

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
April 25, 2022
7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. April 11, 2022

IV. PUBLIC HEARINGS

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2022—09: A Resolution for site plan approval for a 20 ft. long x 8 ft. wide storage container in the parking lot of Goodyear Tire at 3713 State Street.

VIII. DISCUSSION ITEM

1. 2341 Nott St. – St. James Plaza – Site plan app. for placing a Chase Bank ATM machine in the Shop Rite parking lot.

IX. REPORTS

1. Planning Department Updates

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: May 9, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
April 11, 2022

Members Present:

Kevin Walsh, Chairman
Patrick McPartlon (virtual)
Genghis Khan
Chris LaFlamme
Michael Skrebutenas (virtual)
David D'Arpino
Daci Shenfield
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Robert Hess, Town Attorney
Clark Henry, Assistant Planner (virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

All members present tonight.

III. MINUTES

March 14, 2022

Mr. LaFlamme made a motion to approve the minutes and it was seconded by Mr. Khan. Chairman Walsh asked for corrections or comments on the minutes. He commented that a minor change is required. He stated that on line 15, a name change of the Town Attorney present from Alaina Finan to Robert Hess is needed. Hearing no other comments, he called for a vote of approval.

Upon voting, the minutes were approved unanimously 7-0.

Mr. Skrebutenas	AYE
Mr. Khan	AYE
Mr. D'Arpino	AYE
Ms. Shenfield	AYE

Mr. Skrebutenas AYE
Mr. McPartlon AYE
Chairman Walsh AYE

IV. PUBLIC HEARINGS

There were no public hearings.

V. PRIVILEGE OF THE FLOOR

No residents provided comments for privilege of the floor by email, videoconference or in-person participation.

VI. UNFINISHED BUSINESS

No unfinished business tonight.

VII. NEW BUSINESS

No new business tonight.

VIII. DISCUSSION ITEMS

1. 3713 State St. – Goodyear Tire – Site plan app. for keeping a 20 ft. long x 8 ft. wide storage container in the parking lot.

The applicants, Mr. Bundy and Mr. Tarbot from Goodyear were present virtually tonight. The applicants explained that they plan to test market the sale of commercial truck tires. Due to a lack of room, the applicants are asking for a temporary 20 foot storage container to be allowed at the site. Approximately 20 to 80 tires will be stored in the container. They added that if the demo is successful, they will apply for a permanent structure to be added to the site.

Chairman Walsh noted that the site had enough space for the structure. He asked if there would be signage on the structure. Mr. Bundy stated no. The Board asked if the structure would have a visual buffer. They noted that landscaping would be difficult due to it being on concrete and suggested a muted color for the container like grey or blue. The Board discussed allowing a conditioned resolution that would allow for the structure but once it is in place it will be evaluated regarding how its visual impact may be minimized. . The Board discussed a condition that would cause the site plan approval to expire in 18 – 24 months requiring the applicant to reappear before the Board to keep the container on site beyond that time. The Board called for a resolution for the next meeting. Mr. LaFlamme volunteered to be project lead.

2. 2341 Nott St. – St. James Plaza – Site plan app. for placing a Chase Bank ATM machine in the Shop Rite parking lot.

Mr. Tom Riley was present virtually for the meeting. He described the project to the Board. It will be a stand-alone ATM drive thru in an underutilized part of the parking lot. He discussed the logistics of the project including elevation, site line and materials to be used. Chairman Walsh

discussed the parking issues and possible variances needed due to there being 27 fewer parking spaces available than required by code. . Chairman Walsh added there would be a 1 foot waiver need for the height of the light pole which is proposed for 23 feet and the height limit per the zoning code is 22 feet. He added that the sign containing only the logo of Chase Bank will need to be approved. Chairman Walsh asked if the other businesses were notified that this project will be possibly happening. Mr. Riley stated that it is usually left to the landlord to tell the other tenants.

Mr. LaFlamme stated he has not had an issue with parking. Ms. Shenfield asked the applicant if there will be an overflow of traffic at the ATM. The applicant stated these sites have relatively low volume. It is not like an ATM line at the bank where other transactions are being done. He stated the most likely impact would be one extra car in line. Ms. Shenfield asked the applicant to provide any data that supports this. Ms. Strang asked if there was a rendering of the ATM that would be installed. The applicant stated that the spec sheet shows what will be installed, including the grey and blue colors of the canopy and bollards. Mr. D'Arpino asked if there was any flexibility in the choice of bollards. He asked if a decorative precast concrete could be used for the bollards. This would match the exterior of the plaza building. The applicant stated he would look into it. Mr. Riley displayed the design for the Board and commented that some of the aesthetics could be adjusted for the site.

Mr. Riley stated that the lease is in place and that the structure is a quick build. The most extensive work will be the electricity to the ATM. He stated that construction should take 2-3 weeks. Chairman Walsh stated that research will need to be done to see if any variances have been given for parking to the site or if the applicant will need to go to the ZBA for variance approval.

Ms. Robertson stated she will have an answer by the end of the month on whether a recommendation to the ZBA will be needed or a waiver can be given for the parking issue. Chairman Walsh added that the Planning Department will send the packed to the Police and Fire Departments for comment on safety concerns. He asked the applicant to verify whether the landlord notified the tenants and if there was any feedback. Ms. Robertson added that this would be a good time to remind the property owner that the landscape is out of compliance and portions of the parking lot are in dire need of repair. Mr. Skrebutenas stated he will be the project lead on this project.

IX. REPORTS

1. Planning Department Updates

Ms. Robertson stated that the Planning Department is still trying to organize the walkthrough with the Trinity Baptist Church. She stated there is a tentative date for April 21. Ms. Robertson stated that GE has scheduled a walkthrough with the Tree Council and the applicants are updating the drawings for the next meeting.

X. COMMISSION OF BUSINESS

111 Ms. Gold asked if the Town is updated on when the major disruption of construction will happen
112 with the Nott Street project. Ms. Robertson stated that the Town isn't usually informed of the
113 day to day work being done but she can inquire about having an update.

114 **XI. ADJOURNMENT**

115 Chairman Walsh asked for a motion to adjourn. Mr. D'Arpino made a motion to adjourn and it
116 was seconded by Mr. Khan. The meeting was adjourned at 8:00 pm.

DRAFT



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 4/25/22

ITEM TITLE: RESOLUTION: 2022-09: A Resolution for site plan approval for a 20 ft. long x 8 ft. wide storage container in the parking lot of Goodyear Tire at 3713 State Street.

PROJECT LEAD: Chris LaFlamme

APPLICANT: Lucas Bundy

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Lucas Bundy, agent for the owner of 3713 State Street, submitted an Application for Site Plan Review for the placement of a 20' long x 8' wide (160 sq. ft.) storage container in the parking lot of the Goodyear Tire store at 3713 State Street.

BACKGROUND INFORMATION

3713 State Street is located within the C-H Commercial Highway zoning district. A retail and service store is a permitted use in the district.

Zoning 220 Attachment 18 Schedule I-E C-H District lists the following requirements for retail and service stores.

- Setbacks: front = 15', side = 15', rear = 20'
- Min. required off-street parking: 1 space per 225 sq. ft. of gross floor area

The Niskayuna Planning Office received an Application for Site Plan Review and survey drawing of the property with the proposed location of the storage container sketched in. The two documents were stamped "Received Mar 31 2022 Planning Office Niskayuna, NY".

PORTABLE STORAGE UNITS

Portable storage units that are anticipated to be on site for anywhere from only a few days to up to 90 days are regulated by Section 220-30 of the zoning code.

Section 220-30 Portable storage units and temporary bulk waste containers, includes the following.

A. Definitions

PORTABLE STORAGE UNIT – A container designed, constructed, and commonly used for nonpermanent placement on property for the purpose of temporary storage of personal property.

B. General conditions

- (1) Before placing a portable storage unit or temporary bulk waste container on his or her property, a person must submit an application and receive a building permit from the Town of Niskayuna Building Department.
- (2) Permits will be granted for thirty-day periods. The first 30 days are free, but an applicant must submit a building permit application. For the second 30-day period, the \$25 permit fee is required. At the expiration of the second 30-day, applicants may seek one renewal for an additional 30 days at a cost of \$25.

ACCESSORY STRUCTURES

Portable storage units that are anticipated to be on site for more than 90 days may be viewed as accessory structures and accordingly be regulated by Section 220-18 of the zoning code.

Section 220-18 Accessory structures, includes the following.

D. Nonresidential lots. Unless otherwise specified, accessory structures shall comply with front, side and rear yard requirements for the principal structure to which they are accessory except that minor accessory structures may be as close as 10 feet to the rear property line.

Section 220-4 Definitions defines a major accessory structure as “detached accessory buildings or other structures in excess of 120 square feet in area”. Therefore, if viewed as an accessory structure, the proposed storage container measuring 20’ long x 8’ wide (160 sq. ft.) would be a major accessory structure.

As proposed, the site plan drawing provided with the application lists the setback dimensions as follows: front (to Fairfax Ave.) = 140’, side = 70’, rear = 50’ and are therefore compliant with code. The drawing also indicates the container would be approximately 6’ from the existing building.

The site plan drawing provided with the application indicates the building measures 128’ wide x 40’ deep = 5,120 sq. ft. A retail store of such size requires 23 parking spaces ($5,120 / 225 = 22.76 = 23$ spaces). The site plan drawing provided with the application identifies a current condition of 25 parking spaces plus 2 handicap accessible parking spaces. As proposed, the storage container would occupy 3 of the current parking spaces resulting in 22 parking spaces plus 2 handicap accessible parking spaces.

The applicant has stated the storage container will be lockable, will be used for inventory of new tires to be sold and will not contain any electrical supply. The Planning Office & the applicant discussed screening the container, similar to a garbage dumpster, to minimize its visual impact.

4/11/22 Planning Board (PB) meeting – Lucas Bundy and Howard Tarbet spoke on behalf of the Goodyear Tire store and presented the project to the Board. They explained that the store is

testing the sale of a new product line at their location – commercial truck tires. The proposed container will house an inventory of approximately 20 – 80 new commercial truck tires. They are not sure how the local market will respond and therefore estimated it may take them anywhere from 1 to 3 years to sell the tires. The PB discussed the project and agreed to treat the container as an accessory structure and agreed to act on a resolution for site plan approval that contained the following conditions.

1. Container would be reviewed once in place on the site regarding ways to minimize its visual impact. This may include painting the container, adding screening, etc.
2. The Resolution would expire in 24 months requiring the subject of the storage container to be revisited at that time.

The applicants agreed with the conditions and offered to present possible screening concepts to the Board at their 4/25/22 meeting. The Planning Office stated they would review the proposed location of the container with the Police and Fire Departments.

The Board called for a tentative resolution for the 4/25/22 PB meeting. A tentative resolution is included with the meeting packet.

RESOLUTION NO. 2022 - 09

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 25TH DAY OF APRIL 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Lucas Bundy agent for the owner, has made an application to the Planning Board for site plan review for the placement of a storage container at 3713 State Street Niskayuna, and

WHEREAS, the site plan is shown on a survey drawing submitted to the Planning Office with the site plan application and stamped "Received Mar 31 2022 Planning Office Niskayuna, NY" that includes a 20 ft. long x 8 ft. wide (160 sq. ft.) storage container in the back parking lot behind the Goodyear Tire building, and

WHEREAS, the zoning classification of the property is Commercial Highway (C-H) zoning district, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions:

1. The storage container may be placed on the property as shown in the site plan. Planning Board and Planning Office members will review the container in place and may require that its visual impact be minimized by requiring that the container be painted, surrounded with screening or some other means.
2. The storage container shall be approved in this location for up to 24 months from the date of the resolution, at which time if the need for storage continues the applicant shall return to the Planning Board to review more permanent storage options.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name: Lucas Bundy

Address: 3713 State St.
Niskayuna, NY 12304

Email: lucas.bundy@cbre.com

Telephone: 817.556.1830

Location:

Number & Street: 3713 State St.

Section-Block-Lot: 19 - 2 - 68

Zoning District: C-H (Commercial Hwy)

Proposal Description:

Place a 20' L x 8' W x 8.5' H shipping container in the rear of the property to accommodate our urgent need for additional storage of inventory.

