

**TOWN OF NISKAYUNA**  
***Planning Board and Zoning Commission***  
**Agenda**  
**September 12, 2022**  
**7:00 PM**

**REGULAR AGENDA MEETING**

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
  - 1. August 29, 2022
- IV. PUBLIC HEARINGS**
- V. PRIVILEGE OF THE FLOOR**
- VI. UNFINISHED BUSINESS**
- VII. NEW BUSINESS**

- 1. RESOLUTION: 2022-22: A Resolution for site plan approval for new signage at the Five Below department store at 424 Balltown Rd. – Mohawk Commons.
- 2. RESOLUTION: 2022-23: A Resolution for site plan approval for a tenant change to Volcano Asian BBQ and Hot Pot restaurant at 2309 Nott St. – Shop Rite Plaza - #307 & #308.
- 3. RESOLUTION: 2022-24: A Resolution for site plan approval for a tenant change to Momentive Performance Materials at 2750 Balltown Rd.

**VIII. DISCUSSION ITEM**

- 1. 1502 Balltown Rd. – site plan app. to remodel the existing Stewart's Shop.
- 2. 1515 Hillside Ave. – site plan app. for new signage at Hillcrest Village Apts.
- 3. Empire Dr. – application for a 2 lot minor subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres
- 4. 1747 Union St. – Raizada gas station -- site plan app. for a 492 sq. ft. addition to the existing 1,455 sq. ft. retail and gasoline service station.
- 5. 2209 Nott St. -- The Broken Inn – site plan app. for new outdoor dining area including additional and reconfigured parking
- 6. 2837 Aqueduct Rd. – Rivers Ledge Sr. Center -- site plan app. for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft. commercial space outbuilding.

- IX. REPORTS**
- X. COMMISSION BUSINESS**
- XI. ADJOURNMENT**

**NEXT MEETING: October 3, 2022 at 7 PM**  
**To be Held in the Town Board Room & via Remote Software**

**TOWN OF NISKAYUNA**  
***Planning and Zoning Commission***  
***Hybrid Meeting***  
**Meeting Minutes**  
**August 29, 2022**

**Members Present:**

Kevin Walsh, Chairman  
David D'Arpino  
Mr. Khan  
Chris LaFlamme  
Mike Skrebutenas  
Leslie Gold  
Nancy Strang

**Also Present:**

Laura Robertson, Town Planner  
Robert Hess, Town Attorney  
Clark Henry, Assistant Planner (Virtual)

**I. CALL TO ORDER**

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

**II. ROLL CALL**

Mr. McPartlon and Ms. Shenfield were absent / excused tonight.

**III. MINUTES**

August 8, 2022

Mr. Skrebutenas made a motion to approve the minutes and it was seconded by Mr. D'Arpino. Upon voting, the minutes were approved unanimously.

**IV. PUBLIC HEARINGS****1. Empire Dr. – App. for Approval of Plat Plan – 2-lot subdivision**

Mr. Owen Speulstra from CT Male was present to represent the applicant. He briefly gave a description of the proposed project.

Ms. Theresa Zalinski of 77 Empire Drive stated her concern for possible drainage issues that could result because of this project. Ms. Kimberly Stryker of 69 Empire Drive stated her concerns regarding the minor subdivision. Mr. Rutisurhata Hartana of 73 Empire Drive stated his concern that his builder Marini Builders stated that nothing could be built behind them and it would remain wild. Mr. Scott Stryker of 69 Empire Drive stated his concern for adding 2 more homes in an area he feels is overcrowded. Mr. Zalinski of 77 Empire Drive stated his biggest concern is sewer and water runoff. Mr. Daniel Schmitd of 52 Empire Drive stated he shares the concerns of his neighbors and also that he will lose his view of the woods. Ms. Hartana of 73 Empire Drive stated her concern for losing the natural setting and for possible water issues.



**2. 2239 Van Antwerp Rd. – App. for Approval of Plat Plan – 2-lot subdivision**

Mr. Pat Jarosz was present to represent the applicant. He briefly described the project including the added information requested by the CAC.

There were no comments for this public hearing.

**V. PRIVILEGE OF THE FLOOR**

Ms. Jonai Trumpler wrote an email in support of the proposed outdoor seating at the Broken Inn. She stated it would be a nice addition to the neighborhood. Ms. Paulina Manzo emailed her appreciation for the work done at the CO-OP Shopping Plaza. She stated it is nice to have safe parking and walkability to local shops in Niskayuna.

**VI. UNFINISHED BUSINESS**

No unfinished business today

**VII. NEW BUSINESS****1. RESOLUTION: 2022-19: A Resolution for site plan approval of new signage for Hillcrest Village Apts. at 1515 Hillside Ave.**

Mr. Skrebutenas made a motion for approval of the resolution and it was seconded by Mr. LaFlamme. Chairman Walsh stated he drove past the signs and did not find concerns with them and found it to be minimal impact. Ms. Gold stated she did find concerns with the change of signs. She was concerned with changing the directional signs from east and west to a numeral format and felt the signs were confusing and could cause traffic issues with their readability. Ms. Strang added she believes the applicant could achieve the desired result within the code. Mr. Khan stated he would like to have seen the signs be built within code.

Ms. Lauren Workiser was present virtually to represent the applicant.

Hearing no other questions or comments, Chairman Walsh called for a vote.

Upon voting, the resolution was denied 4-3.

Mr. D'Arpino      NAY

Mr. LaFlamme      AYE

Mr. Skrebutenas      AYE

Mr. Khan      NAY

Ms. Gold      NAY

Ms. Strang      NAY

Chairman Walsh      AYE

**2. RESOLUTION: 2022-20: A Resolution for site plan approval for placing a Chase Bank ATM machine in the ShopRite Plaza parking lot.**

Mr. Khan made a motion to approve the resolution and it was seconded by Mr. LaFlamme.

Ms. Gold stated concern regarding the area for snow removal. Mr. Tom Riley, who was present virtually for the meeting, stated he spoke to the landlord and the snow will be placed elsewhere on the property where it will not disturb the ATM. The Board stated they would like to it to be noted that attention to this detail is important. Ms. Robertson suggested an amended resolution to add a condition that would require a snow plan removal plan be submitted to the Planning Office.

Ms. Gold made a motion to amend the resolution to require a snow removal plan to be submitted to the Planning Office. Mr. LaFlamme seconded the motion. The Board unanimously approved the amendment to the resolution.

Hearing no other questions or comments, Chairman Walsh called for a vote.

Upon voting, the resolution was approved unanimously 7-0.

Mr. D'Arpino      AYE

Mr. LaFlamme      AYE

Mr. Skrebutenas      AYE

Ms. Gold      AYE

Mr. Khan      AYE

Ms. Strang      AYE

Chairman Walsh      AYE

**3. RESOLUTION: 2022-21: A Resolution for site plan approval for Capital Kids Care after school and summer camp within an existing place of worship at the Immanuel Evangelical Lutheran Church at 1850 Union St.**

Mr. Skrebutenas made a motion to approve and it was seconded by Ms. Gold. The applicant thanked Ms. Robertson and Mr. Henry for all the hard work.

Hearing no other questions or comments, Chairman Walsh called for a vote.

Upon voting, the resolution was approved unanimously 7-0.

Mr. D'Arpino      AYE

Mr. LaFlamme      AYE

Mr. Skrebutenas      AYE

Ms. Gold      AYE

Mr. Khan      AYE

Ms. Strang      AYE

Chairman Walsh      AYE

**VIII. DISCUSSION ITEMS****1. Empire Dr. – application for a 2 lot minor subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres**

Chairman Walsh and Ms. Robertson preceded the discussion by stating that land owners have the right to apply to subdivide their land. The Planning Board has the obligation to review the applications that are made to them. Ms. Robertson added that the process of the public hearing legally cannot be done without a SEQR being done which makes the public hearing happen further along in the planning process.

Mr. Owen Speulstra from CT Male was present for the meeting and the applicant Mr. Joralemon attended virtually.

Mr. Speulstra discussed the size of each lot; 2.0 acres for lot #1 and 1.8 acres for lot #2. He stated that makes the lots more than 4x larger than the required size of a lot in this zoning district in Niskayuna. He stated that due to the size of the lots, a stormwater plan is not required.

Chairman Walsh discussed with the applicant the process of limits of clearing and the preservation of marked trees on the property. He reviewed the concerns from the public hearing including run off of water, preservation of wildlife and trees and sewer and water issues. Ms. Robertson stated she will look into the concern regarding the water runoff. They discussed putting in a possible swale to keep water away from the lots off Empire Drive.

Chairman Walsh discussed with the applicant and Board what will be the next step in the process. This included a walkthrough of the property with the Tree Council and further research with Engineering. Mr. Joralemon stated he will look into how much clearing will be needed. The Board questioned whether a lot line adjustment with neighbor's property would trigger a new subdivision application. Mr. Joralemon stated he has no interest in selling any of the subdivision land.

Chairman Walsh noted to the audience that the next meeting will be September 12. He asked Ms. Robertson to see what kind of drainage mitigation was done with the last subdivision on Empire Drive. Ms. Robertson stated she will. Chairman Walsh noted that any questions regarding this subdivision can be emailed to the Planning Department.

**2. 2239 Van Antwerp Rd. – application for a 2 lot minor subdivision of 2.08 acre property into lots of .56 acres and 1.53 acres, respectively**

Mr. Pat Jarosz returned to the podium to discuss the project. He noted that the sewer easement and 25 foot wetland grading buffer are now marked on the plan. Ms. Robertson noted that the tree council has walked this site and they requested any trees of 25 inch be marked on the plat so that they can try to be saved.

Chairman Walsh asked the applicant to note any comments, thanked him for attending and stated that they will be on the next meeting on September 12.

**3. 1747 Union St. – Raizada gas station -- site plan app. for a 492 sq. ft. addition to the existing 1,455 sq. ft. retail and gasoline service station**

Chairman Walsh noted that since the last meeting, the applicant was granted the variance for the 492 sq. foot addition from the ZBA. Mr. Kaufman was in attendance to represent the applicant. Mr. D'Arpino (project lead) gave a brief review of what has been accomplished since the last meeting. This includes the removal of the clothing donation bin; the sidewalks on Van Antwerp have been delineated, and the parking spaces have been marked. Mr. D'Arpino questioned the location of the disabled parking spot. Mr. Kaufman stated it was in ensuring sight circulation and the ability to have space between the cars. The Board noted that the spacing between bollards looked insufficient. They asked Mr. Kaufman to make sure it is correct.

The Board discussed the possibility of changing or limiting a curb cut to help prevent cut-through to Van Antwerp. Mr. D'Arpino asked if the applicant could witness a gas delivery to observe any issues that could occur with the changing of the egress to the station.

Mr. Skrebutenas noted that as the rehab begins, the opportunity to clean up the space will be important. This could include eliminating one door that is not in use and eliminate some of the advertising that clutters the windows.

The Board discussed delineating the curb cuts on Van Antwerp to make it safer for pedestrians to cross the site.

**4. 2209 Nott St. -- The Broken Inn – site plan app. for new outdoor dining area including additional and reconfigured parking**

Mr. Thomas Nicchi was present virtually for the meeting. He stated he is presenting an updated version of the outdoor seating plan and reconfigured parking plan. Chairman Walsh asked for Mr. Nicchi to put the designated seating area with approximate size on the plan. He stated this will be necessary to show for the public hearing and the new application for special use permit for the Town Board. The Board reviewed the existing parking issues and discussed possible improvements that can be made. The Board discussed blocking off the entrance to the basement when deliveries are being done.

Ms. Robertson discussed with Mr. Nicchi the possibility of creating a fog line along the edge of Clifton Park Road. She asked for Mr. Nicchi to have his engineers look to see if it is a possibility. He stated he would.

The Board discussed creating a vegetative buffer with the possibility of some small street trees added in.

Ms. Robertson updated the Board with the final County plans for the area which include paving the parking lot around the building near Clifton Park and Crescent.

Chairman Walsh reviewed the items needed from Mr. Nicchi for the next public hearing. They included parking plan, seating plan and planting plan for the outdoor area.

199  
200 **5. 424 Balltown Rd. - Five Below department store – site plan app. for new signage**  
201

202 Mr. Katz from Saxton Sign was present virtually to discuss the project for the applicant. The  
203 Board reviewed the signage for the building. Mr. Katz stated the reason for the blade signage is  
204 for better visibility for the store since it is set back in the plaza. The Board discussed whether  
205 they felt it is necessary. They discussed having a time limitation for the temporary sign. Mr.  
206 Katz confirmed it would be just for the grand opening. Mr. D’Arpino asked for a visual  
207 comparison of what a compliant size sign and the proposed sign would look like. The applicant  
208 verbally agreed to remove the blade sign from the application.  
209

210 Ms. Robertson recommended a call for a tentative resolution due to only one meeting in  
211 September. The Board agreed.  
212

213 **6. 2837 Aqueduct Rd. -- Rivers Ledge – site plan application for a 66 apartment unit**  
214 **building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft.**  
215 **commercial space outbuilding**  
216

217 Chairman Walsh noted that the applicant was not present but announced that the variance for the  
218 height was approved by the ZBA.  
219

220 **7. 2309 Nott St. (#307 & #308) – Shop Rite Plaza -- site plan app. for a tenant change to**  
221 **combine two spaces into one space for an Asian BBQ restaurant**  
222

223 Ms. Ping was present virtually to discuss the project. She discussed her plan to occupy the  
224 former spaces of Thai Thai Bistro and Smashburger. Ms. Ping stated she will be opening an  
225 Asian BBQ and Hot Pot. The Board stated that because the tenant change is restaurant to  
226 restaurant, most of the issues will be building permit issues that can be worked out within the  
227 Building Department. Chairman Walsh stated they will look at signage but it seems code  
228 compliant. Ms. Ping stated that she does not plan to have outdoor dining. Ms. Robertson noted  
229 to Ms. Ping that due to being on the corner of the building, she will be allowed signage facing  
230 Balltown and facing Nott East.  
231

232 The Board called for a tentative resolution for September 12.  
233

234 **8. 2750 Balltown Rd. – site plan app. for a tenant change from the SI Group to Momentive**  
235 **Performance Materials.**  
236

237 Mr. Bob McQueeney was present to represent Momentive. He stated there are no plans for  
238 internal or external changes at this time. The Board discussed concerns regarding traffic build up  
239 on Balltown Road. Mr. McQueeney stated that he understands the concern but will need to  
240 discuss plans for remedy with Momentive. Ms. Robertson stated the temporary signage is  
241 compliant. Mr. McQueeney pointed out the lighting plan for the Board. Ms. Robertson stated that  
242 only a building permit is need for the temporary sign but the permanent signs will need Board  
243 approval.  
244

**IX. REPORT****1. Planning Department Updates**

Ms. Robertson stated that Kelts Farm is in the process of receiving building permits to begin construction of additional buildings.

**X. COMMISSION OF BUSINESS**

Ms. Gold asked about tenants in CO-OP Plaza posting signs designating parking spaces for their business only. Ms. Robertson stated the parking in front of the CO-OP is not legally owned by any one business and should not be posting signs that say it is. She will follow up with this issue.

**XI. ADJOURNMENT**

Chairman Walsh asked for a motion to adjourn. Mr. Skrebutenas made a motion to adjourn and it was seconded by Mr. Khan. The meeting was adjourned at 10:00 pm.



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 1

MEETING DATE: 9/12/2022

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**ITEM TITLE:** RESOLUTION: 2022-22: A Resolution for site plan approval for new signage at the Five Below department store at 424 Balltown Rd. - Mohawk Commons.

**PROJECT LEAD:** TBD

**APPLICANT:** Darren Katz of Saxton Sign Corp., agent for owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER: ARB

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Darren Katz of Saxton Sign Corp. submitted an Application for Site Plan Review for new permanent façade and temporary advertising signage for the Five Below department store located at 424 Balltown Road. A change in tenant application for the 424 A commercial space was approved by the Planning Board on 6/13/22 with PB Resolution 2022-13 thereby changing the occupancy from Party City to Five Below.

The property falls within the C-S Shopping Center Commercial zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists retail and service stores as a principal use in the C-S district.

**BACKGROUND INFORMATION**

Mr. Katz provided an 8-page drawing set entitled "Five Below, Job #12166, 424 Balltown Rd., Schenectady, NY 12304" by CIMA Network Inc. dated Rev 1 3/15/22.

**Proposed Signs – Permanent**

**Front Elevation – Sign 1**

- Façade frontage = 82 ft.
- Section 220-48.22G(2)(c){3} of the Niskayuna zoning code states that façade signs one square foot of sign area shall be permitted for each linear foot of building frontage. Under no circumstances shall any one sign exceed 50 square feet.
- The ZBA granted a variance of 106.2 sq. ft. for a Party City façade sign measuring 156.2 sq. ft. on 8/28/2003.
- Proposed Sign 1 measures 24' 8 7/8" x 4' 11 3/8" = 122.5 sq. ft. and is therefore acceptable.

#### Front Elevation – Sign 2 – Under Canopy Sign

- Façade frontage = 82 ft.
- Proposed Sign 2 measures 5' x 1' = 5 sq. ft.

Section 220 Attachment 19 Schedule I-F Part 1 C-S and I-R Districts of the Niskayuna zoning code states: for Zoning District C-S Shopping Center Commercial Permitted Signs must comply with zoning code Sections 22-22 and 220-48.

Section 220-48.22 Building features G Signage (2) Standard states: "...These sign requirements shall be a supplement to those standards in Section 220-22. In all cases where there is a conflict, these standards shall take precedence over Section 220-22 standards in the Shopping Center Commercial Zoning District."

Section 220-48.22 Building features G Signage (2) Standard (c) Minimum performance criteria [3] Size states: "...Such façade signs shall be attached only to the building façade, shall not protrude more than one foot from the building façade and shall be single-faced." ***The proposed 5' wide x 1' high "blade" sign on Sheet 5 of the aforementioned drawing set attaches to the underside of a canopy on the façade, protrudes more than 1' from the façade and is double faced. Therefore, a waiver is required.***

Section 220-48.22 Signs G minimum performance criteria (c) Number of signs [9] states: "A maximum of one façade sign per use is permitted, except that a use fronting on two streets may have one sign for each building front..." ***The proposed "blade" sign depicted on Sheets 1 and 5 of the drawing set would be a second façade sign on a single façade. Therefore, a waiver is required.***

Section 220-48.21 (B) of the Code allows the Planning Board and Zoning Commission to waive one or more of the requirements of the standards for Shopping Center Commercial Zoning District.

#### **Proposed Signs – Temporary – Signs 4, 5a, 5b, 6**

##### Front Elevation – Sign 4

- Proposed banner sign measures 15' x 3' = 45 sq. ft.

##### Front Elevation – Sign 5a

- Proposed banner sign measures 20' x 4' = 80 sq. ft.

##### Front Elevation – Sign 5b

- Proposed banner sign measures 20' x 4' = 80 sq. ft.

Section 220-22 Signs A (7) states: Permission must be secured from the Building Inspector to erect any temporary sign for a special event. Each such sign must be removed promptly by the property owner when its purpose has been served, but in no case shall a temporary sign remain on the property for more than 30 days unless further permission has been granted. Such sign shall not exceed 32 square feet in area. There shall be no more than a total of two temporary signs for special events on the property in a calendar year.

***As proposed, there are 3 temporary signs requested to be maintained for 45 days each in a calendar year. Sign 4 measures 15' x 3' (45 sq. ft.) and signs 5a and 5b measure 20' x 4' (80 sq. ft.). Therefore a waiver for 1 additional temporary sign is***



***required, a waiver for 15 additional days per sign is required, and waivers for 13sf, 48 sf and 48 sf of temporary sign area are required respectively.***

8/29/22 Planning Board (PB) meeting – Mr. Katz presented his proposal to the Board. After a discussion he chose to withdraw sign 2 (blade sign) from the proposal. The PB called for a resolution for site plan approval of the remaining sign package at the 9/12/22 meeting.

A revised 8-page drawing set which removed the blade sign, as described above, was submitted with a revision status of Rev 2 8/31/22.

A resolution for site plan approval is included with the meeting packet.

RESOLUTION NO. 2022 – 22

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 12TH DAY OF SEPTEMBER 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE:   ~~KEVIN A. WALSH, CHAIRMAN~~ Recused  
                  GENGHIS KHAN  
                  MICHAEL A. SKREBUTENAS  
                  CHRIS LAFLAMME  
                  PATRICK MCPARTLON  
                  DAVID D'ARPINO  
                  DACI SHENFIELD  
                  LESLIE GOLD  
                  NANCY STRANG

One of the purposes of the meeting was to take action on an Application for Site Plan Review.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Darren Katz of Saxton Signs, agent for the owner, has made an Application for Site Plan Review to the Planning Board for new signage at the Five Below department store located at 424 Balltown Road.

WHEREAS, the zoning classification of the property is C-S: Shopping Center Commercial zoning district, and

WHEREAS, an 8-page drawing set entitled "Five Below, Job #12166, 424 Balltown Rd., Schenectady, NY 12304 created by CIMA Network Inc. and dated Rev 2 8/31/22 was provided with the application.

WHEREAS, 220 Attachment 19 Schedule I-F Part 1 C-S and I-R Districts states: for Zoning District C-S Shopping Center Commercial Permitted Signs must comply with zoning code Sections 22-22 and 220-48, and

WHEREAS, Section 220-48.22 Building features G Signage (2) Standard states: "...These sign requirements shall be a supplement to those standards in Section 220-22. In all

cases where there is a conflict, these standards shall take precedence over Section 220-22 standards in the Shopping Center Commercial Zoning District.”, and

WHEREAS, Section 220-48.21 (B) of the Code allows the Planning Board and Zoning Commission to waive one or more of the requirements of the standards for Shopping Center Commercial Zoning District, and

WHEREAS, Section 220-22 Signs A (7) states: Permission must be secured from the Building Inspector to erect any temporary sign for a special event. Each such sign must be removed promptly by the property owner when its purpose has been served, but in no case shall a temporary sign remain on the property for more than 30 days unless further permission has been granted. Such sign shall not exceed 32 square feet in area. There shall be no more than a total of two temporary signs for special events on the property in a calendar year.

WHEREAS, as proposed, there are 3 temporary signs requested to be maintained for 45 days each in a calendar year (2022). Sign 4 measures 15’ x 3’ (45 sq. ft.) and signs 5a and 5b measure 20’ x 4’ (80 sq. ft.). Therefore a waiver for 1 additional temporary sign in this calendar year is required (2022), a waiver for 15 additional days per sign is required, and waivers for 13sf, 48 sf and 48 sf of sign area are required respectively, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission has determined that the proposed waiver for signs as described above would have a minimum negative effect on aesthetics, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant said waiver to allow for the signage as described on the drawing labeled Sheet 7 of the 8-page drawing set entitled “Five Below, Job #12166, 424 Balltown Rd., Schenectady, NY 12304” by CIMA Network Inc. dated Rev 2 8/31/22, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission finds that the site plan referenced above, meets the requirements of the Zoning Code and hereby approves this site plan amendment.

Upon roll call the foregoing resolution was adopted by the following vote:

~~KEVIN A. WALSH, CHAIRMAN~~ Recused  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS

CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DADI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

The Chairman declared the same \_\_\_\_\_.



# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

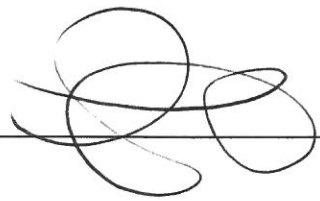
### Applicant (Owner or Agent):

### Location:

Name Saxton Sign Corp Number & Street \_\_\_\_\_  
Address 1320 Rt 9 Section-Block-Lot \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_  
Castleton, NY 12033  
Email DKatz@Saxtonsign.com  
Telephone 518-754-2026 Fax \_\_\_\_\_ Zoning District \_\_\_\_\_

### Proposal Description:

New signage for new Five Below store  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature of applicant:  Date: 8/4/22

Signature of owner (if different from applicant): \_\_\_\_\_

Date: \_\_\_\_\_



August 4, 2022

VIA EMAIL

Five Below, Inc. (#08132)  
701 Market Street, Suite 555  
Philadelphia, PA 19106

Re: Signage Approval  
Mohawk Commons  
Niskayuna, NY

To Whom It May Concern:

Please be advised that the Landlord, G&I IX Empire Mohawk Commons, LLC. is in receipt of your drawings outlining the signage for your business at Mohawk Commons. The Landlord has approved the drawings allowing you to proceed with your work under the following conditions:

- All sign components and mounting hardware are to be of a non-corrosive material or coating.
- All sign electrical components must be UL Listed.
- All work is to be performed by a licensed and insured contractor.
- Tenant will be fully responsible for all permits that may be required for the project.
- All work is to be performed to code and in compliance of all municipal agencies having jurisdiction.
- All areas damaged by sign installation/removal (including areas previously hidden by signage) must be repaired with like materials, to industry standards and match existing colors. Caulking is not to be used for repairs of holes or damaged areas.
- Contractor is to submit Certificate of Insurance naming the following as additional insureds: G&I IX Empire Mohawk Commons, LLC. and DLC Management Corporation before any work commences. Minimum underlying liability insurance is two million dollars and umbrella liability Insurance requirement is five million dollars.
- All notes on your submitted sign proposal are followed.
- The letter will serve as your authorization to apply for a sign permit with Town of Niskayuna.

Thank you for your attention to this matter. Please do not hesitate to contact me should you require further assistance at 716-428-5163.

Sincerely,

A handwritten signature in black ink that reads 'Jeffrey Levy'. The signature is fluid and cursive, with the first name 'Jeffrey' being more prominent than the last name 'Levy'.

Jeffrey Levy

Vice President, Property Management - Northeast  
DLC Management Corporation  
a/a/f G&I IX Empire Mohawk Commons, LLC  
Enclosure: Approved tenant sign proposal

cc: Tenant File

DLC MANAGEMENT CORP.

WWW.DLCMGMT.COM



# five BELOW

Mohawk Commons/Niskayuna - Schenectady, NY  
424 Balltown Rd., Schenectady, NY 12304



## scope of work

PROPOSED SIGNS		Sq Ft	Elect. Req'd	Amps / Voltage	Sign Weight	Special Instructions
<b>FRONT ELEVATION</b>						
1	42" Channel Letters w/ 12.625" Tagline	122.4	Yes	5.5a / 120v	255 lbs	When Required, <b>INSTALLER</b> to provide any cords necessary to install banners. LL to provide Hilti eyebolts for banner installation.
36.4	Temp Banners	N/A	N/A	N/A	-	
		Allowed SF 156.2	Total SF 122.4			
<b>FREESTANDING SIGNS</b>						
2	Tenant Face	18.7	N/A	N/A	-	
5	Post & Panel Temp Sign	N/A	N/A	N/A	165 lbs	

## revisions

REV#	DATE	REVISION NOTES:	BY	SHEET#
1	3.15.22	Update LL, 10' x 10' and 10' x 10' signs	KG	various
2	8.31.22	Remove 10' x 10' signs, 10' x 10' signs, 10' x 10' signs, 10' x 10' signs	KG	various

## symbols key

	120 Volt Junction Box
	Elect Whip: 1/2" O.D. x 6'-0" Lg Greenfield
	LED Power Supply
	Blocking Req'd
	Additional Structure Req'd.
	Special Condition Applies
	Access Panel - Field Cut
	Additional Information Req'd.
	Remove
	Remain As-Is
	Relocate

## drawing approval

Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

☐ Approved ☐ Approved As Noted ☐ Not Approved, Revise As Noted



Cima Network Inc.  
121 New Britain Blvd.  
Chalfont, PA 18914  
office: 267.308.0575  
fax: 267.308.0577  
www.cimanetwork.com

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Client: Five Below  
Designer: KG PM: LL

Job#: 12166  
Address: 424 Balltown Rd., Schenectady, NY 12304

DATE 8.31.22 REVISION 2





## partial elevation

Photo Renderings Are Estimated & May Not Be Accurate. All Proportions, Dimensions And Mounting Details Must Be Verified Via Technical Survey And/Or Architectural Drawings.



Proposed Rendering

### LANDLORD NOTES

#### Facade:

- Withing existing opening, LL to engineer new storefront glass, 10'-6" high, 4'-0" min panel width, & LL to refurbish remaining, existing storefront to like-new condition.
- LL to locate 8' tall storefront doors in the existing door location.
- LL to install walkway lighting, 6'-0" min O.C., with additional door light.
- LL to install decorative sconces per Five Below plans.
- LL to install HILTI eyebolts in facade for temporary banners, see A40 for loc.
- LL to paint existing metal awning to match PMS 285 C.
- Existing curb cut to remain.
- LL to provide unobstructed permanent access to sign mountable/electrical connection area.
- LL to provide electrical to center of all applicable sign mountable areas.

#### Signage:

- Primary Sign: 42" internally illuminated channel letters w/ 12.625" tagline
- Temp Post and Panel: Construction sign placed near entrance
- Pylon Panel: Panel below Pet Smart

#### Finishes by LL:

- Facade: 3" Dryvit 456 Oyster Shell
- Signage EIFS: 1" Dryvit FIBE-101021S (to match PMS 285 C)
- Cornice EIFS: 1" 310 China White
- Pilasters: 2" Dryvit 113 Amarillo White



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Client: Five Below  
Designer: KG PM: LL

Job#: 12166  
Address: 424 Balltown Rd., Schenectady, NY 12304

DATE 8.31.22 REVISION 2





## full elevation

Photo Renderings Are Estimated & May Not Be Accurate. All Proportions, Dimensions And Mounting Details Must Be Verified Via Technical Survey And/Or Architectural Drawings.



Proposed Rendering



Cima Network Inc.  
121 New Britain Blvd.  
Chalfont, PA 18914

office: 267.308.0575  
fax: 267.308.0577  
[www.cimanetwork.com](http://www.cimanetwork.com)

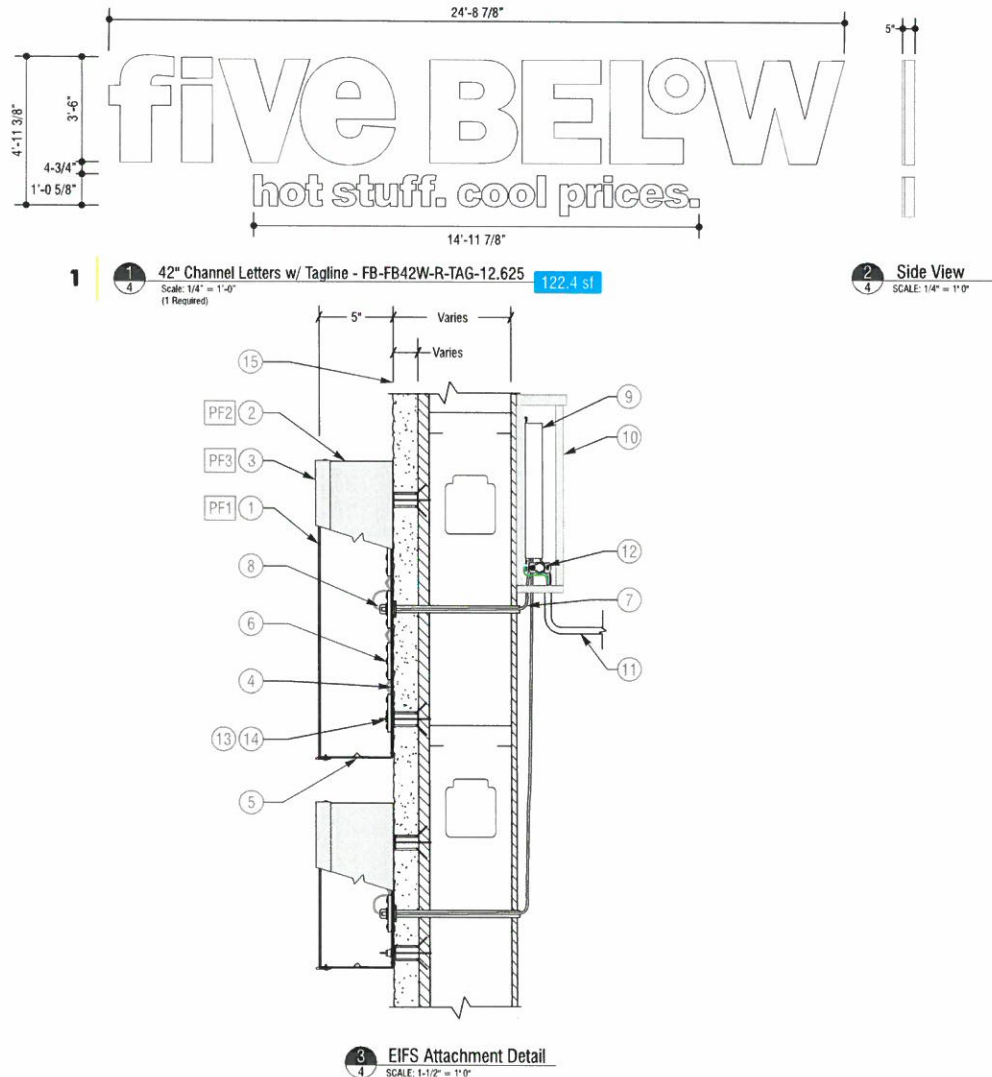
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Client: Five Below  
Designer: KG PM: LL

Job#: 12166  
Address: 424 Balltown Rd., Schenectady, NY 12304

DATE 8.31.22 REVISION 2





## specifications

Exterior Fabricated Face Lit LED Channel Letters w/ Trimcap Mounted To EIFS Wall System

EST WEIGHT: 255 lbs  
EST ELECT LOAD: (5.5) Amps @120 Volt  
ELECT REQUIREMENTS: (5) 20 Amp/120 Volt Circuits

ULTIMATE WIND SPEED: 122 MPH  
NOMINAL WIND SPEED: 109 MPH  
RISK CATEGORY: II (3 Sec Peak Gust MPH)  
WIND IMPORTANCE FACTOR: I= 1  
WIND EXPOSURE: C

### COLORS & FINISHES

Interior Of All Letters To Be Finished White  
PF1 ☐ FACE: #7328 White  
PF2 ☐ RETURNS: Pre-Finished Silver Metallic  
PF3 ☐ TRIM CAP: To Match Returns  
PF4 ☐ BACKS: Pre-Finished White

### SIGN CONSTRUCTION

1. **FACES:** 1/7" Thick Acrylic
2. **RETURNS:** 040" Aluminum Returns Stapled To Backs
3. **TRIM CAP:** 1" Wide w/ #8 x 1/2" Lg Pan Head Screws Painted To Match. Trim Cap Chem Bonded To Faces
4. **BACKS:** 3MM Routed ACM Stapled To Returns. Seal w/ VOC Compliant White Latex Caulk
5. **DRAIN HOLES:** 1/4" Ø With Light Cover, (2) Per Letter.

### ELECTRICAL (SIGN TO BE UL LISTED)

6. **LEDS:** Principal True White Qwik Mod 2 Modules
7. **WIRE:** Secondary Low Voltage Led Wire
8. **PASS THRU:** Paige Wallbuster Or Approved Equal
9. **POWER SUPPLY:** Principal 60 Watt 12VDC Class 2 Power Supply Inside Enclosure.
10. **ENCLOSURE:** Paige Box Or Approved Equal
11. **PRIMARY:** 1/2" Conduit To Disconnect Switch Secure To Wall w/ Straps By Others
12. **SERVICE SWITCH:** Located On Side Of Enclosure

### INSTALLATION HARDWARE

- Threaded Rod Will Be Provided Standard (1ft Per Mounting Point). Pipe Spacers Provided Standard. All Other Hardware Is To Be Provided By Installer As Required.
13. **RIV-NUTS:** 1/4-20. Minimum (3) Per Individual Letter
  14. **HARDWARE:** Minimum 1/4" Ø Non-corrosive Hardware. Minimum (3) Per Individual Letter. Anti-Crush Spacers As Req'd. Cut To Length In Field

### BUILDING & FASCIA CONDITIONS

15. **WALL SURFACE:** EIFS Over Plywood On Metal Studs.

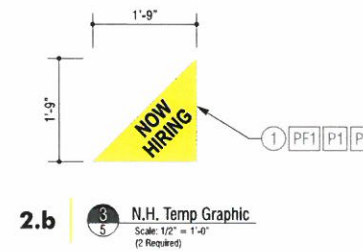
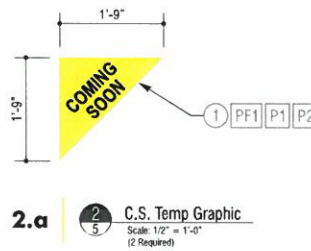
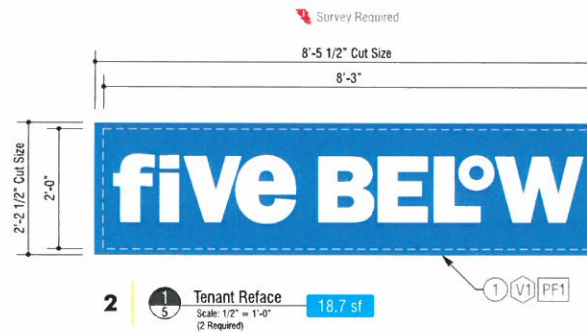
### CHANNEL LETTER INSTALLATION NOTES:

1. Sufficient Primary Dedicated Circuit Within 5' Of Center Of Sign By Others.
2. Final Primary Hook-up By Sign Installer Where Allowed By Local Codes.
3. All Visible Wiring & Conduit To Be Run In Straight Lines & 90° Bends.
4. Seal All Building Penetrations.
5. Mounting Hardware By Sign Installer Unless Otherwise Noted.

## sign 2



Proposed Rendering



## reface specifications

Replacement Faces For Tenant Cabinet

**COLORS & FINISHES**  
PF1 ☐ FACE: White  
V1. ☒ VINYL: 1st Surface 3M 3630-167 Bright Blue

**REFACE CONSTRUCTION**  
1. FACE: 177" Thk White Polycarbonate w/1st Surface Vinyl

## temp graphic specifications

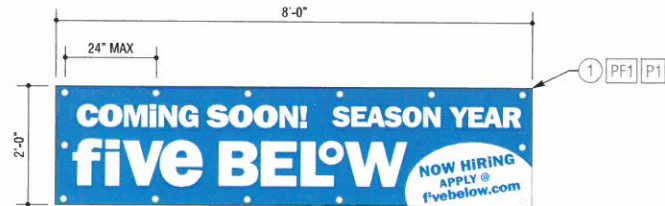
**COLORS & FINISHES**  
PF1 ☐ FILM: Matte White  
P1. ☒ PRINT: Black  
P2. ☒ PRINT: Pantone Yellow C

**TEMP GRAPHIC CONSTRUCTION**  
1. CHANGEABLE FILM: Bridgeline IM3202 Matte White Low Tack Temporary Removable Vinyl

**INSTALLATION INSTRUCTIONS**  
1. Apply To Upper Left Corner Of Face - 2" From Edge Of Face In Each Direction  
2. Apply To Face Before Shipping



## signs 3 & 4



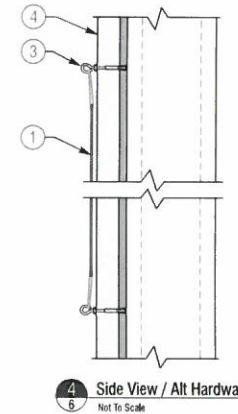
**3** **Coming Soon Banner - Custom Size**  
Scale: 1/2" = 1'-0"  
(1 Required)



**4.a** **Grand Opening Banner - Side A - Custom Size**  
Scale: 1/2" = 1'-0"  
(1 Required)



**4.b** **Now Open - Side B of Grand Opening Banner - Custom Size**  
Scale: 1/2" = 1'-0"  
(1 Required)



**4** **Side View / Alt Hardware**  
Not To Scale

## specifications

### COLORS & FINISHES

PF1: BANNER: Matte White  
P1: PRINT: To Match PMS 285 C

### BANNER CONSTRUCTION

1. BANNER: 15oz Briteline Hemmed & Grommited
2. FONT: "Season Year" & "Month, Day, Year" Franklin Gothic Heavy

### INSTALLATION HARDWARE PROVIDED BY LL

3. TYPICAL HARDWARE: HILTI Eyebolts, Provided By LL
4. ALTERNATIVE HARDWARE: Cord, Provided By Installer, From Grommets To Fasteners, Provided By LL

### BUILDING & FASCIA CONDITIONS

5. WALL SURFACE: Varies / TBD

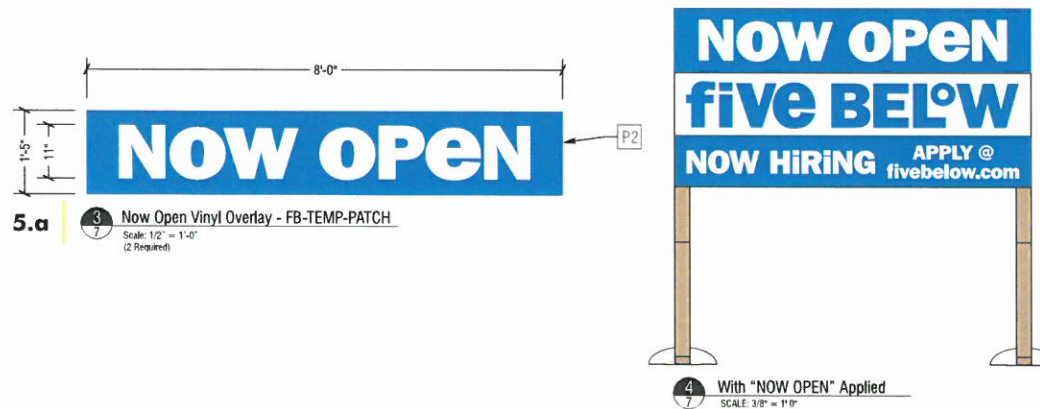
### BANNER INSTALLATION NOTES:

1. Attach Banner to HILTI Eyebolts, Provided By LL, Maximum 24" On Center
2. When Required, Cord, Provided By Installer, From Grommets To Fasteners, Provided By LL, On Fascia Or Rig With Sandbags Or Roof, Etc., Provided By Installer.
3. LL To Provide Special Duration, Size Or Restrictions At Time Of Sign Package Review - Per LL Notes.
4. "Coming Soon" Banner To Be Installed Approximately One Month Prior To Installation Of Wall Signs. Replace w/"Grand Opening" Side Of Double Sided Banner Upon Installation Of Wall Signs. Banner Will Be Flipped Over Day Before The Opening To Read "Now Open" And Will Remain Up An Additional 30 Days.
5. Patch And Repair Fascia Upon Removal Of Banners
6. Seal All Penetrations. (For Eifs, Use Eifs compatible sealant, Dow Corning 790, 791, or 795 At All Penetrations)



**5** **Storefront Elevation - Grand Opening Banner**  
Not To Scale

## sign 5



## specifications

Exterior, Non-Illuminated Post And Panel Temp Sign

EST WEIGHT: 165 lbs

### COLORS & FINISHES

PF1: BANNER: Matte White  
P1: PRINT: To Match PMS 285 C

### SIGN CONSTRUCTION

1. PANEL: 6mm Thick Coroplast w/1st Surface Direct Print
2. POSTS: 4" X 4" Wood Unfinished
3. HORIZONTALS, KICKERS & BASE: 2" X 4" Wood Unfinish
4. HARDWARE: Bolt All Wood Components Together w/ 3/8" Lag Bolts
5. HARDWARE: Screw Coroplast To Wood Structure With Minimum #8 x 1-1/4" Long Non-Corrosive Wood Screws With Fender Washers, Max 24" On Center, Paint To Match Sign Panel
6. SANDBAGS: (4) 50lb Capacity Sandbags Per Sign Provided By CIMA

### ALTERNATIVE INSTALLATION METHOD - DIRECT BURIAL

1. Option For Direct Burial Into Dirt Without Stands/Kickers. No Concrete Required.



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

---

AGENDA ITEM NO. VII. 2

MEETING DATE: 9/12/2022

---

**ITEM TITLE:** RESOLUTION: 2022-23: A Resolution for site plan approval for tenant change to Volcano Asian BBQ and Hot Pot restaurant at 2309 Nott St. – Shop Rite Plaza - #307 & #308.

