there was a high population of young children on Ruffner Rd. who she believed would be at risk with more cars on the road. Ms. Morehouse also believed that an egress on Ruffner Rd. would lower property values and community character.

113 Mr. Mark Thomas of 1265 Ruffner Rd. approached the microphone to further discuss traffic
114 concerns. Mr. Thomas spoke to years prior when the Mohawk Club took down multiple trees by
115 his previous property on Rowe Rd, which he felt made a substantial difference which spoke to
116 his concerns regarding the current proposal.

117 Ms. Carol Holmes of 1301 Ruffner Rd. does not trust the Mohawk Club developers and stated
118 that the plans have consistently changed since the beginning of the project.

119 Ms. Lisa Caruso of 1261 Ruffner Rd. stepped forward to state she feels the Planning Board is
120 corrupt.

121 Ms. Danielle West stated she is a lifelong Niskayuna resident although she does not live by the
122 proposed development. Ms. West objected to the proposed roundabout and stated she has a niece
123 on Ruffner Rd. who she does not feel will be safe due to increased traffic. Ms. West also stated
124 Niskayuna schools are already overcrowded and may not be equipped to handle more
125 households.

126 Mr. Dennis Romero of 1122 Ruffner Rd. echoed his neighbor's previous concerns, including the
127 increase of children in the area in recent years. Mr. Romero does not believe this development is
128 what is best for the town. Mr. Romero thought the long term effects of this project would be
129 severe.

130 Mr. Ken Schwartz of 1363 Ruffner Ct. detailed a history of basement floods during severe
131 storms. Mr. Schwartz believed that taking down large quantities of trees would further this
132 flooding problem, as the proposed development is uphill of Rowe Rd. Mr. Schwartz doubted
133 whether the storm water holding area proposed by the Mohawk Club would be able to handle
134 this load. Mr. Schwartz recommended moving a few holes to the 14 acre parcel and putting the
135 development where the previous holes were in order to conserve trees and wildlife.

136 Ms. Erin Cassady-Dorion of 1114 Ruffner Rd. spoke virtually to say that she could not see any
137 benefits this development brings to the community.

138 Ms. Dana Moses of 1302 Rowe Rd. spoke virtually and stated that although she has not yet
139 moved into the house, she feared that she would regret the purchase on Rowe Rd. if this
140 development continues.

141 Ms. Lombardo approached the microphone to state that she wanted the same compassion and
142 care that Ms. Laura Robertson showed previously to residents nearby a proposed Kia dealership
143 to be extended to the residents of the Ruffner Rd. area.

144 Ms. Robertson stated that all emails received for the meeting regarding this project would be
145 attached to the official minutes.

146 Chairman Walsh stated for the record that Discussion Item #4, Rivers Ledge, was pulled by the
147 developers and would not be discussed at tonight's meeting.

148 **VI. UNFINISHED BUSINESS**

149 There was no unfinished business at this meeting.

150 **VII. NEW BUSINESS**

151 There was no new business at this meeting.

152 **VIII. DISCUSSION ITEMS**

153 **1. 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club – application for sketch plan**
154 **approval including a Special Use Permit for a 22-lot Average Density Development**
155 **(ADD) subdivision consisting of 10 single-family detached homes and 12 townhomes.**

156 Mr. Dave Kimmer of ABD Engineers was present on behalf of the Mohawk Golf Club. Mr.
157 Kimmer briefly detailed the outline of the project, specifying that it is an Average Density
158 Development with 22 total units. Mr. Kimmer stated that while there are a multitude of potential
159 entry ways into the development, it is still the belief of the Club that the route presented via
160 Ruffner Rd. is the best option. Mr. Kimmer showed the entrance to the development as a single
161 lane road with a mini roundabout on Ruffner Rd. Mr. Kimmer said that the roundabout would be
162 offset from the center of the road, meaning that to pass through it cars will be forced to slow
163 down. The addition of the roundabout was in response to resident complaints regarding traffic.
164 Although stop signs do not always slow traffic as desired, a roundabout will force a car to
165 decrease speed.

166 Mr. Kimmer then showed other ingress and egress options explored by the Club, including the
167 usage of a paper street on Ruffner Rd. south of Mountainview Ave. There is also Mohawk Club
168 frontage near Lynwood Dr. that was previously explored, but due to grading issues it isn't
169 feasible. Mr. Kimmer did not believe that utilization of the paper street on Ruffner would have
170 any benefits to the community over the current proposal.

171 Mr. Kimmer discussed through-road concepts brought up that would be connected through the
172 development at Rowe Rd. and South Country Club Dr. Mr. Kimmer stated that this through-road
173 would result in significantly more disturbance. By putting in a through-road, Mr. Kimmer
174 believed that traffic would then become an issue on South Country Club Dr. and Rowe Rd. as
175 well as even further up to McGovern Rd. Mr. Kimmer stated the current egress point proposed
176 would have the least impact to the community.

177 Chairman Walsh asked about access from Country Club and only emergency access points to
178 Rowe Rd. Mr. Kimmer stated that the impact would be the same, however it would shift traffic
179 to South and East Country Club Dr. This would not be preferable as those roads are narrower
180 than Ruffner Rd.

181 Mr. Kimmer shared plans of a walking path that would take place along the paper street and
182 connect Ruffner Rd. to the Country Club neighborhood.

183 Ms. Robertson pointed out that entrances from the Country Club neighborhood and Rowe Rd.
184 would not require demolition of an existing house, so the impact would be lesser in that regard.

185 Mr. Khan shared the opinion that entry points via Rowe Rd. and South Country Club Dr. could
186 be reconfigured to be suitable ingress and egress options. Mr. Khan said that increased signage
187 would inform drivers they are entering Mohawk Club property. Mr. Kimmer believed that would
188 create the sense of a gated community, which is not desired.

189 Mr. Khan said that Mr. Kimmer's thought process reflected what the public had been saying in
190 that there may not be a suitable option for entrance to this development.

191 Mr. LaFlamme stated support for Mr. Kimmer's reluctance to develop cut-through roads, and
192 asked if there were any thoughts on designs that did not put access roads or cut-through
193 connections onto neighboring streets. Mr. Kimmer responded by saying that would not be
194 possible. Mr. LaFlamme clarified his question by asking if Union St. or Balltown Rd. could work
195 as access points. Mr. Kimmer said the road would be too long to connect those roads to the
196 development.

197 Ms. Strang asked that the developers find another way into the development that does not include
198 the side roads listed. Ms. Strang furthered her point by saying that she believed people would be
199 willing to travel from Balltown Rd. or Union St. if the project ended up being attractive enough.

200 Mr. Drescher asked if any conversations had occurred with Niskayuna Fire Departments to see
201 the feasibility of trucks navigating the route to get to the development. Mr. Drescher also asked if
202 local schools have been contacted as bussing may be an issue as well. Mr. Kimmer said that
203 although final plans for the roundabouts had not been made, there are a myriad of engineering
204 techniques available to make them accessible for fire trucks and school busses. Mr. Kimmer also
205 said that talking with the schools is something that would typically occur later in this process.
206 Chairman Walsh confirmed that Police and Fire chiefs are always sent applications for review,
207 however it is still very early on in the process.

208 Mr. Khan asked both Ms. Finan and Ms. Robertson about a section of the Town Code regarding
209 the conditions for granting of special use permits and how heavily the Planning Board should
210 weigh these conditions into their decision making, although it is primarily an issue for the Town
211 Board. Ms. Finan stated that since the Planning Board will make a recommendation to the Town
212 Board, the Planning Board should consider the criteria in their decisions. Ms. Robertson
213 concurred with Ms. Finan.

214 Ms. Gold expressed severe concern with the roundabout at the proposed entrance to the
215 development, stating that it is more intrusive than original designs.

216 Mr. D'Arpino informed the room that a few Planning Board members walked the site of the
217 proposal last Thursday. From that meeting, Mr. D'Arpino believed that the paper street off Rowe
218 Road has not been properly vetted as an access point, as well as frontage on East Country Club
219 Mr. D'Arpino understood that access from these areas would alter the footprint of the golf
220 course, most notably hole 11, but he would still like to see sketches of how it would look if
221 completed. Mr. D'Arpino stated that a lot of language in Niskayuna's comprehensive plan does
222 not support the demolition of the house as proposed at 1245 Ruffner Rd.

223 Mr. Khan also walked through the site with Mr. D'Arpino, and said his initial reaction was how
224 wet the ground and soil of the area was. Mr. Khan recommended another water table study be
225 done within the next one to two months when conditions were wetter.

226 Mr. D'Arpino noted that the retention basin added to the 14th hole has made a significant
227 improvement for the north end of the property.

228 Mr. D'Arpino thought the steepness of the 14th hole by Rowe Rd. would cause significant issues
229 if an access point were to be created there. Mr. D'Arpino agreed with Mr. Kimmer that the
230 Lynnwood intersection isn't feasible.

231 Ms. Gold expressed support for the Average Density Development idea compared with a regular
232 subdivision.

233 Chairman Walsh asked Mr. Kimmer what his main concerns were for bringing the access point
234 through the Country Club neighborhood. Mr. Kimmer said that there would be more homes
235 affected on Country Club Dr. than on Ruffner Rd. Furthermore, the Country Club roads are
236 narrower which would worsen with increased traffic. The idea was also rejected as more golf
237 course land would have to be disturbed through that access point.

238 Chairman Walsh asked about the long term plan for the Mohawk Club with all of their land. Mr.
239 Kimmer said that while the course is in an R-1 Residential zone and could theoretically be
240 developed further; there are no plans to do so. Due to the historic nature of the course being open
241 for over 100 years the owner is not looking to change it from its current use.

242 Mr. Bill Sweet representing the Mohawk Club stepped forward to the microphone. Mr. Sweet
243 pointed to the millions of dollars in improvements the club has made in recent years to dispel the
244 public comments regarding its financial stability and future plans to cash in with more
245 developments. Mr. Sweet said that the idea of putting public streets through the private course
246 would create a large liability issue for the club itself.

247 Going back to Mr. Drescher's question about fire trucks, Mr. Sweet mentioned that he had met
248 with the fire chief for a previous project and planned to design and identify the emergency access
249 point at Rowe Rd. Mr. Sweet also mentioned that the roundabouts would be mountable curbs so
250 busses or emergency vehicles could drive over them if need be.

251 Mr. Sweet believed that moving the entrance point from its current location would create a much
252 greater traffic impact on the new streets than it would on Ruffner Rd. Mr. Sweet said that the
253 paper street could be further explored, however its width is less than the proposed street that
254 would take place if 1245 Ruffner Rd. were demolished.

255 Mr. Khan asked about past reconstructions in the history of the golf course, and Mr. Sweet said
256 that besides regular maintenance the course has not been adjusted since 1922, and there are no
257 plans to adjust it now.

258 Mr. Khan stated that the more he continues to look at the schematics of the plan the more he
259 doubts the viability of this entrance location. Mr. Sweet asked Mr. Khan if ingress and egress
260 concerns are common objections with any subdivision, and asked why this subdivision should be
261 looked at any differently than other projects that have been approved. Mr. Khan said that the
262 Board still does not have a full understanding of all potential options for the development, which
263 is something that any developer would be asked. Mr. Khan would like to find the spot on
264 Mohawk Club property where the minimum harm would occur.

265 Mr. Sweet said that through past experience working with DOT, getting a curb cut on Balltown
266 Rd. would be highly unlikely, and DOT refused to meet with the club during a previous project
267 when the club tried to gain access via Balltown. As Union St. is also a State street, Mr. Sweet
268 doubted there would be more success trying to get more access there.

269 Mr. Sweet said that there was nothing to his knowledge in the current code that would prevent
270 the club from demolishing 1245 Ruffner, which they own, and creating their own street. Mr.
271 Khan said that the Planning Board voting in favor of removing a home to create a road would set
272 a dangerous precedent.

273 In response to a question by Chairman Walsh, Mr. Sweet expressed again his concern of access
274 via Country Club Dr. as having public roads on a private course would create liability issues. Mr.
275 Khan presented the option that the proposed road become private as opposed to public, which
276 Mr. Sweet declined. Mr. Sweet said it is desired to make the road a Town road. The main way to
277 avoid liability would be to reconfigure hole 11, which would not be acceptable for the Mohawk
278 Club.

279 Mr. D'Arpino stressed that a full graphic analysis of the design development was needed to
280 analyze turning radiuses, access points and any other variables that need to be discussed.

281 Ms. Robertson stated that although putting a public road through the golf course would not be
282 ideal for the Mohawk Club, there are examples of that happening in other locations. Mr. Sweet
283 clarified that from his experience most of the courses that Ms. Robertson was referring to are
284 public courses that would not be subject to the same liability. Mr. Sweet was not concerned
285 about a public road being used solely for emergency access, as the traffic would not be constant.

286 In regards to water and sewer concerns brought up by Mr. Khan, Mr. Sweet said he is well aware
287 of the persisting issues and will continue working with engineers to find a suitable solution. Mr.
288 Sweet said that the club has recently uncovered a 16-inch water main running through their land
289 that was not previously depicted on any town maps. Mr. Sweet said this could potentially be
290 explored to deliver water to the residents of the development. Mr. Sweet said the 16-inch line as
291 well as the 8-inch line that ran off of it have now been properly plotted and marked.

292 Ms. Strang inquired about the financial stability of the golf club, as she had believed that the
293 reason for the development was due to financial hardship. Mr. Sweet responded saying that about
294 4 years ago there was a change in ownership. The club was formerly a member-owned club ran
295 by a Board of Governors, and during that time there were some financial issues. Since then, the
296 club has been purchased, along with its debt, by Michael Rutherford who is now the sole owner.
297 Mr. Rutherford is the one responsible for the extensive upgrades the club has recently seen with
298 its pool and paved surfaces. Mr. Sweet says that this current development is a maximization of
299 the 14-acre parcel available. Mr. Sweet confirmed that if this project did not take place at all the
300 club would not suffer financially.

301 Mr. Sweet responded to a previous comment that stated the Mohawk Club does not benefit the
302 public. He detailed how the club allows Niskayuna Golf Club to play at no charge, as well as
303 Union College golf. Police and Fire Departments have golf outings at the club at no charge. Ms.
304 Gold countered saying that those entities could find accommodations at a public club if
305 necessary.

306 Speaking on traffic questions, Mr. Sweet said that this 22-unit lot is small in comparison to many
307 other Town projects lately, and encouraged a third party to conduct a traffic survey to verify the
308 work done by ABD Engineering. Mr. Sweet echoed the previously aired concerns about stop
309 signs and detailed his own experiences dealing with people not stopping at stop signs on Ruffner
310 Rd. He stated they proposed the roundabout to help slow cars down and avoid stop sign issues,
311 but he is fine having it removed from the plans if the neighbors don't want it.

312 Mr. LaFlamme did not see how he could follow the guidelines laid out in the comprehensive
313 plan while at the same time advocating for the removal of a single family house. Mr. LaFlamme
314 stated that while roundabouts would help with speed issues on Ruffner Rd. he does not find them
315 pedestrian friendly and doesn't think they would be a good fit for the walkability of the area.

316 Mr. Sweet restated that it is not his intention to clear cut the area, but to selectively clear areas
317 and keep the healthy trees present.

318 Mr. Khan asked about the official corporate name of the golf course, which he was told is
319 “Mohawk Golf Operations, LLC”. Mr. Sweet said that 1245 Ruffner Rd. is under the name of the
320 general manager of the Mohawk Club, Mike Rutherford’s son in law and said that 1245 could
321 become official Mohawk Club property through a simple deed transaction.

322 Mr. Sweet mentioned concerns over nature conservancy that were brought up at the
323 Conservation Advisory Council meeting, and said there were areas adjacent to the 5th tee box
324 that could be granted as forever wild. Mr. Sweet said that the 14 acres used for this project are
325 not the primary habitats for wildlife on the Mohawk Club property, and the course has multiple
326 wildlife sanctuaries within its boundaries.

327 Ms. Robertson asked for potential other sites for the development. Mr. Sweet insisted that those
328 areas do not exist as the course is already very condensed. Both Ms. Robertson and Mr. Khan
329 said that although Mr. Sweet has determined there is no other space, they would still like to
330 independently see it to verify themselves.

331 Mr. Khan noted the lack of harmony between the developers and the community, and
332 recommended that the developers work towards better informing and building a better
333 relationship with the community.

334 Chairman Walsh noted that Mr. McPartlon had recused himself from this specific discussion
335 item and Mr. Drescher was filling in for him. Hearing no further comments, he asked the
336 developers to bring back schematic plans of different access points and thanked them for their
337 time.

338 **2. 3900 State ST. – A site plan application to combine 17, 25 and 33 S Fagan Ave. with the**
339 **existing Kia Automobile lot, take down two single family homes and build a 144**
340 **parking space Automobile Sales lot.**

341 Due to a professional relationship with an engineer on this project, Mr. D’Arpino recused
342 himself from this discussion item leading to Mr. Drescher stepping in. Mr. Vincent Salvagni was
343 present on behalf of Matthew’s Kia.

344 Chairman Walsh introduced Mr. McPartlon as the project lead on this project and described the
345 basics of the site layout including its proximity to the border of Colonie. Mr. Salvagni confirmed
346 that the three lots in question are owned by two different owners.

347 Mr. Khan asked if the dealership had reached out to the adjacent neighbors on Amherst Ave. to
348 inform them of this project. Mr. Salvagni said that while an official meeting had not occurred,
349 letters had been sent out to all residents of Amherst Ave, even those further down whose impact
350 may be lower. The letter explained the intentions of the project as well as a picture of the
351 proposed site. Mr. Salvagni stated that in the letter there were details on how the lighting and
352 buffer areas would be done so in a way that would minimally impact neighbors. The letter had
353 been sent out over a week prior and Mr. Salvagni had not heard any response from the neighbors.

354 Mr. Salvagni also detailed that a letter was also sent out to 41 S Fagan Ave., which would be
355 isolated if the project went through, stating that if they were willing Matthew’s Kia would work

356 with them to buy out their property as well. Mr. Salvagni has not heard back from this owner
357 either.

358 Mr. Salvagni said that the owner of 17 South Fagan Ave approached the dealership with a
359 willingness to sell the property, and then reached out to the adjacent property owner who also
360 expressed willingness. Matthew's Kia is now under contract to purchase all three properties
361 described contingent on approval of plans.

362 Prompted by Chairman Walsh, Mr. Salvagni stated he is planning on moving forward with more
363 community outreach strategies however does not have concrete plans as of yet.

364 Mr. LaFlamme asked to the current occupancy of the lots in question. Mr. Salvagni confirmed
365 that 17 South Fagan Ave. is vacant. Mr. Salvagni believed that 17 is in a state of disrepair that
366 would not be accepted by the Town. Mr. Salvagni further confirmed that 25 is a vacant parcel
367 (no structures) as well. There is somebody living in 33 however the owner has shown interest to
368 sell the property to Matthew's Kia.

369 Ms. Robertson stated that while properties in this neighborhood may not be listed as historically
370 significant, this neighborhood is one of the few affordable areas left in Niskayuna. Ms. Gold
371 furthered this point by saying this is one of the few areas of Niskayuna where residents have
372 access to a bus line.

373 Mr. LaFlamme stated interest in examining the properties to get a better sense of their current
374 state and how much money it would take to get them livable. Ms. Robertson stated Niskayuna's
375 involvement with the Schenectady Land Bank which works to pair vacant homes with people
376 willing to restructure them to make them livable.

377 Chairman Walsh and Mr. McPartlon requested gathering a few Planning Board members to walk
378 through the S Fagan Ave area with representatives from the dealership to get a better sense of the
379 character of the neighborhood. Mr. McPartlon praised Mr. Salvagni for proactively informing
380 neighbors of the project, and inquired as to when the Town would send an official notice to those
381 residents.

382 Mr. McPartlon believed that the residents on Amherst Ave. would be more impacted by this
383 project than the lone remaining resident on S Fagan Ave. Mr. McPartlon believed many of the S
384 Fagan Ave residents would benefit from this project and being bought out by Matthew's Kia, as
385 they are relatively isolated from other residential areas as it is. Mr. McPartlon stated that living in
386 close proximity to commercial uses has been the reality for residents in that area for a long time,
387 and therefore would not drastically alter the character of the neighborhood.

388 One of Mr. McPartlon's questions regarding the project was the practicality of having the lot be
389 located on a side street instead of a more visible location on State St. Mr. McPartlon would also
390 like to see plans made to improve the reconditioning center on the other side of the street from
391 the existing dealership.

392 Mr. McPartlon brought up something previously stated by Mr. Salvagni, where he mentioned
393 having a tentative agreement with a place in Colonie that they currently store their vehicles. Mr.
394 McPartlon wondered if Matthew's Kia had explored formalizing that agreement as an alternative

395 to the plan in question tonight. Mr. McPartlon also mentioned the proposed storm water
396 detention vault and wondered when was the best time to confirm its viability, because he had
397 some concerns with it.

398 In response to Mr. McPartlon's questions, Mr. Salvagni said that if there were available space on
399 State St. it would be more appealing to him, however that space does not currently exist. Mr.
400 Salvagni also said that all Kia dealerships had to be up to Kia standards, meaning that the
401 reconditioning lot would certainly be upgraded in the future. Mr. Salvagni stated that the
402 previously mentioned storage location in Colonie is roughly a mile and a half away. The reason
403 that Matthew's Kia did not look into purchasing that property is it is too big for their needs and
404 would therefore be underutilized.

405 Mr. Khan asked if the dealership planned to keep the current building intact during their
406 upgrades to meet Kia standards, to which Mr. Salvagni confirmed they would.

407 Mr. LaFlamme asked how many cars could fit on the reconditioning lot across the street if the
408 building there were taken down. Mr. Salvagni did not have an exact number but estimated that it
409 would fit roughly 75 cars. Mr. Drescher followed this by asking if reconditioning had to be done
410 at a separate location or if it could be done in the main building. Mr. Salvagni said that for
411 multiple reasons it has to be separate.

412 Mr. Khan stated that while he is concerned with the potential loss of affordable housing, he feels
413 that as a Commercial-Highway zone this use is permitted. Mr. Khan then asked if the Kia
414 dealership needed upgrades, perhaps Kia may want to completely reconfigure the entire lot and
415 potentially move the main building. Mr. Salvagni said that while that was initially discussed, Kia
416 wants the building where it is, and even if they did want to move the building the grade is too
417 steep along the back end of the property to make that feasible.

418 Chairman Walsh asked if the project was at a stage where it was ready for a public hearing. Mr.
419 McPartlon said he would like to hear from the public as soon as possible. Chairman Walsh asked
420 if a public hearing could happen as soon as the next meeting, and Ms. Robertson stated her
421 department could prepare a public hearing for the next meeting.

422 Mr. Salvagni at this point presented the previously mentioned letter to Ms. Robertson to put in
423 the record.

424 Mr. LaFlamme reiterated his desire to go on a site visit with Mr. McPartlon before the public
425 hearing.

426 Mr. McPartlon asked about any preliminary sketches or plans for the underground storm water
427 retention basin. Mr. Salvagni said they are not yet at that stage of engineering, but asked if there
428 were any particular concerns or suggestions. Mr. McPartlon responded saying that his
429 understanding is that generally the retention basin is a secondary practice and there are also
430 maintenance issues/risks, including sediment build up and becoming a potential breeding ground
431 for insects.

432 Mr. Tony Stellato, engineer working with Mr. Salvagni, now approached the microphone. Mr.
433 Stellato stated that he has previously and often used underground retention vaults, typically in
434 conjunction with some sort of secondary treatment.

435 Chairman Walsh asked if the questions over storm water treatment would impact the public
436 hearing. The Board concluded that it would be appropriate to proceed as planned.

437 Mr. Khan and Mr. Salvagni confirmed that in order to build this parking lot there would be some
438 large trees that would need to be cut down.

439 Ms. Robertson restated her belief that this project would be a considerable change to the
440 neighborhood. Ms. Robertson detailed that out of the four houses existing on that portion of S
441 Fagan Ave, two would be taken down for this project. Ms. Robertson stated additionally that due
442 to demographic differences of this area, it may be less likely that residents of this area come in
443 the numbers seen earlier in the night from the Ruffner Rd. neighborhood but that wasn't
444 necessarily indicative of the impacts to their community. Ms. Robertson wanted to remind the
445 Board that even if there wasn't a lot of public comment, they need to look at both projects
446 through the same lens.

447 Mr. McPartlon disagreed that the character of the S Fagan Ave neighborhood could be compared
448 to the Ruffner Road neighborhood, firstly due to the zoning differences of the two areas. Mr.
449 McPartlon asked the Board to reserve judgment on the area until a site visit had been conducted.
450 Mr. McPartlon believed that moving the neighborhood slightly more commercial would not
451 significantly impact the character, as he believes the character is already highly commercial.

452 Ms. Gold stated she had recently driven through the area and believed on the contrary that it is
453 still highly residential. She was concerned that the Board would favor one type of neighborhood
454 over the other and stated how important this neighborhood was to Niskayuna.

455 Ms. Robertson reminded the Board that it is not their responsibility to analyze the financial
456 aspect of the homes in question, and although she welcomed the idea of a site visit, she cautioned
457 the Board against actually inspecting the homes. Ms. Robertson did say it would be appropriate
458 to walk through the outside of the properties in question, but only with the owner's permission.
459 Ms. Robertson emphasized that the inside condition of the homes should not impact the granting
460 of a special use permit.

461 Chairman Walsh asked Mr. Henry to work with Mr. Salvagni to establish a time for a site visit
462 and walk through.

463 Mr. McPartlon asked Mr. Salvagni to look at relocating the reconditioning center to use that lot
464 for parking instead. Chairman Walsh thanked the applicant for attending.

465 **3. 31 East St. – NE Underlayments – site plan app. requiring a use variance for a tenant**
466 **change under pre-existing nonconforming interior storage use in the R-R Zoning**
467 **District.**

468 Janet Konis, representative for the owner, was present virtually on the phone. Chairman Walsh
469 stated that the updates included a sketch of a floor plan. Ms. Robertson stated that the applicant

broke down the inside of the storage building into square footages so the Board could see where exactly the use was changing. From this, Mr. Henry wrote a denial based on the square footage of the conversion of dry storage to an office area and bathroom. Ms. Konis confirmed that paperwork had been sent in and would be ready for the February meeting. She stated that the addition of a bathroom would be of Town benefit, as there are currently people there on a regular basis who have to utilize bushes on the property in lieu of a bathroom. Chairman Walsh stressed that the intensity of the proposed use is most important from a Planning Board perspective.

Mr. LaFlamme volunteered to be project lead for this project. Chairman Walsh called for a recommendation to the Zoning Board for their next meeting and thanked the applicant.

4. 1760 Union St. – site plan app. for a tenant change to a dental office

Mr. Danny Sanders was present on behalf of the applicant. Mr. Sanders described that the project is a proposal to renovate the Ortho New York and Coldwell Banker space into a pediatric dentistry. With this action and a change of building ownership, Ortho New York and Coldwell Banker would no longer utilize that space. The other tenants in the building will continue to retain their space. The dentistry will encompass 9420 sq. feet of the building, and once moved in the building will once again be fully occupied.

Mr. Sanders recognized the code requirement for additional parking spaces, stating that the parking need will be 70 spaces with the current parking lot only having 62.

Mr. Sanders said the plan within the next couple months when the tenants have fully vacated is for an interior demolition and then proceeding with construction.

Ms. Robertson inquired about potentially extending the pavement towards the property line to fit the additional spaces, to which Mr. Sanders stated that was a possibility. Ms. Robertson stated that the applicants did not have to actually build the spaces, just show that they could fit within property lines as banked green space.

Mr. Sanders asked if they could potentially get credit for a waiver by adding on street parking, however Ms. Robertson informed him that the code didn't work that way. Ms. Strang expressed concern that even more space may potentially be needed for parking. Mr. Sanders stated that in order to get a proper feel of the exact parking needs he would need to confer with the other tenant in the building, but he believed the existing parking was adequate.

Chairman Walsh asked to the timetable of the project, to which Mr. Sanders said during the next four weeks they will be preparing construction documents.

Chairman Walsh stated that in order to make a recommendation at the next meeting the applicant would need to have all parking plans and information in by that time. Another member of the applicant team stepped forward to say that the building owner does have data compiled already based on a 12,000 square foot building he owns in Queensbury which has roughly the same needs as this current building.

Chairman Walsh confirmed that, outside of the parking concerns, the rest of the application looks good for approval.

508 The applicant stated in response to Mr. D'Arpino's question that the only activity currently
509 happening in the building is the removal of ceiling tiles, which they have been permitted to do,
510 as well as tenants vacating the building.

511 Mr. D'Arpino volunteered to be project lead. Chairman Walsh summarized the parking data that
512 needed to be brought back to the next Planning Board meeting and thanked the applicant for their
513 patience with the long meeting.

514 **IX. REPORT**

515 No reports tonight.

516 **X. COMMISSION BUSINESS**

517 No commission business tonight.

518 **XI. ADJOURNMENT**

519 Chairman Walsh asked for a motion to adjourn. Mr. Khan made a motion to adjourn and it was
520 seconded by Mr. D'Arpino. The meeting was adjourned at approximately 10:58PM.

Laura Robertson

From: Jennifer Regan <jmaregan@gmail.com> on behalf of Jennifer Regan
Sent: Monday, January 23, 2023 10:07 PM
To: Laura Robertson
Subject: [EXTERNAL] Re: [EXTERNAL] Mohawk Golf Club Application for Site Plan Approval / Ruffner Road Impacts

Thanks very much Laura for confirming. Thanks also for your thoughtful questions and comments during tonight's meeting.

I realized something after the open forum wrapped up. Bill and David said that more homeowners would be impacted if the entrance was built on East/South Country Club Drive. I love the Country Club neighborhood and walk my dogs there often.

While there is traffic cutting through one portion of that neighborhood, it's only one street and the rest of the neighborhood is set further back.

I don't think they understand that our neighborhood is much bigger if you consider all of the surrounding streets that hang off of Ruffner, Lynwood, Rosehill, Rowe, Whamer, Hilltop, etc. They are all cut-through streets to Van Antwerp, Nott, Rosendale, River Rd, etc.

Please know that I'm not trying to invoke NIMBY and inflict more traffic onto another neighborhood. I'm actually opposed to the development, especially after learning that the club is doing so well financially.

If the development proceeds, then I think it's important to accurately size the impact to all neighborhoods and the Ruffner neighborhood extends beyond Ruffner in several directions. I got the sense that the real reason they don't like the Country Club side is because it would impact their property a bit.

Thanks for your diligence and consideration.

Best,

Jennifer

Jennifer Regan
(510) 910-6538

Sent from my iPhone

On Jan 23, 2023, at 5:22 PM, Laura Robertson <LRobertson@niskayuna.org> wrote:

Hi Jennifer,

Thank you for these comments. I will share them with the Planning Board and Town Board as well as add them to the record, thanks!

Laura

Laura Robertson, AICP

Town Planner
(518) 386 -4530

Town of Niskayuna
1 Niskayuna Circle
Niskayuna, NY 12309

lrobertson@niskayuna.org

From: Jennifer Regan [mailto:jmaregan@gmail.com]

Sent: Monday, January 23, 2023 2:59 PM

To: Laura Robertson

Subject: [EXTERNAL] Mohawk Golf Club Application for Site Plan Approval / Ruffner Road Impacts

Dear Ms. Robertson,

Please confirm receipt of the attached letter for the Town's Planning Board.

Thanks very much,

Jennifer Regan
1357 Ruffner Road
Niskayuna, NY 12309
(510) 910-6538

Laura Robertson

From: Heather Schechter <heatherschechter@gmail.com> on behalf of Heather Schechter
Sent: Tuesday, January 24, 2023 10:10 AM
To: Laura Robertson
Subject: [EXTERNAL] Comments for last night's town board planning meeting

Laura,

I am writing to express my opposition to adding an entrance to a new development on Ruffner Road. I live on Rosehill Boulevard, and it is already difficult to cross the street because cars speed between Ruffner and Lynwood without any stop signs or crosswalks to help pedestrians cross the street. Yet many pedestrians choose to walk on Rosehill, which is at the heart of a developed residential neighborhood. I would ask the developers to instead consider an access option from Union Street, which is already a mix of residential and commercial development.

Thank you for your consideration!

Heather Schechter

Cynde E Schwartz
1363 Ruffner Court
Niskayuna, NY 12309

January 22, 2023

*RE: Proposal to open-up the paper road between 1245 and 1241 Ruffner Road as **the main entrance for a 22-lot Average Density Development subdivision** consisting of 10 single-family detached homes and 12 townhouses on what is currently located on Mohawk Golf Club property.*

To the Niskayuna Town Planning Board,

Having been a resident of Niskayuna for over 30 years, I have followed the decisions of the planning board with interest. In general, I have respected the decisions because it was apparent that most decisions served the greater good, even when they were controversial. The current proposal for Ruffner Road, however, offers no concern for the greater good of this neighborhood. In fact, it promises to affect the character of the neighborhood and increase traffic problems already occurring.

Ruffner Road currently suffers from a combination of speeding traffic, service trucks creating a one-lane road and lots of adults and kids walking their dogs, riding their bikes, running, skateboarding, and waiting at bus stops. We have lived on Ruffner Court long enough to see the difference in the traffic before and after Whamer Lane (a paper road) was opened to connect Ruffner Road to Rowe Road. This decision quickly increased traffic as Whamer became a major cut through for many residents beyond the boundaries of the Ruffner Road neighborhood. In addition, from early spring until late fall, there are always numerous service trucks parked on the street requiring drivers to stop and negotiate just getting around them. Last summer the speeding cars were such a problem it prompted neighbors to print and post signs asking people to slow down.

I believe that the Ruffner Road neighborhood has already paid its dues by tolerating the increased traffic from the Whamer Lane connection and it cannot safely accommodate more. A conservative estimate would be 80 more cars from the development. That is 2 cars per home with an expected one entrance and exit daily. A rotary will not slow down traffic. STOP signs have not slowed down traffic. Most of the road is straight and when not crowded by service trucks, it invites acceleration.

Now, I turn my attention to the specifics of the proposal to create a prestigious boulevard entrance on Ruffner Road by knocking down a home and creating a roundabout. Something is very wrong here. Why should an established neighborhood be forced to have its character changed to accommodate such a request?

It appears that the developer is placing the burden of creating a prestigious entrance to the development on the Ruffner Road neighborhood rather than solving his challenges using parts of his own 120-acre property. This parcel of land borders more appropriate access points on both Union Street and Balltown Road. Why not put this entrance on one of those roads?

Neighbors surrounding the paper road in question knew it might be opened some day. But, to have that paper road expanded into a boulevard ending in a rotary will change the whole character of Ruffner Road. Nearby neighbors will have their homes flooded with lights from all the cars using the roundabout and that is not what one expects when a paper road is developed.

If there is no way to stop opening the paper road in question, it should be one of a few paper roads that open to other streets to reduce the traffic generated by the development. And it should be a modest road like the Whamer Lane extension, not a huge Boulevard with who knows what signage and lighting. And it should not include a rotary.

There are other concerns. Since the Mohawk Golf Club is a private club, I wonder if this entrance will be gated or posted as a private road. Will this development continue to add homes and townhouses over time?

In Summary, this is a plan that promises to threaten the character of our neighborhood. It also makes an already residential road traffic problem worse. The negative impact cannot be ignored to accommodate a developer's desire to build a new neighborhood with the least amount of disruption to his 120-acre parcel.

I ask our Town Planning Board to deny this development proposal. The developer should be encouraged to find more appropriate locations for the entrances to the development. And a new place should be identified for the prestigious main entrance to what may one day become a huge development.

Sincerely

A handwritten signature in cursive script that reads "Cynde Schwartz". The signature is written in dark ink and is positioned above the printed name.

Cynde Schwartz

Sean Moran & Jennifer Regan
1357 Ruffner Road
Niskayuna, NY 12309
Scmoran25@gmail.com and jmaregan@gmail.com

January 23, 2023

Niskayuna Planning Board
One Niskayuna Circle
Niskayuna, NY 12309

Re: Mohawk Golf Club Application for Site Plan Approval/Ruffner Road Impacts

Dear Members of the Planning Board,

My family and I have lived on Ruffner Road for more than 14 years and chose this neighborhood because of its character. We were appalled to read about the Mohawk Golf Club's proposal to destroy a section of Ruffner and develop adjacent high-density housing.

While we enjoy the charming houses and tree-lined streets of our neighborhood, we don't enjoy the heavy traffic, lack of sidewalks and very limited street lighting. Over the years that we've lived here, it's become more dangerous to ride our bikes and walk our dogs, especially during peak commute periods and in the evening. There are several blind spot areas due to curved roads and heavy landscaping at certain intersections. Drivers frequently speed and roll through stop signs. The proposed development plan would increase traffic significantly, posing even greater safety concerns.

In addition to the safety concerns, we want to underscore the sewer and water main capacity concerns that you've noted. Unfortunately, we're all too familiar with backups from the Town's line. In 2014, our lower level was inundated with raw sewage due to a backup from the Town's line. Our homeowners' insurance rejected our claim since the sewage stemmed from the Town's line, yet the Town was held harmless. We don't want to see anyone else have to deal with the year-long process and financial burden. With this personal history in mind, we have grave concerns about adding nearly two dozen additional homes to the existing system.

Lastly, the proposed demolition of the existing home at 1245 Ruffner Rd is a significant alteration to the character of our street and neighborhood. To follow that up with the installation of an access road with a roundabout would unquestionably be a detriment to the safety, character, and quality of life for us and our neighbors. Development of one property should not be to the detriment of the property of others.

Thank you for your time and consideration.

Sincerely,

Sean Moran
(518-577-0780)

Jennifer Regan
(510-910-6538)

Laura Robertson

From: Schweitzer, Aiden C. <Aiden.Schweitzer@va.gov> on behalf of Schweitzer, Aiden C.
Sent: Monday, January 23, 2023 1:35 PM
To: lrobertson@niskayuna.org
Cc: Schweitzer, Aiden C.
Subject: [EXTERNAL] 1851 Union St-1245 Ruffner Rd-Mohawk Golf Club

Follow Up Flag: Follow up
Flag Status: Flagged





Aiden C. Schweitzer
1277 Ruffner Road
Niskayuna, N.Y. 12309

Dear Members of the Niskayuna Planning Board:

My family resides at 1277 Ruffner Rd. and would like to add our names to the many residents of Ruffner Rd, as those in opposition to the proposed building project on the grounds of the Mohawk Golf Club. Since the beginning phases of this project I have felt that a great deal of deception has been indicated by those involved with this project and representatives from the club to the residents of Ruffner Rd. This is a project intended to benefit the entire surrounding community however, every aspect of every rendering has called for major disruption to the residents with very careful thought as to not disrupt any aspect of the Mohawk Golf Club itself. The course and/or its representatives have been asked numerous time to go back to the drawing board to come up with alternative plans based on these concerns from the residents and every time they return with a new rendering it is to once again cause a great disturbance to the residents of Ruffner Rd.

There are many alternative renderings we've been shown in slides highlighted in RED that "will not work" when clearly they either call for a great deal of disturbance to the existing course layout or the thru traffic from attached streets and neighborhoods would call for this traffic to flow straight thru their existing plans for their new construction homes. Please take that into consideration for a moment as to why the course, in this new rendering, is suggesting this as not an ideal solution as it clearly would affect their new community. That is their real concern, which is exactly the reason for opposition from so many Ruffner Rd. residents. Two of their renderings in RED would tie together the communities along Rowe Rd. to the north, and the North, East, South Country Club Drives to the south. The reason these renderings are not ideal in the eyes of the club is clearly due to the flow of increased traffic to the proposed new community. The only rendering they currently have as the option they are wanting to pursue consists of now wanting to construct a traffic circle (roundabout) in the middle of Ruffner Rd. just prior to and after an intersection with a stop sign.

It is very clear to the residents of Ruffner Rd. why the club has tried and tried again to pursue Ruffner Rd. as their point of entry to this new community. It is because the property at 1245 Ruffner Rd. was purchased by the club with the full intent all along to destroy the home and use it as the entry point to the proposed building project which in turn would fully disrupt Ruffner Rd. and all of its residents. I personally feel that this was a knowingly deceiving move by the club's owner since the home was "purchased" under the club's general manager's name and not the club owner themselves. The general manager also happens to be the owner's son-in-law who does not reside full-time at this address on Ruffner Rd., so the intention of the purchase of this property is clear to the full-time residents.

As stated previously in past town meetings, this is a very dangerous precedent to begin to set and let the very high taxpaying residents know is allowed to happen if the purchase of this property is allowed for the sole purpose of destruction just so a road can be built leading to a new construction project. A move such as this will not only decrease the value of the homes it directly affects but also would be a huge burden on the already existing concerns such as increase in traffic, overloading of school populations (Rosendale & Iroquois) strain on shared utilities, and impact to the wildlife and wetlands just to name a few.

There are 2 suggestions I would like to put out there to the club if it is looking for ways to generate revenue after its purchase a few years back. The first is to consider the option of going to a semi-private format allowing members from the general public and surrounding communities to schedule tee times and pay for outings while also maintaining their membership clientele, which could still be given preferential access to all the facilities. The main argument however, against making the move to go to a semi-private club is typically the existing members concerns for increase in course usage and wait times. I can understand them fearing the potential for existing members to leave but much like is being asked currently of the Ruffner Rd. residents and their increase in traffic and usage, please consider the option. I'm sure the town would not want existing residents of Ruffner Rd. to sell their homes much like the course would not want to lose members. The second suggestion would go along with the approval of any building for the sale of new homes and consists of the maps I have labeled above in this email. Much like in the current rendering of the club's intention to utilize the existing paved cart path and extend the width in areas to a 20' minimum for an access road connecting to Rowe Rd., please consider the land and access the club already owns from the entrance to the main parking lot off Union St. There is already an existing paved cart path that runs parallel to N. Country Club Rd. lined by trees and a fence line. This path turns right along the 11th hole and parallel to E. Country Club Rd. also lined by trees and a fence line all on the existing property of Mohawk Golf Club and into the wooded area where the proposed project is to take place. Making this a private road to just the residents of any new construction on the club's property would no longer call for the destruction of an existing home on Ruffner Rd., construction of a new traffic circle, access roads to Rowe Rd., which would have to be maintained by plows and salt trucks in winter weather like today, and a general increase in thru traffic to any affected communities surrounding the club. Any potential residents of these homes would have access to Union St. by way of a Private Rd. which would negate the reason to connect to any existing surrounding neighborhood streets. As a resident of Ruffner Rd. I can personally tell you it is already used as a thru road by more than just the 60 homes listed in their rendering. As you can see in one of their RED renderings, there are an additional 174 homes in the Rowe Rd. area that already use Ruffner Rd. as a means to get south to Rosendale or out to Rt7/Union St.

I want to take the time to just ask that our town's planning board members consider its own residents first and the potential impact this would have on all of our surrounding communities. This project has many aspects that have

seemed disingenuous all while wanting the surrounding residents to make major sacrifices along the way. At no point do they ever consider use of their existing land and the disruption of the current course layout. This is currently not a project that benefits any town residents besides those that would potentially purchase these new homes and the Mohawk Golf Club itself, all while the residents will have to manage with the major changes that took place on their streets in order for it to happen.

Thank you for your time and thoughtful consideration this evening.

Aiden C. Schweitzer

Aiden C. Schweitzer

Laura Robertson

From: Thomas, Becky H (DEC) <becky.thomas@dec.ny.gov> on behalf of Thomas, Becky H (DEC)
Sent: Monday, January 23, 2023 3:54 PM
To: Laura Robertson
Subject: [EXTERNAL] Mohawk Golf Club Application for Sketch Plan Approval for development off of Ruffner Road

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Members of the Planning Board,

My name is Becky Thomas and I live at 1265 Ruffner Road.
I grew up in Niskayuna and left here to go to school at RPI.
I returned here from Boston with my husband, Mark, to have and raise our three children.

Ruffner Road has always been known as one of the nicest places to live in Niskayuna because of its well-established, large lot, single-family homes bordered by woods and wetlands full of diverse wildlife.

We bought our house on Ruffner Road because of the beautiful woods and privacy behind us. We enjoy watching peregrine falcons, red-bellied, pileated, and downy woodpeckers, hoot owls, foxes, turkey, deer, woodchucks, and so many different kinds of birds on our property and in the woods.

I am writing you to oppose the Mohawk Golf Club application for Sketch plan approval for the development off of Ruffner Road.

The Mohawk Club has many other acres of property that they can develop without the destruction of these beautiful woods, wetlands, and natural habitat and displacement of all the diverse wildlife by the destruction of their environment.

The Mohawk Club already has three existing entrances and exits and roads. A house shouldn't be torn down and additional roads shouldn't be built.

The traffic on Ruffner Road has already become dangerous and a safety concern and should not be increased. The town should be considering how to reduce the traffic and increase safety.

In addition, there are many power outages here and water, drainage, and sewage concerns. The destruction of these woods, green spaces, and natural habitat and replacement with buildings, roads, and parking spaces that are impermeable will increase all these problems and make it much worse.

The hundreds of residents that my husband and I have spoken to are opposed to this development. It is extremely detrimental to the town and its residents. There is no benefit AT ALL. Thank you.

Becky Thomas

Becky Thomas

Program Manager, Hudson River Estuary Program/NEIWPCC

New York State Department of Environmental Conservation
625 Broadway, Albany, NY 12233-3506

P: (518) 402-8218 | F: (518) 402-9029 | becky.thomas@dec.ny.gov

www.dec.ny.gov |  |  



Laura Robertson

From: Becky Thomas <beckythomas29@yahoo.com> on behalf of Becky Thomas
Sent: Monday, January 23, 2023 2:31 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] For the planning board concerning the Mohawk Club application for sketch plan approval on Ruffner Road

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Members of the Planning Board,

My name is Becky Thomas.

I grew up in Niskayuna and returned here from Boston with my husband, Mark to raise our family.

Ruffner Road was always considered one of the nicest places to live in Niskayuna with lovely established homes bordered by beautiful woods, full of diverse wildlife and wetlands.

My husband and I bought our home on 1265 Ruffner Road because of the beautiful woods and privacy behind us. We have enjoyed watching peregrine, falcons, downy, red-bellied, and pilated woodpeckers, foxes, turkeys, deer, rabbits, woodchucks, and so many different kinds of birds on our property and in the woods.

I am writing you to oppose the approval of the site plan application to destroy these woods and wetlands and displace all the wildlife by the destruction of their natural habitat.

The Mohawk Club has many other acres of land that they can develop on without destroying these woods and displacing this wildlife and habitat and destroying this beautiful environment.

The Mohawk Club already has three existing entrances and exits. These should be used and No more roads should be added. No house should be torn down.

The traffic on Ruffner Road is already a severe safety issue and should not be increased. The town should be making efforts to decrease traffic and make it safer, not increase it.

In addition, there have been many power outages here and water, drainage, and sewage problems. The destruction of these woods and habitat would make this even worse. Hundreds of residents that my husband and I have talked to are opposed to this development because of the issues expressed above. It is not beneficial to the town and its residents. It is extremely detrimental.

Thank you.

Becky Thomas

Benjamin and Melanie Romer
1250 Ruffner Road
Niskayuna, NY 12309

January 23, 2023
Niskayuna Planning Board
One Niskayuna Circle
Niskayuna, NY 12309

Re: Mohawk Golf Club Application for Site Plan Approval/Ruffner Road Impacts

Dear Members of the Planning Board:

My name is Benjamin Romer, and I am a lifelong Niskayuna resident, a Union College graduate, a Niskayuna Lacrosse Coach, a realtor, and a real estate investor. I also live on Ruffner Road, directly across from the proposed development that we are here to discuss tonight. I come not only as a resident of this great town but as a real estate professional, a father to an 8-month-old, and a Mohawk Club Member, one who was blindsided by this development concept when it was introduced in October of 2021. I'm even more concerned as plans have developed to what we see in the latest iteration. At that October meeting, I, like many others, was shocked to find that the developer plans to demolish the house across from my own, build a new road off Ruffner Rd leading into the woods that buffers our neighborhood from the Club grounds, tear down the woods and develop a new neighborhood.

I support progress and I am for thoughtful and necessary investment and development in our communities. However, when that development comes at the expense of people's quality of life at home, including my own and my family's, I cannot condone nor support such efforts.

The residents of Ruffner Road and connected streets, my neighbors and I, are up against a proposal that will ruin the fabric of our neighborhood, will increase traffic, reduce safety, and in no way will benefit any of the lives of the existing homeowners affected. Some families have lived here for over 30 years in the same house, and although my wife and I bought our house in 2019, we have developed strong relationships with our neighbors and a clear understanding of what an amazing neighborhood this is. We support one another, we look out for each other, and we have chosen to remain here because we love this town and the experience it affords our families.

When that same experience is threatened, and a proposal is issued without any alternative solutions but to demolish a home, impede on an existing road in an established neighborhood and tie it all together with a roundabout, something needs to be done. Mind you, that roundabout would be at the end of my driveway. Personally, I have never seen or heard of a roundabout in a residential neighborhood. As a real estate professional, I can tell you, with certainty, my home value would be negatively impacted and any buyer pool extremely limited due to the many safety, logistical and aesthetic impacts the roundabout would have on my property. Furthermore, when backing out of my driveway, I would have to navigate the curvature of a four-way intersection, oncoming traffic that may or may not yield, and I won't even try to explain the difficulty of backing my boat trailer up. As a visual exercise, I would like everyone here to imagine that you had a roundabout at the end of your driveway and whether that would benefit your current living situation and if increased traffic would be good for your home in any way. Any traffic

Benjamin and Melanie Romer
1250 Ruffner Road
Niskayuna, NY 12309

increase to an already busy road will negatively impact buyer tendencies when considering to buy in this neighborhood, roundabout or not.

Roundabouts help with the flow of traffic and alleviate congestion. We see them at busy intersections on State or County Roads. A great example we all know is the Rexford bridge, which worked tremendously. The old stop light causing traffic to back up to River Road at rush hour is now far less. It still backs up but certainly moves faster. But, we do not have a congestion issue on Ruffner; we have a speed issue caused by heavy pass-through traffic, and our stop signs are overlooked. While the roundabout may slow traffic slightly, cars will continue to move swiftly along, run stop signs, and would need to be aware of the newly created road and increased traffic count brought on by the residents coming from the Mohawk development. This proposal creates so many more safety concerns than it alleviates. Because, despite the demonstrated positive benefits of roundabouts, crashes still occur, and it's most often due to speed or drivers unaware of the yielding principles of roundabouts; couple this with our winter condition driving and icy roads, and this roundabout becomes a more probable crash site. Drivers passing through will continue to ignore stop signs. Those already speeding in a residential neighborhood will do so through the roundabout, causing major safety concerns for the houses surrounding this roadway feature, the pedestrians who often walk and ride bikes along Ruffner, the cars entering and exiting the roundabout, and my family sharing common egress.

Outside of traffic issues this development causes, there is already a significant concern for the current infrastructure, as some of my neighbors will mention. The Town of Niskayuna maintains a 6-inch water main on Ruffner, in the High-Pressure Zone, and this line likely cannot handle additional capacity. The sewer line is near or at capacity and drainage issues exist for many houses along Ruffner. From an environmental standpoint, there will be a significant impact on the wildlife and potential wetlands in the woods to be demolished.

The town's neighborhoods are its greatest asset and should be protected at all costs. Poor design that does not contribute, but impacts the visual appeal, financial value, safety, and overall quality of life of these homes and neighborhoods, should be vehemently opposed. Consideration should be given to developers that understand the true impact of their projects and are forward-thinking enough to engineer plans that utilize ingress and egress through the parcels they own and have a right to develop, but not at the expense of established neighborhoods and standing homes within a very close-knit community that have been there for decades. I implore the planning board to take my message and the messages of my friends and neighbors in opposition to this development into consideration and understand the significant and detrimental impact a project like this can have on many facets of our lives.

Thank you for your time and consideration.

Benjamin Romer

Laura Robertson

From: Carol Furman <cfurm13@gmail.com> on behalf of Carol Furman
Sent: Monday, January 23, 2023 1:04 PM
To: lrobertson@niskayuna.org
Cc: Furman Carol and Dave
Subject: [EXTERNAL] Town Planning Board statement 1/22/2023
Attachments: Blank.pdf; Untitled attachment 02890.txt

Follow Up Flag: Follow up
Flag Status: Flagged

Laura Robertson

From: cdh49@juno.com
Sent: Sunday, January 22, 2023 8:23 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Re: 1851 Union St / 1245 Ruffner Road – Mohawk Golf Club

Follow Up Flag: Follow up
Flag Status: Flagged

Dear Ms. Robertson:

I am writing to you, in advance, the comments I shall make at the Planning Board and Zoning Commission meeting scheduled on Jan. 23, 2023.

At an earlier meeting, I spoke against this project because it essentially negatively changes the character of Ruffner Road, where my family has lived for almost 34 years. At that meeting I was the only resident of Ruffner Road to speak, and I note that the Project Leaders made the point that opposition seemed minimal as only one person spoke. I hope that you are able to see that the number of Niskayuna residents opposing this project is quite substantial, and growing. It is obvious to me that opposition is not minimal, it is the support for the project that is minimal. In attending every meeting since, I hear and see more and more of my neighbors in attendance and speaking. I have not heard one resident of Ruffner Road, nor one resident of Niskayuna, nor one business owner, and not one representative of the School Board get up and speak in favor of this project. I hope you and the other Board members understand that this is an extremely unpopular project with the residents of Niskayuna. There are a hundred different reasons why we do not want the project, but it all boils down to this: It will ruin our neighborhood!!

