

**TOWN OF NISKAYUNA**  
***Planning Board and Zoning Commission***  
**Agenda**

**July 11, 2022 --7:00 PM**

**REGULAR AGENDA MEETING**

**I. CALL TO ORDER**

**II. ROLL CALL**

**III. APPROVAL OF MINUTES**

1. June 13, 2022

**IV. PUBLIC HEARINGS**

1. 1850 Union St. – Site plan app. for Capital Kids Care after school and summer camp within an existing place of worship at the Immanuel Evangelical Lutheran church.

**V. PRIVILEGE OF THE FLOOR**

**VI. UNFINISHED BUSINESS**

**VII. NEW BUSINESS**

1. RESOLUTION: 2022-14: A Resolution to make a recommendation to the Town Board on a special use permit for the operation of a childcare center at the Immanuel Evangelical Lutheran Church at 1850 Union St.
2. RECOMMENDATION TO ZBA: 2837 Aqueduct Rd. -- A Recommendation to the Zoning Board of Appeals (ZBA) for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space requiring an area variance for the height of the building.
3. RESOLUTION: 2022-15: A Resolution for final subdivision and final average density development (ADD) approval for Kelts Farm Subdivision at 2538 River Road.
4. RESOLUTION: 2022-16: A Resoluton for site plan approval for the construction of a new 16,000 sq. ft. building at GE Global Research at 1 Research Circle.

**VIII. DISCUSSION ITEM**

1. 1747 Union St. – Site plan app for a 492 sq. ft. addition to the existing 1,455 sq. ft. gasoline service station.
2. Empire Dr. – Sketch plan application for a minor 2 lot subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres, respectively

**IX. REPORTS**

1. Planning Department Updates

**X. COMMISSION BUSINESS**

**XI. ADJOURNMENT**

**NEXT MEETING: July 25, 2022 at 7 PM**  
**To be Held in the Town Board Room & via Remote Software**

**TOWN OF NISKAYUNA**  
***Planning and Zoning Commission***  
***Hybrid Meeting***  
**Meeting Minutes**  
**June 13, 2022**

**Members Present:**

Kevin Walsh, Chairman  
David D'Arpino  
Mike Skrebutenas  
Genghis Khan  
Daci Shenfield (Virtual)  
Chris LaFlamme (Virtual)  
Patrick McPartlon (Virtual)  
Leslie Gold  
Nancy Strang

**Also Present:**

Laura Robertson, Town Planner  
Alaina Finan, Town Attorney  
Clark Henry, Assistant Planner (Virtual)

**I. CALL TO ORDER**

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

**II. ROLL CALL**

**III. MINUTES**

May 23, 2022

Mr. Skrebutenas made a motion to accept the minutes and it was seconded by Mr. D'Arpino.  
There were no changes made to the minutes.

Upon voting, the minutes were approved unanimously.

**IV. PUBLIC HEARINGS**

There were no public hearings.

**V. PRIVILEGE OF THE FLOOR**

There were no speakers present, via virtual or emails for privilege of the floor tonight.

**VI. UNFINISHED BUSINESS**

No unfinished business tonight.

**VII. NEW BUSINESS**



**1. RESOLUTION: 2022-12: A Resolution for site plan approval for renovations and new signage at Starbucks at 2303 Nott St. E.**

Mr. Khan made a motion to adopt the resolution and it was seconded by Mr. Skrebutenas. Mr. Tim Brennan was present to represent Starbucks. Chairman Walsh opened the discussion for comments or questions on the resolution. Hearing none, he called for a vote.

Upon voting the resolution was approved 7-0.

Mr. D'Arpino      AYE

Mr. Skrebutenas      AYE

Mr. Khan      AYE

Ms. Shenfield      AYE

Mr. LaFlamme      AYE

Mr. McPartlon      AYE

Chairman Walsh      AYE

**2. RESOLUTION: 2022-13: A Resolution for site plan approval for dividing the existing commercial space into two spaces of 10,330 sf & 2,140 sf with a 127 sf landlord utility room with one of the new occupants being a Five Below retail store at 424 Balltown Rd.**

Chairman Walsh recused himself from this discussion and vote. Mr. D'Arpino stepped in as acting chairman and Ms. Gold filled the vacant Board spot. Mr. Flather was in attendance virtually for the applicant. Mr. D'Arpino asked if there were any changes to the plan. Mr. Flather stated the only change will be creating a separate storefront for the store. The signage will be submitted by Five Below. Hearing no more questions or comments, Mr. D'Arpino called for a motion. Mr. Khan made a motion and it was seconded by Mr. Skrebutenas.

Upon voting, the resolution was approved unanimously 7-0.

Ms. Gold      AYE

Mr. Skrebutenas      AYE

Mr. Khan      AYE

Ms. Shenfield      AYE

Mr. LaFlamme      AYE

Mr. McPartlon      AYE

Mr. D'Arpino      AYE

**E. DISCUSSION ITEMS**

**1. 2207 / 2209 Nott St. – The Broken Inn – site plan app for temporary outside seating and parking space changes.**

Mr. Nicchi, the applicant, was present (virtually) for the meeting. He noted that he sent a new plan earlier in the evening but wasn't sure if it would be received to view in time. Ms. Robertson displayed the plan virtually. Mr. Nicchi discussed the parking configuration as it exists now and the one proposed by the Broken Inn. He explained how the improved parking would be in relation to the outdoor seating. Ms. Robertson reviewed the new design and discussed what requirements the Town and Schenectady County have and how to put more parking spaces possibly on the Crescent Road side. Chairman Walsh added the importance of maximizing the parking while minimizing the impact to the residents and other businesses.

Mr. Nicchi asked for clarification on if submitting a parking proposal would be considered by the County. Ms. Robertson stated she spoke to the County and they were willing to look at alternatives for parking that are different than the original design but they need to be consulted first. The Board and Mr. Nicchi discussed the upcoming striping to the parking lot and possible changes to the current layout.

Mr. McPartlon discussed the plan originally submitted in 2021 by MJ Engineering. He stated that it addresses the parking issues and also highlights the amount of space that exists in that area and is not being used. The Board discussed the possibility of this plan and what would be needed to do it. Ms. Robertson stated there would be a cost and extensive work to achieve this.

Chairman Walsh summarized where the Broken Inn's project is in the review process and asked Mr. Nicchi to submit full plans to be discussed with the Board before they can schedule public hearings.

He thanked Mr. Nicchi for his time.

**2 2837 Aqueduct Rd. – Rivers Ledge Senior Center – site plan app. for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft. commercial building.**

Mr. Chuck Pafundi was present to represent the applicant. He displayed 2 building proposals, one with the original roof at 41 feet and one with a flat roof at 35 feet. He stated the building has been changed from a 2 story to a 3 story building due to the identification of a significant amount of wetland on the lot resulting in a loss of buildable land that can be used. The amount of buildable land dropped from 3 acres to 1 acre.

Mr. Pafundi displayed an elevation perspective from Aqueduct Road. He stated that the road is 4 feet higher than the grade level of the proposed building. From the road, the building would look about 2 feet higher than the 35 foot code limit. From the back of the building, the building will be screened by the retaining wall and tree line from the proposed trees. The side view will be screened by the land and will now be staying forever wild.

Mr. Pafundi explained the bike path is 4 feet lower than the grade level of the proposed building. He said they plan to plant trees above the retaining wall to buffer the building. He stated that the view from the river and across the river will be blocked by existing trees and added evergreens to buffer the fitness area.

The Board and applicant discussed the process of going to the ZBA for a variance for the height of the building. They discussed other buildings in the area with height variances including the building on River Road that is 47 feet high. Chairman Walsh noted that it is not in the same zoning district, but he encouraged people to drive by to get a sense of how high these buildings look.

Chairman Walsh asked where the A/C units will be stored. Mr Pafundi stated he will need to find out.

Mr. Khan asked Mr. Pafundi if he could do a mark-up of the sight lines from across the river in Alplaus to establish a clear understanding of what those residents will see. Mr. Pafundi stated he could do this. Mr. Pafundi discussed the mitigation with the Army Corps of Engineers and the process they needed to follow using their wetland credits. The Board asked for demographics of the renters in the buildings. Mr. Pafundi stated many were new renters and young professionals that wanted conveniences and also older residents that wanted to sell their home but live in the area. Chairman Walsh ended the discussion by thanking Mr. Pafundi for attending.

### **3. 2538 River Road – Kelts Farm subdivision – application for approval of final major subdivision / average density development (ADD).**

Prior to beginning discussion, it was noted that Mr. Skrebutenas needed to leave the meeting and Ms. Gold took his place.

Mr. D'Arpino is the project lead on this project. He gave a brief overview of where the project stands. He stated that some planting has been done including oak trees in the cul-de-sac. The bike path was paved too wide and that is up for discussion tonight. Mr. D'Arpino showed pictures of what the path looks like as of now. The Board discussed the pros and cons of the bike path staying as wide as it is. He stated the path is being well received by residents but there is also lot of asphalt.

Mr. Bisailon called into the meeting to discuss the project. He discussed the path and stated that the size is very similar to the path along Windsor Drive. He will do a similar sized planting of grass between the path and roadway, to keep it in sync with Windsor Dr. His recommendation is to keep the size of the buffer as it is due to the appearance and the volume of use it is already getting. He stated the width gives room for 2 bikes in opposite directions to pass each other. Chairman Walsh stated the new size will need to be approved by the Board.

Mr. D'Arpino stated he will walk the bike path to get an idea of the path compared to Windsor Drive. The Board and applicant discussed the work done to date at the site where the gazebo is planned to be located. They also discussed the plantings and trees surrounding it. Mr. Bisailon

was happy so many of the original flowers survived. He described the gazebo and that it will have an informational board on the history of Kelts Farm.

The Board discussed the temporary real estate sign. Ms. Robertson stated she will take a look and discuss it with Mr. Bisaillon.

Mr. Khan asked about the small lots directly adjacent to River Road. Mr. Bisaillon stated there was interest from a daycare to buy the lots adjacent to River Road and combine them to make a parcel big enough for a daycare.

The Board and Ms. Finan discussed outstanding legal documents that need to be submitted including the legal description for the “forever wild” area.

Seeing no further discussion, Chairman Walsh thanked Mr. Bisaillon for his time and called for a tentative resolution for final subdivision approval at the next meeting.

#### **4. 1850 Union St – Immanuel Evangelical Lutheran Church – site plan app. for the operation of a daycare center.**

The applicant Ms. Brownell was present for the meeting. She stated that the plan for afterschool center is the same as it was the last time they were before the Board but the site location is different. She explained that the original location was not up to code and the new location was previously used and approved for afterschool care. Ms. Brownell stated the school will provide weekday afterschool care and full day care during school vacation and 10 weeks of summer camp.

Ms. Robertson explained that a special use permit will be needed due to the length of time (over 1 year) between the active use of the site as a daycare. She stated that the Town Board can call for a public hearing and it can coincide with the public hearing with the Planning Board, since this site was recently approved for this use.

The Board asked if there were any changes to the site. Ms. Brownell stated that nothing cosmetic changed only a new heating system was installed. Ms. Robertson noted that there have been no complaints from neighbors in regards to the previous daycare. The Board called for a public hearing and a tentative resolution for the July 11 meeting. Hearing no other comments, Chairman Walsh thanked Ms. Brownell for attending.

## **IX. REPORT**

### **1. Planning Department Updates**

Ms. Robertson stated that Mr. Henry reached out to GE and they emailed the final site plan to Ms. Robertson. She stated it was emailed late today and she was unable to give it to the Board for tonight's meetings, but she can email it to them after the meeting. She asked if they would be comfortable calling for a tentative resolution for recommendation to the Town Board for July 11, following the public hearing. She would like to move this process for the applicant and felt the

208 previous approvals for a similar daycare were relevant to the timeframes proposed. The Board  
209 agreed.

210 **X. COMMISSION OF BUSINESS**

211 There was no commission of business tonight.

212 **1. ADJOURNMENT**

213 Chairman Walsh asked for a motion to adjourn. Ms. Gold made a motion to adjourn and it was  
214 seconded by Mr. Khan. The meeting was adjourned at 9:11 pm.

DRAFT



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 1

MEETING DATE: 7/11/2022

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**ITEM TITLE:** RESOLUTION: 2022-14: A Resolution to make a recommendation to the Town Board on a special use permit to locate Capital Kids Care after school and summer camp within an existing place of worship at the Immanuel Evangelical Lutheran church at 1850 Union Street.

**PROJECT LEAD:** TBD

**APPLICANT:** Katie Brownell, of Capital Kids Care

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Katie Brownell of Capital Kids Care submitted an Application for Site Plan Review and an Application for Special Use Permit to the Planning Office to locate a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street. The applications propose to locate the care program in the approximately 2,157 sq. ft. basement activity space of the church. The church is located within the R-1 Low Density Residential zoning district. Per Section 220-10 of the Niskayuna Zoning Code, child day-care centers operated within a school, hospital or place of worship are special principal uses within the R-1 district and are therefore acceptable uses upon the issuance of a special use permit by the Niskayuna Town Board.

**BACKGROUND INFORMATION**

The following documents and drawings were provided with the applications and were stamped "RECEIVED Jun 08 2022 Planning Office Niskayuna, NY" by the Planning Office staff.

- A 1-page fact sheet about the after school program entitled "After School Schedule & Details" authored by Capital Kids Care
- A 1-page floor plan drawing entitled "Basement Floor Fire Evacuation Plan"
- A 1-page hand drawn floorplan marked page 14 of 14 that appears to be part of an application that includes "Capital Kids Care" as the "Program Name" and "890141" as the Facility ID Number".
- A 1-page weekly schedule of events for the proposed child care program entitled "Theme: Best of the Best Week: 4 Date: July 19-23".

- A 1-page aerial view pictorial image of 1850 Union St. entitled “Proposed traffic routing for drop off and pick up: Capital Kids Care 1850 Union St.”

Ms. Brownell also provided the following information about the proposed child care program via an e-mail to the Planning Office dated 6/8/22.

- Age range of children in care program
  - School age 5 – 12
- Days and Hours of Operation
  - Sept. – Jun.: M – F: 7 am – 8 am and 2 pm to 6 pm
  - Jun. – Aug.: M -- F: 7:30am – 5:30pm
- Approximate number of students on site
  - Morning care = 5
  - Afterschool care = 45
  - Summer camp (2023) = 50 – 70
- Approximate number of staff on site
  - School year adult / child ratio = 1/10 + site director
  - Summer camp adult / child ratio = 1/12 + site director
- Afterschool programs
  - All afterschool programs are licensed and inspected by the Office of Children and Families.
  - All staff are subject to background checks before hiring

6/13/22 Planning Board (PB) meeting – Ms. Brownell presented her proposal to the PB and fielded a few questions . The Planning Office noted that the Immanuel Evangelical Lutheran church had housed a child care center in the recent past. It was noted that the project requires a PB public hearing and a Town Board public hearing. The PB called for a public hearing to be held at their regularly scheduled 7/11/22 PB meeting. In anticipation of support from the neighboring community, the PB called for a tentative resolution to be prepared for the 7/11/22 meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – The CAC reviewed the proposal for the after school and summer camp and voted unanimously to make a negative SEQR declaration.

A public hearing pertaining to the application was conducted under agenda item IV of the meeting agenda this evening. A tentative resolution is included in the meeting packet.

RESOLUTION NO. 2022-14

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 11TH DAY OF JULY 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

One of the purposes of the meeting was to make a recommendation to the Town Board on a Special Use Permit.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Katie Brownell, of Capital Kids Care acting on behalf of the owner of the property, submitted an Application for Site Plan Review and an Application For Special Use Permit to the Planning Office dated 6/6/22 to locate a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street as described in a 5-page documentation package stamped "Received Jun 08 2022 Planning Office Niskayuna, NY" by Planning Office staff containing the following:

- Floorplan
- Proposed traffic routing for drop off and pick up
- Basement floor fire evacuation plan
- After school schedule & details
- Sample weekly agenda "Theme: Best of the Best Week 4: Date July 19-23"

, and

WHEREAS, the zoning classification of the property is R-1 Low Density Residential zoning district, and



WHEREAS, Section 220-10 District Regulations includes (B) R-1 Low Density Residential District, (3) Special principal uses, (m) Child day-care center operated within a school, hospital or place of worship with approval of a special use permit by the Town Board, and

WHEREAS, the Planning Board conducted a public hearing on July 11, 2022 to consider the application for site plan approval and special use permit, and

WHEREAS, the application was referred to the Schenectady County Planning Department who approved of the proposal, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

FURTHER RESOLVED, that this Planning Board and Zoning Commission hereby recommends that the Town Board grant a Special Use Permit for a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street, as shown in a 5-page documentation package stamped "Received Jun 08 2022 Planning Office Niskayuna, NY, subject to final site plan approval.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

The Chairman declared the same \_\_\_\_\_.

# AFTER SCHOOL SCHEDULE & DETAILS



There are set hand washing times, but most scheduled activities end with clean up and handwashing

1:45/2:00pm:

Bus drop off begins

As kids arrive: Daily Health check, sign in, wash hands, put personal items away.

Activities: active organized game (adult led), indoor quiet play (stations set at tables), reading and media, homework, snack

2:00pm:

Homework room opens, everything above continued as well as outdoor play

3:00pm:

(handwashing)

Community Meeting: daily schedule, reminders, upcoming events, entertainment (changes daily: jokes, would you rather, mad libs, minute to win it games, silly challenges, etc), kids share, Q&A

3:30pm:

Clubs: (these are different daily and are set by the kids. Examples include, karaoke club, book club, bae blades club, puzzle club, Pokémon and other trading cards, fitness club, soccer club, photo club, etc.)

Homework Club

Outside Organized Game

Outside Free Play

Inside quiet free play

Art activity

4:30pm:

clubs end and clean up (handwashing)

free play inside and outside

5:15pm:

Consolidate group inside or outside depending on weather. Free play and adult lead quiet game (20 questions, quiz bowl, guess who, 7 up, etc)

6:00pm:

Program closes

**Parent pickup happens throughout.**

**Kids wash hands and gather belongings while the parent receives a report for the day.**

## **AFTER SCHOOL FACTS:**

All After School Programs are licensed and inspected by the Office of Children and Families.

All staff are subject to background checks before hiring.

Any kids within the district can be sent to Before and After School programming

School Year Breaks & Holiday Care available!

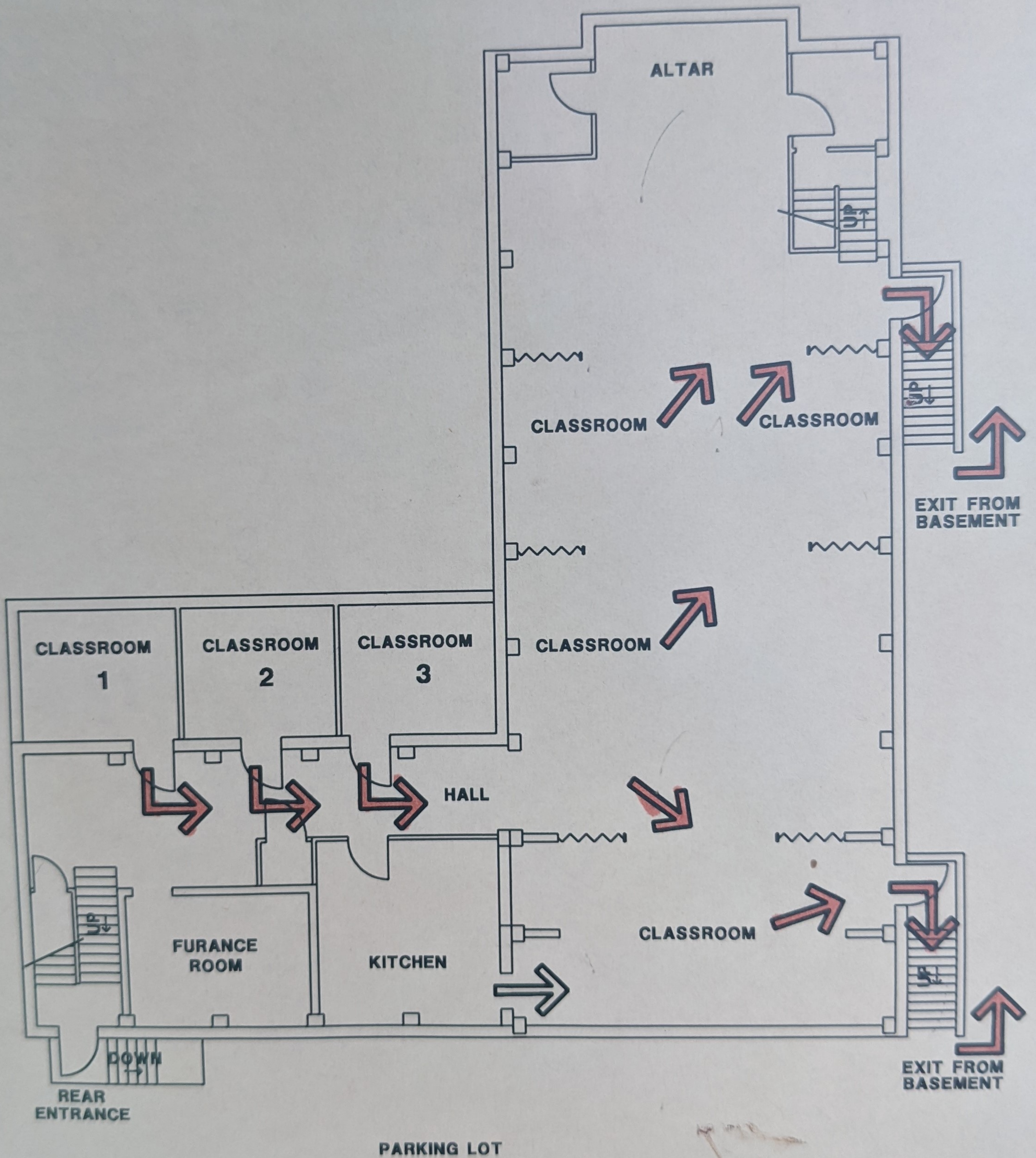
Before School Available

Programs can be enrolled in on our website

CapitalKidsCare.com

Contact Us: [CapitalKidsCare@gmail.com](mailto:CapitalKidsCare@gmail.com)





# BASEMENT FLOOR FIRE EVACUATION PLAN



# FLOOR PLAN

LDSS-4438 (Rev. 062020)

## INSTRUCTIONS

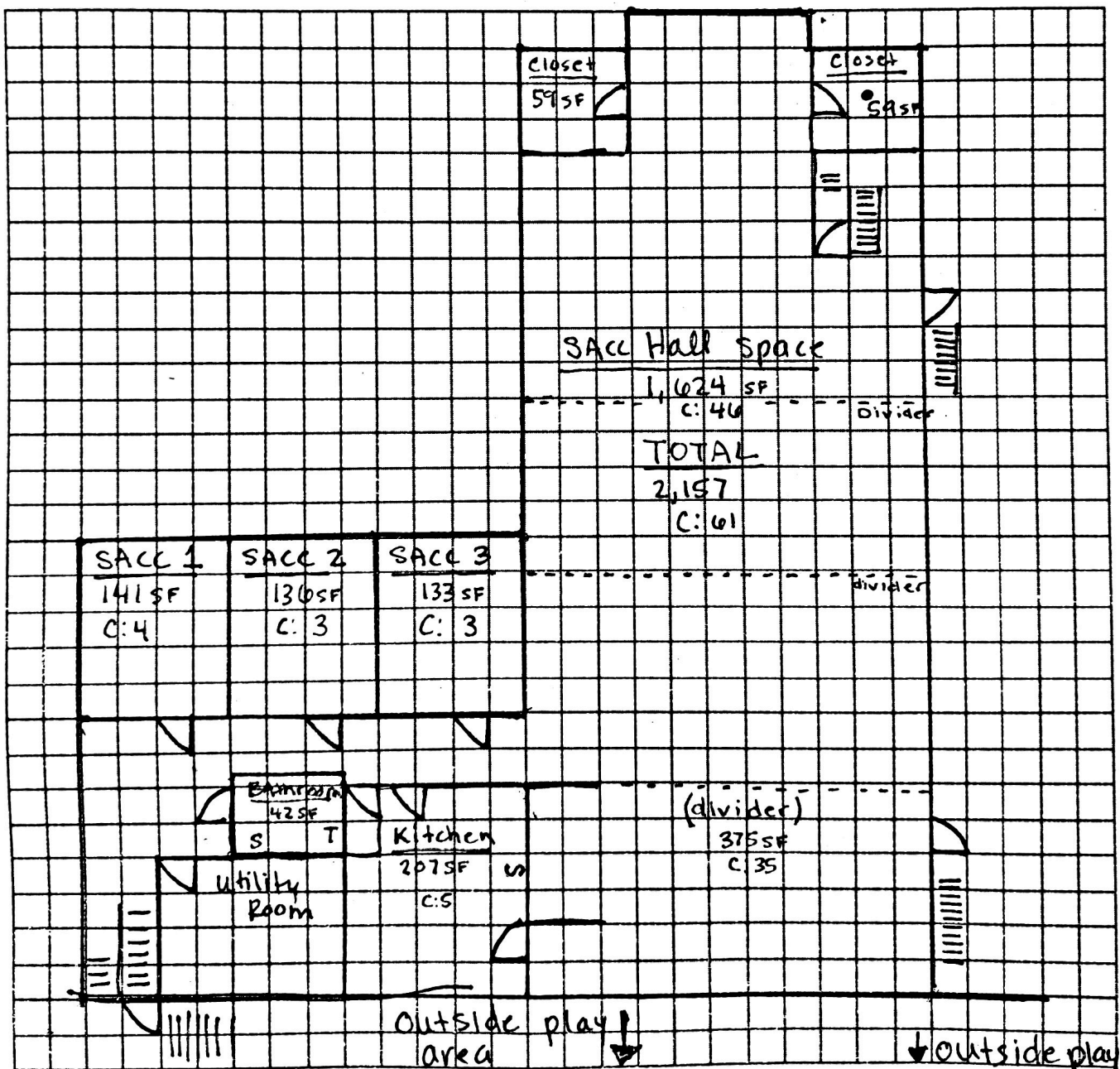
- Use the instructions on the previous sheet to assist you with your diagram
- The Emergency Evacuation Diagram, as approved by the Office, must be posted in a conspicuous place in every room.
- Arrange the paper so that the diagram is oriented as it would be as you leave the room.
- Make additional blank copies as needed.

Room dimensions  
Age: SACC  
group size  
Kitchen/Bathroom  
exit/egress  
plumbing  
outside play area

Program Name: **Capital Kids Care**

Facility ID Number: **890141**

Room:

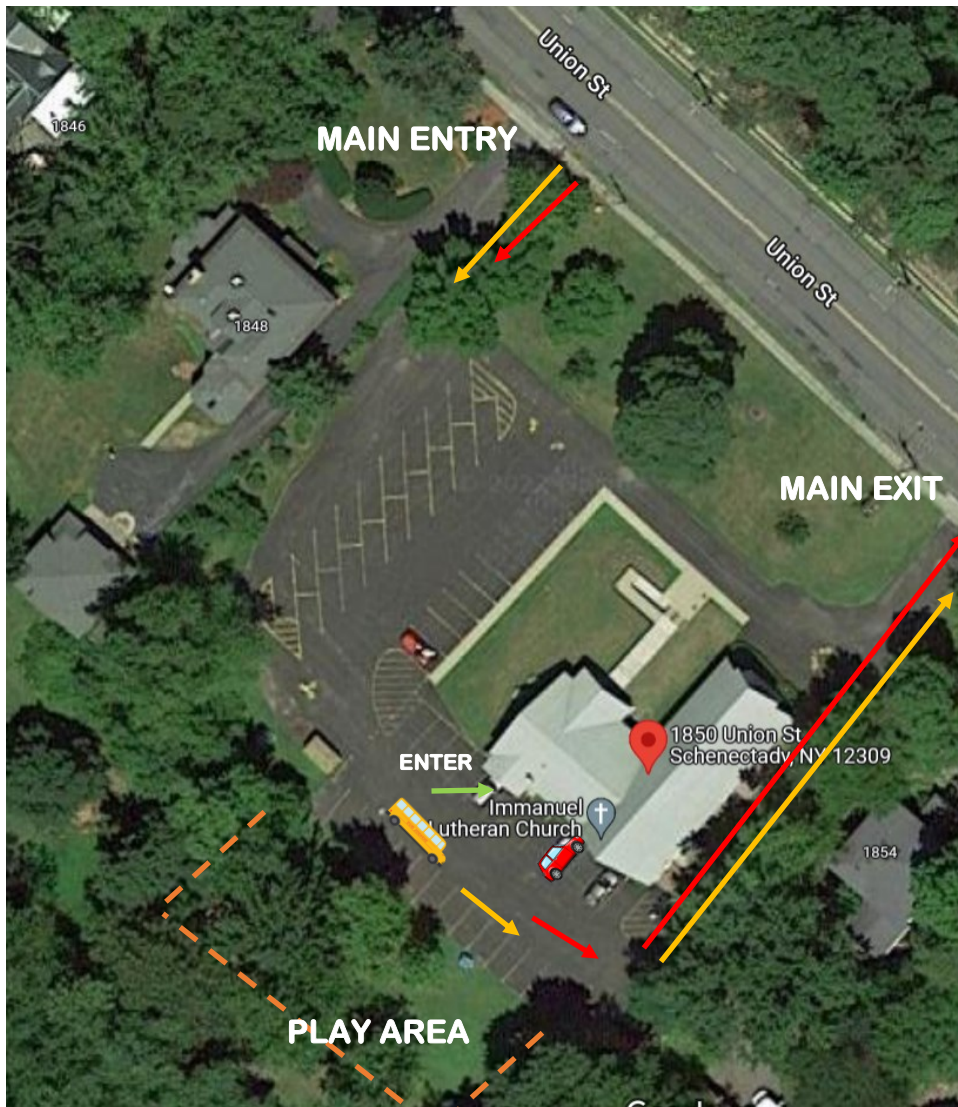






# Theme: Best of the Best      Week: 4

# Date: JULY 19-23

MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	Supplemental Activities
7:30-9:00 <b>Me Time</b>	7:30-9:00 <b>Me Time</b>	7:30-9:00 <b>Me Time</b>	7:30-9:00 <b>Me Time</b>	7:30-9:00 <b>Me Time</b>	<b>Creation Corner</b> Caterpillar Race Blow Paint Race Sailboat Race  <b>Whole Group:</b> WEEK LONG Tournaments: Connect 4 or any board game, Tic-Tac-Toe Relay, 4 Square, 4 Passes. Etc. Bubble Blowing Contest Ugly Face Contest Hand and Foot Suitcase Fit Crossed or Uncrossed  <b>Other:</b> Death Box
9:00-10:00 <b>Camp Meeting &amp; Groups</b>	9:00-10:00 <b>Camp Meeting &amp; Groups</b>	9:00-10:00 <b>Camp Meeting &amp; Groups</b>	9:00-10:00 <b>Camp Meeting &amp; Groups</b>	9:00-10:00 <b>Camp Meeting &amp; Groups</b>	
10:00-10:30 <b>Whole Group Challenge</b> Connect 4 Toss Rock Paper Scissor Hop	10:00-10:30 <b>Whole Group Challenge</b> War Group Jump Rope	10:00-10:30 <b>Whole Group Challenge</b> 4 On the Couch Bolf	10:00-10:30 <b>Whole Group Challenge</b> Challenge Game Board Game Tournament	10:00-10:30 <b>Cap Kids Got Talent:</b> Anything about why your group is the best! That’s Exactly What It Is!	
10:30-10:45 <b>Break</b>	10:30-10:45 <b>Break</b>	10:30-10:45 <b>Break</b>	10:30-10:45 <b>Break</b>	10:30-10:45 <b>Break</b>	
10:45-11:30 <b>Active Game</b> Speedy Undies <b>Creation Corner</b> Domino Structures	10:45-11:30 <b>Active Game</b> Park Play <b>Creation Corner</b> Mentos Soda Cars	10:45-11:30 <b>Active Game</b> Potato Roll <b>Creation Corner</b> Best of the Challenge Fair	10:45-11:30 <b>Active Game</b> Home Run <b>Creation Corner</b>	10:45-11:30 <b>Active Game</b> Park Play <b>Creation Corner</b>	
11:30-12:15 <b>Mini Masterpiece</b> You Can Draw * see note <b>High Active Game</b> Top Dogs	11:30-12:15 <b>Mini Masterpiece</b> Rainbow Paint Race <b>High Active Game</b> 6th Sense Sensei	11:30-12:15 <b>Mini Masterpiece</b> Largest Pavement Art <b>High Active Game</b> Weird Flex Master	11:30-12:15 <b>Mini Masterpiece</b> Sculpture Scramble <b>High Active Game</b> Real Record Setters	11:30-12:15 <b>Mini Masterpiece</b>  <b>High Active Game</b> Best of the Best	
12:15-12:45 <b>Lunch</b>	12:15-12:45 <b>Camp Lunch</b>	12:15-12:45 <b>Lunch</b>	12:15-12:45 <b>Lunch</b>	12:15-12:45 <b>Camp Lunch</b>	
12:45-2:00 <b>Water Play</b>	12:45-2:00 <b>Water Play</b>	12:45-2:00 <b>Water Play</b>	12:45-2:00 <b>Water Play</b>	12:45-2:00 <b>Water Play</b>	
2:00-2:30 <b>Break</b>	2:00-2:30 <b>Break</b>	2:00-2:30 <b>Break</b>	2:00-2:30 <b>Break</b>	2:00-2:30 <b>Break</b>	
2:30-3:00 <b>Mixed Group</b> Classics Challenge	2:30-3:00 <b>Mixed Group</b> Classics Challenge	2:30-3:00 <b>Mixed Group</b> Classics Challenge	2:30-3:00 <b>Mixed Group</b> Classics Challenge	2:30-3:30 <b>Final Circle &amp; Raffle</b>	
3:00-3:45 <b>Circle Game</b> <b>Kids V Kids</b> Balloon Strong Man Odds & Evens <b>Kids V Counselors:</b> Eleven	3:00-3:45 <b>Circle Game</b> <b>Kids V Kids</b> Catch Don’t Catch How Long is a Minute <b>Kids V Counselors:</b> Tootsie Roll	3:00-3:45 <b>Circle Game</b> <b>Kids V Kids</b> Night Night Grandma  <b>Kids V Counselors:</b> Master Sorter Quick Draw	3:00-3:45 <b>Circle Game</b> <b>Kids V Kids</b> Dollar Jump Survivor Dodge <b>Kids V Counselors:</b> 5 in 10 Flinch		
3:45-4:15 <b>Circle Up</b>	3:45-4:15 <b>Circle Up</b>	3:45-4:15 <b>Circle Up</b>	3:45-4:15 <b>Circle Up</b>	3:30-5:30 <b>Movie</b>	
4:15-5:30 <b>Me Time</b>	4:15-5:30 <b>Me Time</b>	4:15-5:30 <b>Me Time</b>	4:15-5:30 <b>Me Time</b>		

Proposed traffic routing for drop off and pick up:  
Capital Kids Care 1850 Union St



Key	
	Bus Route
	Parent Route
	Parent/Child Entry
	Cone Line

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

### Part 1 – Project and Sponsor Information

Name of Action or Project:

Capital Kids Care

Project Location (describe, and attach a location map):

Within Immanuel Lutheran Church 1850 Union ST

Brief Description of Proposed Action:

School age child care

After school: Sept - June M-F 2:00 - 6:00

Summer camp: June - Sept M-F 7:30 - 5:30

Name of Applicant or Sponsor:

Katie Brownell

Telephone: 352-284-1345

E-Mail: CapitalKidsCare@gmail.com

Address: 65 Creek RD Wyanetskill NY 12198

City/PO:

State:

Zip Code:

1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?

NO

YES

If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.

☐

☒

2. Does the proposed action require a permit, approval or funding from any other government Agency?

NO

YES

If Yes, list agency(s) name and permit or approval:

☐

☐

3. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres

b. Total acreage to be physically disturbed? \_\_\_\_\_ acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

4. Check all land uses that occur on, are adjoining or near the proposed action:

- ☐ Urban    ☐ Rural (non-agriculture)    ☐ Industrial    ☐ Commercial    ☐ Residential (suburban)  
☐ Forest    ☐ Agriculture    ☐ Aquatic    ☐ Other(Specify):  
☐ Parkland

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	N/A  <input type="checkbox"/>  <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>  <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO  <input type="checkbox"/>	YES  <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO  <input type="checkbox"/>  <input type="checkbox"/>	YES  <input type="checkbox"/>  <input type="checkbox"/>	



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px;">           a. Will storm water discharges flow to adjacent properties?             b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?         </div> If Yes, briefly describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div> <div style="border-bottom: 1px solid black; height: 1.2em; margin-top: 5px;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: Kate Brownell Date: 7/6/22

Signature: *Kate Brownell* Title: owner



# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII.2

MEETING DATE: 7/11/2022

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**ITEM TITLE:** RECOMMENDATION: A recommendation to the ZBA for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space at 2837 Aqueduct Rd. (Rivers Ledge).

**PROJECT LEAD:** Genghis Khan & Chris LaFlamme

**APPLICANT:** Chuck Pafundi, agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☒ OTHER: ARB

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

**BACKGROUND INFORMATION**

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

**Phase 2 – Revision 1**

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

**Phase 2 – Revision 2**

The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

## **Phase 2 – Revision 3**

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.
3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.

4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

## **SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL**

**Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:**

*The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.*

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*
- h) *The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

5/23/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and presented the Rev 3 version of the proposed Senior Center. He noted that since they last appeared before the

PB (11/8/21) their design team completely redesigned their approach. One of their primary goals was to break up the long length of the building with the use of a row house look and a variety of façade depths, colors, etc. He noted that they were able to maintain the requirement of 1 parking space for each apartment unit in the building. PB members noticed and commented on the height of the building being 41' (35' is max. allowed per zoning code) and would therefore still require a variance. The PB suggested that Mr. Pafundi utilize a mixture of roof lines – dormers, gable, mansard roof, etc. to soften the building appearance.

Mr. Pafundi stated that he can have his architects and civil engineers work together to create a rendering of how the building will appear with the existing trees and vegetation around it. Mr. Pafundi noted that he is working with the Army Corps of Engineers regarding wetlands.

The PB established the following action items.

- Applicant – work with design team regarding the PB's façade comments
  - Create a rendering showing proposed building with exiting trees around it to help w/scale
  - Explore ways to shorten the height of the building and also make it appear shorter
- PO – schedule a review with the ARB
- PO – provide pictures of Notts Landing to Mr. Pafundi

On Monday June 6, 2022 Mr. Pafundi emailed the Planning Office stating that he and his design team evaluated the following 3 design options.

1. Reduce the height of the building to comply with the 35' maximum zoning code height.
2. Employ design features such as dormers, gable roofs, mansard roofs, etc. to reduce the visual impact of a building that is taller than 35'. (Make the building appear <= 35').
3. Proceed with the design as it was presented at the 5/23/22 PB meeting and request a variance for building height from the Zoning Board of Appeals (ZBA).

In the email Mr. Pafundi stated that they would like to proceed with option 3. A scaled rendering of the 41' high building and the surrounding trees was also provided.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office described the details of the Rev 3 version of the proposed Senior Center Building to the CAC. After an engaged discussion the CAC members concurred on offering the following suggestions.

- They would like to see what a 2 story rendition would like that complies with the 35' height requirement because they are concerned about the height.
- They asked for green energy practices to be utilized – solar, EV charging stations, etc.
- They asked the Planning Board to require pesticide free maintenance of the building grounds, especially with all the wetland around
- They asked for a path or walkway to connect all of the buildings, including the small commercial building, to the bike path.
- They requested outdoor seating and outdoor recreation space for the senior center building and outdoor seating for the commercial building.
- They appreciated the reduction in wetland impacts.

6/13/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and explained that the developer would like to pursue approval of the 41' high building as shown in the "Rev 3" design. He noted that their design team believes the extra 6' ( $41 - 35 = 6$ ) of building height allows for a more residential looking pitched roof design. He requested that the Planning Board proceed with the "Rev 3" design and make a recommendation either for or against the design so that he could pursue an area variance for 6 additional feet of building height with the ZBA. Ms. Robertson displayed the colored rendering that was included in the PB meeting packet that showed a scaled side elevation view of the building including the nearby trees. After discussion the PB requested the following additional detail for the 7/11/22 PB meeting and agreed to make a recommendation on the ZBA application at that meeting.

6/15/22 Architectural Review Board (ARB) meeting – the ARB reviewed the most recent images of the building and discussed the upcoming ZBA meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – Mr. Pafundi attended the meeting and repeated the presentation he made to the Planning Board at their 6/13/22 meeting. He responded to each of the CAC's requests from their 6/8/22 meeting and explained why some could be implemented and why others could not. Mr. Pafundi and the CAC discussed several potential additions to the site plan including the following.

- Add a sidewalk and cross walk that connects the small commercial building that is part of the Senior Center site plan to the bike path.
- Add an outdoor seating and potentially dining area between the Senior Center and River Run Drive.
- Add more landscape screening between the Senior Center building and Aqueduct Road
  - Utilize a mixture of evergreen and deciduous trees
  - Retain as many existing trees as possible
- Utilize pesticide free landscaping practices

Mr. Pafundi noted that he is working with his team to produce architectural renderings of the Senior Center as viewed from the Rexford side of the Mohawk River. The Planning Board previously asked for renderings that show where the air conditioning units will be located on the buildings.

The project is on the agenda this evening so that the PB can make a recommendation to the ZBA regarding the area variance for the height of the building.



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**Town of Niskayuna****M E M O R A N D U M**

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**TO:** File

**FROM:** Laura Robertson, Town Planner

**DATE:** July 11, 2022

**RE:** 2837 Aqueduct Rd. – Rivers Ledge Senior Center Building

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At a regular Planning Board and Zoning Commission (PB) meeting held on July 11, 2022 the PB reviewed the appeal by Chuck Pafundi, acting on behalf of the Luizzi Brothers, for a variance from Niskayuna Zoning Code Section 220-17 as it applies to the property at 2837 Aqueduct Rd., Niskayuna, New York located within the Planned Unit Development (PUD) in the R-2 Medium Density Residential Zoning District, for an Application for Site Plan Review for the construction of a new 41 ft. high Senior Center building on the property. An area variance for the height of the proposed new building is required.

Niskayuna Zoning Code Section 220-17 (A) Height regulations states: “No building or structure shall exceed a height of 35 feet above the average finished grade adjoining the building unless otherwise specified in this chapter. The finished grade of artificial berms or similar earthen structures created for insulation or other purposes adjacent to the building shall be disregarded in the determination of average finished grade.” As proposed, the 12-page drawing set entitled “Overall Plan – Phase 2” by Brett L. Steenburgh and the 24-page drawing set entitled “Exterior Perspective – View from Aqueduct Road” by HCP Architects show the proposed 66-unit senior living building as 41’ high. Therefore a 6’ height variance is required.

The Conservation Advisory Council (CAC) reviewed the project during their regularly scheduled meeting on 6/8/22 and requested retaining as many existing trees as possible and adding more landscaping / screening between the building and Aqueduct road to mitigate the views of the height of the building from adjacent homes.

The Planning Board made the following recommendations:

**Effect on the Comprehensive Plan –**

**Suitability of Use –**

**RECOMMENDATION**



# TOWN OF NISKAYUNA

## PLANNING DEPARTMENT

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Laura Robertson  
Town Planner

(518) 386-4522  
FAX: (518) 386-4592

### BUILDING AND ZONING PERMIT DENIAL

**Address: 2837 Aqueduct Rd.  
Rivers Ledge Senior Center Building**

**Application Date: 11/15/21**

Luizzi Brothers Construction  
857 1<sup>st</sup> Street  
Watervliet, NY 12189  
cpafundi@luizzibros.com

Dear Mr. Pafundi:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that the Application for Site Plan Review for a proposed 66-unit senior apartment building at 2837 Aqueduct Rd has been denied by reason of failure to comply with the provisions of Niskayuna Zoning Code Section 220-17 Height regulations. The property is located within a Planned Unit Development (PUD) within the R-2 Medium Density Residential Zoning District.

Niskayuna Zoning Code Section 220-17 (A) Height regulations states: "No building or structure shall exceed a height of 35 feet above the average finished grade adjoining the building unless otherwise specified in this chapter. The finished grade of artificial berms or similar earthen structures created for insulation or other purposes adjacent to the building shall be disregarded in the determination of average finished grade." As proposed, the 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh and the 24-page drawing set entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects show the proposed 66-unit senior living building as 41' high. Therefore a 6' height variance is required.