**PROJECT LEAD:** TBD

**APPLICANT:** Ping Lin

**SUBMITTED BY:** Laura Robertson, Town Planner

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER: ARB

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Ping Lin submitted an Application for Site Plan Review to combine the existing commercial spaces #307 & #308 at 2309 Nott St. into one Asian BBQ and Hot Pot restaurant space.

The property falls within a PDD within the C-N Neighborhood Commercial zoning district.

**BACKGROUND INFORMATION**

Ms. Lin provided a two page drawing set with the site plan application. The drawings were stamped "Received Aug 11 2022 Planning Office Niskayuna, NY" by staff. Page one is entitled "existing floor plan" and includes the current interior walls creating unit #307 and #308. Page two is entitled "Proposed First Floor Plan" and shows the proposed combined space including a floor plan including dining tables, kitchen area, bathrooms, etc.

A dimensionless image of a proposed façade sign was also included with the site plan application and was also stamped as having been received on 8/11/22.

8/29/22 Planning Board (PB) meeting – Ms. Lin presented her proposal to the Board. A Board member asked if she planned to include any outdoor dining. Ms. Lin stated that she has no intention of including an outdoor dining area at this time. The Board called for a resolution for site plan approval for the 9/12/22 PB meeting.

The Planning Department verified with the Engineering Department that there was no objections to the proposal. The Engineering Department is supportive of the restaurant but requested a condition that the applicant work with them on any required grease interceptors for this use.

A resolution is included in the meeting packet.

RESOLUTION NO. 2022 – 23

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 12TH DAY OF SEPTEMBER 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Ping Lin, has made an application to the Planning Board and Zoning Commission for site plan review for a tenant change at 2309 Nott St. (Shop Rite Plaza), Niskayuna, and

WHEREAS, the site plan is shown on a 2-page drawing set that was provided with the application. The drawings were stamped "Received Aug 11 2022 Planning Office Niskayuna, NY" by staff. Page one is entitled "Existing Floor Plan" and includes the current interior walls creating units #307 and #308. Page two is entitled "Proposed First Floor Plan" and shows the proposed combined space including a floor plan containing dining tables, a kitchen area and bathrooms, and

WHEREAS, the zoning classification of the property is a Planned Development District (PDD) within the C-N Neighborhood Commercial zoning district, and

WHEREAS, the new tenant, Volcano Asian BBQ and Hot Pot, qualifies as an allowable use within the PDD for this zoning district, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan and tenant change with the following conditions.

1. Any future proposed new signage will be reviewed by the Planning Board and Zoning Commission.
2. Applicant shall coordinate with the Engineering Department on any grease interceptors that are required in support of the tenant change.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

The Chairman declared the same \_\_\_\_\_.





# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

Name Ping Lin

Address 92 Waverly circle  
Watervliet NY 12189.

Email 31356193@QQ.com

Telephone 518-763-3561 Fax \_\_\_\_\_

### Location:

Number & Street Niskayuna NY 12309  
2309 North st #307 #308.

Section-Block-Lot \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

Zoning District \_\_\_\_\_

### Proposal Description:

Asian BBQ and Hot pot.  
Combine existing two space into one Restaurant  
space.

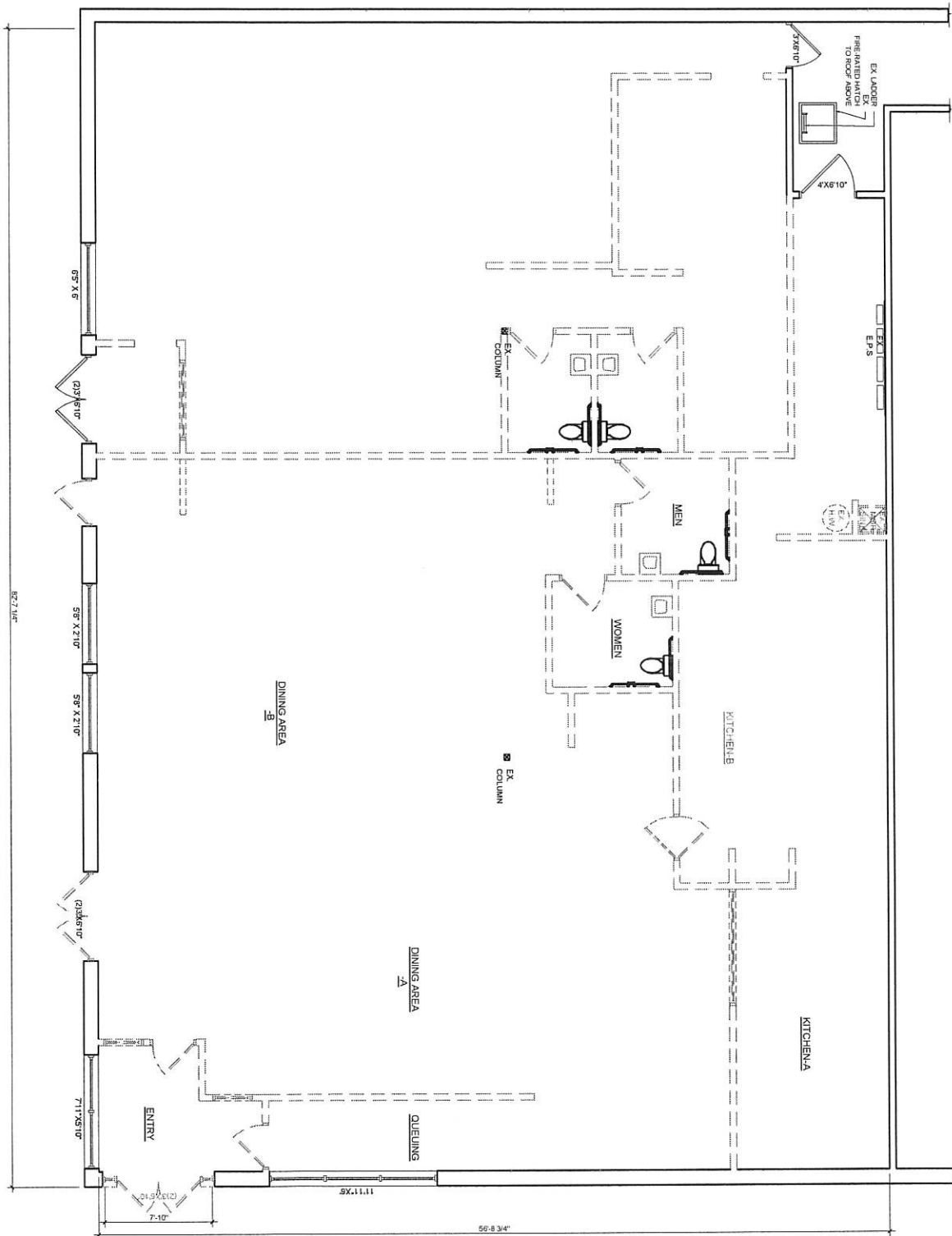
Signature of applicant: Ping Lin Date: 08/11/2022.

Signature of owner (if different from applicant): \_\_\_\_\_

Date: 08/11/2022.

**Each site plan application shall be accompanied by:**

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.



EX FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



3  
A-501

PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

2309 Nott St.





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

---

AGENDA ITEM NO. VII. 3

MEETING DATE: 9/12/2022

---

**ITEM TITLE:** RESOLUTION: 2022-24: A Resolution for site plan approval for a tenant change to Momentive Performance Materials at 2750 Balltown Rd.

**PROJECT LEAD:** TBD

**APPLICANT:** Robert W. McQueeney, agent of the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER: ARB

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Robert W. McQueeney of Momentive Performance Materials submitted an Application for Site Plan Review to transition office operations currently located in Waterford to the approximately 75,000 sf administration building at 2750 Balltown Rd.

The property falls within the I-R Research and Development zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists research, experimental and testing laboratories as permitted principal uses in the I-R district. Therefore, the proposed use is acceptable per Niskayuna zoning code.

**BACKGROUND INFORMATION**

The following documents were included with the application.

1. A 1-page narrative of the Momentive Performance Materials Company Overview
2. A 2-page drawing set entitled as follows.
  - a. Topographic Survey Portion of Lands Now or Formerly Of Schenectady Chemicals, by C.T. Male Associates, P.C., dated Mar 1992 with no subsequent revisions
  - b. Momentive Headquarters Niskayuna, by Momentive Waterford, NY 12188, dated 8/18/22 with no subsequent revisions.

The Proposal Description portion of the site plan application includes the following.

- Momentive would like to begin occupying the buildings on 9/12/22
- At that time approximately 130 employees would be relocating from the Waterford site
- No external or internal modifications are planned (only a new IT system & security system)

- Momentive plans to construct in the future an R&D / Application Development Center on the same location as the R&D activities conducted by the previous owner (SI Group).
- Momentive is currently estimating occupying the R&D portion of the facility during 4Q2024. Once completed the total site population is estimated to be 200 corporate & R&D employees.
- Momentive plans to construct future company signage at the entrance and on the west side of the administration building

8/29/22 Planning Board(PB) meeting – Mr. McQueeney presented Momentive Performance Material's overall plan for the site including the initial step of relocating office operations currently located in Waterford to Balltown Road. A general discussion ensued regarding the traffic on Balltown Road and Mr. McQueeney indicated Momentive would monitor the impact that it was having on their employees and work on solutions as necessary. The Board called for a resolution for site plan approval for the 9/12/22 meeting.

A resolution is included with the meeting packet.

RESOLUTION NO. 2022 - 24

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 12TH DAY OF SEPTEMBER 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Robert W. McQueeney of Momentive Performance Materials, has made an application to the Planning Board and Zoning Commission for site plan review for a tenant change at 2750 Balltown Rd., Niskayuna, and

WHEREAS, the following documents were provided with the Application for Site Plan Review: (1) a 1-page narrative of the Momentive Performance Materials Company Overview was provided with the Application for Site Plan Review, (2) a 2-page drawing set entitled "Topographic Survey Portion of Lands Now or Formerly of Schenectady Chemicals", by C.T. Male Associates, P.C., dated Mar 1992 with no subsequent revisions and "Momentive Headquarters Niskayuna", by Momentive Waterford, NY 12188, dated 8/18/22 with no subsequent revisions, and

WHEREAS, the zoning classification of the property is I-R Research and Development zoning district, and

WHEREAS, the new tenant, Momentive Performance Materials, qualifies as an allowable use for this zoning district, and



WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan and tenant change with the following conditions.

1. The proposed permanent new signage associated with this tenant change shall be reviewed and approved by the Planning Board and Zoning Commission.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

The Chairman declared the same \_\_\_\_\_.



# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

### Location:

Name **Momentive Performance Materials USA LLC** Number & Street **2750 Balltown Road**

Address 260 Hudson River Road  
Waterford, NY

Section-Block-Lot **31.-1-38.1**

Email [robertw.mcqueeney@momentive.com](mailto:robertw.mcqueeney@momentive.com)

Telephone 518-527-5321 Fax N/A

Zoning District **I-R**

### Proposal Description:

Momentive Performance Materials is submitting this application for a tenant change review in connection with its purchase of the above property for use as its corporate headquarters and in the future for research & development.

- Momentive is planning occupation starting September 12, 2022.
- At that time, approximately 130 employees will be relocating from the Waterford offices to Niskayuna.
- Normal business hours will be Monday through Friday (8am – 5pm).
- There are no external or internal physical modifications being made to the ~75,000 SF administration building in connection with the relocation of these employees. Momentive will be installing IT systems, and a building entry security system.
- Momentive plans to install in the future company signage at the entrance and on the West side of the administration building and will follow the process and procedures required by the Town of Niskayuna prior to installation.
- Momentive plans to construct in the future an R&D/Application Development center on the same location as the R&D activities conducted by the previous owner (SI Group). Momentive is currently estimating occupation of the R&D portion of the facility during 4Q 2024. Once completed, total site population is currently estimated to be approximately 200 corporate and R&D employees. Momentive will follow the process and procedures required by the Town of Niskayuna prior to construction.

Signature of applicant: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of owner (if different from applicant): \_\_\_\_\_

Date: \_\_\_\_\_

## **Each site plan application shall be accompanied by:**

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
  - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
  - b. The North point, date and scale.
  - c. Boundaries of the property.
  - d. Existing watercourses and direction of existing and proposed drainage flow.
  - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

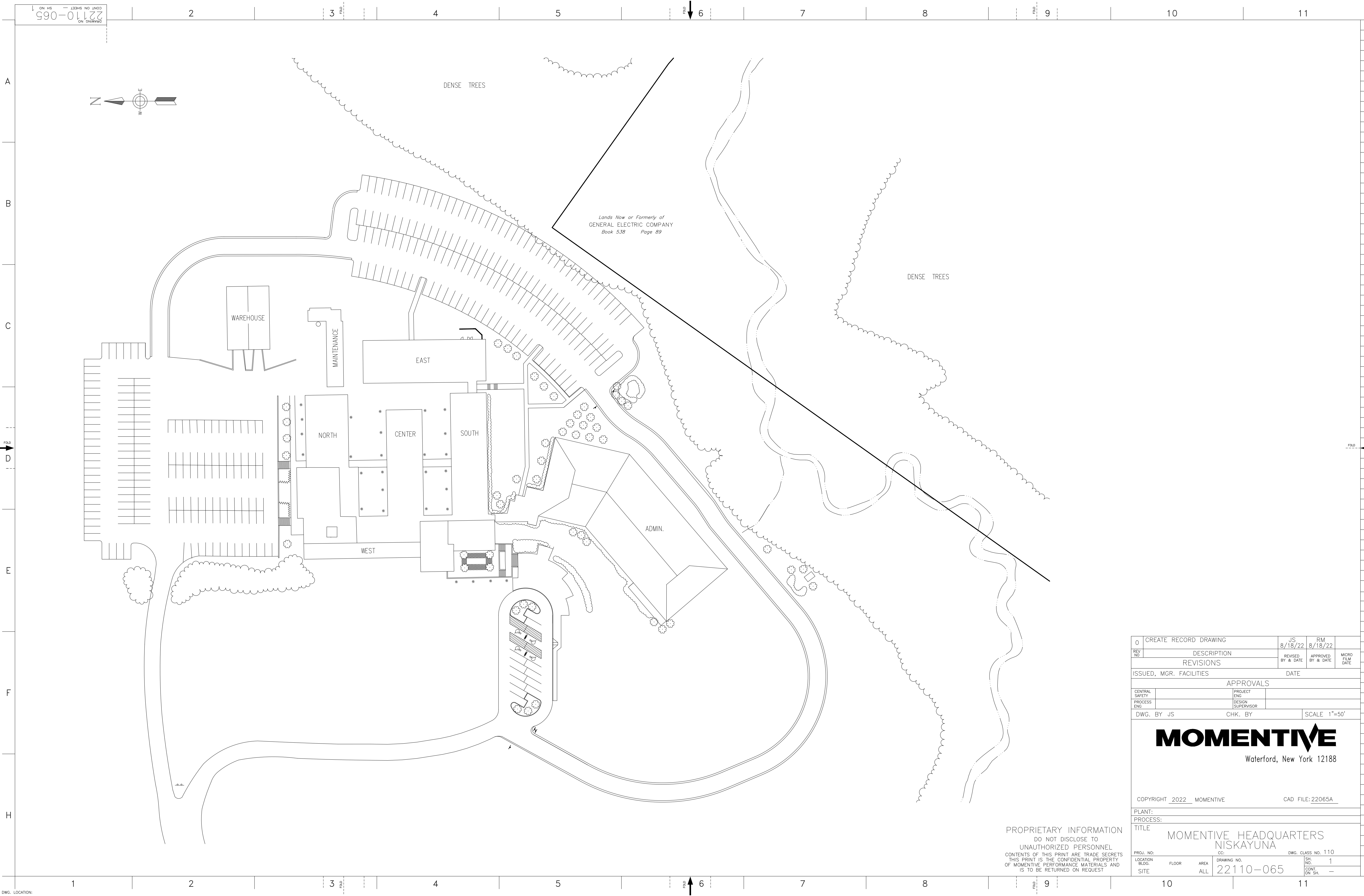
## Company Overview

As a premier global high-performance silicones and specialties company, Momentive creates solutions that improve quality of life for people and enable a more sustainable future. Our products are the result of a tireless pursuit of progress where the sun never sets on our global marketing and R&D efforts, resulting in innovations that help propel our customers' businesses forward and positively impact all aspects of life – today, tomorrow, and into the future.

Our vast product portfolio is made up of advanced silicone and specialty solutions that play an essential role in driving performance across a multitude of industries, including agriculture, automotive, aerospace, electronics, personal care, consumer products, building and construction, as well as specialized industries such as specialty fluids, silanes and additives. At Momentive we pride ourselves on creating **Solutions for a Sustainable World™**. With more than 80+ years of experience in research, development, and production of silicone and specialty materials, Momentive has a historical legacy of commercial first-ever silicone processes and products.

Momentive is a network of more than 40 locations in 20-plus countries around the world. Our locations span from urban to suburban to rural, and we have strong relationships with the diverse local communities surrounding each. This global breadth positions us to serve our diverse customer base of more than 4,000 customers in 100-plus countries. An indirect wholly-owned subsidiary of MOM Holding Company, we are one of the world's largest producers of silicones and silicone derivatives.







Temporary sign until permanent sign is in place

Constructed by ""One Day Sign""

Printing on each side

Illuminated From dusk to ????









# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 1

MEETING DATE: 9/12/2022

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**ITEM TITLE:** DISCUSSION: 1502 Balltown Rd. – Application for Site Plan Review to remodel the existing Stewarts Shop.

**PROJECT LEAD:** TBD

**APPLICANT:** Jennifer Howard, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Jennifer Howard, agent for the owner, submitted an Application for Site Plan Review to remodel the existing Stewarts Shop at 1502 Balltown Rd. The remodeling is to include the installation of new stone veneer and clapboard siding on the building, painting the remaining brick and the installation of a new freezer to the rear of the building.

**BACKGROUND INFORMATION**

The property is located within the C-N Neighborhood Commercial zoning district.

A 1-page site plan drawing entitled "Nott Balltown – 126 – NBTS, 1502 Balltown RD, Niskayuna, NY 12309, T-1, Title Sheet" by Stewart's Shop dated 8/10/22 with no subsequent revisions was provided with the application.

A 1-page site plan drawing entitled "Nott Balltown – 126 – NBTS, 1502 Balltown RD, Niskayuna, NY 12309, S-1, Existing Site Plan " by Stewart's Shop dated 8/2/22 with no subsequent revisions was also provided with the application.

A 1-page site plan drawing entitled "Nott Balltown – 126 – NBTS, 1502 Balltown RD, Niskayuna, NY 12309, S-2, Proposed Site Plan " by Stewart's Shop dated 8/2/22 with no subsequent revisions was also provided with the application.

The applicant is appearing before the Planning Board this evening to introduce the project to them and address any questions that arise. The Planning Board should review the proposed changes to the store and discuss any concerns they have.



# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

### Location:

Name Wayne Green / Claudia Denison Number & Street 1502 Balltown Rd.  
Address 600 South Mountain Rd. Section-Block-Lot 40 - 1 - 18.1  
New City, NY 10956  
Email jhoward@stewartssshops.com  
Telephone 581-1209 Fax 581-1209 Zoning District CN  
84415

### Proposal Description:

add exterior freezer, pave parking lot,  
repair sidewalk, install faux stone  
paint existing EIFS "Cobblestone" color.

Signature of applicant: Jennifer Howard

Date: 8/17/22

Stewart's Shops Corp. PO Box 435 Saratoga Springs  
NY 12866

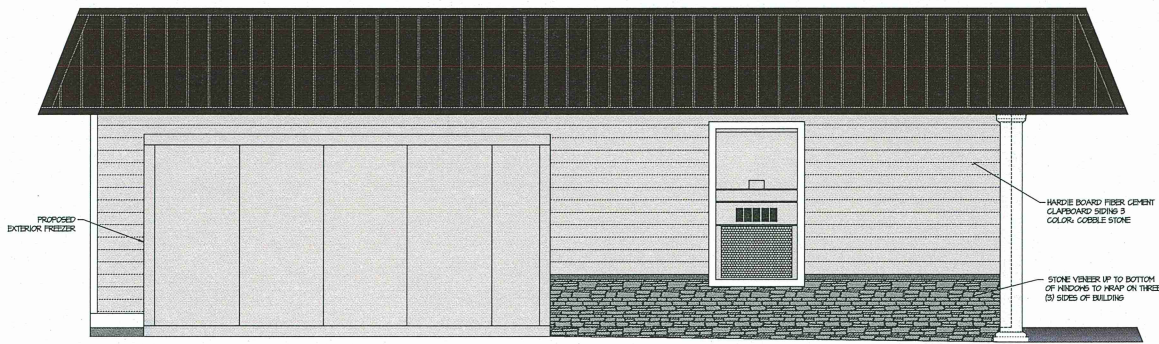
Signature of owner (if different from applicant): per lease agreement

Date: \_\_\_\_\_

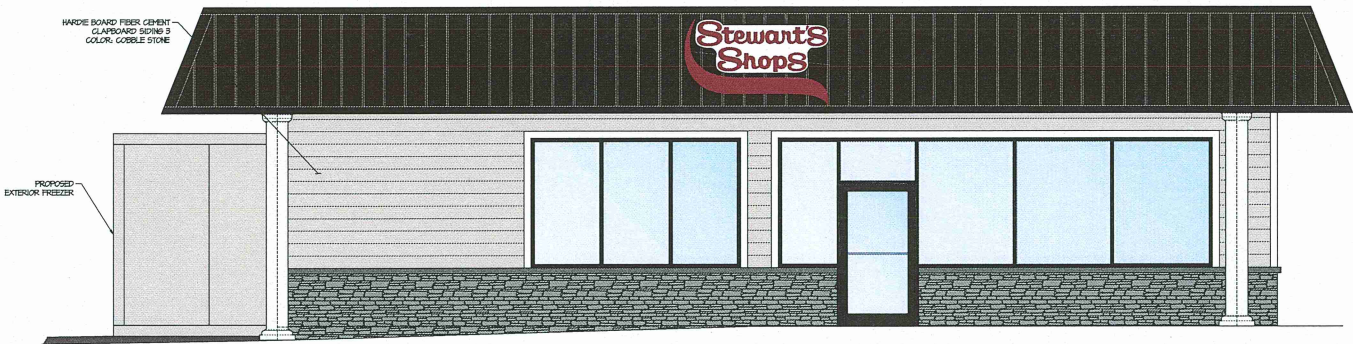


# PROPOSED STEWART'S SHOP ALTERATIONS

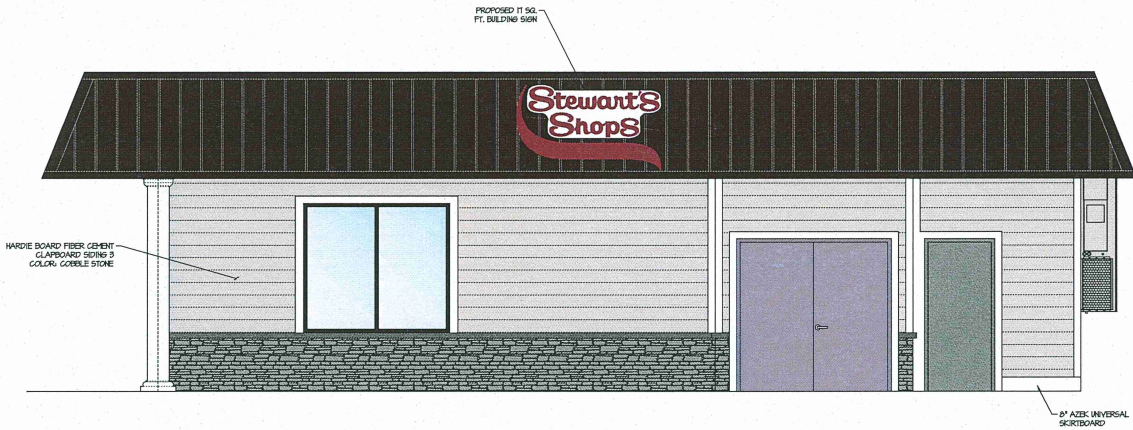
1502 BALLTOWN RD, NISKAYUNA, NY 12309



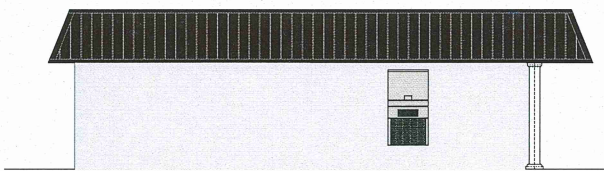
PROPOSED BUILDING ELEVATION, N



PROPOSED BUILDING ELEVATION, W



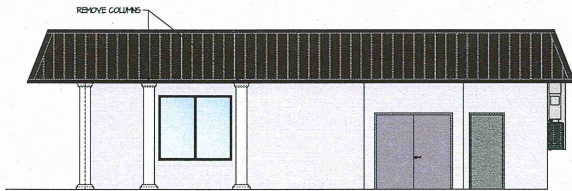
PROPOSED BUILDING ELEVATION, S





PROPOSED BUILDING ELEVATION, N



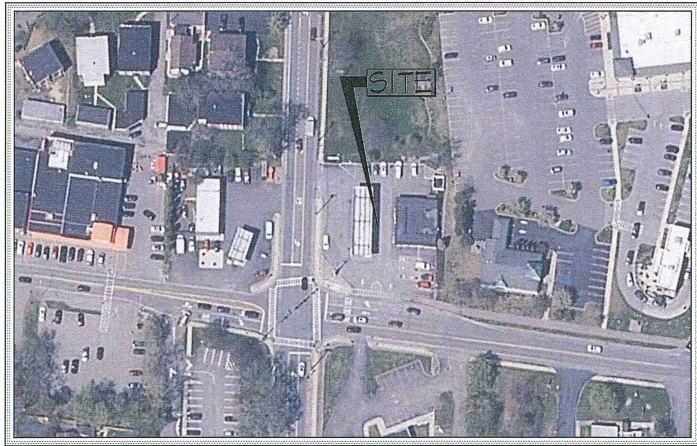
PROPOSED BUILDING ELEVATION, W



PROPOSED BUILDING ELEVATION, S

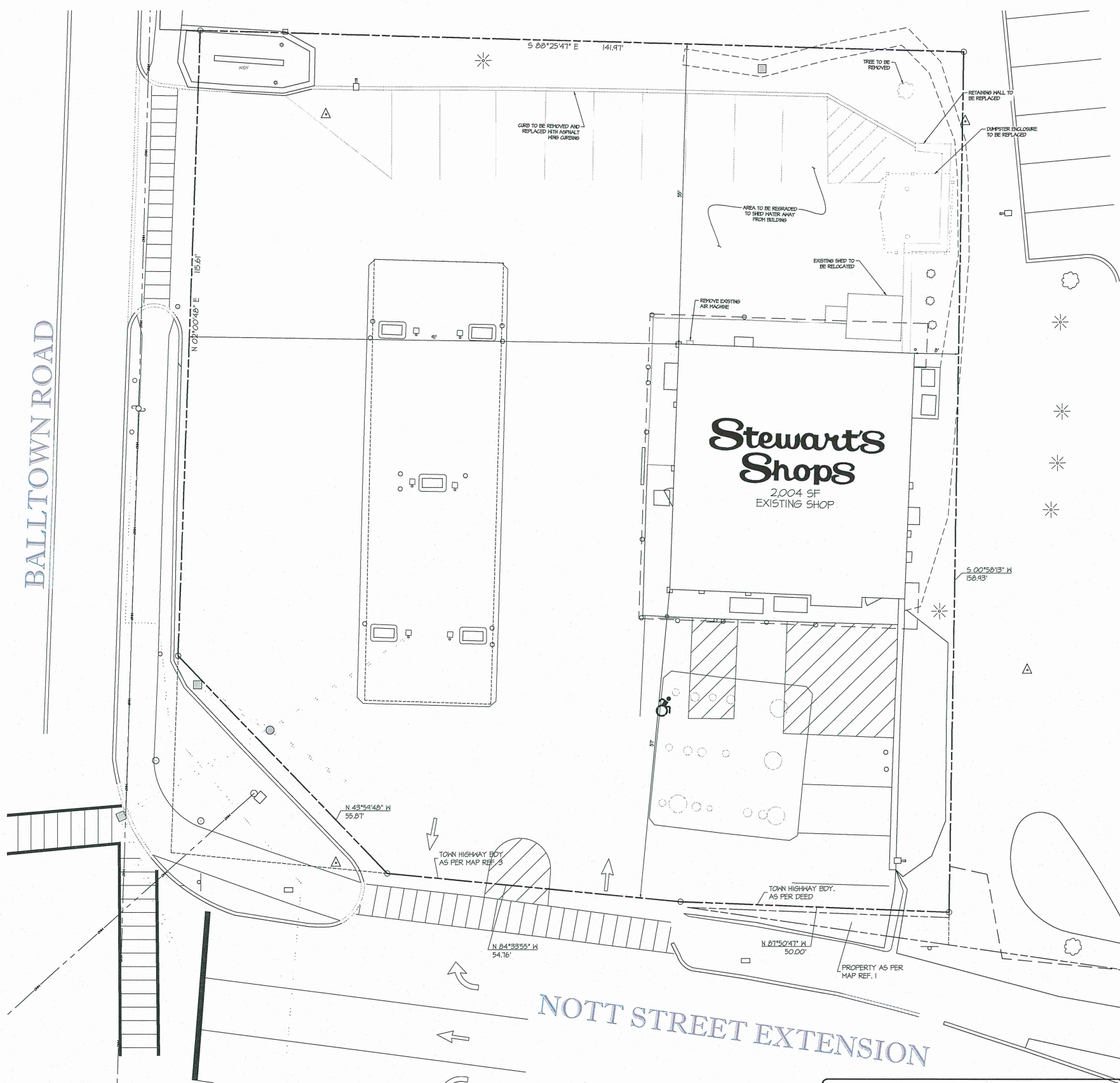
	STORE NAME, ABBREVIATION & NO.		NOTT BALLTOWN - 126 - NBT5	
	SITE LOCATION		1502 BALLTOWN RD, NISKAYUNA, NY 12309	
	DATE	NO.	REVISIONS	
ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW				DRAWN BY: RR
		SARATOGA SPRINGS, NY 12866 TEL: (518) 581-1200 FAX: (518) 581-1204		SCALE: NT5
		TITLE:		DATE: 8/10/22
		TITLE SHEET		DRAWING NO. T-1





SITE LOCATION MAP  
SCALE: N.T.S.

LEGEND	
PROPERTY LINE	---
FIRE HYDRANT	⊙
WATER VALVE	⊕
GAS VALVE	⊕
SEWER MANHOLE	⊙
SEWER CLEANOUT	⊙
CURB INLET	⊕
CATCH BASIN	⊕
GUY WIRE	—○—
UTILITY POLE	⊕
SIGNPOST	⊕
TRAFFIC SIGNAL CONTROL BOX	⊕
POLE LIGHT	⊕
WELL	⊕
BOLLARD	⊕
IRRIGATION SLEEVE	—IR—
OVERHEAD UTILITIES	—CH—
WATER SERVICE, 1" TYPE "K" COPPER	—W—
SEWER SERVICE, 4" SDR 26	—S—
STORM PIPE, PROPOSED, HDPE	—ST—
STORM PIPE, EXISTING	—ST—
STOCKADE FENCE	—SF—
CHAINLINK FENCE	—CF—
SPLITRAIL FENCE	—SF—
W/G ELECTRICAL/TELE SERVICE	—WE—
W/G ELECTRICAL CONDUIT	—UE—
W/G GAS LINE	—G—
W/G CAMERAL CONDUIT	—CA—
DIESEL PRODUCT LINE	—DSL—
SUPER PRODUCT LINE	—SLP—
UNLEADED PRODUCT LINE	—UL—
EXISTING MAJOR CONTOUR	—100—
EXISTING MINOR CONTOUR	—100—
PROPOSED MAJOR CONTOUR	—100—
PROPOSED MINOR CONTOUR	—100—
PROPOSED SPOT ELEVATION	⊕ 100.00
EXISTING UNCHANGED SPOT ELEVATION	⊕ 100.00
NOTES: 1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED. 2. DIMENSION LINES INDICATE NEW WORK. 3. DOTTED LINES INDICATE REMOVED ITEMS.	



TAX PARCEL NUMBER:  
TOWN OF NISKAYUNA, SCHENECTADY COUNTY, NEW YORK SEC. 40.00  
- BLK. 1 - PARCEL 1B)

DEED REFERENCES:  
1. CLAUDIA CAROLYN DENISON, EXECUTOR TO CLAUDIA C. DENISON AND MAYNE H. GREEN, DATED MARCH 2, 2004 AND RECORDED IN THE SCHENECTADY COUNTY CLERK'S OFFICE IN DEED BOOK 1871 AT PAGE 87H.

GENERAL NOTES:  
NORTH IS ORIENTED TO MAP REFERENCE 1.  
VERTICAL DATUM IS NAVD83, ESTABLISHED FROM GPS OBSERVATIONS AT THE TIME OF SURVEY.  
UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 1204, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.  
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.  
SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.  
SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.  
SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.  
SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.  
UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.

MAP REFERENCES:  
1. "SUBDIVISION PLAN PARCEL A ST. JAMES SQUARE" PREPARED BY ABD ENGINEERS & SURVEYORS, DATED AUGUST 20, 2010 AND FILED IN THE SCHENECTADY COUNTY CLERK'S OFFICE AS MAP 14-206.  
2. "NOTT STREET EXTENSION COUNTY ROAD NO. 17B" MAP NO. 2-R-1, PARCEL NOS. 2, 3 & 4 SHEET 1 OF 2, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 1, ALBANY, NY.  
3. "MOHAWK GOLF CLUB-AQUEDUCT, S.H. NO. 18712" MAP NO. 103, PARCEL NO. 121, SHEET 1 OF 2, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 1, ALBANY, NY.

	STORE NAME/ABBREVIATION & NO.	
	NOTT BALLTOWN - 126 - NETS	
	SITE LOCATION	
	1502 BALLTOWN RD, NISKAYUNA, NY 12309	
DATE	NO.	REVISIONS
SARATOGA SPRINGS, NY 12066 TEL: (518) 561-1200 FAX: (518) 561-1204		
DRAWN BY: RR SCALE: 1" = 10' DATE: 8/2/22		
DRAWING NO. S-1		
TITLE: EXISTING SITE PLAN		



LEGEND	
PROPERTY LINE	---
FIRE HYDRANT	
WATER VALVE	
GAS VALVE	
SEWER MANHOLE	
SEWER CLEANOUT	
CURB INLET	
CATCH BASIN	
GUY WIRE	
UTILITY POLE	
SIGNPOST	
TRAFFIC SIGNAL CONTROL BOX	
POLE LIGHT	
WELL	
BOLLARD	
IRRIGATION SLEEVE	
OVERHEAD UTILITIES	--- CHN ---
WATER SERVICE, 1" TYPE K" COPPER	--- W ---
SEWER SERVICE, 4" SDR 26	--- S ---
STORM PIPE, PROPOSED, HDPE	--- ST ---
STORM PIPE, EXISTING	--- ST ---
STOCKADE FENCE	--- F ---
CHAINLINK FENCE	--- F ---
SPLITRAIL FENCE	--- F ---
U/G ELECTRICAL/TELE SERVICE	--- E/UT ---
U/G ELECTRICAL CONDUIT	--- E ---
U/G GAS LINE	--- G ---
U/G CAMERAL CONDUIT	--- CAM ---
DIESEL PRODUCT LINE	--- DSL ---
SUPER PRODUCT LINE	--- SUP ---
UNLEADED PRODUCT LINE	--- UNL ---
EXISTING MAJOR CONTOUR	--- 100 ---
EXISTING MINOR CONTOUR	--- 100 ---
PROPOSED MAJOR CONTOUR	--- 100 ---
PROPOSED MINOR CONTOUR	--- 100 ---
PROPOSED SPOT ELEVATION	100.00
EXISTING UNCHANGED SPOT ELEVATION	100.00
NOTES:	
1. SOME FEATURES IN LEGEND MAY NOT HAVE BEEN USED.	
2. DASHED LINES INDICATE NEW WORK.	
3. DOTTED LINES INDICATE REMOVED ITEMS.	