In the packet I see a lot of attention about where the road should be, how many unique houses are impacted, etc. To me, this is not the point. As I said when I spoke at an earlier meeting, if they want to build townhouses, they should build them by the entrance to the golf course. But you know as well as I, they don't they want the character of the golf course ruined either.

One last point. As I read the Agenda Statement for tonight, I do not see any mention of people like myself who spoke during the Privilege Of The Floor section. As our comments were an official part of the meetings, I think a brief summary of comments should be included in the Agenda Statement.

Sincerely,

Charles D. Horowitz
1223 Ruffner Road

Laura Robertson

From: George Young <young.geo.a@gmail.com> on behalf of George Young
Sent: Monday, January 23, 2023 2:19 PM
To: Laura Robertson
Subject: [EXTERNAL] Letter for 23 January 2023 meeting

Follow Up Flag: Follow up
Flag Status: Flagged

Laura,

This email is to document my strong opposition to the proposed development by the Mohawk Golf Club. Specifically, I would like the Town Planning Board to deny any request for new access into the Mohawk club property. Demolishing a home to create a new road is hurtful to the residents of the neighborhood and should not be allowed. Thank you,

George Young
1241 Ruffner Road

Sent from my iPhone

Laura Robertson

From: johanna horowitz <johanna.horowitz@gmail.com> on behalf of johanna horowitz
Sent: Monday, January 23, 2023 3:21 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL]

Follow Up Flag: Follow up
Flag Status: Flagged

My name is Johanna Horowitz and we live at 1223 Ruffner Road. We moved to this house in 1989.

As many others here did, we chose Niskayuna for the schools and Rosendale for its stability and character. As is also true for many, we made the leap at great financial sacrifice. But we had done our research! The zoning was in place, and Niskayuna had successfully managed to maintain the quality of its neighborhoods – in Rosendale and others – for decades. We trusted the town. There were concerns over the years about development, mostly having to do with dwindling green space and increasing traffic. We have traffic jams now, and a rush hour, and it is clear that town decisions often have an adverse impact, and are irreversible. We are, for example, stuck with the traffic, and the lesson we have learned is that development changes can cause irreversible harm.

Which makes this project incomprehensible. Rosendale Estates has maintained its character for over 70 years. Lots are large, and every house is unique; building styles have changed and Rosendale has grown, but the Town has done its job in ensuring that the essential character of the community is preserved.

What is being proposed by the Mohawk Golf Course is the direct opposite: identical duplexes crowded one on top of the other. It is a misfit, it is unsightly, it is large, and it will change our neighborhood permanently. Why would they want to build this in this location? Oh, right – they will make money, and they located it where *they* don't have to look at it. And to do this, Mohawk is looking to you for variances.

Zoning laws matter and rules matter, and there are also rules for issuing variances. Fifteen years ago, we applied for a variance to change our garage, and a part of that application involved agreement by the neighbors. This is not what we have here! No resident of Rosendale supports this project. As more community members are finding out about this, opposition and anger is growing. Every meeting of the Planning Board brings larger numbers of residents expressing opposition. And here we are, on a snowy school night, voting with our feet.

There are so many problems with this proposal that it is difficult to know where to even begin; I agree with objections raised about traffic, water runoff, school crowding, wildlife, the utterly misguided roundabout, and much, much more. But I call on you to justify the trust the residents of this town and this neighborhood have placed in you. Put this thing out of its misery now.

Laura Robertson

From: kevin holmes <kholmes9301973@gmail.com> on behalf of kevin holmes
Sent: Monday, January 23, 2023 3:57 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Ruffner circle

Follow Up Flag: Follow up
Flag Status: Flagged

Evening,

I was told to reach out to you by Melanie Romer.

I grew up on Ruffner Rd. My parents live at 1301 right next to the 14 tee box.

I have been with the fire department (NFD1) for 28 years. I drive the ladder truck. Looking at the measurements they have is ridiculous. Only a 10' center circle. Also islands leading to the circle. I see a big problem getting that big fire truck in there. We have a big problem already with the entrance to the Ledges on Aqueduct Rd getting in with a boulevard style entrance and island light poles.

Anyone ask the town highway about it? That will be a nightmare to plow. They can't even manage straight roads and corners as it is.

As for the extra access off Rowe Rd and South County Club. The country club one makes sense. The Rowe Rd one would be going right through their 14th tee/fairway and running right behind the houses flanking the 13th fairway. If they move the tee then that probably means they will build a house there.

If they have to do anything a simple road is the easiest and less obtrusive visually in my eyes. I live on Berkley Ave off Hedgewood Ln.

Hope this information helps you and our cause. I have been posting all over Facebook about this.

Kevin Holmes.

Sent from my iPhone

Date: January 22, 2023

To: Laura Robertson, Town Planner
Town of Niskayuna
lrobertson@niskay.org

From: Lou D'Ambrosi
1184 Hedgewood Lane

Subject: Current Planned Mohawk Club Major Subdivision

Regarding the purposed subdivision of 14 acres of the Golf Club Property. We ask that the Planning Board consider the following in their review:

1. What is the long range plan if any for the Golf Club Property? And future development?
2. How will the following existing infrastructures be affected;
Schools
Water System
Sewer System

Since this is not a hardship issue I ask that less destructive entrances be considered than shown on plans submitted.

Laura Robertson

From: mike mason <hobo617@live.com> on behalf of mike mason
Sent: Sunday, January 22, 2023 10:02 PM
To: lrobertson@niskayuna.org
Subject: [EXTERNAL] Proposed Development off of Ruffner Rd.

Follow Up Flag: Follow up
Flag Status: Flagged

Members of the Town Board of Niskayuna;

I live at 2144 Mountain View Ave, located approximately 200 feet to the east of Ruffner Rd. My lot abuts properties on Ruffner Rd. and receives storm water runoff from three of them (1206, 1218 and 1230). I must manage this runoff by regularly maintaining a ditch on the west side of my property. Due to climate change, I installed a sump pump in 2022 to take care of additional storm water. My neighbors also deal with these water problems.

I've examined your proposal and conclude that the water problems I share with my neighbors will only be aggravated. There are no provisions for storm water management other than a drainage easement that was originally used for the water tower. This management would be inadequate at best, as it would direct runoff onto properties on the west side of Ruffner Rd. and ultimately impact me.

As an engineer who reviewed plans for over thirty years, I am amazed at the lack of clarity and detail, and basic mistakes in the plan provided by the developer. This indicates to me that water runoff problems will worsen in my neighborhood.

Sincerely,
Mike Mason

Shoshanah and Bernard Bewlay
1119 Ruffner Road
Niskayuna, NY 12309

January 23, 2023

Niskayuna Planning Board
One Niskayuna Circle
Niskayuna, NY 12309

Re: *Mohawk Golf Club Application for Site Plan Approval/Ruffner Road Impacts*

Dear Members of the Planning Board:

My family and I have lived on Ruffner Road for more than 10 years and we write to you to make you aware that we, and nearly all of the residents on Ruffner, oppose the proposed project to build a high-density single- and multi-family housing development on a wooded, wetland area of the Mohawk Club Golf Course (the "Club"), adjacent to Ruffner Road. Of special significance, we draw your attention to an unnecessary plan to knock down an existing home on Ruffner to make way for a new road into the development, notwithstanding the many roads into and within the property that *already exist and could adequately serve* any new structures on the property.

Before you make your decision whether to approve this plan, which decision must be based on your required, statutory "hard look" at all of the possible impacts (environmental, traffic, health and safety, and etc.), ***we urge you to require that the Club commission independent traffic and environmental studies from reputable, objective experts and engineers who have no previous connection with the Club.*** The Club – based on unbiased, financially neutral, independent expert reports – *must convince you*, after the required "hard look," of two things:

- First, that the development is even possible without forbidden harm to the environment (including both wetlands impact and impact to protected, threatened and endangered species), community norms, essential neighborhood character, and health and safety.
- Second, that, should the development itself prove to be possible after the necessary hard look at the impacts listed above, there is no less harmful way to access Club property, and its new development, than by destroying an existing home to cause – on its neighbors' properties rather than its own – significant increases in traffic, impermeable surfaces, water runoff and flood risks, drainage and water containment requirements, construction disturbance, permanent visual destruction, and road safety concerns.

The negative impacts that will necessarily result to our community if this development is approved are easy to understand. As many others have written and testified, such a development will absolutely change the essential character of our street and neighborhood, which historically has been a quiet road of well-maintained, widely-spaced, unique single-family dwellings. Moreover, if approved, the drastic increase in the use of Ruffner Road as an ingress and egress point will create massive, ***unnecessary***, safety concerns for pedestrians and motorists who use the road already.

Thank you for your attention to this important matter. Please do not hesitate to contact me if I may provide any further information for your review or consideration.

Very truly yours,


Shoshanah Bewlay

Laura Robertson

From: Suzanne Mason <suzy726@gmail.com> on behalf of Suzanne Mason
Sent: Sunday, January 22, 2023 5:13 PM
To: Suzanne Mason; lrobertson@niskayuna.org
Subject: [EXTERNAL] Proposed Development off Ruffner Rd.

Follow Up Flag: Follow up
Flag Status: Flagged

Members of the Town Board of Niskayuna,

My name is Suzanne Mason. My husband and I bought our house at 2144 Mountain View Ave. in 1981, where we raised our family. The 1955 era house needed work, but we liked the double lot running in back of 1218 and 1230 Ruffner, the mature trees in the neighborhood, and the green space on the golf course, where numerous forms of wildlife flourished. (Besides foxes, raccoons and deer, this space shelters owls, hawks, turkeys and lots of songbirds.) These features contribute heavily to the desirability of a neighborhood and increase the quality of life of its residents. Low density neighborhoods, such as ours are where parents want to raise their kids.

In the forty years we've lived here, we've seen green space in the town of Niskayuna diminish. Farmland along River Rd., hills along the Lisha Kill and wild areas off of Hillside Ave. are peppered with developments that have disrupted the lives of native species. The result of this development is a decline in the amount of wildlife, (except mice) and an increase in traffic cutting through low density, residential neighborhoods.

As members of the Town Board, you are entrusted with the job of making decisions that will maintain and/or increase the quality of life of Niskayuna's residents. Decreasing green space will only diminish the quality that we still enjoy and lower the desirability of our neighborhood. If the Mohawk Golf Club isn't working out financially, maybe it should be run as a public golf course. Surely saving green space is more important than a developer's dream to cash in on unprofitable property.

Sincerely,
Suzanne Mason

Sent from my iPad

Ruffner Road Neighborhood Objections to Mohawk Golf Club Residential Development

We the following residents write to object strongly to the Mohawk Golf Course's proposed use of the 15 Acres for residential units and the egress of those units onto Ruffner Road. Some of us are directly adjacent, others across the street. Either way, we all are neighbors and will bear the burden of the safety hazards this will create and the change to the character of OUR neighborhood.

In short, our Quality of Life in the neighborhood will be negatively affected in an extreme way if the development is allowed to go forward as planned.

Many of us bought in Niskayuna because of a well established planning and zoning environment.

There are many reasons to NOT Approve this zoning change and development in our view.

1. **Safety on Ruffner Road to it's residents. —**
People already drive exceptionally fast on Ruffner Road as it is a cut through street to River Road, Van Antwerp, and beyond and rarely if ever stop for stop signs. No sidewalks exist making walking and running for pedestrians, dog, and bicycle traffic very hazardous as it is now.
The Increased Traffic alone would compound the situation and make this neighborhood and it's intersections even more dangerous. We risk our lives daily on this street already...it's very busy. (A Niskayuna Cop could write 50 tickets a day here in the neighborhood)
2. **School buses ,Garbage Trucks and Visitors** to the neighborhood create a major traffic issue in the morning and evening. If visitors to our residents come to any house and park on the road, they too are also at serious risk.
3. **The proposed Egress onto Ruffner Road, either Egress(Right of Way or removal of an existing house), makes this a greater safety issue for Ruffner Road and Complex residents. In fact, the town would probably have to put a traffic light on Ruffner for traffic management, as the minimal additional 100-150 cars(22 Units, 2 cars per unit x 4 exits per day) every day of the residents in and out would drastically change the traffic patterns and make it even more dangerous for Ruffner residents and their kids and pets. This would be the first Traffic Light in the whole of the neighborhood.**
4. **Environmental Issues:** Extensive wildlife live in the 15 acre wood lot currently. Deer, Coyotes, Fox, Turkey, Piliated Woodpeckers(on NYS's Threatened species list), Hawks, and many many more species all can be seen there. We had a moose this year. Additionally water issues already exist there. Come to our back yards and inspect them at any time. It's not just a few yards and it's certainly not simple as the developer has presented.
5. **Property values will go down.**
More congestion and traffic, less green space, less desirable neighborhood. ... Simple fact. Ask any realtor.

Received

JAN 23 2023

Planning Office
Niskayuna, NY

6. This would drastically change the character of the neighborhood for the worse.

Our position expanded:

Any other land owner with 120 acres would be able to accommodate a road for Ingress and Egress to accommodate a development of their property. Why an exception to the Mohawk Golf Course? As stated previously, we can provide many examples of many courses with roads running thru the course in the Capital District. The developer uses the Historic status of this course? So are our houses and neighborhood. Many built in 1950's.

We look forward to making our case in person with you and the board.

The residents of the Ruffner Road Neighborhood.

Received

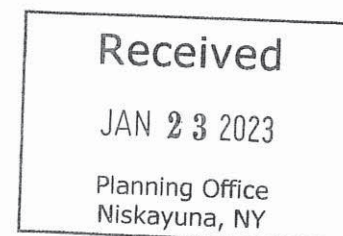
JAN 23 2023

Planning Office
Niskayuna, NY

| Name | Signature | House Address | Phone | Email Address |
|------------------------|-------------|------------------------|---|------------------------------------|
| STEPHEN CLEMENTE | [Signature] | 1231 RUFFNER | 518-279-7705 | SMCLEM222@GMAIL.CO |
| JATHY CLEMENTE | [Signature] | 1231 Ruffner Rd | 518-210-2593 | CACLEM222@GMAIL.CO |
| TERRISSA MANNIX | [Signature] | 1230 Ruffner | 254-299-7313 | tmannix7@gmail.co |
| AMY MIKE MCINTYRE | [Signature] | 1237 Ruffner | 518-859-7131 | 2moose@nycap.rr.com |
| PAUL RASCHUSSEN | [Signature] | 1327 Rosehill Blvd | | prabmass@nycap.rr.com |
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**Ruffner Road Neighborhood Objections to Mohawk Golf Club Residential
Development – Signatories – Page 2**

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Ruffner Road Neighborhood Objections to Mohawk Golf Club Residential
Development – Signatories – Page 2

Name

Signature

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Phone

Email Address

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6. This would drastically change the character of the neighborhood for the worse.

Our position expanded:

Any other land owner with 120 acres would be able to accommodate a road for Ingress and Egress to accommodate a development of their property. Why an exception to the Mohawk Golf Course? As stated previously, we can provide many examples of many courses with roads running thru the course in the Capital District. The developer uses the Historic status of this course? So are our houses and neighborhood. Many built in 1950's.

We look forward to making our case in person with you and the board.

The residents of the Ruffner Road Neighborhood.

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Ruffner Road Neighborhood Objections to Mohawk Golf Club Residential

Development - Signatories - Page 2

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NRI COMMITTEE

Ruffner Road Neighborhood Objections to Mohawk Golf Club Residential Development - Signatories - Page 2

Received
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| Patricia Fritz | Patricia Fritz | 1340 Rowe Rd | 518-810-9486 | |

6. This would drastically change the character of the neighborhood for the worse.

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**Ruffner Road Neighborhood Objections to Mohawk Golf Club Residential
Development – Signatories – Page 2**

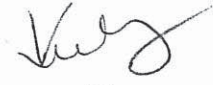
Name


Signature

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Phone

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Sharon Stedman  2532 Hilltop Rd, Niskayuna 518-312-5403

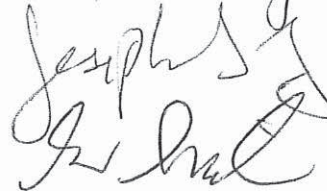
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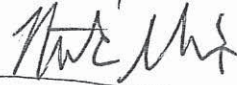
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| <u>Name</u> | <u>Signature</u> | <u>House Address</u> | <u>Phone</u> | <u>Email Address</u> |
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| Kyle A. Stewart | 1257 | Hawthorn | (518) 346-7702 | |
| Michael Goldstof | 1358 | Hawthorn | (518) 577-0983 | |
| Joan Thompson | 1358 | Hawthorn | (518) 577-0917 | jthomps5@nycap.rr.com |
| Victoria Fenley | 1054 | Bellridge Rd | (518) 369-6163 | victoria.fenley@gmail.com |
| Dongquan Liu | 1286 | Pembroke Court | | |
| Jennifer Regan | 1357 | Ruffner Court | (518)-952-4485 | jmaregan@gmail.com |

Received

JAN 23 2023

Planning Office
Niskayuna, NY

| | | | |
|--------------------|------|---------------|----------------|
| Sean Moran | 1357 | Ruffner Court | (518)-577-0780 |
| Peter Gregg | 1359 | Ruffner Court | (518)-265-6163 |
| Heather Gregg | 1359 | Ruffner Court | (518)-466-6575 |
| Cynde Schwartz | 1363 | Ruffner Court | (518)-444-4610 |
| Dr. Ken Schwatz | 1363 | Ruffner Court | (518)-369-0695 |
| Ellis J Staley | 1367 | Ruffner Court | (518)-377-4493 |
| Mary Phelan Staley | 1367 | Ruffner Court | (518)-320-5854 |
| Zaheer Motiwala | 1371 | Ruffner Court | (518)-495-2366 |
| Lori Kirch | 1376 | Ruffner Court | (315)-278-3381 |
| Tim Kirch | 1376 | Ruffner Court | (315)-246-3695 |
| Julie Moessner | 1378 | Ruffner Court | (518)-929-4173 |
| Stephan Moessner | 1378 | Ruffner Court | (518)-421-0001 |
| Luigi D'Amrosi | 1184 | HedgewoodLane | (518)-393-6036 |
| Joyce D'Ambrosi | 1184 | HedgewoodLane | (518)-393-6036 |

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peter.gregg@gmail.com
heatherdoylegregg@gmail.com
cyndesch@aol.com;;
drkenschwartz@verizon.net

mstaley@gmail.com
zaheermotiwala@gmail.com
kirchfam13@gmail.com
splatshot@msn.com
inmoessner@gmail.com
sdmoessner@gmail.com
jdambrosi@nycap.rr.com

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JAN 23 2023

Planning Office
Niskayuna, NY



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. IV. 1

MEETING DATE: 2/13/2023

ITEM TITLE: PUBLIC HEARING: Site plan review and special use permit to combine 17, 25 and 33 Fagan Ave. with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.

PROJECT LEAD: Patrick McPartlon

APPLICANT: Mitch Cromer, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Public Hearing

SUMMARY STATEMENT:

Mitch Cromer, agent for the owner of the Kia automobile dealership, submitted an Application for Site Plan Review to combine 17, 25 and 33 Fagan Ave. with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.

All four (4) of the aforementioned properties are located within the C-H Commercial Highway zoning district. Automobile sales and service establishments are special principal uses in the C-H district. A special use permit for an automobile dealership located at 3900 State St. was granted by the Town Board with Resolution 390 on December 15, 1987.

A new special use permit is required to allow lots 17, 25 and 33 on Fagan Ave. to be used for automotive sales. Town Zoning Code Section 220-59 of Article X Special Principal Uses states that the Planning Board shall conduct a public hearing and report on the preliminary site plan to the Town Board.

BACKGROUND INFORMATION

There is no action to be taken at a public hearing. The Public Hearing Notice is attached.



NOTICE OF PUBLIC HEARING

TO BE HELD BY THE
PLANNING BOARD & ZONING COMMISSION
OF THE TOWN OF NISKAYUNA

NOTICE IS HEREBY GIVEN that pursuant to the Zoning Ordinance of the Town of Niskayuna, New York and the applicable provisions of the Town Law of the State of New York, a public hearing will be held by the Planning Board and Zoning Commission of the Town of Niskayuna in the Town Board Meeting Room at One Niskayuna Circle on the thirteenth (13th) day of February 2023 at 7:00 p.m. to consider an application from Mitch Comer, agent for Mathews Kia of Schenectady, for a site plan review and special use permit at 17 S Fagan Ave (60.19-4-20), 25 S Fagan Ave (60.19-4-21) and 33 S Fagan Ave (60.19-4-22) in conjunction with the existing business at 3900 State Street (60.19-4-16.1), in the Town of Niskayuna. The property is located within the C-H Commercial Highway Zoning District.

A copy of the site plan application will be available for inspection at the Planning Department in the Niskayuna Town Hall and can be viewed at <https://www.niskayuna.org/planning-board> under the "News and Announcement" tab and will be shown electronically during the public hearing.

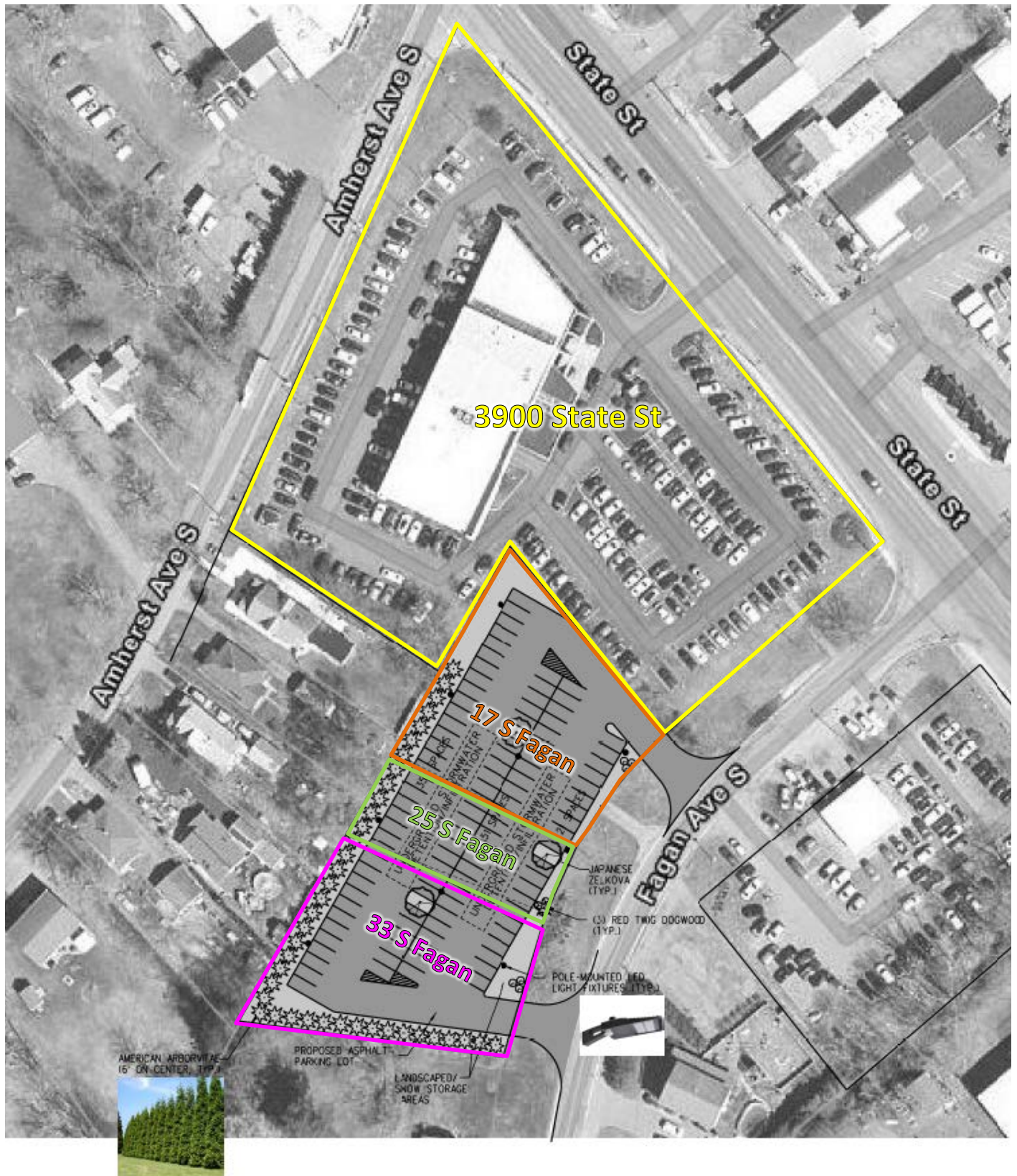
If you wish to express an opinion regarding the public hearing you may do so at the above-mentioned time and place. If you cannot be present, you may request a virtual login to the meeting by emailing lrobertson@niskayuna.org or calling 518-386-4531 or you may set forth your opinion in a letter which will be made part of the permanent record.

The Planning Board and Zoning Commission of the Town of Niskayuna will hear all persons interested during the aforementioned public hearing.

BY ORDER of the Planning Board of the Town of Niskayuna, New York.

KEVIN A. WALSH
Chairman, Planning Board and Zoning Commission

17, 25 & 33 South Fagan Ave and 3900 State St, Site Plan and Special Use Permit Application



This application proposes to remove two existing homes at 17 and 33 S Fagan and replace them with a parking lot expansion for car sales for 3900 State St.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 2/13/2023

ITEM TITLE: RECOMMENDATION TO ZBA: 31 East St. -- A Recommendation to the ZBA regarding a site plan application for tenant change requiring a use variance to change a portion of the pre-existing nonconforming interior storage use to general office space in the RR-80 Zoning District.

PROJECT LEAD: Chris LaFlamme

APPLICANT: Geoffery Konis, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Recommendation

SUMMARY STATEMENT:

Geoffery Konis submitted an Application for Site Plan Review for a tenant change of the property at 31 East St. Mr. Konis is proposing to utilize the existing structure for interior storage of materials associated with his Northeast Underlayments business. The proposed new use of the property requires the approval of a use variance by the ZBA. The next step for the Planning Board is to make a recommendation to the ZBA regarding the use variance.

BACKGROUND INFORMATION

Geoffery Konis submitted an Application for Site Plan Review for a tenant change of the property at 31 East St. Mr. Konis is proposing to utilize the existing structure for interior storage of materials associated with his Northeast Underlayments business.

The property is currently a pre-existing nonconforming facility for Barbera Concrete, Inc that is under notice and orders from the Building Department for failing to comply with the Zoning Code. The current tenant has not received site plan approval for its current tenancy and has not received Town approval for its outdoor storage. The property is under a purchase contract contingent upon planning approval – and this is a good time to address the outstanding issues with the property with the proposed tenant change.

The property is located within the R-R Rural Residential zoning district. A storage facility is not a permitted principal use or a special principal use in the R-R zoning district.

The following details regarding the proposed use were included with the application.

- Year round use, 5 days per week M-F
- Will be used for the storage of materials
- Delivery of materials will occur approx. 2X per week – 2 to 3 trucks
- NE Underlayment workers will arrive at 7 – 8 a.m. daily, load up, go out to jobs & return at 3 – 4 p.m.
- Propose addition of a bathroom & crew room
- Propose locating a dumpster on site for dry trash and construction debris
- Trailers would be left on site
- Exterior lighting (motion sensor activated) directed downward

Northeast Underlayments states they are an ARDEX Preferred Installer of cementitious underlayments, toppings, patches, Portland and Gypsum Floors and other products that most subcontractors cannot access. They are also a long well established independent, locally owned and operated authorized Dealer for The Icynene Spray Foam Insulation System.

A site plan sketch showing the proposed locations for the garbage dumpster, personal parking, truck parking, truck or trailer parking and new green space areas was also included with the application.

At the request of the Planning Board during the 1/9/23 PB meeting, a sketch of the existing interior floor plan entitled “Building As-Is” by North East Underlayments was provided as well as a similar sketch of the applicant’s proposed interior floor plan. The interior of the building is currently one large open storage area. The proposed interior floor plan includes the addition of a 6’ x 6’ (36 sq. ft.) bathroom and a 32’ x 10’ (320 sq. ft.) open office area.

1/9/23 Planning Board (PB) meeting – Mr. Konis attended the PB meeting in-person and presented his application to the Board. He noted that Northeast Underlayment’s main facility is located in North Creek, NY but they do quite a bit of business in the Niskayuna / Schenectady County area and would like to have a location in the area. He stated they would like to add an office area and bathrooms inside the existing building and park their trucks on the lot overnight. Ms. Robertson noted that the property is pre-existing nonconforming and any deviation from using the property and building as they currently exist for the use of indoor storage will require the granting of a use variance by the ZBA. The PB asked Mr. Konis to provide a sketch of the proposed interior floorplan for the building.

The Planning Office reviewed the application and issued a denial of the Application for Site Plan Review based on the following.

Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. The property is currently a pre-existing nonconforming use with 100% of interior area used as interior storage, as shown in the “Building As-Is” floorplan sketch. As proposed, the sketch of the proposed interior floorplan reduces the square footage of interior storage area and transforms that area to a 32’ x 10’ (320 sq. ft.) general office area and 6’ x 6’ (36 sq. ft.) bathroom area. As proposed, the transformation of the 356 sq. ft. of interior storage area to general office area including a bathroom area, changes the use from interior storage to general office use. General office use is not a permitted principal use or a special principal use in the RR-80 zoning district.

Section 220-52 Changes in nonconforming uses (A) states: “No nonconforming use shall be changed to other than a conforming use for the district in which it is situated.” As proposed and

stated above, general office use is not a conforming use in the RR-80 zoning district, therefore a use variance is required.

1/23/23 Planning Board (PB) meeting – Mr. Konis attended the meeting and described the floorplan drawing that was provided. The PB requested additional information such as: the number of employees that will be at the site, the number of and type of vehicles that will be at the site and how long the various vehicles are expected to be at the site. They also noted that in the use variance application, and to properly inform them so that they can make a recommendation to the ZBA regarding the application, a financial analysis demonstrating that dry storage alone is not economically feasible is required.

2/1/23 Conservation Advisory Council (CAC) meeting – Janet Konis, the wife of the applicant, was present at the meeting via. a video conference link. She had gathered the information that the PB requested during their 1/23/23 meeting and provided the following.

- 1 truck with a trailer will be left at the site overnight
- 1 car and office worker will be at the site during normal working hours
- 1 car and sales person will be in and out of the building multiple times per day

Chairman Strayer noted that a large truck comes and goes currently with the present dry interior storage use. The CAC carefully reviewed the EAF form that was provided and unanimously approved a motion to make a Negative SEQR declaration (findings attached).

The PB should review the new materials provided and make a recommendation to the ZBA regarding the use variance.



Town of Niskayuna

M E M O R A N D U M

TO: File

FROM: Laura Robertson, Town Planner

DATE: February 13, 2023

RE: 31 East St.

At a regular Planning Board and Zoning Commission meeting held on February 13, 2023 the Planning Board reviewed a Recommendation to the ZBA regarding a site plan application for tenant change requiring a use variance to change a portion of the pre-existing nonconforming interior storage use to general office space in the RR-80 Zoning District. The application was denied by reason of failure to comply with the provisions of Section 220-10 (A) and Section 220-52 (A) of the Niskayuna Zoning Code for the following reasons:

Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. General office use is not a permitted use in the RR-80 zoning district.

Section 220-52 Changes in nonconforming uses (A) states: "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated." The property is currently a pre-existing nonconforming use with 100% of the interior area dedicated to dry interior storage. As proposed, 356 square feet of interior storage would be changed to a 32' x 10' (320 sq. ft.) general office area and 6' x 6' (36 sq. ft.) bathroom area. As proposed, a portion of pre-existing nonconforming interior storage building is proposed to change to a secondary nonconforming use, general office, therefore a use variance is required.

The Planning Board made the following recommendations:

Effect on the Comprehensive Plan -

Suitability of Use -

RECOMMENDATION -

CAC SEQR FINDINGS

EAF 2023-02

31 East St– Use Variance Application

2/1/2023

PART 2

1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?

Yes, the land use is rural residential and does not contemplate additional commercial. However, the CAC said that since this is already a non-conforming use and the applicant is trying to make it less impactful to the neighborhood, the conflict is small.

2. Will the proposed action result in a change in the use or intensity of use of land?

No. The intensity of the use will be less than is currently operating at the site. It was noted though that the currently operating business at the site wasn't reviewed or approved by the Town.

3. Will the proposed action impair the character or quality of the existing community?

No. Furthermore, the CAC noted that the agreement to cleaning up the lot and adding green spaces along the neighboring lot lines would benefit the existing community. It was also noted that less large trucks coming and going would also be a benefits.

4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?

No. There is no CEA in the area.

5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?

No. There will be little traffic implications for this project. Although the proposal is near access to the bike path, there will be no changes to that specific area. The CAC requested that a current wildflower field between the bike path access point and the property in question be left untouched.

6. Will the proposed action cause an increase in the use of energy and/or does it fail to incorporate reasonably available energy conservation or renewable energy opportunities?

No. The business is proposing to insulate the building and add a proposed heat pump.

7. Will the proposed action impact existing: (a) public / private water supplies?(b) public / private wastewater treatment utilities?

Yes, a small use. With the addition of a bathroom tapping into the public water supplies there will be some impact however very minimal and better than no bathroom onsite.

8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?

No to small impairment on historic, archaeological, architectural or aesthetic resources. The CAC noted the increased landscaping is important here.

9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?

No. Furthermore, with additional landscaping the above items may be enhanced.

10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?

No – there are no changes to impervious surfaces and additional landscaping will help.

11. Will the proposed action create a hazard to environmental resources or human health?

No. The CAC did not identify any hazards to environmental resources or human health but requested data sheets of storage of chemicals in the building .

PART 3

The Council discussed allowing this space to be partially used as an office space would be a new non-conforming use in the R-R zone, however, given that the current use of the property is non-conforming and the new proposal is less intensive, the use would not be burdensome to the community. With only a handful of people working there during the day, and the bigger crews only stopping by to pick up supplies, it was determined that there would not be many people coming and going as there has been.

The CAC noted concerns about an aesthetic change to the community. While the building will have to have some external modifications, most of the changes will occur inside the building, and the external updates will keep with the character of the current building. Furthermore, the applicants have committed to keeping green space on site and plan to add further trees, flowers and other plants to the site to buffer the neighboring residences.

The CAC discussed the addition of a septic system to the property, however due to the low usage projected on site this should have little impact on the neighbors.

The CAC discussed whether traffic would worsen on the narrow streets of the area, however, it was found that the largest trucks that would enter the site are already smaller than the ones currently used on the property, and would drive through with less frequency. Additionally, there would be no customers driving into the office space added.

The CAC discussed the proximity of the site to the Mohawk-Hudson Bike-Hike Trail. Given the fact that the applicants have committed to increased landscape to buffer by the trail and protection of the existing wildflower field, this was not deemed an issue.

The CAC voted unanimously to recommend a negative declaration to the Zoning Board of Appeals on the Use Variance.

**TOWN OF NISKAYUNA
ZONING BOARD OF APPEALS
One Niskayuna Circle
Niskayuna, New York 12309
(518) 386-4530**

February 3, 2023

TO WHOM IT MAY CONCERN:

A regular meeting of the Zoning Board of Appeals will be held on:

DATE: February 15, 2023

TIME: 7:00 P.M.

PLACE: Town Hall, One Niskayuna Circle, Niskayuna, New York

AT THIS TIME THE BOARD WILL CONSIDER THE REQUEST OF:

Appeal by Geoffery and Janet Konis for a variance from Section 220-10 (A) and Section 220-52 (A) of the Zoning Ordinance of the Town of Niskayuna as it applies to the property at 31 East Street, Niskayuna, New York, located in the RR-80 Rural Residential Zoning District, to convert a portion of a pre-existing nonconforming interior storage building to office space and a bathroom.

Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. General office use is not a permitted use in the RR-80 zoning district.

Section 220-52 Changes in nonconforming uses (A) states: "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated." The property is currently a pre-existing nonconforming use with 100% of the interior area dedicated to dry interior storage. As proposed, 356 square feet of interior storage would be changed to a 32' x 10' (320 sq. ft.) general office area and 6' x 6' (36 sq. ft.) bathroom area. As proposed, a portion of pre-existing nonconforming interior storage building is proposed to change to a secondary nonconforming use, general office, therefore a use variance is required.

A copy of the permit application and appeal is available for inspection at the Niskayuna Building Department in the Niskayuna Town Office Building and will be available at the public hearing. A copy of the agenda packet for the above referenced meeting date, which will include information for this variance request, will be available online after 5pm the Friday before the meeting at <https://www.niskayuna.org/node/1606/agenda/2023>.

IF YOU WISH TO EXPRESS AN OPINION REGARDING THE PROPOSED CHANGE, YOU MAY DO SO AT THE ABOVE-MENTIONED TIME AND PLACE. IF YOU CANNOT BE PRESENT, YOU MAY REQUEST A VIRTUAL LOGIN TO THE MEETING BY EMAILING LRobertson@Niskayuna.org OR CALLING 518-386-4530 OR YOU MAY SET FORTH YOUR APPROVAL OR OBJECTION IN A LETTER WHICH WILL BE MADE PART OF THE PERMANENT RECORD.

ZONING BOARD OF APPEALS

ZONING BOARD OF APPEALS
Application and Procedures For A Variance

| | |
|----------------|------------------|
| Case No. | _____ |
| Date Rece'd BA | _____ |
| Date Hearing | _____ |
| Date Action | _____ |
| Ref.P.B. | _____ Date _____ |
| Ref. County | _____ Date _____ |

TO: ZONING BOARD OF APPEALS

FROM: Northeast Underlayments, LLC

RE: Property at 31 East ST

Section 31.7 **Block** 1 **Lot** 35.21

I, Geoffery & Janet Konis, the (owner) (agent of the owner) of the property located at 31 East ST in the Town of Niskayuna, New York, hereby petition the Zoning Board of Appeals to review the decision of the Zoning Enforcement Officer on the above-referenced application and to grant a variance from Section(s) of the Zoning Ordinance in order to permit the proposed construction shown on the accompanying drawings.

I, also certify that I have provided the items listed below as required documents in my application for a variance before the Zoning Board of Appeals. I further acknowledge that omission of any of these items may result in delay in the Board's hearing of my application.

CHECKLIST OF REQUIRED ITEMS

- ____ Fifteen (15) copies of plot plans
- ____ Two (2) copies of construction plans, if applicable
- ____ Appeal fee (see application procedures for details)
- ____ Appeal statement (see application procedures for details)
- ____ Short Environmental Assessment Form, Project Information, as applicable for use variance
- ____ Additional information as specified by the Zoning Enforcement Officer

Signature of Agent: _____ Date _____

X Signature of Owner (if different from Agent) Janet Konis

Telephone Number: 518-222-4170

USE VARIANCE - Before the ZBA can grant a use variance, State Law requires that, the applicant must demonstrate "unnecessary hardship". Mere inconvenience and the fact that the land in question could be put to a more profitable use are insufficient reasons for granting a use variance. To prove unnecessary hardship, the applicant shall demonstrate to the ZBA that for each and every permitted use under the zoning regulations for the particular district where the property is located:

- (a) The applicant cannot realize a reasonable return, provided that lack of return is substantial as demonstrated by competent financial evidence.

The Owner has had 5 people interested in 2 yrs. but can not make a sale because of restrictions. We would need an Office (small) + a Bathroom. Rentals + Sales of Storage Building with Office + Bathroom are just way to expensive for our Business.

Attached Copy of letter From Owner and Cost Comparisons of Trying to buy

- (b) The alleged hardship relating to the property in question is unique and does not apply to a substantial portion of the district or neighborhood.

This building was already there by the Town as a Storage building. It stands alone at the end of the street. There will no changes to the outside size of the building and no added Storage to the building outside. Operation of the space will be daylight hours 7-4pm Mon-Friday

- (c) The requested use variance, if granted, will not alter the essential character of the neighborhood.

It is building put up by the town. The only change to the outside is more landscaping with shrubs & flowers. Timber Frame Entrance with taller trees on the Residential Side.

We don't use signs, hours of operation are from 7-4pm, Monday-Friday, We don't do walk-in business

- (d) The alleged hardship has not been self-created.

We can't expand, it was preexisting when the Town changed zoning lawings. We are trying to create Sanitary Facilities.

Hoping to hire someone to help in office - 1 car

Saleman - 1 car - on & off

Estimator - 1 car - all day

1 - Northeast Truck & Trailer

Northeast Underlayments - In to pick up material and leave

| |
|-------------------|
| 3 car |
| 1 Truck & Trailer |

Janet Konis

From: JMPR 57 <jmpr57@hotmail.com>
Sent: Thursday, January 26, 2023 12:07 PM
To: Janet Konis



This is our main
Building in
Warrensburg, NY
7 Rocky Ridge Rd

We try to make
things nice for
our Community
and our self's



Sent from JRKonis iPhone

Janet Konis

From: JMPR 57 <jmpr57@hotmail.com>
Sent: Thursday, January 26, 2023 12:18 PM
To: Janet Konis



Northeast Spray
Foam Truck +
Trailer

Sent from JRKonis iPhone

Google Maps 7 Rocky Ridge Road



Warrensburg, New York
Google Street View
Sep 2014

Image capture: Sep 2014 © 2023 Google



7 Rocky Ridge Road

All

Street View & 360°

Rollies Road

Rocky Ridge F
arrensburg, N

ain St

[Back](#) [Contact Agent](#)
88 W Campbell Road
Schenectady, NY 12306
12,075 SF • #202200786

Sample of Cost

ACTIVE
\$980,000



Overview
Description

Former Aaron's Furniture building located across from Via Port/Rotterdam Square Mall. 12,075± SF available for immediate occupancy. Property is conveniently located a half mile from Interstate 890. Property is also referred to as 90A West Campbell Road. Please contact listing agent for tours.

Listing Details
Contract Information

DOM
196

HIDE

SAVE

SHARE

Retail

Parent/Child

None

Lease Considered

Yes

Lease Per SqFt or Month?

SqFt

Current Price

\$980,000

List Price/SqFt

81.16

List Price/Acres

960,784.31

Location

County

Schenectady

Municipality (Tax)

Rotterdam

Property Detail

New Construction Y/N

No

Year Built

1999

Stories

1

Parking Y/N

Yes

Building Area Total

12,075

Full Name

HIDE

SAVE

SHARE

Lot Size Acres

1.02

Status Change Info

Status Change Date

July 18, 2022

More Information

Parcel, Tax, HOA

Tax Annual Amount

19,750

Total Taxes Description

Estimated

Tax Section

38.18

Tax Block

2-5

Tax Lot

32

Sign Y/N

Yes

Directions & Remarks

Directions

Take exit 2A from I-890 W. Building located on the right.

Public Remarks

Former Aaron's Furniture building located across from Via Port/Rotterdam Square Mall. 12,075± SF available for immediate occupancy. Property is conveniently located a half mile from Interstate 890. Property is also referred to as 90A West Campbell Road. Please contact listing agent for tours.

Building Detail

At Grade Door #

1

Building Ceiling Height

14

Office Available SQFT

HIDE

SAVE

SHARE

Retail Total SQFT

12,075

Retail Available SQFT

12,075

Retail Ceiling Height

14

Warehouse Available SQFT

0

Parking Features

Parking Total

39

Private

Yes

Showing Requirements

Call Listing Agent, Call Listing Office, Email Listing Agent

Construction Materials

Block

Roof

Metal

Sewer

Public Sewer

Water Source

Public

Electric

Three Phase

Current Use

Retail

Possible Use

Fitness/Gym, Medical/Dental, Mixed Use, Office, Office/Retail, Office/Warehouse, Retail, Warehouse

More Info

Information is deemed to be reliable, but is not guaranteed.

The listing broker's offer of compensation is made only to participants of the MLS where the listing is filed.



HIDE

SAVE

SHARE

[Back](#) [Contact Agent](#)
1155 Princetown Road
Schenectady, NY 12306
9,400 SF • #202201188

Sample B
Cost

ACTIVE
\$825,000



1 / 11



Overview
Description

Excellent location with easy access to highways. Unique property that has office with 4,200 SF of warehouse; 2,870 s/f heated, 2,400 unheated. 2 shed 2,000 s/f, 2,925 s/f plus fenced in lay down area. All on 1.25 acres

Listing Details
Contract Information

DOM

98

HIDE

SAVE

SHARE

Industrial

Parent/Child

None

Lease Considered

No

Current Price

\$825,000

List Price/SqFt

87.77

List Price/Acres

639,534.88

Location

County

Schenectady

Municipality (Tax)

Rotterdam

Property Detail

New Construction Y/N

No

Year Built

1984

Building Area Total

9,400

Lot Size Dimensions

est

Lot Size Acres

1.29

Lot Size Square Feet

56,192

Close to the road

HIDE

SAVE

SHARE

October 24, 2022

More Information

Parcel, Tax, HOA

Parcel Number

422800 47.-8-1.111

Tax Annual Amount

17,194

Total Taxes Description

Estimated

Tax Section

47

Tax Block

8

Tax Lot

1.111

Directions & Remarks

Directions

Princetown Road just west of Burdeck St.

Public Remarks

Excellent location with easy access to highways. Unique property that has office with 4,200 SF of warehouse; 2,870 s/f heated, 2,400 unheated. 2 shed 2,000 s/f, 2,925 s/f plus fenced in lay down area. All on 1.25 acres

Building Detail

Building Ceiling Height

1

Office Available SQFT

2,500

Retail Available SQFT

0

Warehouse Available SQFT

5,270

Parking Features

HIDE

SAVE

SHARE

Showing Requirements
Call Listing Agent, Email Listing Agent
Construction Materials
Block, Wood Frame
Sewer
Other, See Remarks
Water Source
Other, See Remarks
Current Use
Industrial
Possible Use
Industrial, Mixed Use, Office/Warehouse, Warehouse, Other, See Remarks
More Info

Information is deemed to be reliable, but is not guaranteed.

The listing broker's offer of compensation is made only to participants of the MLS where the listing is filed.



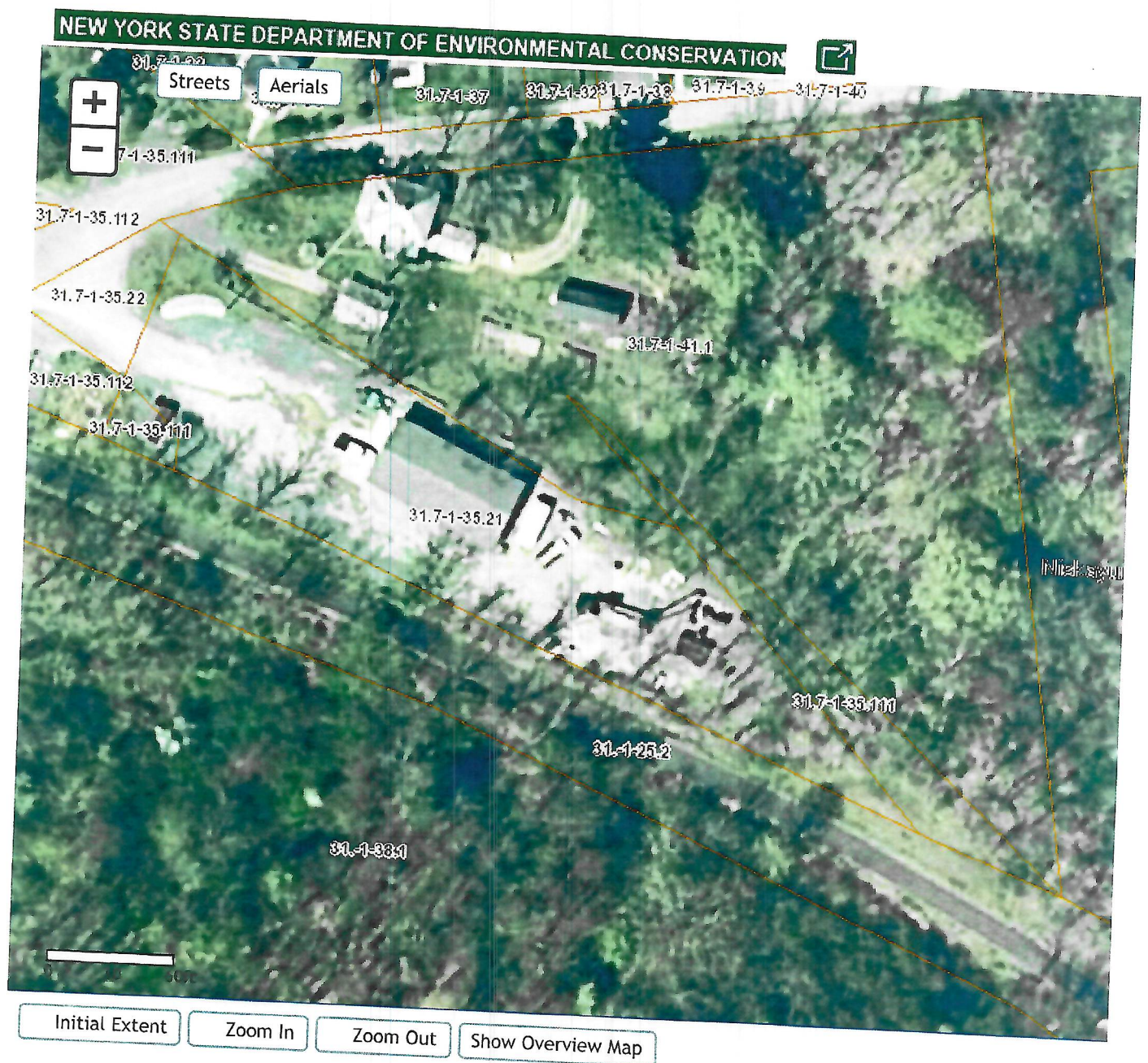
Email Listing [Cancel](#)

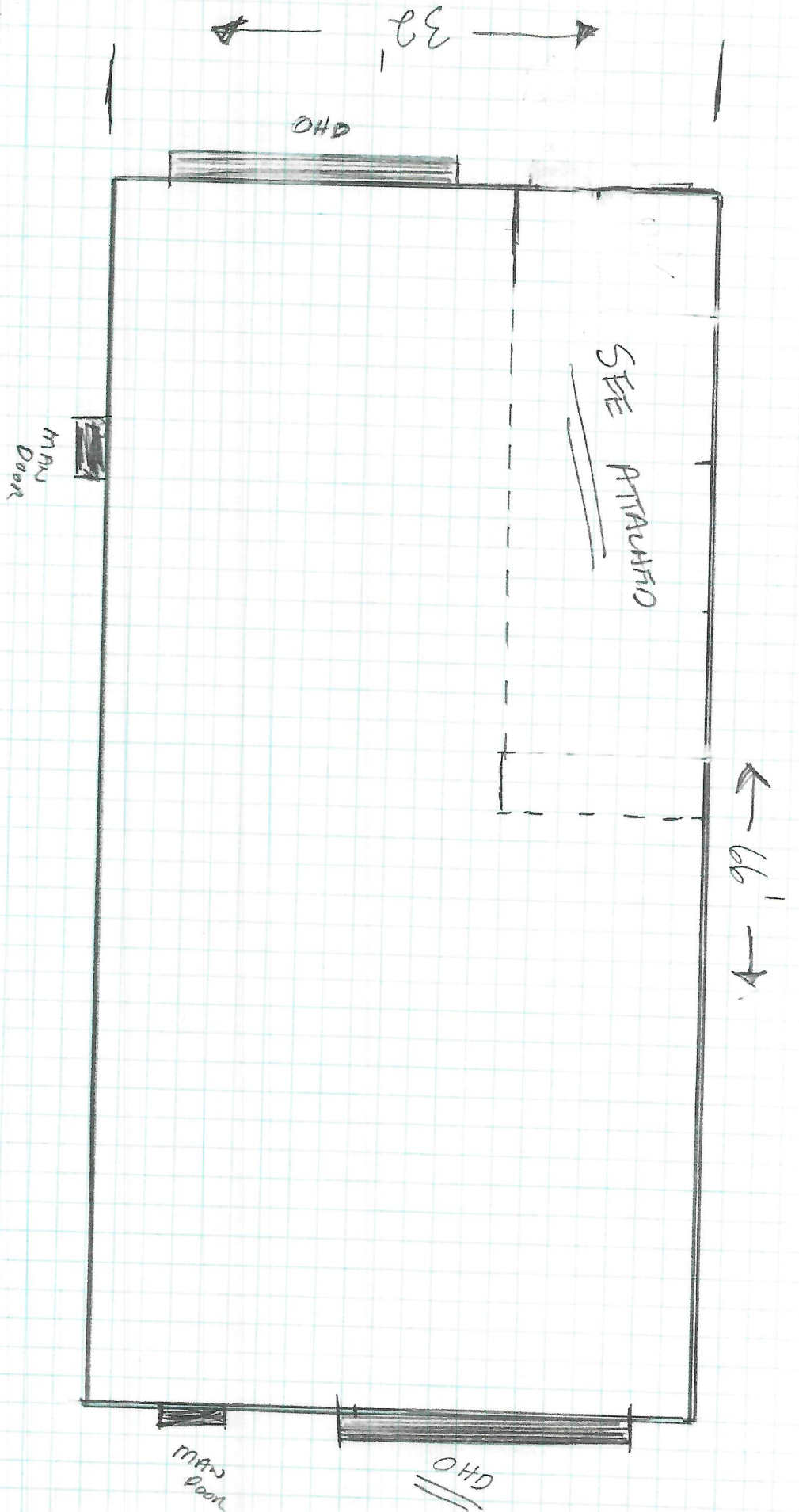
Sorry, unable to display video
OK

HIDE

SAVE

SHARE





* BUILDING AS IS *

1 SQ = 2' APPROXIMATELY

ENTRY
DOOR

5x6
ENTRY

6x6
BATHROOM

DOOR
TO SHOP

SHOP
AREA

OPEN
OFFICE
AREA

DOOR
TO
SHOP

1/4" = 1'0" APPROXIMATELY

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | | | | | | | | | | | | | | | |
|---|--|---|---|--|--|-------------------------------------|--|--|---------------------------------|--------------------------------------|----------------------------------|--|--|-----------------------------------|--|--|--|--|
| Part 1 – Project and Sponsor Information | | | | | | | | | | | | | | | | | | |
| 31 East St | | | | | | | | | | | | | | | | | | |
| Name of Action or Project: NORTHEAST Underlayments LLC | | | | | | | | | | | | | | | | | | |
| Project Location (describe, and attach a location map): | | | | | | | | | | | | | | | | | | |
| Brief Description of Proposed Action: To taking the building and carve out 15% of the inside for a open office and Bathroom | | | | | | | | | | | | | | | | | | |
| Name of Applicant or Sponsor: Geoffery + Janet Konis | | Telephone: 518-222-4170 | | | | | | | | | | | | | | | | |
| Address: 86 Ridge St | | E-Mail: JKonis@northeastunderlayments.com | | | | | | | | | | | | | | | | |
| City/PO: North Creek | | State: NY | Zip Code: 12853 | | | | | | | | | | | | | | | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input type="checkbox"/></td> <td style="text-align: center;"><input checked="" type="checkbox"/></td> </tr> </table> | NO | YES | <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | | | | | | | |
| NO | YES | | | | | | | | | | | | | | | | | |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | | | | | | | | | | | | | | | | | |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: | | | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> | NO | YES | <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | | | | | | | | |
| NO | YES | | | | | | | | | | | | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | | | | | | | | | | | | | | |
| 3. a. Total acreage of the site of the proposed action? | | 8 acres | | | | | | | | | | | | | | | | |
| b. Total acreage to be physically disturbed? | | 8 acres | | | | | | | | | | | | | | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | 0 acres | | | | | | | | | | | | | | | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | | | | | | | | | | | | | | | | |
| <table style="width: 100%;"> <tr> <td><input type="checkbox"/> Urban</td> <td><input type="checkbox"/> Rural (non-agriculture)</td> <td><input type="checkbox"/> Industrial</td> <td><input checked="" type="checkbox"/> Commercial</td> <td><input checked="" type="checkbox"/> Residential (suburban)</td> </tr> <tr> <td><input type="checkbox"/> Forest</td> <td><input type="checkbox"/> Agriculture</td> <td><input type="checkbox"/> Aquatic</td> <td colspan="2"><input type="checkbox"/> Other(Specify):</td> </tr> <tr> <td colspan="5"><input type="checkbox"/> Parkland</td> </tr> </table> | | | | <input type="checkbox"/> Urban | <input type="checkbox"/> Rural (non-agriculture) | <input type="checkbox"/> Industrial | <input checked="" type="checkbox"/> Commercial | <input checked="" type="checkbox"/> Residential (suburban) | <input type="checkbox"/> Forest | <input type="checkbox"/> Agriculture | <input type="checkbox"/> Aquatic | <input type="checkbox"/> Other(Specify): | | <input type="checkbox"/> Parkland | | | | |
| <input type="checkbox"/> Urban | <input type="checkbox"/> Rural (non-agriculture) | <input type="checkbox"/> Industrial | <input checked="" type="checkbox"/> Commercial | <input checked="" type="checkbox"/> Residential (suburban) | | | | | | | | | | | | | | |
| <input type="checkbox"/> Forest | <input type="checkbox"/> Agriculture | <input type="checkbox"/> Aquatic | <input type="checkbox"/> Other(Specify): | | | | | | | | | | | | | | | |
| <input type="checkbox"/> Parkland | | | | | | | | | | | | | | | | | | |

| | | | |
|--|-------------------------------------|-------------------------------------|--------------------------|
| 5. Is the proposed action, | NO | YES | N/A |
| a. A permitted use under the zoning regulations? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? | NO | YES | |
| If Yes, identify: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| b. Are public transportation services available at or near the site of the proposed action? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? | NO | YES | |
| If the proposed action will exceed requirements, describe design features and technologies: <u>We are a Spray Foam Insulation Company</u> <u>and will take care insulation</u> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? | NO | YES | |
| If No, describe method for providing potable water: _____ | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? | NO | YES | |
| If No, describe method for providing wastewater treatment: <u>It would be a new</u> <u>Engineer System by John E Hitchcock Jr ABD Engineers</u> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ | | | |
| _____ | | | |
| _____ | | | |

| | | |
|--|-------------------------------------|--------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, | NO | YES |
| a. Will storm water discharges flow to adjacent properties? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| _____ _____ | | |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: | NO | YES |
| _____ _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: | NO | YES |
| _____ _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: | NO | YES |
| _____ _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE | | |
| Applicant/sponsor/name: _____ Date: <u>1/20/23</u> | | |
| Signature: <u>Janet R. Konis</u> Title: _____ | | |

PRINT FORM

ZONING COORDINATION REFERRAL

For Use By SCDEDP

SCHENECTADY COUNTY DEPT. OF ECONOMIC DEVELOPMENT & PLANNING

Received _____

Case No. _____

Returned _____

Recommendations shall be made within 30 days after receipt of a full statement of the proposed action.

