

TOWN OF NISKAYUNA
Planning Board and Zoning Commission

Agenda

November 27, 2023

7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. November 13, 2023

IV. PUBLIC HEARINGS

1. One Research Circle – An Application for Approval of Plat Plan – Minor Subdivision, for a 2-lot minor subdivision at One Research Circle.

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2023 – 27: A Resolution for approval of plat plan for a 2-lot minor subdivision at GE Global Research Center at One Research Circle
2. RESOLUTION: 2023 – 28: A Resolution for sketch plan approval of a 3-lot minor subdivision at 2890 River Rd
3. RESOLUTION: 2023 – 29: A Resolution for site plan approval for a tenant change to Brianna Ryan Dance ME LLC dance studio at 2141 Eastern Parkway.

VIII. DISCUSSION ITEMS

1. 1430 Balltown Rd. – A site plan application for an addition to the existing building and expansion of the parking lot.
2. 3514 State St. – Mohawk Army / Navy – A site plan application for renovations to replace the existing front and side roof facias / facades.
3. 2660 Rosendale / 225 Agostino Ave. – An application for lot line adjustment.

IX. REPORTS

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: Dec. 11, 2023 at 7 PM

To be Held in the Town Board Room
& via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
November 13, 2023

Members Present:

Kevin Walsh, Chairman
Chris LaFlamme
Michael Skrebutenas
Patrick McPartlon
David D'Arpino
Leslie Gold
Nancy Strang
Joseph Drescher

Also Present:

Laura Robertson, Town Planner
Clark Henry (virtual)
Trisha Bergami, Planning Dept

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Genghis Khan was absent/excused.

III. APPROVAL OF MINUTES

1. October 16, 2023

Mr. McPartlon made a motion to approve the Minutes from the 10/16/23 meeting. Mr. Skrebutenas seconded. All were in favor with the exception of Mr. LaFlamme abstaining.

IV. PUBLIC HEARINGS

No Public Hearings

V. PRIVILEGE OF THE FLOOR

No one for Privilege of the Floor.

VI. UNFINISHED BUSINESS

No Unfinished Business.

VII. NEW BUSINESS

1. RESOLUTION: 2023 – 24: A Resolution for sketch plan approval of a 2-lot minor subdivision, SEQR determination and call for a public hearing at One Research Circle – GE Global Research Center.

Chairman Walsh read into the minutes the following:

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant sketch plan approval for the concept subdivision drawing entitled "Sketch Plan Proposed Two Lot Subdivision Lands

Now or Formerly of General Electric Company” by C.T. Male Associates dated 11/8/23 with no further revisions, with the following conditions:

Sketch plan approval is a conceptual review of the proposed lot division for the purposes of classification and preliminary discussion as described in the Town of Niskayuna Zoning Sections 189-6 and 189-22. The location of proposed boundary lines, infrastructure, utilities and improvements are subject to change during the environmental review, engineering, public hearing and subdivision review process. And be it hereby

FURTHER RESOLVED, that the Planning Board and Zoning Commission hereby determined that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative SEQR declaration with the following comment from the CAC findings:

1. The CAC is interested in working with the GE in the future on conservation projects along the Mohawk River.
2. The Tree Council requested removal of the dead crabapple trees near the solar, panels and replacement with similar species in a nearby location. And be it hereby

FURTHER RESOLVED that this Planning Board does hereby call for a public hearing to be held on Monday, November 27, 2023 at 7:00 pm in the Niskayuna Town Hall, 1 Niskayuna Circle, to consider the application of Charles Dumas / General Electric Company, for a 2-lot minor subdivision at One Research Circle Niskayuna, NY.

Chairman Walsh asked for a motion on the resolution. The resolution was moved for adoption by Mr. Skrebutenas and seconded by Mr. D’Arpino.

Clarification was made that the main purpose for the subdivision was the reorganization of GE with Vernova assets spinning off and being the owner and occupant of the newly subdivided parcel to the north.

Hearing no further comments roll was called:

Mr. LaFlamme	Aye
Mr. Skrebutenas	Aye
Mr. McPartlon	Aye
Mr. D’Arpino	Aye
Ms. Gold	Aye
Mr. Drescher	Aye
Chairman Walsh	Aye

Chairman Walsh stated the resolution was approved.

Chairman Walsh said as long as there are no concerns raised from the public, he recommends drafting a tentative resolution for approval at the next meeting.

2. RESOLUTION: 2023 – 25: A Resolution for lot line adjustment at 797 Westmoreland Dr. / 793 Westmoreland Dr.

Ms. Gold recused herself from this item of the agenda and she was replaced by Ms. Strang.

Chairman Walsh read into the minutes the following:

RESOLVED, that the Planning Board and Zoning Commission does hereby grant final lot line adjustment approval for 793 Westmoreland Dr. and 793 (corrected from 797) Westmoreland Dr. as shown on the aforementioned 1-page survey drawing, with the following conditions:

1. Prior to recording the plat – the final lot line adjustment map shall be sent to the Planning Department for their review and approval. Any changes, additions or deletions requested shall be addressed to the satisfaction of the Planning Department before printing the mylars.

Chairman Wash stated a friendly amendment can be done to correct one street number from 793 to 797.

Mr. D'Arpino made a motion to approve the resolution as amended, seconded by Mr. Skrebutenas.

Mr. D'Arpino stated he did a site visit and noted this lot line adjustment proposal is an asset to the two properties as it makes the lot line straight and also makes it possible to keep a couple mature trees.

With no other comments roll was called:

Mr. LaFlamme	Aye
Mr. Skrebutenas	Aye
Mr. McPartlon	Aye
Mr. D'Arpino	Aye
Ms. Strang	Aye
Mr. Drescher	Aye
Chairman Walsh	Aye

Chairman Walsh stated the resolution was approved.

3. RESOLUTION: 2023 – 26: A Resolution for site plan approval of exterior façade renovations including new signage at 3631 State St.

Chairman Walsh read into the minutes the following:

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission has determined that the proposed sign waivers as described above would have a minimum negative effect on aesthetics and compatibility with neighborhood character, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant said waivers to allow for the signage as described above, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and therefore, hereby approves this site plan.

Mr. Skrebutenas made a motion to approve the resolution, seconded by Mr. LaFlamme.

Chairman Walsh summarized the waivers required, including three additional small signs on the front façade and a 34 square foot waiver for size on the primary identification sign. Chairman Walsh said in his opinion this signage upgrade will make the building look better and he appreciated working with the applicant on this project.

With no additional comments, roll was called:

Mr. LaFlamme	Aye
Mr. Skrebutenas	Aye
Mr. McPartlon	Aye

118 Mr. D'Arpino Aye

119 Ms. Gold Aye

120 Mr. Drescher Aye

121 Chairman Walsh Aye

122 Chairman Walsh stated the resolution was approved.

123 **VIII. DISCUSSION ITEM**

124 1. 2890 River Rd. – A sketch plan application for a 4-lot subdivision.

125 Mr. Michael Roman, architect, along with Mr. Ryan Lucey, owner, were present to discuss 2890 River
126 Road. Mr. Roman stated their proposal went from a 4-lot subdivision to a 3-lot subdivision. They are
127 also proposing an 80-foot easement through the wetlands to help with some of the water mitigation.

128 Mr. Michael Dussault said he feels the environmental assessment form and site plan comments can be
129 addressed and an agreement can be made to move forward on the subdivision proposal. Mr. Dussault
130 said he understands in addition to the drainage report the Town is also going to require a post construction
131 storm water report for each of the lots. Mr. Dussault feels this would not be a heavy lift, and he would
132 propose possibly rain gardens or infiltration swales or other green infrastructure practices for each lot.
133 Mr. Dussault spoke about some of the other items including Iroquois Middle School and the corrections
134 he made to the initial modeling for the model he made of the watershed for this subdivision. He said he is
135 willing to share what they have done. He stated comments 3 and 9 of the TDE letter would be difficult
136 for them to address and asked the Board for clarification on them.

137 Mr. McPartlon stated the Town Designated Engineer was present to answer those questions.

138 Chairman Walsh asked the applicant if there had been a technical reason for going from 4 lots to 3.

139 Mr. Roman said there was not a technical reason but they were just listening to the comments from the
140 Board over the past few months. Their goal is to build 2 houses and the third lot is just there to help
141 financially in the future.

142 Mr. Doug Cole, the Town designated Engineer from Prime Group, spoke about the precedent being set
143 for storm water reviews in Niskayuna for smaller subdivisions, especially when there are pre-existing
144 storm water issues. He discussed the storm water in the area and the route it takes through wetlands,
145 private property, as well as under roads and through culverts. He stated they are aware there is a problem
146 with the capacity of the culverts under both roads. The goal of the developer is to make sure they do not
147 make this any worse.

148 Mr. McPartlon stated that water does collect on both sides of the Town road during a major event which
149 is an issue. He stated water continues to flow under River Road unimpeded with no visible ponding on
150 either side of River Road.

151 There was much discussion about storm water and drainage.

152 It was stated that these new properties could not be allowed to add to the present drainage problems but
153 also, the important issue is to make sure any newly created lot will be reasonably safe from flooding in
154 the future. The Board discussed modeling the 100-year storm with and with our the road/culvert
155 restriction.

156 Mr. Roman said he understands the individual concerns that some of the Board Members have but at the
157 end of the day, what should be done will all the water that is coming through this property. He said he
158 thinks the best thing to do is provide an easement for maintaining and controlling some of it to the Town
159 of Niskayuna.

Mr. McPartlon stated that 80 feet seems like a generous easement that the Town could potentially do some work in should it be necessary in the future. Mr. McPartlon did ask about the upland piece of property southeast of the wetlands. He stated it is a little strip of land with not much use to adjacent property owners, and it could make a nice area for a conservation easement or to maybe handle some additional flow or enlarged wetlands in the future there.

Mr. Roman said that can definitely be looked at.

Mr. McPartlon asked Ms. Robertson what option gives the Town the most optionality for handling additional flow down the road.

Ms. Robertson said she understands the desire to separate solutions for the overall existing drainage problems from this particular subdivision, but she still thinks it's important for the Planning Board to ensure any newly created lot will not be negatively impacted by the existing drainage problems/flooding. Ms. Robertson said a good way to do that is to have them do all of the storm water analysis on their sites, add the rain gardens and things they committed to, to offset impervious surface, and model how the existing water impacts the lots during floods. She said the developer doesn't need to follow the downstream drainage all the way to the Mohawk River, but they should be comfortable in their calculations for what is needed if the land were to be subdivided.

Chairman Walsh stated the sketch plan needs to be modified to whatever the proposal is from the applicant. Chairman Walsh asked if they can call for a tentative sketch plan resolution for the next meeting so everyone knows what the target is.

Chairman Walsh asked if anyone had any questions before they do a show of hands.

Mr. LaFlamme wanted to clarify if the Town would be removing earth to rectify the existing water issue.

Ms. Robertson said they do not have the answers yet to determine what would need to be done and the Town cannot commit to anything without a greater understanding of the drainage. The extra land proposed in the discussions tonight would give more flexibility in the future for the parcel to hold water if that is what a drainage wide study recommends. It may also not be needed and could simply be conserved.

Discussion continued over who would be responsible to maintain the drainage channel across the property. Ms. Robertson stated right now it is all privately owned. Mr. Roman stated they have reached out to Army Corps of Engineers and DEC to see what the possibility is to create a channel in the wetland.

Chairman Walsh said he wants to make sure everyone is ok with the concept of the 3-lot subdivision and current layout so they can move forward with a tentative resolution. He stated there is still a lot of engineering to work through but he is asking about the 3-lot concept. There were no objections.

Chairman Walsh stated the Planning Board will move forward with a tentative resolution for the next meeting granting sketch plan approval of a 3-lot subdivision for 2890 River Road. All were in favor.

2. 2141 Eastern Parkway – A site plan application for a tenant change to Brianna Ryan Dance ME LLC dance studio.

Ms. Bitter, attorney for the applicant Ms. Ryan, said they are looking for a tenant change and the applicant is under contract to purchase the property at 2141 Eastern Parkway. Ms. Bitter stated there is no change proposed to the exterior of the building. She will change the signage to represent her dance studio and there will be no new traffic. A big benefit to her business will be to have her own parking lot, as currently all her clients park on the street on Union St. The plan for the interior is to open up all the walls to make several different dance studios and an office.

Chairman Walsh said this is a straight forward tenant change with no change to the exterior except a signage change so he is comfortable recommending it move forward with a tentative resolution for next meeting.

204 Ms. Robertson said a portion of the parking lot is in the city of Schenectady. Ms. Robertson said she
205 spoke with the Planning Office there and they deferred to Niskayuna. Their only concern was that the
206 parking complied with code, which it does.

207 Mr. D'Arpino said he would like to see the corner cleaned up and maybe have some shrubs added to
208 shield an unsightly transfoerm along Eastern Avenue.

209 The applicant agreed to do that.

210 Ms. Robertson said that would be consistent with what the Board has asked for other tenant changes on
211 Union Street. The Town is definitely trying to make facades more welcoming and add additional
212 plantings along the street for shade and neighborhood character.

213 Chairman Walsh said he knows it's the wrong time of year for all of this but felt in the spring time the
214 applicant could plant some flowers or something around the barriers in front of the transformer. He said
215 something simple to clean up the area.

216 Chairman Walsh said the Board will do a tentative resolution for a change of tenant for next meeting. All
217 were in favor.

218 3. 1430 Balltown Rd. – A site plan application for an addition to the existing building and
219 expansion of the parking lot.

220 Mr. Luigi Palleschi from ABD Engineers & Surveyors, representing the applicant, Highbridge
221 Development, spoke in reference to 1430 Balltown Road. Mr. Palleschi stated this will be the home of
222 Niskayuna School's District Offices. Mr. Palleschi said there will be a 2700 square foot addition and the
223 parking lot is proposed to be enlarged for additional parking spaces. Mr. Palleschi stated they are asking
224 for less than 1 acre of disturbance so there is no need for DEC storm water regulations but they will meet
225 the Towns storm water requirements for the new parking lot and also the small addition. The only façade
226 change on the existing building would be the addition of Niskayuna Central School District logo under
227 the number on the front of the building. They are also replacing the outdoor lighting with LED down-
228 facing lighting.

229 Chairman Walsh said this seems like a good project, it will just need a Town designated Engineer to
230 check everything, especially the stormwater and water storage. He said the façade looks good.

231 Ms. Robertson said the Planning Department has selected the TDE and the School District already
232 provided a check, so the TDE review will be ready to go by Tuesday.

233 Ms. Strang stated she had no idea nor had she read anything about the District Offices moving out of Van
234 Antwerp middle school.

235 Mr. Mummmenthey stated the Capital Project from 2021 included the repurposing of the two middle
236 schools with the District Offices moving to a location to be determined. Van Antwerp will be outfitted to
237 handle all fifth and sixth graders in the district and Iroquois will take the seventh and eighth graders.

238 Mr. D'Arpino asked to what extent does the current building need to be modified.

239 Mr. Paleschi said they do not need to do that much to the exterior but the interior will need offices and
240 conference room space.

241 The Board asked why the addition had to increase impervious surface, rather than being a second story
242 addition. Mr. John Roth from Highbridge Development said they did look at a second story but the
243 building was not constructed to withstand a second floor, that is the reason for the addition going out
244 instead of up.

245 Mr. McPartlon asked if there were any existing easements on this property.

246 Mr. Palleschi said yes there is a reciprocal access easement with Sinclair Broadcasting to connect the
247 parking lots.

248 Mr. Roth said the easement is to the CBS parcel but they are not going to use it.

249 Mr. Palleschi said the main driveway in and out will be off of Balltown Road and it has a reciprocal
250 access easement for several of the properties adjacent to the parcel.

251 Chairman Walsh said the Town designated Engineer will look at things and validate the engineering.

252 Ms. Gold volunteered to be Project Lead.

253 Ms. Robertson said on the project is on the CAC agenda for action at the December meeting, but they
254 looked at it briefly in November. They wanted to know which big trees were being removed. They
255 wanted to see the replanting plan. They recommend pesticide free practices for the lawn. They stated this
256 was a large parking lot so it should have EV charging stations and they requested dark skies lighting for
257 any lighting that is being changed. They also wanted to know if solar panels could be added to the new
258 roof addition or somewhere on the property and finally if there could be more native planting to reduce
259 the large lawn.

260 Hearing no further comments, Chairman Walsh stated this would be on the agenda for the Board's next
261 meeting and thanked the applicants for attending.

262 **IX. REPORTS**

263 Chairman Walsh said the Board needs to talk about project documentation submission and deadlines to
264 improve the process of how documents come to the Planning Board and are presented to the applicants.

265 Mr. D'Arpino said the submission deadline for new applications is 10 days. He proposed for consistency
266 to institute a 10 day submission for all materials. That makes the deadline two Fridays from each Board
267 Meeting.

268 The Board discussed material submissions at length.

269 Chairman Walsh said he is okay with what the Planning Department and Planning Board decides, but he
270 thinks it should be codified and then the Planning Department will have to stick with whatever is decided
271 with no exceptions for any reason.

272 Ms. Robertson said she is okay with a formal proposal being adopted by the Board and put on the site
273 plan / subdivision applications. She felt when applicants see the deadlines in writing, then it becomes part
274 of the application and there is not a sense of unfairness. Ms. Robertson said she would send out the
275 information that wasn't included in the packet on the project documentation submission and deadlines.
276 She said if there are any questions, please feel free to call her.

277 Ms. Robertson said she emailed everyone, about the Comprehensive Plan Committee's public outreach
278 planned for tomorrow night in the Town Board Room. She said this is the first of many outreach sessions
279 and encouraged Board members to come and encourage their friends and neighbors to come as well.

280 **X. COMMISSION BUSINESS**

281 **XI. ADJOURNMENT**

282 Chairman Walsh asked for a motion to adjourn. Ms. Gold made a motion to adjourn. Mr. Skrebutenas
283 Seconded. The meeting was adjourned at 8:43 pm.

284 *The video recording for this meeting can be found at: <https://www.youtube.com/watch?v=1Jo2CYOzQ8c&list>*



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. IV. 1

MEETING DATE: 11/27/2023

ITEM TITLE: PUBLIC HEARING: An Application for Approval of Plat Plan – Minor Subdivision at GE Global Research Center at One Research Circle.

PROJECT LEAD: TBD

APPLICANT: Charles Dumas, Agent for the owner.

SUBMITTED BY: Charles Dumas, Agent for the owner.

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Public Hearing

SUMMARY STATEMENT:

Charles Dumas, agent for General Electric Company, submitted an Application for Approval of Plat Plan – Minor Subdivision for a 2-Lot minor subdivision for GE Global Research Center at One Research Circle (parcel 40.-1-45.3). The property is located within the I-R Research & Development Industrial zoning district.

A 1-page drawing entitled “Proposed Two Lot Subdivision Lands Now or Formerly of General Electric Company” by C.T. Male Associates dated 9/29/23 with no subsequent revisions. The drawing shows the original 550 Acre +/- property being subdivided as noted below.

1. Lot 1 – is 194.774 Acres +/- in size
2. Lot 2 – is 355.834 Acres +/- in size

BACKGROUND INFORMATION

The Public Hearing Notice is attached. The Planning Board will receive and weigh feedback at the Public Hearing and consider acting on a tentative resolution for plat plan approval.



NOTICE OF PUBLIC HEARING

TO BE HELD BY THE
PLANNING BOARD & ZONING COMMISSION
OF THE TOWN OF NISKAYUNA

NOTICE IS HEREBY GIVEN that pursuant to the Code of the Town of Niskayuna, New York and the applicable provisions of the Town Law of the State of New York, a public hearing will be held by the Planning Board and Zoning Commission of the Town of Niskayuna in the Town Board Meeting Room at One Niskayuna Circle on the twenty-seventh (27th) day of November 2023 at 7:00 p.m. to consider an application from Charles B. Dumas, representing the General Electric Company (property owner), for a 2-lot minor subdivision in the Town of Niskayuna (Tax Parcel ID#40.-1-45.3). The property is located within the I-R Research and Development zoning district.