TOWN OF NISKAYUNA			
SCHENECTADY COUNTY PARCEL #: 40.00-1-18.1			
ZONE: NEIGHBORHOOD COMMERCIAL (C-N)			
USE: RETAIL CONVENIENCE STORES			
	EXISTING	PROPOSED	REQUIRED
LOT AREA	21,645 SF (0.50 AC)	21,645 SF (0.50 AC)	15,000 SF (0.34 AC) MIN.
GREENSPACE	12%	12%	25% MIN.
FRONT BLDG SETBACK (N)	91 FT	91 FT	15 FT MIN.
FRONT BLDG SETBACK (S)	57 FT	57 FT	15 FT MIN.
SIDE BLDG SETBACK (N)	55 FT	48 FT	10 FT MIN.
REAR BLDG SETBACK (E)	0 FT	0 FT	20 FT MIN.
SIGNS (BUILDING) (NOTE 2)	1 @ 17 SF	2 @ 17 SF EACH	50 SF
PARKING SPACES (NOTE 1)	14	13	13
NOTES:			
1. 1 SPACE PER 225 SQUARE FEET OF GROSS FLOOR AREA, BUT NOT FEWER THAN 4 SPACES PLUS 1 SPACE FOR EACH EMPLOYEE, (2,154 SF/225) + 3 EMPLOYEES = 13 SPACES			
2. FOR EACH LINEAR FOOT OF BUILDING FRONTAGE, 1 SQUARE FOOT OF SIGN AREA SHALL BE PERMITTED. UNDER NO CIRCUMSTANCES SHALL ANY 1 SIGN EXCEED 50 SQUARE FEET. 116' FRONTAGE = 116 SF = 30 SF MAX.			
EXISTING SITE USAGE DATA	PROPOSED SITE USAGE DATA		
GREENSPACE	2,555 SF (12%)	GREENSPACE	2,104 SF (12%)
BUILDING	2,004 SF (9%)	BUILDING	2,154 SF (10%)
CONCRETE	3,130 SF (14%)	CONCRETE	3,201 SF (15%)
PAVEMENT/GRAVEL	14,007 SF (65%)	PAVEMENT/GRAVEL	13,636 SF (63%)

ALTERATIONS TO THIS DOCUMENT BY OTHER THAN AN AUTHORIZED LICENSED PROFESSIONAL ENGINEER IS ILLEGAL AND A VIOLATION OF THE NEW YORK STATE EDUCATION LAW

STORE NAME, ABBREVIATION & NO. **NOTT BALLTOWN - 126 - NBT5**

SITE LOCATION **1502 BALLTOWN RD, NISKAYUNA, NY 12309**

DATE	NO.	REVISIONS

SARATOGA SPRINGS, NY 12866  
TEL: (518) 581-1200 FAX: (518) 581-1201

DRAWN BY: RR  
SCALE: 1" = 10'  
DATE: 8/2/22

DRAWING NO. **S-2**

TITLE: **PROPOSED SITE PLAN**



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 9/12/2022

**ITEM TITLE:** DISCUSSION: 1515 Hillside Ave. – Hillcrest Village Apartments -- site plan app. for new signage.

**PROJECT LEAD:** TBD

**APPLICANT:** Richard Crawford, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

**SUMMARY STATEMENT:**

Richard Crawford, agent for the new owners, submitted an Application for Site Plan Review to replace the existing monument sign panels and the addition of several new freestanding directional signs at the 14.43 acre Hillcrest Apartment site at 1515 Hillside Ave.

**BACKGROUND INFORMATION**

The property is located within the R-3 High Density Residential zoning district.

A 2-page survey drawing entitled “ALTA / ACSM Land Title Survey, Lands Now or Formerly of, Hillcrest Apartments, LLC” by C.T. Male Associates dated 4/20/15 (sheet 1) and 4/23/15 (sheet 2) with no subsequent revisions was provided with the application.

A 14-page document entitled “Sign Summary” by Bartush Signs dated 8/18/21 with a most recent revision of 7/20/22 was also provided with the application.

SIGN	Type	Notes
1	Access Point	Code Compliant
2	Directional	<b>Waiver for 8 sf sign area required</b>
3	Access Point	Code Compliant
4	Directional	Code Compliant
5	Directional	<b>Waiver for 4 sf sign area needed</b>
5B	Leasing Sign	To be Removed

**RELEVANT ZONING CODE SECTIONS**

### Schedule I-C Part 2 R-3 District

- Refers to Section 220-26 for sign requirements and regulations for multiple-family dwelling units

### Section 220-22 Signs

### Section 220-26 Multiple-family dwellings

The 14-page document was reviewed against the relevant portions of the zoning code resulting in the following.

#### **Sign 1 – Main ID Sign at Corner**

- Access point sign - replacement
- Replace existing 32sf panels with code conforming panels of the same size

#### **Sign 2 – Secondary Building ID Sign – West**

- Directional sign -- new
- There is currently no existing sign at this entry point to the property
- Section 220-26 J Signs states “....any number of directional signs, each not to exceed four square feet in area and eight feet above average grade, may be permitted.”
- As proposed, the proposed new directional sign measures 12sf. in area and is 6’ high
- *Therefore, a waiver of 8sf of directional sign area is needed*

#### **Sign 3 – Secondary ID Sign – Rosa Road**

- Access point sign – replacement
- Replace existing 13.8sf panels with code conforming panels of the same size

#### **Sign 4 – Leasing Center Directional Sign**

- Directional sign – replacement
- Replace existing 21sf directional sign with a new code conforming 20sf directional sign

#### **Sign 5 – Leasing Center ID Sign**

- Directional sign – replacement
- Replace existing 5.25sf sign with a new 8sf sign
- Section 220-26 J Signs states “....any number of directional signs, each not to exceed four square feet in area and eight feet above average grade, may be permitted.”
- As proposed, the new directional sign measures 8sf in area and is 6’ high
- *Therefore, a waiver of 4sf of directional sign area is needed*

#### **Sign 5B – Leasing Center Wall Sign**

- Wall sign is to be removed and not replaced

8/8/22 Planning Board (PB) meeting – a representative from Hillcrest Apartments presented the proposed new signage images to the PB. He apologized for the fact that the signs were already installed and explained that he was not aware of the need for a permit to replace existing signs. The Planning Office noted that waivers from the Board are required for signs 2 and 5 due to their size. The PB asked the applicant to provide images for code (size) compliant signs for the 8/29/22 PB meeting as a reference. The Board was comfortable enough with the proposed signage as submitted to call for a tentative resolution for the 8/29/22 PB meeting.



The applicant provided a new revision of the Sign Summary documentation package dated 8/22/22 that includes sign images that comply with code. Reference materials supporting the larger signs were also provided. A resolution was been prepared.

8/29/22 Planning Board (PB) meeting – the applicant presented the revised sign package to the Board. The Board expressed concerns that the crowded wording of sign 2 would confuse delivery service drivers and emergency responders. A suggestion was made to identify the buildings as being either west or east. After additional discussion the Board took action on a motion to approve the resolution with waivers for the proposed sign package. The Resolution failed with a vote of 3 ayes and 4 nays.

The applicant has submitted a new simplified design for sign 2. The text on the sign has been changed from “Buildings 10, 20, 30, 40, 50, 60, 70, 80” to “Buildings 10 – 80”.

The applicant also resubmitted the 3' 0" x 2' 8" (8 sq. ft.) version of sign 5. As noted above, zoning code limits the size of directional signs to 4 sq. ft. A narrative document was provided with the resubmitted design package that includes the following points for the Board's consideration.

- The previous approval of this sign was 5.25 sq. ft. in size
- The sign is located in front of the Leasing Center building in an area of low traffic density
- The applicant removed and did not replace a Leasing Center façade sign that measured 10.1 sq. ft. when the 8 sq. ft. version of sign 5 was installed. The applicant notes this resulted in a net decrease in signage of 2.1 sq. ft. of signage.

The applicant is before the Planning Board this evening to present the new simplified version of sign 2 and request reconsideration of sign 5.

## **Hillcrest Village Apartments Sign 2 + Sign 5 Application Narrative Addendum**

### **1. Sign 2**

The copy is revised on Sign 2 so that the Building number listings are simplified and larger, and easier to read.

### **2. Sign 5**

Again the Applicant appreciates the Board's consideration of the minimal size increase for the replacement Sign 5:

- The previous sign was 5.25 SF, not 4 SF
- This sign is located in front of the Leasing Center, in an area of low traffic density
- The Applicant removed a Leasing Center wall sign @ 10.1 SF when the replacement Sign 5 was installed, and did not replace the wall sign in the interests of sign economy, and request some credit for the overall reduction in sign area at the Leasing Center, and not an increase.



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Richard B. Crawford, Esquire PA Attorney ID 38030  
Bartush Signs, Inc., for Morgan Properties et. al.  
302 N Washington Street, Orwigsburg PA 17961

# Hillcrest Village Apartments Sign 2 + Sign 5 Application Narrative

## 1. Introduction

Attached is an updated design file showing side-by-side comparisons for Sign #2 and Sign #5 per the Board's request. The Applicant respectfully requests Board approval to leave the existing signs in place by Waiver as installed, and greatly appreciates the Board's review of this matter.

## 2. Proposed Signs

Sign #2 is shown by comparison, and then in a rendering. The rendering uses a site photo taken from 220'-0", which is the start of the viewing distance a motorist covers after the intersection of Hillside Avenue and Providence Avenue. This distance may be covered in about 5 seconds.

Sign #2 is designed be viewed and read by motorists (visitors, delivery people, First Responders) at a distance. In the interests of traffic safety, the sign needs to be visible and legible from a distance greater than the immediate corner intersection of Hillside Avenue and Randi Road; rather, a motorist needs time to see the sign, read the sign, and execute an appropriate driving maneuver. The current size is based on existing standards for on premise signs, and on similar signs that the Applicant has installed in many communities in New York State.

Since 1998, a significant amount of research has been performed in regard to on-premise signs and traffic safety. Most of the research was conducted at the Pennsylvania Transportation Institute at Penn State (now the Larson Transportation Institute). This research has facilitated the creation of standards for on-premise signs. Many of the standards relevant to this application are contained in Chapter 4 of the following American Planning Association publication (copy provided by email):

*Street Graphics and the Law Fourth Edition*, PAS Report 580, Mandelker, Baker & Crawford (2015)

Note: even if one were to remove the identifying "Hillcrest Village Apartment Homes" message from the smaller 4 SF version of Sign 2 Directional, the remaining message would be too small to be seen and read by a motorist from an adequate distance, because the sign area itself is too small.

In regard to Sign 5, we appreciate the Board's consideration of the minimal size increase between the previous sign (5.25 SF) and the newly installed sign (7.8 SF), and that a Leasing Center wall sign was removed at the same time and not replaced @ 10.1 SF.



---

Richard B. Crawford, Esquire PA Attorney ID 38030  
Bartush Signs, Inc., for Morgan Properties et. al.  
302 N Washington Street, Orwigsburg PA 17961

# MORGAN PROPERTIES MC CONVERSION: HILLCREST



## SIGN SUMMARY

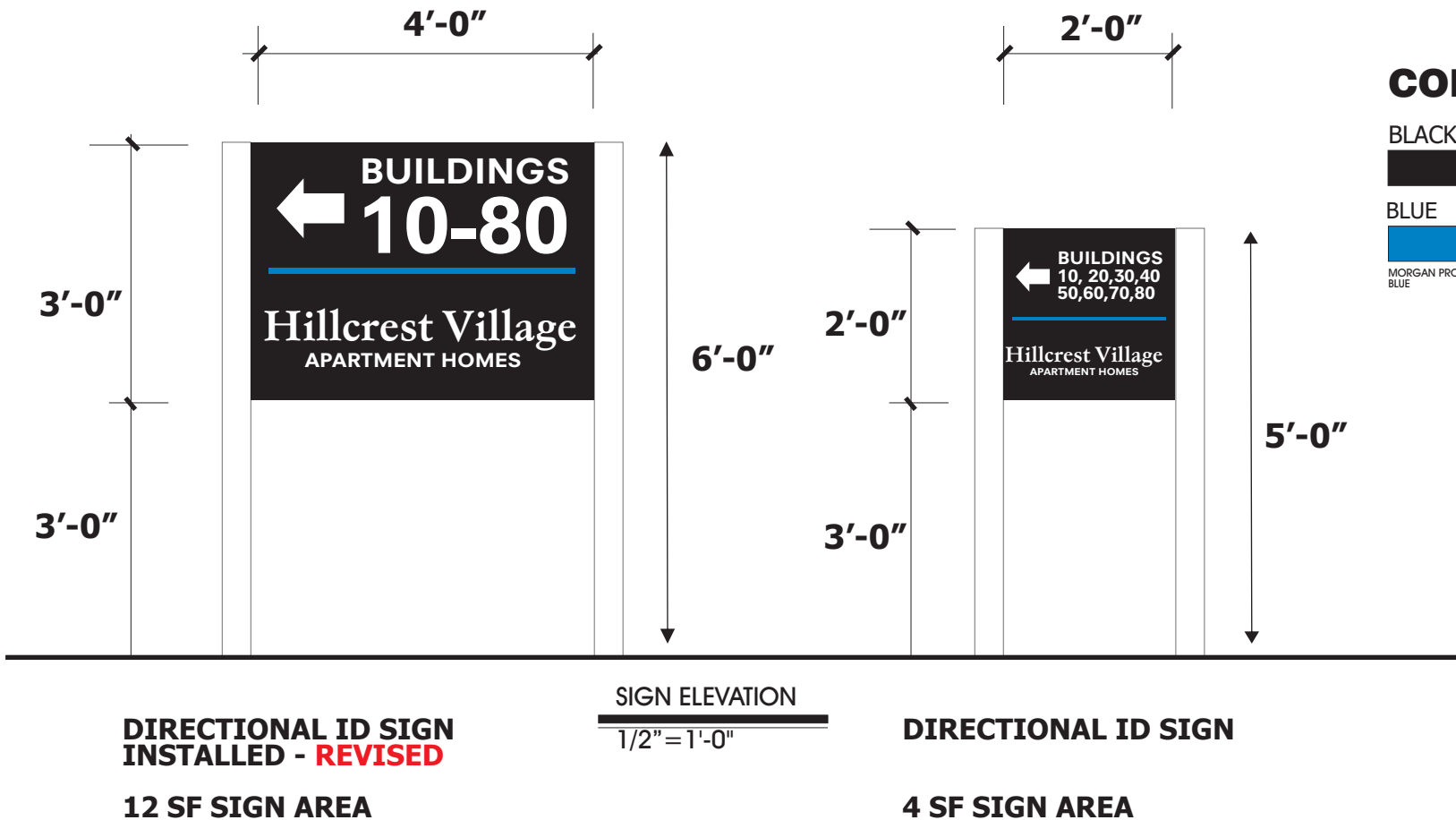
- 1
- 2 NEW SECONDARY ID SIGN
- 3
- 4 LEASING CENTER SIGNS
- 5
- 6
- 7
- 8
- 9
- 10

# SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY



## COLORS FOR SIGN

BLACK



WHITE



GRAY



PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES  
BLUE

SILVER/ALUMINUM



Client:

MORGAN PROPERTIES  
HILLCREST  
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE  
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22  
10-18-21 07-20-22  
08-22-22 09-07-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG#

2

OF

6

**Bartush  
Signs**  
& Crane Service

302 NORTH WASHINGTON ST.  
ORWIGSBURG, PENNSYLVANIA 17961  
PHONE 570-366-2311

E-Mail: [signsetc@bartush.com](mailto:signsetc@bartush.com)  
Web Address: [www.bartush.com](http://www.bartush.com)



# SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)



**DIRECTIONAL ID SIGN  
INSTALLED**

**12 SF SIGN AREA**

**POSTED SPEED 30 MPH  
VIEWER REACTION DISTANCE: 220'-0"  
VIEWER REACTION TIME: 5 SECONDS**

**Client:**  
MORGAN PROPERTIES  
HILLCREST  
APARTMENT HOMES

**Location:**  
1515 HILLSIDE AVENUE  
NISKAYUNA NY 12309

**Date:**  
08-18-21 03-23-22  
10-18-21 07-20-22  
08-22-22 09-07-22

**Dwg. By:**  
RBC

**Dwg No:**  
HAH0818214017

DWG# 3 OF 6

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Web Address: [www.bartush.com](http://www.bartush.com)



# SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)



**DIRECTIONAL ID SIGN**

**4 SF SIGN AREA**

**POSTED SPEED 30 MPH  
VIEWER REACTION DISTANCE: 220'-0"  
VIEWER REACTION TIME: 5 SECONDS**

**Client:**  
MORGAN PROPERTIES  
HILLCREST  
APARTMENT HOMES

**Location:**  
1515 HILLSIDE AVENUE  
NISKAYUNA NY 12309

**Date:**  
08-18-21 03-23-22  
10-18-21 07-20-22  
08-22-22 09-07-22

**Dwg. By:**  
RBC

**Dwg No:**  
HAH0818214017

DWG# 4 OF 6

**Bartush  
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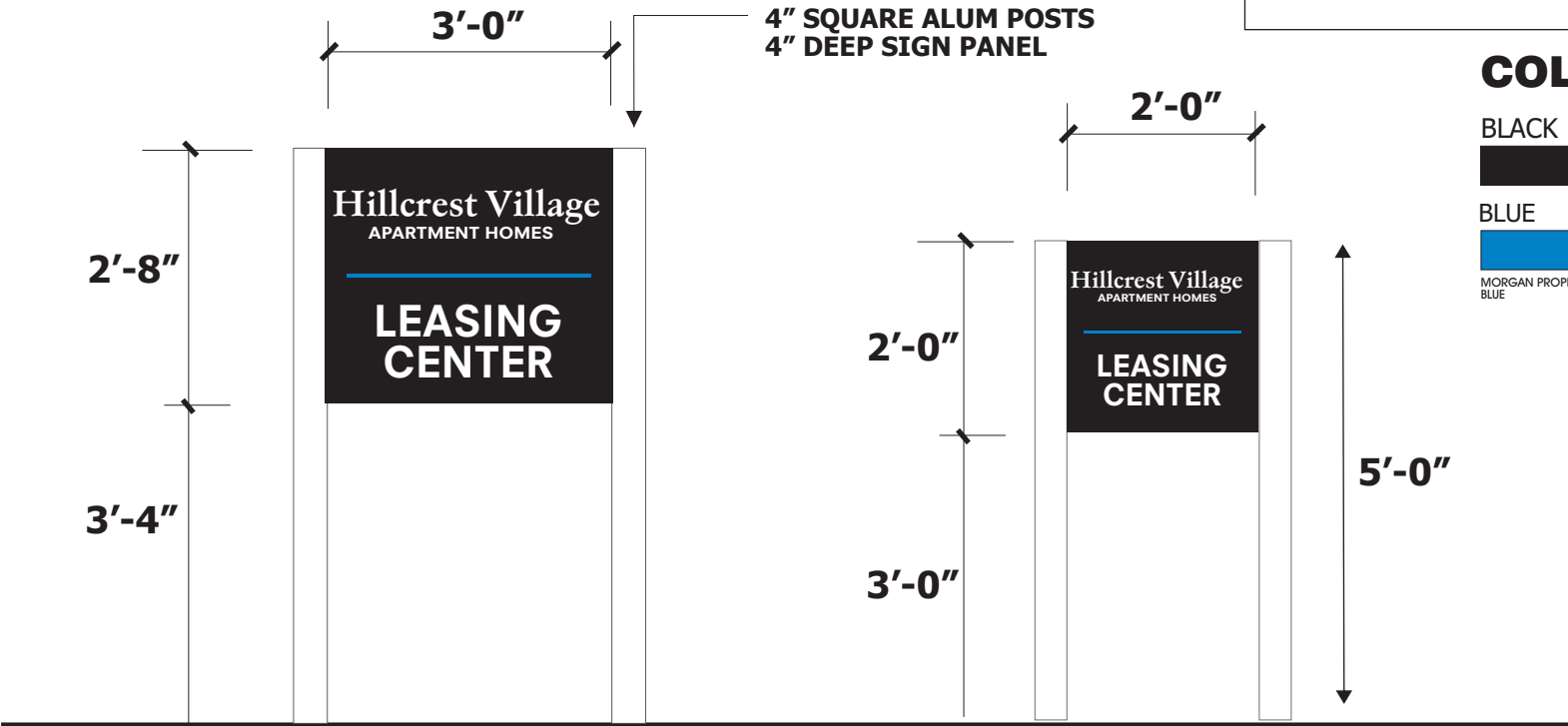
E-Mail: [signsetc@bartush.com](mailto:signsetc@bartush.com)  
Web Address: [www.bartush.com](http://www.bartush.com)

# SIGN 5 - LEASING CENTER ID SIGN

QUANTITY (1)

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY



**LEASING CENTER SIGN  
INSTALLED**

**7.8 SF SIGN AREA**

**LEASING CENTER SIGN**

**4 SF SIGN AREA**

## COLORS FOR SIGN

BLACK	WHITE	GRAY
BLUE	SILVER/ALUMINUM	<small>PMS WARM GRAY 9C</small>
<small>MORGAN PROPERTIES BLUE</small>		

Client:  
MORGAN PROPERTIES  
HILLCREST  
APARTMENT HOMES

Location:  
1515 HILLSIDE AVENUE  
NISKAYUNA NY 12309

Date:  
08-18-21    03-23-22  
10-18-21    07-20-22  
08-22-22    09-07-22

Dwg. By:  
RBC

Dwg No:  
HAH0818214017

DWG# 5 OF 6



**PREVIOUS SIGN = 5.25 SF**

**Bartush  
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& Crane Service

302 NORTH WASHINGTON ST.  
ORWIGSBURG, PENNSYLVANIA 17961  
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E-Mail: [signsetc@bartush.com](mailto:signsetc@bartush.com)  
Web Address: [www.bartush.com](http://www.bartush.com)



## SIGN 5B - LEASING CENTER WALL SIGN

QUANTITY (1)



**THIS SIGN REMOVED  
= 10.1 SF**

**Client:**

MORGAN PROPERTIES  
HILLCREST  
APARTMENT HOMES

**Location:**

1515 HILLSIDE AVENUE  
NISKAYUNA NY 12309

**Date:**

08-18-21	03-23-22
10-18-21	07-20-22
08-22-22	09-07-22

**Dwg. By:**

RBC

**Dwg No:**

HAH0818214017

DWG#

6

OF

6

**Bartush  
Signs**  
& Crane Service

302 NORTH WASHINGTON ST.  
ORWIGSBURG, PENNSYLVANIA 17961  
PHONE 570-366-2311

E-Mail: [signsetc@bartush.com](mailto:signsetc@bartush.com)  
Web Address: [www.bartush.com](http://www.bartush.com)

**LEASING CENTER  
SIGN AS INSTALLED**





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 9/12/2022

**ITEM TITLE:** DISCUSSION: Empire Dr. – Application for a 2-lot minor subdivision of tax map parcel 61.-1.33.2 into two separate lots of 1.83 and 2.0 acres.

**PROJECT LEAD:** TBD

**APPLICANT:** Robert Joralemon

**SUBMITTED BY:** Laura Robertson, Town Planner

**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

**SUMMARY STATEMENT:**

Robert Joralemon, property owner, submitted an sketch plan application for a minor 2-lot subdivision of the property at tax map parcel 61.0-1-33.2, creating two separate lots of 1.83 and 2.0 acres, respectively.

**BACKGROUND INFORMATION**

Tax map parcel 61.0-1-33.2 is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled “Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated 6/30/22 with no further revisions was provided with the application. Lot lines demarcating “Lot 1 Area = 1.83 Acres” and “Lot 2 Area = 2.0 Acres” are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
<b>Single-family dwelling</b>	<b>18,000</b>	<b>100</b>	<b>125</b>	<b>35</b>	<b>40</b>	<b>25</b>
Lot 1	79,715	≈300	≈200	≈70	≈50 / ≈250	≈75
Lot 2	87,120	≈570	≈200	≈70	≈50 / ≈450	≈75

The original sketch plan drawing proposed two parallel contiguous driveways exiting from the stub off of Empire Drive running along the shared side property line of the two lots. Each driveway included a 20' wide turnaround at their intersection with the stub street so that snowplows would be able to turnaround.

7/11/22 Planning Board (PB) meeting – The property owner, Robert Joralemon, and Frank Palumbo of CT Male Associates presented the project to the PB. The PB did not like the proposal to have the Town snowplows turn around on the private driveways of the proposed subdivision. The PB asked for two alternate site plan drawings to be prepared. One version will include a traditional cul-de-sac at the end of the existing stub road. The second version will include a smaller “bulb” end to the existing stub road. The drawings were provided and are included in the packet for the meeting this evening.

7/25/22 Planning Board (PB) meeting – Mr. Joralemon and Mr. Palumbo presented two new site plan drawings that depicted the layouts that were requested by the PB at the 7/11/22 meeting. The PB preferred the second version of the two plans. It is entitled “Sketch Plan-Alt 2, 2 Lot Minor Subdivision, Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated June 30, 2022 with no subsequent revisions. The site plan includes small snow storage areas along each side of the stub road that intersects Empire Drive. Two completely independent driveways for the proposed two lots connect to a small semi-circular bulbous end of the stub road. Ms. Robertson noted that the Highway Superintendent preferred this version. The PB agreed on the following action items.

1. The PB to call for a public hearing (PH) at the 8/8/22 PB meeting (PH to be held on 8/29/22)
2. PB to make a SEQR determination at their 8/8/22 meeting
3. PB to take action on a resolution for sketch plan approval at their 8/8/22 meeting
4. Resolution to include the requirement that a sign stating “End of Public Road” be placed at the end of the stub road.

7/29/2022 Complete Streets Committee – Explore an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School in case of future development.

8/3/22 Conservation Advisory Council (CAC) meeting – the CAC reviewed the project at their regularly scheduled meeting on 8/3/22 and voted unanimously in favor of making a recommendation to the PB to make a negative SEQR declaration with the following recommendations.

1. Require an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School.
2. Keep the limits of clearing as small as possible so that as many mature trees as possible may be preserved.

8/8/22 Planning Board (PB) meeting – Resolution 2022-17 was approved granting approval of the sketch plan, calling for a public hearing to be held at the 8/29/22 PB meeting and directing the Town Planner to file a Negative SEQR declaration with the following 2 conditions.

1. An easement for a potential future multi-use path is to be included in the site plan drawing
2. Limits of clearing are to be kept as small as possible & as many mature trees as possible are to be preserved.

After additional discussion the PB decided the best location for the easement would be along property line near and parallel to Empire Drive. The PB also requested that the following information be added to the site plan drawing.

1. Show the limits of clearing
2. Include a numerical value for the amount of disturbed land for each lot

Mr. Joralemon provided a revised site plan drawing dated 8/10/22 that includes the requested information. The easement provided is 8 feet however and should be a minimum of 12 feet (2 feet on each side of path for construction and maintenance).

8/29/22 Planning Board (PB) meeting – A public hearing regarding the proposed subdivision was held at the 8/29/22 PB meeting. Approximately six neighbors chose to be heard at the hearing. Concerns were expressed regarding water and drainage and the interruption of a currently forested view. The project was also reviewed during this discussion portion of the meeting. The applicant presented the revised site plan that included the addition of limits of clearing and disturbance, an added multi-use path easement and turn arounds on the driveways. Drainage and water flow from the property were discussed. The PB requested additional information for the 9/12/22 PB meeting all of which has been provided.

The applicant provided a new revision of the site plan drawing that contains the following.

- Revised limit of anticipated clearing
- Revised multi-use path easement
- Added grading showing a grassed swale to direct storm water away from Empire Drive
- Added a chart comparing the proposed two lot sizes to adjacent lot sizes
- Added 25' wetland buffer to plans
- Added a second sheet to the drawing to show drainage area and direction

The Planning Department has also recently reached out to the Town of Colonie Planning Department and has also discussed drainage and wetland concerns with the DEC.

An adjacent resident, Mr, Woolley, requested two emails be sent to the Planning Board which were forwarded to the Board September 9. The concerns detailed in the comments include:

1. Drainage. The adjacent residents are submitting documentation for drainage issues adjacent to the subdivision proposal
2. The adjacent residents are requesting an in-depth storm water review
3. The adjacent residents are requesting a review of the adjacent land conservation areas to see if they should extend into this subdivision
4. The adjacent residents are concerned about noise and water issues

The revisions to the subdivision proposal should be discussed at the meeting tonight. The Town was able to verify the adjacent land conservation areas (attached to this agenda statement) but is still looking for the adjacent subdivision's drainage report.

# C.T. MALE ASSOCIATES

Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.

50 Century Hill Drive, Latham, NY 12110  
518.786.7400 FAX 518.786.7299 www.ctmale.com



September 6, 2022

Laura Robertson, Town Planner  
Planning Department  
Niskayuna Town Hall  
One Niskayuna Circle  
Niskayuna, New York 12309

RE: *Joralemon 2-Lot Minor Subdivision*  
*Sketch Plan Submission*  
*C.T. Male Project No: 04.9065*

Dear Ms. Robertson:

On behalf of the Applicant, Robert Joralemon, we respectfully request that the above referenced be scheduled for consideration by the Planning Board for your information and distribution.

We are providing the following revised plan as discussed during the August 29 Planning Board meeting.

1. One (1) full size copy for 2-Lot Minor Subdivision Layout Plan

The following revisions have been made to the plan

- Revised limit of anticipated clearing.
- Revised multi-path easement.
- Added grading showing a grassed swale to direct storm water away from Empire Drive.
- Added chart to bottom of the first sheet showing adjacent lots areas and impervious compared to the proposed lots.
- 25' wetland buffer is now shown on the plans.
- Added second sheet to show drainage areas & direction.

Please see the below comments and responses in italics to the items discussed at the August 29 Planning Board public hearing.

- Adjacent property owners indicated that there are existing stormwater drainage issues in the area. **Response:** *The applicant did not cause the existing drainage issues as this site is vacant and forested. Most of the property currently drains to the west property line. A portion drains toward a natural swale at the rear common corner of the Parcels 61.15-2-19 and 61.15-2-18. This area is not proposed to be developed/disturbed. Another small portion drains to the stub road and ultimately to Parcel 61.15-2-21. The proposed plan has been revised to direct stormwater away from this area and towards the west of the parcel. A second sheet has been added to show the existing drainage patterns.*

# C.T. MALE ASSOCIATES

September 6, 2022

Laura Robertson

Page - 2

- The adjacent property owners indicated that the proposed lots are small, and the proposal is too much for the property. **Response:** *Proposed lots are between 4 to 5 times larger than the minimum lot area in the R-1 district. A chart has been added showing the proposed lots compared to the surrounding lots.*
- A record map from the Paulson Subdivision showed a Land Preservation Area on parcel Parcels 61.15-2-19. **Response:** *The Wetland/Environmental Consultant that walked the site and delineated the wetlands at the west side of the site also walk this area and indicated that they did not find wetlands on the Joralemon parcel in this area.*

We look forward to meeting with the Planning Board at their September 12, 2022 meeting.

Please let us know if you need any additional information or copies. I can be reached at [o.speulstra@ctmale.com](mailto:o.speulstra@ctmale.com).

Respectfully submitted,

**C.T. MALE ASSOCIATES**

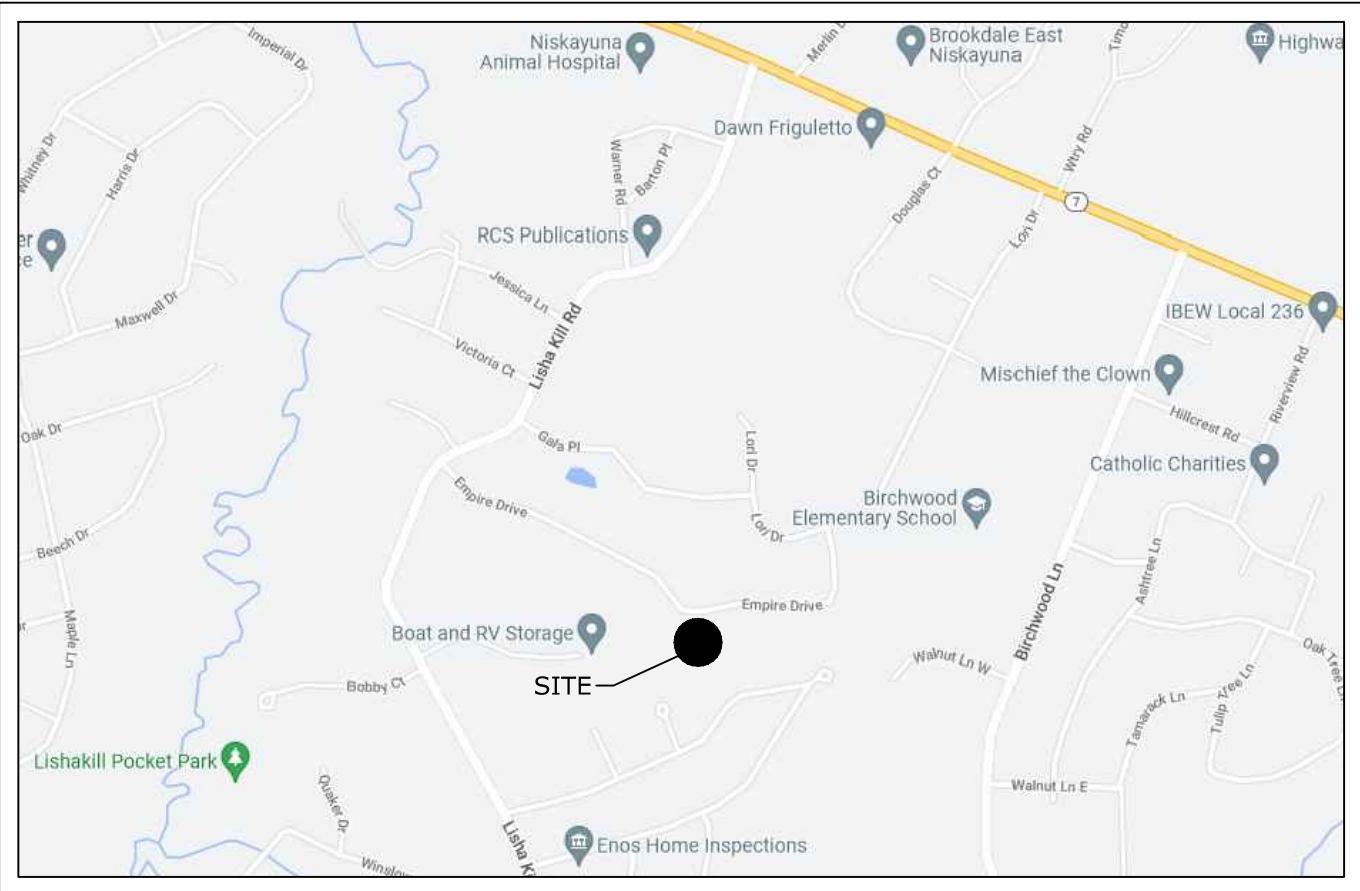
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.



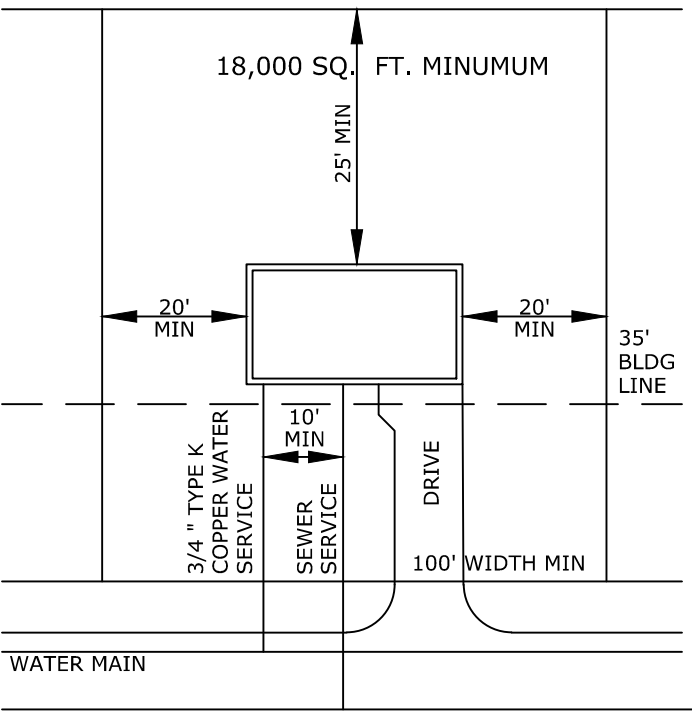
Owen K. Speulstra, PE  
Senior Site Civil Engineer

c: Robert Joralemon (w/copies)





SITE LOCATION PLAN  
N.T.S.



R-1 ZONING  
TYPICAL HOUSE UTILITY LAYOUT  
(NOT TO SCALE)

GENERAL NOTES:

1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
2. ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. INSOFAR AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
5. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

1. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS, WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

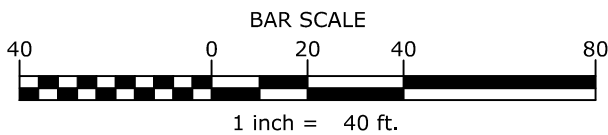
1. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
2. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
3. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
4. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

1. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

LOT AREA AND IMPERVIOUS COVERAGE

	LOT AREA	IMPERVIOUS COVERAGE
NISKAYUNA ADJACENT LOTS	0.42 - 0.67 ±ACRES	15% - 25%
COLONIE ADJACENT LOTS	0.26 - 0.75 ±ACRES	15% - 25%
JORALEMON PROPOSED LOTS	1.83 - 2.00 ±ACRES	5.6% & 6%



ZONING DATA:

ZONE: R-1  
MIN. LOT AREA: 18,000 SF  
MIN. LOT WIDTH: 100 FEET

YARD REQUIREMENTS:

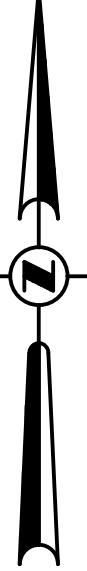
FRONT SETBACK MINIMUM: 35 FEET  
SIDE SETBACK MINIMUM: 20 FEET (40 FEET BOTH)  
REAR SETBACK MINIMUM: 25 FEET

MAP REFERENCE:

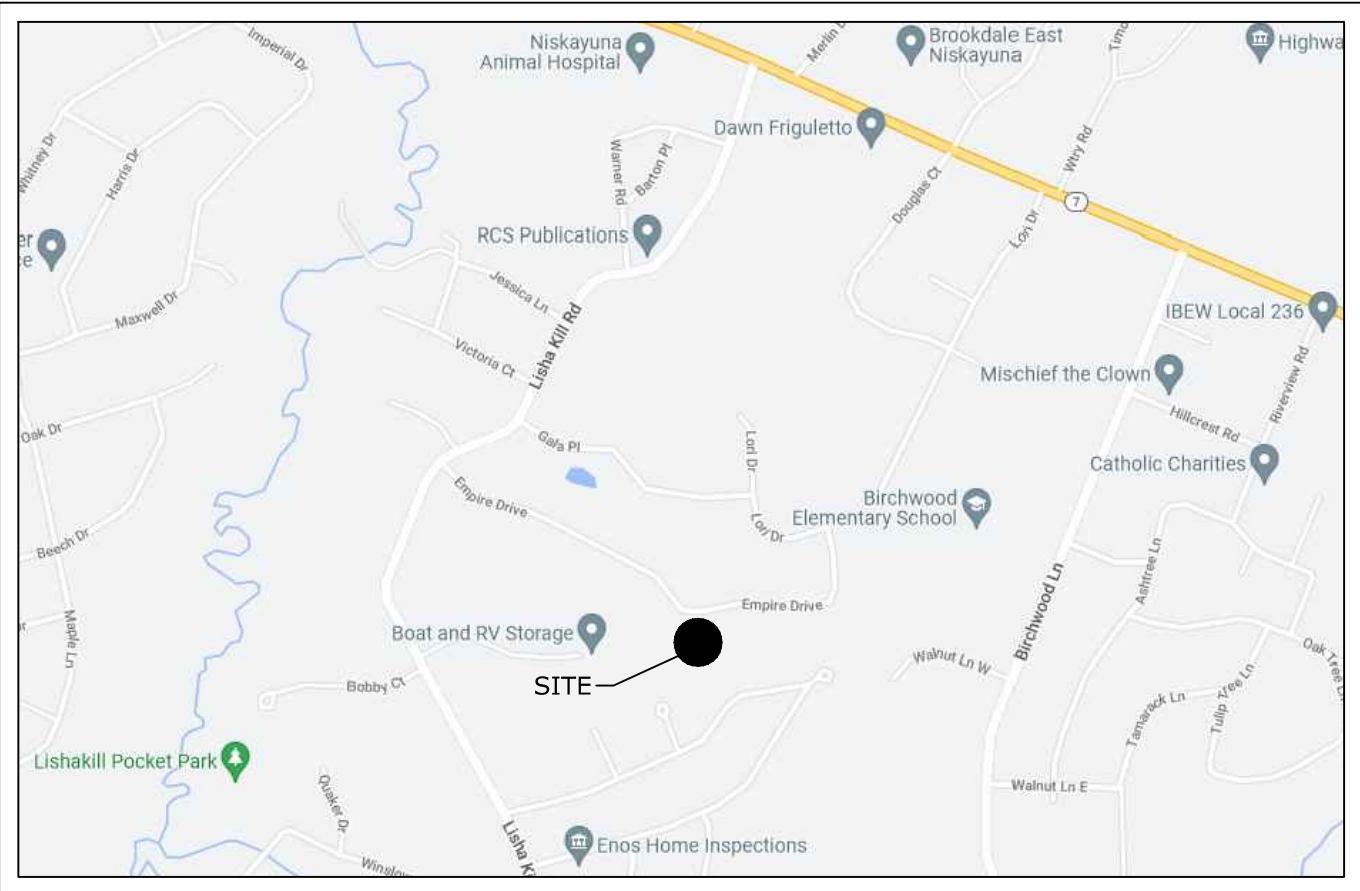
1. "BOUNDARY SURVEY PORTION OF LANDS OF ROBERT W. JORALEMON & PATRICIA A. JORALEMON" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, PREPARED BY C.T. MALE ASSOCIATES, DATED MARCH 1, 2004, BEARING PROJECT NO. 04.9065, DWG. NO. 04-151.
2. "CERONE PAULSEN SUBDIVISION" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, DATED FEBRUARY 5, 2004 BEARING DWG NO. PROJECT NO. 383.02 & MAP. NO. 04-30-41B

MAP NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER LIDAR INFORMATION OBTAINED ON MAY 13, 2022 AS SUPPLIED BY THE NEW YORK STATE GIS CLEARINGHOUSE, NYS 2 METER DEM INDEX.
2. NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 1.
3. NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES. EXISTING UTILITIES WERE PER DESIGN DRAWING INFORMATION PER MAP REFERENCE NO. 2.







