

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
July 25, 2022
7:00 PM

REGULAR AGENDA MEETING

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
 - 1. July 11, 2022
- IV. PUBLIC HEARINGS**
- V. PRIVILEGE OF THE FLOOR**
- VI. UNFINISHED BUSINESS**
- VII. NEW BUSINESS**
- VIII. DISCUSSION ITEM**
 - 1. Empire Dr. – Sketch plan application for a minor 2 lot subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres, respectively
 - 2. 2239 Van Antwerp Rd. – Sketch plan application for a minor 2-lot subdivision of 2.08 acre property into lots of .56 acres and 1.53 acres, respectively
- IX. REPORTS**
 - 1. Planning Department Updates
- X. COMMISSION BUSINESS**
- XI. ADJOURNMENT**

NEXT MEETING: August 8, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
July 11, 2022

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Genghis Khan
Daci Shenfield
Patrick McPartlon (Virtual)
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. Skrebutenas and Mr. LaFlamme were excused tonight.

III. MINUTES

June 13, 2022

Mr. D'Arpino made a motion to approve and it was seconded by Ms. Strang. Chairman Walsh stated there were some minor changes needed. On line 73, Discussions should have a IIIV and XI on Adjournment.

On line 205, Chairman Walsh asked for a new paragraph that would begin with "regarding the child care at 1850 Union Street, Ms. Robertson asked..." and then continue on with the original sentence.

Chairman Walsh made a motion to approve the modified minutes and it was seconded by Ms. Shenfield.

Upon voting, the amended minutes were approved unanimously.

IV. PUBLIC HEARINGS

1. 1850 Union St. – Site plan app. for Capital Kids Care after school and summer camp within an existing place of worship at the Immanuel Evangelical Lutheran church.

The owner of Capital Kids Care was present to discuss the project and answer any questions. She reviewed the project briefly and Chairman Walsh opened the floor to the public. There were comments regarding this project either in person, virtually or in email form. Hearing no comments, the public hearing was closed.

V. PRIVILEGE OF THE FLOOR

There were no speakers present, via virtual or emails for privilege of the floor tonight.

VI. UNFINISHED BUSINESS

No unfinished business tonight.

VII. NEW BUSINESS

1. RESOLUTION: 2022-14: A Resolution to make a recommendation to the Town Board on a special use permit for the operation of a childcare center at the Immanuel Evangelical Lutheran Church at 1850 Union St.

Mr. Khan made a motion for approval and seconded by Ms. Gold. Chairman Walsh commented that there was no public comment regarding this project and will move to the Town Board for their special use permit review. He called for a vote on the resolution.

Upon voting, the resolution was approved unanimously 7-0.

Ms. Gold	AYE
Mr. Khan	AYE
Ms. Shenfield	AYE
Ms. Strang	AYE
Mr. McPartlon	AYE
Mr. D'Arpino	AYE
Chairman Walsh	AYE

2. RECOMMENDATION TO ZBA: 2837 Aqueduct Rd. -- A Recommendation to the Zoning Board of Appeals (ZBA) for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space requiring an area variance for the height of the building.

Mr. Pafundi was present for the meeting. He updated the Board on any outstanding items the Board had requested. He stated the HVAC will be completely covered in the top of the building within the roofline. He stated that it will be shielded in a tub like structure. He reiterated that it will not be seen due to it being covered by the roof and that it will not be affected by the height variance request. Ms. Robertson noted that the CAC commented that there will only be approximately 5 trees buffering the building from the road and more trees are recommended to create a better buffer. The applicant agreed to this and is willing to work with the CAC.

Chairman Walsh began the questions for the recommendation to the ZBA.

Is there an effect on the Comprehensive Plan?

Mr. Khan stated there is no effect on the Comprehensive Plan.

Upon voting, the resolution was approved unanimously 6-1.

Ms. Gold NAY – Ms. Gold stated there is a small effect on the Comprehensive Plan because it sets a precedent due to the height.

Mr. Khan AYE

Ms. Shenfield AYE

Ms. Strang AYE

Mr. McPartlon AYE

Mr. D'Arpino AYE

Chairman Walsh AYE

Is the project a suitable use for area?

Mr. Khan stated it was a suitable use. He stated does not think precedent would necessarily apply due to the fact that this is a Planned Unit Development (PUD). He stated the character of the angled roof will fit better within the neighborhood than the flat roof that would put the building in compliance. Ms. Gold added that she thought it was a desirable use for the area. Chairman Walsh stated that he agreed with Mr. Khan adding that the identification of wetlands on the site required modification of the site plan from a two 2-story buildings to one 3-story building. This reduced the number of apartment units from 100 to 66, respectively. He also noted the 66 unit building's smaller footprint results in less impervious surface. Lastly, he felt the height variance allows for more diversity in building design including the potential to enclose HVAC equipment.

Upon voting, the resolution was approved unanimously 7-0.

Ms. Gold AYE

Mr. Khan AYE

Ms. Shenfield AYE

Ms. Strang AYE

Mr. McPartlon AYE

Mr. D'Arpino AYE

Chairman Walsh AYE

What is the recommendation to the ZBA?

Mr. Khan stated the recommendation from the Planning Board is to approve the variance.

Upon voting, the resolution was approved unanimously 7-0.

Ms. Gold AYE

113 Mr. Khan AYE
114 Ms. Shenfield AYE
115 Ms. Strang AYE
116 Mr. McPartlon AYE
117 Mr. D'Arpino AYE
118 Chairman Walsh AYE

119

120 **3. RESOLUTION: 2022-15: A Resolution for final subdivision and final average density**
121 **development (ADD) approval for Kelts Farm Subdivision at 2538 River Road.**

122 Chairman Walsh read all the conditions of the resolution into the record. Mr. D'Arpino made a
123 motion and it was seconded by Mr. McPartlon. Mr. Bisaillon was present for the meeting. He
124 stated there are some outstanding items to follow up with Ms. Robertson. They included, the 13
125 concrete marker caps required by the Town code, the quote from Advanced Engineering which is
126 with the Planning Office, and the bond agreement with the Town for his recent quote for
127 blacktopping.

128 Chairman Walsh noted to Mr. Bisaillon that neighbors on Windsor commented on the location of
129 the gazebo. The Board discussed moving the gazebo back towards the tress to give it more
130 privacy and the neighbors some privacy. Ms. Robertson stated that this area was better but it
131 would have to be approved by police and fire because it may cause more problems for them. She
132 stated she will set up a meeting with all stakeholders to decide on the location.

133 Mr. Bisaillon noted that he took the comments from the ARB and will be adding grey stone
134 fronts to the ranch-style single family homes.

135 Chairman Walsh reviewed that there were no changes to the subdivision plan since the last
136 meeting and asked for a vote on the resolution.

137 Upon voting, the resolution was approved unanimously 7-0.

138

139 Ms. Gold AYE
140 Mr. Khan AYE
141 Ms. Shenfield AYE
142 Ms. Strang AYE
143 Mr. McPartlon AYE
144 Mr. D'Arpino AYE
145 Chairman Walsh AYE

146

147 **4. RESOLUTION: 2022-16: A Resolution for site plan approval for the construction of a**
148 **new 16,000 sq. ft. building at GE Global Research at 1 Research Circle.**

149

150 Mr. Khan and Ms. Shenfield recused themselves from this vote and project.

Mr. D'Arpino made a motion to approve the resolution and it was seconded by Ms. Strang. Mr. Whalen was virtually present tonight. Mr McPartlon asked if a SWPPP will be done concerning this project. Ms. Robertson stated due to the amount of disturbance a SWPPP will be required and her department is working on securing a TDE for this project. Hearing no other comments, Chairman Walsh called for a vote.

Upon voting, the resolution was approved unanimously 7-0.

Ms. Gold AYE

Ms. Strang AYE

Mr. McPartlon AYE

Mr. D'Arpino AYE

Chairman Walsh AYE

VIII. DISCUSSION ITEMS

1. 1747 Union St. – Site plan app for a 492 sq. ft. addition to the existing 1,455 sq. ft. gasoline service station.

Mr. Dan Kaufman, engineer, and Mr. Sal Khan, owner, were present tonight to discuss the project for the applicant. He displayed a markup of the property and where the applicant would like to add on to the store. He stated the applicant would like to add a 12' by 41' addition to add another 492 square feet to the existing store. The addition will include storage cooler space and more space to sell convenience items. The Board confirmed that the zoning is C-N which is neighborhood commercial so the existing use is an allowable use in this zoning district.

The Board discussed if this is classified as a convenience store with gas or gas station with a convenience store for the purposes of parking spot calculation. Chairman Walsh noted that there are 9 parking spots designated but 10 spots will be required to include employees.