Signature of applicant: _____

Date: 3/17/22

Signature of property owner: _____

Date: 4/6/22

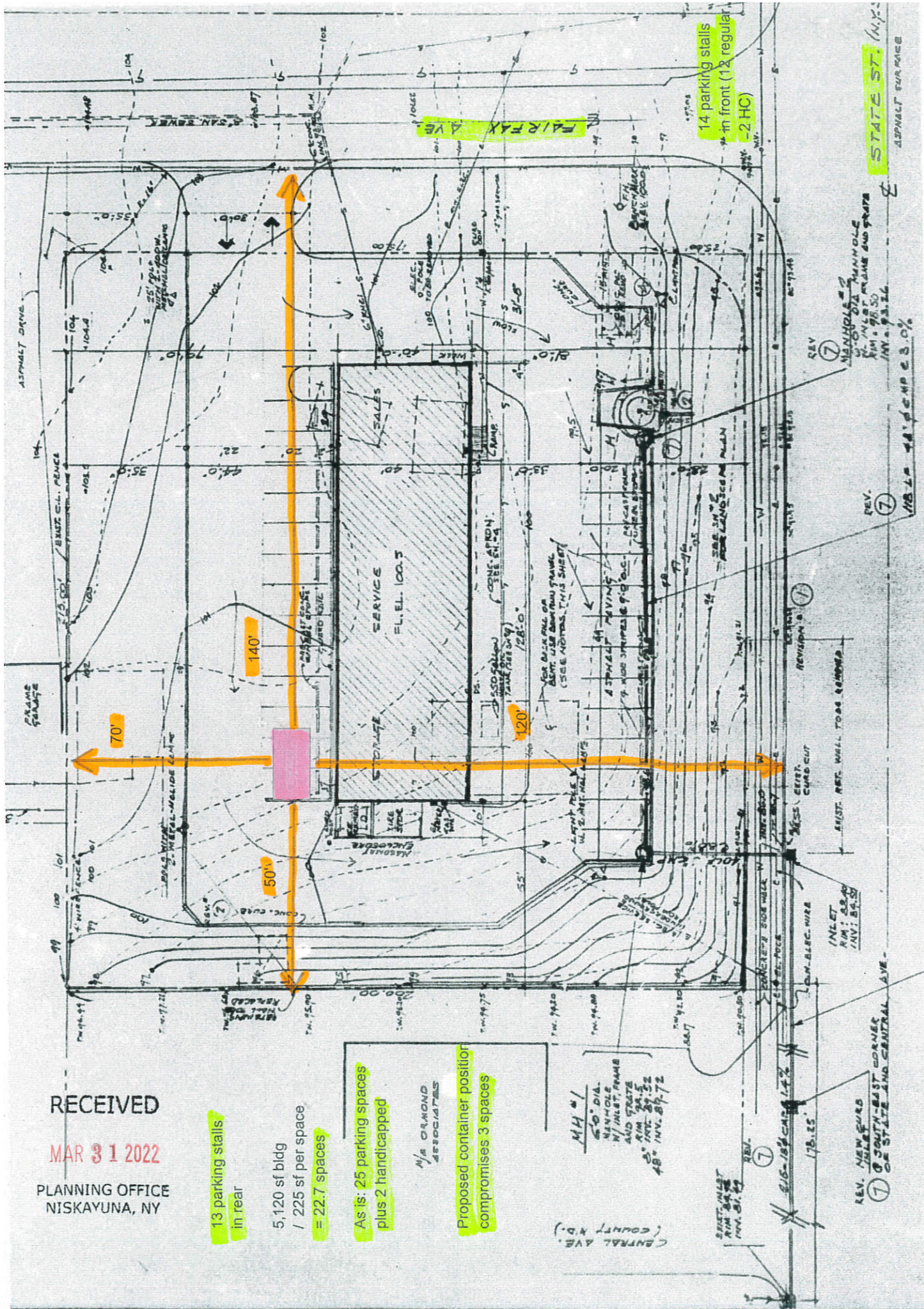
Martin Owen

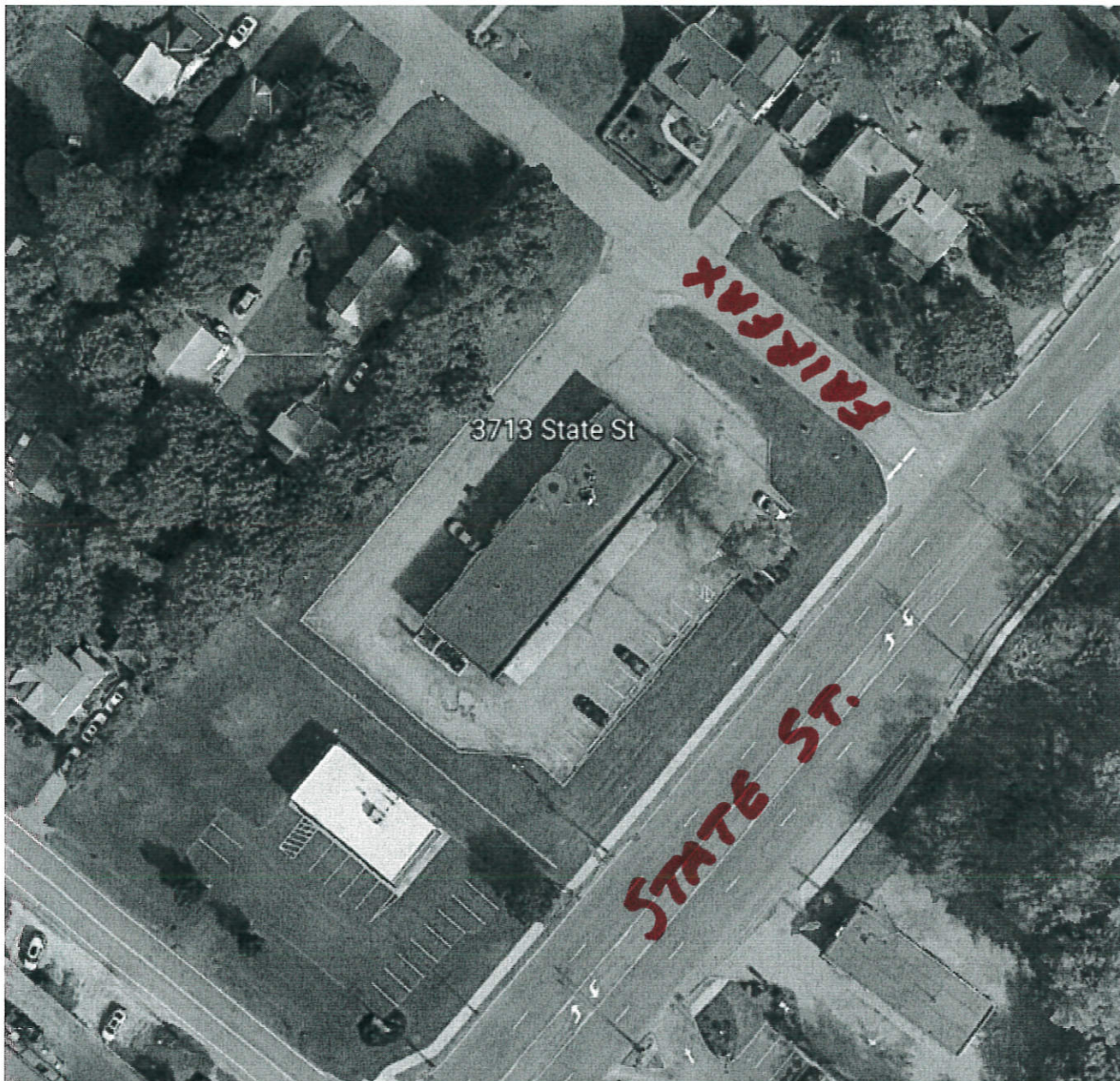
4-6-22

Each site plan application shall be accompanied by:

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

1





3713 STATE ST. - GOOD YEAR



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 4/25/22

ITEM TITLE: DISCUSSION: 2341 Nott St. – St. James Plaza – site plan application for placement of a Chase Bank ATM in a portion of the Shop Rite parking lot.

PROJECT LEAD: Mike Skrebutenas

APPLICANT: Kristopher Miller, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Kristopher Miller, agent for the owner of 2341 Nott St, submitted an Application for Site Plan Review for the placement of a Chase Bank ATM in a portion of the Shop Rite parking lot.

BACKGROUND INFORMATION

2341 Nott St. is located within the C-N Neighborhood Commercial zoning district and the Town Center Overlay District.

The scope of work for the ATM project in the eastern most portion of the Shop Rite parking lot includes an ATM on a concrete pad, bollards, signature canopy, vehicle height detector bar and pole lighting. Lane striping and directional arrows will also be painted on the asphalt paving.

A 6-page drawing set entitled "Chase Bank Nott and Balltown ATM 2341 Nott Street Schenectady, NY 12309" by BHDP Lawrence Digennaro, Architect 302 W. 3rd Street, Suite 500, Cincinnati, OH 45202 dated 7-19-21 with a most recent revision of Rev 1 dated 4-1-22 was provided with the application and stamped "Received Apr 07 2022" by the Planning Department.

Setbacks

Zoning 220 Attachment 17 Schedule I-D C-N District column 2 lists the setback requirements for Food markets as: Front = 20', side = 15', rear = 25'. As proposed, the location of the ATM complies with all setback requirements.

Parking

The total required parking for Phase II of ShopRite Plaza (this parcel) has an existing deficit of 36 spaces. This proposal would bring the deficit to 44 (reduce the parking by an additional 8 spaces). However, there are cross parking easements across all the parcels in the plaza. With the cross easements in place, the total existing plaza deficit is 19 and this proposal would bring the deficit up to 27. The Town does not receive complaints of not enough parking in the plaza however, and for a plaza that size the deficit is small. It is worth noting though, that parking is being removed from the parcel that has the least amount of parking to begin with.

Plaza Existing	Parking Summary				
		Required	Provided		
	Phase I	465	482	17	Surplus
	Phase II	203	167	36	Deficit
	TOTAL	668	649	19	Deficit
Proposed					
	TOTAL	668	641	27	Deficit

Please see further discussion on initial parking PDD requirements below.

Lighting

Light Pole and Fixture

Zoning code Chapter 220 Zoning Article VIIIA. Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards: establishes design criteria for an identifiable center of the Town to further define a sense of community and promote traditional architecture. Section 220-48.5 Pedestrian and streetscape amenities C minimum performance criteria (3) Lighting (c) states the following: "Pole-mounted lighting in accordance with Planning Board guidelines shall not exceed a pole height of 22 feet from finished grade".

As proposed, page A102 of the drawing set includes a light pole with an area light measuring 23' high (3' high concrete base + 20' high light pole) located at the entrance to the ATM machine. Therefore, a waiver of 1' (23 – 22) of pole height from finished grade is required.

Minimum performance criteria subsection (3) Lighting (d) includes the following: "Light sources for all lighting shall be metal halide".

As proposed, page A104 of the drawing set includes a lighting fixture described as "Model ALED2T150N (Type II) 4000K LED 120-277V 151.4 Watts LED area light". Therefore, a waiver for an LED light rather than a metal halide light is required.

Lighting of Outdoor Areas

Zoning code Chapter 220-48.5 C (3) Lighting states lighting shall follow "Article VIIIB Guidelines for Lighting of Outdoor Areas under Site Plan Review".

- Table 1 lists Neighborhood shopping areas as "Moderate Activity" areas.
- Table 2 lists the guideline for maintained horizontal illuminance for general parking and pedestrian areas as 0.3 Footcandles and driveway access as 0.8 Footcandles.

As proposed, page A105 of the drawing set includes a photometric plan of the project area. The area immediately around the ATM is illuminated to approximately 5 fc. The illumination at a 25' radius from the project site is illuminated to approximately 2 fc. The illumination level at a radius of 50' from the project site is typically significantly less than 1 fc and equivalent to the larger parking lot area.

Signs

Section 220-4 Signs of the Niskayuna zoning code establishes standards to promote signs that are visually compatible with their surroundings and are of appropriate design and materials.

Subsection D Prohibited signs: The following signs shall be prohibited in the Town Center Overlay District: includes (5) Pylon signs.

Pages A102, A103 and A104 of the aforementioned drawing set include design details for the proposed ATM. Several portions of the ATM station infrastructure and associated graphical displays should be reviewed by the Board relative to the requirements set forth in Section 220-4 of the zoning code. The drawings include a "non-illuminated signage option" that reads "CHASE" followed by the Chase Bank logo on one of the canopy legs.

Section 220-48.4 Signs E Minimum performance criteria (5) Logo states: "In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign area to comprise not more than 30% of the sign area". As proposed, the drawings show a two-sided "non-illuminated octagon signage option" located above the aluminum "signature canopy" that partially shields the ATM machine from weather. The logo comprises 100% of the sign area so a waiver for a sign with a logo covering 100% of the sign area may be required.

Summary Table of Zoning Relief

	Required	Provided	Notes
Parking Spaces	668	641	<i>Reduction in 8 parking spaces still above 625 requirement</i>
Light Pole	22' pole height	23' pole height	1' waiver for height
Lighting type	Metal Halide	LED	Waiver to LED
Signage Logo	Logo 30%	Logo 100%	Waiver on Logo %
"Chase" Sign		Chase sign on ATM	Addressed as part of waiver package

4/11/22 Planning Board (PB) meeting – Chris Quinn and Tom Riley spoke on behalf of Chase Bank and explained the project to the Board. The Planning Office noted the entire Shop Rite plaza is currently 19 parking spaces below code and the proposed ATM will consume 8 existing parking spaces leaving the shopping center 27 spaces below code. A discussion ensued regarding the impact the ATM is anticipated to have on the shopping center. The applicants stated that their data estimates 1,800 visits to the ATM per month (approx. 60 visits / day). They also indicated that ATMs rarely have more than 1 vehicle at the ATM and one additional vehicle waiting to use it. The Board agreed on the following action items for the Chase Bank site plan.

- Explore muting the colors used for the design of the ATM and associated apparatus to comply with Section 220-48.7 of the Niskayuna zoning code.

- Refresh all parking space striping.
- Repair existing parking lot potholes.
- Replant landscaping as advised by the Niskayuna Tree Council.

PDD PARKING

Planning Staff has researched the initial approval of the PDD by the Town Board and recognizes that the Town Board approved full build out of the PDD with a parking requirement of 625 spaces. The PDD was given a 20% reduction in the total required spaces of 781 by the Town Board due to shared parking across parcels. The Planning Board may have allowed a further reduction to 602 in 1996 – but the clearest direction staff can find is to ensure 625 parking spaces in the plaza.

Given these facts, the Planning Board has the authority to work with the developer on parking spot configuration, provided they do not dip below the 625 originally approved, so this project would not need a referral to the Zoning Board of Appeals. However, it should be noted the second floor of Phase 2 of the plaza is largely vacant, so requiring staff to park in the rear of the building and keep front spots open to customers would be critical to any reduction in parking – as well as ensuring the remainder of the PDD requirements are met – including landscaping, pedestrian crosswalks and vehicular flow.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530
Fax: (518) 386-4592

Application for Site Plan Review

Applicant (Owner or Agent):

Name TKO Installations, Chris Quinn

Address 1287 Kyle Ct.

Wauconda, IL 60084

Email Chris.Quinn@TKOsafe.com

Telephone 847-526-1169 Fax _____

Location:

Number & Street 2341 Nott Street

Section-Block-Lot _____ - _____ - _____

Zoning District R1 - TCOD Overlay

Proposal Description:

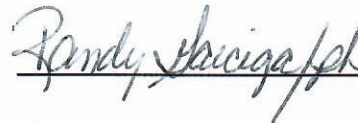
NEW DRIVE-UP ATM LOCATION WITH CONCRETE PAD, BOLLARDS, SIGNATURE

CANOPY, VEHICLE HEIGHT DETECTOR BAR AND POLE LIGHTING. LANE

STRIPING AND DIRECTIONAL ARROWS TO BE PAINTED.