SITE LOCATION PLAN  
N.T.S.

Lands Now or Formerly of  
**HELDERBERG PROPERTY COMPANY LLC**  
Book 1946 Page 855  
Tax Map I.D. No. 61.0-1-34,11

30' WIDE ACCESS LANDS  
OF JORALEMON EASEMENT  
TO BK.1146 PG.67

Lands Now or Formerly of  
**ROBERT W. JORALEMON &  
ROSEMARY JORALEMON**  
Book 1685 Page 756  
Tax Map I.D. No. 61.0-1-31

Lands Now or Formerly of  
**STEPHEN P. CONNOLLY &  
DENISE I. CONNOLLY**  
Book 2509 Page 997  
Tax Map I.D. No. 7.4-7-17

ARBOR ESTATES SECTION III

Lands Now or Formerly of  
**CARL J. WHITE & CATHERINE S. WHITE**  
Book 3094 Page 886  
Tax Map I.D. No. 7.4-7-18

Lands Now or Formerly of  
**STEVEN J. MASTRIANNI &  
SUSAN A. MASTRIANNI**  
Book 2295 Page 1023  
Tax Map I.D. No. 7.4-7-23

Lands Now or Formerly of  
**GREGORY BUTTNER**  
Book 2017 Page 20073  
Tax Map I.D. No. 7.4-7-24

Lands Now or Formerly of  
**DONAL E. COOKE &  
WENDY J. COOKE**  
Book 2654 Page 220  
Tax Map I.D. No. 7.4-7-25

Lands Now or Formerly of  
**CHARLES J. SOGOIAN**  
Book 2316 Page 930  
Tax Map I.D. No. 7.4-7-26

Lands Now or Formerly of  
**AMY M. SHAUL**  
Book 2019 Page 7421  
Tax Map I.D. No. 7.4-7-27

Lands Now or Formerly of  
**JOHN DONOGHUE &  
CHRISTINA PENSIERO**  
Book 2019 Page 1631  
Tax Map I.D. No. 7.4-7-28

Lands Now or Formerly of  
**JEFFERY C. COMLEY &  
JANICE B. COMLEY**  
Book 2620 Page 8846  
Tax Map I.D. No. 7.4-1-76

Lands Now or Formerly of  
**DANIEL J. MARINUCCI &  
ANGELINE M. MARINUCCI**  
Book 2017 Page 8846  
Tax Map I.D. No. 7.4-1-75

Lands Now or Formerly of  
**SEN ZHANG & MIN ZHANG**  
Book 1967 Page 972  
Tax Map I.D. No. 61.15-2-22

Lands Now or Formerly of  
**MICHAEL INDARSHAN**  
Book 2006 Page 245  
Tax Map I.D. No. 61.0-1-36

Lands Now or Formerly of  
**JONATHAN M. DE JESUS &  
MARIA ARSYL D. DE JESUS**  
Book 1861 Page 137  
Tax Map I.D. No. 61.15-2-21

Lands Now or Formerly of  
**YI QI & LI LI**  
Book 1884 Page 586  
Tax Map I.D. No. 61.15-2-20

Lands Now or Formerly of  
**SCOTT C. STRYKER**  
Book 1900 Page 720  
Tax Map I.D. No. 61.15-2-19

\* INCLUDES 18 SELF-SERVICE VACUUM SPACES, 6 EMPLOYEE PARKING SPACES,  
1 ACCESSIBLE PARKING SPACE, 9 STACKING SPACES AT PAY STATIONS AND  
11 ADDITIONAL STACKING SPACES.

Lands Now or Formerly of  
**RUTISURHATA K. HARTANA  
& JIANHUA WANG**  
Book 1852 Page 527  
Tax Map I.D. No. 61.15-2-18

Lands Now or Formerly of  
**DANIEL F. WOOLLEY  
& TERESA M. ZIELINSKI**  
Book 1858 Page 885  
Tax Map I.D. No. 61.15-2-17

E2  
±2.62  
ACRES

E3  
±0.70  
ACRES

E1  
±0.51  
ACRES

Lands Now or Formerly of  
**ROBERT W. JORALEMON**  
Book 1376 Page 158  
Tax Map I.D. No. 61.0-1-33.2

PARCEL AREA=3.831±ACRES

TOWN OF NISKAYUNA (SCHENECTADY COUNTY)  
TOWN OF COLONIE (ALBANY COUNTY)

ARBOR ESTATES SECTION II

IVES COURT

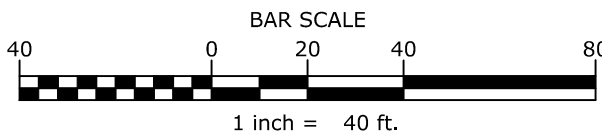
RIESLING ROAD

PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE



DATE		REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.
8/10/22	△	REVISED PER SKETCH APPROVAL	OKS	FGP	FGP	© 2022 C.T. MALE ASSOCIATES DESIGNED: MAC DRAFTED : MAC CHECKED : FGP PROJ. NO : 04.9065 SCALE : 1"=40' DATE : JUNE 30, 2022
9/6/22	△	REVISED PER PLANNING BOARD REVIEW	OKS	FGP	FGP	
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**EXSITING DRAINAGE PLAN  
2 - LOT MINOR SUBDIVISON**

**EMPIRE DRIVE  
LANDS N/F OF JORALEMON**

TOWN OF NISKAYUNA

SCHENECTADY COUNTY, NEW YORK

**C.T. MALE ASSOCIATES**  
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.  
50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400  
COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY  
JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY



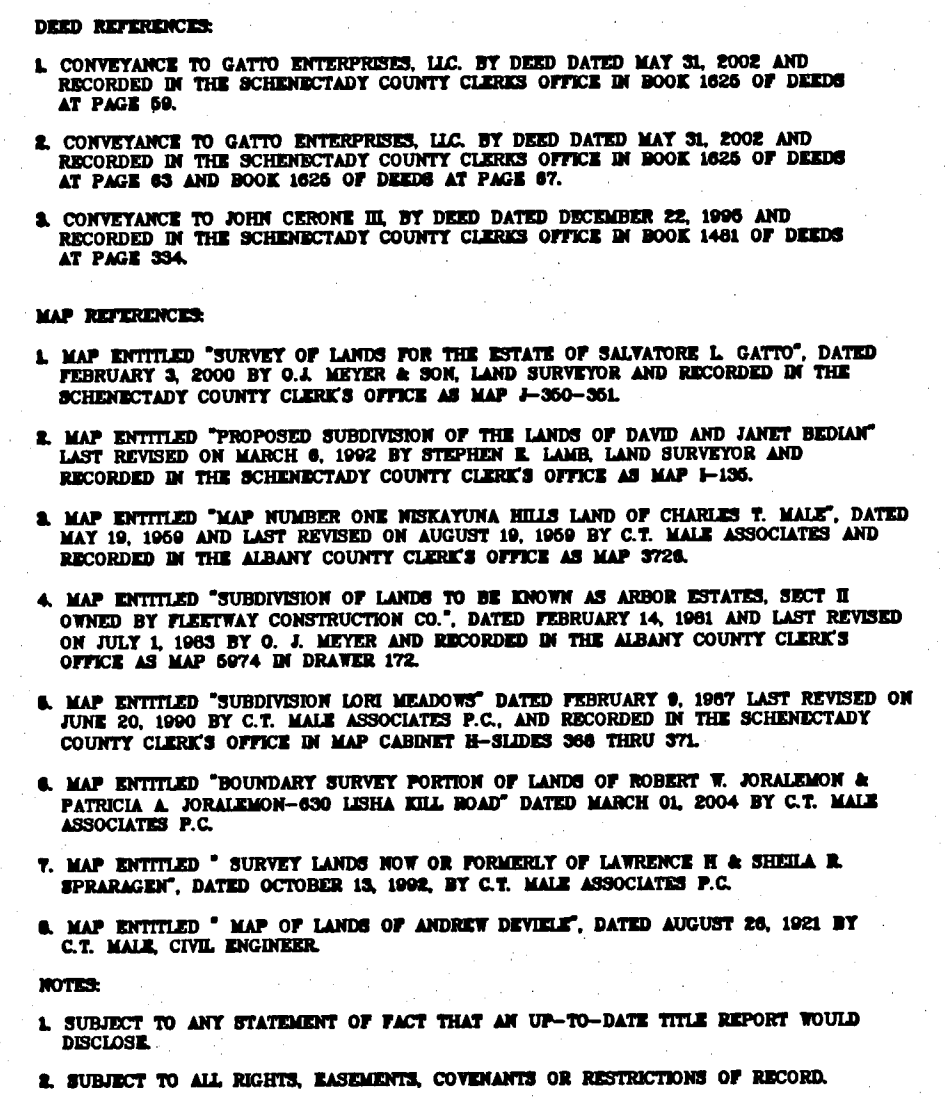
**DR1**

SHEET 1 OF 1

DWG. NO: 04.9065



4



1. ALL TRAFFIC SIGNAGE FOR THE PROPOSED DEVELOPMENT SHALL CONFORM TO THE NEW YORK STATE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. SINGLE FAMILY FIRE ALARMS AND DRIVEWAY LOCATIONS SHOWN ON ALL SUBSEQUENT DRAWINGS ARE APPROXIMATE.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR URBAN EROSION AND SEDIMENT CONTROL AND IMPLEMENTED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN DEVELOPED FOR THE PROJECT.
4. ALL DISTURBED AREAS TO RECEIVE TOPSOIL, SEED, FERTILIZER AND MULCH TO ESTABLISH A PERMANENT STATE OF GROUND FINISH GRADE TO PREVENT INFILTRATION.
5. ALL SANITARY SEWER MANHOLES LOCATED IN GRASSED AREAS SHALL HAVE RIM ELEVATIONS SET AT LEAST 18" ABOVE FINISH GRADE TO PREVENT INFILTRATION.
6. SIZE AND LOCATION OF UNDERGROUND UTILITIES ARE SUBJECT TO VERIFICATION BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
7. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE U.F.P.O., INC. (1-800-962-7982) FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION.
8. NO ATTEMPT HAS BEEN MADE TO SHOW ALL OF THE UTILITIES THAT EXIST ON OR ADJACENT TO THE PROJECT SITE.
9. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT AND PRESERVE EXISTING UTILITIES.
10. ALL UTILITIES DAMAGED OR DISTURBED BY THE WORK OF THIS CONTRACT SHALL BE REPLACED IN KIND BY THE CONTRACTOR.
11. CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK WITHIN PUBLIC RIGHTS-OF-WAY AS REQUIRED BY THE MUNICIPALITY AND ALL PERMITS REQUIRED FOR UTILITY WORK ON-SITE FROM THE TOWN.
12. ALL PERMITS REQUIRED FOR WORK ON-SITE SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
13. THERE SHALL BE NO CHANGES ON THESE PLANS IN ADVANCE OF, OR CONSTRUCTION WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER, THE OWNER AND THE MUNICIPALITY.
14. ALL CONSTRUCTION SHALL CONFORM TO GENERALLY ACCEPTED CONSTRUCTION STANDARDS OR A.O.B.E.
15. THE CONTRACTOR SHALL COMPLY WITH CONSTRUCTION INSPECTION REQUIREMENTS OF ADJACENT AGENCIES AND PHASE WORK ACCORDINGLY.
16. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
17. FIELD ADJUSTMENTS MUST BE REVIEWED BY A REPRESENTATIVE OF LANSING ENGINEERING PRIOR TO INSTALLATION.
18. PROTECT NEWLY GRADED WORK AREAS FROM TRAFFIC AND EROSION, AND KEEP THEM FREE FROM TRASH AND DEBRIS UNTIL PHYSICAL COMPLETION OF WORK.
19. CONTRACTORS OPERATIONS ON SITE WHICH SHALL INCLUDE BUT NOT BE LIMITED TO EROSION CONTROL MATERIAL, MALLING, FIRE PROTECTION, EROSION CONTROL, ETC. SHALL BE CONDUCTED IN ACCORDANCE WITH TOWN OF NISKAYUNA REQUIREMENTS.
20. LOCATE EXISTING UNDERGROUND UTILITIES IN AREAS OF WORK; IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING EARTHWORK OPERATIONS.
21. ALL DRIVEWAYS AND PARKING AREAS TO BE AS PAVED PAVED SURFACES PER DETAIL UNLESS OTHERWISE NOTED.
22. GENERAL SOIL EXCAVATION ON SITE WILL NOT REQUIRE SOILS TO BE IMPORTED OR EXPORTED, OTHER THAN SPECIFICALLY REQUIRED MATERIAL (I.E. SUBBASE, ASPHALT ETC.)
23. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF NISKAYUNA SUBDIVISION REGULATIONS AND CONSTRUCTION STANDARDS.
24. THE TOWN OF NISKAYUNA SHALL HAVE OWNERSHIP AND MAINTENANCE RESPONSIBILITIES OF THE PROPOSED STORM SEWER SYSTEM AND STORMWATER MANAGEMENT AREAS.
25. THE CONTRACTOR SHALL COORDINATE MAINTENANCE AND PROTECTION OF TRAFFIC WITH THE TOWN OF NISKAYUNA, ALL MAINTENANCE AND PROTECTION OF TRAFFIC SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. ALL MATERIAL SHALL BE IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
26. ALL SANITARY SEWER AND STORM SEWER FRAMES SHALL BE SET AT THE BINDER COURSE ELEVATION AND RAISED TO THE TOP COURSE ELEVATION AT THE TIME OF TOP COURSE PLACEMENT.
27. WATER MAINS AND APPURTENANCES SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS FOR DISINFECTING WATER MAINS, C-651-92, WITH THE EXCEPTION OF 5.1.1. DISINFECTED WATER MAINS SHALL BE DISINFECTED WITH THE HEAVILY CHLORINATED WATER GENERATED FROM THE WATER MAIN DISINFECTION PROCESS SHALL BE NEUTRALIZED AND DISPOSED OF IN ACCORDANCE WITH AWWA STANDARDS FOR DISINFECTING WATER MAINS, C-651-99.
28. WATERMANS SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH SECTION 4 OF THE AWWA C-600 LATEST EDITION.
29. ALL DISTURBANCE LIMITS AND SETBACKS SHALL BE STAKED OR FLAGGED IN THE FIELD PRIOR TO BEGINNING GRADING AND CLEARING ACTIVITIES.
30. ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN 25' OF ANY DITCH, STREAM, WETLAND OR OTHER SURFACE WATER BODY. ERODIBLE MATERIAL SHALL NOT BE STOCKPILED WITHIN 25' OF ANY TREES DESIGNATED TO BE PRESERVED.

*Richard C. Hood*  
TOWN ENGINEER 9/29/11

2 OF 2

STATE OF NEW YORK  
GILBERT C. VANGUILLE  
LICENSED LAND SURVEYOR  
NO. 49624

GILBERT VANGUILLE, PLS

m 232-233

PAULSEN SUBDIVISION PHASE 2 M-232 & 233  
SCHENECTADY COUNTY, NEW YORK

SV 2  
SHEET 3 OF 19



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 4

MEETING DATE: 9/12/2022

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**ITEM TITLE:** DISCUSSION: 1747 Union St. – Raizada gas station -- site plan app. for a 492 sq. ft. addition to the existing 1,455 sq. ft. retail and gasoline service station building.

**PROJECT LEAD:** David D'Arpino

**APPLICANT:** Sal Khan, owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board  
☒ OTHER: ARB

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Sal Khan, property owner, submitted an Application for Site Plan Review for the construction of a new single-story 492 sq. ft. addition to the existing single-story 1,455 sq. ft. gas / service station at 1747 Union Street. The addition will relocate the existing 10' x 22' cooler to a newly created space in the back of the building and will also create new space for two additional merchandise racks, resulting in three total merchandise racks inside the building.

The property falls within the C-N Neighborhood Commercial zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists a gasoline service station as a special principal use in the C-N district. It is therefore an allowable use after the approval of a special use permit by the Town Board.

**BACKGROUND INFORMATION**

Mr. Khan provided a 7-page drawing set entitled "Gas Station Addition 1747 Union Street Schenectady, NY Raizada Mart Sal Khan" by Cobble Court Engineering PLLC dated 7/1/22 with no subsequent revisions. The drawing package includes the following.

- Pages 1 – 3: Design / Build / Construction notes
- Page 4 (S01): Proposed Site Plan
- Page 5 (A01): Existing Floor Plan
- Page 6 (A02): Proposed Floor Plan
- Page 7 (A03): Proposed Rendering and Proposed Front Elevation

## **Impact on the use of the building**

- The hours of operation of the service station will not be impacted by the addition
- The number of employees will not be impacted by the addition

## **Impact on parking**

### Gasoline service station – existing condition

Schedule I-D, Part 2, C-N District, column 6, Minimum Required Off-Street Parking Spaces in the Niskayuna Zoning Code states that for a gasoline service station “3 spaces for each service bay plus 1 space for each employee” are required. The site plan shows 7 parking spaces at the site. The existing building does not contain any service bays so the available number of parking spaces complies with the zoning code.

### Gasoline service station – proposed condition

The proposed building addition does not add a service bay or any additional employees so the number of available parking spaces is still compliant with code.

### Retail convenience store – existing condition

The existing building is similar to a retail convenience store and contains:

- 1 -- 10' x 22' cooler
- 1 -- merchandise rack
- 2 -- enclosed storage areas
- 2 – bathrooms
- 1 – check-out counter

For “Retail convenience stores” Schedule I-D, Part 1, C-N District, column 6 states that “1 space per 225 sq. ft. gross floor area, but not fewer than 4 spaces plus 1 space for each employee” is required. If the building is viewed as a retail convenience store the existing parking space requirement would be  $1,455 / 225 = 6.5 = 7$  parking spaces. The site plan shows 7 parking spaces and is therefore compliant with the zoning code for a retail convenience store.

### Retail convenience store – proposed condition

The proposed configuration of the building with the addition in place includes all of the items listed above in the existing condition plus the following:

- 492 additional sq. ft. of gross floor area
  - 2 – additional merchandise racks

The parking space requirement would therefore be  $(1,455 + 492) / 225 = 8.6 = 9$  parking spaces. The site plan shows 7 parking spaces.

7/11/22 Planning Board (PB) meeting – Mr. Khan presented the project to the PB and a discussion ensued regarding the principal use of the property and the impact that the classification of the use has on the number of parking spaces required by the zoning code.

Gasoline service stations are special principal uses in the C-N zoning district with 3 parking spaces required for each service bay plus one space for each employee. Retail and service stores are permitted principal uses with 1 parking space required for each 225 sq. ft. of gross floor area of the building. The Planning Office (PO) and PB noted that if the addition is approved and the property is viewed as a retail and service store, then 10 parking spaces will be required. The PB asked the PO to investigate how similar businesses in town such as Stewart's Shops and Hari's Mobil compare to code. After additional discussion the PB established the following action items.

1. Provide a site plan with 10 parking spaces with the handicap space closer to the door
2. Provide renderings showing other improvements to the site – landscaping, etc.
3. Explore maximizing parking spaces by possibly eliminating a curb cut
4. Relocate the donation bin
5. Provide anticipated trip visits to the store
6. Add protective bollards in front of the propane tank exchange cage
7. PO – review with Fire & Police
8. PO – draft a summary of how similar businesses match up against the zoning code

7/20/22 Architectural Review Board (ARB) meeting – the ARB reviewed the site plan drawing and rendering of the proposed addition. They noted that the addition is shown as an indistinguishable match and continuation of the existing building. The façade, roofline, materials and colors are an exact match. They approved the addition as shown. They did note that the site was rather messy and could use some overall organization and cleanup.

7/29/2022 Complete Streets Committee meeting – The Complete Streets Committee discussed adding street trees along Union St to provide shade for pedestrians. They also requested better delineation of the entrances onto Van Antwerp, particularly between the gas station and Van Antwerp Road – so that pedestrians had designated spots to look for cars crossing over the sidewalks.

8/3/22 Conservation Advisory Council (CAC) meeting – The CAC reviewed the project at their regularly scheduled meeting on 8/3/22. Mr. Khan and his engineer were not at the CAC meeting and were therefore unable to respond to several questions that were raised by the CAC. The Council noted that they had some time before a recommendation regarding a SEQR determination was necessary so they chose to summarize their questions and allow Mr. Khan to provide responses.

1. Provide a more detailed update of the proposed new plantings & landscaping
2. Work with the pizza restaurant across Van Antwerp of the proposed addition and the impact it may have on the perceived availability of parking spaces and traffic flow.
3. Request Planning Board to assess traffic flow on the lot, particularly around the back of the building, and review the potential need for directional traffic signage. They want to look at the balance of available parking spaces vs. traffic flow on the lot.

The applicant provided the Planning Office (PO) with a revised site plan drawing dated 8/1/22 that addressed many of the action items noted above. The revised plan shows 10 parking spaces, includes the location for proposed landscaping improvements and relocates the handicap accessible parking space closer to the front door of the building.

The Planning Office drafted a document that summarizes how the Planning Board applies the zoning code to the two Stewarts Shops on Balltown Rd. and the Mobil gasoline service station



on Route 7. The document was included in the meeting packet materials. The two Stewart's Shops are considered retail and service stores and the Mobil station is considered a gasoline service station. The business at 1747 Union St. is also a retail and service store.

The site requires an area variance as follows: Section 220-10 (E) (1) of the Niskayuna zoning code includes the following regarding retail and service stores in the C-N zoning district: "permitted principal uses limited to reuse and/or expansion by not more than 25% of an existing building." As applied to the 1,455 square foot existing retail and service store, the allowable area of expansion would be 364 square feet. As proposed, the 7-page drawing set entitled "Gas Station Addition 1747 Union Street Schenectady, NY Raizada Mart Sal Khan" by Cobble Court Engineering PLLC, shows a 492 square foot addition (12 ft. x 41 ft.) to the existing retail and service store building, or a 33.8% expansion. Therefore a 128 square foot (or 8.8%) variance is required.

8/8/22 Planning Board (PB) meeting – The applicant presented the revised site plan drawing to the PB. He stated that quite a few elderly neighbors reside in the neighboring properties and need a place within an easily walkable distance to purchase basic groceries. He stated the requested additional 128 sq. ft. of floor area is dedicated to the retail sale of these types of items. The PB discussed the traffic flow through the property and the location of the 10 parking spaces. The Board requested that the revised plan be reviewed by Town Police and Fire again. The PB made a recommendation to the ZBA that they approve the requested variance at their 8/24/22 ZBA meeting.

8/23/22 Schenectady County Referral Response – the Commissioner of Economic Development and Planning responded on 8/23/22 to the Town's referral application by deferring to local consideration. In the email the Commissioner requested that they be provided with a final site plan drawing of the site prior to site plan approval by the PB.

8/24/22 ZBA meeting – The Zoning Board of Appeals took action on the applicant's request for an area variance for an additional 128 sq. ft. (8.8%) of building area at their regularly scheduled meeting on 8/24/22. The variance was approved with a vote of 7-0. The ZBA requested the applicant comply with advertising signage within Niskayuna.

Mr. Khan provided an updated version of the site plan drawing that includes many of the items requested by the PB.

1. 10 parking spaces are shown
2. Renderings showing landscape improvements were not provided
3. A site plan that included a curb cut was not provided
4. The donation bin was removed
5. An estimate of anticipated trips to the store / gas station was not provided
6. Protective bollards were added
7. The site plan was reviewed with Niskayuna Fire & Police
8. A summary of how similar businesses match up against zoning code requirements was prepared

8/29/22 Planning Board (PB) meeting – Mr. Khan and his engineer Mr. Kaufman presented a revised site plan to the Board. After a general discussion the following action items were identified.

1. Add striping from the handicap accessible parking space to the sidewalk
2. Eliminate the "second" door facing Union Street.
3. Commit to cleaning up the overall site and removing the cluttered signs in the windows.

4. Create a “no drive thru” portion of the sidewalk and curb cut along Van Antwerp Road to control traffic patterns. Consider creating a curb encircling a landscaped area along Van Antwerp that will be free of automotive traffic.

9/7/2022 Conservation Advisory Council – the CAC made a unanimous recommendation for a negative declaration on SEQR with the conditions that planting trees and landscaping be a requirement for site plan approval. Their findings include:

1. There is no conflict in land use but the site plan should conform to Schenectady County's Upper Union St Corridor plan – site should be cleaned up and replanted
2. There will be a small increase in traffic that can be mitigated by the sidewalk improvements and property amendments that will encourage more walkability to the site.
3. There isn't an impact to the Community Character except that the site should be cleaned up to protect the quality of the community and trees/greenspaces are desperately needed in the area.
4. There wouldn't be an adverse impact to traffic but increasing the walkability will help with pedestrian opportunities.
5. There is little impact on energy but to help the CAC recommends using energy efficient construction materials, using LED lighting, choosing renewable energy, and installing outdoor area lights that are dark sky certified.
6. There wouldn't be an impact to existing natural resources from the project but the lack of shade and greenspace on this corner creates a heat island, so trees are critical to the site plan wherever they can be added
7. The addition won't impact human health but the CAC recommends the owner adopt the pesticide free pledge and refrain from using chemicals on the vegetation once established.

The CAC also had a general question about where the snow storage would occur with the reconfigured parking.

The applicant is before the Board to address questions and continue working through the process.



ADDITION  
1747 UNION STREET  
SCHENECTADY, NY 12345

SHEET

G01  
G02  
G03  
S01  
A01  
A02  
A03

OVERVIEW NOTES  
NOTES  
NOTES  
PROPOSED SITE PLAN  
EXISTING FLOOR PLAN  
PROPOSED FLOOR PLAN  
ELEVATION AND RENDERING

FRAMING NOTES:

1. STRUCTURAL FRAMING MEMBERS SHALL BE SPF #2 OR BETTER UNLESS OTHERWISE STATED.
2. FLOOR SHEATHING SHALL BE GLUED AND NAILED TO FLOOR JOISTS ACCORDING TO NAILING SCHEDULE. ROOF AND WALL SHEATHING SHALL BE NAILED ACCORDING TO NAILING SCHEDULE.
3. SILL PLATES SHALL BE PRESSURE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY.
4. FRAMING MEMBERS SHALL NOT BE CUT OR NOTCHED IN EXCESS TO:  
BEARING WALL OR NON BEARING WALL MEMBERS: IRC R602.6.  
FLOOR MEMBERS: RESIDENTIAL CODE OF 2015 IRC R502.8
5. PROVIDE SOLID BLOCKING FOR FLOOR JOISTS UNDER ALL INTERMEDIATE BEARING WALLS AND AT ENDS BY FULL DEPTH BLOCKING, PROVIDE BLOCKING EVERY 8' MAX. OF FLOOR JOIST SPAN.
6. ENGINEERED WOOD PRODUCTS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
7. ALL WOOD INCLUDING POSTS LOCATED NEARER THAN 18" (12" FOR GIRDERS) TO EARTH OR LOCATED ON CONCRETE PLACED ON EARTH SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY.
8. HEADERS ARE TO BE BUILT UP (PER CODE) IN FRAMED WALLS U.N.O.-SUPPORT EACH HEADER W/ DOUBLE TRIMMER STUDS WHERE OPENINGS ARE 48" WIDE OR GREATER.
9. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL). FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

1.1. IN CONCEALED SPACES OF STUD WALLS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVALS NOT TO EXCEED 10 FT. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKING.

1.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.  
IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST FIRE PASSAGE OF FLAME AND PRODUCTS OR COMBUSTION.  
FIRE BLOCKING OF CORNICES OR A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
10. JOISTS EXCEEDING A NOMINAL 2 X 4 SHALL BE SUPPORTED Laterally BY SOLID BLOCKING, DIAGONAL BRIDGING, OR A CONTINUOUS 1 X 3 STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FT.
11. PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS (EX. 4X BEAMS SUPPORTED BY (2) 2X OR 4X POSTS, 6X/8X BEAMS SUPPORTED BY 6X/8X POST, ETC).
12. HARDWARE IS TO BE "SIMPSON STRONG-TIE" OR EQUAL.
13. ANY WOOD EXPOSED TO EXTERIOR ELEMENTS IS TO BE PRESSURE TREATED, COMPOSITE, WOOD SPECIES OF NATURAL RESISTANCE TO DECAY, STAINED, SEALED, PAINTED, OR WRAPPED W / VINYL OR NON CORROSIVE METAL
14. ALL EXTERIOR WALL HEADERS = (2) 2x10 UNLESS NOTED DIFFERENT. ALL INTERIOR NON-BEARING WALL HEADERS = (2) 2x6 UNLESS NOTED DIFFERENT.

CONSTRUCTION TYPE: V

DESIGN PROVISIONS.....2020 RESIDENTIAL CODE OF NYS

DESIGN LOADS:

ROOF.....40 PSF (SNOW) 15 PSF (DEAD)  
ATTIC (W / STORAGE).....20 PSF (LIVE)  
ATTIC (W/O STORAGE).....10 PSF (LIVE)  
CEILING.....10 PSF (DEAD)  
FLOOR (SLEEPING).....30 PSF (LIVE) 12 PSF (DEAD)  
FLOOR (NON-SLEEPING).....40 PSF (LIVE) 12 PSF (DEAD)  
STAIRS.....40 PSF (LIVE)  
HANDRAILS.....200 LBS (ANY POINT/DIRECTION)  
DECKS.....40 PSF (LIVE)  
EXTERIOR BALCONY.....40 PSF (LIVE)

WIND LOADS:

BASIC WIND SPEED (3 SECOND)  
GUST.....110MPH  
IMPORTANCE FACTOR  
(Iw).....1.0  
HIGHEST POINT OF ROOF  
(FT).....N/A  
TOPOGRAPHIC FACTOR  
(Kzt).....1.0  
EXPOSURE CATEGORY: C

NAILING SCHEDULE: PER R602.3(1)

TOP PLATE TO STUD (END NAIL).....2-16D COMMON  
STUD TO SOLE PLATE (END NAIL).....2-16D COMMON  
STUD TO SOLE PLATE (TOE NAIL).....4-8D COMMON OR 3-16D BOX  
DOUBLE TO PLATES.....10D BOX @ 12" OC  
DBL TOP PLATE LAP SPLICE.....8-16D COMMON  
TOP PLATES LAPS (INTERSECTION).....3-10D BOX  
SOLE PLATE TO JOISTS OR BLOCKING.....16D COMMON @ 16" OC  
CEILING JOISTS TO TOP PLATE (TOE-NAIL).....3-8D COMMON  
CEILING JOISTS OVER PARTITION.....4-10D BOX  
CEILING JOISTS TO PARALLEL RAFTER.....PER R802.5.1(9)  
RAFTER TO TOP PLATE (TOE-NAIL).....3-16D BOX  
1X BRACE TO STUD/PLATE.....2-8D COMMON  
JOISTS TO SILL PLATE (TOE-NAIL).....3-8D COMMON  
RAFTER TO RIDGE, HIP OR VALLEY (TOE-NAIL).....4-16D BOX  
RAFTER TO RIDGE, HIP OR VALLEY (END-NAIL).....3-16D BOX  
RAFTER-TIES TO RAFTER.....4-8D BOX  
SUBFLOOR TO FLOOR JOISTS.....6D COMMON @ 6"OC EDGE 12" OC FIELD  
WALL SHEATHING TO STUD.....6D COMMON @ 6" OC EDGE 12" OC FIELD  
ROOF SHEATHING TO RAFTER/TRUSS.....8D COMMON @ 6" OC EDGE 12" OC FIELD

Cobble Court Engineering PLLC  
511 Walnut Drive  
Clifton Park, NY 12065  
Phone # (518) 956-1282  
dckengnypa@outlook.com  
DANIEL C. KAUFMAN NYS  
P.E. #086813  
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY ANY PLANS, SPECIFICATIONS, PLOTS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL

RECORD OF WORK:		BY:						
DATE:	DESCRIPTION:							

GAS STATION ADDITION  
  
ADDRESS:  
1747 UNION STREET  
SCHENECTADY, NY 12309  
RAIZADA MART  
SAL KHAN

START DATE: 7/1/22

STAMP:

DATE:

FILE:

PAGE CONTENT:  
COVER SHEET / NOTES

DESIGNER: MIKE T. ENGINEER: DCK

PAPER SIZE: C (18"x24") SCALE: AS NOTED

SHEET: G01

GENERAL NOTES:

DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NYS

DIMENSIONS TO, OF, AND IN EXISTING STRUCTURE SHALL BE VERIFIED IN FIELD BY CONTRACTOR.

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN DIMENSIONS BETWEEN EXISTING CONDITIONS AND / OR ARCHITECTURAL DRAWINGS AND THE STRUCTURAL DRAWINGS.

DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.

DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

DIMENSION AND NOTES THAT INCLUDE THE WORD "TYPICAL" REFER TO ALL SIMILAR DETAILS UNLESS OTHERWISE STATED.

THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS NOTED OTHERWISE.

BRACE BUILDING UNTIL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: ROOF DECK, CONNECTION TO EXISTING BUILDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION AND COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.

CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF PROPOSED DEVIATIONS OR SUBSTITUTIONS FROM DIMENSIONS, MATERIALS, OR EQUIPMENT SHOWN ON THE DRAWINGS AND MAKE ONLY THOSE DEVIATIONS OR SUBSTITUTIONS ACCEPTED BY THE ENGINEER.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY.

ALL DOORS AND WINDOWS TO BE INSTALLED ACCORDING TO THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTIONS.

UNLESS SPECIFIED, ALL ROOM FINISHES, APPLIANCES, FIXTURES, HARDWARE, TRIM AND ARCHITECTURAL DETAILS ARE TO BE DETERMINED AND INSTALLED ACCORDING TO ALL BUILDING CODES AND THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTION.

INSTALL 1/2" GYPSUM ON WALLS AND CEILING. INSTALL MOISTURE RESISTANT GREENBOARD GYPSUM IN ALL BATH, KITCHEN, AND OTHER WET AREAS.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE STATE AND LOCAL BUILDING CODE REQUIREMENTS. DETAILS OF CONSTRUCTION UNLESS NOTED OTHERWISE

CONTRACTOR SHALL PERFORM ALL MISCELLANEOUS REMOVALS, MODIFICATIONS, CONSTRUCTION AND CLEAN-UP REQUIRED TO COMPLETE THE GENERAL SCOPE OF THIS PROJECT.

NO SITE INSPECTIONS DURING CONSTRUCTION ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH PERMISSION OF LOCAL BUILDING DEPARTMENT.

ALL PLUMBING, HVAC, ELECTRICAL AND FIRE SYSTEMS ARE BY OTHERS. LOCATION DESIGN AND INSTALLATION OF ALL NOTED ABOVE ARE TO BE COMPLETED BY LICENSE INDIVIDUALS ACCORDING TO ALL BUILDING CODE AND THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTION.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, SANITARY AND ENERGY CONSERVATION CODES, STATE AND / OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE CONTRACTOR / OWNER SHALL REQUEST LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND HIS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, OWNER OR BUILDER OF THIS RENOVATION TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THESE DRAWINGS.

THESE PLANS COMPLY WITH ALL THE CODES, PROVISIONS AND INTENT OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE PURSUANT TO ARTICLE 2 OF THE ENERGY LAW. LOCAL CODE REQUIREMENTS SHALL TAKE PRECEDENCE WHERE DISCREPANCIES OCCUR.

ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THESE PLANS SHALL BE REPORTED IN WRITING TO THE ENGINEER BEFORE START OF CONSTRUCTION AND SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209.

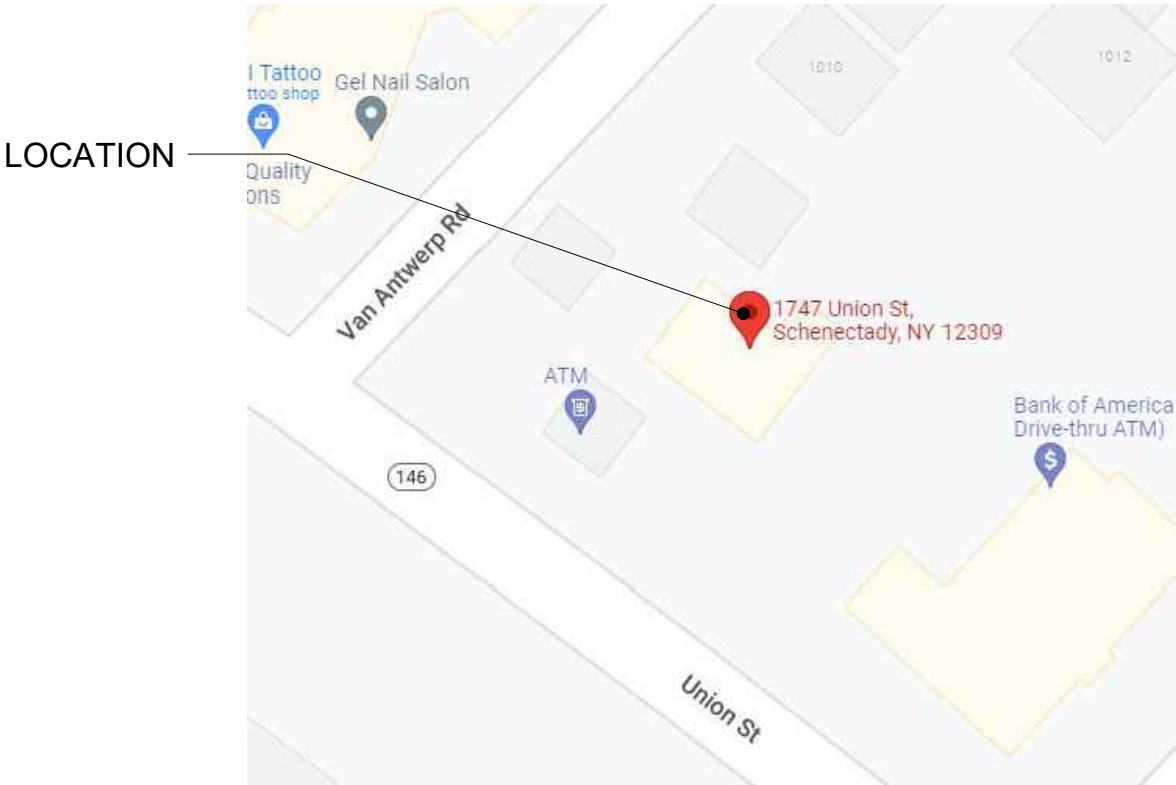
HOLD HARMLESS THE ENGINEER, THE CONSTRUCTION MANAGER, THE OWNER AND THEIR AGENTS LOSS, DAMAGE, LIABILITY OR ANY EXPENSE ARISING IN ANY MANNER BY THE INDEPENDENT CONTRACTOR OR THEIR RESPECTIVE EMPLOYEES, INCLUDING SHALL BE THE STATE SCAFFOLDING ACT.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COMPLETED WORK.

CONTRACTOR IS TO FOLLOW ALL MANUFACTURERS PRODUCT INSTALLATION AND INSTRUCTION.

WHENEVER A VALUE OR SIZE IS IN CONFLICT THE MORE STRINGENT VALUE OR SIZE WILL APPLY.

SMOKE DETECTORS AND CARBON MONOXIDE ALARMS TO BE INSTALLED ACCORDINGLY THROUGHOUT THE BUILDING.