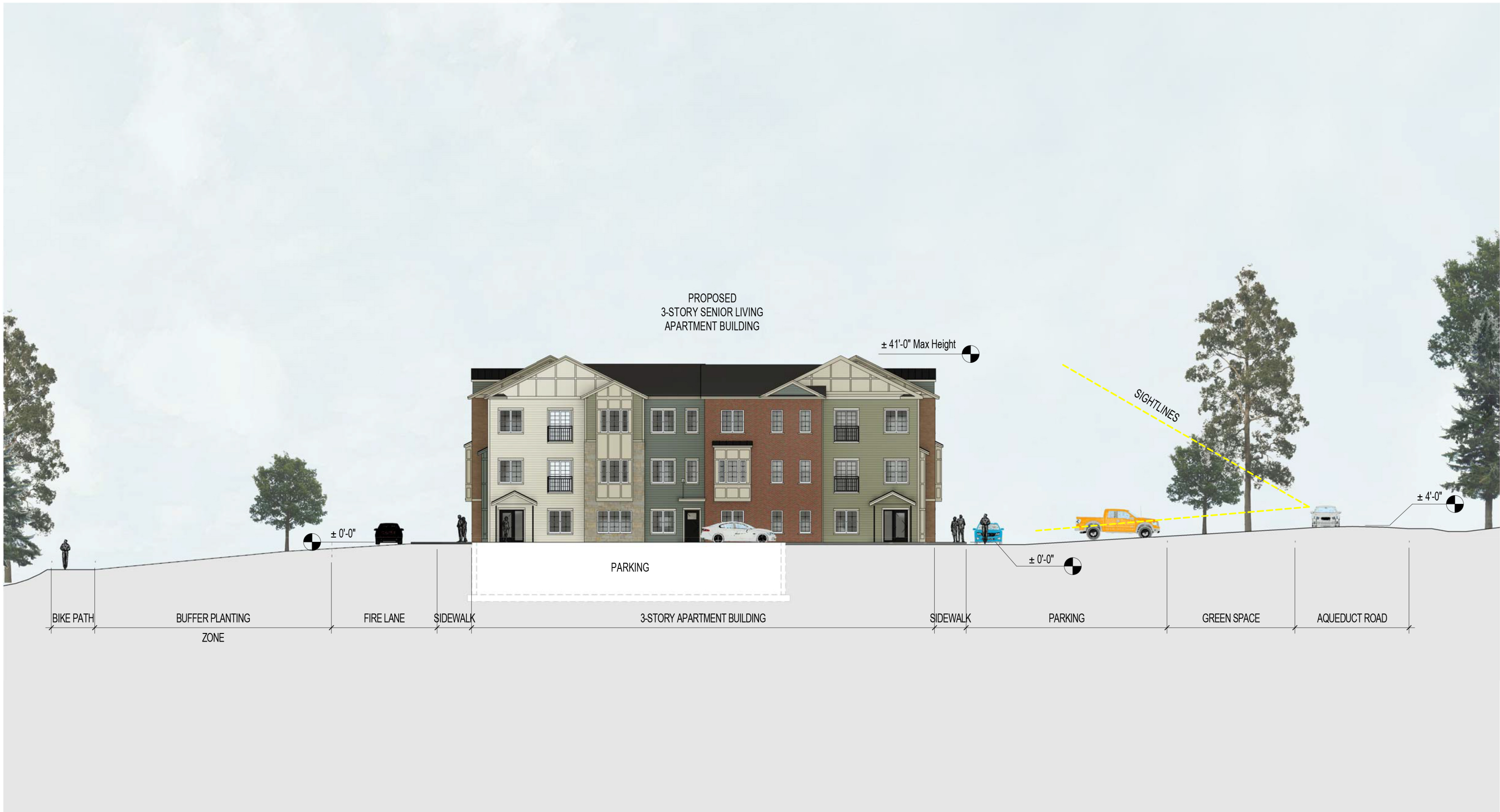
Under the provisions of Section 220-69 the Zoning Ordinance of the Town of Niskayuna you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

Laura Robertson, Deputy Code Enforcement Officer

6/10/22

Date













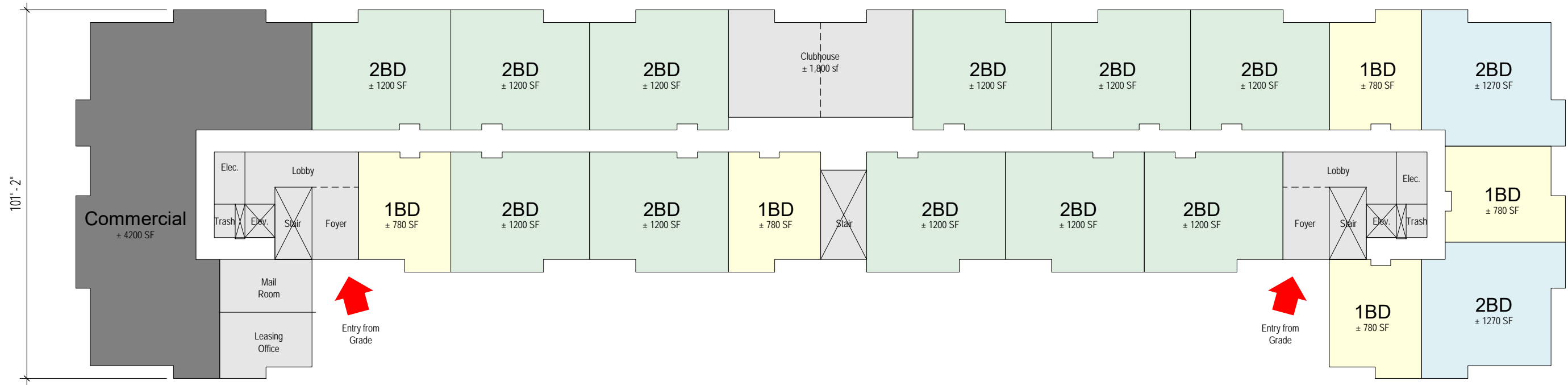






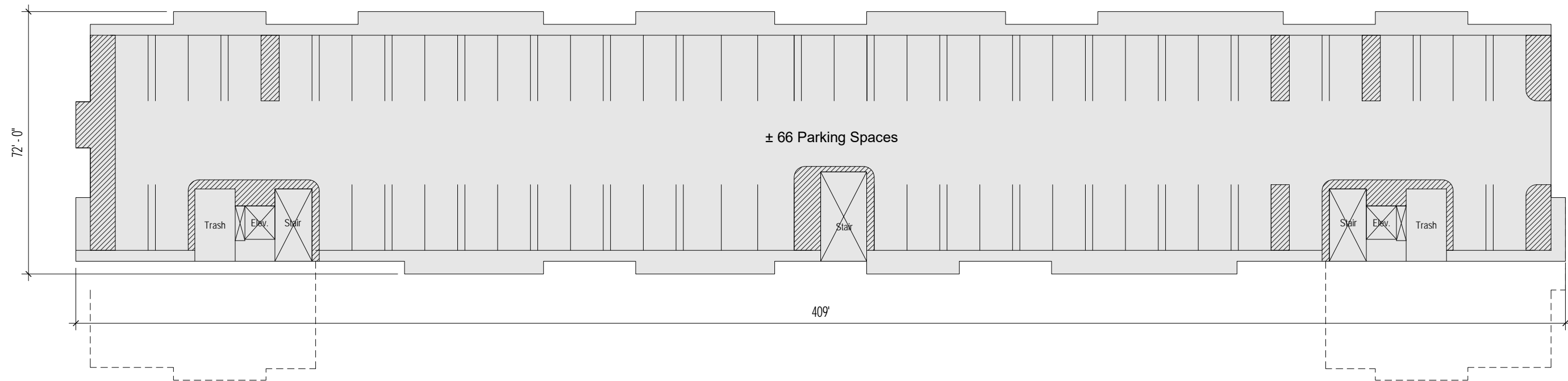




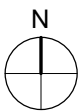


First Floor Block Plans

31,300 sf Footprint



Basement Floor Block Plans



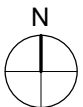
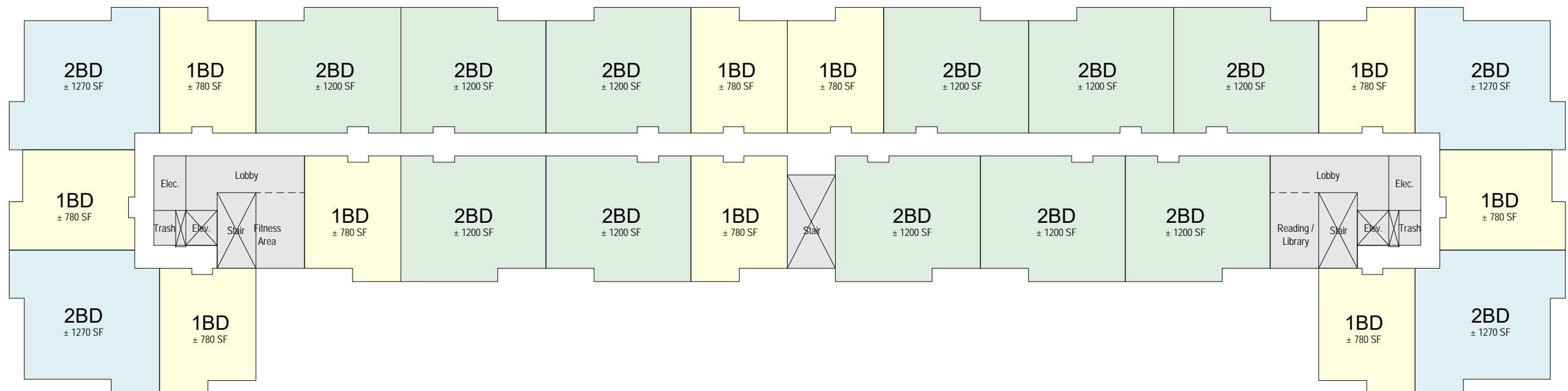
Unit Count Matrix			
	1 Bedrooms	2 Bedroom	
First Floor	5	13	± 66 Units
Second Floor	10	15	
Third Floor	8	15	
Total	23	43	



Third Floor Block Plans



Second Floor Block Plans



Unit Count Matrix			
	1 Bedrooms	2 Bedroom	
First Floor	5	13	± 66 Units
Second Floor	10	15	
Third Floor	8	15	
Total	23	43	



EXTERIOR CLADDING SPECIFICATIONS		WINDOW SPECIFICATIONS	
<ul style="list-style-type: none"> <li><b>CULTURED STONE VENEER:</b> <ul style="list-style-type: none"> <li>CASA DI SASSI</li> <li>VOLTERRA TURIN</li> </ul> </li> <li><b>EIFS BRICK</b> <ul style="list-style-type: none"> <li>STOCREATIV BRICK</li> <li>OHIO STANDARD BRICK</li> <li>COLOR: VARIES</li> </ul> </li> <li><b>SIDING / TRIM:</b> <ul style="list-style-type: none"> <li>JAMES HARDIE FIBER CEMENT</li> <li>7" SMOOTH LAP SIDING</li> <li>COLOR: VARIES</li> <li>VERTICAL &amp; PANEL SIDING</li> <li>COLOR: VARIES</li> <li>TRIM, FASCIA &amp; SOFFITS</li> <li>COLOR: VARIES</li> </ul> </li> <li><b>STANDING SEAM METAL ROOF - DORMERS &amp; SHED ROOFS:</b> <ul style="list-style-type: none"> <li>ATAS 2" FIELD-LOK</li> <li>COLOR: BLACK</li> </ul> </li> <li><b>ROOFING:</b> <ul style="list-style-type: none"> <li>GAF TIMBERLINE HDZ</li> <li>ARCHITECTURAL ASPHALT SHINGLES</li> <li>COLOR: WEATEHRED WOOD</li> </ul> </li> </ul>		<ul style="list-style-type: none"> <li><b>WINDOWS:</b> <ul style="list-style-type: none"> <li>ANDERSEN 100 SERIES OR EQUAL</li> <li>SINGLE HUNG: (2) 2'-6" X 5'-0" <ul style="list-style-type: none"> <li>EXT. COLOR: VARIES</li> <li>INT. COLOR: WHITE</li> </ul> </li> </ul> </li> <li><b>SLIDING PATIO DOORS</b> <ul style="list-style-type: none"> <li>ANDERSEN 100 SERIES OR EQUAL</li> <li>GLIDING PATIO DOOR: 8'-0"w X 7'-0"h <ul style="list-style-type: none"> <li>EXT. COLOR: VARIES</li> <li>INT. COLOR: WHITE</li> </ul> </li> </ul> </li> <li><b>BUILDING ENTRANCES:</b> <ul style="list-style-type: none"> <li>KAWNEER 350 MEDIUM STILE ALUMINUM ENTRANCES</li> <li>3-1/2" VERTICAL STILES AND TOP RAILS</li> <li>10" HIGH BOTTOM RAIL</li> <li>ALUMINUM FINISH: PERMAFLUOR, VARIES</li> </ul> </li> </ul>	



MAX BUILDING HEIGHT

41' - 0"

West Elevation

East Elevation Similar



MAX BUILDING HEIGHT

41' - 0"

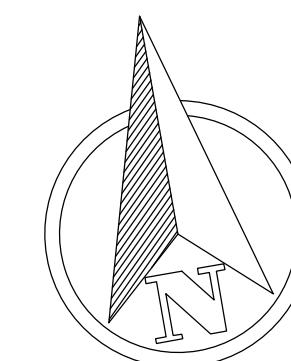
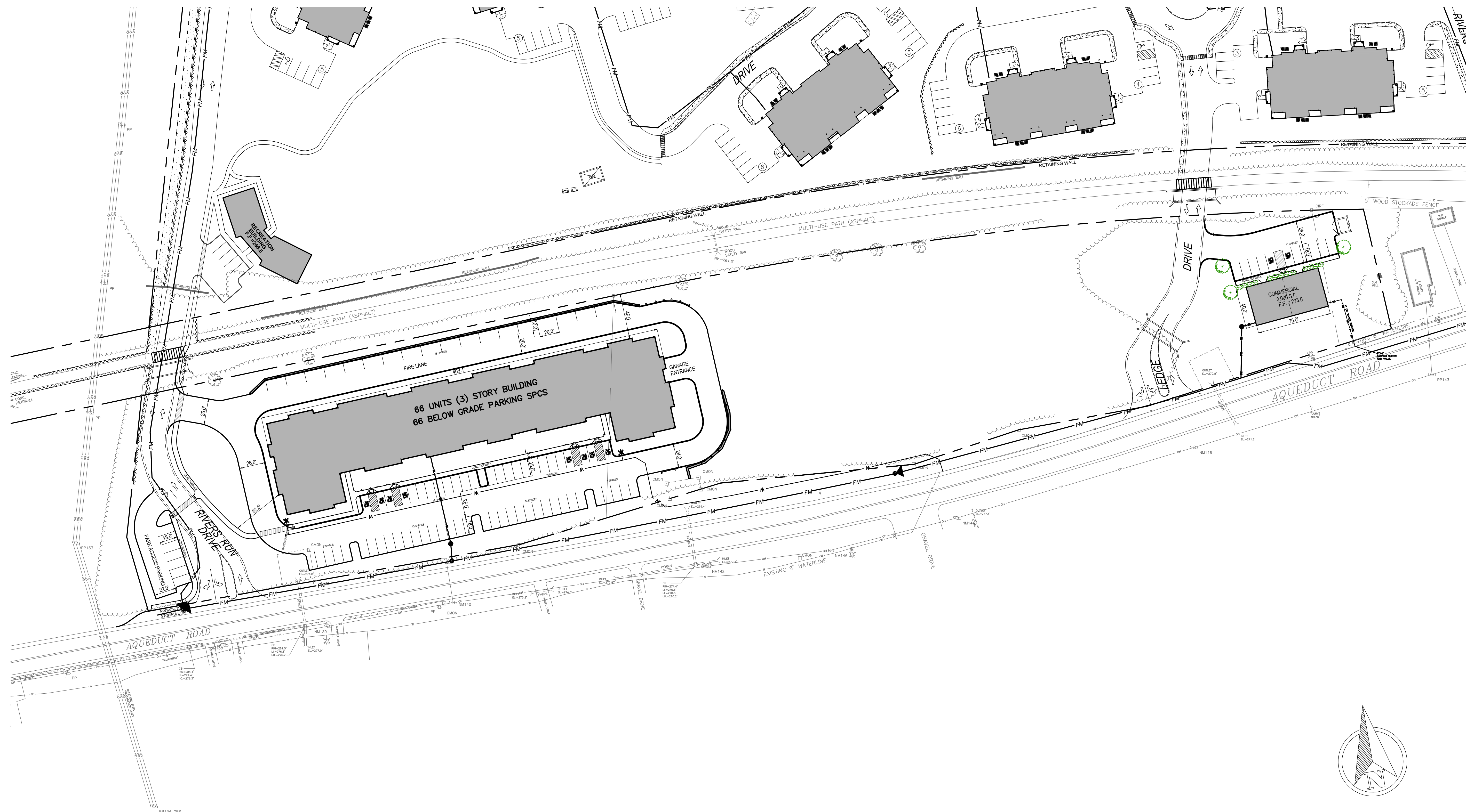
South Elevation - West Wing

East Wing Similar



## SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA  
APPLICANT: RIVERS LEDGE OF NISKAYUNA  
49 RAILROAD AVENUE  
ALBANY, NY 12205  
AREA = 5.25± ACRES  
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
PARKING PROVIDED = 144 SPACES  
GARAGE SPACES = 66 SPACES  
OUTDOOR SPACES = 78 SPACES  
BUILDING HEIGHT - 41'  
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
PARKING PROVIDED = 11 SPACES  
BUILDING HEIGHT - 16'



BRETT L. STEENBURGH MAP REFERENCE:  
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS  
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

<p>OVERALL PLAN</p> <p>PHASE 2 – RIVERS LEDGE OF NISKAYUNA</p> <p>2837 AQUEDUCT ROAD</p>		<p>TOWN OF NISKAYUNA</p> <p>STATE OF NEW YORK</p>		<p>BRETT L. STEENBURGH, P.E. PLLC</p> <p>2832 Rosendale Road</p> <p>Niskayung, NY 12309</p> <p>(518) 365-0675</p> <p>bsteenburgpe@gmail.com</p>	
<p>COUNTY OF SCHENECTADY</p>		<p>CHECKED BY:</p> <p>JOB NO.</p>		<p>ENGINEERING THAT TRANSFORMS</p> <p>IMAGINATION INTO REALITY</p>	
<p>DATE: MAY 11, 2022</p>		<p>SCALE: 1" = 50'</p>		<p>SHEET 0-1</p>	

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BRETT L. STEENBURGH, P.E.  
NYS LIC. NO. 075458



SITE STATISTICS

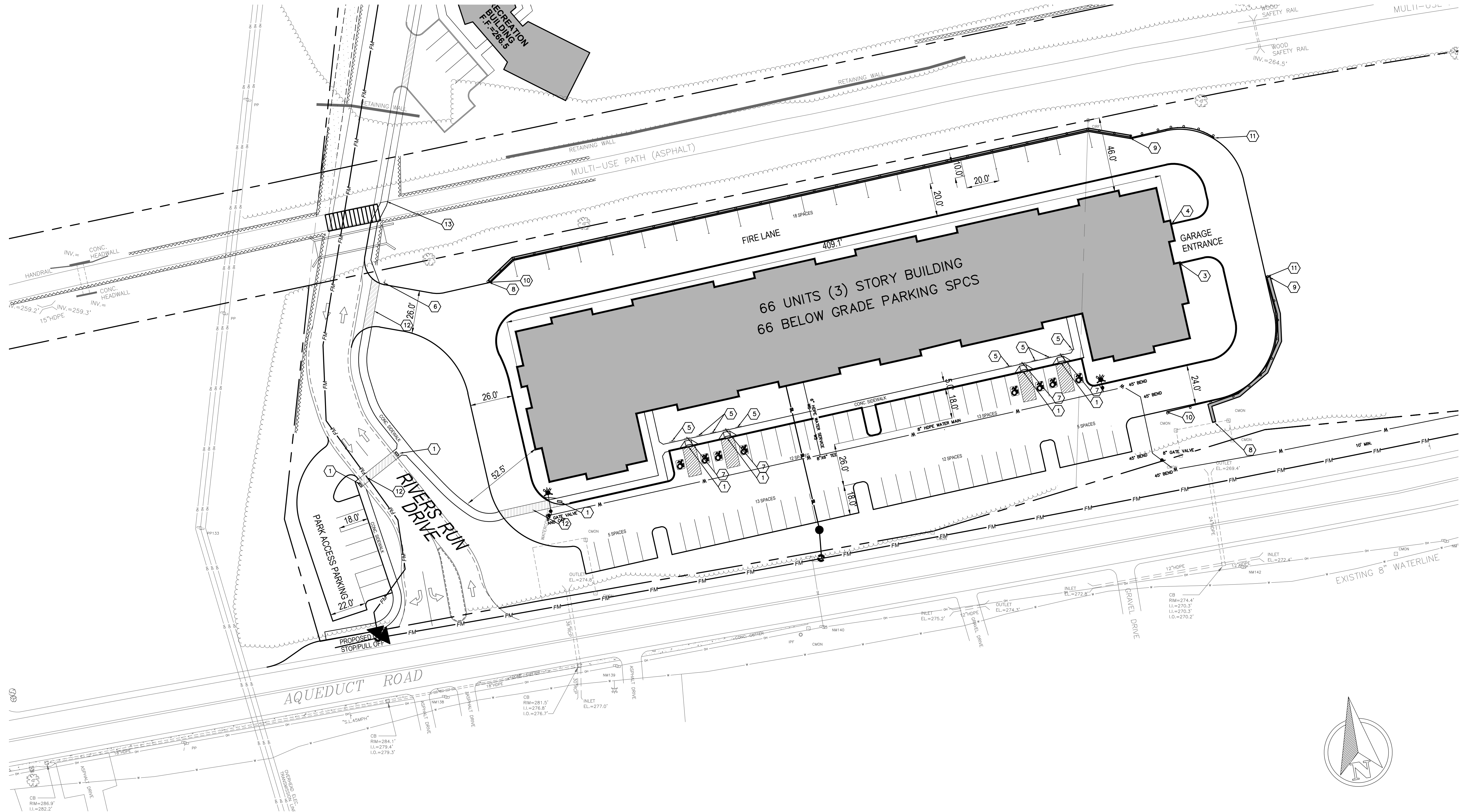
OWNER: RIVERS LEDGE OF NISKAYUNA  
 APPLICANT: RIVERS LEDGE OF NISKAYUNA  
 49 RAILROAD AVENUE  
 ALBANY, NY 12205

AREA = 5.25± ACRES  
 USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
 MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
 PARKING PROVIDED = 144 SPACES  
 GARAGE SPACES = 66 SPACES  
 OUTDOOR SPACES = 78 SPACES

BUILDING HEIGHT - 41'  
 STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
 PARKING PROVIDED = 11 SPACES  
 BUILDING HEIGHT - 16'

LEGEND

- |   |   |   |                         |
|---|---|---|-------------------------|
| ① | HANDICAP RAMP PER ADA STANDARDS             | ⑩ | BEGIN GUIDE RAIL        |
| ② | CONCRETE SIDEWALK                           | ⑪ | END GUIDE RAIL          |
| ③ | BEGIN CURB                                  | ⑫ | CROSSWALK               |
| ④ | END CURB                                    | ⑬ | CONNECT TO EX. SIDEWALK |
| ⑤ | HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P) | ⑭ | DUMPSTER ENCLOSURE      |
| ⑥ | STOP SIGN (MUTCD R1-1 MIN. 30" X 30")       |   |                         |
| ⑦ | NO PARKING ANYTIME SIGN (MUTCD R7-1)        |   |                         |
| ⑧ | BEGIN RETAINING WALL                        |   |                         |
| ⑨ | END RETAINING WALL                          |   |                         |



BRETT L. STEENBURGH MAP REFERENCE:  
 PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
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 NYS Education Law, § 289  
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 bsteenburghp@gmail.com

ENGINEERING THAT TRANSFORMS  
 IMAGINATION INTO REALITY

SITE PLAN  
 PHASE 2 - RIVERS LEDGE OF NISKAYUNA  
 2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK  
 DRAWN BY: CHECKED BY: SCALE: 1" = 30'  
 CAD FILE: JOB NO. DATE: MAY 11, 2022

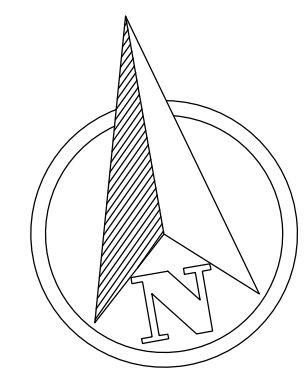
SHEET S-1



OWNER: RIVERS LEDGE OF NISKAYUNA  
APPLICANT: RIVERS LEDGE OF NISKAYUNA  
49 RAILROAD AVENUE  
ALBANY, NY 12205  
AREA = 5.25± ACRES  
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL  
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL  
PARKING PROVIDED = 144 SPACES  
CARAGE SPACES = 66 SPACES  
OUTDOOR SPACES = 78 SPACES  
BUILDING HEIGHT - 3541'  
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.  
PARKING PROVIDED = 11 SPACES  
BUILDING HEIGHT - 16'

1	HANDICAP RAMP PER ADA STANDARDS
2	CONCRETE SIDEWALK
3	BEGIN CURB
4	END CURB
5	HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)
6	STOP SIGN (MUTCD R1-1 MIN. 30" X 30")
7	NO PARKING ANYTIME SIGN (MUTCD R7-1)
8	BEGIN RETAINING WALL
9	END RETAINING WALL

- 
- This is a detailed site plan for a commercial property. The central feature is a rectangular building labeled "COMMERCIAL 3,000 S.F. F.F. = 273.5" with dimensions of 75.0' by 40.0'. To the left of the building is a "LEDGE" and a "DRIVE" with arrows indicating traffic flow. A "5' WOOD STOCKADE FENCE" runs along the top and right sides of the property. An "AQUEDUCT ROAD" runs along the bottom of the property, with an "INLET EL.=271.2'" and an "OUTLET EL.=270.8'". A "WATERLINE" runs parallel to the aqueduct road, with an "EXISTING 8" WATERLINE" and a "NEW 8" WATERLINE" indicated. A "DUG WELL" is located near the building. A "2 STORY W/F HOUSE" is shown to the right of the building, with a "DRIVE" leading to it. A "3 STORY W/F HOUSE" is also shown. A "MULTI-USE PATH (ASPHALT)" runs along the top of the property. A "RETAINING WALL" is shown along the top edge. A "SE PATH (ASPHALT)" runs along the left edge. A "GRANL DRIVE" is shown at the bottom left. The plan includes various utility lines, including "FM" (Fire Main) and "W" (Water) lines, and a "TAPPING SLEEVE AND VALVE". A north arrow is located in the bottom right corner.



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**BRETT L. STEENBURGH, P.E. PLLC**

PHASE 2 - RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY

DRAWN BY: CADD FILE:	CHECKED BY: JOB NO.	SCALE: 1" = 30'
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MAY 11, 2022

**BRETT L. STEENBURGH, P.E. PLLC**  
  
 2832 Rosendale Road  
 Hickory, NC 28090  
 704.366.7575  
[info@steenburghengineering.com](mailto:info@steenburghengineering.com)  
**ENGINEERING THAT TRANSFORMS  
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NO.	DATE.	REVISIONS	BY.
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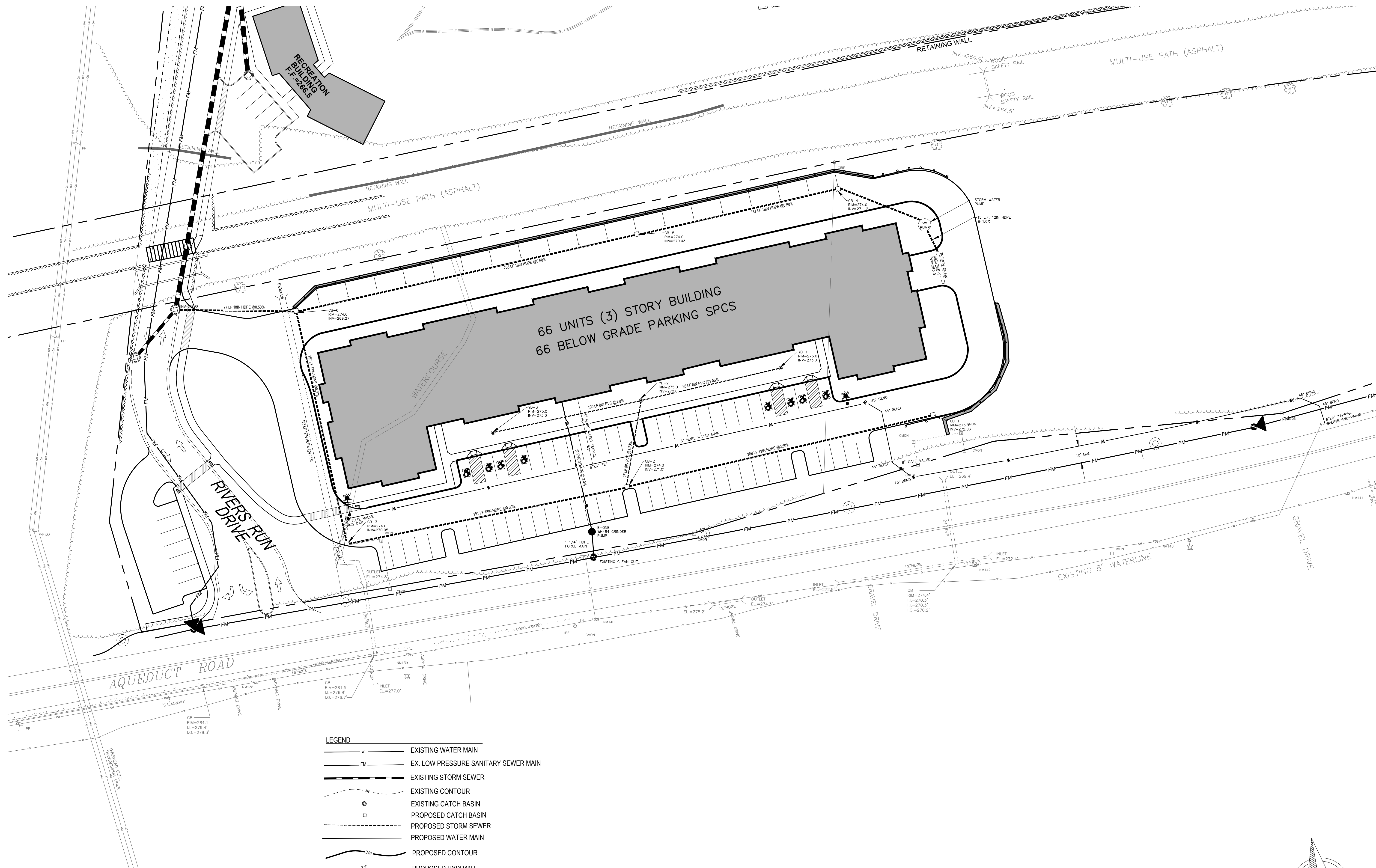




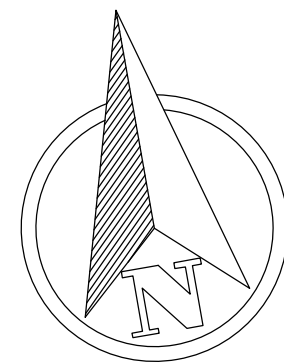








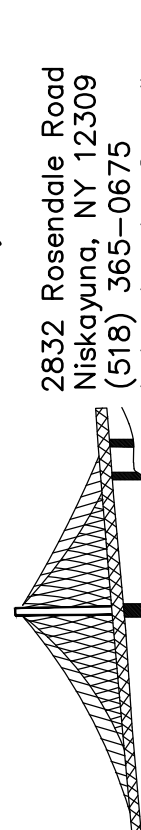
- LEGEND**
- w — EXISTING WATER MAIN
  - FM — EX. LOW PRESSURE SANITARY SEWER MAIN
  - - - - - EXISTING STORM SEWER
  - - - - - EXISTING CONTOUR
  - EXISTING CATCH BASIN
  - PROPOSED CATCH BASIN
  - - - - - PROPOSED STORM SEWER
  - PROPOSED WATER MAIN
  - - - - - PROPOSED CONTOUR
  - ⊕ PROPOSED HYDRANT
  - PROPOSED GATE VALVE



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ENGINEERING THAT TRANSFORMS  
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UTILITY PLAN  
PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

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CADD FILE: JOB NO. SHEET U-1

DATE: MAY 11, 2022

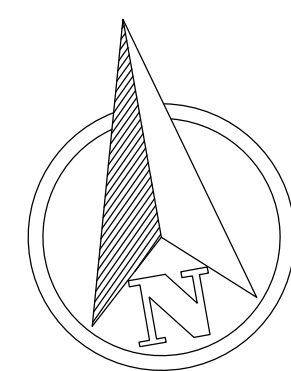
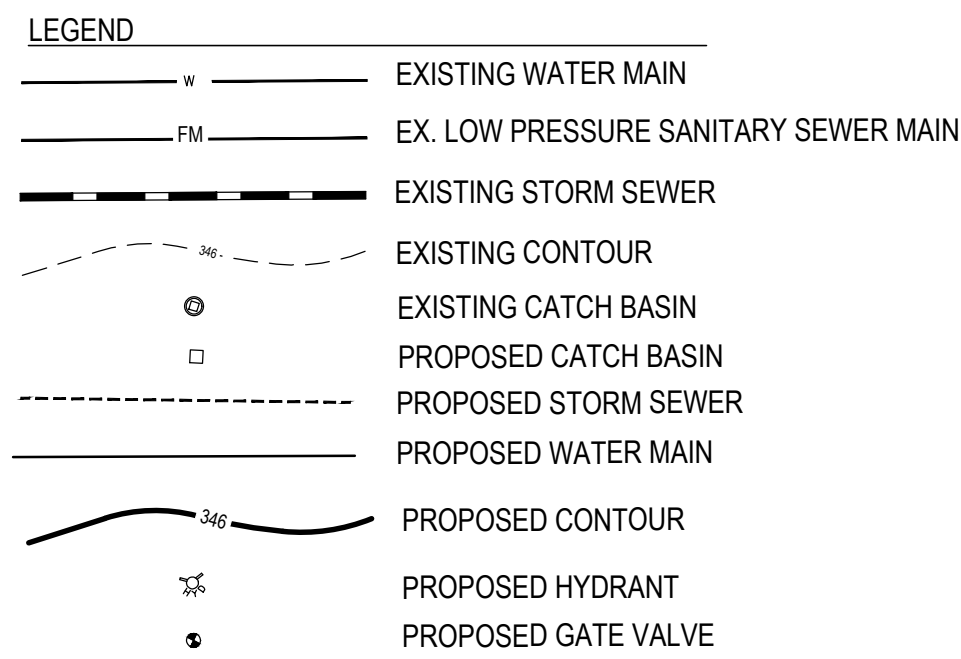
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NO. DATE: REVISIONS BY:





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PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY	TOWN OF NISKAYUNA
DRAWN BY: CADD FILE:	CHECKED BY: JOB NO.:

STATE OF NEW YORK  
**SCALE: 1" = 30'**

**SHEET U-2**

# IMAGINATION INTO REALITY



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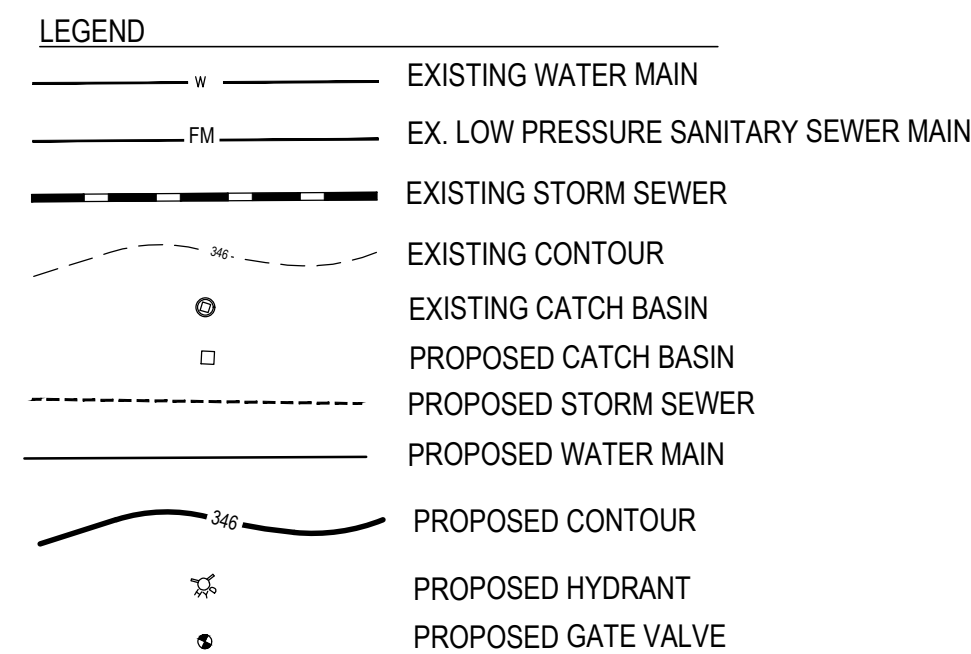
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NO.	DATE.	REVISIONS	BY.
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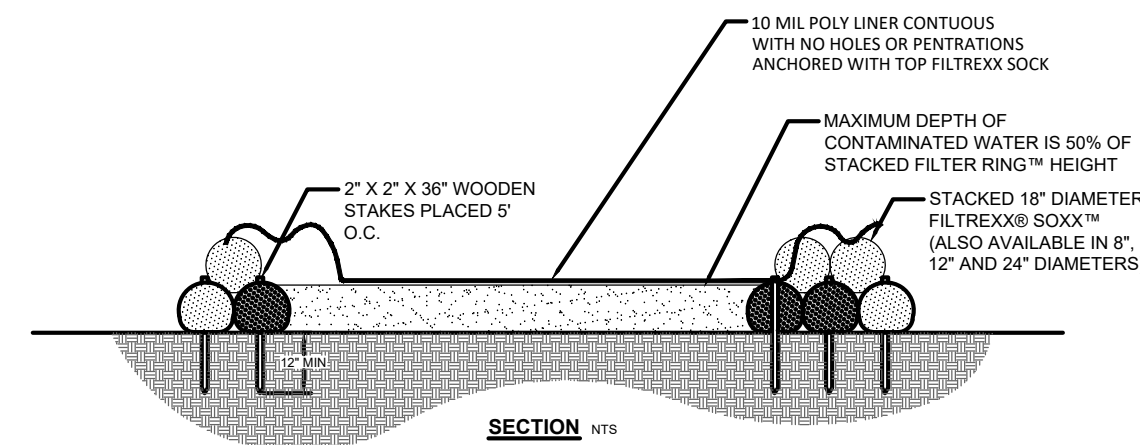




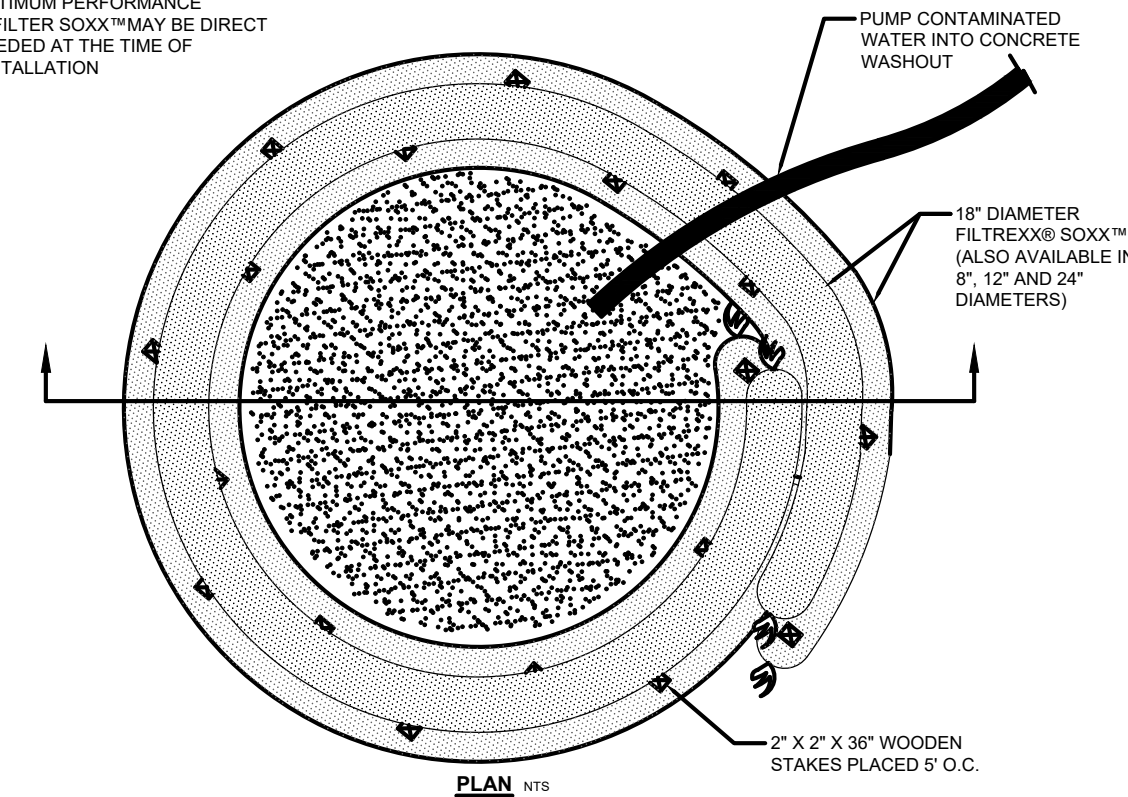


**EROSION AND SEDIMENT CONTROL NOTES:**

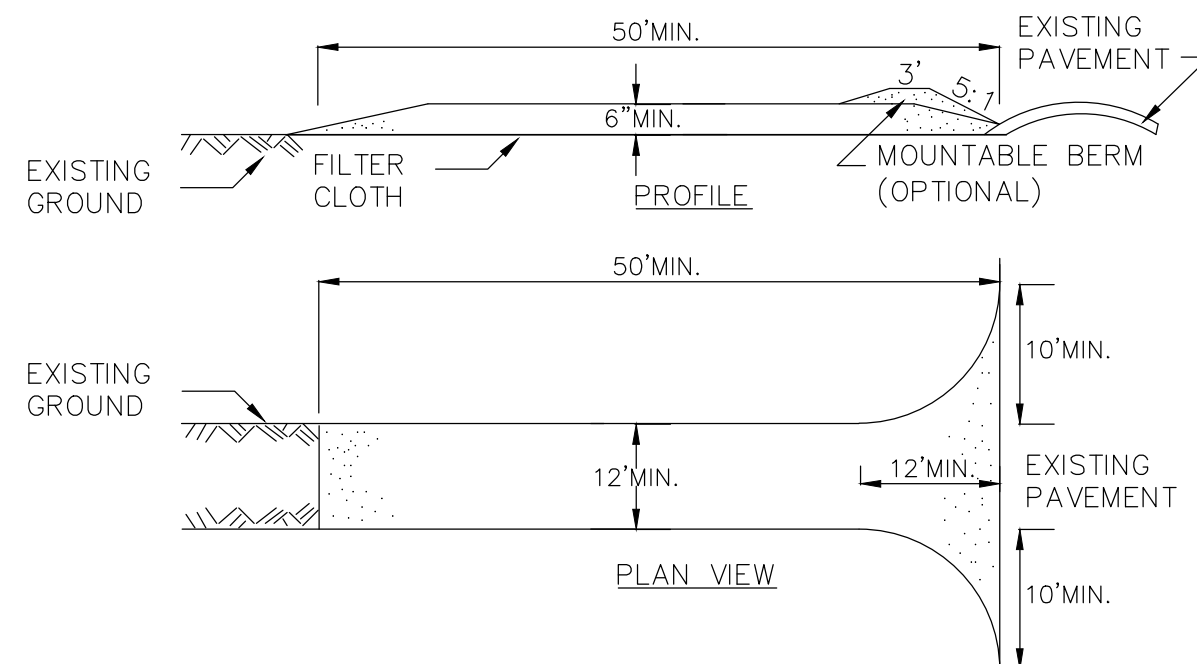
1. A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE SITE CONTRACTOR, SWPPP INSPECTOR, PROPERTY OWNER AND THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
2. ESTABLISH A PERMANENT TRAFFIC CORRIDOR FOR ALL TRAFFIC DURING CONSTRUCTION. A STONE STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED AND INSPECTED AND APPROVED BY THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. TRAFFIC SHALL NOT CROSS OR OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
3. IF REQUESTED BY THE STORMWATER OFFICE, ADDITIONAL SILT FENCE MUST BE INSTALLED A MINIMUM OF 6 INCHES INTO THE GROUND SURFACE.
4. ANY SOILS TRACKED INTO PUBLIC ROADS MUST BE SWEEPED UP IMMEDIATELY.
5. CONCRETE POURING MAY NOT TAKE PLACE UNTIL A CONCRETE WASHOUT AREA IS INSTALLED.
6. ANY PUMPING OF STORMWATER ON SITE MUST BE DISCHARGED THROUGH A FILTER AND/OR STONE.
7. A FINAL GRADING INSPECTION IS REQUIRED WITH THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL EXPOSED SOILS MUST BE STABILIZED AND APPROVED. THE C.O. IS NEEDED DURING NON-RAINING MONTHS. THE PROPERTY OWNER MUST PROVIDE A GRASS ESCROW TO THE STORMWATER OFFICE FOR THE OUTSTANDING WORK TO BE COMPLETED DURING THE GROWING MONTHS.