Signature of applicant:  Date: 01/20/2022

Signature of owner (if different from applicant):



Date: 1/20/22

January 20, 2022,

Dear Permits Office,

I, Patti Healy, Chief Operating Officer for Cobra Properties, LLC and authorized representative for ownership of the property at 2341 Nott Street, Schenectady, NY 12309 hereby authorize TKO Installations Inc. to act on our behalf in obtaining permits as required by the local authority having jurisdiction for the construction of a new ATM site.

Thank you

Sincerely,

Patti Healy
Chief Operating Officer
Cobra Properties, LLC

Date 1-20-22

Signature

P. Healy

TKO INSTALLATIONS, INC.
CHASE BANK

NOTT AND BALLTOWN ATM
2341 NOTT STREET
SCHENECTADY, NY 12309

LAWRENCE DiGENNARO, ARCHITECT
302 W. 3rd STREET, SUITE 500, CINCINNATI, OHIO 45202
PHONE: 513.271.1634 FAX:513.271.7017

SITE PLAN

BUILDING CODE

PROJECT DESCRIPTION:	DRIVE-UP A.T.M.
ADDRESS:	2341 NOTT STREET SCHENECTADY, NY 12309
APPLICABLE CODES:	2020 BUILDING CODE OF NEW YORK STATE (2018 IBC) 2020 PLUMBING CODE OF NEW YORK STATE (2018 IPC) 2020 MECHANICAL CODE OF NEW YORK STATE (2018 IMC) 2020 FUEL AND GAS CODE OF NEW YORK STATE (2018 IFGC) 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE (2018 EEC) 2017 NATIONAL ELECTRICAL CODE OF NEW YORK STATE
OCCUPANCY GROUP:	M-MERCANTILE
CONSTRUCTION TYPE:	TYPE IIB
OCCUPANCY/EGRESS:	MERCANTILE
PARKING LOADS:	REQUIRED PARKING = 199 SPACES (INCLUDES 6 HC) EXISTING PARKING = 167 SPACES (INCLUDES 6 HC) REVISED PARKING = 159 SPACES (INCLUDES 6 HC)

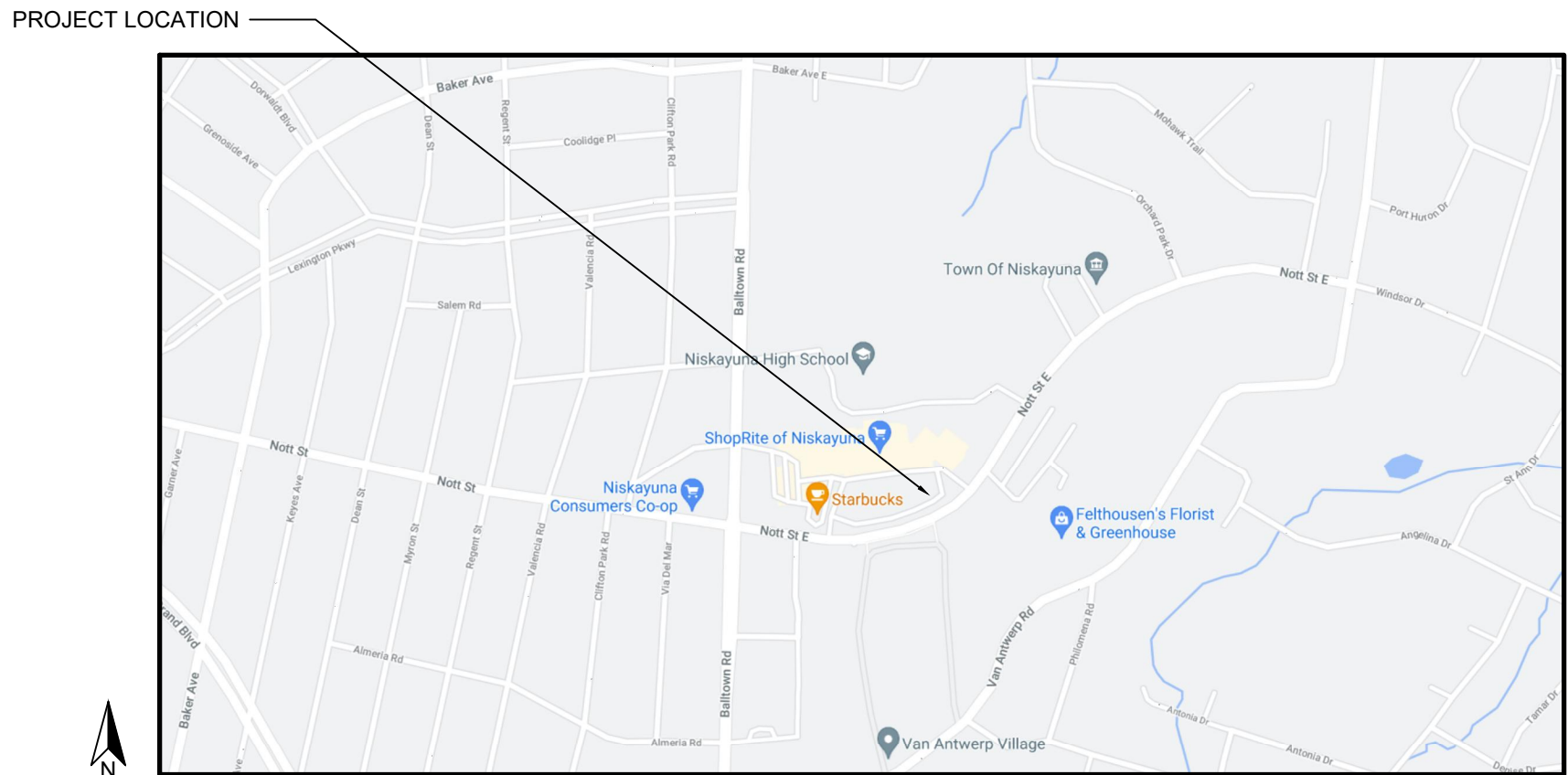
SCOPE OF WORK

NEW DRIVE-UP ATM LOCATION WITH CONCRETE PAD, BOLLARDS, SIGNATURE CANOPY, VEHICLE HEIGHT DETECTOR BAR AND POLE LIGHTING. LANE STRIPING AND DIRECTIONAL ARROWS TO BE PAINTED.

PROJECT LOCATION



VICINITY MAP



DRAWING INDEX

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GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- GENERAL CONTRACTOR SHALL SCHEDULE AND ARRANGE FOR ALL REQUIRED LEGAL INSPECTIONS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULE AND SEQUENCING OF THE WORK.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED.
- FOR INFORMATION CONCERNING EXISTING CONDITIONS VERIFICATION MUST BE DONE IN THE FIELD. CONTRACTOR TO ENSURE EXISTING SITE LIGHTING IS NOT DISTURBED.
- LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS WITHIN THE AREA OF WORK PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, DEMOLISHED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE IMMEDIATELY REMOVED FROM THE PROJECT SITE AND PROPERLY DISPOSED OF.
- ALL MATERIALS, FIXTURES, AND EQUIPMENT INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BE NEW AND AS SPECIFIED, UNLESS OTHERWISE INDICATED.
- FIELD WELDING SHALL ONLY BE DONE BY QUALIFIED WELDERS WHO HAVE BEEN OWNER CERTIFIED.
- DIMENSIONS INDICATED ON PLANS ARE TO THE FACE OR TO THE CENTERLINE OF OBJECTS UNLESS OTHERWISE INDICATED.
- ALL NEW AND EXISTING FINISHES AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS, AND IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PATCHED AREAS SHALL MATCH THE ADJACENT MATERIALS CONSTRUCTION AND FINISH.
- NEW CONSTRUCTION ABUTTING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH UNLESS OTHERWISE INDICATED.
- PATCH AND REPAIR AREAS WITHIN THE SCOPE OF THE PROJECT AND ADJACENT TO THE PROJECT LIMITS WHICH HAVE BEEN AFFECTED BY THE WORK. CONTRACTOR TO ENSURE SUBBASE MATERIAL IS COMPACTED PROPERLY AT ALL PAVEMENT PATCH AREAS.
- PROVIDE BACKER ROD AND SEALANT JOINT AT ALL DISSIMILAR MATERIALS.
- ALL WOOD BLOCKING, NAILED, GROUNDS, PLYWOOD, OR ANY OTHER WOOD TO BE NON-COMBUSTIBLE.
- TENANT TO VERIFY ELECTRIC SOURCE WITH UTILITY PROVIDER.
- TENANT TO ENSURE STORM SURFACE DRAINAGE FUNCTIONS PROPERLY.
- ALL WORK INCLUDING BUILDING PERMIT, CONSTRUCTION, TESTING, ETC. BY TENANT.
- ALL WORK TO BE COMPLETED BY TENANT.

SYMBOLS

- ELEVATION REFERENCE
 - Elevation number
 - Indicates drawing sheet on which Elevation is shown
- SECTION OR DETAIL REFERENCE
 - Section letter or detail number
 - Indicates drawing sheet on which Section or Detail is shown
- DRAWING NOTE
- REVISION AND NUMBER
- CONTROL JOINT
- EXPANSION JOINT
- BACKER ROD AND SEALANT, TYPICAL
- NEW SPOT ELEVATION
- REFERENCE ELEVATION
- ELEVATION DESIGNATION
- NEW CONSTRUCTION
- PROPERTY LINE
- CENTER LINE, ELEVATION LINE

MATERIAL SYMBOLS

- EARTH
- GRANULAR FILL
- CAST-IN- PLACE CONCRETE
- ASPHALT PAVEMENT
- LANDSCAPE/ GRASS

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
A.H.J.	AUTHORITIES HAVING JURISDICTION	MISC.	MISCELLANEOUS
A.T.M.	AUTOMATED TELLER MACHINE	M.P.O.E.	MAIN POINT OF ENTRY
BRG.	BEARING	MTL	METAL
BLDG.	BUILDING	N/A, N.A.	NOT APPLICABLE
B.M.	BENJAMIN MOORE	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
C.L.	CENTER LINE	OPP.	OPPOSITE
CONST.	CONSTRUCTION	PM, P.M.	PROJECT MANAGER
DIA.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R., RAD.	RADIUS
DWG.	DRAWING	RCP, R.C.P.	REFLECTED CEILING PLAN
ETR, E.T.R.	EXISTING TO REMAIN	REF., RE.	REFERENCE
EQ.	EXIST.	REQ., REQ'D.	REQUIRED
EQ.	EQUAL	REV.	REVISION
FT.	FEET / FOOT	RM.	ROOM
FLUOR.	FLUORESCENT	RO, R.O.	ROUGH OPENING
FRP, F.R.P	FIBER REINFORCED PLASTIC	S.F., SF.	SQUARE FOOT
FRT, F.R.T.	FIRE RETARDANT TREATED	SIM.	SIMILAR
GA.	GALVE	SPEC.	SPECIFICATIONS
G.C.	GENERAL CONTRACTOR	SO.	SQUARE
G.W.B	GYPSUM WALL BOARD	STD.	STANDARD
GYP. BD.	GYPSUM BOARD	T.A.	TOP OF
H. HT.	HEIGHT	TYP.	TYPICAL
HORZ.	HORIZONTAL	U.N.O., U.O.N.	UNLESS OTHERWISE INDICATED
LAV.	LAVATORY	U/S	UNDERSIDE
LGMF	LIGHT GAUGE METAL FRAMING	VERT.	VERTICAL
LL	LANDLORD	VIF, V.I.F.	VERIFY IN FIELD
MFR, MFR	MANUFACTURER	W/	WITH
MAX.	MAXIMUM	W/O	WITHOUT
		WD.	WOOD

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COVER PAGE AND GENERAL NOTES



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Contract Drawing Date
07-19-21
Proj. No.
TK004.44

G001

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY

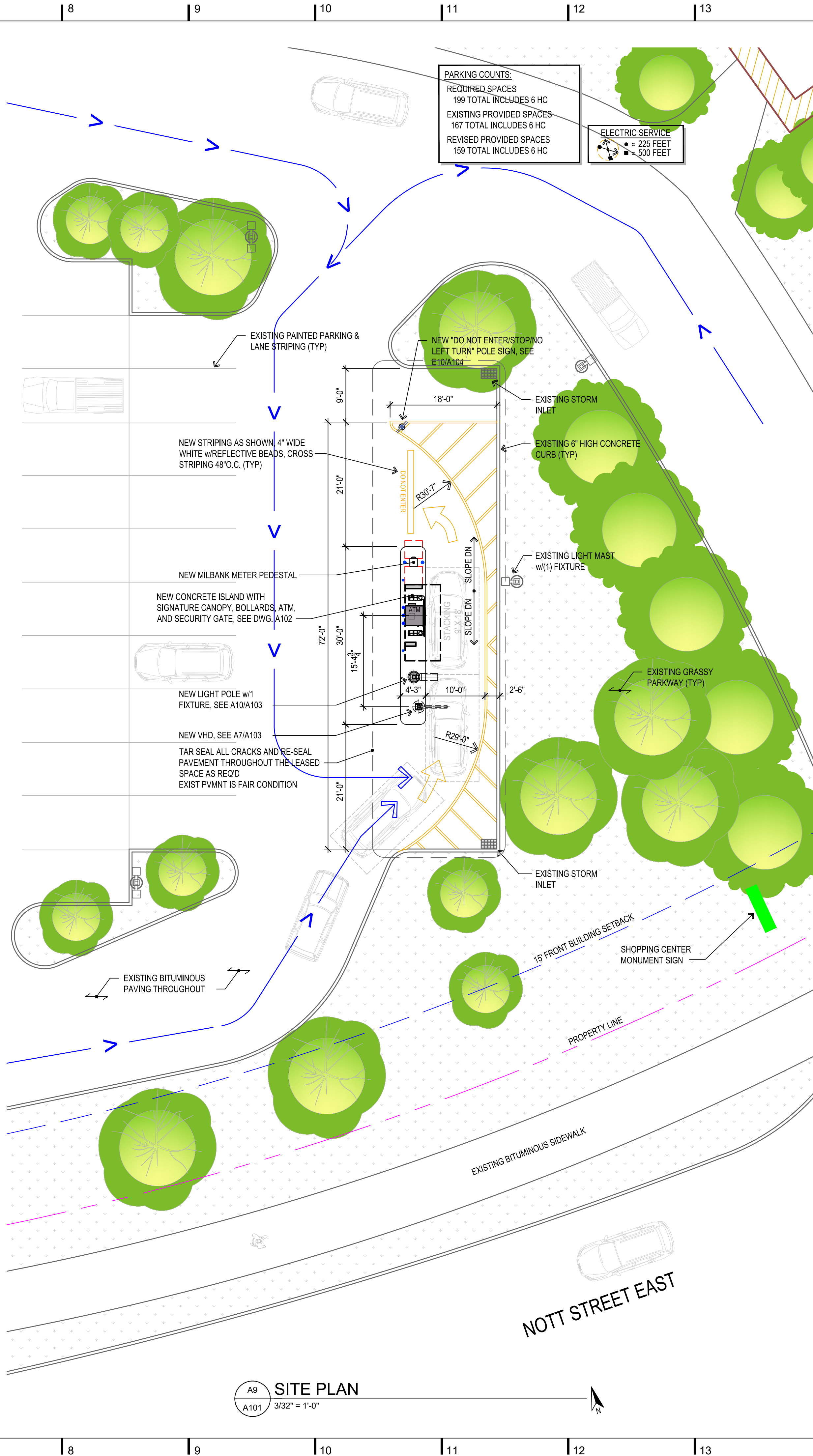
1 SITE PLAN REVIEW 04-01-22
0 OWNERS REVIEW 01-21-22



