

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
June 13, 2022
7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. May 23, 2022

IV. PUBLIC HEARINGS

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2022-12: A Resolution for site plan approval for renovations and new signage at Starbucks at 2303 Nott St. E.
2. RESOLUTION: 2022-13: A Resolution for site plan approval for dividing the existing commercial space into two spaces of 10,330 sf & 2,140 sf with a 127 sf landlord utility room with one of the new occupants being a Five Below retail store at 424 Balltown Rd.

VIII. DISCUSSION ITEM

1. 2207 / 2209 Nott St. – The Broken Inn – site plan app for temporary outside seating and parking space changes.
2. 2837 Aqueduct Rd. – Rivers Ledge Senior Center – site plan app. for a 66 apartment unit building containing 2,000 sq. ft of mixed-use commercial space and a 3,000 sq. ft. commercial building.
3. 2538 River Road – Kelts Farm subdivision – application for approval of final major subdivision / average density development (ADD).
4. 1850 Union St – Immanuel Evangelical Lutheran Church – site plan app. for the operation of a daycare center.

IX. REPORTS

1. Planning Department Updates

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: July 11, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
May 23, 2022

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Mike Skrebutenas (Virtual)
Patrick McPartlon (Virtual)
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. Khan, Mr. LaFlamme and Ms. Shenfield were absent or excused tonight.

III. MINUTES

May 9, 2022

Ms. Strang made a motion to approve the minutes and Mr. D'Arpino seconded the motion. Chairman Walsh asked for any changes or corrections. Hearing no changes, he called for a vote on the minutes.

Upon voting, the minutes were approved unanimously.

IV. PUBLIC HEARINGS

There were no public hearings.

V. PRIVILEGE OF THE FLOOR

Ms. Patricia Doyle and Mr. Matthew Wood attended the meeting to discuss their concern regarding 2275 Grand Boulevard that was approved at the Zoning Board of Appeals. She stated that the proposed building will be too big for the area and is concerned for her home.

Mr. Richard Normanden of 2316 Nott Street discussed with the Board an alternative area for a bus stop that would be closer to the Co-Op. He stated that the stop is currently at the corner of Crescent and Nott. It causes garbage build up; there is no cover for inclement weather. Mr. Normanden asked if the Town could relay the message to the County and recommend a stop closer to the Co-Op. Mr. Normanden added that his second concern is the possible outdoor

seating at the Broken Inn. He expressed his concern for the extra noise, patrons and possible drinking that could occur if outdoor service is allowed. He asked the Board to consider the neighboring residents when discussing this proposal. He discussed the effect of what added noise, parking and outside patronage can do to the neighbors that live in that vicinity.

Ms. Robertson stated that the Town received about 160 emails supporting the outdoor ice cream seating area for the Broken Inn. She stated there were 2 emails from residents asking the Board to move forward with caution when approving any outdoor seating. Ms. Robertson stated she will pdf all the comments and send them to the Board.

UNFINISHED BUSINESS

No unfinished business tonight.

VI. NEW BUSINESS

1. RESOLUTION: 2022-10: A Resolution for site plan approval for main entrance and dining room additions at the Glen Eddy at 1 Glen Eddy Drive.

Chairman Walsh recused himself due to a conflict and Mr. D'Arpino was appointed temporary chairperson.

The applicant representing Glen Eddy was present for the meeting. He described the proposed project of extending the dining room, library and front loading area at the assisted living area by approx. 900 sq. feet to make it ADA compliant for licensing to provide more room for walkers and wheelchairs. The applicant added that one of the concerns of the Board was if a fire truck would be able to maneuver the awning in the drop off area if there was an emergency. He stated the truck would be able to maneuver it.

Mr. D'Arpino asked if there were any more comments or questions. Hearing none, he called for a motion. Ms. Strang made a motion to approve and it was seconded by Mr. Skrebutenas.

Mr. D'Arpino called for a vote on the resolution.

Upon voting, the resolution was approved 5-0.

Mr. D'Arpino	Aye
Mr. Skrebutenas	Aye
Mr. McPartlon	Aye
Ms. Gold	Aye
Ms. Strang	Aye

2. RESOLUTION: 2022-11: A Resolution for site plan approval for sidewalk improvements including the addition of an ADA accessible ramp at Niskayuna Square / Hannaford Supermarket Plaza at 3333 Consaul Rd.

Chairman Walsh read the conditions of the resolution. Mr. D'Arpino made a motion to approve and it was seconded by Ms. Gold. Mr. Oats was present representing Hannaford. Mr. Oats stated

that the conditions of the resolution were acceptable to them. Chairman Walsh asked if there were any other comments. Hearing none, he called for a vote.

Upon voting, the resolution was approved 6-0.

Mr. D'Arpino	Aye
Mr. Skrebutenas	Aye
Mr. McPartlon	Aye
Ms. Gold	Aye
Ms. Strang	Aye
Chairman Walsh	Aye

DISCUSSION ITEMS

1. 2303 Nott St. E. – Shop Rite Plaza – Starbucks – site plan app. for renovations and new signage.

Chairman Walsh stated Mr. Khan is the project lead on this project but is not present for the discussion tonight. Mr. Sackett and Mr. Brennen were present virtually for Starbucks this evening.

Mr. Brennen presented virtually the proposed changes to the outside building, including the addition of more outdoor seating and signage. He stated that they combined and diminished the size of the front signage so that it complied with zoning. Chairman Walsh stated that Mr. Khan reviewed the traffic analysis and was satisfied with the findings. Mr. D'Arpino asked Mr. Brennen to make sure that the extra disabled parking spots are ADA compliant. Ms. Robertson stated that there are some landscaping conditions that need to be repaired per conditions in the original resolution.

Chairman Walsh reviewed the timeline for resolution with the applicant. He stated there could be a tentative resolution for the 6/13 meeting.

2. 2207 / 2209 Nott St. – The Broken Inn – site plan app for temporary outside seating and parking space changes.

Mr. Nicchi was in attendance virtually for the meeting. Chairman Walsh summarized the process for the applicant to receive approval for temporary outdoor seating/service. Mr. Nicchi stated his request is for temporary seating only for the outdoor ice cream sales. He stated it was for safety reasons not for commerce. He acknowledged that he has not restriped the parking lot yet, which was a condition of his resolution due to the winter months. He stated he approached the Planning Department about possible changes when he was planning on striping and noticed that this will be a safety issue.

Mr. D'Arpino stated he met with Mr. Nicchi and discussed possibilities for creating an outdoor area for patrons to safely eat their ice cream. He noted that vehicles seem to park all the way up to the building with no space for passing through. Mr. D'Arpino described creating a D.O.T. style barrier that would provide a safety barrier between the cars and patrons. This would mean

124 taking up a few parking spaces near the takeout window. Chairman Walsh asked Mr. Nicchi if
125 his plan was to make the seating permanent. Mr. Nicchi stated that at this moment he was only
126 looking for temporary seating to protect patrons.

127
128 Mr. D'Arpino described with visuals what the proposed barriers would look like and where they
129 would be located in relation to the ice cream window. He stated it would push the parking
130 spaces out approximately 16 feet and be a loss of 2 spaces.

131
132 Ms. Robertson stated that this parking lot is pre-existing nonconforming. She stated that a
133 temporary barrier and loss of a couple or parking spots will not be detrimental to the area in the
134 short term but should be evaluated for the long term. This would provide safety for patrons while
135 a more formal plan is decided. Ms. Gold added that involving the Highway and Police
136 Department on the emergency decision making will be important. The Board agreed and Ms.
137 Robertson stated it would need to be given to Highway and Police and Fire for approval.

138
139 The Board discussed the long standing problem of parking at the Co-Op shopping center. Mr.
140 D'Arpino suggested allowing a buffer that was no more than 8 feet wide, to alleviate the ice
141 cream safety concerns. The Board question if that would put parking in the Town right of way.
142 Ms. Robertson informed the Board that the County plan and existing spots are already parking in
143 the Town right of way.

144
145 Ms. Finan confirmed with Ms. Robertson that the current parking spots are in the right of way
146 and that moving these spots just changes their location within the right of way. Ms. Robertson
147 agreed that was true. Chairman Walsh stated his agreement to this plan of eliminating 2 parking
148 spaces near the ice cream window and adding a barrier to buffer cars from the building.
149 Chairman Walsh asked Mr. Nicchi to provide the Board with a mark-up of the plans discussed
150 and hopefully this can be done and approved before the next meeting.

151
152 Ms. Strang added that the sooner Mr. Nicchi can draw up the potential plans, the quicker it can
153 be approved by the Board. All parties have a common goal for safety of the residents. Mr.
154 McPartlon added that there is a need for a sidewalk to be installed near the Broken Inn and is
155 disappointed it is not in the plans.

156
157 Ms. Robertson summarized the process to Mr. Nicchi and the Board. She stated that the
158 Planning Department will approved emergency changes to the existing parking and then the
159 applicant will need to return for approval of long time changes to the outside area. Mr. D'Arpino
160 asked if an end date for the temporary seating is needed. Ms. Robertson stated no, as long as the
161 process to make it permanent is place. Chairman Walsh closed the discussion, thanking Mr.
162 Nicchi for attending and stated he looked forward to seeing the updated plans.

163
164 **3. 424 Balltown Rd. – site plan app. for dividing the existing space into two spaces of**
165 **10,330 sf & 2,140 sf with a 127 sf landlord utility room with one of the new**
166 **occupants being a Five Below retail store.**

167
168 Chairman Walsh recused himself due to a conflict of interest and Mr. D'Arpino was appointed
169 temporary Chairperson for this project. Mr. Rick Flather was present virtually to represent the

applicant. He described that the original store will be divided into 2 stores with one being occupied as Five Below. He stated that Five Below has not yet submitted its signage package or floor design. Mr. D'Arpino stated based on this information being very straight forward, the Board could have a tentative resolution for the next meeting. The Board agreed.

4. 2837 Aqueduct Rd. – Rivers Ledge Senior Center – site plan app. for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft. commercial building.

Mr. Chuck Pafundi was present to represent the applicant. He stated that the proposed building has been updated and changed. He stated their architect revised the plans to break up the building and shorten the length of it. Mr. Pafundi discussed the addition of a 3rd floor and minimizing the length of the building. He presented the new drawings and specs of the building. Chairman Walsh noted that this building has downsized from 100 units to 66. Mr. Pafundi stated that they focused mostly on 2 bedrooms in this building due to data from their other senior building on Green Island. Chairman Walsh noted that Mr. LaFlamme and Mr. Khan are the project leads on this project. Mr. D'Arpino stated that the ARB took an initial look at this building. Mr. Henry noted that the ARB only had one rendering to look at and requested the whole package for the ARB to do a thorough review. Mr. D'Arpino gave a brief review of what he liked of the sketches. Mr. Skrebutenas asked Mr. Pafundi what age constitutes "senior" living. Mr. Pafundi stated it is 55 years of age and it was per the PUD with commercial space in the bottom.

Ms. Robertson stated that a 41 foot building will be higher than any on this road. Mr. Pafundi stated that for financial reasons, changing the 2 story plan to a 3 story plan makes it affordable to build. He understands there is a height difference but is still within the height of the tree line. Ms. Robertson reminded the Board that this building will need a height variance from the ZBA for the 41 foot height. The Board discussed ways to alleviate or minimize this variance including changing the roof line.

The Board agreed that the row house look was something they would like to keep in the plan. Mr. Pafundi agreed to return the plans to the architect and see if the roofline can be reworked. He added that if the footprint looks good to the Board they would like to request an escrow proposal and engage the TDE. Mr. Pafundi stated that they have submitted the water, sewer and stormwater report to Ms. Robertson and are through their first round of comments with the Army Corps of Engineers. Mr. Pafundi stated the Army Corps approved the footprint for the 66 unit building. They are still working on the stream mitigation to satisfy the stream impact with the Army Corps of Engineers. The Board agreed that the applicant is off to a good start with what has been submitted.

Chairman Walsh thanked Mr. Pafundi for attending the meeting.

VII. REPORTS

1. Planning Department Updates

Chairman Walsh stated the Good Year Tire storage pod was put in this week. He noted that the project lead, Mr. LaFlamme was not in attendance tonight. Chairman Walsh stated he drove by

215 it and stated due to the amount of vegetation buffering it from the closest residence, it does not
216 require further mitigation.

217 Ms. Robertson stated that the Kelts Farm bike path was paved too wide and too close to the road.
218 It is 10 feet instead of 8 feet. She asked the Board to drive out and take a look to see how it
219 looked and what they were willing to approve. Ms. Robertson stated her recommendation would
220 not be approval of the 10 feet and require asphalt be removed down to 8 feet.

221
222 **VIII. COMMISSION OF BUSINESS**

223 Mr. D'Arpino provided an update on the projects that went to the ARB including Chase Bank
224 and Kelts Farm and Rivers Ledge. Ms. Gold asked about the protocol of condemning a building.
225 Ms. Robertson explained that if it related to hazardous waste or mold, the inspectors require
226 notification from an expert in the field in order to condemn. However, once it was deemed
227 uninhabitable, the inspectors would carry out the condemning of the building.

228 **IX. ADJOURNMENT**

229 Chairman Walsh asked for a motion to adjourn. Ms. Gold made a motion to adjourn and it was
230 seconded by Ms. Strang. The meeting was adjourned at 9:35 pm.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 6/13/2022

ITEM TITLE: RESOLUTION: 2022-12: A Resolution for site plan approval for interior and exterior renovations including new signage at 2303 Nott St. E. – Starbucks.