A copy of the Application for Approval of Plat Plan – Minor Subdivision will be available for inspection at the Planning Department in the Niskayuna Town Hall and can be viewed at <https://www.niskayuna.org/pbnotices> under the “Public Hearings” tab and will be shown electronically during the public hearing.

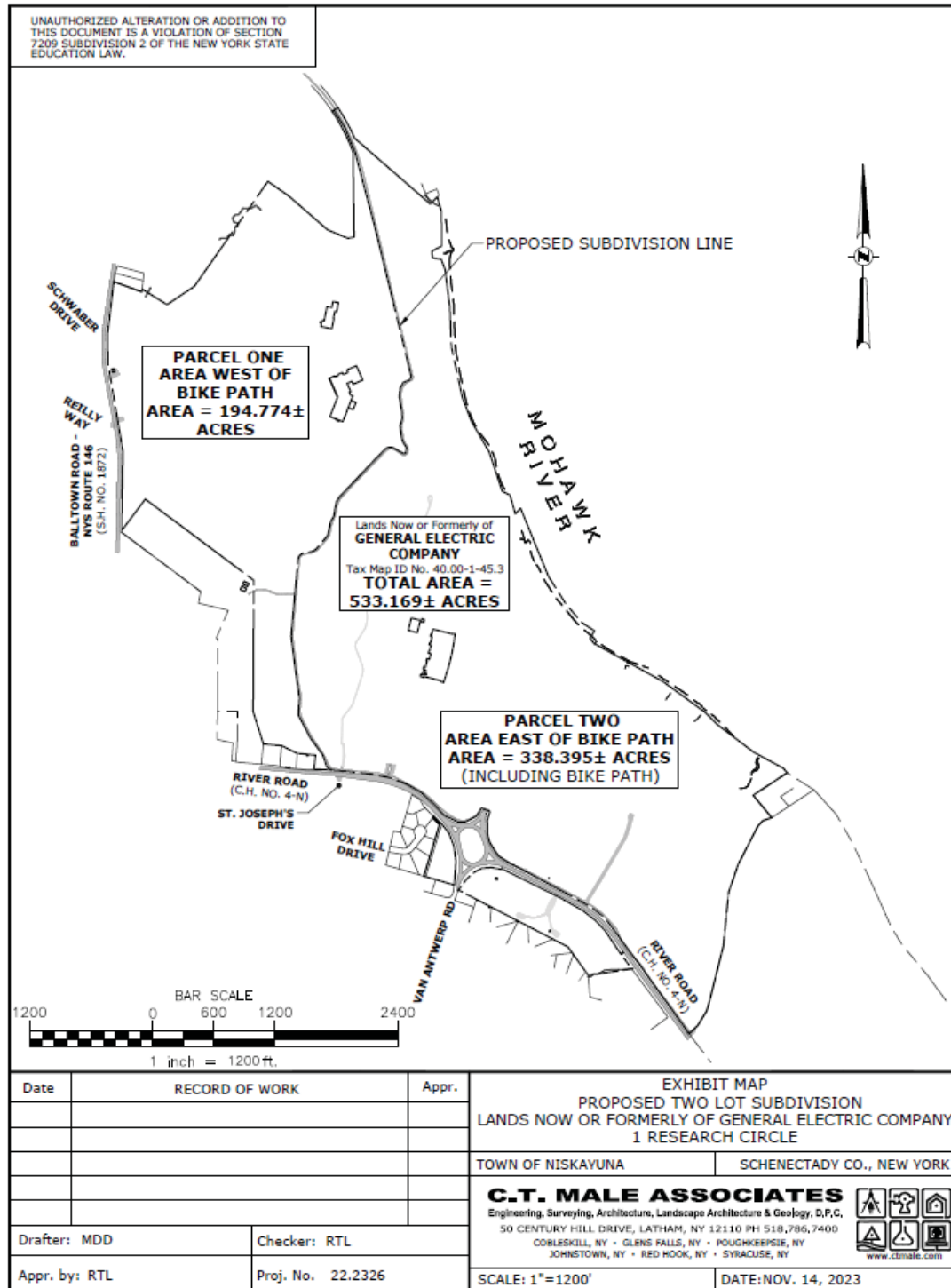
If you wish to express an opinion regarding the public hearing you may do so at the above-mentioned time and place. If you cannot be present, you may request a virtual login to the meeting by emailing lrobertson@niskayuna.org or calling 518-386-4531 or you may set forth your opinion in a letter which will be made part of the permanent record. Please note there is a five (5) minute time limit for each speaker at the public hearing and submitted letters will not be read out loud at the public hearing, but such letters will be included in the minutes and added to the record.

The Planning Board and Zoning Commission of the Town of Niskayuna will hear all persons interested during the aforementioned public hearing.

BY ORDER of the Planning Board of the Town of Niskayuna, New York.

KEVIN A. WALSH
Chairman, Planning Board and Zoning Commission

GE Global Research - One Research Circle: 2-lot minor subdivision



This applicant, General Electric (GE) proposes to subdivide the existing 530 Acre property into two lots of approximately 190 and 340 Acres, respectively, with the intent to align ownership of the site with the reorganization of GE into 3 distinct businesses: Healthcare, Energy and Aerospace.

GE indicates the subdivision will not alter their use or intensity of use of the land and will help secure the retention of STEM jobs in the community.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 11/27/2023

ITEM TITLE: RESOLUTION: 2023-24: A Resolution for approval of plat plan for a 2-lot minor subdivision at One Research Circle – GE Global Research Center.

PROJECT LEAD: TBD

APPLICANT: Charles Dumas

SUBMITTED BY: Charles Dumas

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☒ OTHER: Comprehensive Plan & Complete Streets Committees

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Charles Dumas submitted an application for sketch plan approval for a 2-lot subdivision that would divide the 530-acre site into two lots of approximately 190 acres and 340 acres. The proposed subdivision is strategically important to GE as they restructure themselves into 3 businesses: Healthcare, Energy and Aerospace, and apportion their assets at the Global Research Center accordingly.

At their regularly scheduled meeting on 11/13/23, the Planning Board passed Resolution 2023-24 granting sketch plan approval, making a SEQR determination and calling for a public hearing to be held at their 11/27/23 meeting. Due to the simplicity of the proposed subdivision, and the fact that it will have little to no impact on neighboring properties, the Board asked the Planning Office to prepare a tentative resolution for plat plan approval for the 11/27/23 meeting.

COMPREHENSIVE PLAN

The proposed subdivision complies with page 74 of the 2013 Niskayuna Comprehensive Plan. The proposed action will not alter the use or intensity of use of the land and will help secure the retention of high paying STEM jobs in the community.

BACKGROUND INFORMATION

The property is located in the I-R Research & Development Industrial zoning district. The Global Research Center is a permitted principal use in the district.

The following documents were included with the sketch plan application.

1. A 1-page drawing entitled "Sketch Plan Proposed Two Lot Subdivision Lands Now or Formerly of General Electric Company" by C.T. Male Associates dated 9/29/23 with no subsequent revisions.
2. A 4-page Short Environmental Assessment Form (EAF) dated 10/11/23.
3. An Application for Approval of Plat Plan – Minor Subdivision dated 10/10/23.

9/29/23 Meeting with the Planning Office – Mr. Charles Dumas of Lemery Greisler LLC and Mr. Raymond Liuzzo of C.T. Male Associates met with Laura Robertson, Town Planner and Planning Department staff to acquaint them with the project and review the path the project would follow relative to the Town's various review boards. Mr. Dumas explained the strategic value the subdivision has to the General Electric Company as they restructure themselves, and the Global Research Center, into the previously referenced 3 business units. The proposed subdivision allows the newly formed approximately 190 acre lot to be allocated to GE's Energy Division and facilitates a logical proportioning of other buildings and facilities on the approximately 340 acre lot among the other businesses. Mr. Dumas repeated his explanation of the project at the Conservation Advisory Council (CAC) meeting on 10/4/23. Important aspects of the project are captured in the summary of that meeting, below.

The timeline of GE's restructuring was discussed at length and the path a minor subdivision follows per the Niskayuna zoning code was mapped out in a spreadsheet of critical milestones.

GE Global Research Center 2-lot Minor Subdivision			
STEP 1: Sketch Plan Approval			
Date	Meeting	Description of Action	Applicant Must Provide The Following
10/4/2023	Conservation Advisory Council (CAC)	CAC reviews project and makes SEQR Recommendation to PB	Must submit by 10/2/23 (1) Site drawing -- DONE
10/16/2023	Planning Board (PB)	Applicant presents project PB established as lead agency PB calls for Resolution for sketch plan approval for 11/13/23 PB meeting	Must submit by 10/10/23 (1) Sketch Plan app. & associated fee (2) Drawings (3) Short form EAF (if possible)
11/8/2023	CAC	CAC makes SEQR Recommendation to PB - short form EAF must be received by 11/1/23	Must submit by 11/1/23 (1) Short form EAF
11/13/2023	PB	PB does the following 3 things at the meeting (1) Makes SEQR determination (2) Acts on Resolution for sketch plan approval (3) Calls for a public hearing for 11/27/23	
STEP 2: Minor Subdivision Approval			
Date	Meeting	Description of Action	Applicant Must Provide The Following
11/27/2023	PB	PB holds the public hearing & may take action on a Resolution for subdivision approval	Must submit by 11/1/23 (1) Application for minor subdivision & fee (2) Plat plan drawing
12/11/2023	PB	Backup date for PB to take action on a Resolution for subdivision approval	

- The dividing line of the proposed two lots is the bike path that runs between the large complex of buildings that are accessible from Research Circle (River Rd.) and the smaller training building that is accessible from Balltown Rd.
- The property contains a few easements and variances.
- The property contains some wetland areas.

- ~~They will be seeking an easement and an approximately 15' wide road to allow access between the two lots without venturing out onto Balltown Rd. The CAC asked for an approximate trip count on the proposed new road. The proposed road was removed from this subdivision proposal.~~
- They do not anticipate any increase in the number of workers at the site.
- They do not anticipate any removal of trees.
- The Energy portion of GE will be the title owner of the newly formed 190 lot that would include the GE Training Center.
- The Healthcare portion will not own any land but they will rent office space in buildings in the larger of the two newly formed lots.
- The only physical alteration of the site will be the construction of the internal road connecting the two lots.
- A CAC member asked if GE would shore up the bank of the Mohawk River along its property as part of the project. Mr. Dumas stated that could be looked at down the road but due to the pressing timeline he would like to remain focused on the basic subdivision at this time.

10/4/23 Conservation Advisory Council (CAC) meeting – Mr. Dumas attended the CAC meeting to give a “preliminary presentation” of the proposed subdivision. He followed up the meeting with an email dated 10/10/23 in response to several questions that were raised by council members.

- ***Internal drive between the two proposed lots (removed)***
 - *GE / Verona intends to build a single light duty road from the K-West building (Parcel Two) to the Learning Center (Parcel One).*
 - *The road is an internal connection between the two parcels*
 - *To be used by GE/Verona personnel only – light occasional use by passenger vehicles*
 - *No trucks of any kind or delivery vans will use the road*
 - *Two possible paths are being proposed that will avoid wetlands and buffers*
- **Bike Path**
 - No part of the subdivision will impact the integrity of the path
 - Any crossing of the bike path will be provided in a “pedestrian safe” manner
- **Riverbank conservation**
 - Mr. Dumas has raised the CAC’s interest in conservation measures along the Mohawk with Facilities Engineers.
 - Additional specificity of possible measures will be helpful to identify the correct decision makers within GE / Verona.
 - *Mr. Dumas requested some bullet points from the CAC regarding the requested conservation area.*
 - Due to the tight timeline of the subdivision riverbank conservation measures need to be treated as a separate matter than the proposed subdivision
- **River Road Building**
 - The proposed building is no longer a possibility for the site.
 - The research contemplated for the facility will not take place at the GRC.

10/12/2023 Tree Council meeting

The Tree Council looked at the proposed subdivision and noted they would like to see the plan for the proposed road connection when it was complete to review the limits of clearing but did not

see any issues with the subdivision. They did want to ask that the Planning Board consider, as a condition of subdivision approval, requiring GE to remove the dead crabapple trees in front of the solar panels and replace the dead trees in kind with more crab apple trees. They noted this was an important area for birding and the crab apples were a great source of food for the birds.

10/16/23 Planning Board (PB) meeting – Mr. Dumas attended the meeting and presented the proposed subdivision to the Board. He noted that associates of his were also in attendance: Ms. Karen Simons Managing Attorney for Real Estate for GE, Mr. Bob Littman Law Partner of Mr. Dumas and Mr. Peter Littleholt Director of Civil Engineering and Land Use for C.T. Male Associates. Mr. Dumas elaborated on the strategic advantages and importance of the proposed subdivision and the desire to synchronize the subdivision of the Global Research Center property with calendar year 2023 and GE's restructuring. He asked if the Planning Board had declared the proposed project a minor subdivision and declared themselves the Lead Agency. Chairman Walsh responded in the affirmative. The Board approved a motion for a resolution for sketch plan approval, SEQR determination and call for a public hearing for the 11/13/23 Planning Board meeting.

10/27/23 Complete Streets Committee meeting – Mr. Henry of the Planning Office presented the proposed subdivision to the committee. He paraphrased the presentation Mr. Dumas made at the 10/16/23 Planning Board meeting and addressed questions raised by committee members.

11/8/23 Conservation Advisory Council (CAC) meeting – Mr. Dumas attended the meeting and provided an update on the project. He noted that the concept of an internal road connecting the two future lots was no longer under consideration by GE. The CAC made Mr. Dumas aware of their conservation and NRI initiatives and Mr. Dumas stated that he would be pleased to make a connection between CAC members and appropriate parties within GE. The CAC completed the EAF form and voted unanimously in favor of a negative SEQR recommendation indicating that the project would not have a negative impact on the environment.

11/13/23 Planning Board (PB) meeting – Mr. Dumas attended the meeting and repeated his update from the 11/8/23 CAC meeting that the internal road between the two proposed lots was no longer under consideration. He noted that early in 2024 he will make the appropriate connections between parties within GE and the Town to discuss conservation related topics and initiatives. The Board unanimously (7-0) approved Resolution 2023-24 granting sketch plan approval, making a negative SEQR declaration and calling for a public hearing at the 11/27/23 PB meeting. The Board noted that because the proposed subdivision has very little impact on neighboring properties, and is therefore unlikely to be opposed, they would like the Planning Office to prepare a tentative resolution for plat plan approval for the 11/27/23 meeting.

The Planning Office emailed Mr. Dumas requesting that the following information be added to the plat drawing.

- Addition of a basis of bearing.
- A note stating that the ROW varies.
- To ensure only two parcels are created with the subdivision, the 3 portions of lot two need to be labeled specifically as portions and the math needs to add to the total area of the original parcel. The labels should be as follows:
 - Northern large portion of Lot 2 should be labeled – Portion Lot 2, 338.395 acres.
 - Southwestern parcel of Lot 2 should be labeled – Portion Lot 2, 2.731 acres.
 - Southeastern parcel of Lot 2 should be labeled – Portion Lot 2, 14.708 acres.

Therefore:

Total acreage new Lot 1: 194.744

Total acreage new Lot 2: 355.834 (338.395 + 2.731 + 14.708)

Total Original Parcel: 550.578

A revised 2-page plat drawing entitled "Proposed Two Lot Subdivision Lands Now or Formerly of General Electric Company 1 Research Circle" dated 10/2/23 with a most recent revision of 11/20/23 was provided.

A resolution for plat plan approval is included in the meeting packet.

RESOLUTION NO. 2023-27

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 27TH DAY OF NOVEMBER 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on a 2-lot Minor subdivision application.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Charles Dumas, Agent for the property owner, General Electric Company, has made application to the Planning Board for a 2-Lot Minor Subdivision as shown on a 2- page drawing entitled "Proposed Two Lot Subdivision Lands Now or Formerly of General Electric Company" by C.T. Male Associates dated 10/2/23 with a most recent revision of 11/20/23, and

WHEREAS, the zoning classification of the property is 97% I-R: Research & Development Industrial and 3% R-1 Low Density Residential, and

WHEREAS, the proposed 2-Lot Minor Subdivision complies with the 2013 Niskayuna Comprehensive Plan, and

WHEREAS, the Planning Board, by its Resolution 2023-24, granted sketch plan approval for this project on November 13, 2023, and

WHEREAS, the Planning Board conducted a public hearing on November 27th, 2023 to consider the application for minor subdivision, and

WHEREAS the Planning Board referred the Environmental Assessment Form to the Niskayuna Conservation Advisory Council (CAC) for their review and on November 8th, 2023, the CAC recommended that a negative declaration be prepared with recommendations for the Planning Board to consider, and

WHEREAS the Planning Board, acting in accordance with the State Environmental Quality Review (SEQR) regulations and local law, has contacted all involved agencies, and they have concurred with the Planning Board that it should assume the position of lead agency for this project and on November 13th, 2023 via. Resolution 2023-24 made a negative declaration, and

WHEREAS, the Superintendent of Water, Sewer and Engineering has reviewed the proposal and they have responded with comments, and

WHEREAS, this Planning Board and Zoning Commission has discussed the requirements of Chapter 189 of the Code of the Town of Niskayuna for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, and

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission does hereby grant minor subdivision approval for a 2-Lot subdivision at 1 Research Circle as shown on the aforementioned a 2-page drawing set by C.T. Male Associates dated 10/2/23 subject to the following conditions:

1. Prior to recording the plat, any minor textual changes to the subdivision map will be addressed to the satisfaction of the Town Planning Department.
2. Prior to July 1, 2023 General Electric or it's representative, Mr. Dumas, will coordinate a meeting between GE, Town of Niskayuna staff, and members of the Planning Board / Conservation Advisory Committee to discuss conservation related initiatives and the removal / replanting on the crab apple trees near the solar farm.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON

DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

The Chairman declared the same _____.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 2

MEETING DATE: 11/27/2023

ITEM TITLE: RESOLUTION: 2023-28: A Resolution for sketch plan approval of a 3-lot minor subdivision at 2890 River Rd.

PROJECT LEAD: Patrick McPartlon and Genghis Khan

APPLICANT: Michael Dussault, P.E., agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Michael Dussault, P.E., of Engineering Ventures, P.C. and agent for Ryan Lucey, property owner, has made an application for Sketch Plan Approval – 4-Lots or Less for a 4-lot subdivision at 2890 River Rd. The proposed subdivision will divide the existing 5.26 Acre property at 2890 River Rd and the 0.83 Acre property contiguous to it along Seneca Rd into 4 lots of 0.46, 0.46, 2.64 and 2.53 Acres, respectively. The existing home at 2890 River Rd is in very poor condition and will be demolished.

The property is located within the R-1 Low Density Residential zoning district.

At the 11/13/23 meeting Mr. Roman and Mr. Dussault updated the Board on a revised, 3-lot, design and site plan. Mr. Cole, TDE for the Town, summarized his 1st comment letter dated 11/8/23 and explained his requests for additional information. Collectively, the stakeholders agreed on the action items listed below and the Board approved a motion for a resolution for sketch plan approval for the 11/27/23 meeting.

BACKGROUND INFORMATION

The property owner, Ryan Lucey, met with Department Heads of the Niskayuna Planning, Water, Sewer & Engineering and Highway Departments to discuss a proposed 4-lot subdivision as shown in the drawing entitled "Subdivision Plan 2890 River Rd." by Engineering Ventures, P.C. dated 6/23/23 with no subsequent revisions. At the time Mr. Lucey owned the 5.26 Acre property at 2890 River Road and was in the process of purchasing the 0.83 Acre property contiguous to it along Seneca Rd. The utility review performed by the Town representatives identified the project area as being susceptible to flooding during heavy rain events. It was noted that a thorough storm water review will be required. Mr. Lucey was informed that for his proposed subdivision to come before the Planning Board he would need to demonstrate site control by obtaining signature approval of

the application from the current owner of the 0.83 Acre portion of land or wait until the sale of the land to him was completed.