Mr. D'Arpino noted that the parking spot near the intersection concerned him due to the volume of traffic that is on that corner and it could cause a blind spot. Mr. Kaufman stated that this is only a parking possibility. His plan is to have most of the parking in the back.

Ms. Strang commented that an enhancement of the landscaping would be beneficial to the property and the area. Ms. Gold asked if any variances will be needed for this property. Ms. Robertson stated she will double check. She will need to see if the expansion of the square footage is more than 25% which may trigger a special use permit.

Mr. McPartlon had questions about this expansion in comparison with Hari's Garage expansion request on Route 7. Ms. Robertson stated that they are in different zoning districts, R-1 vs C-N. She stated this project is zoned for commercial/neighborhood which allows this use but Hari's is grandfathered in and is a pre-existing non-conforming gas/service station. Chairman Walsh noticed some issues with the site plan parking and curb cuts and discussed having it updated for the next meeting. Mr. Kaufman agreed.

Ms. Finan recommended contacting the Police and Fire Departments to see if they had any concerns regarding getting rid of a curb cut and which one would be recommended to eliminate.

Chairman Walsh stated that this is the first discussion and looked forward to seeing updates to the plan at the July 25 meeting. He thanked the applicants for attending the meeting.

2. Empire Dr. – Sketch plan application for a minor 2 lot subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres, respectively

Mr. Robert Joralemon, owner, and Frank Palumbo, engineer from CT Male, were present to discuss the project. He stated that he is interested in building 2 lots on his vacant property with a subdivision. Mr. Joralemon stated that he has met with the Planning and Building departments and has some updates to the original sketch plan to present to the Board. He stated he would like to change the way the water and sewer utilities are proposed to serve the properties.

Mr. Palumbo stated that he would like information from the Town regarding where the existing water and sewer lines are located. His hope is to have an existing manhole service both lots. He added that he would like to continue the dialogue with the Engineering Department regarding this.

Chairman Walsh asked him to show the available building envelopes for each lot on the sketch plan. This will give the Board a general understanding of where the lots might be built upon. Mr. D'Arpno discussed the driveway possibilities and the snowplow turnarounds and the end of the existing stub road. Chairman Walsh asked if the applicant had looked at a "bulb" at the end of the stub road with two separate driveways coming off the bulb rather than shared driveways, which were problematic in the long run.

The Board discussed with the applicant to create 2 designs for review to see what will be more feasible for the subdivision. Option 1 will show what a full size cul-de-sac layout would look like with a town owned road and option 2 would show a two separated driveways.

Mr. Joralemon and Mr. Palumbo agreed that they would have the 2 drawings ready for the next meeting. They thanked the Board for the discussion. Chairman Walsh asked the Board for a project lead for this project and thanked the applicants for attending.

IX. REPORT

1. Planning Department Updates

There were no updates tonight.

X. COMMISSION OF BUSINESS

Mr. D'Arpino updated the Board on the ARB meeting and what projects are being reviewed. He added that he has received many emails regarding Schaefer Homes and will start cataloging the homes.

230 Ms. Gold asked if there have been complaints regarding the donation bins at ShopRite Plaza.
231 Ms. Robertson stated not to her knowledge. The Board discussed monitoring the bins for
232 disrepair and excessive garbage.

233 **XI. ADJOURNMENT**

234 Chairman Walsh asked for a motion to adjourn. Ms. Gold made a motion to adjourn and it was
235 seconded by Mr. Khan. The meeting was adjourned at 9:15 pm.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 7/25/2022

ITEM TITLE: DISCUSSION: Empire Dr. – Application for Approval of Plat Plan for a minor 2 lot subdivision of tax map parcel 61.0-1-33.2 into two separate lots of 1.83 and 2.0 acres, respectively.

PROJECT LEAD: TBD

APPLICANT: Robert Joralemon

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Robert Joralemon, property owner, submitted an sketch plan application for a minor 2-lot subdivision of the property at tax map parcel 61.0-1-33.2, creating two separate lots of 1.83 and 2.0 acres, respectively.

BACKGROUND INFORMATION

Tax map parcel 61.0-1-33.2 is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled “Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated 6/30/22 with no further revisions was provided with the application. Lot lines demarcating “Lot 1 Area = 1.83 Acres” and “Lot 2 Area = 2.0 Acres” are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

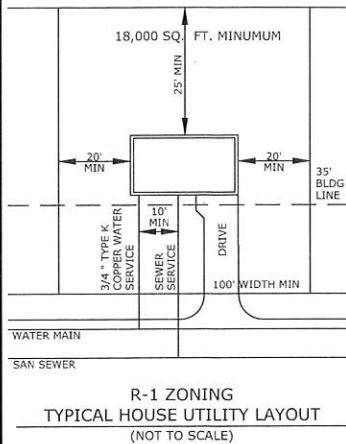
Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
Single-family dwelling	18,000	100	125	35	40	25
Lot 1	79,715	≈300	≈200	≈70	≈50 / ≈250	≈75
Lot 2	87,120	≈570	≈200	≈70	≈50 / ≈450	≈75

The original sketch plan drawing proposed two parallel contiguous driveways exiting from the stub off of Empire Drive running along the shared side property line of the two lots. Each driveway included a 20' wide turnaround at their intersection with the stub street so that snowplows would be able to turnaround.

7/11/22 Planning Board (PB) meeting – The property owner, Robert Joralemon, and Frank Palumbo of CT Male Associates presented the project to the PB. The PB did not like the proposal to have the Town snowplows turn around on the private driveways of the proposed subdivision. The PB asked for two alternate site plan drawings to be prepared. One version will include a traditional cul-de-sac at the end of the existing stub road. The second version will include a smaller “bulb” end to the existing stub road. The drawings were provided and are included in the packet for the meeting this evening.



SITE LOCATION PLAN
N.T.S.



GENERAL NOTES:

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
- CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

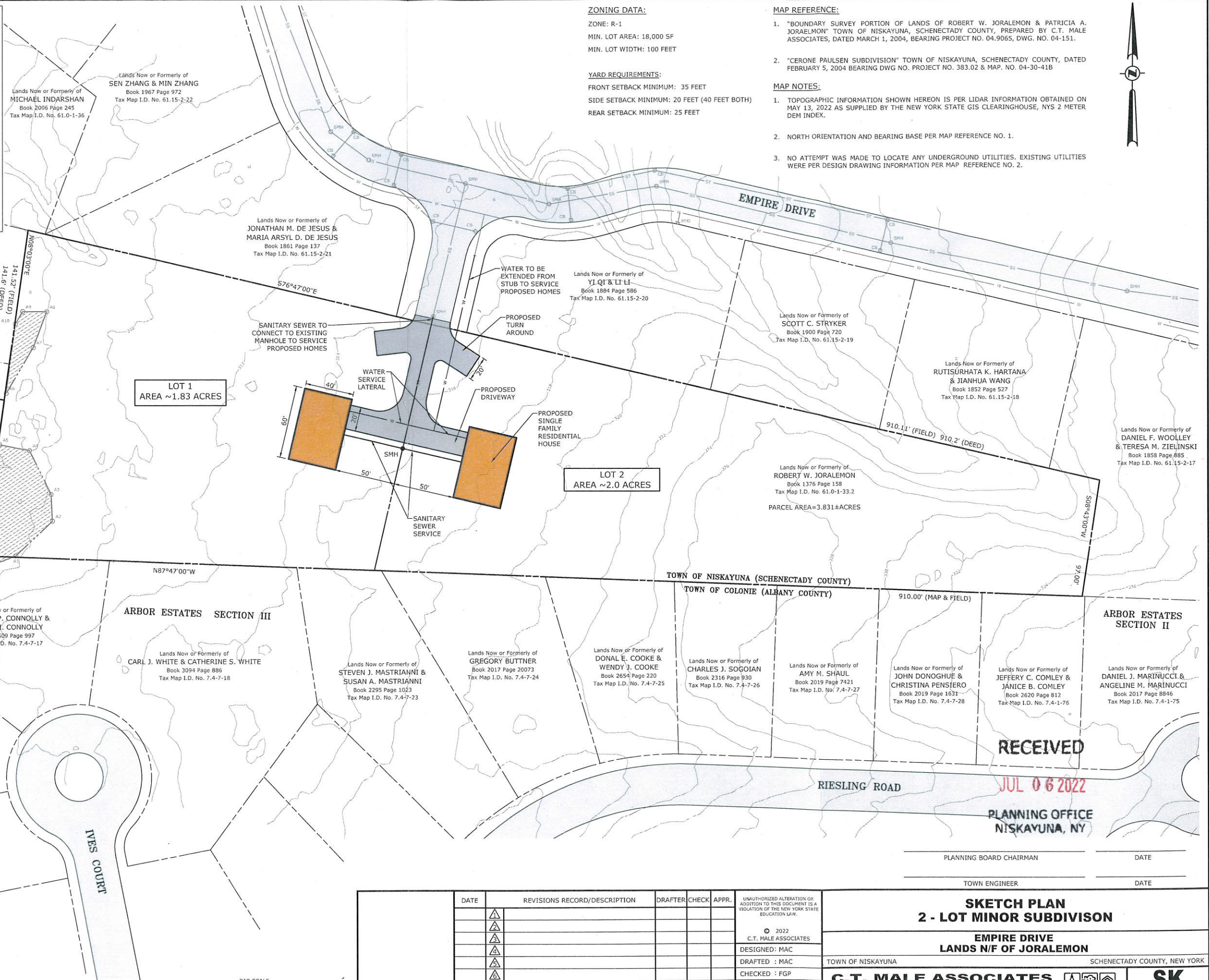
- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

- SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
- THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
- ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
- THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

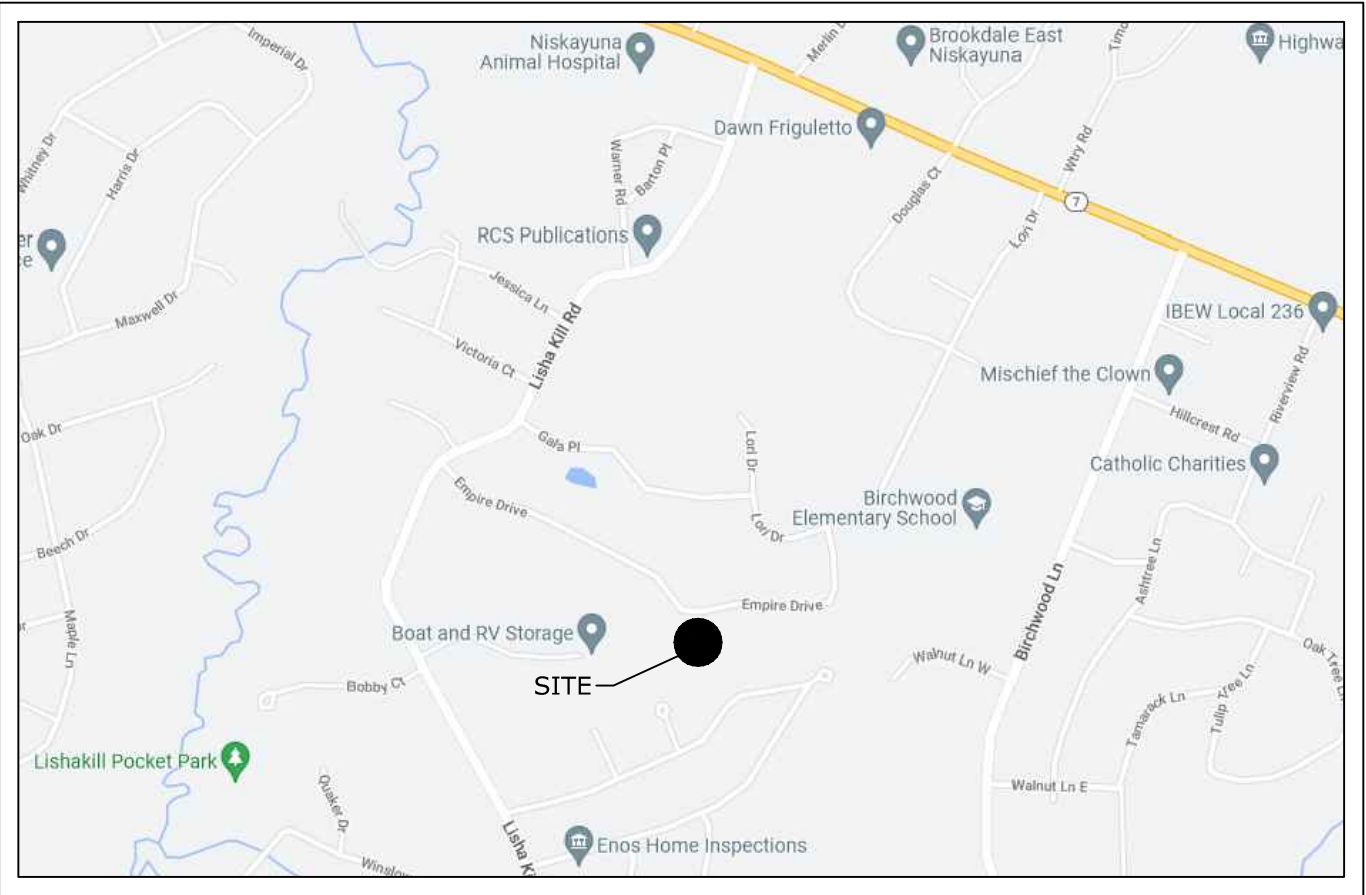
- THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.



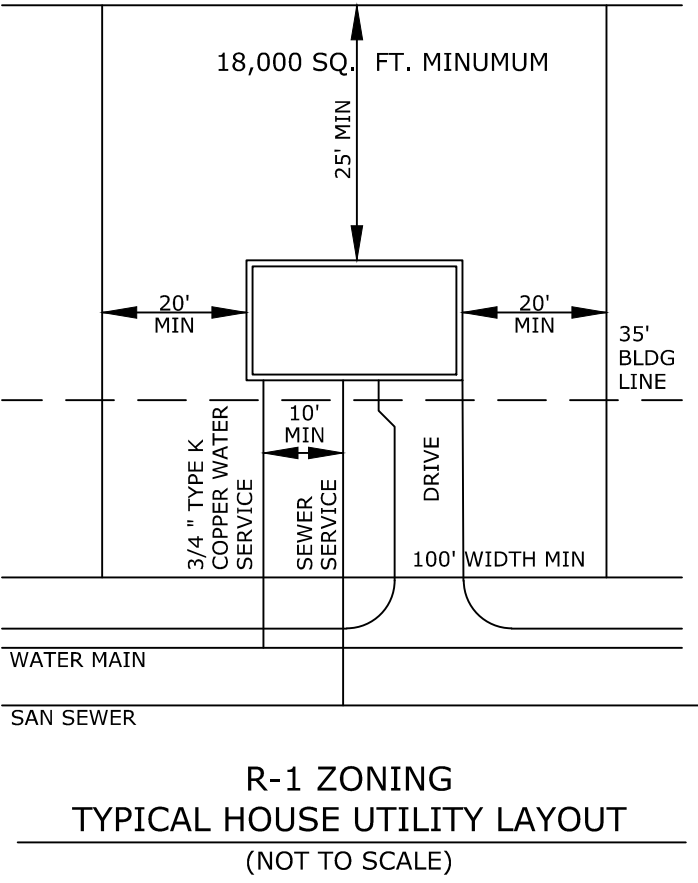
DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.

SKETCH PLAN 2 - LOT MINOR SUBDIVISION	
EMPIRE DRIVE LANDS N/F OF JORALEMON	
TOWN OF NISKAYUNA	SCHENECTADY COUNTY, NEW YORK
C.T. MALE ASSOCIATES Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400 COBLESKILL, NY • GLENS FALLS, NY • Poughkeepsie, NY JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY www.ctmale.com	
DESIGNED: MAC	
DRAFTED: MAC	
CHECKED: FGP	
PROJ. NO: 04.9065	
SCALE: 1"=40'	
DATE: JUNE 30, 2022	

RECEIVED JUL 06 2022 PLANNING OFFICE NISKAYUNA, NY	
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE



SITE LOCATION PLAN
N.T.S.