FROM: Legislative Body
Zoning Board of Appeals
Planning Board

Municipality: _____

TO: Schenectady County Department of Economic Development and Planning
Schaffer Heights, 107 Nott Terrace, Suite 303
Schenectady, NY 12308

(tel.) 386-2225
(fax) 382-5539

ACTION: Zoning Code/Law Amendment
Zoning Map Amendment
Subdivision Review
Site Plan Review

Special Permit
Use Variance
Area Variance
Other (specify) _____

PUBLIC HEARING OR MEETING DATE: _____

SUBJECT:

REQUIRED ENCLOSURES:

1. Public hearing notice & copy of the application.
2. Map of property affected. (Including Tax Map I.D. number if available)
3. Completed environmental assessment form and all other materials required by the referring body in order to make its determination of significance pursuant to the state environmental quality review act.

1. This zoning case is forwarded to your office for review in compliance with Sections 239-l, 239-m and 239-n of Article 12-B of the General Municipal Law, New York State.
2. This material is sent to you for review and recommendation because the property affected by the proposed action is located within 500 feet of the following:

the boundary of any city, village or town;
the boundary of any existing or proposed County or State park or other recreation area;
the right-of-way of any existing or proposed County or State parkway, thruway, expressway, road or highway;
the existing or proposed right-of-way of any stream or drainage channel owned by the County or for which the County has established channel lines;
the existing or proposed boundary of any County or State-owned land on which a public building or institution is situated;
the boundary of a farm operation located in an agricultural district, as defined by Article 25-AA of the agriculture and markets law. The referral requirement of this subparagraph shall not apply to the granting of area variances.

SUBMITTED BY:

Name: _____ Title: _____

Address: _____

E-mail: _____ Phone: _____



Date: _____

Signature



Thomas J. Cannizzo
Building Inspector

TOWN OF NISKAYUNA

BUILDING DEPARTMENT

One Niskayuna Circle
Niskayuna, New York 12309-4381
(518) 386-4522
FAX: (518) 386-4556
building@niskayuna.org

Kenneth P. Hassett
Building Inspector

BUILDING AND ZONING PERMIT DENIAL

Address: 31 East St.

Application Date: 12/8/22

Geoffery Konis
86 Ridge St.
North Creek, NY 12853

Dear Mr. Konis:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that your Application for Site Plan Approval for a tenant change to convert a portion of a pre-existing nonconforming interior storage building to office space and a bathroom at 31 East Street has been denied by reason of failure to comply with the provisions of Section 220-10 (A) and Section 220-52 (A) of the Niskayuna Zoning Code. The property is located in the RR-80 Rural Residential Zoning District.

Section 220-10 District regulations (A) RR-80 Rural Residential District of the Niskayuna Zoning Code lists the permitted principal uses, permitted accessory uses and special principal uses allowed in the zoning district. General office use is not a permitted use in the RR-80 zoning district.

Section 220-52 Changes in nonconforming uses (A) states: "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated." The property is currently a pre-existing nonconforming use with 100% of the interior area dedicated to dry interior storage. As proposed, 356 square feet of interior storage would be changed to a 32' x 10' (320 sq. ft.) general office area and 6' x 6' (36 sq. ft.) bathroom area. As proposed, a portion of pre-existing nonconforming interior storage building is proposed to change to a secondary nonconforming use, general office, therefore a use variance is required.

Under the provisions of Section 220-69 the Zoning Ordinance of the Town of Niskayuna you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

A handwritten signature in black ink, appearing to read "Laura Robertson".

Laura Robertson, Deputy Code Enforcement Officer

1/19/23

Date



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Purchasing

Applicant (Owner or Agent):

Name Geoffery Konis

Address 86 Ridge ST
North Creek, NY
12853

Email _____

Telephone 518-796-3695

Fax _____

Location:

Number & Street 31 East ST

Section-Block-Lot 31.7 - 1 - 35.21

Zoning District RR

Proposal Description: YEAR Round Use

Storage of material - Bathroom, Crew Room,
delivery of material 2x @ week, possible 2-3
trucks + Trailers left on site, Outside downward
lighting on Building (motion sensor) Dumpster
for Construction debris, dry trash. Travel would
be in at 7 or 8 am load up out to jobs, back
at 3 to 4 pm leave for home. Operation is
5 days a week M-F

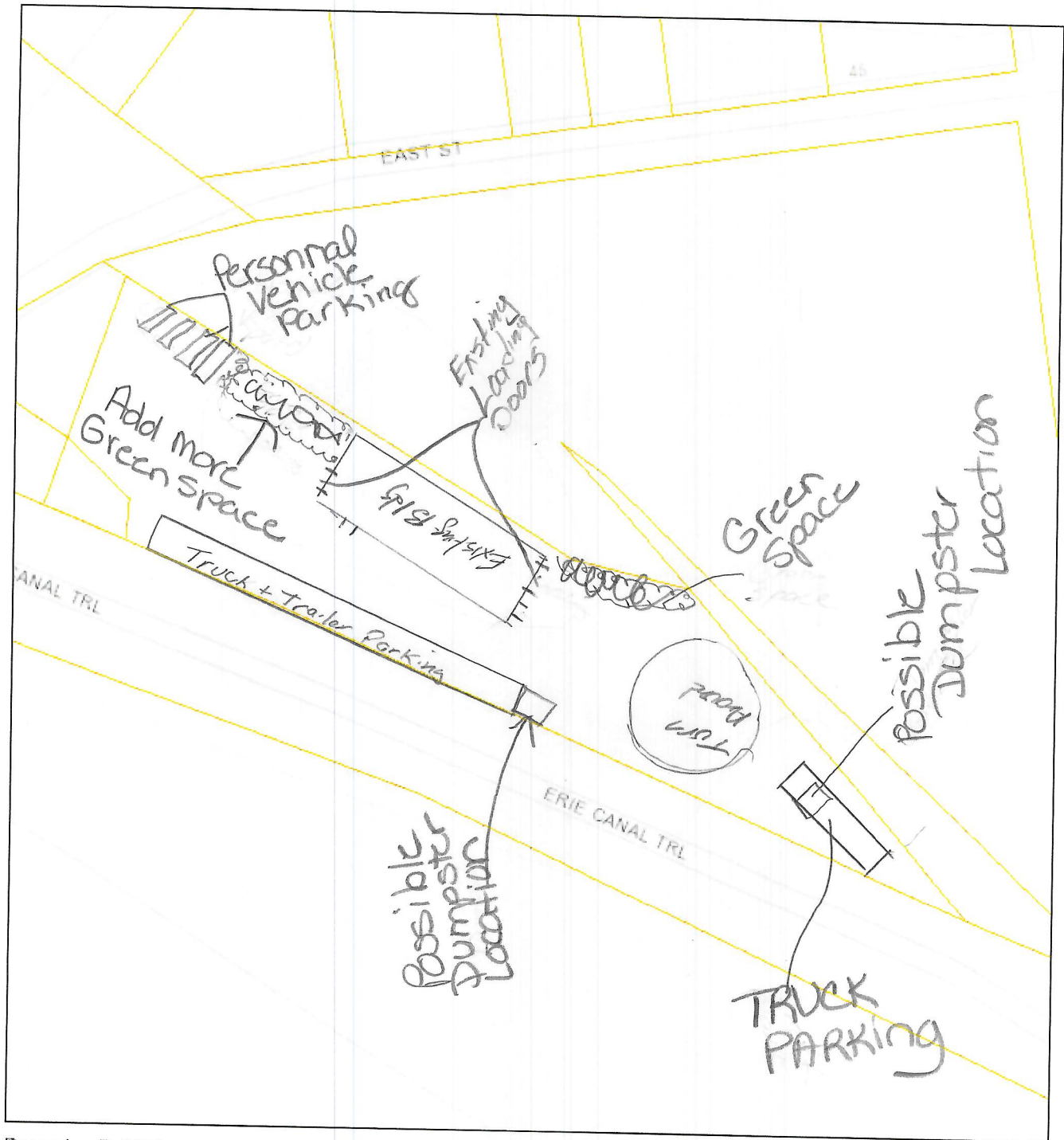
Signature of applicant: _____

Date: 12/8/22

Signature of owner (if different from applicant): _____

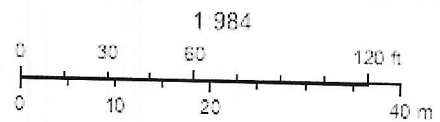
Date: _____

Untitled Map



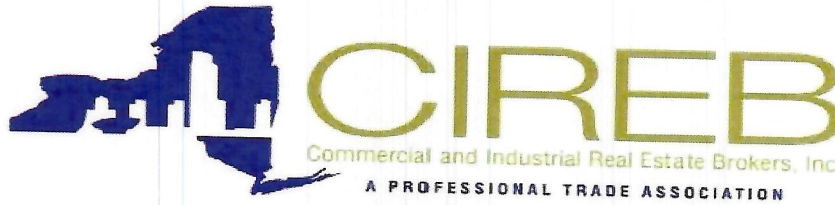
December 7, 2022

 Parcels



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, Mapbox, and the GIS User Community

This map and information is provided as is. We make no warranties or guarantees, expressed or implied. No Author



Revised June 2012

STANDARD FORM CONTRACT FOR PURCHASE AND SALE OF REAL ESTATE
THIS IS A LEGALLY-BINDING CONTRACT. IF NOT FULLY UNDERSTOOD, WE RECOMMEND
ALL PARTIES TO THE CONTRACT CONSULT AN ATTORNEY BEFORE SIGNING.

1. IDENTIFICATION OF PARTIES TO THE CONTRACT

A. SELLER - The Seller is

Barbara Concrete, LLC

(the word "Seller" refers to each and all parties who have an ownership interest in the Property).

B. PURCHASER - The Purchaser is

Geoffery Konis (LLC TBS)

(the word "Purchaser" refers to each and all of those who sign below as Purchaser).

2. PROPERTY TO BE SOLD

The Property and improvements which the Seller is agreeing to sell and which the Purchaser is agreeing to purchase is known as

31 E St St# Schenectady NY 12309: Tax Parcel 422400 31.7-1-35.21

located in the city, village or town of Niskayuna in Schenectady County.

(This Property includes all the Seller's rights and privileges, if any, to all land, water, streets and roads annexed to, and on all sides of the property.) The lot size of the Property is described as approximately

.6 Acres, Lot sq ft 26,136

3. ITEMS INCLUDED IN SALE

The items, if now in or on said Property are represented to be owned by the Seller, free from all liens and encumbrances, and are included in the sale "as is", on the date of this offer, together with the following items
Clean Building inside and outside. Free of debris from current owner. Broom Clean.

4. PURCHASE PRICE

The purchase price is (\$ 245,000.00) Two Hundred Forty-Five Thousand
DOLLARS

The Purchaser shall pay the purchase price as follows:

| | |
|----------------------|---|
| \$ <u>10,000.00</u> | deposit with this contract. |
| \$ _____ | additional deposit on _____ |
| \$ <u>235,000.00</u> | in cash or certified check at closing. |
| \$ _____ | by PURCHASER assuming and agreeing to pay a mortgage, now a recorded |
| \$ _____ | lien on the premises upon which there is unpaid estimated principal amount. |
| \$ _____ | Purchase money mortgage to Seller (see attached addendum for terms) |
| \$ <u>245,000.00</u> | TOTAL PRICE |

5. MORTGAGE CONTINGENCY

This Contract is contingent upon Purchaser obtaining approval of a mortgage loan in the amount of \$ _____ at an initial rate of _____ percent, fixed or adjustable; for a term of _____ not to exceed _____ points. Purchaser agrees to use diligent efforts to obtain said approval and shall apply for the mortgage loan within _____ business days after the Seller has accepted this contract. Purchaser agrees to apply for such a mortgage loan to two lending institutions, if necessary. This contingency shall be deemed waived unless Purchaser shall notify _____ in writing as called for in paragraph 19, no later than _____ of his/her inability to obtain said approval. If the Purchaser so notifies, then this Contract shall be deemed cancelled, null and void, and all deposits made hereunder shall be returned to the Purchaser.

6. MORTGAGE EXPENSE AND RECORDING FEES

The mortgage recording tax imposed on the mortgagor, mortgage and deed recording fees, expenses of drawing papers and any other expenses to be incurred in connection with procuring a mortgage, shall be paid by the Purchaser.

7. OTHER TERMS (if any)

Contingent upon all municipal bodies to allow and continue the use as a commercial building similar type of concrete/construction business as is currently in operation now. Permitted zoning for commercial use with prior approval from Planning Board and Zoning Board before closing. Signed affirmation as to no buried tanks or other environmental contaminants . Must appraise at asking price or above.

8. TITLE AND SURVEY

A. The abstract of title or any continuation thereof, or any title insurance policy shall be obtained at SELLER'S ☒ PURCHASER'S ☐ expense. The Seller shall cooperate in providing any available abstract of title or title insurance policy information without cost to PURCHASER. If the SELLER has a survey of the premises, it shall be provided to the PURCHASER and SELLERS ☒ PURCHASER ☐ shall pay the cost of updating any such survey or the cost of a new survey.

B. Title to the Property shall be free and clear of all liens, encumbrances, covenants, conditions and other matters affecting title, except for the Permitted Exceptions, and shall be good of record, in fact merchantable and insurable at standard rates. For the purposes of this Paragraph 8, the term "Permitted Exceptions" shall mean those matters affecting title to the Property set forth on Exhibit _____, attached hereto and made a part hereof.

9. CONDITION OF PREMISES

The buildings on the premises are sold "as is" without warranty as to condition, and the Purchaser agrees to take title to the buildings "as is" and in their present condition subject to reasonable use, wear, tear and natural deterioration between the date hereof and closing of title: except that in the case of any destruction within the meaning of the provisions of Section 5-1311 of the General Obligations Law of the State of New York entitled "Uniform Vendor and Purchaser Risk Act", said section shall apply to this Contract.

10. CONDITIONS AFFECTING TITLE

The Seller shall convey and the Purchaser shall accept the Property subject to all covenants, conditions, restrictions and easements of record and zoning and environmental protection laws so long as the Property is not in violation thereof and any of the foregoing does not prevent the intended use of the Property for the purpose of **Commercial Warehouse**; also subject to any existing tenancies, any unpaid installments of street or other improvement assessments payable after the date of the transfer of title to the property, and any state of facts which an inspection and/or accurate survey may show, provided that nothing in this paragraph renders the title to the Property unmarketable.

11. DEED

The Seller shall convey the Property to the Purchaser by Warranty Deed in proper form for recording, which deed shall include the covenant required by Subdivision "5" of Section 13 of the Lien Law. If the Seller conveys in any trust capacity, the usual deed given in such cases shall be accepted. The said deed shall be prepared, duly signed by the Seller, signature(s) acknowledged, all at the Seller's expense, so as to convey to the Purchaser the fee simple of said premises free and clear of all liens and encumbrances, except as herein stated. At Closing, Seller will pay any and all state, county and local transfer and recording fees pursuant to New York State Department of Taxation and Finance Combined Real Estate Transfer Tax Return (TP-584), plus any other transfer related tax or fee. All other costs and expenses attendant to settlement, including title company charges, shall be at the cost of the party that incurred same, at or prior to Closing.

12. TAX AND OTHER ADJUSTMENTS

The following, if any, shall be apportioned so that the Purchaser and Seller are assuming the expenses of the property and income from the property as of the date of transfer of title:

- A. Rents and security deposits. Seller shall assign to Purchaser all written leases and security deposits affecting the premises.
- B. Taxes, sewer, water, rents and condominium or association fees.
- C. Municipal assessment yearly installments except as set forth in item 9.
- D. Fuel, based upon fair market value at time of closing as confirmed by a certificate provided by Seller's supplier.

13. RIGHT OF INSPECTION AND ACCESS

Purchaser and/or a representative shall be given access to the Property for any tests or inspections. The PURCHASER agrees to hold Seller harmless against any and all liabilities that may arise from said tests and inspections. In the event the Purchaser does not purchase the Property, the Purchaser agrees to restore the Property to its original condition. This Contract is contingent upon a written determination(s), at Purchaser's expense, by a licensed architect or licensed engineer or by an agreed third party that the Property is free from structural, mechanical, and/or environmental defects exceeding a combined value of _____. This contingency shall be deemed waived unless Purchaser shall notify **Both Brokers and Attorneys**

_____, in writing, by certified or registered mail, return receipt requested, post-marked no later than **January 13, 2023** or by personal service by such date, of such defects(s), and furthermore supplied a written copy of the inspection report. If the Purchaser so notifies, then this Contract shall be deemed cancelled, null and void and all deposits made hereunder shall be returned to Purchaser or, at Purchaser's option, said cancellation may be deferred for a period of ten (10) days in order to provide the parties an opportunity to otherwise agree in writing.

14. TRANSFER OF TITLE

Transfer of title is to be completed at 12:00 noon on or about **March 1, 2023** at the office of **Buyers Attorney**.

15. DEPOSITS

It is agreed that any deposits by the Purchaser are to be deposited with the Listing Broker as part of the purchase price. If the Seller does not accept the Purchaser's offer, all deposits shall be returned to Purchaser. If the offer is accepted by the Seller, all deposits will be held in escrow by the listing Broker until the contingencies and terms have been met. The Purchaser will receive credit on the total amount of the deposit toward the purchase price. Broker shall apply the total deposit to the brokerage fee. Any excess of deposit over and above the fee earned will go to the Seller.

If the contingencies and terms contained herein cannot be resolved, or in the event of default by the Seller or the Purchaser, the deposits will be held by the Broker pending a resolution of the disposition of the deposits.

16. REAL ESTATE BROKER

The Purchaser and Seller agree that **Howard Hanna/Phil Sabitino** and **23 North, CRES / Denise Riccardi-Bagramian** brought about the sale, and Seller agrees to pay the Brokers' commission to **Howard Hanna** as agreed to per separate agreement.

17. ADDENDA

The following attached addenda are part of this Contract:

- a. _____
- b. _____
- c. _____
- d. _____
- e. _____

18. ATTORNEYS APPROVAL CLAUSE

This Contract is contingent upon Purchaser and Seller obtaining approval of this Contract by their attorney as to all matters contained therein. This contingency shall be deemed waived unless Purchaser's or Seller's attorney on behalf of their client notifies **Both Brokers & Attorneys** in writing, as called for in paragraph 19, of their disapproval of the Contract no later than **December 14, 2022**. If Purchaser's or Seller's attorney so notifies, then this Contract shall be deemed cancelled, null and void, and all deposits shall be returned to the Purchaser.

19. NOTICES

All notices contemplated by this Contract shall be in writing, delivered by certified or registered mail, return receipt requested, postmarked no later than the required date, or by personal service by such date.

20. MISCELLANEOUS

- A. Originals. This Contract may be executed in counterparts, each of which will be an original, and a facsimile copy showing execution shall be given the same force and effect of an original.
- B. Section and Other Headings. The section and other headings are for reference purposes only and will not in any way affect the meaning or interpretation of the text of this Contract.
- C. Governing Law. This Contract will be construed and enforced in accordance with the laws of the State of New York without giving effect to any conflict of laws or choice of laws to the contrary.

21. ENTIRE AGREEMENT

This Contract contains all agreements of the parties hereto. There are no promises, agreements, terms, conditions, warranties, representations or statements other than contained herein. This Contract shall apply to and bind the heirs, legal representatives, successors and assigns of the respective parties. It may not be changed orally.

THIS IS A LEGALLY-BINDING CONTRACT. IF NOT FULLY UNDERSTOOD, WE RECOMMEND ALL PARTIES TO THE CONTRACT CONSULT AN ATTORNEY BEFORE SIGNING.

Dated: 12/08/2022

 Geoffery Konis

Purchaser

Geoffery Konis (LLC TBS)

Purchaser

ACCEPTANCE

Dated: _____

Seller

Seller

Northeast Underlayments was established in 1998. Since then, we have dedicated ourselves to providing superior quality work and service to our customers. Everyone from our on-site Foreman's to our office staff works with you to ensure you get the best possible results.

As an ARDEX Preferred Installer, Northeast Underlayments enjoys support and training from the leaders in the manufacture of cementitious underlayments, toppings, patches, Portland and Gypsum floors and other products that most subcontractors cannot access. As a result, access to the newest systems, techniques and an established network of technical advisors help ensure your satisfaction.

A long well established independent, locally owned and operated authorized Dealer for The Icynene Insulation System® serving the Eastern and Upstate New York area and Capital District.

Northeast Spray Foam assists homeowners, home buyers, builders, and architects to design and build Healthier, Quieter, more Energy Efficient homes and buildings through our superior insulation and air-sealing system. **Northeast Spray Foam it is our sole objective to provide outstanding, reliable service to our vast array of customers.** With a diverse client base, we individualize services to meet each of our customer's needs. If you are looking for prompt, detailed and impeccable service, look no further. Northeast Spray Foam strives to create personal relationships with every customer. We give unsurpassed attention to each customer focusing our attention completely on our client base and servicing our customers to the best of our abilities. We have the most advanced equipment in upstate New York area.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 2

MEETING DATE: 2/13/2023

ITEM TITLE: RESOLUTION: 2023-05: A Resolution for site plan approval for tenant changes and re-fitting of 9,420 sq. ft. of the 12,804 sq. ft. of office space at 1760 Union St.

PROJECT LEAD: David D'Arpino

APPLICANT: Lucien Galarneau, Jr.

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Lucien Galarneau, Jr. submitted an Application for Site Plan Review for tenant changes and reconfiguration of 9,420 sq. ft. of the 12,804 sq. ft. of office space at 1760 Union St. The site is currently occupied by Ortho NY, Coldwell Banker and Schenectady ARC. Mr. Galarneau's proposal is to combine Suites 1 and 2 and replace Ortho NY and Coldwell Banker with Pediatric Dental Group of NY. Schenectady ARC will remain in their present location.

The address lies within the C-N Neighborhood Commercial zoning district. General business office use and medical office use are both permitted principal uses in the zoning district. The proposed change in occupancy of the site increases the parking requirement, resulting in an 8 space deficit. A site plan drawing has been provided demonstrating that 8 parking spaces may be "banked". They are not part of the approved site plan drawing but they may be added at a future date if the parking space deficit is determined to be an issue.

BACKGROUND INFORMATION

An undated 1-page drawing of the proposed interior floorplan entitled "Dr. Farzad Sani" by Henry Schein Integrated Design Studio was provided with the application and stamped "Received Jan 20 2023 Planning Office Niskayuna, NY" by the Planning Office.

A 1-page site plan drawing that includes the parking spaces located at the address entitled "As Built Plan, Lands N/F of William Jarmolychm, 1760 Union St. " by ABD Engineers & Surveyors dated 9/28/05 with a most recent revision of Rev 1 10/11/05 was also provided.

A summary of the code required and available parking spaces before and after the proposed tenant change is shown below.

| Occupants | Use | Area | Parking Factor | Parking Need | Parking Actual |
|-----------------|----------------|-------|----------------|--------------|----------------|
| | | | | | |
| Current | | | | | |
| Ortho NY | Medical office | 4,710 | 1/175 | 27 | 62 |
| Coldwell Bank | General office | 4,710 | 1/225 | 21 | |
| ARC | General office | 3,384 | 1/225 | 16 | |
| TOTAL | | | | 64 | |
| | | | | | |
| Proposed | | | | | |
| Dental office | Medical office | 9,420 | 1/175 | 54 | 62 |
| ARC | General office | 3,384 | 1/225 | 16 | |
| TOTAL | | | | 70 | |

Based on the most recent occupancy of the building 64 parking spaces are required while only 62 are available. As proposed, the tenant change will increase the required parking spaces to 70 thereby increasing the parking space shortage from 2 spaces to 8 spaces. Based upon this analysis, an area variance from the Zoning Board of Appeals (ZBA) for 8 parking spaces may be needed, as there does not appear to be any place the applicant can bank the parking.

1/23/23 Planning Board (PB) meeting – Danny Sanders, the applicant’s architect, attended the meeting. The PB discussed the potential impact the project could have on local traffic, etc. The 8 space parking deficit was discussed and the Planning Office suggested that the applicant investigate if 8 parking spaces could be “banked” – shown on a proposed site plan drawing to demonstrate that they could be added if needed. Mr. Sanders agreed. The Board also requested that due to the rather large number of dental procedure rooms a rough check should be performed to make sure that there are enough parking spaces for the expected staff and patients.

An updated site plan drawing was provided that shows the banked parking spaces. A resolution with a waiver for 8 parking spaces to be banked as greenspace is included for potential site plan approval.

RESOLUTION NO. 2023 – 05

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 13TH DAY OF FEBRUARY 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Lucien Galarneau, Jr., has made an application to the Planning Board and Zoning Commission for site plan approval for tenant changes and reconfiguration of 9,420 sq. ft. of the 12,804 sq. ft. of office space at 1760 Union St. to combine Suites 1 and 2 and replace Ortho NY and Coldwell Bank with Pediatric Dental Group of NY, and

WHEREAS, the site plan showing the existing sixty-two (62) parking spaces on the site is shown on a 1-page drawing entitled "As Built Plan Lands N/F of William Jarmolych L.1016 P.363 1760 Union Street" by ABD Engineers Surveyors dated 9/28/05 with a most recent revision of 1/3/23, and

WHEREAS, the site plan showing an additional eight (8) "banked" parking spaces is shown on a 1-page drawing entitled "Site Plan Option 1, Renovations Dr. Sani Office 1760 Union St. Schenectady, NY" by Harris A. Sanders Architects, P.C. dated 2/7/2023 with no subsequent revisions, and

WHEREAS, the proposed interior floorplan is shown in an undated 1-page drawing entitled "Dr. Farzad Sani" by Henry Schein Integrated Design Studio stamped "Received Jan 20 2023 Planning Office Niskayuna, NY"

WHEREAS, the zoning classification of the property is C-N Commercial Neighborhood zoning district, and

WHEREAS, both general office use and professional medical office use, qualify as permitted principal uses for this zoning district, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, Zoning 220 Attachment 17 Schedule I-D C-N District column 6 states that for professional offices, medical, 1 parking space is required for each 175 sq. ft. of gross floor area and for professional offices, non-medical, and general business, 1 parking space is required for each 225 sq. ft. of gross floor area. Therefore the building as proposed, with approximately 9,420 sq. ft. of gross floor area for medical use, requires 54 parking spaces ($9,420/175=54$) and with approximately 3,384 sq. ft. of gross floor area for general office use, requires an additional 16 parking spaces ($3,384/225=16$) for a combined total of 70 parking spaces. As proposed, the aforementioned site plan of the existing site depicts 62 paved parking spaces, and

WHEREAS, Section 220-19 (E) of the Code states that "If, in the judgment of the Planning Board, the required parking would be excessive, the Planning Board may allow up to 25% of the required parking to be unpaved, under bond, to allow extra landscaped area. The Planning Board may require paving of the area left unpaved if it is deemed necessary at a later date. The bond shall be retained for three years, and

WHEREAS, the Planning Board has determined that 70 parking spaces for this proposed site plan is excessive and the applicant has shown in the aforementioned site plan drawing entitled "Site Plan Option 1, Renovations Dr. Sani Office 1760 Union St. Schenectady, NY" that eight (8) additional parking spaces could be added to the site with zoning code relief for setback from existing right of ways if the Planning Board determines that some or all eight (8) spaces are required over the next three (3) years, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission has determined that the required parking may be excessive and hereby approves the landowner to bank 12% of the required parking as unpaved, with the following conditions:

1. If during the three (3)-year evaluation period the Planning Board, Planning Department, or Building Department determines that up to eight (8) additional parking spaces are required, for a maximum of seventy (70) total parking spaces, the

following options or conditions are available and may be required by the Planning Board and Zoning Commission either individually or in combination.

- A. Preferred: Up to five (5) parking spaces may be added by reorienting the existing four (4) parking spaces that are parallel to Eastern Parkway in the site plan drawing entitled "As Built Plan Lands N/F of William Jarmolych L.1016 P.363 1760 Union Street" and replacing them with nine (9) parking spaces that are perpendicular to Eastern Parkway.
- B. Not preferred: If more than five (5) additional parking spaces are deemed to be required, three (3) additional spaces may be added as shown in the site plan drawing entitled "As Built Plan Lands N/F of William Jarmolych L.1016 P.363 1760 Union Street" upon approval of any variances required by the Zoning Board of Appeals.

And be it hereby

FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions.

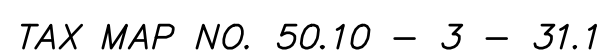
- 1. If the Planning Board determines that additional parking spaces are required under Section 220-19 (E) of the Code of the Town of Niskayuna, the landowner shall be required to file for site plan review to construct said spaces so that the Planning Board can review and approve the aforementioned options and potential waiver requirements prior to any construction.
- 2. All proposed new occupants of the additional medical office space approved via. this resolution and any future change in tenant occupancy shall require site plan approval by the Planning Board and Zoning Commission.
- 3. Signage: Prior to issuance of a building permit the Planning Office will review and approve any proposed code compliant signage.
- 4. Applicant shall explore planting street trees in the green areas adjacent to Union St and submit a planting plan of findings to the Planning Department / Tree Council.
- 5. Applicant shall repair / replace asphalt and sidewalk that serves this property according to the specifications of Schenectady County.


Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD

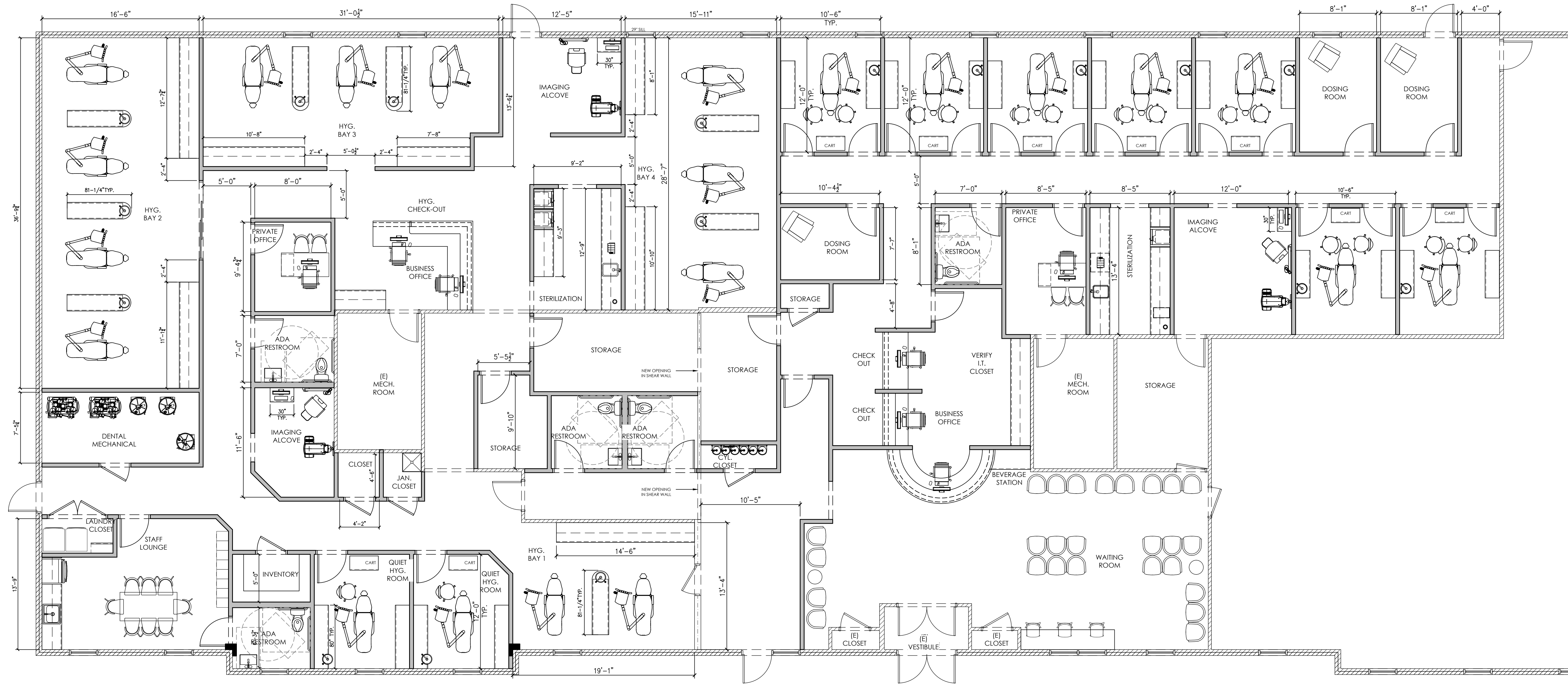
NANCY STRANG
JOSEPH DRESCHER

The Chairman declared the same _____.



| | | | |
|---|--------|-----------------------|--------|
| <p style="text-align: center;"> ASBUILT PLAN LANDS N/F OF WILLIAM JARMOLYCH L.1016 P.363 1760 UNION STREET </p> | | | |
| TOWN OF NISKAYUNA | | COUNTY OF SCHENECTADY | |
| STATE OF NEW YORK | | | |
| <p style="text-align: center;">  ENGINEERS SURVEYORS 411 Union Street Schenectady, N.Y. 12305 518-377-0315 Fax. 518-377-0379 </p> | | | |
| DATE: | SCALE: | DWG. | SHEET |
| SEPT. 28, 2005 | 1"=20' | 2110A-ASB | 1 OF 1 |

P:\ALL REGIONAL\05 Boston North-South\051 Farzad\051.dwg, Farzad\051.dwg, HENRY SCHEIN\051.dwg



PROPOSED FLOOR PLAN
3/16"=1'-0"

DR. FARZAD SANI

PROJECT:

HENRY SCHEIN REP:
JIM KASBARIAN

REGION:
BOSTON

PHONE #:
(800) 645-6594

IMPORTANT NOTE:
THIS DOCUMENT HAS BEEN PREPARED AS AN INSTRUMENT OF PROFESSIONAL SERVICE AND IS NOT AN ARCHITECTURAL PLAN. THE IDEAS/DESIGN INCLUDED HEREIN ARE THE SOLE PROPERTY OF HENRY SCHEIN, INC. AND ARE PROTECTED UNDER COPYRIGHT. THESE PLANS MAY NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN CONSENT OF HENRY SCHEIN, INC. AND FULL PAYMENT OF ANY ASSOCIATED DESIGN FEES. **ALL DIMENSIONS ARE SUBJECT TO JOB-SITE VERIFICATION.**

PROJECT NUMBER:
22-2793

PROJECT START DATE:
--/--/----

FINALS START DATE:
--/--/----

DRAWN BY: JLR
FINALS BY: ---
CHECKED BY: ---

| REVISIONS: | |
|------------|-----|
| --/--/---- | --- |
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INT.SQ.FT.= 8864

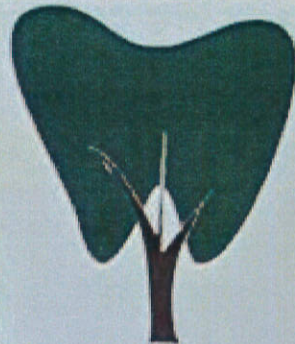
SCALE: 3/16"=1'-0" SHT. SIZE: 24 x 36

FLOOR PLAN

SA.0

88
BROAD STREET

Pediatric Dental Group of New York



Dr. Farzad Sani

Dr. Danny Kang

Dr. Alison Brienza

Dr. Colleen Lacombe-Senecal

Call: (518) 798 9966 or Visit: www.NYPDG.com



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 2/13/2023

ITEM TITLE: DISCUSSION: 3900 State St. – Kia car dealership – site plan application to combining 17, 25 and 33 Fagan Ave. with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.

PROJECT LEAD: Mr. McPartlon

APPLICANT: Mitch Cromer, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Mitch Cromer, agent for the owner of the Kia automobile dealership, submitted an Application for Site Plan Review to combine 17, 25 and 33 Fagan Ave. with the existing Kia Automobile lot, take down two single family homes and build a 144 parking space Automobile Sales lot.

BACKGROUND INFORMATION

The property is located within the C-H Commercial Highway zoning district. Automobile sales and service establishments are special principal uses in the C-H district.

A two site drawings entitled "Kia Schenectady Parking Lot Expansion, Drawing Reference Number C-1" both authored by Griffiths Engineering dated 12/14/22 and 12/22/22 were included with the application. The drawing dated 12/14/22 shows the proposed additional 114 parking space parking lot encompassing the three lots. It also shows the neighboring lots on Fagan Ave., Amherst Ave. and State St. The drawing dated 12/22/22 shows an aerial pictorial image of the proposed future condition of the site including the new 114 parking space lot.

A two page information sheet was prepared by the Planning Office that shows the approximate location of the storm water system for the existing parking lot. An underground storm water pipe runs from a catch basin at the southern-most corner of the existing lot, along Fagan Ave. running away from State St. for approximately 4 lots. The pipe then crosses under Fagan Ave. and runs the full depth of the lot on the south side of Fagan Ave. and eventually empties into an open drainage ditch that runs perpendicular to State St.

The initial review from the Planning Department indicates that, should this application proceed, the applicant will need to submit a special use permit to conduct the Automobile sales use upon the three adjacent lots which are currently single family residential or vacant/treed lots. There

are also strict buffering requirements for unenclosed uses adjacent to residential homes, as this proposal would be : 220-21 (B) and 220-16 (A) (3) (a).

This application will require an Environmental Assessment Review. In their initial look at this project, the Conservation Advisory Council had some immediate concerns about the additional impervious space and the impact to the adjacent residential neighborhood. Their preliminary comments are:

1. The proposal would be detrimental to the residential nature of the affected neighborhoods. The Northwest side of S Fagan Ave is currently all residential within the Town of Niskayuna, with the exception of a substantial buffered portion of the existing KIA parking lot on State St. This proposal would leave one residential home sandwiched between the Town of Colonie and the new proposed parking lot and disrupt the resident character on both S Fagan and S Amherst.
2. The CAC had concerns over the loss of green space and the negative impact the additional asphalt could have on the adjacent homes on S Amherst Ave. They were particularly concerned about the negative impacts of increases in temperature due to the large increase in asphalt.
3. The CAC noted KIA already appears to own a lot across the street from its main building, on the Southwest side of S Fagan Ave. This lot appears to be underutilized and not well maintained and should be explored to help mitigate the need for additional land.
4. The CAC was concerned this proposal goes against the Comprehensive Plan.

1/9/23 Planning Board (PB) meeting – Mr. Cromer was present at the meeting. He explained the impetus behind his proposal and stated that he is exploring multiple options for securing dependable secure storage of his automobile inventory. He stated the proposal to combine the three lots into his existing lot is one of the potential solutions he is pursuing. He explained that he currently has approximately 250 automobiles stored at a lot on Morris Road. However, use of this lot is subject to a lease agreement that may be terminated by the lessor with a 30 day notice. Mr. Cromer explained that the merging of the three lots with his existing lot appeared to be a potential solution to him so he chose to present it to the Board.

The PB, Planning Office and Mr. Cromer discussed the potential project in significant detail. Mr. Cromer spoke to the concerns of the CAC and proposed mitigation plans and adjustments to the site plan to minimize its impact on the neighboring properties. He noted that the facility across Fagan Ave. is a reconditioning center and is used to detail cars prior to sale. He noted that the use of the area is not optimized and agreed work on improving that situation. The PB noted their primary concern is the potential negative impact the project could have on the neighborhood. The PB requested the following action items be completed for the 1/23/23 PB meeting.

1. Provide an updated site plan that hopes to address the CAC's concerns regarding screening of the proposed parking lot from neighboring properties.
2. Provide a detailed breakout of all parking spaces on the existing lot identifying which spaces are for customers, employees, automobile storage, etc.

Mr. Cromer provided the Planning Office with an updated site plan that was stamped "Received Jan 13 2023 Planning Office Niskayuna, NY" that includes a vegetative screening of American Arborvitae trees 6' on center along the north and west edges of the proposed combined lot. A version of the updated site plan was marked to identify how each parking space would be used – for customers, employees, storage, etc.

1/23/23 Planning Board (PB) meeting – Mr. D’Arpino recused himself from this project due to a relationship with the presenting engineer. Mr. Cromer attended the meeting and stated that he has hired the engineering firm Clough Harbor & Associates to help him with the project. An engineer from their staff was also at the podium with Mr. Cromer. Ms. Robertson projected the site plan stamped 1/13/23 on the screen and Mr. Cromer identified the Arborvitae tree screening and color coded breakout of parking spaces. Mr. Cromer provided the Board with a copy of the letter that was provided to neighboring residents describing the project. The storm water system was very briefly discussed including a discussion of the use of an underground storm water vault. The engineer representing Clough Harbor stated that he is still getting up to speed regarding the project details. The Board agreed on the following next steps.

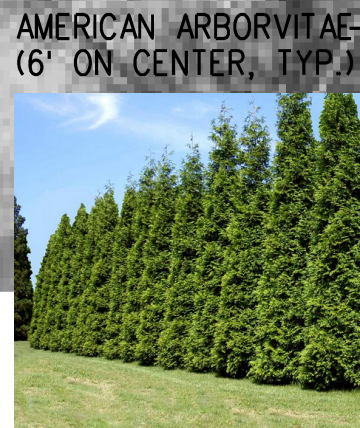
1. Arrange a site walk of the property
2. Hold a public hearing at the 2/13/23 PB meeting.

1/27/23 Complete Streets Committee (NCSC) meeting – The Complete Streets Committee reviewed the most recent site plan drawing and requested that the project include the addition of a new sidewalk along Fagan Ave from State St. to Albany St.

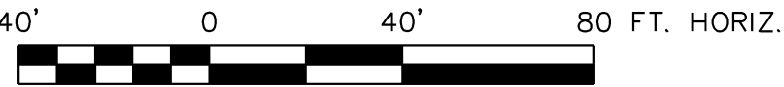
2/1/23 Conservation Advisory Council (CAC) meeting – Mr. Cromer and Mr. Devan from Clough Harbor & Associates attended the meeting and repeated the presentation at the 1/23/23 PB meeting. The CAC expressed many of the same concerns they had expressed at the previous meeting: that the project may have a negative environmental, human and neighborhood impact. The CAC asked if the size of the proposed parking lot could be reduced to allow for additional green space. Mr. Cromer noted that he is working on a long form EAF.

2/9/23 Tree Council (TC) meeting -- The Tree Council requested that the patch of large trees between 17 S Fagan Ave and 33 S Fagan Ave be retained and the proposed parking spaces to be worked around the existing trees.

This agenda item is for discussion following the public hearing held at the beginning of the meeting. The project lead should also discuss the site walk on 2/9/2023.



- NOTES
1. PARKING SPACES ARE 9'X18'. DRIVEWAY AND DRIVE AISLE WIDTHS ARE 24'. DRIVEWAY RADIUS AT THE STREET INTERSECTIONS ARE 33'. 107 PARKING SPACES ARE PROVIDED.
 2. STORMWATER TREATMENT/STORAGE FACILITIES WILL BE DEVELOPED TO PROCESS RUNOFF FROM EXISTING AND PROPOSED DEALERSHIP PARKING LOTS.
 3. LANDSCAPE AREAS ADJACENT TO RESIDENTIAL USES WILL BE DEVELOPED TO PROVIDE SCREENING. LANDSCAPE AREAS ARE MINIMUM 15' WIDE.
 4. A LIGHTING PLANS WILL BE DEVELOPED TO PROVIDE ADEQUATE SITE LIGHTING. LIGHT FIXTURE WILL BE PROVIDED WITH CUT-OFF SHIELDS, DESIGNED TO PRODUCE LESS THAN 1 FC LIGHT TRESPASS AT ADJACENT RESIDENTIAL PROPERTY LINES.
 5. THE LOTS PROPOSED FOR THE PARKING LOT EXPANSION WILL BE COMBINED ALONG WITH THE EXISTING DEALERSHIP PARCEL INTO A SINGLE PARCEL FOR DEVELOPMENT.



GRIFFITHS ENGINEERING
13 South Washington Street, Suite 1
Binghamton, New York 13903
Telephone (607) 794-2400
Fax (607) 794-2466

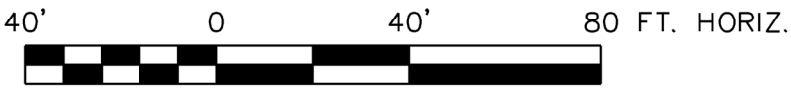
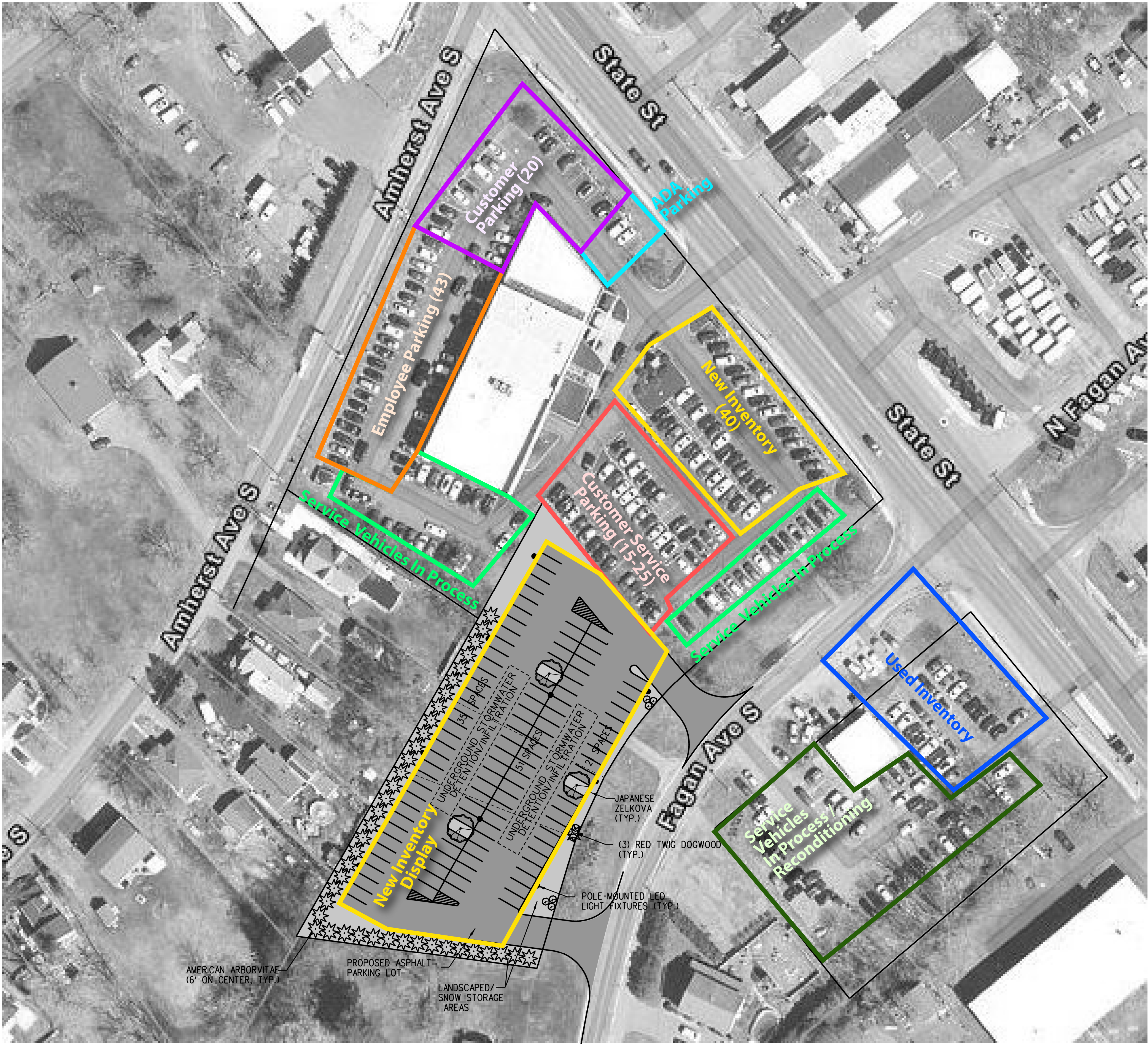
FOR REVIEW
Seal

| | | | | | |
|---|-----|---------|-----------|--------------|----------|
| Designed by: | CSS | Date: | 1-12-2023 | Rev.: | |
| Drawn by: | CSS | Cad by: | DC | Project No.: | 2022-167 |
| MAINTAINED ALLOCATION OF THIS NEW YORK STATE EDUCATION LAW, SECTION 7206, SUBSECTION 2. | | | | Plot Scale: | AS NOTED |

Drawing Name: **PROPOSED
PARKING LOT**

Project Location: **TOWN OF NISKAYUNA
SCHENECTADY COUNTY
NEW YORK**
Project Name: **KIA SCHENECTADY
PARKING LOT EXPANSION**

Drawing
Reference
Number:
C-1



- NOTES
1. PARKING SPACES ARE 9'X18'. DRIVEWAY AND DRIVE AISLE WIDTHS ARE 24'. DRIVEWAY RADIUS AT THE STREET INTERSECTIONS ARE 33'. 107 PARKING SPACES ARE PROVIDED.
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 4. A LIGHTING PLANS WILL BE DEVELOPED TO PROVIDE ADEQUATE SITE LIGHTING. LIGHT FIXTURE WILL BE PROVIDED WITH CUT-OFF SHIELDS, DESIGNED TO PRODUCE LESS THAN 1 FC LIGHT TRESPASS AT ADJACENT RESIDENTIAL PROPERTY LINES.
 5. THE LOTS PROPOSED FOR THE PARKING LOT EXPANSION WILL BE COMBINED ALONG WITH THE EXISTING DEALERSHIP PARCEL INTO A SINGLE PARCEL FOR DEVELOPMENT.