PROJECT LEAD: Genghis Khan

APPLICANT: Daniel Brennan, Starbuck permit agent

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Daniel Brennan, Starbucks permit agent, submitted an Application for Site Plan Review for internal and external remodeling of the Starbucks at 2303 Nott St. E. The remodeling includes general painting and interior remodeling, relocating new exterior menu boards and new signage.

The property falls within the C-N Neighborhood Commercial zoning district and Town Center Overlay district. Sections 220-10E (3) (d) and 220-13, Schedule I-D of the Niskayuna zoning code, do not allow restaurants with vehicle pick-up and ordering facilities in the C-N district. However, the Zoning Board of Appeals (ZBA) granted a use variance on November 28, 2012 allowing the restaurant with its present vehicle pick-up and ordering configuration.

Summary of Action Requested by the Planning Board

- A waiver for a façade sign with a sign area of 100% logo is requested as noted below.

BACKGROUND INFORMATION

Documentation Package

A completed site plan application and 26-page documentation package was provided that includes the following.

Pages 1 – 9 of the 26 page package

- Pages 4 – 9 -- Entitled Niskayuna Shoprite Sq.

- By Bergman Architects Engineers Planners, Philadelphia, PA

No.	Name	Sheet #	Issue Date	Rev.	Rev Date
1	Picture of main entrance	NA	NA	NA	NA
2	Pic. of outdoor seating	NA	NA	NA	NA
3	Pic. of drive-thru exit	NA	NA	NA	NA
4	Demo floor plan	D101	2/14/22	1	4/12/22
5	Demo elevations	D103	2/14/22	1	4/12/22
6	Life Safety Plan	G002	2/14/22	2	5/18/22
7	Ref site plan	A001	2/14/22	2	5/18/22
8	Bldg. exterior elevation	A201	2/14/22	2	5/18/22
9	FF & E plan	I101	2/14/22	2	5/18/22

The originally issued versions of the drawings included proposed modifications to the existing building that were removed from the project scope. The areas of the building where these proposed modifications were to occur are identified on the Rev. 1 & 2 drawings with scalloped red balloons.

Pages 10 – 26 of the 26 page package

- Entitled Starbucks Coffee #7363
- 2303 Nott St. E., Niskayuna, NY 12309
- By Hilton Displays, Greenville, SC
- All drawings contain a “Dwg. Date” of 3/1/22
- All drawings contain a “Rev. Date / Revision” of 4/21/22

All pages of the Hilton Displays drawing package were reviewed relative to Niskayuna zoning code.

Elevation: Proposed – Main Entry

--- Page 15 of 24

--- Displays the Exterior Elevation – Main Entry

--- Displays “Logo” façade sign “K” 60” Siren

--- Section 220 – 48.4 E (5) Logo of the zoning code states: “In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign area to comprise not more than 30% of the sign area...”

--- As proposed the logo comprises 100% of the sign & requires a waiver

--- **A waiver of 70% of logo area is requested resulting in a façade sign with an area of 100% logo**

5/9/22 Planning Board (PB) meeting – Mr. Brennan appeared at the meeting on behalf of Starbucks and described the goals of the project as a general interior decoration and exterior signage refresh and slight reconfiguration of the drive-thru aimed at reducing the in-line wait time. The site plan drawing for the redesign relocates the pre-order and menu boards two cars to the left from their present positions. Mr. Brennan referenced studies that have been performed by the Starbucks Corporation that indicate providing additional distance between ordering and pickup / payment reduces overall wait time and reduces the instances of people waiting at the pickup / payment window for their item to be prepared.

The Planning Office (PO) and PB reviewed the waivers that would be needed. Mr. Brennan agreed to reduce the area of the proposed two signs for side entry façade and combine them into a single sign such that the resulting sign area is 23 sq. ft. or less, thereby making them

compliant with code and eliminating the need for any waivers related to this sign. The area of the newly designed single sign is 22 sq. ft. and is therefore compliant.

The PB asked Mr. Brennan to provide the Board with copies of wait time data for this particular Starbucks location and copies of the Studies that he mentioned that were performed by the Starbucks Corporation.

The Planning Office received a revised 26-page drawing set in advance of the 5/23/22 PB meeting. The drawing package includes 3 photographs of the current configuration of the exterior of the building. Pages G002, A001, A201 & I101 were revised from Rev 4/12/22 to Rev 5/18/22. The 17 pages of drawings authored by Hilton Displays were revised to Rev 4/21/22. A "Starbucks Drive-Thru Queue Analysis" by Kimley Horn was also provided dated 5/20/22.

5/23/22 Planning Board (PB) meeting – Mr. Brennan appeared at the meeting on behalf of Starbucks and provided the Board with a description of the drawing changes since the previous PB meeting. He stated that in response to the PB's request, 10 additional seats have been added to the outdoor seating area. The "Starbucks" and "Drive-Thru" signs proposed for the Side Entry building façade were combined into one sign and reduced in area so that they comply with Niskayuna zoning code. Mr. Brennan described the Drive-Thru Queue analysis to the PB and noted that the proposed changes are anticipated to reduce the Drive-Thru queue wait time by 19%. Ms. Robertson noted that several plantings from the original landscaping plan have died and require replacement. After a general discussion the PB called for a resolution for the 6/13/22 meeting.

6/1/2022 The Planning Office provided a highlighted drawing indicating the highest priority landscaping improvements that will be required as conditions in the resolution for site plan approval.

A resolution is attached with the condition to update the landscaping.

RESOLUTION NO. 2022 - 12

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 13TH DAY OF JUNE 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Daniel Brennan, Starbucks permitting agent, has made an application to the Planning Board for interior and exterior renovations including new signage for the Starbucks located at 2303 Nott St. E., and

WHEREAS, a 26-page documentation package consisting of 3 photographs, 6 drawings authored by Bergman Associates with a most recent revision date of 5/18/22 and 17 drawings authored by Hilton Displays with a most recent revision date of 4/21/22 were provided, and

WHEREAS, the zoning classification of the property is C-N Neighborhood Commercial zoning district, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions:

1. Prior to issuance of a building permit the Niskayuna Tree Council is to review and approve a proposed landscaping plan which shall include the removal of dead trees and replanting of dead or missing trees in the area near the Starbucks site.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.





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1 DEMOLITION PLAN

Scale: 3/16" = 1'-0"

LEGEND

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- PRESERVE FOR FUTURE USE
- EXISTING TO REMAIN
- EXISTING WALL FINISH TO BE DEMOLISHED

ITEMS TO PRESERVE

- FRONT BAR:**
- MAESTRO'S (2)
 - UNDERCOUNTER FRIDGES (2)
 - SAFE
 - POS PRINTER
- BACK BAR:**
- BREWER
 - SHUTTLES (4)
 - UNDERCOUNTER FRIDGE (2)
 - CUP CADDY
 - DT POS EQUIPMENT
- BACK OF HOUSE:**
- ALL METRO RACKS
 - FREEZERS
 - FRIDGES
- SITE:**
- BIKE RACK

ITEMS TO DEMOLISH

- FRONT BAR:**
- ZEPHYR
 - POS (2)
 - POS CASEWORK
 - ESP ICE BIN, SINKS, AND CASEWORK
- BACK BAR:**
- BREW EQUIPMENT AND CASEWORK
 - NITRO STATION
 - WARMING STATION
 - CBE STATION
 - DT POS CASEWORK
- CAFE:**
- FLOORING
 - ALL FURNITURE AND FIXTURES
 - MERCH SHELVINGS
 - REFRIDGERATED FOOD CAGE
 - MERCH SHELVING

- RESTROOMS:**
- EXISTING RESTROOMS

- SITE:**
- CLEARANCE BAR
 - ORDER POINT
 - CANOPY
 - ALL EXTERIOR FURNITURE
 - MENU BOARD

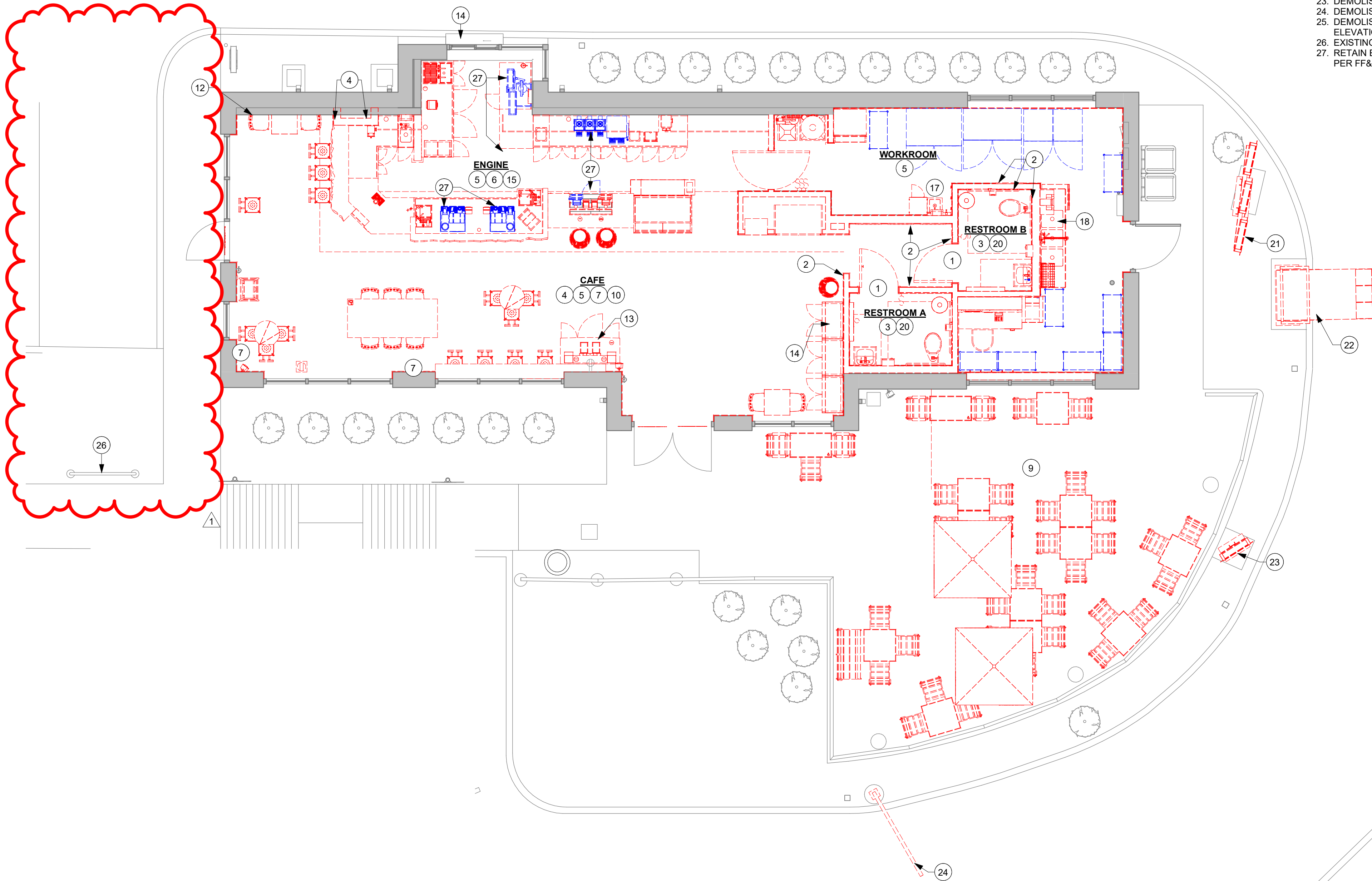
- WORKROOM:**
- ICE MACHINE
 - LOCKER
 - HAND SINK
 - MOP SINK
 - WATER FILTRATION EQUIPMENT
 - 3 COMP SINK
 - MANAGER'S DESK
 - FLOORING

KEYED NOTES

1. DEMOLISH EXISTING DOOR FRAME AND ASSOCIATED FASTENERS.
2. DEMOLISH INTERIOR PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
3. DEMOLISH EXISTING RESTROOMS AND CAP PLUMBING.
4. DEMOLISH EXISTING WALL FINISH. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.
5. DEMOLISH EXISTING FLOORING. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.
6. DEMOLISH EXISTING CASE WORK, HANGING DEVICES, AND FASTENERS AS SHOWN. DEMOLISH ASSOCIATED ELECTRICAL AND DATA LINES, CAP EXISTING PLUMBING.
7. DEMOLISH EXISTING FIXTURES, FURNITURE, AND EQUIPMENT. REFERENCE SCHEDULES ON THIS SHEET FOR ITEMS TO BE PRESERVED.
8. NOT USED.
9. ALL EXISTING OUTDOOR FURNITURE, UMBRELLAS, AND STANDS TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL OF FURNITURE FROM SITE.
10. ALL EXISTING CAFE FURNITURE TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL OF FURNITURE FROM SITE.
11. EXISTING MERCHANDISE BAYS TO BE DEMOLISHED.
12. EXISTING ARTWORK, MURAL AND COMMUNITY BOARD TO BE DEMOLISHED.
13. EXISTING CONDIMENT CART TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL.
14. EXISTING DRIVE THRU WINDOW TO REMAIN.
15. DEMOLISH EXISTING COUNTERTOPS AND UNDERCOUNTER CASEWORK AT FRONTBAR AND BACKBAR.
16. EXISTING MENU BOARDS TO BE DEMOLISHED.
17. EXISTING HAND SINK TO BE DEMOLISHED.
18. EXISTING 3- COMP SINK TO BE DEMOLISHED.
19. EXISTING ICE BIN TO BE DEMOLISHED.
20. EXISTING PLUMBING FIXTURES, CHANGING TABLE, HAND DRYER, MIRROR AND SCONCE IN RESTROOM TO BE REMOVED.
21. DEMOLISH EXISTING MENU BOARD
22. DEMOLISH EXISTING ORDER POINT
23. DEMOLISH EXISTING PRE-MENU BOARD
24. DEMOLISH EXISTING CLEARANCE BAR
25. DEMOLISH EXISTING SIGNAGE. REFER TO EXTERIOR ELEVATIONS.
26. EXISTING BIKE RACK TO REMAIN
27. RETAIN EXISTING ITEM AS SHOWN FOR RELOCATION PER FF&E PLAN