GENERAL NOTES:

1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
2. ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. INSOFAR AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
5. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

1. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS, WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

1. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
2. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
3. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
4. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

1. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

Lands Now or Formerly of
MICHAEL INDARSHAN
Book 2006 Page 245
Tax Map I.D. No. 61.0-1-36

Lands Now or Formerly of
SEN ZHANG & MIN ZHANG
Book 1967 Page 972
Tax Map I.D. No. 61.15-2-22

Lands Now or Formerly of
**JONATHAN M. DE JESUS &
MARIA ARSYL D. DE JESUS**
Book 1861 Page 137
Tax Map I.D. No. 61.15-2-21

Lands Now or Formerly of
HELDERBERG PROPERTY COMPANY LLC
Book 1946 Page 855
Tax Map I.D. No. 61.0-1-34,11

30' WIDE ACCESS LANDS
OF JORALEMON EASEMENT
TO BK.1146 PG.67

Lands Now or Formerly of
**ROBERT W. JORALEMON &
ROSEMARY JORALEMON**
Book 1685 Page 756
Tax Map I.D. No. 61.0-1-31

Lands Now or Formerly of
**STEPHEN P. CONNOLLY &
DENISE I. CONNOLLY**
Book 2509 Page 997
Tax Map I.D. No. 7.4-7-17

ARBOR ESTATES SECTION III

Lands Now or Formerly of
CARL J. WHITE & CATHERINE S. WHITE
Book 3094 Page 886
Tax Map I.D. No. 7.4-7-18

Lands Now or Formerly of
**STEVEN J. MASTRIANNI &
SUSAN A. MASTRIANNI**
Book 2295 Page 1023
Tax Map I.D. No. 7.4-7-23

Lands Now or Formerly of
GREGORY BUTTNER
Book 2017 Page 20073
Tax Map I.D. No. 7.4-7-24

Lands Now or Formerly of
**DONAL E. COOKE &
WENDY J. COOKE**
Book 2654 Page 220
Tax Map I.D. No. 7.4-7-25

Lands Now or Formerly of
CHARLES J. SOGOIAN
Book 2316 Page 930
Tax Map I.D. No. 7.4-7-26

Lands Now or Formerly of
AMY M. SHAUL
Book 2019 Page 7421
Tax Map I.D. No. 7.4-7-27

Lands Now or Formerly of
**JOHN DONOGHUE &
CHRISTINA PENSIERO**
Book 2019 Page 1631
Tax Map I.D. No. 7.4-7-28

Lands Now or Formerly of
**JEFFERY C. COMLEY &
JANICE B. COMLEY**
Book 2620 Page 812
Tax Map I.D. No. 7.4-1-76

Lands Now or Formerly of
**DANIEL J. MARINUCCI &
ANGELINE M. MARINUCCI**
Book 2017 Page 8846
Tax Map I.D. No. 7.4-1-75

ZONING DATA:

ZONE: R-1
MIN. LOT AREA: 18,000 SF
MIN. LOT WIDTH: 100 FEET

YARD REQUIREMENTS:

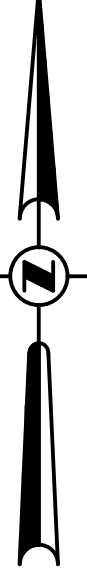
FRONT SETBACK MINIMUM: 35 FEET
SIDE SETBACK MINIMUM: 20 FEET (40 FEET BOTH)
REAR SETBACK MINIMUM: 25 FEET

MAP REFERENCE:

1. "BOUNDARY SURVEY PORTION OF LANDS OF ROBERT W. JORALEMON & PATRICIA A. JORALEMON" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, PREPARED BY C.T. MALE ASSOCIATES, DATED MARCH 1, 2004, BEARING PROJECT NO. 04.9065, DWG. NO. 04-151.
2. "CERONE PAULSEN SUBDIVISION" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, DATED FEBRUARY 5, 2004 BEARING DWG NO. PROJECT NO. 383.02 & MAP. NO. 04-30-41B

MAP NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER LIDAR INFORMATION OBTAINED ON MAY 13, 2022 AS SUPPLIED BY THE NEW YORK STATE GIS CLEARINGHOUSE, NYS 2 METER DEM INDEX.
2. NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 1.
3. NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES. EXISTING UTILITIES WERE PER DESIGN DRAWING INFORMATION PER MAP REFERENCE NO. 2.



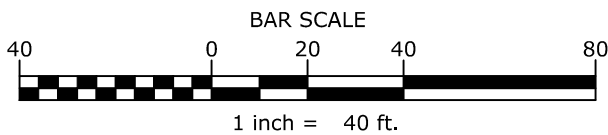
LOT 1
AREA ~1.69 ACRES

LOT 2
AREA ~1.87 ACRES

TOWN OF NISKAYUNA (SCHENECTADY COUNTY)
TOWN OF COLONIE (ALBANY COUNTY)

RIESLING ROAD

IVES COURT



PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE

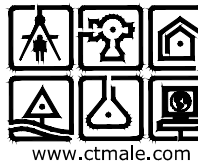
**SKETCH PLAN-ALT 1
2 - LOT MINOR SUBDIVISON**

**EMPIRE DRIVE
LANDS N/F OF JORALEMON**

TOWN OF NISKAYUNA

SCHENECTADY COUNTY, NEW YORK

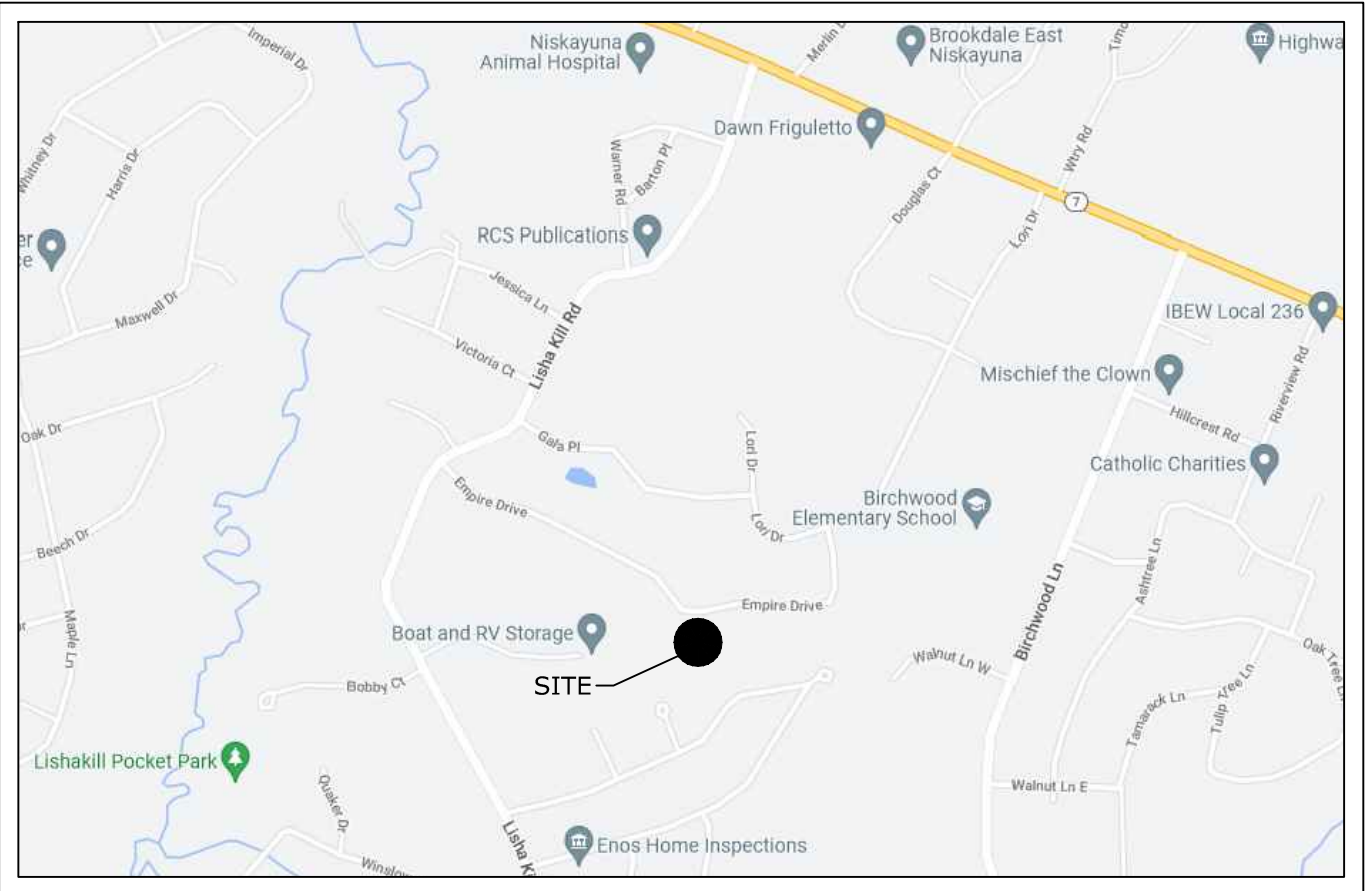
C.T. MALE ASSOCIATES
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400
COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY
JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY



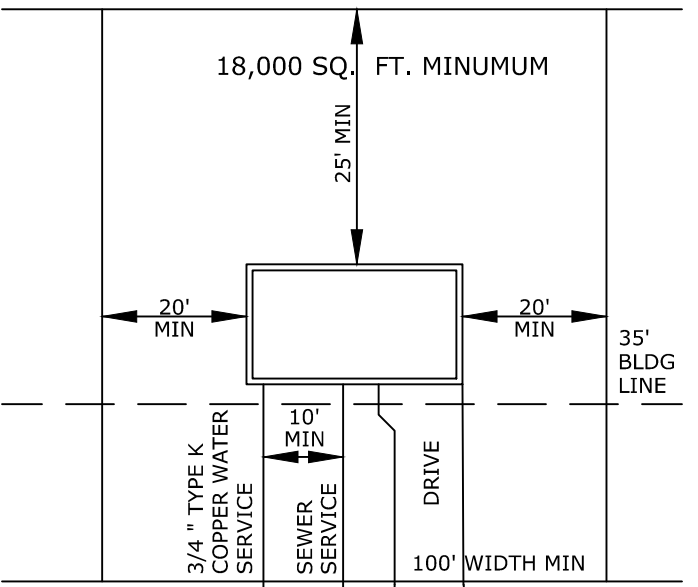
SK1

SHEET 1 OF 1

DWG. NO: 04.9065



SITE LOCATION PLAN
N.T.S.