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Clifton Park, NY 12065  
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dckengnypa@outlook.com  
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P.E. #086813  
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RECORD OF WORK:		BY:						
DATE:	DESCRIPTION:							

GAS STATION ADDITION  
  
ADDRESS:  
1747 UNION STREET  
SCHENECTADY, NY 12309  
RAIZADA MART  
SAL KHAN

START DATE: 7/1/22	
STAMP:	
DATE:	
FILE:	
PAGE CONTENT: NOTES	
DESIGNER: MIKE T.	ENGINEER: DCK
PAPER SIZE: C (18"x24")	SCALE: AS NOTED
SHEET: G02	

FOUNDATION NOTES:

1. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIALS AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
2. SOIL BEARING PRESSURE ASSUMED TO BE 2500 PSF.
3. ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
4. CONCRETE:

BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER: 3000 PSI

BASEMENT & INTERIOR SLABS ON GRADE: 3000 PSI

BASEMENT WALLS & FOUNDATIONS EXPOSED TO WEATHER: 3000 PSI
5. CONCRETE SIDEWALKS TO HAVE TOOLED JOINTS AT 5' O.C. (MINIMUM)
6. REINFORCED STEEL TO BE A-615 GRADE 40. WELDED MESH WIRE TO BE A-185.
7. COVER ENTIRE CRAWLSPACE WITH 6 MILL BLACK "VISQUEEN" AND EXTEND UP FOUNDATION WALLS TO P.T. MUDSILL.
8. PROVIDE A MINIMUM OF 1 SQ. FT OF VENTILATION AREA FOR EACH 150 SF OF CRAWLSPACE AREA. VENTS ARE TO BE CLOSABLE WITH OPENINGS IN CORROSIVE RESISTANT SCREEN. POST NOTICE RE: OPENING VENTS ARE FOR ELECTRICAL PANEL.
9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH #55 ROLL ROOFING.
10. PROVIDE CRAWLSPACE DRAIN AS PER CODE.
11. DAMP PROOF BASEMENT WALL BEFORE BACKFILLING, PROVIDING A 4" PERFORATED DRAIN TILE BELOW THE TOP OF THE FOOTING.
12. DAY STRENGTH AND NOT BEFORE STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) IS IN PLACE (FRAMING MUST BE FULLY NAILED AND ANCHORED).
13. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3500 PSI AT 28 DAYS FOR ALL CONCRETE.
14. CONCRETE SHALL BE AIR ENTRAINED AND SHALL BE PLACED IN ACCORDANCE WITH ACI 318-11 LATEST EDITION.
15. FORMS SHALL CONFORM TO THE SHAPE, LINES GRADE AND DIMENSIONS INDICATED ON THE DRAWINGS. THEY SHALL BE SUBSTANTIAL AND SUFFICIENTLY TIGHT TO PREVENT LEAKAGE OF MORTAR, AND SHALL NOT DEFLECT UNDER THE WEIGHT OF THE WET CONCRETE OR CONSTRUCTION LOADS. THEY SHALL BE PROPERLY BRACED OR TIED TOGETHER SO AS TO MAINTAIN POSITION AND SHAPE, AND INSURE THE SAFETY OF WORKMEN AND PASSERBY.
16. IF APPLICABLE, CONCRETE POUR FOR THE HOUSE FOUNDATION AND THE GARAGE FOUNDATION ARE TO BE A CONTINUOUS POUR WHERE MEET.
17. CONCRETE CONSTRUCTION JOINTS ARE TO BE INSTALLED EVERY 100' MAXIMUM AROUND THE BASEMENT WALL PERIMETER TO AVOID WALL CRACKS.

PLACING CONCRETE:

PLACING CONCRETE BEFORE INITIAL SET HAS OCCURRED, AND IN NO EVENT AFTER IT HAS CONTAINED ITS WATER CONTENT FOR MORE THAN ONE HOUR. PLACE ALL CONCRETE ON CLEAN, DAMP SURFACES, FREE FROM WATER, OR UPON PROPERLY CONSOLIDATED FILLS, BUT NEVER UPON SOFT MUD, DRY POROUS EARTH, OR FROZEN GROUND.

PLACING CONCRETE CONTINUED:

- DEPOSIT CONCRETE CONTINUOUSLY AND AS RAPIDLY AS PRACTICAL UNTIL THE UNIT OF OPERATION IS COMPLETED.
- CONSOLIDATE ALL CONCRETE BY VIBRATION SO THAT THE CONCRETE IS THOROUGHLY WORKED AROUND THE REINFORCEMENT, AROUND IMBEDDED ITEMS, AND INTO CORNERS OF FORMS, ELIMINATING ALL AIR OR STONE POCKETS WHICH MAY CAUSE HONEY-COMBING, PITTING, OR PLANES OF WEAKNESS. USE MECHANICAL VIBRATORS WITH A MINIMUM FREQUENCY OF 7,000 REVOLUTIONS PER MINUTE, OPERATED BY COMPETENT WORKMEN. USE OF VIBRATORS AT MANY POINTS FROM 18 TO 30 INCHES APART FOR A 5 TO 10 SECOND DURATION. KEEP A SPARE VIBRATOR ON THE JOB DURING ALL CONCRETE PLACING OPERATIONS.
- EXERCISE CARE IN PLACEMENT OF CONCRETE FOR SLABS OR GRADE OVER A VAPOR BARRIER. AVOID PUNCTURING OR TEARING VAPOR BARRIER DURING TRANSPORTATION AND PLACEMENT.
- THE PLACING OF CONCRETE SHALL BE CARRIED ON CONTINUOUSLY BETWEEN CONSTRUCTION JOINTS SHOWN ON THE DRAWINGS. IF FOR ANY REASON IT SHALL BECOME NECESSARY TO STOP THE PLACING OF CONCRETE AT PLACES OTHER THAN THOSE INDICATED ON THE DRAWINGS, SUCH PLACES SHALL HAVE THE APPROVAL OF THE ENGINEER AND THE MANNER OF MAKING THE JOINT SHALL BE APPROVED. EXTRA REINFORCING MAY BE REQUIRED IF ADDT'L CONSTRUCTION JOINTS ARE USED.
- PROVIDE ADEQUATE PROTECTION AGAINST RAIN, SLEET, AND SNOW BEFORE AND DURING PLACEMENT AND FINISHING OF CONCRETE. PROVIDE ADEQUATE PROTECTIVE MEASURES TO MAINTAIN THE TEMPERATURE OF THE CONCRETE AS SPECIFIED.
- TIE HOLES LEFT BY WITHDRAWAL OF RODS OR THE HOLES LEFT BY REMOVAL OF END OF TIES SHALL BE FILLED WITH MORTAR. FOR HOLES PASSING ENTIRELY THROUGHOUT THE WALL, A PLUNGER TYPE GREASE GUN OR OTHER DEVICE SHALL BE USED TO FORCE THE MORTAR THROUGH THE WALL STARTING AT THE BACK FACE.
- ANY CONCRETE WORK NOT FORMED AS SHOWN ON THE PLANS OR FOR ANY REASON IS OUT OF ALIGNMENT OR LEVEL OR SHOWS A DEFECTIVE SURFACE SHALL BE CONSIDERED AS NOT CONFORMING WITH THE INTENT OF THESE SPECIFICATIONS AND SHALL BE REMOVED FROM THE JOB BY THE CONTRACTOR AT HIS EXPENSE UNLESS THE ENGINEER GRANTS PERMISSION TO PATCH THE DEFECTIVE AREA WHICH SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING PROCEDURE. PERMISSION TO PATCH ANY SUCH AREA SHALL NOT BE CONSIDERED A WAIVER OF THE ENGINEERS RIGHT TO REQUIRE COMPLETE REMOVAL OF THE DEFECTIVE WORK IF THE PATCHING DOES NOT, IN HIS OPINION, SATISFACTORILY RESTORE THE QUALITY AND APPEARANCE OF THE SURFACE.
- IF APPLICABLE THE COMPRESSIVE STRENGTH OF EXISTING CONCRETE SLAB (f ' c)=2500 PSI MINIMUM
- STEPPED FOOTING TO BE INSTALLED PER SITE REQUIREMENTS. MIN 24 IN. DOWN AND 48 IN. OVER.
- STEEL REINFORCEMENT
1. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM NEW BILLET STEEL, GRADE 60, DEFORMED BARS, IN ACCORD WITH STANDARD SPECIFICATIONS ASTM A 15 LATEST EDITION.
2. STEEL REINFORCEMENT SHALL CONSIST OF FURNISHING AND PLACING BAR STEEL OR STEEL FABRIC REINFORCEMENTS AS SHOWN ON THE PLANS AND REQUIRED BY THE CONTRACT. FOR REINFORCEMENT IN FLOOR SLABS PLACED ON EARTH, THE REINFORCING SHALL BE SUPPORTED BY MASONRY BLOCKING OF PROPER HEIGHT TO INSURE THAT THE REINFORCING MATERIAL WILL BE PLACED IN THE CENTER OF SUCH SLABS. WHERE WIRE MESH IS USED IN FLOOR SLABS, IT SHALL BE 6" BY 6" / #6 X #6 GAUGE WELDED WIRE. ALL MESH SHALL BE LAPPED A MINIMUM OF 6 INCHES. UNLESS THE PLANS SHOW SPECIFIC SPACING, THE MINIMUM CLEAR SPACING BETWEEN THE EDGE OF THE BARS AND THE EXTERIOR SURFACE OF ALL POURED CONCRETE SHALL BE 1-1/2 TIMES THE MAXIMUM NOMINAL SIZE OF THE CONCRETE AGGREGATE. HOWEVER CLEAR SPACING SHALL NOT BE LESS THAN 3" WHEN THE CONCRETE IS CAST AGAINST EARTH. IF FOR ANY REASON, REINFORCING STEEL HAS TO BE PLACED CLOSER THAN 1-1/2 INCHES TO ANY FORM, THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF SUCH PLACEMENT BEFORE THE POUR IS MADE.

Cobble Court Engineering PLLC

511 Walnut Drive

Clifton Park, NY 12065

Phone # (518) 956-1282

dkengnypa@outlook.com

DANIEL C. KAUFMAN NYS

P.E. #086813

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RECORD OF WORK:							
DATE:	DESCRIPTION:	BY:					

GAS STATION ADDITION

ADDRESS:

1747 UNION STREET

SCHENECTADY, NY 12309

RAIZADA MART

SAL KHAN

START DATE: 7/1/22

STAMP:

DATE:

FILE:

PAGE CONTENT:

NOTES

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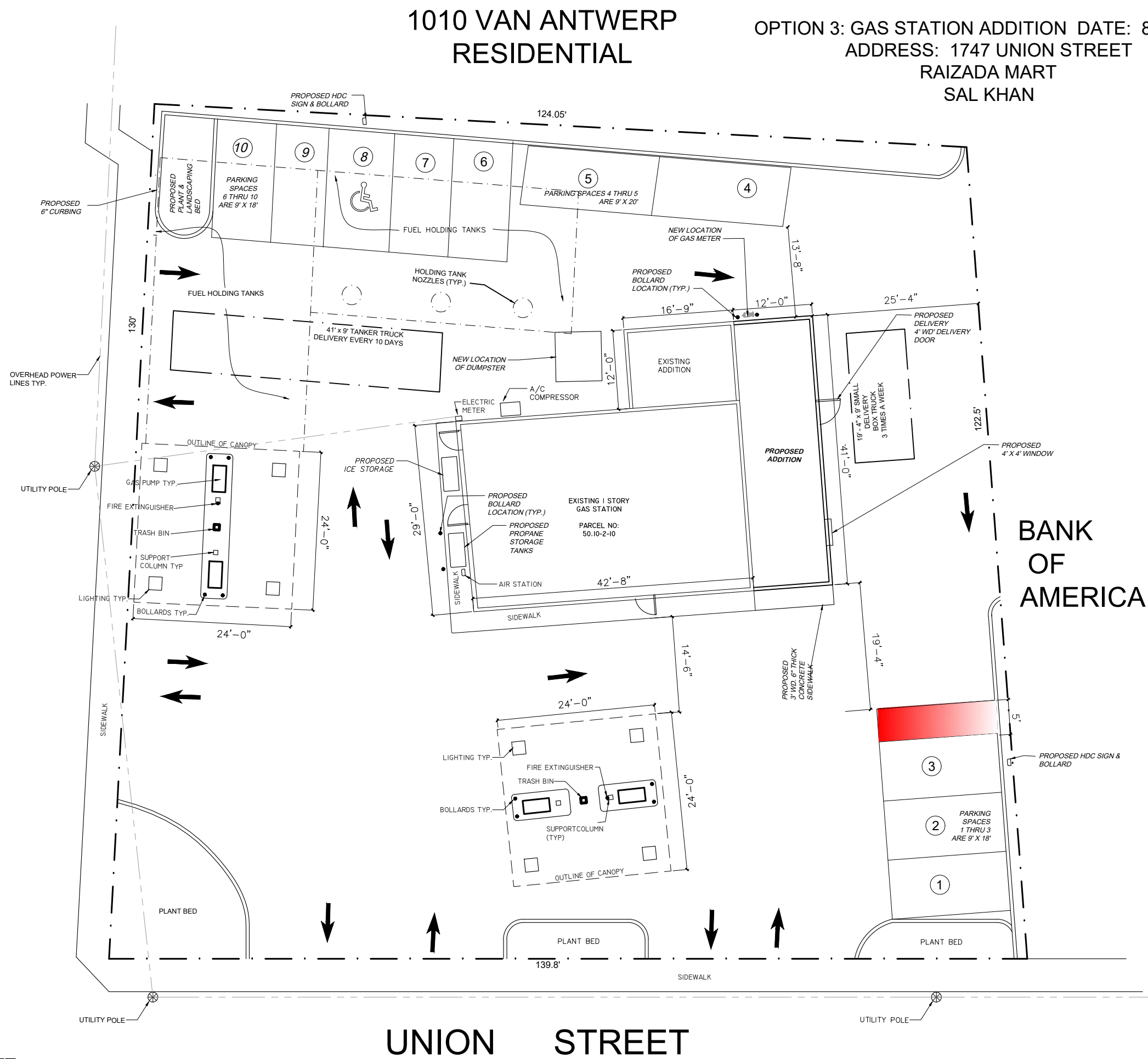


VAN ANTWERP ROAD

PROPOSED GROSS FLOOR  
AREA = 1947 SQ.FT.  
225 SQ.FT PER PARKING  
SPACE.  
1947 / 225 = 8.65 SPACES  
FOR CUSTOMERS  
1 SPACE FOR EMPLOYEE  
THEREFORE: 10 SPACES

EXISTING BUILDING:  
OVERALL AREA = 1,455 SQ.FT.

PROPOSED BUILDING:  
OVERALL AREA = 1,947 SQ.FT.



**PROPOSED SITE PLAN**  
SCALE: NTS

1010 VAN ANTWERP  
RESIDENTIAL

OPTION 3: GAS STATION ADDITION DATE: 8/24/2022  
ADDRESS: 1747 UNION STREET  
RAIZADA MART  
SAL KHAN

PARCEL NO. 50.10-2-10  
ZONING CODE CN  
TOTAL ACREAGE 0.38 AC

BANK  
OF  
AMERICA

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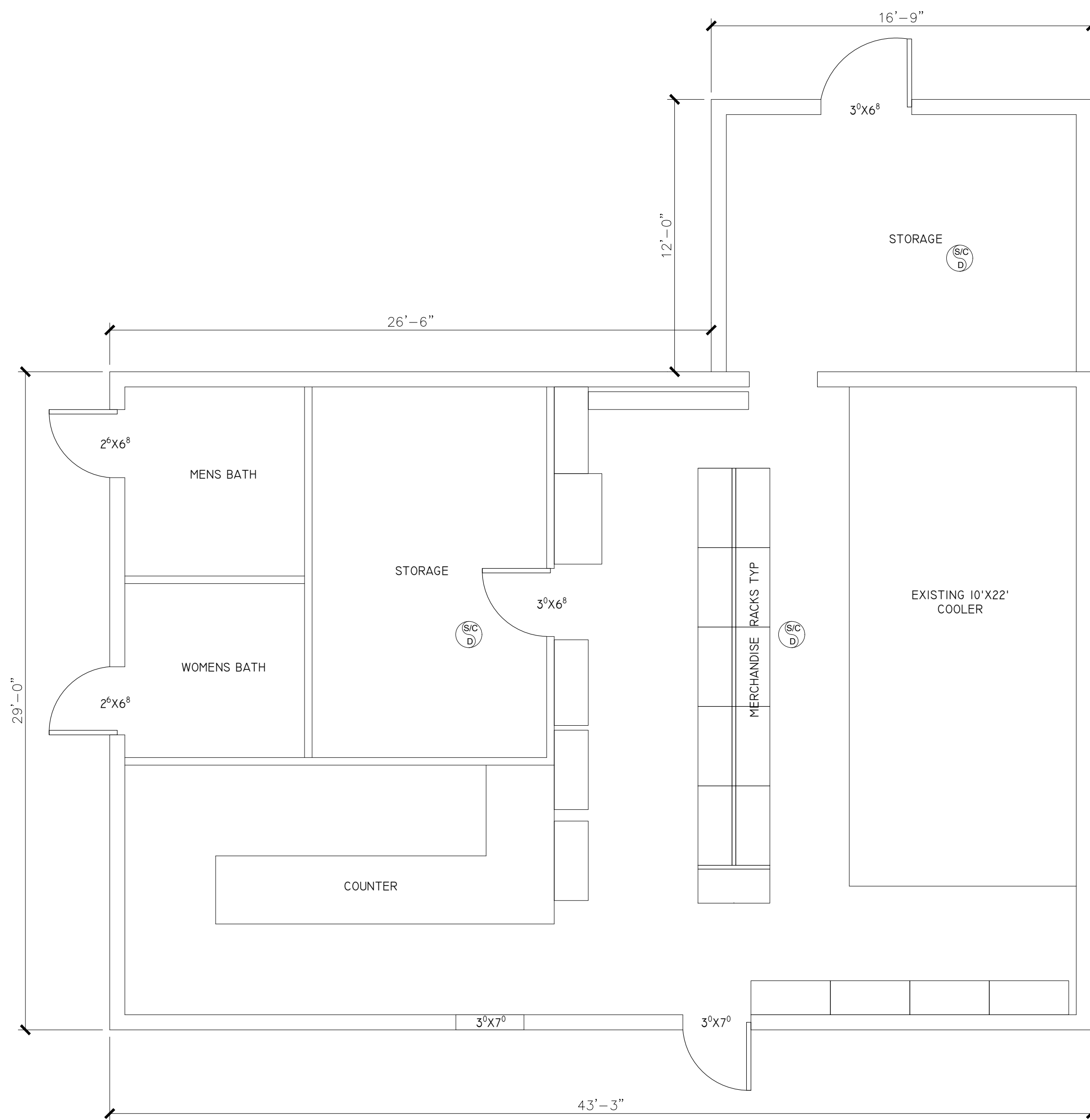
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SITE PLAN

DESIGNER: MIKE T. ENGINEER: DCK

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EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

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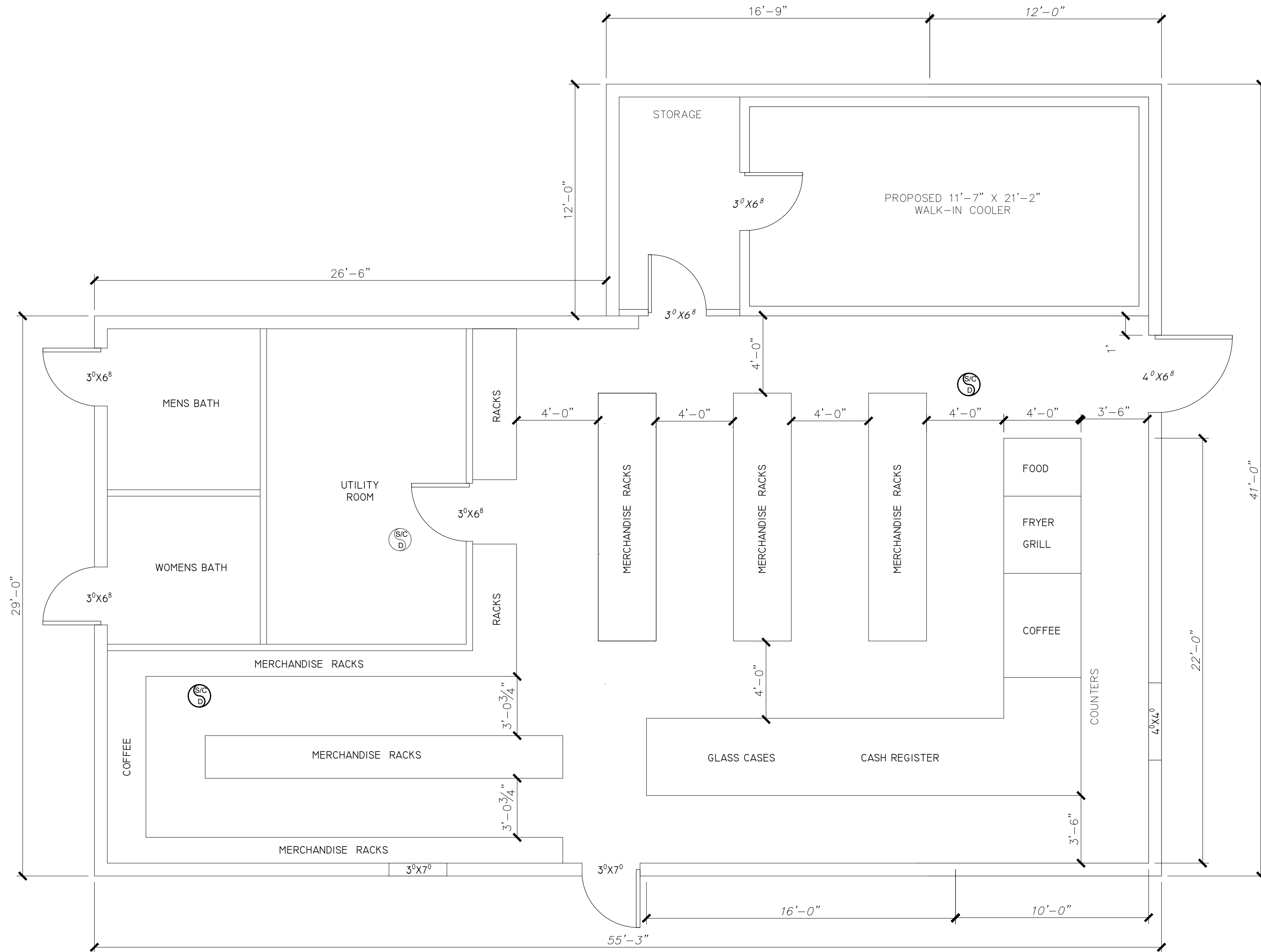
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EXISTING FLOOR PLAN

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**PROPOSED FLOOR PLAN**

SCALE:  $\frac{1}{4}" = 1'-0"$

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PROPOSED FLOOR PLAN

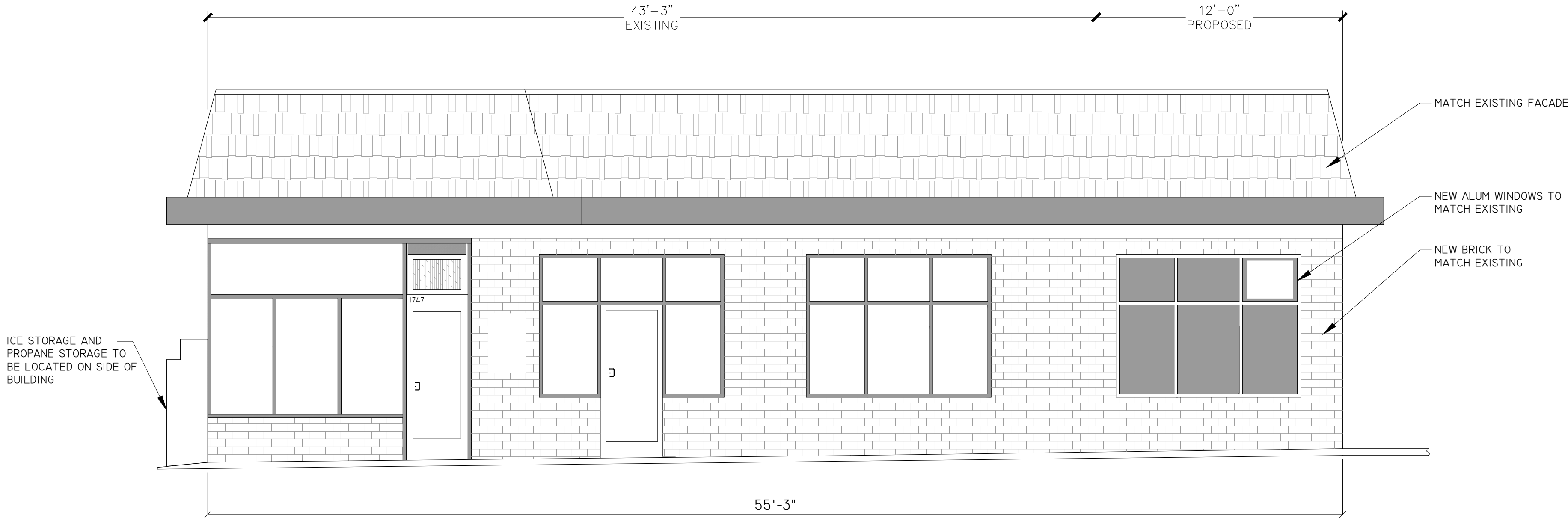
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**A02**



PROPOSED RENDERING



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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RAIZADA MART  
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PROPOSED ELEVATION

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# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: <b>Addition to Raizada Mart</b>			
Project Location (describe, and attach a location map): <b>1747 Union Street, Schenectady, NY</b>			
Brief Description of Proposed Action: <b>Adding an Additon to the east side of the gas station building of 12' wide by 41' long. Refer to sheet SO1 of the construction plans. The addition will improve access to food &amp; drink for the local community.</b>			
Name of Applicant or Sponsor: <b>Daniel C Kaufman P.E</b>		Telephone: <b>(518) 956-1282</b>	
		E-Mail: <b>dckengnypa@outlook.com</b>	
Address: <b>511 Walnut Drive</b>			
City/PO: <b>Clifton Park</b>		State: <b>NY</b>	Zip Code: <b>12065</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			





←  
NORTH

LOCATION MAP

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>The stormwater established direction of flow will not be changed by the Addition.</i>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE  Applicant/sponsor/name: <u>Daniel C Kautman P.E.</u> Date: <u>7/6/2022</u> Signature: <u>Daniel C Kautman</u> Title: <u>Professional Engineer</u>		



## PLANNING & ZONING COORDINATION REFERRAL

Case No. N-06-22

Applicant Sal Khushnood

Referring Officer Laura Robertson

Municipality Niskayuna

Considerations: Regarding an existing convenience store/gas station, requesting an area variance to construct a 12' x 41' (492 SF) addition resulting in a 33.8% expansion which exceeds the maximum permitted expansion of 25%. Located on the northeasterly corner of the Van Antwerp Rd. (CR 21) and Union Street (SR 146) intersection immediately east of the City line.

### RECOMMENDATION

Receipt of zoning referral is acknowledged on August 3, 2022. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

- ☐ \*Approve of the proposal.
- ☒ Defer to local consideration (No significant county-wide or inter-community impact)
- ☐ Modify/Conditionally Approve. Conditions:

☐ Advisory Note:

☐ Disapprove. Reason:

\*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

8/23/22  
Date

Ray Gillen / SR  
Ray Gillen, Commissioner  
Economic Development and Planning



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 5

MEETING DATE: 9/12/2022

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**ITEM TITLE:** DISCUSSION: 2209 Nott St. – The Broken Inn -- Site plan app for new outdoor dining area including additional and reconfigured parking.

**PROJECT LEAD:** David D'Arpino

**APPLICANT:** Thomas Nicchi, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER: ARB

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Thomas Nicchi, of Stand Up Global and agent for the owner, submitted an Application for Site Plan Review for permanent outdoor seating as a follow-up to the emergency temporary seating.

**BACKGROUND INFORMATION**

2207 2209 Nott Street is located within the C-N Commercial Neighborhood Zoning district and Town Center Overlay District. Section 220-10 District regulations E C-N Neighborhood Commercial District (3) Special principal uses (d) Restaurants, sit-down or take-out (no vehicle pickup and ordering facilities) allows a restaurant to be located in the C-N district upon granting of a special permit by the Town Board. The Town Board granted a special use permit on December 22, 2020 to allow a restaurant with bar, sit-down or take-out (no vehicle pickup and ordering facilities) by Resolution No. 2020-327.

Mr. Nicchi opened the restaurant in the early spring of 2022. As the temperatures began to rise, and the activity at the walk-up ice cream window began to increase, he noticed patrons collecting along the west façade to queue up in line for the widow or to socialize as they enjoyed their ice cream. He submitted a proposal to create a temporary outdoor seating area is intended to create a safe queuing and gathering area. He received temporary approval for the outdoor seating with the intention to observe how the temporary seating area functions and apply that learning to a more permanent solution in the future.

**ANALYSIS OF TEMPORARY SEATING**

1. Parking

During the public input opportunities associated with the Planning Board site plan review and Town Board special use permit review of the initial proposal to locate a sit-down restaurant with take-out window (no vehicle pickup or ordering facilities) at this location within the Co-op Plaza, parking availability was discussed and analyzed at length. A very detailed report was prepared that documents the zoning code based parking space requirements for 2207 / 2209 Nott Street and the entire Co-op Plaza. The report also includes an actual count of the existing parking spaces and the spaces that will exist after the Schenectady County redesign of the Co-op Plaza area of Nott. St. A summary of that analysis is included below. The complete report is saved in the project folder for the proposed temporary outdoor seating project.

Design Condition	Parking contiguous to 2207 / 2209 Nott St	Parking in entire Co-op Plaza parking lots
Current condition	21	115
Post Sch Cty proj	21	103
With Broken Inn outdoor seating	18	100

As noted in the complete report, the Co-op Plaza is “pre-existing nonconforming” relative to the Niskayuna zoning code that was first adopted in approximately 1971. The Co-op Plaza as a whole never had enough parking spaces to meet the current zoning code and in fact functions effectively in its current configuration. As noted above, the Schenectady County Nott St. reconfiguration project was approved with its 12 parking space reduction from the current condition. The proposed redesign for temporary outdoor seating will reduce available parking by 3 spaces.

## 2. Safety of patrons from vehicular traffic and parking

The Planning Board should consider and discuss the safety of patrons gathered in the proposed temporary outdoor seating area since that area is contiguous to a row of parking spaces where vehicles will be entering and exiting on a routine basis.

## 3. Queue area for the ice cream and take out windows

The Planning Board should consider and discuss how patrons will safely queue up for the take out windows since the windows are in the immediate vicinity of an active parking area.

## 4. Noise, garbage, parking demand & lighting

The creation of a temporary outdoor seating area would seem to produce an increase in noise and garbage and possibly increase the need for more parking and lighting. Although the outdoor seating area does not meet the definition of Gross Floor Area which drives parking space requirements an additional 833 sq. ft. plus seating area would seem to have an incremental impact.

The Police Chief, Highway Superintendent, Town Planner & members of the Planning Office held a meeting at 2009 Nott St. to discuss design options. An agreement was reached and a site plan was drafted by Mr. Nicchi’s engineer showing a temporary queuing and seating area and protective barriers to isolate patrons from vehicular traffic and cars entering and exiting the parking area. After a final review with the parties mentioned above, Ms. Robertson wrote an email to Mr. Nicchi approving the emergency site plan changes (attached).

**6/8/22 Conservation Advisory Council (CAC) meeting** – the proposal for outdoor seating was discussed during the CAC's 6/8/22 meeting. The CAC was supportive of the concept but would like to see more details. Ms. Robertson noted that emergency measures were in place for pedestrians using the ice cream window but now a thorough review of parking and outdoor dining/seating is needed. She stated that a more holistic review of parking, seating, lighting, noise etc. will be required before a larger plan could be approved.

#### **NEXT STEPS AFTER TEMPORARY SEATING APPROVAL**

1. Planning Board: The area is adjacent to a construction zone and looks like a construction zone itself for safety reasons. The Planning Board needs to work with Mr. Nicchi on an actual outdoor area for the Broken Inn that is visually stimulating and far more welcoming.
  - a. There were over 160 comments in favor of some form of outdoor seating by the public
  - b. There were several concerns expressed about parking, lighting and hours of operation as well as what the use of the outdoor seating area would be.
  - c. The current configuration can offer insight to how a more permanent solution will affect the area – but some of the impact is limited due to the major construction all around the project.
2. Owner: Mr. Nicchi needs to update his site plan application to put forward his best holistic plan for the area – including changes to parking / outdoor seating areas / and landscaping. He will also need to submit a special use permit application. The review of this proposal will include a public hearing and referral to the Town Board for modification of the special use permit.

#### **FOLLOW UP SUBMITTAL: REDESIGN FOR OUTDOOR DINING**

8/23/22 -- Mr. Nicchi submitted a 1-page statement of need / project narrative document, a 1-page colored exterior rendering and a 1-page dimensioned site plan drawing authored by MJ Engineering and Land Surveying, P.C. for the reconfiguration of the area along the Clifton Park Road side of Langes Pharmacy building at 22076 / 2209 Nott St. Mr. Nicchi's proposal is to create an approximately 80' x 20' area divided into three distinct areas and functions. The portion closest to Nott St. would be dedicated to bicycle racks, the area abutting the bike area would be configured for outdoor dining including waitress / waiter service from the restaurant and the final third of the space would be dedicated to a queuing and bench-type seating area for the ice cream window. The colored exterior rendering includes string lighting over the dining area, large landscape planter boxes that help frame the three spaces and a visual representation of how vehicles would be parked along Clifton Park Road and the beginning of the alley running parallel to Nott St.

The dimensioned site plan drawing indicates 17 parking spaces contiguous to the building including 1 handicap accessible space.

8/29/22 Planning Board (PB) meeting – Mr. Nicchi presented his proposed plan for outdoor dining to the Board. A discussion ensued and the Board requested the following action items.

- Basement access doors along the side of the building – provide some type of protective barrier system to prevent pedestrians from inadvertently tripping or falling.



- Replace the end parking spot along Clifton Park Road with a hardscape barrier to help shape traffic
- Provide additional detail on the proposed outside dining area – number of seats, hours of operation, music, lighting level, etc.
- Review Town Board comments in their resolution granting approval for the restaurant
- Obtain input regarding the proposed design from the Niskayuna Police and Fire Departments
- Add a Fog Line along Clifton Park Road to help identify traffic flow
- Explore replacing some of the large planters shown in the conceptual rendering with street trees

The Chairman noted that the next steps for the project are for Mr. Nicchi to provide responses to the action items noted above so that the project is defined enough for the PB to call for a public hearing.

9/2/22 Complete Streets Committee – the Complete Streets committee liked the outdoor space because they felt it made a more pedestrian friendly destination. They recommended putting some kind of physical barrier to the parking at the intersection of Crescent and Clifton Park, but thought with a little trimming of the trees on one side and shorting of the handicap parking landing the applicant might be able to squeeze a barrier in without losing a parking spot. They felt with tractor trailers and deliveries though – this may need to be a mountable curb.

9/7/22 Conservation Advisory (CAC) meeting – the CAC discussed the project during their September meeting. The CAC agreed with many of the items that were discussed during the 8/29/22 PB and Complete Streets meeting noted above. They also made the following comments to the Planning Board.

- They would like to see more greenspace added in this area. It is currently a sea of uninterrupted asphalt and the plan maintains the asphalt. They feel greenspace is needed to break up the area and provide protection from the heat in the summer time. The CAC would like to see more planters or street trees or even just grassy landscaped areas. They felt the addition of some greenspace would be worth sacrificing a parking spot or two if it could be added and would attract more pedestrians and customers to the plaza.
  - A street tree could be added to the curbed island delineating the parking
  - The restaurant has concrete planters but the public sitting area does not. Consider adding planters around the benches to protect from cars, add shade.
- Request snow removal plan
- Request outdoor trash collection plan / cigarette smoking area plan (consider not allowing smoking)
- Seating areas appear very close to cars which may be idling while patrons wait for ice cream or food. Consider a “no idling” zone for air quality protection.
- Black or metal benches will become very hot in summertime without any shade – consider wood or reflective material and shade structures for public sitting areas.
- Consider enlarging shade structures for restaurant to help with over-heating.
- A stop sign / stop line at the end of Crescent Road would help with directing traffic

- Review how drainage works for the proposal
- Consider eco-friendly alternatives to concrete / asphalt. Use recycled materials when available, LED and energy conservation practices
- The CAC also had a question about whether or not outdoor music would be allowed

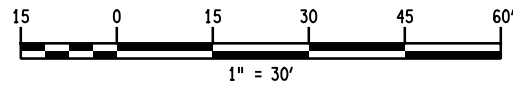
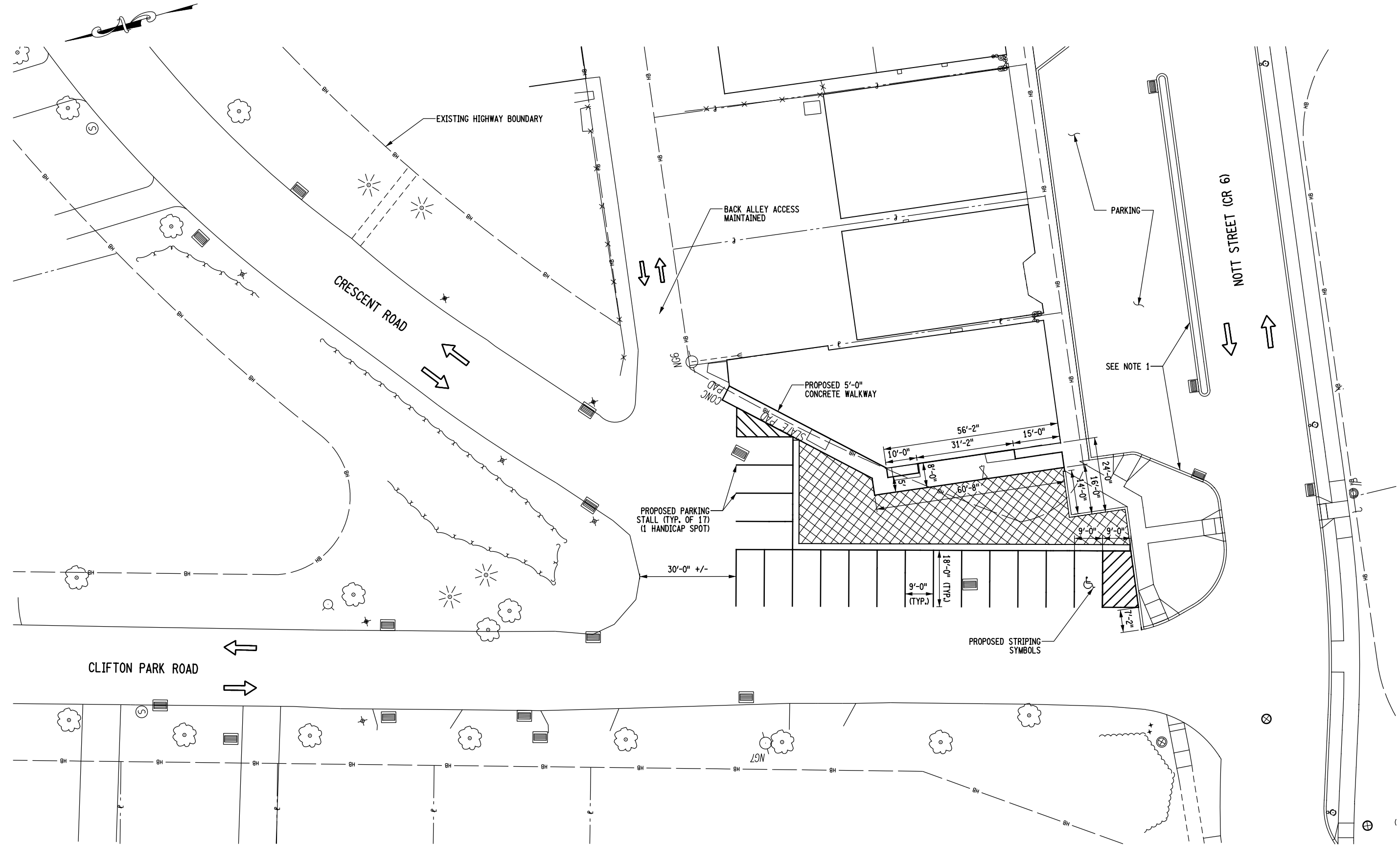
Mr. Nicchi is back in front of the Board to answer more questions.







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USER = ngibson



**NOTES:**

1. THE EXISTING CONDITION OF NOTT STREET INCLUDING CURBS, SIDEWALKS AND LANE WIDTHS REPRESENT THE PROPOSED DESIGN OF SCHENECTADY COUNTY'S PIN 1760.60 NOTT STREET SAFETY IMPROVEMENTS. CONSTRUCTION IS SCHEDULED FOR 2022.



Engineering and  
Land Surveying, P.C.  
1533 Crescent Road - Clifton Park, NY 12065

**CONCEPT DRAWING  
NOTT  
STREET/CRESCENT  
ROAD OUTDOOR DINING  
AREA AND PARKING  
MODIFICATIONS**

JULY 2022

MJ PROJ. No.: 874.30

DRAWING NO.

**1.0**





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 6

MEETING DATE: 9/12/2022

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**ITEM TITLE:** DISCUSSION: 2837 Aqueduct Rd. (Rivers Ledge) – site plan app for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space.

**PROJECT LEAD:** Genghis Khan & Chris LaFlamme

**APPLICANT:** Chuck Pafundi, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board  
☒ OTHER: ARB (in process)

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

**BACKGROUND INFORMATION**

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

**Phase 2 – Revision 1**

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

**Phase 2 – Revision 2**

The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

## **Phase 2 – Revision 3**

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.
3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.

4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

## **SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL**

**Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:**

*The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.*

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*
- h) *The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

5/23/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and presented the Rev 3 version of the proposed Senior Center. He noted that since they last appeared before the

PB (11/8/21) their design team completely redesigned their approach. One of their primary goals was to break up the long length of the building with the use of a row house look and a variety of façade depths, colors, etc. He noted that they were able to maintain the requirement of 1 parking space for each apartment unit in the building. PB members noticed and commented on the height of the building being 41' (35' is max. allowed per zoning code) and would therefore still require a variance. The PB suggested that Mr. Pafundi utilize a mixture of roof lines – dormers, gable, mansard roof, etc. to soften the building appearance.