GENERAL NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF EXISTING CONDITIONS DEVIATE FROM CONSTRUCTION DOCUMENTS.
- C. REMOVE EXISTING INTERIOR WALL FINISH AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, (I.E. PIECES OF WALL COVERING OR BACKING). REMOVAL OF ALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
- D. REMOVE EXISTING FLOORING AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVAL OF EXISTING FLOORING INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF EXISTING CERAMIC TILE, CARPET OR VINYL TILE FLOORING AND ASSOCIATED WALL BASE. SUBFLOOR TO BE STRIPPED OF ALL COVERING/FINISH AND CLEANED TO REMOVE EXISTING ADHESIVE, GROUT, MORTAR, DIRT AND COATINGS. FINAL SURFACE TO BE STREAK-FREE WITH NO MACHINE MARKS AND/OR SMOOTH, STABLE AND LEVEL. PROVIDE LEVELING WHERE NECESSARY TO ACCOMMODATE NEW FINISHES.
- E. DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS ETC. PRIOR TO DEMOLITION, FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- F. DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, DATA OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- G. VERIFY WITH STARBUCKS CONSTRUCTION MANAGER ACCESS TO THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- H. PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- I. CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- J. THE GENERAL CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILINGS, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
- K. ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- L. AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE.
- M. REFER TO "ITEMS TO BE PRESERVED" LIST FOR ITEMS THAT SHALL BE SALVAGED FOR RELOCATION. VERIFY WITH OWNER FOR ON SITE STORAGE LOCATION OF SALVAGED ITEMS.
- N. DAMAGED FIREPROOFING SHALL BE REPAIRED/ REPLACED TO MATCH EXISTING.
- O. THE GENERAL CONTRACTOR SHALL DEMOLISH ANY EXISTING ABANDONED VOICE/DATA CABLING AND DEAD OR NON-USE ELECTRICAL BACK TO PANEL. ALL RECEPTACLES NOT REUSED ARE TO BE REMOVED, PATCHED AND PAINTED.
- P. REMOVAL OF LOW VOLTAGE EQUIPMENT, PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED BY THE STARBUCKS CONSTRUCTION MANAGER PRIOR TO REMOVAL. SALVAGED EQUIPMENT SHALL BE STORED IN A CLIMATE CONTROLLED ENVIRONMENT FOR FUTURE INSTALLATION.
- Q. LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
- R. REMOVE EXISTING PLUMBING FIXTURES AND HVAC EQUIPMENT AS NECESSARY. CAP LINES AND TERMINATE DUCTS AS NECESSARY FOR THOSE NOT BEING RE-USED.



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LICENSE NO: 029335
EXPIRATION DATE: 07/31/2023

PROJECT NAME:
NISKAYUNA
SHOPRITE SQ

PROJECT ADDRESS:
2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #: 07363
PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

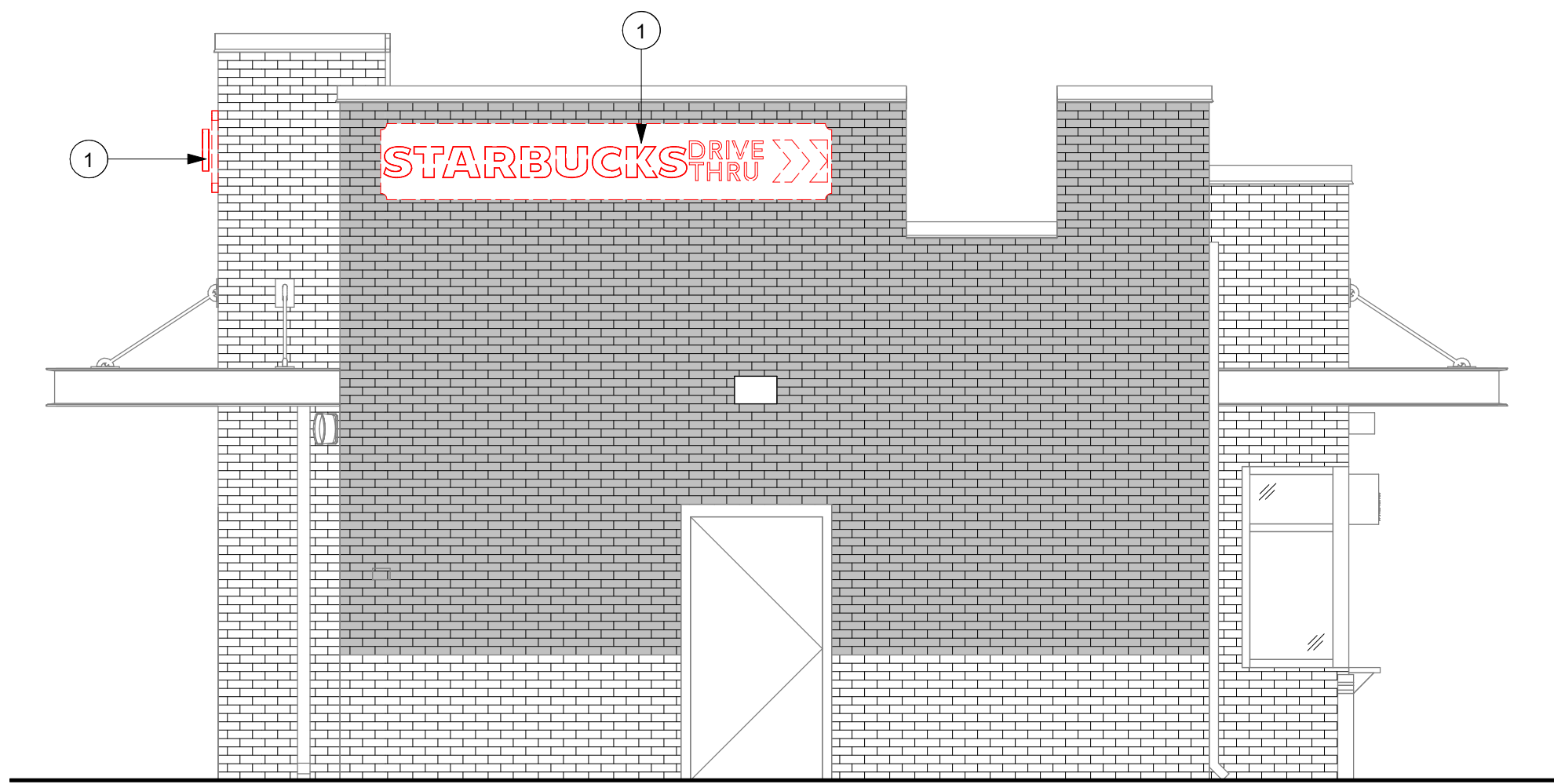
Revision Schedule				
Rev	Date	By	Description	
1	04/12/22		REVISIONS TO SITE SCOPE	

SHEET TITLE:
DEMOLITION FLOOR PLAN

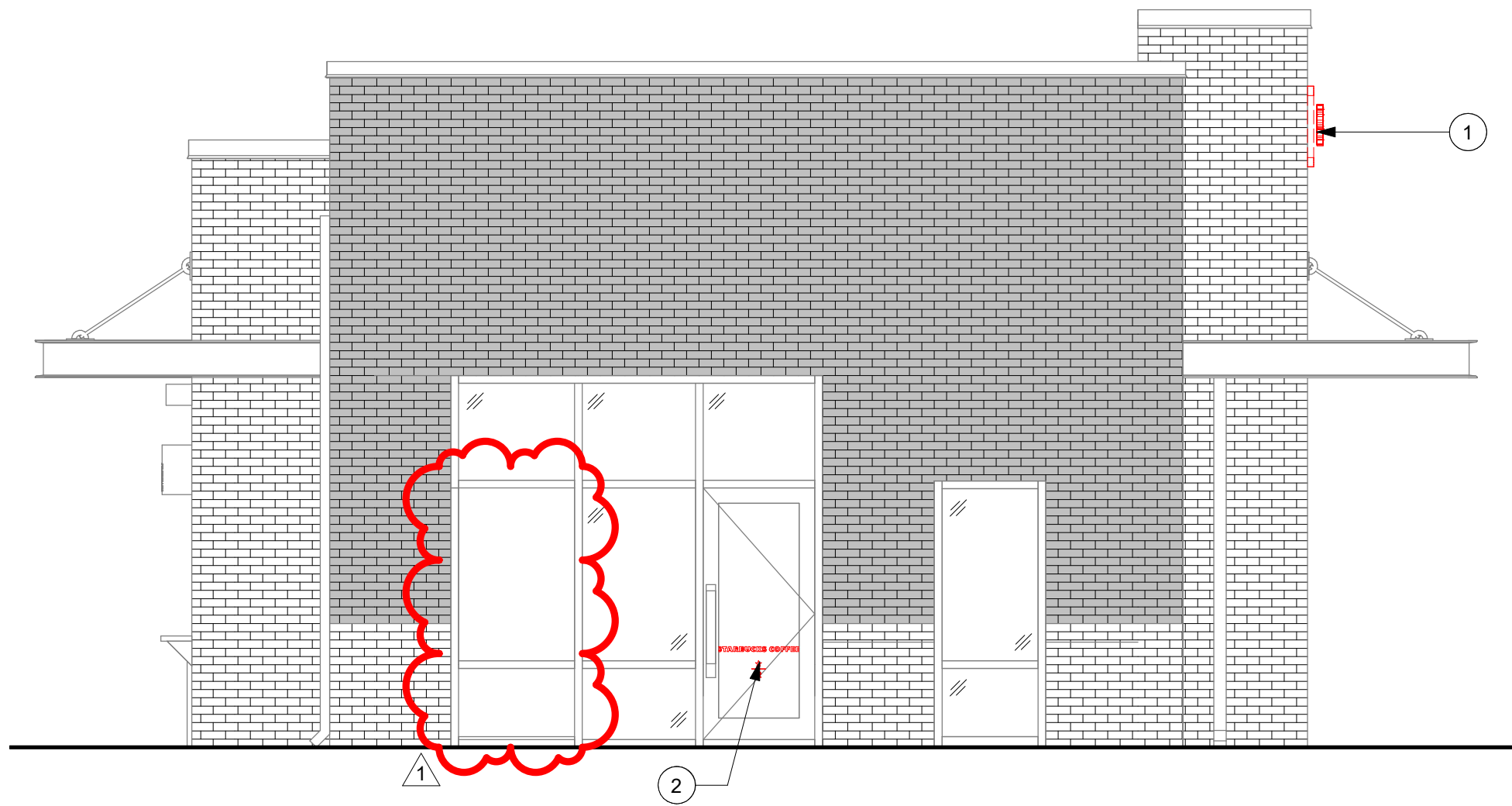
SCALE: AS SHOWN

SHEET NUMBER:

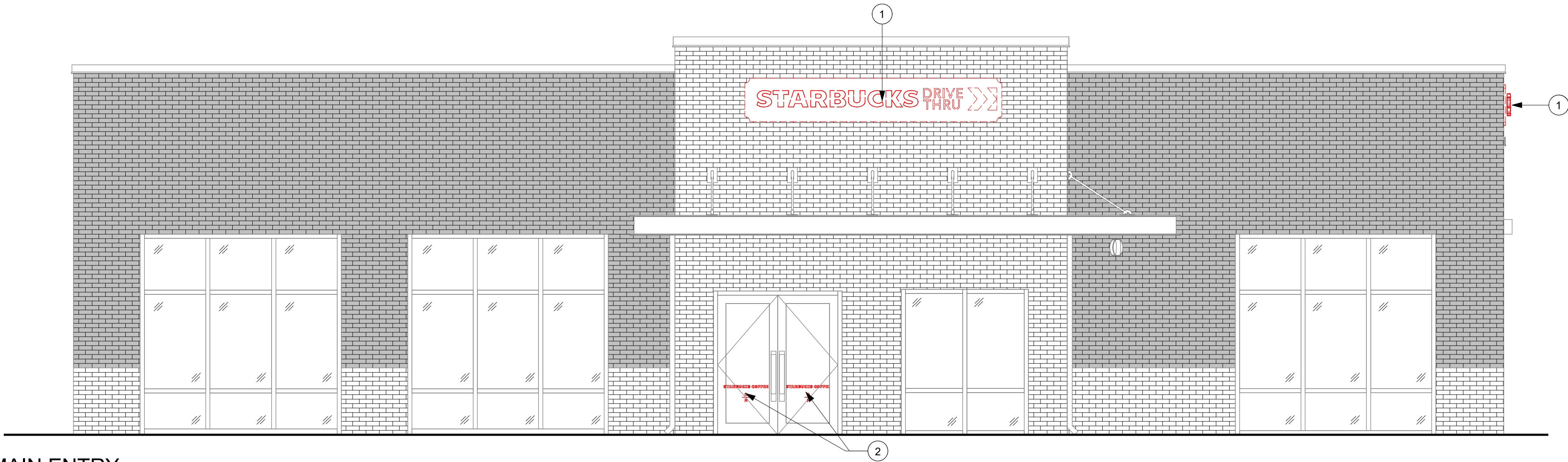
D101



3 EXTERIOR ELEVATION - REAR
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SIDE ENTRY
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - MAIN ENTRY
Scale: 1/4" = 1'-0"