R-1 ZONING
TYPICAL HOUSE UTILITY LAYOUT
(NOT TO SCALE)

GENERAL NOTES:

1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
2. ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. INSOFAR AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
5. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

1. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS, WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

1. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
2. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
3. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
4. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

1. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

Lands Now or Formerly of
MICHAEL INDARSHAN
Book 2006 Page 245
Tax Map I.D. No. 61.0-1-36

Lands Now or Formerly of
SEN ZHANG & MIN ZHANG
Book 1967 Page 972
Tax Map I.D. No. 61.15-2-22

Lands Now or Formerly of
**JONATHAN M. DE JESUS &
MARIA ARSYL D. DE JESUS**
Book 1861 Page 137
Tax Map I.D. No. 61.15-2-21

Lands Now or Formerly of
HELDERBERG PROPERTY COMPANY LLC
Book 1946 Page 855
Tax Map I.D. No. 61.0-1-34,11

Lands Now or Formerly of
**ROBERT W. JORALEMON &
ROSEMARY JORALEMON**
Book 1685 Page 756
Tax Map I.D. No. 61.0-1-31

Lands Now or Formerly of
**STEPHEN P. CONNOLLY &
DENISE I. CONNOLLY**
Book 2509 Page 997
Tax Map I.D. No. 7.4-7-17

ARBOR ESTATES SECTION III

Lands Now or Formerly of
CARL J. WHITE & CATHERINE S. WHITE
Book 3094 Page 886
Tax Map I.D. No. 7.4-7-18

Lands Now or Formerly of
**STEVEN J. MASTRIANNI &
SUSAN A. MASTRIANNI**
Book 2295 Page 1023
Tax Map I.D. No. 7.4-7-23

Lands Now or Formerly of
GREGORY BUTTNER
Book 2017 Page 20073
Tax Map I.D. No. 7.4-7-24

Lands Now or Formerly of
**DONAL E. COOKE &
WENDY J. COOKE**
Book 2654 Page 220
Tax Map I.D. No. 7.4-7-25

Lands Now or Formerly of
CHARLES J. SOGOIAN
Book 2316 Page 930
Tax Map I.D. No. 7.4-7-26

Lands Now or Formerly of
AMY M. SHAUL
Book 2019 Page 7421
Tax Map I.D. No. 7.4-7-27

Lands Now or Formerly of
**JOHN DONOGHUE &
CHRISTINA PENSIERO**
Book 2019 Page 1631
Tax Map I.D. No. 7.4-7-28

Lands Now or Formerly of
**JEFFERY C. COMLEY &
JANICE B. COMLEY**
Book 2620 Page 812
Tax Map I.D. No. 7.4-1-76

Lands Now or Formerly of
**DANIEL J. MARINUCCI &
ANGELINE M. MARINUCCI**
Book 2017 Page 8846
Tax Map I.D. No. 7.4-1-75

ZONING DATA:

ZONE: R-1
MIN. LOT AREA: 18,000 SF
MIN. LOT WIDTH: 100 FEET

YARD REQUIREMENTS:

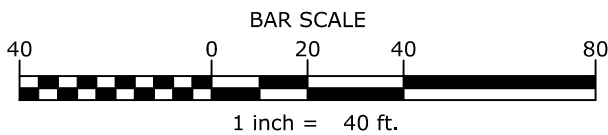
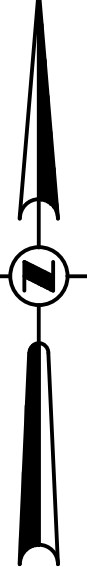
FRONT SETBACK MINIMUM: 35 FEET
SIDE SETBACK MINIMUM: 20 FEET (40 FEET BOTH)
REAR SETBACK MINIMUM: 25 FEET

MAP REFERENCE:

1. "BOUNDARY SURVEY PORTION OF LANDS OF ROBERT W. JORALEMON & PATRICIA A. JORALEMON" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, PREPARED BY C.T. MALE ASSOCIATES, DATED MARCH 1, 2004, BEARING PROJECT NO. 04.9065, DWG. NO. 04-151.
2. "CERONE PAULSEN SUBDIVISION" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, DATED FEBRUARY 5, 2004 BEARING DWG NO. PROJECT NO. 383.02 & MAP. NO. 04-30-41B

MAP NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER LIDAR INFORMATION OBTAINED ON MAY 13, 2022 AS SUPPLIED BY THE NEW YORK STATE GIS CLEARINGHOUSE, NYS 2 METER DEM INDEX.
2. NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 1.
3. NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES. EXISTING UTILITIES WERE PER DESIGN DRAWING INFORMATION PER MAP REFERENCE NO. 2.



DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.
					© 2022 C.T. MALE ASSOCIATES
					DESIGNED: MAC
					DRAFTED : MAC
					CHECKED : FGP
					PROJ. NO : 04.9065
					SCALE : 1"=40'
					DATE : JUNE 30, 2022

SKETCH PLAN-ALT 2 2 - LOT MINOR SUBDIVISON	
EMPIRE DRIVE LANDS N/F OF JORALEMON	
TOWN OF NISKAYUNA	SCHENECTADY COUNTY, NEW YORK
C.T. MALE ASSOCIATES Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400 COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY	
	SK2 SHEET 1 OF 1 DWG. NO: 04.9065

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

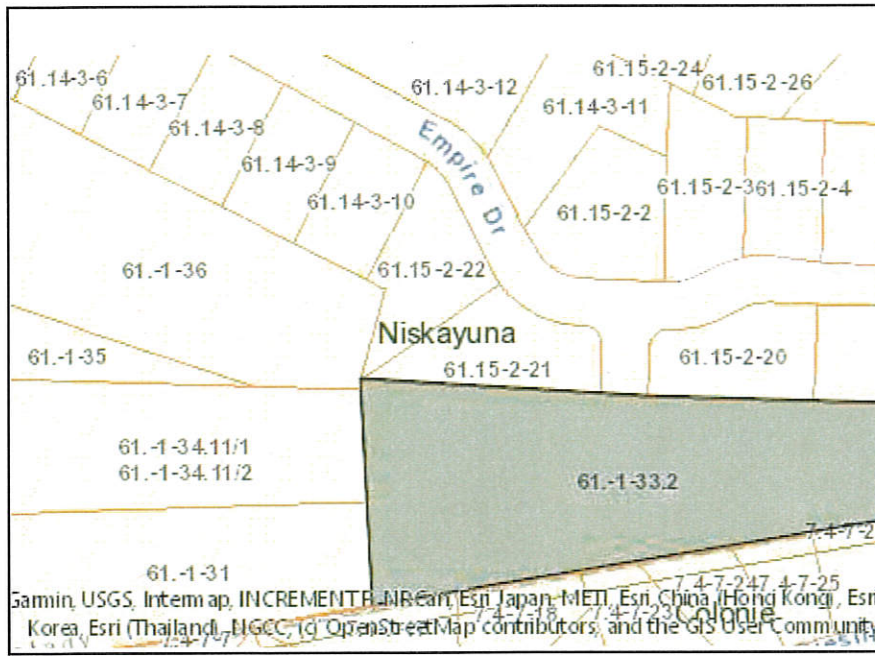
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: 2-Lot Minor Subdivision			
Project Location (describe, and attach a location map): Tax Map Parcel 61.0-1-33.2, to the south of Empire Drive, access off paper street, to the east of Lisha Kill Road.			
Brief Description of Proposed Action: Proposed Two Lot Minor Subdivision. The purpose of this project is to subdivide Tax Map Parcel 61.0-1-33.2 into two separate tax lots, Lot 1: 1.83 acres and Lot 2: 2.0 acres			
Name of Applicant or Sponsor: Robert Joralemon		Telephone: 518-785-4916	
		E-Mail:	
Address: 630 Lishakill Road			
City/PO: Niskayuna		State: NY	Zip Code: 12309
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Niskayuna Planning Board Minor Subdivision Approval		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.83 acres	
b. Total acreage to be physically disturbed?		0 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.83 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