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A1
A101
EXISTING CONDITIONS
3/32" = 1'-0"



A9
A101
SITE PLAN
3/32" = 1'-0"

GENERAL NOTES

- REFER SHEET G001 FOR GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
- DIMENSIONS GIVEN ARE TO THE FACE OF FINISHED MATERIAL UNLESS OTHERWISE INDICATED.
- PROVIDE EROSION AND SEDIMENT CONTROL, PRACTICES IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- GC TO PATCH AND REPAIR ANY FINISHED MATERIAL, DISTURBED DURING CONSTRUCTION TO LIKE NEW CONDITION, INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, AND LANDSCAPING.
- GC TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO WORK.
- CAST-IN-PLACE CONCRETE SPECIFICATION
 - SUMMARY
 - CAST-IN-PLACE CONCRETE, INCLUDING FORMWORK, REINFORCEMENT, CONCRETE MATERIALS, MIXTURE DESIGN, PLACEMENT PROCEDURES AND FINISHES FOR THE FOLLOWING:
 - FOOTINGS
 - SLABS ON GRADE
 - SIDEWALKS AND CURBS
 - PRODUCTS
 - CONCRETE GENERAL; ACI 301 AND ACI 117.
 - FORM FACING MATERIALS
 - STEEL REINFORCEMENT
 - REINFORCING BARS; DEFORMED
 - WELDED-WIRE REINFORCEMENT; PLAIN
 - CONCRETE MATERIALS
 - PORTLAND CEMENT; ASTM C 150, TYPE III, GRAY
 - AGGREGATE; NORMAL WEIGHT
 - WATER
 - MIXING; READY MIXED
 - CONCRETE MIXTURES
 - COMPRESSIVE STRENGTH (28 DAYS):
 - FOOTINGS: 3500 PSI
 - SLABS-ON-GRADE: 3500 PSI
 - SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
 - INSTALLATION
 - FORMED FINISHES: SMOOTH
 - FLOOR AND SLAB FINISHES: BROOM-EXTERIOR CONCRETE
 - FIELD QUALITY CONTROL
 - TESTING AND SPECIAL INSPECTIONS: BY OWNER-ENGAGED SPECIAL INSPECTOR AS REQUIRED BY LOCAL JURISDICTION.

ELECTRICAL NOTES

- CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO ATM. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
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Z. FEIN
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A101

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY

EXISTING CONDITIONS & SITE PLAN

04-01-22
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1 SITE PLAN REVIEW
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DRIVE-UP ATM (CAN-ATM-SIG-OCT) ELEVATIONS

1/2" = 1'-0"

SECURITY GATE NOTES:

- GATE & ANCHORS PROVIDED BY OWNER INSTALLED BY GC.
- GATE MUST BE FLUSH TO ATM BEAUTY DOORS OR AS CLOSE AS POSSIBLE TO PREVENT DAMAGE TO LOCK COVER
- SILICONE SEAL CAPS WITH A THICK, CONTINUOUS BEAD OF WEATHERPROOF SILICONE SEALANT COMPLETELY AROUND THE TOP CAP OF THE SECURITY GATE BETWEEN THE CAP AND GATE POST.

- WELD THE NUT TO THE BASE PLATE AND ANCHOR IT TO PREVENT THE NUT FROM BEING REMOVED, APPLY TOUCH-UP PAINT TO WELDED ANCHOR AND BASE PLATE.

PAINT CODES:

- SWW GATES
 - VALSPAR, 1 GALLON SIZE CAN, MANUAL FORMULA, ANTI-RUST ARMOR, OIL GLOSS ENAMEL, CLEAR BASE #4 102-8Y8.5, 113-2Y36.5, 116-27.5
- DIVERSIFIED GATES
 - BENJAMIN MOORE #2064-30 "OL' BLUE EYES"

SIGNAGE REGULATIONS

FREESTANDING SIGNS SHALL BE GROUND (MONUMENT) SIGNS ONLY, BUILDING SIGNS SHALL BE WALL SIGNS ONLY.

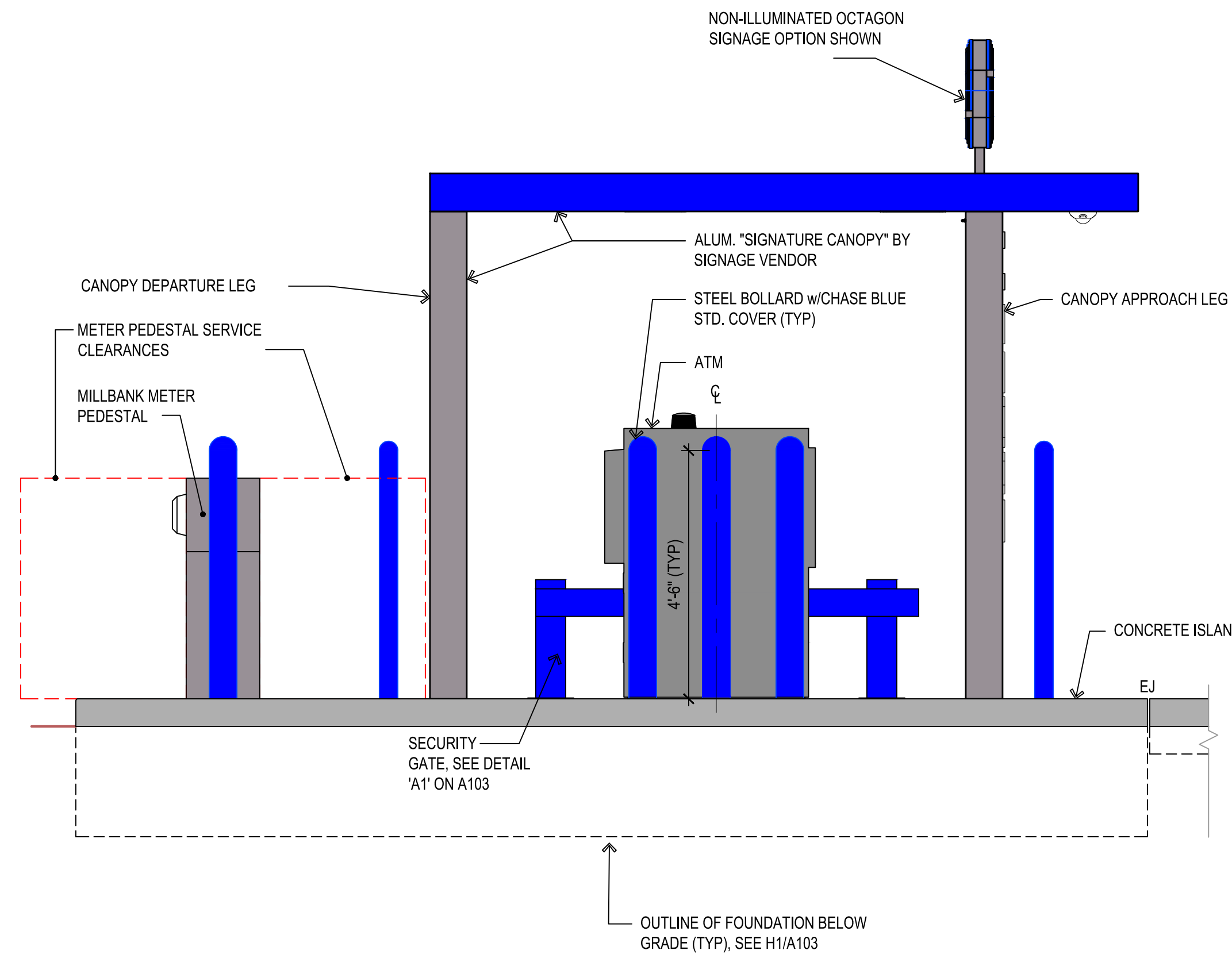
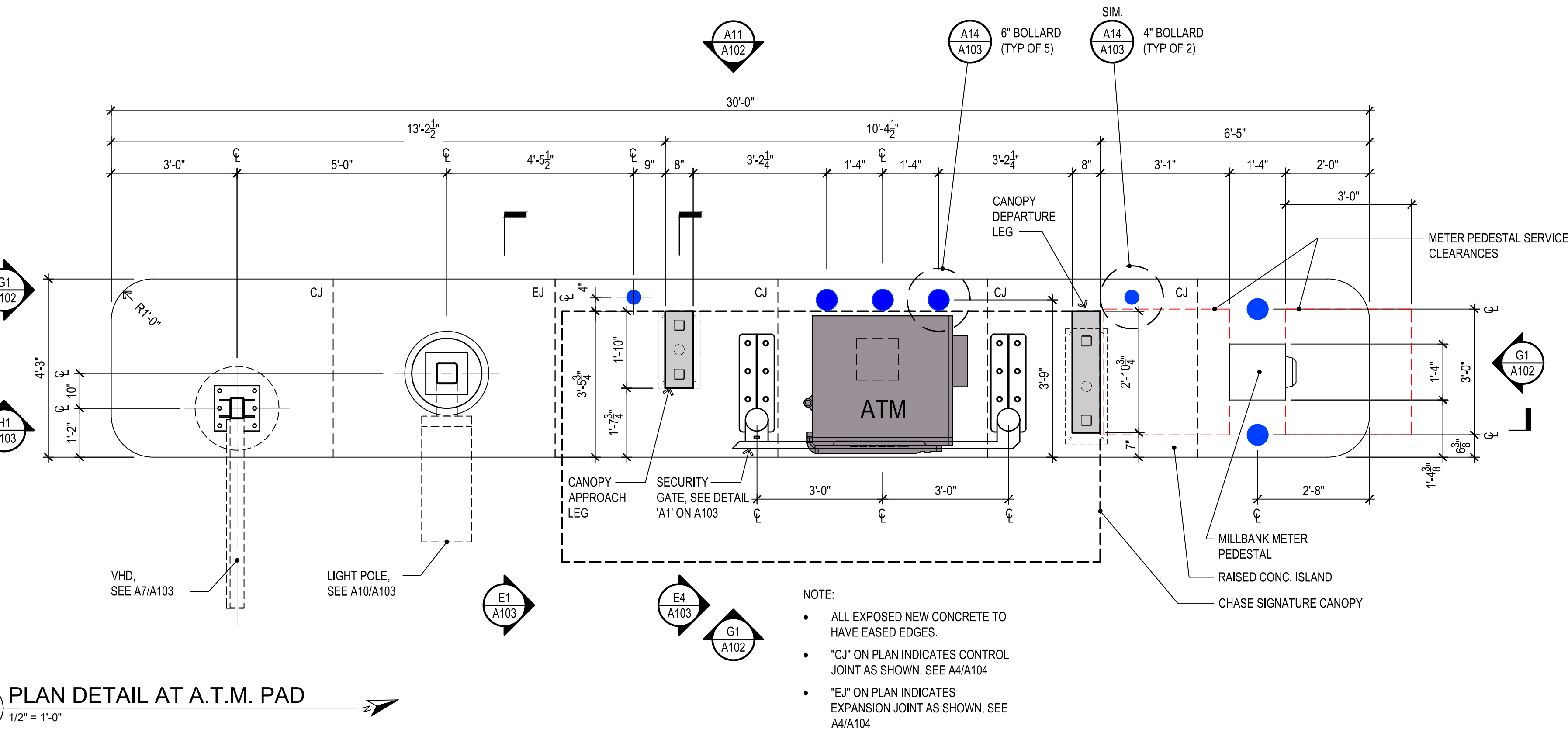
SIGNS SHALL NOT BE INTERNALLY LIT, EXTERNAL LIGHTING SHALL BE PLACED IN A MANNER THAT MINIMIZES GLARE TO ADJACENT PROPERTIES AND STREETS.