On 8/23/23 Mr. Lucey provided with Planning Office with the following documents.

- A sketch plan application for a minor subdivision of 4-lots or less
- A “Contract For Purchase and Sale of Real Estate” dated 8/16/23 indicating that Mr. Lucey owned the 0.83 Acre parcel of land.
- A 1-page survey drawing entitled “Survey Lands of RPL Family Trust #2890 River Rd.” by Gilbert VanGuilder Land Surveyor, PLLC dated 12/1/2022 with no subsequent revisions.
- A 1-page subdivision site plan entitled “Subdivision Plan Proposed 4-Lot 2890 River Rd.” by Engineering Ventures P.C.” dated 8/23/23 with no subsequent revisions.
- A Short Environmental Assessment Form (EAF) – Part 1 dated 6/22/23.

6/23/23 Subdivision Drawing

This drawing includes 4 lots. Two (2) of the lots front River Road, one (1) lot fronts Seneca Road near its intersection with River Road and one (1) lot fronts Seneca Road near the cul-de-sac at the northeast end of the road.

8/23/23 Subdivision Drawing

This drawing includes 4 lots. Three (3) of the lots front River Road, the one (1) lot near the intersection of Seneca Rd and River Rd has been eliminated and the one (1) lot that fronts Seneca Rd. near the cul-de-sac at the northeast end of the road remains.

Mr. Lucey and his representatives are before the Board this evening to present and discuss his application. The Planning Board and Planning Office should review the application relative to Town codes and the current storm water conditions along Seneca Rd.

8/28/23 Planning Board (PB) meeting – Ryan Lucey and Michael Roman attended the meeting and presented the project to the Board. They explained the 6/23/23 4-lot subdivision drawing included two lots on Seneca Rd and two lots on River Rd. The 8/23/23 drawing includes one lot on Seneca Rd and 3 lots on River Rd. The Board and Planning Office discussed the history of storm water accumulation during storms in this general area and stated a through upstream and downstream storm water analysis will be needed. Mr. Khan stated that in other areas of Niskayuna the Board has essentially inherited storm water challenges – in this area, and on this project, they have the opportunity to avoid storm water related issues. The Board noted that the small strip of property along Seneca Rd near the intersection with River Rd may be able to be used to help mitigate storm water events. The Board concluded their discussion with a request that a few additional items be added to the site plan: the addition of limits of clearing and footprints of homes that are representative of the size the applicant intends to build.

9/6/23 PB Project Lead site walk – The PB project leads and Mr. Lucey walked the project site to obtain a first-hand look at the land, wetlands, grading, neighboring properties, etc.

9/6/23 Conservation Advisory Council (CAC) meeting – The CAC briefly reviewed the project at their regularly scheduled meeting. Ms. Robertson presented the site plan and provided background regarding the storm water challenges in the area. She asked the Board to familiarize themselves with the project details and the project site. She suggested they drive by the area to get a first-hand feel for the distances between houses, storm water drainage areas, etc. Chairman

Strayer noted that he would like to see a multi-use path be included in the plan connecting Seneca Rd to River Road Park. He also noted that a Town access easement along River Road along the project area would be helpful for the installation of a future sidewalk or multi-use path someday. Ms. Robertson said the CAC will be reviewing this again during the October 4, 2023 meeting.

9/11/23 Planning Board (PB) meeting – Mr. Roman and Mr. Lucey attended the meeting. The co-project leads, Patrick McPartlon and Genghis Khan updated the Board on their observations during the 9/6/23 site walk. They noted the upland properties, Iroquois and Rosendale schools, Campo Court, etc., and observed that water generally flows towards the existing culvert under Seneca Road and into the wetland area of 2890 River Road. Ms. Robertson noted that Niskayuna Zoning Code includes sections requiring the examination of upstream and downstream drainage when conducting a Stormwater Management Report. The discussion primarily focused on drainage and how to efficiently assess the existing condition and post-development condition. Ms. Robertson recommended that existing stormwater reports for the neighboring sites be reviewed by Mr. Lucey's engineer. Mr. McPartlon encouraged the Board members to visit the site and acquaint themselves with the grading, vegetation, etc. Ms. Finan noted that Mr. Lucey still needs to demonstrate full site control of the thin strip of land along Seneca Road via either signed approval of the current land owner or evidence that he is the landowner. Ms. Robertson noted that the Planning Office is in the process of securing quotes for a TDE review of the project.

A summary of actions that have occurred since the 9/11/23 meeting is as follows.

- Mr. Lucey submitted a FOIL request and received the Stormwater Management Report for the Iroquois Middle School project that is currently underway.
- The Planning Office has received 2 quotes for a TDE review of the proposed project.
 - One additional quotation is expected.
- The Planning Office has located the Storm Water Management Report for the Campo Court 7-lot major subdivision that is upstream from the proposed action.
 - Stormwater reports for other upstream areas are in the process of being located
- At the request of Mr. Lucey, a site walk with the Engineering and Highway Departments is planned for Thursday 10/5/23.

10/2/23 Planning Board (PB) meeting – Mr. Lucey and Mr. Roman attended the PB meeting. Chairman Walsh asked Mr. McPartlon, co-project lead of the project for the Planning Board, to provide a quick update since the last meeting. He stated that a Town Designated Engineer (TDE) was in the process of being selected and a site walk was being planned to familiarize everyone with the property. Mr. Roman added that the applicant's engineer was preparing a storm water management report.

10/4/23 Conservation Advisory Council (CAC) meeting – Laura Robertson, Town Planner, provided the CAC with background information on the proposed project. She described the slides and pictures that have been assembled documenting recent storm water related events in the area recently. A CAC member stressed that we need to make sure we are planning for the future and heeding storm water trends, etc. The CAC requested that the site plan drawings include representative footprints of the homes that are intended for the lots rather than small generic squares or rectangles. They also requested an inventory of animals that inhabit the area that may be impacted by the development of the land.

10/5/23 Site walk – A site walk was held at noon on 10/5/23. Participant's included Ms. Robertson, Town Planner, & Mr. Henry of the Planning Office, Mr. Doug Cole, the TDE from Prime Engineering, Mr. Yetto Superintendent of Water, Sewer and Engineering, Mr. Smith Superintendent of the Highway Department, Mr. McPartlon and Mr. Khan of the Planning Board, Mr. Lucey and his team including his engineer and a few interested neighbors. The Planning Office explained the roles and responsibilities of each member of the project team and stressed the importance of how important communication between the applicant's engineer and the TDE will be to the success of the project. The group walked the upstream areas and discussed how storm water is managed and drains on the property. Prior to concluding the site walk meeting the group noted that the next step is for the applicant's engineer to complete and submit a storm water management report.

10/16/23 Planning Board (PB) meeting – Mr. Lucey and his design team were present at the meeting. Collectively, Mr. McPartlon, PB Project Co-Lead with Mr. Khan, Mr. Roman and Mr. Dussault, P.E. provided the Board with an update on the project.

- Mr. Roman noted that Mr. Lucey had closed on the purchase of the lot of land forming a thin strip along Seneca Rd.
- Mr. Dussault provided an update on the onsite and offsite stormwater analysis
 - He noted that he agreed with the analysis performed on the Iroquois Middle School
 - The upstream analysis was performed using the 25-year storm rainfall rates
 - His downstream analysis was performed using the 5-year storm rainfall rates
 - The analysis showed that the existing culverts under Seneca Rd. are undersized
 - With the assumptions noted in the report, the onsite stormwater discharge is essentially the same post-project as pre-project
- The Planning Board and Planning Office discussed how to best review and provide appropriate feedback to the applicant on the project at this stage (sketch plan stage) of the project.
- It was determined that TDE comments regarding the stormwater analysis and site plan would be valuable to help the applicant and the Board quantify potential challenges inherent in the site.
- The Board noted that a TDE had been selected and would begin the technical review as soon as an escrow account was set up.

The following activities and revisions to the site plan occurred since the 10/16/23 PB meeting.

- 10/27/23 – An escrow account was established and the TDE was immediately engaged.
- 11/6/23 – A revised site plan drawing was received (dated 11/3/23) consisting of 3-lots and is included in the packet for the 11/13/23 PB meeting.
- 11/8/23 – A 1st TDE comment letter was received by the Planning Office and is included in the packet for the 11/13/23 PB meeting.

11/8/23 Conservation Advisory Council (CAC) meeting – The Planning Office provided a general review of the history and status of the project and noted receipt of the 1st TDE comment letter and revised 3-lot subdivision site plan. Ms. Robertson noted that the CAC will be reviewing the project in more detail as the review process moves forward.

11/13/23 Planning Board (PB) meeting – Mr. Roman, agent for Mr. Lucey, and Mr. Dussault, of Engineering Ventures, attended the meeting and represented Mr. Lucey. They referenced the revised site plan drawings dated 11/3/23 which now depict a 3-lot subdivision. Mr. Cole, of Prime Engineering and TDE for the project, summarized his TDE response letter dated 11/8/23. A detailed discussion of the project ensued and the group agreed on the following.

- Site control for the application was established on 11/2/23 when Mr. Lucey's ownership of Tax Parcel 51.9-2-1.2, the lot of land along Seneca Rd. near the intersection of River Rd., was recorded in the Schenectady County Clerk's Office.
- Proposed design reduced from 4-lot subdivision to 3-lot subdivision.
- The new lots will include on-lot stormwater management practices (retention basins, etc.) such that the post development runoff will be equal to or less than the pre development runoff.
- Design includes an 80' wide easement to the Town that encompasses the ditch in the wetlands
- Stormwater report will have to be revised to reflect the 3-lot design.
- Stormwater analysis will be performed using 100 yr. rainfall rates.
- Mr. Lucey and the Town will explore a conservation easement, extending the 80' easement or deeding the land along Seneca Rd. near River Rd. to the Town to enable the land to be used as a stormwater management basin.
- Mr. Dussault will provide written responses to the TDE letter dated 11/8/23.
- The Town will include upstream and downstream analysis and culvert design in their town-wide drainage analysis project.

The Board called for a resolution for sketch plan approval for the 11/27/23 meeting.

A resolution for sketch plan approval is included in the meeting packet.

RESOLUTION NO. 2023-28

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 27TH DAY OF NOVEMBER 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on sketch plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Michael Dussault, P.E., agent for the property owner, Ryan Lucey, has made application to the Planning Board for a 3-Lot Minor Subdivision as shown on a 4-page drawing entitled "Subdivision Plan 2890 River Rd." by Engineering Ventures, P.C. dated 11/3/23 with no further revisions, and

WHEREAS, on 11/2/23 site control for the application was established when Mr. Lucey's ownership of Tax Parcel 51.9-2-1.1 was recorded in the Schenectady County Clerk's Office, and

WHEREAS, the zoning classification of the property is R-1: Low Density Residential and

WHEREAS, this Planning Board and Zoning Commission has discussed the requirements of Chapter 189 of the Code of the Town of Niskayuna for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, and

WHEREAS the Planning Board referred the Environmental Assessment Form (EAF) to the Niskayuna Conservation Advisory Council (CAC) for their review, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby classify this sketch plan as a minor subdivision as defined by Chapter 189 of the Code of the Town of Niskayuna; and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant sketch plan approval for the concept subdivision drawing entitled "Subdivision Plan 2890 River Rd." by Engineering Ventures, P.C. dated 11/3/23 with no further revisions, with the following conditions:

1. Sketch plan approval is a conceptual review of the proposed lot division for the purposes of classification and preliminary discussion as described in the Town of Niskayuna Zoning Sections 189-6 and 189-22. The location of proposed boundary lines, infrastructure, utilities and improvements are subject to change during the environmental review, engineering, public hearing and subdivision review process.

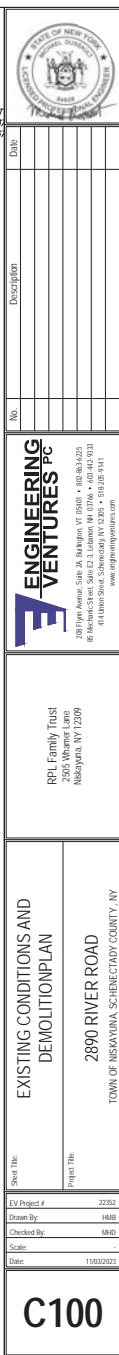
Upon roll call the foregoing resolution was adopted by the following vote:

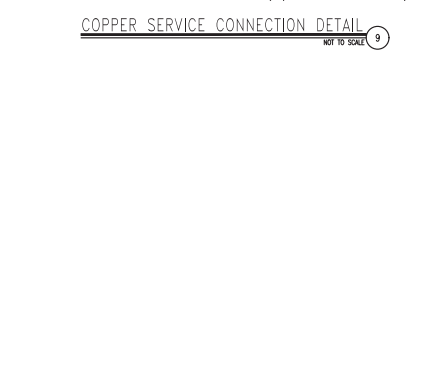
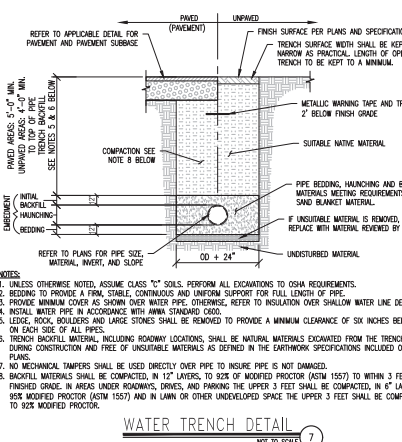
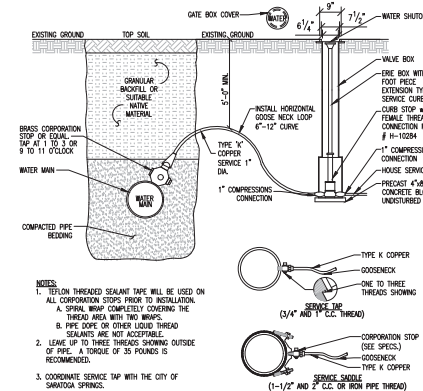
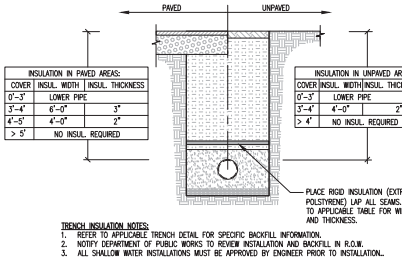
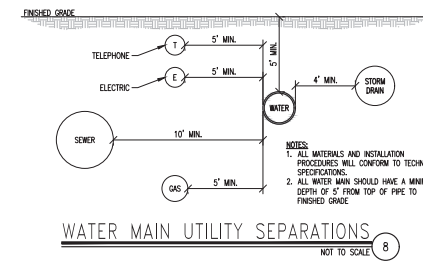
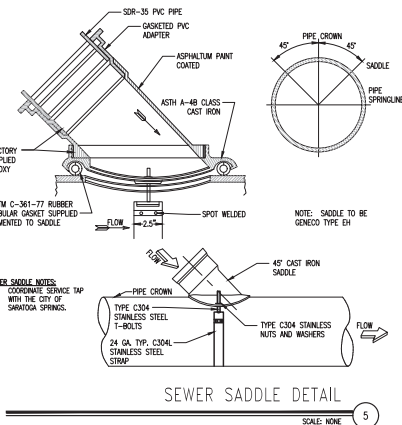
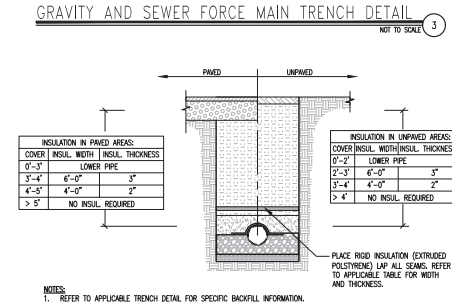
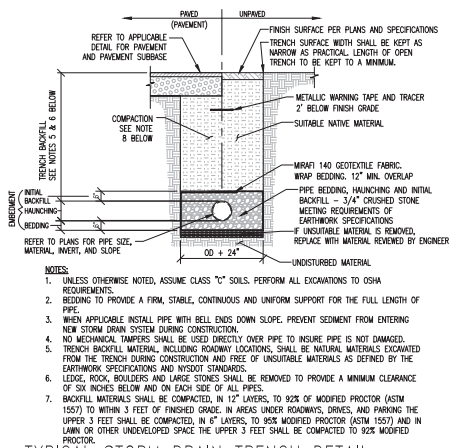
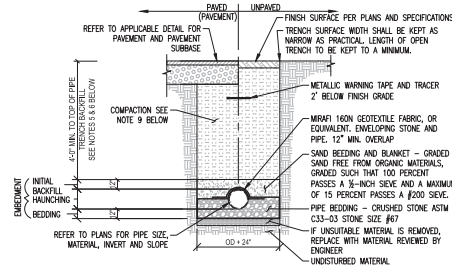
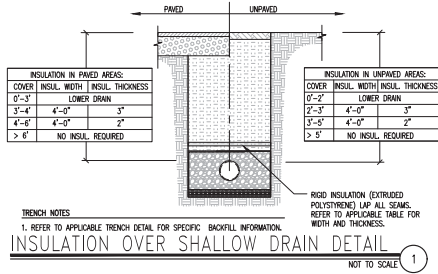
KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

The Chairman declared the same _____.



C001





STATE OF NEW YORK

DATE: _____

DESCRIPTION: _____

NO: _____

ENGINEERING VENTURES PC

2897 River Road, Suite 2A, Mahwah, NY 07648 • (800) 863-1232

60 Mahwah Street, Suite 203 • Mahwah, NY 07648 • (800) 863-1232

www.engrventures.com

RPL Family Trust

2905 Whittier Lane

Norfolk, VA 23502

SHEET DETAILS

Project No: 2202

Drawn By: 1048

Checked By: 1048

Scale: AS NOTED

Date: 11/03/2023

2890 RIVER ROAD

TOWN OF NESKAHUNA, SCHENECTADY COUNTY, NY

C500



Albany Office

100 Great Oaks Boulevard, Suite 114, Albany, NY 12203

P: 1.833.723.4768

November 8, 2023

Laura Robertson, AICP
Town Planner
One Niskayuna Circle
Niskayuna, NY 12309

Re: Town of Niskayuna
2890 River Road Subdivision Review
Our Project No. 230322-000R

Dear Mrs. Robertson,

We are in receipt of Sketch Plan Application dated 6/22/2023, River Road Survey Drawing dated 12/1/2022, Subdivision Site Plan dated 11/3/2023, Short Form Environmental Assessment Form (SEAF) dated 6/22/2023, TDE Scope of Work dated 9/11/2023, River Road Drainage Report dated revised 10/17/2023, and Stormwater Flood Prone Areas revised 8/8/2023. The applicant proposes to construct up to three (3) new residential single-family homes on a total of 6.09 acres of land located at 2890 River Road tax parcels 51.-1-7.1 and 51.9-2-1.1, with 0.099 acres of ACOE wetland disturbance. Two homes will have frontage on River Road, and one will have frontage on Seneca Road. One home that would have had frontage on River Road has been removed from this updated plan we received on 11/6/2023 (previously 4 lot subdivision). Based on our review of the materials provided we have the following comments:

Short Environmental Assessment Form:

1. The Applicant has indicated in their answer to question 14 that wetlands and suburban habitats are typically found on the project site, however the Subdivision Site Plan shows large areas of wooded lands. We ask the Applicant to include Forest in their answer to question 14.