GRIFFITHS ENGINEERING
13 South Washington Street, Suite 1
Binghamton, New York 13903
Telephone (607) 794-2400
Fax (607) 794-2466

FOR REVIEW
Seal

| | | | | | |
|---|-----|-----------|-----------|--------------|----------|
| Designed by: | CSS | Date: | 1-12-2023 | Rev.: | |
| Drawn by: | CSS | Check by: | DC | Project No.: | 2022-167 |
| MAINTAINED ALLOCATION OF THIS PROJECT TO THE TOWN OF NISKAYUNA, NEW YORK STATE EDUCATION LAW, SECTION 7206, SUBSECTION 2. | | | | Plot Scale: | AS NOTED |

Drawing Name: **PROPOSED PARKING LOT**

Project Location: **TOWN OF NISKAYUNA NEW YORK**
Project Name: **KIA SCHENECTADY PARKING LOT EXPANSION**

Drawing Reference Number: **C-1**



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 2/13/2023

ITEM TITLE: DISCUSSION: 2635 Balltown Rd. – Trinity Baptist Church -- site plan approval for clearing and construction of recreational fields.

PROJECT LEAD: Patrick McPartlon

APPLICANT: Tess Healey & Larry Noyes, applicant for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Tess Healey, agent for the owner, submitted an Application for Site Plan Review for the construction of recreation fields at Trinity Baptist Church located at 2635 Balltown Road. The front half of the property, fronting Balltown Rd, is within the R-2 Medium Density Residential zoning district. The back half of the property is within the R-3 High Density Residential zoning district. The proposed project would be limited to the portion of the property zoned R-3. Places of worship and religious education facilities are special principal uses in both the R-2 and R-3 zoning districts.

The applicant, Planning Board (PB), and Tree Council (TC) have rigorously reviewed and refined the proposed project resulting in the inclusion of critical details in the site plan drawing. The next step for the project is for the Conservation Advisory Council to review the EAF form and make a SEQR declaration.

BACKGROUND INFORMATION

The lot at 2635 Balltown Road includes 7 acres of land, 3.6 acres of which are undeveloped. A survey was performed on 5/24/21 and a wetland delineation map of the property was created. The map entitled "Wetland Delineation Map A Portion of TMP #31.-1-55" by Gilbert VanGuilder Land Surveyor, PLLC dated May 24, 2021 and a model indicating the area of wetland elimination pending Army Corp of Engineers approval was provided with the Application for Site Plan Review.

Within the surveyed area 2.4 acres are uplands and 1.2 acres are wetlands. Trinity Baptist Church is seeking site plan approval to clear 1.8 acres of the uplands. Trinity Baptist Church is applying for a Nationwide Permit from the Army Corps of Engineers to eliminate 10% of the

wetlands, 0.12 acres (see site plan). Around the remaining wetlands a 25' vegetative buffer will be left and a 15' offset will remain un-cleared along property lines. The clearing will include chopping and removing stumps from trees and grading as needed. Disturbed area will be restored as natural-appearing landforms and shall blend in with the terrain of adjacent undisturbed land. Grass seed and topsoil, if needed, will be used to stabilize the cleared area.

To divide the cost of the project into manageable portions, the project will be divided into phases. Phase 1 activities will include the clearing and restoration of the 1.8 acres of land. Subsequent phases will include the construction of a proposed picnic pavilion and 15' wide crush run gravel access road to the pavilion.

Phase 1: Construction phasing plan (estimated exposure of 1 week to finish)

1. Silt fence will be installed around the construction perimeter
2. Wetland area will be taped off
3. Clearing of area specified in site plan -- estimated exposure of 1 week to finish entire clearing
4. Grading to level / runoff towards wetlands. Disturbed areas will be restored as natural-appearing landforms and will blend in with the terrain of adjacent undisturbed land.
5. Grass seed and topsoil, as needed, will be distributed over the cleared area

8/9/21 Planning Board (PB) meeting – The applicant explained the project to the PB and a general discussion ensued. The applicant explained a broken drainage pipe bisects the proposed area to be cleared and runs from the small white square (storm water drain) on the wetland delineation drawing towards the back of the property. It was reported that the pipe has been repaired. The town noted that a TDE may be required to review and evaluate the impact the project may have on drainage.

The following action items were determined.

1. Planning Office – check wetland buffer requirements for residential & commercial lots ☒
2. Applicant – prepare a site drawing that includes elevations ☒
3. Applicant – add the proposed location of the proposed pavilion on the drawing. ☒

A site plan drawing entitled “Trinity Baptist Church 2635 Balltown RD. Niskayuna, NY 12306” by VanGuilder Engineering dated 12/5/2021 with no subsequent revisions was provided to the Planning Office on 3/1/22 and stamped “Received Mar 01 2022 Planning Office Niskayuna, NY”. The drawing includes the following.

1. A 25 ft. wetland buffer along the boundaries of all wetland areas ☒
2. Elevation / contour lines ☒
3. The proposed location of a 50 ft. x 60 ft. pavilion that includes gutters with leaders directed towards the wetland area ☒
4. Identification of a wetland area of approximately 1/10 TH of an acre that will be removed pending approval from a nationwide permit that has been submitted to the Army Corps. of Engineers. ☒
5. An approximately 15 ft. wide x 100 ft. long crusher run road leading to the pavilion ☒
6. A proposed berm to be constructed 5 ft. from the southwest property line to direct water away from property lines and towards wetlands ☒
7. Identification of an area that will be graded to correct a drainage pipe that sank over time ☒

3/14/22 Planning Board (PB) meeting – Mr. Noyes updated the PB on the progress of the project. He noted that he last appeared before the PB on 8/9/21. An extensive discussion ensued during which the PB and Mr. Noyes reviewed the changes that had been made to the site plan drawing. Highlights of the discussion are as follows.

- The PB like the location of the proposed pavilion – relatively tucked away
- LR noted the Tree Council will be reviewing the site and making a recommendation
- KW noted that the 1/10 of an acre that is proposed to be reduced is not marked as wetland
 - Applicant agreed to fix this ☒
- PB also noted that the area around the broken pipe should be marked as wetland ☒
- The PB discussed the possible need for a grading plan & an engineering review ☒
- The PB wants to know how much area, in sq. ft. or acres, etc., will be cleared ☒
- Discussed adding limits of clearing to the site plan & a numerical value of area cleared ☒
- The PB noted that when stumps are removed fill soil will be needed ☒
- The PB asked PO to see if an easement exists around the pipe shown on the site plan dwg.
- LR asked the applicant to determine where they could add trees on the property ☒
 - to offset some of trees that will be removed during clearing
- Discussed timeline for a response from Army Corps of Engineers ☒
 - 45 days from application submission
- PO agreed to organize a site walk ☒
- PO requested a revised site plan drawing with the information noted above included ☒

The following action items were established.

1. Applicant – update the site plan drawing to include
 - a. Add wetland symbol to the 1/10th of an acre area ☒
 - b. Add wetland symbol to the land along the broken pipe ☒
 - c. Add limits of clearing to the site plan ☒
 - d. Determine and label the square footage of land being cleared ☒
 - e. Determine if a grading plan is needed – provide if needed
 - f. Identify approximate location of trees to be removed on the drawing and show where trees will be added to offset or partially offset ☒
 - g. Determine and label where fill soil will be needed. ☒
2. Planning Office
 - a. Organize a site walk with PB and Tree Council ☒
 - b. Research potential easement near the broken pipe ☒

Mr. Noyes provided the Planning Office with an updated revision of the site plan drawing dated 8/15/22. Many of the action items listed above were addressed and are identified with a ☒. Identifying which trees will be removed and where replacement trees will be added on the site remains an open item.

10/3/22 Planning Board (PB) meeting – Mr. Noyes attended the meeting and presented the Rev 8/15/22 site plan drawing to the Board. He stepped through the open action items and a general review of the project status ensued. During the course of the discussion the PB requested the following.

- a. Add grading lines in the vicinity of the berm – *a 362' contour on either side of the berm note has been added*
- b. Add the requirement of a fence at the 25' wetland buffer – *a split rail fence along the wetland buffer has **NOT** been added to the plan set*

- c. Add a note that the 3 large oak & 7 or 8 large white pine trees will be preserved –
see below

Buffer note currently states: “Tree Preservation – Per Tree Council 3 large oaks in vicinity of pavilion to remain and 7 to 8 white pines further north may be in the buffer, these trees are 20” plus in diameter versus all other trees which are less than 10” in diameter.”

The Planning Department feels this language is confusing and proposes the following from Code and Subdivision plats: “Per Planning Board approval, 3 large oaks in the vicinity of the pavilion and 7 to 8 large white pines noted within the limits of clearing shall be retained and protected during and after construction and grading. Additionally,

Section 201-11 (D), (E) & (F) states:

(D) The developer shall mark trees to be preserved with flagging and safeguard them by such high visibility barriers or other protective measures as shall effectively prevent injury to the tree and its root system during construction, due to such causes as soil compaction, grade change, root severance, drainage change, soil chemistry change and trunk and limb impact change.

(E) The developer shall provide, at his/her cost, that trees to be preserved are inspected for tree condition and tree protection adequacy at four stages, as applicable, in the course of development: prior to site disturbance, prior to subdivision plat plan final approval, prior to the issuance of a building permit and prior to certificate of occupancy issuance. The inspection shall be conducted by a member of the American Society of Consulting Arborists or by a qualified professional trained and experienced in tree preservation as approved by the Tree Council. The inspector shall provide directly to the Town Enforcement Officer a copy of the inspection report. The report shall contain such information as determined by the Tree Council as sufficient to evaluate the condition of trees designated for preservation and shall be certified as true and accurate by the inspector. No appropriation or authorization for action shall occur until the Town Enforcement Officer certifies that the inspection report is satisfactory or that the recovery of value terms outlined in Subsection F are met.

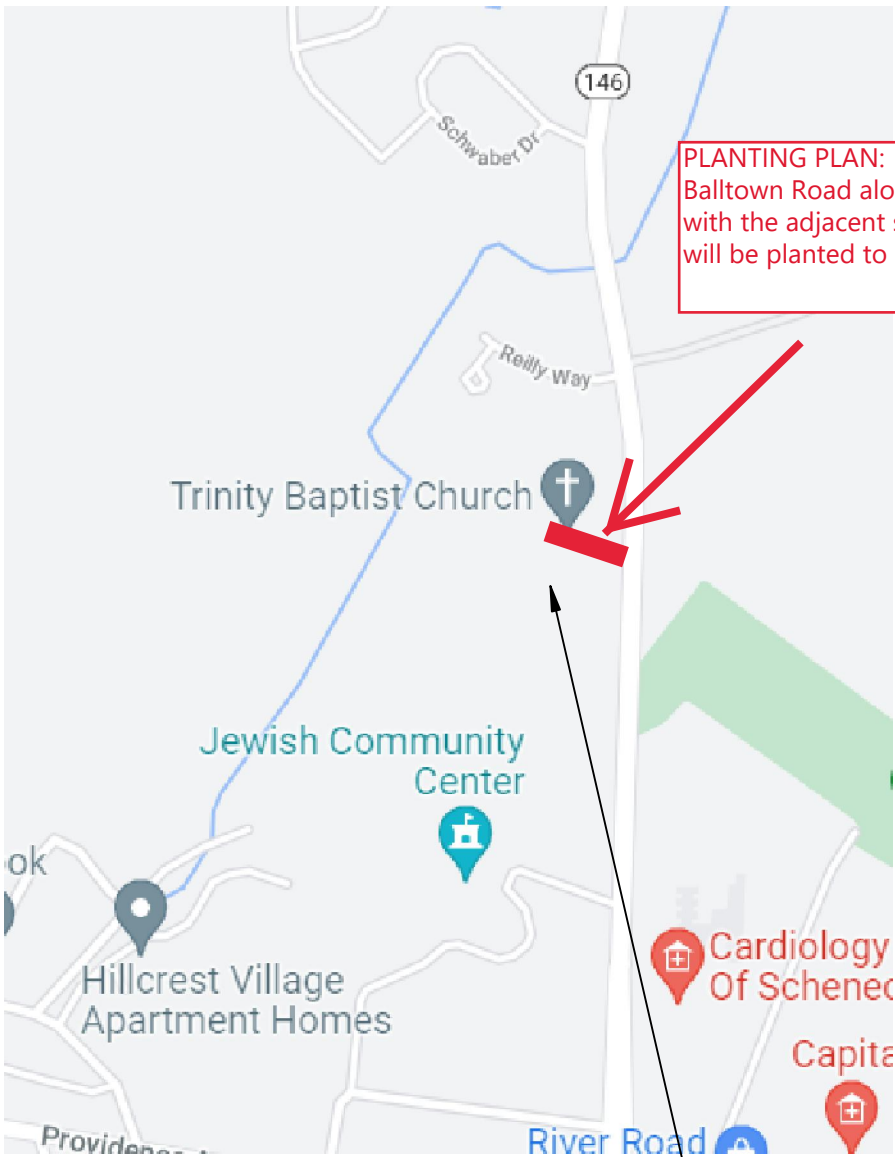
(F) Prior to continued development or the issuance of a certificate of occupancy, the developer shall provide to the Town moneys equal to the value of any tree designated for preservation that is removed or injured or that died as a result of construction.

- d. Include this in the final Resolution as well

In addition to a note about the split rail fence and updating the tree clearing language - the only other thing remaining for the previous checklists appears to be that the applicant has not submitted a planting plan to offset the tree clearing. This was originally discussed with the Tree Council as a line of trees from Balltown Road along the property line with the adjacent southern neighbor. This can be included as a condition in the proposed resolution.

1/9/23 Planning Board (PB) meeting – The applicant appeared at the PB meeting and presented the revised site plan drawing. The split rail fence located at the 25’ buffer from all wetlands had been added. The Planning Office noted the additional information that the Tree Council requested be placed on the drawing had not been included. After a short discussion the applicant agreed to revise the drawing and include the additional information.

An updated site plan drawing was provided that includes the information the Tree Council requested. The last step for the project is to have the CAC review the EAF form and make a SEQR declaration. The Planning Department proposes calling for a resolution for March 13, 2023.



LOCATION MAP
SCALE: NONE

PLANTING PLAN: A line of trees from Balltown Road along the property line with the adjacent southern neighbor will be planted to offset clearing.

Lands N/F Of
Jewish Community Center of Schenectady, Inc.
Book 797 Of Deeds At Page 159

BERM TO BE CONSTRUCTED APPROX. 5' FROM
PROPERTY LINE WITH EARTH FROM HIGHER ELEVATION
AREAS IN VICINITY OF THE PAVILION. BERM WILL DIRECT
WATER AWAY FROM PROPERTY LINES TOWARD WETLANDS

APPROXIMATELY 15' WIDE BY 100'
LONG CRUSHER RUN ROAD TO
PAVILION

GUTTERS WITH LEADERS
DIRECTED TOWARD THE WETLAND

362' CONTOUR EACH SIDE
OF BERM

PROPOSED PAVILION
FINISHED
ELEV. 362'

IN THE VICINITY OF DASHED
LINES, EARTH TO BE MOVED
TO THIS AREA TO MAKE
LEVEL WITH ADJOINING
GRADE DUE TO DRAINAGE
PIPE THAT SANK OVER TIME

ACRE REDUCTION
FROM NATIONWIDE
PERMIT

ACRE REDUCTION
FROM NATIONWIDE
PERMIT
SANITARY SEWER
KEEP HEAVY
EQUIPMENT OFF

RESIDENTIAL BUFFER

Wetlands

Wetlands

Wetlands

SITE PLAN
SCALE: 1" = 30'

NOT DIS-
EXISTING TOPOGRAPHY PROMOTES NATURAL RUNOFF OF
WETLANDS THEREFORE OVERALL MINIMUM GENTLE GRADING
TO APPROXIMATELY 360' ELEVATION AS NEEDED TO
ACHIEVE SUITABLE SLOPES FOR RECREATION FIELDS.
MINOR GRADING WILL REDUCE MANMADE WETLANDS
AND WILL WORK WITH EXISTING WETLANDS.
ALL CLEARING WILL BE SUBSEQUENTLY STABILIZED WITH
GRASS. NO CLEARING WITHIN WETLANDS AND WETLAND
BUFFERS.

GRADING NOTE

update the following to
"grading note" with the
additional info at the bottom
added to the existing

GRADING IS SHOWN ON SITE PLAN AND
HAS BEEN PROPOSED AND REVIEWED
BY VANGUILDER ENGINEERING. PLACE
FILL WHERE STUMPS ARE REMOVED.

LEGEND:

.....25' WETLAND BUFFER

SPLIT RAIL FENCE ALONG
WETLAND BUFFER. ALL
TREES WITHIN THIS AREA
WILL BE CLEARED. ASIDE
FROM THOSE SELECTED FOR
PRESERVATION.

.....RESIDENTIAL BUFFER

.....WETLAND

12" CMP12" DIAMETER CORRUGATED
METAL PIPE

.....PROPOSED TOPOGRAPHY
CONTOUR

.....CURRENT TOPOGRAPHY
CONTOUR

.....TOWN OF NISKAYUNA EASEMENT

THIS IS THE ONLY EASEMENT PER TOWN ENGINEER

replace tree preservation note with the following:
TREE PRESERVATION: 3 large oaks in the vicinity of the
pavilion and 7 to 8 large white pines noted within the limits of
clearing shall be retained and protected during and after
construction and grading. Additionally, developer shall mark
trees to be preserved with flagging and safeguard them by
such high visibility barriers or other protective measures as
shall effectively prevent injury to the tree and its root system
during construction, due to such causes as soil compaction,
grade change, root severance, drainage change, soil
chemistry change and trunk and limb impact change. The
developer shall provide, that trees to be preserved are
inspected for tree condition and tree protection adequacy at
four stages, as applicable, in the course of development: prior
to site disturbance, prior to subdivision plat plan final approval,
prior to the issuance of a building permit and prior to certificate
of occupancy issuance. The inspection shall be conducted by
a member of the American Society of Consulting Arborists or
by a qualified professional trained and experienced in tree
preservation as approved by the Tree Council. The inspector
shall provide directly to the Town Enforcement Officer a copy
of the inspection report. The report shall contain such
information as determined by the Tree Council as sufficient to
evaluate the condition of trees designated for preservation and
shall be certified as true and accurate by the inspector. No
appropriation or authorization for action shall occur until the
Town Enforcement Officer certifies that the inspection report is
satisfactory. Prior to continued development or the issuance of
a certificate of occupancy, the developer shall provide to the
Town moneys equal to the value of any tree designated for
preservation that is removed or injured or that died as a result
of construction.

PLANTING PLAN: A line of trees from Balltown Road along
the property line with the adjacent southern neighbor will be
planted to offset clearing. See location map as this area is not
within the site plan depiction.

| RECORD OF WORK: | | BY: |
|-----------------|---|-----|
| DATE: | DESCRIPTION: | PJB |
| 8/15/22 | WETLANDS, BERM, GRADES, CALLOUTS | |
| 11/21/22 | NOTE PER TREES BERM CONTOURS CONTOUR EDITS LEGEND UPDATE | |
| | TITLE BLOCK INFO. | |

| | |
|--|--|
| TRINITY BAPTIST CHURCH CHURCH REPRESENTATIVE. LARRY NOYES 518-378-3465 | 2635 BALLTOWN RD. NISKAYUNA, NY 12306 |
|--|--|

START DATE:

STAMP:

DATE: 08/15/2022

FILE:

PAGE CONTENT:

SITE PLAN, NOTES
LOCATION MAP,
LEGEND

DRAFTER:
PJB

ENGINEER:
CLIFTON
VANGUILDER

PAPER SIZE:
22X34

SCALE:
AS NOTED

SHEET:

1 OF 1

VanGuilder Engineering
333 Kingsley Rd Burnt Hills, NY 12027
(518) 491-3287
vanguildereng@gmail.com

WARNING:
IT IS A VIOLATION OF NEW YORK STATE
EDUCATION LAW FOR ANY PERSON UNLESS
ACTING UNDER THE DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER IN ANY
WAY ANY PLANS, SPECIFICATIONS, PLATS OR
REPORTS TO WHICH THE SEAL OF PROFESSIONAL
ENGINEER HAS BEEN APPLIED.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 2/13/2023

ITEM TITLE: DISCUSSION: 2837 Aqueduct Rd. (Rivers Ledge) – site plan app for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space.

PROJECT LEAD: Genghis Khan & Chris LaFlamme

APPLICANT: Chuck Pafundi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board
☒ OTHER: ARB (in process)

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

BACKGROUND INFORMATION

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

Phase 2 – Revision 1

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

Phase 2 – Revision 2

The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

Phase 2 – Revision 3

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.
3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.

4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL

Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:

The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*
- h) *The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

5/23/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and presented the Rev 3 version of the proposed Senior Center. He noted that since they last appeared before the

PB (11/8/21) their design team completely redesigned their approach. One of their primary goals was to break up the long length of the building with the use of a row house look and a variety of façade depths, colors, etc. He noted that they were able to maintain the requirement of 1 parking space for each apartment unit in the building. PB members noticed and commented on the height of the building being 41' (35' is max. allowed per zoning code) and would therefore still require a variance. The PB suggested that Mr. Pafundi utilize a mixture of roof lines – dormers, gable, mansard roof, etc. to soften the building appearance.

Mr. Pafundi stated that he can have his architects and civil engineers work together to create a rendering of how the building will appear with the existing trees and vegetation around it. Mr. Pafundi noted that he is working with the Army Corps of Engineers regarding wetlands.

The PB established the following action items.

- Applicant – work with design team regarding the PB's façade comments
 - Create a rendering showing proposed building with exiting trees around it to help w/scale
 - Explore ways to shorten the height of the building and also make it appear shorter
- PO – schedule a review with the ARB
- PO – provide pictures of Notts Landing to Mr. Pafundi

On Monday June 6, 2022 Mr. Pafundi emailed the Planning Office stating that he and his design team evaluated the following 3 design options.

1. Reduce the height of the building to comply with the 35' maximum zoning code height.
2. Employ design features such as dormers, gable roofs, mansard roofs, etc. to reduce the visual impact of a building that is taller than 35'. (Make the building appear <= 35').
3. Proceed with the design as it was presented at the 5/23/22 PB meeting and request a variance for building height from the Zoning Board of Appeals (ZBA).

In the email Mr. Pafundi stated that they would like to proceed with option 3. A scaled rendering of the 41' high building and the surrounding trees was also provided.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office described the details of the Rev 3 version of the proposed Senior Center Building to the CAC. After an engaged discussion the CAC members concurred on offering the following suggestions.

- They would like to see what a 2 story rendition would like that complies with the 35' height requirement because they are concerned about the height.
- They asked for green energy practices to be utilized – solar, EV charging stations, etc.
- They asked the Planning Board to require pesticide free maintenance of the building grounds, especially with all the wetland around
- They asked for a path or walkway to connect all of the buildings, including the small commercial building, to the bike path.
- They requested outdoor seating and outdoor recreation space for the senior center building and outdoor seating for the commercial building.
- They appreciated the reduction in wetland impacts.

6/13/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and explained that the developer would like to pursue approval of the 41' high building as shown in the "Rev 3" design. He noted that their design team believes the extra 6' ($41 - 35 = 6$) of building height allows for a more residential looking pitched roof design. He requested that the Planning Board proceed with the "Rev 3" design and make a recommendation either for or against the design so that he could pursue an area variance for 6 additional feet of building height with the ZBA. Ms. Robertson displayed the colored rendering that was included in the PB meeting packet that showed a scaled side elevation view of the building including the nearby trees. After discussion the PB requested the following additional detail for the 7/11/22 PB meeting and agreed to make a recommendation on the ZBA application at that meeting.

6/15/22 Architectural Review Board (ARB) meeting – the ARB reviewed the most recent images of the building and discussed the upcoming ZBA meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – Mr. Pafundi attended the meeting and repeated the presentation he made to the Planning Board at their 6/13/22 meeting. He responded to each of the CAC's requests from their 6/8/22 meeting and explained why some could be implemented and why others could not. Mr. Pafundi and the CAC discussed several potential additions to the site plan including the following.

- Add a sidewalk and cross walk that connects the small commercial building that is part of the Senior Center site plan to the bike path.
- Add an outdoor seating and potentially dining area between the Senior Center and River Run Drive.
- Add more landscape screening between the Senior Center building and Aqueduct Road
 - Utilize a mixture of evergreen and deciduous trees
 - Retain as many existing trees as possible
- Utilize pesticide free landscaping practices

Mr. Pafundi noted that he is working with his team to produce architectural renderings of the Senior Center as viewed from the Rexford side of the Mohawk River. The Planning Board previously asked for renderings that show where the air conditioning units will be located on the buildings.

7/11/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and addressed the questions that were raised at the 6/13/22 PB meeting. He confirmed that the HVAC units will not be visible from the sidewalks, streets or anywhere outside and around the building. He noted that the design team is still working on preparing renderings of how the proposed Senior Center building will appear when viewed from the Alplaus side of the Mohawk River. He expected to have the renderings in time for the 8/24/22 ZBA meeting. He also noted that the final package has been submitted to the Army Corps of Engineers and that the first comments from the Town's TDE were received on 7/7/22. The PB inquired about how the "barbell" ends of the building connect with the main building roofline. Mr. D'Arpino requested an aerial roof plan. Mr. Pafundi agreed to provide the plan. The PB discussed the effect on the comprehensive plan, the suitability of use and then recommended with a vote of 7-0 that the ZBA grant the requested area variance for building height.

8/3/22 Schenectady County Planning and Zoning Coordination Referral – The Commissioner of Economic Development and Planning received the Town's referral and approved the proposal on 8/3/22.

8/17/22 Architectural Review Board (ARB) – The ARB reviewed the most recent documents and renderings of the proposed Senior Center at their 8/17/22 meeting. The Planning Office had prepared a Power Point presentation of several existing “row house” type buildings in the Capital District for reference. The presentation includes buildings in Ballston Spa, Saratoga, Green Island as well as generic “row house images” that were obtained with a simple Goggle search. The ARB still has concerns regarding the mass and scaling of the buildings. They agreed that a roofline plan is necessary to assess how the building would be constructed and how it would appear from various viewing angles. The ARB agreed to schedule a follow up working session with Mr. Pafundi and HCP Architects.

8/24/22 ZBA meeting – The Zoning Board of Appeals reviewed the application for an area variance for 6 additional feet of building height and granted the variance at their 8/24/22 meeting. They requested that the applicant work with the Planning Board to remove white siding from the proposed new building (per Alplaus resident request at meeting).

8/29/22 Planning Board (PB) meeting – Mr. Pafundi was not able to attend the 8/29/22 PB meeting. Chairman Walsh and Ms. Robertson updated the Board regarding the ZBA’s granting of the area variance for building height. The PO and PB discussed the next steps for the project and the outstanding action items from the 7/11/22 PB meeting.

Mr. Pafundi and his engineer Mr. Steenburgh submitted a “site section view” drawing to the Planning Office on 9/8/22. The drawing shows a cross section view of an elevation view of the Alplaus side of the Mohawk River, the Mohawk River, and the Niskayuna side of the Mohawk River. The drawing shows the general elevation differences between the homes on the Alplaus side of the river and the Rivers Ledge site. The Planning Office reviewed their notes from previous meetings and compiled the following list of open action items for review at the 9/12/22 meeting.

1. Add a sidewalk and cross walk that connects the small commercial building to the existing bike path.
2. Add outdoor seating / dining area between the Sr. Center and River Run Drive.
3. Add more landscape screening between the Sr. Center building and Aqueduct Rd.
 - a. Utilize a mixture of evergreen and deciduous trees.
 - b. Retain as many existing trees as possible.
4. Per resolution 2021-31 Condition 3 (h) install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.
5. Remove white siding from the proposed buildings.
6. Provide a roof plan for the Sr. Center building.
7. Meet with the ARB to continue to refine the façade design of the building.

9/12/22 Planning Board (PB) meeting – Mr. Steenburgh attended the meeting on behalf of the applicant. Ms. Robertson informed the PB that the area variance for a building height of 41’ (6’ variance) was approved by the ZBA at their 8/24/22 meeting. Ms. Robertson noted that nearby residents had requested that white siding not be used on the Senior Center building due to the high level of reflectiveness and brightness. Mr. Steenburgh agreed. He also noted that a roof plan will be provided for the 10/3/22 meeting.

A roof plan drawing was received and is included in the meeting packet.

10/3/22 Planning Board (PB) meeting – There were no representatives on behalf of the applicant at the meeting. The PB briefly discussed the roof plan. Mr. D'Arpino explained how the HVAC system will be stored and concealed. The Planning Office noted that the Weston and Sampson engineering firm has been selected as the TDE for the project. The PB requested additional information and details for the smaller 3,000 sq. ft. building.

On 1/10/23 Mr. Steenburgh emailed the Planning Office stating that construction costs associated with the underground parking have made the project cost prohibitive. The email includes a revised sketch plan that includes 55 car port parking spaces to meet the one covered space per unit as required in the Town zoning code. The revision status of the drawing was not changed but a hard copy version is stamped "Received Jan 10 2023 Planning Office Niskayuna, NY" and saved in the paper folder archives. The sketch plan now includes 55 covered parking spaces and 69 uncovered parking spaces.

A new 23-page design package entitled "Exterior Perspective – View from Aqueduct Road, Rivers Ledge Development Senior Building, Aqueduct Road, Niskayuna, NY 12309 by HCP Architects dated 12/12/22 was also included with the email. The design package includes renderings of the exterior of the revised building, window and siding specifications, interior floor plans and manufacturer's spec. sheets for several other key components of the proposed design.

While the Planning Office does not object to changing the parking to above ground, the Board should explore the visual change/impact to the Mohawk Hudson Bike Hike Trail, what the materials for the proposed garages would be, whether the main building height can be lowered as a result of the loss of the underground parking, what the impact is to landscaping and screening. The PO notes the conditions for Phase 2 of the PUD includes:

1. Preserving and protected the rural character of Aqueduct Road
2. Mitigate the loss of wetlands with landscaping and protect northern long-eared bat trees
3. Reduce impacts to wetlands (as proposed one building reduces impacts)
4. Construct a public parking lot (shown in proposed plan)
5. Explore transit opportunities / bus stop on premises
6. Meet multi-family dwelling regulations wherever possible
7. Install a sidewalk from the edge of Rivers Ledge property line down Aqueduct road to the entrance to Aqueduct Park on Aqueduct Road (not shown)

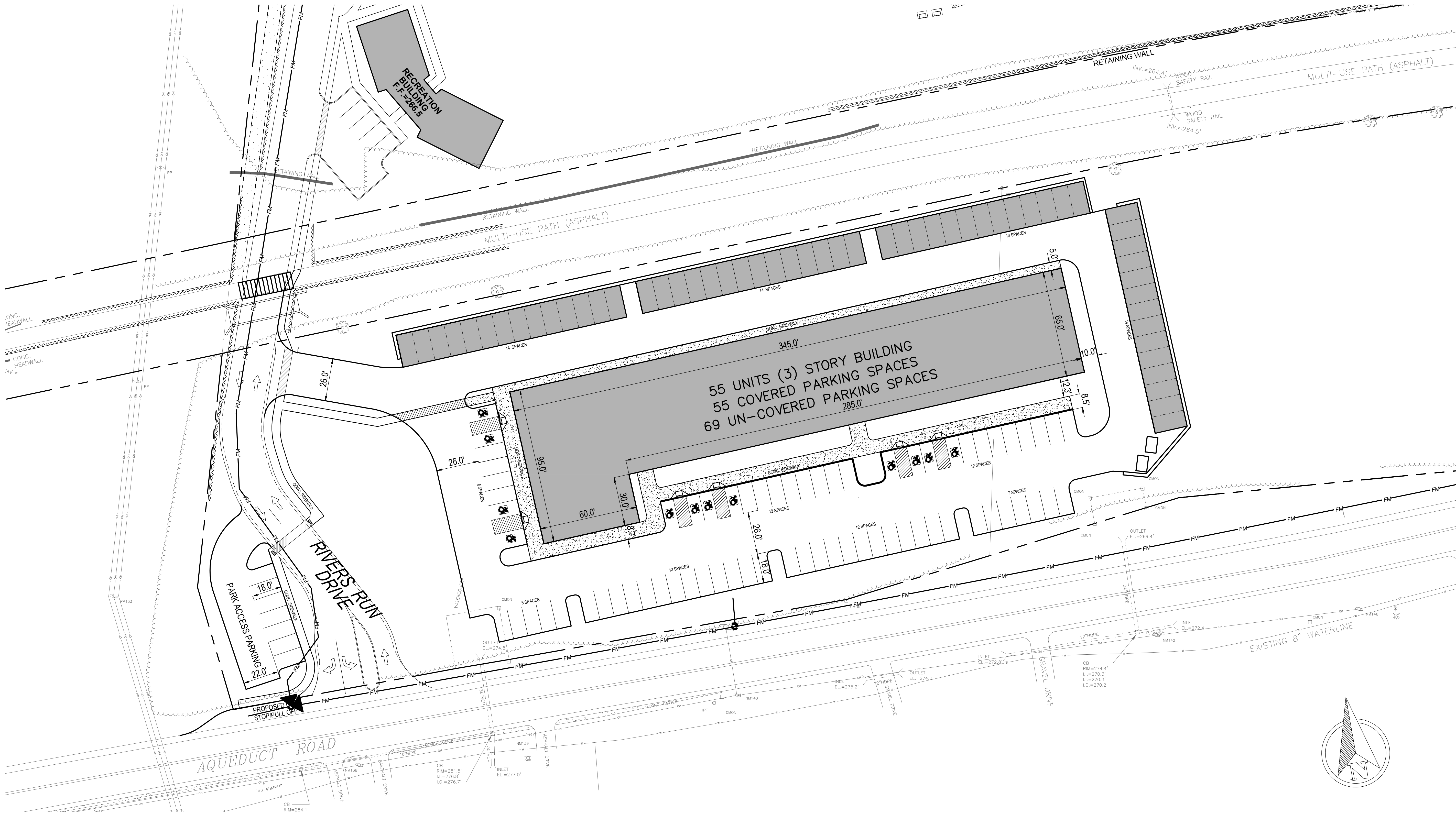
The Board should review and discuss the revised design.

SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 55 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 124 SPACES
GARAGE SPACES = 55 SPACES
OUTDOOR SPACES = 69 SPACES
BUILDING HEIGHT - 41'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

LEGEND

- | | | | |
|---|---|----|-------------------------|
| 1 | HANDICAP RAMP PER ADA STANDARDS | 10 | BEGIN GUIDE RAIL |
| 2 | CONCRETE SIDEWALK | 11 | END GUIDE RAIL |
| 3 | BEGIN CURB | 12 | CROSSWALK |
| 4 | END CURB | 13 | CONNECT TO EX. SIDEWALK |
| 5 | HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P) | 14 | DUMPSTER ENCLOSURE |
| 6 | STOP SIGN (MUTCD R1-1 MIN. 30" X 30") | | |
| 7 | NO PARKING ANYTIME SIGN (MUTCD R7-1) | | |
| 8 | BEGIN RETAINING WALL | | |
| 9 | END RETAINING WALL | | |



Scaling off these drawings shall be done only for review and approval purposes. Contractors shall be responsible for obtaining accurate data only for layout and construction.
Unauthorized alterations or additions to these drawings are prohibited.
Sub. 2 of the NYS Education Law, § 209
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bsteenburghp@gmail.com
**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

SKETCH PLAN
PHASE 2 - RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD
COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK
DRAWN BY: [blank] CHECKED BY: [blank] SCALE: 1" = 30'
CADD FILE: [blank] JOB NO. [blank]
DATE: MAY 11, 2022
SHEET S-1

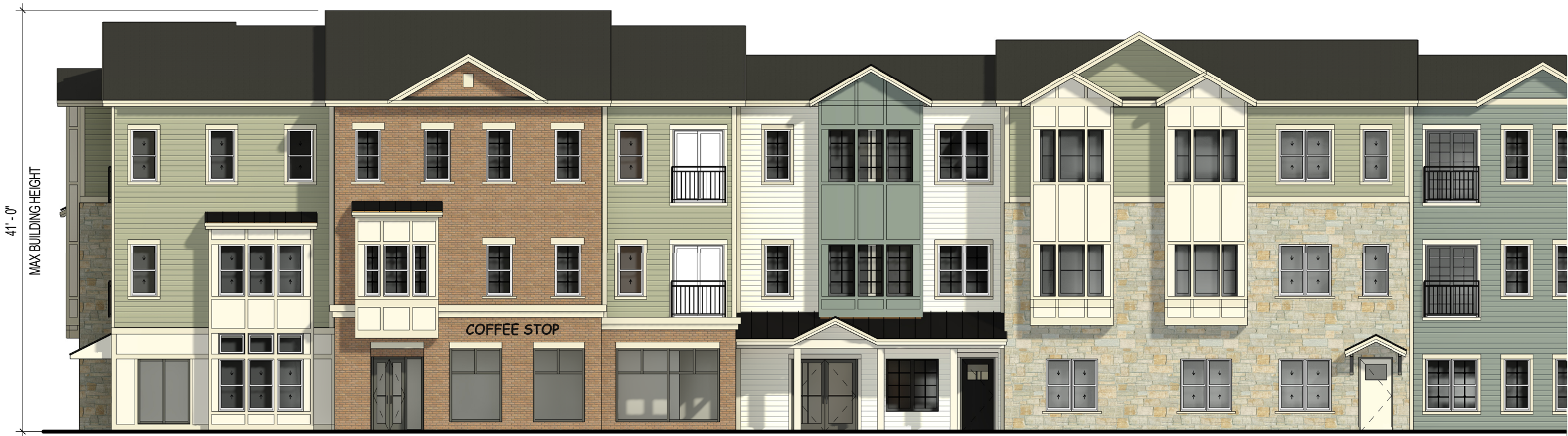
BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.



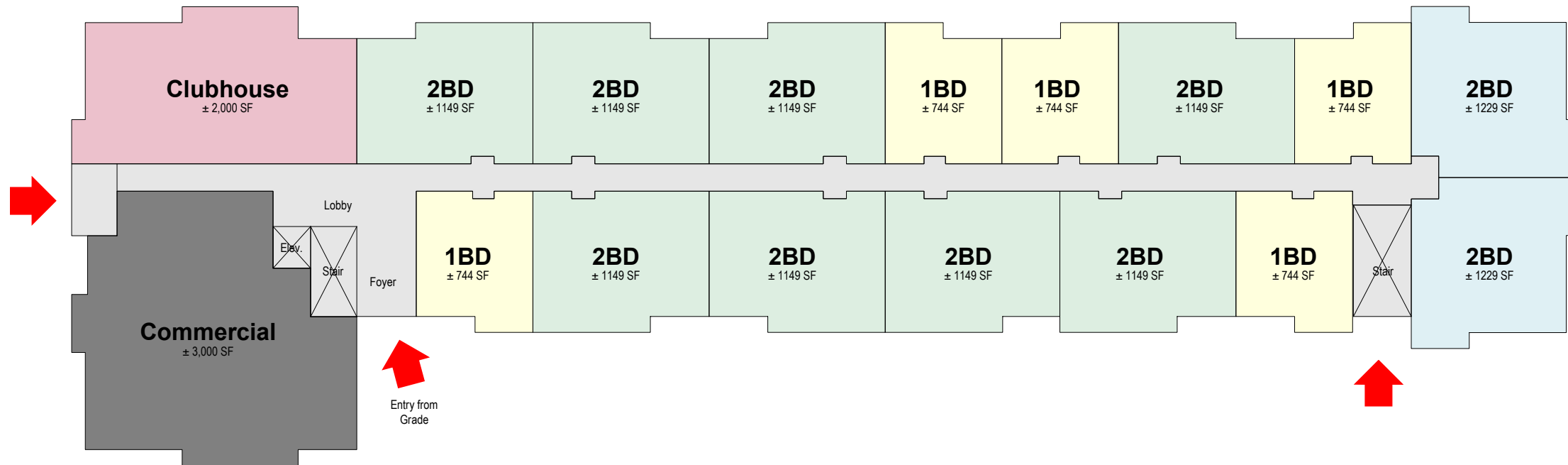
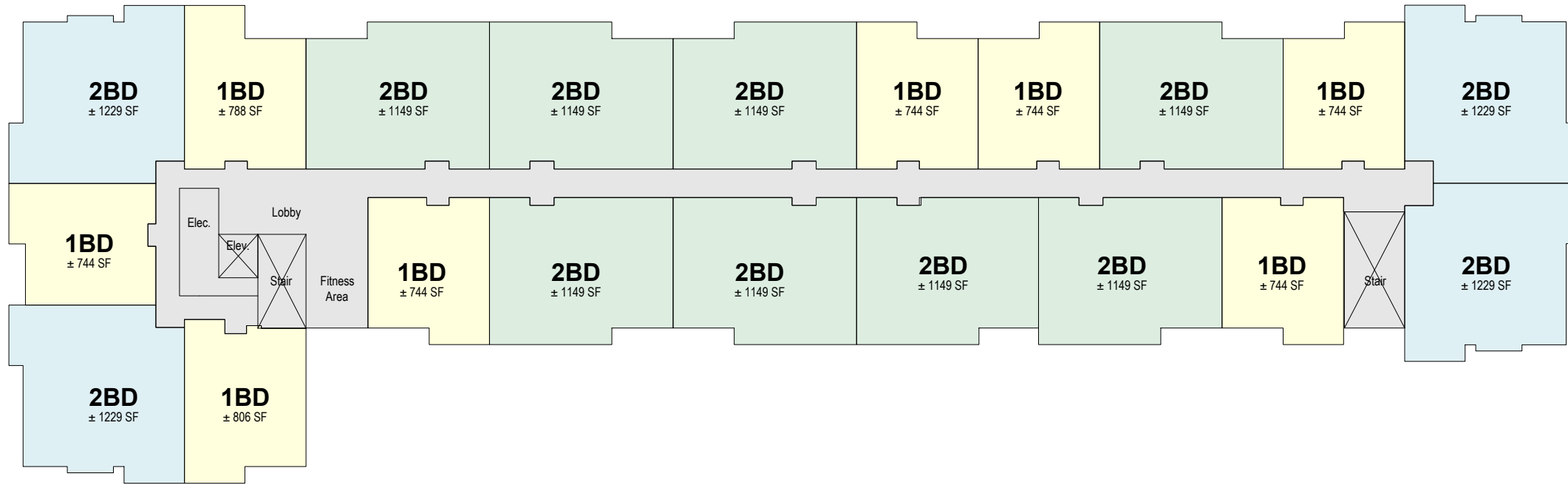
| EXTERIOR CLADDING SPECIFICATIONS | WINDOW SPECIFICATIONS |
|---|--|
| <p><u>CULTURED STONE VENEER:</u></p> <ul style="list-style-type: none"> CASA DI SASSI <ul style="list-style-type: none"> VOLTERRA TURIN <p><u>EIFS BRICK</u></p> <ul style="list-style-type: none"> STOCREATIV BRICK <ul style="list-style-type: none"> OHIO STANDARD BRICK COLOR: VARIES <p><u>SIDING / TRIM:</u></p> <ul style="list-style-type: none"> JAMES HARDIE FIBER CEMENT 7" SMOOTH LAP SIDING <ul style="list-style-type: none"> COLOR: VARIES VERTICAL & PANEL SIDING <ul style="list-style-type: none"> COLOR: VARIES TRIM, FASCIA & SOFFITS <ul style="list-style-type: none"> COLOR: VARIES <p><u>STANDING SEAM METAL ROOF - DORMERS & SHED ROOFS:</u></p> <ul style="list-style-type: none"> ATAS 2" FIELD-LOK <ul style="list-style-type: none"> COLOR: BLACK <p><u>ROOFING:</u></p> <ul style="list-style-type: none"> GAF TIMBERLINE HDZ ARCHTIECTURAL ASPHALT SHINGLES <ul style="list-style-type: none"> COLOR: WEATEHRED WOOD | <p><u>WINDOWS:</u></p> <ul style="list-style-type: none"> ANDERSEN 100 SERIES OR EQUAL SINGLE HUNG: (2) 2'-6" X 5'-0" <ul style="list-style-type: none"> EXT. COLOR: VARIES INT. COLOR: WHITE <p><u>SLIDING PATIO DOORS</u></p> <ul style="list-style-type: none"> ANDERSEN 100 SERIES OR EQUAL GLIDING PATIO DOOR: 8'-0"w X 7'-0"h <ul style="list-style-type: none"> EXT. COLOR: VARIES INT. COLOR: WHITE <p><u>BUILDING ENTRANCES:</u></p> <ul style="list-style-type: none"> KAWNEER 350 MEDIUM STILE ALUMINUM ENTRANCES 3-1/2" VERTICAL STILES AND TOP RAILS 10" HIGH BOTTOM RAIL ALUMINUM FINISH: PERMAFLUOR, VARIES |



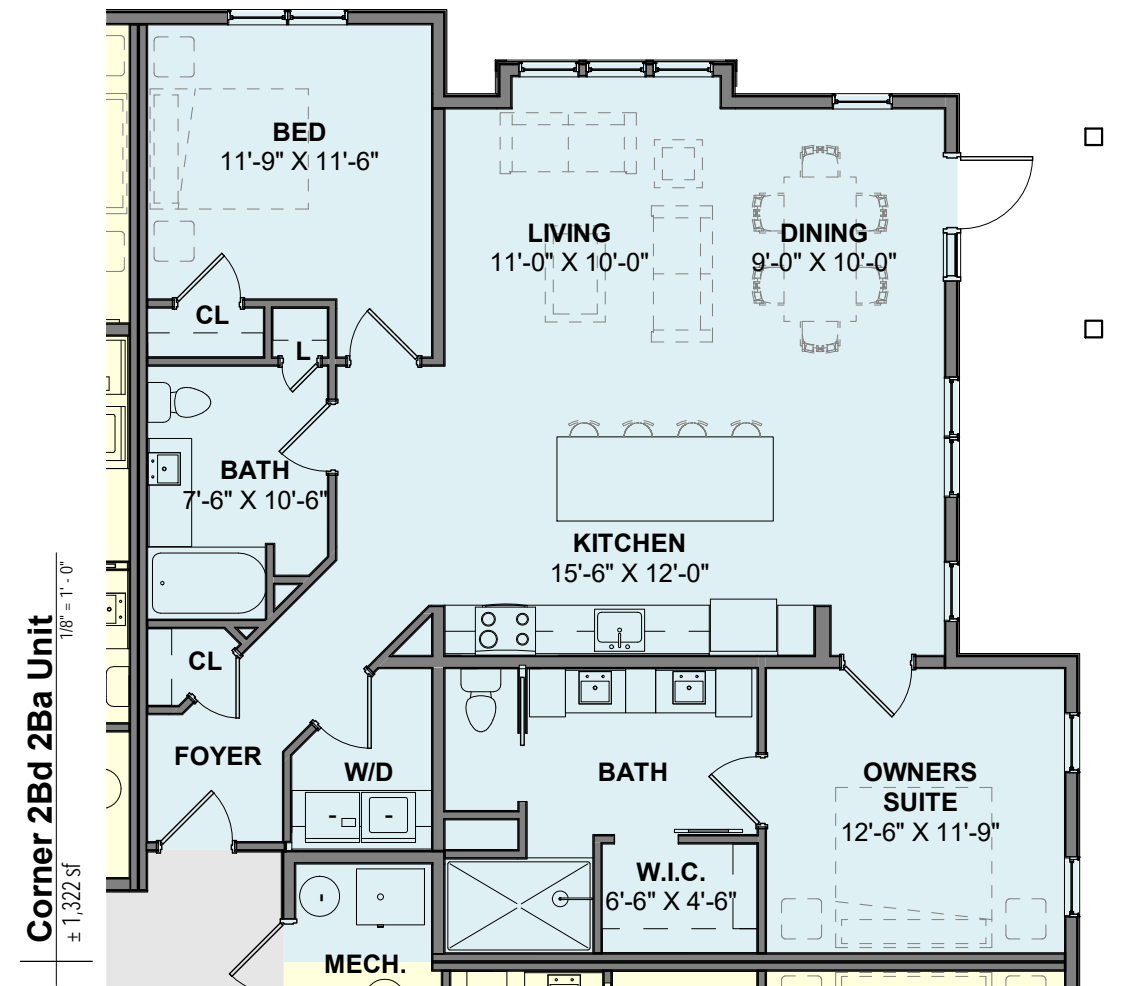
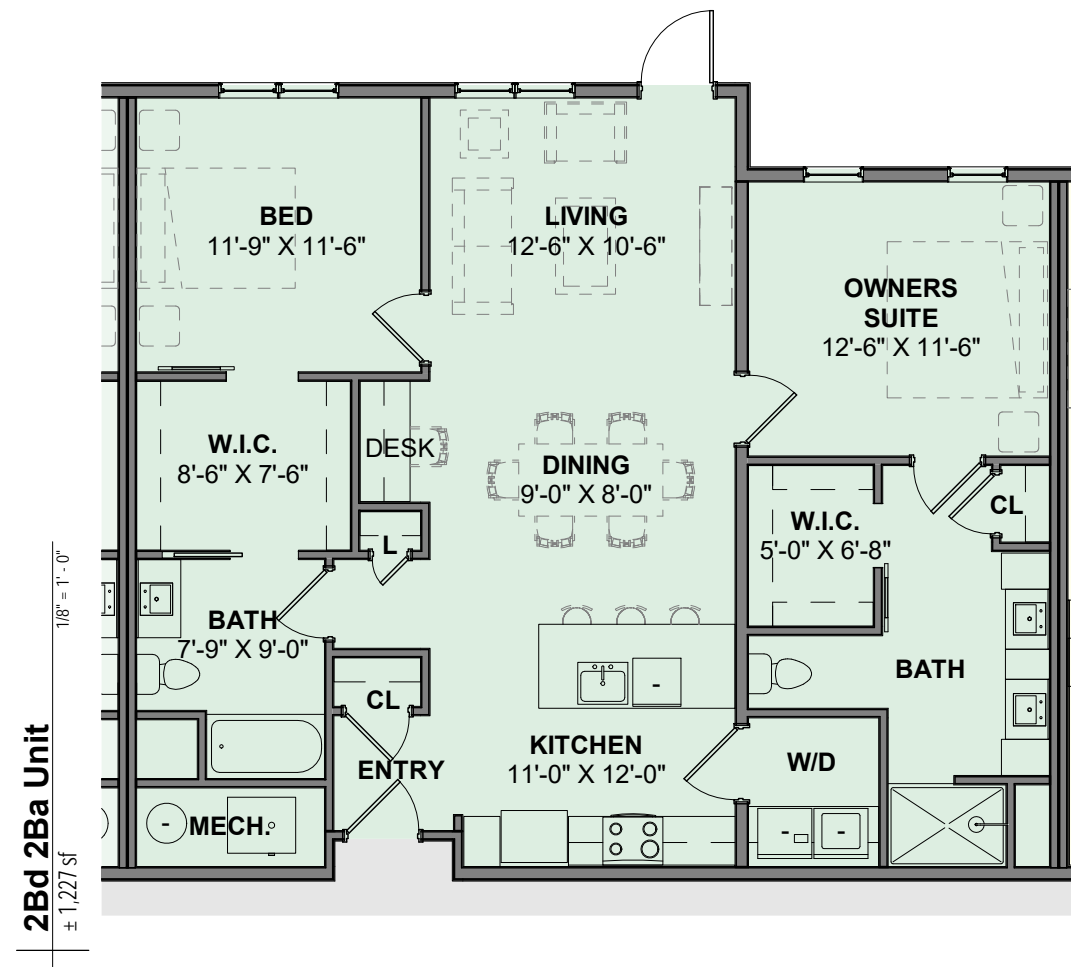
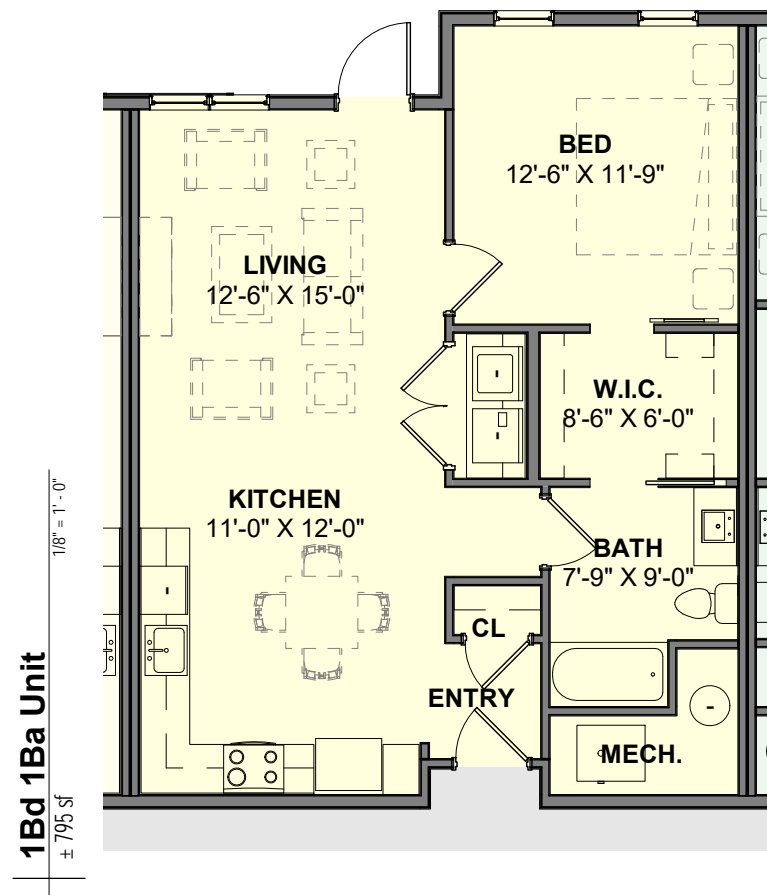
West Elevation



South Elevation - West Wing



| Unit Count Matrix | | | |
|-------------------|-----------|-----------|------------|
| | 1 Bedroom | 2 Bedroom | |
| First Floor | 5 | 10 | ± 55 Units |
| Second Floor | 8 | 12 | |
| Third Floor | 8 | 12 | |
| Total | 21 | 34 | |





VOLTERRA



Niveo



Terracina



Turin



CASA DI SASSI'S Volterra has a historically classic appearance and consists of stones hewed in rectangular shapes with unique textures and ruggedness. The stone heights enable ease of installation and coursing.