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ELEVATIONS & DETAILS



Project Manager

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Drawn

K. MILLER

Checked

Z. FEIN

Contract Drawing Date

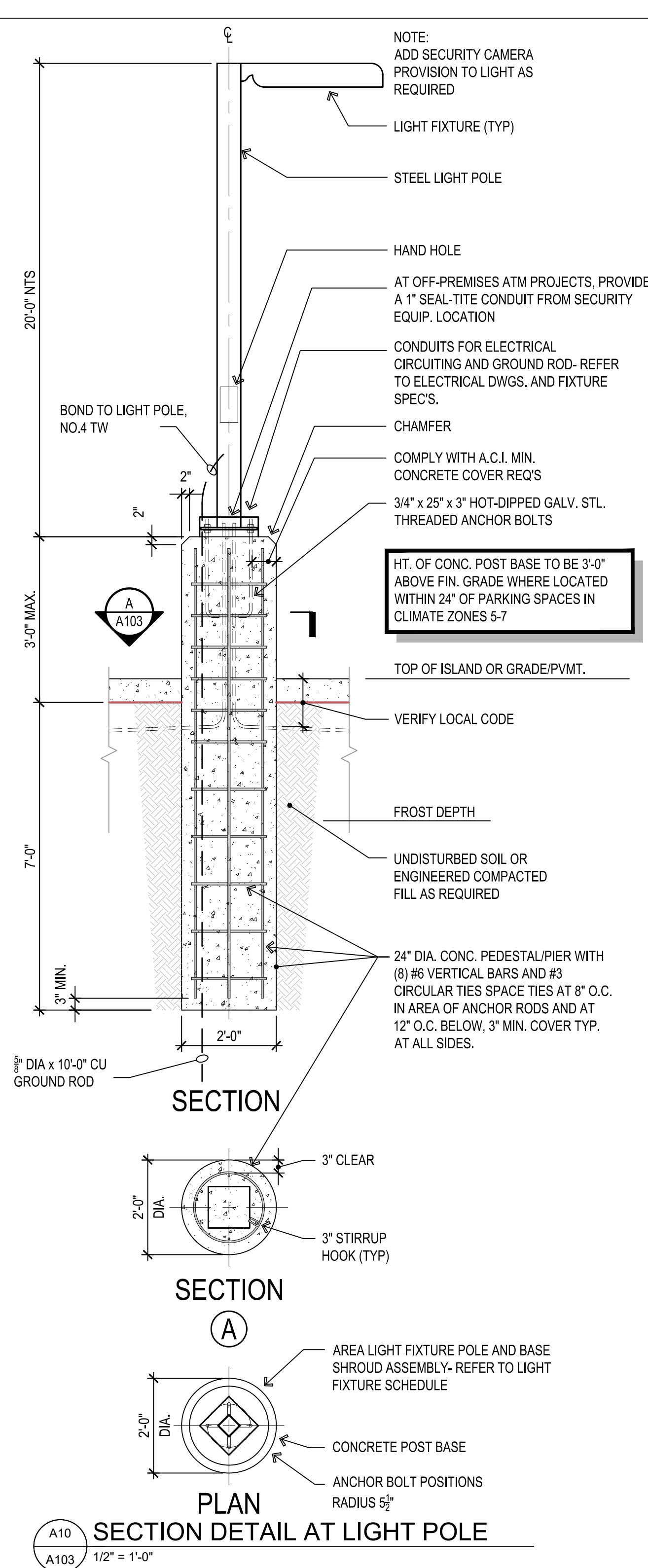
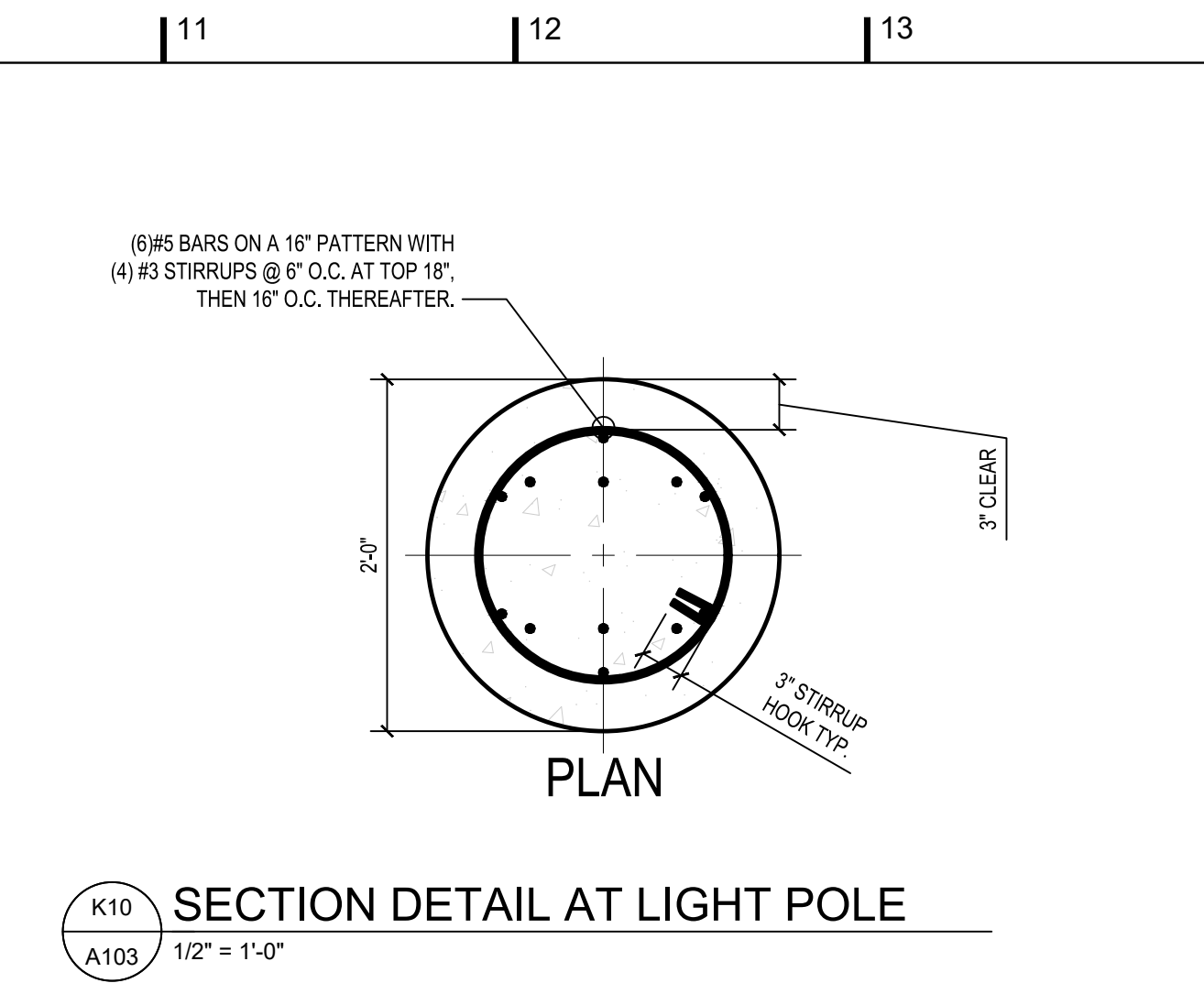
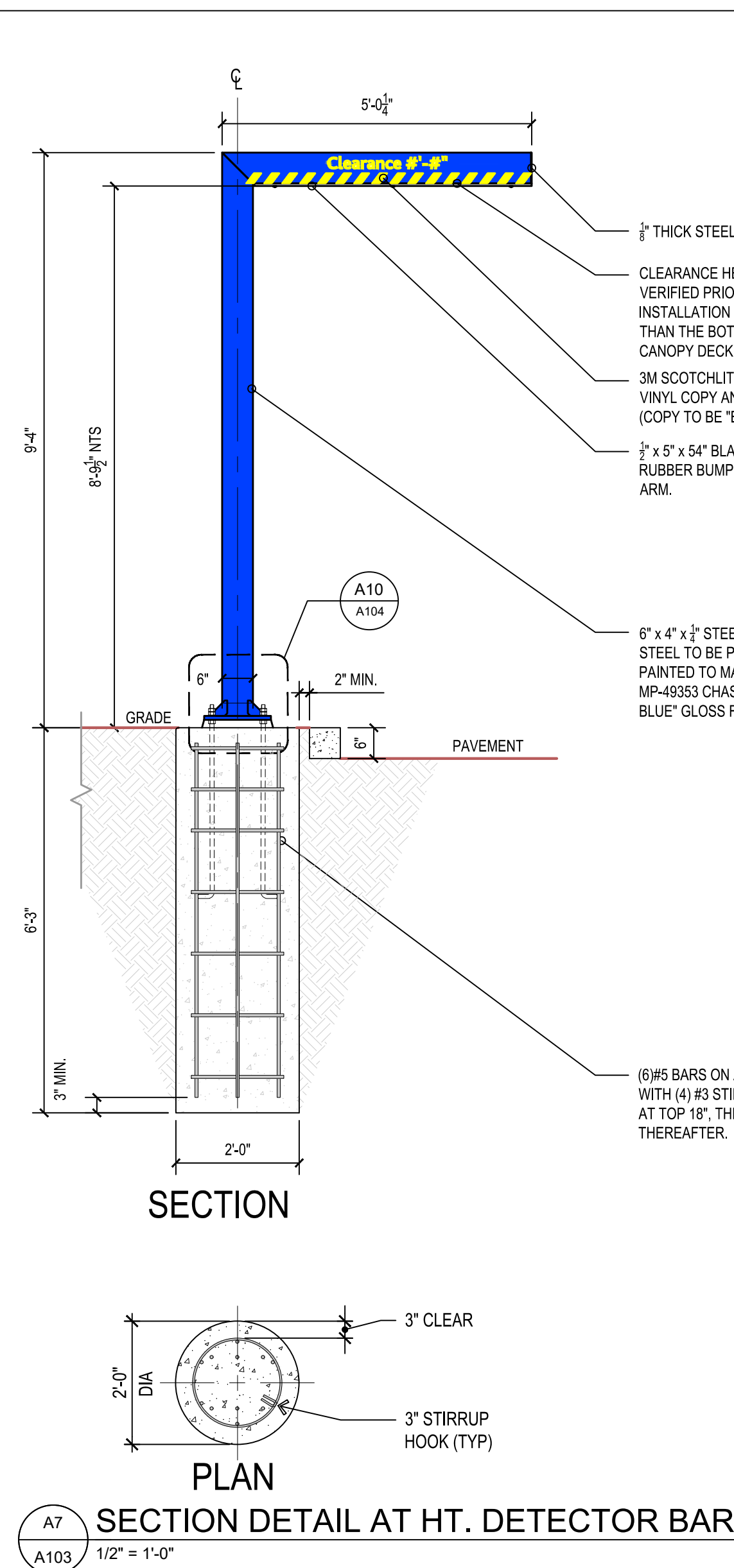
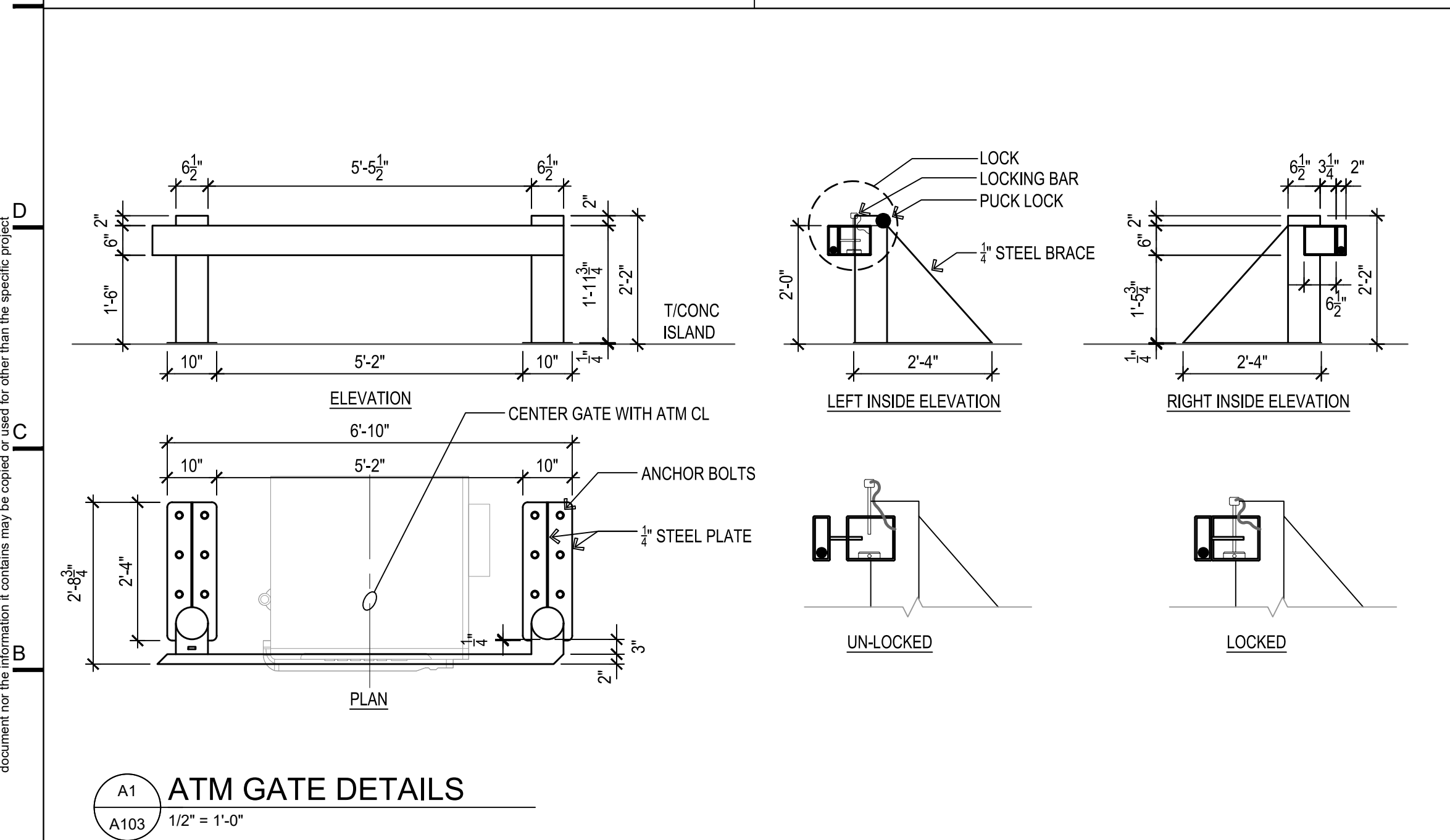
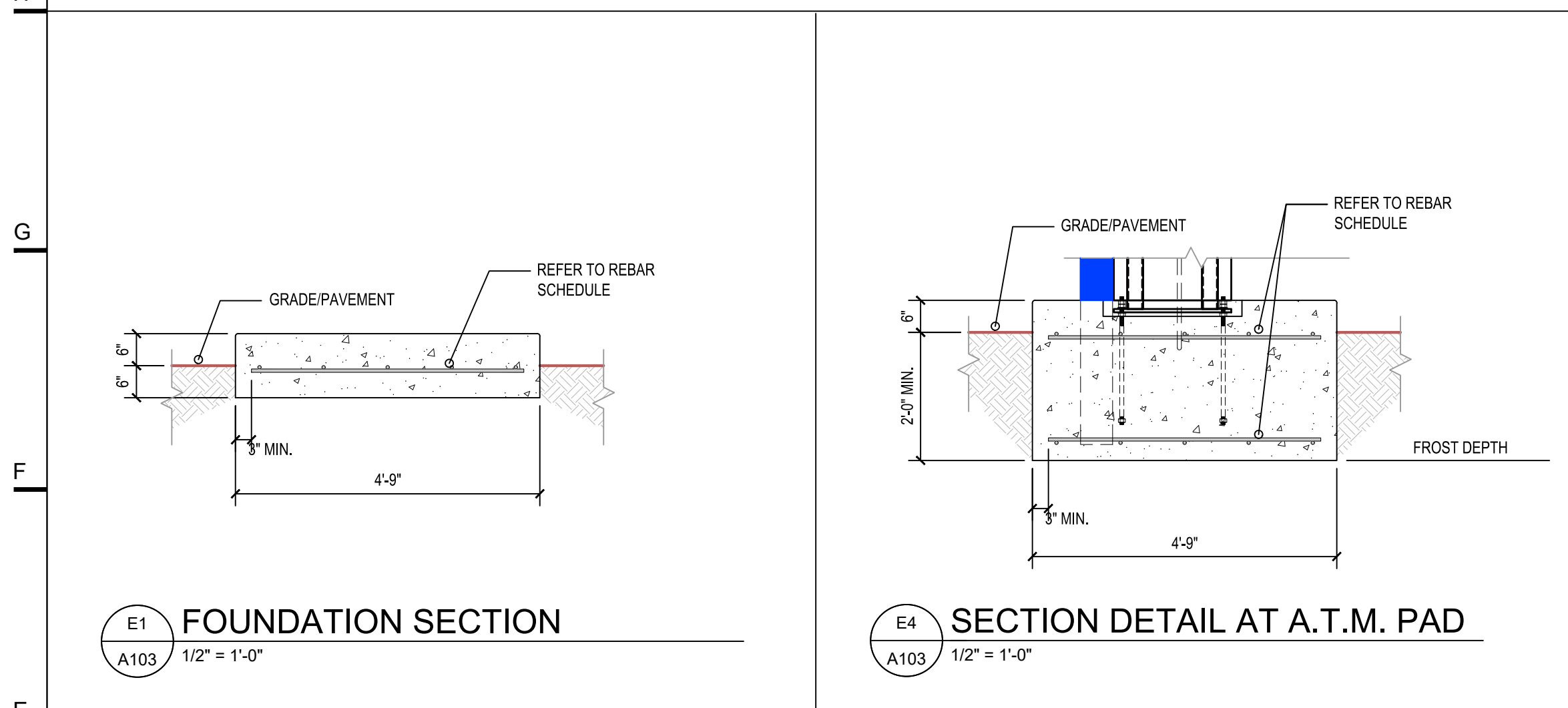
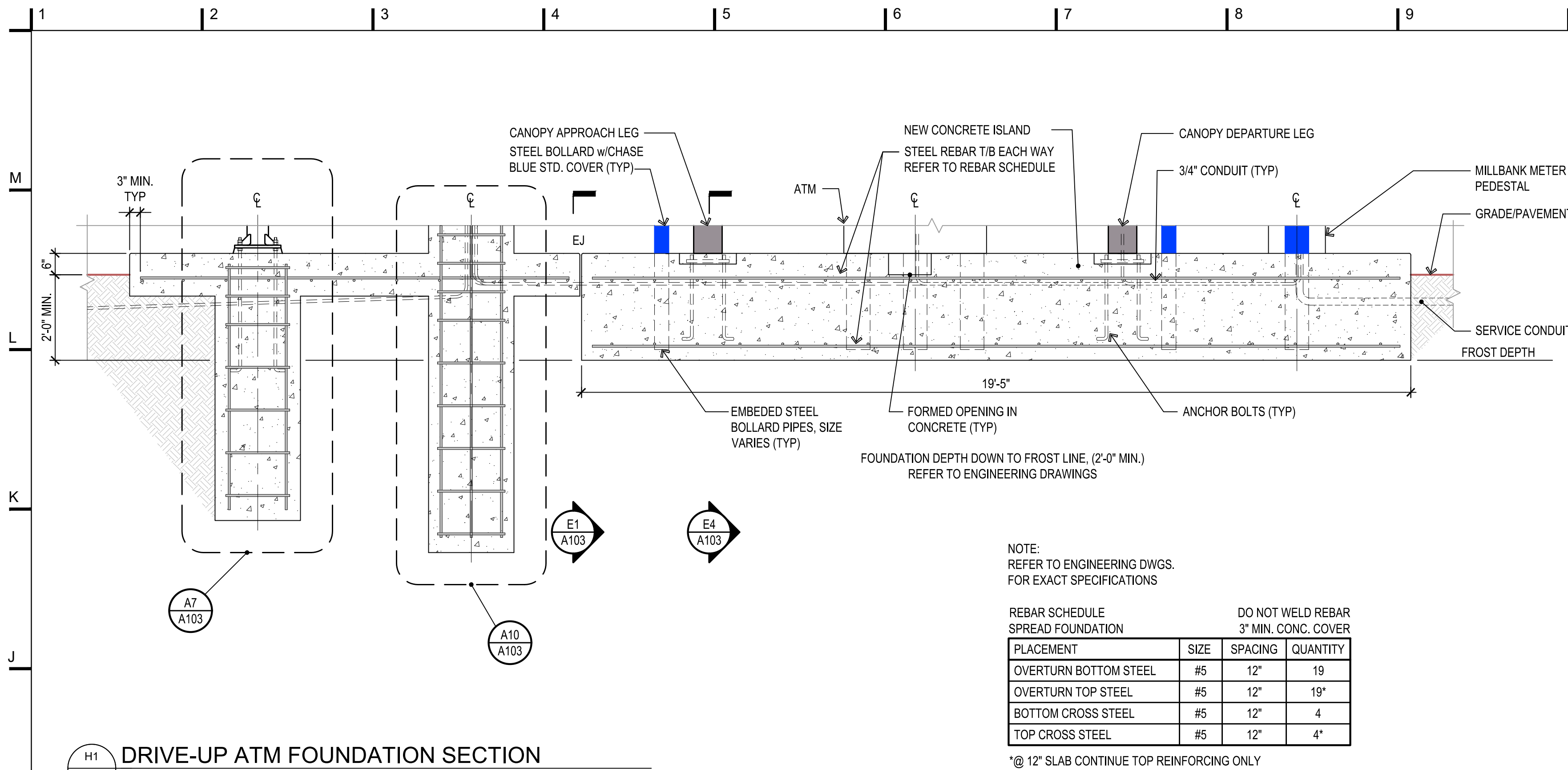
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A102