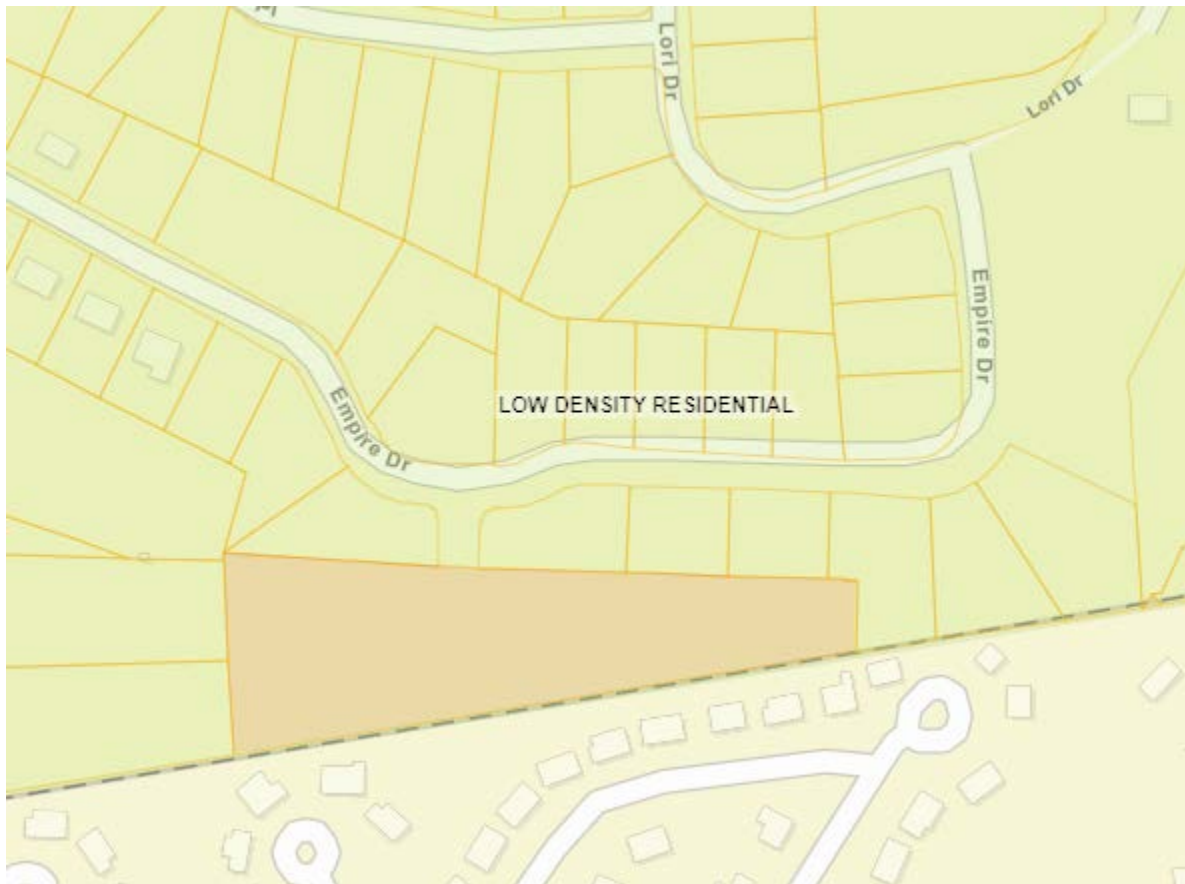
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
If Yes, briefly describe: _____ _____		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: _____ Date: <u>7/7/2022</u>		
Signature: <u>Robert W. JORDAN</u> Title: _____		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 7/25/2022

ITEM TITLE: DISCUSSION: 2239 Van Antwerp Rd. – Sketch plan application for a minor 2 lot subdivision of the existing 2.08 acre lot into two separate lots of .56 (24,392 +/- sq. ft.) and 1.53 acres, respectively.

PROJECT LEAD: TBD

APPLICANT: Patrick Jarosz, agent for the owners

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Patrick Jarosz, agent for the owners, submitted a Sketch Plan Application for a minor 2-lot subdivision of the 2.08 acre property at 2239 Van Antwerp Rd. into two separate lots of .56 (24,392 +/- sq. ft.) and 1.53 acres, respectively.

BACKGROUND INFORMATION

The property is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled "Subdivision of the Land of Ryan #2239 Van Antwerp Road" by Gilbert VanGuilder, PLLC Professional Land Surveyors dated May 3, 2022 and revised on 5/31/22 was provided with the application. Lot lines demarcating "Area = 24,392+/-" and "Area = 1.53+/- Acres" are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
Single-family dwelling	18,000	100	125	35	40	25
Lot 1	24,392	≈124	≈200	≈50.6	≈19.7 / ≈55.3	≈OK
Lot 2	66,647	≈170	≈400	≈50	≈50 / ≈50	≈OK

While the bulk requirements in the R-1 Zoning are easily met – the presence of the wetland will require further modification of the subdivision plan or an Army Corps of Engineers permit. Section 180-9 (O) states: “In general, wetlands and watercourses should not be filled, graded, or altered. The crossing of watercourses should be avoided to the maximum extent practicable. When protection of wetlands, watercourses, trees, steep slopes or other environmentally sensitive area is required, the location shall be shown on the erosion control plan and the method of protection during construction identified (e.g., silt fence, construction fence, stakes, etc.). A vegetative buffer (minimum of 25 feet) shall be maintained between disturbed areas and protected federal wetlands that are not proposed to be filled as part of an Army Corps of Engineers wetlands permit. In the case of state-designated wetlands, the adjacent area of 100 feet shall not be disturbed without a NYS Department of Environmental Conservation permit.” Therefore the 25 foot wetland vegetative buffer needs to be identified on the plans and no grading or disturbing of soils should be shown within the buffer.

There is also an issue with sewer or septic that should be examined during sketch plan approval. The existing sewer main is in the back of the property at 2239 Van Antwerp Road. Extending the public sewer main beneath the wetlands may be required or an onsite septic system should be reviewed (see aerial image in packet).

The applicant is appearing before the Planning Board this evening to introduce the project to them and address any questions that arise.



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle
Niskayuna, New York 12309
Phone: (518) 386-4530
Fax: (518) 386-4592

Application for Sketch Plan Approval – 4 Lots or Less

Applicant: Gilbert VanGuilder Land Surveyor, PLLC Contact Patrick Jarosz

Address: 988 Route 146, Clifton Park, N.Y.

Phone Number: (518) 383-0634 Email: pjarosz@gvglandsurveyors.com

Owner Name (if different from applicant): Elizabeth A. Ryan Joanne Ryan

Address: 2239 Van Antwerp Road, Niskayuna, NY 12309

Phone Number: 518 377-5635 Email: bearyan@aoc.com

Description / Address of Property: 2239 Van Antwerp Road, Niskayuna, NY 12309

Section – Block - Lot: 40.-1-14.1

Each application shall be accompanied by:

1. A digital copy, three (3) full size copies and thirteen (13) 11x17 copies of any large scale plans or maps.
2. Administrative Fees: An application for Sketch Plan Approval shall be submitted to the Planning Department at least ten (10) days prior to a regular meeting of the Planning Board. Each application shall be accompanied by a fee of \$100. Fees are payable to the *Town of Niskayuna*.
3. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Signature of applicant: Patrick J. Jarosz Date: 7/18/2022

Signature of owner (if different from applicant): _____

Upon approval of Sketch Plan:

An Application for Approval of Plat Plan must be filed along with all appropriate documentation.



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle

Niskayuna, New York 12309

Phone: (518) 386-4530

Fax: (518) 386-4592

TOWN CODE

Chapter 189: Subdivision of Land

Article III: Subdivision Application Procedures

§ 189-6. Sketch plan.

- A. Submission of sketch plan. Any owner of land shall, prior to subdividing or resubdividing land, submit to the Secretary of the Planning Board at least 10 days prior to a regular meeting of the Board two copies of a sketch plan of the proposed subdivision, which shall comply with the requirements of § 189-22 for the purposes of classification and preliminary discussion.
- B. Discussion of requirements and classification.
 1. The subdivider or his duly authorized representative may be required by the Board to attend a meeting of the Planning Board to discuss the requirements of these regulations for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, or he may be required to meet with a subcommittee of the Board for this purpose.
 2. Classification of the sketch plan is to be made at this time by the Planning Board as to whether it is a minor or major subdivision, as defined in these regulations. The Board may require, however, when it deems it necessary for protection of the public health, safety and welfare, that a minor subdivision comply with all or some of the requirements specified for major subdivisions.
 - a. If the sketch plan is classified as a **minor subdivision**, the subdivider shall then comply with the procedure outlined in **§ 189-7** of this chapter.
 - b. If it is classified as a **major subdivision**, the subdivider shall then comply with the procedures outlined in **§ 189-8, § 189-9 and § 189-10**.
- C. Study of sketch plan. The Planning Board shall determine whether the sketch plan meets the purposes of these regulations and shall, where it deems necessary, make specific recommendations in writing to be incorporated by the applicant in the next submission to the Planning Board.