Left: Turin Volterra

Top: Niveo Volterra

ACCENTS



Keystone
8" x 5" x 10"



Trim Stone
6" x 8"



Watertable
3" x 3" x 24"

CAPS



Flat Wall Cap
W: 10", 12", 14", 16" & 18"
L: 23.5"



Chiseled Cap
W: 14", 18", 22", 24" & 31"



Natural Cap
18" x 24", 18" x 36" and
24" x 24"

BRACKETS



Wood Bracket
6" x 6.25"
Available in Brown and Grey



Stone Bracket
2.5" x 11"

MANTELS



Barn Beam Mantel



Barn Beam Mantel
60" x 8.5" x 6" (L x W x H)
Available in Brown and Grey



Wood Grain Mantel
60" x 8.5" x 6"
Available in Brown and Grey



Stone Mantel
60" x 10" x 2.5"

UTILITIES



Light Block

10" x 15"

4" Hole



Small Light Block

8" x 10"

4" Hole



Double Receptacle

8" x 8"



Single Receptacle

6" x 8"



Hose Bib

5" x 5"

1.5" Hole

HEARTHSTONES



20" x 20" x 2"

ACCESSORY COLOR GUIDE



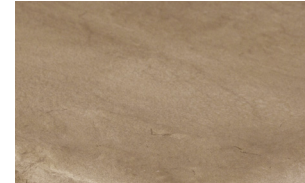
Cream



Fumo



Mezzo



Sage



Terra

| Limestone | |
|-----------|--------------------|
| Imperia | Cream, Sage, Terra |
| Salerno | Cream, Sage, Terra |

| EZ Ledge | |
|----------|--------------------|
| Bergamo | Sage, Terra |
| Cremona | Fumo, Mezzo |
| Gola | Mezzo, Sage, Terra |
| Matera | Mezzo, Sage, Terra |
| Niveo | Cream |

| Kwik Stack | |
|------------|--------------------|
| Carbone | Fumo, Mezzo |
| Matera | Mezzo, Sage, Terra |
| Niveo | Cream |

| Blends | |
|-----------|--------------|
| Bella | Mezzo, Sage |
| Bianco | Cream |
| Bolzano | Cream, Mezzo |
| Cremona | Fumo, Mezzo |
| Terracina | Sage, Terra |

| Fieldstone | |
|------------|--------------------|
| Gola | Mezzo, Sage, Terra |
| Legno | Cream, Sage, Terra |
| Monte | Sage, Terra |

| Granite | |
|---------|--------------|
| Luce | Cream, Terra |

| Old World | |
|-----------|--------------------|
| Bella | Mezzo, Sage |
| Dorato | Cream, Terra |
| Euro | Cream, Sage, Terra |
| Grigio | Fumo, Mezzo, Sage |
| Turin | Fumo, Mezzo |

| Volterra | |
|-----------|-------------|
| Niveo | Cream |
| Turin | Fumo, Mezzo |
| Terracina | Sage, Terra |

| Brick | |
|-------|-------------|
| Neve | Cream |
| Rosso | Fumo, Mezzo |

| Ledgestone | |
|------------|--------------------|
| Bella | Mezzo, Sage |
| Carbone | Fumo, Mezzo |
| Cremona | Fumo, Mezzo |
| Gola | Mezzo, Sage, Terra |
| Matera | Mezzo, Sage, Terra |
| Monte | Sage, Terra |
| Murano | Sage, Terra |

| Country Rubble | |
|----------------|--------------------|
| Matera | Mezzo, Sage, Terra |
| Murano | Sage, Terra |
| Turin | Fumo, Mezzo |

| Barnstone | |
|-----------|-------------|
| Catania | Sage, Terra |



StoCreativ® Brick

The classic look of brick in a lightweight, energy-efficient cladding.

StoCreativ® Brick is a cost-effective, easy-to-apply decorative wall finish system that can be used over any Sto cladding or other prepared exterior surface including Stucco, EIFS, Tilt-up and CMU to achieve the classic look of brick.

Using self-adhering stencils applied over a primer layer to create the appearance of mortar, this simple finish system offers a sustainable alternative to heavier brick, while avoiding the hassle of dealing with multiple trades and cumbersome accessories.

Available with a variety of brick patterns and color options for both the finish layer and mortar, StoCreativ® Brick is a lightweight, single source system, ideal for new construction and restoration.



StoCreativ® Brick Benefits:

A cost-effective, time-efficient process to achieve the classic look of brick

- Light weight decorative finish system which can reduce costly structural requirements needed for heavier claddings
- Quick and simple application process using self-adhering stencils; doesn't require highly-specialized labor or expensive accessories
- Easy to install even in tight spaces where brick and other heavier claddings just won't work; ideal for restoration of buildings in urban areas
- StoCreativ® Brick is ready to install when you need it; no time wasted waiting for custom colors or special orders

Sustainable, 'single source' system for increased energy-efficiency and greater peace of mind

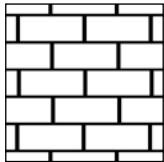
- StoCreativ® Brick can be installed over any continuous insulation (ci) wall system from Sto, thus providing a proven and hassle-free 'single source' solution to meet ASHRAE design standard 90.1-2010 and the new IGCC/IECC* energy code requirements.
- Light-weight system which creates less solid waste in production and at end-of-life than heavier claddings
- Can be combined with other Sto finishes for multi-cladding aesthetics, thus avoiding the hassle of dealing on the jobsite with multiple suppliers and trades.

Exceptional design versatility

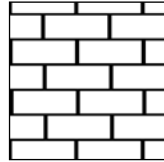
- Wide range of decorative and protective 100% Acrylic wall finishes in virtually unlimited colors
- By varying application technique and finish color combination, StoCreativ® Brick can be used to match any brick veneer texture including aged ones; perfect for building restoration.
- This lightweight wall finish system can also be used to create decorative custom shapes, virtually impossible to achieve with heavy claddings.

*IGCC: International Green Construction Code - IECC: International Energy Conservation Code

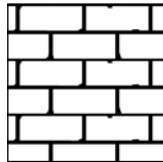
Available Brick Patterns



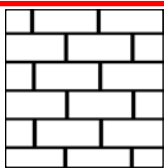
Utility Brick 3/8" (RP)



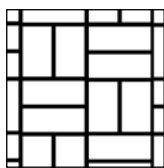
New York Brick 1/2" (RP)



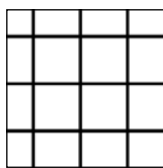
Used Wall Brick (RP)



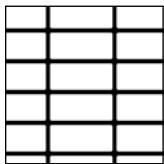
Ohio Standard Brick (RP)



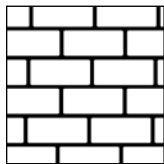
Block Pattern (RP)*



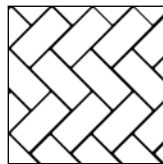
Square 8.5 (RP)*



Stack Ribbon Brick (RP)*



Baltimore Brick (RP)*



Herringbone (RP)*

RP: Recycled Plastics

*3 - 4 weeks lead time; Minimum order quantity applies.

| Sto New Name | Dimension (inches) | | Sheets Per Box | Coverage (Sq. Feet) |
|--------------------------|--------------------|-----------------------------|----------------|---------------------|
| | Width | Height x Mortar Joint Width | | |
| Utility Brick 3/8" (RP) | 11.5" | 3.625" x .375" | 32 | 480 |
| New York Brick 1/2" (RP) | 8" | 2.25" x .5" | 47 | 450 |
| Used Wall Brick (RP) | 7.75" | 2.5" x .375" | 32 | 480 |
| Ohio Standard Brick (RP) | 7.75" | 2.5" x .375" | 32 | 480 |
| Block Pattern (RP) | 8" | 3.75" x .5" | 37 | 480 |
| Square 8.5 (RP) | 7 7/8" | 7 7/8" x .5" | 37 | 480 |
| Stack Ribbon Brick (RP) | 8" | 3.5" x .5" | 32 | 480 |
| Baltimore Brick (RP) | 7.5" | 3.375" x .5" | 34 | 480 |
| Herringbone (RP) | 8" | 4" x .5" | 48 | 480 |

RP: Recycled Plastics

Sto Corp.

3800 Camp Creek Parkway
Building 1400, Suite 120
Atlanta, GA 30331

Phone: 404-346-3666
Toll Free: 1-800-221-2397
Fax: 404-346-3119
www.stocorp.com

5877 03/18

Sto | Building with conscience.

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Building with conscience.

StoCast Brick Color Collection

Resin Cast Brick



Creativity Begins. **Sto Finishes.**[®]

Brushed/Sand Faced Bricks



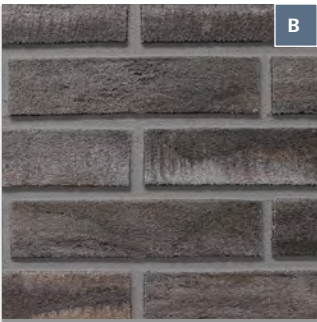
Albi S9.4936 ■ 13



Bordeaux S9.5317 ■ 10



Brighton S9.4748 ■ 12



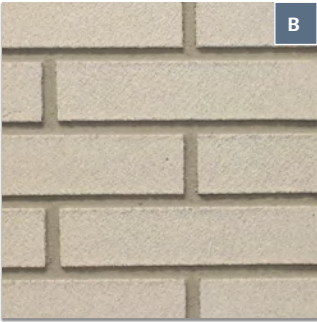
Durham S9.4824 ■ 10



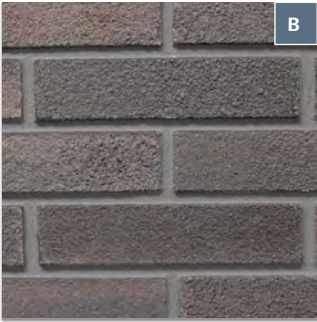
Leiria S9.7227 ■ 11



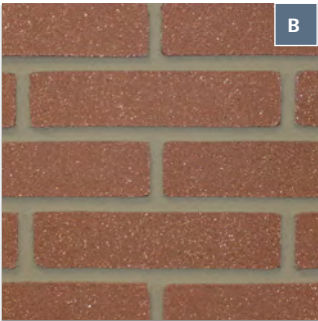
Mayfield S9.5895 ■ 90



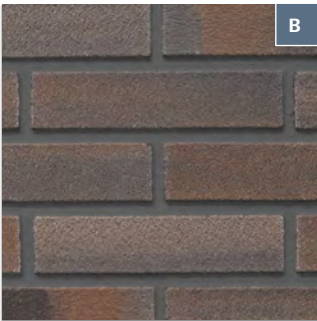
Milwaukee S9.5974 ■ 85



Princeton S9.8419 ■ 11



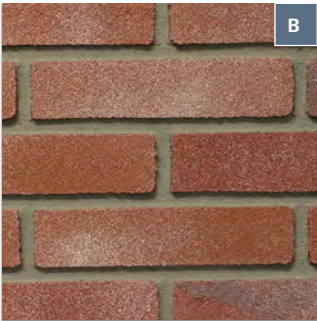
Richmond S9.6526 ■ 10



Salem S9.6597 ■ 11



Savannah S9.7341 ■ 15



St. Louis S9.5287 ■ 13

Heavy Texture



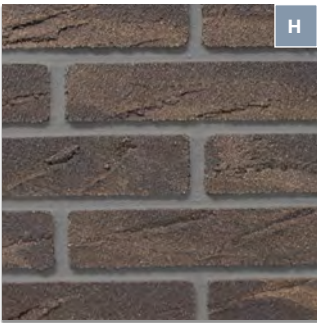
Toulouse S9.6689 ■ 10



Wexford S9.4865 ■ 13



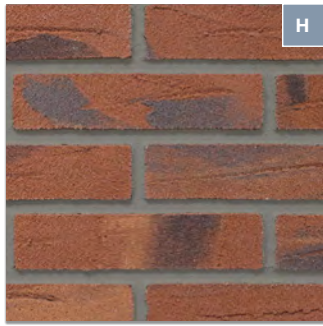
Arlington S9.3900 ■ 13



Bainbridge S9.5083 ■ 11

NOTE: Custom colors and custom matching are available in addition to these StoCast Brick standards. ■ 00 Light Reflective Value

Light Texture



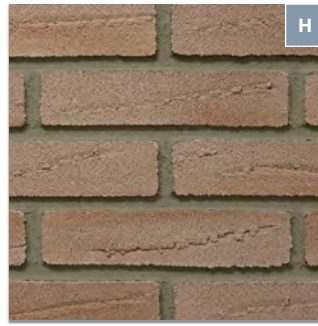
Cambridge S9.3488

■ 11



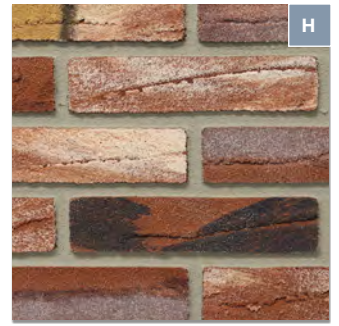
Davenport S9.3812

■ 65



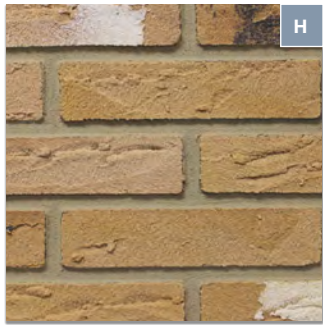
Kensington S9.5627

■ 35



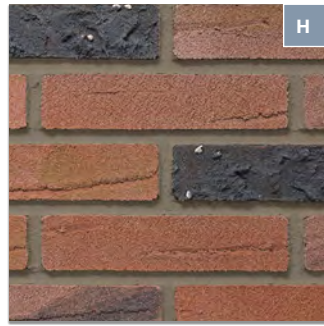
Newberry S9.4988

■ 13



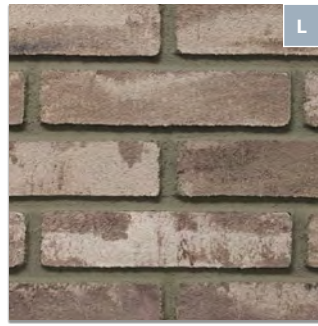
Westend S9.6527

■ 44



Winston S9.5575

■ 14



Harrison S9.6897

■ 11



Lexington S9.6683

■ 30

Light Texture

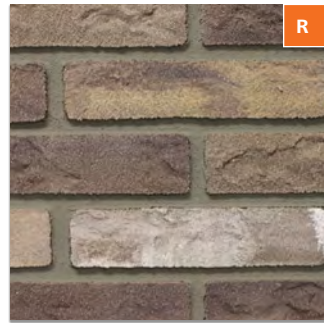
Rolled

Tumbled



Madison S9.4435

■ 33



Brandenburg S9.7094

■ 16



Portmarnock S9.6761

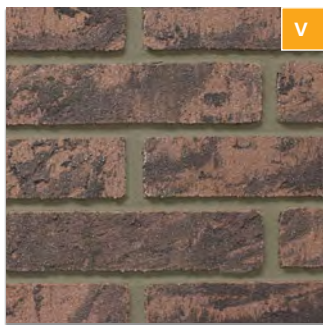
■ 20



Hamilton S9.6855

■ 18

Vertical/Blade Cut



Lubeck S9.6118

■ 17



Sunderland S9.4475

■ 15

- B Brushed/Sand Faced Bricks
- H Heavy Texture
- L Light Texture
- R Rolled
- T Tumbled
- V Vertical/Blade Cut

NOTE: Custom colors and custom matching are available in addition to these StoCast Brick standards.

■ 00 Light Reflective Value

Flexible, lightweight, sustainable and durable

StoCast Brick is a highly customizable and versatile facade aesthetic that can be used in a variety of wall systems, ceilings, and soffits in both new and existing construction.

StoCast Brick uses the same technology as Sto's traditional acrylic finishes and therefore allows for nearly endless possibilities for customized designs. By using StoCast Brick together with StoTherm® ci, it is possible to combine continuous thermal insulation with the appearance of a traditional brick facade and add design accents to any building

Wide range of looks and design options

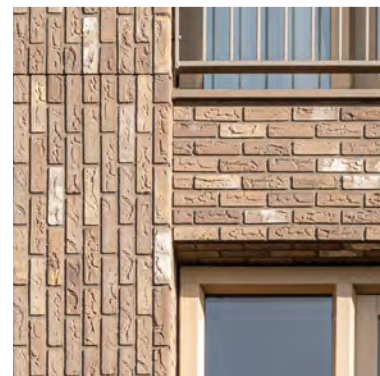
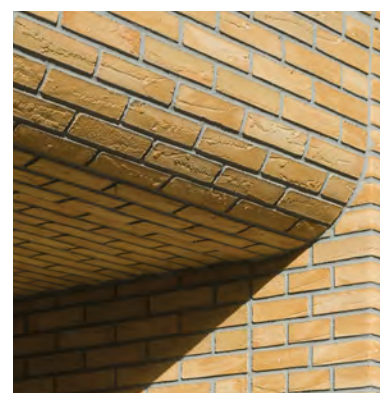
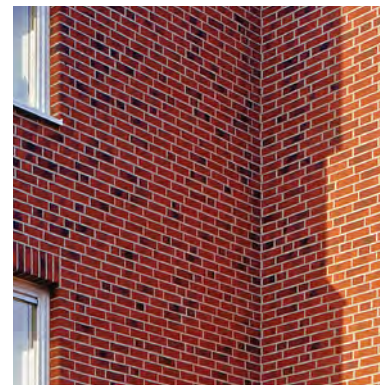
With 30 standard bricks and our custom matching abilities, our large selection of StoCast Brick works with any building style. Whether the design calls for a modern, traditional or rustic design, StoCast Brick is both classic and contemporary.

StoCast Brick joins a wide range of aesthetic options provided by Sto. Designers ask for design freedom but with the assurance that the entire building envelope will perform. With this new outstanding offer, architects can now add brick to the vast aesthetics options Sto offers, while enjoying the continuity and compatibility of the wall cladding throughout the entire building, no matter the aesthetic chosen.

Creativity Begins. **Sto Finishes.®**

Limitations

This chart offers a representation of StoCast Brick color. Actual color of manufactured product may vary slightly from the chart. Furthermore, samples may vary slightly in color and texture from production materials made for a particular job. It is always recommended to install a large sample wall area to assure desired results.



Sto Americas

Sto Corp.

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Building 1400, Suite 120
Atlanta, GA 30331
USA

Phone 1-800-221-2397
www.stocorp.com

ATTENTION

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STATEMENT COLLECTION™



ColorPlus® Technology

Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for the Northeast, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

HardiePlank
smooth & cedarmill

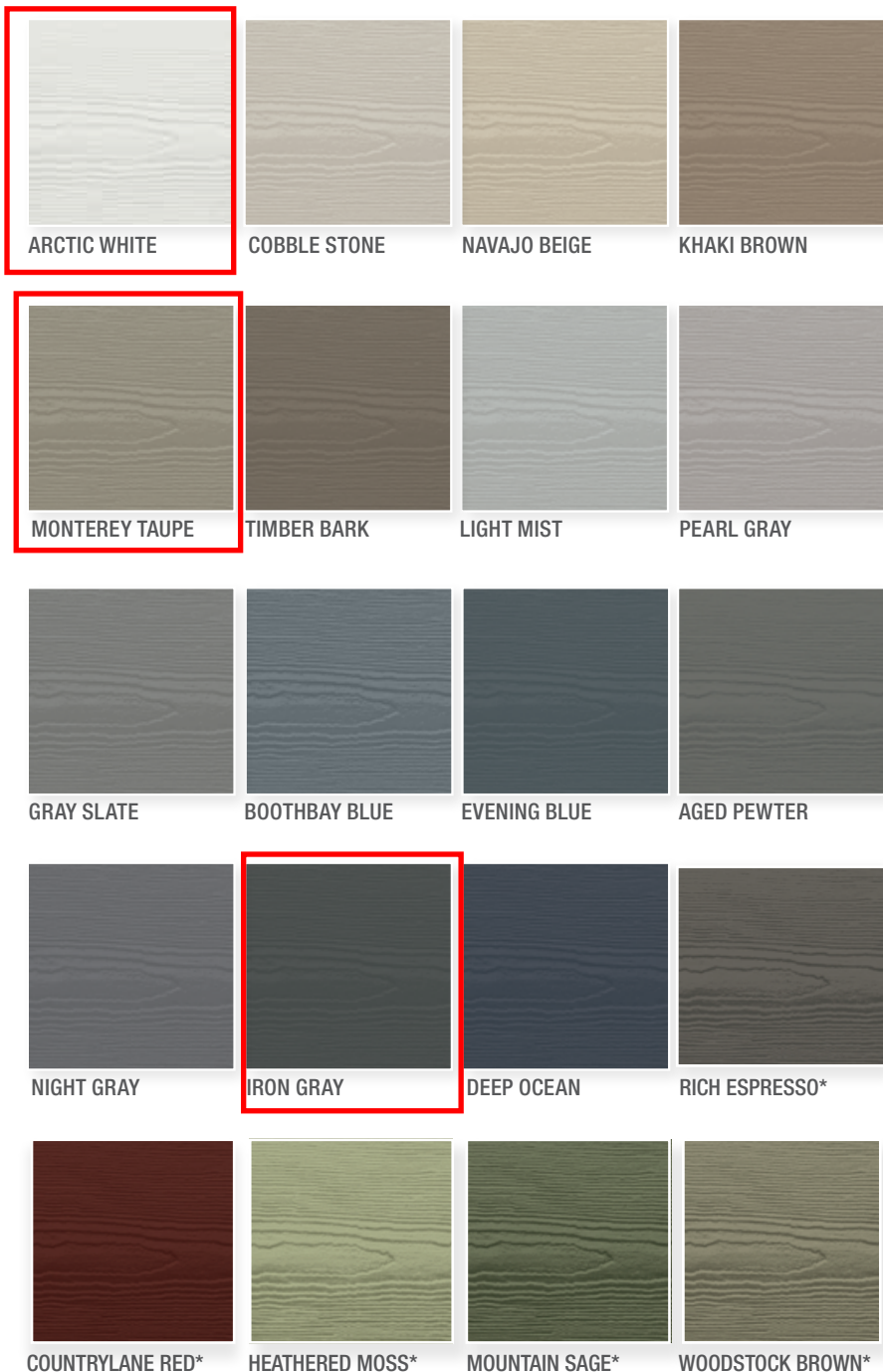
HardiePanel™
4' x 10'

HardieShingle™
5" & 7" exposure

*ADDITIONAL LEAD TIME MAY APPLY



Plank, Panel, Shingle and Battens Color Offering



Trim Color Offering



Colors shown are as accurate as printing methods will permit.
Please see actual product sample for true color.

HardiePlank®



SELECT CEDARMILL®

Width 6.25 in 8.25 in
Exposure 5 in 7 in

HardiePanel®



SELECT CEDARMILL®

Size 4 ft x 10 ft



SMOOTH

Width 6.25 in 8.25 in
Exposure 5 in 7 in



SMOOTH

Size 4 ft x 10 ft

HardieShingle®

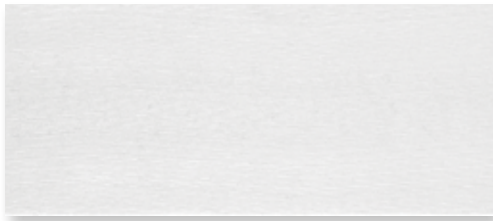


STRAIGHT EDGE PANEL

Height 14 in 15.25 in
Exposure 5 in 7 in

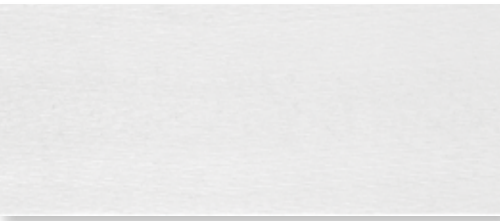
HardieTrim®

4/4 SMOOTH



Thickness .75 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in 11.25 in

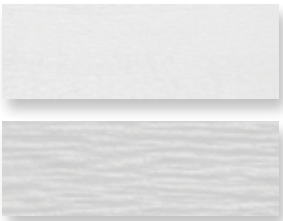
5/4 SMOOTH



Thickness 1 in
Length 12 ft boards
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

BATTEN BOARDS

4/4 SMOOTH & RUSTIC GRAIN®



.75 in
2.5 in



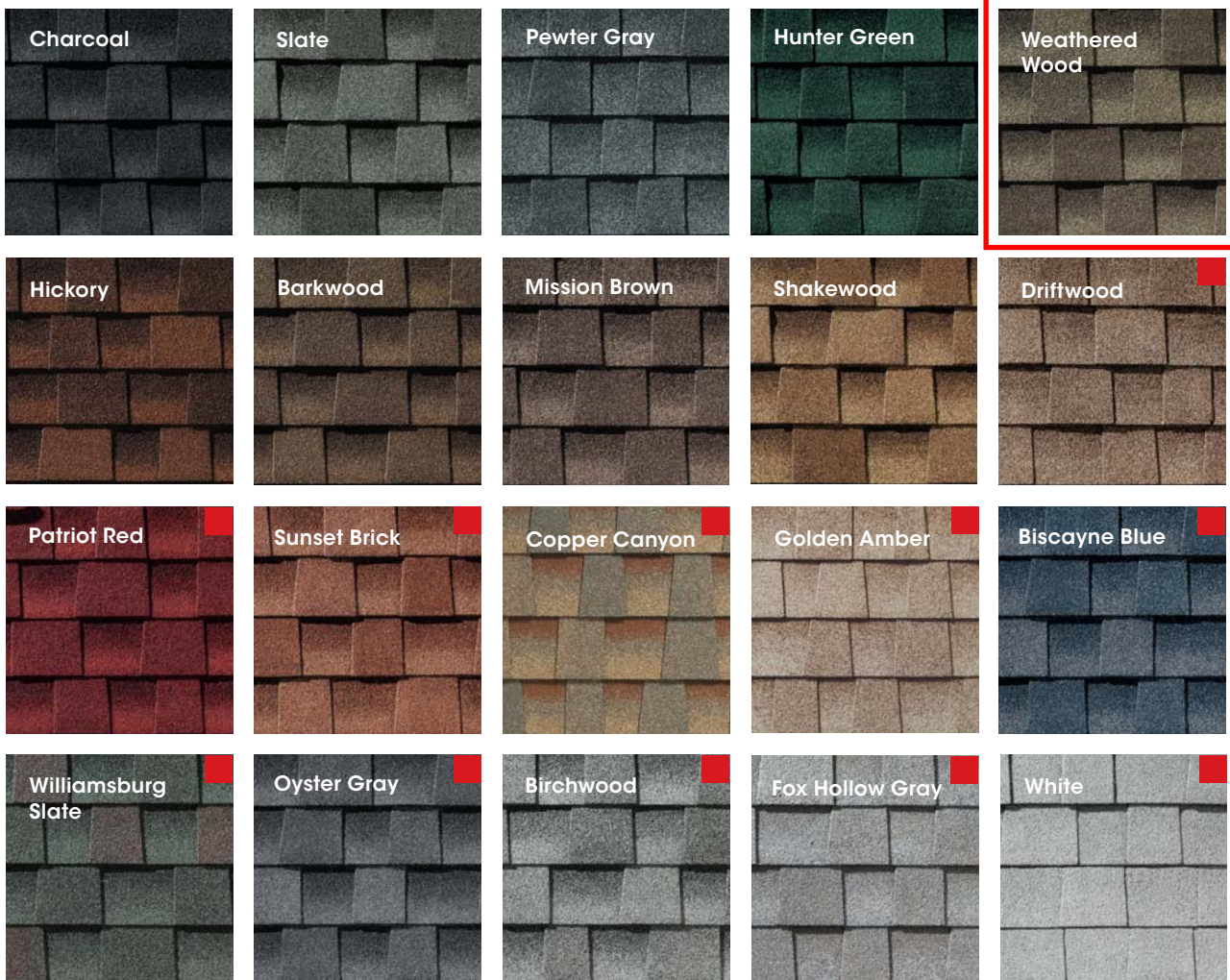
Selecting a color? Request a product sample
at [jameshardiepros.com/samples](https://www.jameshardiepros.com/samples)

GAF Timberline® HDZ™

High Definition® Lifetime® Shingles



Timberline® shingles protect millions of families nationwide with great value and a genuine wood-shake look. Peace of mind has never looked so good.



For more details visit gaf.com/hdz

¹ 15-year WindProven™ limited wind warranty on Timberline® HDZ™ Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Available regionally

100 SERIES

WINDOWS & PATIO DOORS

THE SMART ALTERNATIVE TO VINYL

Whether you're replacing, remodeling or building, Andersen® 100 Series windows and patio doors are a smart step up from vinyl. They provide uncommon value, combining time-tested performance with long-lasting beauty. Our 100 Series products are made with our revolutionary Fibrex® composite material, which comes in deep, rich colors that can dramatically enhance any project. In addition, Fibrex material is environmentally responsible and energy efficient, making 100 Series products a winning choice for anyone considering vinyl windows and doors.

DURABILITY

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight. And 100 Series products come with durable, low-maintenance finishes that won't fade, flake, blister or peel.*



DEEP, RICH COLORS

Our 100 Series windows come in beautiful colors that can set a project apart.

ENVIRONMENTALLY SMART

Our Fibrex composite material is composed of 40% reclaimed wood fiber by weight.



*Visit andersenwindows.com/warranty for details.

FIBREX® MATERIAL. STRONG ON PERFORMANCE. GENTLE ON THE ENVIRONMENT.

With Fibrex® composite material, you get the best of both worlds: a top-performing product that is environmentally responsible.

Developed by Andersen, Fibrex material is a revolutionary structural composite material that blends the very best attributes of vinyl and wood. Fibrex material saves on natural resources because it is composed of 40% reclaimed wood fiber by weight. Special polymer formulations surround and fill each wood fiber, enabling top performance.

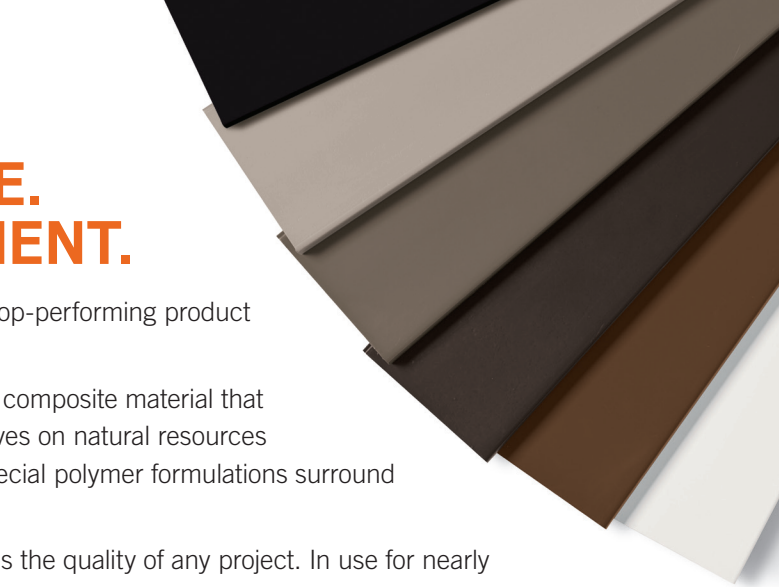
The result is a material that provides uncommon value and enhances the quality of any project. In use for nearly two decades in Andersen® products, Fibrex material has proven its strength and durability in all types of climates.

A REVOLUTIONARY BUILDING MATERIAL

- Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight
- It blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills
- For exceptional durability, Fibrex material retains its stability and rigidity in all climates

ENVIRONMENTALLY RESPONSIBLE

- Since Andersen developed the highly sustainable Fibrex material, reuse of waste wood fiber has prevented the harvesting of nearly 90 million board-feet of timber
- 100 Series windows can help builders earn LEED® points in three key categories: Energy & Atmosphere, Materials & Resources and Indoor Environmental Quality
- 100 Series products meet or exceed California Section 01350 Specification, a California indoor emission standard — one of the toughest in the country
- Like all Andersen windows, the 100 Series product line is designed to last* and help reduce future waste streams



See how Andersen created Fibrex material at andersenwindows.com/fibrex.

*Visit andersenwindows.com/warranty for details.

All logos and marks are trademarks of their respective owners.

GLASS OPTIONS

Andersen has the glass you need to get the performance you want with options for every climate, project and customer. Check with your supplier for the selections that are ENERGY STAR® certified in your area.

PERFORMANCE COMPARISON OF ANDERSEN® 100 SERIES GLASS OPTIONS

| GLASS | E N E R G Y | | L I G H T | |
|---|---|--|---|---|
| | U-FACTOR | SOLAR HEAT GAIN COEFFICIENT | VISIBLE LIGHT TRANSMITTANCE | UV PROTECTION |
| | How well a product prevents heat from escaping. | How well a product blocks heat caused by sunlight. | How much visible light comes through a product. | How well a product blocks ultraviolet rays. |
| High-Performance Low-E Energy-efficient Low-E glass is available in all Andersen® 100 Series products, and can help reduce energy bills in any climate. | ★★★★☆ | ★★★★☆ | ★★★★☆ | ★★★★☆ |
| High-Performance Low-E with HeatLock® Coating Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factors. | ★★★★☆ | ★★★★☆ | ★★★★☆ | ★★★★☆ |
| High-Performance SmartSun™ Thermal control similar to tinted glass, but with the visible light transmittance of clear glass. | ★★★★☆ | ★★★★★ | ★★★★☆ | ★★★★★ |
| High-Performance SmartSun with HeatLock Coating Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factors. | ★★★★☆ | ★★★★★ | ★★★☆☆ | ★★★★★ |
| Clear Dual-Pane Dual-pane glass is available for projects where codes allow its use.* | ★★★☆☆ | ☆☆☆☆☆ | ★★★★★ | ☆☆☆☆☆ |

Center of glass performance only. Ratings based on glass options available as of January 2018. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

TIME-SAVING TRANSLUCENT FILM

We help protect 100 Series windows and doors during delivery and construction with a translucent film that minimizes time spent masking on the jobsite, then peels away for a spotless window. For details, contact your Andersen supplier.



ADDITIONAL GLASS OPTIONS

Tempered safety glass is available (standard on gliding patio doors) as well as sound-reducing glass options.

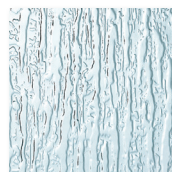
Patterned glass lets in light while obscuring vision and adds a unique, decorative touch to your home.



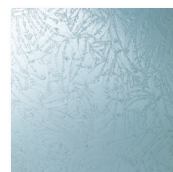
Obscure



Reed



Cascade



Fern

Cascade and Reed patterns are only available in a vertical orientation.

*See your local code official for building code requirements in your area.

GRILLE OPTIONS

Grilles for Andersen® 100 Series windows and patio doors are available in a wide variety of patterns to complement virtually any style of home. Plus, they give you options for easy cleaning and architectural authenticity many vinyl windows can't match.

CONFIGURATIONS

FINELIGHT™ GRILLES-BETWEEN-THE-GLASS



Finelight grilles make glass easy to clean. They have an elegant, sculpted profile, plus they offer a two-sided color scheme, allowing you to have grilles that match not only the interior but also your exterior color choice.

Finelight with Exterior Grilles make interior glass easier to clean, while permanent exterior grilles provide architectural style and detail.

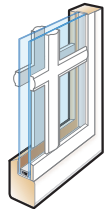


FULL DIVIDED LIGHT

For an authentic look, Full Divided Light features permanently applied grilles to the interior and exterior of the window with a spacer between the glass.

SIMULATED DIVIDED LIGHT

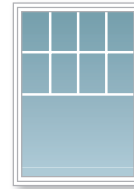
Simulated Divided Light offers permanent grilles on the exterior and interior with no spacer between the glass.



PATTERNS



Colonial



Modified Colonial



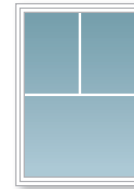
Prairie A



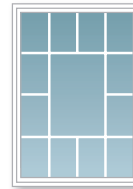
Simulated Single-Hung*



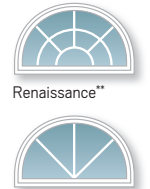
Short Fractional



Tall Fractional



Victorian



Renaissance**



Sunburst**

Specified Equal Light

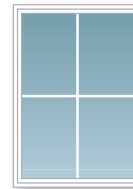
Any number of same-size rectangles across or down. Some limitations apply.



2 x 1



1 x 3



2 x 2



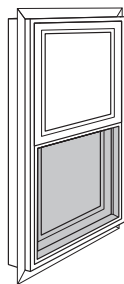
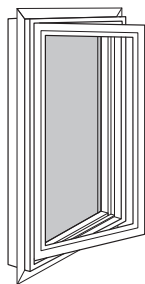
2 x 4

Note: Some grille patterns not available in all configurations and products.

INSECT SCREENS

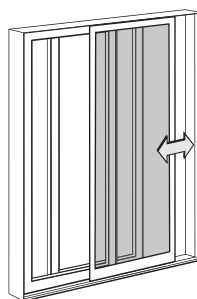
Insect screens for windows and patio doors have a fiberglass screen mesh. Optional TruScene® insect screens for windows are made with a micro-fine stainless steel mesh, providing 50% more clarity than our conventional insect screens.

WINDOWS



Insect screens are available for all 100 Series venting windows.

PATIO DOORS



Gliding Insect Screen

Gliding insect screens are available for two-panel doors.

*Our 2 1/4" wide grille can make a casement window look like a single-hung. Can also be used with a Specified Equal Light pattern grille.

**Renaissance and Sunburst patterns are only available with Finelight grilles.

FEATURES

CASEMENT & AWNING

Frame

- A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.
- B** Durable, low-maintenance finish won't fade, flake, blister or peel.*

Concealed receiving brackets mounted on the hinge side of the frame keep the sash tightly secured within the window frame when closed.

- C** Three flange options include:
 - 1 3/8" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.
 - 1" (25) flange setback with stucco key.
 - No-flange option for use as an insert/replacement window.

Sash

- D** Fibrex material construction provides long-lasting performance*. The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.
- E** The dual weatherstripping system combines both an exterior watershed design and a bulb weatherstrip seal between the sash and frame. The result is a long-lasting*, energy-efficient barrier against wind, water and dust.

Glass

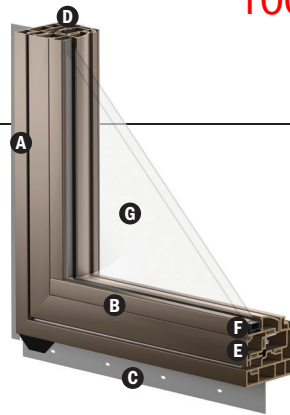
- F** A glazing bead and silicone provide superior weathertightness and durability.
- G** High-Performance glass options include:
 - Low-E SmartSun™ glass
 - Low-E SmartSun HeatLock® glass
 - Low-E glass
 - Low-E HeatLock glass
 - Dual-pane glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 10 for more details.



Hardware

Sash operator provides almost effortless opening and closing, regardless of unit size. Long-lasting stainless steel hinge channels are used at the head and sill to provide easy operation.



Single-Action Casement Lock

Single-action lock easily releases all concealed locking points on casement sash. The lock and folding handle match the window's interior.

Awning Sash Locks



Awning sash locks provide an added measure of security and weathertightness. Awning hardware style and color options are compatible with 100 Series casement windows to ensure a consistent appearance when used in combination designs.

SINGLE-HUNG

Frame

- A** Frame constructed with Fibrex composite material. This construction produces a rigid frame.
- B** A durable, side-loaded balancer provides for easy sash opening and closing. The lower sash can be removed without the use of tools.
- C** Durable, low-maintenance finish won't fade, flake, blister or peel.*
- D** Three flange options include:
 - 1 3/8" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.
 - 1" (25) flange setback with stucco key.
 - No-flange option for use as an insert/replacement window.
- E** Weep holes are located on the exterior sill nose for proper water management.

Sash

- The lower sash has a check rail cover with a unique raised profile design, allowing the sash to be opened and closed easily.
- F** Fibrex material construction provides long-lasting performance*. The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.
- G** Dual-felt weatherstripping provides a long-lasting*, energy-efficient barrier against wind, water and dust.

Glass

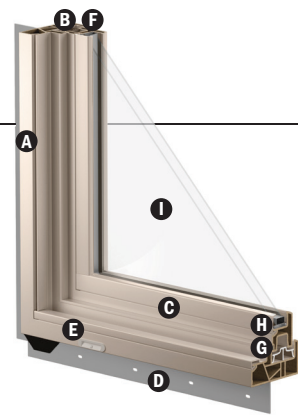
- H** A glazing bead and silicone provide superior weathertightness and durability.
- I** High-Performance glass options include:
 - Low-E SmartSun™ glass
 - Low-E SmartSun HeatLock® glass
 - Low-E glass
 - Low-E HeatLock glass
 - Dual-pane glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 10 for more details.

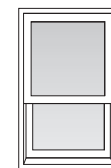


Hardware

Sash Lock

Sash lock engages automatically when lower sash is closed. The sash lock matches the window's interior. An optional sash lift is available.

Sash Options



Reverse Cottage Style

Shapes



Arch Single-Hung

FEATURES

GLIDING PATIO DOORS

Frame

- A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.
- B** Durable, low-maintenance finish won't fade, flake, blister or peel.
- Factory-assembled doors arrive at the jobsite ready to install.

C Dual-felt weatherstripping, applied on the inside pocket of both side jambs and the head jamb, creates a positive seal between the frame and panels. The result is a long-lasting, energy-efficient barrier against wind, water and dust.

A full-length combination weatherstrip/interlock system provides a flexible seal at the meeting stile.

Sill

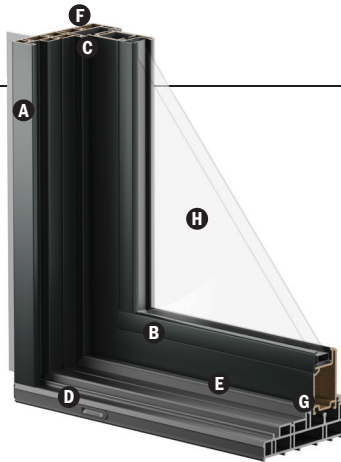
D One-piece sill design with weep holes located on the sill exterior provides superior water management. The heavy gauge PVC construction is wear-resistant and neutral gray in color.

E The roller track has a stainless steel cap that resists denting for smooth, reliable operation.

Panel

F Fibrex material construction provides long-lasting performance. The panel, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.

G Dual corrosion-resistant* ball-bearing rollers on the operating door panel provide smooth operation with self-contained leveling adjusters. The rollers have deep grooves to increase engagement with the roller track and resist lateral movement. Metal reinforcement inserted into the panel stiles provides additional stability.



Glass

A glazing bead and silicone provide superior weathertightness and durability.

H High-Performance glass options include:

- Low-E SmartSun™ tempered glass
- Low-E SmartSun HeatLock® tempered glass
- Low-E tempered glass
- Low-E HeatLock tempered glass
- Dual-pane tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 10 for more details.

Hardware

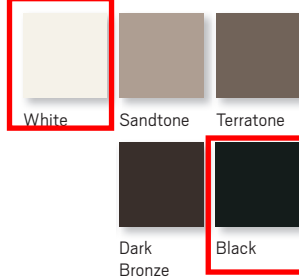
Locking System



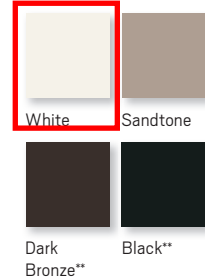
A two-point locking system engages a steel receiver plate that is secured into the side jamb. This provides enhanced security and a weathertight seal, with the operating panel pulled tightly into the jamb.

Tulsa and Afton hardware options are available. Tulsa hardware exterior handles match the door's exterior color, while interior handles come in white or sandtone to match the interior. Afton hardware has the same finish inside and out.

EXTERIOR COLORS



INTERIOR COLORS

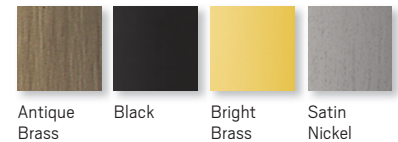


HARDWARE FINISHES

TULSA

Tulsa hardware matches the exterior and interior color options shown above.

AFTON



GLIDING PATIO DOOR HARDWARE

TULSA (Standard)



Exterior Handle
Black
Cocoa Bean
Dark Bronze
Sandtone
Terratone
White

Interior Handle
Black
Dark Bronze
Sandtone
White

Bold name denotes finish shown.

AFTON (Optional)



Exterior Handle Interior Handle
Antique Brass | Bright Brass
Black | **Satin Nickel**

ACCESSORIES Sold Separately

Hardware

Auxiliary Foot Lock

Provides an extra measure of security when the door is in a locked position. Available in colors that coordinate with the interior.

Grilles

Grilles are available in a variety of configurations. See page 11 for details.

Insect Screens

Insect screens are available with a gray fiberglass screen mesh and are color-matched to the door exterior. The latch mechanism is contained within the insect screen handle for easy operation.

Sidelights & Transoms

Patio door sidelights and transoms are available for 100 Series gliding patio doors. See pages 85-86.

*Visit andersenwindows.com/warranty for details.

**Dark Bronze and Black interiors are only available with Dark Bronze and Black exteriors respectively.

Printing limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples.





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 4

MEETING DATE: 2/13/2023

ITEM TITLE: DISCUSSION: 2321 Nott St. E. – CHASE Bank – A site plan application for a tenant change to a bank with a walk-up ATM machine

PROJECT LEAD: TBD

APPLICANT: Kimberly Keene, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Kimberly Keene, of Project Expeditors Consulting Corp. and agent for the owner, has submitted an Application for Site Plan Review for a tenant change to a CHASE Bank with an outside walk-up ATM machine at Suites 2 and 3 of 2321 Nott St. E. The two suites were most recently occupied by Karma Bistro and Best Cleaners, respectively. The property is located within the C-N Neighborhood Commercial zoning district, the Town Center Overlay District (TCOD) and is part of a Planned Unit Development (PUD).

BACKGROUND INFORMATION

Ms. Keene is proposing to combine Suites 1 and 2 of 2321 Nott St. E. The following documents were included with the application.

1. Site Plan Drawings – A 7-page site plan drawing set entitled “CHASE Proposed Site Improvements” by Stonefield Engineering and Design was provided containing the following sheets.
 - a. Cover Sheet “C-1”
 - b. Overall Site Plan “C-2”
 - c. Existing Conditions Plan “C-3”
 - d. Demolition, Site & Grading Plan “C-4”
 - e. Lighting Plan “C-5 & C-6”
 - f. Construction Details “C-7”
2. Architectural Drawings – A 5-page drawing set entitled “CHASE Niskayuna North” by TPG Architecture was provided containing the following sheets.
 - a. Existing Floorplan “A-100” dated 1/19/23

- b. Proposed Construction Plan "A-101" dated 1/19/23
 - c. Elevations Sheet 1 of 2 "A-700" dated 1/19/23
 - d. Elevations Sheet 2 of 2 "A701" dated 1/19/23
 - e. Colored Elevations "SK-001" dated 12/12/22
3. Environmental Assessment Form (EAF)-- dated 1/27/23

As mentioned in the Summary Statement portion of this Agenda Statement, the proposed project falls within the C-N Neighborhood Commercial zoning district, the Town Center Overlay District (TCOD) and is part of a Planned Unit Development (PUD).

Article VIIIA, Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards contains zoning code requirements regarding signs, pedestrian amenities and architectural review standards. The Planning Office informed the applicant of these requirements and requested larger colored renderings of the proposed exterior façade including the ATM machine.

The applicant is before the Planning Board this evening to present the project and respond to any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Project Expeditors Consulting Corp.

Address 28 Station Street
Manalapan, NJ 07731

Email kkeene@peconsultingcorp.com

Telephone 732-786-2484 Fax _____

Location:

Number & Street 2309 Nott Street East

Section-Block-Lot 40 - 1 - 17.21

Zoning District C-N, TCOD

Proposal Description:

JPMorgan Chase Bank N.A. proposes to lease approximately 3,622 square feet of space within the Niskayuna Shopping Center and fit out a new bank with walk-up ATM service. Additionally, exterior lighting upgrades are proposed to meet NYS Safety Act requirements for the 24 hr vestibule ATM. Improvements are proposed parking area to bring the site into ADA compliance.