**NOTES:**  
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE  
2. FILTER SOXX™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION



# FILTREXX® CONCRETE WASHOUT

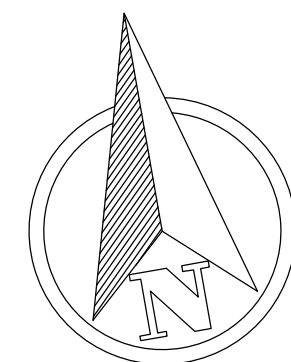


## CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
10. CONSTRUCTION ACCESS ALONG FEURA BUSH ROAD SHALL BE CONSTRUCTED IN COMPLIANCE WITH THESE PLANS AND NYSDOT STANDARD SHEET 209.05

## STABILIZED CONSTRUCTION ENTRANCE DETAIL

(NOT TO SCALE)



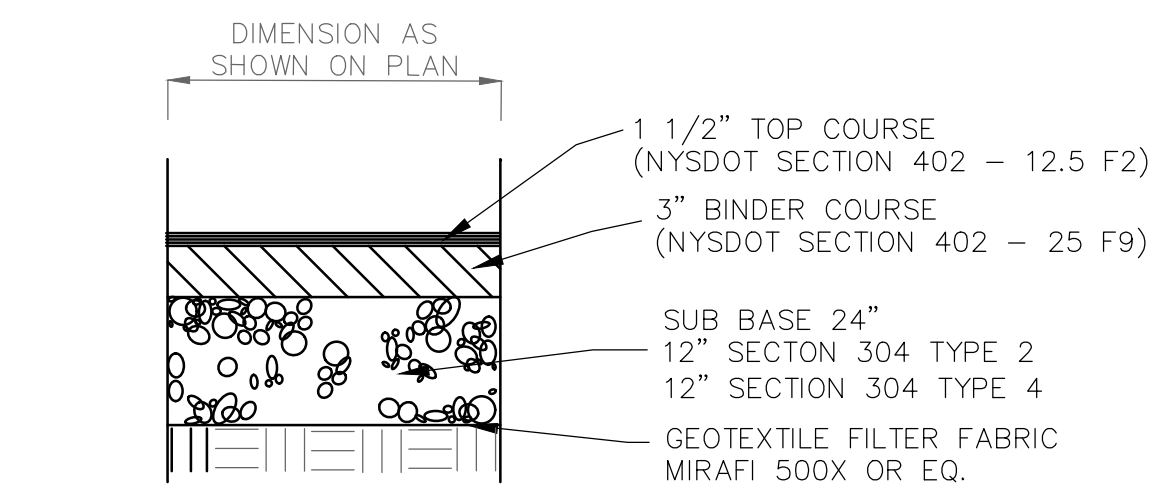
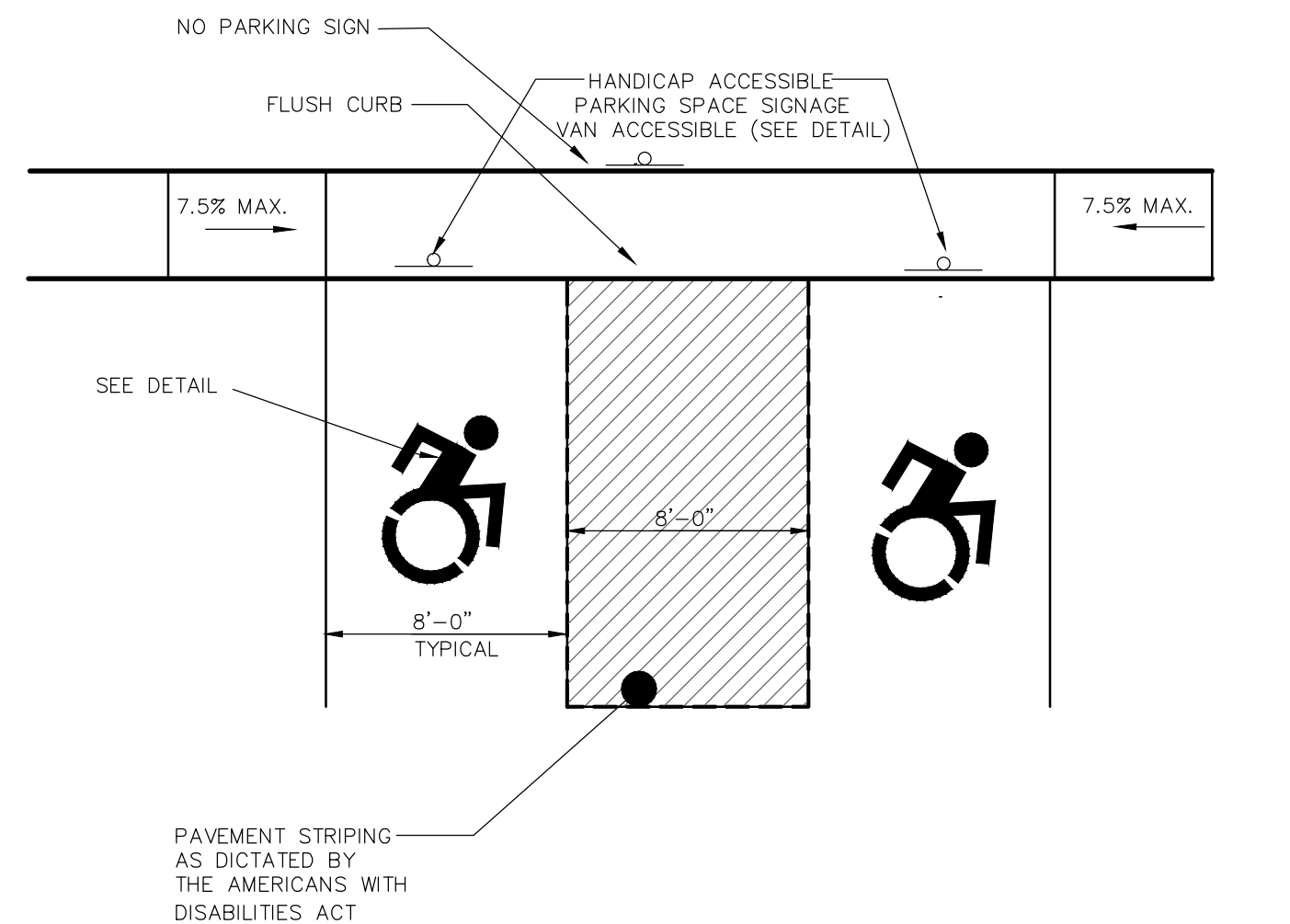
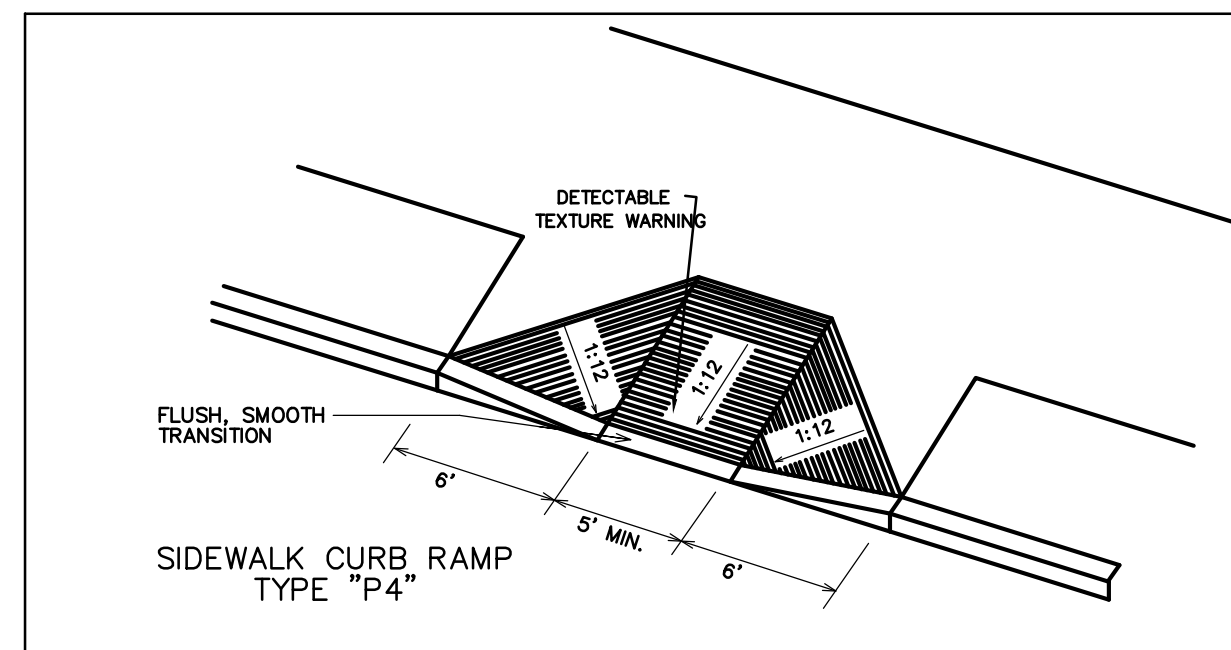
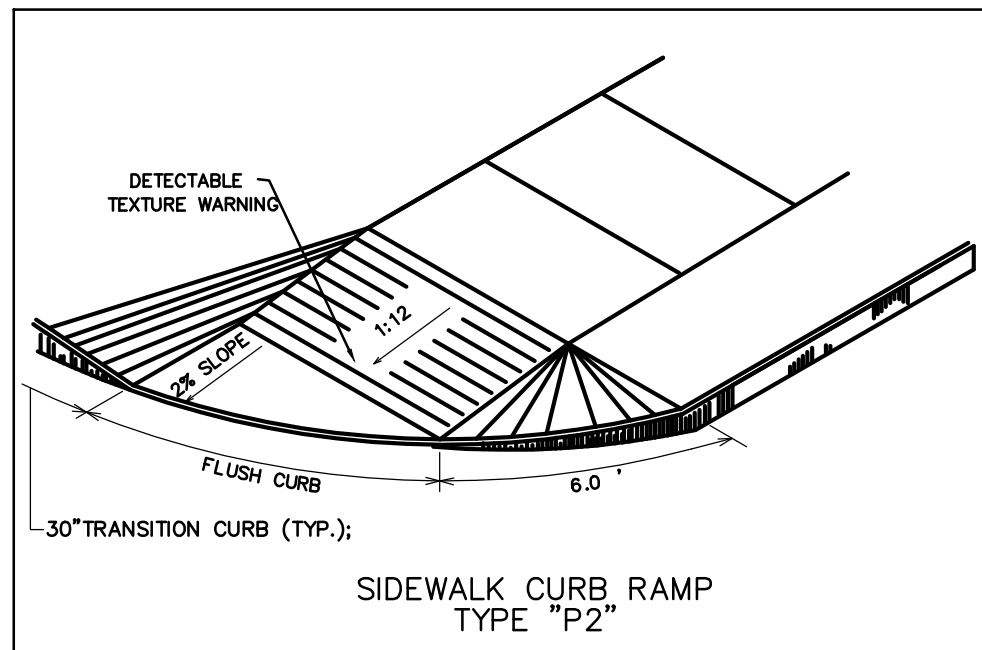
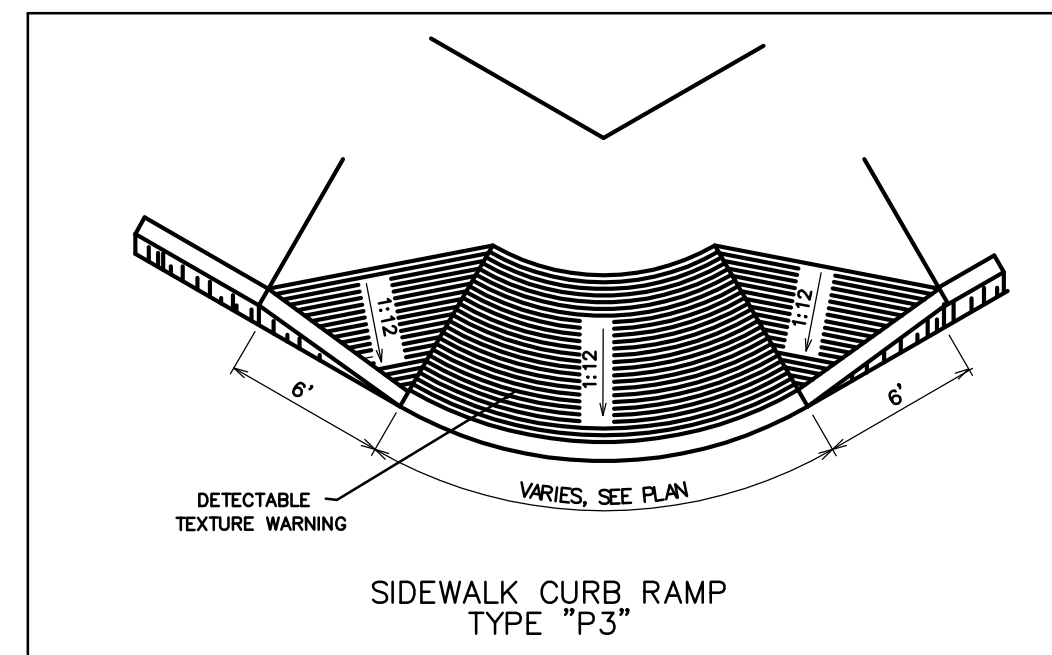
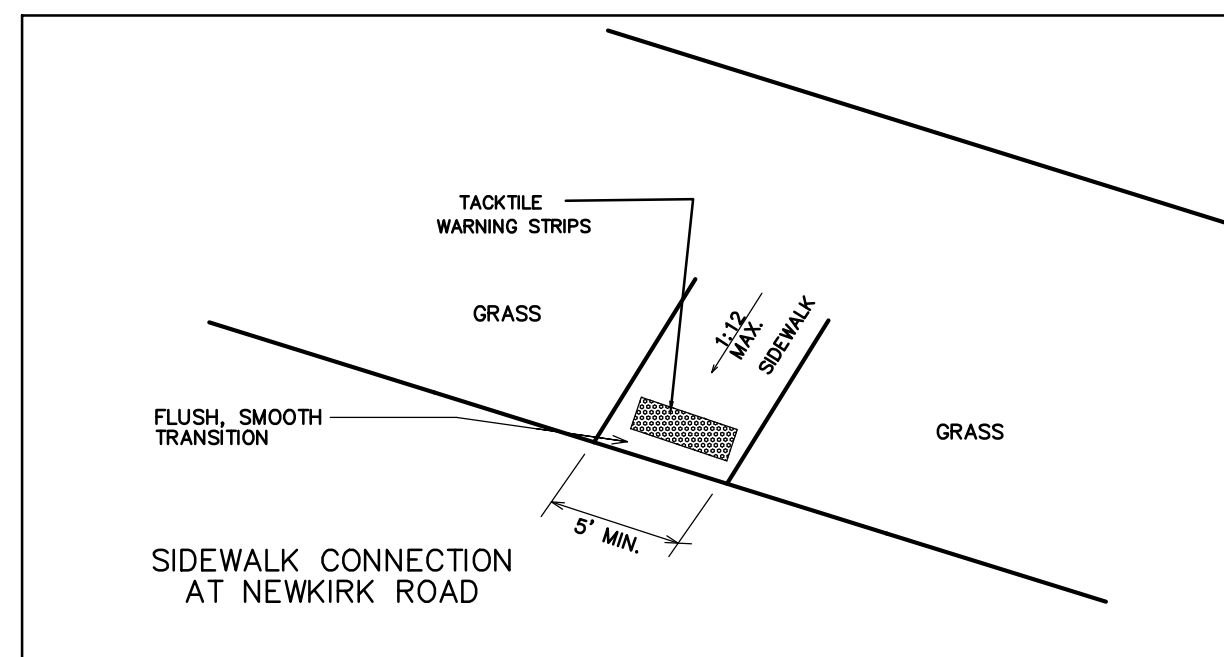
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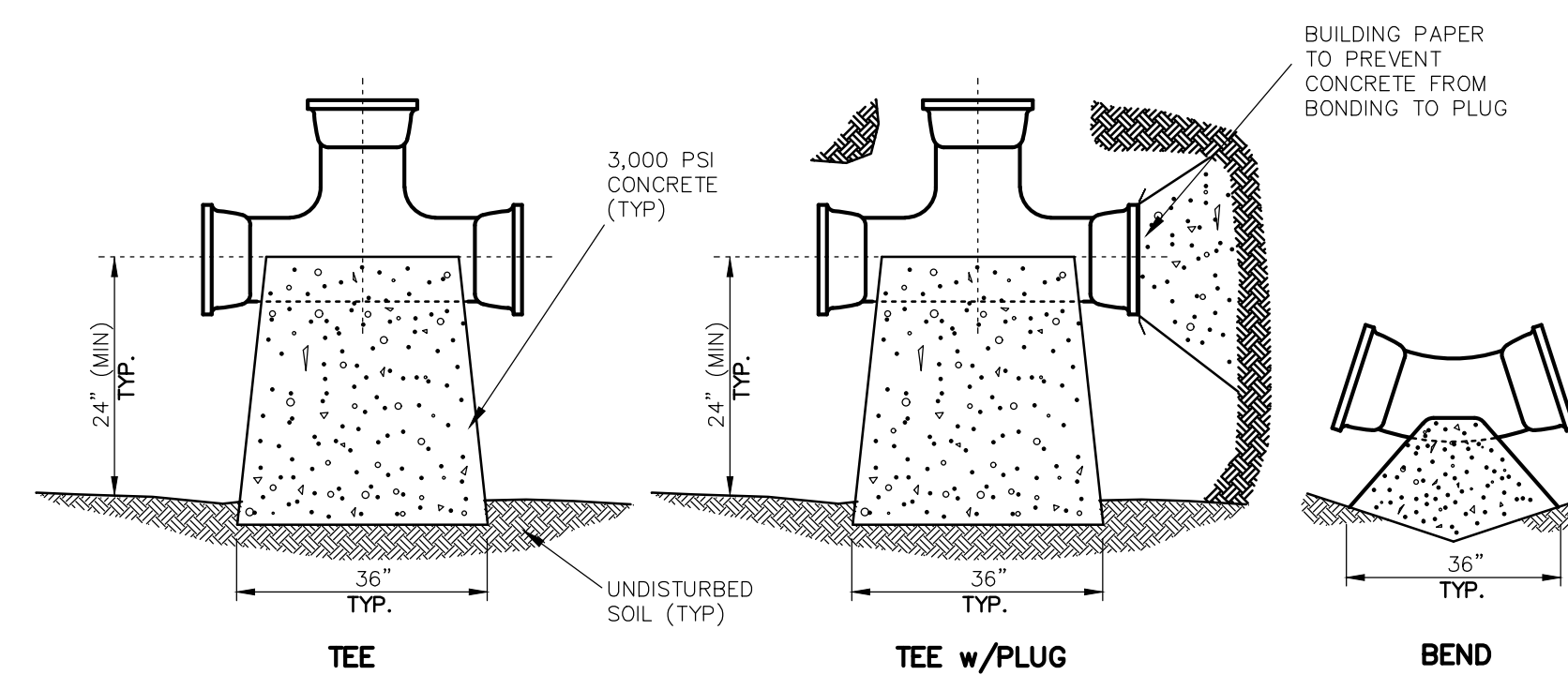
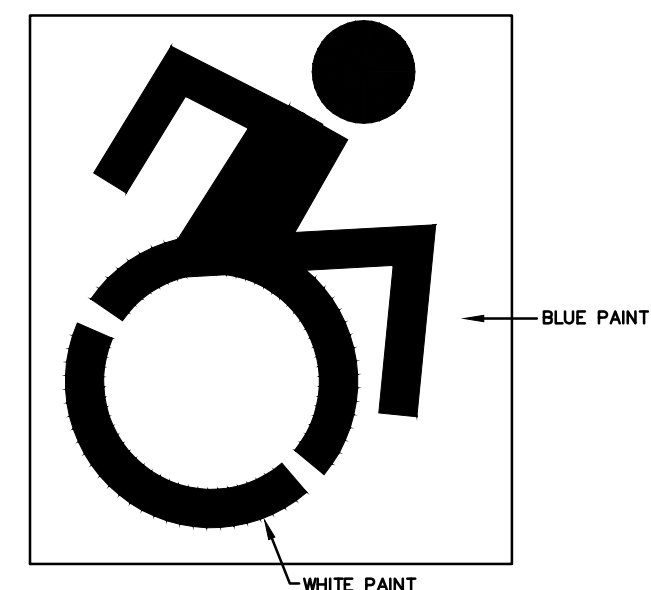
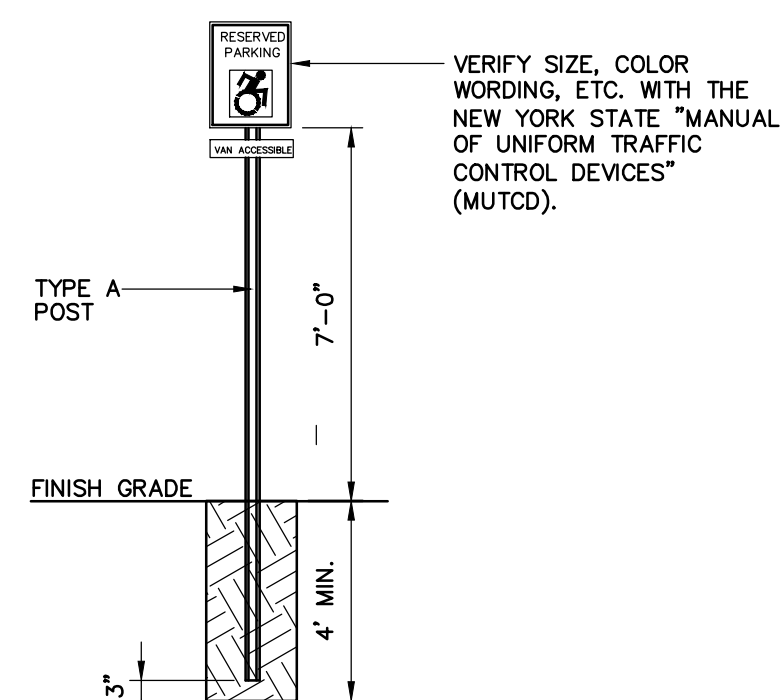
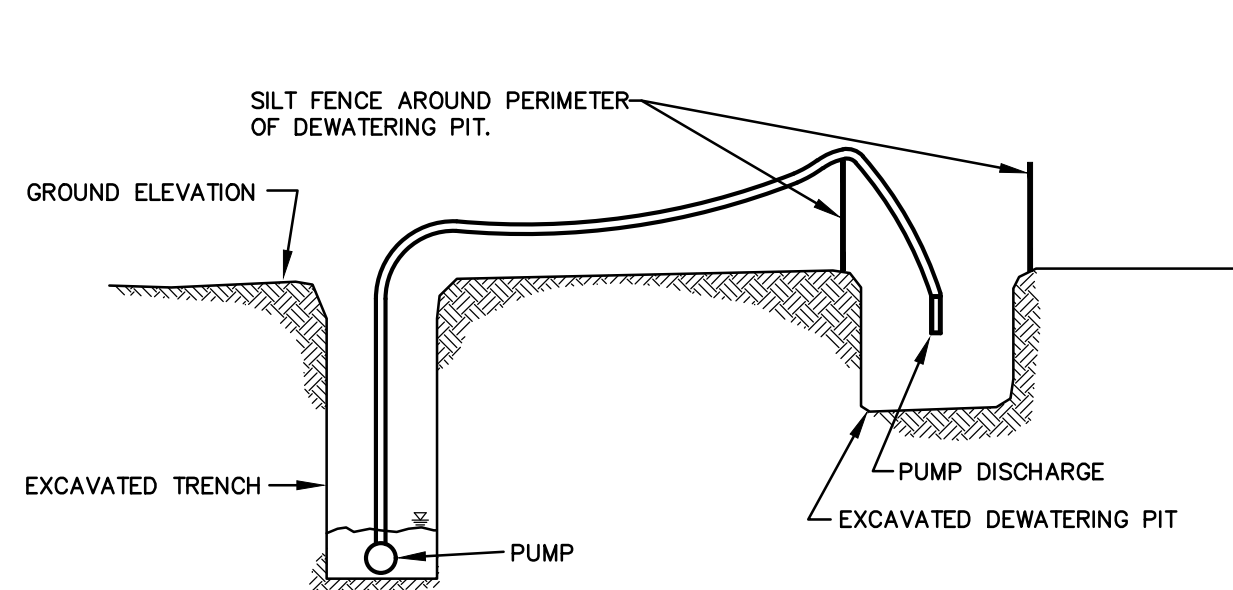








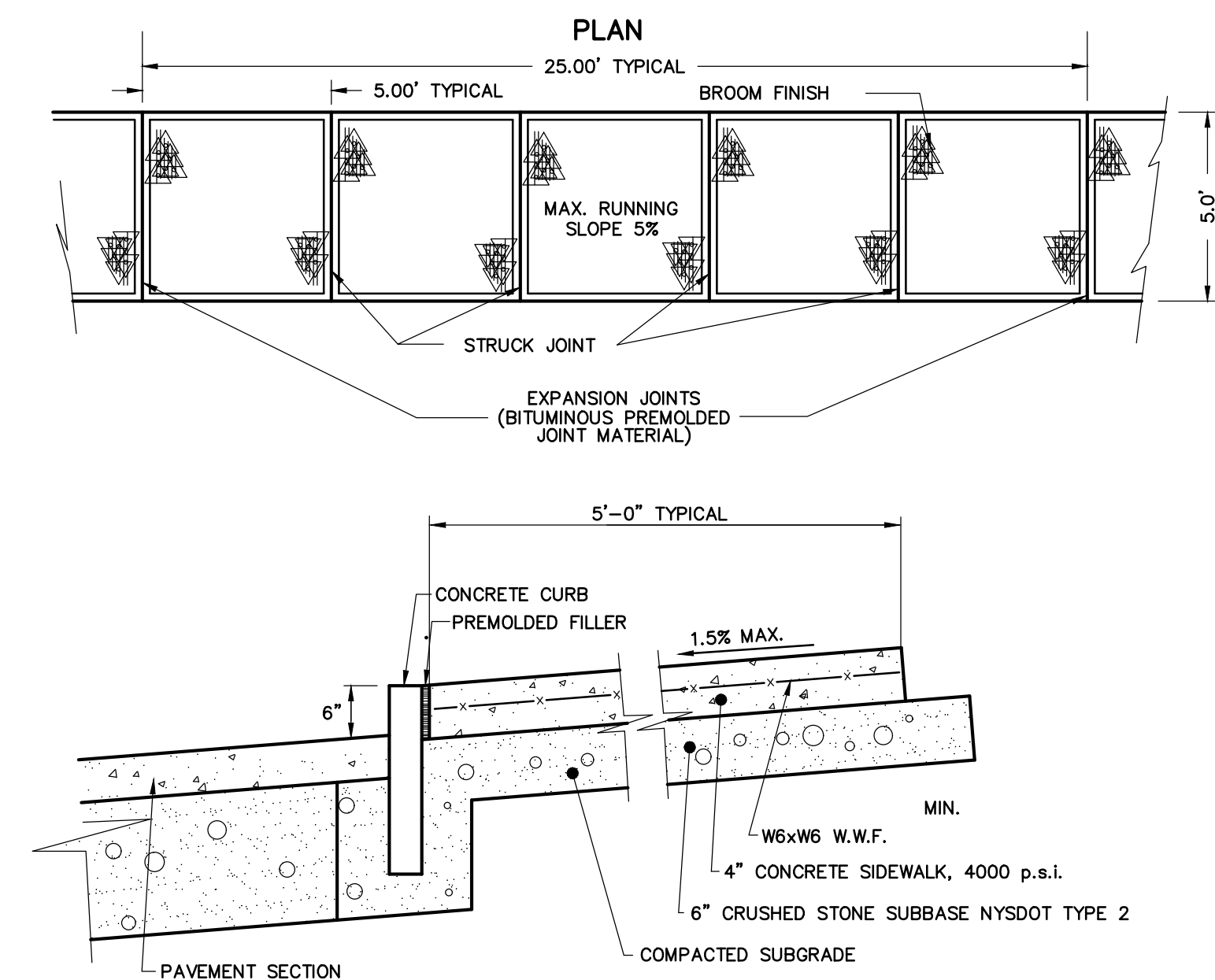
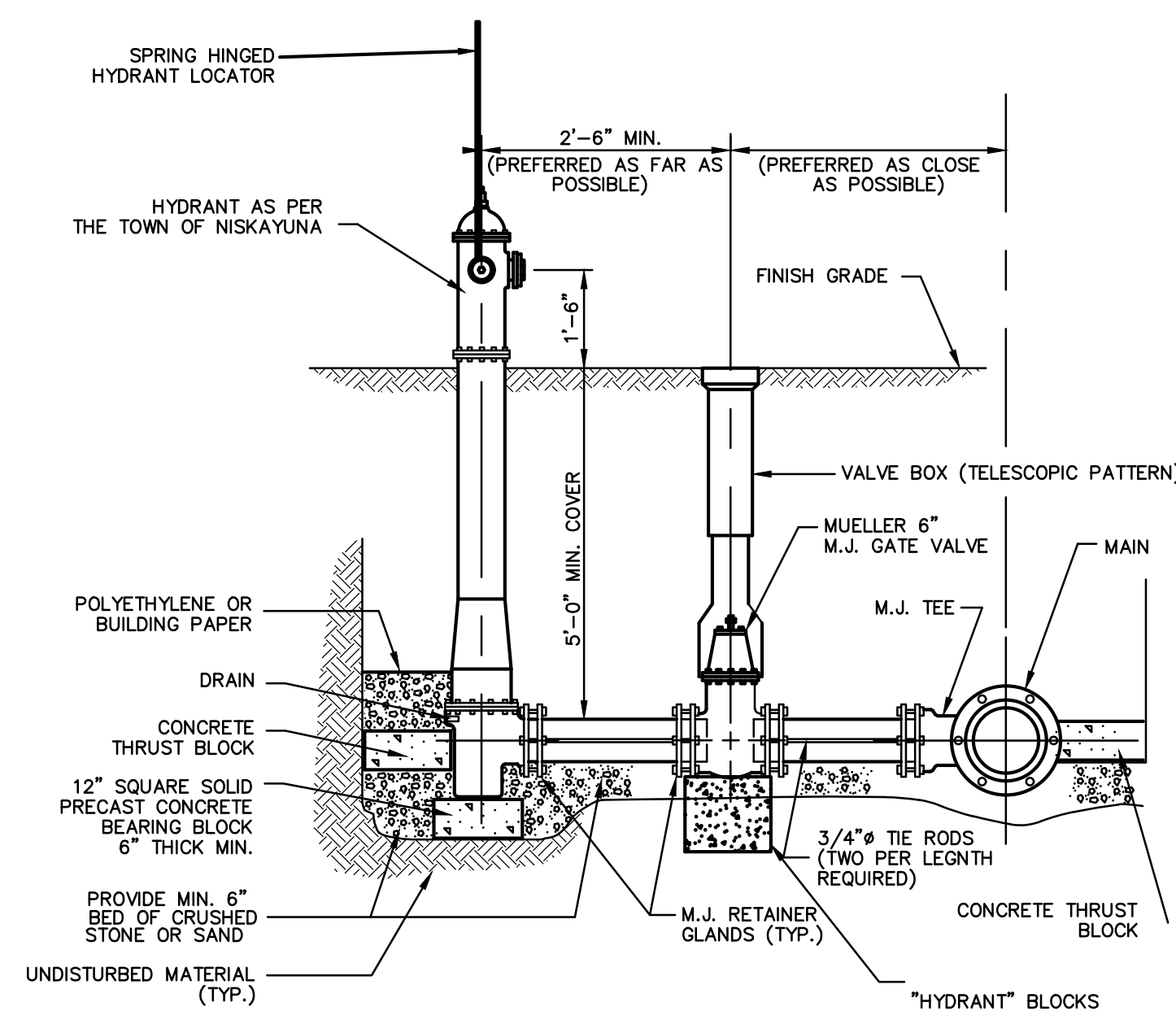
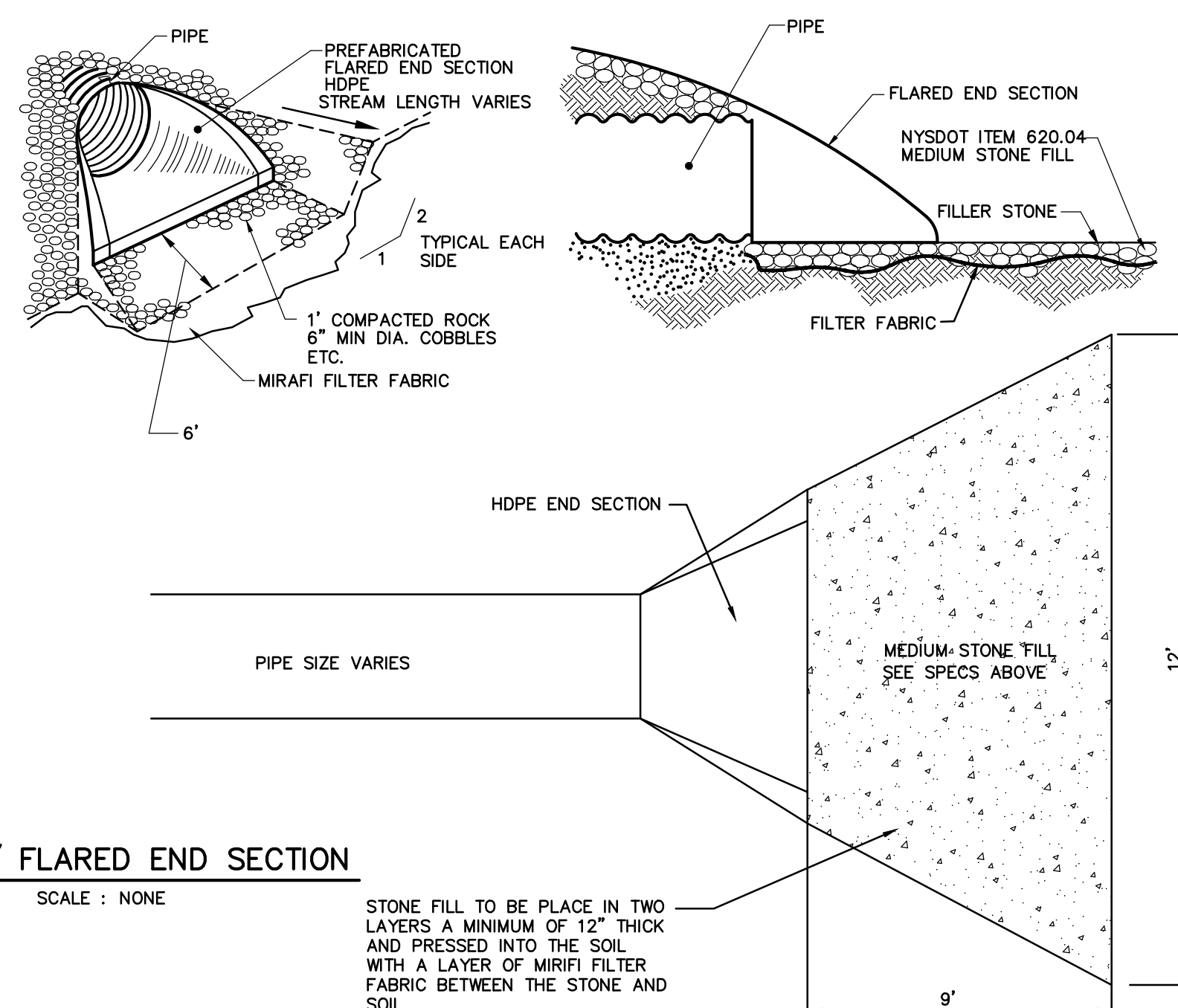
### HANDICAP RAMP DETAILS



SAFE BEARING LOADS OF SOILS & MULTIPLICATIVE FACTORS FOR MODIFICATION OF THRUST BLOCK AREAS (TABLE 2)			
SOIL	SOIL BEARING CAPACITY (LB/FT <sup>2</sup> )	FACTORS	
MUCK PEAT	0	—	
SOFT CLAY	300	4.00	
SAND	1000	2.00	
SAND & GRAVEL	1500	1.33	
SAND & GRAVEL w/CLAY	2000	1.00	
SHALE	5000	0.40	

PIPE SIZE	TEE	90° BEND	45° BEND	22.5° BEND
200 P.S.I.G. INTERNAL PRESSURE				
3" & 4"	1	1	1	1
6"	2	2	1	1
8"	3	3	2	1
10"	6	8	3	2
12"	6	8	4	2
14"	11	11	6	3
16"	14	14	8	4
18"	18	18	10	5
20"	22	22	12	7
24"	32	32	17	9

NOTE: BEARING AREAS SHOWN IN TABLE 2 SHALL BE MULTIPLIED BY FACTORS NOTED IN TABLE 1 TO ESTABLISH REQUIRED BEARING AREAS FOR SOIL CONDITIONS.



NOTES:

1. SEE SIDEWALK JOINTS DETAIL FOR JOINT SIZE AND SPACING
2. EXPOSED CONCRETE SURFACE TO HAVE LIGHT BROOM FINISH

N.T.S.

Q1  
BRETT L. STEENBURGH MAP REFERENCE:

PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY  
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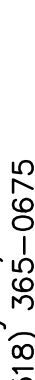
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NYS LIC. NO. 075458

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PHASE 2 – RIVERS LEDGE OF NISKAYUNA  
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY  
TOWN OF NISKAYUNA  
STATE OF NEW YORK

DRAWN BY:	CHECKED BY:	SCALE: AS NOTED
CADD FILE:	JOB NO.	

DATE: MAY 11, 2022 SHEET D-1






SUITABLE BACKFILL MATERIAL FOR FINAL BACKFILL SHALL BE FREE OF DEBRIS, FOREIGN MATERIAL, LARGE STONES, TREES, ORGANIC MATTER AND OTHER DELETERIOUS MATER AND CONFORMS WITH ASTM D 2487 SOIL GROUPS GW, GP, GM, SM, SW, AND SP.

THE ALL BEDDING, BACKFILL AND HAUNCHING SHALL COMPLY WITH THE TEN STATES STANDARDS SECTION 33.83 AND 33.84.

EMBEDMENT MATERIALS FOR BEDDING AND INITIAL BACKFILL, CLASSES I, II OR III AS DESCRIBED IN ASTM 2321 SHALL BE USED AND CAREFULLY COMPACTED FOR ALL FLEXIBLE PIPE.

FINAL BACKFILL SHALL BE OF A SUITABLE MATERIAL REMOVED FROM EXCAVATION EXCEPT WHERE OTHER MATERIAL IS SPECIFIED. DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER AND OTHER UNSTABLE MATERIALS SHALL BE USED FOR FINAL BACKFILL WITHIN 2 FEET OF THE TOP OF PIPE.



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(518) 365-0675  
bsteenberg@psa.com

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NYS LIC. NO. 075458



# TOWN OF NISKAYUNA

## PLANNING BOARD & ZONING COMMISSION

### AGENDA STATEMENT

---

AGENDA ITEM NO. VII. 3

MEETING DATE: 7/11/2022

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**ITEM TITLE:** RESOLUTION: 2022-15: A Resolution for final subdivision and final average density development (ADD) approval for Kelts Farm Subdivision at 2538 River Road

**PROJECT LEAD:** David D'Arpino & Patrick McPartlon

**APPLICANT:** Joel Bisaillon

**SUBMITTED BY:** Laura Robertson, Town Planner

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**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☒ Town Board  
☒ OTHER: Economic Development, Historic Preservation & Environmental Conservation Committee, Tree Council

**ATTACHMENTS:**

☒ Resolution ☒ Site Plan ☒ Map ☐ Report ☒ Other: Special Use Permit

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**SUMMARY STATEMENT:**

Joel Bisaillon, owner of 2538 River Road, has submitted an Application for Approval of a Final Plat Plan for an average density development major subdivision including a special use permit for 24 building lots on the property known as the Kelts Farm. The proposal is a mixture of twin townhomes and single family lots.

**BACKGROUND INFORMATION**

6/22/20 -- The Planning Board (PB) passed Resolution 2020-17 including 3 conditions granting sketch plan approval and making a Recommendation that the Town Board grant a special use permit for the project.

7/28/20 -- The Town Board (TB) passed Resolution No. 2020 – 193 including 4 conditions granting a special use permit for the average density development subdivision.

5/10/21 -- The Planning Board passed Resolution 2021-13 including 23 conditions approving an Application for Approval of a Preliminary Plat Plan for an Average Density Development (ADD) major subdivision with a special use permit. This allows construction of the road and multi-use path, installation of utilities and the construction of 1 home.

6/6/22 -- The Planning Office (PO) received an Application for Approval of a Final Plat Plan for an Average Density Development (ADD) subdivision with a special use permit.

Final subdivision approval is the last step in the subdivision process. It is intended to be the final check to ensure the subdivision was built according to the approved plans prior to recording the plat and releasing additional building permits. The Planning Department is still waiting on the “as-built” drawings – but the only changes to the plans the developer (Joel Bisailon) is noting are the following:

- 1) “We are using 4 ft. black chain link fencing with double 5 ft. swinging gates on the retention ponds instead of the specified split rail fencing. (split-rail fencing is out of stock everywhere).
- 2) We planted (3) Oak trees on the cul-de-sac and (32) evergreens on the berm in a saw tooth pattern. The plans called for (19) total evergreens and no trees on the cul-de-sac. We also extended the berm 30 ft. to the north at the request of the Town.
- 3) The bike path in front of the homes was mistakenly made 10 ft. wide so it was saw cut back to 8 ft. The plans called for 6 ft. of grass space between the road edge and the path but there is only 4 ft.
- 4) We agreed to the Town's request to Avanti grout the existing sewer manhole along River Rd. The abandoned 15" inlet line to the manhole will be sealed with a concrete plug. Baldwin Packard Contractors will be performing the work.

I will be providing a proposed sketch to the Town for our plans for the end of Windsor Drive. We will not have to add this to the drawings but we are going to provide a 10ft. open air gazebo from Classic Sheds with a stone path to the bike path. We will also provide planting beds and perennial flower seeds that can be planted in coordination with the Niskayuna flower organizations”.

The Planning Office and Mr. Bisailon discussed the project on 6/6/22 and identified the following open action items.

- 1) Bisailon Properties (BP) to provide a LOC for \$75,000 for the road.
- 2) BP to provide a plan for a Gazebo / park at the end of Windsor.
- 3) BP to provide the deeds and recording fees for the subdivision.
  - a. Warranty Deed for the road and detention pond parcels
  - b. Utility easements
- 4) BP to add to the TDE escrow account – Planning Office (PO) to provide the required amount based on three outstanding invoices and the TDE’s estimate for reviewing the “as-built” drawings once they are received.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office provided the CAC with an update on the status of the project and stated that once the final plat plan is approved to developer will be free to begin constructing additional units. The CAC expressed their excitement and anticipation regarding the park-like area near the Windsor Drive end of the multi-use path. A suggestion was made to reach out to the residents along Windsor Drive to help create a biodiverse area along the multi-use path. They also noted that they would like to make sure there is a garbage can in that area.

6/13/22 Planning Board (PB) meeting – Mr. Bisailon attended the meeting and discussed the open action items with the Board. He noted the multiuse path had been trimmed back creating a wider strip of grass between Kelts Farm Road and the multiuse path. He explained that the strip of grass is similar in width to what exists on along Windsor Drive. The Board then discussed the proposed location for the gazebo. Mr. Bisailon described that he would like to relocate numerous flowers to the future mini-park area and said that he intends to plant additional flowers around the gazebo once it is in place. The Planning Office noted that the sign at the entrance to the subdivision is larger than is allowed per the zoning code. The PB agreed to have a tentative resolution prepared for final subdivision approval for the 7/11/22 meeting.

6/15/22 Architectural Review Board (ARB) meeting – The ARB reviewed the elevation drawings and renderings of the townhome, large single-family and small single-family designs. They expressed some concerns that the ranch single-family homes were not aesthetically congruent with the high-end fit, finish and appearance of the townhomes and larger single-family home designs. After the meeting the Planning Office circulated a more upscale version of the smaller ranch style single-family home that the developer had provided last year. The ARB and the developer have agreed to discuss the ranch style single-family home design during the 7/20/22 ARB meeting.

The attached resolution includes all the standard conditions for a final subdivision and captures the remaining administrative items, including:

1. Final gazebo/park design
2. Final ARB Approval
3. The subdivision sign size requires a waiver and has to return to the Planning Board for separate action, potentially on July 25, 2022
4. Final approvals from DEC, DOH and Schenectady County

Staff recommends approval of final subdivision at this time.

RESOLUTION NO. 2022-17

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 11TH DAY OF JULY 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

One of the purposes of the meeting was to take action on an application for final subdivision with an Average Density Development (ADD) Special Use Permit.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_.  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Joel Bisaillon of Bisaillon Properties, Inc., has made an application to the Planning Board for final approval of a major subdivision with a special use permit for an ADD, with land dedicated to the Town as open space, at 2538 River Road, as shown in a 9 page drawing set entitled "Engineering Plans for the Kelts Farm Subdivision March 2021, Revised July 2021" authored by Advance Engineering & Surveying, PLLC marked Revision 5 and dated 7/26/21, and

WHEREAS, the zoning classification of the property is R-1: Low Density Residential, and

WHEREAS, the Planning Board, by its Resolution 2021-13, granted preliminary subdivision and ADD approval on May 10, 2021, and

WHEREAS, the Town Board, acting in accordance with the State Environmental Quality Review regulations and local law, contacted all involved agencies, and assumed the position of lead agency and declared a negative declaration with the condition that no vehicular road connection would be made to Windsor Drive, and



WHEREAS, on July 28<sup>th</sup>, 2020 via resolution 2020-193, the Town Board granted a special use permit for an Average Density Development at 2538 River Road, subject to Planning Board approval and the conditions that:

1. The average density development shall not include a vehicular connection and may only include a multi-use path connection between Windsor Drive and the proposed development.
2. The open space shall be dedicated to the Town of Niskayuna with a deed restriction that it shall remain forever wild.
3. The realignment of the crosswalk on River Road shall be completed during initial phases of construction.

WHEREAS, the Planning Board discussed parkland requirements and agreed to accept a Gazebo / signage area along the bike path, removal of the Windsor Drive stub and creation of a small pocket park there, lands along the bike path connection and the bike path along River Road in lieu of \$60,000 of parkland, and will accept the remaining \$12,000 for the parkland fund.

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission does hereby grant final major subdivision approval for the Average Density Development Subdivision / Special Use Permit known as Kelt's Farm, with land dedicated to the Town as open space at 2538 River Road, as shown in an 8 page drawing set entitled "Engineering Plans for the Kelt's Farm Subdivision March 2021, Revised April 2021" authored by Advance Engineering & Surveying, PLLC marked Revision 2 and dated 4/23/21, subject to the following conditions:

1. Per Chapter 189 Subdivision of Land of the Code of the Town of Niskayuna, final Subdivision approval is required after the proper installation of all improvements or a letter of credit is submitted to the Town that covers the full cost of any remaining required improvements. Per Chapter 98 Fees of the Code of the Town of Niskayuna, final subdivision approval fees will be due upon receipt of the final subdivision application, prior to the recording of the subdivision plat.
2. The developer shall be responsible for removing the Windsor Drive road extension and replacing it with a multi-use path and small park. The Town of Niskayuna Highway Department, will put the wing on the new roadway section and review the storm water system. *The Windsor Drive road has been removed and the multi-use path installed. The developer has submitted an escrow check for \$4,000 to cover to the creation of the small pocket park.* Final approval of the Windsor Drive

pocket park plan and Gazebo location from Town of Niskayuna Highway, Police and Planning Departments is required.

3. The developer has abandoned the existing sewer line across the property in place and installed a new trunk line alongside the bike path.
4. Prior to recording the final subdivision plat, a street tree planting plan shall be submitted to and approved by the Niskayuna Tree Council. *Escrow has been provided for the street tree plantings.*
5. Prior to issuing a building permit, the new houses shall be referred to and reviewed by the Architectural Review Board.
6. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer, and Engineering and shall remain in place until such time as natural vegetation has been successfully established.
7. Should the garage floor elevation (GFE) for individual lots deviate by more than six inches from the elevations approved for construction by the Planning Board and Zoning Commission or the Building Department, then revised grading plans shall be submitted immediately to the Town's Engineering office for their review and approval. Depending on the impact to driveway slopes or drainage features such as swales and berms, the revised grading plan may need to extend into the subdivision wide grading plan to ensure impacts to adjacent lots are accounted for.
8. Wetland boundaries shall be recorded and shown on any plot plan of a building lot containing wetlands. Wetlands may not be disturbed, drained or physically altered in any way without a permit from the Army Corps of Engineers and the Town of Niskayuna.
9. Additionally, the Town of Niskayuna requires that no land can be disturbed within a twenty five (25) foot buffer from the boundary of the wetland. Unless prior written approvals are granted by the Town Planning Department, a split rail fence must be installed at said 25 foot buffer for each affected lot prior to issuance of a final certificate of occupancy.
10. The limits of clearing on this subdivision shall be strictly adhered to during construction. To the maximum extent practicable the applicant shall retain as many of the site's healthy trees and native vegetation as possible.