Applicant for Sketch Plan Approval-4 Lots or Less

1. No comments.

Site Plan:

1. The Site Plan scale is 1-inch equals 30 feet, meeting the Map Requirements for a Minor Subdivision of no less than 1-inch equals 100 feet.
2. The Town code requires direction of drainage flow to be indicated on the plan.
3. The Applicant has provided the Survey of the Lands of RPL Family Trust which includes the corner monuments for both parcels 51.-1-7.1 and 51.9-2-1.1, dated 12/1/2022 and prepared by Gilbert VanGuilder Land Surveyor, PLLC.
4. Sheet C100 Existing Conditions and Demolition Plan shows a wood framed home to be razed in the general location of the proposed home on Lot 2 with a similar first floor elevation of about 297'. If

this home has a basement that is accessible, it would be advisable to perform an inspection to look for past water intrusion.

5. We had originally begun review of the 4-Lot Subdivision Plan Sheet C101 dated 8/23/2023 which contained different lot layouts on the stand-alone version and the version included as Attachment 7 of the Drainage Report. The applicant has since provided a new version of the Plan dated 11/3/2023 which now shows only 3 Lots. The Plan in the Drainage Report will need to be replaced with the latest version.
6. The Site Plan does not show all structures, wooded areas, streams, and other significant physical features within 200ft of the portion to be subdivided, particularly the structures present along Seneca Road. The name of the owner and all adjoining property owners should be identified.
7. The area of proposed wetland disturbance near the edge of Seneca Road at lot 3 is approximately 235 ft long and the proposed driveway culvert pipe is 30 ft long. It is believed that a long stretch of the lot 3 parcel is planned to have the wetlands filled to create lawn area, however, fill is not specifically called for on the plan. We would ask the applicant to clarify the extent of wetland disturbance along the frontage for this lot, how the drainage will be maintained and how much wetland disturbance is actually necessary.
8. The proposed finished floor elevation for the house on lot 2 is 297.15, which has been raised by 3.4' over the previous plan and is now about 11' above the ground surface elevation of the existing wetland edge (286.0'). Additionally, the ground elevation at the southeast (rear) corner of the house is proposed to be 292.0', which is only 6' above the ground surface elevation of the existing wetland. The Town has indicated that the wetland often has standing water and does not completely drain. Furthermore, basement floor elevations are typically at least 8 feet below the first floor. Therefore, there is a possibility of basement flooding at the house on lot 2. The Applicant should indicate how this issue will be addressed to meet the applicable requirements of the Niskayuna Town Code (Building Construction subsection 75-40), which state that *"Buildings built in soil which is water-bearing at any time of the year shall be maintained so that ground- and surface water will not penetrate into the habitable space."*
9. The Site Plan states that the wetland disturbance area will be 0.099 acres, which is less than the 1/2 acre wetland disturbance threshold for Army Corps of Engineers Nationwide Permit #29 - Residential Developments and is therefore acceptable.
10. The Site Plan shows the 25' wetland setback at both of the proposed impact areas on lot 3 after the loss of wetlands. The applicant should show the 25' buffer along the existing wetland boundary for a true picture of the impact.
11. Sheet C500 contains details for "Insulation over shallow drain detail", "Shallow sewer line insulation detail" and "Insulation over shallow water line detail". It is not clear on the Site Plan where these details are proposed to be used. We will also have to check with the Town Engineering Department to see if these details are allowed.

River Road Drainage Report

1. The Report will need to be updated to account for the change from 4 lots to 3 lots. The following comments refer to the lot numbering shown on the 11/3/2023 drawings.

2. Study Point 1 in the report is the inlet of the 30" and 36" culverts under Seneca Road, which is upstream of the project area. This area has been included in the study due to existing drainage concerns that the Town has and with the intent to make sure they do not worsen due to this development project. The analysis was performed for the 25 year storm event, with and without improvements to the wetland "channel" between the outlet of the 2 culverts and the inlet of the 42" culvert (Study Point 2). Both conditions showed that the culverts are undersized for the 25 year storm event and Seneca Road would be overtopped by as much as 18" of water, with only slight improvement when the wetland "channel" was improved.
3. Study Point 2 is the inlet of the 42" culvert under River Road, which is downstream of the proposed development project. As such, the Town code only requires initial evaluation during the 5 year storm event. The result of this analysis shows that the culvert cannot handle the 5 year storm event flow under existing or proposed conditions and water would eventually overflow River Road. This situation will only worsen under higher intensity rainfall events that should be modeled to determine a proper culvert size. An increase in through-put of the 42" culvert would require further study of potential impacts downstream of the culvert outlet.
4. The report shows stormwater flowing directly offsite from all 3 proposed lots without any detention or treatment that would be necessary for the increased impervious surfaces of roofs and driveways, which is contrary to the requirements of the New York State Stormwater Design Manual (SWDM). Please recheck the CN for pre and post-development area F, as it is shown as 79 for both.
5. As the development of the three lots includes new impervious surfaces from roofs and driveways, the Applicant needs to provide peak flow numbers for the pre-developed and post-developed lots for the 1-year, 10-year, and 100-year storm events, as required by the SWDM, to show that the post-development peak flows will be less than or equal to the pre-development peak flows for each event, as other subdivisions have been required to do in the Town.
6. The Applicant needs to show stormwater management practices that will provide for water quality treatment in addition to the quantity controls. Sediment removal and clearing debris from the wetland to improve a "flow channel" should not be factored into the flow calculations because over time these conditions will return resulting in a reduction of the storage and transmission capacity of the wetland back to its current state or less, and periodic maintenance of a natural wetland cannot be assumed due to future State or Federal requirements. Thus, the existing wetland cannot be used as a "practice" for reducing flows leaving the developed areas of the site and the flows that would leave the proposed lots and enter the wetland after development must not exceed the existing flows leaving those same areas of the site and going into the wetland prior to development.
7. Proposed Lot 2 may be able to take advantage of the redevelopment section of the SWDM, as there is an existing home and driveway that are to be removed prior to construction of a new home.
8. The Applicant should provide analysis of the 100-year storm through the unimproved wetland and culverts to ensure that these existing features can pass the peak flows from upstream, the new lots, and the wetland itself without flooding the proposed houses and lots.
9. Additional materials, including as-built mapping, plans and reports for Iroquois Middle School, Campo Court and Owasco Court stormwater management systems would be helpful in checking accuracy of the HydroCAD model in the Report.

Laura Robertson
River Road 4-Lot Subdivision Review
November 8, 2023
Page 4



If you have any questions, please feel free to contact me.

Sincerely,

KB Group of NY, Inc. dba PRIME AE Group of NY

Douglas P. Cole, P.E.
Senior Director of Engineering

cc: Matthew Yetto, Superintendent of Water, Sewer, and Engineering
Clark A. Henry, Assistant Town Planner

Short Environmental Assessment Form

Part 1 - Project Information

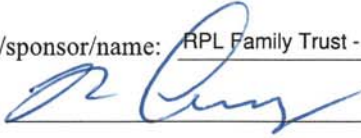
Instructions for Completing

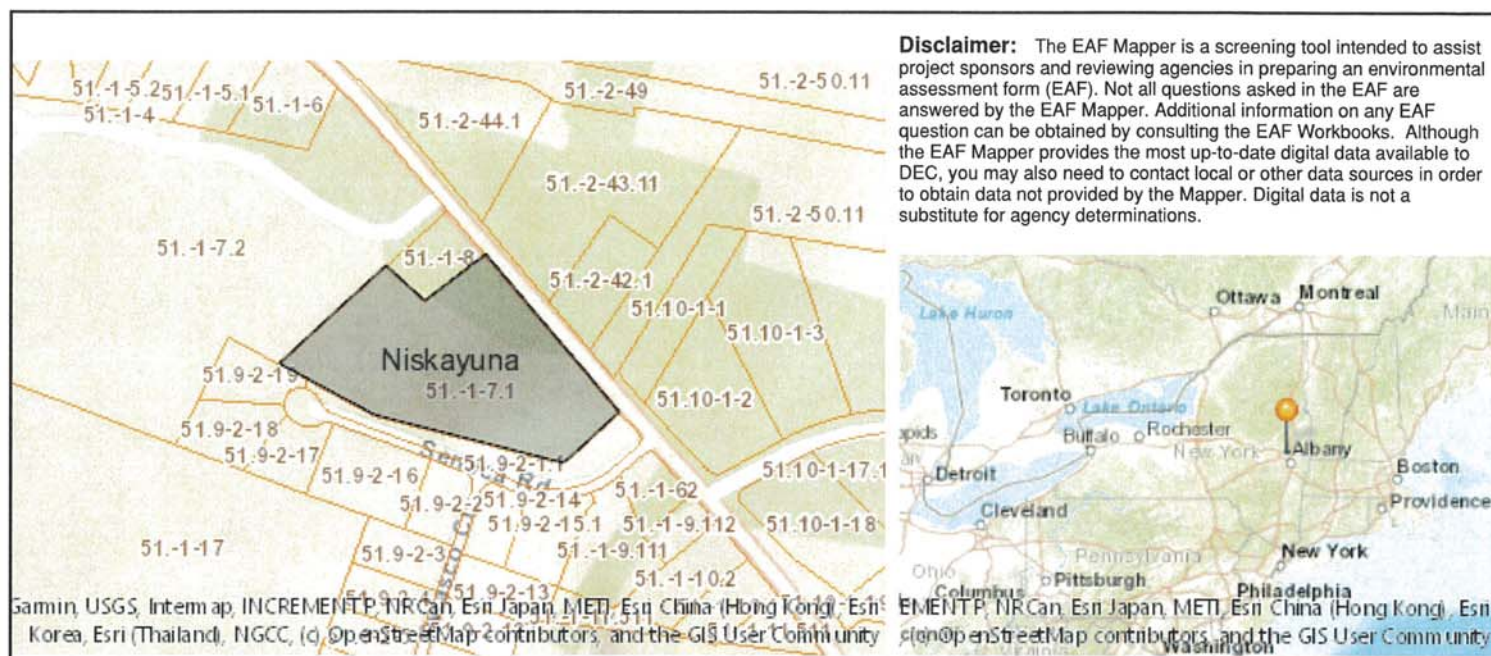
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 2890 River Road Subdivision			
Project Location (describe, and attach a location map): 2890 River Rd, Niskayuna, New York 12309			
Brief Description of Proposed Action: The Applicant proposes a 4-lot subdivision of Town of Niskayuna tax parcels 51.-1-7.1 and 51.9-2-1.1. Each new lot will have a single family residence per lot. The proposed dwellings will be serviced by public water and sanitary sewer systems.			
Name of Applicant or Sponsor: RPL Family Trust		Telephone: 518-374-1461 E-Mail: ryan@midstateltd.com	
Address: 2505 Whamer Lane			
City/PO: Niskayuna		State: NY	Zip Code: 12309
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: US ACOE Nationwide Permit #29 for disturbance to freshwater wetlands.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		6.09 acres	
b. Total acreage to be physically disturbed?		2.00 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		6.09 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input checked="" type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ The proposed action does not plan to exceed 0.1 acre of freshwater wetland disturbance. _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input checked="" type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe: _____ Site storm water will be directed through roadside ditches and pipe conveyance systems to public storm sewer. _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>RPL Family Trust - Ryan Lucy</u> Date: <u>6/22/2023</u> Signature: <u></u> Title: <u>TRUSTEE</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 3

MEETING DATE: 11/27/2023

ITEM TITLE: RESOLUTION: 2023-29: A Resolution for site plan approval of a tenant change to Brianna Ryan Dance ME LLC Dance Studio at 2141 Eastern Parkway.

PROJECT LEAD: TBD

APPLICANT: Brianna Ryan

SUBMITTED BY: Brianna Ryan

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Ms. Ryan submitted an application for a tenant change to operate a dance studio at this address. The building was most recently used as a medical office building.

In her application Ms. Ryan states that she will be purchasing the building and that there will be no change to the exterior of the building.

Ms. Ryan presented the project to the Planning Board at their 11/13/23 meeting and after a review and discussion the Board called for a resolution for site plan approval for the 11/27/23 meeting.

COMPREHENSIVE PLAN

The proposed application complies with the Economic Development section, beginning on page 73, of the 2013 Niskayuna Comprehensive Plan.

BACKGROUND INFORMATION

The property is located in the C-N Neighborhood Commercial zoning district. The Planning Office and Planning Board have classified Tae-kwon-do studios and other dance studios (Pure Barre and Dance Fire) as retail service uses which are permitted principal uses in the district. The zoning code parking space requirements for medical office uses and retail sales and service uses are the same with 1 parking space being required for every 225 square feet of gross floor area.

The hours of operation of the proposed studio are:

- Monday – Thursday: 4 PM to 9 PM

- Saturday: 9 AM – 12 PM
- Friday & Sunday: Closed

The maximum number of staff and patrons in the building at one time is estimated to be 70 people.

The Town of Niskayuna conferred with the City of Schenectady concerning the project, as a portion of the parking is within the City of Schenectady, and they deferred review to the Town of Niskayuna with no objections. The parking complies with code.

11/13/23 Planning Board (PB) meeting – Ms. Ryan attended the meeting and presented the project to the Board. During an ensuing discussion the Board requested that the utility boxes and concrete barriers on Eastern Parkway by the site be cleaned up. They called for a resolution for site plan approval for the 11/27/23 PB meeting.

A resolution for site plan approval is included with the meeting packet.

RESOLUTION NO. 2023-29

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 27TH DAY OF NOVEMBER 2023 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Brianna Ryan has made an application to the Planning Board and Zoning Commission for site plan approval for tenant change at 2141 Eastern Parkway to a Brianna Ryan Dance ME LLC Dance Studio as described in the Application for Site Plan Review form and 1-page parking space map, and

WHEREAS, the zoning classification of the property is C-N: Neighborhood Commercial zoning district and retail and service stores are permitted principal uses in the district, and

WHEREAS, the proposed tenant change complies with the Economic Development section of the 2013 Niskayuna Comprehensive Plan, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, a portion of this property containing +/- 27 parking spaces of the onsite parking for the building lies within the City of Schenectady, and

WHEREAS, the Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves the site plan with the following conditions:

1. Signage: Prior to issuance of a building permit the Planning Office will review and approve any proposed code compliant signage.
2. City of Schenectady: Any requirements from the City of Schenectady for the use of the parking spaces within its City limits shall be made a requirement of the Town of Niskayuna's site plan approval.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
LESLIE GOLD
NANCY STRANG
JOSEPH DRESCHER

The Chairman declared the same _____.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Brianna Ryan Dance Me LLC
Bartlett Pontiff Stewart & Rhodes, Agent
Address 1 Washington Street
Glens Falls, NY
12801

Email sdb@bpsrlaw.com

Telephone 518-832-6419

Fax _____

Location:

Number & Street 2141 Eastern Parkway, Schenectady,
NY 12309

Section-Block-Lot 50.10 - 3 - 33

Zoning District CN 220-10

Proposal Description:

Tenant Change- Brianna Ryan Dance ME LLC will be purchasing the property to open

it as a dance studio. There is no change to the exterior of existing building

Signature of applicant: _____

Date: 10/2/23

Signature of owner (if different from applicant): _____

Tammy J Russo

Date: 10/16/2023

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

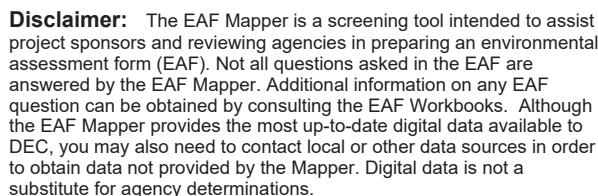
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Brianna Ryan/ Dance ME LLC			
Name of Action or Project: Dance ME LLC			
Project Location (describe, and attach a location map): 2141 Eastern Parkway			
Brief Description of Proposed Action: Change of tenancy for property into a dance studio			
Name of Applicant or Sponsor: Brianna Ryan Dance ME LLC		Telephone: 518-832-6419	
		E-Mail:	
Address: 1619 Union St			
City/PO: Schenectady		State: NY	Zip Code: 12309
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		0.44 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		00.44 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature: _____ Title: _____</p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

2141 Eastern Parkway
Zoning: C-N Neighborhood Commercial





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 11/27/2023

ITEM TITLE: DISCUSSION: 1430 Balltown Rd. – A site plan application for an addition to the existing building and expansion of the parking lot.

PROJECT LEAD: Leslie Gold

APPLICANT: John Roth, Highbridge Development

SUBMITTED BY: John Roth

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Mr. Roth submitted an application for an addition to expand the existing 9,980 sq. ft. building by 2,700 sq. ft. (27%) and expand the parking lot area from approximately 39 to 61 parking spaces (64%). The building was most recently used as a law office building.

The project was introduced to the Planning Board at their 11/13/23 meeting. After a discussion the Board requested the additional information listed below. A Town Designated Engineer (TDE) has been retained and is reviewing the technical materials provided with the application.

COMPREHENSIVE PLAN

The 2013 Comprehensive Plan includes several references to the area encompassing 1430 Balltown Rd.

- Page 21 – The “Transportation” portion of the Comprehensive Plan states the importance of an efficient, safe and flexible system.
 - Page 22 states “The Balltown corridor continues to be an area of concern that affects the entire Town because it is the primary north south arterial. This is ranked as the highest priority for this section and encompasses the most complex set of problems.”
- Page 94 – Subarea Recommendations includes the following recommendation for subarea B5 (which includes the Town Center Overlay District (TCOD) and 1430 Balltown Rd.)
 - “Subarea B5: The Town Center is located in this subarea. The Town has adopted the Town Center Overlay District (TCOD) which includes design standards for any type of construction or renovation for any building located in the TCOD. The Town

should continue to uphold the existing zoning standards and encourage pedestrian friendly development.”

BACKGROUND INFORMATION

The property is located in the C-N Neighborhood Commercial zoning district and Town Center Overlay District. Professional offices, non-medical, are permitted principal uses in the C-N district.

The following drawings and documents were provided with the application.

1. A 2-page drawing set entitled “Preliminary Site Plan Layout Building Addition 1430 Balltown Rd.” by ABD Engineers and Surveyors dated 11/3/23 with no subsequent revisions.
2. A Short Form Environmental Assessment Form (EAF) signed by Luigi A. Palleschi P.E. dated 11/2/23 with no subsequent revisions.
3. A Stormwater Management Report entitled “2,700 sq. ft. Building Addition & Parking Lot Expansion 1430 Balltown Rd., Town of Niskayuna, Schenectady County, NY” by Luigi A. Palleschi, P.E. ABD Engineers & Surveyors, LLP dated 11/3/23 with no subsequent revisions.
4. A Stormwater Pollution Prevention Plan entitled “Basic Stormwater Pollution Prevention Plan Erosion & Sediment Controls Only for 2,700 sq. ft. Building Addition & Parking Lot Expansion 1430 Balltown Rd. Town of Niskayuna Schenectady County, New York” by Luigi A. Palleschi, P.E. ABD Engineers & Surveyors, LLP dated 11/3/23 with no subsequent revisions.
5. Two (2) colored elevation renderings showing the building with the proposed addition

The site plan drawing includes the following zoning code and pre and post development lot details.

ZONING: C-N (NEIGHBORHOOD COMMERCIAL)			
	<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
LOT SIZE:	15,000 SF MIN.	86,179± SF (1.98± AC)	
LOT WIDTH:	100' MIN.	435.01'	
BLDG. HEIGHT:	100' MAX.	XX'	XX'
BLDG. COVERAGE:	20% MAX	9,980± SF (11.6%)	12,680± SF (14.7%)
SETBACKS:			
FRONT:	15'	115.1'	109.5'
SIDE:	10' (20' BOTH)	44.8', 63.2'	44.8', 24.5'
REAR:	20' MIN.	154.4'	154.4'

Parking

Building Area (SF)	Actual Parking Spaces	Required Parking Spaces (1/225 SF)	Surplus / Deficit
9,980	39	45	-6
12,680	61	57	+4

Niskayuna Zoning Code Schedule I-D C-N District Column 8 item 8 reads as follows: “There shall be a minimum 25% of the total land area of the site reserved as landscaped open space. At the discretion of the Planning Board, a portion of this open space shall be used to provide landscaping internal to required off-street parking areas.” The proposed site plan should be reviewed relative to this requirement.