ITEMS TO DEMOLISH

- SITE:**
- SIGNAGE
 - RESERVE BAR VINYL

KEYED NOTES

1. DEMLOSIH EXISTING SIGNAGE
DEMOLISH EXISTING VINYL
NOT USED

LEGEND

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- PRESERVE FOR FUTURE USE
- EXISTING TO REMAIN
- EXISTING WALL FINISH TO BE DEMOLISHED



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Revision Schedule

Rev	Date	By	Description
1	04/12/22		REVISIONS TO SITE SCOPE

SHEET TITLE:

DEMOLITION
ELEVATIONS

SCALE: AS SHOWN

SHEET NUMBER:

D103

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INDOOR SEATING CALCULATIONS			
DESCRIPTION	NUMBER OF ITEMS	SEATS	PER ITEM
TABLE TOPS AT BANQUETTE	7	7 SEATS	2
		TOTAL ACCESSIBLE SEATS (≥ 5%)	2
		TOTAL	14

OUTDOOR SEATING CALCULATIONS			
DESCRIPTION	NUMBER OF ITEMS	SEATS	PER ITEM
TABLE TOP, SQUARE	14	28 SEATS	2
TABLE TOP, RECTANGULAR (ADA)	3	6 SEATS	2
LOUNGE	6	6 SEATS	1
COMMUNITY TABLE	1	6 SEATS	6
		TOTAL ACCESSIBLE SEATS (≥ 5%)	3
		TOTAL	46

EGRESS CALCULATIONS	
EXIT WIDTH REQUIRED - XX OCC. x 0.2	= 10.8 IN.
EXIT WIDTH PROVIDED	= 149 IN.
EXITS	= 77 IN. PRIMARY ENTRY, 36 IN. SECONDARY ENTRY, 36 IN WORKROOM
NUMBER OF EXITS REQUIRED	= 2
NUMBER OF EXITS PROVIDED	= 2
MAXIMUM ALLOWABLE TRAVEL DISTANCE	= 200' - 0"
MAXIMUM TRAVEL DISTANCE PROVIDED	= 47' - 1"
MINIMUM EXIT SEPARATION	= 71' - 10" (MAXIMUM DIAGONAL) / 2 = 36' - 4"
EXIT SEPARATION PROVIDED	= 37' - 2"

OCCUPANCY CALCULATIONS	
CAFE: 280 SQ. FT. / 15 SQ. FT. / OCC.	18 OCC.
QUEUING: 165 SQ. FT. / 5 SQ. FT. / OCC.	33 OCC.
BAR: 370 SQ. FT. / 200 SQ. FT. /	2 OCC.
WORKROOM: 450 SQ. FT. / 300 SQ. FT. / OCC.	2 OCC.
UNOCCUPIABLE: 155 SQ. FT.	-
TOTAL OCC. LOAD:	55 OCC.

BAR	POLYVINYL FLOORING
FLOOR:	WALL TILE, BACKSPLASH, WITH POLYVINYL BASE
WALL:	CEILING:
CEILING:	GYPSUM CEILING
CAFE	TILE FLOORING
FLOOR:	WOOD WAINSCOT AND PAINT
WALL:	CEILING:
CEILING:	ACOUSTICAL CEILING TILE
WORKROOM	POLYVINYL FLOORING
FLOOR:	FRP WITH POLYVINYL BASE
WALL:	CEILING:
CEILING:	ACOUSTICAL CEILING TILE
RESTROOM	TILE FLOORING
FLOOR:	WALL TILE
WALL:	CEILING:
CEILING:	GYPSUM CEILING

PLUMBING FIXTURE CALCULATIONS						
CHAPTER 29-2020 IBC TABLE 2902.1						
OCCUPANCY	MALE	FEMALE	TOTAL			
	51 OCC.	51 OCC.	102 OCC.			
FIXTURES	WATER CLOSETS		URINALS*	LAVATORY		WATER FOUNTAIN**
	1 PER 75 M; 1 PER 75 F			1 PER 200		1 PER 100 OR STATION
	REQUIRED	1 M	1 F	0 M	1 M	1 F
	PROVIDED	1 M	1 F	0 M	1 M	1 F

*IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67% OF THE REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES.

**RETAIL ESTABLISHMENT SERVES WATER UPON REQUEST.

KEYED NOTES

- THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
- BARRIER-FREE PATH OF TRAVEL.
- 30" (160 MM) X 48" (1220 MM) CLEAR FOR WHEELCHAIR ACCESS.
- 60" (1525 MM) DIAMETER MINIMUM TURN RADIUS FOR WHEELCHAIR ACCESS.
- 32" (815 MM) MINIMUM CLEAR AT RESTROOM DOOR.
- SEE ENLARGED RESTROOM PLAN AND ELEVATIONS SHEET (H401) FOR ADDITIONAL INFORMATION ON ACCESSIBLE RESTROOM CLEARANCES.
- POS TRANSACTION PLANE, CONDIMENT CART TOP AND HAND-OFF PLANE ARE 34 INCHES (860 MM) ABOVE THE FINISHED FLOOR FOR WHEELCHAIR ACCESSIBILITY.
- PROVIDE BARRIER-FREE SIGNAGE AT ADA RESTROOMS PER ALL APPLICABLE CODES.
- 36 INCH (915 MM) CLEAR FOR ELECTRICAL PANEL ACCESS.
- PROVIDE TACTILE "EXIT" SIGNAGE.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN PER NY STATE STANDARDS

MEANS OF EGRESS NOTES

- A. EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT. (1004.3)
- B. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1014.2)
- C. PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1008.1.10):
- THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
- D. STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMPS ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL. (1003.3.3)
- E. THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
- EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 - EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
 - NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- F. WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (1008.1.9.3)
- G. EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9)
- H. LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (11120 MM). (1008.1.5, 1008.1.6)

HEALTH DEPT. PLAN NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR APPROVED CONTRACTOR, CONTACT THE VENDOR.
- B. THE SPACE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- D. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS
- E. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- F. EACH HAND WASHING WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- G. REFERENCE INTERIOR SCHEDULE SHEETS (1600 SERIES) FOR ADDITIONAL INFORMATION.
- H. PROVIDE SNEEZE GUARDS WHERE REQUIRED BY JURISDICTION.
- I. ALL FOOD STORAGE AND DISPLAY SHELVING SHALL BE A MINIMUM 6" (150MM) ABOVE FINISH FLOOR.

LEGEND

← 3'-0" (915MM) →	TRAVEL DISTANCE
■	BARRIER FREE PATH OF TRAVEL (MIN 3'-0" (915MM) - NO PINCH POINT)
— 2'-0" —	EMERGENCY LIGHT
— S —	EXIT SIGN
— E —	FIRE EXTINGUISHER
□	ADA ACCESSIBLE SEATING 36" (915MM) X 48" (1220MM) CLEAR AREA

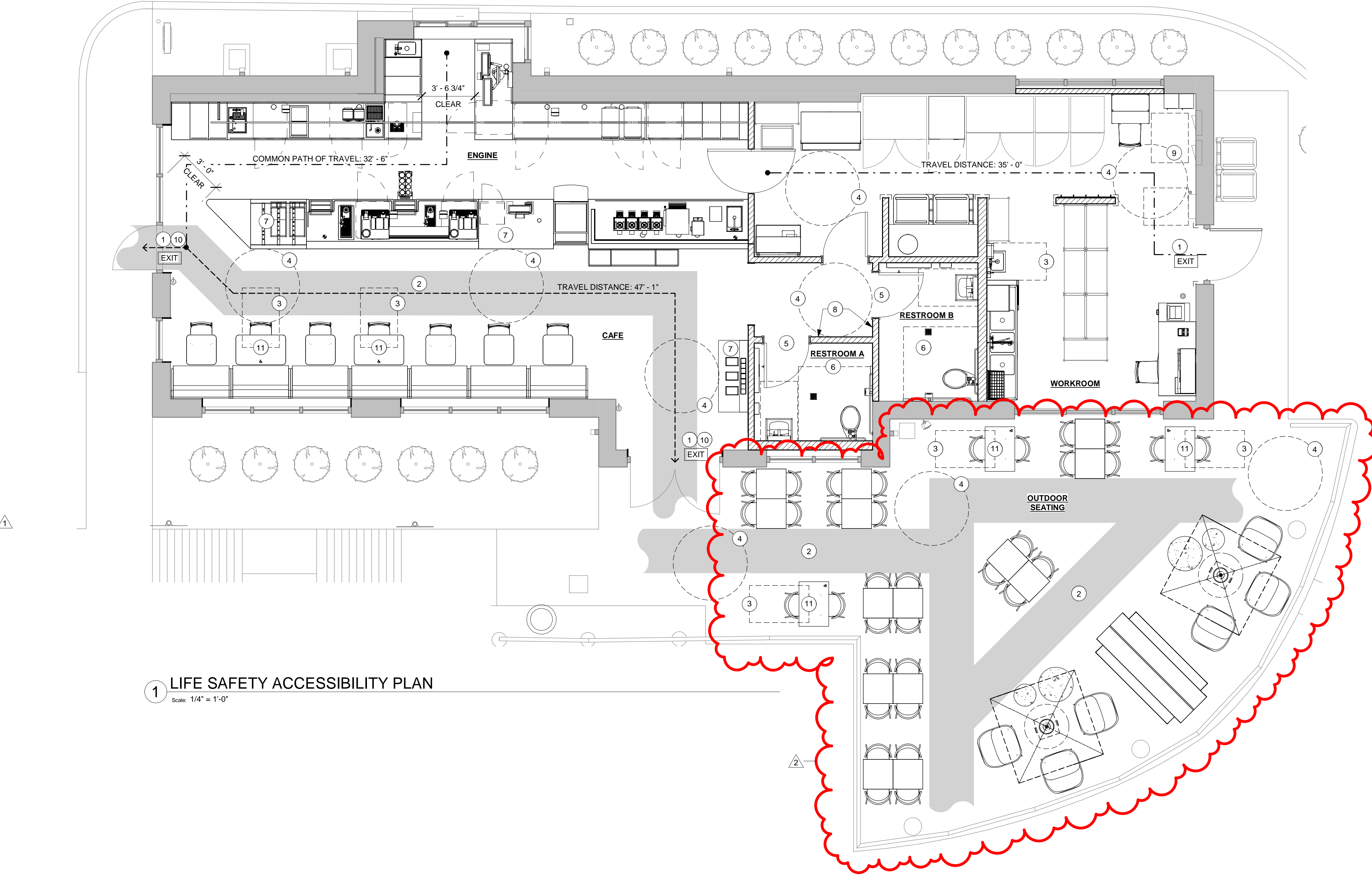
HEALTH DEPT. FINISH SCHEDULE

BAR	POLYVINYL FLOORING
FLOOR:	WALL TILE, BACKSPLASH, WITH POLYVINYL BASE
WALL:	CEILING:
CEILING:	GYPSUM CEILING
CAFE	TILE FLOORING
FLOOR:	WOOD WAINSCOT AND PAINT
WALL:	CEILING:
CEILING:	ACOUSTICAL CEILING TILE
WORKROOM	POLYVINYL FLOORING
FLOOR:	FRP WITH POLYVINYL BASE
WALL:	CEILING:
CEILING:	ACOUSTICAL CEILING TILE
RESTROOM	TILE FLOORING
FLOOR:	WALL TILE
WALL:	CEILING:
CEILING:	GYPSUM CEILING

PLUMBING FIXTURE CALCULATIONS						
CHAPTER 29-2020 IBC TABLE 2902.1						
OCCUPANCY	MALE	FEMALE	TOTAL			
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FIXTURES	WATER CLOSETS		URINALS*	LAVATORY		WATER FOUNTAIN**
	1 PER 75 M; 1 PER 75 F			1 PER 200		1 PER 100 OR STATION
	REQUIRED	1 M	1 F	0 M	1 M	1 F
	PROVIDED	1 M	1 F	0 M	1 M	1 F

*IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67% OF THE REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES.