Mr. Pafundi stated that he can have his architects and civil engineers work together to create a rendering of how the building will appear with the existing trees and vegetation around it. Mr. Pafundi noted that he is working with the Army Corps of Engineers regarding wetlands.

The PB established the following action items.

- Applicant – work with design team regarding the PB's façade comments
  - Create a rendering showing proposed building with exiting trees around it to help w/scale
  - Explore ways to shorten the height of the building and also make it appear shorter
- PO – schedule a review with the ARB
- PO – provide pictures of Notts Landing to Mr. Pafundi

On Monday June 6, 2022 Mr. Pafundi emailed the Planning Office stating that he and his design team evaluated the following 3 design options.

1. Reduce the height of the building to comply with the 35' maximum zoning code height.
2. Employ design features such as dormers, gable roofs, mansard roofs, etc. to reduce the visual impact of a building that is taller than 35'. (Make the building appear <= 35').
3. Proceed with the design as it was presented at the 5/23/22 PB meeting and request a variance for building height from the Zoning Board of Appeals (ZBA).

In the email Mr. Pafundi stated that they would like to proceed with option 3. A scaled rendering of the 41' high building and the surrounding trees was also provided.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office described the details of the Rev 3 version of the proposed Senior Center Building to the CAC. After an engaged discussion the CAC members concurred on offering the following suggestions.

- They would like to see what a 2 story rendition would like that complies with the 35' height requirement because they are concerned about the height.
- They asked for green energy practices to be utilized – solar, EV charging stations, etc.
- They asked the Planning Board to require pesticide free maintenance of the building grounds, especially with all the wetland around
- They asked for a path or walkway to connect all of the buildings, including the small commercial building, to the bike path.
- They requested outdoor seating and outdoor recreation space for the senior center building and outdoor seating for the commercial building.
- They appreciated the reduction in wetland impacts.



6/13/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and explained that the developer would like to pursue approval of the 41' high building as shown in the "Rev 3" design. He noted that their design team believes the extra 6' ( $41 - 35 = 6$ ) of building height allows for a more residential looking pitched roof design. He requested that the Planning Board proceed with the "Rev 3" design and make a recommendation either for or against the design so that he could pursue an area variance for 6 additional feet of building height with the ZBA. Ms. Robertson displayed the colored rendering that was included in the PB meeting packet that showed a scaled side elevation view of the building including the nearby trees. After discussion the PB requested the following additional detail for the 7/11/22 PB meeting and agreed to make a recommendation on the ZBA application at that meeting.

6/15/22 Architectural Review Board (ARB) meeting – the ARB reviewed the most recent images of the building and discussed the upcoming ZBA meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – Mr. Pafundi attended the meeting and repeated the presentation he made to the Planning Board at their 6/13/22 meeting. He responded to each of the CAC's requests from their 6/8/22 meeting and explained why some could be implemented and why others could not. Mr. Pafundi and the CAC discussed several potential additions to the site plan including the following.

- Add a sidewalk and cross walk that connects the small commercial building that is part of the Senior Center site plan to the bike path.
- Add an outdoor seating and potentially dining area between the Senior Center and River Run Drive.
- Add more landscape screening between the Senior Center building and Aqueduct Road
  - Utilize a mixture of evergreen and deciduous trees
  - Retain as many existing trees as possible
- Utilize pesticide free landscaping practices

Mr. Pafundi noted that he is working with his team to produce architectural renderings of the Senior Center as viewed from the Rexford side of the Mohawk River. The Planning Board previously asked for renderings that show where the air conditioning units will be located on the buildings.

7/11/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and addressed the questions that were raised at the 6/13/22 PB meeting. He confirmed that the HVAC units will not be visible from the sidewalks, streets or anywhere outside and around the building. He noted that the design team is still working on preparing renderings of how the proposed Senior Center building will appear when viewed from the Alplaus side of the Mohawk River. He expected to have the renderings in time for the 8/24/22 ZBA meeting. He also noted that the final package has been submitted to the Army Corps of Engineers and that the first comments from the Town's TDE were received on 7/7/22. The PB inquired about how the "barbell" ends of the building connect with the main building roofline. Mr. D'Arpino requested an aerial roof plan. Mr. Pafundi agreed to provide the plan. The PB discussed the effect on the comprehensive plan, the suitability of use and then recommended with a vote of 7-0 that the ZBA grant the requested area variance for building height.

8/3/22 Schenectady County Planning and Zoning Coordination Referral – The Commissioner of Economic Development and Planning received the Town's referral and approved the proposal on 8/3/22.

8/17/22 Architectural Review Board (ARB) – The ARB reviewed the most recent documents and renderings of the proposed Senior Center at their 8/17/22 meeting. The Planning Office had prepared a Power Point presentation of several existing “row house” type buildings in the Capital District for reference. The presentation includes buildings in Ballston Spa, Saratoga, Green Island as well as generic “row house images” that were obtained with a simple Goggle search. The ARB still has concerns regarding the mass and scaling of the buildings. They agreed that a roofline plan is necessary to assess how the building would be constructed and how it would appear from various viewing angles. The ARB agreed to schedule a follow up working session with Mr. Pafundi and HCP Architects.

8/24/22 ZBA meeting – The Zoning Board of Appeals reviewed the application for an area variance for 6 additional feet of building height and granted the variance at their 8/24/22 meeting. They requested that the applicant work with the Planning Board to remove white siding from the proposed new building (per Alplaus resident request at meeting).

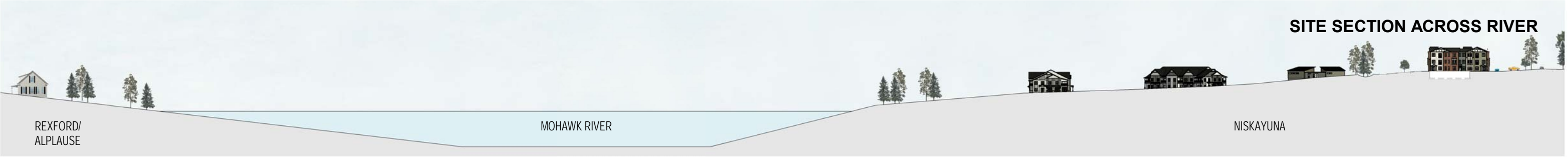
8/29/22 Planning Board (PB) meeting – Mr. Pafundi was not able to attend the 8/29/22 PB meeting. Chairman Walsh and Ms. Robertson updated the Board regarding the ZBA’s granting of the area variance for building height. The PO and PB discussed the next steps for the project and the outstanding action items from the 7/11/22 PB meeting.

Mr. Pafundi and his engineer Mr. Steenburgh submitted a “site section view” drawing to the Planning Office on 9/8/22. The drawing shows a cross section view of an elevation view of the Alplaus side of the Mohawk River, the Mohawk River, and the Niskayuna side of the Mohawk River. The drawing shows the general elevation differences between the homes on the Alplaus side of the river and the Rivers Ledge site. The Planning Office reviewed their notes from previous meetings and compiled the following list of open action items for review at the 9/12/22 meeting.

1. Add a sidewalk and cross walk that connects the small commercial building to the existing bike path.
2. Add outdoor seating / dining area between the Sr. Center and River Run Drive.
3. Add more landscape screening between the Sr. Center building and Aqueduct Rd.
  - a. Utilize a mixture of evergreen and deciduous trees.
  - b. Retain as many existing trees as possible.
4. Per resolution 2021-31 Condition 3 (h) install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.
5. Remove white siding from the proposed buildings.
6. Provide a roof plan for the Sr. Center building.
7. Meet with the ARB to continue to refine the façade design of the building.

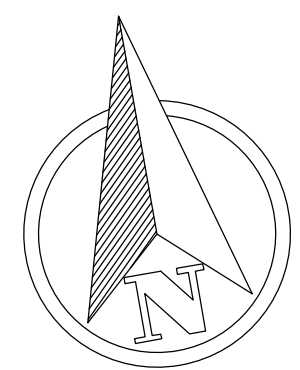
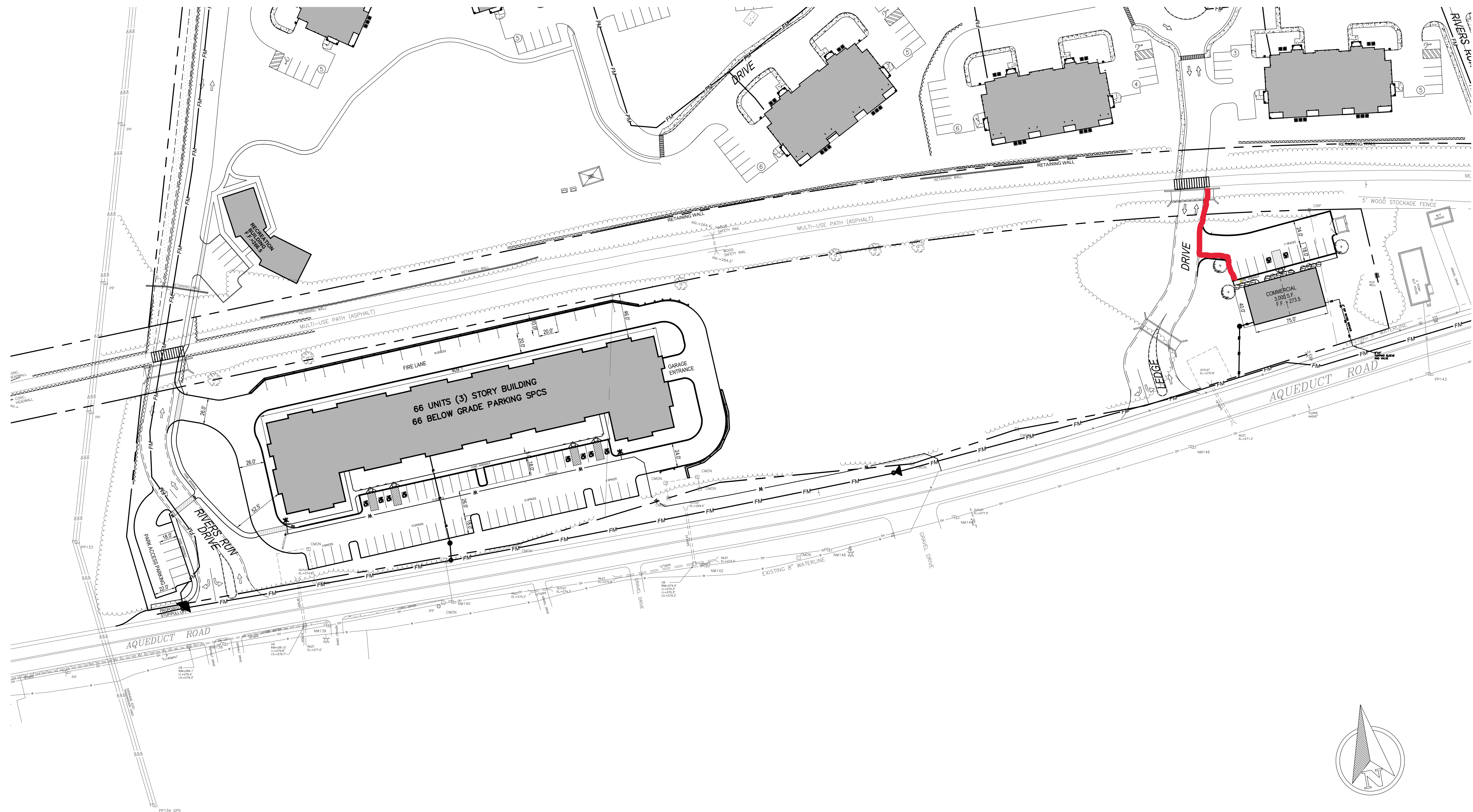
There are additional, more detailed comments from the Tree Council that also need to be prepared and sent to the applicant.

ENLARGED SITE SECTION





OWNER: RIVERS LEDGE OF NISKAYUNA  
APPLICANT: RIVERS LEDGE OF NISKAYUNA  
49 RAILROAD AVENUE  
ALBANY, NY 12205  
AREA = 5.25+ ACRES  
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
PARKING PROVIDED = 144 SPACES  
GARAGE SPACES = 66 SPACES  
OUTDOOR SPACES = 78 SPACES  
BUILDING HEIGHT - 35'  
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
PARKING PROVIDED = 11 SPACES  
BUILDING HEIGHT - 16'



BRETT L. STEENBURGH MAP REFERENCE:  
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS  
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

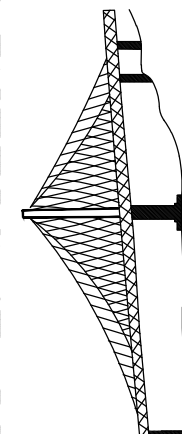
OVERALL PLAN  
PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY  
TOWN OF NISKAYUNA  
STATE OF NEW YORK

DRAWN BY: CADD FILE:	CHECKED BY: JOB NO.	SCALE: 1" = 50'
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DATE: MAY 11, 2022	SHEET 0-1
--------------------	-----------

**BRETT L. STEENBURGH, P.E. PLLC**



2832 Rosendale Road  
Niskayuna, NY 12309  
(518) 365-0675  
bsteenburghpe@gmail.com



**ENGINEERING THAT TRANSFORMS  
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[bsteenburghpe@gmail.com](mailto:bsteenburghpe@gmail.com)

BRETT L. STEENBURGH, P.E.  
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[illegible]





Existing  
sidewalk

Sidewalk to  
be added

Mohawk River



SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA  
APPLICANT: RIVERS LEDGE OF NISKAYUNA  
49 RAILROAD AVENUE  
ALBANY, NY 12205  
AREA = 5.25± ACRES  
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
PARKING PROVIDED = 144 SPACES  
GARAGE SPACES = 66 SPACES  
OUTDOOR SPACES = 78 SPACES  
BUILDING HEIGHT - 35'  
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
PARKING PROVIDED = 11 SPACES  
BUILDING HEIGHT - 16'

LEGEND

- 1

2

3

4

5

6

7

8

9
- HANDICAP RAMP PER ADA STANDARDS

CONCRETE SIDEWALK

BEGIN CURB

END CURB

HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)

STOP SIGN (MUTCD R1-1 MIN. 30" X 30")

NO PARKING ANYTIME SIGN (MUTCD R7-1)

BEGIN RETAINING WALL

END RETAINING WALL
- 10

11

12

13

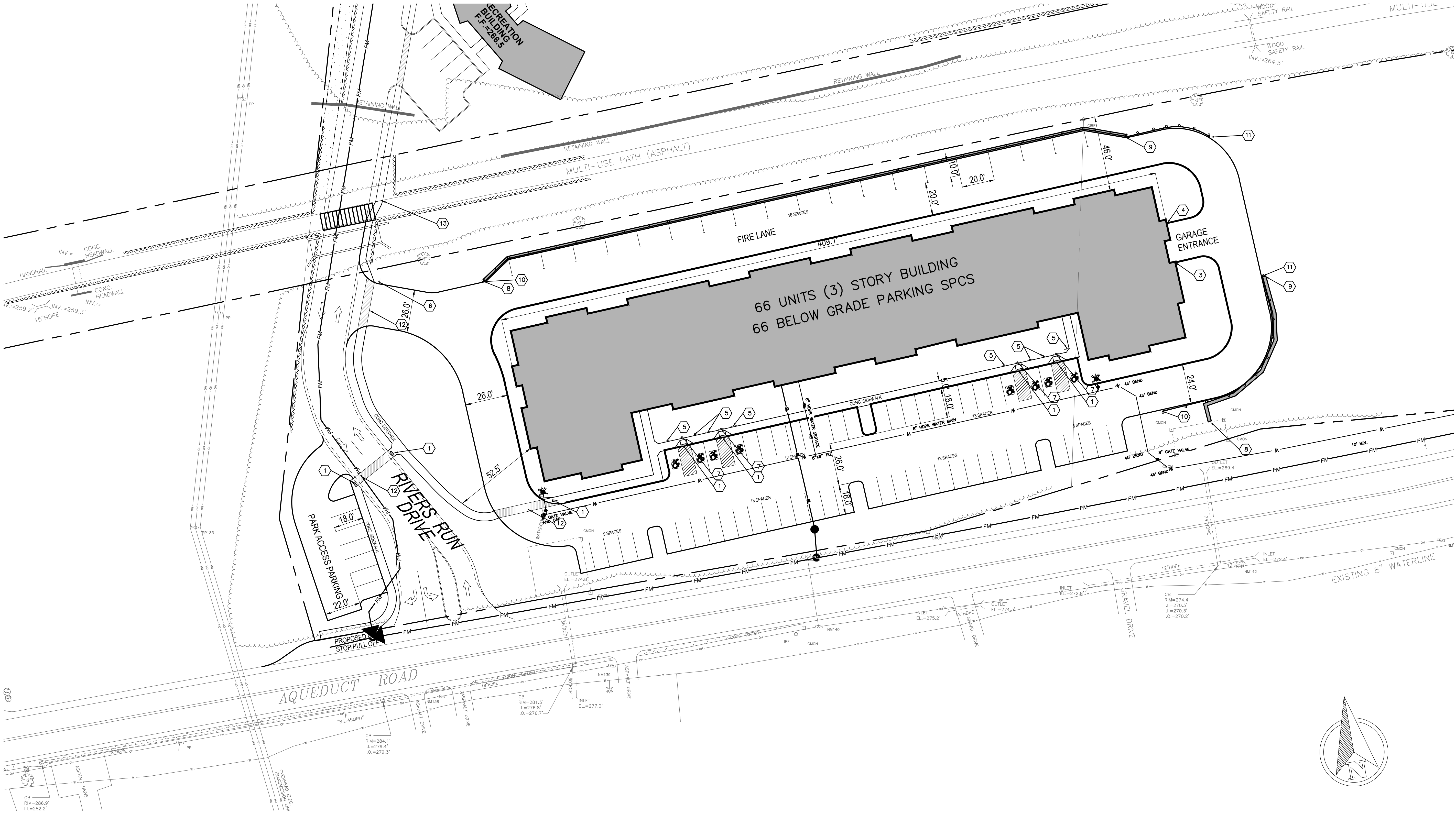
14
- BEGIN GUIDE RAIL

END GUIDE RAIL

CROSSWALK

CONNECT TO EX. SIDEWALK

DUMPSTER ENCLOSURE



SITE PLAN

PHASE 2 - RIVERS LEDGE OF NISKAYUNA

2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY

TOWN OF NISKAYUNA

STATE OF NEW YORK

DRAWN BY:

CHECKED BY:

DATE:

SCALE: 1" = 30'

SHEET S-1

BRETT L. STEENBURGH, P.E. PLLC

2832 Rosendale Road

Niskayuna, NY 12309

(518) 365-0875

bsteenburgpe@gmail.com

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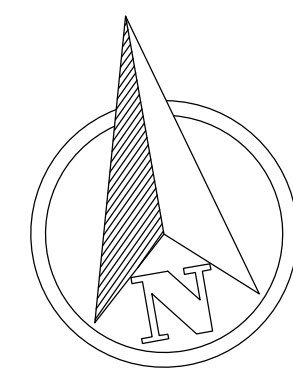
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PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS  
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.




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APPLICANT: RIVERS LEDGE OF NISKAYUNA  
49 RAILROAD AVENUE  
ALBANY, NY 12205  
AREA = 5.25± ACRES  
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
PARKING PROVIDED = 144 SPACES  
GARAGE SPACES = 66 SPACES  
OUTDOOR SPACES = 78 SPACES  
BUILDING HEIGHT - 35'  
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
PARKING PROVIDED = 11 SPACES  
BUILDING HEIGHT - 16'

1	HANDICAP RAMP PER ADA STANDARDS
2	CONCRETE SIDEWALK
3	BEGIN CURB
4	END CURB
5	HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)
6	STOP SIGN (MUTCD R1-1 MIN. 30" X 30")
7	NO PARKING ANYTIME SIGN (MUTCD R7-1)
8	BEGIN RETAINING WALL
9	END RETAINING WALL

- 
- This site plan illustrates a commercial property layout. The central feature is a rectangular building labeled "COMMERCIAL 3,000 S.F. F.F. = 273.5" with dimensions of 75.0' by 40.0'. To the left of the building is a "DRIVE" with a "LEDGE" and a "5' WOOD STOCKADE FENCE". A "MULTI-USE PATH (ASPHALT)" runs along the top of the property. To the right, there is a "2 STORY W/F HOUSE" and a "3 STORY W/F HOUSE". A "GRANITE DRIVE" is shown near the houses. The plan also includes a "RETAINING WALL" along the top edge, a "DUG WELL", and an "EXISTING 8" WATERLINE". A "TAPPING SLEEVE AND VALVE" is located near the waterline. The "AQUEDUCT ROAD" runs along the bottom of the property. The plan includes various utility lines, including a "12" WATERLINE" and a "12" SEWER LINE". A "CURVE AHEAD" warning is shown near the bottom right. A north arrow is located in the bottom right corner.



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COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK		SCALE: 1" = 30' SHEET S-1	
PHASE 2 - RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD		BRETT L. STEENBURGH, P.E. PLLC  2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburghped@gmail.com	
COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK		ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY	

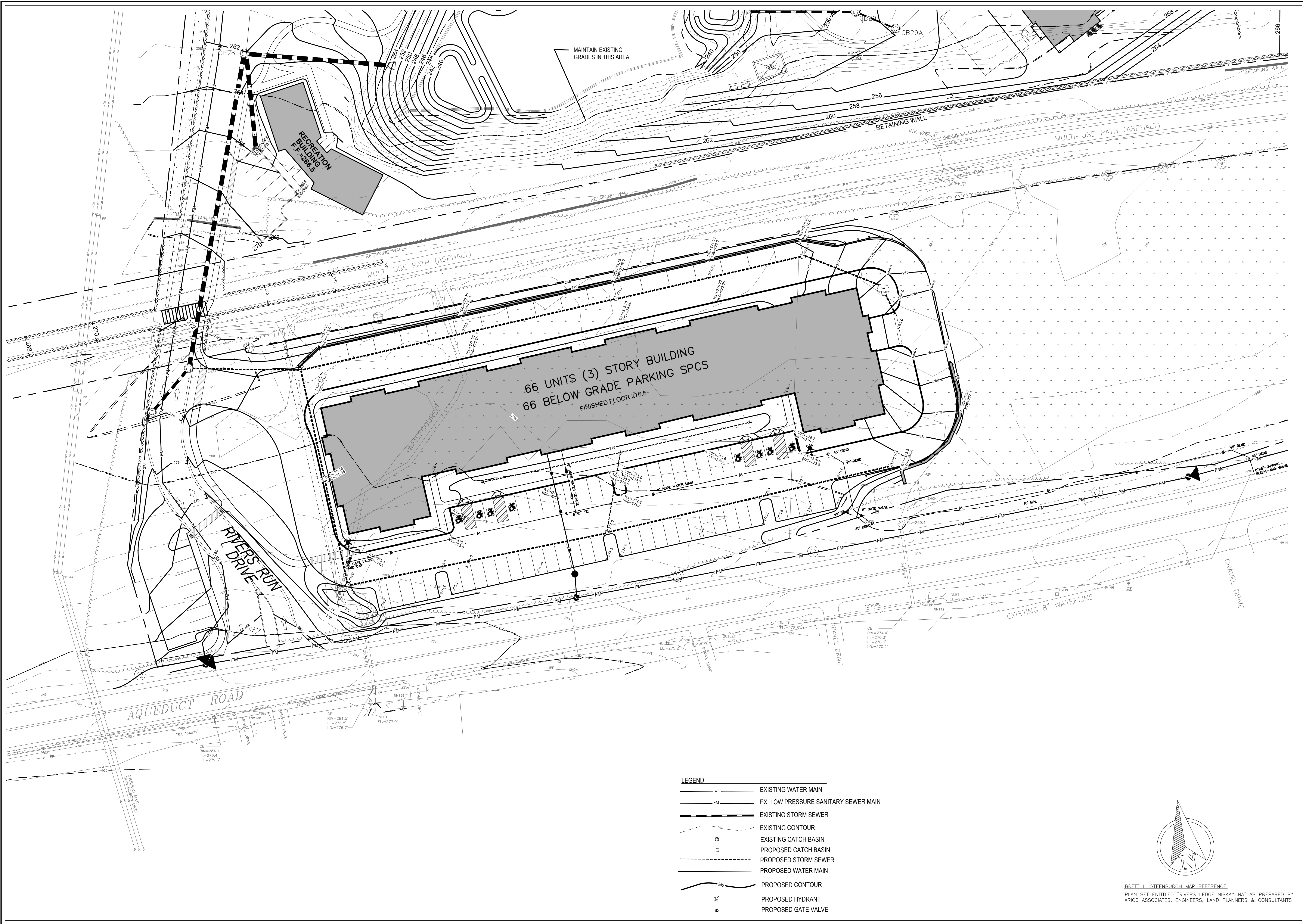
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GRADING PLAN

PHASE 2 - RIVERS LEDGE OF NISKAYUNA

2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY

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DATE: MAY 11, 2022

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2832 Rosendale Road

Niskayuna, NY 12059

(518) 365-0675

bsteenburgpe@gmail.com

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STATE OF NEW YORK

TOWN OF NISKAYUNA

CHECKED BY: [blank]

JOB NO. [blank]

SCALE: 1" = 30'

SHEET G-1

NO. DATE: [blank]

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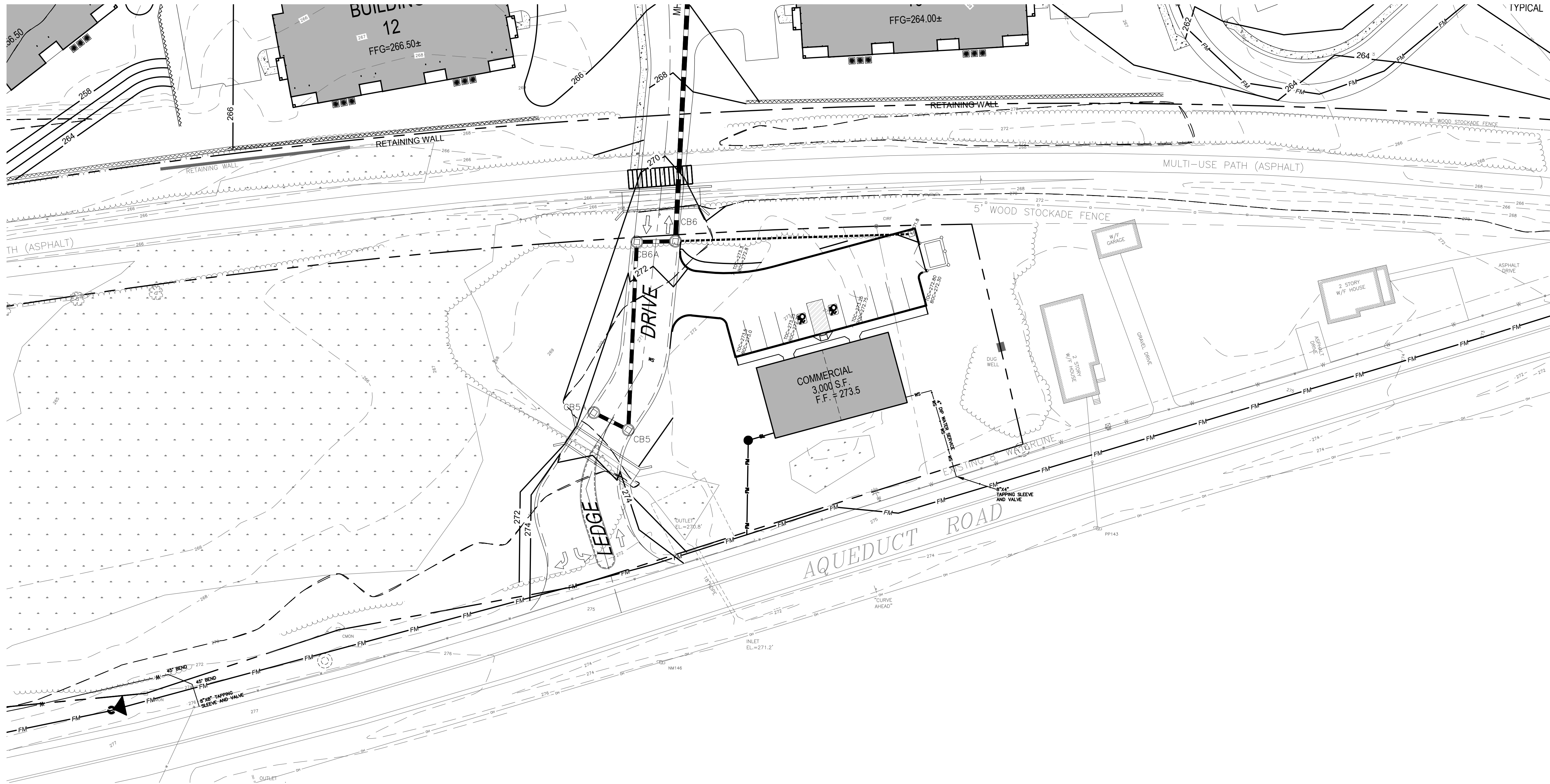
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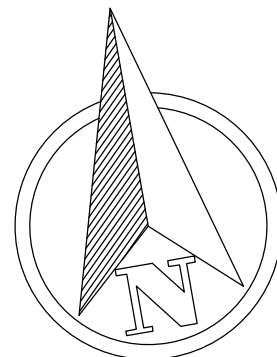
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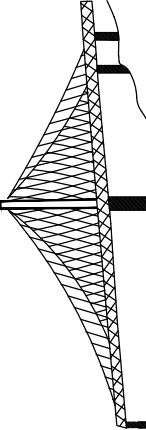
- LEGEND
- w— EXISTING WATER MAIN
  - FM— EX. LOW PRESSURE SANITARY SEWER MAIN
  - — — EXISTING STORM SEWER
  - - - - - EXISTING CONTOUR
  - ⊙ EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - - - - - PROPOSED STORM SEWER
  - — — PROPOSED WATER MAIN
  - — — PROPOSED CONTOUR
  - ⊙ PROPOSED HYDRANT
  - ⊙ PROPOSED GATE VALVE



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BRETT L. STEENBURGH, P.E. PLLC

2832 Rosendale Road  
Niskayuna, NY 12309  
(518) 365-0675  
bsteenburgpe@gmail.com



ENGINEERING THAT TRANSFORMS  
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GRADING PLAN  
PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY  
TOWN OF NISKAYUNA  
STATE OF NEW YORK  
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CADD FILE: [blank]  
DATE: MAY 11, 2022  
SCALE: 1" = 30'  
SHEET G-2

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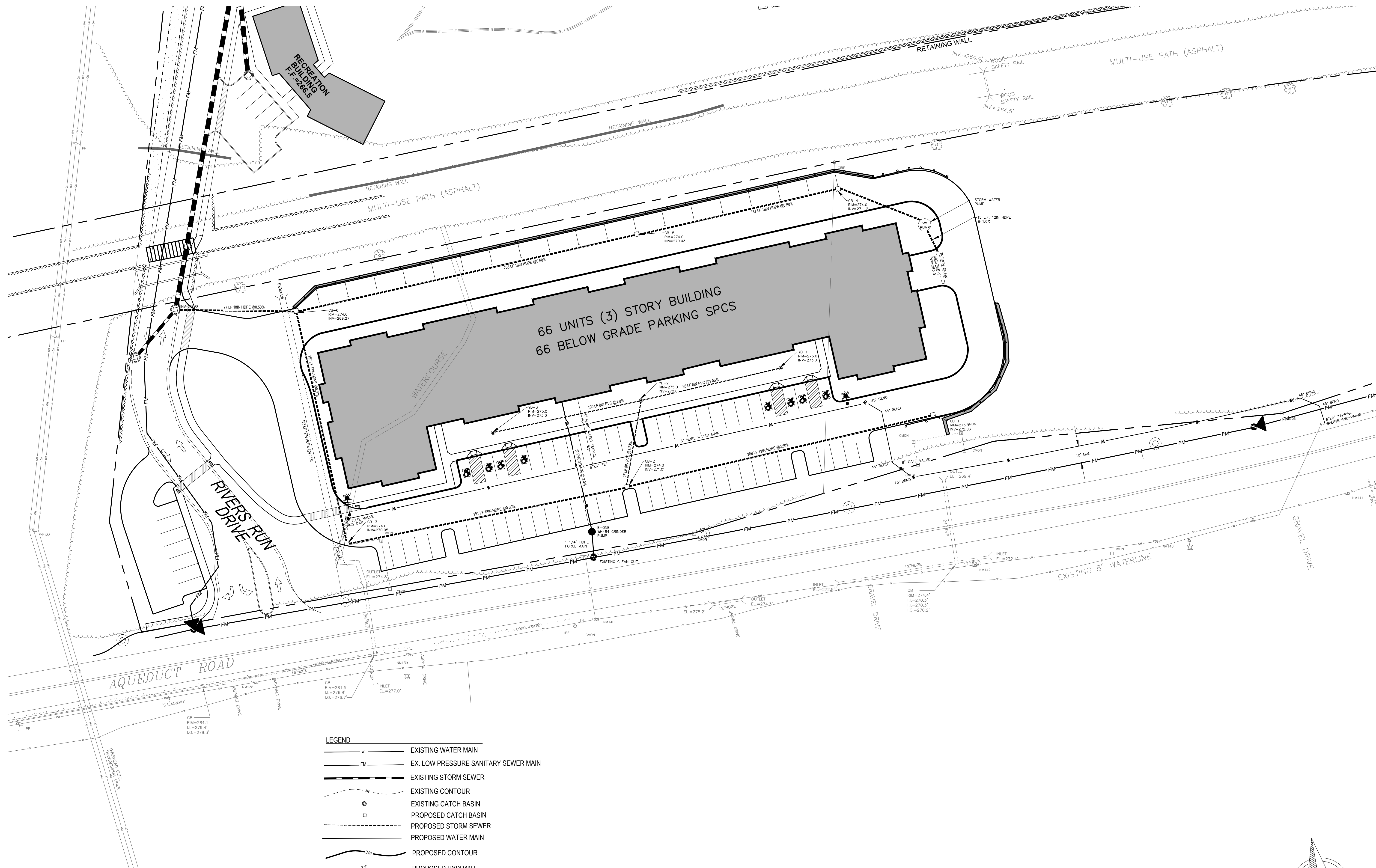
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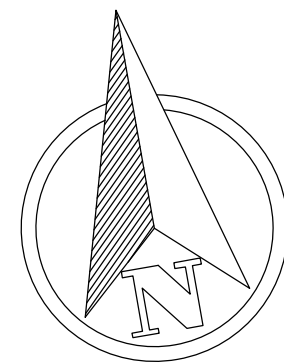
NO. DATE: BY:

REVISIONS



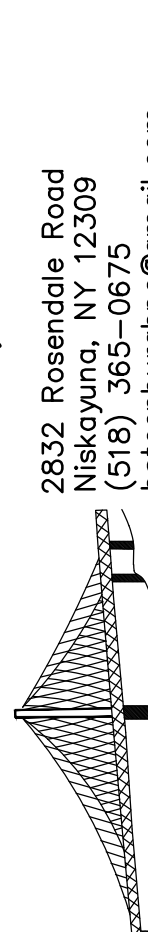


- LEGEND**
- w — EXISTING WATER MAIN
  - FM — EX. LOW PRESSURE SANITARY SEWER MAIN
  - - - - - EXISTING STORM SEWER
  - - - - - EXISTING CONTOUR
  - EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - - - - - PROPOSED STORM SEWER
  - PROPOSED WATER MAIN
  - 346 — PROPOSED CONTOUR
  - ⊕ PROPOSED HYDRANT
  - PROPOSED GATE VALVE



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ENGINEERING THAT TRANSFORMS  
IMAGINATION INTO REALITY

UTILITY PLAN  
PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

TOWN OF NISKAYUNA  
STATE OF NEW YORK

COUNTY OF SCHENECTADY  
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CHECKED BY: [blank]  
CADD FILE: [blank]  
DATE: MAY 11, 2022

SCALE: 1" = 30'

SHEET U-1

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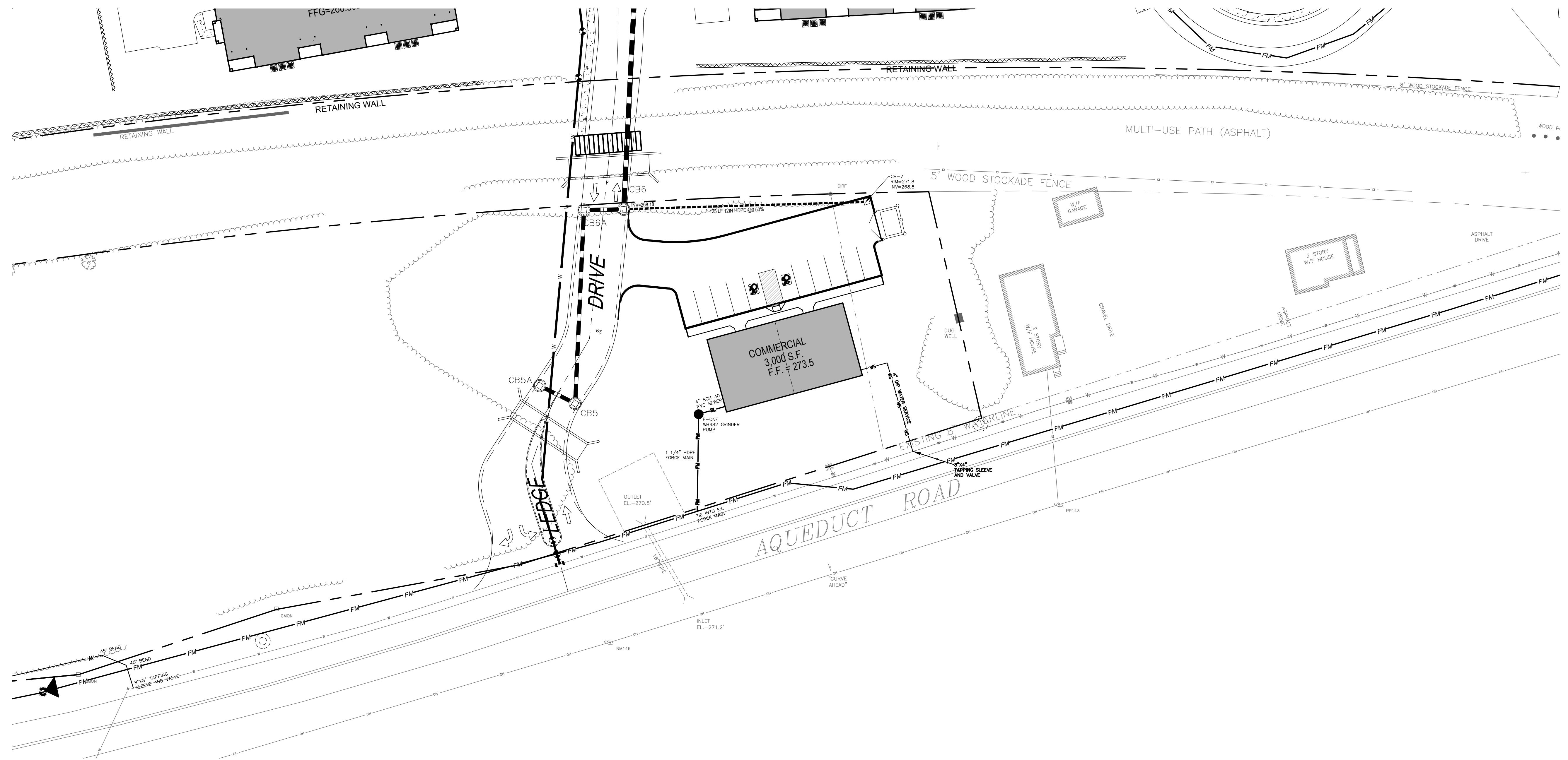
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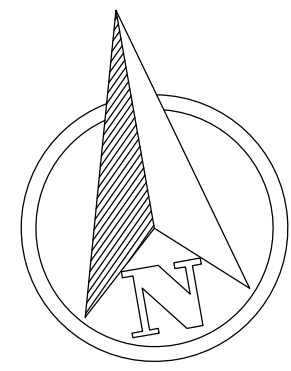
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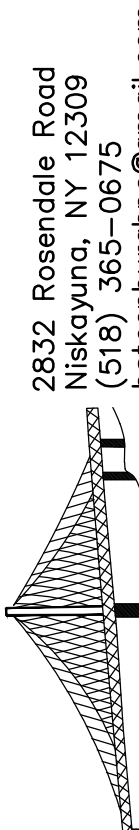
- LEGEND**
- W — EXISTING WATER MAIN
  - FM — EX. LOW PRESSURE SANITARY SEWER MAIN
  - — — EXISTING STORM SEWER
  - - - - - EXISTING CONTOUR
  - ⊙ EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - - - - - PROPOSED STORM SEWER
  - — — PROPOSED WATER MAIN
  - 360 — PROPOSED CONTOUR
  - 15% — PROPOSED HYDRANT
  - S — PROPOSED GATE VALVE