Article VIIIA Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards provides standards to “identify an identifiable center of the Town of Niskayuna”, “define a sense of community”, “promote a traditional architectural and visual environment” and “promote revitalization, not change it into a better place”. The proposed building addition and parking lot expansion should be reviewed relative to the sections of the zoning code within Article VIIIA, including but not limited to the following.

Section 220-48.5 Pedestrian and streetscape amenities

- C (1) Sidewalks
- C (3) lighting
- C (4) Amenities: benches, bike racks, trash receptacles.
- C (5) Parking: screening shall be applied in the parking lot design along parcel boundaries in order to maintain an aesthetic quality
- C (6) Landscaping

11/8/2023 Conservation Advisory Council (CAC) – The CAC looked at this project preliminarily and had the following initial comments:

1. Requested a map showing tree removal and tree planting – native species should be used
2. Recommend pesticide free practices for the property
3. Recommend installation of EV Charging stations at the parking lot
4. Requested whether new lighting will be added – should be dark skies friendly
5. Requested whether or not solar panels can be added to the new roof addition
6. Requested knowing what type of office use was proposed – wanted to know if it would increase the intensity of use of the building
7. Recommended more plantings and landscaping in front of the building to reduce the large lawn (lawns are high maintenance and poor habitat)

11/13/23 Planning Board (PB) meeting – Luigi Palleschi, P.E. of A.B.D. Engineers and Surveyors attended the meeting and presented the project to the Board. He noted that the investment in the building is part of a strategic plan to consolidate and relocate Niskayuna School District offices to this site for a period of approximately 8 – 10 years, until a permanent location is voted on in 2027 and ready to be occupied in approximately 2032. Mr. Palleschi referenced the site plan and systematically explained the following aspects of the design.

Stormwater

- The current parking lot drains to a small underground system that often overflows.
- A new system, designed to 25-year rainfall rates, is included in the proposed design
- The system includes underground stormwater storage in the southeast corner of the parking lot and a detention basin near the southeastern corner of the proposed addition.

Parking

- It was noted that additional parking spaces have been added to the site as required by the zoning code for the increase in gross floor area of the building.

Lighting

- It was noted that new lighting will be added.
- A photometric plot of light distribution was not included in the drawing set

Means of Access / Traffic

- Primary access to the site will remain off of Balltown Road.
- A trip count analysis or traffic study was not included in the documentation package.

Signage

- The rendering of the Balltown Road facing façade was displayed and it was noted that the Niskayuna logo would be added near the “1430” in the northwest corner of the façade.

Landscaping

- Mr. Palleschi noted that approximately 40% of the site is greenspace.
- It was noted that some existing trees and bushes will need to be removed for the proposed changes and the applicant will work with the Tree Council to develop a replanting plan.

Environmental Review

- Ms. Robertson summarized the comments from the 11/8/23 CAC meeting noted, above.

Town Designated Engineer (TDE) review

- Ms. Robertson noted a check for the fees associated with a TDE review of the proposed plan was expected on Tuesday 11/14/23 and the TDE would immediately be engaged.

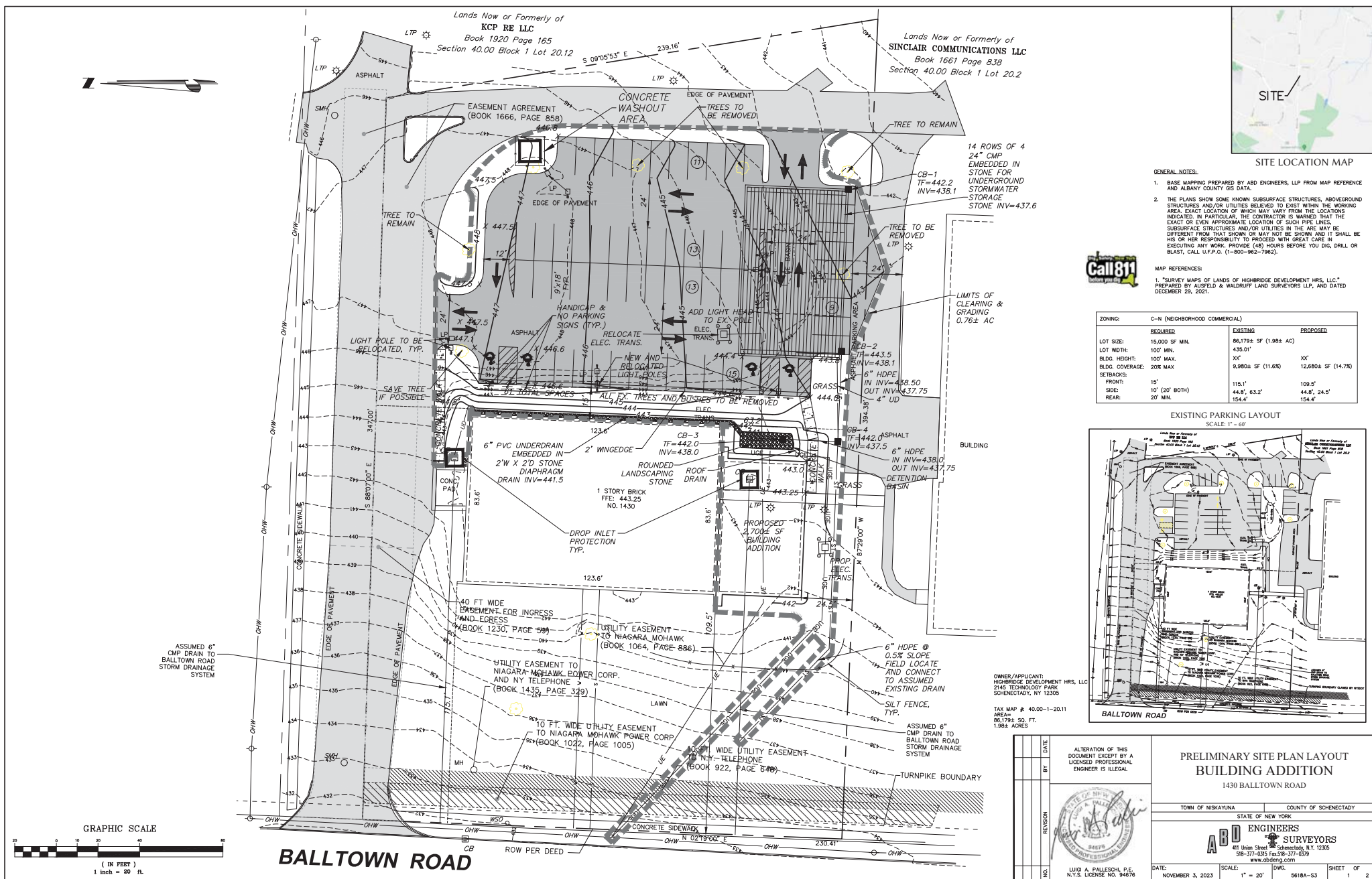
After a discussion the Planning Board requested the following additional information.

- Stormwater analysis using 1, 10, 25 and 100-year rainfall rates.
- A photometric plot of the current and proposed light distribution on the site.
- A traffic count analysis based on the expanded building and proposed occupancy.
- Dimensioned drawings and renderings of proposed signage.

There are no revisions to plans and the Town hasn't received the TDE comment letter as of 11/22/2023.

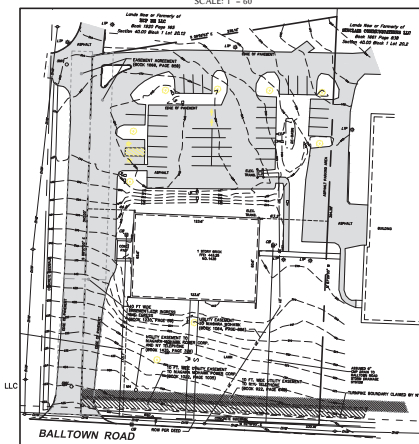






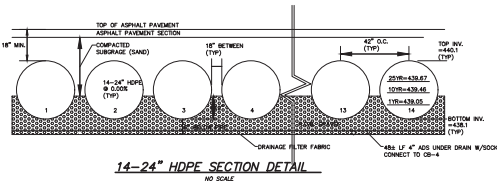


ZONING: C-N (NEIGHBORHOOD COMMERCIAL)		EXISTING	PROPOSED
LOT SIZE:	15,000 SF MIN.	86,179.9 SF (1.968 AC)	
LOT WIDTH:	100' MIN.	435.01'	
BLDG. HEIGHT:	100' MAX.	XX'	XX'
BLDG. COVERAGE:	20% MAX	9,980.5 SF (1.6%)	12,680.5 SF (14.7%)
SETBACKS:			
FRONT:	15'	115.1'	109.5'
REAR:	10' (20' BOTH)	44.8', 65.2'	44.8', 24.5'
SIDE:	20' MIN.		

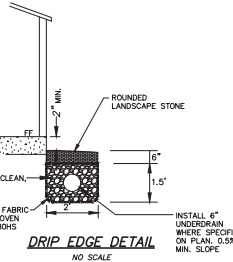
EXISTING PARKING LAYOUT
SCALE: 1" = 60'



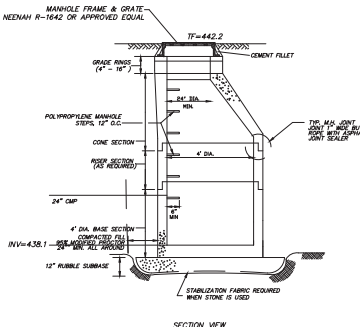
DATE	<p>ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS ILLEGAL</p>	<p>PRELIMINARY SITE PLAN LAYOUT BUILDING ADDITION 1430 BALLTOWN ROAD</p>	<p>TOWN OF NISKAYUNA COUNTY OF SCHENECTADY</p>	<p>STATE OF NEW YORK</p>	<p>ADD ENGINEERS  SURVEYORS 41 Union Street Schenectady, N.Y. 12305 518-377-0315 Fax:518-377-0319 www.abd-engine.com</p>	<p>DATE: NOVEMBER 9, 2023 SCALE: 1" = 20' DWG. 5619A-CS SHEET OF</p>
BY						
REVISION						
NO.	<p>LUIGI A. PALLESE, P.E. N.Y. LICENSE NO. 54678</p>					



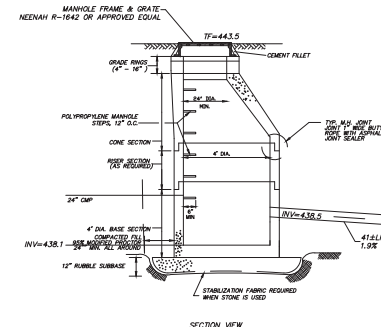
14-24" HDPE SECTION DETAIL
NO SCALE



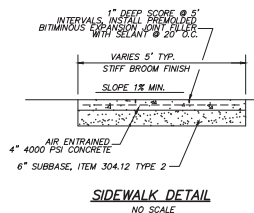
DRIPE EDGE DETAIL
NO SCALE



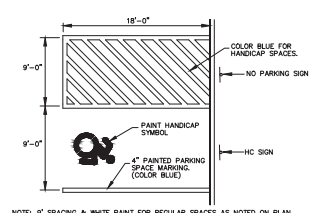
CB-1 STORM MANHOLE DETAIL
NO SCALE



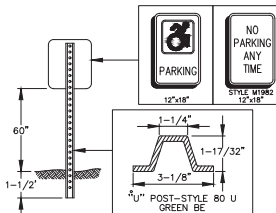
CB-2 STORM MANHOLE DETAIL
NO SCALE



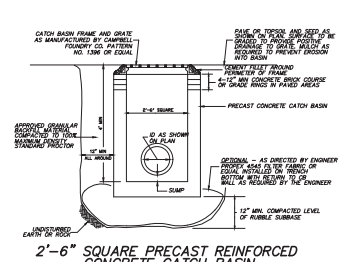
SIDEWALK DETAIL
NO SCALE



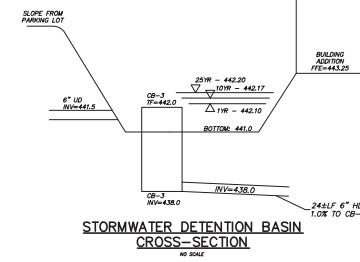
PAINT STRIPING DETAIL & HANDICAP MARKING
NO SCALE



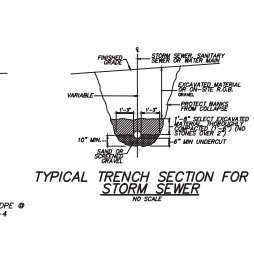
SETON POST & HANDICAP SIGN
DETAIL
NO SCALE



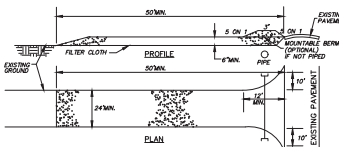
2-6" SQUARE PRECAST REINFORCED
CONCRETE CATCH BASIN
NO SCALE



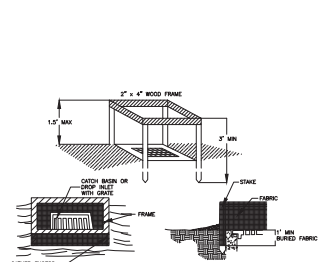
STORMWATER DETENTION BASIN
CROSS-SECTION
NO SCALE



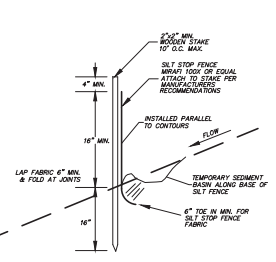
TYPICAL TRENCH SECTION FOR
STORM SEWER
NO SCALE



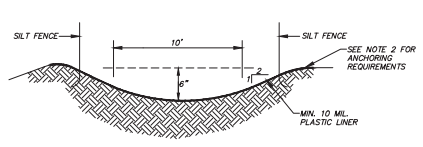
STABILIZED CONSTRUCTION ENTRANCE DETAIL
NO SCALE



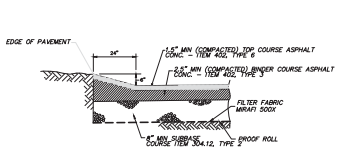
FILTER FABRIC DROP INLET PROTECTION DETAIL
NO SCALE



SILT FENCE DETAIL
NO SCALE



CONCRETE WASHOUT AREA DETAIL
NOT TO SCALE



WINGED AND PAVEMENT SECTION DETAIL
NO SCALE

1. STONE SIZE - USE 4" STONE, OR RECYCLED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
3. THICKNESS - NOT LESS THAN 6" (6) INCHES.
4. WIDTH - NOT LESS THAN THE FULL UNWEIGHTED WIDTH OF THE ENTRANCE, OR 6 FEET, WHICHEVER IS GREATER.
5. FILTER FABRIC - ALL SLOPED WATER FLOWING OR SHEDDING TOWARD CONSTRUCTION ENTRANCES SHALL BE FILTERED ACROSS THE ENTRANCE. IF FLOW IS UNWEIGHTED, A MINIMUM 6" SINGLE ENTRANCE TO SITE.
6. FILTER FABRIC - ALL SLOPED WATER FLOWING OR SHEDDING TOWARD CONSTRUCTION ENTRANCES SHALL BE FILTERED ACROSS THE ENTRANCE. IF FLOW IS UNWEIGHTED, A MINIMUM 6" SINGLE ENTRANCE TO SITE.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT PASSAGE OF SEDIMENT INTO PUBLIC RIGHT-OF-WAY. THIS MAY INCLUDE PERIODIC CLEANING, REPAIRS, OR ANY MEASURES USED TO TRAP SEDIMENT.
8. BEDDING - BEDDING SHALL BE CLEANED WHEN NECESSARY TO REMOVE SEDIMENT FROM THE ENTRANCE. BEDDING SHALL BE CLEANED WHEN NECESSARY TO REMOVE SEDIMENT FROM THE ENTRANCE. BEDDING SHALL BE CLEANED WHEN NECESSARY TO REMOVE SEDIMENT FROM THE ENTRANCE.
9. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1. FILTER FABRIC SHALL HAVE AN EDGE OF 40-60 BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
2. FILTER FABRIC SHALL BE SECURED TO THE FRAME WITH WIRE TIES OR STAPLES. POSTS SHALL BE 2" DIA. 12" ON 12" TYP. OR HARDWOOD.
3. FILTER FABRIC SHALL BE SECURED TO THE FRAME WITH WIRE TIES OR STAPLES. POSTS SHALL BE 2" DIA. 12" ON 12" TYP. OR HARDWOOD.
4. FILTER FABRIC SHALL BE SECURED TO THE FRAME WITH WIRE TIES OR STAPLES. POSTS SHALL BE 2" DIA. 12" ON 12" TYP. OR HARDWOOD.
5. FILTER FABRIC SHALL BE SECURED TO THE FRAME WITH WIRE TIES OR STAPLES. POSTS SHALL BE 2" DIA. 12" ON 12" TYP. OR HARDWOOD.
6. FILTER FABRIC SHALL BE SECURED TO THE FRAME WITH WIRE TIES OR STAPLES. POSTS SHALL BE 2" DIA. 12" ON 12" TYP. OR HARDWOOD.

1. CONSTRUCTION SPECIFICATIONS
2. CONSTRUCTION SPECIFICATIONS
3. CONSTRUCTION SPECIFICATIONS
4. CONSTRUCTION SPECIFICATIONS
5. CONSTRUCTION SPECIFICATIONS
6. CONSTRUCTION SPECIFICATIONS

1. SODS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.
2. PLASTIC LINER SHALL BE HAVE A MINIMUM THICKNESS OF 10 MIL. WITH NO HOLES OR TEARS, AND UNWEIGHTED MATERIAL SHALL BE REMOVED IMMEDIATELY EXCESS FANFINDER THAT HAS ACCUMULATED OVER HARDEN CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA SUCH AS A GRASS FILTER STRIP.
3. DISPOSE OF HAZARDOUS MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECT SUMP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED OR BURNED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTHILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
4. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
5. INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

CONCRETE WASHOUT MAINTENANCE NOTES

NO.	REVISION	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			



ALTERATION OF THIS DOCUMENT BY ANY UNLICENSED PROFESSIONAL ENGINEER IS ILLEGAL.