11. The water and sewer trunk fees to the Town of \$ 24,000 for sewer (24 units x \$1,000 each unit) and \$24,000 for water (24 units x \$1,000 each unit) have been paid.
12. The applicant shall notify and secure final approvals from the NYS Dept. of Environmental Conservation and the Schenectady County Department of Health for the water and sewer systems.
13. The applicant shall close out the Schenectady County permit for the crosswalk and push button to the satisfaction of the Town and County Engineering Departments.
14. The applicant has paid the remaining parkland fee to the Town of \$12,000.
15. The applicant has provided deeds and easements to the Town Attorney for their review and approval. All conveyances shall be approved by the Town Attorney and filed in the Schenectady County recorder's office at the applicant's expense.
16. The applicant shall work with the Planning Department to correct minor typographical errors on the plat prior to its final recording.
17. Planning Board approval of the subdivision sign is not included in this resolution. The applicant shall submit a building permit for the subdivision sign that shall be brought to the Planning Board at the July 25, 2022 meeting for their discussion and review.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

The Chairman declared the same \_\_\_\_\_.



MARCH 2021  
REVISED JULY 2021

KNOLLS ATOMIC  
POWER LABORATORY  
(US DEPT. OF ENERGY)

ERIE CANAL

BIKE PATH

Blatnick Park

Landfill

ROAD

19

SITE

SITE LOCATION MAP  
N.T.S.

[illegible]







# ZONING AND LAND USE:

TOWN OF NISKAYUNA  
SCHEDULE I-B

R-1 DISTRICT  
SCHEDULE OF SUPPLEMENTARY REGULATIONS

DISTRICT	USE	MINIMUM LOT SIZE			MAXIMUM PERCENTAGE OF COVERAGE BY BUILDING AND STRUCTURES	MINIMUM YARD REQUIREMENTS			MINIMUM REQUIRED OFF-STREET PARKING SPACES (ALSO SEE 220-19)
		AREA	WIDTH	DEPTH		FRONT	SIDE BOTH	REAR	
R-1 (LOW-DENSITY RESIDENTIAL)	SINGLE FAMILY DWELLING	18,000 SF	100 FT	125 FT	25	35	20	40	25
AVERAGE DENSITY DEVELOPMENT (50% R-1)		9,000 SF	50 FT	62.5 FT	25	20	10	20	15

## STANDARD SUBDIVISION NOTES:

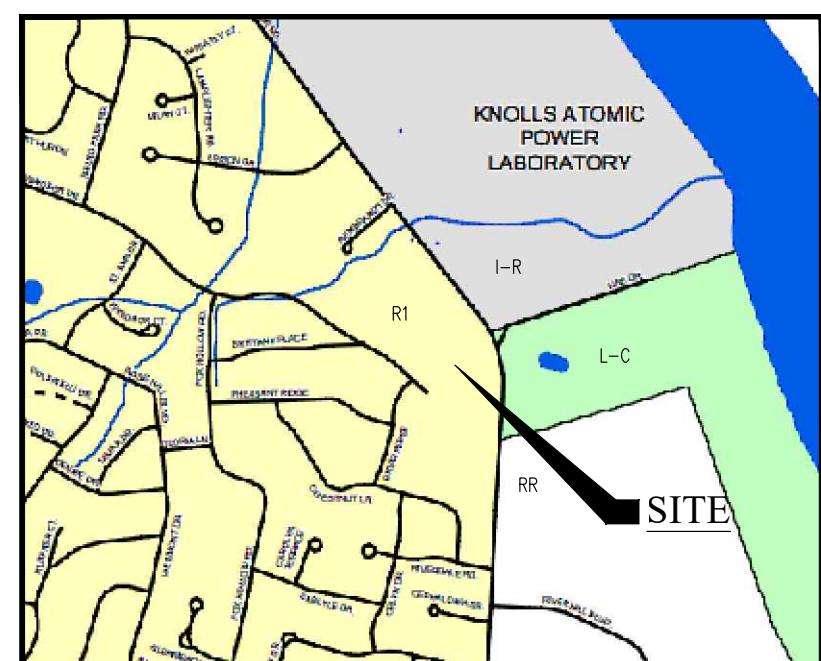
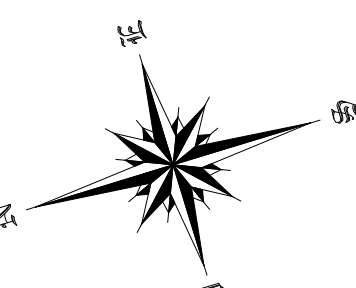
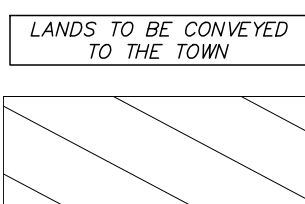
**GENERAL NOTES:**  
BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.  
ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

**SOIL EROSION AND SEDIMENT CONTROL MEASURES:**  
DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.  
INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.  
SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.  
PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.  
CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

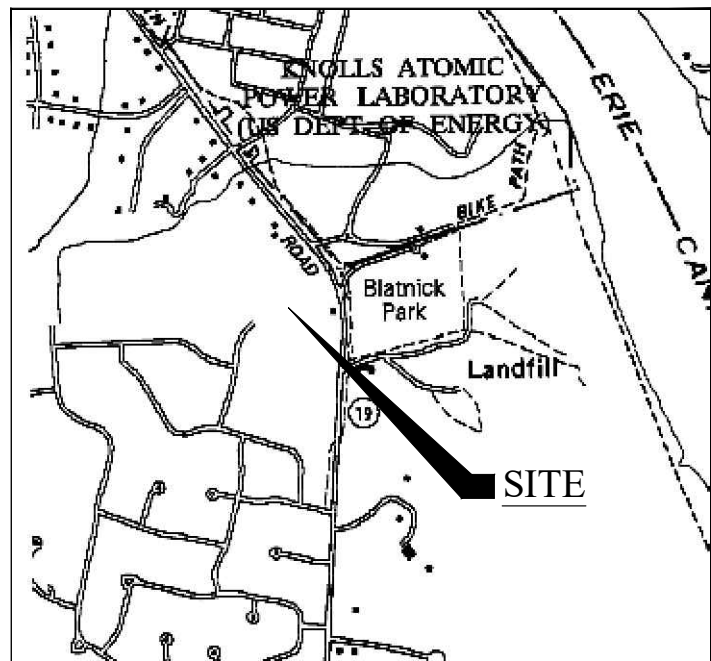
**MAINTENANCE OF EROSION CONTROL MEASURES:**  
THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS, TO ASSURE PROPER FUNCTION. SEDIMENT BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED APPROPRIATELY. EROSION CONTROL MEASURES SHALL BE APPLIED TO NEWLY SEEDER AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

**TREE PRESERVATION POLICY:**  
SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.  
THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 3 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.  
ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER. THE REPLACEMENT SHALL BE THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.  
THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, EROSION CONTROL MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

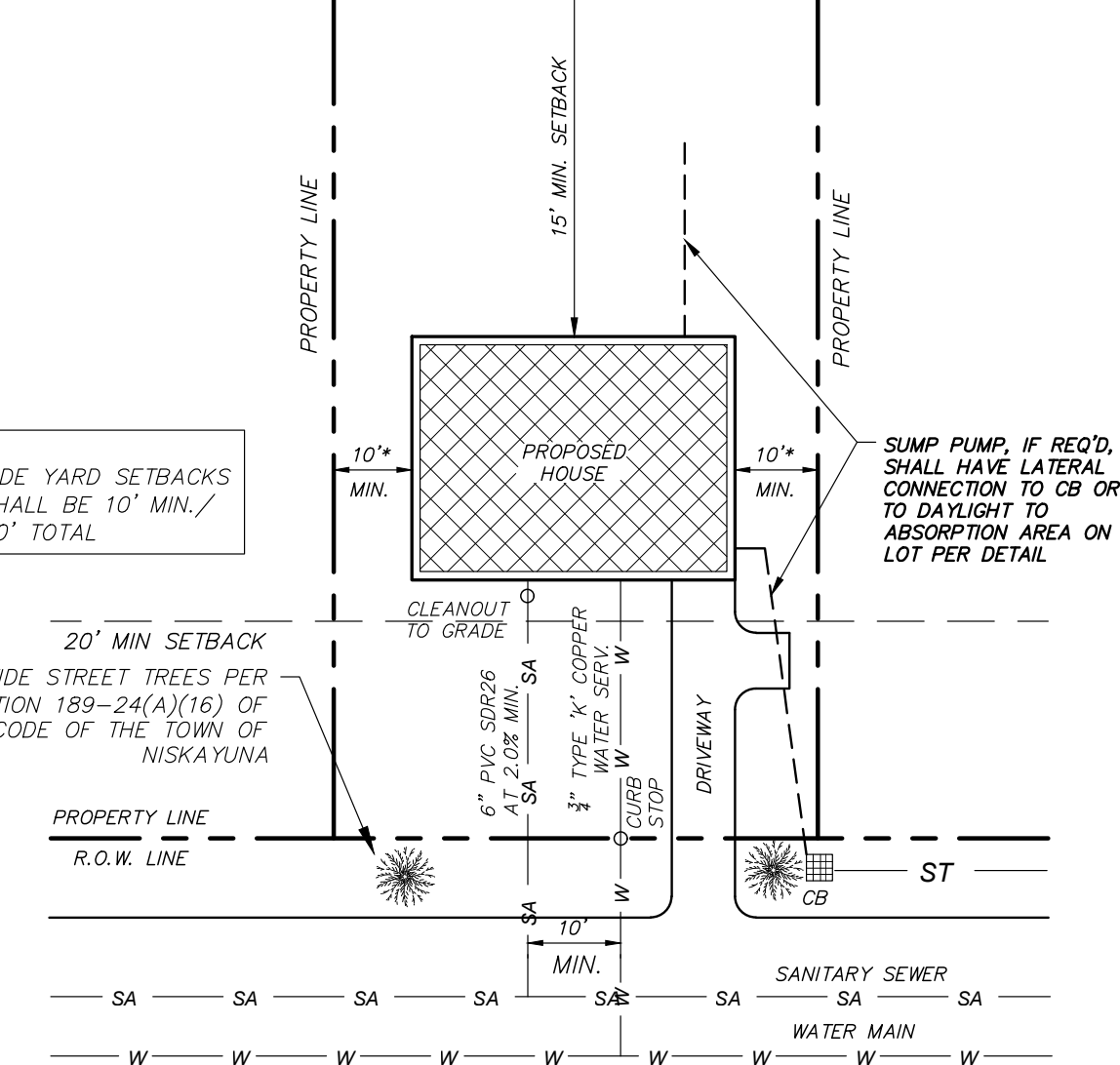
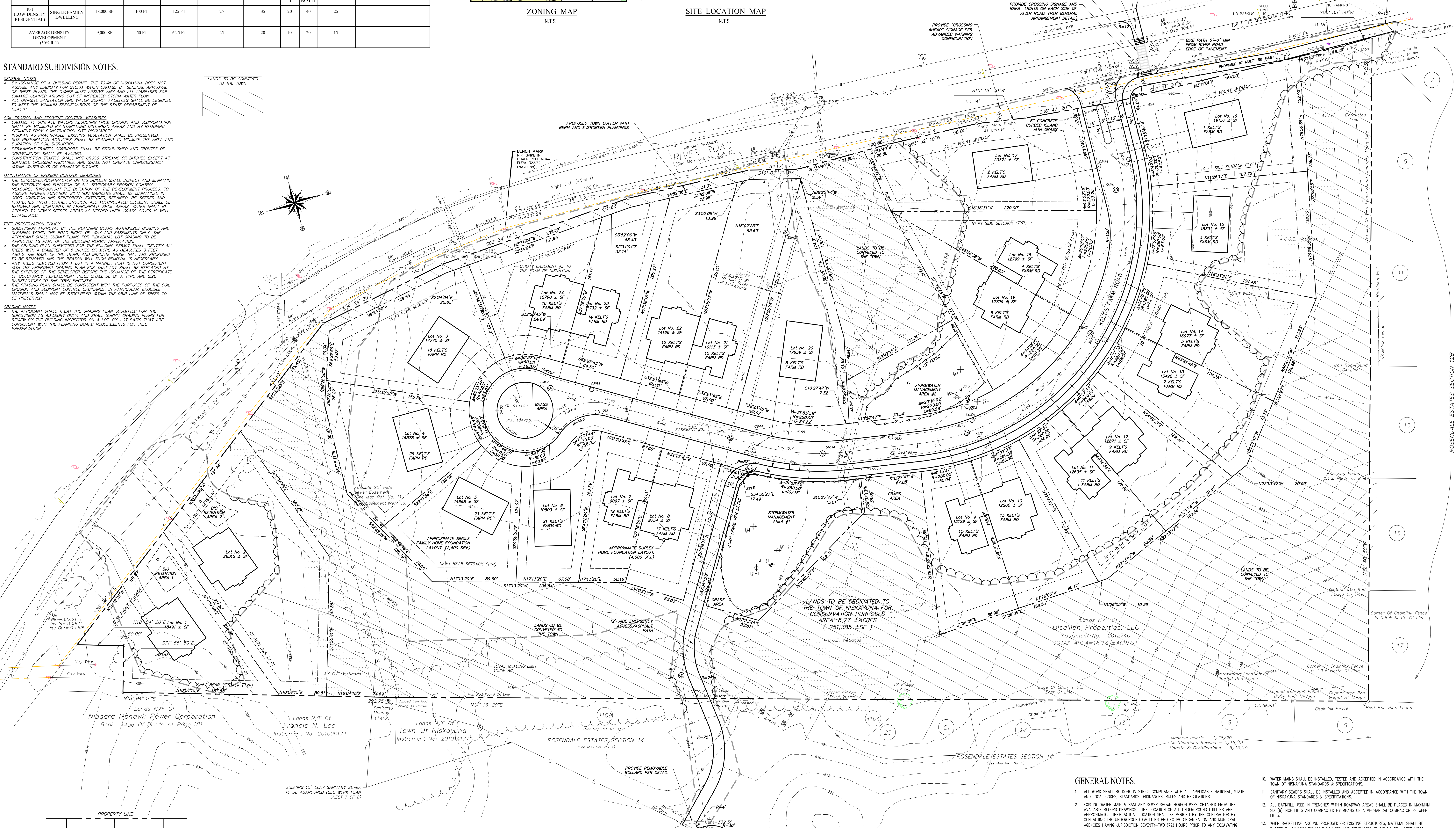
**GRADING NOTES:**  
THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.



ZONING MAP  
N.T.S.



SITE LOCATION MAP  
N.T.S.



Line #/Curve #	Length	Bearing/Delta	Radius
C1	10.05	9.59	60.00
C2	10.05	9.59	60.00
L1	194.84	S57°36'14.55"E	
L2	57.18	S80°15'05.41"E	
L3	25.15	S16°02'23.11"W	
L4	26.97	S80°15'05.41"E	
L5	229.81	N57°36'14.55"W	
L6	12.50	N32°23'45.45"E	
L7	32.46	S80°15'05.41"E	
L8	199.85	S57°36'14.55"E	
L9	12.50	N32°23'45.45"E	
L10	127.17	N57°36'14.55"W	
L11	127.44	S61°17'36.75"E	
L12	8.20	S32°23'45.45"W	
L13	108.14	N85°46'31.32"E	
L14	10.00	S2°34'03.62"E	
L15	107.01	S85°46'31.32"W	
L16	10.00	S2°34'03.62"E	
L17	107.56	S85°46'31.32"W	

## MAP NOTES:

1. PORTIONS OF BOUNDARY EVIDENCE AND PLANNING INFORMATION SHOWN HEREON FIELD LOCATED BY ADVANCE ENGINEERING & SURVEYING, PLLC, FROM A MARCH 11, 2021 FIELD SURVEY. REMAINING PORTIONS AND TOPOGRAPHY PROVIDED BY CLIENT (WINDSOR LAND SURVEYOR, PLLC).

2. TAX MAP DESIGNATION: 410-1-91

## MAP REFERENCE:

1. "SURVEY OF LANDS OF WARREN & WARE KELTS TO BE CONVEYED TO BISAILLON PROPERTIES, LLC, TOWN OF NISKAYUNA, SCHOENECTADY COUNTY, NEW YORK, MAP NUMBER 15-22-98, DATED NOVEMBER 25, 2015, AS PREPARED BY CLIENT (WINDSOR LAND SURVEYOR, PLLC).

2. "WETLAND DELINEATION MAP, TWP. 41-1-91, TOWN OF NISKAYUNA, SCHOENECTADY COUNTY, NEW YORK, MAP NUMBER 15-22, DATED AUGUST 14, 2016, AS PREPARED BY CLIENT (WINDSOR LAND SURVEYOR, PLLC).

## GENERAL NOTES:

- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.
- EXISTING WATER MAIN & SANITARY SEWER SHOWN HEREON WERE OBTAINED FROM THE AVAILABLE RECORD DRAWINGS. THE LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. THEIR ACTUAL LOCATION SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION AND MUNICIPAL AGENCIES HAVING JURISDICTION SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATING AND/OR CONSTRUCTION. (1-800-REL-7652)
- CONSTRUCTION OF ALL PROPOSED UTILITIES MUST BEGIN AT ITS POINT OF CONNECTION TO THE EXISTING UTILITY OR AT THE LOWEST POINT IN THE SYSTEM. RIMS, GRATES, INVERTS, CLEARANCES AND LOCATION AT CROSSINGS MUST BE VERIFIED PRIOR TO THE BEGINNING OF CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ANY INSTALLATION TO BE ABLE TO PROVIDE OBSERVATION AS REQUIRED. THE CONTRACTOR MUST KEEP A RECORD OF ALL UNDERGROUND UTILITIES INSTALLED AND/OR CONSTRUCTION. (1-800-REL-7652)
- WHEN CROSSING EXISTING UTILITIES WITH PROPOSED UTILITIES, CONTRACTOR SHALL COORDINATE SUCH CROSSINGS WITH THE RESPECTIVE MUNICIPAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE EXISTING UTILITIES.
- ALL PROPOSED UTILITIES AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL MUNICIPALITIES CODES AND REGULATIONS GOVERNING THE INSTALLATION OF SUCH UTILITIES.
- THE ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT, AS INTENDED AND INTERPRETED BY THE ENGINEER.
- WELLS/ARTESIAN WELLS NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATIO, BATHING, TRAILING, ETC., SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE AND FUNCTIONAL.
- ALL DISTURBED AREAS OUTSIDE OF PAVED AREA TO RECEIVE TOPSOIL AND SEED, EXCEPT AS OTHERWISE NOTED.
- THE CONTRACTOR SHALL:
  - VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.
  - NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
  - EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS OF THE WORK.
  - PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.
  - HOLD THE OWNER HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON THE SITE.
- WATER MAINS SHALL BE INSTALLED, TESTED AND ACCEPTED IN ACCORDANCE WITH THE TOWN OF NISKAYUNA STANDARDS & SPECIFICATIONS.
- SANITARY SEWERS SHALL BE INSTALLED AND ACCEPTED IN ACCORDANCE WITH THE TOWN OF NISKAYUNA STANDARDS & SPECIFICATIONS.
- ALL BACKFILL USED IN TRENCHES WITHIN ROADWAY AREAS SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
- WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
- CONTRACTOR SHALL ADJUST RIM/TOE OF FRAME ELEVATIONS TO PROPOSED FINISHED GRADES FOR ALL UTILITIES LOCATED WITHIN UNITS OF PROPOSED WORK.
- NO SUMP PUMP, CELLAR OR FOOTING DRAINS SHALL BE CONNECTED TO ANY SANITARY SEWER.
- SEWER MAINS IN RELATION TO WATER MAINS WHERE POSSIBLE SEWERS SHALL BE LAYED AT LEAST 10.0 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE A MINIMUM OF 18 INCHES BETWEEN THE SEWER AND WATER MAIN CROSSINGS.
- CONTRACTOR MUST PROTECT ALL SURFACE WATERS FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES INCLUDING, BUT NOT LIMITED TO PLACING BAY BALES AND SILTATION FENCING AROUND WORK.
- ALL WATER MAIN PIPE TO BE USED MUST MEET ALL APPROPRIATE AWWA STANDARDS.
- CONTRACTOR IS ADVISED THAT CONSTRUCTION PROCEDURE AND MATERIALS TO BE USED FOR ALL WORK WILL HAVE TO COMPLY WITH THE WRITTEN SPECIFICATIONS AND STANDARDS OF THE VARIOUS TOWNS OF NISKAYUNA DEPARTMENTS INCLUDING HIGHWAY CONTRACTOR IS RESPONSIBLE FOR SECURING AND COMPLYING WITH THOSE RESPECTIVE WRITTEN SPECIFICATIONS AND STANDARDS.
- REFER TO AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS FOR FOUNDATION DRAIN LOCATIONS, MECHANICAL, PLUMBING AND OTHER PERTINENT COMPONENTS OF THE PROJECT.
- NOISE SHALL BE IN ACCORDANCE WITH TOWN OF NISKAYUNA CODE SECTION 142-3 AS FOLLOWS:
  - All construction activity, including but not limited to excavation, demolition, piling, construction, alteration or repair of any building, other than between 7:00 a.m. and 9:00 p.m. Monday through Friday and 8:00 a.m. to 8:00 p.m. on Saturday and Sunday, except in case of urgent necessity in the interest of public safety as determined by the Building Inspector, Highway Superintendent, Commissioner of Public Works, Chief of Police or Fire Chief or their designees.

OWNER/APPLICANT  
BISAILLON PROPERTIES, LLC  
2307 BERKLEY AVE  
NISKAYUNA, NY 12309

MATTHEW KETTO  
TOWN ENGINEER

KEVIN WALSH  
CHAIRMAN OF THE PLANNING BOARD



NO.	BY	APPROVED	DATE	REVISION
1	TM	NC	01/08/21	PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW
2	TM	NC	04/03/21	ENGINEERING PLANS REVISED PER THE 04/01/21 COMMENTS
3	TM	NC	06/04/21	ENGINEERING PLANS REVISED PER THE 04/01/21 COMMENTS
4	TM	NC	07/03/21	ENGINEERING PLANS REVISED PER THE 06/01/21 COMMENTS
5	TM	NC	07/03/21	ENGINEERING PLANS REVISED PER THE 07/01/21 COMMENTS

DESIGNED BY: ADVANCE ENGINEERING & SURVEYING, PLLC  
CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING  
LAND SURVEYING & DEVELOPMENT  
COMMERCIAL AND RESIDENTIAL  
11 HERBERT DRIVE, LATHAM, N.Y. 12110  
PHONE: (518) 885-2172  
E-MAIL: MJS@aesglobal.com  
NICKOLAS COSTA, P.E.  
E-MAIL: MJS@aesglobal.com

DESIGN OF: ADVANCE ENGINEERING & SURVEYING, PLLC  
SUBDIVISION PLAN  
KELT'S FARM SUBDIVISION  
ST. NO. 2538 RIVER ROAD  
TOWN OF NISKAYUNA  
COUNTY OF SCHOENECTADY  
STATE OF NEW YORK  
DATE: DECEMBER 13, 2019  
SCALE: 1" = 40'

SHEET NO.  
SUB  
3 OF 9 19186-SIT10



HYDRO FRAME AND COVER (INCLUDED)

SECTION A-A

NOTE: NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DETAIL.

Hydro International

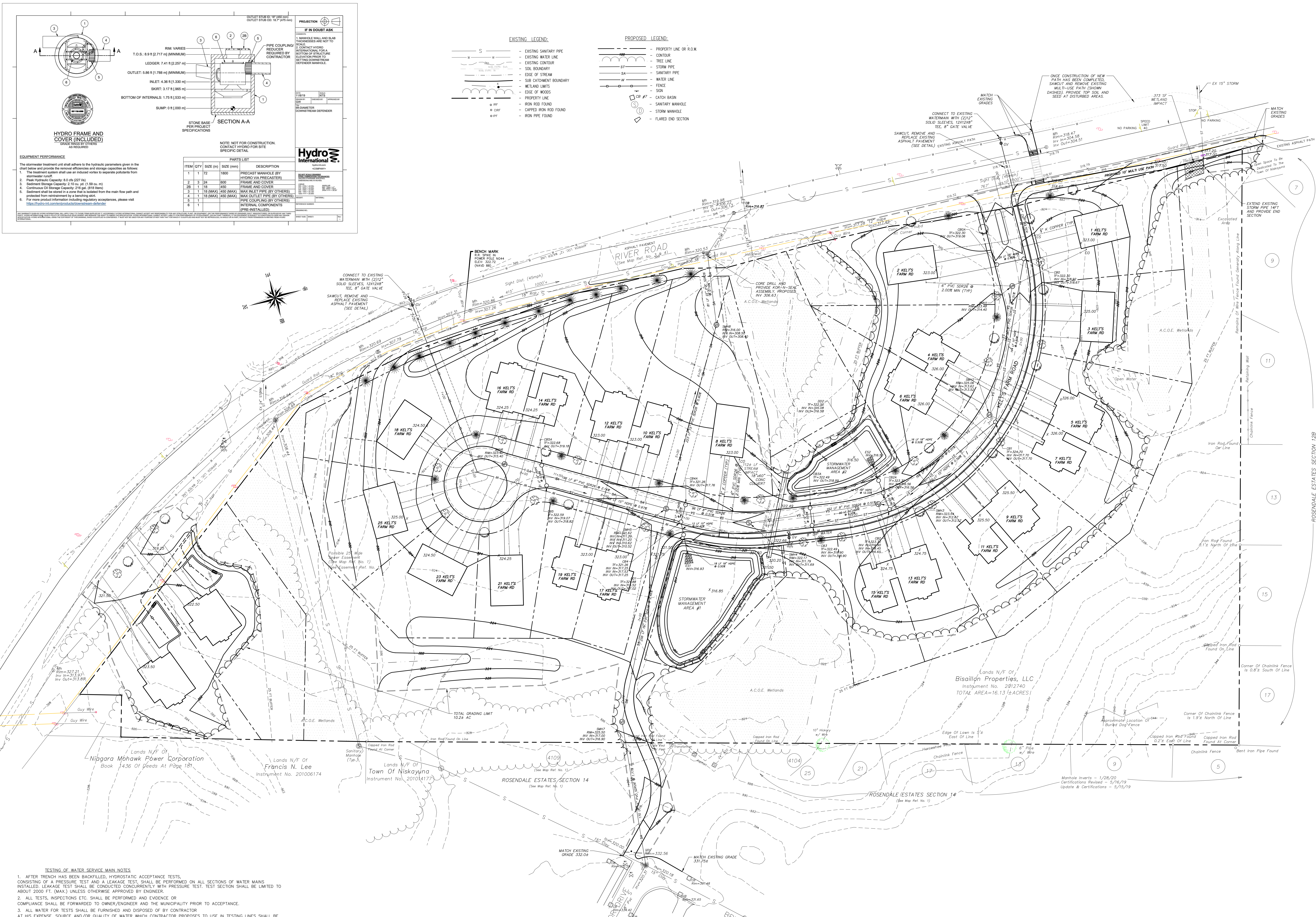
EQUIPMENT PERFORMANCE

The stormwater treatment unit shall adhere to the hydraulic parameters given in the chart below and provide the removal efficiencies and storage capacities as follows:

1. The treatment system shall not be an induced variety to separate pollutants from stormwater runoff.
2. Peak Hydraulic Capacity: 8.0 cfs (227 m³).
3. Sediment Storage Capacity: 2.10 cu. yd. (1.58 cu. m).
4. Continuous Oil Storage Capacity: 2.0 gal. (0.018 m³).
5. Sediment shall be stored in a zone that is isolated from the main flow path and protected from resuspension by a baffle wall.
6. For more product information including regulatory acceptances, please visit: <http://www.hydrointl.com>

PARTS LIST

ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	72	1800	PRECAST MANHOLE (BY HYDRO VIA PRECAST)
2	3	24	600	FRAME AND COVER
3	1	18	450	FRAME AND COVER
4	1	18 (MAX)	450 (MAX)	MAX INLET PIPE (BY OTHERS)
5	1	18 (MAX)	450 (MAX)	MAX OUTLET PIPE (BY OTHERS)
6	1	18 (MAX)	450 (MAX)	PIPE COUPLING (BY OTHERS)
7	1	18 (MAX)	450 (MAX)	INTERNAL COMPONENTS (PRE-INSTALLED)



TESTING OF WATER SERVICE MAIN NOTES

1. AFTER TRENCH HAS BEEN BACKFILLED, HYDROSTATIC ACCEPTANCE TESTS, CONSISTING OF A PRESSURE TEST AND A LEAKAGE TEST, SHALL BE PERFORMED ON ALL SECTIONS OF WATER MAINS INSTALLED. LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH PRESSURE TEST. TEST SECTION SHALL BE LIMITED TO ABOUT 2000 FT. (MAX.) UNLESS OTHERWISE APPROVED BY ENGINEER.

2. ALL TESTS, INSPECTIONS ETC. SHALL BE PERFORMED AND EVIDENCE OR COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE MUNICIPALITY PRIOR TO ACCEPTANCE.

3. ALL WATER FOR TESTS SHALL BE FURNISHED AND DISPOSED OF BY CONTRACTOR AT HIS EXPENSE. SOURCE AND/OR QUALITY OF WATER WHICH CONTRACTOR PROPOSES TO USE IN TESTING LINES SHALL BE ACCEPTABLE TO ENGINEER.

4. HYDROSTATIC PRESUMPTIVE TESTS MAY BE PERFORMED WHEN SYSTEM IS PARTIALLY BACKFILLED TO SIMPLY CHECK WORK, BUT ACCEPTANCE OF SYSTEM SHALL BE BASED ON HYDROSTATIC TESTS RUN ON FINISHED SYSTEM AFTER IT HAS BEEN COMPLETELY BACKFILLED. ALL HYDROSTATIC TESTS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 4 OF ANWA STANDARD 0200-83, AS ADJUDICATED HEREIN.

5. FOR THE PRESSURE TEST, SYSTEM SHALL BE PRESSURIZED AND MAINTAINED AT A MINIMUM OF 150 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON ELEVATION OF LOWEST POINT IN SECTION BEING TESTED AND CORRECTED TO ELEVATION OF GAUGE. PROVISIONS SHALL BE MADE TO RELIEVE AIR TRAPPED AT HIGH POINTS IN SYSTEM THROUGH ADJACENT HYDRANTS OR THROUGH TAPS AND CORPORATION STOPS INSTALLED FOR THIS PURPOSE BY CONTRACTOR. AFTER THIS PRESSURE HAS BEEN MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS, THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.

6. LEAKAGE TEST SHALL BE PERFORMED CONCURRENTLY USING A MINIMUM TEST PRESSURE OF 150 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON ELEVATION OF LOWEST POINT IN SECTION UNDER TEST AND CORRECTED TO ELEVATION OF GAUGE. LEAKAGE TEST DURATION SHALL BE A MIN. OF 2 HOURS AFTER LEAKAGE RATE HAS STABILIZED.

7. MAXIMUM ALLOWABLE LEAKAGE SHALL BE AS SHOWN IN THE FOLLOWING TABLE:

ALLOWABLE LEAKAGE PER 100 FT. OF PIPELINE	NOMINAL PIPE DIAMETER-IN.	TEST PRESSURE PSI (BAR)
250 (17)	0.71	0.95
225 (16)	0.68	0.90
200 (14)	0.64	0.85
175 (12)	0.59	0.80
150 (10)	0.55	0.74
125 (9)	0.50	0.67
100 (7)	0.45	0.60

8. IF LEAKAGE IN SYSTEM EXCEEDS SPECIFIED AMOUNT, CONTRACTOR SHALL (AT NO ADDED COST TO OWNER) LOCATE, REPAIR, AND/OR REPLACE DEFECT(S) AND RETEST PIPING SYSTEM.

SITE TREE PLANTING SCHEDULE

PLANT (COMMON)	PLANT (BOTANICAL)	SYMBOL	SIZE	QUANTITY	SPACING
NORTHERN RED OAK	QUERCUS BOREALIS RUBRA		2.5" CAL @ 5'-0"	16	AS SHOWN
NORWAY MAPLE	ACER PLATANOIDES		2.5" CAL @ 5'-0"	19	AS SHOWN
THORNLESS HONEY LOCUST	GLEDITSIA TRACANTHOS INERMIS		2.5" CAL @ 5'-0"	14	AS SHOWN
WHITE SPRUCE	PICEA GLAUBA		5" - 6" HEIGHT	12	AS SHOWN

EROSION & GRADING NOTES:

1. AREAS TO BE FILLED WILL BE CLEARED & GRUBBED. TOPSOIL WILL BE STOCKPILED FOR RE-USE.
2. FILL WILL BE PLACED IN LAYERS NOT TO EXCEED 9" & COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
3. FROZEN MATERIALS OR SOFT, HIGHLY COMPRESSIBLE MATERIALS WILL NOT BE USED AS FILL.
4. FILL WILL NOT BE PLACED ON FROZEN SURFACE.
5. FILLING WILL BE COMPLETED AS A CONTINUOUS OPERATION.
6. AS SOON AS FINAL GRADES ARE ACHIEVED, THE AREAS WILL BE STABILIZED.
7. SEED & MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
8. CONTRACTOR MUST PROTECT ALL SURFACE WATER FROM SELECTION DURING CONSTRUCTION WITH APPROPRIATE MEASURES, INCLUDING BUT NOT LIMITED TO PLACING SELECTION TENDING AROUND THE WORK AREA.
9. ANY SOILS TRACKED OUT INTO PUBLIC ROADS WILL BE SWEEP UP IMMEDIATELY.
10. A CONCRETE WASHOUT AREA MUST BE DIG BEFORE ANY POURING IS TO TAKE PLACE.
11. ANY PUMPING THAT IS TO BE DONE ON SITE MUST BE RUN THROUGH A FILTER AND/OR STONE.
12. A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
13. ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
14. ALL LAWN AREAS SHALL BE PLANTED BY HYDROSEEDING METHODS AND IF IT IS COMPLETED DURING THE WATER IT SHALL BE PROTECTED WITH EROSION BLANKETS.
15. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

SOIL RESTORATION NOTES:

ALL DISTURBED LAWN AREAS OF THE SITE AND THE STORMWATER MANAGEMENT AREA SHALL BE RESTORED AS FOLLOWS:

1. BRING SUBSOIL TO FINAL GRADE WITHIN 6 INCHES.
2. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
3. TILL COMPOST INTO SUBSOIL TO A DEPTH OF 12 INCHES CIRCULATING AIR AND COMPOST INTO THE SUBSOIL.
4. ROCK-POCK ALL UPLIFTED STONE/ROCK MATERIALS OF 4 INCHES AND LARGER AND REMOVE FROM THE SITE.
5. APPLY TOPSOIL TO A DEPTH OF 6 INCHES, SEED AND MULCH.
6. RE-MEDIATED SOIL SHOULD ALLOW 12 INCHES OF PENETRATION OF A 3/8" DIAMETER ROD INTO THE SOIL BY USING ONLY FOOT WEIGHT.
7. APPLY FULL SOIL RESTORATION PER NYSDC PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION, DEC 2008".

OWNER/APPLICANT

BISAILLON PROPERTIES, LLC

2307 BERKLEY AVE

NISKAYUNA, NY 12309

Design of:

ADVANCE ENGINEERING & SURVEYING, PLLC

CONSULTING IN -

CIVIL & ENVIRONMENTAL ENGINEERING

LAND SURVEYING & DEVELOPMENT

COMMERCIAL AND RESIDENTIAL

11 HERBERT DRIVE, LATHAM, N.Y. 12110

PHONE: (518) 686-1772

EMAIL: [info@advancesurveying.com](mailto:info@advancesurveying.com)

Design of:

GRADING AND UTILITY PLAN

KELT'S FARM SUBDIVISION

ST. NO. 2538 RIVER ROAD

TOWN OF NISKAYUNA

COUNTY OF SCHENECTADY

STATE OF NEW YORK

DATE: DECEMBER 13, 2019

SCALE: 1" = 40'

SHEET NO.

GRD

19166-SITE10

4 OF 9

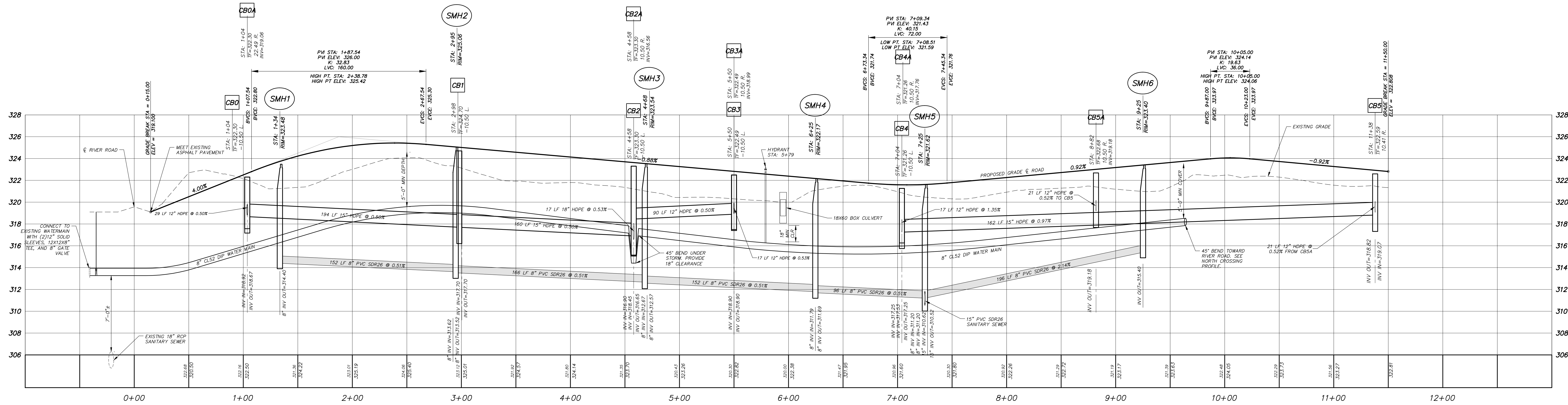
REVISION

NO.	DATE	BY	APPD.	REVISION
1	03.02.21	TM	NC	PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW
2	03.02.21	TM	NC	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS
3	06.04.21	TM	NC	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS
4	07.02.21	TM	NC	ENGINEERING PLANS REVISION FOR THE 06/02/21 COMMENTS
5	07.02.21	TM	NC	ENGINEERING PLANS REVISION FOR THE 07/02/21 COMMENTS

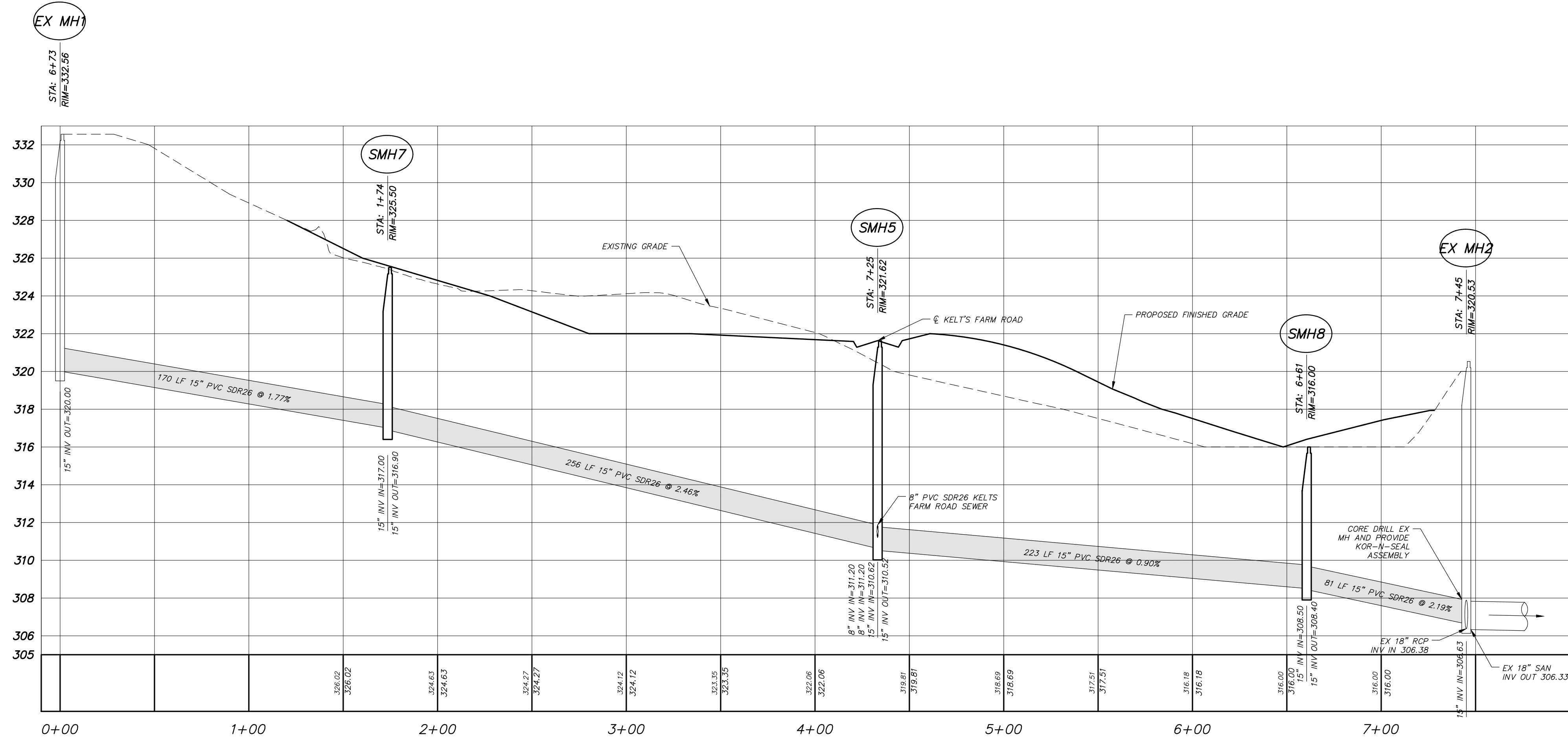


<p><b>EROSION CONTROL PLAN</b>  <b>ST. NO. 2538 RIVER ROAD</b>  <b>TOWN OF HUNTERDON</b>  <b>COUNTY OF SCHENECTADY</b></p> <p>DATE: DECEMBER 13, 2019</p>		<p><b>ADVANCE ENGINEERING &amp; SURVEYING, PLLC</b>  <b>CONSULTING IN CIVIL ENGINEERING</b>  <b>LAND SURVEYING &amp; DEVELOPMENT</b>  <b>COMMERCIAL AND RESIDENTIAL</b></p> <p>11 HERBERT DRIVE, LATHAM, N.Y. 12110          PHONE: (518) 685-3172          E-MAIL: <a href="mailto:info@aesny.com">info@aesny.com</a></p> <p><b>NICHOLAS COSTA, P.E.</b>          (LICENSED IN NEW YORK)</p>		<p><b>PROPOSED EROSION CONTROL PLAN</b>          FOR THE          2538 RIVER ROAD          TOWN OF HUNTERDON          COUNTY OF SCHENECTADY</p> <p>11 HERBERT DRIVE, LATHAM, N.Y. 12110          PHONE: (518) 685-3172          E-MAIL: <a href="mailto:info@aesny.com">info@aesny.com</a></p> <p><b>NICHOLAS COSTA, P.E.</b>          (LICENSED IN NEW YORK)</p>		<p><b>REVISION</b></p> <p>NO. BY APPR. DATE</p> <p>1) PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW TM NC 03/08/21</p> <p>2) ENGINEERING PLANS REISED PER THE 04/02/21 COMMENTS TM NC 04/23/21</p> <p>3) ENGINEERING PLANS REISED PER THE 04/02/21 COMMENTS TM NC 06/04/21</p> <p>4) ENGINEERING PLANS REISED PER THE 06/04/21 COMMENTS TM NC 07/16/21</p> <p>5) ENGINEERING PLANS REISED PER THE 07/25/21 COMMENTS TM NC 07/26/21</p>		<p><b>REVISION</b></p> <p>NO. BY APPR. DATE</p> <p>1) PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW TM NC 03/08/21</p> <p>2) ENGINEERING PLANS REISED PER THE 04/02/21 COMMENTS TM NC 04/23/21</p> <p>3) ENGINEERING PLANS REISED PER THE 04/02/21 COMMENTS TM NC 06/04/21</p> <p>4) ENGINEERING PLANS REISED PER THE 06/04/21 COMMENTS TM NC 07/16/21</p> <p>5) ENGINEERING PLANS REISED PER THE 07/25/21 COMMENTS TM NC 07/26/21</p>	
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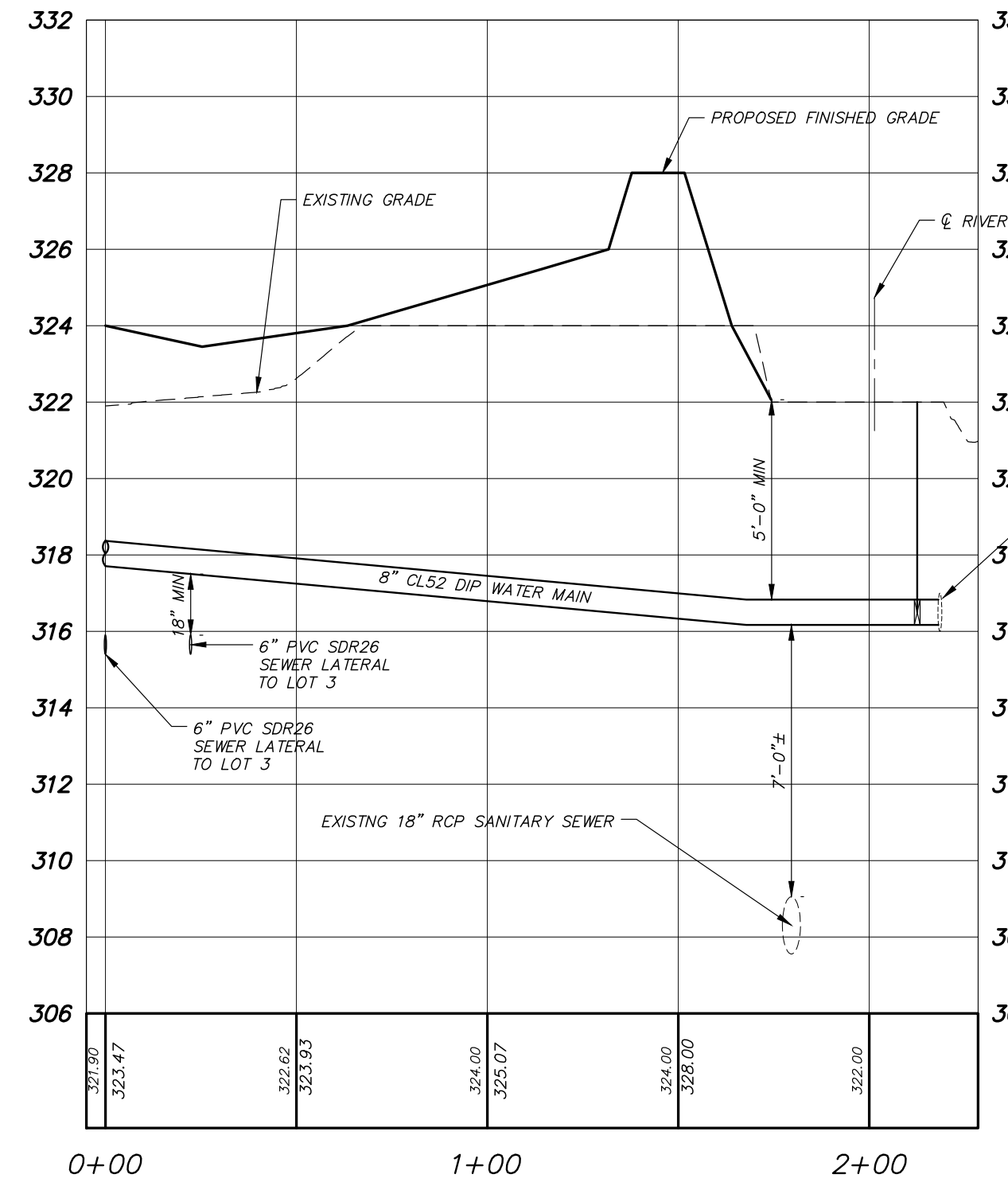