**RETAIL ESTABLISHMENT SERVES WATER UPON REQUEST.



1 LIFE SAFETY ACCESSIBILITY PLAN
Scale: 1/4" = 1'-0"



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Revision Schedule			
Rev	Date	By	Description
1	04/12/22	HVT	REVISIONS TO SITE SCOPE
2	05/18/22	HVT	REVISED FOR SITE PLAN REVIEW

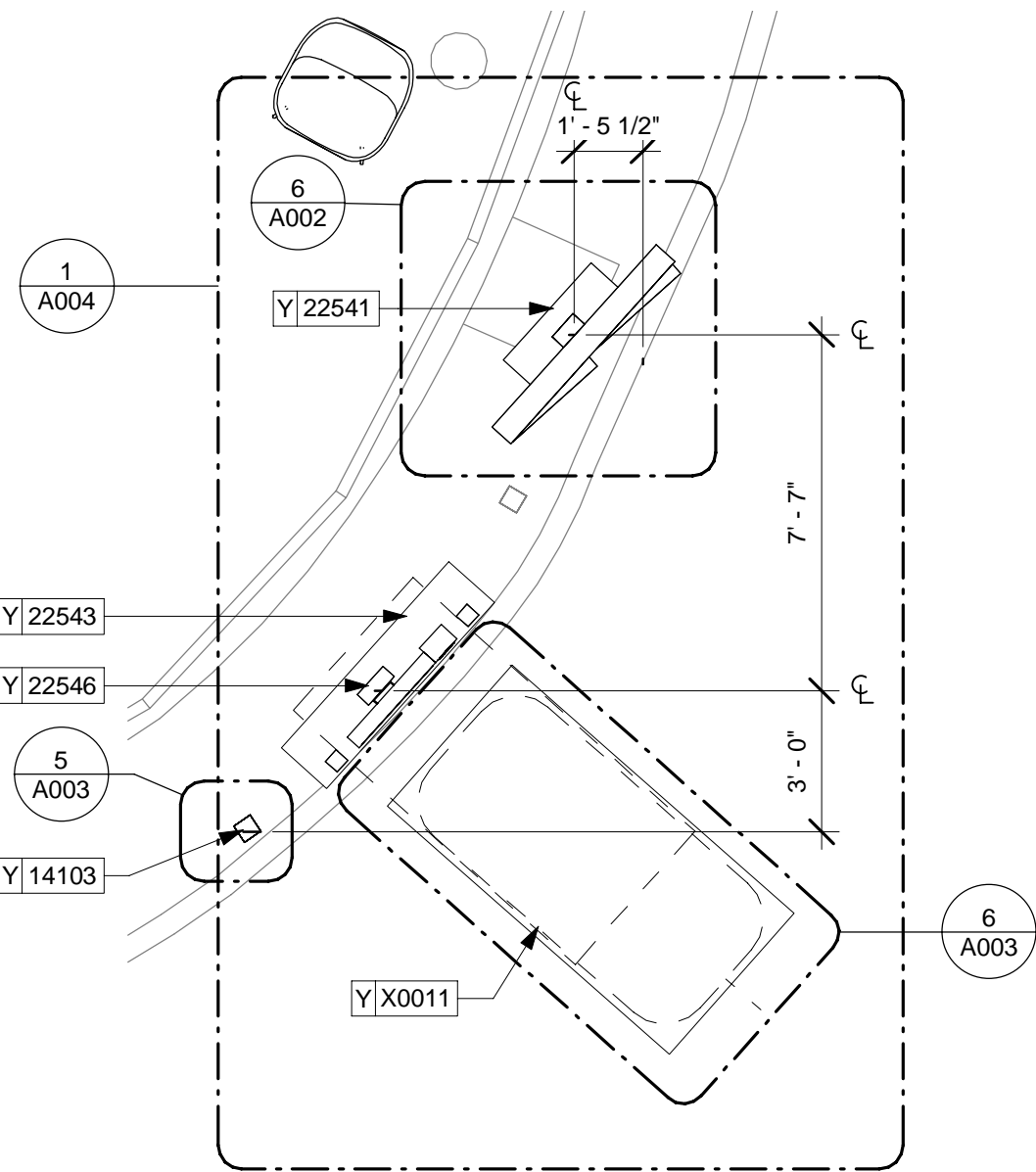
SHEET TITLE:
**LIFE SAFETY
ACCESSIBILITY PLAN**
SCALE: AS SHOWN

SHEET NUMBER:
G002

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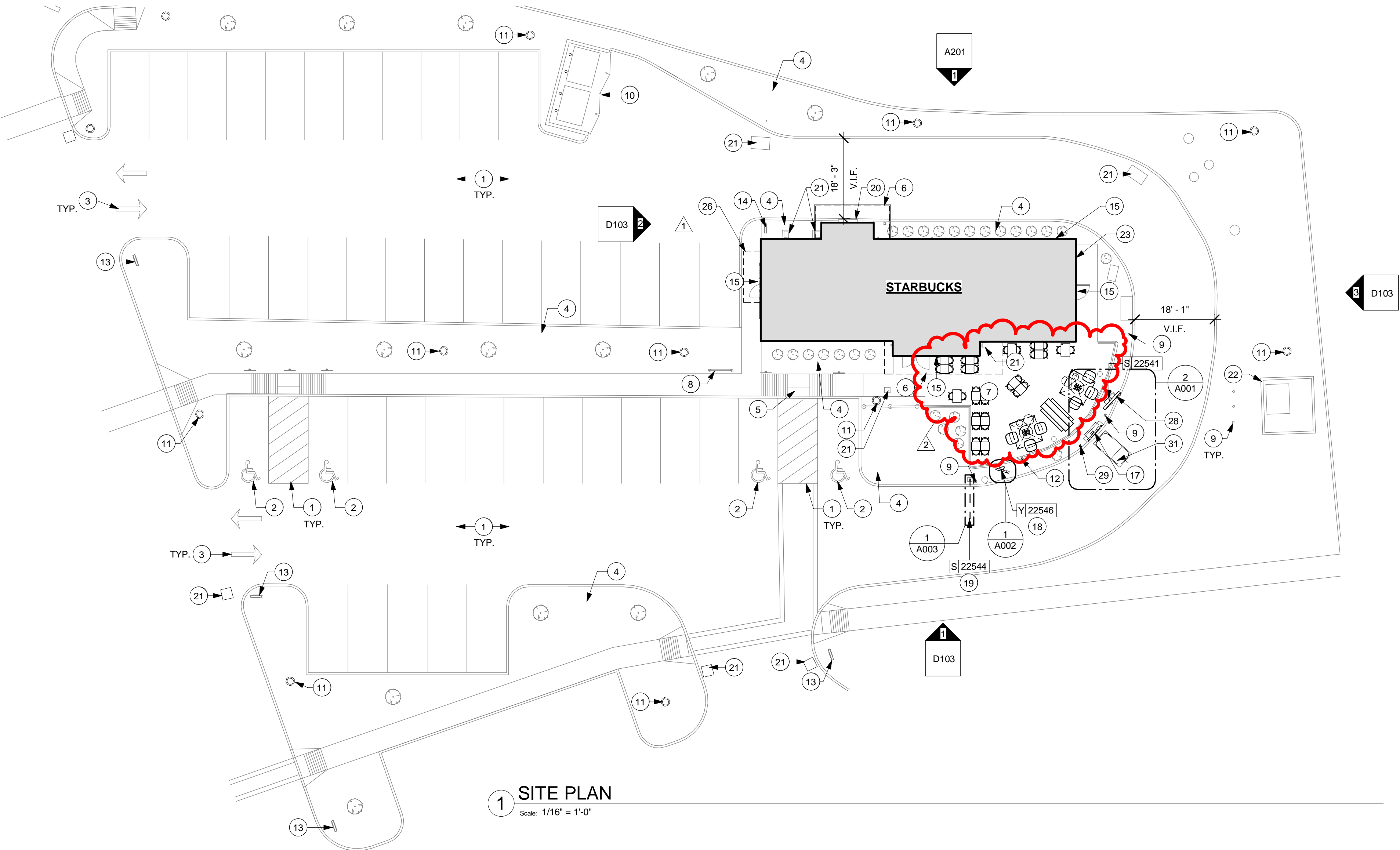
SITE SCHEDULE - "Y"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
EXTERIOR MENU				
22541	1	MENU BOARD - DT 3 PANEL SQUARE FRAME FREESTANDING - 63X62IN 1600X1575MM - BLACK	SB/SB	
22546	2	MENU BOARD - DT DIGITAL ORDER SCREEN WITH POST - BLACK	SB/SB	
OTHER				
14103	1	BOLLARD NONILLUMINATED SQUARE - FLAT BLACK MT0028	SB/GC	
22543	1	DT ORDER POINT CANOPY SQUARE FRAME - BLACK	SB/SB	
X0011	1	VEHICLE LOOP DETECTION	SB/GC	BY HME; CONDUIT MUST BE INSTALLED PRIOR TO PAVING, GC TO COORDINATE WITH PAVING CONTRACTOR
UMBRELLA				
10068	2	UMBRELLA - IN GROUND - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	SB/GC	
18714	2	UMBRELLA - BASE 200LB 90KG - FLAT BLACK MT0028	SB/GC	

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
SIGNAGE - DISK				
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
SIGNAGE - DRIVE THRU				
14099	1	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - RH - 48IN 1220MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB/SB	
SIGNAGE - WORDMARK				
18496	1	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 16IN 405MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
X0500	1	SIGN - WORDMARK/DIRECTIONAL IN LIGHT BOX - CUSTOM	SB/SB	



2 ENLARGED PLAN AT ORDERPOINT

Scale: 1/4" = 1'-0"



1 SITE PLAN

Scale: 1/16" = 1'-0"

GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NOT USED
- GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SLOPE.
- SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- SEE SHEET A002-A005 FOR ARCHITECTURAL SITE DETAILS.

KEYED NOTES

- EXISTING STRIPING.
- EXISTING ADA PARKING.
- EXISTING WAYFINDING ARROWS.
- EXISTING LANDSCAPED AREA.
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY.
- EXISTING CANOPY ABOVE SHOWN DASHED FOR REFERENCE.
- EXISTING OUTDOOR SEATING AREA.
- EXISTING BIKE RACK TO REMAIN.
- EXISTING BOLLARD.
- EXISTING TRASH ENCLOSURE.
- EXISTING SITE LIGHTING.
- EXISTING METAL RAILING.
- EXISTING "DRIVE THRU" DIRECTION SIGNAGE.
- EXISTING "THANK YOU/EXIT ONLY" SIGNAGE.
- NEW FLUSH MOUNTED BUILDING SIGNAGE. SEE ELEVATIONS.SCHEDULES FOR DETAILS.
- NOT USED
- NEW ORDER POINT WITH CANOPY. SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- NEW PRE MENU BOARD.SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- NEW CLEARANCE BAR.SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT
- EXISTING DRIVE THRU WINDOW.
- EXISTING DRAIN.
- EXISTING TRANSFORMER.
- EXISTING ELECTRICAL METER.
- LANDSCAPE AREA.
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY.
- NEW CANOPY ABOVE SHOWN DASHED FOR REFERENCE.
- NEW OUTDOOR SEATING. SEE FF&E PLAN AND SCHEDULES.
- NEW 3-PANEL MENU BOARD. SEE SCHEDULES FOR DETAILS.
- NEW NONILLUMINATED BOLLARD
- NOT USED
- DRIVE THRU DETECTOR LOOP. SEE SITE DETAILS AND SCHEDULE.



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SCOTT P. WRASMAN

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LICENSE NO: 029335
EXPIRATION DATE: 07/31/2023

PROJECT NAME:
NISKAYUNA
SHOPRITE SQ

PROJECT ADDRESS:
2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #: 07363
PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

Revision Schedule

Rev	Date	By	Description
1	04/12/22	HVT	REVISIONS TO SITE SCOPE
2	05/18/22	HVT	REVISED FOR SITE PLAN REVIEW

SHEET TITLE:
REFERENCE SITE PLAN

SCALE: AS SHOWN

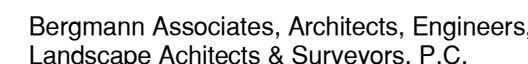
SHEET NUMBER:
A001

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ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER

A201

A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.

B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.

C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.

D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.

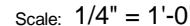
E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.

F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.

G. GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

1. EXISTING BRICK FINISH; COLOR: RED.
2. EXISTING BRICK FINISH; COLOR: TAN.
3. EXISTING STOREFRONT.
4. EXISTING SPANDREL GLASS.
5. EXISTING STOREFRONT DOOR.
6. EXISTING HOLLOW METAL DOOR.
7. EXISTING METAL CANOPY.
8. EXISTING COPING, TYP AT PARAPET, PAINT BLACK.
9. EXISTING DRIVE THRU WINDOW/AIR CURTAIN.
10. EXISTING DRIVE THRU WINDOW SHELF.
11. EXISTING WALL SCOTCHE.
12. EXISTING SCUPPER AND DOWNSPOUT.
13. COORDINATE SIGN MOUNTING WITH CANOPY TIE BACKS.
14. GC TO PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION OF J-BOX W SIGNAGE VENDOR PRIOR TO INSTALL.
15. 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
16. EXISTING SPEAKER.
17. EXISTING BOLLARD.
18. WINDOW TO HAVE FILM FINISH.
19. PAINT EXISTING CANOPY TRIM TO MATCH MT0028
20. NOT USED.
21. NOT USED.
22. NOT USED.
23. NOT USED.
24. NOT USED.