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2832 Rosendale Road  
Niskayuna, NY 12309  
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bsteenburgp@bmail.com



ENGINEERING THAT TRANSFORMS  
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UTILITY PLAN  
PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

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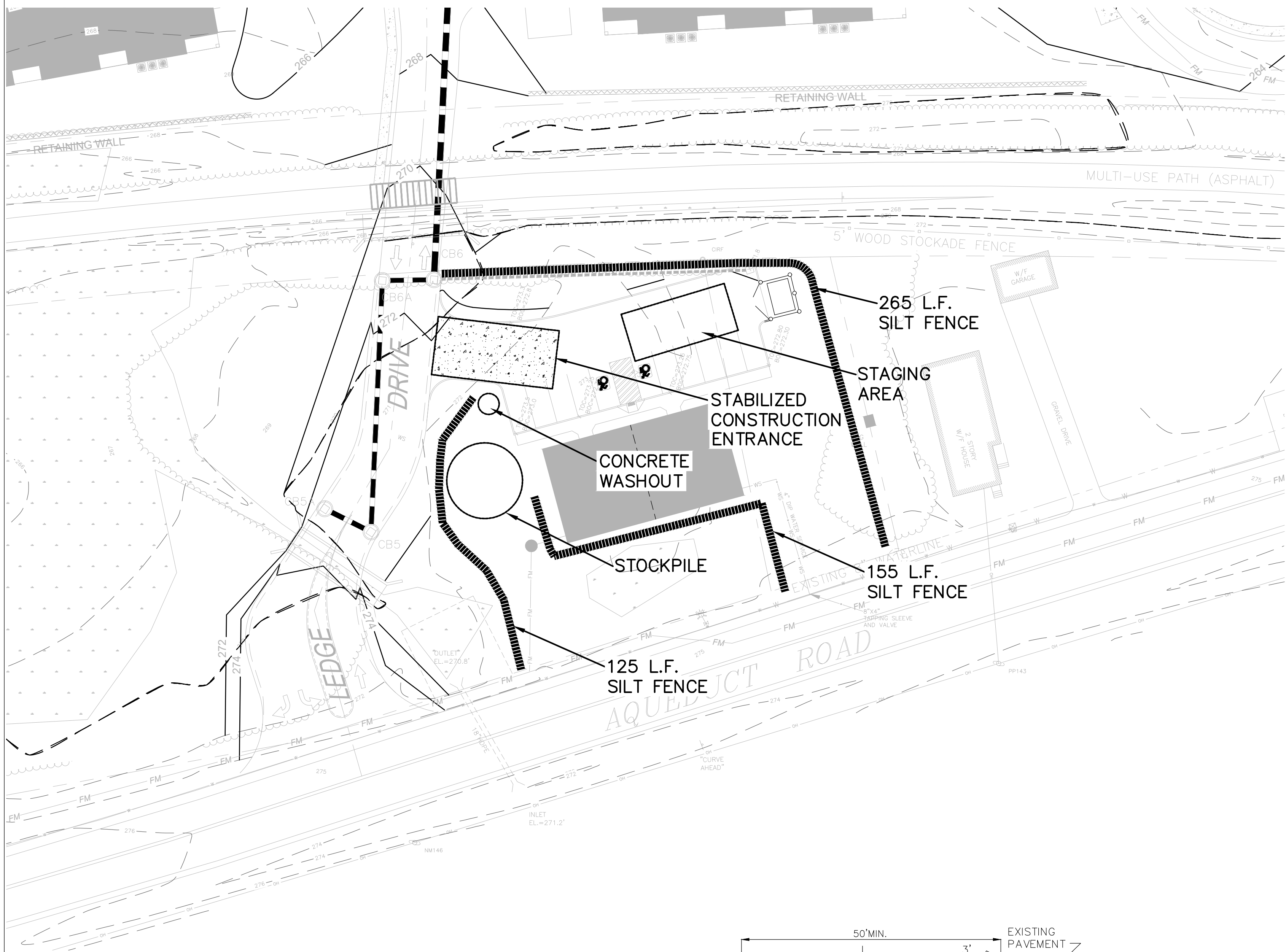
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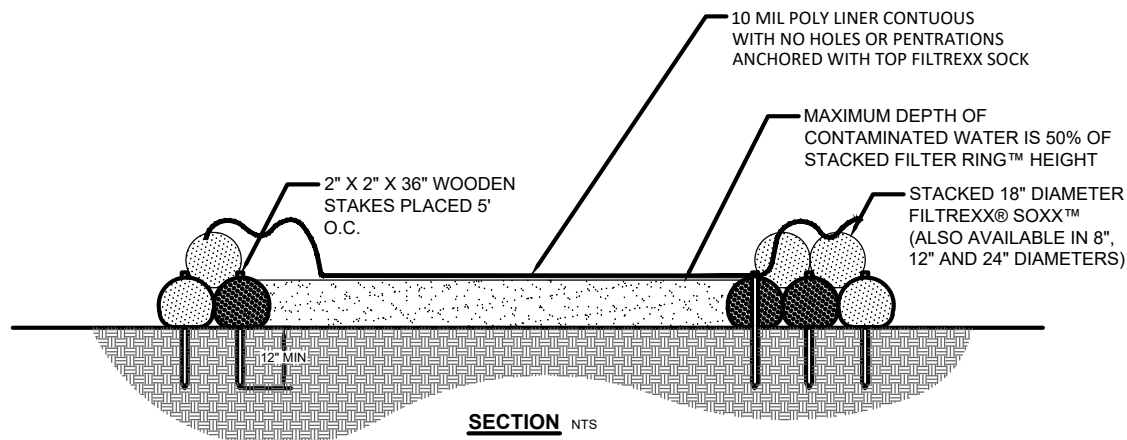




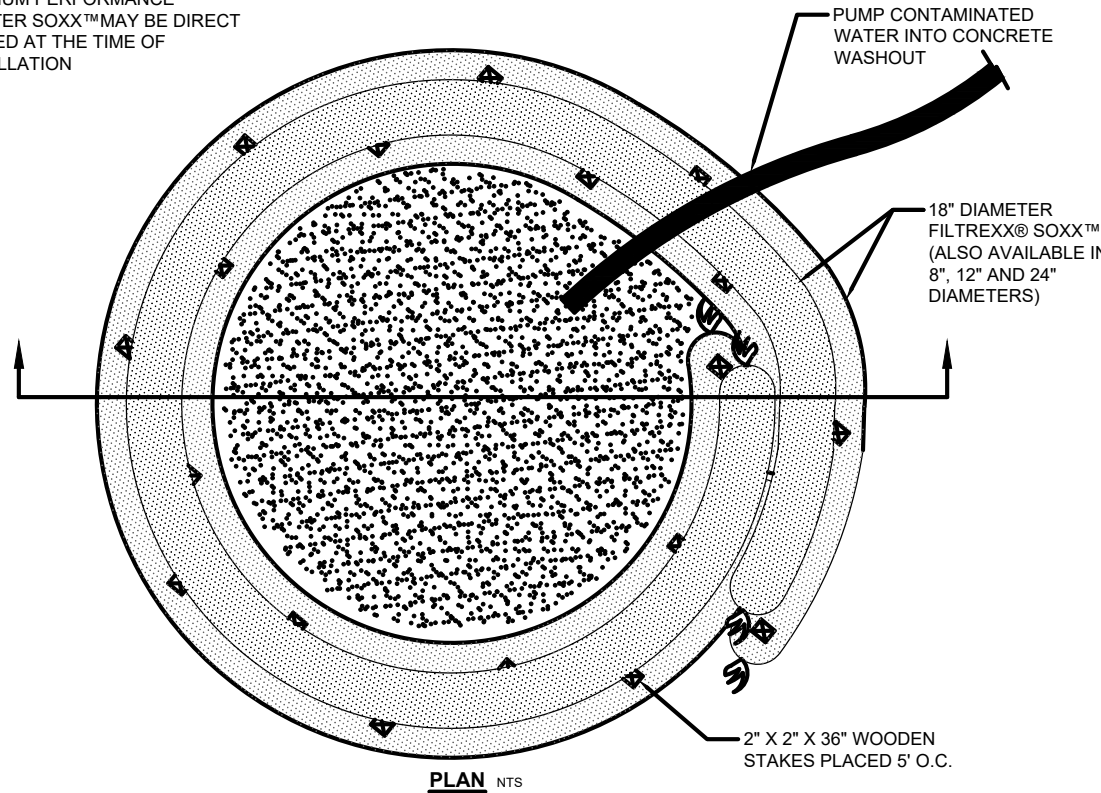


- LEGEND**
- EXISTING WATER MAIN
  - EX. LOW PRESSURE SANITARY SEWER MAIN
  - EXISTING STORM SEWER
  - EXISTING CONTOUR
  - EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - PROPOSED STORM SEWER
  - PROPOSED WATER MAIN
  - PROPOSED CONTOUR
  - PROPOSED HYDRANT
  - PROPOSED GATE VALVE

- EROSION AND SEDIMENT CONTROL NOTES:**
- A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE SITE CONTRACTOR, SWPPP INSPECTOR, PROPERTY OWNER AND THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - ESTABLISH A PERMANENT TRAFFIC CORRIDOR FOR ALL TRAFFIC DURING CONSTRUCTION. A STONE STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED AND INSPECTED AND APPROVED BY THE THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. TRAFFIC SHALL NOT CROSS OR OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
  - IF REQUESTED BY THE STORMWATER OFFICE, ADDITIONAL SILT FENCE MUST BE INSTALLED A MINIMUM OF 6 INCHES INTO THE GROUND SURFACE.
  - ANY SOILS TRACKED INTO PUBLIC ROADS MUST BE SWEEPED UP IMMEDIATELY
  - CONCRETE POURING MAY NOT TAKE PLACE UNTIL A CONCRETE WASHOUT AREA IS INSTALLED.
  - ANY PUMPING OF STORMWATER ON SITE MUST BE DISCHARGED THROUGH A FILTER AND/OR STONE.
  - A FINAL GRADING INSPECTION IS REQUIRED WITH THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL EXPOSED SOILS MUST BE STABILIZED AND APPROVED IF THE C.O. IS NEEDED DURING NON GROWING MONTHS, THE OWNER MUST PROVIDE A GRADING ESCROW TO THE STORMWATER OFFICE FOR THE OUTSTANDING WORK TO BE COMPLETED DURING THE GROWING MONTHS.

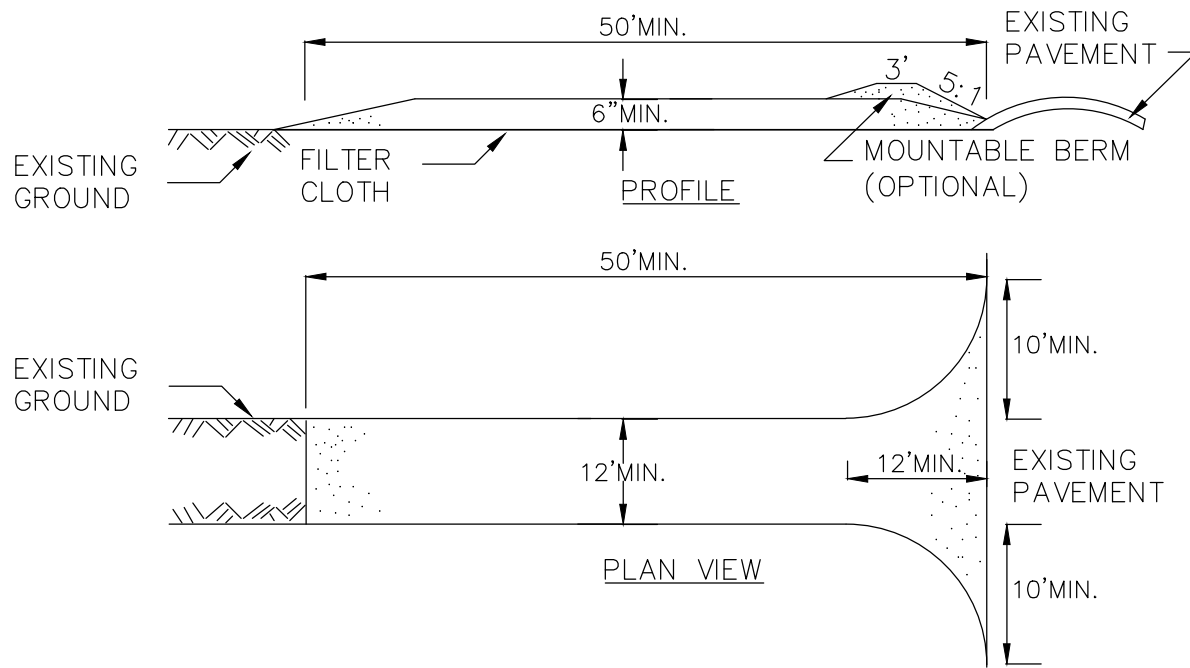
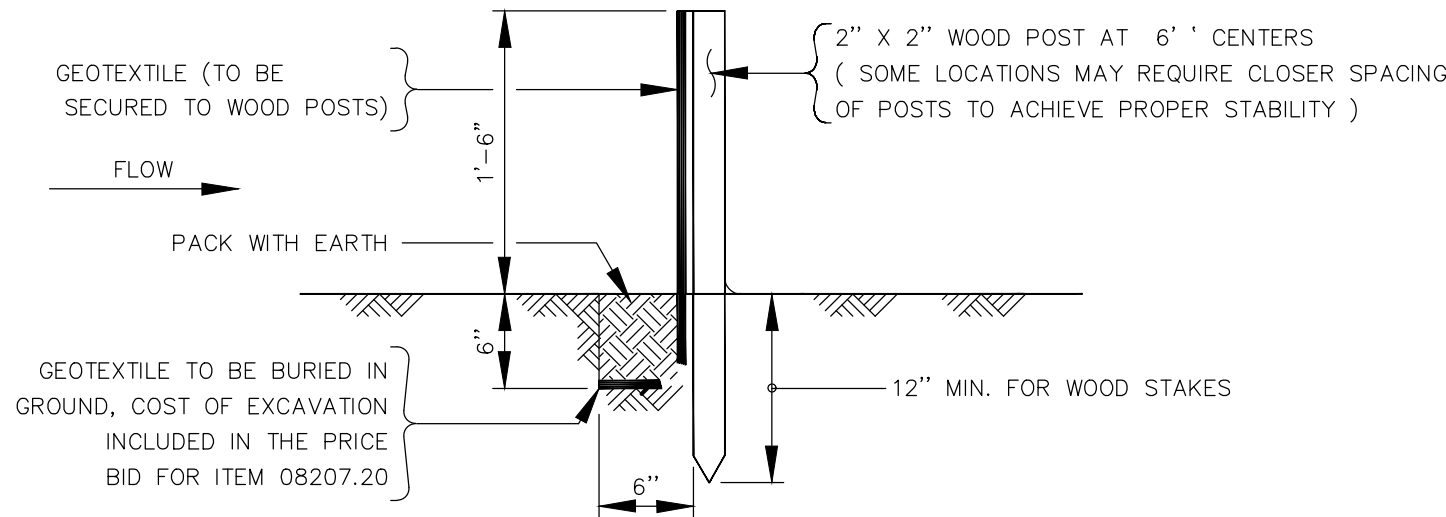


- NOTES:**
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
  - FILTER SOCK™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION



**FILTREXX® CONCRETE WASHOUT**

NTS



**CONSTRUCTION SPECIFICATIONS**

- STONE SIZE – USE 2” STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS – NOT LESS THAN SIX (6) INCHES.
- WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- CONSTRUCTION ACCESS ALONG FEURA BUSH ROAD SHALL BE CONSTRUCTED IN COMPLIANCE WITH THESE PLANS AND NYSDOT STANDARD SHEET 209.05

**STABILIZED CONSTRUCTION ENTRANCE DETAIL**

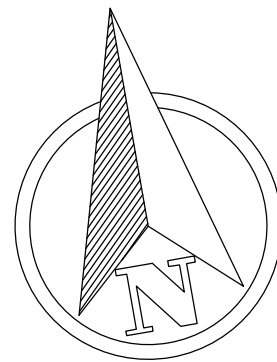
(NOT TO SCALE)

**SILT FENCE DETAIL**

**CONSTRUCTION NOTES FOR FABRICATED SILT FENCE**

(NOT TO SCALE)

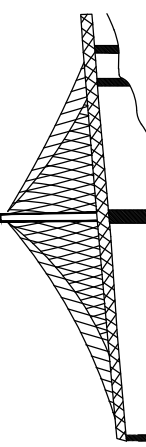
- |  |  |
|--|--|
| 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.                                | POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD                       |
| 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. | FENCE: WOVEN WIRE, 14 6" MAX. MESH OPENING                               |
| 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.            | FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL. |
| 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE             | PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.              |



BRETT L. STEENBURGH, P.E. PLLC  
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
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2832 Rosendale Road  
Niskayuna, NY 12309  
(518) 365-0675  
bsteenburgpe@gmail.com



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**E & SC PLAN**  
**PHASE 2 – RIVERS LEDGE OF NISKAYUNA**  
**2837 AQUEDUCT ROAD**

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

DRAWN BY: CHECKED BY: SCALE: 1" = 30'

CADD FILE: JOB NO. SHEET E-2

DATE: MAY 11, 2022

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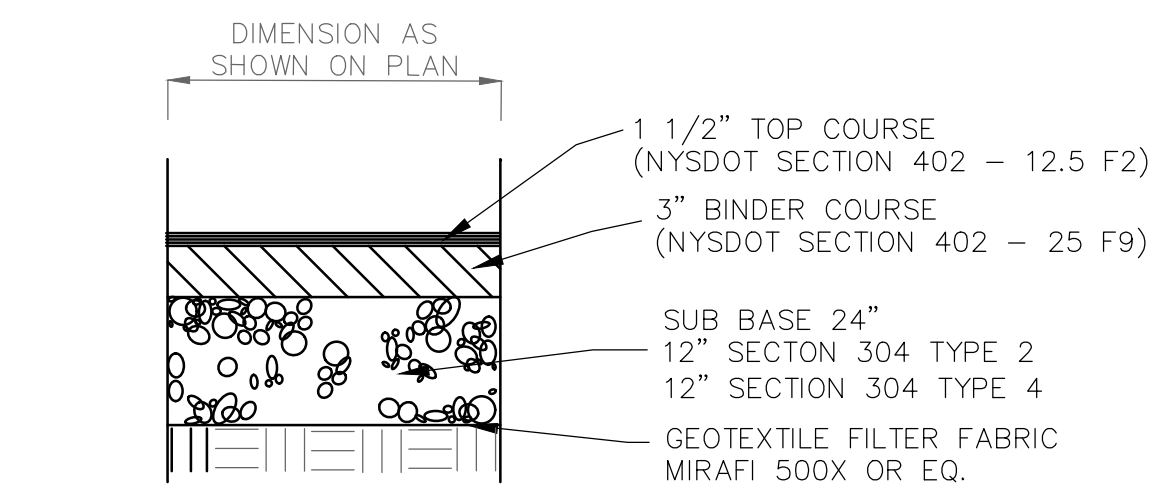
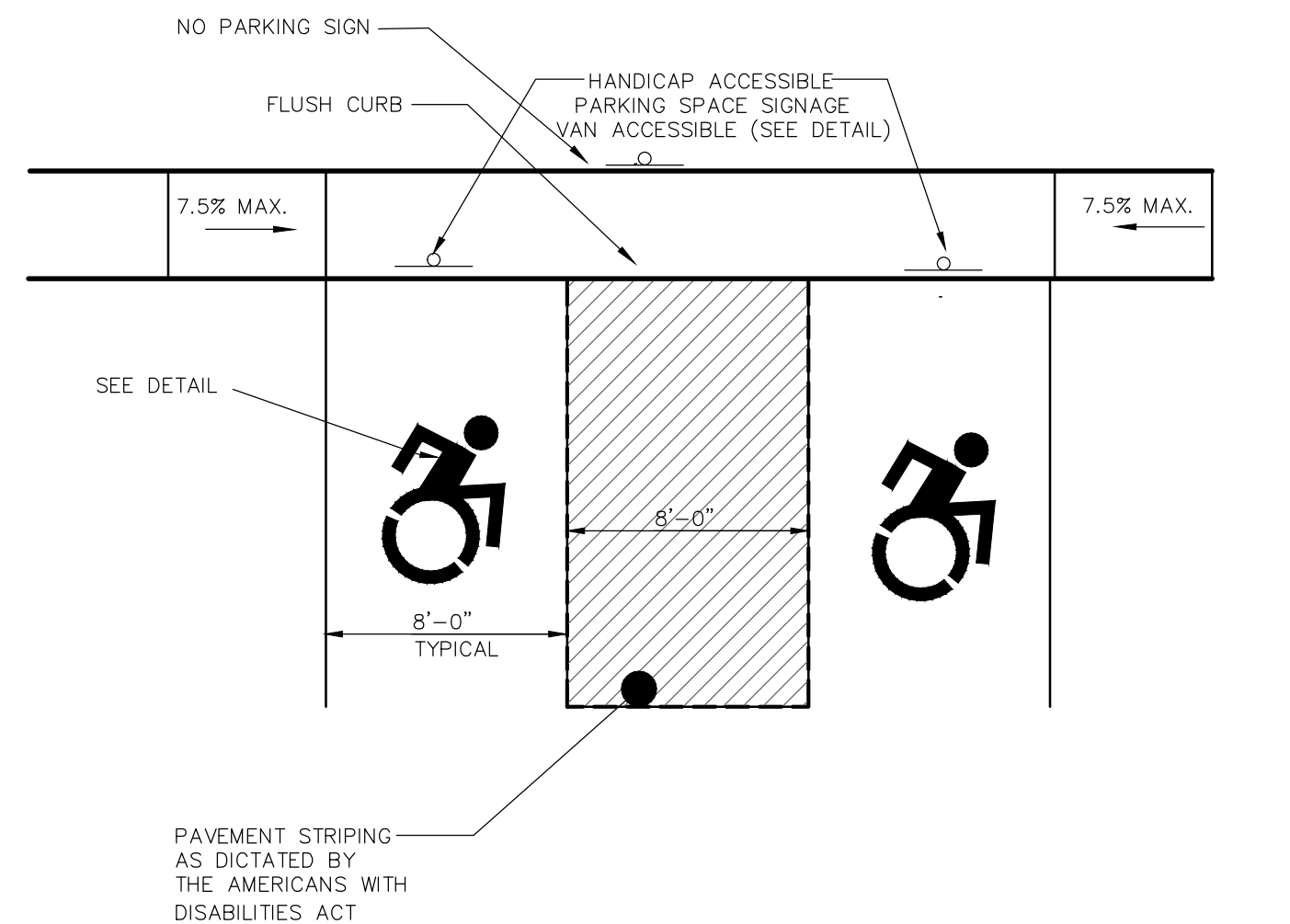
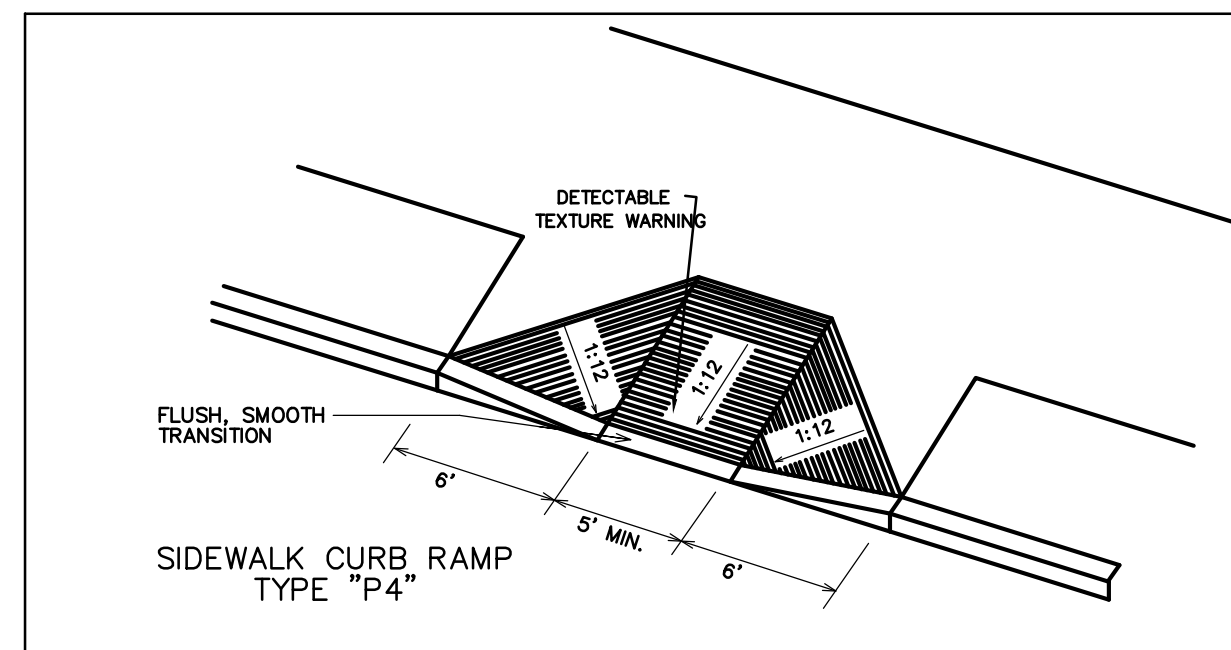
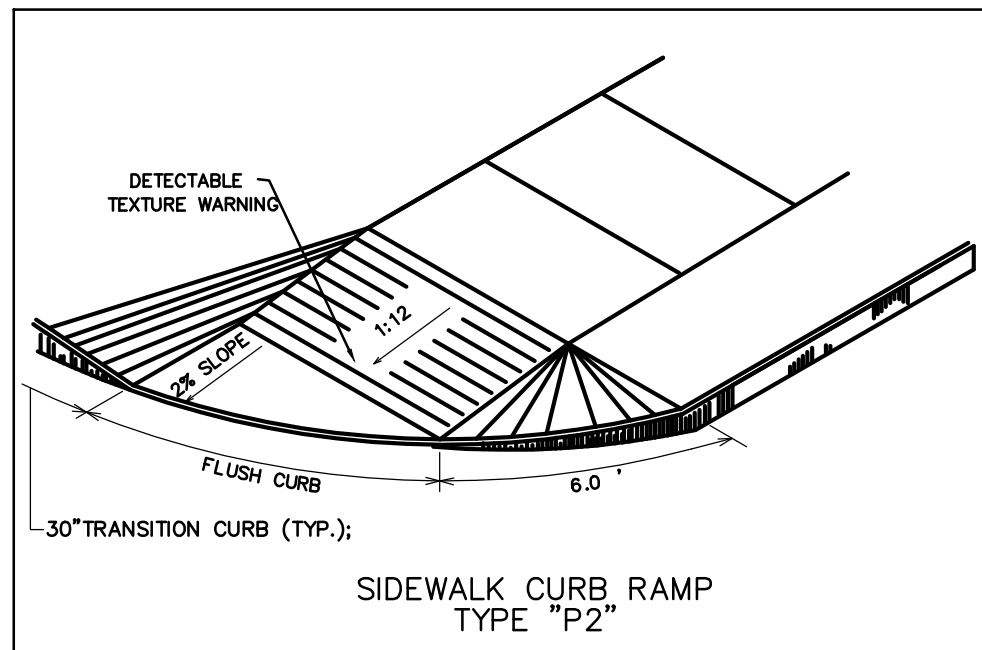
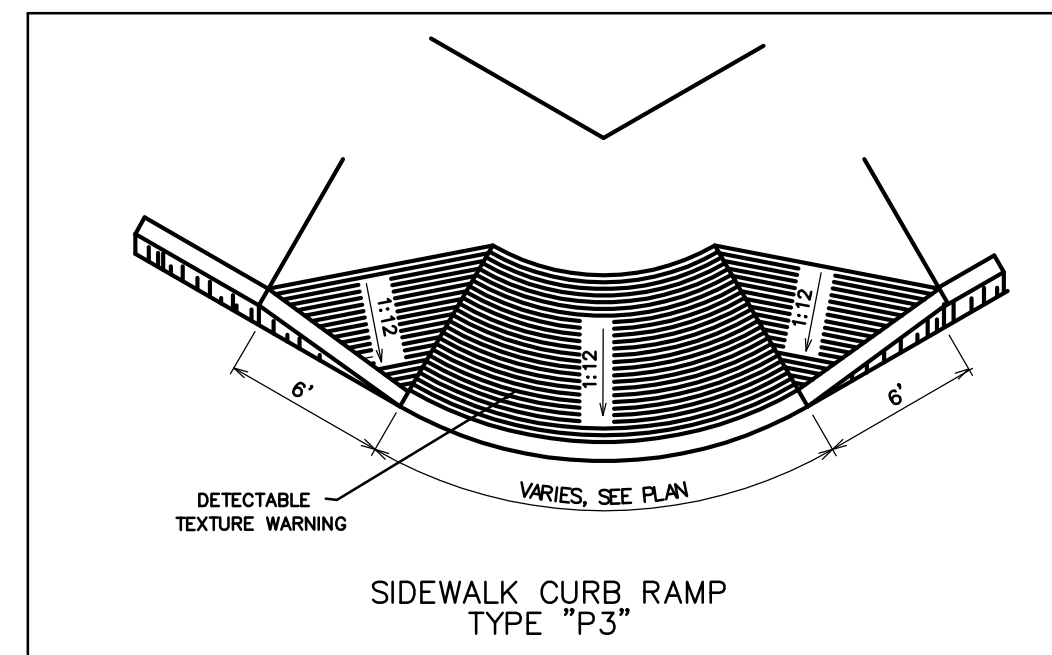
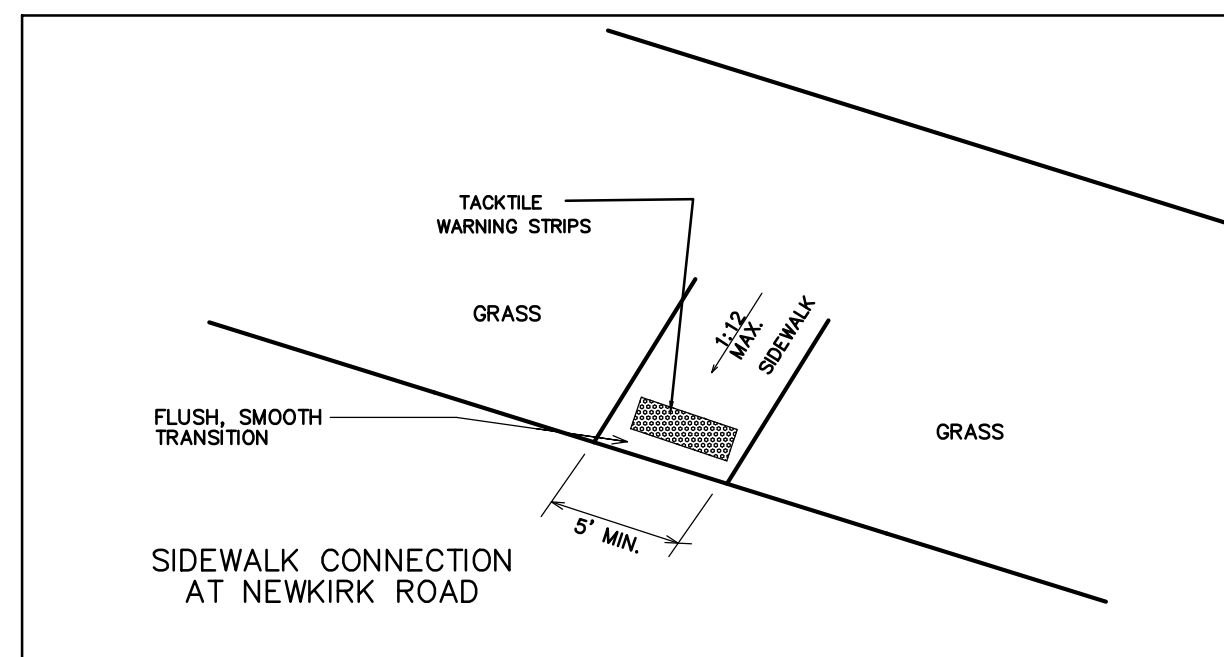
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BRETT L. STEENBURGH, P.E.  
NYS LIC. NO. 075408

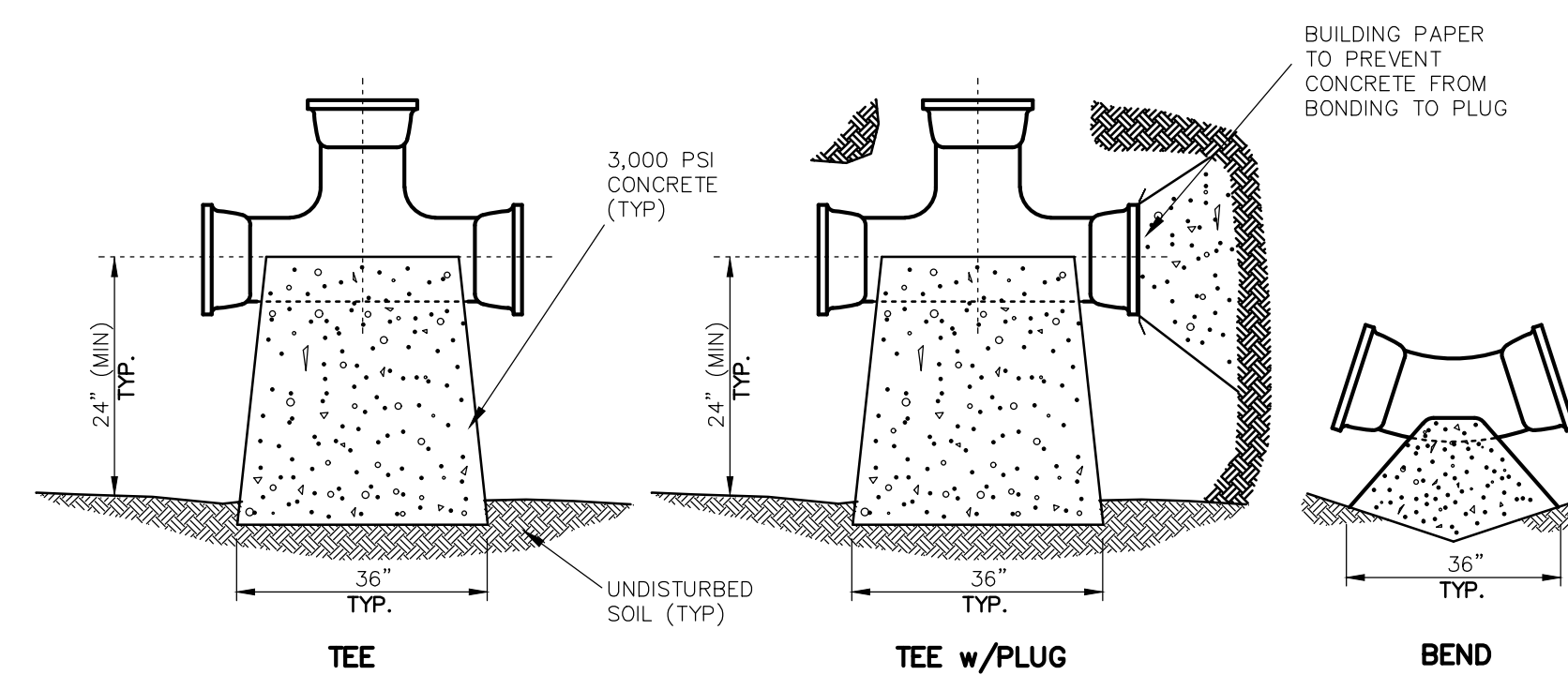
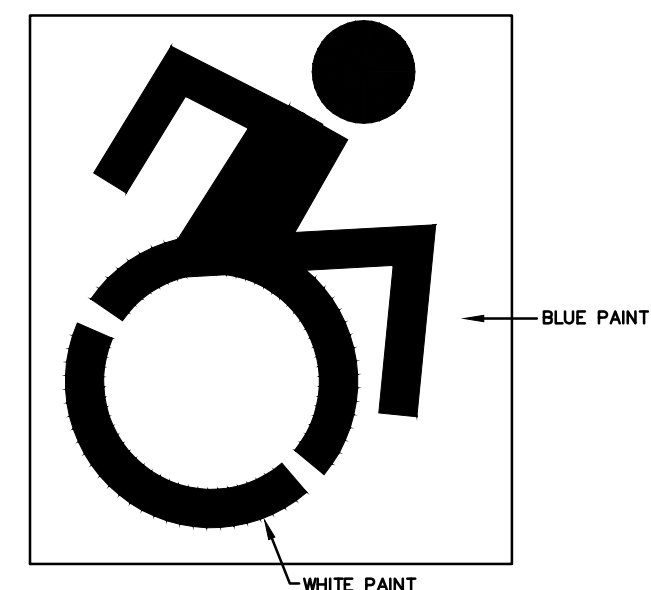
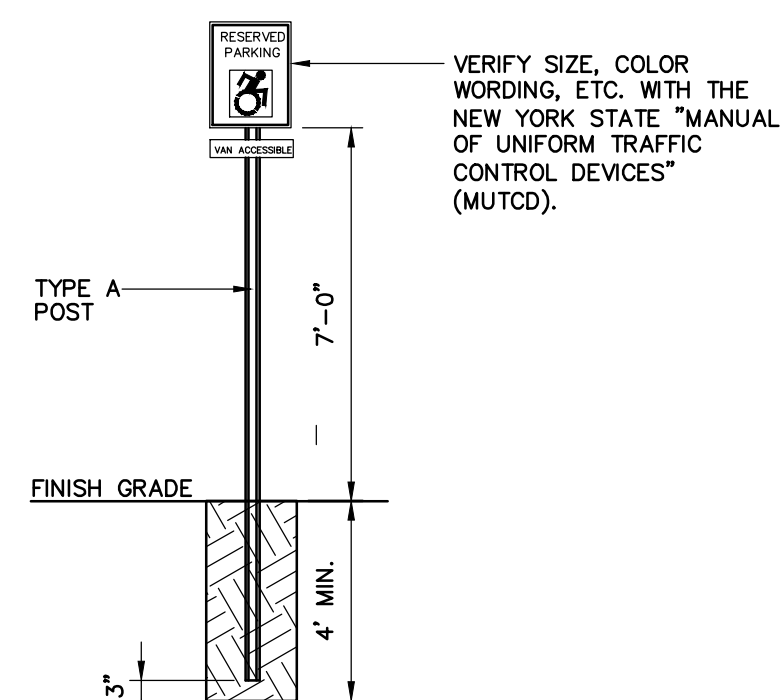
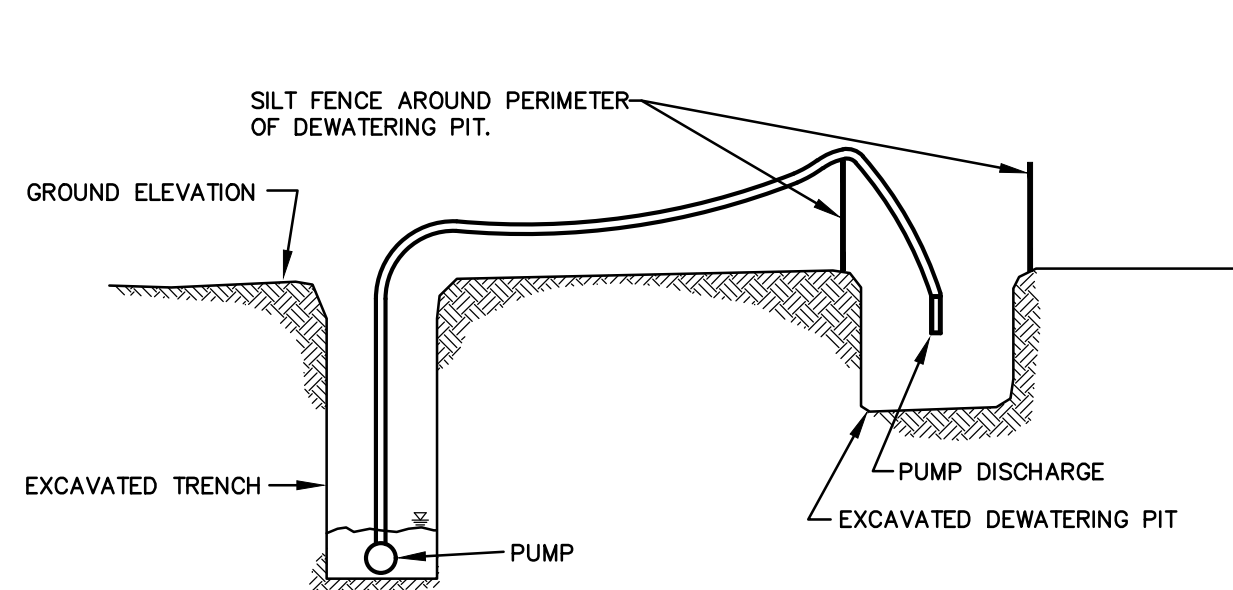