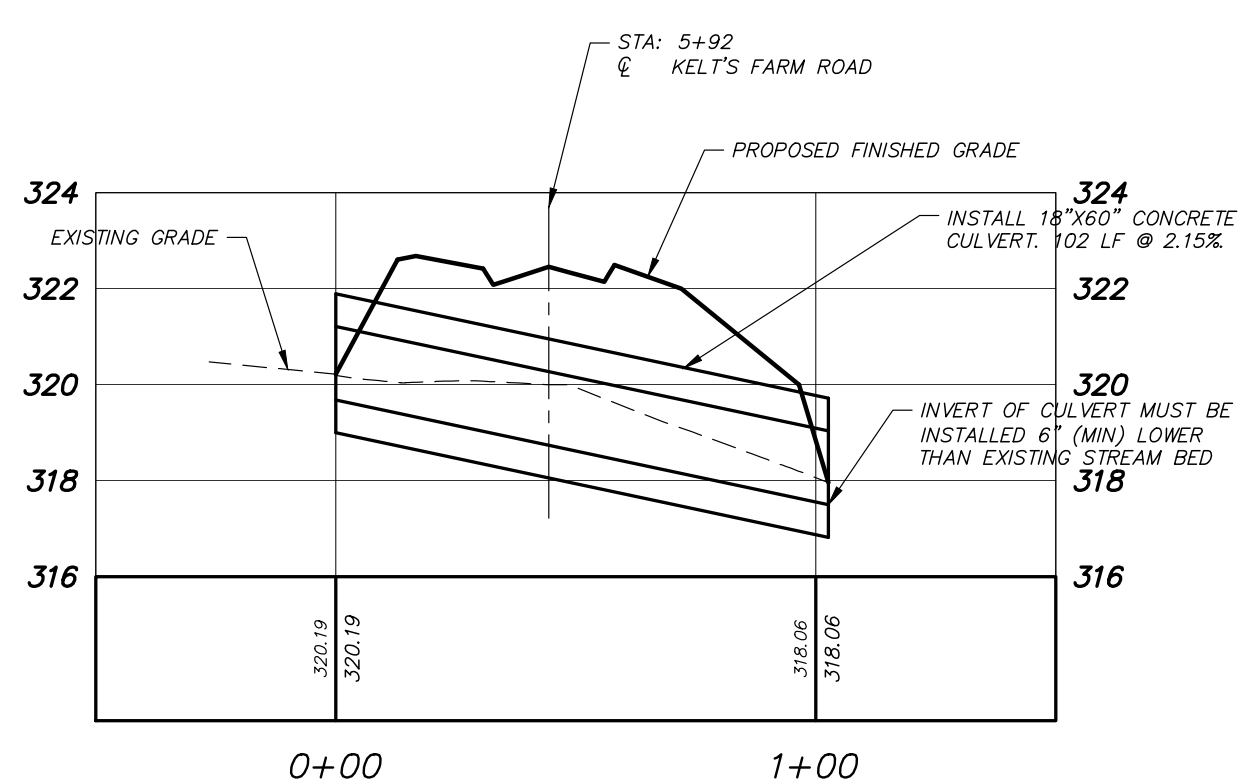
KELTS FARM ROAD PROFILE  
H Scale: 1" = 40'  
V Scale: 1" = 4'



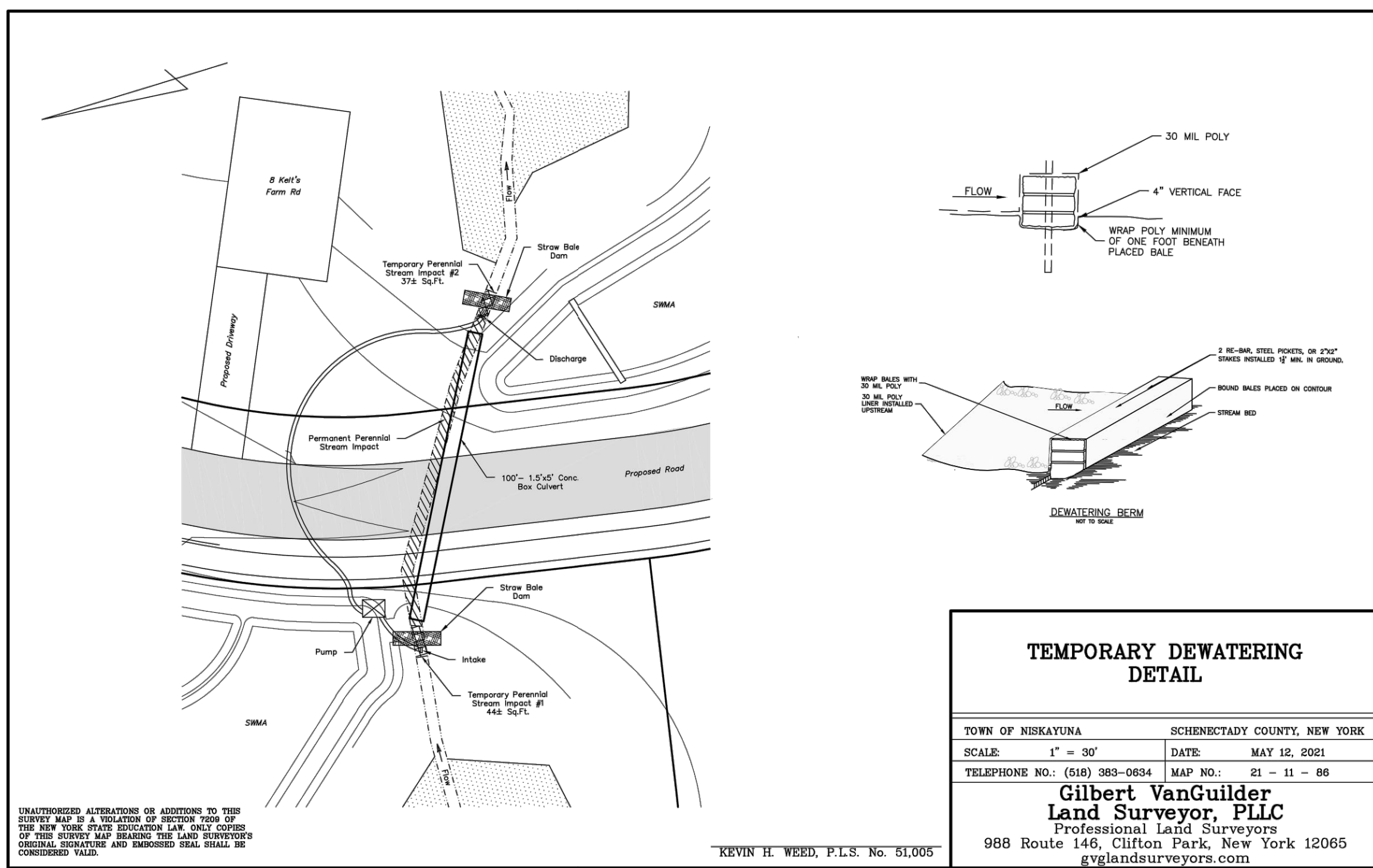
15-INCH SANITARY SEWER  
H Scale: 1" = 40'  
V Scale: 1" = 4'



WATERLINE PROFILE - RIVER ROAD NORTH CROSSING  
H Scale: 1" = 40'  
V Scale: 1" = 4'



CULVERT  
H Scale: 1" = 40'  
V Scale: 1" = 4'



TEMPORARY DEWATERING DETAIL

TOWN OF NISKAYUNA		SCHEMATICALLY COUNTY, NEW YORK	
SCALE:	1" = 30'	DATE:	MAY 12, 2021
TELEPHONE NO.:	(516) 383-0034	MAP NO.:	21 - 11 - 06
Gilbert VanGuilder Land Surveyor, PLLC Professional Land Surveyors 988 Route 146, Clifton Park, New York 12065 gilbert@landsurveyors.com			

OWNER / APPLICANT  
BISAILLON PROPERTIES, LLC  
2307 BERKLEY AVE  
NISKAYUNA, NY 12039

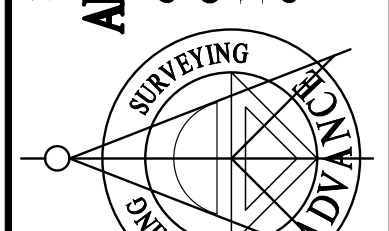


NO.	REVISION	DATE	BY	APPD.
1	PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW	03.02.21	TM	NC
2	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS	04.23.21	TM	NC
3	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS	04.23.21	TM	NC
4	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS	07.13.21	TM	NC
5	ENGINEERING PLANS REVISION FOR THE 07/06/21 COMMENTS	07.30.21	TM	NC

1. N.Y.S. E&M 201	2. N.Y.S. E&M 201	3. N.Y.S. E&M 201	4. N.Y.S. E&M 201	5. N.Y.S. E&M 201
6. N.Y.S. E&M 201	7. N.Y.S. E&M 201	8. N.Y.S. E&M 201	9. N.Y.S. E&M 201	10. N.Y.S. E&M 201
11. N.Y.S. E&M 201	12. N.Y.S. E&M 201	13. N.Y.S. E&M 201	14. N.Y.S. E&M 201	15. N.Y.S. E&M 201
16. N.Y.S. E&M 201	17. N.Y.S. E&M 201	18. N.Y.S. E&M 201	19. N.Y.S. E&M 201	20. N.Y.S. E&M 201
21. N.Y.S. E&M 201	22. N.Y.S. E&M 201	23. N.Y.S. E&M 201	24. N.Y.S. E&M 201	25. N.Y.S. E&M 201

DESIGN OF:  
ADVANCE ENGINEERING & SURVEYING, PLLC  
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PROFILE  
KELTS FARM SUBDIVISION  
ST. NO. 2538 RIVER ROAD  
TOWN OF NISKAYUNA  
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DATE: DECEMBER 13, 2019  
SCALE: AS SHOWN



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NISKAYUNA, NY 12039

SHEET NO.  
PROF  
8 OF 8  
19166-SITE10

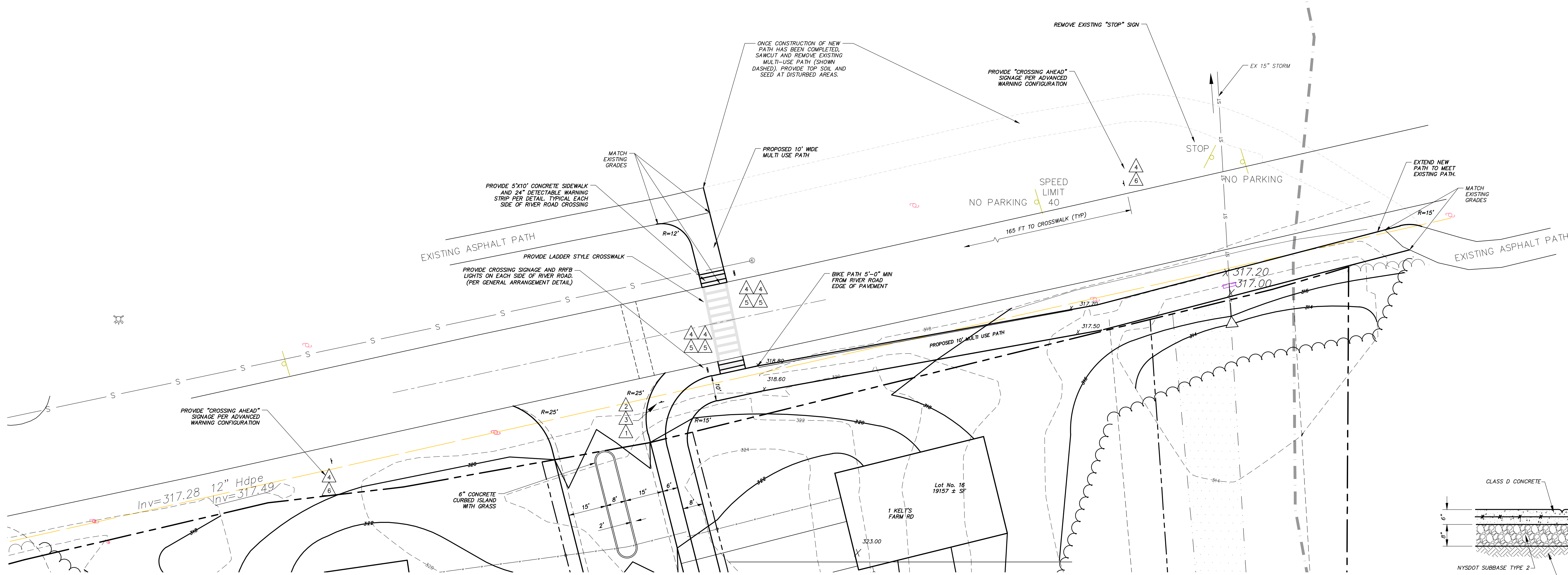






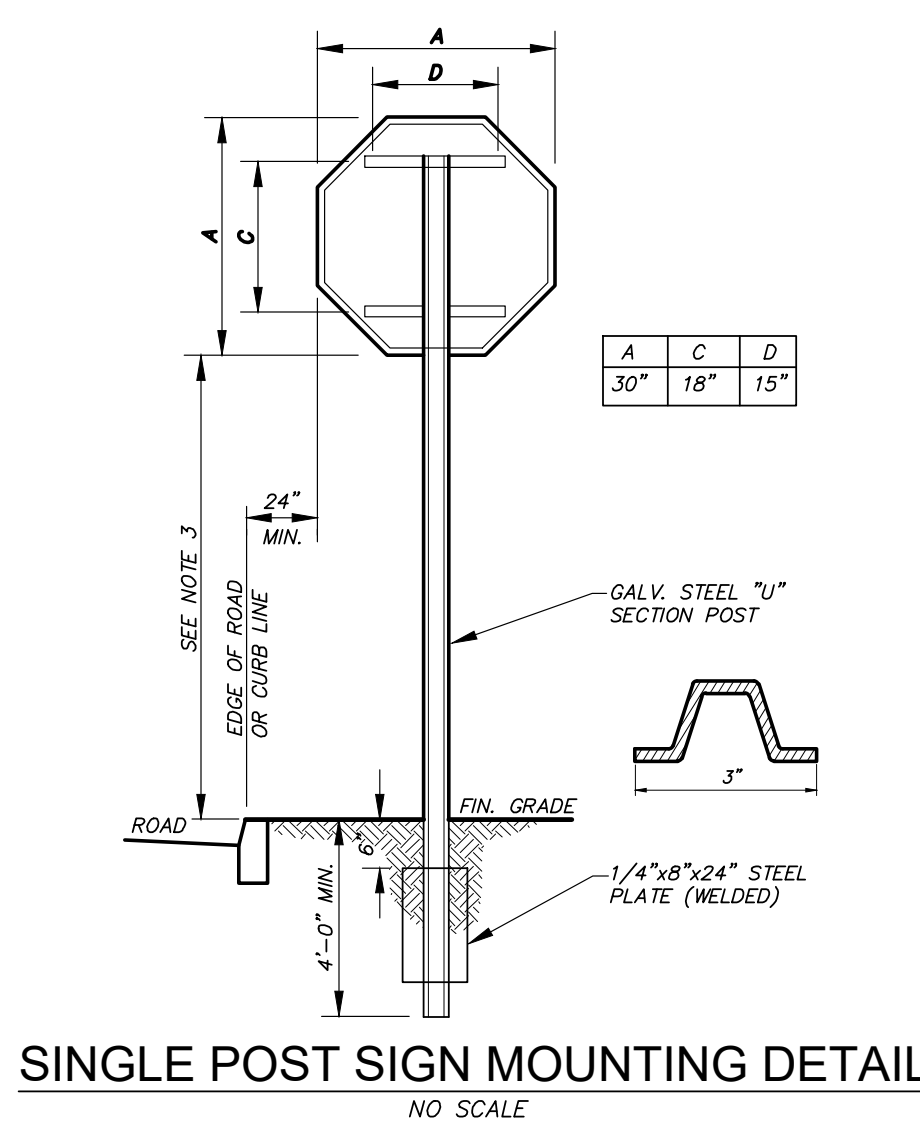






SIGN NO.	SIGN TEXT	SIGN SIZE	TEXT SIZE & COLOR	NO. REQ'D.	TYPE OF MOUNTING	MUTED NO.
1	STOP	30" x 30"	BACKGROUND RED LEGEND WHITE	1	GROUND MOUNTED METAL POSTS	81-1
2	DEAD END	36" x 8"	BACKGROUND YELLOW/YO LEGEND WHITE	1	GROUND MOUNTED METAL POSTS	W14-10
3	Kelly's Farm Road	VARIES X 8"	BACKGROUND GREEN W/BORDER LEGEND WHITE	1	GROUND MOUNTED METAL POSTS	Q3-1
4	RRFB	30" x 30"	BACKGROUND YELLOW/YO LEGEND BLACK	4	GROUND MOUNTED 25" SQ GALV STEEL 12 GA POSTS	W11-15
5	RRFB	24" x 12"	BACKGROUND YELLOW/YO LEGEND BLACK	2	GROUND MOUNTED 25" SQ GALV STEEL 12 GA POSTS	W16-7P
6	RRFB	24" x 12"	BACKGROUND YELLOW/YO LEGEND BLACK	2	GROUND MOUNTED 25" SQ GALV STEEL 12 GA POSTS	W16-9P

NOTE:  
1. PROVIDE SOLAR POWERED, PUSH BUTTON CONTROLLED RECTANGULAR RAPID FLASHING BEACON (RRFB), CARMANAH R920-E, 13 WATT, SOLAR RRFBS OR TOWN APPROVED EQUIVALENT. PROVIDE ADVANCED WARNING AND GENERAL ARRANGEMENT PER DETAILS BELOW AND AS NOTED IN SIGN SCHEDULE.

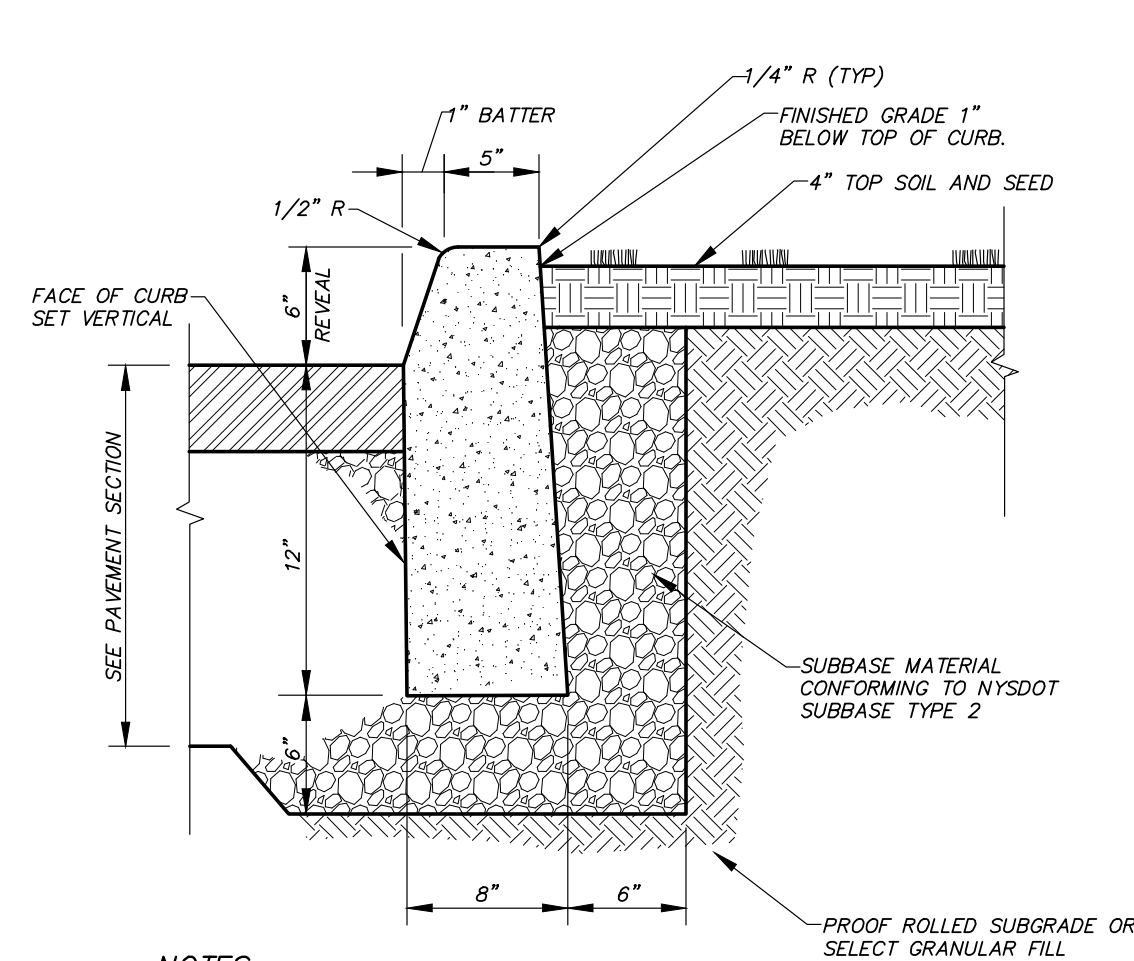


SINGLE POST SIGN MOUNTING DETAIL  
NO SCALE

- NOTES:
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS-SECTION 645 AND 646 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NY SUPPLEMENT".
  - STIRRING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.
  - SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7 FT. MINIMUM HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" - 2009 EDITION AND THE "NY SUPPLEMENT".
  - SIGN POST SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPEC-SECTION 730.

### SIGNAGE AND CROSSING PLAN

SCALE: 1"=20'



- NOTES:
- CAST-IN-PLACE CURB TO BE INSTALLED IN ACCORDANCE WITH NYSDOT STANDARD SPECIFICATION SECTION 608.
  - PRE-CAST CONCRETE CURB MAY BE SUBSTITUTED WHEN ALTERNATE CONSTRUCTION DETAILS ARE SUBMITTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. ALTERNATE CURB SHALL BE INSTALLED IN ACCORDANCE WITH NYSDOT SPEC SECTION 608.

### CAST-IN-PLACE CONCRETE CURB AT LANDSCAPED AREAS

NO SCALE

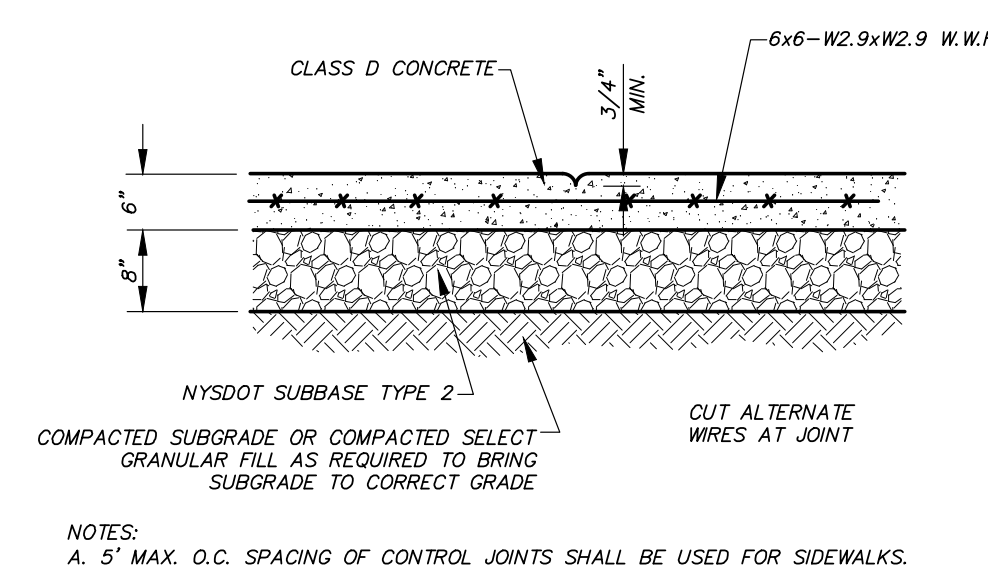
### (NYSDOT STANDARD SHEET 685-01-PAGE 2)

### CROSSWALK PAVEMENT MARKING DETAIL

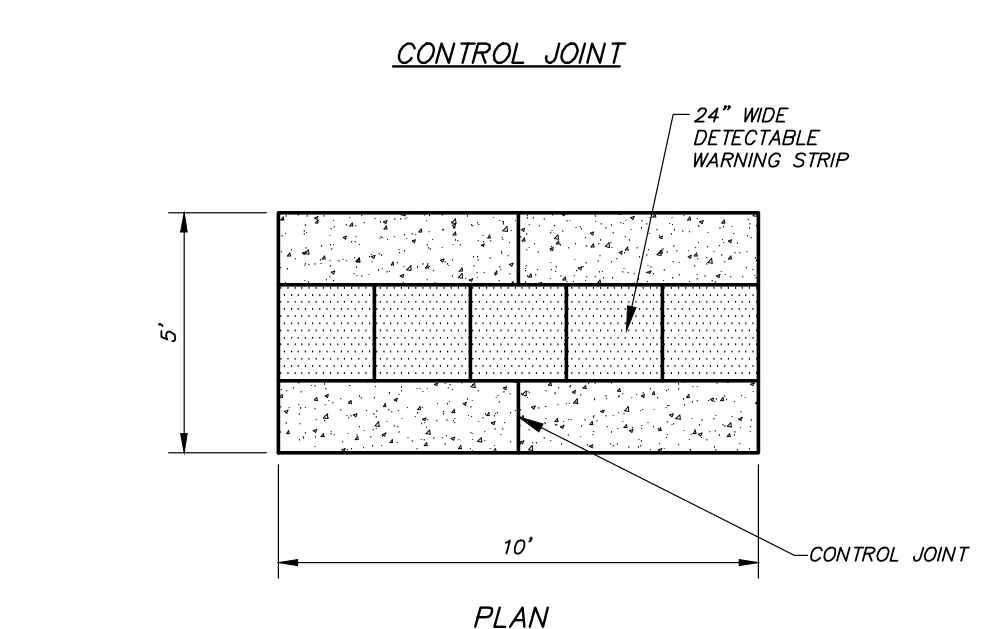
NO SCALE

### TYPICAL CROSSWALK DETAILS

- NOTES:
- ALL CROSSWALK MARKINGS SHALL BE WHITE DURABLE RETRO-REFLECTORIZED PER NYSDOT ITEM NO. 646-20.
  - TYPE "L" AND TYPE "LS" CROSSWALKS SHALL HAVE THE LONGITUDINAL LINES PARALLEL TO THE LANE LINES.



NOTES:  
A. 5" MAX. O.C. SPACING OF CONTROL JOINTS SHALL BE USED FOR SIDEWALKS.



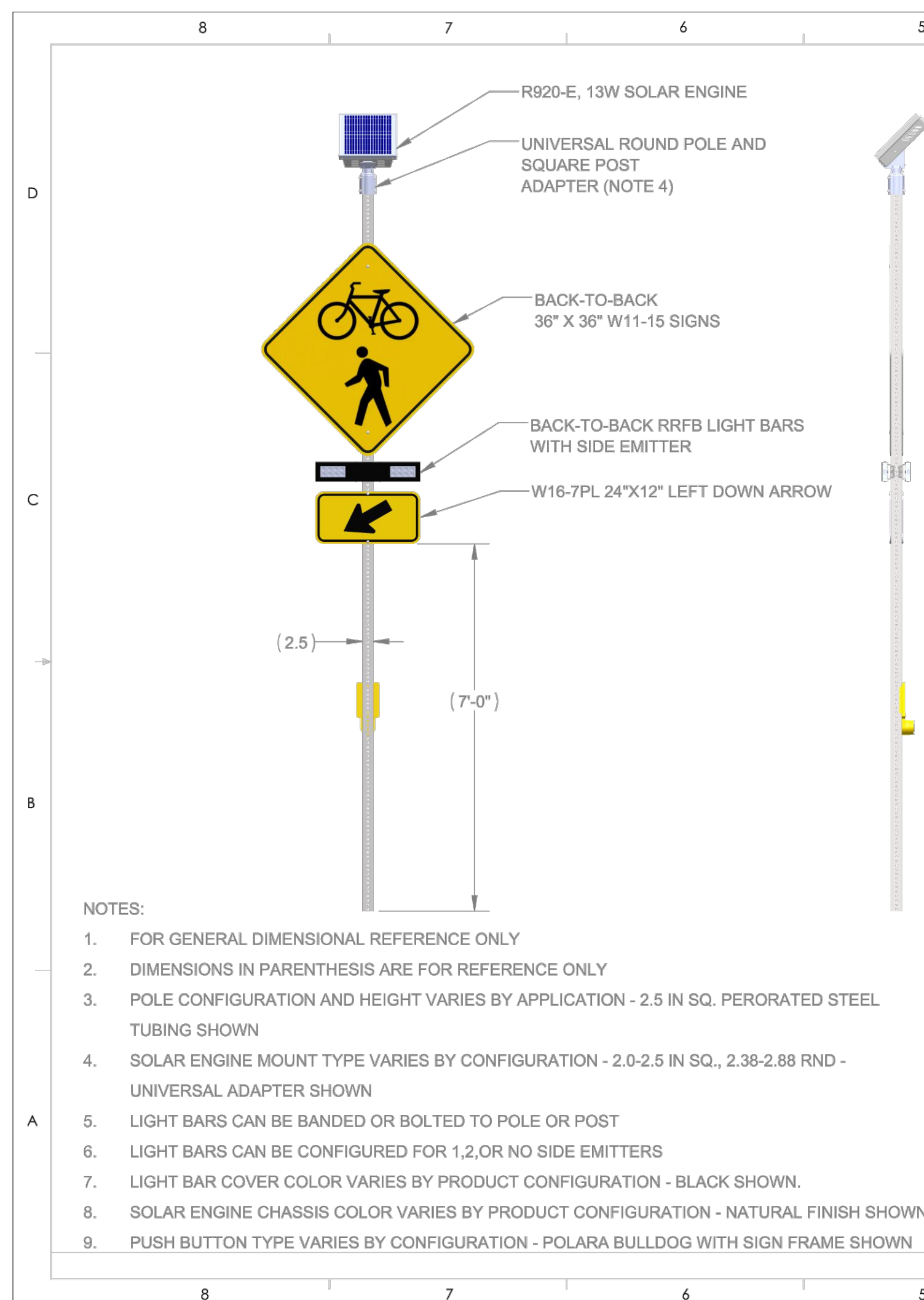
DETECTABLE WARNING STRIP DETAIL  
(N.Y.S.D.O.T. ITEM NO. 608.21)  
NO SCALE

### CONCRETE SIDEWALK DETAIL

FOR USE AT MULTI-USE PATH, EACH SIDE OF RIVER ROAD CROSSING  
NO SCALE

### SIDEWALK NOTES

- MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (DATED JANUARY 1, 2018 AND ALL ADDENDA THEREOF).
- SIDEWALK CONSTRUCTION SHALL CONFORM WITH SECTION 608 - SIDEWALK, DRIVEWAYS, BICYCLE PATHS AND VEGETATION CONTROLS STRIPS OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- CONVENTIONALLY FORMED SIDEWALKS: CONCRETE SHALL BE 4000 PSI CLASS D AIR ENTRAINED (7.5% ±1.5%) CONCRETE. MATERIALS, PLACEMENT AND CONSTRUCTION SHALL CONFORM WITH SECTION 501 OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- WELDED WIRE FABRIC REINFORCING STEEL SHALL MEET THE REQUIREMENTS OF SECTION 709-02 WIRE FABRIC FOR CONCRETE REINFORCEMENT AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
- FINISHING: USE ONLY MAGNESIUM FLOATS AND FINISHING TOOLS, DO NOT USE ALUMINUM OR STEEL. FINISH THE CONCRETE TO PRODUCE A SMOOTH SURFACE AND THEN BROOM THE SURFACE TO A UNIFORM SLIP-RESISTANT TEXTURE. TOOL THE EDGES AND SCORED JOINTS OF ALL SIDEWALK SLABS WITH AN EDGING TOOL HAVING A 1/2" RADIUS.
- SCORE AND TOOL THE CONCRETE SURFACE AT INTERVALS OF 5 FEET, A MINIMUM 1/2" IN WIDTH, AND TO A MINIMUM DEPTH OF ONE-THIRD THE TOTAL THICKNESS.
- CURING: IMMEDIATELY AFTER FINISHING, AND NOT MORE THAN 30 MINUTES AFTER CONCRETE PLACEMENT, APPLY A CLEAR MEMBRANE CURING COMPOUND THAT INCLUDES A FUGITIVE DYE AT A RATE OF 1 GALLON PER 150 SF.
- EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SILICONES"/"SEALERS" 50-7000 INTENSIFIED BRIGHT PROTECTOR AND SIDEWALK SEALER OR EQUAL RATE AND METHOD OF APPLICATION SHALL BE ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- SUBGRADE MATERIAL SHALL CONFORM WITH SECTION 304 OF THE ABOVE REFERENCED NYSDOT STANDARD.
- WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN ACCORDANCE WITH SECTION 203-EXCAVATION AND EMBANKMENT OF THE ABOVE REFERENCED NYSDOT STANDARD SPECIFICATIONS.
- SIDEWALKS SHALL HAVE A CROSS SLOPE OF 1/2" PER FT UNLESS OTHERWISE NOTED ON THE PLAN.



- NOTES:
- FOR GENERAL DIMENSIONAL REFERENCE ONLY
  - DIMENSIONS IN PARENTHESIS ARE FOR REFERENCE ONLY
  - POLE CONFIGURATION AND HEIGHT VARIES BY APPLICATION - 2.5 IN SQ. PERFORATED STEEL TUBING SHOWN
  - SOLAR ENGINE MOUNT TYPE VARIES BY CONFIGURATION - 2.0-2.5 IN SQ., 2.38-2.88 RND - UNIVERSAL ADAPTER SHOWN
  - LIGHT BARS CAN BE BANNED OR BOLTED TO POLE OR POST
  - LIGHT BARS CAN BE CONFIGURED FOR 1,2,OR NO SIDE EMITTERS
  - LIGHT BAR COVER COLOR VARIES BY PRODUCT CONFIGURATION - BLACK SHOWN.
  - SOLAR ENGINE CHASSIS COLOR VARIES BY PRODUCT CONFIGURATION - NATURAL FINISH SHOWN
  - PUSH BUTTON TYPE VARIES BY CONFIGURATION - POLARA BULLDOG WITH SIGN FRAME SHOWN

### W11-15 CONFIGURATION

DIMENSIONS:  
1. PRIMARY: INCHES  
2. HEIGHT: FEET-INCHES

THIRD ANGLE PROJECTION

PDM MAINTAINED DATA  
CHANGES SHALL BE RECORDED  
ELECTRONICALLY BY THE DESIGN AUTHORITY

PROPRIETARY  
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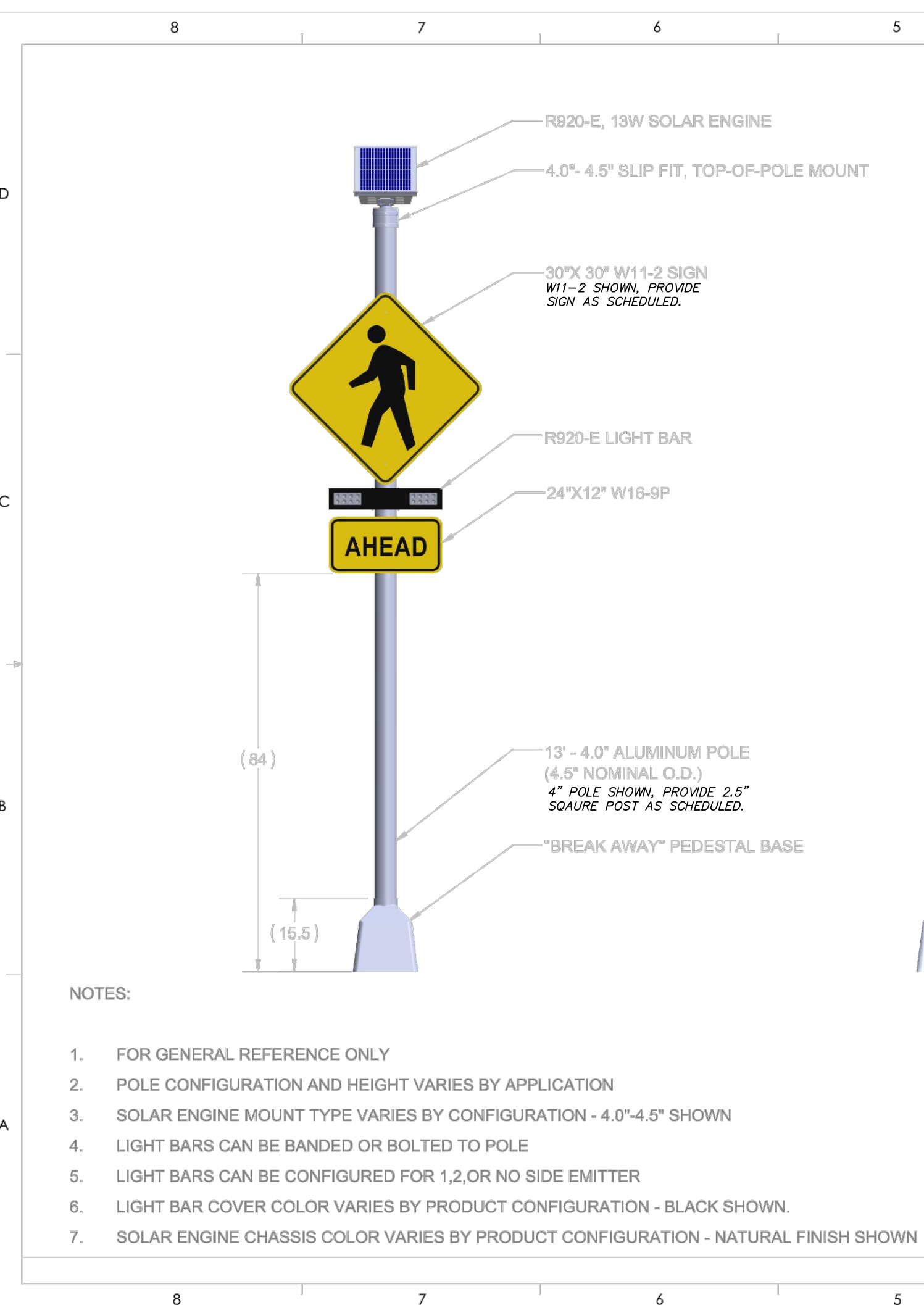
carmanah  
Carmanah Technologies Corp.

R920-R 13W SOLAR POWERED RRFBS  
GENERAL ARRANGEMENT

ORIGINALLY DESIGNED BY: DESIGN DATE: 07/05/20  
DRAWING NO: 89021  
SHEET: 1 OF 1

250 Bay Street  
Victoria, BC Canada V8A 3K5  
Tel: (250) 380-0052  
Fax: (250) 380-0052

REVISION  
B



- NOTES:
- FOR GENERAL REFERENCE ONLY
  - POLE CONFIGURATION AND HEIGHT VARIES BY APPLICATION
  - SOLAR ENGINE MOUNT TYPE VARIES BY CONFIGURATION - 4.0"-4.5" SHOWN
  - LIGHT BARS CAN BE BANNED OR BOLTED TO POLE
  - LIGHT BARS CAN BE CONFIGURED FOR 1,2,OR NO SIDE EMITTER
  - LIGHT BAR COVER COLOR VARIES BY PRODUCT CONFIGURATION - BLACK SHOWN.
  - SOLAR ENGINE CHASSIS COLOR VARIES BY PRODUCT CONFIGURATION - NATURAL FINISH SHOWN

DIMENSIONS IN: INCHES

PDM MAINTAINED DATA  
CHANGES SHALL BE RECORDED  
ELECTRONICALLY BY THE DESIGN AUTHORITY

PROPRIETARY  
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CARMANAH TECHNOLOGIES CORP.

carmanah  
Carmanah Technologies Corp.

R920-E, 13 WATT, SOLAR RRFBS  
ADVANCE WARNING ARRANGEMENT

ORIGINALLY DESIGNED BY: DESIGN DATE: 11/01/2019  
DRAWING NO: 87935  
SHEET: 1 OF 1

250 Bay Street  
Victoria, BC Canada V8A 3K5  
Tel: (250) 380-0052  
Fax: (250) 380-0052

REVISION  
A

OWNER/APPLICANT  
BISAILLON PROPERTIES, LLC  
2307 BERKLEY AVE  
NISKAYUNA, N.Y. 12309

Call 811  
before you dig

Design of:  
**ADVANCE ENGINEERING & SURVEYING, PLLC**  
CONSULTING IN:  
CIVIL & ENVIRONMENTAL ENGINEERING  
LAND SURVEYING & DEVELOPMENT  
COMMERCIAL AND RESIDENTIAL  
COUNTY OF SCHENECTADY  
TOWN OF NISKAYUNA  
STATE OF NEW YORK  
11 HERBERT DRIVE, LATHAM, N.Y. 12110  
PHONE: (518) 882-5772  
E-MAIL: info@aespllc.com  
NASCULUS COSTA, P.E.  
SCALE NONE  
DATE: DECEMBER 13, 2019

CONSTRUCTION DETAILS - 3  
KELT'S FARM SUBDIVISION  
ST. NO. 2538 RIVER ROAD  
TOWN OF NISKAYUNA  
STATE OF NEW YORK  
COUNTY OF SCHENECTADY  
SCALE NONE  
DATE: DECEMBER 13, 2019

SHEET NO.  
**DET-3**  
9 OF 9 19186-SITE10





DRAWING LIST	
NO.	DRAWING TITLE
A-1	COVER SHEET
A-2	SPECIFICATION SHEET
A-3	SPECIFICATION SHEET
A-4	BASEMENT & FOUNDATION PLAN
A-5	FIRST FLOOR PLAN
A-6	SECOND FLOOR PLAN / WINDOW SCH.
A-7	ROOF PLAN / TYP. WALL SECTION
A-8	FRONT ELEVATION
A-9	RIGHT SIDE ELEVATION
A-10	REAR ELEVATION
A-11	LEFT SIDE ELEVATION
A-12	BUILDING SECTIONS

DRAWING LIST	
NO.	DRAWING TITLE
A-13	BUILDING SECTIONS
A-14	BUILDING SECTIONS
A-15	BUILDING SECTIONS
A-16	BUILDING / FIRE WALL SECTIONS

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT PER TABLE 402.1.2 OF THE 2020 NY STRETCH ENERGY CODE.

CLIMATE ZONE 6	REQUIRED	PROVIDED
FENESTRATION U-FACTOR	.27	.27
SKYLIGHT U-FACTOR	.50	.50
CEILING R-VALUE	38/49	38
WOOD FRAMED WALL R-VALUE	21 or 20+5 or 13+10	21
BASEMENT WALL R-VALUE (CONT)	15/19	15/19
FLOOR R-VALUE	30	30
MASS WALL (CONT)	13/17	N/A
SLAB R-VALUE DEPTH	10,4	N/A
CRAWL SPACE WALL R-VALUE	15/19	N/A

DRAWINGS PLOTTED ON 11X17 PAPER ARE 1/2 SCALE FROM WHAT IS NOTED

NOTE: "Deviations from the drawings which are not material and do not effect the structural integrity of the home or substantially modify the plan will not be considered a breach of the contract or a violation of the terms and conditions of the contract material misrepresentation or variations from the drawings. The contract will be deemed totally fulfilled and completely discharged in these respects by the substantial compliance with the drawings.