Scale: 1/4" = 1'-0"



Scale: 1/4" = 1'-0"



Scale: $1/4" = 1'-0"$

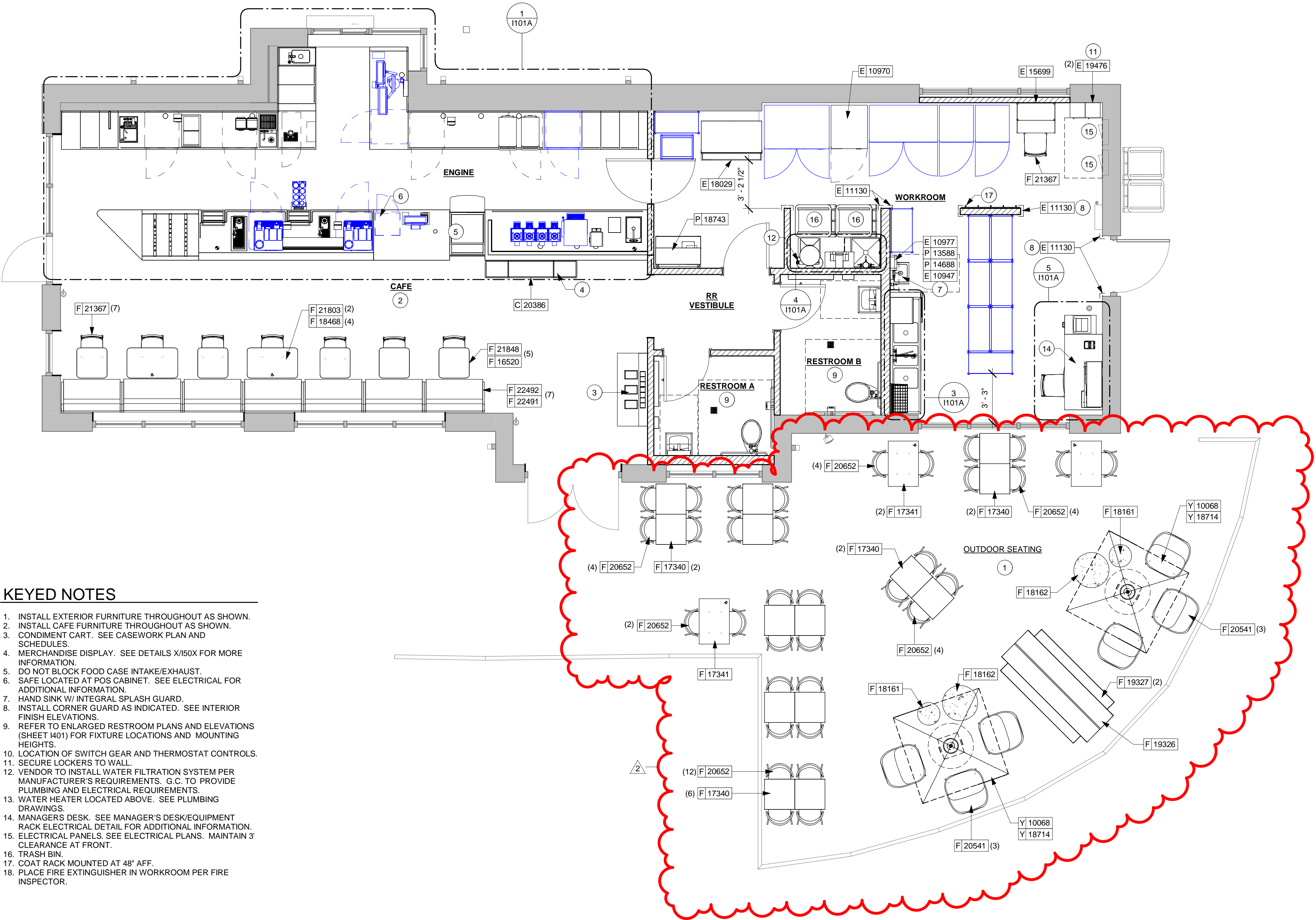


GENERAL NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- B. THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND PREP. AREAS SHALL HAVE A 6" COVED BASE.
- D. ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- E. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREP. AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE AND SEMI-GLOSS OR HIGH-GLOSS FINISH.
- G. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- H. ALL EQUIPMENT AND CABINETRY WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- I. CONFIRM ALL NECESSARY CLEARANCES PER PRODUCT CUT SHEET REQUIREMENTS FOR ALL EQUIPMENT (E.G. ICE MACHINE).
- J. FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- K. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- L. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- M. EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- N. FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- O. SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- P. GENERAL CONTRACTOR TO COORDINATE NEWSPAPER. FIXTURE ORDERING. CONTACT TRIAD MANUFACTURING BY EMAIL (starbucks@triadmf.com) OR BY PHONE (314-381-5280 X1111) TO ARRANGE SHIPMENT OF THE FIXTURE. ALLOW (5) DAY LEAD-TIME.

KEYED NOTES

1. INSTALL EXTERIOR FURNITURE THROUGHOUT AS SHOWN.
2. INSTALL CAFE FURNITURE THROUGHOUT AS SHOWN.
3. CONDIMENT CART. SEE CASEWORK PLAN AND SCHEDULES.
4. MERCHANDISE DISPLAY. SEE DETAILS X/150X FOR MORE INFORMATION.
5. DO NOT BLOCK FOOD CASE INTAKE/EXHAUST.
6. SAFE LOCATED AT POS CABINET. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
7. HAND SINK W/ INTEGRAL SPLASH GUARD.
8. INSTALL CORNER GUARD AS INDICATED. SEE INTERIOR FINISH ELEVATIONS.
9. REFER TO ENLARGED RESTROOM PLANS AND ELEVATIONS (SHEET I401) FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
10. LOCATION OF SWITCH GEAR AND THERMOSTAT CONTROLS.
11. SECURE LOCKERS TO WALL.
12. VENDOR TO INSTALL WATER FILTRATION SYSTEM PER MANUFACTURER'S REQUIREMENTS. G.C. TO PROVIDE PLUMBING AND ELECTRICAL REQUIREMENTS.
13. WATER HEATER LOCATED ABOVE. SEE PLUMBING DRAWINGS.
14. MANAGER'S DESK. SEE MANAGER'S DESK/EQUIPMENT RACK ELECTRICAL DETAIL FOR ADDITIONAL INFORMATION.
15. ELECTRICAL PANELS. SEE ELECTRICAL PLANS. MAINTAIN 3' CLEARANCE AT FRONT.
16. TRASH BIN.
17. COAT RACK MOUNTED AT 48" AFF.
18. PLACE FIRE EXTINGUISHER IN WORKROOM PER FIRE INSPECTOR.



1 FURNITURE, FIXTURES, AND EQUIPMENT PLAN

Scale: 1/4" = 1'-0"



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STORE #: 07363
PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

Revision Schedule

Rev	Date	By	Description
1	04/12/22	HVT	REVISIONS TO SITE SCOPE
2	05/18/22	HVT	REVISED FOR SITE PLAN REVIEW

SHEET TITLE:

FF & E PLAN

SCALE: AS SHOWN

SHEET NUMBER:

I101

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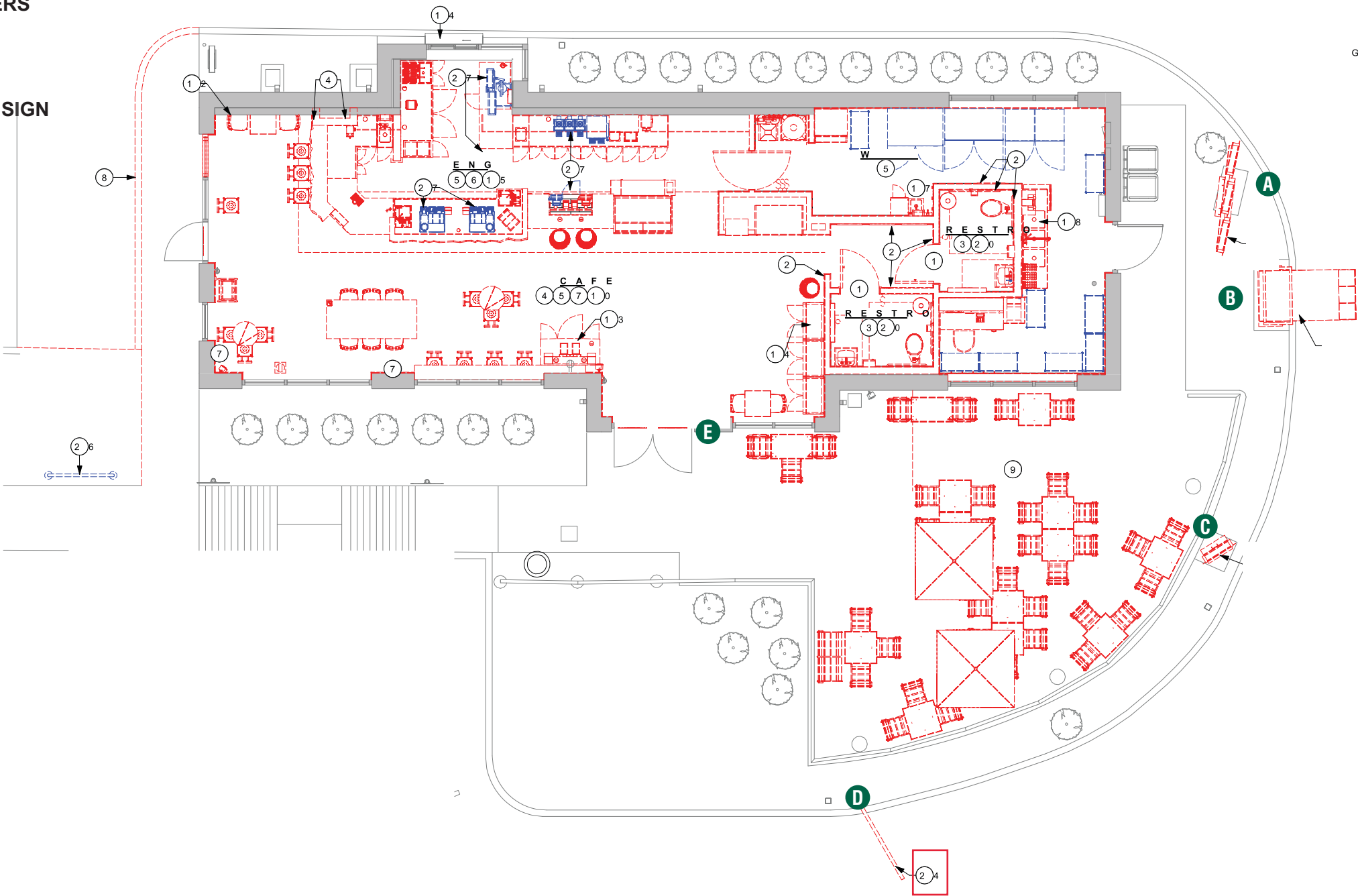
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SITE PLAN: DEMO

- A DEMO EXISTING MENU BOARD
- B DEMO EXISTING DOS/CANOPY
- C DEMO EXISTING PRE-MENU BOARD
- D DEMO EXISTING CLEARANCE BAR
- E DEMO EXISTING WORDMARK SIGNS
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- K 60" SIREN
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- M CHANNEL LETTERS/DT WALL SIGN



2022

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QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

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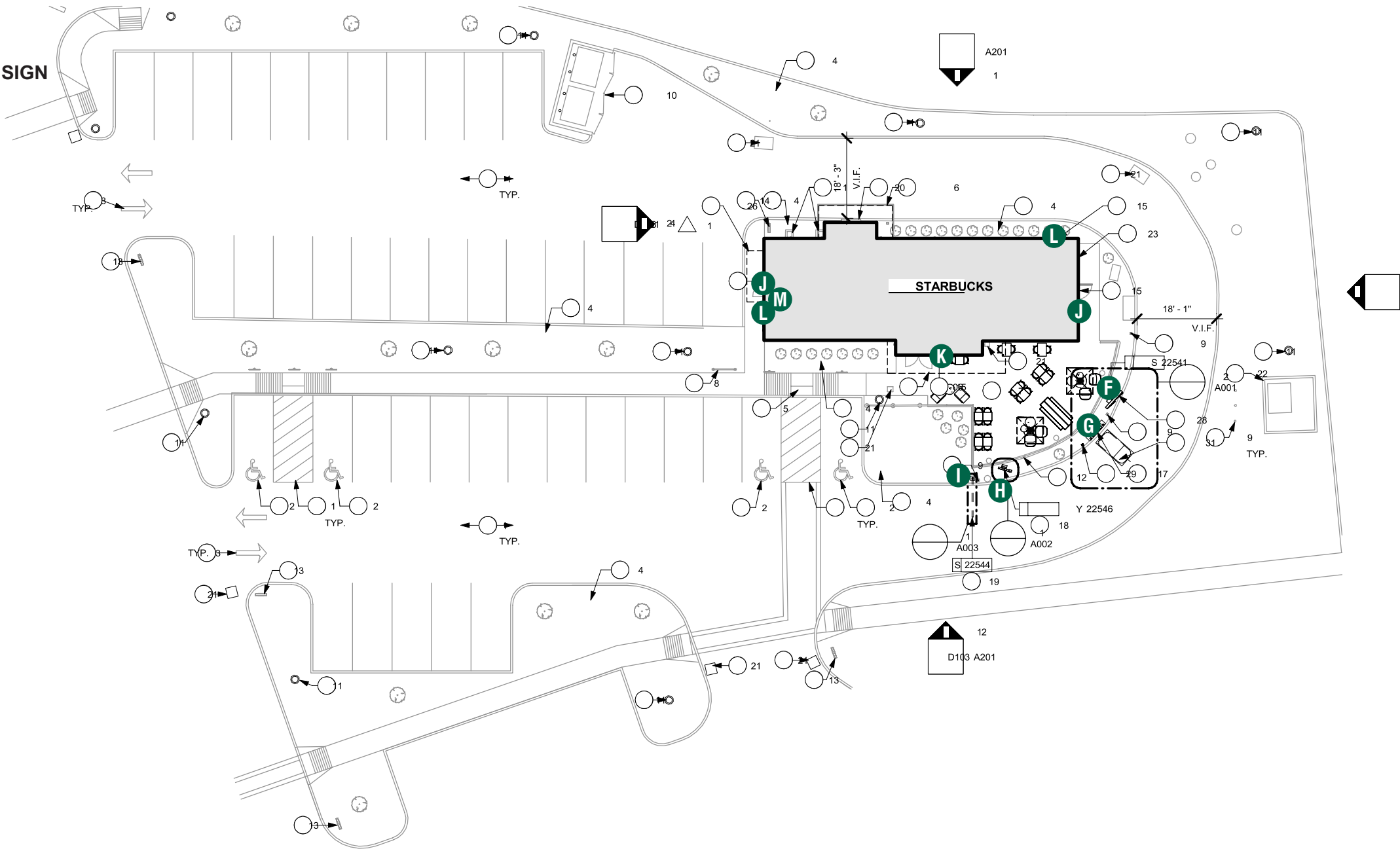
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SITE PLAN: PROPOSED