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle

Niskayuna, New York 12309

Phone: (518) 386-4530

Fax: (518) 386-4592

TOWN CODE

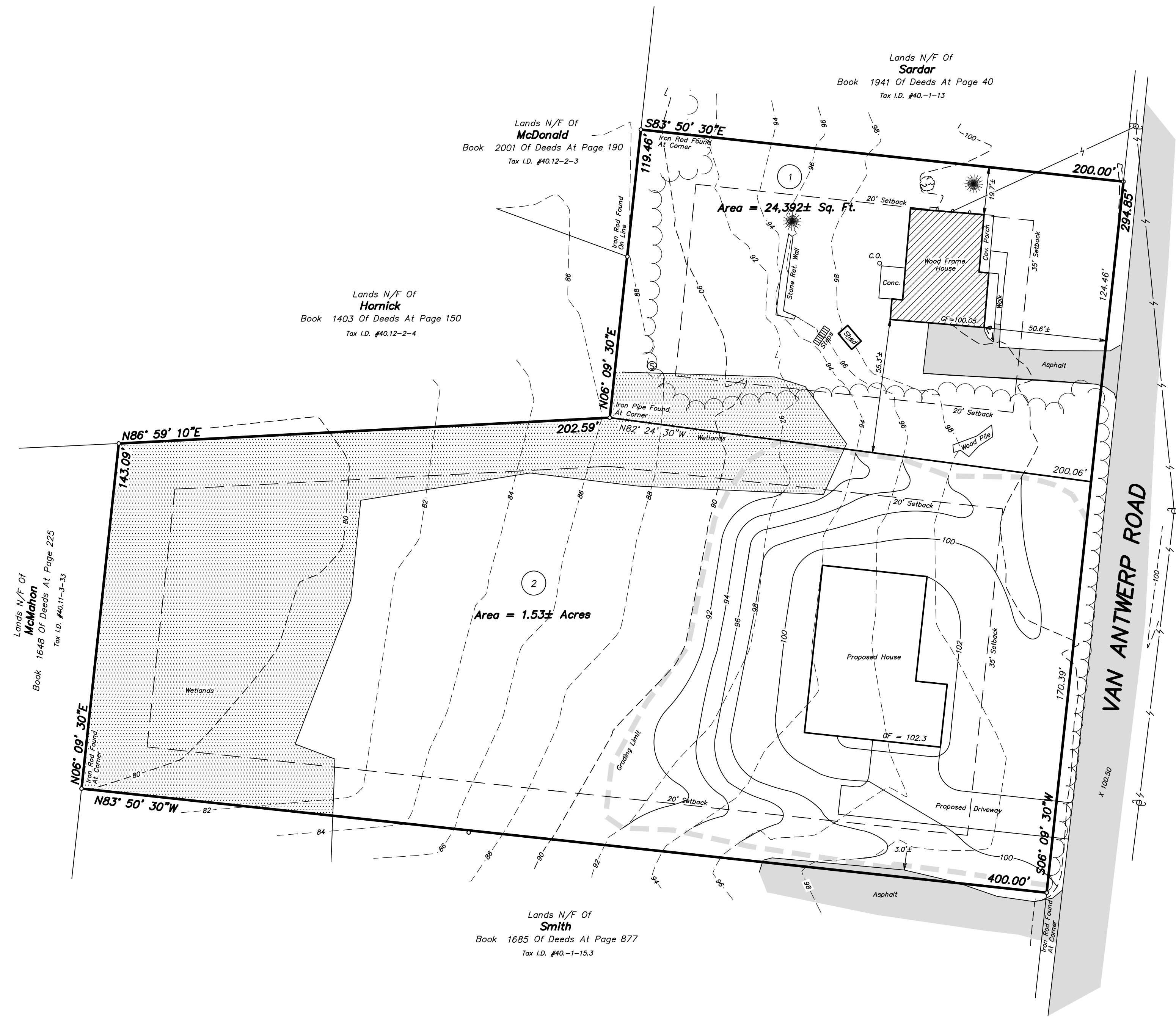
Chapter 189: Subdivision of Land

Article V: Documents to be Submitted

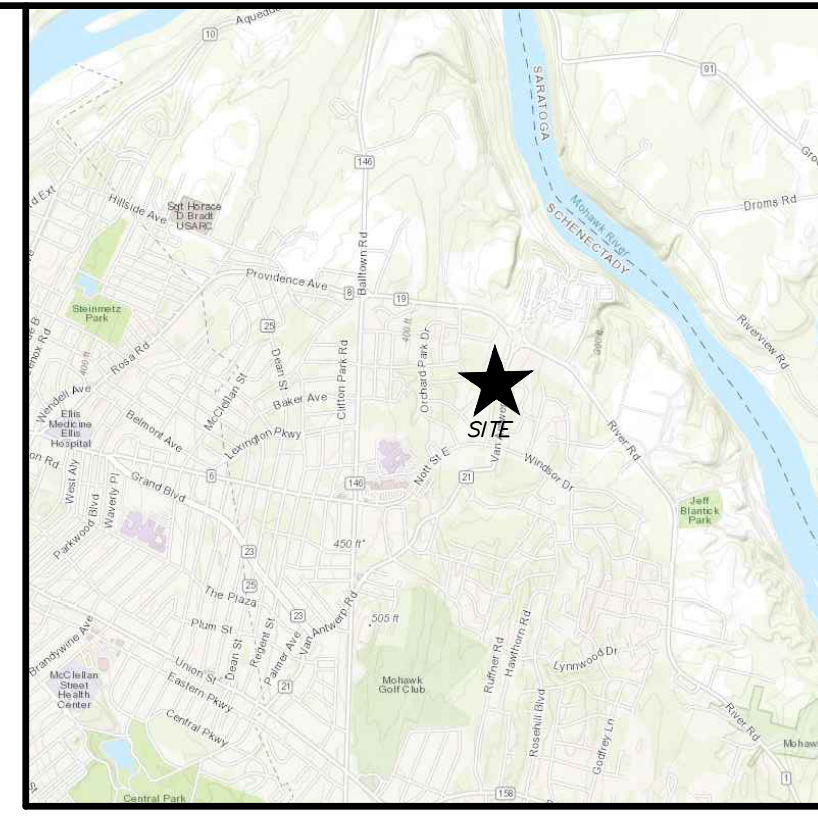
§ 189-22. Sketch plan.

- A. The sketch plan initially submitted to the Planning Board shall be based on Tax Map information or some other similarly accurate base map at a scale of not less than 100 feet to the inch to enable the entire tract to be shown on one sheet.
- B. The sketch plan shall be submitted, showing the following information:
 1. The location of that portion which is to be subdivided in relation to the entire tract and the distance to the nearest existing street intersection.
 2. All existing structures, wooded areas, streams and other significant physical features within the portion to be subdivided and within 200 feet thereof. If topographic conditions are significant, contours shall also be indicated at intervals of not more than 10 feet.
 3. The name of the owner and of all adjoining property owners as disclosed by the most recent municipal tax records.
 4. The Tax Map sheet, block and lot numbers, if available.
 5. All the utilities available and all streets which are either proposed, mapped or built.
 6. The proposed pattern of lots, including lot width and depth, street layout, recreation areas, systems of drainage, sewerage and water supply (see § 189-23C) within the subdivided area.
 7. All existing restrictions on the use of land, including easements, covenants or zoning lines.

Per Deed Reference



- DEED REFERENCE:
- CONVEYANCE TO JOANNE M. RYAN BY DEED DATED AUGUST 27, 2021 AND RECORDED IN THE SCHEMECTADY COUNTY CLERK'S OFFICE IN BOOK 2086 OF DEEDS AT PAGE 287.
- NOTES:
1. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
 2. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
 3. COPYRIGHT © 2020 BY GILBERT VANGUILDER LAND SURVEYOR, PLLC. ALL RIGHTS RESERVED. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND/OR COPYRIGHT HOLDER IS OBTAINED.
 4. CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE, UNLESS OTHERWISE NOTED.
 5. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
- TOWN NOTES:
1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
 2. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
 3. INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
 4. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
 5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND ROUTES OF CONVENIENCE SHALL BE AVOIDED.
 6. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNWISSESSABLY WITHIN WATERWAYS OR DITCHES.
 7. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SITUATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RESSESSED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDD AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.
 8. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT OF WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
 9. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH DIAMETER OF 6 IN. OR MORE AS MEASURED 3 FT. ABOVE THE BASE OF TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
 10. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
 11. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
 12. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.