Signature of applicant: _____

Date: 1/24/23

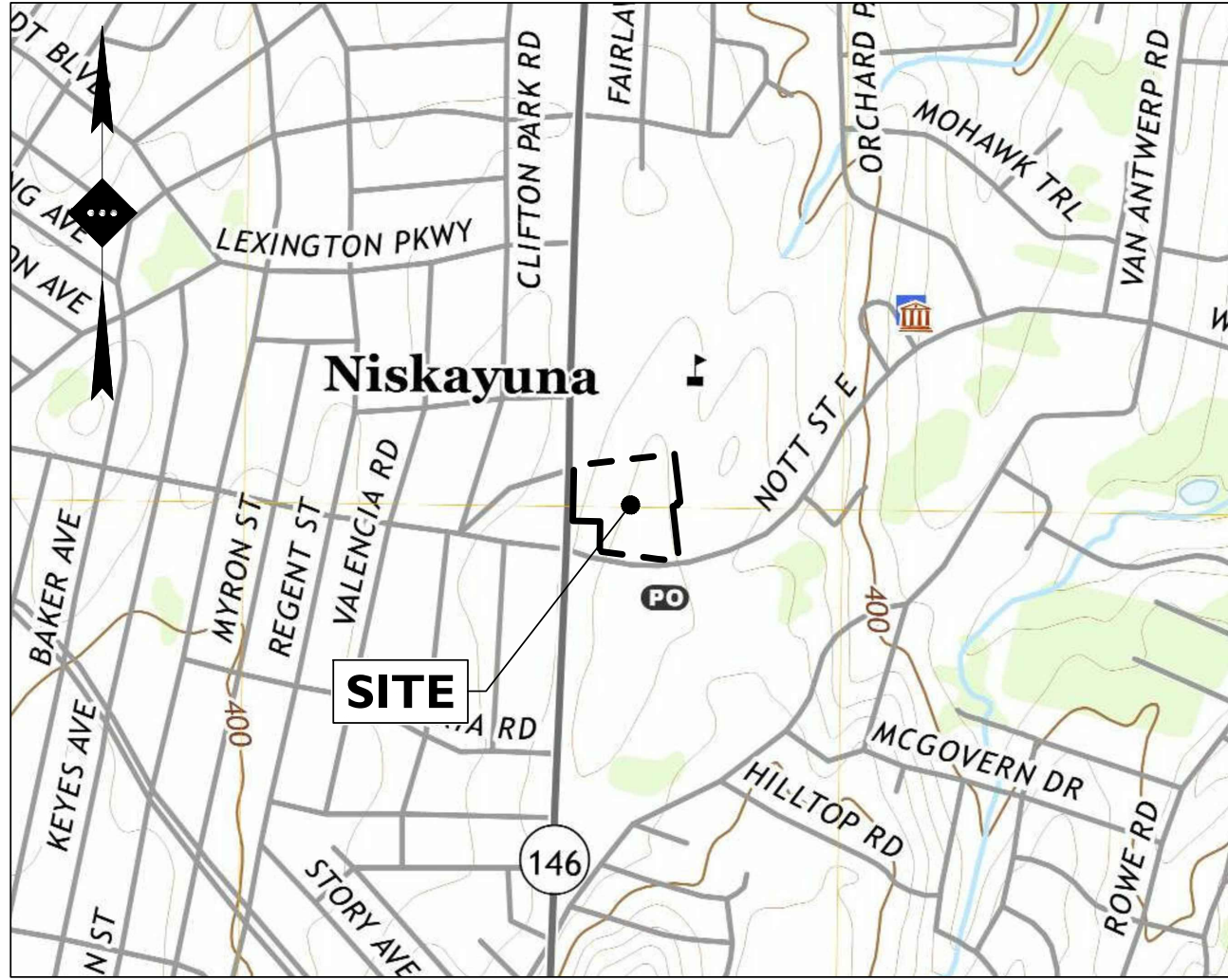
Signature of owner (if different from applicant) _____

DocuSigned by:

Robert Vonancken

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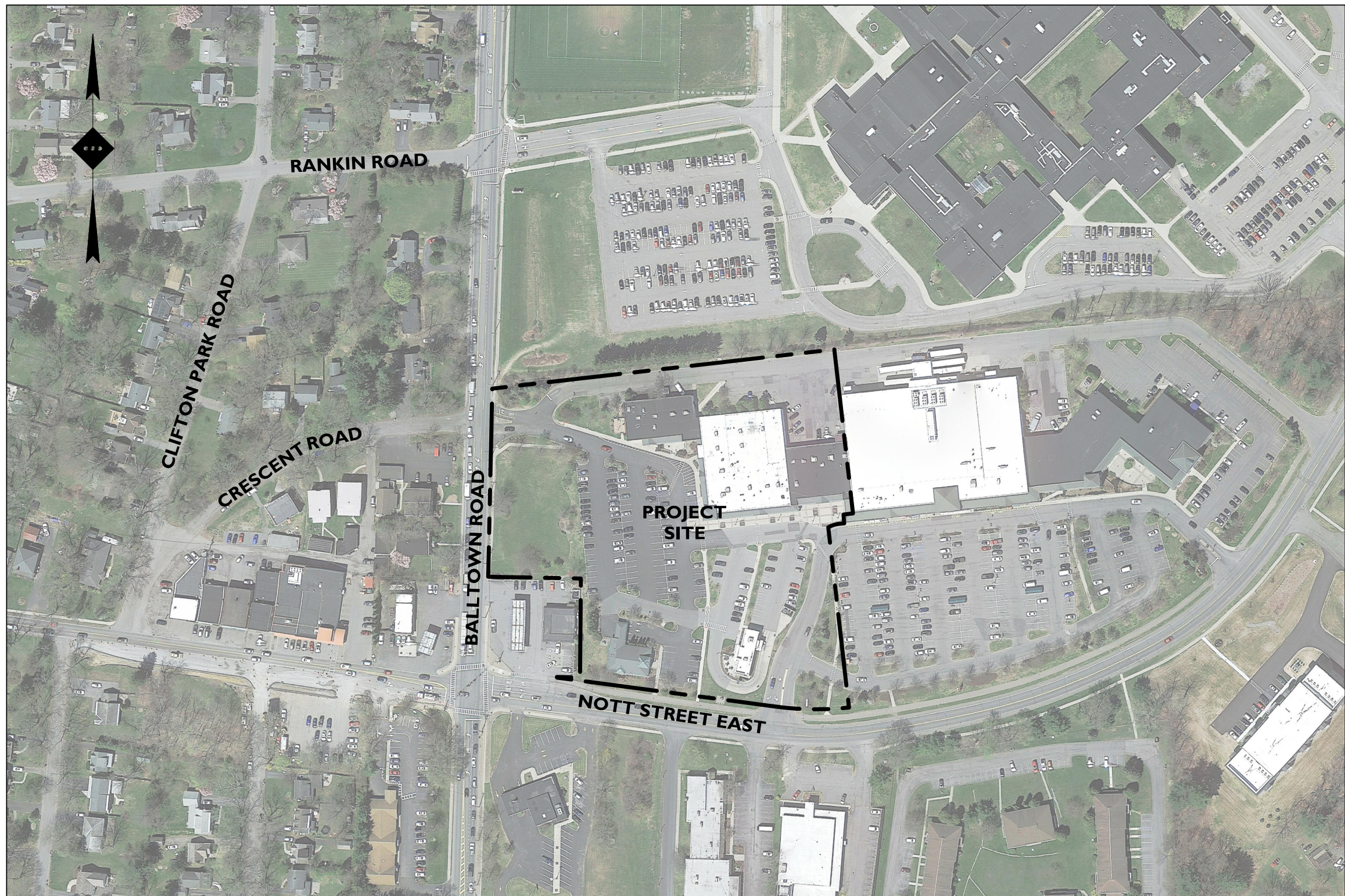
Date: 1/27/2023



SOURCE: UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES TOPOGRAPHIC MAP - SCHENECTADY QUADRANGLE - NEW YORK, 2019

LOCATION MAP

SCALE: 1" = 1,000'±



SOURCE: GOOGLE EARTH PRO, RETRIEVED 10/05/2022

AERIAL MAP

SCALE: 1" = 180'±

SITE PLANS FOR CHASE PROPOSED SITE IMPROVEMENTS

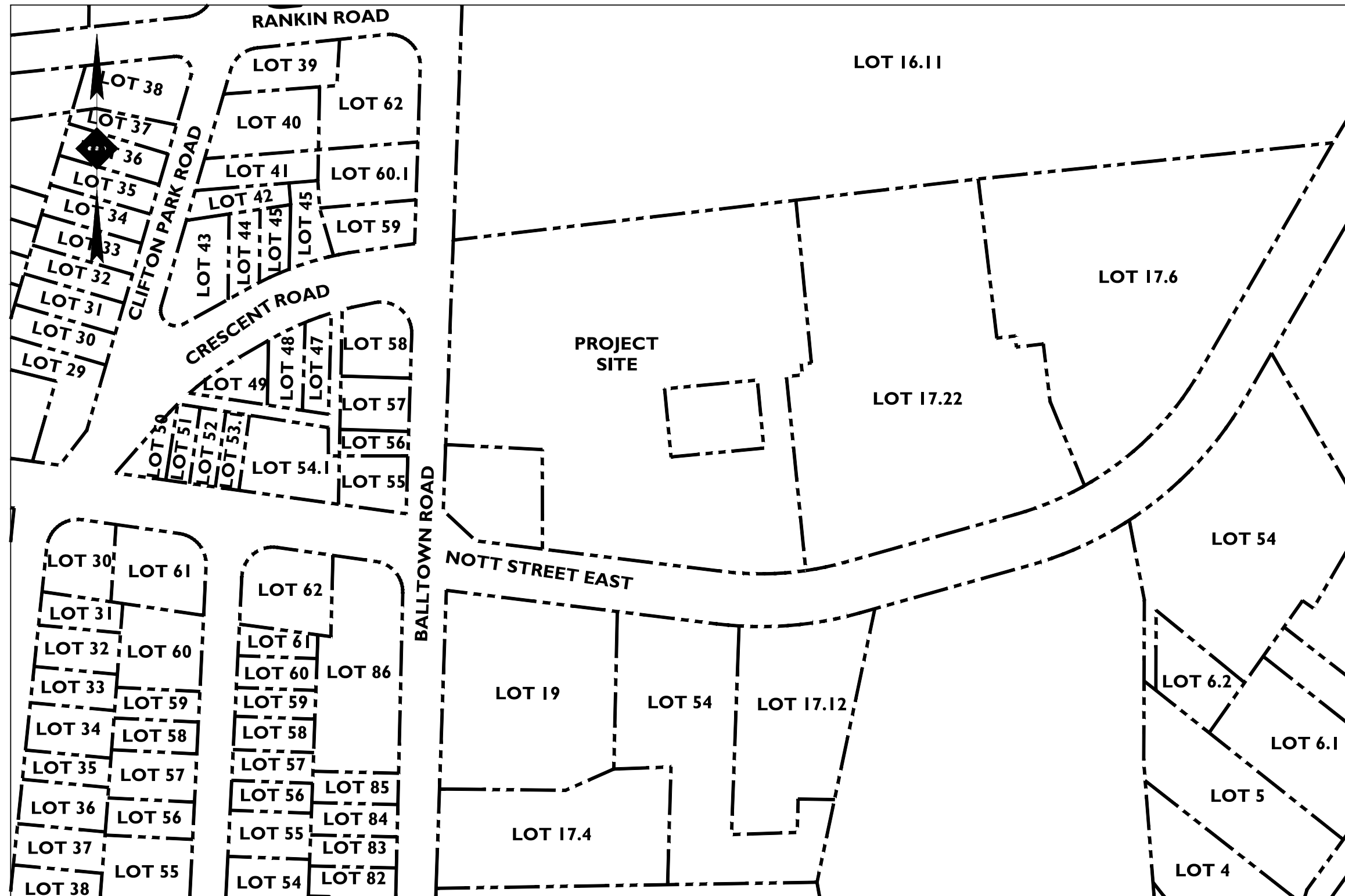
SECTION 40 BLOCK I LOTS 17.21 & 17.30

2309 NOTT STREET

TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

APPLICANT & OWNER

COLVEST/HTFD/MAN/WFLD LLC
C/O THE COLVEST GROUP
1259 EAST COLUMBUS AVENUE
SPRINGFIELD, MA 01105

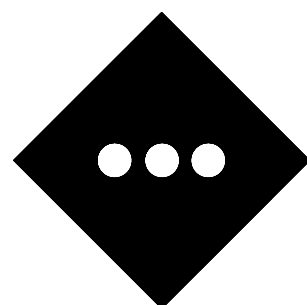


SOURCE: HARTFORD COUNTY GIS, DATE RETRIEVED 02/17/2022

TAX & ZONING MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



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Know what's below
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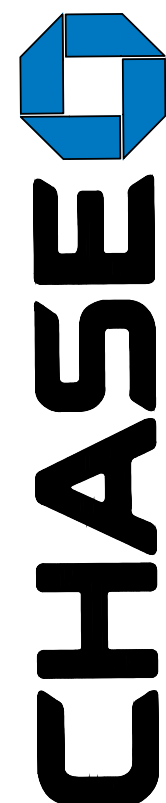
PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - BOUNDARY & TOPOGRAPHIC SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN DATED 10/12/2022.
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO., RETRIEVED ON 10/05/2022.
 - LOCATION MAP OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY, 7.5 MINUTE SERIES TOPOGRAPHIC MAP, SCHENECTADY QUADRANGLE - NEW YORK, DATED 2019.
 - TAX AND ZONING MAPS OBTAINED FROM THE SCHENECTADY COUNTY ONLINE MAPPER, RETRIEVED ON 12/12/2022.
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

| DRAWING TITLE | SHEET # |
|----------------------------------|-----------|
| COVER SHEET | C-1 |
| OVERALL SITE PLAN | C-2 |
| EXISTING CONDITIONS PLAN | C-3 |
| DEMOLITION, SITE & GRADING PLANS | C-4 |
| LIGHTING PLAN | C-5 & C-6 |
| CONSTRUCTION DETAILS | C-7 |

ACCESSIBILITY UPGRADES PLAN



PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK I, LOTS 17.21 & 17.30
2309 NOTT STREET
TOWN OF NISKAYUNA
SCHENECTADY COUNTY, STATE OF NEW YORK

ZACHARY E. CHAPLIN, P.E.
NEW JERSEY LICENSE No. 53605
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: NYC-220281

TITLE:

COVER SHEET

DRAWING:

C-1

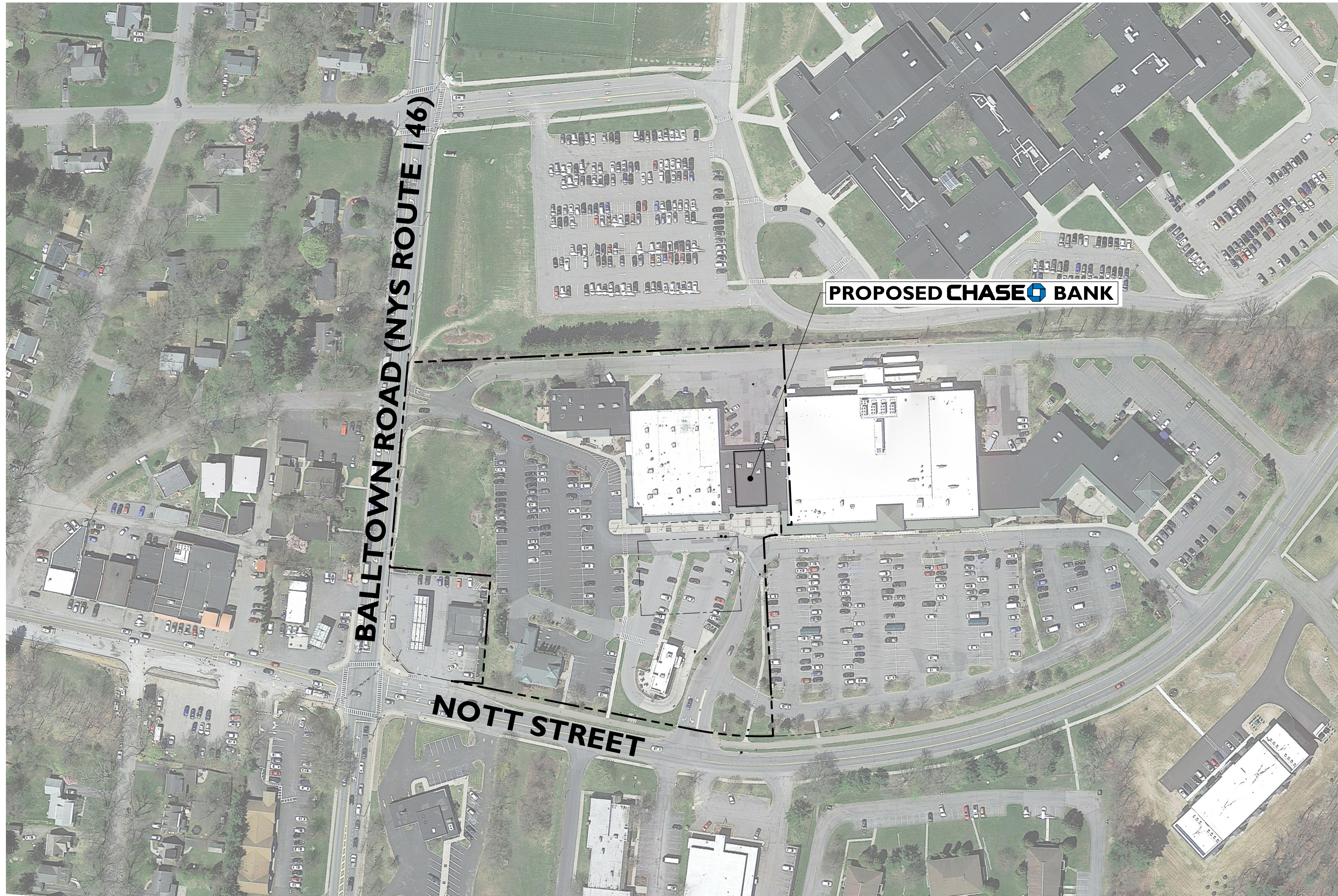


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NOT APPROVED FOR CONSTRUCTION

| ISSUE | DATE | BY | DESCRIPTION |
|-------|------------|----|-------------------|
| 1 | 12/14/2022 | PI | ISSUED FOR REVIEW |



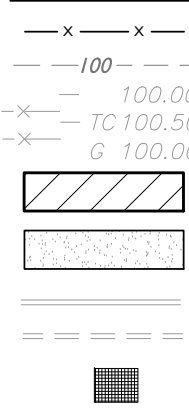
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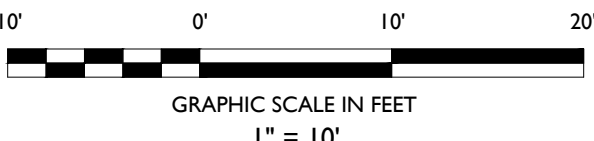


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SURVEY NOTES:

1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



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CHASE

PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30
230 NORTH STREET
TOWNSHIP OF NEWAYUNA
Schenectady County, State of New York

ZACHARY E. CHAPLIN, P.E.
NEW JERSEY LICENSE No. 53605
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 10' PROJECT ID: NYC-220281

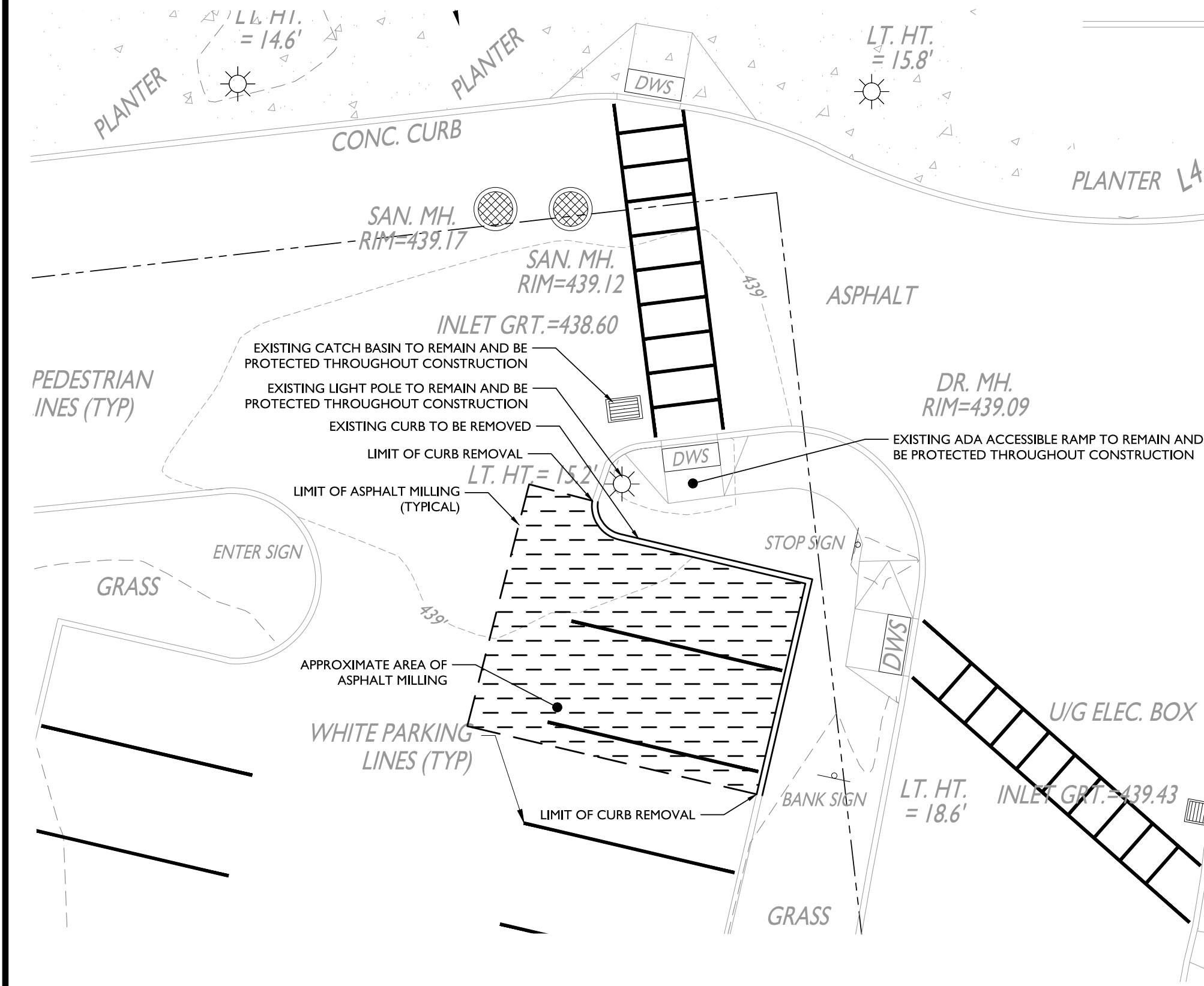
TITLE:
EXISTING CONDITIONS
PLAN

DRAWING:
C-3

NOT APPROVED FOR CONSTRUCTION

| ISSUED FOR REVIEW | PI | BY |
|-------------------|-------------|-------------|
| | | |
| DATE | DATE | DATE |
| | | |
| ISSUE | ISSUE | ISSUE |
| | | |
| DESCRIPTION | DESCRIPTION | DESCRIPTION |
| | | |

NOTE:
CONCRETE REMOVAL - AREAS SHOWN ON PLAN ARE INTENDED TO BE APPROXIMATE. CONTRACTOR TO ADJUST REMOVAL AREA AS REQUIRED TO PROVIDE PROPOSED GRADES. WHERE PRACTICAL, CONTRACTOR CAN EXTEND LIMITS OF REMOVAL BASED ON LOCATION OF EXISTING CONCRETE JOINTS FOR EASE OF CONSTRUCTION.

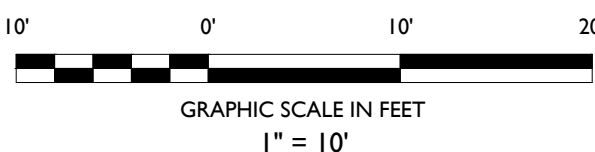


DEMOLITION LEGEND

- APPROXIMATE LIMIT OF DEMOLITION
- AREA OF ASPHALT MILL OVERLAY
- EXISTING CURB

DEMOLITION NOTES

- THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
- EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED, BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
- ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
- DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



DEMOLITION PLAN

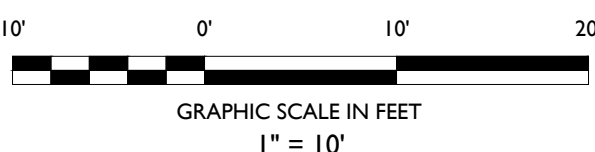
GRADING LEGEND

- PROPOSED SPOT ELEVATION
- PROPOSED GRADE TO MEET EXISTING SPOT ELEVATION
- TOP OF CURB / BOTTOM OF CURB ELEVATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION

ADA NOTES

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS, LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/2 INCH.

GRADING PLAN

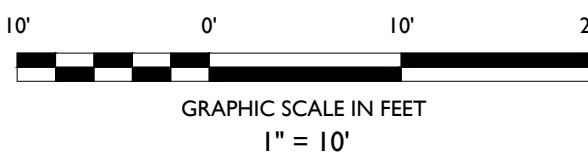


SITE LEGEND

- PROPOSED ACCESSIBLE ROUTE
- PROPOSED SAWCUT LINE
- PROPOSED ASPHALT MILL OVERLAY
- PROPOSED CONCRETE
- PROPOSED CURB
- EXISTING CURB

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



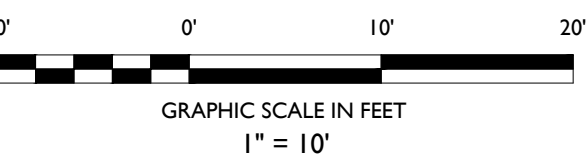
SITE PLAN

ADA LEGEND

- 2.0% MAXIMUM SLOPE WITHIN ALL DIRECTIONS
- 5.0% MAXIMUM RUNNING SLOPE
2.0% MAXIMUM CROSS SLOPE
- 8.2% MAXIMUM RUNNING SLOPE
2.0% MAXIMUM CROSS SLOPE

NOTE: THIS ADA SLOPE SUMMARY INSET IS INTENDED TO SERVE AS A DESIGN SUMMARY OF THE GRADING PLAN. THE GRADING PLAN SHALL TAKE PRECEDENCE OVER THE SLOPES INDICATED WITHIN THIS INSET. THE CONTRACTOR SHALL REFER TO THE SPOT SHOTS INDICATED ON THE GRADING PLAN FOR USE DURING CONSTRUCTION.

ADA SLOPE SUMMARY



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Phone 718.606.8305

ACCESSIBILITY UPGRADES PLAN

CHASE

PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30

230 NORTH STREET, NEW YORK, NY 10012
SCHENECTADY COUNTY, STATE OF NEW YORK


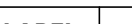

ZACHARY E. CHAPLIN, P.E.
NEW JERSEY LICENSE No. 53605
LICENSED PROFESSIONAL ENGINEER

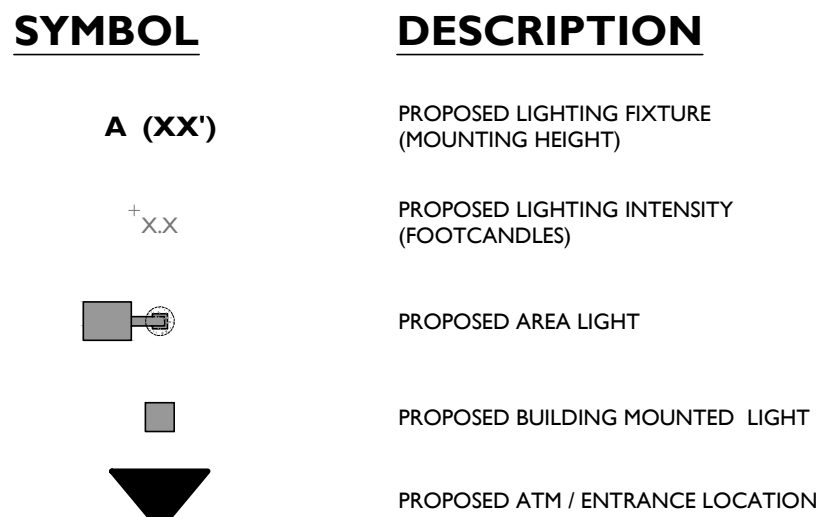
STONEFIELD
engineering & design

SCALE: 1" = 10' PROJECT ID: NYC-220281

TITLE:
DEMOLITION, SITE & GRADING PLANS

DRAWING:
C-4

| PROPOSED LUMINAIRE SCHEDULE | | | | | | | |
|---|-------|----------|-------------------------------------|------------------|------|----------------|------------------------------------|
| SYMBOL | LABEL | QUANTITY | LUMINAIRE | DISTRIBUTION | LLF | MANUFACTURER | IES FILE |
|  | A | 2 | SLICE MEDIUM OUTDOOR LED AREA LIGHT | FORWARD THROW | 0.90 | LSI INDUSTRIES | SLM-LED-18L-SIL-FT-30-70CRI-IH.ies |
|  | B | 5 | EVOLVE LED CANOPY LIGHT | SYMMETRIC MEDIUM | 0.90 | EVOLVE | ECLS01_ASSM740-120-277V.ies |
|  | C | 1 | SLICE MEDIUM OUTDOOR LED AREA LIGHT | FORWARD THROW | 0.90 | LSI INDUSTRIES | SLM-LED-18L-SIL-FT-30-70CRI-IH.IES |



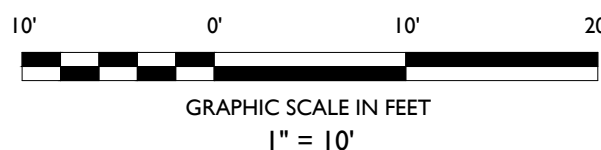
NOTE:
PHOTOMETRIC MODEL OF PROPOSED FIXTURES

GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER ACTUAL ILLUMINATION LEVELS AND PERFORMANCE DATA. THE DESIGNER HAS CONSIDERED THE EFFECTS OF UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
2. WITHIN THE EXISTING LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHT SOURCE.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE MOST LIKELY FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - a. LIGHT EMITTING DIODES (LED): 0.90
 - b. HIGH PRESSURE SODIUM: 0.72
 - c. METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY CHANGES TO THE LIGHTING PLAN SET THAT CONTRADICT EXISTING/PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
5. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

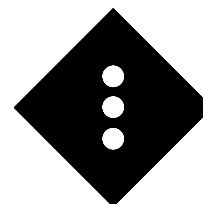
ATM LIGHTING NOTES

3. THE CONTRACTOR SHALL REPLACE PLANT COVERS, RE-PLANT AND RE-BALAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE THE EXISTING LIGHTING FIXTURES SCHEDULE. THE CONTRACTOR SHALL UNLESS INDICATED OTHERWISE, THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
a. FUTURE "W" = MINIMUM WATTAGE
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES DO NOT MEET THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
5. THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED EXISTING LIGHT FIXTURE SHALL BE IN GOOD CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURES, ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURES TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT INTERFERE WITH ANY EXISTING OR PROPOSED ARCHITECTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY EXISTING LIGHT FIXTURES TO BE REMOVED OR REPLACED. ALL EXISTING TREE LIGHTS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE THE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 4 FEET ABOVE THE GRADE. THE CONTRACTOR SHALL REMOVE THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING EXISTING LIGHT FIXTURES. EXISTING LIGHT FIXTURES SHALL BE TRIMMED TO PREVENT LIGHT INTERFERENCE.
6. PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING FIXTURES AND LUMINAIRES. THE CONTRACTOR SHALL NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THE PLAN SET.
7. THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND NOT FOR VISUAL COMFORT.
8. ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
9. EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES SHALL BE IDENTIFIED WITHIN THE PLAN SET. THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET, THE PROPOSED LIGHT FIXTURES HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATTY LIGHTING FIXTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UNCONTROLLED LIGHT FIXTURES.

[illegible]

NOT APPROVED FOR CONSTRUCTION

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Phone 718.606.8305

ACCESSIBILITY UPGRADES PLAN



PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK I, LOTS 17.21 & 17.30

2307 NORTH STREET
TOWN OF NISKAYUNA
SCHENECTADY COUNTY, STATE OF NEW YORK

ZACHARY E. CHAPLIN, P.E.
NEW JERSEY LICENSE No. 53605
LICENSED PROFESSIONAL ENGINEER



| | | |
|--------|----------|-----------------------|
| SCALE: | 1" = 10' | PROJECT ID: NYC-22028 |
|--------|----------|-----------------------|

TITLE: **OVERALL LIGHTING PLAN**

DRAWING:

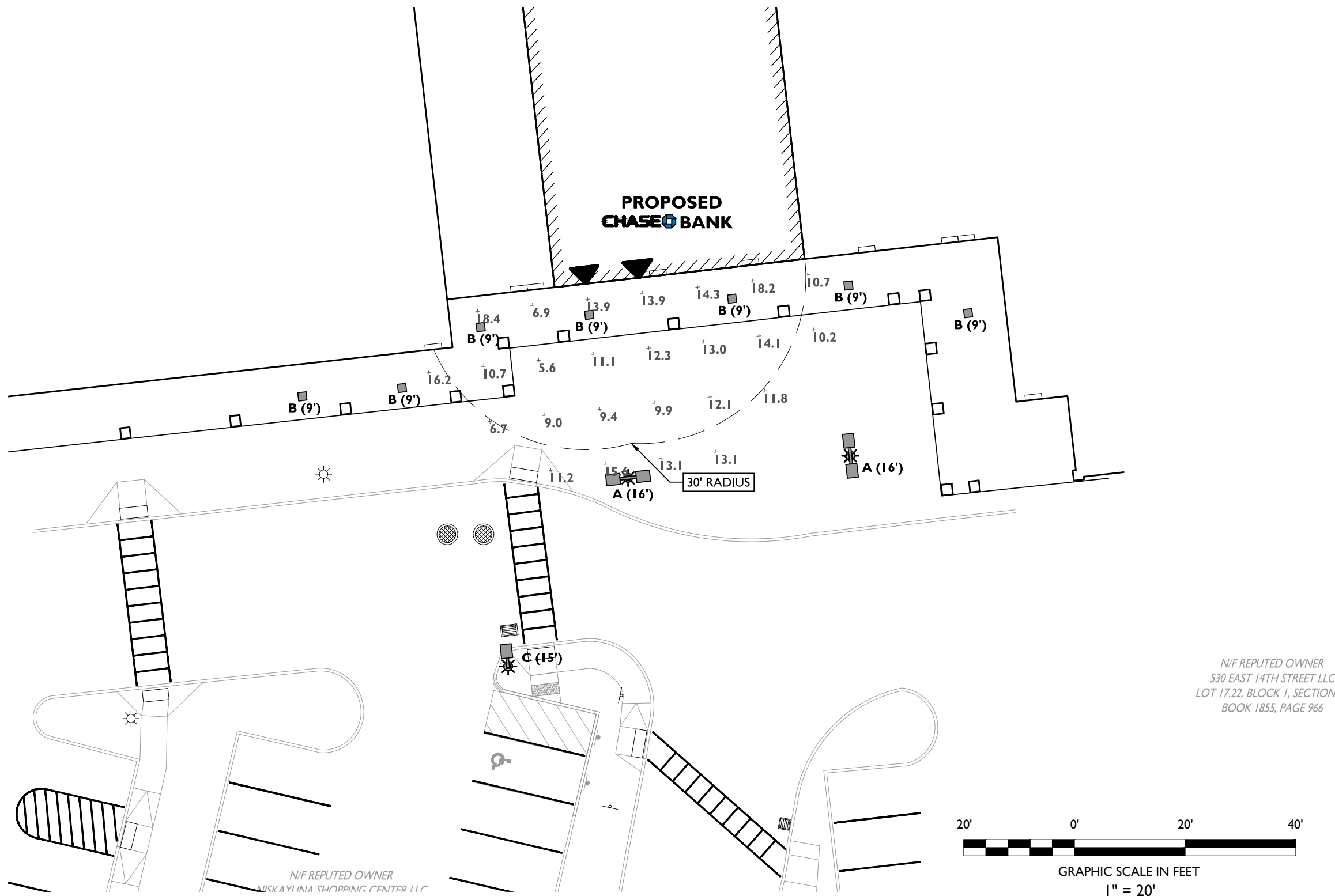
C-5

NEW YORK STATE LIGHTING REQUIREMENTS

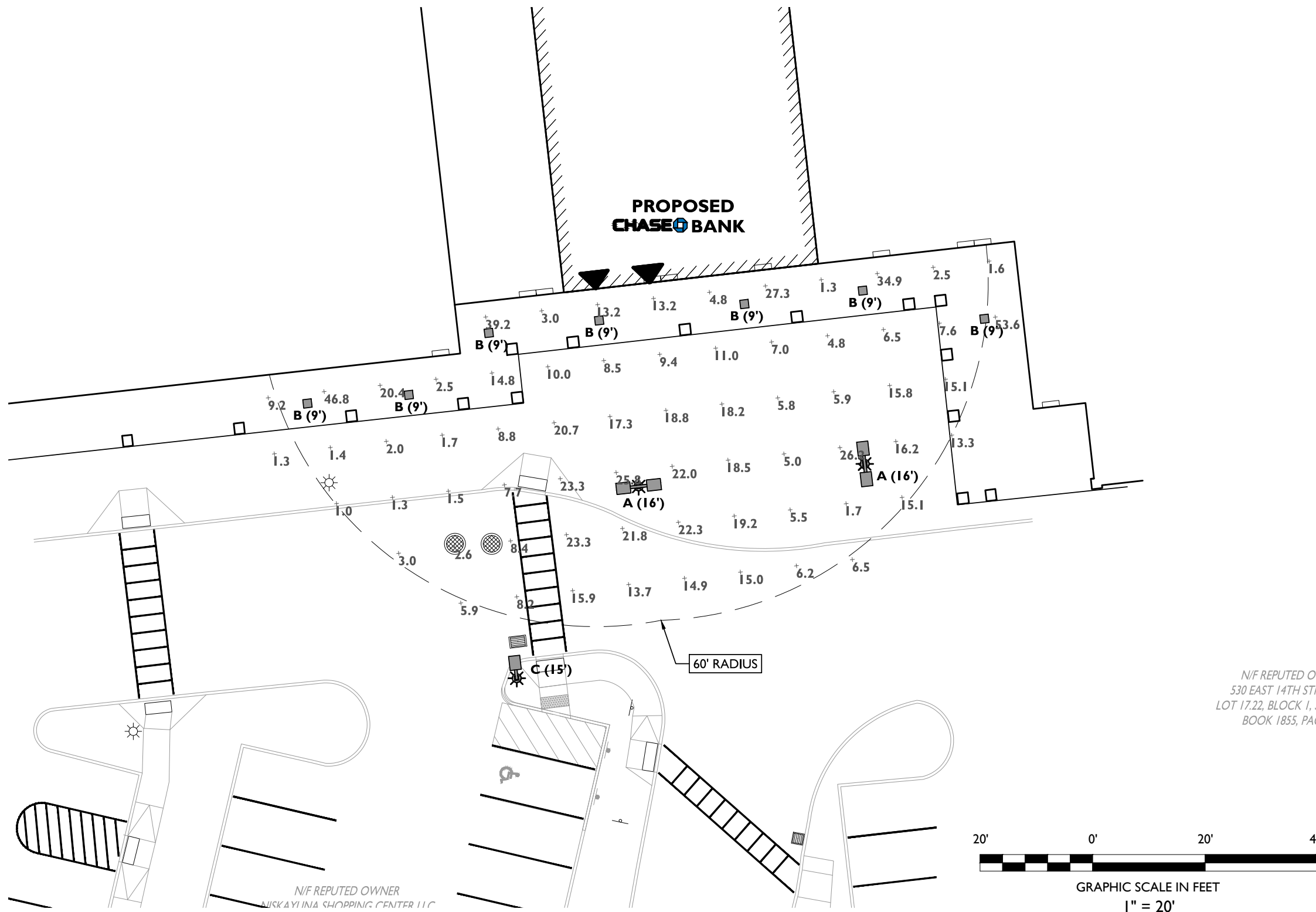
| REQUIRED | PROPOSED |
|---|-----------|
| MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 30 FEET OUTWARD IN ALL DIRECTIONS AT GROUND LEVEL | 5.6 FC |
| MINIMUM 2 FOOTCANDLES AT FACE OF ATM EXTENDING 50 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE | COMPLIANT |
| MINIMUM 1 FOOTCANDLES AT FACE OF ATM EXTENDING 60 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE MEASURED NORMAL TO A LIGHT SOURCE | 1.0 FC |
| MINIMUM 5 FOOTCANDLES AT FACE OF ATM EXTENDING 5 FEET OUTWARD IN ALL DIRECTIONS 5 FEET ABOVE GRADE | 9.3 FC |

ACCORDING TO § 75-B.4.iv OF THE NEW YORK BANKING LAWS - ARTICLE 2-AA - ATM BANKING LAWS, A MINIMUM OF 2 FOOTCANDLES 50 FEET OUTWARD IN ALL DIRECTIONS AT 5 FT ABOVE GRADE NEED ONLY BE PROVIDED IF THE PRIOR TWO REQUIREMENTS FOR 30 FT AND 60 FT DISTANCES HAVE NOT BEEN MET.

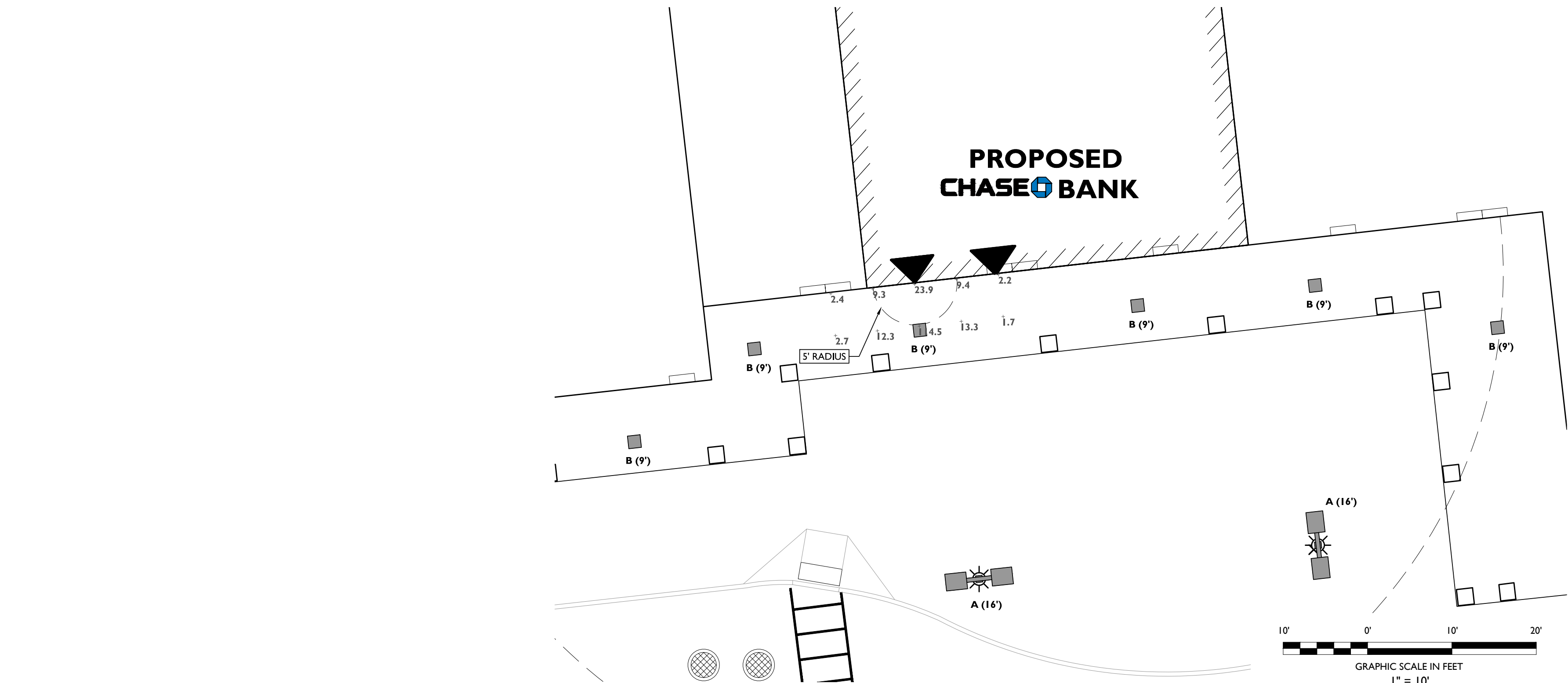
| PROPOSED LUMINAIRE SCHEDULE | | | | | | |
|-----------------------------|-------|----------|-------------------------------------|------------------|-------------------------------------|----------------|
| SYMBOL | LABEL | QUANTITY | LUMINAIRE | DISTRIBUTION | LLF | MANUFACTURER |
| | A | 2 | SLICE MEDIUM OUTDOOR LED AREA LIGHT | FORWARD THROW | 0.90 | LSI INDUSTRIES |
| | B | 7 | EVOLVE LED CANOPY LIGHT | SYMMETRIC MEDIUM | 0.90 | EVOLVE |
| | C | 1 | SLICE MEDIUM OUTDOOR LED AREA LIGHT | FORWARD THROW | 0.90 | LSI INDUSTRIES |
| | | | | | IES FILE | |
| | | | | | SLM-LED-18L-SIL-FT-30-70CRI-H-I.ies | |
| | | | | | ECLS01_ASSM740_____-120-277V.IES | |
| | | | | | SLM-LED-18L-SIL-FT-30-70CRI-H-I.IES | |



LIGHTING AT GRADE (HORIZONTAL PLANE)



LIGHTING AT 60" ABOVE GRADE (NORMAL TO LIGHT SOURCE)



LIGHTING AT 60" ABOVE GRADE (HORIZONTAL PLANE)

| SYMBOL | DESCRIPTION |
|---------|---|
| A (XX') | PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT) |
| +XX | PROPOSED LIGHTING INTENSITY (FOOTCANDLES) |
| | PROPOSED AREA LIGHT |
| | PROPOSED CANOPY MOUNTED LIGHT |
| | PROPOSED ATM / ENTRANCE LOCATION |

NOTE:
PHOTOMETRIC MODEL OF PROPOSED FIXTURES

GENERAL LIGHTING NOTES

- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
- WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
- UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
- THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.

ATM LIGHTING NOTES:

- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
 - FIXTURE 'X' = MINIMUM X WATTS
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
- PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
- THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
- ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
- EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.

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JERSEY CITY, NEW JERSEY
Schenectady County, State of New York

ZACHARY E. CHAPLIN, P.E.
NEW JERSEY LICENSE No. 53605
LICENSED PROFESSIONAL ENGINEER

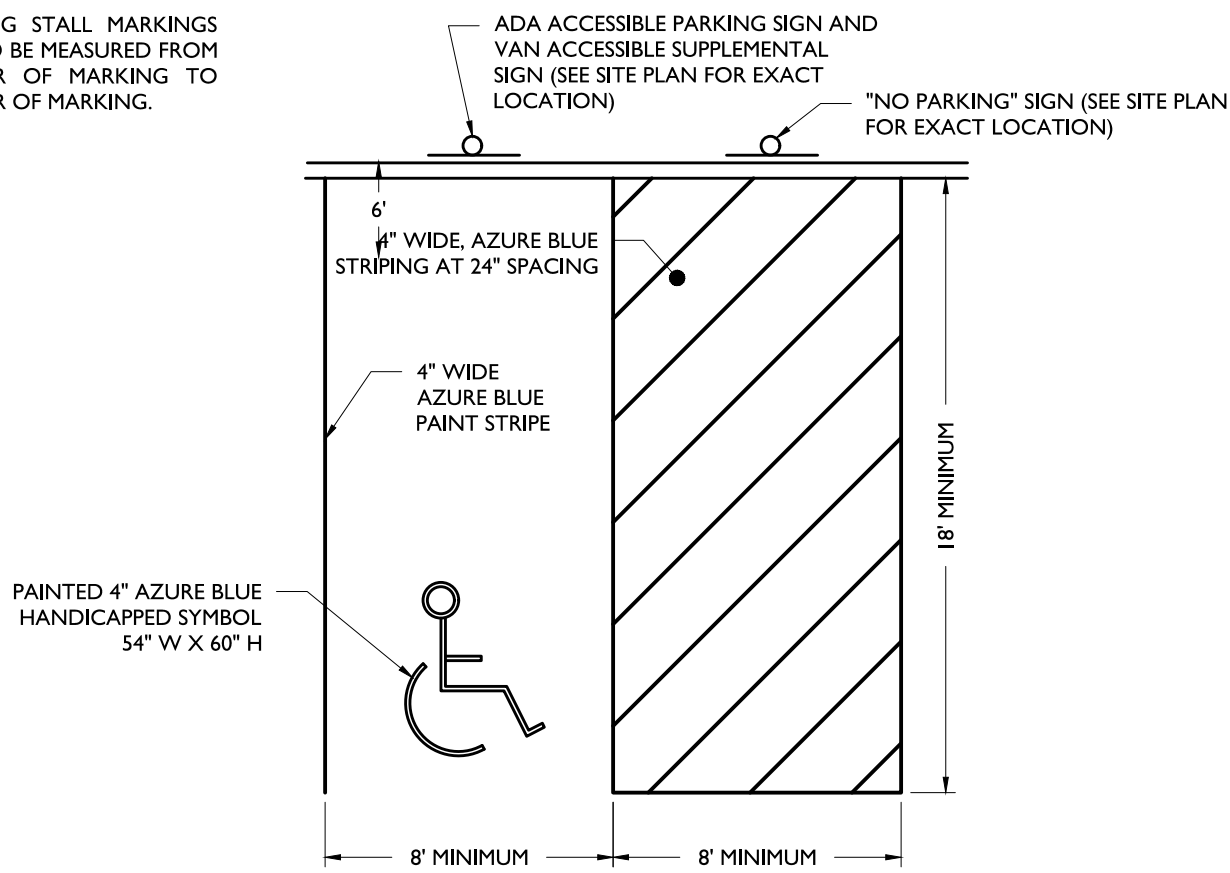
STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: NYC-220281

TITLE:
**ATM SECURITY
LIGHTING PLAN**

DRAWING:
C-6

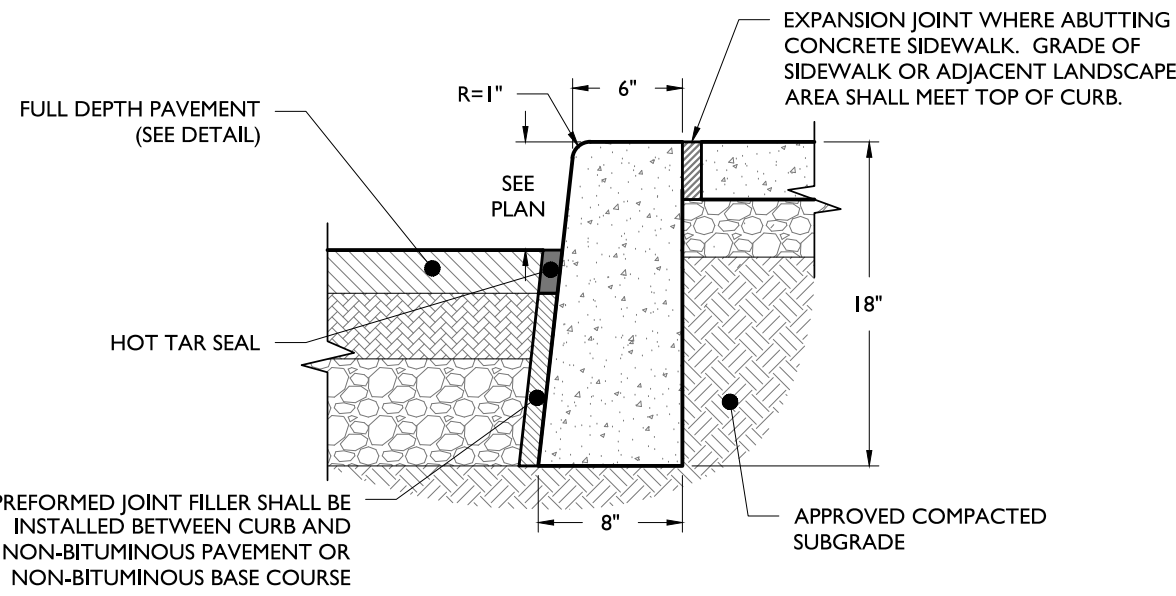
NOTE:
1. PARKING STALL MARKINGS ARE TO BE MEASURED FROM CENTER OF MARKING TO CENTER OF MARKING.



ACCESSIBLE PARKING STALL MARKINGS

NOT TO SCALE

1

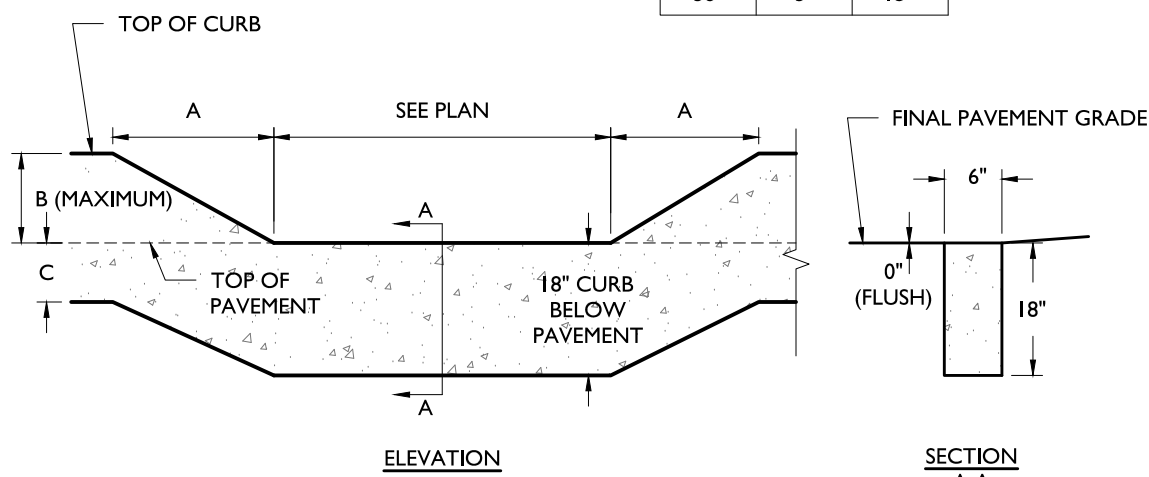


CONCRETE CURB DETAIL

NOT TO SCALE

- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.