PRELIMINARY SITE PLAN DETAILS
BUILDING ADDITION
1430 BALLTOWN ROAD

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY
STATE OF NEW YORK

ABD ENGINEERS
SURVEYORS
411 Union Street Schenectady, N.Y. 12305
518-377-0315 Fax 518-377-0379
www.abdny.com

DATE: NOVEMBER 3, 2023 SCALE: AS SHOWN DWG: 0618A-S3 SHEET OF 2

Short Environmental Assessment Form

Part 1 - Project Information


Instructions for Completing

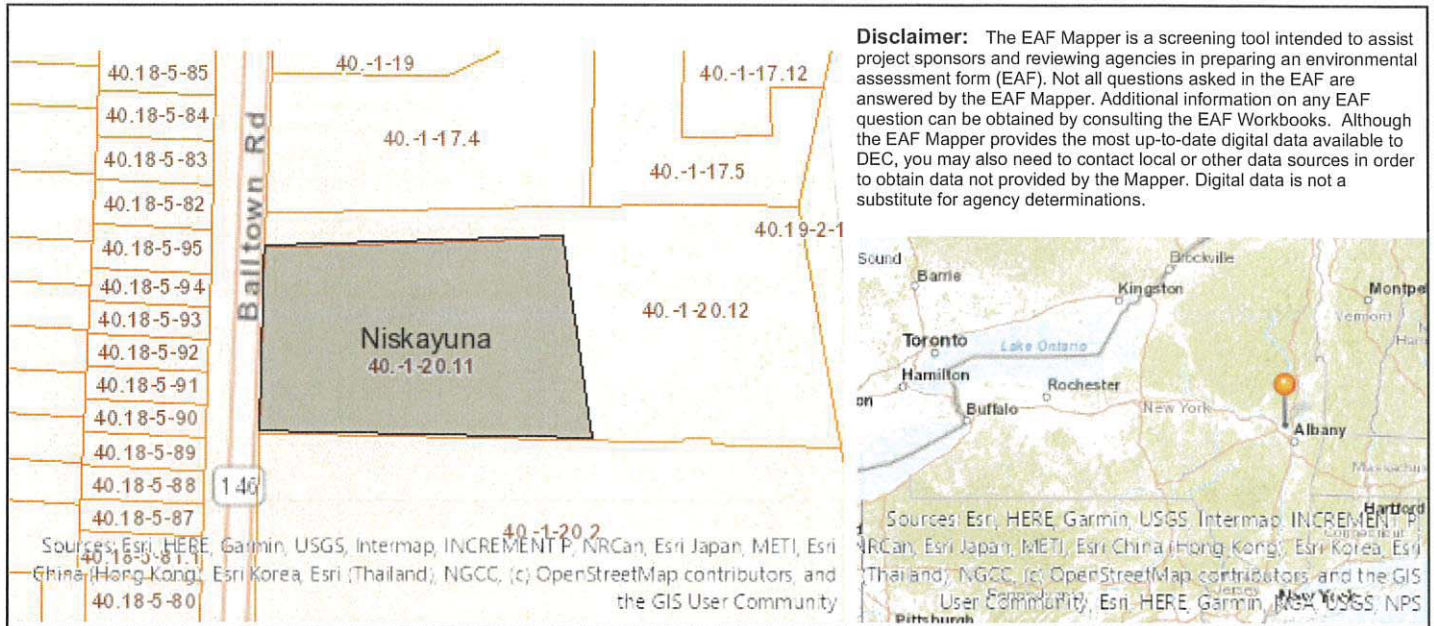
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Building addition and parking lot expansion			
Project Location (describe, and attach a location map): 1430 Balltown Road			
Brief Description of Proposed Action: The Applicant is proposing an addition to the existing building. The parking lot is to be expanded as well.			
Name of Applicant or Sponsor: Highbridge Development HRS, LLC		Telephone: 518-344-5400 E-Mail: jroth@plankllc.com	
Address: 2165 Technology Drive			
City/PO: Schenectady		State: NY	Zip Code: 12308
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Niskayuna Planning Board, Niskayuna Building Department		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.98± acres	
b. Total acreage to be physically disturbed?		0.76± acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.98± acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: Per NYS Building Codes _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ Underground Stormwater system	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ 447054	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: <u>Luigi A. Palleschi, P.E., ABD Engineers & Surveyors, LLP</u> Date: <u>November 2, 2023</u> Signature: <u></u> Title: <u>Professional Engineer</u>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes

1430 Balltown Rd.

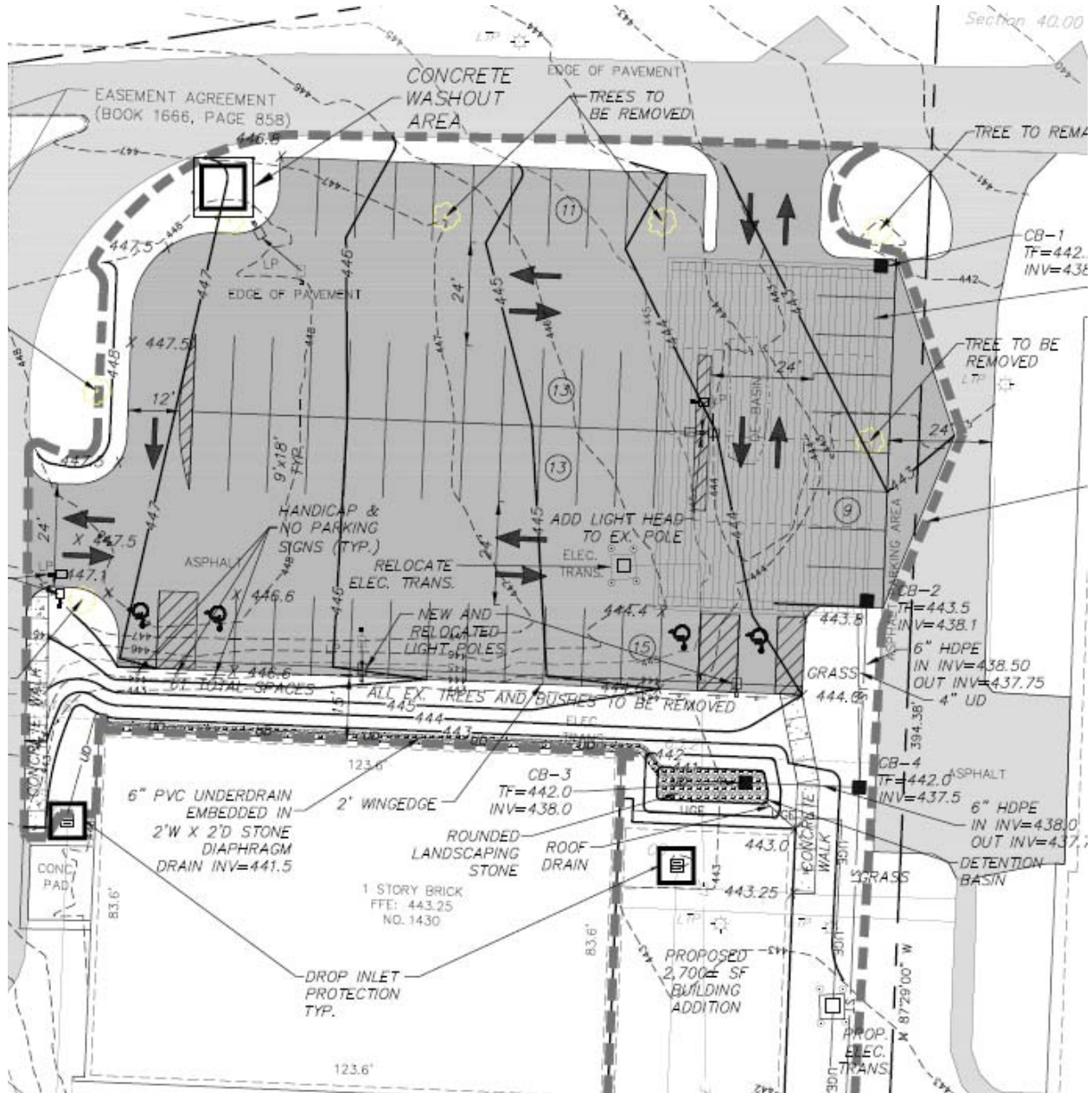
EXISTING PARKING LAYOUT

SCALE: 1" = 60'



Proposed parking

61 parking spaces
(9+15+13+13+11=61)





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 11/27/2023

ITEM TITLE: DISCUSSION: 3514 State St. -- A site plan application for renovations to replace the existing front and side roof facias / facades.

PROJECT LEAD: TBD

APPLICANT: Cris Vargas, agent for the owner

SUBMITTED BY: Cris Vargas, agent for the owner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Mr. Vargas submitted an application to replace the existing metallic roof facia / façade panels with new laminated wood-like panels. The existing façade signage will be removed to enable the old panels to be removed and the new panels to be installed. The signage will then be remounted at the same locations on the building.

This is the first appearance of this project before the Planning Board.

COMPREHENSIVE PLAN

The proposed application complies with the Economic Development section, beginning on page 73, of the 2013 Niskayuna Comprehensive Plan.

BACKGROUND INFORMATION

The property is located in the C-H Highway Commercial zoning district.

The following documents were provided with the site plan application.

1. A 6-page drawing set entitled "Mohawk Army Navy 3514 State Street Schenectady, NY" by Hamlin Design Group dated May 2023 with no subsequent revisions.
2. A 1-page photograph of the State St. façade as it currently exists.
3. A 1-page rendering of the State St. façade as it would appear if the site plan application is approved.
4. A 1-page rendering of the State St. façade as it would appear with the existing signage reinstalled on the proposed new façade.

Section 220-48.7 Architectural Review Standards in Article VIIIA Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards of the zoning code includes the following requirements.

220-48.7 B states: "...this section is applicable to all new building construction and building exterior renovations/modifications which require a building permit."

220-48.7 C (1) Colors states: "Colors utilized for building exteriors shall be compatible and shall visually reflect the traditional concept of the Town Center, the C-N and the C-H Districts' efforts to revitalize. Examples of incompatible colors include metallics, neon, and/or primary colors."

220-48.7 C (2) Materials states: "Traditional materials (masonry, wood and stone) are generally required in the Town Center, the C-N and the C-H Districts...Examples of incompatible materials include exposed concrete block, metal siding, and reflective glass."

The Planning Board should review the proposed roof facia / façade panels and consider calling for a resolution for site plan approval.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name ALISUE LLC

Address 185 NW SPANISH RIVER BLVD
Suite 100
BOCA RATON FL 33431

Email CMARGAS@KINPROPERTIES.COM

Telephone 701.961.9242 Fax 561.988.2822

Location:

Number & Street 3514 State Street

Section-Block-Lot - -

Zoning District

Proposal Description:

FACADE RENOVATION - REPLACE EXISTING FRONT AND
SIDE FACADE WITH NEW

Alisue LLC, a Delaware limited liability company
By: Krisan Management Corp., Its Manager

Signature of applicant: By: *Ant M. Schenk*, V.P. Date: 11/15/2023

Signature of owner (if different from applicant):

Date:

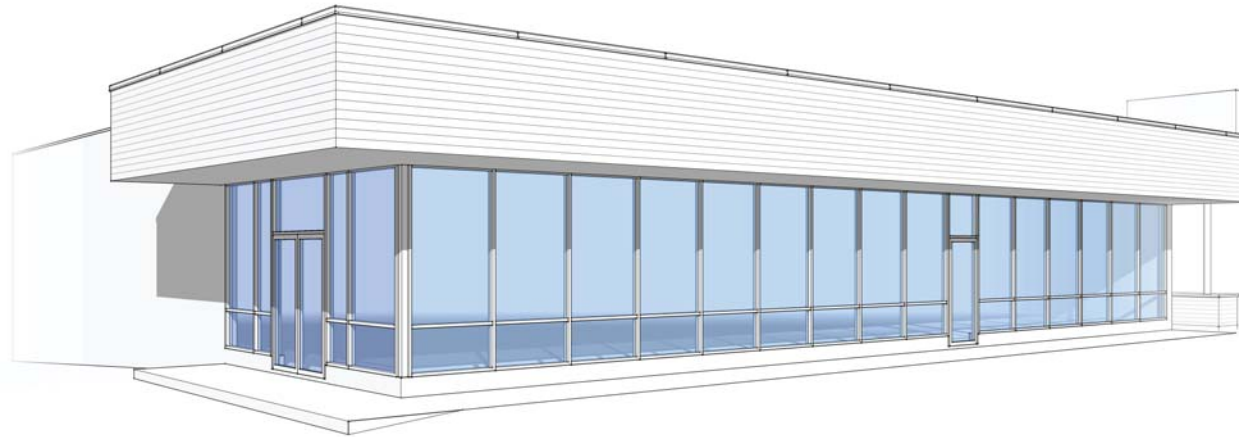
Each site plan application shall be accompanied by:

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

MOHAWK ARMY NAVY

3514 STATE STREET
SCHENECTADY, NY

LOCATION MAP



915 BROADWAY, STE 302
ALBANY, NY 12207
P: 518.724.5159
F: 518.320.8633
www.hamlindesigngroup.com

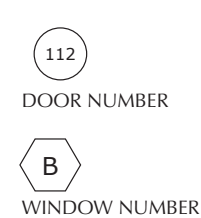
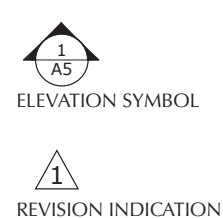
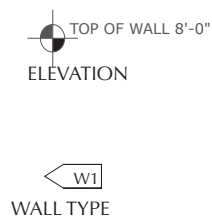
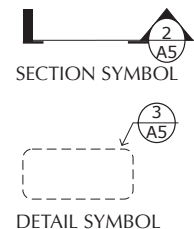
DRAWING LIST:

ARCHITECTURAL
A1.0: REMOVAL PLAN
A1.1: REMOVAL ELEVATIONS
A2.0: PROPOSED PLAN
A2.1: PROPOSED ELEVATIONS
A3.0: PROPOSED DETAILS

GENERAL NOTES:

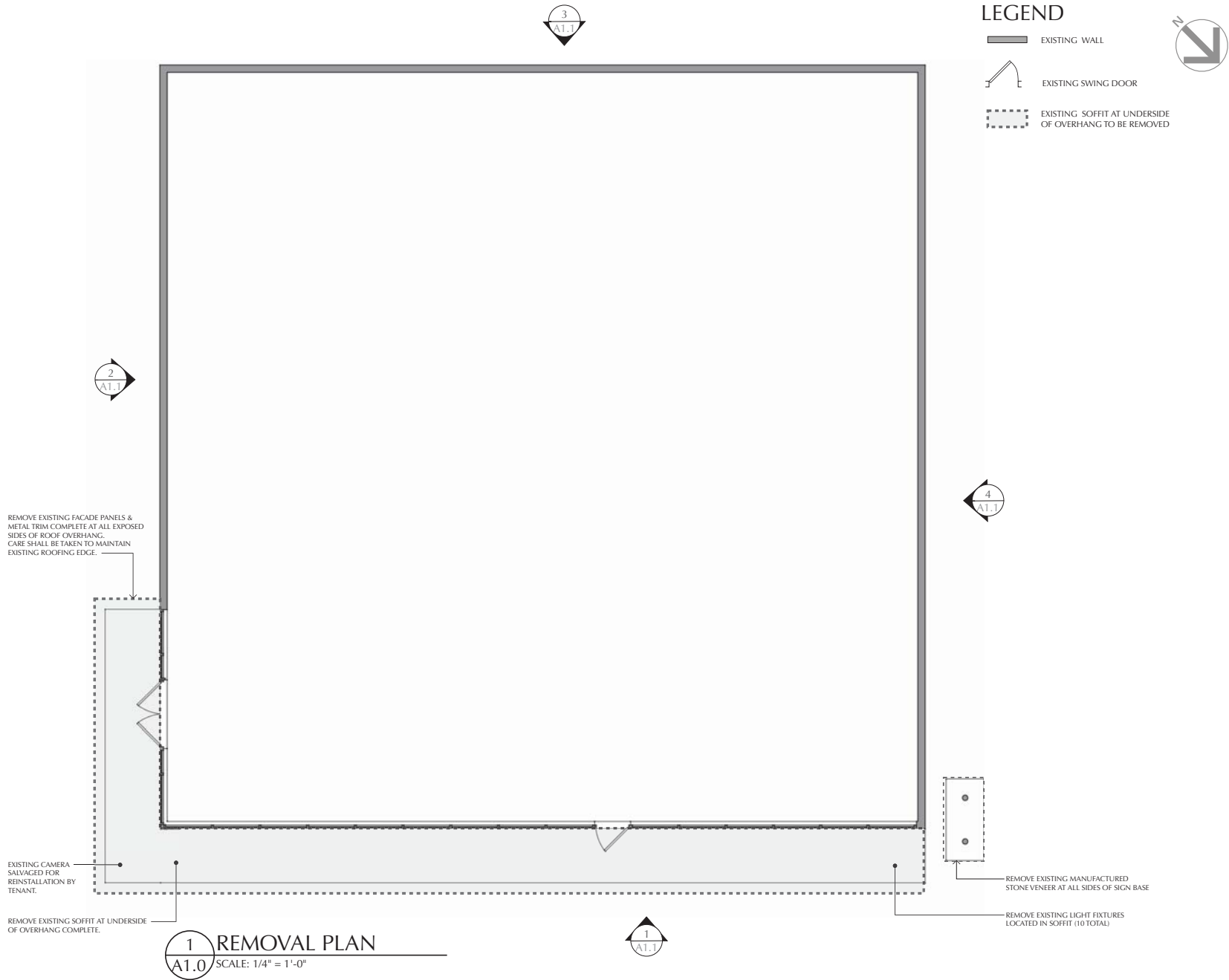
- G1. ALL DIMENSIONS ARE TO FACE OF FRAMING OR THE FACE OF CONCRETE. VARIANCES GREATER THAN 2" SHALL BE CALLED TO THE ARCHITECTS' ATTENTION FOR CLARIFICATION PRIOR TO PROCEEDING WITH RELATED CONSTRUCTION.
- G2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, INSPECTIONS AND CERTIFICATES AS NECESSARY FOR THE TIMELY COMPLETION OF THE WORK AND ISSUANCE OF OCCUPANCY CERTIFICATE. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES PERTAINING TO THE CONSTRUCTION.

LEGEND



DATE: MAY 2023





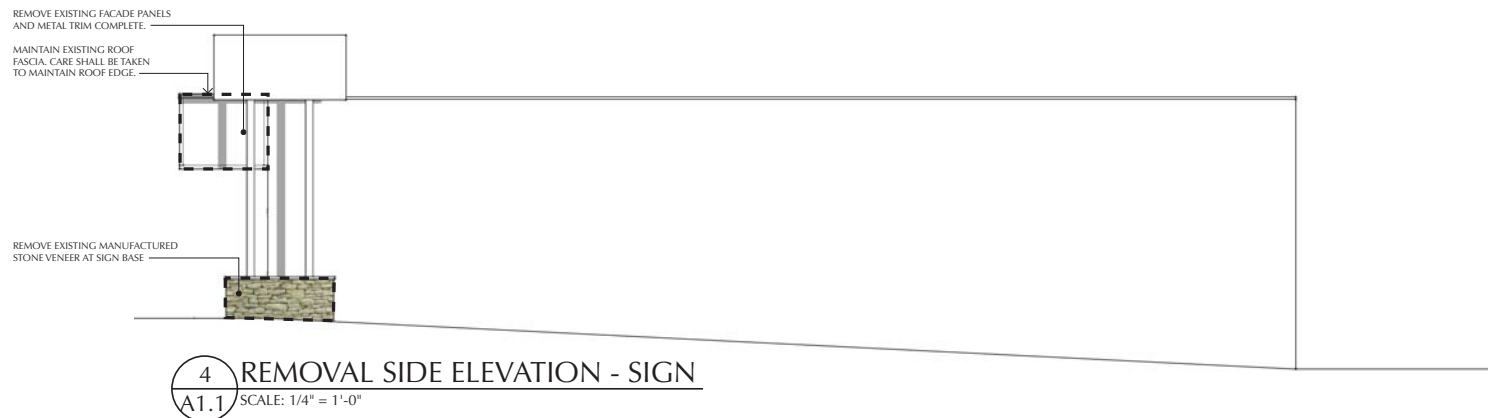
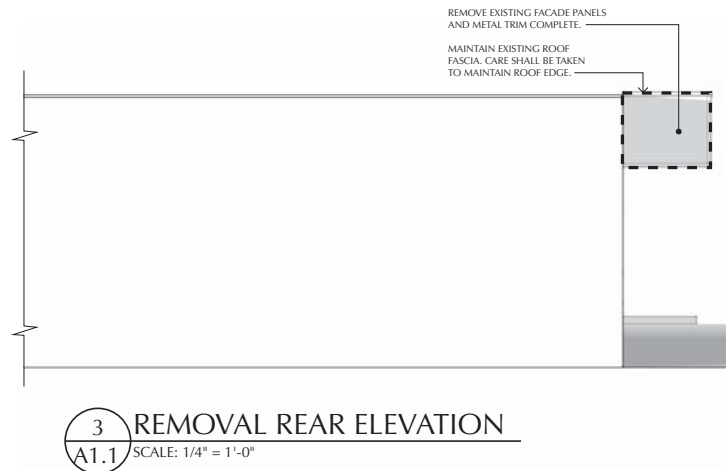
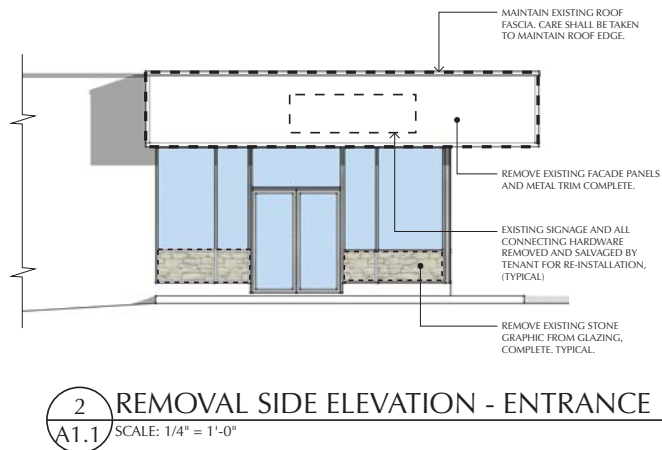
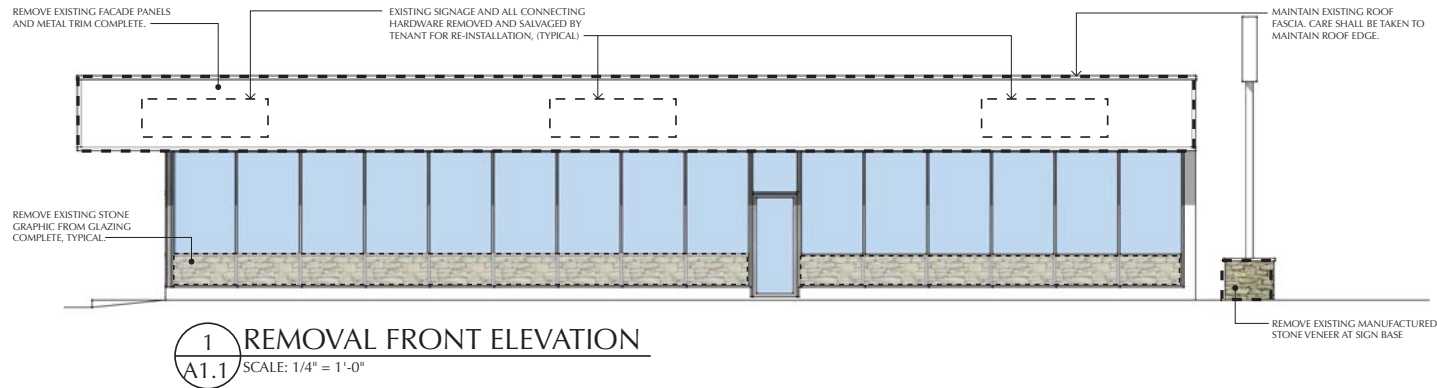
MOHAWK ARMY NAVY
3514 STATE STREET
SCHENECTADY, NY