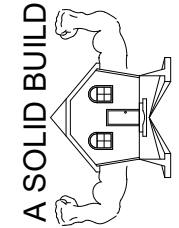
# DUPLEX

LOTS 13 & 14  
KELTS FARM ROAD  
NISKAYUNA N.Y. 12309  
6/9/2022 9:47:24 AM

Proudly Designed For:  
**DUPLEX**  
LOTS 13 & 14  
KELTS FARM ROAD  
NISKAYUNA N.Y. 12309

COVER SHEET		
Date: 6/9/2022 9:47:24 AM	Scale: As Noted	Drawn By: JRF

DESIGN & DRAFTING  
SERVICES  
1007 Elizabeth Street  
Mechanicville, N.Y. 12118  
Phone: 518-810-4461  
Email: asolidbuild@gmail.com



To the best of my knowledge, belief and professional judgment, such plans and specifications are in compliance with the New York State Energy Conservation Construction Code and the Residential Code of New York State

ENGINEERING APPROVAL

DRAWING NUMBER  
**A-1**

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FRONT PERSPECTIVE

GENERAL NOTES:

1. ALL EXTERIOR WALLS SHALL BE 2x6's @ 16" O.C. U.N.O.
2. ALL INTERIOR WALLS SHALL BE 2x4's @ 16" O.C. U.N.O.
3. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS
4. ALL FIRST FLOOR WINDOW R.O. HGTS. SHALL BE 7'-0" U.N.O.
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7. ALL SECOND FLOOR CLG. HGTS. SHALL BE 8'-1 1/8" U.N.O.
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9. ALL UNSPECIFIED HEADERS SHALL BE (2)2x10's MIN.
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11. DBL. JACK STUDS AT ALL LOAD BEARING LINTELS OVER 4'-0" LONG
12. ALL DOOR SHALL BE LOCATED 6" FROM ADJACENT WALL OR CENTERED IN THE SPACE U.N.O.
13. ALL WINDOWS SHALL BE SILVERLINE WINDOWS W/ GRILLES ON THE GLASS; DOUBLE HUNG, U.N.O. (OR EQUAL)
14. ALL WINDOWS WITH LOWEST PART OF THE CLEAR OPENING AT 24" OR LESS ABOVE FINISHED FLOOR, THAT IS MORE THEN 72" ABOVE GRADE REQUIRES WINDOW FALL PROTECTIVE DEVICES PER CODE. VERIFY ALL LOCATIONS PRIOR TO ORDER.
15. PROVIDE WHOLE HOUSE VENTILATION SYSTEM WITH A VENTILATION RATE OF 75 cfm.
16. PROVIDE 3RD PARTY BLDG ENV. INSPECTION PERFORMED BY AN APPROVED AGENCY
17. DUCTS SHALL BE SIZED PER MAHLE D
18. ERV or HRV INSTALLED PER MANUFACTURERS INSTRUCTIONS.
19. VERIFICATION BY AN APPROVED 3RD PARTY INSTALLED PERFORMANCE OF E/HRV

SYMBOL LEGEND

	CARBON MONOXIDE DETECTOR
	DOOR SIZE CALLOUT
	FANLIGHT; VENT TO EXT.
	SILVERLINE V3 SERIES MODEL #
	SMOKE DETECTOR
	HEAT ALARM
	(3) 2x SOLID BLOCKING
	EGRESS WINDOW
	SAFETY GLASS
	FALL PROTECTION

ABBREVIATIONS:

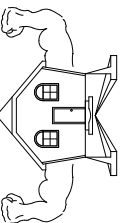
A.R.S.O.	ARCHED SHEET ROCK OPENING
ABV.	ABOVE
ALUM.	ALUMINUM
BD/BRD.	BOARD
BM.	BEAM
C.B.	CORNER BOARD
C.T.	CERAMIC TILE
CATH.	CATHEDRAL
CLG.	CEILING
CLO.	CLOSET
CONC.	CONCRETE
CONT.	CONTINUOUS
DET.	DETAIL
DIA.	DIAMETER
DN.	DOWN
DP.	DEEP
DR.	DOOR
DV.	DIRECT VENT
DW.	DISH WASHER
DW/GWB.	DRYWALL/GYPSUM WALL BOARD
DWG.	DRAWING
E.W.	EACH WAY
FLR.	FLOOR
FND.	FOUNDATION
FTG.	FOOTING
HGT(S)	HEIGHT(S)
HR.	HOUR
INSUL.	INSULATION
JST.	JOIST
LG.	LONG
LGT.	LIGHT
LOC.	LOCATION
LS.	LAZY SUSAN
M.T.	METAL THRESHOLD
MAX.	MAXIMUM
MIN.	MINIMUM
M'LAM.	MICROLAM
O.C.	ON CENTER
O.S.B.	ORIENTED STRAND BOARD
OV.	OVER
OH.	OVERHEAD
P.L.	POINT LOAD
P.T.	PRESSURE TREATED
PDR.	POWDER
PKT.	POCKET
PLT.	PLATE
R.	RADIUS or RISERS
R.O.	ROUGH OPENING
REF.	REFRIGERATOR
S.C.	SELF CLOSING
S.R.O.	SHEET ROCK OPENING
SHT.	SHEET
SQ.	SQUARE
STL.	STEEL
T&G.	TONGUE AND GROOVE
T.O.	TOP OF
TRANS.	TRANSOM
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
UNEX.	UNEXCAVATED
W.I.C.	WALK-IN-CLOSET
W/.	WITH
WD.	WOOD
WGT.	WEIGHT
WIND.	WINDOW
YR.	YEAR
#	POUND



DESIGN & DRAFTING SERVICES

1007 Elizabeth Street  
Mechanicville, N.Y. 12118  
Phone: 518-810-4461  
Email: asolidbuild@gmail.com

A SOLID BUILD



To the best of my knowledge, belief and professional judgment, such plans and specifications are in compliance with the New York State Energy Conservation Construction Code and the Residential Code of New York State

ENGINEERING APPROVAL

DRAWING NUMBER

A-8

PROUDLY DESIGNED FOR:  
**DUPLEX**  
LOTS 13 & 14  
KELTS FARM ROAD  
NISKAYUNA N.Y. 12309

FRONT ELEVATION

Date: 6/9/2022 9:47:55 AM  
Scale: As Noted  
Drawn By: JRF

NOTE: Deviations from the drawings which are no material and do not effect the structural integrity of the home will not be considered a breach of the contract or a violation of the terms and conditions of the contract. Material misrepresentation or variation from the drawings. The contract will be deemed totally fulfilled and completely discharged in these respects by substantial compliance with the drawings

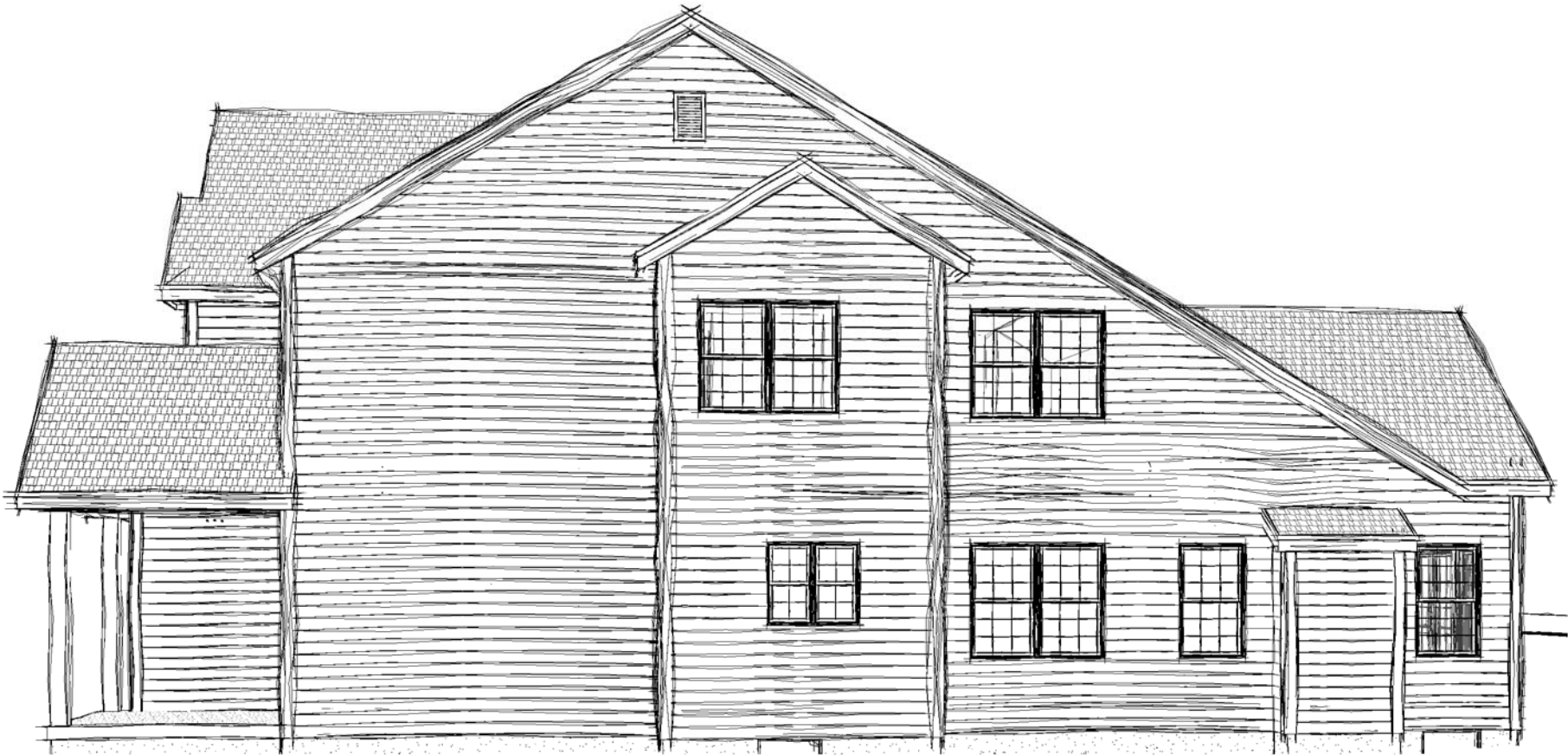


SYMBOL LEGEND

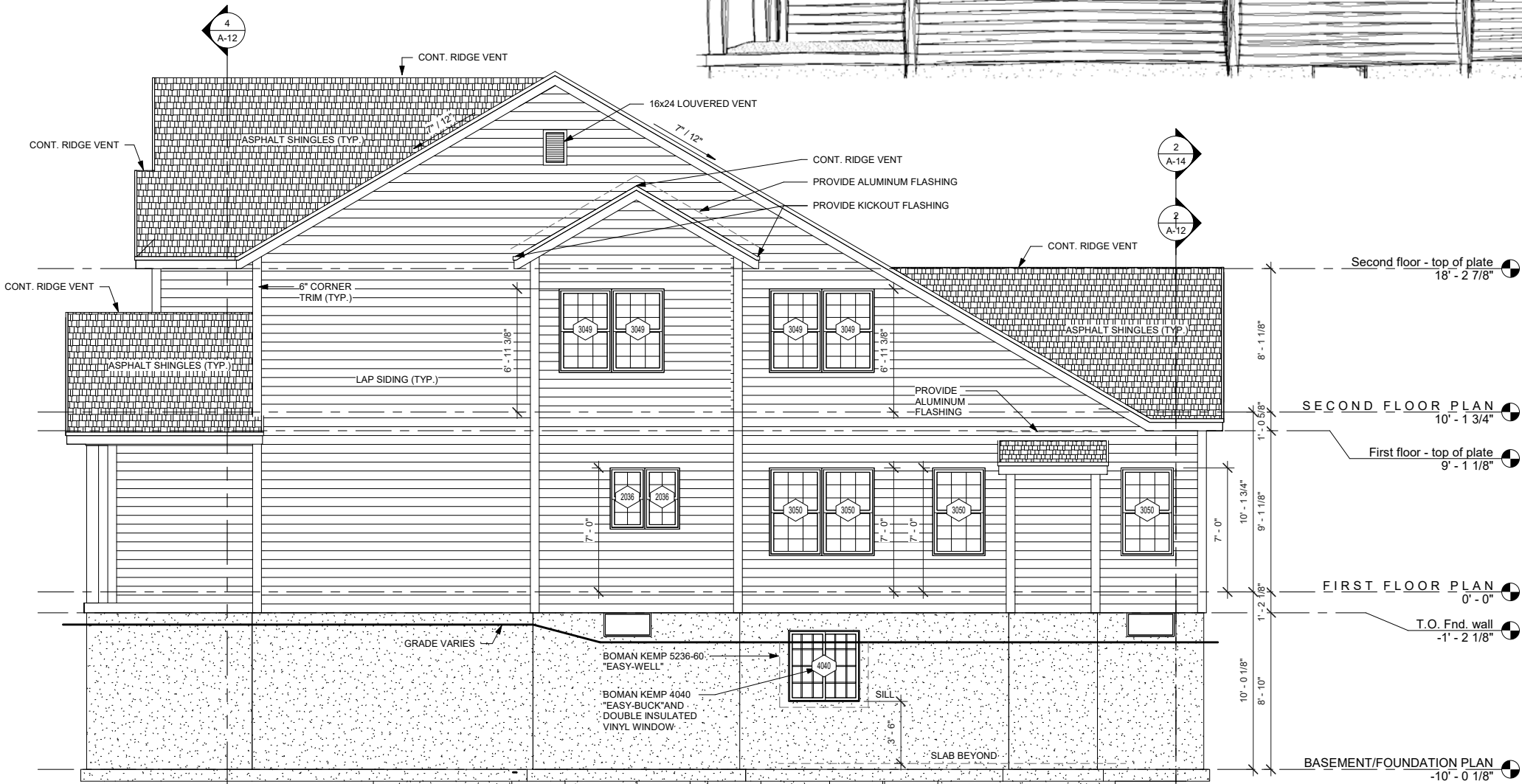
	CARBON MONOXIDE DETECTOR
	DOOR SIZE CALLOUT
	FANLIGHT; VENT TO EXT.
	SILVERLINE V3 SERIES MODEL #
	SMOKE DETECTOR
	HEAT ALARM
	(3) 2x SOLID BLOCKING
	EGRESS WINDOW
	SAFETY GLASS
	FALL PROTECTION

GENERAL NOTES:

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2. ALL INTERIOR WALLS SHALL BE 2x4's @ 16" O.C., U.N.O.
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4. ALL FIRST FLOOR WINDOW R.O. HGTS. SHALL BE 7'-0" U.N.O.
5. ALL SECOND FLOOR WINDOW R.O. HGTS. SHALL BE 6'-11 3/8" U.N.O.
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15. PROVIDE WHOLE HOUSE VENTILATION SYSTEM WITH A VENTILATION RATE OF 75 cfm.
16. PROVIDE 3RD PARTY BLDG ENV. INSPECTION PERFORMED BY AN APPROVED AGENCY
17. DUCTS SHALL BE SIZED PER MANUAL D
18. ERV or HRV INSTALLED PER MANUFACTURERS INSTRUCTIONS.
19. VERIFICATION BY AN APPROVED 3RD PARTY INSTALLED PERFORMANCE OF EHRV



RIGHT SIDE PERSPECTIVE



Prudly Designed For:  
**DUPLEX**  
LOTS 13 & 14  
KELTS FARM ROAD  
NISKAYUNA N.Y. 12309

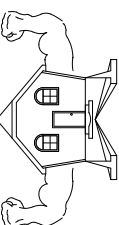
RIGHT SIDE ELEVATION

Date: 6/9/2022 9:47:59 AM  
Scale: As Noted  
Drawn By: JRF

DESIGN & DRAFTING SERVICES

1007 Elizabeth Street  
Mechanicville, N.Y. 12118  
Phone: 518-810-4461  
Email: asolidbuild@gmail.com

A SOLID BUILD



To the best of my knowledge, belief and professional judgment, such plans and specifications are in compliance with the New York State Energy Conservation Construction Code and the Residential Code of New York State

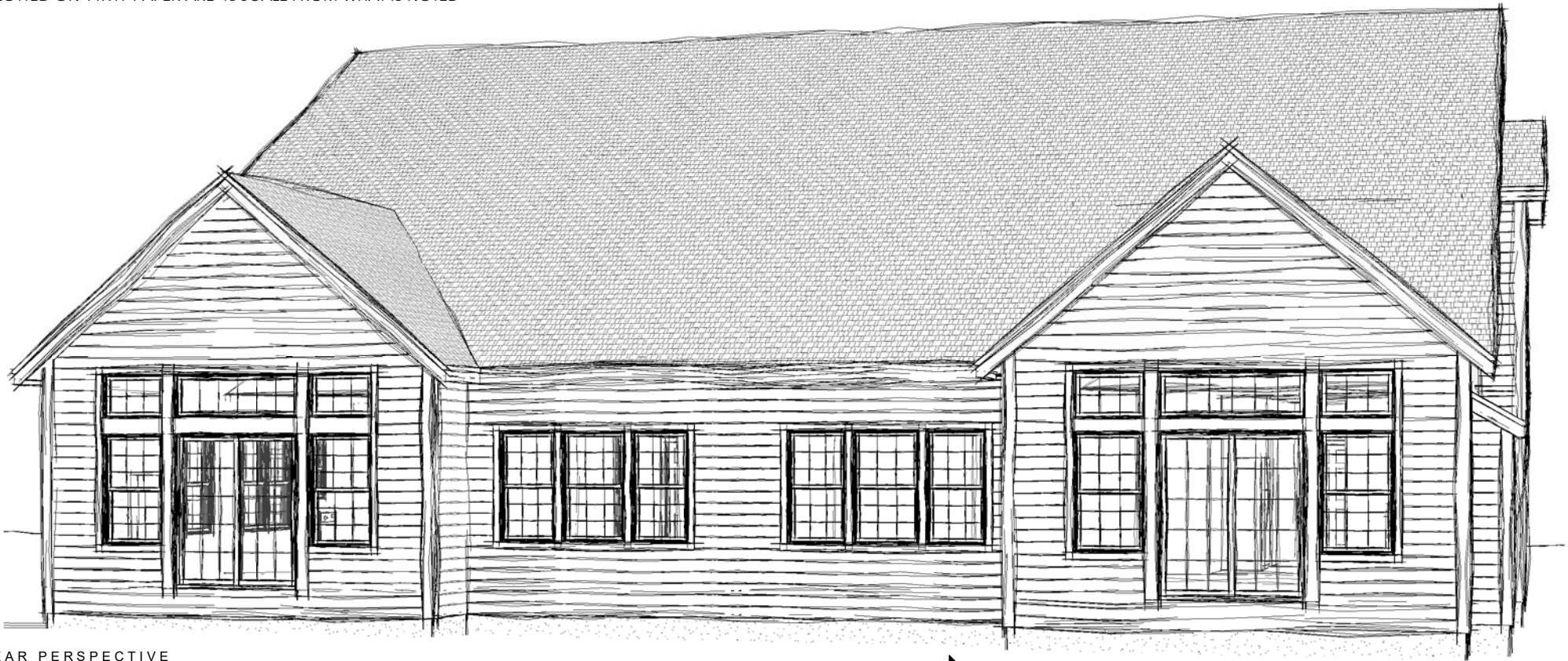
ENGINEERING APPROVAL

DRAWING NUMBER

A-9

NOTE: Deviations from the drawings which are not material and do not affect the structural integrity of the home or substantially modify the plan will not be considered a breach of the contract or a violation of the terms and conditions of the contract. Material misrepresentation or variation from the drawings. The contract will be deemed totally, fulfilled and completely discharged in these respects by substantial compliance with the drawings





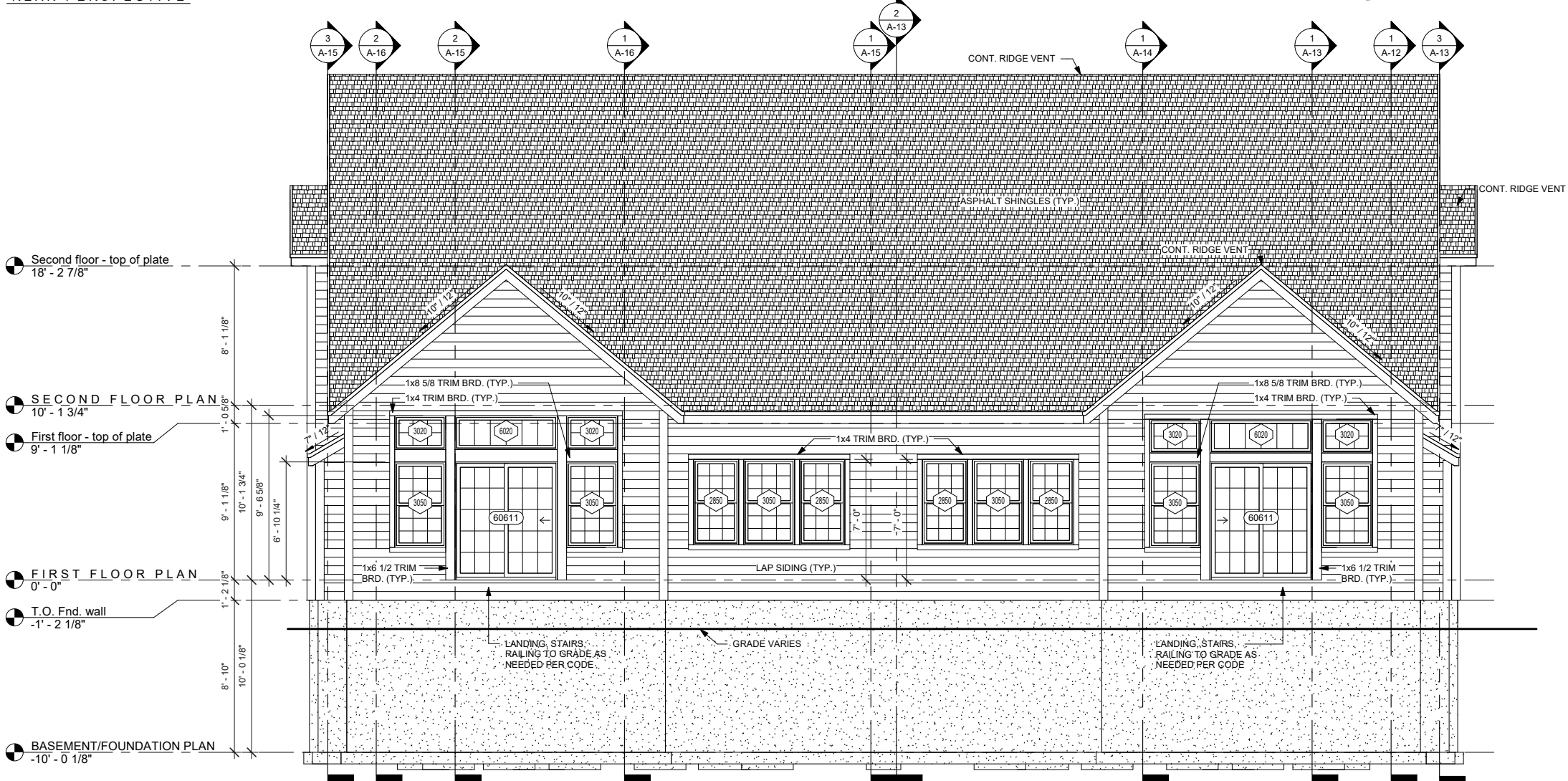
REAR PERSPECTIVE

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SYMBOL LEGEND

	CARBON MONOXIDE DETECTOR
	DOOR SIZE CALLOUT
	FAN/LIGHT; VENT TO EXT.
	SILVERLINE V3 SERIES MODEL #
	SMOKE DETECTOR
	HEAT ALARM
	(3) 2x SOLID BLOCKING
	EGRESS WINDOW
	SAFETY GLASS
	FALL PROTECTION



REAR ELEVATION  
1/4" = 1'-0"

Proudly Designed For:

DUPLEX

LOTS 13 & 14

KELTS FARM ROAD

NISKAYUNA N.Y. 12309

REAR ELEVATION

Drawn By:

JRF

Scale:

As Noted

Date:

6/9/2022 9:48:08 AM

DESIGN & DRAFTING SERVICES

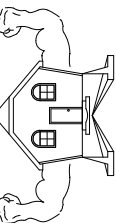
1007 Elizabeth Street

Mechanicville, N.Y. 12118

Phone: 518-810-4461

Email: asolidbuild@gmail.com

A SOLID BUILD



To the best of my knowledge, belief and professional judgment, such plans and specifications are in compliance with the New York State Energy Conservation Construction Code and the Residential Code of New York State

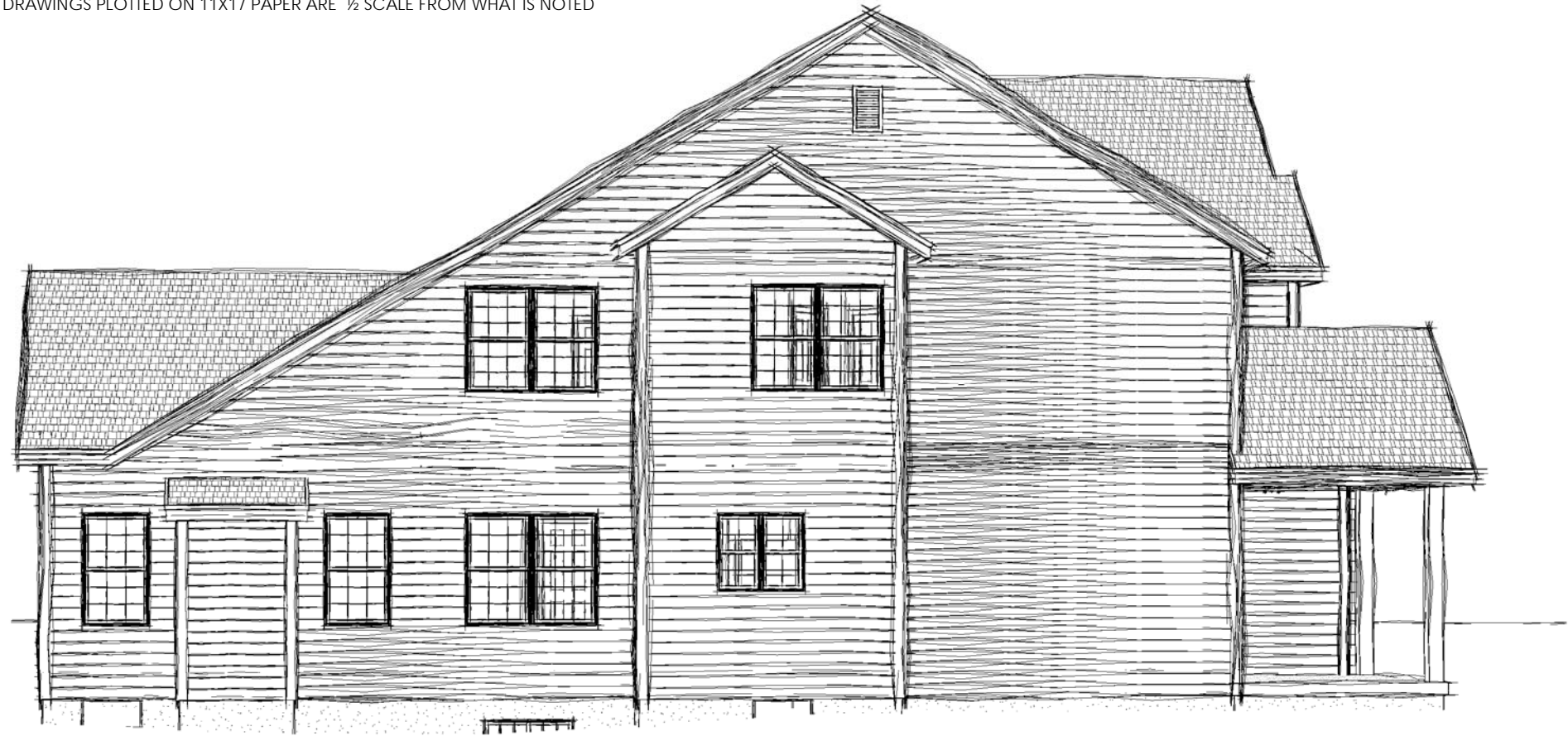
ENGINEERING APPROVAL

DRAWING NUMBER

A-10

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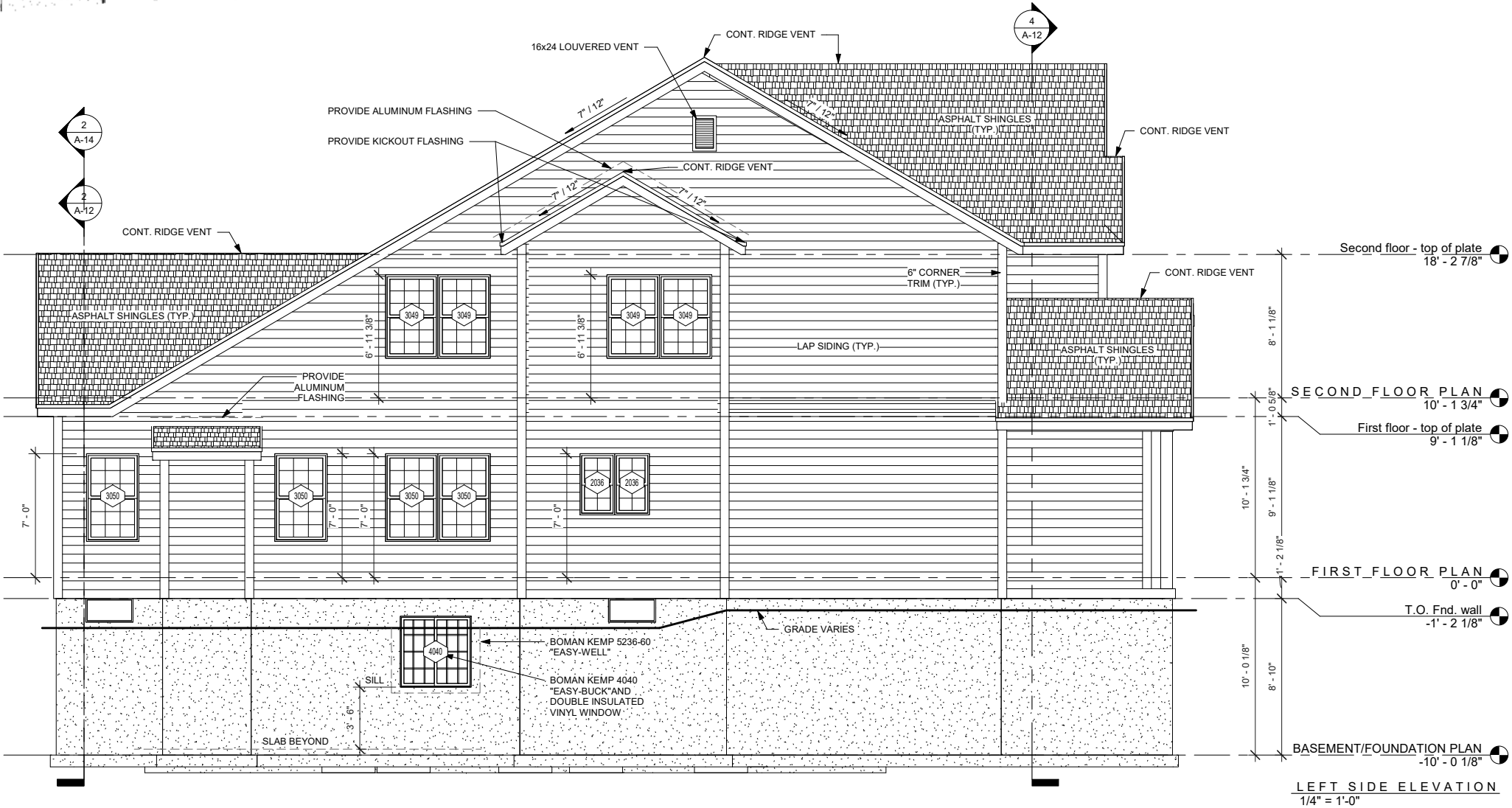
LEFT SIDE PERSPECTIVE

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	EGRESS WINDOW
	SAFETY GLASS
	FALL PROTECTION



Proudly Designed For:

DUPLEX

LOTS 13 & 14

KELTS FARM ROAD

NISKAYUNA N.Y. 12309

LEFT SIDE ELEVATION

Drawn By:

JRF

Scale:

As Noted

Date:

6/9/2022 9:48:10 AM

DESIGN & DRAFTING SERVICES

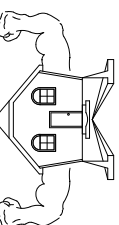
1007 Elizabeth Street

Mechanicville, N.Y. 12118

Phone: 518-810-4461

Email: asolidbuild@gmail.com

A SOLID BUILD



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ENGINEERING APPROVAL

DRAWING NUMBER

A-11

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## **Advance Engineering & Surveying, PLLC**

Consulting in: Civil & Environmental Engineering • Land Surveying • Land Development  
11 Herbert Drive  
Latham, N.Y. 12110  
Phone: (518) 698-3772  
Email:ncostape@gmail.com

Nicholas Costa, PE  
Robert D. Davis, Jr., LS

### **Legal Description Lands to be Dedicated to The Town of Niskayuna for Conservation Purposes ( portion of Kelt's Farm Subdivision )**

All that piece or parcel of land situate, lying and being located on the westerly side of River Road, in the Town of Niskayuna, County of Schenectady, State of New York, being more particularly bounded and described as follows:

Beginning at a point in the westerly road boundary of River Road at its intersection with the division line between lands now or formerly of Bisailon Properties, LLC as described in Instrument No. R2012-740 on the north and lands to be dedicated to the Town of Niskayuna as open space (as shown on Rosendale Estates Section 12B subdivision plans); thence from said point of beginning along said division line and along the division line between lands of the aforementioned Bisailon Properties, LLC on the north and lot no.'s 9, 11, 13, 15 and 17 (all as shown on Rosendale Estates Section 12B subdivision plans) on the south North 72°40'50" West, 710.59 feet to a point in the division line between the aforementioned lands of Bisailon Properties, LLC on the east and lands known as Lot No. 5 (as shown on Rosendale Estates Section 14 subdivision plans) on the west; thence along said division line and along the division line between the aforementioned lands of Bisailon Properties, LLC on the east and lands known as lot no.'s 9, 13, 17, 21, 25, 4104 and 4109 (all as shown on Rosendale Estates Section 14 subdivision plans) on the west and lands now or formerly of Francis N. Lee as described in Instrument No. 201006174 on the west the following two (2) courses and distances:

- 1) North 17°13'20" East, 1,040.93 feet to a point; thence
- 2) North 18°04'15" East, 74.69 feet to a point therein; thence through the aforementioned lands of Bisailon Properties, LLC the following two (2) courses and distances:
  - 1) South 71°55'41" East, 149.88 feet to a point; thence
  - 2) North 71°34'48" East, 163.79 feet to a point in the aforementioned westerly road boundary of River Road; thence along said westerly road boundary of River Road the following six (6) courses and distances:
    - 1) South 35°32'25" East, 145.45 feet to a point; thence
    - 2) South 09°24'20" East, 142.57 feet to a point; thence
    - 3) South 02°34'00" East, 210.88 feet to a point; thence
    - 4) South 03°52'10" West, 133.00 feet to a point; thence
    - 5) South 16°02'20" West, 52.17 feet to a point; thence
    - 6) South 01°34'40" West, 73.58 feet to a point therein; thence through the aforementioned lands of Bisailon Properties, LLC the following twenty-three (23) courses and distances:
      - 1) South 82°43'12" West, 291.29 feet to a point of non-tangent curvature; thence
      - 2) Along an arc of a curve to the right having a radius of 220.00 feet, an arc length of 68.13 feet and an included angle of 17°44'35" to a point of tangency; thence
      - 3) North 10°27'47" East, 65.54 feet to a point; thence
      - 4) South 79°32'13" East, 91.75 feet to a point; thence
      - 5) South 88°25'17" East, 176.70 feet to a point; thence
      - 6) North 16°02'23" East, 53.69 feet to a point; thence
      - 7) North 03°52'06" East, 131.37 feet to a point; thence



- 8) North 02°34'04" West, 209.72 feet to a point; thence
- 9) North 09°24'20" West, 139.65 feet to a point; thence
- 10) North 69°26'56" West, 79.34 feet to a point; thence
- 11) North 87°15'11" West, 98.82 feet to a point; thence
- 12) South 62°48'16" West, 130.39 feet to a point; thence
- 13) South 17°13'20" West, 206.84 feet to a point; thence
- 14) South 34°03'13" West, 65.03 feet to a point; thence
- 15) South 57°36'15" East, 151.01 feet to a point; thence
- 16) South 32°23'45" West, 31.85 feet to a point of curvature; thence
- 17) Along an arc of a curve to the left having a radius of 280.00 feet, an arc length of 107.18 feet and an included angle of 21°55'58" to a point of tangency; thence
- 18) North 10°27'47" East, 77.86 feet to a point; thence
- 19) North 79°32'13" West, 175.58 feet to a point; thence
- 20) South 01°26'05" East, 189.55 feet to a point; thence
- 21) South 22°13'47" East, 192.58 feet to a point; thence
- 22) South 50°21'47" East, 192.68 feet to a point; thence
- 23) South 76°56'55" East, 259.73 feet to a point in the aforementioned westerly road boundary of River Road; thence along said westerly road boundary of River Road the following two (2) courses and distances:
  - 1) South 03°11'01" West, 49.26 feet to a point; thence
  - 2) South 00°35'50" West, 31.18 feet to the point and place of beginning and containing 6.31 acres of land more or less.

Reference is made to a plan titled "Survey of lands of Warren & Marie Kelts to be conveyed to Bisailon Properties, LLC, Town of Niskayuna, Schenectady County, New York", dated November 25, 2015, last revised May 16, 2019, as prepared by Gilbert VanGuilder Land Surveyor, PLLC

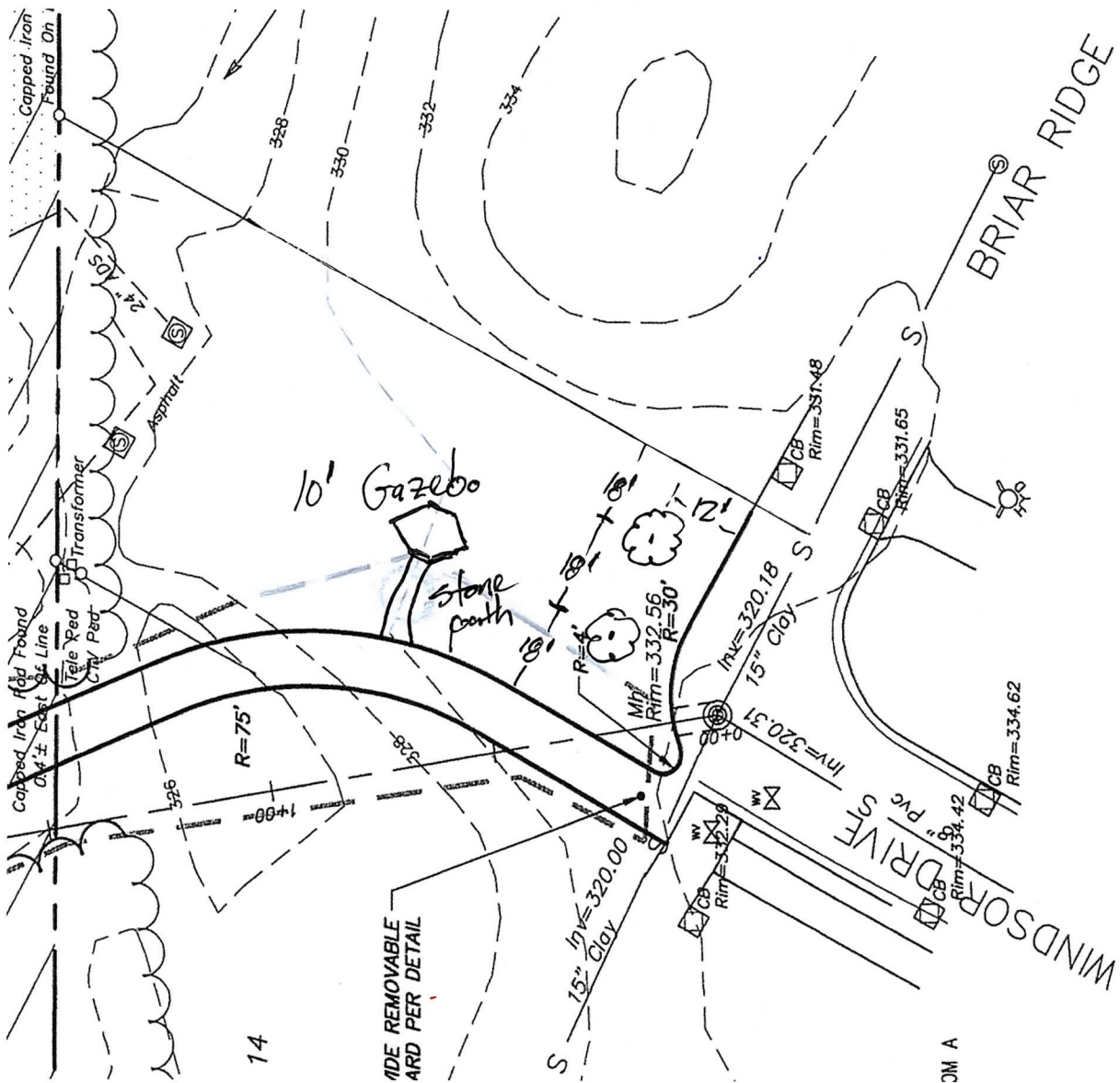
Subject to all rights, easements, covenants and restrictions of record.

Subject to any state of facts an up to date Abstract of Title of the subject premises would disclose.



## Proposal for end of Windsor Drive

- 1) 10 ft. Gazebo placed where cone is located (approximately in line with garage side door of the adjacent home) There will be a crushed stone path leading to the gazebo. The gazebo will have a display case with the history of Kelts Farm.
- 2) The roadway has been removed and it has been replaced with topsoil. It has been seeded and it should be left as an un-mowed field.
- 3) Bisailon Properties will provide high quality topsoil and perennial flower seeds to volunteers to plant flower beds.
- 4) There will be (2) 1 ½" Maples planted 12 ft. from the end of Windsor spaced 18 ft. apart







**STARTING AT \$550k**

**10 Single Family & 7 Duplex Townhomes**  
**Niskayuna School District**  
**Forever Wild Buffer With A Walking & Bike Path**  
[KeltsFarm.com](http://KeltsFarm.com)



**Karl Sindel**  
*Licensed Real Estate Salesperson*  
C: 518-894-6095  
[Karl.Sindel@CBPP.com](mailto:Karl.Sindel@CBPP.com)

**Caitlin Vallario**  
*Licensed Real Estate Salesperson*  
C: 518-542-0020  
[Caitlin.Vallario@CBPP.com](mailto:Caitlin.Vallario@CBPP.com)



1760 Chase Street | Niskayuna, NY 12059  
Information contained herein is deemed reliable, but not guaranteed. Designs shown with optional features or exteriors. Room sizes and square footage are approximate. Prices may change without notice.





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VII. 4

MEETING DATE: 7/11/2022

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**ITEM TITLE:** RESOLUTION: 2022-16: A Resolution for site plan approval for the construction of a new 16,000 sq. ft. building requiring an area variance for building height at GE Global Research at 1 Research Circle.

**PROJECT LEAD:** David D'Arpino

**APPLICANT:** Corrie Whalen, employee / agent for the owner

**SUBMITTED BY:** Laura Robertson, Town Planner

---

**REVIEWED BY:**

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

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**SUMMARY STATEMENT:**

Corrie Whalen, acting on behalf of the General Electric Company, submitted an Application for Site Plan Review for a proposed new building on the campus at the intersection of KW Rd. and Discovery Drive. The proposed building is approximately 16,000 sq. ft. with a footprint of 80' wide x 220' long x 55' high.

**BACKGROUND INFORMATION**

The 522 acre property at 1 Research Circle lies within I-R Research and Development zoning district.

A 12-page document package was submitted with the application. Eight (8) of the pages were entitled "GE Cryo Schenectady, NY" by American Buildings Company dated 2/21/22 with no subsequent revisions. All 12 pages were stamped "Received Feb 23 2022 Planning Office Niskayuna, NY".

Niskayuna Zoning Code Section 220-10 District Regulations H Research and Development District (1) Permitted principal uses includes: (a) Research, experimental and testing laboratories. The main Global Research and Development building is therefore a permitted principal use in the I-R zoning district. As proposed the new building has a maximum height of 55 feet above finished grade. Therefore a variance of 20 feet (55 – 35 = 20) of building height was required and granted by the Zoning Board of Appeals.



2/28/22 Planning Board (PB) meeting – Mr. Whalen presented the project to the Board and described GE's need for the building. He stated that once the building is up and running two existing buildings will be demolished. Mr. Whalen disclosed that liquid Nitrogen will be delivered to the building on a regular basis and that there are no hazardous wastes or byproducts produced by the equipment that will be operated within the building. He also noted that no additional parking area will be added, the existing parking lot will actually be reduced. The Board asked for a digital rendering showing how the proposed building would appear from public roads and called for a recommendation to the Zoning Board of Appeals (ZBA) to be made at the 3/14/22 PB meeting.

3/2/22 Conservation Advisory Council (CAC) meeting – Ms. Robertson described the project to the CAC. Several questions were raised that were forwarded on to and answered by Mr. Whalen. The CAC wanted to know if parking would be added, the building could be put on existing impervious surfaces, whether green practices could be incorporated into the site plan, what the impact to Town utilities would be, and whether or not there would be an VOC emissions. GE responded that no parking would be added and in fact some would be reduced, they couldn't put the building on existing impervious surfaces, they would incorporate green practices into their project, there would be no net impact to Town utilities, and there would be no VOC emissions.

3/14/22 Planning Board (PB) meeting – The Board discussed the project and made a recommendation to the Zoning Board of Appeals (ZBA) with a vote of 6 – 0 to grant the 20 ft. area variance for the height of the building. They requested better drawings going forward.

3/16/22 Architectural Review Board (ARB) meeting – The ARB reviewed the images that were shown at the 3/14/22 PB meeting and discussed the project during their videoconference on 3/16/22. The ARB made the following suggestions.

- The design of the new building is to match the existing buildings on site
- The applicant is to participate in a review session with the ARB on 3/23/22

3/16/22 Zoning Board of Appeals (ZBA) meeting – The ZBA reviewed the project at their regularly scheduled meeting on 3/16/22 and granted the area variance for 20 ft. of additional height (55 ft. total height).

3/23/22 Architectural Review Board (ARB) videoconference – The ARB held a 30 minute videoconference with Mr. Whalen to familiarize him with the documentation package that must be submitted for ARB review. It was a very productive session. Mr. Whalen indicated that the design of the building is evolving and changing quickly. Both parties agreed to schedule a follow up videoconference in a week or two.

3/28/22 Planning Board (PB) meeting – the PB decided that a PB public hearing is not necessary for the proposed project because the ZBA held a public hearing (with mailout) as part of their review process and there were no comments or concerns from residents. Mr. Whalen updated the Board regarding design activities that are underway. He stated that updated design drawings will be available soon. The Planning Office (PO) noted that they will review the project with the Fire Department.