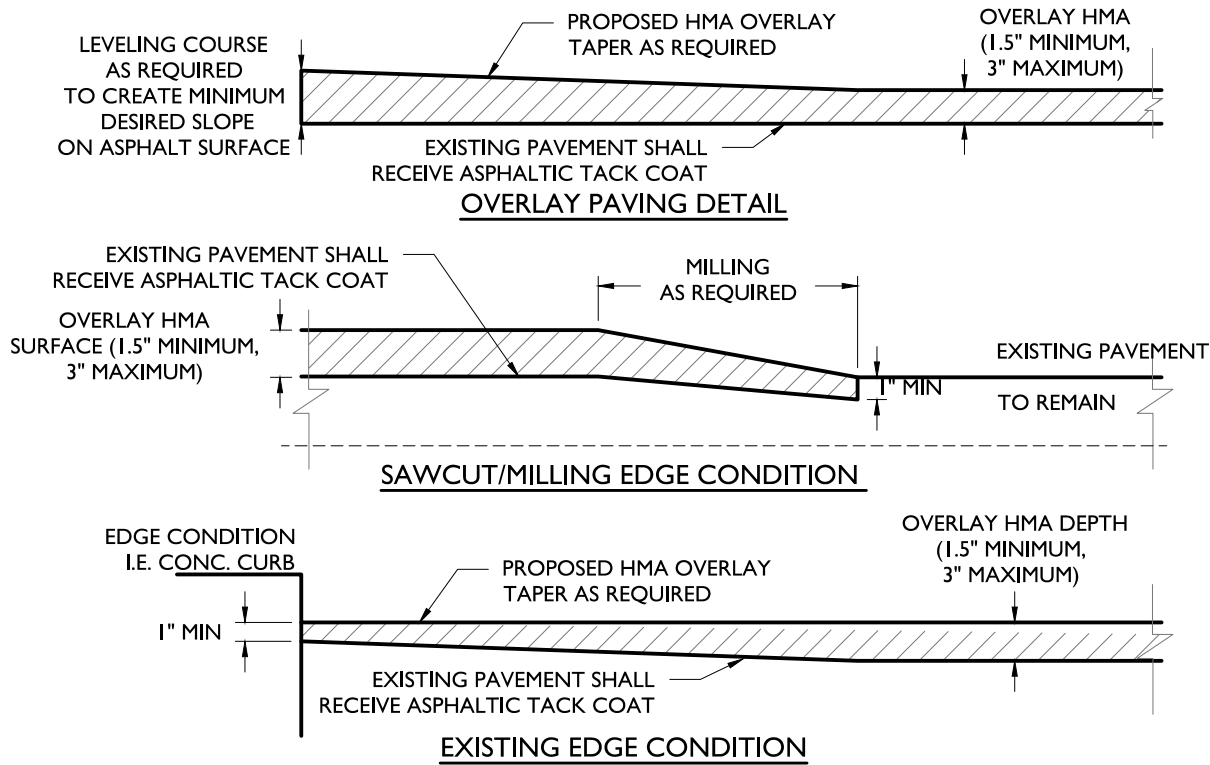
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FLUSH CURB DETAIL

NOT TO SCALE

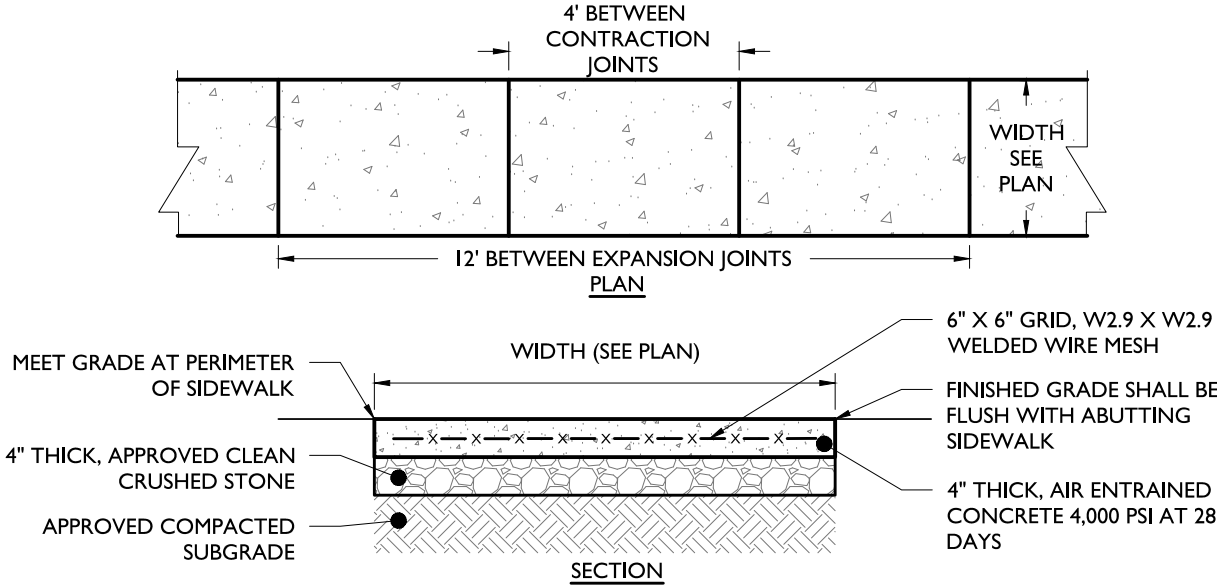
3



PAVEMENT MILLING & OVERLAY DETAIL

NOT TO SCALE

4

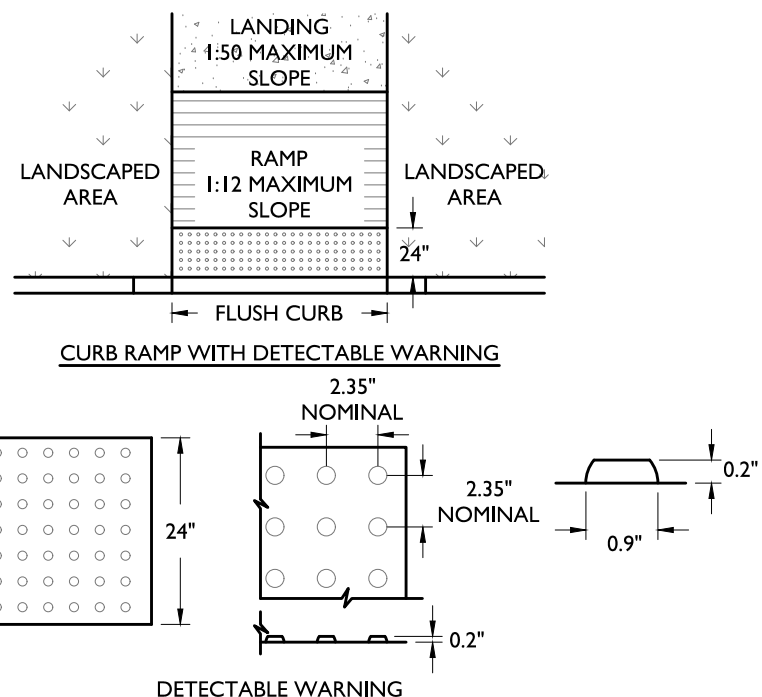


REINFORCED CONCRETE WALKWAY DETAIL

NOT TO SCALE

- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
 2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
 3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 4. EXPANSION JOIN SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.

5

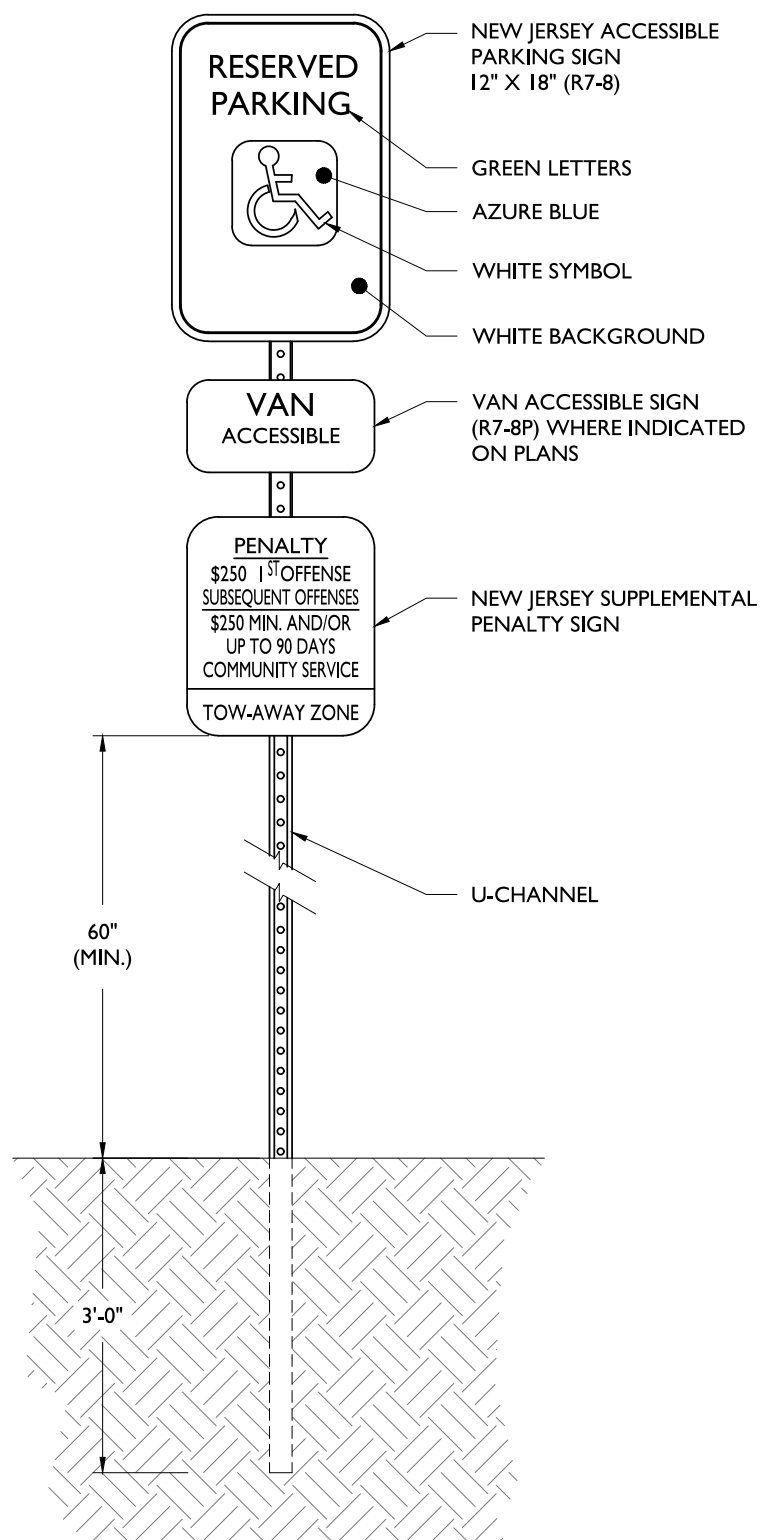


CURB RAMP DETAIL

NOT TO SCALE

- NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%.
 2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 3. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL TO PERMIT WHEELS TO ROLL BETWEEN DOMES.
 4. VISUAL CONTRAST: THERE SHALL BE A MINIMUM OF 70% CONTRAST IN LIGHT REFLECTANCE BETWEEN THE DETECTABLE WARNING AND AN ADJOINING SURFACE.
 5. DETECTABLE WARNING STRIP REQUIRED WHERE RAMP DIRECTS PEDESTRIAN TRAFFIC TOWARDS VEHICLE TRAVEL WAY. WARNING STRIP SHALL BE CAST-IN-PLACE.
 6. RAMP SHALL HAVE A MAXIMUM RISE OF 4" WITHOUT A HANDRAIL.

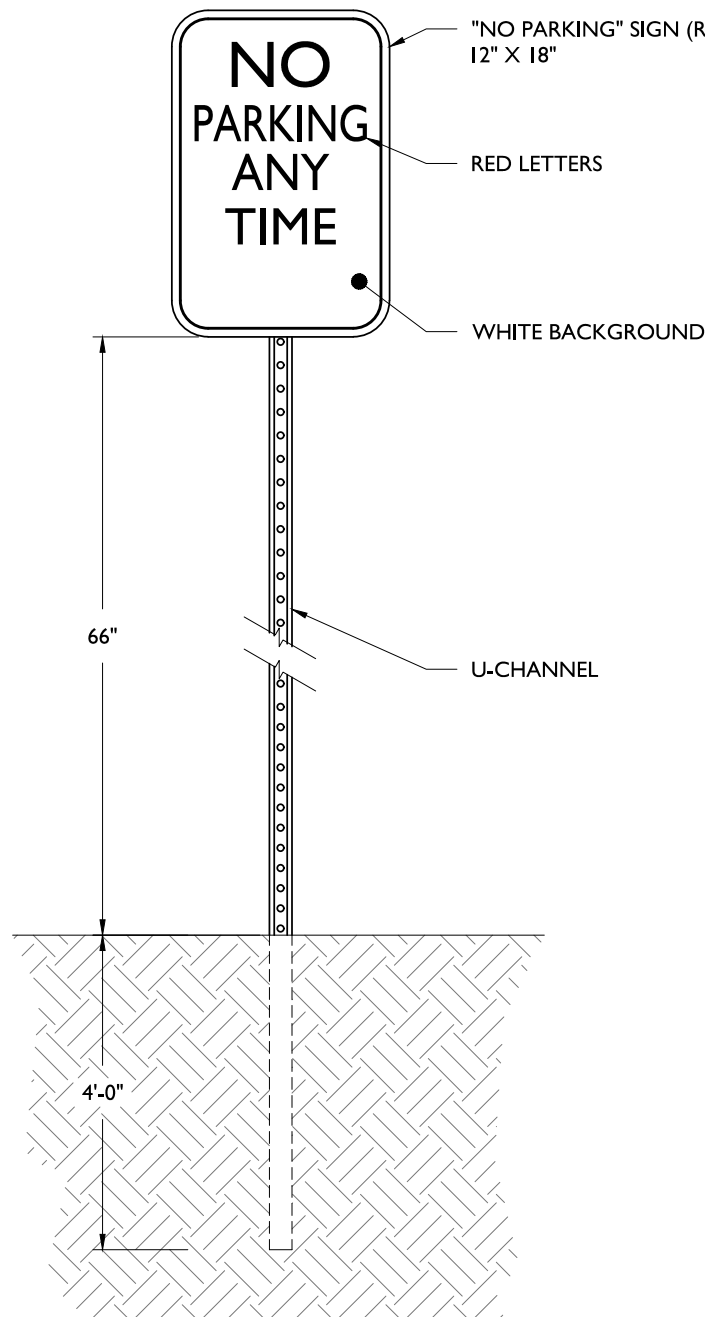
6



ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

7



"NO PARKING" SIGN DETAIL

NOT TO SCALE

8

Type

Slice Medium Outdoor LED Area Light

[Back to Quick Links](#)

PERFORMANCE

DELIVERED LUMENS*

| Lumen Package | Distribution | CRI | 3000K CCT | | 4000K CCT | | 5000K CCT | | Wattage |
|---------------|--------------|-----|------------------|------------|------------------|------------|------------------|------------|---------|
| | | | Delivered Lumens | Efficiency | Delivered Lumens | Efficiency | Delivered Lumens | Efficiency | |
| 9L | 2 | 70 | 9411 | 149 | 82-UG-02 | 9603 | 152 | 82-UG-02 | 63 |
| | 3 | | 9548 | 152 | 82-UG-02 | 9743 | 155 | 82-UG-02 | |
| | SW | | 9261 | 147 | 83-UG-02 | 9450 | 150 | 83-UG-02 | |
| | FT | | 9484 | 150 | 83-UG-02 | 9607 | 153 | 83-UG-02 | |
| | FTA | | 9531 | 151 | 82-UG-02 | 9725 | 154 | 82-UG-02 | |
| 12L | 2 | 70 | 9649 | 153 | 83-UG-01 | 9845 | 156 | 83-UG-01 | 85 |
| | 3 | | 12533 | 147 | 82-UG-02 | 12788 | 150 | 82-UG-02 | |
| | SW | | 12714 | 150 | 82-UG-02 | 12874 | 153 | 82-UG-02 | |
| | FT | | 12233 | 145 | 84-UG-02 | 12584 | 148 | 84-UG-02 | |
| | FTA | | 12603 | 148 | 82-UG-02 | 12861 | 151 | 82-UG-02 | |
| 18L | 2 | 70 | 12682 | 149 | 83-UG-02 | 12950 | 152 | 83-UG-02 | 135 |
| | 3 | | 15421 | 136 | 83-UG-03 | 15797 | 139 | 83-UG-03 | |
| | SW | | 15691 | 138 | 83-UG-03 | 16072 | 141 | 83-UG-03 | |
| | FT | | 15178 | 134 | 84-UG-02 | 15498 | 137 | 84-UG-02 | |
| | FTA | | 15235 | 137 | 83-UG-03 | 15504 | 140 | 83-UG-03 | |
| 24L | 2 | 70 | 15656 | 138 | 83-UG-03 | 16037 | 141 | 83-UG-03 | 176 |
| | 3 | | 18886 | 140 | 83-UG-02 | 19271 | 143 | 83-UG-02 | |
| | SW | | 24847 | 141 | 84-UG-03 | 25354 | 144 | 84-UG-03 | |
| | FT | | 23210 | 143 | 83-UG-04 | 23724 | 146 | 83-UG-04 | |
| | FTA | | 24481 | 139 | 83-UG-03 | 24950 | 142 | 83-UG-03 | |
| 30L | 2 | 70 | 25473 | 142 | 83-UG-04 | 25978 | 145 | 83-UG-04 | 232 |
| | 3 | | 25473 | 143 | 84-UG-03 | 25978 | 146 | 84-UG-03 | |
| | SW | | 25473 | 143 | 84-UG-03 | 25980 | 148 | 84-UG-03 | |
| | FT | | 31109 | 134 | 84-UG-03 | 31743 | 137 | 84-UG-03 | |
| | FTA | | 31562 | 136 | 84-UG-04 | 32206 | 139 | 84-UG-04 | |
| 36L | 2 | 70 | 30612 | 132 | 85-UG-03 | 31237 | 135 | 85-UG-03 | 286 |
| | 3 | | 31283 | 135 | 84-UG-04 | 31921 | 138 | 84-UG-04 | |
| | SW | | 31503 | 136 | 84-UG-03 | 32146 | 139 | 84-UG-03 | |
| | FT | | 31882 | 137 | 83-UG-03 | 32543 | 140 | 84-UG-03 | |
| | FTA | | 30846 | 129 | 84-UG-03 | 31597 | 131 | 84-UG-03 | |
| 42L | 2 | 70 | 32658 | 137 | 84-UG-04 | 33098 | 139 | 85-UG-04 | 352 |
| | 3 | | 37052 | 130 | 84-UG-04 | 37808 | 132 | 84-UG-04 | |
| | SW | | 37313 | 130 | 84-UG-04 | 38075 | 133 | 84-UG-04 | |
| | FT | | 37774 | 132 | 84-UG-03 | 38545 | 135 | 84-UG-03 | |
| | FTA | | 42623 | 121 | 85-UG-04 | 43492 | 124 | 85-UG-04 | |
| 48L | 2 | 70 | 42943 | 119 | 85-UG-04 | 43799 | 122 | 85-UG-04 | 401 |
| | 3 | | 42983 | 122 | 84-UG-05 | 43737 | 124 | 84-UG-05 | |
| | SW | | 43183 | 123 | 85-UG-04 | 44044 | 125 | 85-UG-04 | |
| | FT | | 43096 | 124 | 84-UG-03 | 43588 | 127 | 84-UG-03 | |
| | FTA | | 46975 | 114 | 85-UG-04 | 46914 | 116 | 85-UG-04 | |
| 54L | 2 | 70 | 46846 | 115 | 84-UG-05 | 47098 | 118 | 84-UG-05 | 461 |
| | 3 | | 45943 | 112 | 85-UG-04 | 46969 | 114 | 85-UG-04 | |
| | SW | | 45916 | 113 | 84-UG-05 | 46916 | 115 | 84-UG-05 | |
| | FT | | 46055 | 115 | 84-UG-05 | 47278 | 118 | 84-UG-05 | |
| | FTA | | 46559 | 115 | 85-UG-04 | 47509 | 117 | 85-UG-04 | |
| 60L | 2 | 70 | 47134 | 116 | 84-UG-03 | 48096 | 119 | 84-UG-03 | 521 |
| | 3 | | 47134 | 116 | 84-UG-03 | 48096 | 119 | 84-UG-03 | |
| | SW | | 47134 | 116 | 84-UG-03 | 48096 | 119 | 84-UG-03 | |
| | FT | | 47134 | 116 | 84-UG-03 | 48096 | 119 | 84-UG-03 | |
| | FTA | | 47134 | 116 | 84-UG-03 | 48096 | 119 | 84-UG-03 | |

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Page 4/9 Rev. 07/27/22
SPEC-1023.A-0420

GE current
a daintree company

9

Evolve® LED Canopy Soffit (ECLS)

Catalog Logic & Spec Tables

| ECLS 01 | | | | | | | | | |
|-------------|----------|----------------|----------------|---------------------------|----------|------------|--------------------------------|---|------------------------------------|
| PROD. ID | GEN. | VOLTAGE | OPTIC CODE | DISTRIBUTION ¹ | CH. (mm) | CCT | DIMMING | CONTROLS | MOUNTING |
| E = Evolve | 01 | 0 = 120-277V | TS = 3,700 hrs | SM = Symmetric Medium | 7 = 70 | 30 = 3000K | 1 = None | 1 = None | JM = J-Bar Mount |
| C = Canopy | D = 347" | AS = 5,400 hrs | | | | 40 = 4000K | A = Wired to Control | A = Motion Sensor IR Program ² | PM = Pendant Mount |
| LS = Soffit | | BS = 7,100 hrs | | | | 50 = 5000K | D = External Wired 0-100% Dimm | E = Daintree Motion Sensor | RM = Recessed Mount |
| | | | | | | | | | SM = Surface Mount w/ Beauty Plate |
| | | | | | | | | | WH = White |
| | | | | | | | | | SC = Side Conduit Holes |
| | | | | | | | | | Y = Coastal Finish ³ |
| | | | | | | | | | XXX = Special Option |

¹ Not Available with Optical Code TS
² Requires Dimming Option A
³ Recommended for installations within 750 feet from coast. Lead time varies, check with factory.

| OPTICAL CODE | DIST CODE | 3000K | 4000K | 5000K | 120-277V | 347-480V |
|--------------|-----------|-------|-------|-------|----------|----------|
| TS | | 3600 | 3700 | 3700 | 29 | N/A |
| AS | SM | 5200 | 5400 | 5400 | 39 | 43 |
| BS | | 6900 | 7100 | 7100 | 54 | 58 |

For additional information on ECLS IES files, please click the following link:

ECLS IES Files

10

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www.stonefieldeng.com

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Phone 718.606.8305

CHASE

PROPOSED SITE IMPROVEMENTS

SECTION 40, BLOCK 1, LOTS 17.21 & 17.30

2300 NORTH STREET
NEW YORK, NY 10012
SCHENECTADY COUNTY, STATE OF NEW YORK

ZACHARY E. CHAPLIN, P.E.
NEW JERSEY LICENSE No. 53605
LICENSED PROFESSIONAL ENGINEER

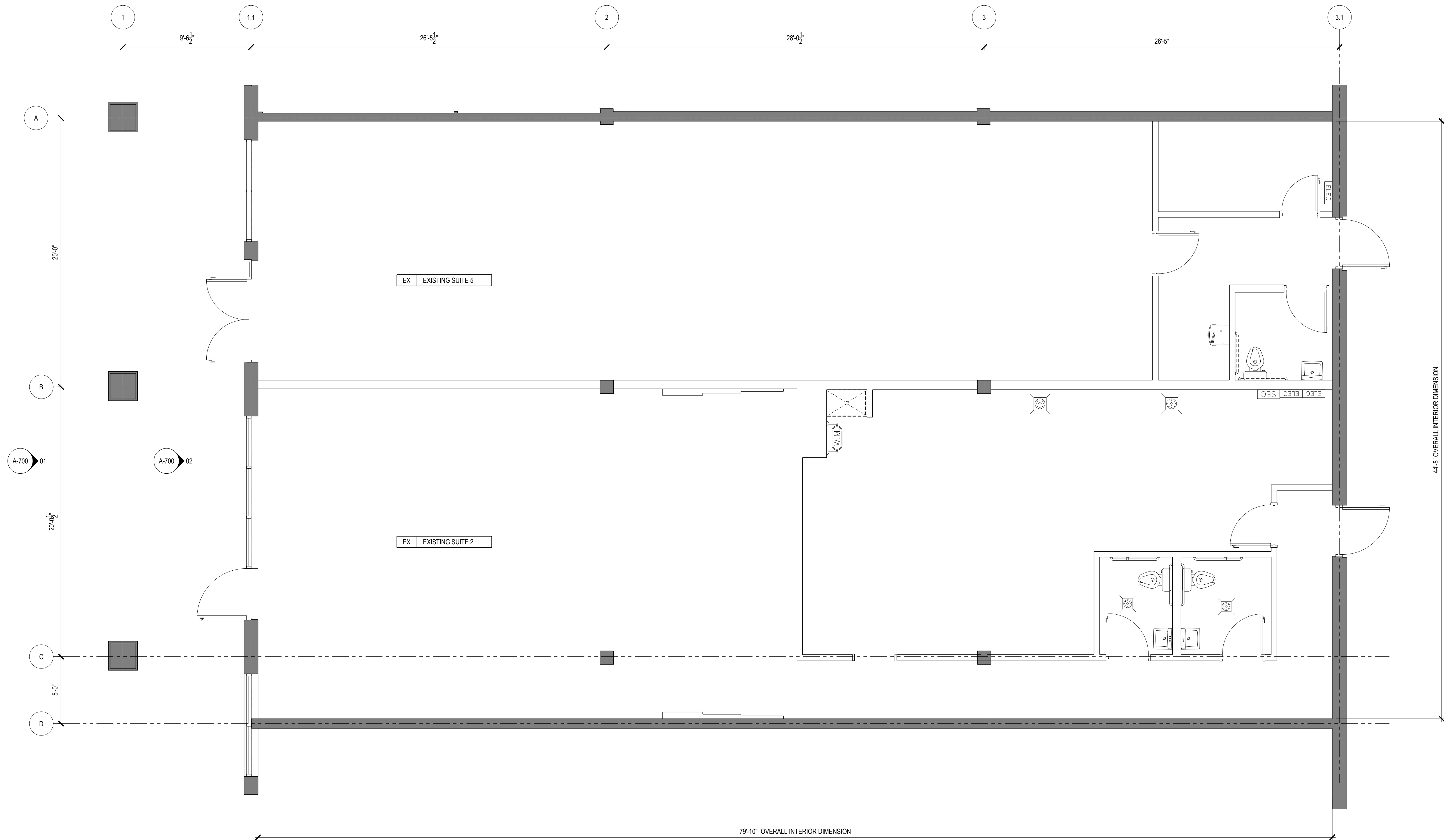
STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: NYC-220281

TITLE:
CONSTRUCTION NOTES
& DETAILS

DRAWING:

C-7



SCALE: 1/4" = 1'-0"

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| | | | |
| 01 | ISSUED FOR BID/PERMIT | 01/19/2023 | TPG |
| NO. | REVISION | DATE | BY |

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NISKAYUNA NORTH
2309 NOTT ST
EAST NISKAYUNA, NY 12309

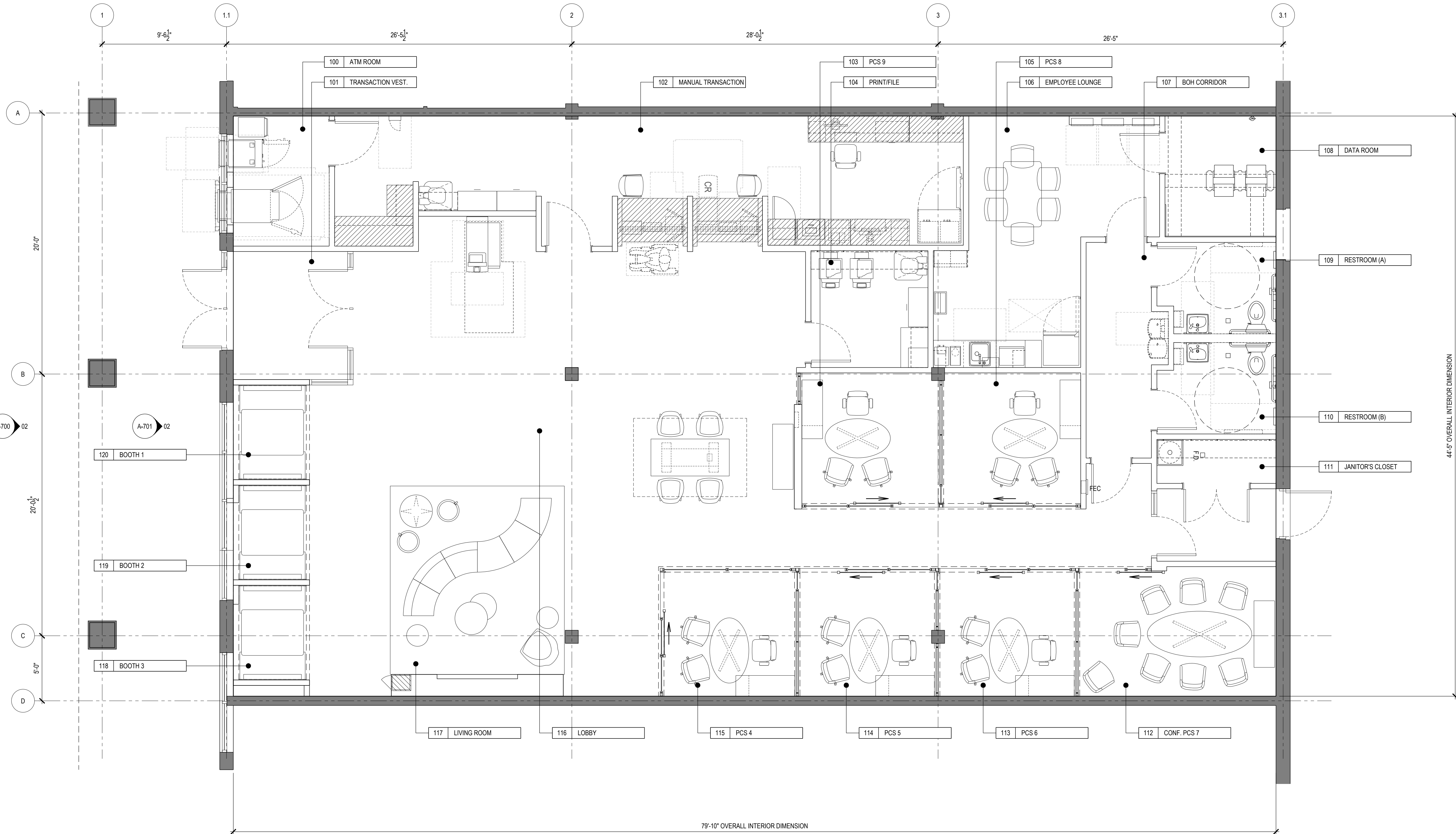
DRAWING

EXISTING FLOOR PLAN

3550 SQ FT

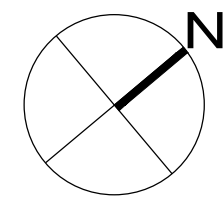
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| | DWG NO. | |
| | A-100 | |
| | CAD FILE NO. CAD PLANS.DWG | PAGE |

01 | EXISTING FLOOR PLAN - 3550 SQ FT



44'-5" OVERALL INTERIOR DIMENSION

79'-10" OVERALL INTERIOR DIMENSION



SCALE: 1/4" = 1'-0"

| | | | |
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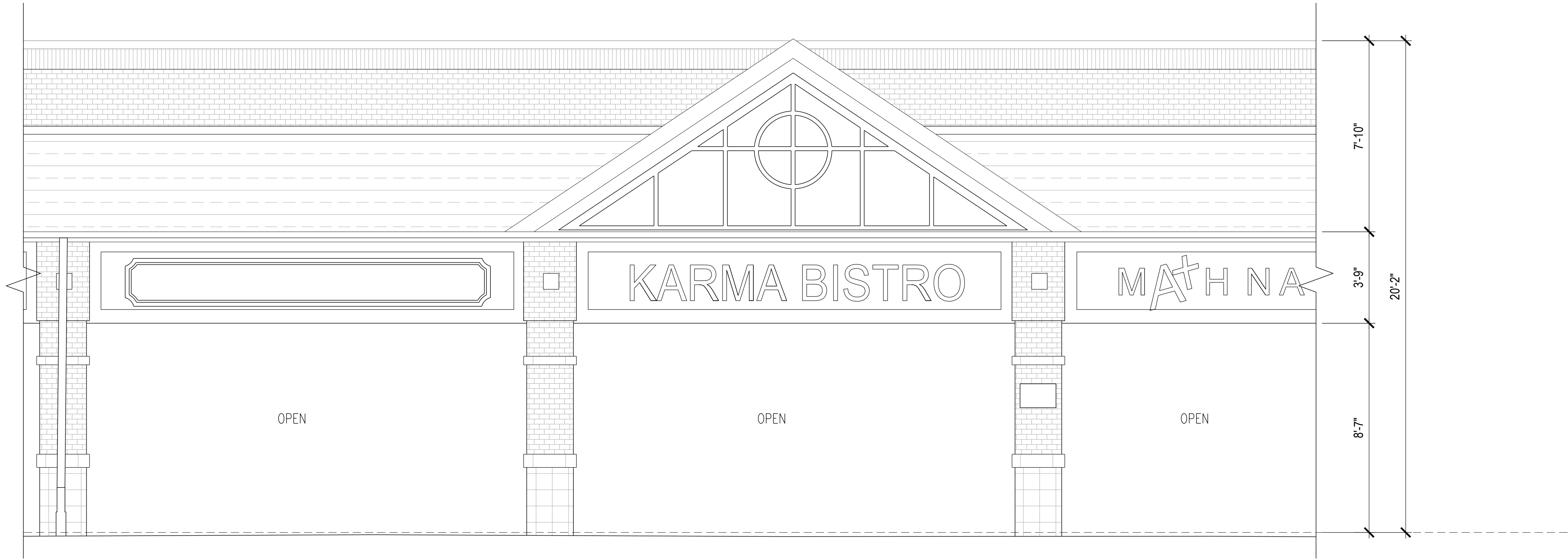
IN CONSIDERATION OF RECEIVING DRAWINGS FROM TPG ARCHITECTURE LLP IN AN ELECTRONIC FORM, THE RECIPIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO HOLD HARMLESS AND INDEMNIFY TPG ARCHITECTURE LLP FROM AND AGAINST ALL CLAIMS, LIABILITIES, LOSSES, DAMAGES, AND COSTS, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF, OR IN ANY WAY CONNECTED WITH THE USE, RE-USE, MIS-USE, MODIFICATION, OR MISINTERPRETATION OF THE MACHINE-READABLE INFORMATION PROVIDED BY TPG ARCHITECTURE LLP UNDER THIS AGREEMENT.

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NISKAYUNA NORTH
2309 NOTT ST
EAST NISKAYUNA, NY 12309

DRAWING
PROPOSED CONSTRUCTION PLAN
3550 SQ FT

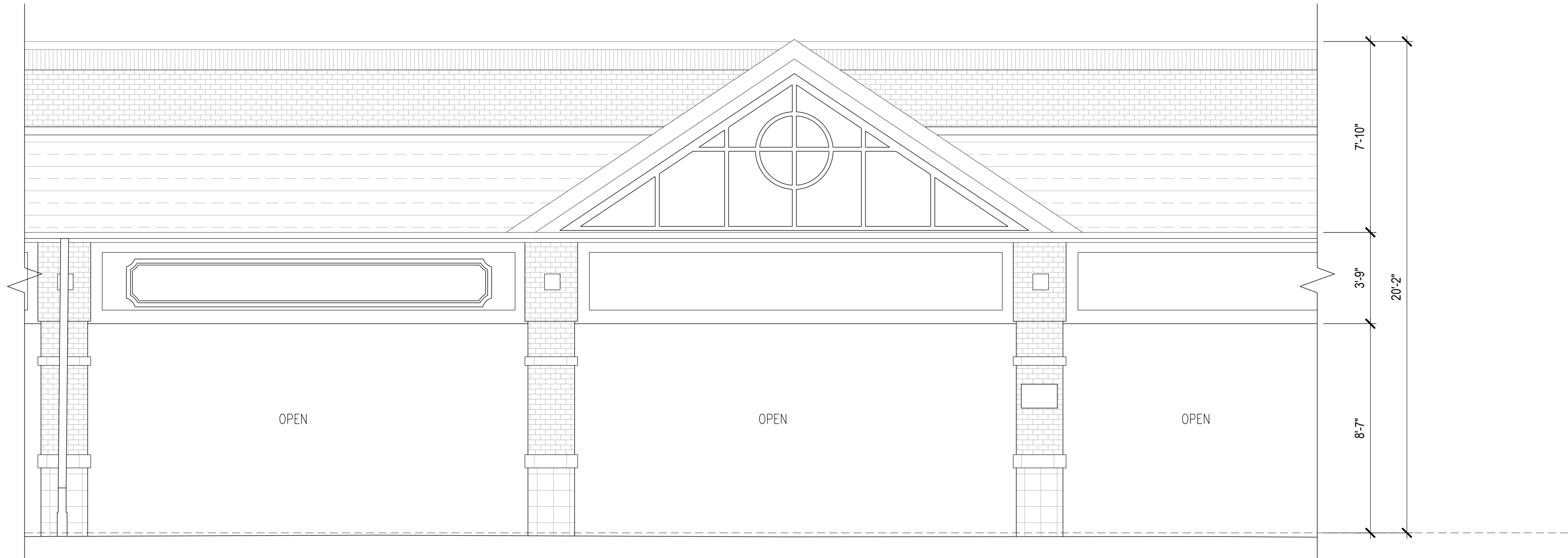
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| | DWG NO. | A-101 |
| CAD FILE NO. | | PAGE |
| CAD PLANS.DWG | | |

01 PROPOSED CONSTRUCTION FLOOR PLAN - 3550 ST FT



01 EXISTING ELEVATION

SCALE: 1/4" = 1'-0"



01 PROPOSED ELEVATION

SCALE: 1/4" = 1'-0"

| | | | |
|-----|-----------------------|------------|-----|
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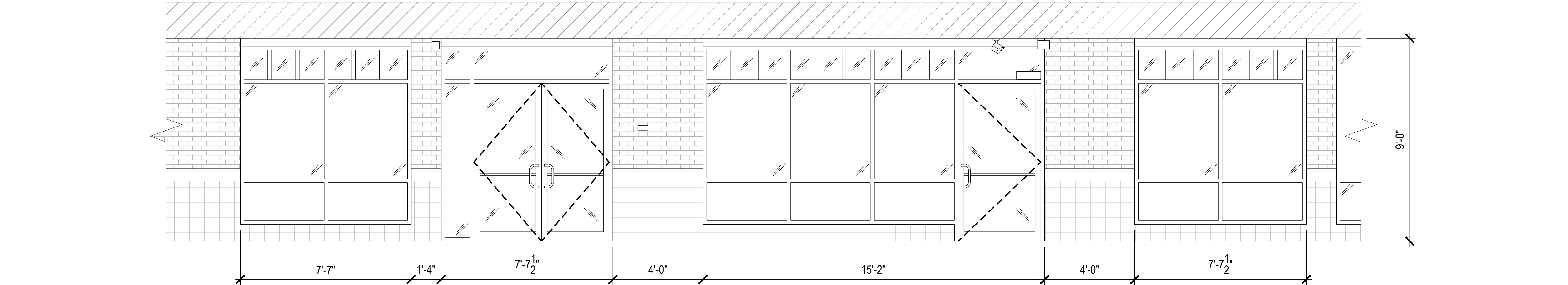
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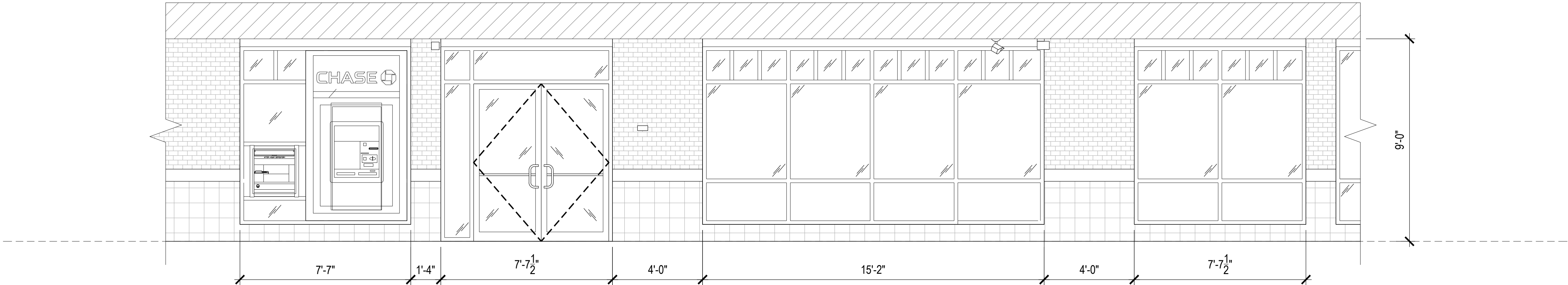
DRAWING
ELEVATIONS SHEET 1 OF 2
3550 SQ FT

| | | |
|-------------------------------|-------------|--------------|
| SEAL | DATE | 01/19/2023 |
| | PROJECT NO. | 1522691-00 |
| | SCALE | 1/4" = 1'-0" |
| | DWG NO. | A-700 |
| CAD FILE NO. CAD PLANS.DWG | | PAGE |



01 EXISTING ELEVATION

SCALE: 1/4" = 1'-0"



01 PROPOSED ELEVATION

SCALE: 1/4" = 1'-0"

| | | | |
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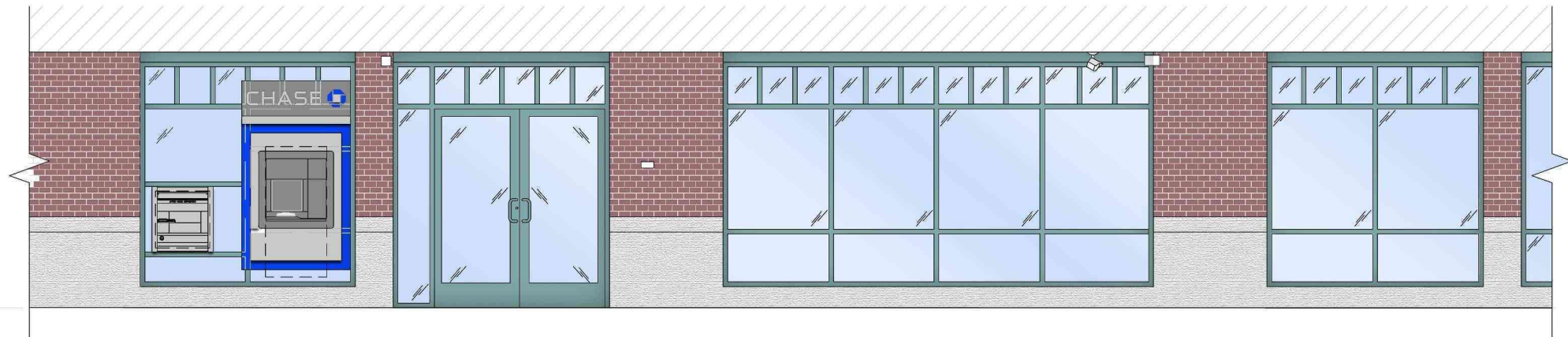
PROJECT
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EAST NISKAYUNA, NY 12309

DRAWING
ELEVATIONS SHEET 2 OF 2
3550 SQ FT

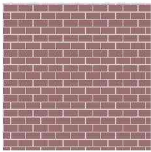
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| CAD FILE NO. | | PAGE |
| CAD PLANS.DWG | | |



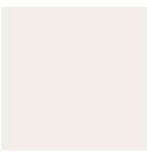
SOUTH ELEVATION



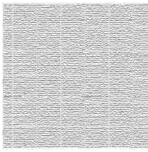
SOUTH STOREFRONT ELEVATION



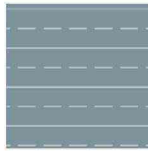
Red Brick
(Existing)



Cream
Stucco
(Existing)



Grey Stone
(Existing)



Green Roof
Tiles
(Existing)



Green Anodized
Mullions

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DRAWING
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SCALE
NTS

FLOOR

01

DRAWING

SK-001

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | |
|---|--|--------|--------------------------|--------------------------|
| Part 1 – Project and Sponsor Information | | | | |
| Name of Action or Project: | | | | |
| Project Location (describe, and attach a location map): | | | | |
| Brief Description of Proposed Action: | | | | |
| Name of Applicant or Sponsor: | | | Telephone: | |
| | | | E-Mail: | |
| Address: | | | | |
| City/PO: | | State: | Zip Code: | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? | | | NO | YES |
| If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? | | | NO | YES |
| If Yes, list agency(s) name and permit or approval: | | | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor? | | | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): <input type="checkbox"/> Parkland | | | | |

| | | | |
|--|--------------------------|--------------------------|--------------------------|
| 5. Is the proposed action, | NO | YES | N/A |
| a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? | NO | YES | |
| If Yes, identify: _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation services available at or near the site of the proposed action? | <input type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | <input type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? | NO | YES | |
| If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? | NO | YES | |
| If No, describe method for providing potable water: _____ _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? | NO | YES | |
| If No, describe method for providing wastewater treatment: _____ _____ | <input type="checkbox"/> | <input type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | <input type="checkbox"/> | <input type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| | <input type="checkbox"/> | <input type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? | <input type="checkbox"/> | <input type="checkbox"/> | |
| If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | | | |

| | | |
|--|--|---|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional Wetland <input type="checkbox"/> Urban Suburban | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____ | NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> | YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____ | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ | NO <input type="checkbox"/> | YES <input type="checkbox"/> |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: _____ Title: _____ | | |



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



| | |
|---|-----|
| Part 1 / Question 7 [Critical Environmental Area] | No |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No |
| Part 1 / Question 12b [Archeological Sites] | Yes |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] | No |
| Part 1 / Question 15 [Threatened or Endangered Animal] | No |
| Part 1 / Question 16 [100 Year Flood Plain] | No |
| Part 1 / Question 20 [Remediation Site] | Yes |



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 5

MEETING DATE: 2/13/2023

ITEM TITLE: DISCUSSION: 40.-1-54.11 – Sketch plan app. for a 2-Lot minor subdivision and lot line adjustment at Antonia Park.

PROJECT LEAD: Ms. Gold

APPLICANT: Fred Polsinelli, Executor of the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Fred Polsinelli, Executor for the estate of Vincenza Polsinelli, submitted an Application for Site Plan Review for a 2-Lot minor subdivision including a lot line adjustment for Homestead Place at Antonia Park (parcel 40.-1-54.11).

BACKGROUND INFORMATION

The property is located within the R-1 Low Density Residential zoning district.

A site plan drawing entitled "Homestead Place at Antonia Park Section 9" authored by Gilbert VanGuilder Land Surveyor, PLLC" dated 10/17/22 with a most recent revision date of 12/5/22 was included with the application. The drawing shows the original 8.43 Acre property being divided as noted below.

1. Lot 1 – is a new lot that is 3.10 Acres in size
2. Lot 2 – is a new lot that is 3.02 Acres in size
3. Remaining Area – is 2.31 Acres in size and will be annexed to Lecce Development Corp.

Access to a Town water line is available at the end of the stub road (Polsinelli Dr.). Access to a Town sewer line is available at the intersection of the stub road and Rosehill Blvd.

The Planning Department will work with the applicant on previous wetland delineations on the property to ensure wetlands are properly identified and documented. The PD also recommends adding contours to the sketch plan to make sure drainage channels are properly identified.

The lands to the south of this parcel are deed restricted for no further development – the lands to the west are not. It would be good to discuss whether or not the back parcel of this property can be deed restricted when it is transferred to the adjacent property owner, Lecce Development Corp.

1/9/23 Planning Board meeting – Mr. Polsinelli appeared before the Board and explained his proposed project. The Planning Office and Planning Board requested that the following be added to the sketch plan drawing.

1. Contour lines so that drainage channels are properly identified.
2. Deed restrictions to prevent subsequent subdivision.
3. Water and sewer connections.

A revised site plan drawing with a revision date of 1/20/23 was provided to the Planning Office.

2/1/23 Conservation Advisory Council (CAC) meeting – The CAC reviewed the project and made the following recommendations.

1. Include the delineation of all wetlands on the property on the site plan drawing.
2. Include provisions that the newly created lots shall not be subdivided.
3. Have a TDE review the utility service and drainage for the property.

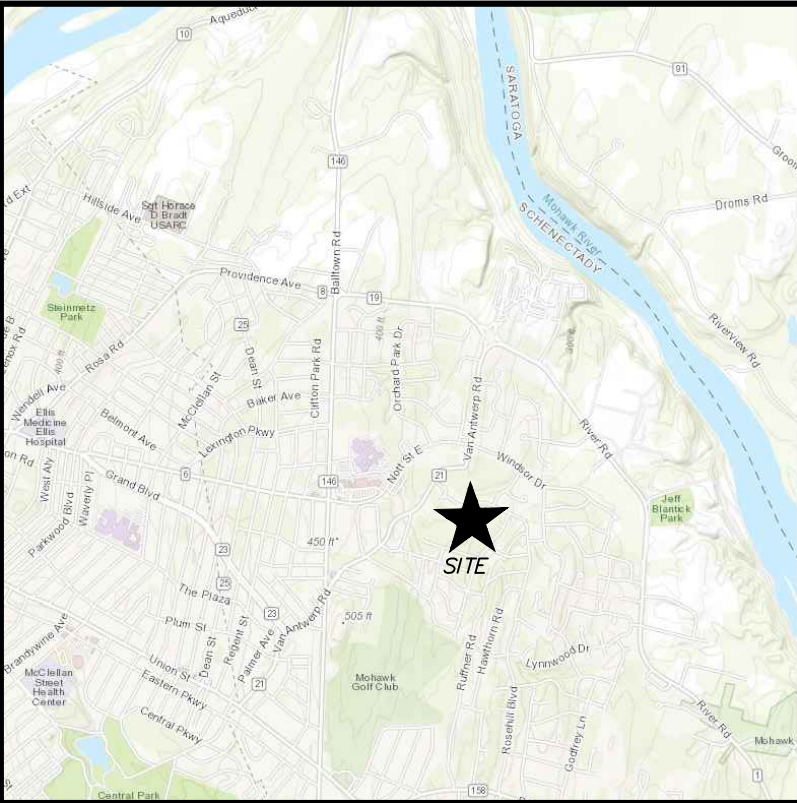
On 2/6/23 the applicant's engineer provided the following 6-page sketch plan drawing set to the Planning Office.

| Page No. | Title | Author | Rev |
|----------|---------------------------------|--|---------|
| 1 | Homestead Place at Antonia Park | Gilbert VanGuilder Land Surveyor, PLLC | 1/20/23 |
| 2 | Overall Site Plan | Brett Steenburgh, P.E. PLLC | 2/3/23 |
| 3 | Detailed Grading & Utility Plan | Brett Steenburgh, P.E. PLLC | 2/3/23 |
| 4 | E & SC Plan | Brett Steenburgh, P.E. PLLC | 2/3/23 |
| 5 | Details | Brett Steenburgh, P.E. PLLC | 2/3/23 |
| 6 | Details | Brett Steenburgh, P.E. PLLC | 2/3/23 |

The Planning Office reviewed the 6-page drawing set relative to the PB and CAC requests listed above and noted the following.

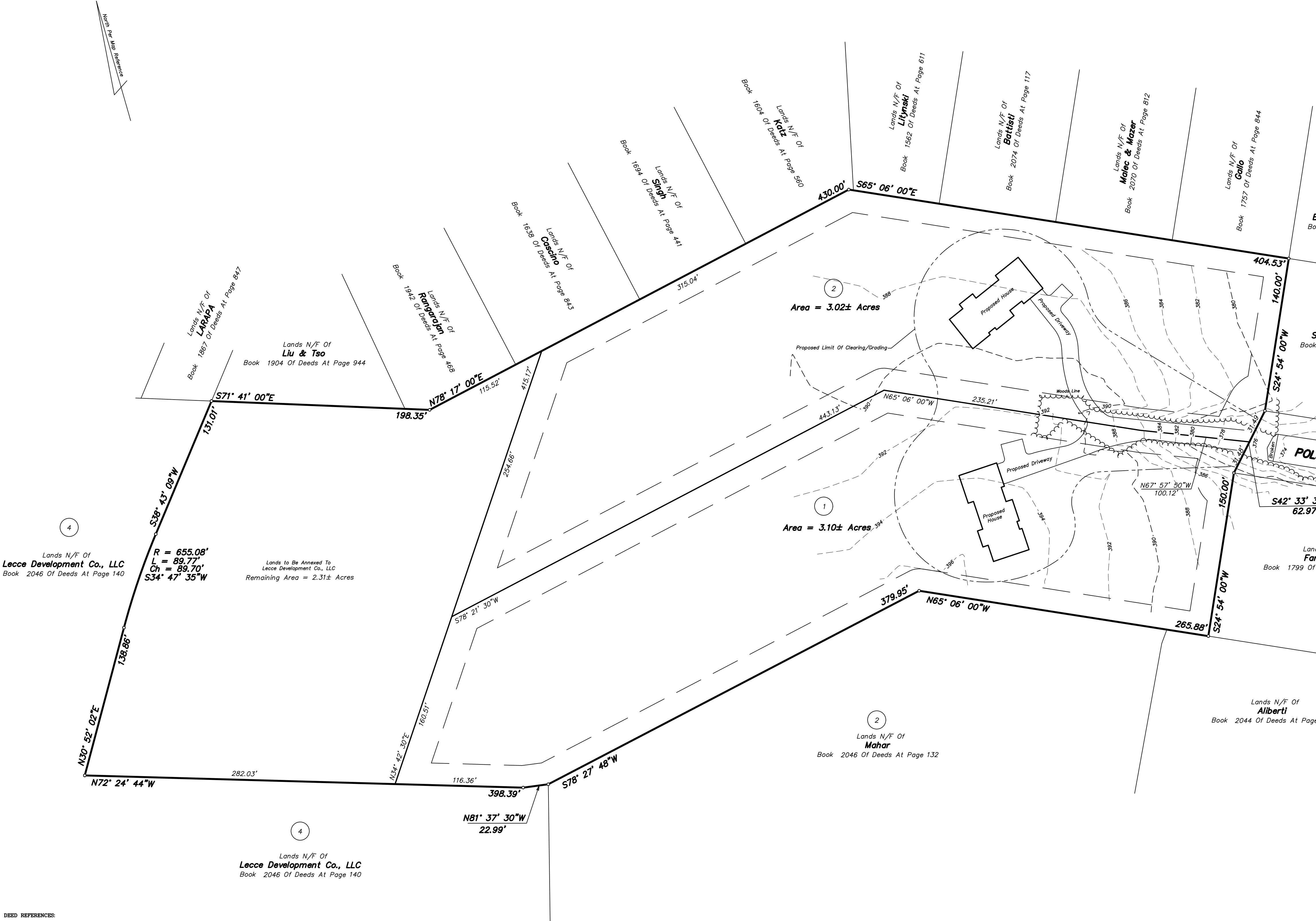
| No. | Description of Request | Status |
|-----|--------------------------------------|--|
| 1 | Add contour lines and drainage paths | Contour lines added to pg. 3 but proposed drainage plan adds a new catch basin feeding an existing closed pipe Town storm water system that is already at maximum capacity |
| 2 | Deed restrict additional subdivision | A future subdivision note is included on pg. 3 but it only refers to "lot 4", two different lots are also identified as lot 2. |
| 3 | Show water and sewer connections | Shown on dwg. but an analysis should be performed to assure that the existing town utility systems can support the proposed connections. |
| 4 | Include wetland delineation | Wetlands are shown in the back lot but a reference note indicates the delineation is from a survey performed in 2006. A more recent survey is appropriate. |
| | | |

The PB should review & discuss the new 6-page drawing set with the applicant.