DATE: MAY 2023



REMOVAL PLAN

A1.0



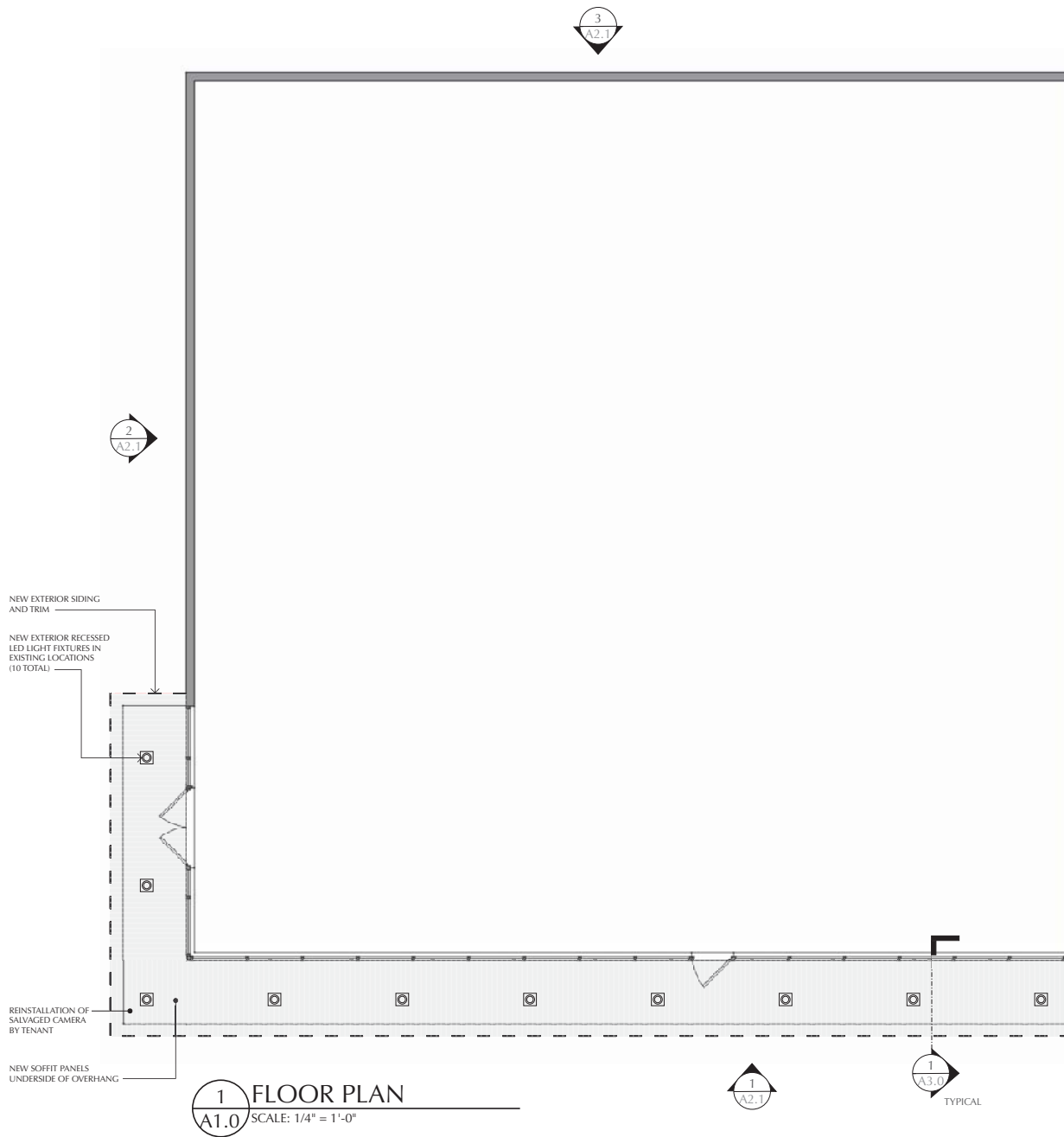
MOHAWK ARMY NAVY
3514 STATE STREET
SCHENECTADY, NY

DATE: MAY 2023



REMOVAL ELEVATIONS

A1.1



NEW EXTERIOR SIDING
AND TRIM

NEW EXTERIOR RECESSED
LED LIGHT FIXTURES IN
EXISTING LOCATIONS
(10 TOTAL)

REINSTALLATION OF
SALVAGED CAMERA
BY TENANT

NEW SOFFIT PANELS
UNDERSIDE OF OVERHANG

LEGEND

- EXISTING WALL
- EXISTING SWING DOOR
- NEW SOFFIT
- NEW LED RECESSED LIGHT FIXTURE

GENERAL NOTES:

- G1. SHEATHING
1" THICK HUNTER PANELS XCI CG
(POLYISO INSULATION BOARD)
WITH BUILDING WRAP AT EXTERIOR
- G2. SIDING
RESAWN TIMBER CO. - ABODO VULCAN CLADDING
WB10 VERTICAL GRAIN FINE SAWN FACE
PROVIDE EVEN MIX OF THE FOLLOWING:
GRAPHITE, TEAK, & WALNUT
ATTACHED W/ 6D (2" X 0.113") 304 S.S. NAIL AT 12" O.C.
- G3. SOFFIT
EXTERIOR LINEAR METAL SOFFIT SYSTEM,
CERTAINTED 150F.
COLOR: WHITE
- G4. LIGHT FIXTURES
LIGHTOLIER LED DOWNLIGHT W/ BLACK FLANGE
- CALCULITE 3" C3SA SQUARE ADJUSTABLE ACCENT



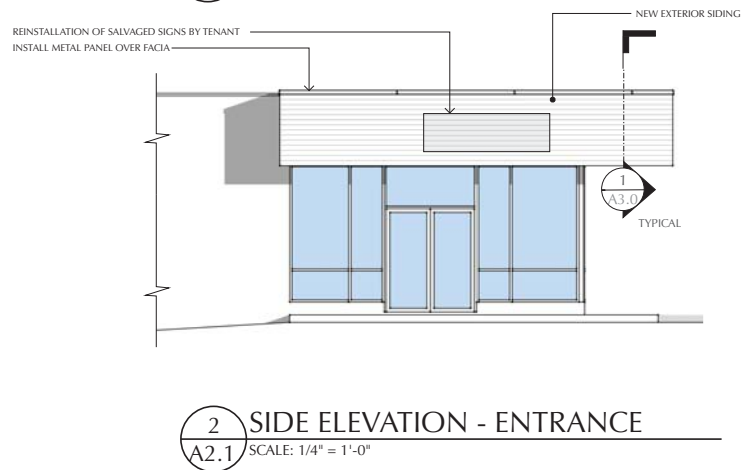
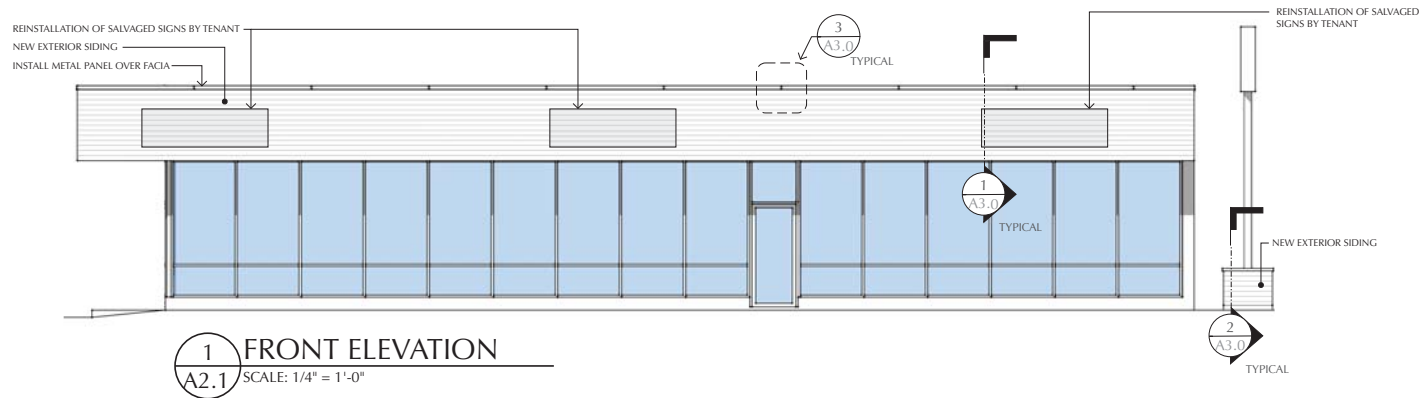
MOHAWK ARMY NAVY
3514 STATE STREET
SCHENECTADY, NY

DATE: MAY 2023



PROPOSED PLAN

A2.0



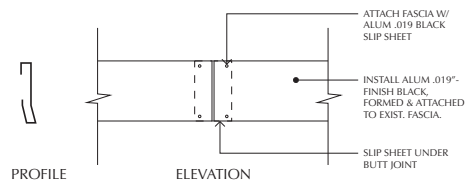
MOHAWK ARMY NAVY
3514 STATE STREET
SCHENECTADY, NY

DATE: MAY 2023

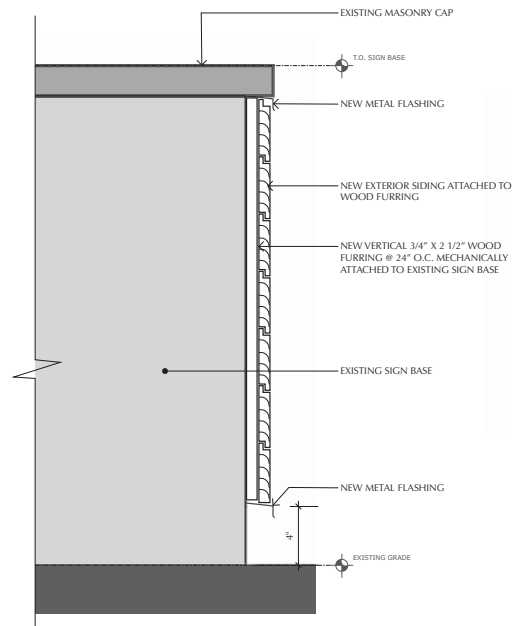


PROPOSED ELEVATIONS

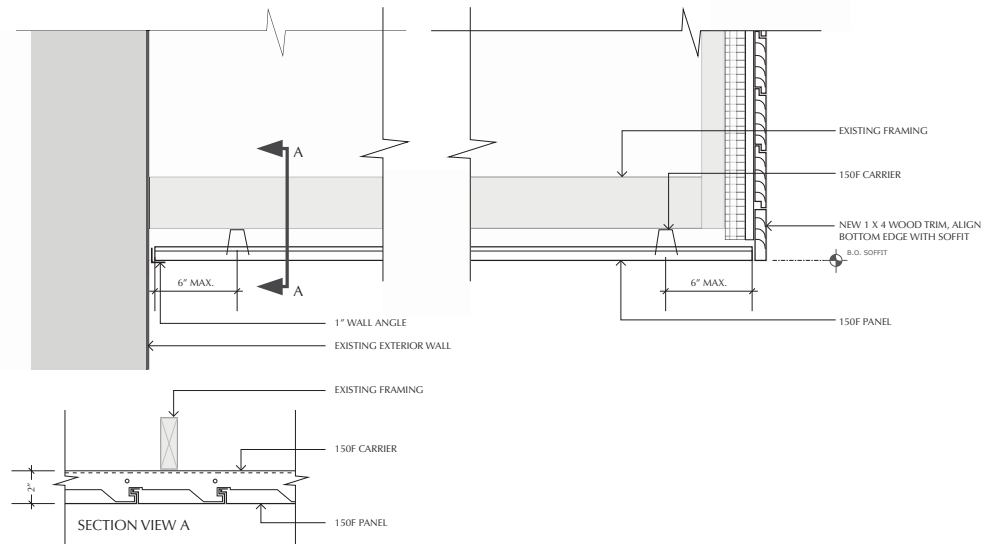
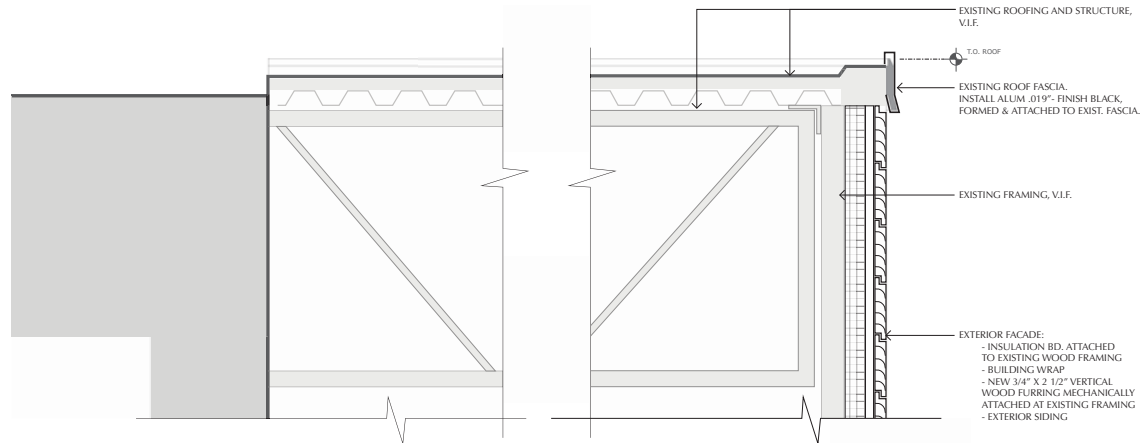
A2.1



3 FASCIA DETAIL
A3.0 SCALE: 3" = 1'-0"



2 SECTION DETAIL - SIGN BASE
A3.0 SCALE: 3" = 1'-0"



1 SECTION DETAIL - ROOF OVERHANG
A3.0 SCALE: 3" = 1'-0"

3553 NY-5



Exit Street View

carhartt

ARMY NAVY

ARMY NAVY
carhartt

RED WING
SHOES

OPEN

WATER

CAROLINA

© 2023 Google

Google Earth

42°46'14.58" N 73°53'36.47" W elev 383 ft eye alt 387 ft

[Report a problem](#)



ARMY NAVY
center

OPEN

BATH

CAROLINA







TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 11/27/2023

ITEM TITLE: DISCUSSION: 2660 Rosendale Rd. / 225 Agostino Ave – An application for lot line adjustment

PROJECT LEAD: TBD

APPLICANT: Willard & Bonnie Daggett and Leah Murphy

SUBMITTED BY: Willard & Bonnie Daggett and Leah Murphy

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Mr. & Mrs. Daggett and Ms. Murphy submitted an application for lot line adjustment to annex approximately 4,470 +/- sq. ft. of land to 2660 Rosendale Rd. As a result of the proposed action 2660 Rosendale Rd. will increase from approximately 1.22 +/- Acres to approximately 1.32 +/- Acres and 225 Agostino will decrease accordingly.

This is the first appearance of this project before the Planning Board.

COMPREHENSIVE PLAN

No references to lot line adjustments or the configuration of lots were found in the 2013 Comprehensive Plan.

BACKGROUND INFORMATION

The property is located in the R-1 Low Density Residential zoning district.

Section 189-19 Lots A (2) states: "Shapes of lots shall lend themselves to utilization of entire lots as building and yard space. Shapes such as triangles and quadrangles with small included angles are discouraged." As proposed, the lot line adjustment creates a step in the 225 Agostino Ave. However, the lot lines are still straight and do not include small included angles.

The applicant is before the Board to present the application and address any questions that arise.



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle

Niskayuna, New York 12309

Phone: (518) 386-4530

Fax: (518) 386-4592

APPLICATION FOR LOT LINE ADJUSTMENT

Building And Engineering Department Review

Each application shall be accompanied by:

1. Administration Fees: An application for lot line adjustment shall be submitted to the Planning Department. Each petition shall be accompanied by a fee of **\$100.00**. Fees are payable to the *Town of Niskayuna*.
2. Two (2) Copies of a Sketch Plan. Sketch Plan must include: Existing lot line locations, proposed lot lines, building envelopes, location of existing structures / fences with distances to lot lines where appropriate and any additional information requested by the Zoning Enforcement Officer in order to review the proposal for compliance with the Subdivision and Zoning codes.

Planning Board Review

After receiving sketch plan approval from the Zoning Enforcement Officer, a Final Map must be prepared by a licensed surveyor or engineer and submitted to the Town for Planning Board review.

Submit a digital copy, thirteen (13) 11x17 copies of the Final Map to the Planning Department at least ten (10) business days prior to a regular meeting of the Planning Board.

Final Map must include: A signed seal of a surveyor or engineer licensed in the State of New York, actual field survey of boundary lines of the amended parcels with bearings and distances and appropriate monumentation, and a signature block described below.

ALSO: include lines for signatures as shown below.

Planning Board Chairman

Date

Town Engineer

Date

The complete Lot Line Adjustment regulations can be found at the Niskayuna Town Code online, at: <http://lecode360.com/N110974>.