Mr. Whalen provided a 4-page drawing set to the PO entitled "GE Global Research Layout, Lighting & Cryogenic Facility Plan" by ABD Engineers, LLP dated 5/6/22 with no subsequent revisions. The PO has obtained quotes for TDE services.

A tentative resolution for site plan approval is included in the meeting packet.



RESOLUTION NO. 2022-16

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 11TH DAY OF JULY 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

One of the purposes of the meeting was to take action on an application for site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by \_\_\_\_\_,  
whom moved its adoption, and seconded by \_\_\_\_\_.

WHEREAS, Corrie Whalen, of the General Electric Company, submitted an Application for Site Plan Review for the construction of a new 16,000 sq. ft. building at 1 Research Circle, and

WHEREAS, the site plan is shown on a 4-page drawing set entitled "Cryogenic Facility Plan, GE Global Research" by ABD Engineers, LLP 411 Union Street Schenectady, NY 12305 dated 6/6/2022 with no subsequent revisions, and

WHEREAS, the zoning classification of the property is I-R Research and Development, and

WHEREAS, research, experimental and testing laboratories are permitted principal uses in the I-R district and the main Global Research and Development building is therefore a permitted principal use, and

WHEREAS, Niskayuna Zoning Code Article V Supplementary Regulations, Section 220-17, Height Regulations, A, states "No building or structure shall exceed a height of



35 feet above the average finished grade adjoining the building unless otherwise specified in this chapter...", and

WHEREAS, as proposed the new building has a maximum height of 55 feet above finished grade therefore requires an area variance of 20 feet ( $55 - 35 = 20$ ) of building height, and

WHEREAS, the Zoning Board of Appeals (ZBA) reviewed and approved an application for a 20 foot area variance for building height at their regularly scheduled meeting on March 16, 2022, and

WHEREAS, the Planning Board shall refer this project to the Niskayuna Architectural Review Board (ARB) for review and approval of the site plan drawings and colored elevation view images, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, the site plan drawing set, Storm Water Management Report and SWPPP will be reviewed and approved by a Town Designated Engineer (TDE) prior to the preconstruction meeting, and

WHEREAS, the Environmental Assessment Form (EAF) for this project was referred to the Niskayuna Conservation Advisory Committee (CAC) for their review and on April 6, 2022 such Council recommended that a negative declaration be prepared, and

WHEREAS, the Planning Board, acting in accordance with the State Environmental Quality Review regulations and local law, has contacted all involved agencies, and they have concurred with the Planning Board that it should assume the position of lead agency for this project.

WHEREAS, the Planning Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon.

NOW THEREFORE, be it

RESOLVED that this Planning Board hereby determines that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative declaration;

and be it



FURTHER RESOLVED, that this Planning Board and Zoning Commission finds that the site plan application referenced above meets the requirements of the Zoning Code and hereby approves this site plan with the following conditions.

1. The aesthetics of the building, including windows and exterior finishes, were an important part of the project review to mitigate the height and bulk of the building. Therefore, prior to issuance of a building permit the final building design shall be reviewed and approved by the Niskayuna Architectural Review Board (ARB).
2. Screening of the building to River Road homes and to the Mohawk Hudson Bike Hike Trail was an important part of the project review to mitigate the view and overall height impacts of the building. Therefore, prior to issuance of a building permit the final tree planting / screening plan shall be reviewed and approved by the Tree Council, and a final building landscaping plan shall be submitted for review and approval prior to final CO of the building.
3. Prior to site disturbance, the applicant shall participate in a preconstruction meeting with the Town of Niskayuna and shall address any concerns raised by the Town or the Town Designated Engineer (TDE).
4. Prior to the preconstruction meeting, any engineering and drainage concerns will be addressed to the satisfaction of the Town Superintendent of Water, Sewer and Engineering, including review and approval of a SWPPP.
5. Prior to the preconstruction meeting, any questions or concerns raised by the Town Designated Engineer will be addressed by the applicant in a formal letter to the Town.
6. Prior to site disturbance, the plans shall be modified to reflect agreed upon decisions of the preconstruction meeting, if any, and distributed as required to the Town. Final site plans shall be submitted to the Town labeled "For Construction."
7. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer, and Engineering and shall remain in place until such time as natural vegetation has been successfully established.

Upon roll call the foregoing resolution was adopted by the following vote:



KEVIN A. WALSH, CHAIRMAN  
GENGHIS KHAN  
MICHAEL A. SKREBUTENAS  
CHRIS LAFLAMME  
PATRICK MCPARTLON  
DAVID D'ARPINO  
DACI SHENFIELD  
LESLIE GOLD  
NANCY STRANG

The Chairman declared the same \_\_\_\_\_.





SITE LOCATION

NOTES:

1. BASE MAPPING PREPARED FROM MARCH 2022 FIELD SURVEY.
2. THE PLANS SHOW SOME KNOWN STRUCTURE, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST IN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE ARE MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. 48 HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.F.P.O. (1-800-962-7962), TOLL FREE.

MAP REFERENCES:

1. "SITE UTILITY PLAN AREA-1" PREPARED BY SMITH, HINCHMAN & GRYLLS ASSOCIATES, INC." AND DATED NOVEMBER 13, 1980.
2. "SITE UTILITY PLAN AREA-2" PREPARED BY SMITH, HINCHMAN & GRYLLS ASSOCIATES, INC." AND DATED APRIL 7, 1980.
3. "SANITARY FORCEMAIN PROFILE" PREPARED BY SMITH, HINCHMAN & GRYLLS ASSOCIATES, INC." AND DATED JULY 7, 1980.
4. "ELECTRICAL SITE PLAN" PREPARED BY CHA CONSULTING, INC., DATED MAY 6, 2016 AND LAST REVISED MAY 25, 2016.
5. "MEDIUM VOLTAGE ELECTRIC DISTRIBUTION SITE PLAN" PREPARED BY STEPHEN T. DEAN, P.E., P.C., DATED APRIL 4, 2022.

OWNER/APPLICANT:  
GENERAL ELECTRIC COMPANY  
P.O. BOX 4900  
DEPT. 201  
SCOTTSDALE, AZ 85261  
TAX MAP #: 40.00-1-45.3

REVISION		BY	DATE
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TOWN OF NISKAYUNA		COUNTY OF SCHENECTADY	
STATE OF NEW YORK			
ENGINEERS, LLP			
411 Union Street Schenectady, NY 12305 518-377-0315 Fax 518-377-0379 www.abdeng.com			
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GRADING & UTILITIES PLAN  
CRYOGENIC FACILITY  
GE GLOBAL RESEARCH  
RIVER ROAD

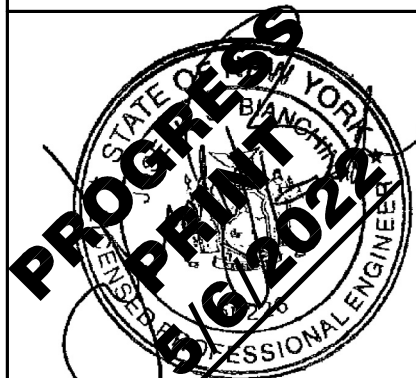
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- NOTES:
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- THE OWNER AND CONTRACTOR SHALL COMPLY WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THIS PROJECT AND AS A MINIMUM IMPLEMENT THE FOLLOWING EROSION AND SEDIMENT CONTROL MEASURES:
- CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
  - INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLANS OR DETAILS AND AS NEEDED DURING THE GENERAL COURSE OF WORK.
  - SOIL EROSION WILL OCCUR AFTER EVERY RAINFALL UNTIL TURF IS ESTABLISHED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR EROSION AFTER EVERY RAINFALL. FAILURE TO REPAIR MINOR EROSION WILL RESULT IN MAJOR EROSION AND POSSIBLY PAVEMENT AND STRUCTURE FAILURE. PRIOR TO SITE DISTURBANCE, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN - PLACE.
  - TEMPORARY INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE PADS AT ALL LOCATION WHERE CONSTRUCTION VEHICLES WILL ENTER ONTO PUBLIC STREETS. ALL PUBLIC STREETS TO BE INSPECTED AND MAINTAINED CLEAR OF SOIL ACCUMULATION.
  - EXCAVATION WORK CARRIED OUT DURING PERIODS OF INCLEMENT WEATHER SHALL REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS MAY BE NECESSARY BASED ON CONDITIONS.
  - ADDITIONAL EROSION CONTROL METHODS INCLUDING SOIL STABILIZATION MATS, PLACEMENT OF STONE, PLACEMENT OF SOIL MAY BE REQUIRED DUE TO CLIMATIC CONDITIONS (EXCESS RAIN, ETC.)
  - STABILIZATION OF DISTURBANCE AREAS TO BE PAVED BY COMPACTION AND APPLICATION OF SUBBASE WITHIN ONE MONTH AFTER UTILITIES ARE INSTALLED.
  - VEGETATIVE STABILIZATION OF DISTURBED AREAS TO BE SEEDED INCLUDING R.O.W. AND EASEMENTS WITHIN TWO WEEKS OF FINAL GRADING.
  - PLANS SHOW TEMPORARY SOIL EROSION AND STABILIZATION MEASURES WHICH SHALL BE MAINTAINED UNTIL ALL AREAS ARE STABILIZED.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO SEED AND MULCH (OR HYDROSEED) AND TO PROVIDE AN ADEQUATE WATER SOURCE AND HOSES FOR GERMINATION OF THE SEED.
  - IF THE CONTRACTOR ELECTS NOT TO INSTALL IMPORTED TOPSOIL OR SPREAD TOPSOIL FROM THE SITE THE SEEDING MAY NOT ESTABLISH ITSELF OR MAY BE SUBJECT TO STRESS FAILURE. THE OWNER SHALL TAKE COMPLETE RESPONSIBILITY FOR ESTABLISHING THE LAWN BY PROPER WATER AND FERTILIZING.

OWNER/APPLICANT:  
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SCOTTSDALE, AZ 85261  
TAX MAP #: 40.00-1-45.3

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6/6/2024

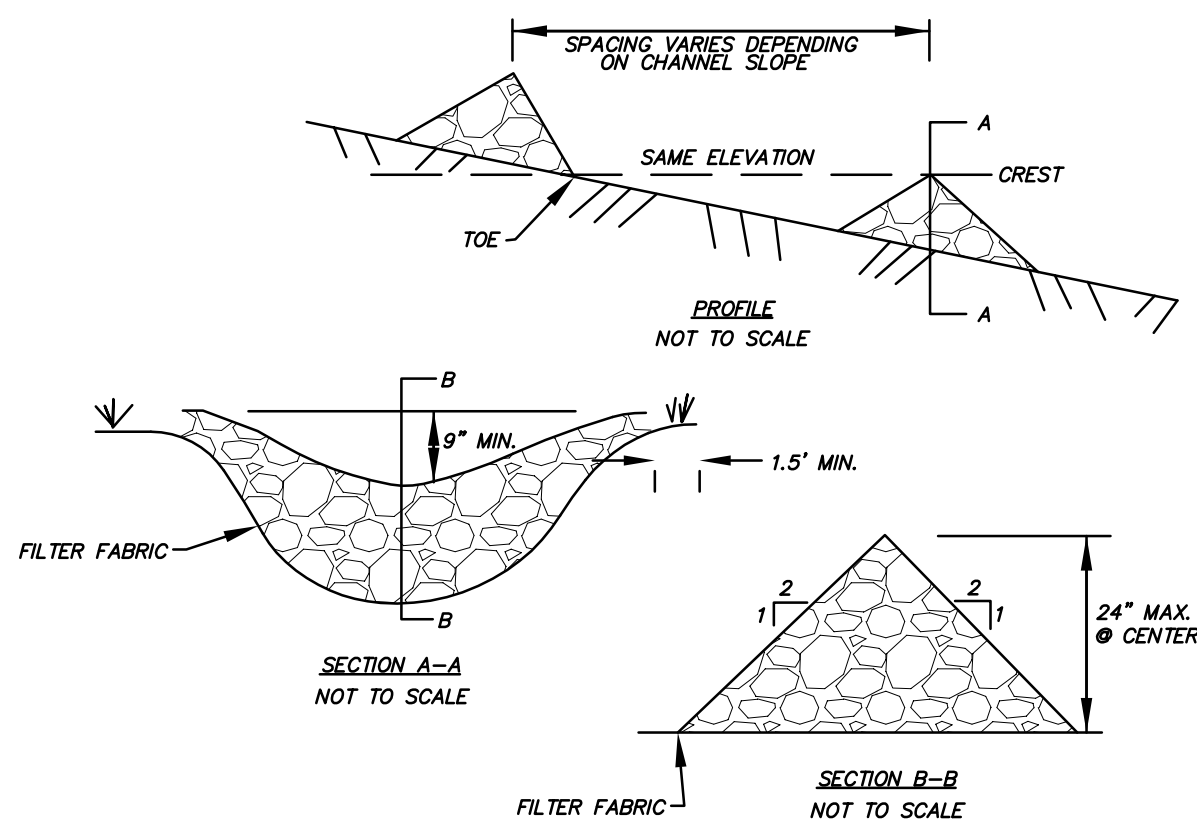
JOSEPH A. BIANCHINI, P.E.  
N.Y.S. LICENSE NO. 50228

EXISTING CONDITIONS & EROSION & SEDIMENT CONTROL PLAN  
CRYOGENIC FACILITY  
**GE GLOBAL RESEARCH**  
RIVER ROAD

TOWN OF NISKAYUNA		COUNTY OF SCHENECTADY	
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<b>ABD ENGINEERS, LLP</b>			
411 Union Street Schenectady, NY 12305 518-377-0315 Fax 518-377-0379 www.abdeng.com			

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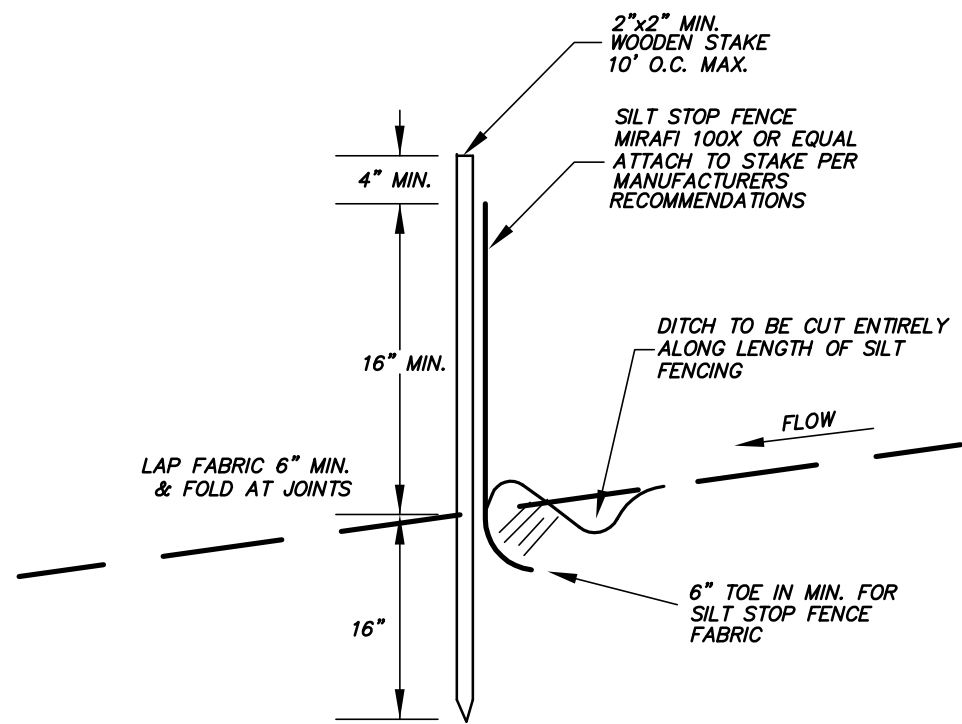


#### CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES & LOCATIONS SHOWN ON PLAN.
  2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
  3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
  4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
  5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.
- STONE SIZE: USE GRADED STONE 2 TO 15 INCHES IN SIZE (NYSOT LIGHT STONE FILL MEETS THESE REQUIREMENTS).
- MAXIMUM DRAINAGE AREA: 2 ACRES

#### STONE CHECK DAM

NO SCALE

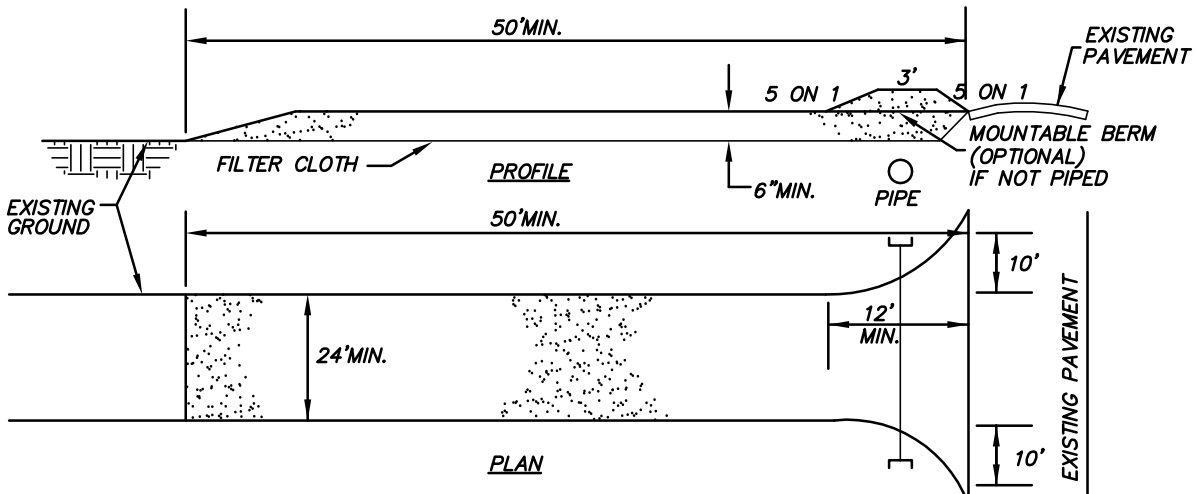


#### SILT FENCE DETAIL

NOT TO SCALE

#### CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOTAF, ENVROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

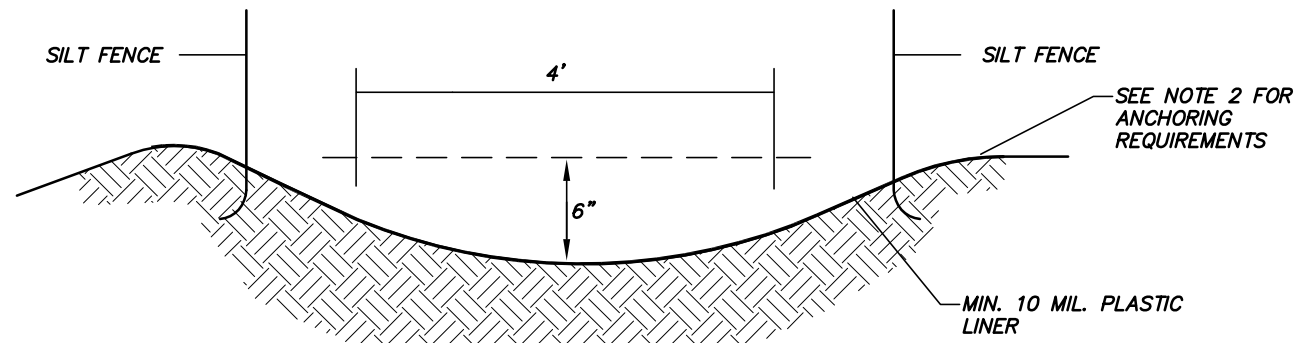


#### COMMERCIAL SITE STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

#### CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 1"-4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - NOT LESS THAN THE FULL DRIVEWAY WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24" MINIMUM IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT.
8. WASHING - WHEELS SHALL BE CLEANED WHEN NECESSARY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



#### CONCRETE WASHOUT AREA DETAIL

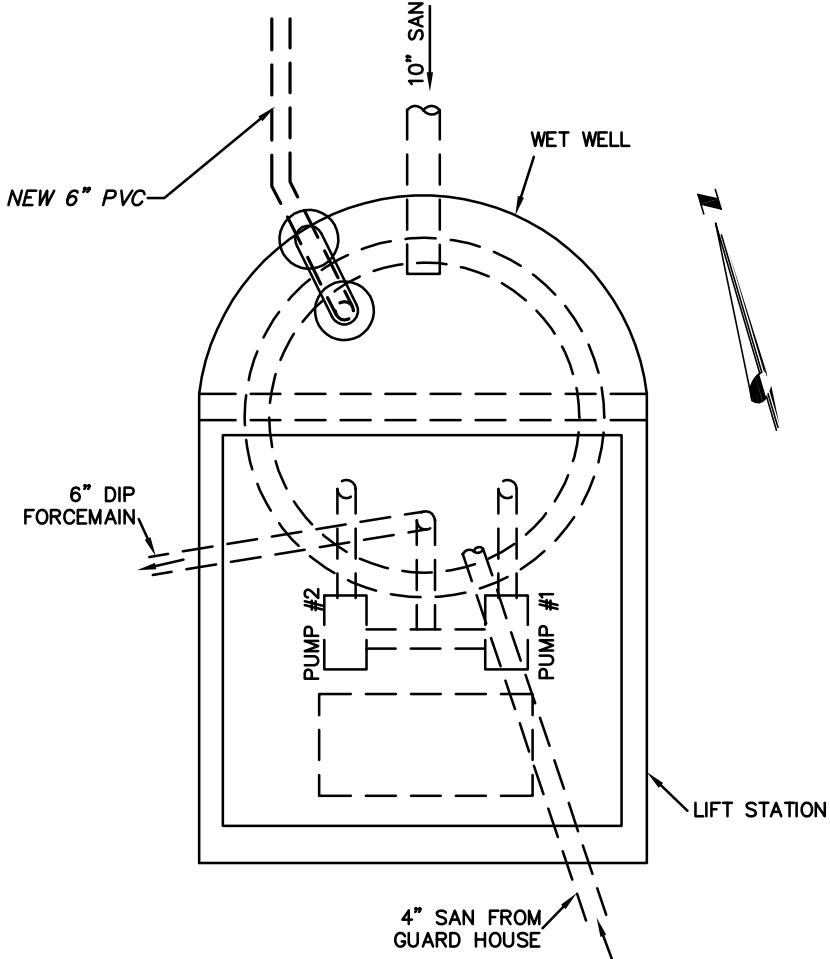
NOT TO SCALE

#### CONCRETE WASHOUT NOTES

1. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.
2. PLASTIC LINER SHALL BE HAVE A MINIMUM THICKNESS OF 10 MIL WITH NO HOLES OR TEARS, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN EARTHEN BERM, SAND BAGS, STONE, OR OTHER STRUCTURAL APPURTENANCE EXCEPT AT ACCESS POINT.
3. DISPOSE OF HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECT SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH/FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
4. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
5. INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

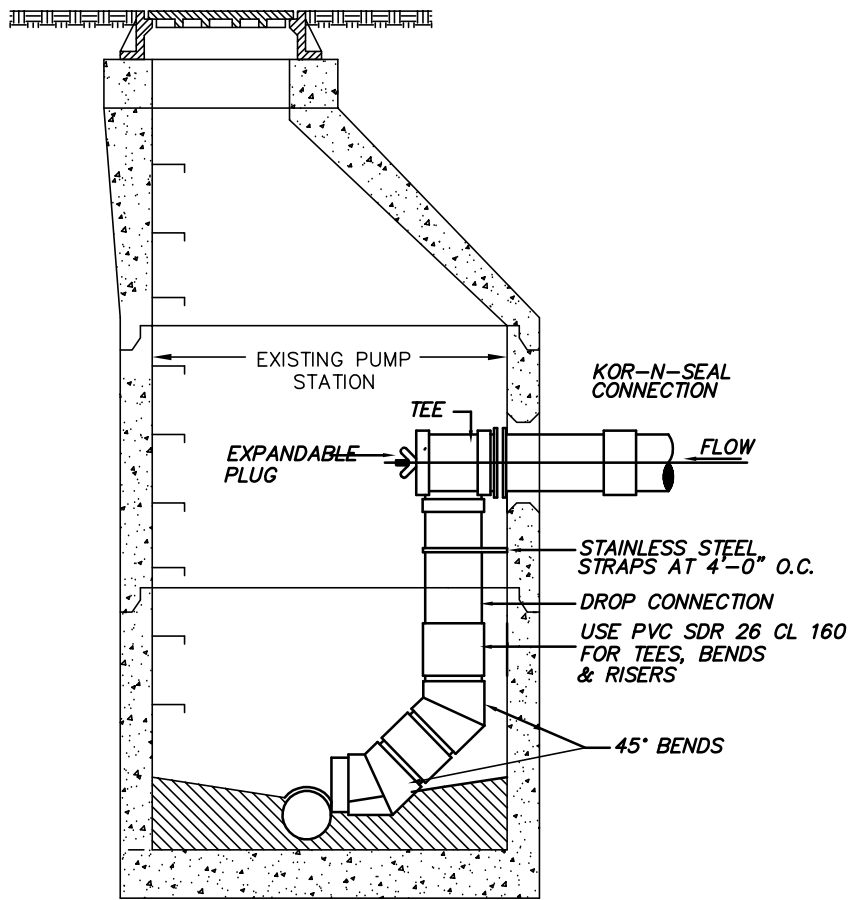
#### CONCRETE WASHOUT MAINTENANCE NOTES

1. ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDEN CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA SUCH AS A GRASS FILTER STRIP.
2. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
3. DISPOSE OF HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECT SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH/FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
4. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
5. INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.



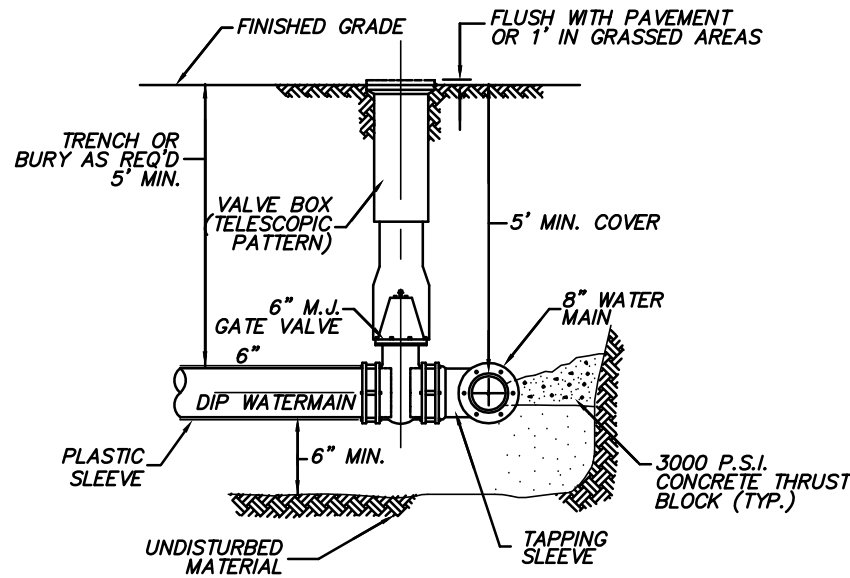
#### EXISTING PUMP STATION DETAIL

NO SCALE



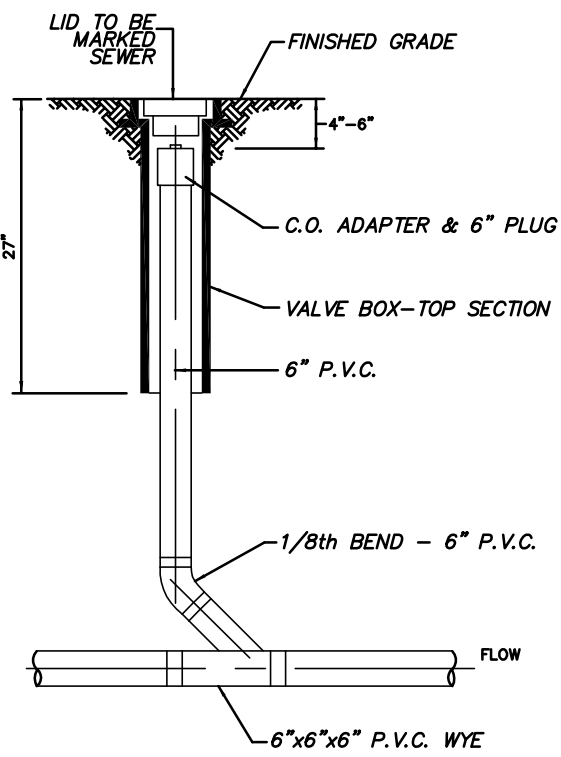
#### INSIDE DROP DETAIL

NO SCALE



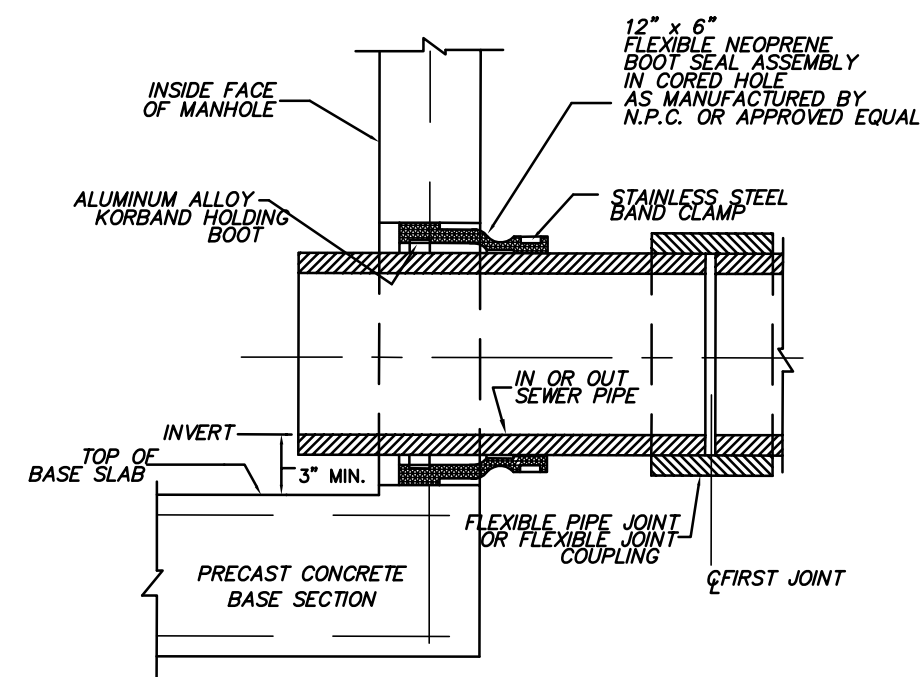
#### WATER LINE TAPPING SLEEVE AND VALVE DETAIL

NO SCALE



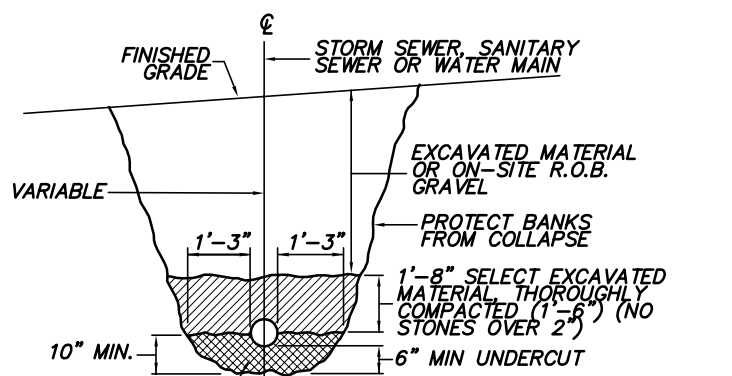
#### SEWER IN-LINE CLEANOUT

NO SCALE



#### KOR-N-SEAL PIPE TO MANHOLE JOINT

NO SCALE



#### TYPICAL TRENCH SECTION FOR SANITARY SEWER, STORM SEWER & WATER

NO SCALE

**GENERAL SPECIFICATIONS**

NO. REQ'D: (1)

CAPACITY: 550 GALLONS

TYPE: HIG. HIGHGUARD, SINGLE WALL

MATERIAL: MILD CARBON STEEL

FLOW RATE: 55 GPM

GAUGE: BASED ON 60" MAX BURIAL

SHELL - 7 GA.

HEADS - 7 GA.

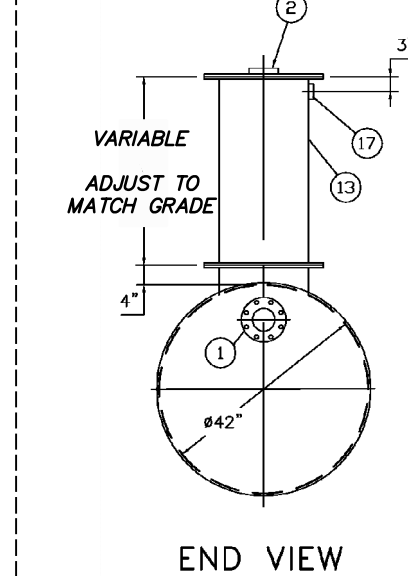
SURFACE PREP: SSPC NOL BLAST ALL EXTERIOR SURFACES

COATING: EXTERIOR - HIGHGUARD (75 MLS)

INTERIOR - NONE

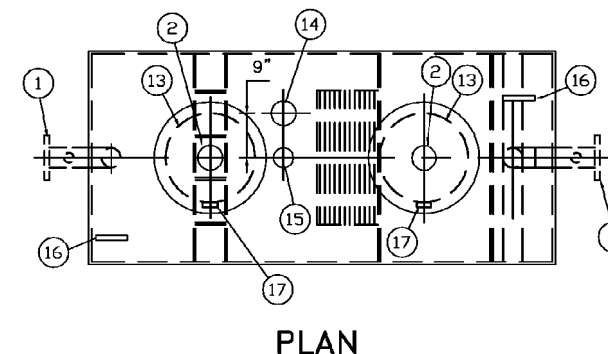
CONSTRUCTION: LAP FIT & WELD ALL EXTERIOR SEAMS

OPERATING PRESSURE: ATMOSPHERIC



END VIEW

NO SCALE







**Laura Robertson**  
Town Planner

# **TOWN OF NISKAYUNA**

## **PLANNING DEPARTMENT**

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530  
Fax: (518) 386-4592  
[lrobertson@niskayuna.org](mailto:lrobertson@niskayuna.org)

### **MEMO**

### **Tree Council: GE Global Research**

### **1 Research Circle**

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April 26, 2022

**TO:** PLANNING BOARD, APPLICANT

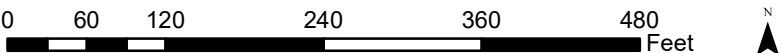
**FROM:** TREE COUNCIL

At a site meeting conducted on April 13, 2022 the Tree Council reviewed the location of the proposed 55' high building on the GE property at 1 Research Circle and looked at areas that would best serve for tree screening to limit the public impacts of the building height. Based upon the site walk, the Council made the following recommendations:

1. The highest priority for tree planting is in front of the fence along River Road. This area should be planted with a mixture of evergreens and birches (see attached map).
2. The second priority is to screen the view of the building from the bikepath. The main visibility can be blocked with a mixed planting of evergreens between two existing patches of trees (see attached map).
3. The third priority for planting is directly in front of the building on a grassy slope within the fence of GE. This could be added screening and could consist of flowering trees and mixed evergreens (see attached map).
4. The applicant stated they have a landscaper that can review the site conditions and propose a planting plan with species that would be acceptable to the site conditions and GE. This planting plan should be submitted for final approval to the Tree Council.



# GE Screening Plan

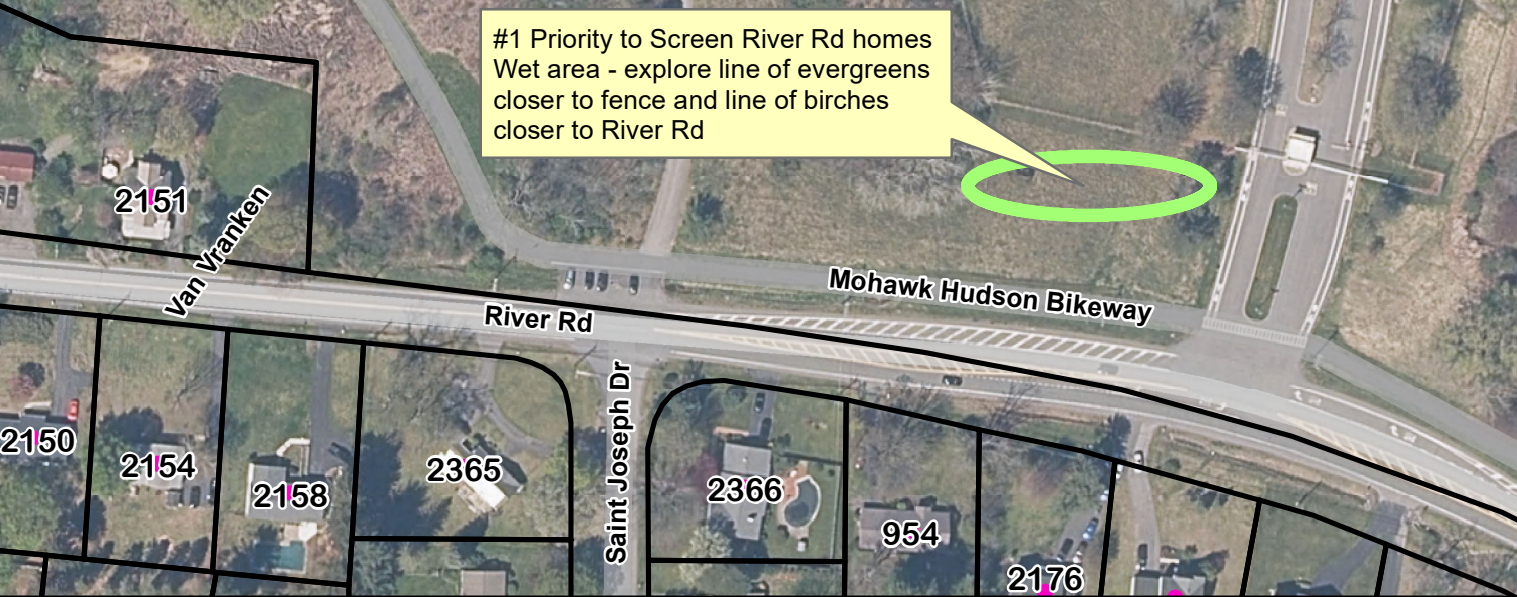


#2 Priority to screen view from bikepath  
Explore mixed planting of evergreens

Proposed Building

#3 Priority to screen view from River Rd  
Explore flowering trees or mixed evergreens  
to screen face of building

#1 Priority to Screen River Rd homes  
Wet area - explore line of evergreens  
closer to fence and line of birches  
closer to River Rd







# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

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AGENDA ITEM NO. VIII. 1

MEETING DATE: 7/11/2022

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**ITEM TITLE:** DISCUSSION: Site plan app. for the construction of a 492 sq. ft. addition to the existing 1,455 sq. ft. gasoline service station at 1747 Union Street.

**PROJECT LEAD:** TBD

**APPLICANT:** Sal Khan, owner

**SUBMITTED BY:** Laura Robertson, Town Planner

---

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER: ARB

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

---

**SUMMARY STATEMENT:**

Sal Khan, property owner, submitted an Application for Site Plan Review for the construction of a new single-story 492 sq. ft. addition to the existing single-story 1,455 sq. ft. gas / service station at 1747 Union Street. The addition will relocate the existing 10' x 22' cooler to a newly created space in the back of the building and will also create new space for two additional merchandise racks, resulting in three total merchandise racks inside the building.

The property falls within the C-N Neighborhood Commercial zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists a gasoline service station as a special principal use in the C-N district. It is therefore an allowable use after the approval of a special use permit by the Town Board.

**BACKGROUND INFORMATION**

Mr. Khan provided a 7-page drawing set entitled "Gas Station Addition 1747 Union Street Schenectady, NY Raizada Mart Sal Khan" by Cobble Court Engineering PLLC dated 7/1/22 with no subsequent revisions. The drawing package includes the following.

- Pages 1 – 3: Design / Build / Construction notes
- Page 4 (S01): Proposed Site Plan
- Page 5 (A01): Existing Floor Plan
- Page 6 (A02): Proposed Floor Plan
- Page 7 (A03): Proposed Rendering and Proposed Front Elevation



## Impact on the use of the building

- The hours of operation of the service station will not be impacted by the addition
- The number of employees will not be impacted by the addition

## Impact on parking

### Gasoline service station – existing condition

Schedule I-D, Part 2, C-N District, column 6, Minimum Required Off-Street Parking Spaces in the Niskayuna Zoning Code states that for a gasoline service station “3 spaces for each service bay plus 1 space for each employee” are required. The site plan shows 7 parking spaces at the site. The existing building does not contain any service bays so the available number of parking spaces complies with the zoning code.

### Gasoline service station – proposed condition

The proposed building addition does not add a service bay or any additional employees so the number of available parking spaces is still compliant with code.

### Retail convenience store – existing condition

The existing building is similar to a retail convenience store and contains:

- 1 -- 10' x 22' cooler
- 1 -- merchandise rack
- 2 -- enclosed storage areas
- 2 – bathrooms
- 1 – check-out counter

For “Retail convenience stores” Schedule I-D, Part 1, C-N District, column 6 states that “1 space per 225 sq. ft. gross floor area, but not fewer than 4 spaces plus 1 space for each employee” is required. If the building is viewed as a retail convenience store the existing parking space requirement would be  $1,455 / 225 = 6.5 = 7$  parking spaces. The site plan shows 7 parking spaces and is therefore compliant with the zoning code for a retail convenience store.

### Retail convenience store – proposed condition

The proposed configuration of the building with the addition in place includes all of the items listed above in the existing condition plus the following:

- 492 additional sq. ft. of gross floor area
  - 2 – additional merchandise racks

The parking space requirement would therefore be  $(1,455 + 492) / 225 = 8.6 = 9$  parking spaces. The site plan shows 7 parking spaces.

The Planning Board should discuss the impact the proposed addition will have on parking and exterior lighting.





# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

## Application for Site Plan Review

### Applicant (Owner or Agent):

### Location:

Name Salman Khushnood

Number & Street 1747 Union street

Address 209 Tamar Dr

Section-Block-Lot 50.10 - 2 - 10

Niskayuna NY 12309

Email ksal0537@gmail.com

Telephone 845 300 3754

Fax \_\_\_\_\_

Zoning District CN

### Proposal Description:

Adding an Addition of 12' x 41' to the  
east side of the gas station building.

This will provide 492 sq.ft. of  
additional building. Refer to sheet S01  
for Siteplan. Refer to sheet A03 for Rendering

Signature of applicant: \_\_\_\_\_

Sal

Date: 07/06/22

Signature of owner (if different from applicant): \_\_\_\_\_

Date: \_\_\_\_\_



ADDITION  
1747 UNION STREET  
SCHENECTADY, NY 12345

SHEET

G01 OVERVIEW NOTES  
G02 NOTES  
G03 NOTES  
S01 PROPOSED SITE PLAN  
A01 EXISTING FLOOR PLAN  
A02 PROPOSED FLOOR PLAN  
A03 ELEVATION AND RENDERING

FRAMING NOTES:

1. STRUCTURAL FRAMING MEMBERS SHALL BE SPF #2 OR BETTER UNLESS OTHERWISE STATED.
2. FLOOR SHEATHING SHALL BE GLUED AND NAILED TO FLOOR JOISTS ACCORDING TO NAILING SCHEDULE. ROOF AND WALL SHEATHING SHALL BE NAILED ACCORDING TO NAILING SCHEDULE.
3. SILL PLATES SHALL BE PRESSURE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY.
4. FRAMING MEMBERS SHALL NOT BE CUT OR NOTCHED IN EXCESS TO:  
BEARING WALL OR NON BEARING WALL MEMBERS: IRC R602.6.  
FLOOR MEMBERS: RESIDENTIAL CODE OF 2015 IRC R502.8
5. PROVIDE SOLID BLOCKING FOR FLOOR JOISTS UNDER ALL INTERMEDIATE BEARING WALLS AND AT ENDS BY FULL DEPTH BLOCKING, PROVIDE BLOCKING EVERY 8' MAX. OF FLOOR JOIST SPAN.
6. ENGINEERED WOOD PRODUCTS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
7. ALL WOOD INCLUDING POSTS LOCATED NEARER THAN 18" (12" FOR GIRDERS) TO EARTH OR LOCATED ON CONCRETE PLACED ON EARTH SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY.
8. HEADERS ARE TO BE BUILT UP (PER CODE) IN FRAMED WALLS U.N.O.-SUPPORT EACH HEADER W/ DOUBLE TRIMMER STUDS WHERE OPENINGS ARE 48" WIDE OR GREATER.
9. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL). FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

1.1. IN CONCEALED SPACES OF STUD WALLS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVALS NOT TO EXCEED 10 FT. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKING.

1.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.  
IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST FIRE PASSAGE OF FLAME AND PRODUCTS OR COMBUSTION.  
FIRE BLOCKING OF CORNICES OR A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
10. JOISTS EXCEEDING A NOMINAL 2 X 4 SHALL BE SUPPORTED Laterally BY SOLID BLOCKING, DIAGONAL BRIDGING, OR A CONTINUOUS 1 X 3 STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FT.
11. PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS (EX. 4X BEAMS SUPPORTED BY (2) 2X OR 4X POSTS, 6X/8X BEAMS SUPPORTED BY 6X/8X POST, ETC).
12. HARDWARE IS TO BE "SIMPSON STRONG-TIE" OR EQUAL.
13. ANY WOOD EXPOSED TO EXTERIOR ELEMENTS IS TO BE PRESSURE TREATED, COMPOSITE, WOOD SPECIES OF NATURAL RESISTANCE TO DECAY, STAINED, SEALED, PAINTED, OR WRAPPED W / VINYL OR NON CORROSIVE METAL
14. ALL EXTERIOR WALL HEADERS = (2) 2x10 UNLESS NOTED DIFFERENT. ALL INTERIOR NON-BEARING WALL HEADERS = (2) 2x6 UNLESS NOTED DIFFERENT.