SITE LOCATION

SITE STATISTICS:

ZONING: R-1 SINGLE FAMILY DWELLING

MIN. LOT SIZE - 19,000 SQ. FT.

MIN. WIDTH - 100 FT.

MIN. DEPTH - 125 FT.

MIN. FRONT SETBACK - 35 FT.

MIN. SIDE SETBACK - 30 FT./BOTH 40 FT.

MIN. REAR SETBACK - 25 FT.

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN ENGINEER _____ DATE _____

Revised Lot Line - 5/31/22

SUBDIVISION OF THE LANDS OF RYAN #2239 VAN ANTWERP ROAD

TOWN OF NISKAYUNA SCHEMECTADY COUNTY, NEW YORK

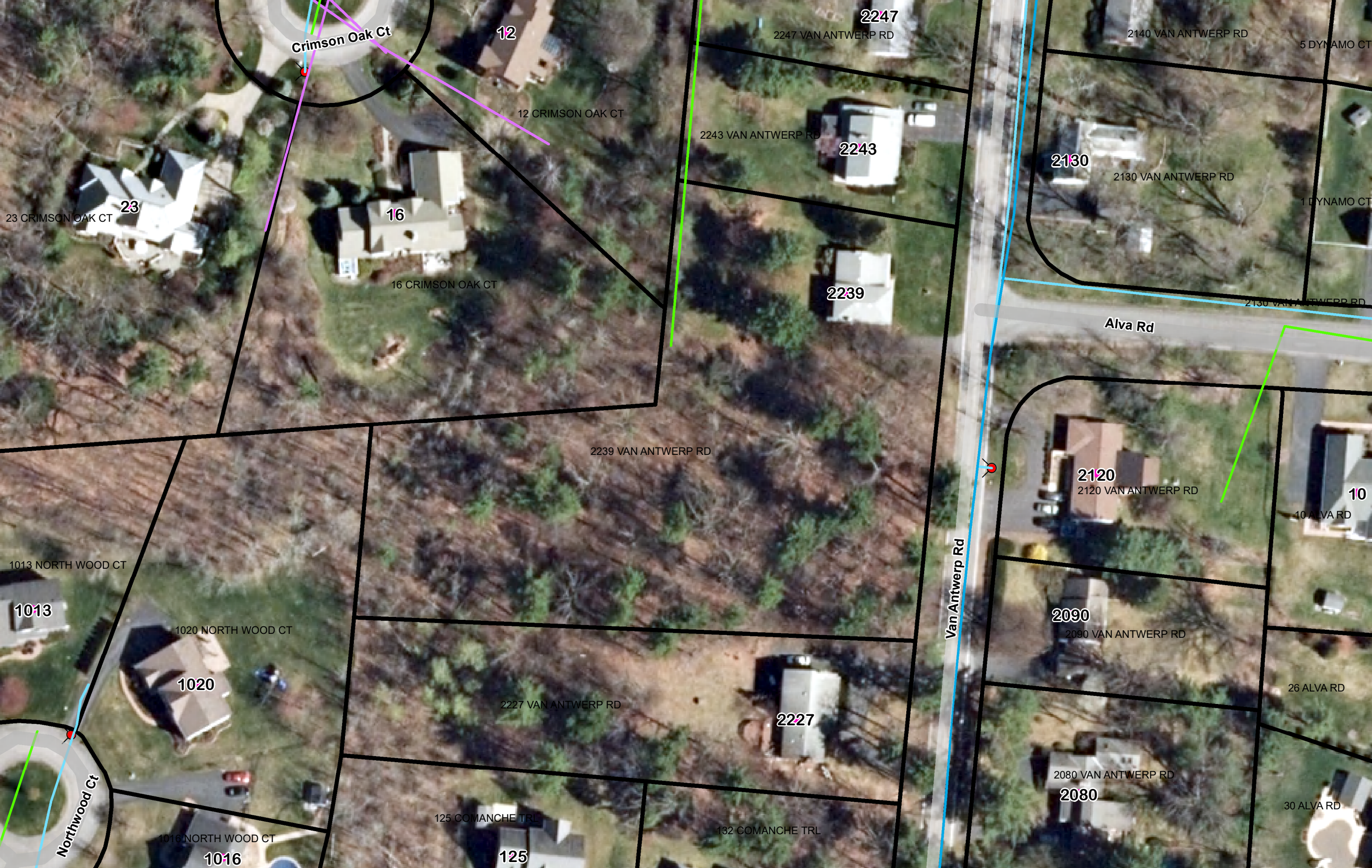
MAP NUMBER: 22 - 22 - 85 SCALE: 1" = 30' DATE: MAY 3, 2022

Gilbert VanGuilder
Land Surveyor, PLLC
Professional Land Surveyors
988 Route 146, Clifton Park, New York 12065
Telephone: (518) 383-0634
gvglandsurveyors.com

OWNER/APPLICANT:
JOANNE M. RYAN AND ELIZABETH A. RYAN
2239 VAN ANTWERP ROAD
NISKAYUNA, N.Y. 12309
TAX I.D. #40-1-14.1

TODD WESTERVELD, P.L.S. No. 50,319

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES OF THIS SURVEY MAP BEARING THE LAND SURVEYOR'S ORIGINAL SIGNATURE AND EMBOSSED SEAL SHALL BE CONSIDERED VALID.



Crimson Oak Ct

12

12 CRIMSON OAK CT

2247 VAN ANTWERP RD

2247

2243 VAN ANTWERP RD

2243

2140 VAN ANTWERP RD

5 DYNAMO CT

2130 VAN ANTWERP RD

2130

1 DYNAMO CT

16

16 CRIMSON OAK CT

2239

Alva Rd

2130 VAN ANTWERP RD

2239 VAN ANTWERP RD

2120

2120 VAN ANTWERP RD

10

10 ALVA RD

1013 NORTH WOOD CT

1013

1020 NORTH WOOD CT

1020

2090

2090 VAN ANTWERP RD

26 ALVA RD

2227 VAN ANTWERP RD

2227

125 COMANCHE TRL

125

132 COMANCHE TRL

2080 VAN ANTWERP RD

2080

30 ALVA RD

1016 NORTH WOOD CT

1016

Northwood Ct

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

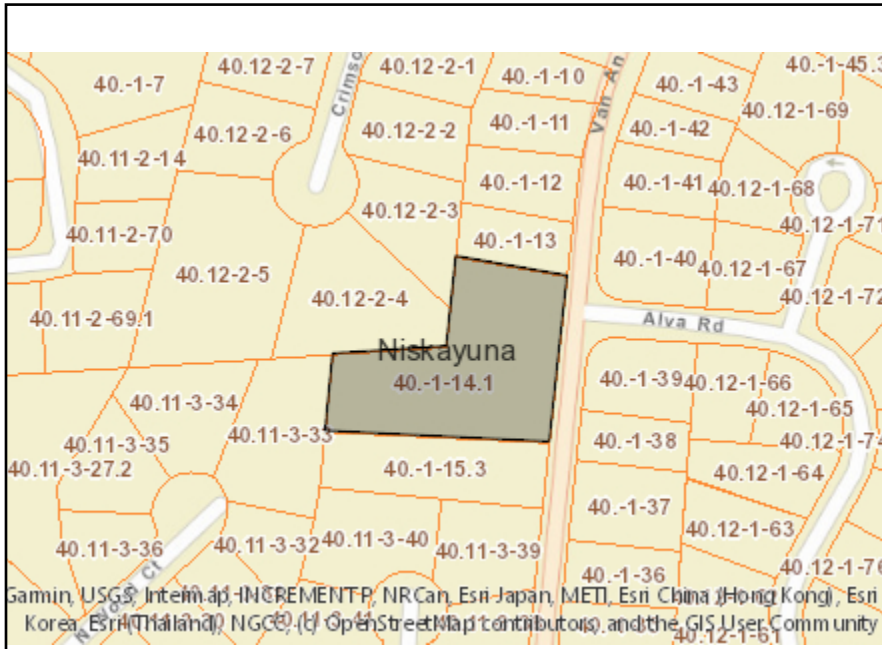
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:			State:	Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor?				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	N/A <input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional Wetland <input type="checkbox"/> Urban Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO <input type="checkbox"/>	YES <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
49. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor/name: _____ Date: _____ Signature: _____ Title: _____		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	Yes