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TKO INSTALLATIONS, INC.
REINFORCEMENT CONTRACTORS • GENERAL CONTRACTORS

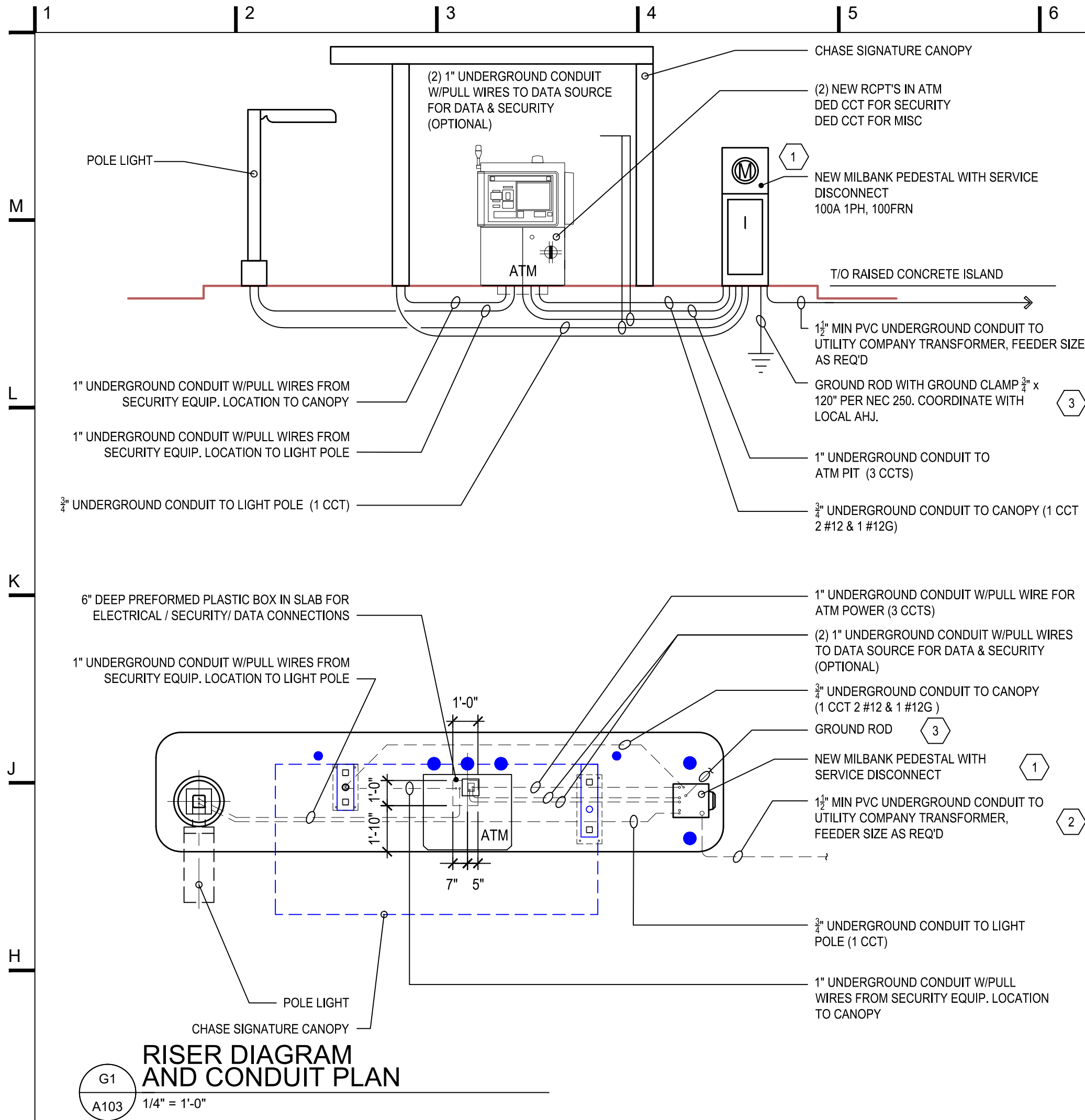
CHASE

Project Manager
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04-01-22
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1 SITE PLAN REVIEW
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CONDUIT & WIRE SCHEDULE-20A LIGHTING CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#12	3/4"
10 THRU 14 (50%)	#10	1"
15 THRU 20 (50%)	#10	1-1/4"

CONDUIT & WIRE SCHEDULE-20A MULTI OUTLET RECEPTACLE CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#10	3/4"
10 THRU 15 (50%)	#8	1-1/4"
16 THRU 20 (50%)	#8	1-1/2"

- NOTES THIS DRAWING:**
- PROVIDE 100A MILBANK PEDESTAL PANEL WITH SERVICE DISCONNECT. REFER TO PANEL SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE SCHEDULE 40 PVC UNDERGROUND CONDUIT TO SERVICE ENTRANCE TRANSFORMER PROVIDED BY UTILITY COMPANY. SIZE CONDUCTOR AS REQUIRED FOR VOLTAGE DROP.
 - GROUND ROD WITH GROUND CLAMP 3/4" x 120" PER NEC 250. COORDINATE FINAL REQUIREMENTS WITH LOCAL AUTHORITY HAVING JURISDICTION.

- ### ELECTRICAL NOTES
- ALL DEVICE LOCATIONS SHOWN ARE APPROXIMATE UNLESS OTHERWISE DIMENSIONED OR NOTED.
 - ALL JUNCTION AND PULL BOXES SHALL BE SIZED PER NEC ARTICLE 314.16 AND 314.28.
 - ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION AND ALL APPLICABLE LOCAL CODES.
 - ALL NEW WIRING TO BE RUN IN CONDUIT. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE. ALL WIRE SHALL BE MINIMUM NO. 12 AWG UNLESS NOTED OTHERWISE.
 - ALL LINE- AND LOW-VOLTAGE WIRING SHALL BE INSTALLED IN CONDUIT SYSTEMS. ARMORED AND METAL-SHEATHED CABLES (GENERALLY "BX"), TYPES AC AND MC, AND NON-METALLIC SHEATHED CABLES (GENERALLY "ROMEX"), TYPES NM, NMC, AND NMS, ARE NOT PERMITTED.
 - ALL ENDS OF CONDUIT SYSTEM SHALL HAVE A BUSHING OR A COUPLING INSTALLED FOR THE PURPOSE OF PROVIDING PROTECTION OF CONDUCTORS.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRING INCLUDING LOW-VOLTAGE TO OWNER-PROVIDED SIGNAGE. ALL JUNCTION BOXES FOR SIGNAGE SHALL BE PLACED AS REQUIRED TO INSTALL THE SIGNAGE AS INDICATED IN THE ARCHITECTURAL ELEVATIONS. COORDINATE WITH OWNER'S SIGNAGE VENDOR AND REFER TO MANUFACTURERS WIRING DIAGRAMS.
 - ALL BRANCH CIRCUIT CONDUCTORS SHALL BE CONNECTED BY MEANS OF A SCREW TERMINAL.
 - THE CONTINUITY OF ANY BRANCH CIRCUIT CONDUCTOR INCLUDING ANY IDENTIFIED GROUNDING CONDUCTOR SHALL NOT DEPEND UPON DEVICE CONNECTIONS, SUCH AS LAMP HOLDERS, RECEPTACLES, ETC., WHERE THE REMOVAL OF SUCH DEVICES WOULD INTERRUPT THE CONTINUITY.
 - DE-RATING OF NEUTRALS IS PROHIBITED.
 - THE USE OF AUXILIARY GUTTERS, WIREWAYS, RACEWAYS AS ENCLOSURES FOR SERVICE ENTRANCE OR TAPPING OF SERVICE ENTRANCE CONDUCTORS IS STRICTLY PROHIBITED.
 - METAL IDENTIFICATION TAGS SHALL BE INSTALLED WHERE THE GROUNDING CONDUCTOR IS CONNECTED TO THE GROUNDING ELECTRODE.
 - ALL EXTERIOR LIGHTING AND SIGNAGE SHALL BE CONTROLLED BY PHOTOCELLS.
 - A MAXIMUM OF 3 HOMERUNS MAY BE GROUPED TOGETHER IN ONE CONDUIT AND SHARE A COMMON NEUTRAL PROVIDED THE HOMERUNS ARE DIFFERENT PHASES. IF BRANCH CIRCUITS ARE GROUPED THEY MUST ALL BE CONTROLLED BY THE SAME MULT-POLE BREAKER PER NEC 210.4.
 - PROVIDE (2) #10, (1) #10G, 3/4"C FEEDERS FOR ALL AREA LIGHT CONDUIT RUNS.
 - ISOLATED GROUND RECEPTACLES SHALL BE ORANGE.
 - COMPLY WITH REQUIRED CLEARANCES FOR ALL ELECTRICAL PANELS PER THE NEC.
 - ALL NEW POWER RACEWAYS TO INCLUDE 1 PULL WIRE, ALL NEW DATA RACEWAYS TO INCLUDE 3 PULL WIRES.