TOWN OF NISKAYUNA

Planning Department
One Niskayuna Circle
Niskayuna, New York 12309
Phone: (518) 386-4530
Fax: (518) 386-4592

Application For Lot Line Adjustments

Property Information

Physical Address(es): 2660 Rosendale Road
Section-Block-Lot(s): 51.-1-47.3 and 47.121
Number of Lots Involved: 2 Current Zoning(s): Residential-1
Approximate Acreage: Total of 1.32 +/- Acres

Additional Information: Existing lot is approximately 1.22+/- acres, lands to be annexed are 4,470+/- sf for a combined total of 1.32+/- acres. The to be annexed lot is a portion of a lot total of 6.12 +/- acre

Owner(S) Of Record (Attach additional sheets if necessary)

Section-Block-Lot: 51.-1-47.3

Name: Leah M. Murphy
Address: 2660 Rosendale Road
City/State: Nisky Zip: 12309
Phone: _____
E-Mail: _____

Name: Christopher A. Murphy
Address: 2660 Rosendale Road
City/State: Nisky Zip: 12309
Phone: _____
E-Mail: _____

Section-Block-Lot: 51.-1-47.121

Name: Wllard Daggett
Address: 225 Agostino Ave.
City/State: Nisky Zip: 12309
Phone: _____
E-Mail: _____

Name: Bonnie Daggett
Address: 225 Agostino Ave.
City/State: Nisky Zip: 12309
Phone: _____
E-Mail: _____

Surveyor Or Engineer

Company: Empire Engineering
Name: Christopher Longo
Address: 1900 Duanesburg Rd.,
City/State: Duanes. Zip: 12056
Phone: 518-280-1371
E-Mail: CLongo@EmpireEng.net

Surveyor or engineer must have a current professional license with the State of New York.
LICENSE #: 095840



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle

Niskayuna, New York 12309

Phone: (518) 386-4530

Fax: (518) 386-4592

Application For Lot Line Adjustments

Supplementary Information (Attach separate sheet if necessary)

1. What is the purpose of this adjustment? To increase the current lot depth from 221 feet to 246 feet.

2. What is the proposed timeline for adjustment completion? As soon as time permits

3. Is any part of the proposed adjustment within the regulated floodplain as designated by the Federal Insurance Rate Maps (FIRMs) adopted by the Town of Niskayuna on December 1983? Yes ___ NO X . If yes, explain what area is in the floodplain and how this is being accounted for in the adjustment process. _____

4. Is there additional information which may aid in the processing of this application (e.g., proposed variances, zoning change requests, building permit applications, etc.)? None

5. Are there any potential adverse environmental impacts that could be triggered by this lot line adjustment? Include any impacts to wetlands, surface water, groundwater, flooding, plants and animals, aesthetics, Historic sites, open space, recreation, transportation, noise, odor, light, geological features, etc. (Attach separate pages as necessary). None



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle

Niskayuna, New York 12309

Phone: (518) 386-4530

Fax: (518) 386-4592

Notarized Owner's Acknowledgment/ Authorization For Lot Line Adjustment

Section-Block-Lot: 51.-1-47.121

Physical Address: 225 Agostino Ave.

Acknowledgments:

1. I am aware of and consent to the filing of this application.
2. I confirm that the information provided in this application is true and correct to the best of my knowledge and I assume all responsibility for the truth and validity of this application and all associated exhibits and documents submitted.
3. I agree to allow representatives of the Town of Niskayuna to go on or about the subject property for inspection purposes in connection with this application.
4. I confirm that I have uncontested legal ownership of the subject property, without any outstanding rights, reservations or encumbrances which could nullify the intended development and use of this lot line adjustment (if there is a loan or mortgage on the affected property, it is my responsibility to inform the appropriate party of the property changes and secure their consent).
5. If the owner is a corporation, partnership, limited liability company (LLC), governmental agency or other entity, I confirm that I am authorized to act on behalf of the corporation, partnership, LLC, governmental agency or other entity in processing this application.
6. I acknowledge that any potential or existing separate lots, land titles, partitions, previously subdivided lots or other such land units will be consolidated with this lot line adjustment and upon final approval only the newly created lot(s) will be recognized.

The undersigned hereby swears that the information provided on this application is true, correct and accurate.

Sworn to me on this 23rd day of October, 2023

Will R. Daggett Bonnie Daggett
Signature of Applicant

WILLARD R. DAGGETT Bonnie Daggett
Printed Name

Debra O. Carrese

Notary Public, State of New York

10/23/23
Date

Each property owner is required to sign. Attach additional sheets if necessary

DEBRA O. CARRESE

Notary Public, State of New York

Qualified in Schenectady County

#04735073

Commission Expires February 28, 2026



TOWN OF NISKAYUNA

Planning Department
One Niskayuna Circle
Niskayuna, New York 12309
Phone: (518) 386-4530
Fax: (518) 386-4592

Notarized Owner's Acknowledgment/ Authorization For Lot Line Adjustment

Section-Block-Lot: 51.-1-47.121

Physical Address: 225 Agostino Ave.

Acknowledgments:

1. I am aware of and consent to the filing of this application.
2. I confirm that the information provided in this application is true and correct to the best of my knowledge and I assume all responsibility for the truth and validity of this application and all associated exhibits and documents submitted.
3. I agree to allow representatives of the Town of Niskayuna to go on or about the subject property for inspection purposes in connection with this application.
4. I confirm that I have uncontested legal ownership of the subject property, without any outstanding rights, reservations or encumbrances which could nullify the intended development and use of this lot line adjustment (if there is a loan or mortgage on the affected property, it is my responsibility to inform the appropriate party of the property changes and secure their consent).
5. If the owner is a corporation, partnership, limited liability company (LLC), governmental agency or other entity, I confirm that I am authorized to act on behalf of the corporation, partnership, LLC, governmental agency or other entity in processing this application.
6. I acknowledge that any potential or existing separate lots, land titles, partitions, previously subdivided lots or other such land units will be consolidated with this lot line adjustment and upon final approval only the newly created lot(s) will be recognized.

The undersigned hereby swears that the information provided on this application is true, correct and accurate.

Sworn to me on this 4 day of October

Leah Murphy
Signature of Applicant

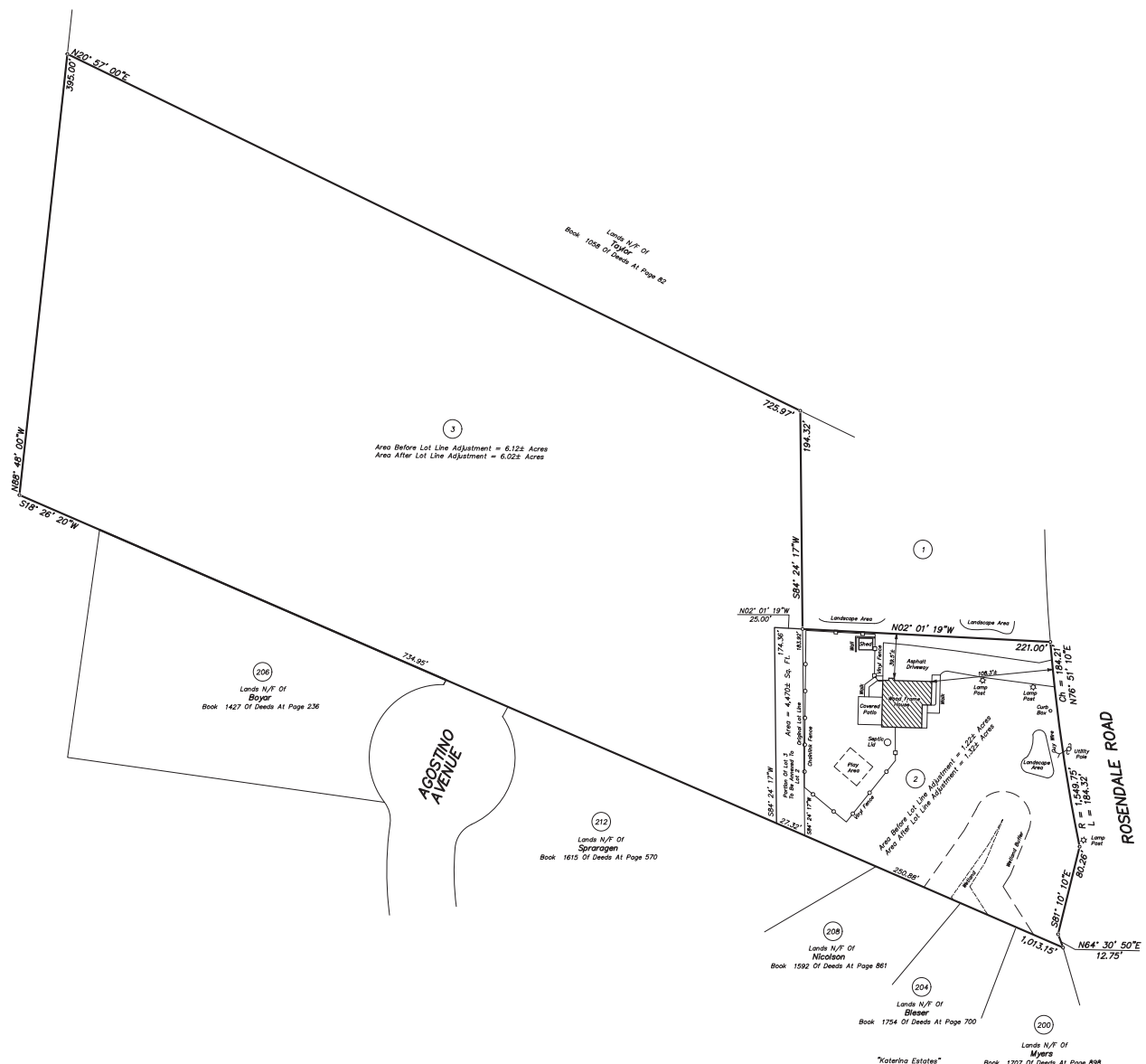
Leah Murphy
Printed Name

10/4/23
Date

Morgan Weinberg
Notary Public, State of New York

Each property owner is required to sign. Attach additional sheets if necessary

MORGAN WEINBERG
NOTARY PUBLIC-STATE OF NEW YORK
No. 01WE6446156
Qualified in Albany County
My Commission Expires 01-17-2027



DEED REFERENCES

1. COVENANTS TO LEASE & CONVEYANCE A. MURPHY BY DEED DATED OCTOBER 14, 1911 AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 187 OF DEEDS AT PAGE 85.
2. COVENANTS TO LEASE & CONVEYANCE A. MURPHY BY DEED DATED OCTOBER 14, 1911 AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 187 OF DEEDS AT PAGE 87.

MAP REFERENCES

1. MAP ENTITLED "DAGGETT SUBDIVISION" - A SURVEY OF THE ADJUTED LOTS (P.L. 1-1-1-1-1-1) CREATING LOTS 1, 2 & 3, DAGGETT SUBDIVISION, SHERIDAN COUNTY, WYOMING, PREPARED BY GILBERT VANGUILDER LAND SURVEYOR, PLLC, AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 187 OF DEEDS AT PAGE 85.
2. MAP ENTITLED "TWIN ROAD & BORDERS ROAD INTERSECTION IMPROVEMENT PROJECT" OF SHERIDAN COUNTY, WYOMING, PREPARED BY GILBERT VANGUILDER LAND SURVEYOR, PLLC, AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 187 OF DEEDS AT PAGE 87.

NOTES

1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE SURVEY OF THE ADJUTED LOTS AND THE RESULTS MAY BE SUBJECT TO WHATEVER STATEMENT OF FACTS THEY MAY BE.
2. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE VARIATION OF THIS SURVEY.
3. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S SIGNATURE SHALL BE CONSIDERED TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND RECORD.
4. COPIES OF THIS MAP BY GILBERT VANGUILDER LAND SURVEYOR, PLLC, SHALL BE CONSIDERED IMPROVEMENTS OR CORRECTIONS OF THIS MAP. ANY COPIES OF THIS MAP THAT ARE NOT COPIES OF THE ORIGINAL MAP OR THAT ARE NOT COPIES OF THE ORIGINAL MAP SHALL BE CONSIDERED INVALID.
5. OFFERS OR DEMANDS FROM THE PROPERTY LINE TO THE PROPERTY LINE SHALL BE CONSIDERED AS NOT BEING TO BE CONSIDERED AS A PART OF THE SURVEY. ANY COPIES OF THIS MAP THAT ARE NOT COPIES OF THE ORIGINAL MAP SHALL BE CONSIDERED INVALID.
6. ALL IMPROVEMENTS NOT SHOWN.

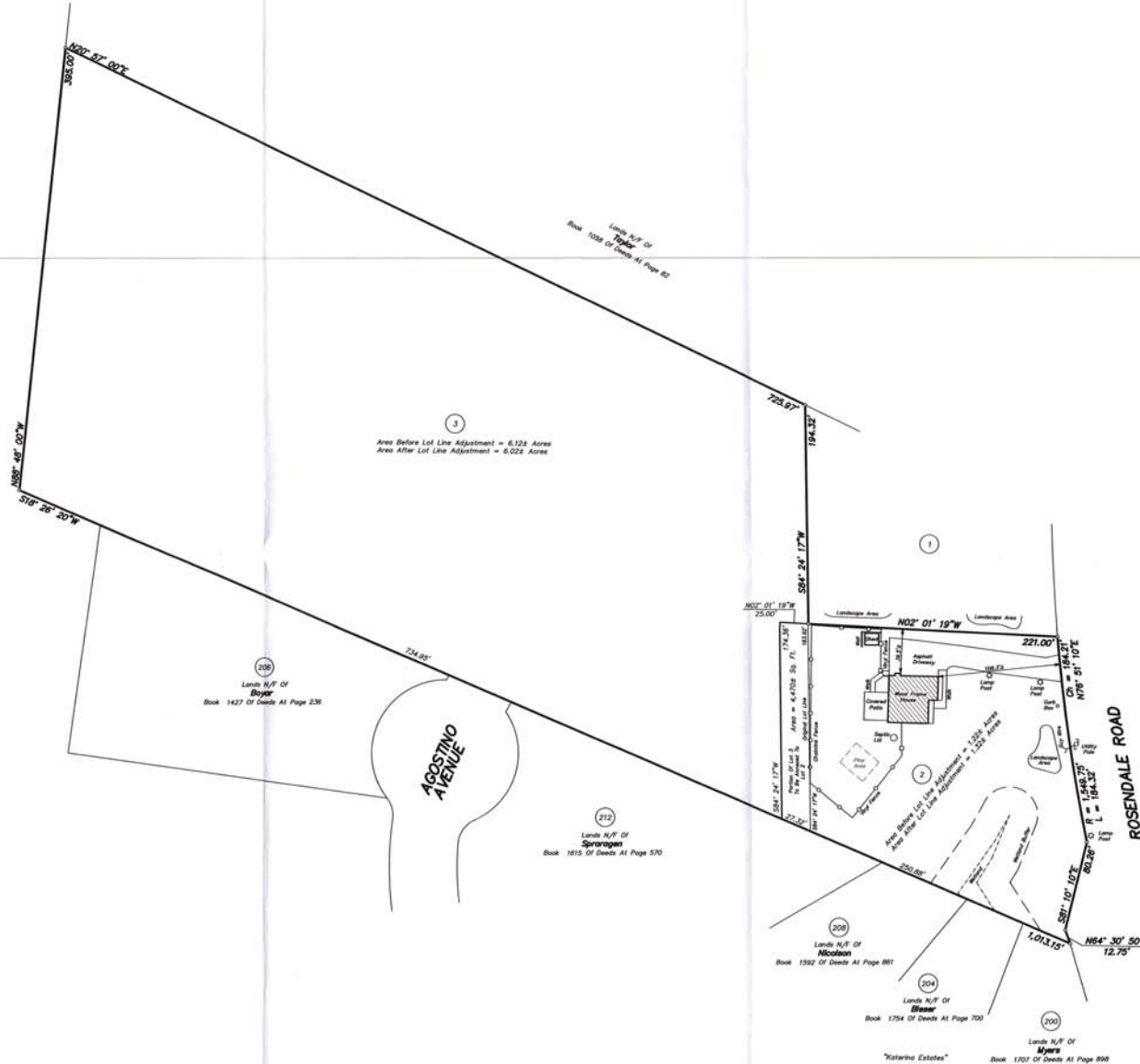
KEVIN H. WEED, P.L.S. No. 51,005

**LOT LINE ADJUSTMENT BETWEEN
LOTS 2 & 3
DAGGETT SUBDIVISION**

TOWN OF SHERIDAN SHERIDAN COUNTY, NEW YORK
MAP NUMBER 16 - 22 - 72K SCALE: 1" = 50' DATE: JULY 11, 2023

**Gilbert VanGuilder
Land Surveyor, PLLC**
Professional Land Surveyors
968 Route 146, Clifton Park, New York 12065
Telephone: (518) 383-0634
gvglandsurveyors.com

UNLAWFUL ALTERATION OF ANYTHING TO THIS SURVEY MAP IS A VIOLATION OF SECTION 100 OF THE NEW YORK EASELERS LAW. ANY COPIES OF THIS SURVEY MAP BEING THE LAND SURVEYOR'S ORIGINAL SURVEY AND RECORDED IN THE CLERK'S OFFICE SHALL BE CONSIDERED VALID.



- DEED REFERENCES:**
1. CONVEYANCE TO LEAH N. A. CONVEYANCE A. MORTGAGE BY DEED DATED OCTOBER 14, 1917 AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 1977 OF DEEDS AT PAGE 681.
 2. CONVEYANCE TO WILLIAM A. MORTGAGE BY DEED DATED OCTOBER 14, 1917 AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 1977 OF DEEDS AT PAGE 681.
- MAP REFERENCES:**
1. MAP ENTITLED "DAGGETT SUBDIVISION - A SUBDIVISION OF THE ADJUTANT GENERAL'S OFFICE, U.S. DEPARTMENT OF THE INTERIOR, BUREAU OF LAND MANAGEMENT, SHERIDAN COUNTY, MONTANA, PREPARED BY GILBERT VAN GUILDER LAND SURVEYOR, PLLC, AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE AS MAP NO. 51,005.
 2. MAP ENTITLED "TOWN ROAD A. MORTGAGE A. MORTGAGE BY DEED DATED OCTOBER 14, 1917 AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE IN BOOK 1977 OF DEEDS AT PAGE 681.
- NOTES:**
1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UP TO DATE SURVEY OF THE LAND AND/OR TITLE RECORD AND MAY BE SUBJECT TO FUTURE DISCOVERY OF FACTS THAT MAY AFFECT.
 2. NO EVIDENCE WAS FOUND TO SHOW UNDISCOVERED IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
 3. THIS SURVEY DOES NOT AFFECT THE RIGHTS OF ANY OTHER PARTY WHO MAY HAVE AN INTEREST IN THE LAND AND/OR TITLE RECORD.
 4. COPIES OF THIS SURVEY MAY BE OBTAINED FROM THE SURVEYOR'S OFFICE OR FROM THE SHERIDAN COUNTY CLERK'S OFFICE.
 5. COPIES OF THIS SURVEY MAY BE OBTAINED FROM THE SURVEYOR'S OFFICE OR FROM THE SHERIDAN COUNTY CLERK'S OFFICE.
 6. ALL IMPROVEMENTS NOT SHOWN.

KEVIN H. WHEEL, P.L.S. No. 51,005

**LOT LINE ADJUSTMENT BETWEEN
LOTS 2 & 3
DAGGETT SUBDIVISION**

TOWN OF ROSAYUNA		SHERIDAN COUNTY, NEW YORK	
MAP NUMBER: 18 - 22 - YEX	SCALE: 1" = 50'	DATE: JULY 11, 2023	
Gilbert VanGuilder Land Surveyor, PLLC Professional Land Surveyors 988 Route 146, Clifton Park, New York 12065 Telephone: (518) 383-0634 gvglandsurveyors.com			

UNLAWFUL ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 100 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES OF THIS SURVEY MAP PREPARED BY THE SURVEYOR AND RECORDED IN THE SHERIDAN COUNTY CLERK'S OFFICE SHALL BE CONSIDERED VALID.