SITE LOCATION

SITE STATISTICS:
ZONING: R-1 SINGLE FAMILY DWELLING
MIN. LOT SIZE - 18,000 SQ. FT.
MIN. WIDTH - 100 FT.
MIN. DEPTH - 125 FT.
MIN. FRONT SETBACK - 35 FT.
MIN. SIDE SETBACK - 20 FT./BOTH 40 FT.
MIN. REAR SETBACK - 25 FT.



Proposed Driveway Revised - 1/20/23
Tape Added - 1/18/23
Revised - 12/5/22
Revised - 11/5/22

DEED REFERENCES:
CONVEYANCE TO VINCENZA POLSINELLI BY DEED RECORDED IN THE SCHENECTADY COUNTY CLERK'S OFFICE IN BOOK 1851 OF DEEDS AT PAGE 649.

MAP REFERENCE:
MAP ENTITLED, "ANTONIA PARK SECTION 10" DATED JUNE 18, 1990 PREPARED BY C.T. MALE ASSOCIATES, P.C.

- NOTES:
1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE ABSTRACT OF TITLE AND/OR TITLE REPORT AND MAY BE SUBJECT TO WHATEVER STATEMENT OF FACTS THEY MAY REVEAL.
 2. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
 3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
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 5. THE PRESENCE OF WETLANDS WAS INVESTIGATED WITHIN THE LIMITS OF PROPOSED GRADING AND CLEARING ON MULTIPLE OCCASIONS DURING THE GROWING SEASON 2022. NONE WERE IDENTIFIED.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES OF THIS SURVEY MAP BEARING THE LAND SURVEYOR'S ORIGINAL SIGNATURE AND EMBOSSED SEAL SHALL BE CONSIDERED VALID.

KEVIN H. WEED, P.L.S. No. 51,005

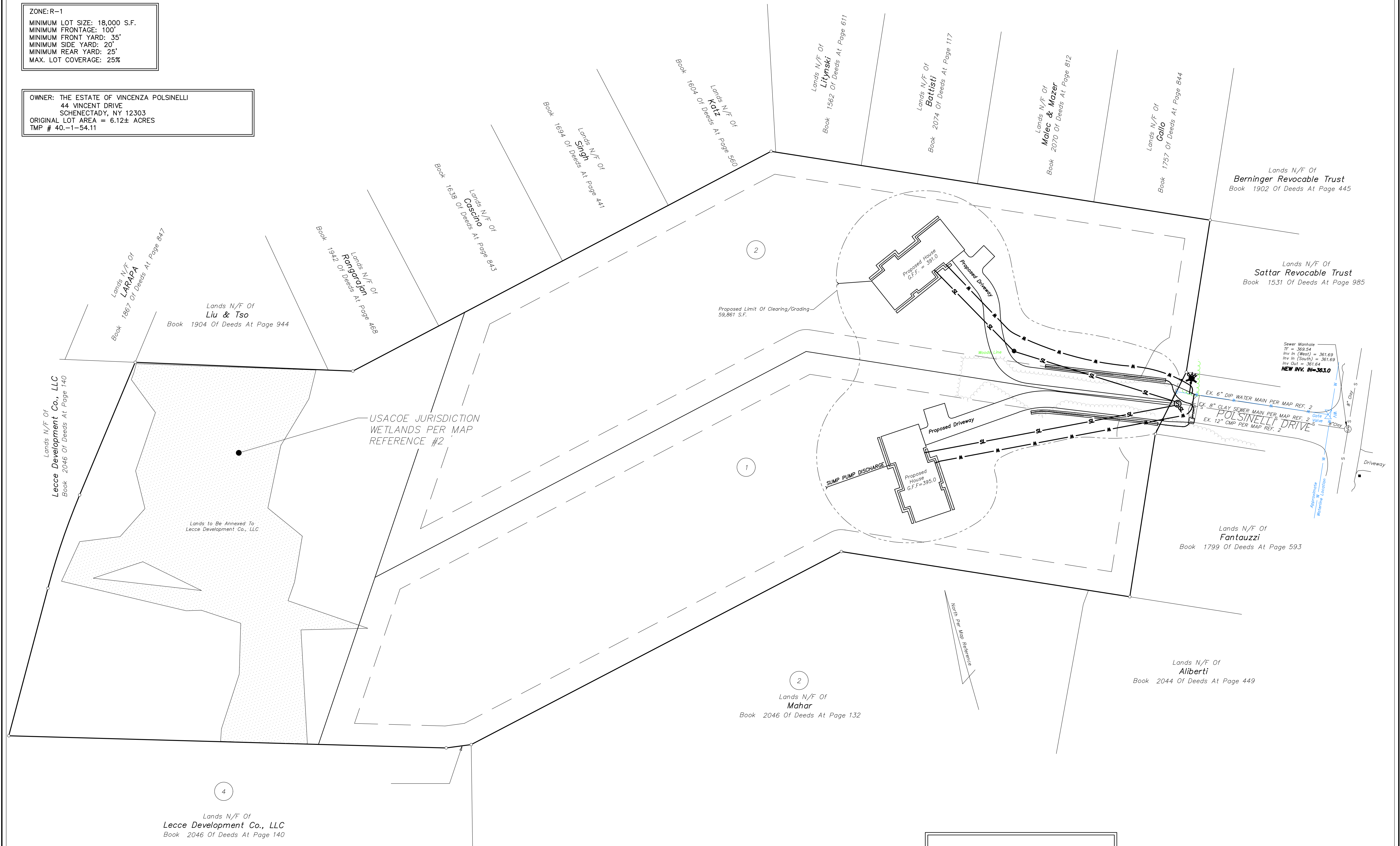
HOMESTEAD PLACE AT
ANTONIA PARK
SECTION 9

| | | | |
|--------------------------|-----------------|------------------------------|--|
| TOWN OF NISKAYUNA | | SCHENECTADY COUNTY, NEW YORK | |
| MAP NUMBER: 23 - 22 - 12 | SCALE: 1" = 50' | DATE: OCTOBER 17, 2022 | |

Gilbert VanGuilder
Land Surveyor, PLLC
Professional Land Surveyors
988 Route 146, Clifton Park, New York 12065
Telephone: (518) 383-0634
gvglandsurveyors.com

ZONE: R-1
 MINIMUM LOT SIZE: 18,000 S.F.
 MINIMUM FRONTAGE: 100'
 MINIMUM FRONT YARD: 35'
 MINIMUM SIDE YARD: 20'
 MINIMUM REAR YARD: 25'
 MAX. LOT COVERAGE: 25%

OWNER: THE ESTATE OF VINCENZA POLSINELLI
44 VINCENT DRIVE
SCHENECTADY, NY 12303
ORIGINAL LOT AREA = 6.12± ACRES
TMP # 40.-1-54.11



CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH

TOWN ENGINEER MATTHEW YETTO, PE

MAP REFERENCES:

2. MAP ENTITLED "PRELIMINARY PLAT HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" PREPARED BY RAYMOND L. GEMME, PE, LS AND DATED 11/20/2006

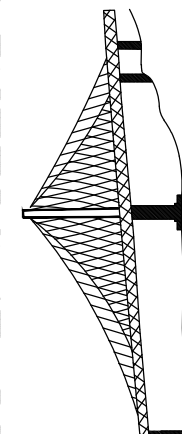
OVERALL SITE PLAN
FRED POLSINELLI

COUNTY OF SCHENECTADY
TOWN OF NISKAYUNA
STATE OF NEW YORK

| | | |
|-----------------------------|------------------------|-----------------|
| DRAWN BY: BLS CADD FILE: | CHECKED BY: JOB NO. | SCALE: 1" = 40' |
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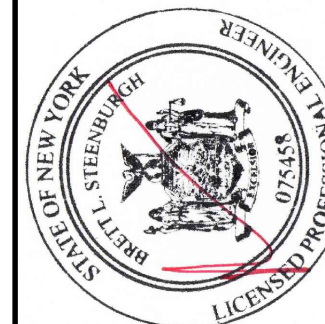
SHEET C-1

BRETT L. STEENBURGH, P.E. PLLC



2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675
bsteenburghpe@gmail.com

**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**



RETT L. STEENBURGH, P.E.
N.Y.S. LIC. NO. 075458

Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

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Steenburgh, P.E., PLLC

[illegible]

WATER SERVICE NOTES:

A. ALL WATER SERVICES SHALL BE A MIN. OF 5 FEET DEEP FROM FINISHED GRADE TO THE TOP OF THE PIPE. THE CONTRACTOR SHALL CONSTRUCT THE WATER LINE SO THAT ALL CROSSINGS WITH OTHER UTILITIES HAVE THE REQUIRED CLEARANCES. INVERTS AT THE WATER AND SEWER CROSSINGS ARE NOTED ON THE PLANS

B. WATER LINES SHALL BE LAID AT LEAST 10 FT. HORIZONTALLY FROM ANY EXISITNG OR PROPOSED SEWER. WATER MAINS CROSSINGS SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 IN. BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER. THIS SHALL BE THE CASE WHERE THE WATER MAIN IS EITHER ABOVE OR BELOW THE SEWER

C. HDPE WATER SERVICES SHALL BE INSTALLED WITH TRACER WIRE.

WATER NOTES:

A. THE TOWN OF NISKAYUNA SHALL BE NOTIFIED 72 HOURS PRIOR TO INSTALLATION DISINFECTION AND TESTING OF THE WATER MAIN.

SEWER NOTES:

A. EXISTING MANHOLE SHALL BE RAISED USING A 3 FOOT HIGH BARREL SECTION. THE NEW SECTION SHALL HAVE POLYMER STEPS. THE EXISTING CONE SECTION SHALL BE REMOVED AND THE BARREL SECTION INSTALLED USING NEW BUTYL SEALS. TWO LAYERS OF ASPHALT SEALANT SHALL BE APPLIED TO THE NEW SECTION. THE EXISTING CONE SECTION SHALL BE RE-USED. ALL STEPS SHALL BE ALIGNED.

B. UPON RAISING THE MANHOLE RIM, A POSITIVE PITCH OF THE FINISHED GRADE AWAY FROM THE MANHOLE IN ALL DIRECTIONS SHALL BE ESTABLISHED.

GENERAL NOTES

- IT IS THE INTENT OF THESE PLANS TO BE IN STRICT CONFORMANCE WITH ALL TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK, AND APPLICABLE FEDERAL RULES REGULATIONS, AND LAWS. IF CONFLICTS ARE NOTED BETWEEN THE ABOVE, AND THESE PLANS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE TOWN ENGINEER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS, AND MATERIALS GIVEN ON THE PLANS.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR ANY DAMAGE DONE OUTSIDE OF THE PROJECT AREA OR LIMITS OF CLEARING.
- EXCESS BUILDING MATERIAL AND CLEARING DEBRIS SHALL BE DISPOSED OF OFF SITE.
- UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS.
- SURVEY BASE MAPING HAS BEEN PROVIDED BY OTHERS BRETT L. STEENBURGH, P.E., LLC MAKES NO CERTIFICATION AS TO THE ACCURACY AND COMPLETENESS OF SAID MAPPING.
- CONFLICTS SHOWN ON PLANS OR BETWEEN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, OWNER REPRESENTATIVE AND/OR ENGINEER.

GENERAL NOTES:

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE HEALTH DEPARTMENT.

SOIL EROSION AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
- CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTERITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDD AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDD AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

FUTURE SUBDIVISION NOTE:

ANY FUTURE SUBDIVISION OF THE UNRESTRICTED LANDS OF LOT 4 WILL REQUIRE A MAJOR SUBDIVISION REVIEW AS REQUIRED UNDER THE TOWN OF NISKAYUNA SUBDIVISION LAW AT THAT TIME.

Tree Preservation Policy

- Subdivision approval by the Planning Board authorizes grading and clearing within the road right-of-way and easements only. The applicant shall submit plans for individual lot grading to be approved as part of the building permit application.
- The grading plan submitted for the building permit shall identify all trees with a diameter of 5 inches or more as measured 3 feet above the base of the trunk and indicate those that are proposed to be removed and the reason why such removal is necessary.
- Any trees removed from a lot in a manner that is not consistent with the approved grading plan for that lot shall be replaced at the expense of the developer before the issuance of the certificate of occupancy. Replacement trees shall be of a type and size satisfactory to the Town Engineer.
- The grading plan shall be consistent with the purposes of the Soil Erosion and Sediment Control Ordinance. In particular, erodible materials shall not be stockpiled within the drip line of trees to be preserved.

Grading Notes

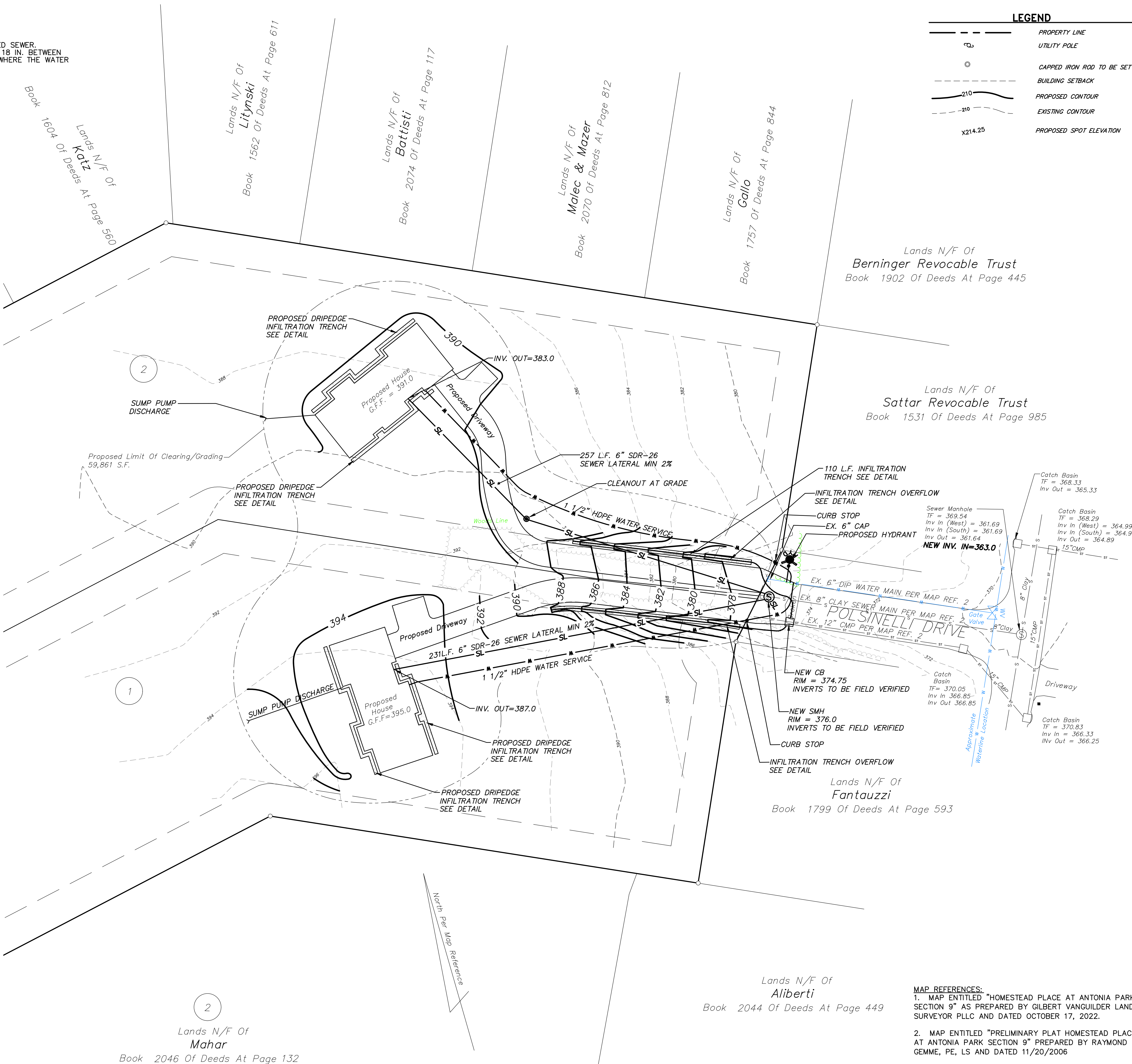
- The applicant shall treat the grading plan—submitted for the subdivision as advisory only, and shall submit grading plans for review by the Building Inspector on a lot-by-lot basis that are consistent with the Planning Board requirements for tree preservation.

CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH

DATE

TOWN ENGINEER MATTHEW YETTO, PE.

DATE



LEGEND

- PROPERTY LINE
- UTILITY POLE
- CAPPED IRON ROD TO BE SET
- BUILDING SETBACK
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED SPOT ELEVATION

MAP REFERENCES:

- MAP ENTITLED "HOMESTEAD PLACE AT ANTONIA PARK SECTION 9" AS PREPARED BY GILBERT VANGUILDER LAND SURVEYOR PLLC AND DATED OCTOBER 17, 2022.
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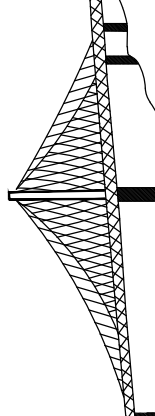
DETAILED GRADING AND UTILITY PLAN BRETT L. STEENBURGH, P.E. PLLC

FRED POLSINELLI
POLSNELLI DRIVE

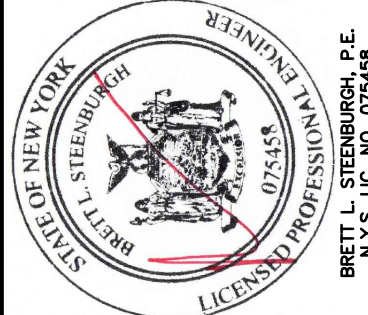
TOWN OF NISKAYUNA
STATE OF NEW YORK

COUNTY OF SCHENECTADY
DRAWN BY: BLS
CHECKED BY: JCB
CADD FILE:
DATE: FEBRUARY 3, 2023

2832 Rosendale Road
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(518) 365-0875
bsteenburgpe@gmail.com



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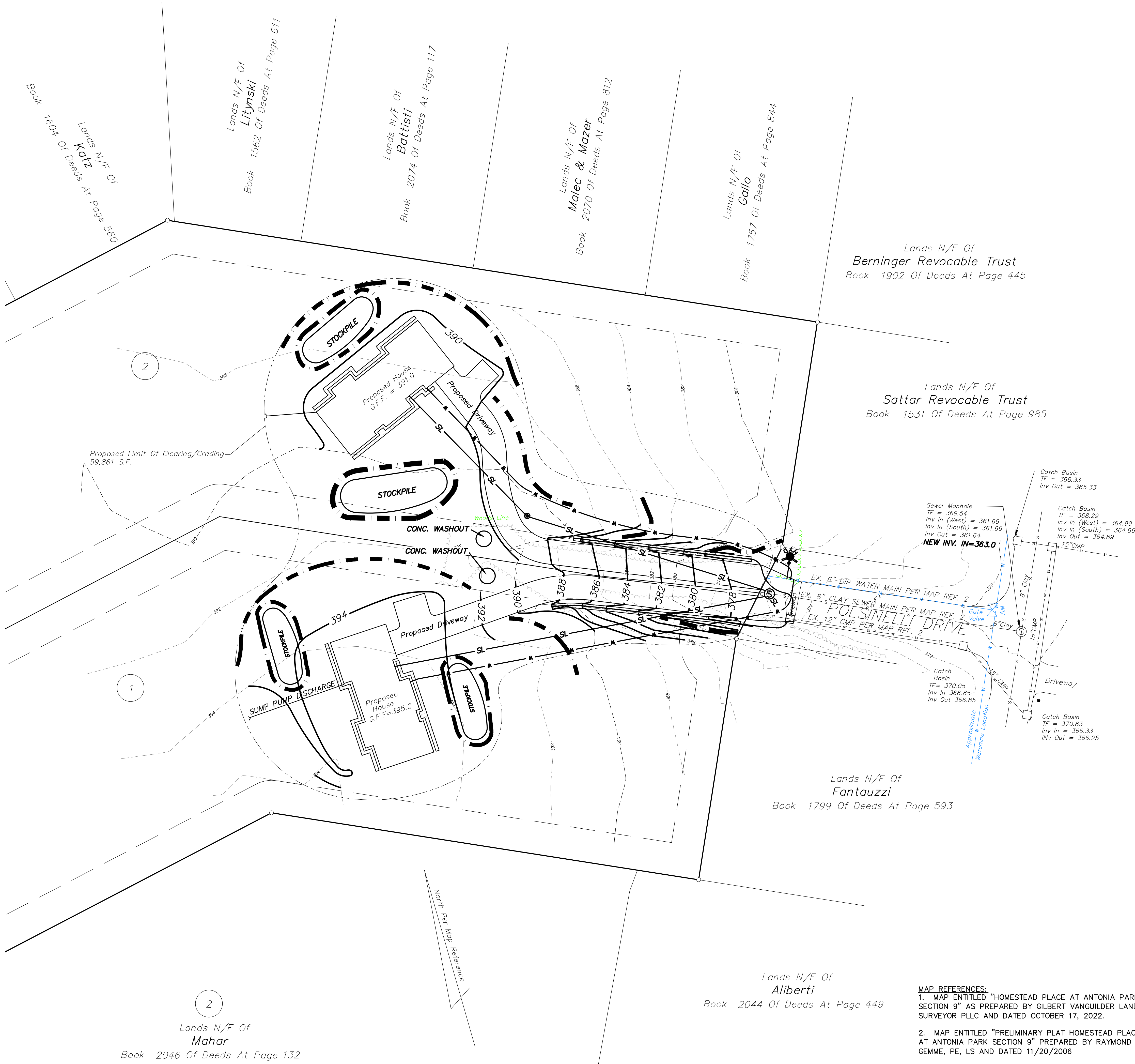
NO. DATE. REVISIONS. BY.

CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH

DATE

TOWN ENGINEER MATTHEW YETTO, PE.

DATE



E & SC PLAN

FRED POLSINELLI

POLSINELLI DRIVE

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

DRAWN BY: BLS

CADD FILE:

DATE:

STATE OF NEW YORK

SCALE: 1" = 30'

SHEET C-3

BRETT L. STEENBURGH, P.E. PLLC

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bsteenburgpe@gmail.com

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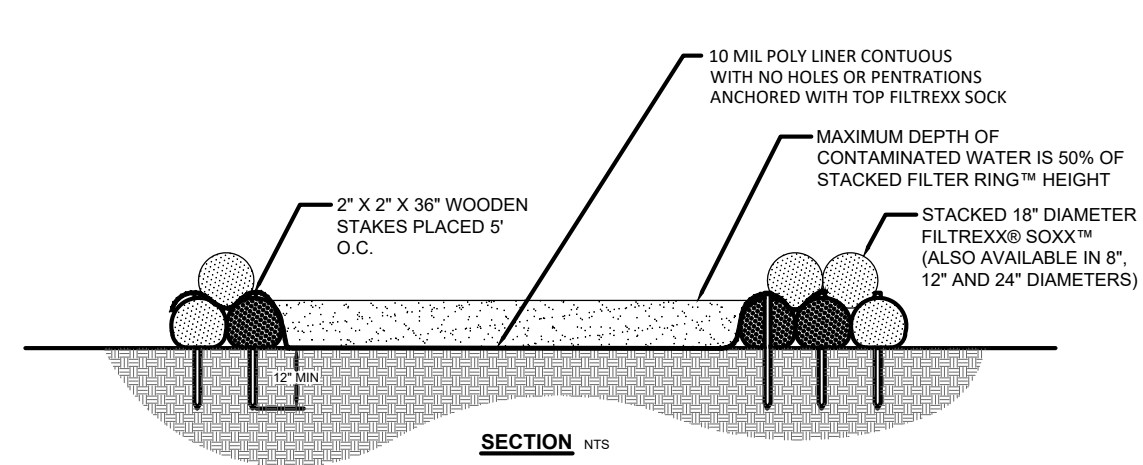
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NO.

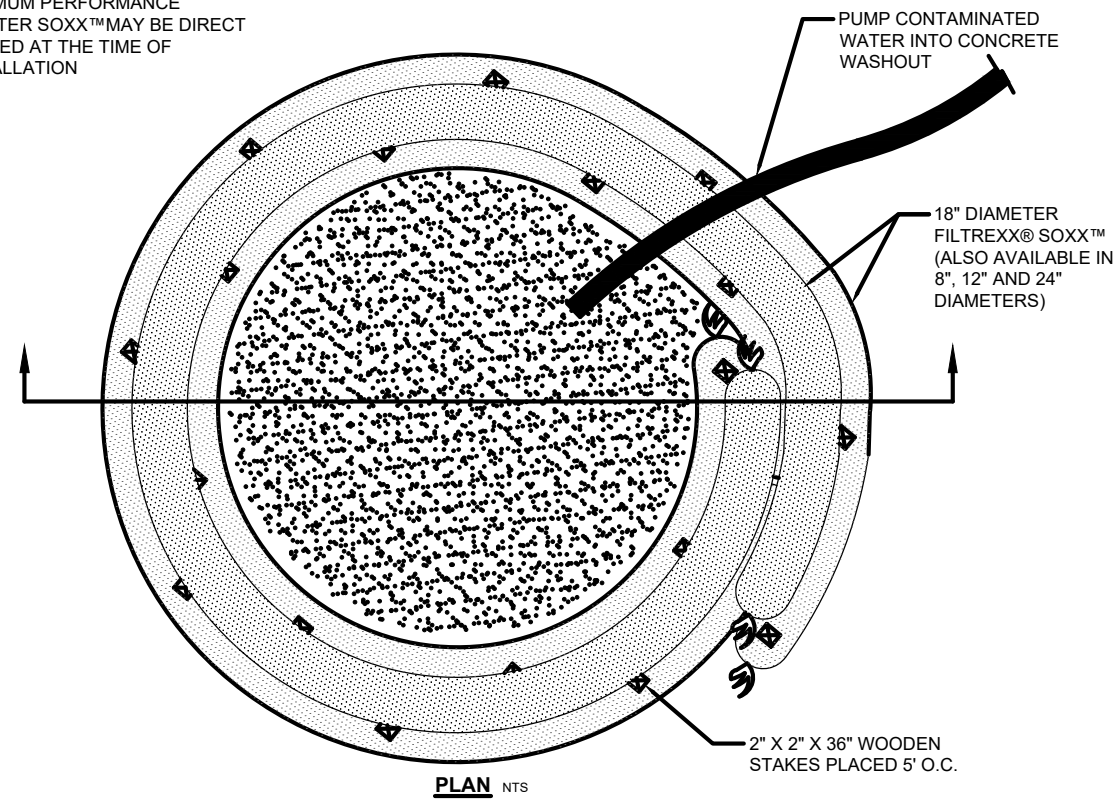
DATE.

REVISIONS

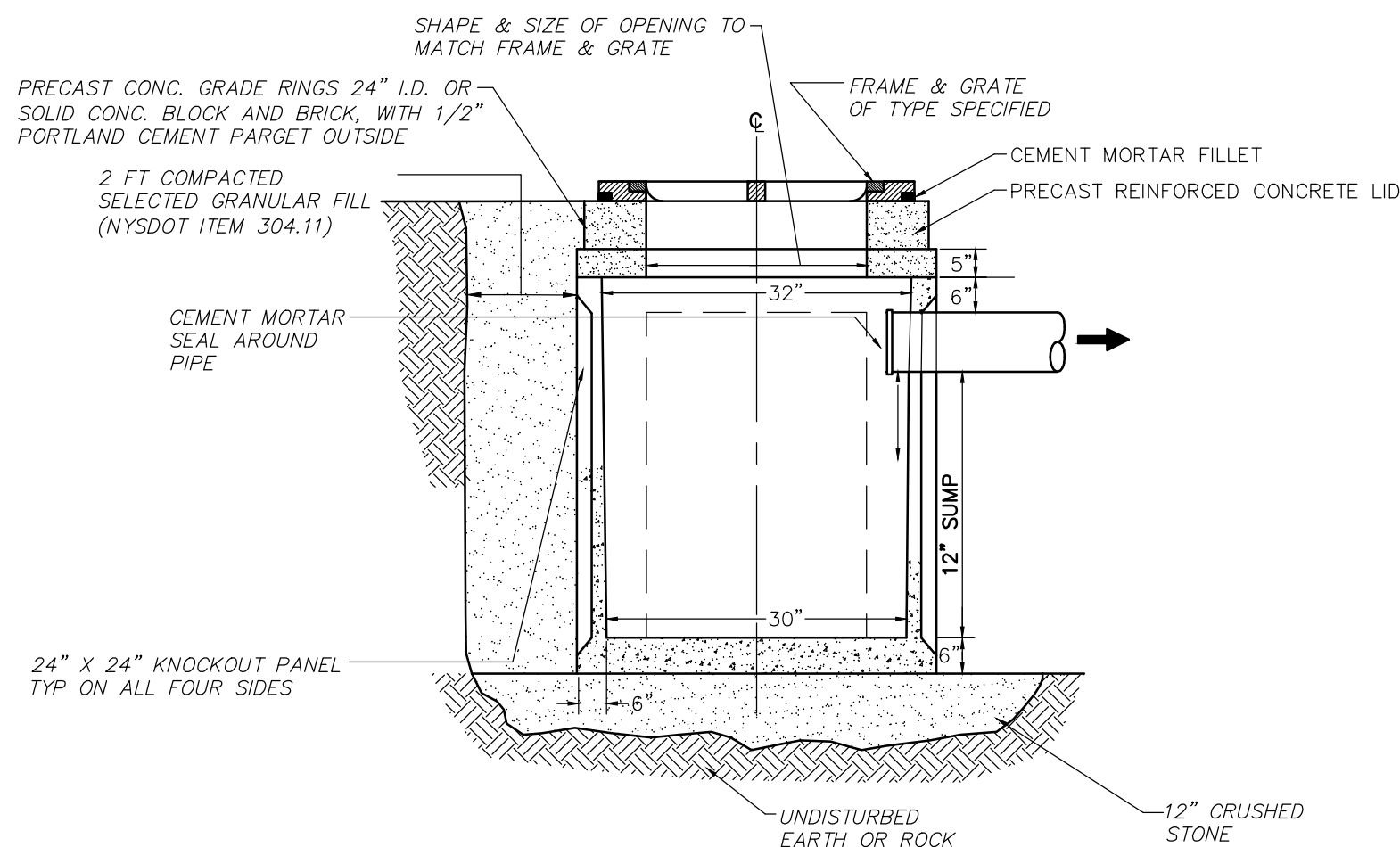
B.Y.



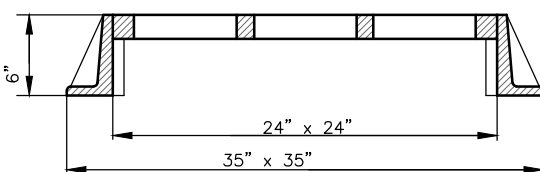
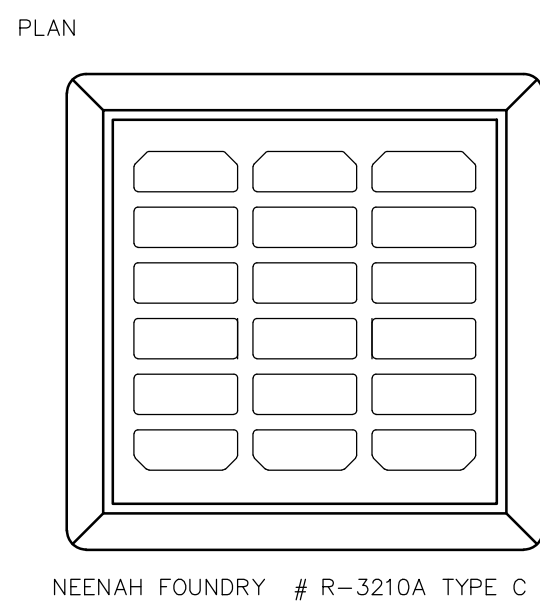
NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. FILTER SOCK™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION.



FILTREXX® CONCRETE WASHOUT
NTS

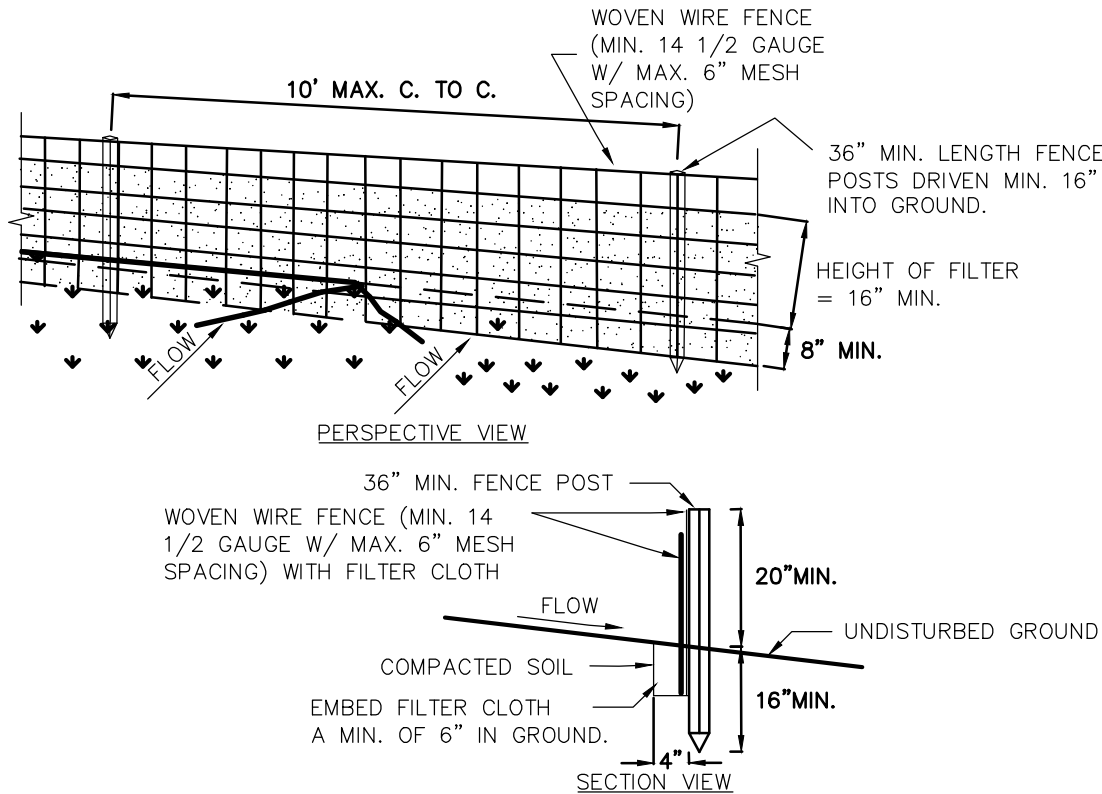


STANDARD SQUARE PRECAST CONCRETE CATCH BASIN (TYPE 2)
(NOT TO SCALE)



**INLET STRUCTURE
FRAME & COVER**
(NOT TO SCALE)

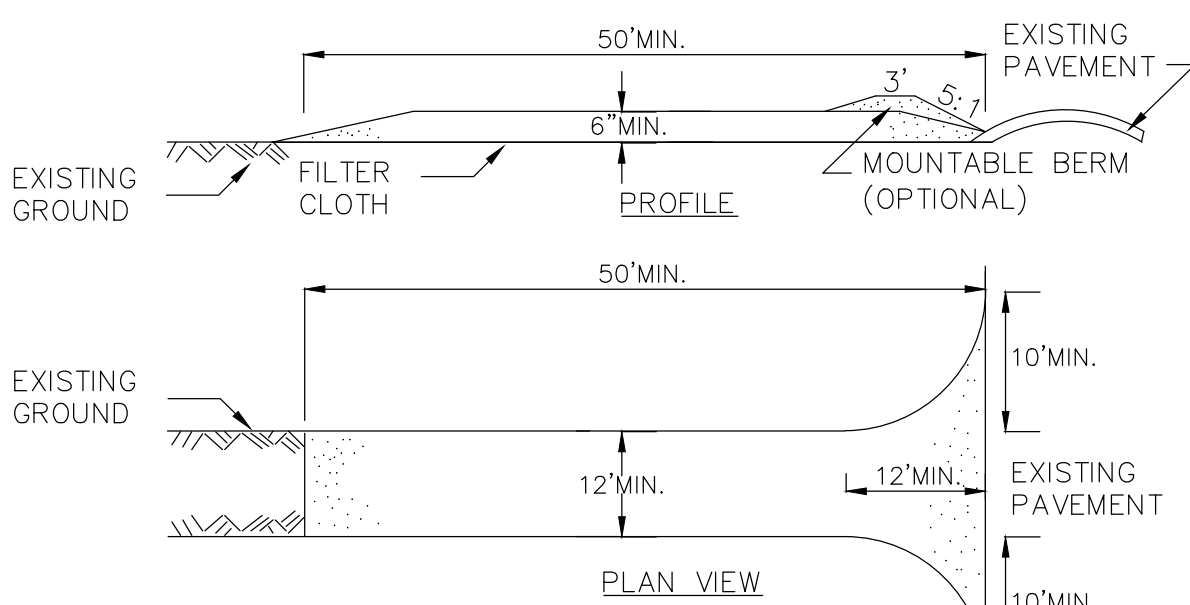
NOTES:
1. CEMENT MORTAR ALL AROUND FRAME.
2. FRAMES AND COVERS BY NEENAH FOUNDRY



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

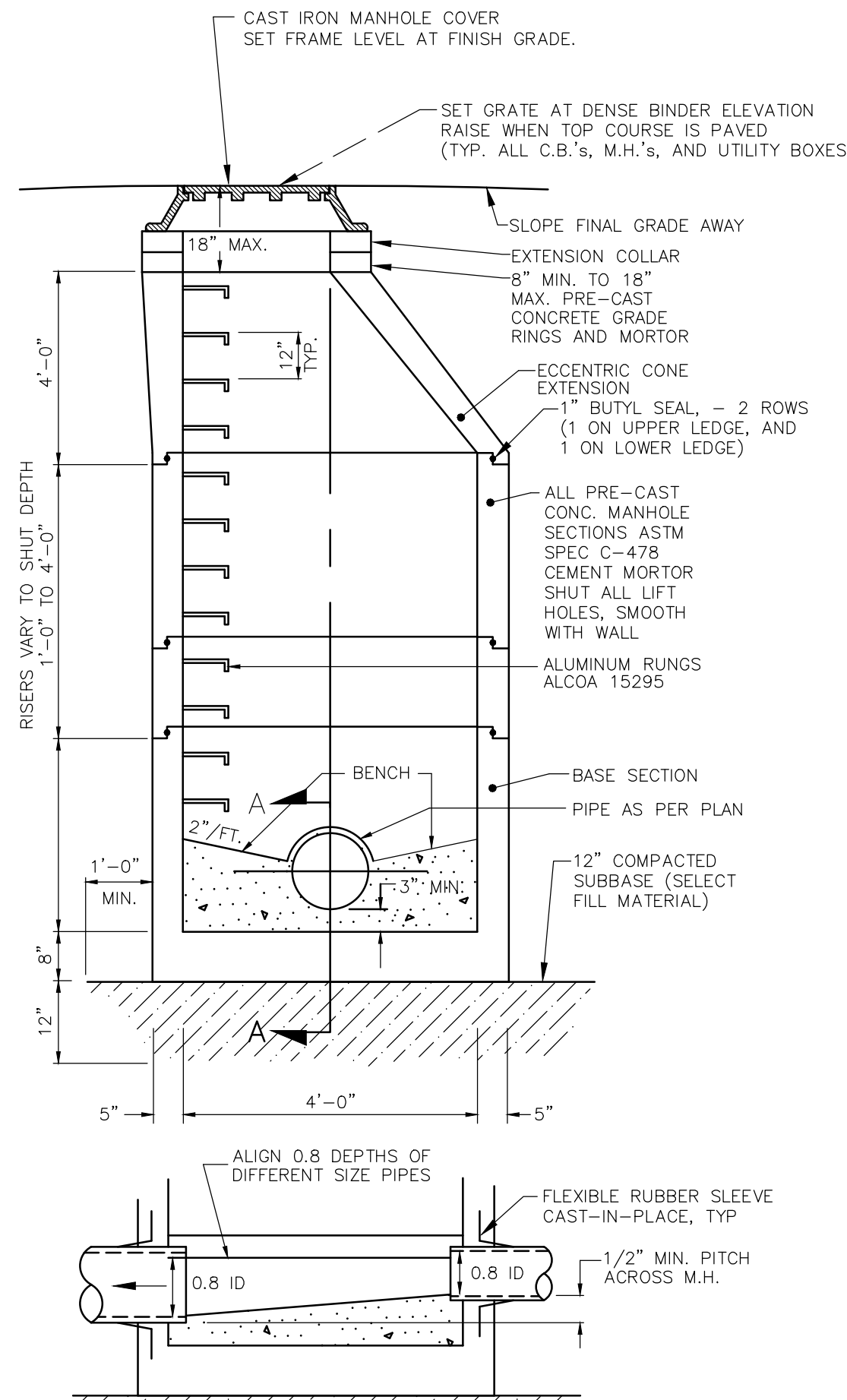
SILT FENCE DETAIL
(NOT TO SCALE)



CONSTRUCTION SPECIFICATIONS

- STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS – NOT LESS THAN SIX (6) INCHES.
- WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)



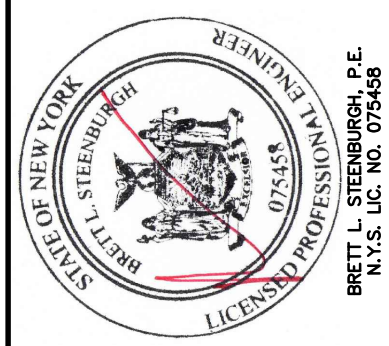
SECTION A-A

TYPICAL PRE-CAST CONCRETE MANHOLE
(NOT TO SCALE)

| NO. | DATE | REVISIONS | B.Y. |
|-----|------|-----------|------|
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Scaling off these drawings shall be done only for review and approval purposes. Contractors shall not scale drawings for layout and construction. Unauthorized alterations or additions to these drawings are prohibited. Copyright 2021 Brett L. Steenburgh, P.E. All rights reserved. No part of this material may be reproduced without the express written consent of Brett L. Steenburgh, P.E., PLLC.



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**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

| | | | |
|--|--|--|-----------|
| COUNTY OF SCHENECTADY TOWN OF NISKAYUNA FRED POLSINELLI POLSNELLI DRIVE | STATE OF NEW YORK | SCALE: AS NOTED | SHEET C-5 |
| | DRAWN BY: BLS CHECKED BY: CADD FILE: | CHAIRMAN OF THE PLANNING BOARD KEVIN WALSH | DATE |
| TOWN ENGINEER MATTHEW YETTO, PE. | | DATE | |

CAC SEQR FINDINGS EAF

2023-03

Polsinelli 2 Lot Subdivision

2/1/2023

PART 2

1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?

No to small. The CAC noted that only two lots where significantly more could be potentially considered is more acceptable within that area that has a history of drainage issues.

2. Will the proposed action result in a change in the use or intensity of use of land?

Yes, small. There will be a small change as one parcel is being subdivided into two lots and there will be some open space lost.

3. Will the proposed action impair the character or quality of the existing community?

Yes, small. The limits of clearing are very important and should be strictly adhered to. Deed restricting for no further subdivision is also incredibly important for the quality of the community. Protecting the wetlands and providing an adequate 25 foot buffer is also essential.

4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?

No. There is no CEA in the area.

5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?

No. With only two lots there will be minimal impact in this regard.

6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?

The CAC noted that use of energy efficient practices within the new homes as well as a lack of pesticides in future lawns would be greatly helpful to the environment. This was noted even though Mr. Polsinelli has no intention on developing the homes, it was asked to be passed on to buyers.

7. Will the proposed action impact existing: (a) public / private water supplies?(b) public / private wastewater treatment utilities?

Yes, small impact. Water and sewer connections are nearby and the addition of two units usually has minimal impact on the current systems.

8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?

Yes, small. The CAC noted less clearing is better for aesthetic resources and it's important to retain forest here.

9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?

Yes, small. It is important to overlay the historic wetlands on the current surveys to indicate there are wet areas throughout the parcel. Minimal clearing is important and protection of the wetlands is essential for flora and fauna on the property. Having historic wetlands indicated on the survey helps with this.

10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?

Yes. Drainage is a documented issue in this neighborhood, and therefore the Planning Board is advised to look at this very closely. There may be potential for rain gardens or other mitigating factors to be added to the site to help with rainwater.

11. Will the proposed action create a hazard to environmental resources or human health? No.

The CAC did not identify any hazards to environmental resources or human health.

PART 3

The Council was concerned with the wetlands on the property. While the applicant stated that there were no wetlands on the area of disturbance, and the area of disturbance had been examined, there was no detail of historic wetlands on the surveys and the rest of the property had not been delineated to show where they may be. The Council recommended at least providing details on historic wetlands on future surveys because protection of wetlands was essential to mitigating the environmental impacts of this subdivision.

The CAC discussed the concern of loss of green spaces and trees in the area. While the applicant stated he would not commit to fully preserving the land for economic reasons, he did state willingness to deed restrict the back portions of the properties for no further subdivision. It was also noted that the original zoning of the area allowed for up to 26 units, so the 2 planned homes would be a substantial improvement to maintaining open space.

The CAC discussed concerns over storm water management. It was determined that suitable plans could not be made until full contours of the area were produced, but mitigation techniques such as rain gardens may have to be employed.

The CAC noted that the least amount of tree clearing possible would be beneficial for the community.

The CAC stated that clean energy, LED lights, minimal area lighting, solar panels, landscaping and landscape screening, and pesticide-free practices would be important to mitigate the environmental impacts of any additional buildings to the site.

The CAC voted unanimously for a recommendation to the Planning Board on a negative declaration with the condition that:

1. The limits of clearing were very small
2. Drainage was looked into closely
3. Wetlands or historic wetlands were added to the subdivision map
4. No further subdivision restrictions were added to all parcels.

Short Environmental Assessment Form

Part 1 - Project Information

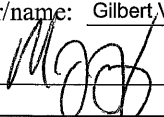
Instructions for Completing

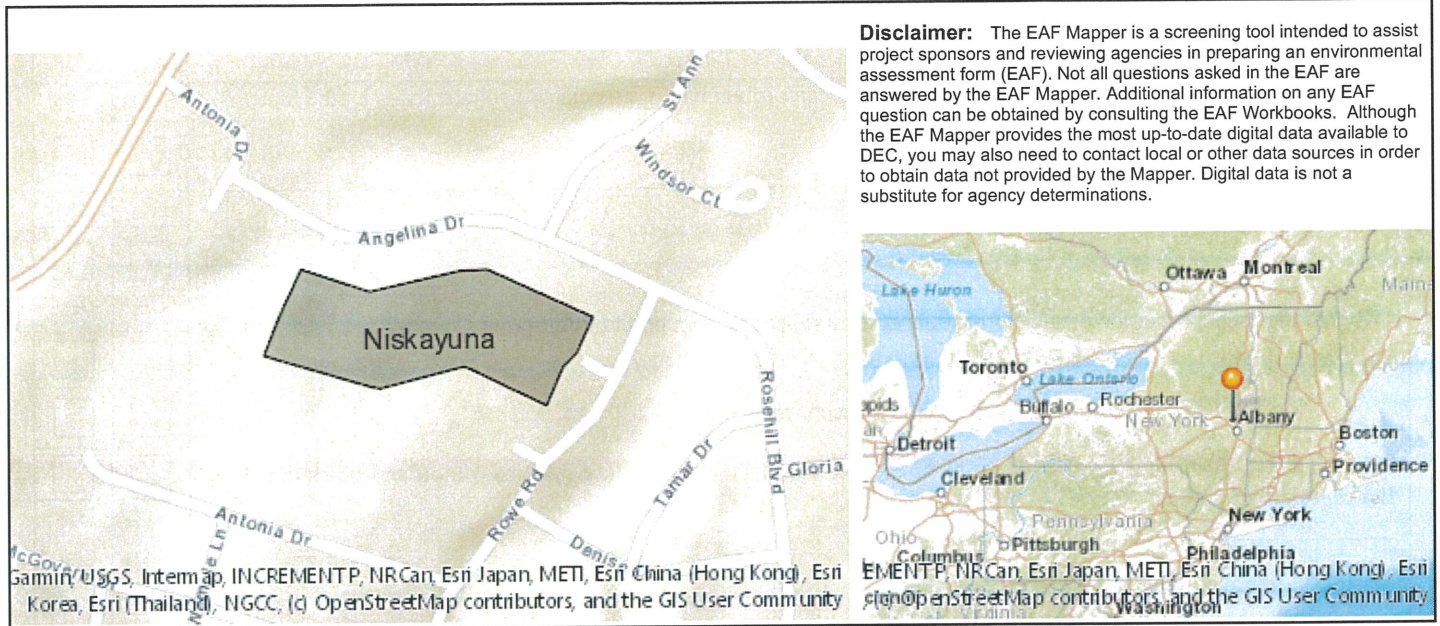
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| | | | | | | | |
|--|--------------------------|--|---|----|-----|-------------------------------------|--------------------------|
| Part 1 – Project and Sponsor Information | | | | | | | |
| Name of Action or Project: Polsinelli 3 Lot Homestead Place at Antonia Park Section 9 | | | | | | | |
| Project Location (describe, and attach a location map): Homestead Place at Antonia Park Section 9 Niskayuna, NY | | | | | | | |
| Brief Description of Proposed Action: 3 Lot Subdivision, 2 Building Lots, with remaining 2.32+/- acres of land to be annexed to Lecce Development co. LLC | | | | | | | |
| Name of Applicant or Sponsor: The Estate of Vincenza Polsinelli, C/O Frederico G Polsinelli | | Telephone: 518 928-6449 E-Mail: Fgp414v@hotmail.com | | | | | |
| Address: 414 Vincent Drive | | | | | | | |
| City/PO: Schenectady | | State: NY | Zip Code: 12303 | | | | |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. | | | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> | NO | YES | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| NO | YES | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | | | |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: | | | <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">NO</td> <td style="text-align: center;">YES</td> </tr> <tr> <td style="text-align: center;"><input checked="" type="checkbox"/></td> <td style="text-align: center;"><input type="checkbox"/></td> </tr> </table> | NO | YES | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| NO | YES | | | | | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | | | | | | |
| 3. a. Total acreage of the site of the proposed action? | | 8.43+/- acres | | | | | |
| b. Total acreage to be physically disturbed? | | 1.35+/- acres | | | | | |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? | | 8.43+/- acres | | | | | |
| 4. Check all land uses that occur on, are adjoining or near the proposed action: | | | | | | | |
| 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) | | | | | | | |
| <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): | | | | | | | |
| <input type="checkbox"/> Parkland | | | | | | | |

| | | | |
|--|-------------------------------------|-------------------------------------|--------------------------|
| 5. Is the proposed action, | NO | YES | N/A |
| a. A permitted use under the zoning regulations? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b. Consistent with the adopted comprehensive plan? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape? | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? | NO | YES | |
| If Yes, identify: _____ | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Are public transportation services available at or near the site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| 9. Does the proposed action meet or exceed the state energy code requirements? | NO | YES | |
| If the proposed action will exceed requirements, describe design features and technologies: _____ _____ | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 10. Will the proposed action connect to an existing public/private water supply? | NO | YES | |
| If No, describe method for providing potable water: _____ _____ | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 11. Will the proposed action connect to existing wastewater utilities? | NO | YES | |
| If No, describe method for providing wastewater treatment: _____ _____ | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | NO | YES | |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? | NO | YES | |
| | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? | <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ | | | |

| | | |
|---|-------------------------------------|--------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban | | |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Is the project site located in the 100-year flood plan? | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| | | |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: | NO | YES |
| | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Gilbert, VanGuilder Land Surveyor, PLLC Patrick Jarosz</u> Date: <u>12/6/2022</u> Signature: <u></u> Title: <u>Agent</u> | | |



| | |
|---|---|
| Part 1 / Question 7 [Critical Environmental Area] | No |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No |
| Part 1 / Question 12b [Archeological Sites] | Yes |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies] | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal] | No |
| Part 1 / Question 16 [100 Year Flood Plain] | No |
| Part 1 / Question 20 [Remediation Site] | No |