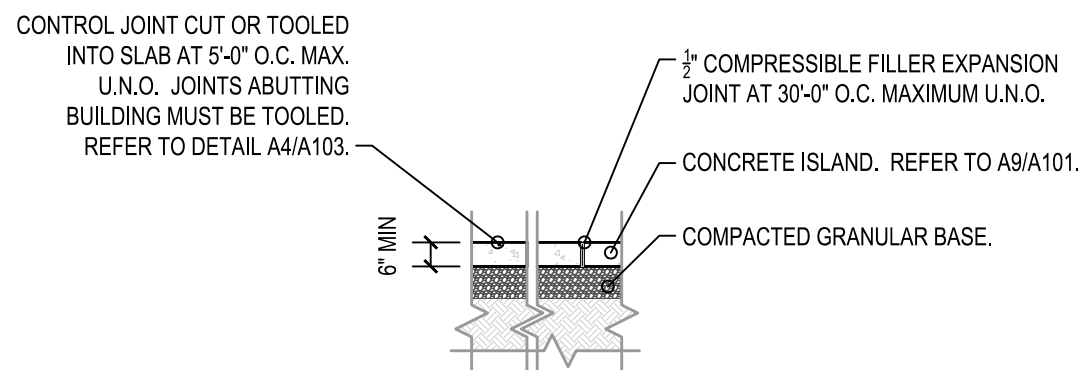
- ### GENERAL NOTES
- REFER SHEET G001 FOR GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
 - DIMENSIONS GIVEN ARE TO THE FACE OF FINISHED MATERIAL UNLESS OTHERWISE INDICATED.
 - PROVIDE EROSION AND SEDIMENT CONTROL PRACTICES IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
 - GC TO PATCH AND REPAIR ANY FINISHED MATERIAL DISTURBED DURING CONSTRUCTION TO LIKE NEW CONDITION, INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, AND LANDSCAPING.
 - GC TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO WORK.
 - CAST-IN-PLACE CONCRETE SPECIFICATION**
 - SUMMARY
 - CAST-IN-PLACE CONCRETE, INCLUDING FORMWORK, REINFORCEMENT, CONCRETE MATERIALS, MIXTURE DESIGN, PLACEMENT PROCEDURES AND FINISHES FOR THE FOLLOWING:
 - FOOTINGS
 - SLABS ON GRADE
 - SIDEWALKS AND CURBS
 - PRODUCTS
 - CONCRETE GENERAL: ACI 301 AND ACI 117.
 - FORM FACING MATERIALS
 - STEEL REINFORCEMENT
 - REINFORCING BARS; DEFORMED
 - WELDED-WIRE REINFORCEMENT; PLAIN
 - CONCRETE MATERIALS
 - PORTLAND CEMENT: ASTM C 150, TYPE III, GRAY
 - AGGREGATE: NORMAL WEIGHT
 - WATER
 - MIXING: READY MIXED
 - CONCRETE MIXTURES
 - COMPRESSIVE STRENGTH (28 DAYS):
 - FOOTINGS: 3500 PSI
 - SLABS-ON-GRADE: 3500 PSI
 - SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
 - INSTALLATION
 - FORMED FINISHES: SMOOTH
 - FLOOR AND SLAB FINISHES: BROOM-EXTERIOR CONCRETE
 - FIELD QUALITY CONTROL
 - TESTING AND SPECIAL INSPECTIONS: BY OWNER-ENGAGED SPECIAL INSPECTOR AS REQUIRED BY LOCAL JURISDICTION.

- ### ELECTRICAL NOTES
- CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO ATM. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
 - CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO LIGHT POLE. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
 - CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND TELECOM, ALARM, AND CAMERA WIRE PER MANUFACTURER SPECIFICATIONS.
 - CONTRACTOR SHALL REFER TO A.T.M. MANUFACTURER SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.

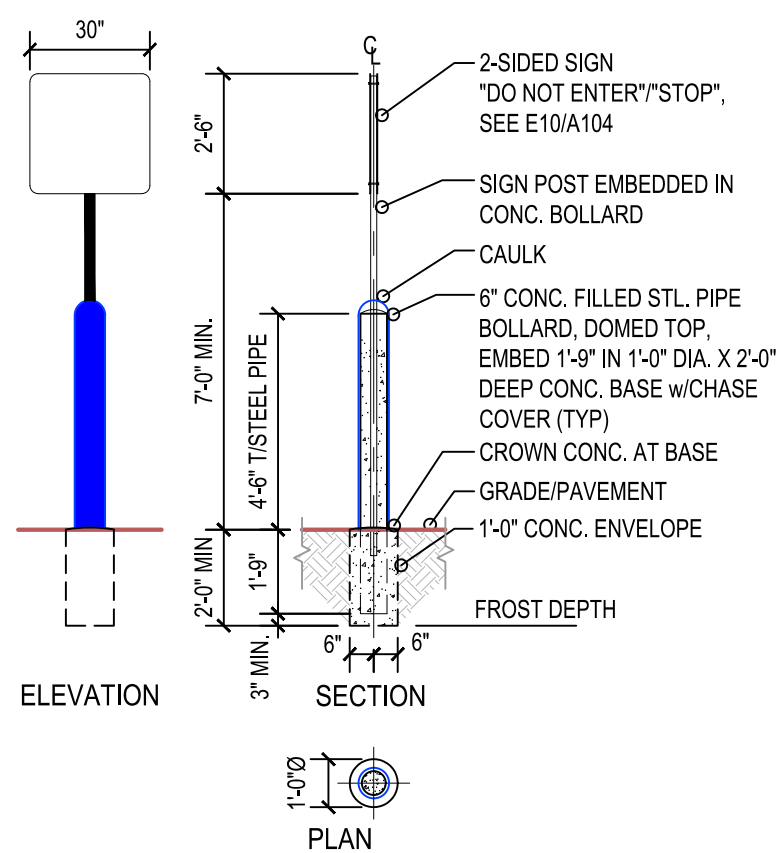
LIGHTING FIXTURE SCHEDULE						
TYPE	SYMBOL	MANUFACTURER	MODEL	LAMP		REMARKS
				TYPE	VOLTS	
SL-1		RAB	ALED2T150N (TYPE II)	4000K LED	120-277V	151.4
		RAB	PS4-11-20D2	N/A	N/A	N/A

- NOTES:**
- NOTES 1-3 APPLY TO ALL APPLICABLE LIGHTING FIXTURES. THE REMARKS COLUMN SHALL NOTE ADDITIONAL REQUIREMENTS.
- LIGHTING FIXTURE SCHEDULE FOR REFERENCE ONLY. COORDINATE FINAL LIGHTING FIXTURE SCHEDULES FROM ARCHITECTS PLANS. IF DISCREPANCIES OCCUR BETWEEN SCHEDULES NOTIFY ARCHITECT AND ENGINEER PRIOR TO PRICING OR ORDERING.
 - VERIFY EXACT MOUNTING CONDITIONS AND PROVIDE APPROPRIATE ACCESSORIES AND HARDWARE TO ACCOMMODATE REQUIREMENTS.
 - FIXTURE TYPE INDICATED ONCE ON A CONTINUOUS ROW SHALL BE TYPICAL OF ALL FIXTURES IN THE ROW UNLESS NOTED OTHERWISE FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY HARDWARE AND FILLERS TO PROVIDE THE EXACT LENGTHS AS INDICATED ON THE PLANS.
 - MIN ILLUMINATION VALUES 36" ABOVE GRADE AT ATM: VERTICAL FACE-15fc; WITHIN 5'-10fc; GRADE & PARKING WITHIN 50'-2fc; PATH OF ACCESS-2fc *ALL VALUES FROM FACE OF ATM

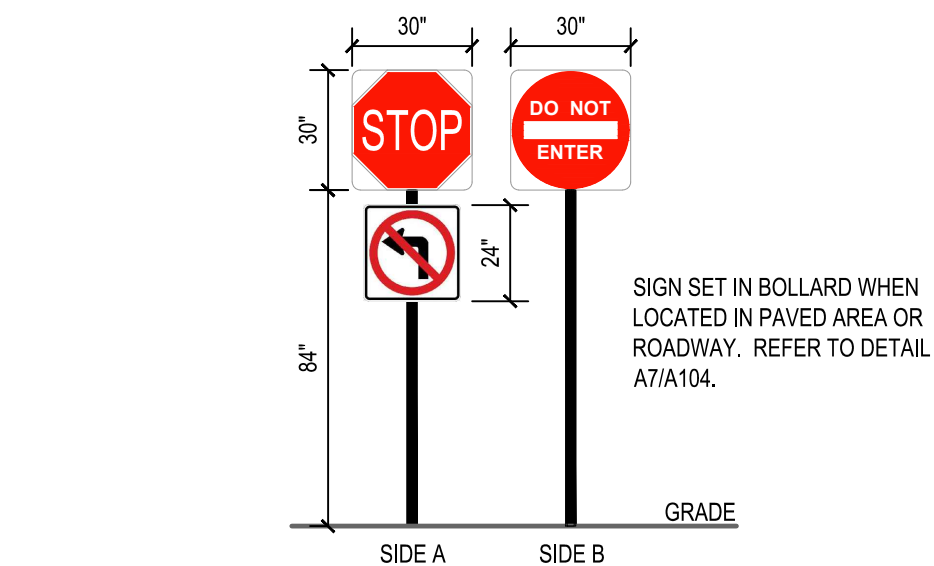
PANEL SCHEDULE					
NAME:	MILBANK PANEL # CP3B51115A22P13SP1	MAIN:	100A MB	MOUNTING:	PEDESTAL
VOLTAGE:	120/240 VAC	MAIN OPTIONS:	120	ENCLOSURE:	RAIN PROOF, 3R, STEEL (G90)
PHASE/WIRE:	1PH, 3W	BUS:	REFER TO ONE LINE	NEUTRAL BUS:	100%
SVC ENTRANCE:	NO	GROUNDING:	YES	KAIC RATING:	22,000
				BUSSING:	COPPER
				INTEGRAL SPD:	NO



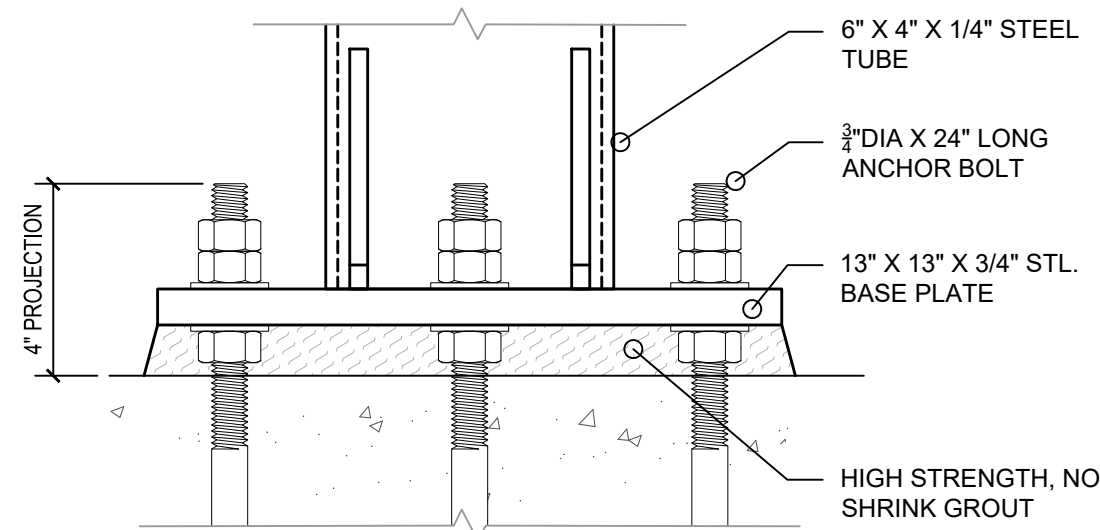
A4
A104
EXPANSION / CONTROL JOINT
1/4" = 1'-0"



A7
A104
SECTION DETAIL AT SIGN POLE
1/4" = 1'-0"



E10
A104
DOT SIGN DETAIL - POLE MOUNTED
NTS



A10
A104
ANCHOR BOLT PROJECTION DETAIL
3" = 1'-0"



BHDP

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY

LAWRENCE DIGENNARO, ARCHITECT
30 WEST THIRD STREET, SUITE 200, NEW YORK, NY 10012
PHONE: 212.512.1000
FAX: 212.512.1001

CINCINNATI
COLUMBUS
RALEIGH
CHARLOTTE

CHASE BANK
NOTT AND BALTOWN ATM
2341 NOTT STREET
SCHENECTADY, NY 12309

SECTIONS & DETAILS

Project Manager
A. PONTING
Drawn
K. MILLER
Checked
Z. FEIN
Contract Drawing Date
07-19-21
Proj. No.
TKO04.44

04/01/22
01-21-22

1 SITE PLAN REVIEW
0 OWNERS REVIEW

Project Manager
A. PONTING
Drawn
K. MILLER
Checked
Z. FEIN
Contract Drawing Date
07-19-21
Proj. No.
TKO04.44

A104

PHASE 1 - BEFORE STARBUCKS.