NO. DATE: REVISIONS BY:





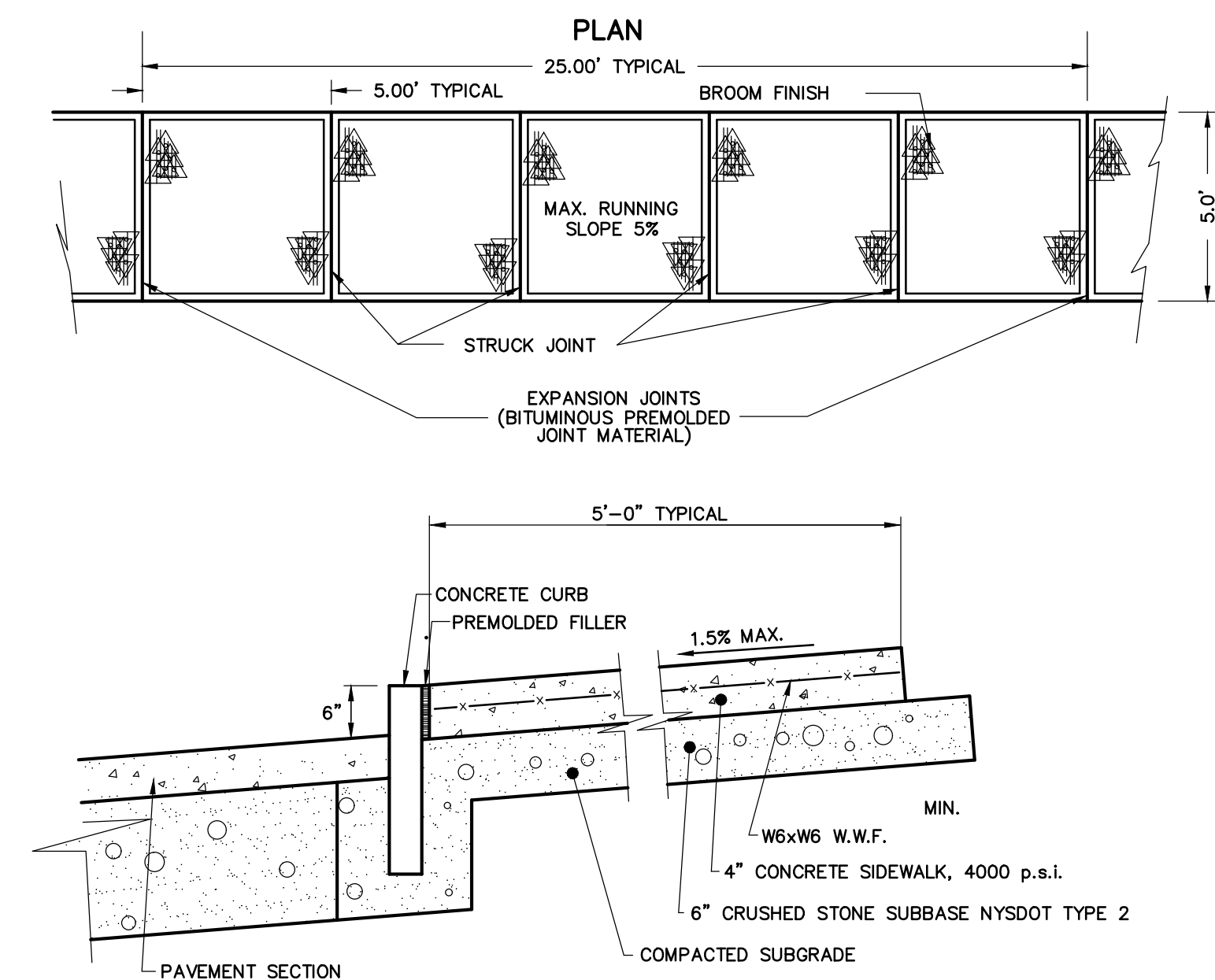
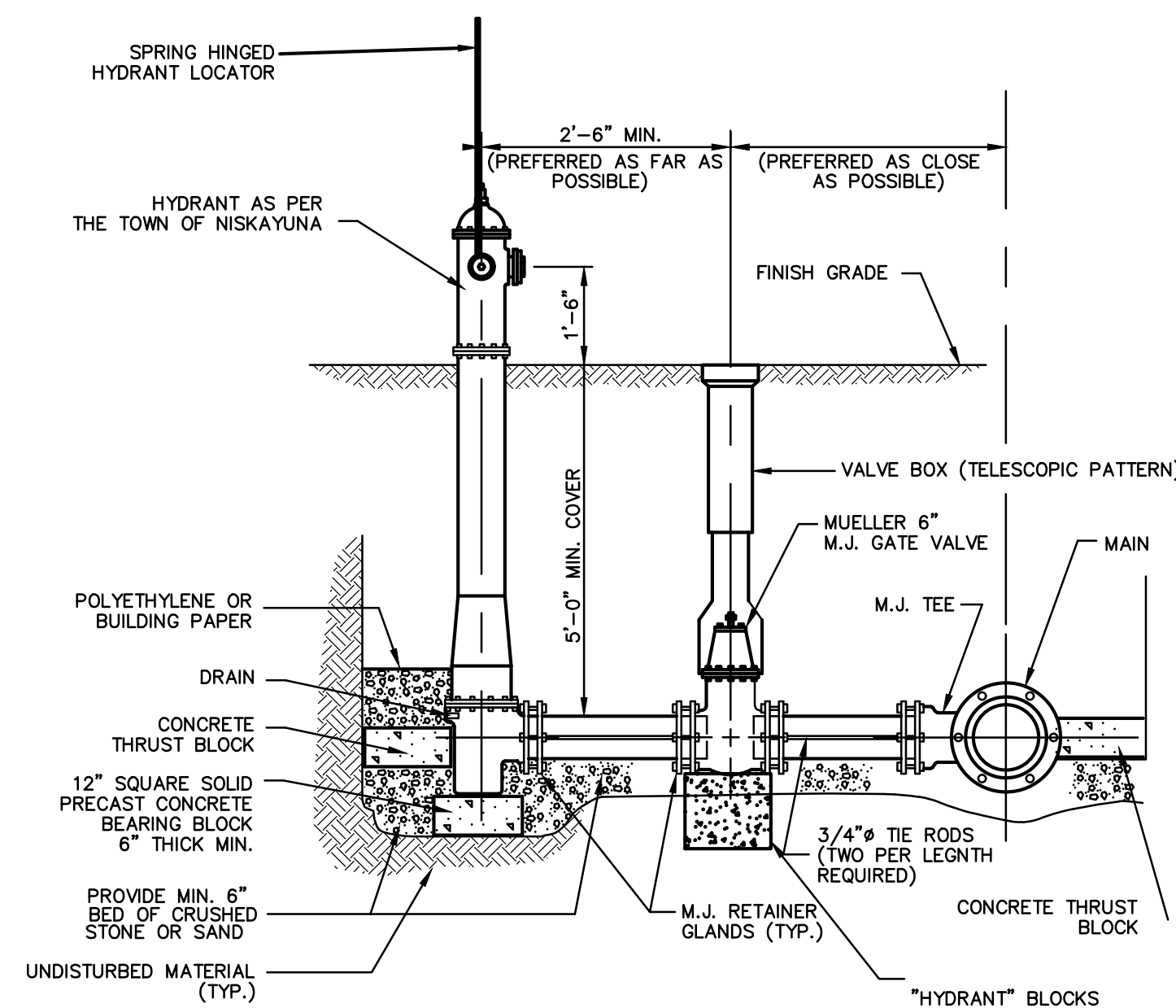
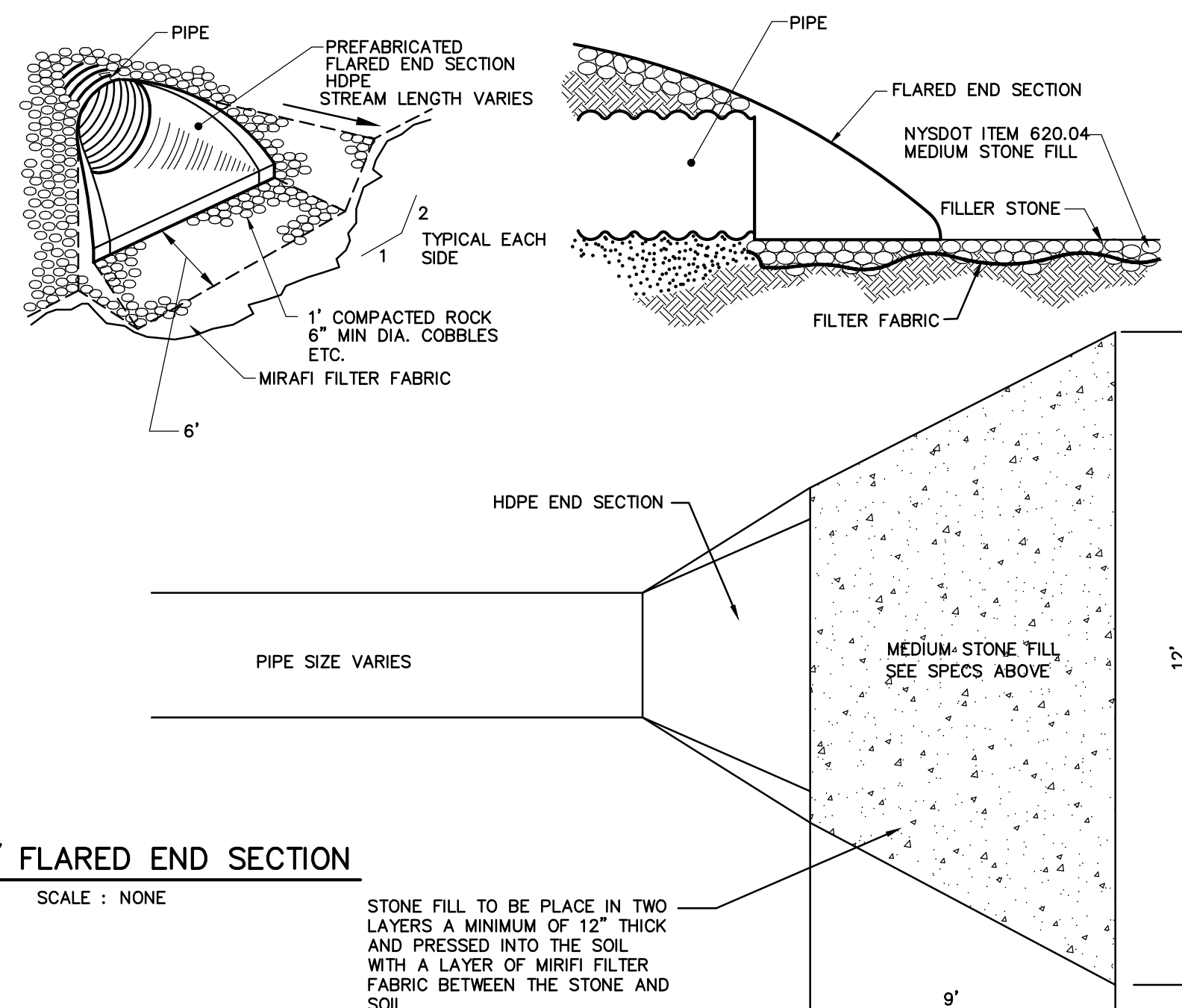
### HANDICAP RAMP DETAILS



SAFE BEARING LOADS OF SOILS & MULTIPLICATIVE FACTORS FOR MODIFICATION OF THRUST BLOCK AREAS (TABLE 2)			
SOIL	SOIL BEARING CAPACITY (LB/FT <sup>2</sup> )	FACTORS	
MUCK PEAT	0	—	
SOFT CLAY	300	4.00	
SAND	1000	2.00	
SAND & GRAVEL	1500	1.33	
SAND & GRAVEL w/CLAY	2000	1.00	
SHALE	5000	0.40	

PIPE SIZE	TEE	90° BEND	45° BEND	22.5° BEND
200 P.S.I.G. INTERNAL PRESSURE				
3" & 4"	1	1	1	1
6"	2	2	1	1
8"	3	3	2	1
10"	6	8	3	2
12"	6	8	4	2
14"	11	11	6	3
16"	14	14	8	4
18"	18	18	10	5
20"	22	22	12	7
24"	32	32	17	9

NOTE: BEARING AREAS SHOWN IN TABLE 2 SHALL BE MULTIPLIED BY FACTORS NOTED IN TABLE 1 TO ESTABLISH REQUIRED BEARING AREAS FOR SOIL CONDITIONS.



NOTES:

1. SEE SIDEWALK JOINTS DETAIL FOR JOINT SIZE AND SPACING
2. EXPOSED CONCRETE SURFACE TO HAVE LIGHT BROOM FINISH

N.T.S.

Q1  
BRETT L. STEENBURGH MAP REFERENCE:

PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS  
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

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this document is a violation of Sec. 7209  
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Steenburgh, P.E., PLLC

BRETT L. STEENBURGH, P.E.  
NYS LIC. NO. 075458

**BRETT L. STEENBURGH, P.E. PLLC**

2832 Rosendale Road  
Niskayuna, NY 12309  
(518) 365-0675  
bsteenburghpe@gmail.com

# ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY

PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY  
TOWN OF NISKAYUNA  
STATE OF NEW YORK

DRAWN BY:	CHECKED BY:	SCALE: AS NOTED
CADD FILE:	JOB NO.	

DATE: MAY 11, 2022 SHEET D-1









FINAL BACKFILL SHALL BE OF A SUITABLE MATERIAL REMOVED FROM EXCAVATION EXCEPT WHERE OTHER MATERIAL IS SPECIFIED. DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER AND OTHER UNSTABLE MATERIALS SHALL BE USED FOR FINAL BACKFILL WITHIN 2 FEET OF THE TOP OF PIPE.





## TOWN OF NISKAYUNA

### APPLICATION FOR BUILDING AND ZONING PERMIT

One Niskayuna Circle

Niskayuna, New York 12309

Phone: 518-386-4522 Fax: 518-386-4592

Email: [building@niskayuna.org](mailto:building@niskayuna.org)

Application # \_\_\_\_\_

APPLICATION IS HEREBY MADE to the Town of Niskayuna Building Department for the issuance of a building and zoning permit pursuant to Town Code and the New York State Uniform Fire Prevention and Building Code. Application is hereby made for the construction of new buildings and accessory structures, additions and alterations to all buildings and structures, signage installation, drainage, excavation, fill and grading work, and replacement, removal and demolition projects, as herein described. The Applicant or Owner agrees to comply with all applicable laws, ordinances, regulations and all conditions expressed on this application which are part of these requirements, and will also allow or arrange for inspectors to enter the premises for inspections.

BUILDING SITE ADDRESS 3602 STATE ST

DESCRIBE WORK APPLIED FOR Installation of New Pylon Sign

ESTIMATED VALUE OF ALL WORK (labor and materials):

TOTAL \$ 11,000.00

**Please submit three sets of plans with this application.**

APPLICANT Saxton Sign Corp DAY PHONE (518) 754-2026

CHECK ONE: ☒ CONTRACTOR

☐ HOMEOWNER

☐ OTHER (explain) \_\_\_\_\_

ADDRESS 1320 rt9

CITY Castleton

STATE NY

ZIP 12033

EMAIL ADDRESS dkatz@saxtonsign.com

CONTRACTOR Saxton Sign Corp DAY PHONE (518) 754-2026

ADDRESS 1320 rt9

CITY Castleton

STATE NY

ZIP 12033

Note: Proof of insurance is required. Please review our **Insurance Requirements** document to ensure contractors and homeowners have filed all appropriate documents with the Building Department.

PROPERTY OWNER Lee Novick DAY PHONE (516) 603-7234

ADDRESS (if different than above) 3526 State St

CITY Schenectady

STATE NY

ZIP 12304

**PLEASE SIGN Page 2**



The applicant has reviewed and fully understands the requirements and conditions listed on this application. Article II, Section 75.5B of the Code of the Town of Niskayuna requires that where such application is made by a person other than the owner, it shall be accompanied by an affidavit of the owner or applicant that the proposed work is authorized by the owner and that the applicant is authorized to make such application.

**Applicants who are the owners of the property DO NOT need to have this application notarized.**

The undersigned hereby swears that the information provided on this application is true, correct and accurate.

Sworn to me on this 25<sup>th</sup> day of August, 2022

**LISA M. TYMCHYN**  
NOTARY PUBLIC, STATE OF NEW YORK  
QUALIFIED IN ALBANY COUNTY  
NO. 4849933  
MY COMMISSION EXPIRES JANUARY 13, 26

Signature of Applicant

Darren Katz

Printed Name

8/25/2022

Date

Lisa M. Tymchyn  
Notary Public, State of New York

(FOR OFFICE USE ONLY BELOW)

BUILDING SITE ADDRESS \_\_\_\_\_

KNOWN EASEMENTS: \_\_\_\_\_ WATER \_\_\_\_\_ SEWER \_\_\_\_\_ DRAINAGE \_\_\_\_\_ OTHER

PERMIT FEE DUE \$ \_\_\_\_\_ BASED ON \_\_\_\_\_

COMMENTS \_\_\_\_\_

ZONING DISTRICT \_\_\_\_\_ SECTION-BLOCK-LOT \_\_\_\_\_

REQUIRED INSPECTIONS:

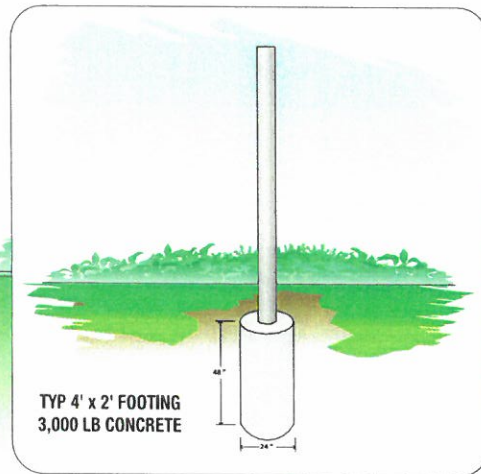
- \_\_\_\_\_ 1. FOOTING FORMS AND REINFORCING PRIOR TO POURING OF CONCRETE
- \_\_\_\_\_ 2. FOUNDATION LOCATION PROVIDED AND STONE DRIVEWAY BASE INSTALLED PRIOR TO FOUNDATION INSPECTION
- \_\_\_\_\_ 3. FOUNDATION WALL AND DRAIN TILE INCLUDING LATERAL PRIOR TO BACKFILLING
- \_\_\_\_\_ 4. FIREPLACE INSPECTION AT BOX AND AT HALF STACK
- \_\_\_\_\_ 5. ROUGH PLUMBING
- \_\_\_\_\_ 6. ROUGH ELECTRICAL
- \_\_\_\_\_ 7. ROUGH FRAMING INSPECTION INCLUDING TRUSS CERTIFICATES AND ROUGH GRADING ESTABLISHED
- \_\_\_\_\_ 8. INSULATION INCLUDING PROPER VENTILATION
- \_\_\_\_\_ 9. FINAL PLUMBING
- \_\_\_\_\_ 10. FINAL ELECTRICAL
- \_\_\_\_\_ 11. FINAL BUILDING INSPECTION
- \_\_\_\_\_ 12. FINAL GRADING AND SOIL EROSION CONTROL
- \_\_\_\_\_ 13. (ADDITIONAL INSPECTIONS) \_\_\_\_\_

APPROVED BY \_\_\_\_\_

DATE \_\_\_\_\_



- PMS 165 Dunkin Orange
- PMS 219 Dunkin Pink
- PMS 1545C Dunkin Brown
- WHITE



ONE 39"h x 8'L DOUBLE SIDED PYLON SIGN  
FACE-LIT ILLUMINATED CABINET  
4" diameter CENTER POLE  
10' SETBACK FROM PROPERTY LINE  
15' OVERALL HEIGHT



1-800-942-6366  
518.732-7704  
fax: 518.732-7716  
saxtonsign.com

CLIENT:

Dunkin Donuts

JOB LOCATION:

3526 State St,  
Niskayuna, NY

CUSTOMER APPROVAL

DATE

THIS ORIGINAL DRAWING AND DESIGN IS THE PROPERTY OF SAXTON SIGN CORP. AND MAY NOT BE DUPLICATED OR REPRODUCED IN WHOLE OR PART AS A DRAWING OR SIGN WITHOUT WRITTEN PERMISSION FROM SAXTON SIGN CORP. DRAWING VALUE IS INCLUDED IN PROJECT PRICING. IF DRAWINGS DO NOT RESULT IN A SUBSEQUENT PROJECT YOU WILL THEN BE FINANCIALLY RESPONSIBLE FOR THE VALUE OF DRAWINGS.



DATE: 8-24-22

FOLDER: SP/Dunkin Donuts

FILE NAME:

Dunkin Donuts NISK PYLON

REVISION: 1

DRAWN BY: SP

SALESPERSON: JC



---

**WESTSIDE DONUT VENTURES LLC**  
**240 W. 40<sup>TH</sup> STREET**  
**NEW YORK, NY, 10018**  
**TEL. (212) 395-9280 EXT. 1002**

---

Date:

To Whom It May Concern:

I, Lee Novick, Owner, give Saxton Sign Corporation permission to act as the agent  
for the sign project of the below location.

**Owner Name:** Lee Novick

**Address:** 3526 State Street, Schenectady, NY 12304

**Phone:** 516-603-7234

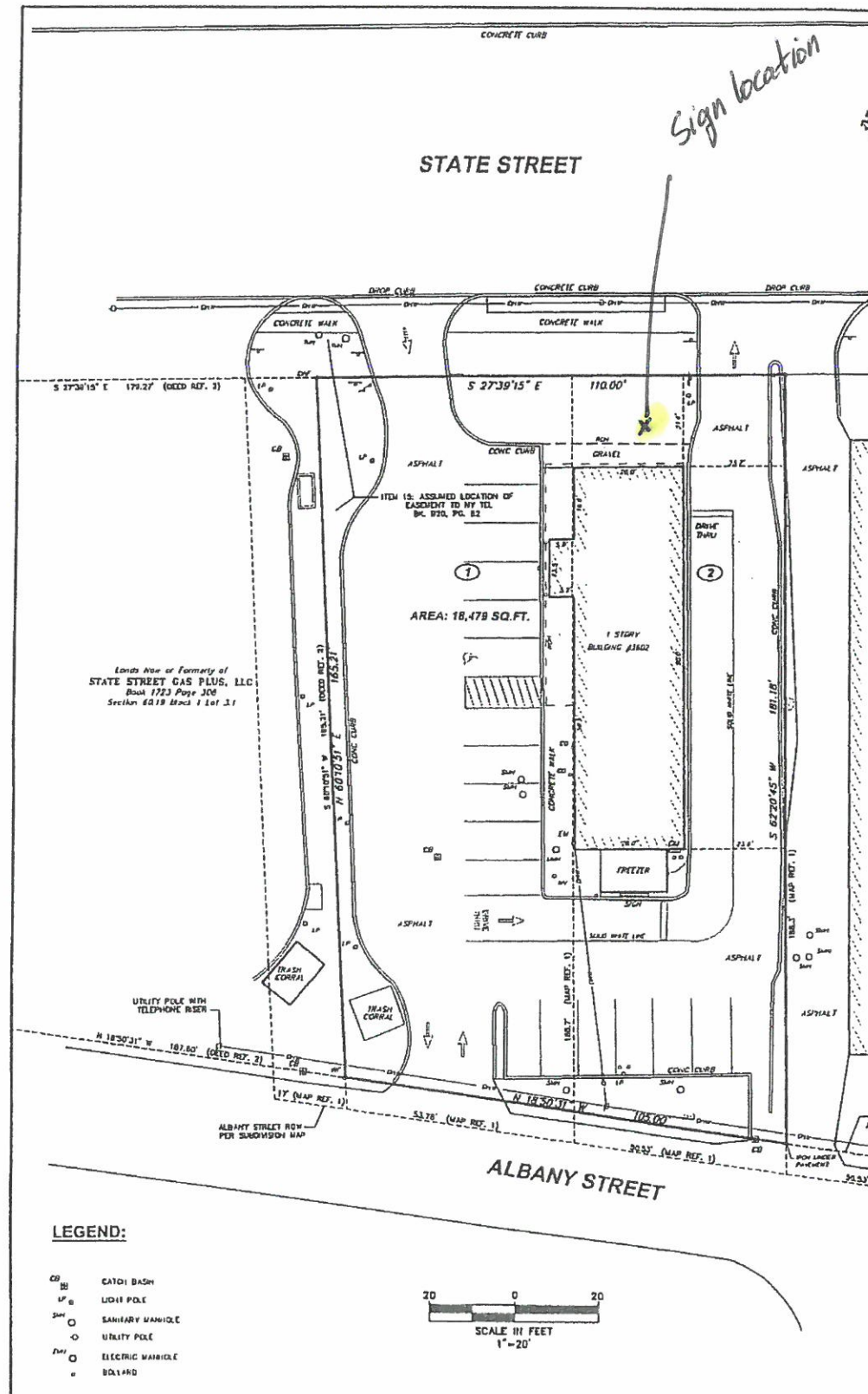
**Email:** LNovick@westsidedonut.com

**Signature:** 

**Date:** 8/23/22



D.D. - WESTSIDE



4-22-2022

JOE B.

Box Size  $39\frac{3}{4}" H \times 76\frac{1}{2}" L \times 6" D$

③ F72 lamps

Box Size:  $51\frac{1}{2}" H \times 100\frac{1}{2}" L \times 6" D$   
SAME FOR THE DRIVE-THRU SIDE  
(EAST)  
④ F96 lamps

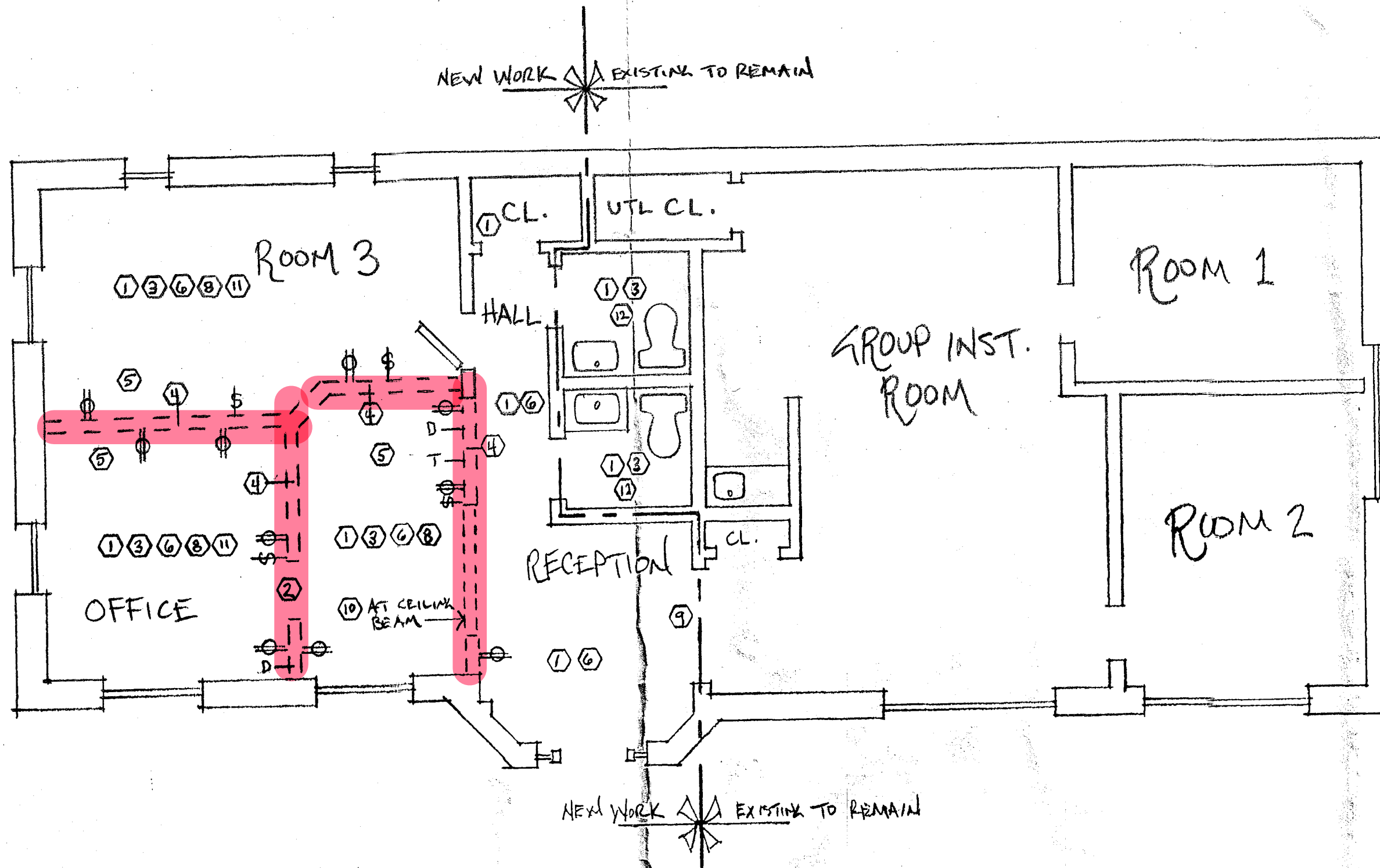
Building  
26'

90'



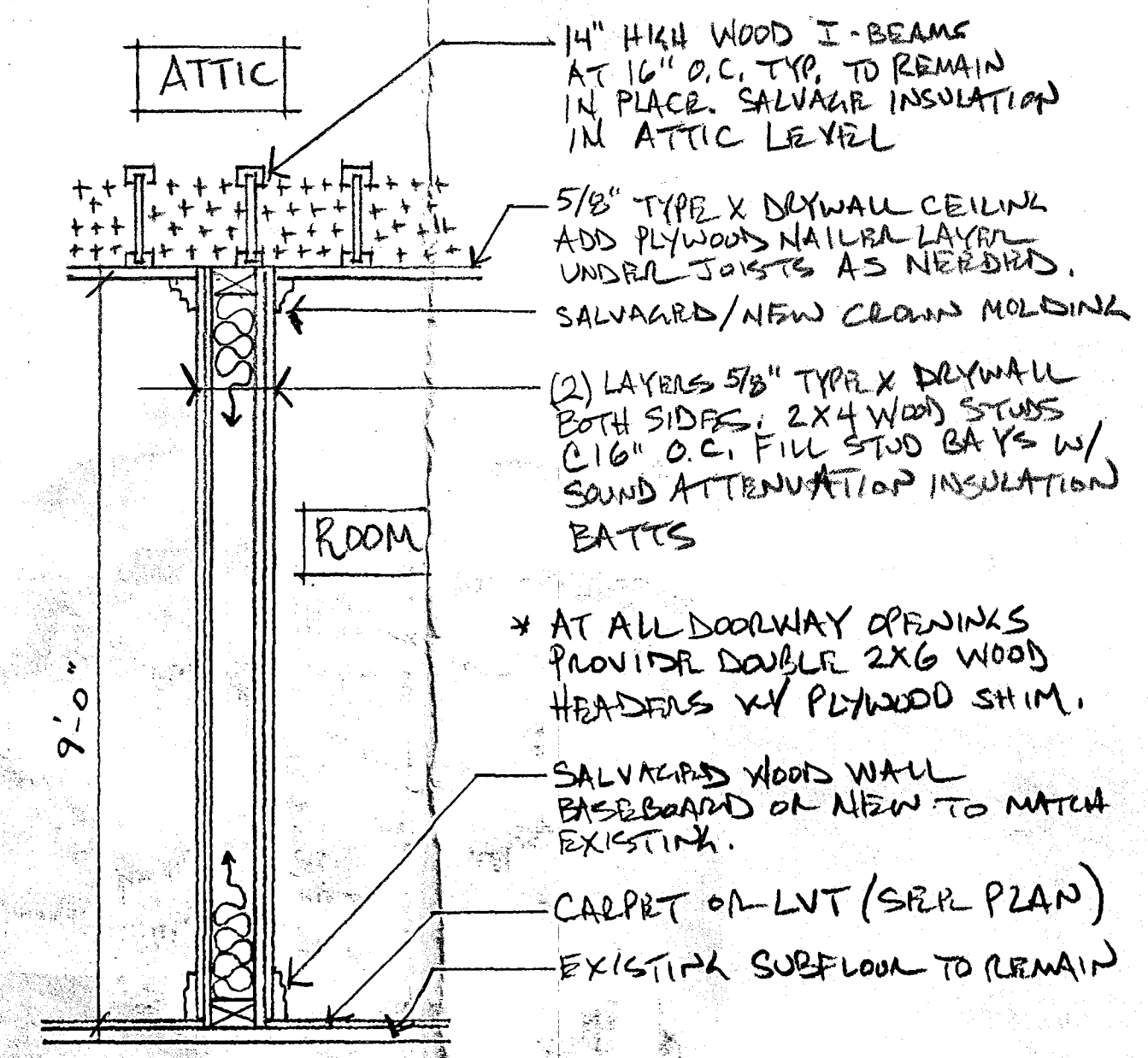


Received  
AUG 15 2022  
Niskayuna Building Dept.



### REMOVAL KEY NOTES

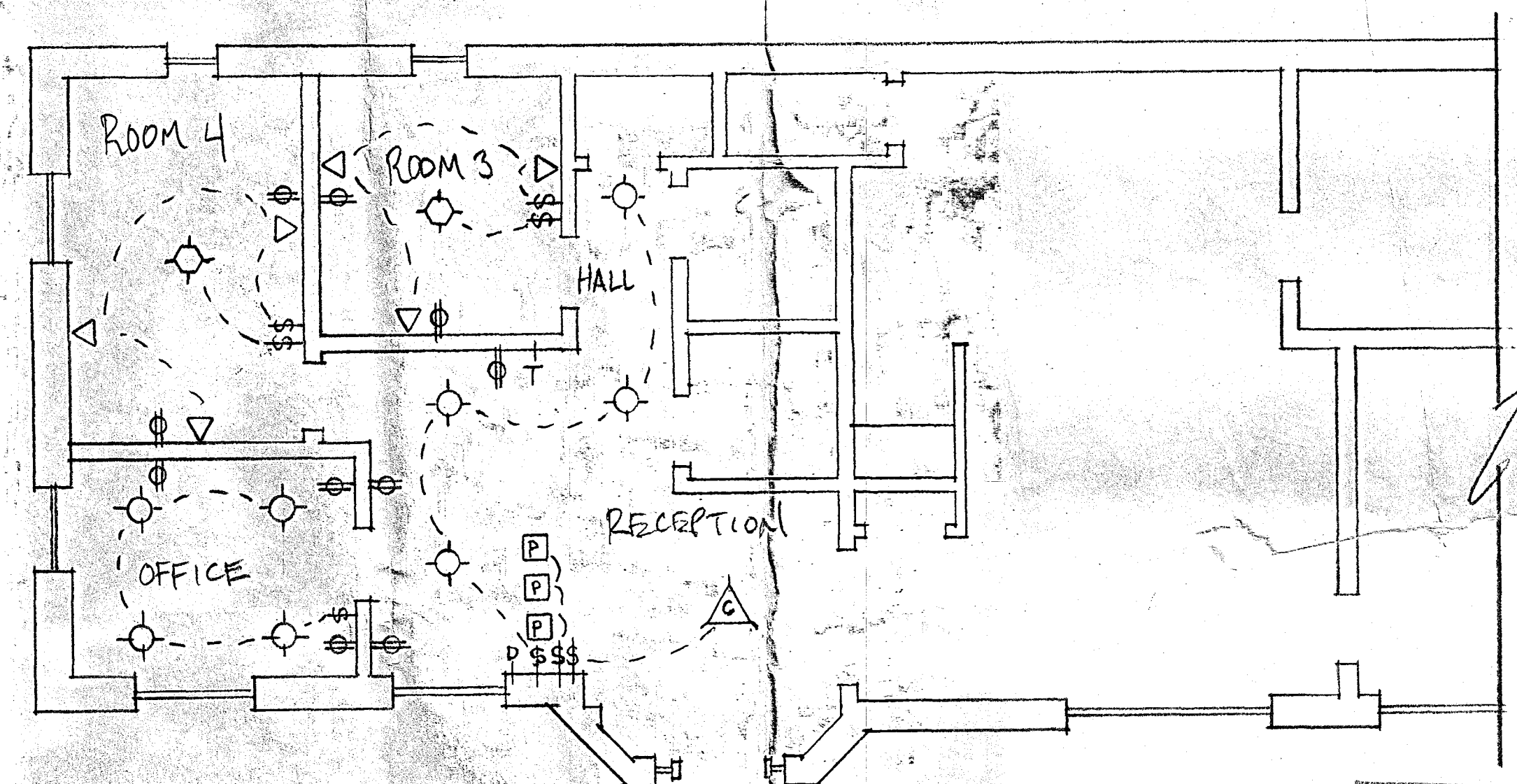
1. REMOVE ALL CARPET AND VINYL FLOORING IN AREA OF NEW WORK DOWN TO THE SUBFLOOR.
2. SALVAGE EXISTING DOOR, FRAME AND HARDWARE AND WOOD TRIM FOR REINSTALLATION.
3. SALVAGE EXISTING BASEBOARD AND CROWN MOULDING FOR REINSTALLATION.
4. REMOVE ALL ANB AND FRAMING IN AREAS OF NEW WORK.
5. REMOVE ANB ON CEILINGS AS REQUIRED FOR NEW WORK. INCLUDE SALVAGING INSULATION IN THE ATTIC TO LAY BACK IN ABOVE CEILINGS.
6. REMOVE LIGHT FIXTURES IN CEILINGS AND ALL ASSOCIATED WIRING BACK TO THE PANEL.
7. OWNER SHALL MOVE ANY FURNITURE.
8. REMOVE ALL ELECTRICAL RECEPTACLES, SWITCHES, DATA LINES AND THERMOSTAT IN NEW WORK AREAS, PUNCH ALL WIRING BACK TO PANEL.
9. PROVIDE POLY. DUST PARTITIONS AS REQUIRED IN WORK AREA.
10. CONTRACTOR TO PROBE EXISTING ANB COVERED BEAM IN RECEPTION CEILING. IF FOUND TO BE NON-BERCLINA THIS INTENT IS TO REMOVE TO MAKE THE CEILING PLANE FLUSH.
11. ALL MECHANICAL WORK IS BY OTHERS.
12. REMOVE TOILETS AND SINKS TO INSTALL NEW LVT FLOORING.



3  
A-1  
TYPICAL WALL SECTION  
SCALE: 1/2" = 1'-0"

### GENERAL NOTES - NEW WORK

1. ALL WORK SHALL CONFORM TO THE MOST CURRENT BUILDING CODE OF NEW YORK STATE.
2. ANY DISCREPANCIES SHALL BE IDENTIFIED AND REPORTED TO THE DESIGNER.
3. ALL PERMITS FOR GENERAL CONSTRUCTION AND ELECTRICAL SHALL BE FIELD FOR WITH THE TOWN BUILDING DEPT AND PAID FOR BY THE OWNER.
4. THE CONTRACTOR SHALL PROVIDE ANY REQUIRED TEMPORARY SHORING OR SUPPORTS DURING REMOVALS AND CONSTRUCTION OF THE NEW WALLS.
5. ALL DEBRIS SHALL BE REMOVED FROM THE JOB SITE.
6. THE OWNER SHALL FURNISH ALL LIGHTING FIXTURES. CONTRACTOR SHALL INSTALL.
7. ALL NEW LIGHTING SHALL BE ON DIMMER SWITCHES.
8. OWNER SHALL FURNISH CARPET AND LVT FLOOR MATERIALS. CONTRACTOR SHALL INSTALL AND PROVIDE ALL ADHESIVES.
9. PAINT ALL WALLS AND CEILINGS IN NEW WORK AREAS.
10. PROVIDE (1) RAISED PANEL WOOD DOOR, FRAME AND HARDWARE SRT.
11. ALL ROOMS IN NEW WORK ARE TO RECEIVE CROWN MOULDING, BASEBOARD AND TRIM AT DECUS. SALVAGE AND REUSE AS MUCH AS PRACTICAL. PROVIDE NEW TO MATCH.



### LIGHTING AND ELECTRICAL LEGEND

- CEILING PENDANT - (2) TOTAL
- RECESSED CAN LIGHT - (6) TOTAL
- PENDANT LIGHT - (3) TOTAL
- ▷ WALL SCONCE - (6) TOTAL
- △ CHANDELIER - (1) TOTAL
- T THERMOSTAT
- ⊕ DUPLEX RECEPTACLE
- \$ SWITCH W/ DIMMER
- D DATA

MIDCENTURY CONSULTING, LLC  
2260 GRAND BLVD  
NISKAYUNA NY 12309  
518-461-7184

BODYWORKS - INTERIOR RENOVATION  
NISKAYUNA NEW YORK

RECEIVED  
AUG 15 2022  
BUILDING DEPARTMENT  
NISKAYUNA, NY

JULY 26, 2022

A-1