CONSTRUCTION TYPE: V

DESIGN PROVISIONS.....2020 RESIDENTIAL CODE OF NYS

DESIGN LOADS:

ROOF.....40 PSF (SNOW) 15 PSF (DEAD)  
ATTIC (W / STORAGE).....20 PSF (LIVE)  
ATTIC (W/O STORAGE).....10 PSF (LIVE)  
CEILING.....10 PSF (DEAD)  
FLOOR (SLEEPING).....30 PSF (LIVE) 12 PSF (DEAD)  
FLOOR (NON-SLEEPING).....40 PSF (LIVE) 12 PSF (DEAD)  
STAIRS.....40 PSF (LIVE)  
HANDRAILS.....200 LBS (ANY POINT/DIRECTION)  
DECKS.....40 PSF (LIVE)  
EXTERIOR BALCONY.....40 PSF (LIVE)

WIND LOADS:

BASIC WIND SPEED (3 SECOND)  
GUST.....110MPH  
IMPORTANCE FACTOR  
(Iw).....1.0  
HIGHEST POINT OF ROOF  
(FT).....N/A  
TOPOGRAPHIC FACTOR  
(Kzt).....1.0  
EXPOSURE CATEGORY: C

NAILING SCHEDULE: PER R602.3(1)

TOP PLATE TO STUD (END NAIL).....2-16D COMMON  
STUD TO SOLE PLATE (END NAIL).....2-16D COMMON  
STUD TO SOLE PLATE (TOE NAIL).....4-8D COMMON OR 3-16D BOX  
DOUBLE TO PLATES.....10D BOX @ 12" OC  
DBL TOP PLATE LAP SPLICE.....8-16D COMMON  
TOP PLATES LAPS (INTERSECTION).....3-10D BOX  
SOLE PLATE TO JOISTS OR BLOCKING.....16D COMMON @ 16" OC  
CEILING JOISTS TO TOP PLATE (TOE-NAIL).....3-8D COMMON  
CEILING JOISTS OVER PARTITION.....4-10D BOX  
CEILING JOISTS TO PARALLEL RAFTER.....PER R802.5.1(9)  
RAFTER TO TOP PLATE (TOE-NAIL).....3-16D BOX  
1X BRACE TO STUD/PLATE.....2-8D COMMON  
JOISTS TO SILL PLATE (TOE-NAIL).....3-8D COMMON  
RAFTER TO RIDGE, HIP OR VALLEY (TOE-NAIL).....4-16D BOX  
RAFTER TO RIDGE, HIP OR VALLEY (END-NAIL).....3-16D BOX  
RAFTER-TIES TO RAFTER.....4-8D BOX  
SUBFLOOR TO FLOOR JOISTS.....6D COMMON @ 6"OC EDGE 12" OC FIELD  
WALL SHEATHING TO STUD.....6D COMMON @ 6" OC EDGE 12" OC FIELD  
ROOF SHEATHING TO RAFTER/TRUSS.....8D COMMON @ 6" OC EDGE 12" OC FIELD

Cobble Court Engineering PLLC  
511 Walnut Drive  
Clifton Park, NY 12065  
Phone # (518) 956-1282  
dckengnypa@outlook.com  
DANIEL C. KAUFMAN NYS  
P.E. #086813  
IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER IN ANY WAY ANY PLANS, SPECIFICATIONS, PLOTS OR REPORTS TO WHICH THE SEAL OF PROFESSIONAL

RECORD OF WORK:		BY:						
DATE:	DESCRIPTION:							

GAS STATION ADDITION  
  
ADDRESS:  
1747 UNION STREET  
SCHENECTADY, NY 12309  
RAIZADA MART  
SAL KHAN

START DATE: 7/1/22



DATE:

FILE:

PAGE CONTENT:  
COVER SHEET / NOTES

DESIGNER: MIKE T.	ENGINEER: DCK
PAPER SIZE: C (18"x24")	SCALE: AS NOTED

SHEET:  
G01



GENERAL NOTES:

DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NYS

DIMENSIONS TO, OF, AND IN EXISTING STRUCTURE SHALL BE VERIFIED IN FIELD BY CONTRACTOR.

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN DIMENSIONS BETWEEN EXISTING CONDITIONS AND / OR ARCHITECTURAL DRAWINGS AND THE STRUCTURAL DRAWINGS.

DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.

DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

DIMENSION AND NOTES THAT INCLUDE THE WORD "TYPICAL" REFER TO ALL SIMILAR DETAILS UNLESS OTHERWISE STATED.

THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS NOTED OTHERWISE.

BRACE BUILDING UNTIL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: ROOF DECK, CONNECTION TO EXISTING BUILDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION AND COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.

CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF PROPOSED DEVIATIONS OR SUBSTITUTIONS FROM DIMENSIONS, MATERIALS, OR EQUIPMENT SHOWN ON THE DRAWINGS AND MAKE ONLY THOSE DEVIATIONS OR SUBSTITUTIONS ACCEPTED BY THE ENGINEER.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY.

ALL DOORS AND WINDOWS TO BE INSTALLED ACCORDING TO THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTIONS.

UNLESS SPECIFIED, ALL ROOM FINISHES, APPLIANCES, FIXTURES, HARDWARE, TRIM AND ARCHITECTURAL DETAILS ARE TO BE DETERMINED AND INSTALLED ACCORDING TO ALL BUILDING CODES AND THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTION.

INSTALL 1/2" GYPSUM ON WALLS AND CEILING. INSTALL MOISTURE RESISTANT GREENBOARD GYPSUM IN ALL BATH, KITCHEN, AND OTHER WET AREAS.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE STATE AND LOCAL BUILDING CODE REQUIREMENTS. DETAILS OF CONSTRUCTION UNLESS NOTED OTHERWISE

CONTRACTOR SHALL PERFORM ALL MISCELLANEOUS REMOVALS, MODIFICATIONS, CONSTRUCTION AND CLEAN-UP REQUIRED TO COMPLETE THE GENERAL SCOPE OF THIS PROJECT.

NO SITE INSPECTIONS DURING CONSTRUCTION ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH PERMISSION OF LOCAL BUILDING DEPARTMENT.

ALL PLUMBING, HVAC, ELECTRICAL AND FIRE SYSTEMS ARE BY OTHERS. LOCATION DESIGN AND INSTALLATION OF ALL NOTED ABOVE ARE TO BE COMPLETED BY LICENSE INDIVIDUALS ACCORDING TO ALL BUILDING CODE AND THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTION.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, SANITARY AND ENERGY CONSERVATION CODES, STATE AND / OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE CONTRACTOR / OWNER SHALL REQUEST LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND HIS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, OWNER OR BUILDER OF THIS RENOVATION TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THESE DRAWINGS.

THESE PLANS COMPLY WITH ALL THE CODES, PROVISIONS AND INTENT OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE PURSUANT TO ARTICLE 2 OF THE ENERGY LAW. LOCAL CODE REQUIREMENTS SHALL TAKE PRECEDENCE WHERE DISCREPANCIES OCCUR.

ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THESE PLANS SHALL BE REPORTED IN WRITING TO THE ENGINEER BEFORE START OF CONSTRUCTION AND SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209.

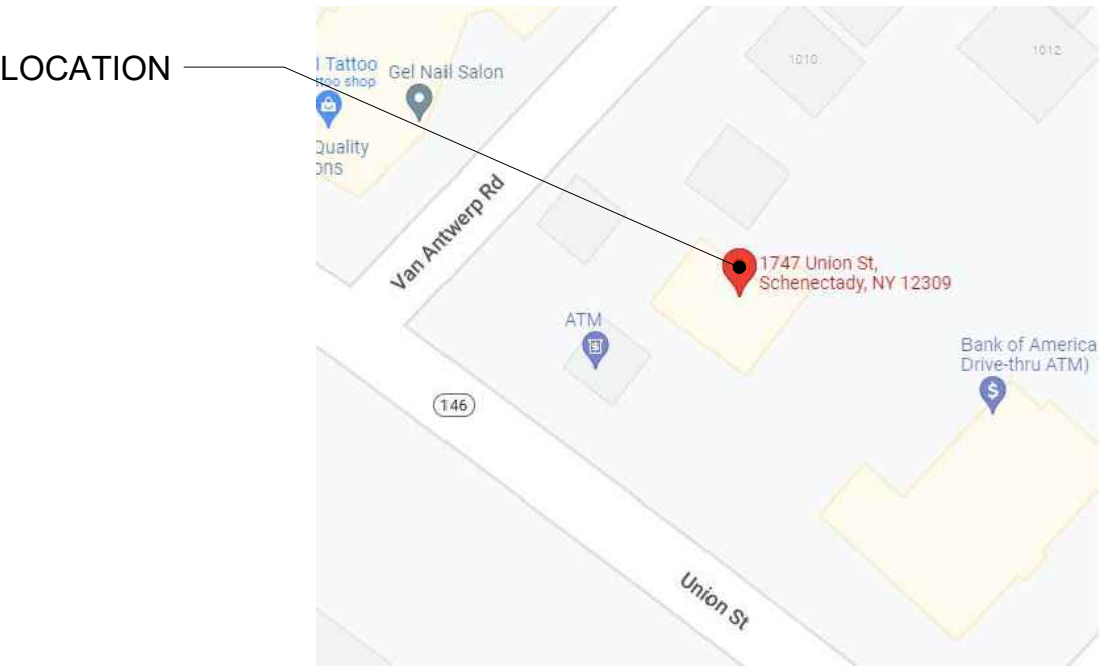
HOLD HARMLESS THE ENGINEER, THE CONSTRUCTION MANAGER, THE OWNER AND THEIR AGENTS LOSS, DAMAGE, LIABILITY OR ANY EXPENSE ARISING IN ANY MANNER BY THE INDEPENDENT CONTRACTOR OR THEIR RESPECTIVE EMPLOYEES, INCLUDING SHALL BE THE STATE SCAFFOLDING ACT.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COMPLETED WORK.

CONTRACTOR IS TO FOLLOW ALL MANUFACTURERS PRODUCT INSTALLATION AND INSTRUCTION.

WHENEVER A VALUE OR SIZE IS IN CONFLICT THE MORE STRINGENT VALUE OR SIZE WILL APPLY.

SMOKE DETECTORS AND CARBON MONOXIDE ALARMS TO BE INSTALLED ACCORDINGLY THROUGHOUT THE BUILDING.



Cobble Court Engineering PLLC  
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Clifton Park, NY 12065  
Phone # (518) 956-1282  
dckengnypa@outlook.com  
DANIEL C. KAUFMAN NYS  
P.E. #086813  
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RECORD OF WORK:		BY:						
DATE:	DESCRIPTION:							

GAS STATION ADDITION  
  
ADDRESS:  
1747 UNION STREET  
SCHENECTADY, NY 12309  
RAIZADA MART  
SAL KHAN

START DATE: 7/1/22



DATE:

FILE:

PAGE CONTENT:  
NOTES

DESIGNER: MIKE T.	ENGINEER: DCK
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FOUNDATION NOTES:

1. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIALS AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
2. SOIL BEARING PRESSURE ASSUMED TO BE 2500 PSF.
3. ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
4. CONCRETE:

BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER: 3000 PSI

BASEMENT & INTERIOR SLABS ON GRADE: 3000 PSI

BASEMENT WALLS & FOUNDATIONS EXPOSED TO WEATHER: 3000 PSI
5. CONCRETE SIDEWALKS TO HAVE TOOLED JOINTS AT 5' O.C. (MINIMUM)
6. REINFORCED STEEL TO BE A-615 GRADE 40. WELDED MESH WIRE TO BE A-185.
7. COVER ENTIRE CRAWLSPACE WITH 6 MILL BLACK "VISQUEEN" AND EXTEND UP FOUNDATION WALLS TO P.T. MUDSILL.
8. PROVIDE A MINIMUM OF 1 SQ. FT OF VENTILATION AREA FOR EACH 150 SF OF CRAWLSPACE AREA. VENTS ARE TO BE CLOSABLE WITH OPENINGS IN CORROSIVE RESISTANT SCREEN. POST NOTICE RE: OPENING VENTS ARE FOR ELECTRICAL PANEL.
9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH #55 ROLL ROOFING.
10. PROVIDE CRAWLSPACE DRAIN AS PER CODE.
11. DAMP PROOF BASEMENT WALL BEFORE BACKFILLING, PROVIDING A 4" PERFORATED DRAIN TILE BELOW THE TOP OF THE FOOTING.
12. DAY STRENGTH AND NOT BEFORE STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) IS IN PLACE (FRAMING MUST BE FULLY NAILED AND ANCHORED).
13. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3500 PSI AT 28 DAYS FOR ALL CONCRETE.
14. CONCRETE SHALL BE AIR ENTRAINED AND SHALL BE PLACED IN ACCORDANCE WITH ACI 318-11 LATEST EDITION.
15. FORMS SHALL CONFORM TO THE SHAPE, LINES GRADE AND DIMENSIONS INDICATED ON THE DRAWINGS. THEY SHALL BE SUBSTANTIAL AND SUFFICIENTLY TIGHT TO PREVENT LEAKAGE OF MORTAR, AND SHALL NOT DEFLECT UNDER THE WEIGHT OF THE WET CONCRETE OR CONSTRUCTION LOADS. THEY SHALL BE PROPERLY BRACED OR TIED TOGETHER SO AS TO MAINTAIN POSITION AND SHAPE, AND INSURE THE SAFETY OF WORKMEN AND PASSERBY.
16. IF APPLICABLE, CONCRETE POUR FOR THE HOUSE FOUNDATION AND THE GARAGE FOUNDATION ARE TO BE A CONTINUOUS POUR WHERE MEET.
17. CONCRETE CONSTRUCTION JOINTS ARE TO BE INSTALLED EVERY 100' MAXIMUM AROUND THE BASEMENT WALL PERIMETER TO AVOID WALL CRACKS.

PLACING CONCRETE:

PLACING CONCRETE BEFORE INITIAL SET HAS OCCURRED, AND IN NO EVENT AFTER IT HAS CONTAINED ITS WATER CONTENT FOR MORE THAN ONE HOUR. PLACE ALL CONCRETE ON CLEAN, DAMP SURFACES, FREE FROM WATER, OR UPON PROPERLY CONSOLIDATED FILLS, BUT NEVER UPON SOFT MUD, DRY POROUS EARTH, OR FROZEN GROUND.

PLACING CONCRETE CONTINUED:

- DEPOSIT CONCRETE CONTINUOUSLY AND AS RAPIDLY AS PRACTICAL UNTIL THE UNIT OF OPERATION IS COMPLETED.
- CONSOLIDATE ALL CONCRETE BY VIBRATION SO THAT THE CONCRETE IS THOROUGHLY WORKED AROUND THE REINFORCEMENT, AROUND IMBEDDED ITEMS, AND INTO CORNERS OF FORMS, ELIMINATING ALL AIR OR STONE POCKETS WHICH MAY CAUSE HONEY-COMBING, PITTING, OR PLANES OF WEAKNESS. USE MECHANICAL VIBRATORS WITH A MINIMUM FREQUENCY OF 7,000 REVOLUTIONS PER MINUTE, OPERATED BY COMPETENT WORKMEN. USE OF VIBRATORS AT MANY POINTS FROM 18 TO 30 INCHES APART FOR A 5 TO 10 SECOND DURATION. KEEP A SPARE VIBRATOR ON THE JOB DURING ALL CONCRETE PLACING OPERATIONS.
- EXERCISE CARE IN PLACEMENT OF CONCRETE FOR SLABS OR GRADE OVER A VAPOR BARRIER. AVOID PUNCTURING OR TEARING VAPOR BARRIER DURING TRANSPORTATION AND PLACEMENT.
- THE PLACING OF CONCRETE SHALL BE CARRIED ON CONTINUOUSLY BETWEEN CONSTRUCTION JOINTS SHOWN ON THE DRAWINGS. IF FOR ANY REASON IT SHALL BECOME NECESSARY TO STOP THE PLACING OF CONCRETE AT PLACES OTHER THAN THOSE INDICATED ON THE DRAWINGS, SUCH PLACES SHALL HAVE THE APPROVAL OF THE ENGINEER AND THE MANNER OF MAKING THE JOINT SHALL BE APPROVED. EXTRA REINFORCING MAY BE REQUIRED IF ADDT'L CONSTRUCTION JOINTS ARE USED.
- PROVIDE ADEQUATE PROTECTION AGAINST RAIN, SLEET, AND SNOW BEFORE AND DURING PLACEMENT AND FINISHING OF CONCRETE. PROVIDE ADEQUATE PROTECTIVE MEASURES TO MAINTAIN THE TEMPERATURE OF THE CONCRETE AS SPECIFIED.
- TIE HOLES LEFT BY WITHDRAWAL OF RODS OR THE HOLES LEFT BY REMOVAL OF END OF TIES SHALL BE FILLED WITH MORTAR. FOR HOLES PASSING ENTIRELY THROUGHOUT THE WALL, A PLUNGER TYPE GREASE GUN OR OTHER DEVICE SHALL BE USED TO FORCE THE MORTAR THROUGH THE WALL STARTING AT THE BACK FACE.
- ANY CONCRETE WORK NOT FORMED AS SHOWN ON THE PLANS OR FOR ANY REASON IS OUT OF ALIGNMENT OR LEVEL OR SHOWS A DEFECTIVE SURFACE SHALL BE CONSIDERED AS NOT CONFORMING WITH THE INTENT OF THESE SPECIFICATIONS AND SHALL BE REMOVED FROM THE JOB BY THE CONTRACTOR AT HIS EXPENSE UNLESS THE ENGINEER GRANTS PERMISSION TO PATCH THE DEFECTIVE AREA WHICH SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING PROCEDURE. PERMISSION TO PATCH ANY SUCH AREA SHALL NOT BE CONSIDERED A WAIVER OF THE ENGINEERS RIGHT TO REQUIRE COMPLETE REMOVAL OF THE DEFECTIVE WORK IF THE PATCHING DOES NOT, IN HIS OPINION, SATISFACTORILY RESTORE THE QUALITY AND APPEARANCE OF THE SURFACE.
- IF APPLICABLE THE COMPRESSIVE STRENGTH OF EXISTING CONCRETE SLAB (f ' c)=2500 PSI MINIMUM
- STEPPED FOOTING TO BE INSTALLED PER SITE REQUIREMENTS. MIN 24 IN. DOWN AND 48 IN. OVER.
- STEEL REINFORCEMENT
1. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM NEW BILLET STEEL, GRADE 60, DEFORMED BARS, IN ACCORD WITH STANDARD SPECIFICATIONS ASTM A 15 LATEST EDITION.
2. STEEL REINFORCEMENT SHALL CONSIST OF FURNISHING AND PLACING BAR STEEL OR STEEL FABRIC REINFORCEMENTS AS SHOWN ON THE PLANS AND REQUIRED BY THE CONTRACT. FOR REINFORCEMENT IN FLOOR SLABS PLACED ON EARTH, THE REINFORCING SHALL BE SUPPORTED BY MASONRY BLOCKING OF PROPER HEIGHT TO INSURE THAT THE REINFORCING MATERIAL WILL BE PLACED IN THE CENTER OF SUCH SLABS. WHERE WIRE MESH IS USED IN FLOOR SLABS, IT SHALL BE 6" BY 6" / #6 X #6 GAUGE WELDED WIRE. ALL MESH SHALL BE LAPPED A MINIMUM OF 6 INCHES. UNLESS THE PLANS SHOW SPECIFIC SPACING, THE MINIMUM CLEAR SPACING BETWEEN THE EDGE OF THE BARS AND THE EXTERIOR SURFACE OF ALL POURED CONCRETE SHALL BE 1-1/2 TIMES THE MAXIMUM NOMINAL SIZE OF THE CONCRETE AGGREGATE. HOWEVER CLEAR SPACING SHALL NOT BE LESS THAN 3" WHEN THE CONCRETE IS CAST AGAINST EARTH. IF FOR ANY REASON, REINFORCING STEEL HAS TO BE PLACED CLOSER THAN 1-1/2 INCHES TO ANY FORM, THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF SUCH PLACEMENT BEFORE THE POUR IS MADE.

Cobble Court Engineering PLLC

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RECORD OF WORK:							
DATE:	DESCRIPTION:	BY:					

GAS STATION ADDITION

ADDRESS:

1747 UNION STREET

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RAIZADA MART

SAL KHAN

START DATE: 7/1/22

STAMP:

DATE:

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PAGE CONTENT:

NOTES

DESIGNER:

MIKE T.

ENGINEER:

DCK

PAPER SIZE:

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SCALE:

AS NOTED

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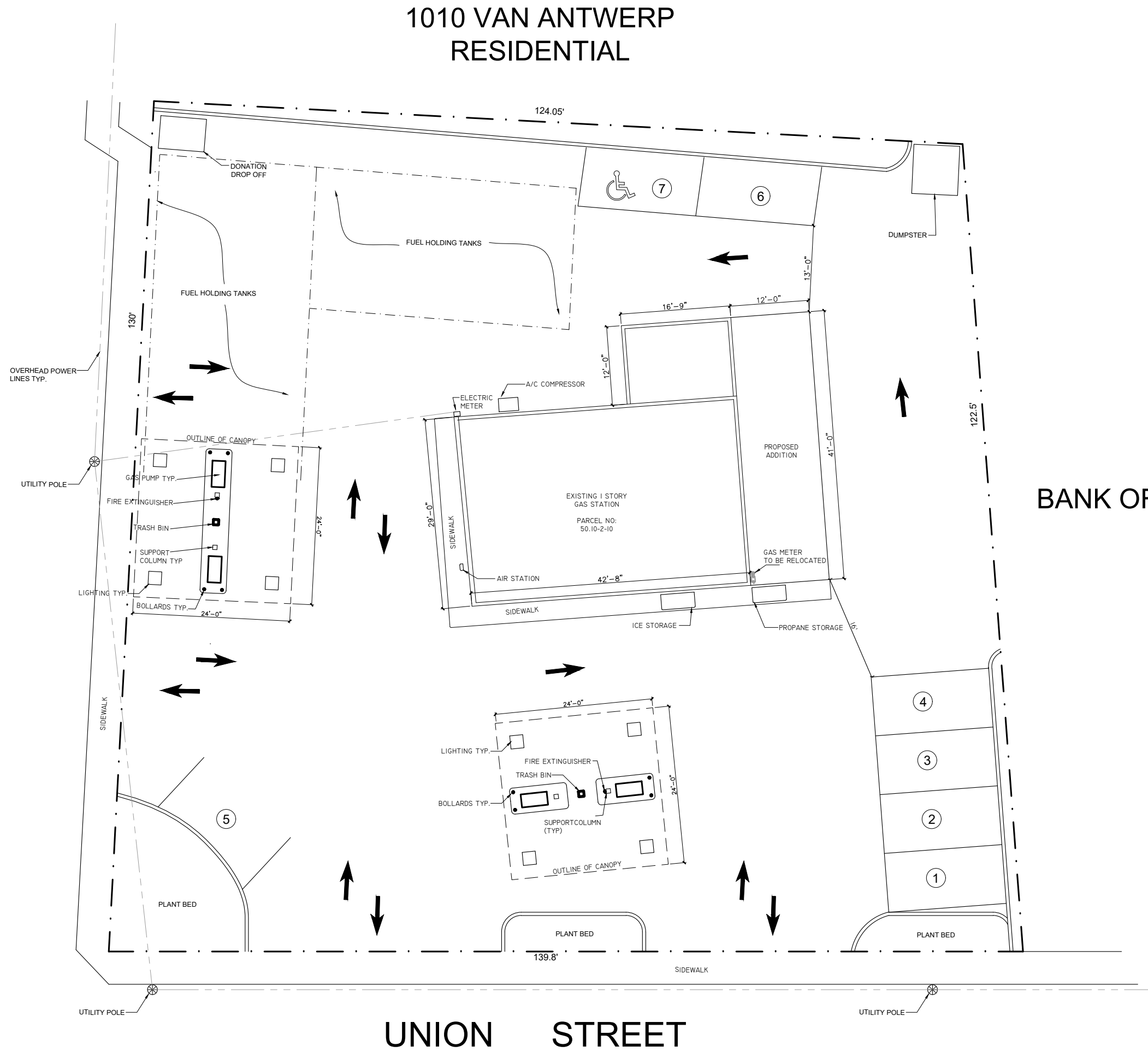


PROPOSED GROSS FLOOR  
AREA = 1680 SQ.FT.  
225 SQ.FT PER PARKING  
SPACE.  
680 / 225 = 7.4 SPACES

EXISTING BUILDING:  
OVERALL AREA = 1,455 SQ.FT.

PROPOSED BUILDING:  
OVERALL AREA = 1947 SQ.FT.

VAN ANTWERP ROAD



**PROPOSED SITE PLAN**  
SCALE:  $\frac{1}{16}'' = 1'-0''$

PARCEL NO.  
50.10-2-10  
ZONING CODE CN  
TOTAL ACREAGE 0.38 AC.

1010 VAN ANTWERP  
RESIDENTIAL

BANK OF AMERICA

UNION STREET

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START DATE: 7/1/22



DATE:

FILE:

PAGE CONTENT:  
SITE PLAN

DESIGNER:  
MIKE T.

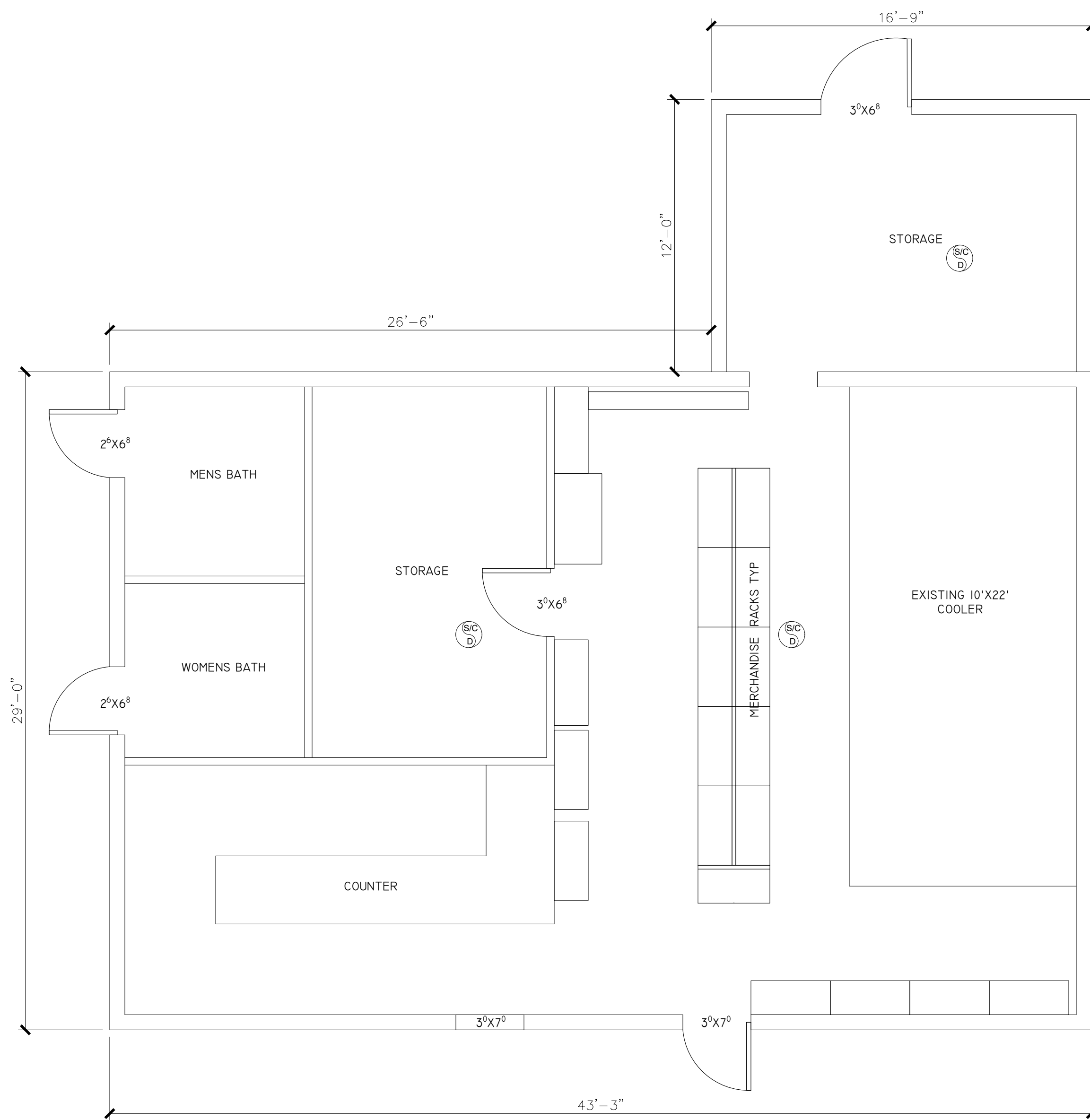
ENGINEER:  
DCK

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EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

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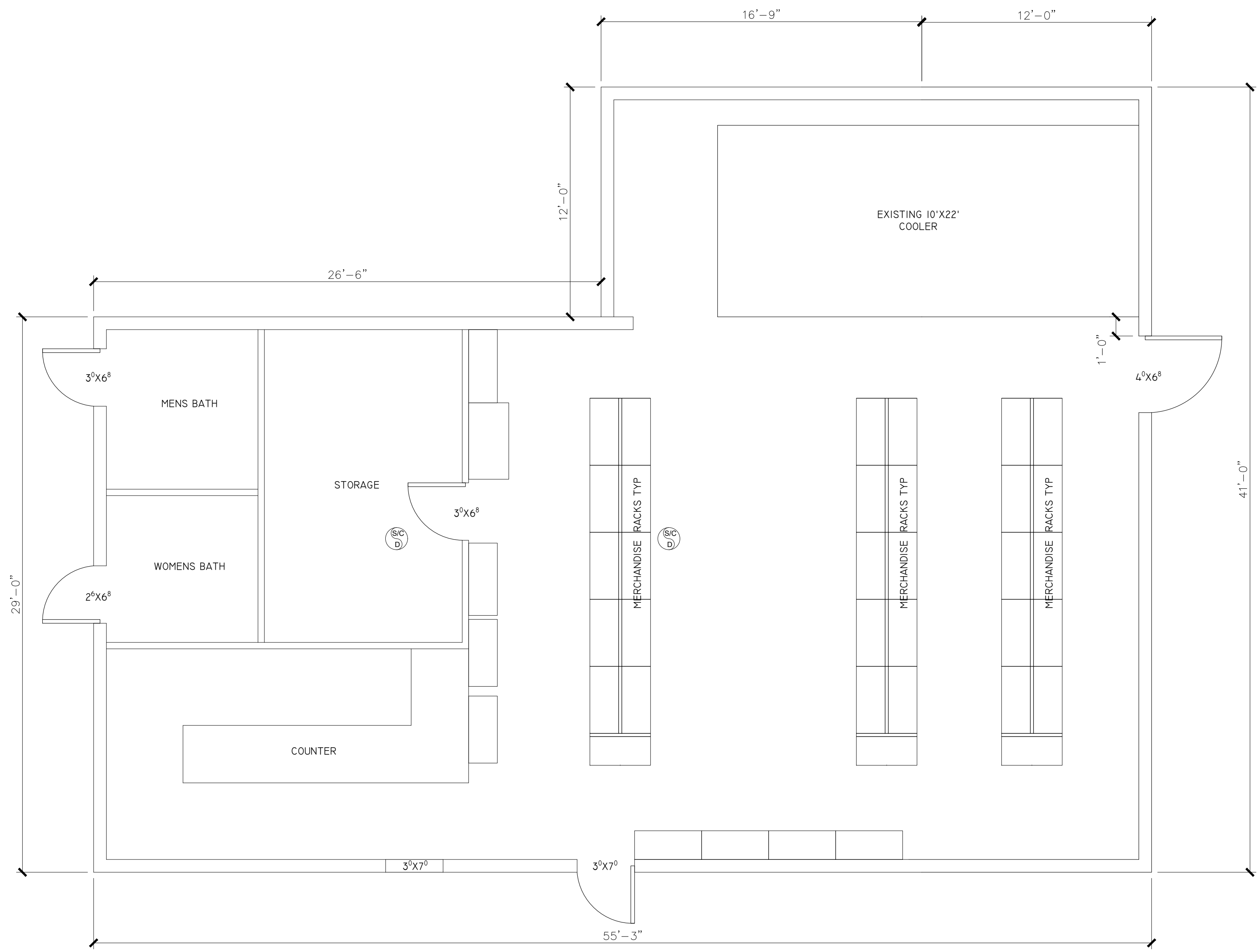
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EXISTING FLOOR PLAN

DESIGNER: MIKE T.	ENGINEER: DCK
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**PROPOSED FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

RECORD OF WORK:

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SAL KHAN

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PAGE CONTENT:  
PROPOSED FLOOR PLAN

DESIGNER:  
MIKE T.

ENGINEER:  
DCK

PAPER SIZE:  
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SCALE:  
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A02

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PROPOSED RENDERING



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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START DATE: 7/1/22



DATE:

FILE:

PAGE CONTENT:  
PROPOSED ELEVATION

DESIGNER:  
MIKE T.

ENGINEER:  
DCK

PAPER SIZE:  
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SCALE:  
AS NOTED

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# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: <b>Addition to Raizada Mart</b>			
Project Location (describe, and attach a location map): <b>1747 Union Street, Schenectady, NY</b>			
Brief Description of Proposed Action: <b>Adding an Addition to the east side of the gas station building of 12' wide by 41' long. Refer to sheet SO1 of the construction plans. The addition will improve access to food &amp; drink for the local community.</b>			
Name of Applicant or Sponsor: <b>Daniel C Kaufman P.E</b>		Telephone: <b>(518) 956-1282</b> E-Mail: <b>dckengnypa@outlook.com</b>	
Address: <b>511 Walnut Drive</b>			
City/PO: <b>Clifton Park</b>		State: <b>NY</b>	Zip Code: <b>12065</b>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			





←  
NORTH

LOCATION MAP



5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input type="checkbox"/> Wetland	<input checked="" type="checkbox"/> Urban	<input type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
<i>The stormwater established direction of flow will not be changed by the Addition.</i>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <i>Daniel C Kautman P.E.</i> Date: <i>7/6/2022</i>		
Signature: <i>Daniel C Kautman</i> Title: <i>Professional Engineer</i>		





# TOWN OF NISKAYUNA

## PLANNING BOARD AND ZONING COMMISSION

### AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 7/11/2022

**ITEM TITLE:** DISCUSSION: Empire Dr. – Sketch plan application for a minor 2 lot subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres, respectively.

**PROJECT LEAD:** TBD

**APPLICANT:** Robert Joralemon

**SUBMITTED BY:** Laura Robertson, Town Planner

**REVIEWED BY:**

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board  
☐ OTHER:

**ATTACHMENTS:**

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

**SUMMARY STATEMENT:**

Robert Joralemon, property owner, submitted a Sketch Plan Application for a minor 2-lot subdivision of the property at tax map parcel 61.0-1-33.2 into two separate lots of 1.83 and 2.0 acres, respectively.

**BACKGROUND INFORMATION**

Tax map parcel 61.0-1-33.2 is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled “Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated 6/30/22 with no further revisions was provided with the application. Lot lines demarcating “Lot 1 Area = 1.83 Acres” and “Lot 2 Area = 2.0 Acres” are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
<b>Single-family dwelling</b>	<b>18,000</b>	<b>100</b>	<b>125</b>	<b>35</b>	<b>40</b>	<b>25</b>
Lot 1	79,715	≈300	≈200	≈70	≈50 / ≈250	≈75
Lot 2	87,120	≈570	≈200	≈70	≈50 / ≈450	≈75



As a reminder, 220-15 (C). Lot width, states “the minimum lot width of any lot shall be measured along the minimum building setback line as required for the district in which it is located.” Therefore the frontage for these lots to the ROW is sufficient.

The sketch plan drawing proposes two parallel contiguous driveways exiting from the stub off of Empire Drive running along the shared side property line of the two lots. Each driveway includes a 20' wide turnaround at their intersection with the stub street so that snowplows will be able to turnaround.

The applicant is appearing before the Planning Board this evening to introduce the project to them and address any questions that arise.





# TOWN OF NISKAYUNA

One Niskayuna Circle  
Niskayuna, New York 12309-4381

## *Application for Approval of Plat Plan* Minor Subdivision

Petitioner Name: Robert Joralemon

Address: 630 Lishakill Road, Niskayuna NY 12309

Phone Number: 518-785-4916

Owner Name (if different from petitioner): Same as Petitioner

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_

Description / Address of Property: Parcel south of Empire Drive to the east of Lishakill Road

Section – Block - Lot: 61.0 - 1 - 33.2

*Attach three (3) full size copies and twelve (12) 11x17 copies of any large scale plans or maps, twelve (12) short EAF (SEQR Form) and three (3) copies of the storm water pollution prevention plan (SWPPP) prepared in accordance with Chapter 180 of the Town Code of the Town of Niskayuna if required.*

**Administrative Fees:** An application for minor subdivision plat approval shall be submitted to the Planning Board at least ten (10) days prior to a regular meeting of the Planning Board. Each application shall be accompanied by a fee of three hundred dollars (\$300.00) payable to the Town of Niskayuna and presented to the Town Clerk.

**Consulting Fees:** The cost incurred by the Town for consulting engineering fees or other consulting fees in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges at the time of the submission of an application to the appropriate Board.

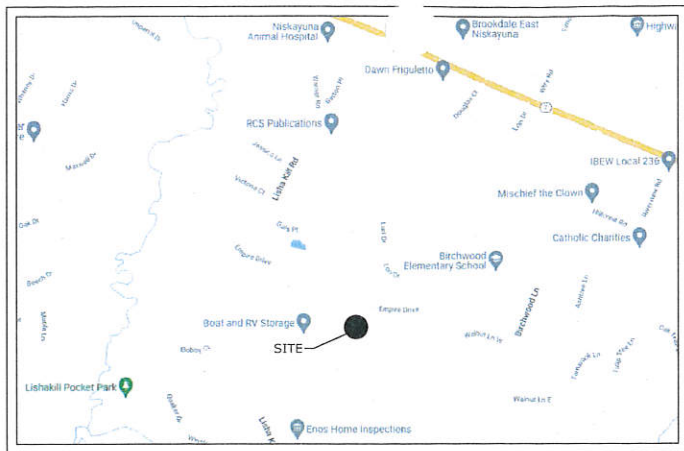
Any portion of the estimated charges so collected which are not expended by the Town shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon application.

Signature of Petitioner:  Date: 7/6/2022

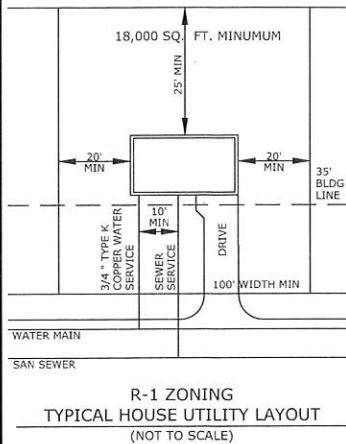
Signature of Owner (if different from petitioner): \_\_\_\_\_

Date: \_\_\_\_\_





SITE LOCATION PLAN  
N.T.S.



#### GENERAL NOTES:

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

#### SOIL AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
- CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

#### MAINTENANCE OF EROSION CONTROL MEASURES:

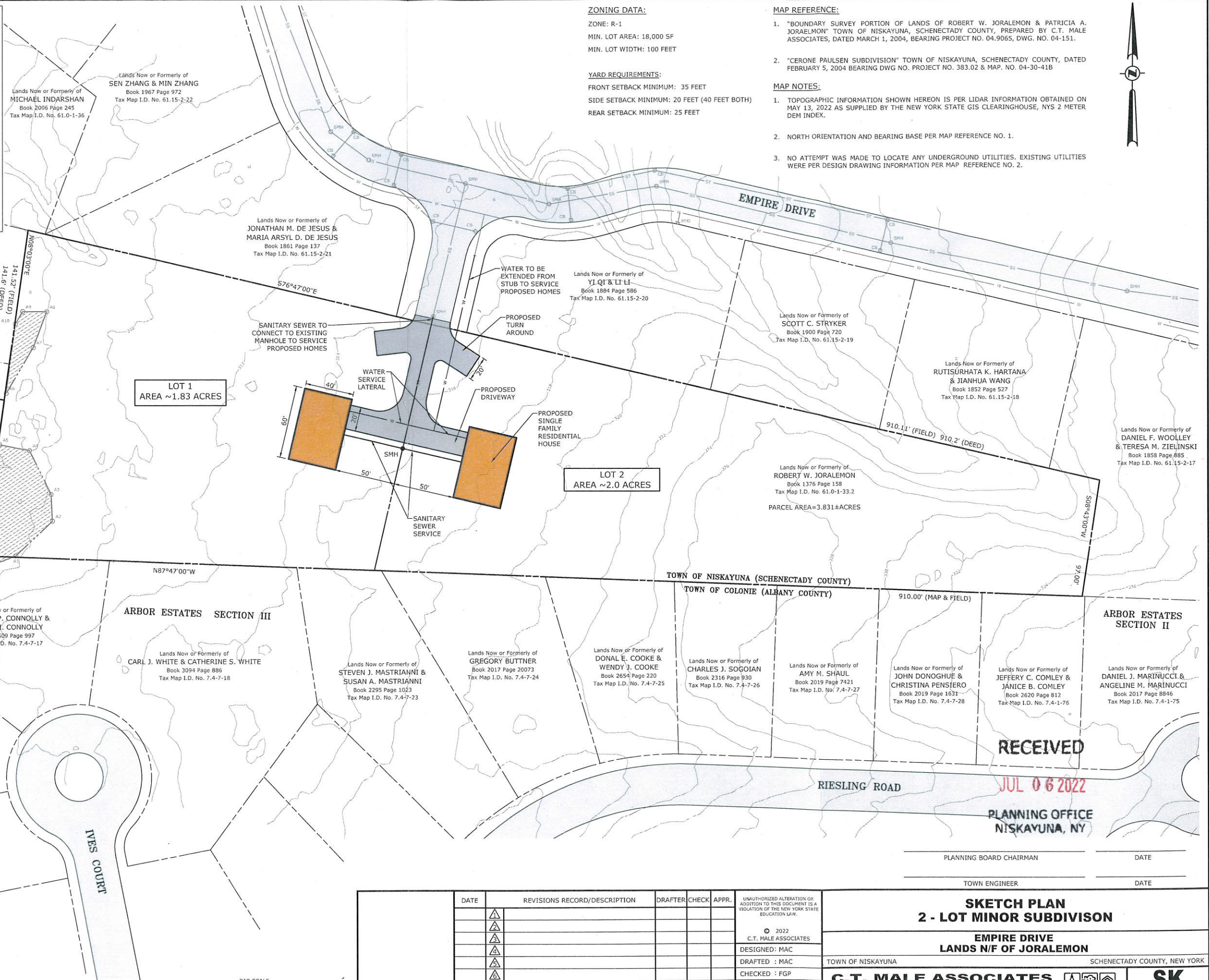
- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

#### TREE PRESERVATION POLICY:

- SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
- THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
- ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
- THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

#### GRADING NOTES:

- THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.
					© 2022 C.T. MALE ASSOCIATES
					DESIGNED: MAC
					DRAFTED: MAC
					CHECKED: FGP
					PROJ. NO: 04.9065
					SCALE: 1"=40'
					DATE: JUNE 30, 2022

SKETCH PLAN 2 - LOT MINOR SUBDIVISION	
EMPIRE DRIVE LANDS N/F OF JORALEMON	
TOWN OF NISKAYUNA	SCHENECTADY COUNTY, NEW YORK
<b>C.T. MALE ASSOCIATES</b> Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400 COBLESKILL, NY • GLENS FALLS, NY • Poughkeepsie, NY JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY www.ctmale.com	
SHEET 1 OF 1 DWG. NO: 04.9065	



# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: 2-Lot Minor Subdivision			
Project Location (describe, and attach a location map): Tax Map Parcel 61.0-1-33.2, to the south of Empire Drive, access off paper street, to the east of Lisha Kill Road.			
Brief Description of Proposed Action: Proposed Two Lot Minor Subdivision. The purpose of this project is to subdivide Tax Map Parcel 61.0-1-33.2 into two separate tax lots, Lot 1: 1.83 acres and Lot 2: 2.0 acres			
Name of Applicant or Sponsor: Robert Joralemon		Telephone: 518-785-4916	
		E-Mail:	
Address: 630 Lishakill Road			
City/PO: Niskayuna		State: NY	Zip Code: 12309
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Niskayuna Planning Board Minor Subdivision Approval			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? <span style="float: right;">3.83 acres</span> b. Total acreage to be physically disturbed? <span style="float: right;">0 acres</span> c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? <span style="float: right;">3.83 acres</span>			
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

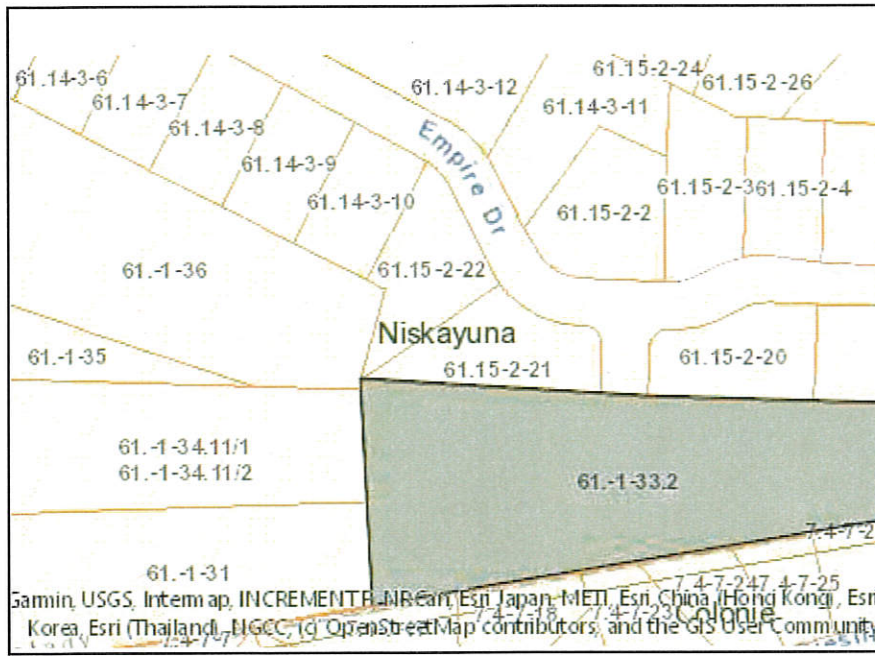


5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			



14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor/name: _____ Date: <u>7/7/2022</u> Signature: <u>Robert W. JORDAN</u> Title: _____		





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No