SPACES

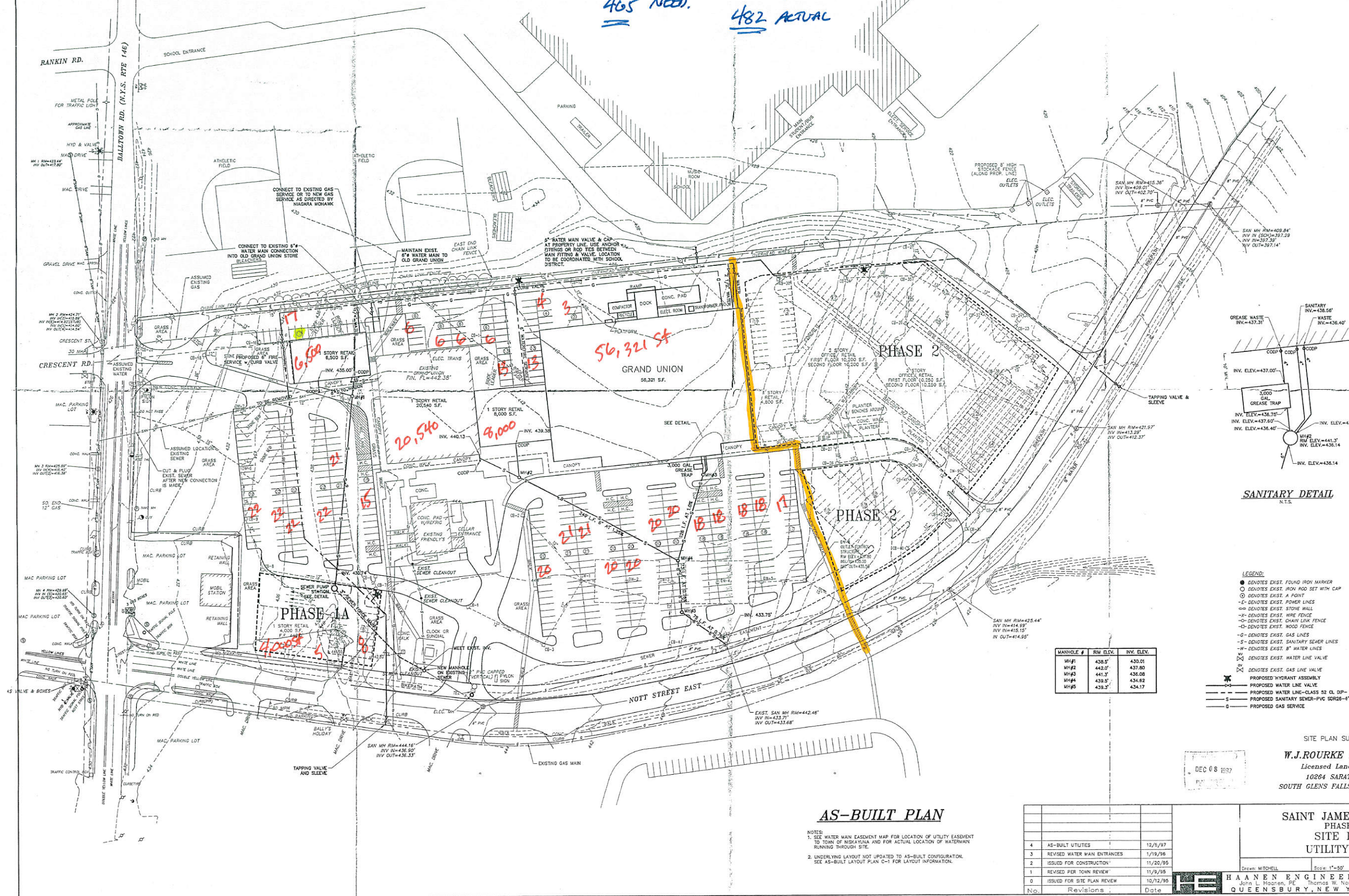
ORIGINAL
w/STARBUCKS

RETAIL SPACE = $39,040 \text{ SF} / 225 = 174$
 FOOD MARKET = $56,321 \text{ SF} / 200 = 282$
 STARBUCKS = $1,750 \text{ SF} / 200 = 9 \text{ SPACES NEEDED}$

456 NEED
 405 NEED

442 SPACES ACTUAL
 40 SPACES ACTUAL ADDED
 w/STARBUCKS.
 482 ACTUAL

DEFICIT OF 14 SPACES (456-442)
 SURPLUS OF 17 SPACES (482-465)

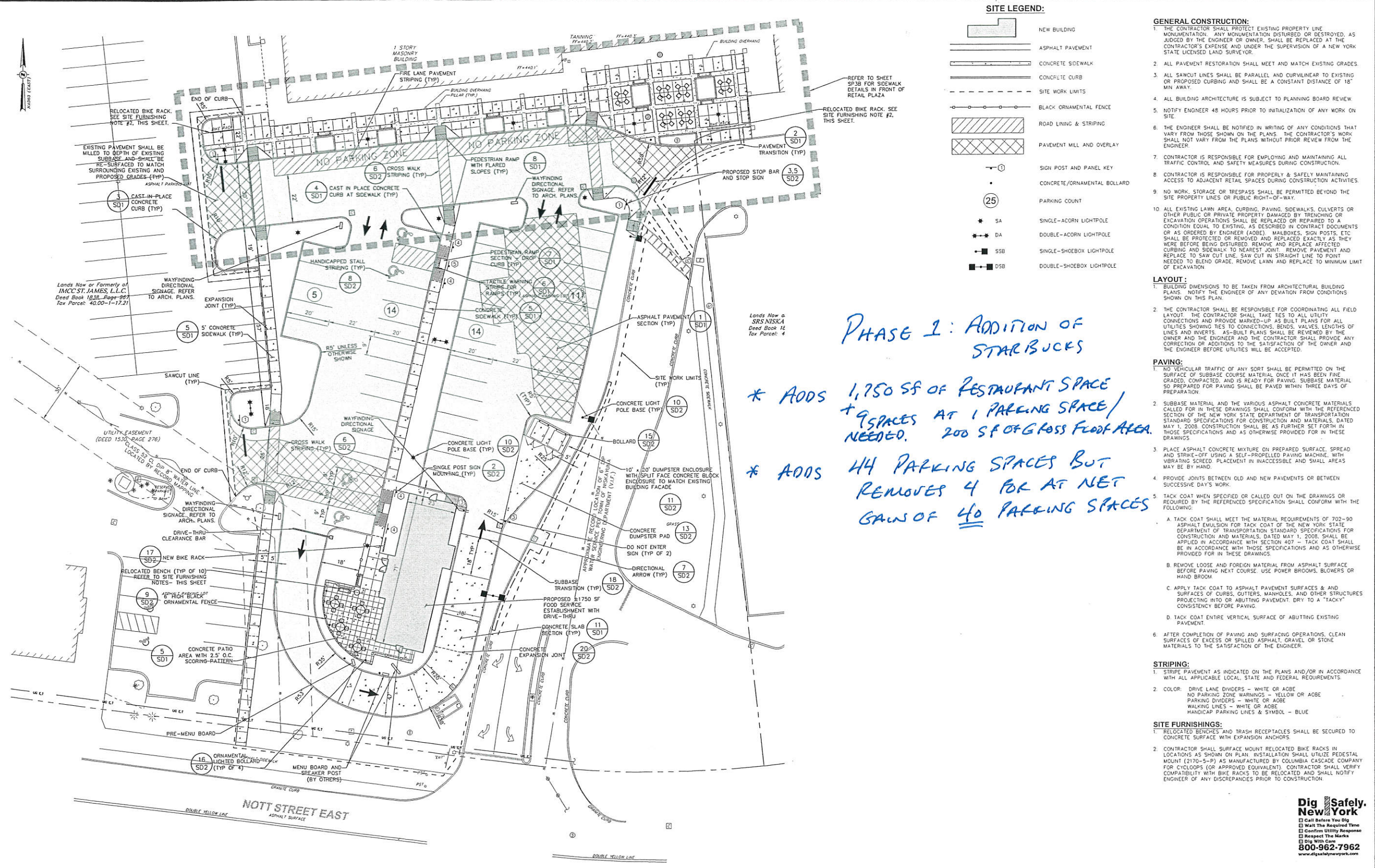


AS-BUILT PLAN

SITE PLAN SURVEY BY:
W.J.ROURKE ASSOCIATES
 Licensed Land Surveyors
 10264 SARATOGA ROAD
 SOUTH GLEN'S FALLS, NEW YORK 12803

SAINT JAMES SQUARE
 PHASE 1
 SITE PLAN
 UTILITY PLAN

Drawn: MITCHELL Scale: 1"=50' Date: 8/1/95
 HAANEN ENGINEERING
 John L. Haanen, P.E. Thomas W. Haanen, P.E.
 QUEENSBURY, NEW YORK 47053-C2



PHASE 1: ADDITION OF STARBUCKS

* ADDS 1,750 SF OF RESTAURANT SPACE
+ 9 SPACES AT 1 PARKING SPACE/
NEEDED. 200 SF OF GROSS FLOOR AREA.

* ADDS 44 PARKING SPACES BUT
REMOVES 4 FOR AT NET
GAIN OF 40 PARKING SPACES

SITE PLAN APPROVAL - NOT FOR CONSTRUCTION

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THE
Chazen
COMPANIES
Engineers/Surveyors
Planners
Environmental Scientists
Landscape Architects

CHAZEN ENGINEERING, LAND SURVEYING
& LANDSCAPE ARCHITECTURE CO., P.C.

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Phone: (845) 454-2880

Capital District Office:
241 Elm Street
Troy, New York 12180
Phone: (518) 273-0025

North Country Office:
100 Gen Street
Glens Falls, New York 12033
Phone: (518) 812-1013

rev.	date	description
1	5/01/13	REVISED PER TOWN COMMENTS

SHOPRITE PLAZA- OUTPARCEL REDEVELOPMENT

SITE PLAN

TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

designed	checked
SJF	PR
date	scale
1/25/13	1"=20'
project no.	sheet no.
31235-00	SP3A

* 45,700 SF OF RETAIL
AT 1 SPACE/225 SF

* NEED 203 SPACES

* HAVE 167 SPACES

* DEALT 36 SPACTS

TEST PIT	SOL DESCRIPTION
TP-1	
0" - 6"	TOPSOIL
6" - 28"	SILT LOAM
28" - 33"	SHALY SILT LOAM
33" - 50"	SHALE BEDROCK
TP-2	
0" - 6"	TOPSOIL
6" - 12"	SILT LOAM, MOTTLED AT 6"
13" - 33"	LOAM
33" - 36"	SHALY LOAM
36" - 42"	SHALE BEDROCK

GENERAL NOTES

- 1) THE EXISTING SHOPPING CENTER, PARKING LOTS AND ENTRANCE DRIVEWAYS ARE TO BE KEPT IN OPERATION DURING CONSTRUCTION. SHORT TERM CLOSURE OF ONE LANE ONLY OF THE ENTRANCE ROAD ADJACENT TO PHASE 2 ARE PERMISSIBLE AS REQUIRED.
- 2) STANDARDS OF REGION 1 NYSOT SHALL BE FOLLOWED FOR MAINTENANCE AND PROTECTION OF TRAFFIC WHEN LANES ARE CLOSED AND WHEN CONSTRUCTION IS IN PROGRESS ADJACENT TO THE FREEWAYS.
- 3) ALL AREAS OF CONSTRUCTION SHALL BE FENCED AT ALL TIMES TO PROTECT THE PUBLIC. THE CONTRACTOR SHALL PROVIDE ALL SIGNS, FLAGMEN, SIGNALS AND SIGNALS TO PROTECT THE PUBLIC FROM CONSTRUCTION ACTIVITIES AND HAZARDS.
- 4) ALL CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL ENTER THE MAIN PORTION OF THE SITE FROM THE REAR ENTRANCE ROADS.
- 5) DURING CONSTRUCTION OF THE NEW SOUTHERN PARKING LOT, EQUIPMENT AND CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT FROM THE SOUTHEASTERN CORNER OF THE EXISTING GRAND UNION PARKING LOT.

MAP REFERENCES:

1. BOUNDARY SURVEY - NOTT STREET EAST
BY C.T. MALE ASSOCIATES, P.C. DATED
7/16/91

LEGEND:

- DENOTES FOUND IRON MARKER
- DENOTES IRON ROD SET WITH CAP
- DENOTES A POINT
- E- DENOTES POWER LINES
- ∞ DENOTES STONE WALL
- X- DENOTES WIRE FENCE
- O- DENOTES CHAIN LINK FENCE
- DENOTES WOOD FENCE
- ③ DENOTES LOT No. AS PER MAP REF. NO. 1

SITE PLAN SURVEY BY:

W.J.ROURKE ASSOCIATES
Licensed Land Surveyors

10264 SARATOGA ROAD
SOUTH GLENS FALLS, NEW YORK 12803



MILLER ASSOCIATES LANDSCAPE ARCHITECTS
37 Chester Street Glens Falls, New York 12801

NACE ENGINEERING, P.C.
37 Chester Street

ST. JAMES SQUARE

PHASE II
SITE PLAN

LAYOUT PLAN

SCALE
1"=40'

DATE	3/13/97
------	---------

JOB No.	
---------	--

DRAWING C-1

per preconstruction meeting.
Revision 4 will be same as this
except for addition of Sewer detail
notes on nitraminates - "wells + 1
paving detail for NSE"