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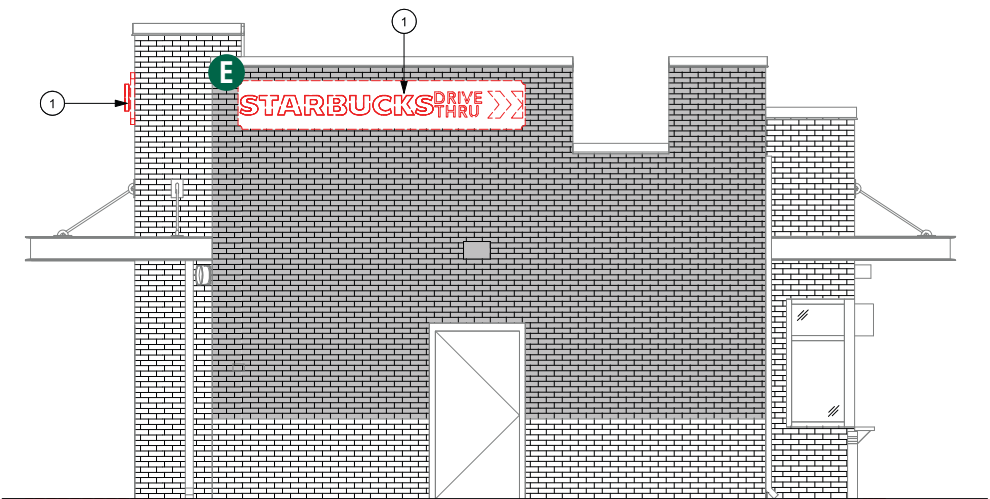
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DAMP	
WET	X

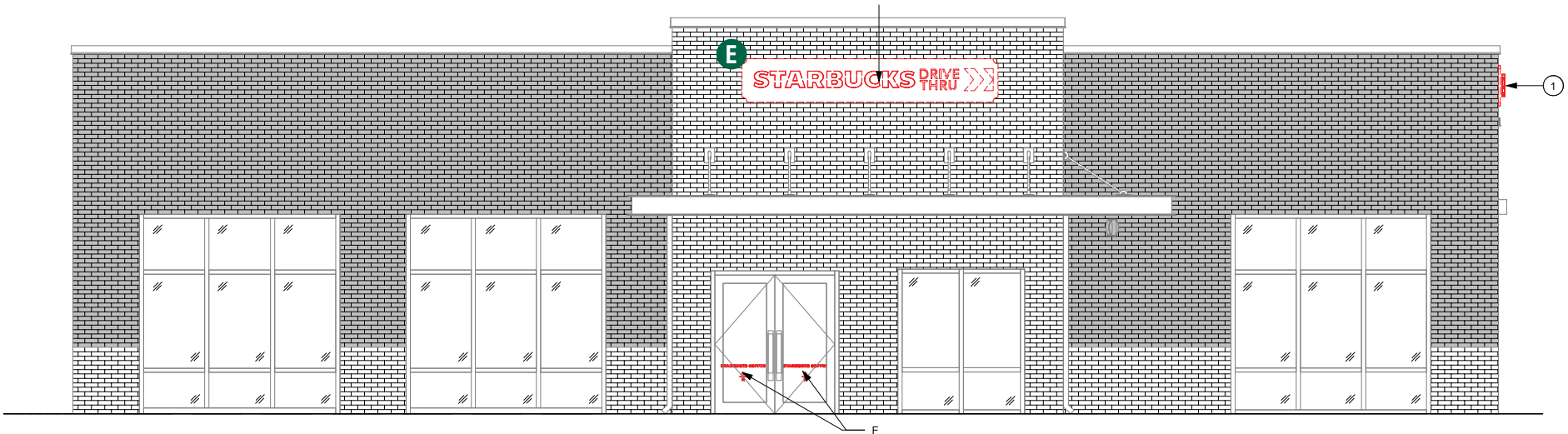
ELEVATION: EXISTING

- A DEMO EXISTING MENU BOARD
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Rear Elevation

Scale: 1/8" = 1' (11x17 paper)



Front Elevation

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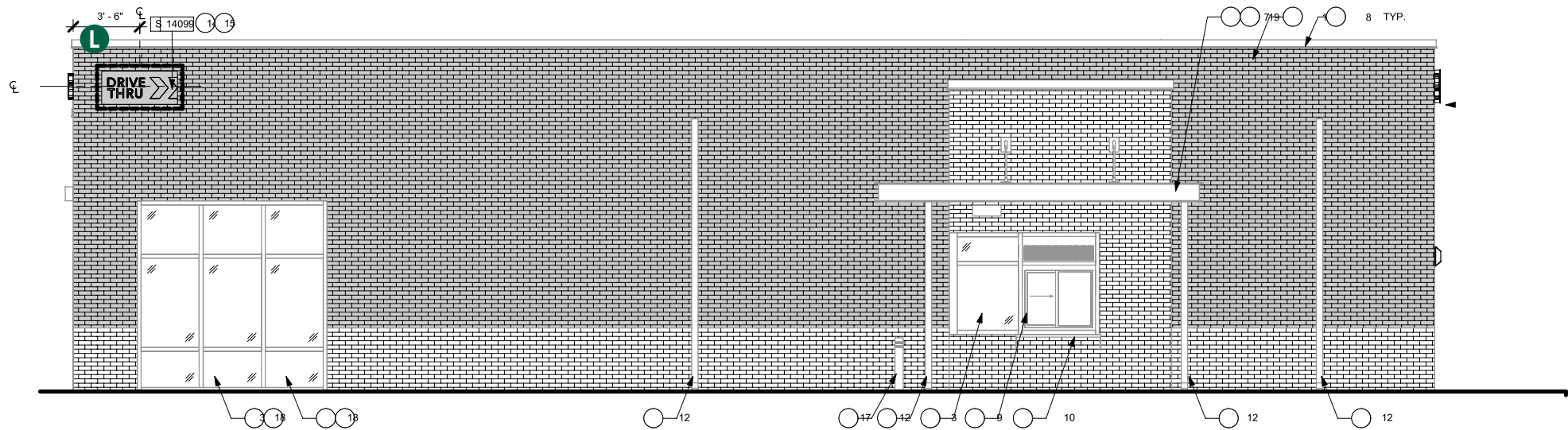
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EXTERIOR ELEVATION - DRIVE THRU

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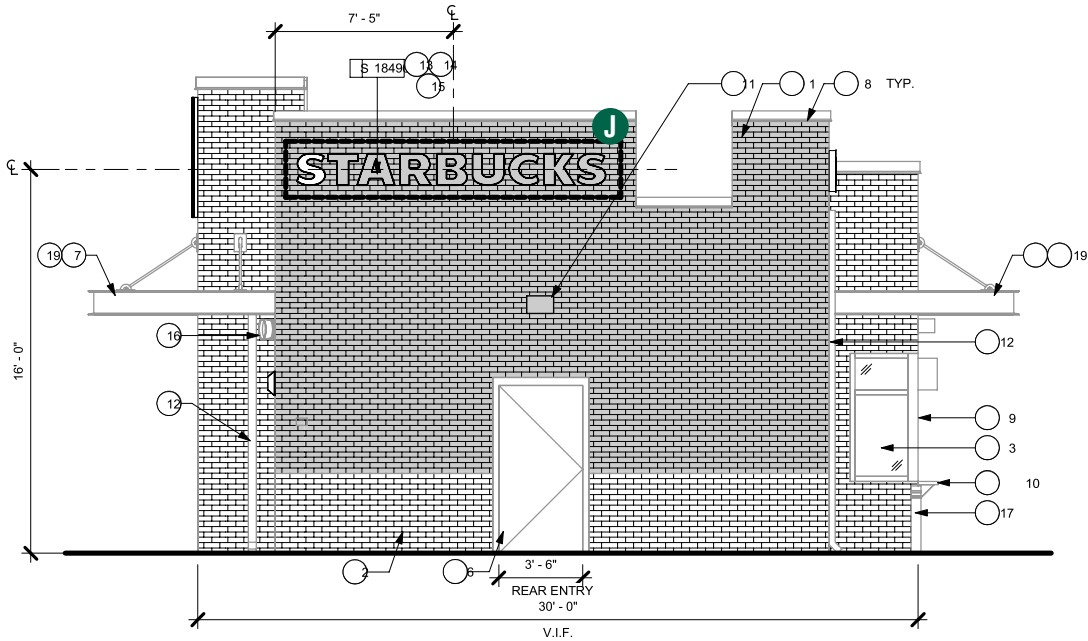
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ELEVATION: PROPOSED

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EXTERIOR ELEVATION - REAR

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Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

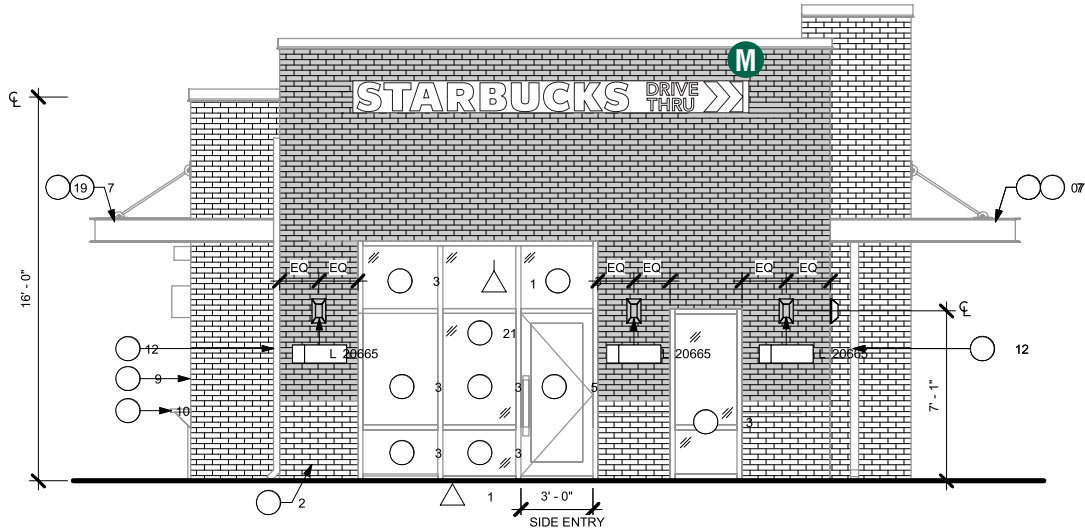
DESIGN SPECIFICATIONS ACCEPTED BY:

EST:	CLIENT:
SLS/PM:	LANDLORD:

THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

ELEVATION: PROPOSED

- A DEMO EXISTING MENU BOARD
- B DEMO EXISTING DOS/CANOPY
- C DEMO EXISTING PRE-MENU BOARD
- D DEMO EXISTING CLEARANCE BAR
- E DEMO EXISTING WORDMARK SIGNS
- F 3-PANEL MENU BOARD
- G DOS/CANOPY
- H PRE-MENU BOARD
- I CLEARANCE BAR
- J 16” REMOTE CHANNEL LETTERS
- K 60” SIREN
- L 48" DT WALL SIGN
- M CHANNEL LETTERS/DT WALL SIGN



EXTERIOR ELEVATION - SIDE ENTRY

Scale: 1/8" = 1' (11x17 paper)

QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

DESIGN SPECIFICATIONS ACCEPTED BY:

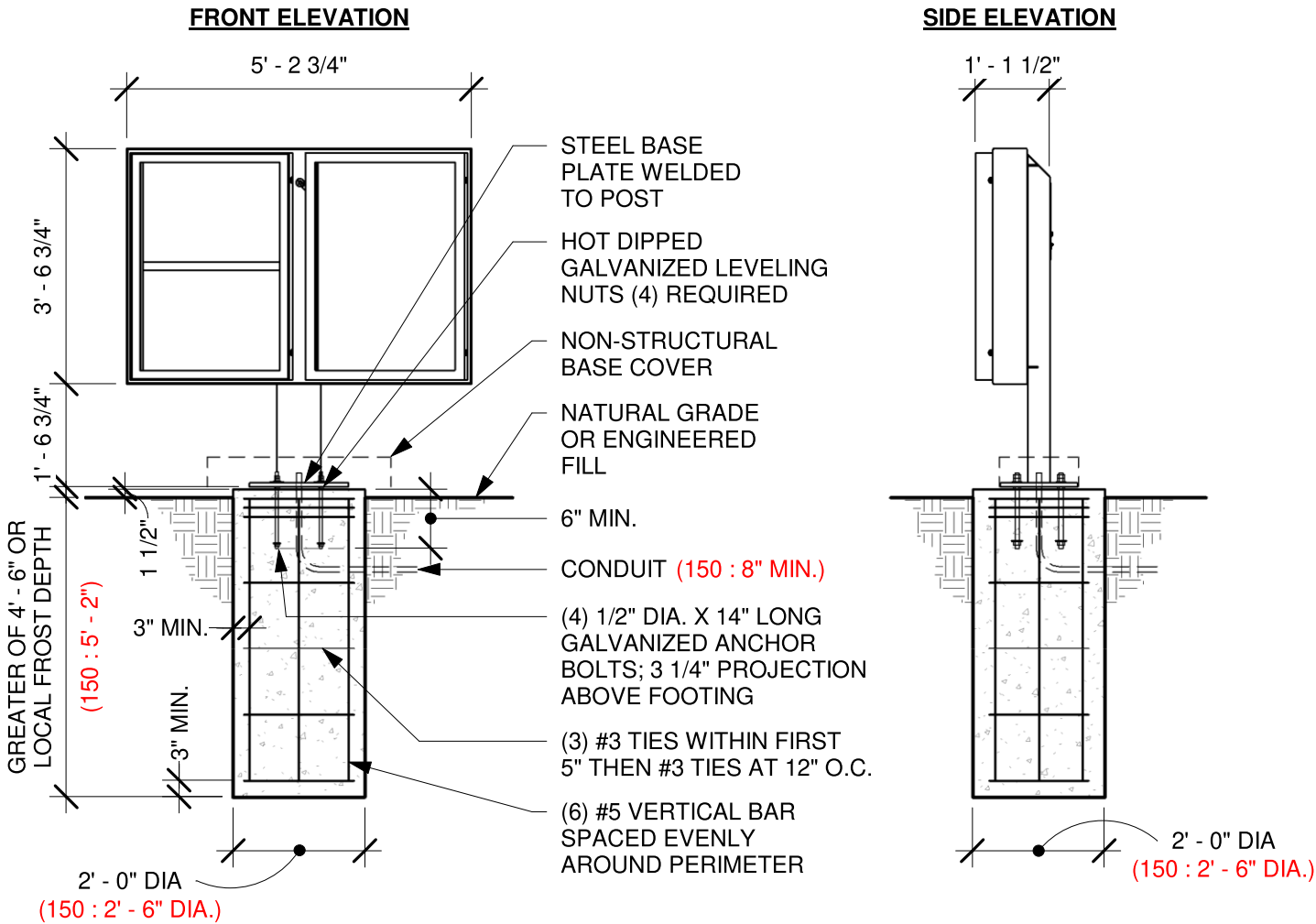
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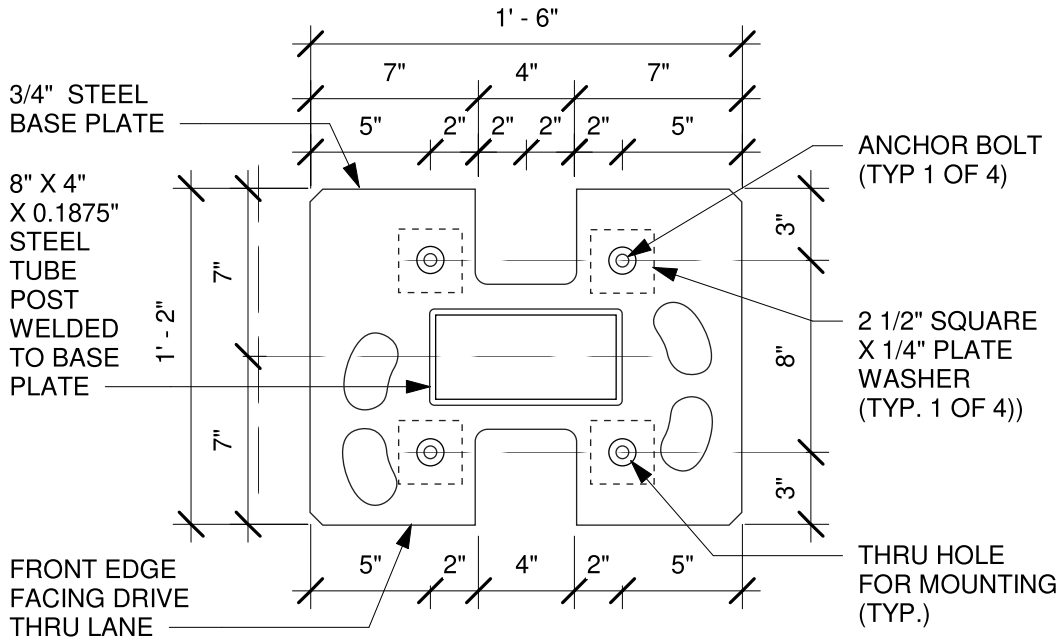
MENU BOARD - INSTALL ONLY

Qty. 1
F

Note: - All steel shall be A36 Galvanized or A304 Stainless Steel

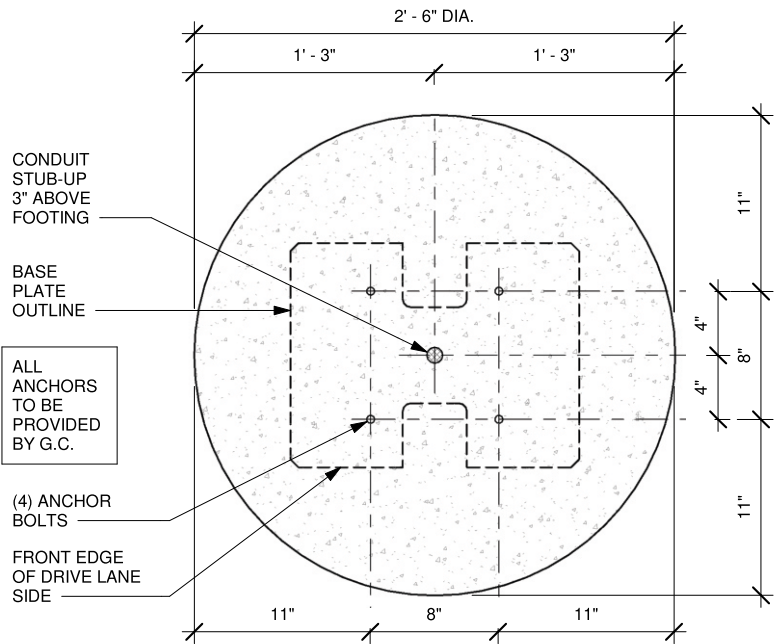


DT 3-PANEL MENU BOARD GROUND FOOTING



BASE PLATE

scale: 1 1/2" = 1'



BOLT PATTERN (TOP VIEW)

scale: 1" = 1'

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QID 22-59788

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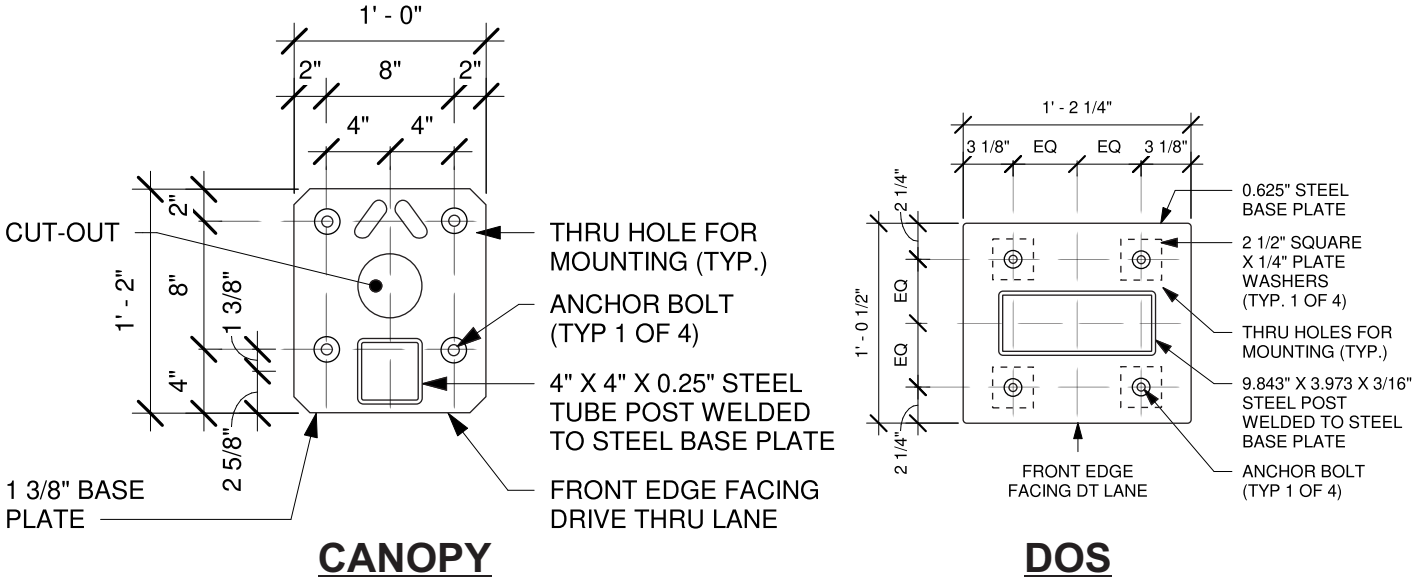
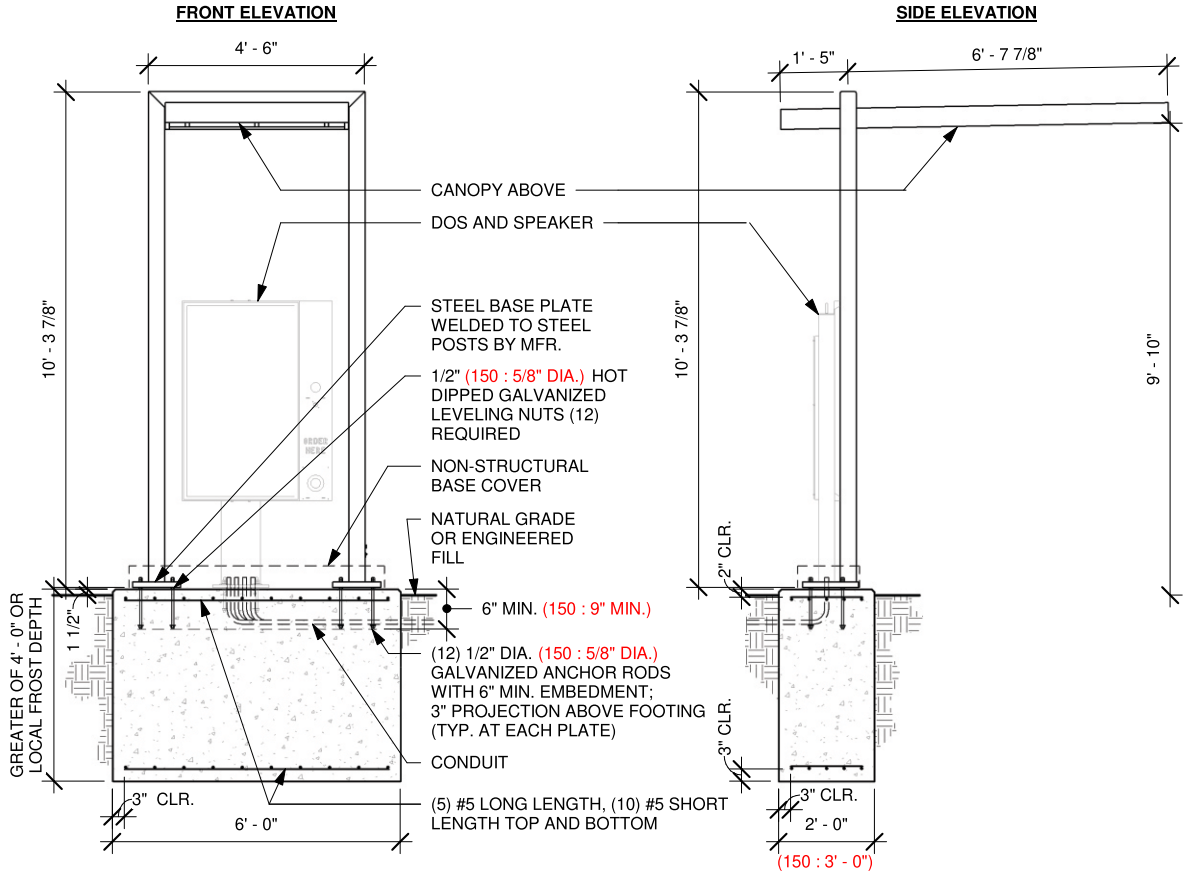
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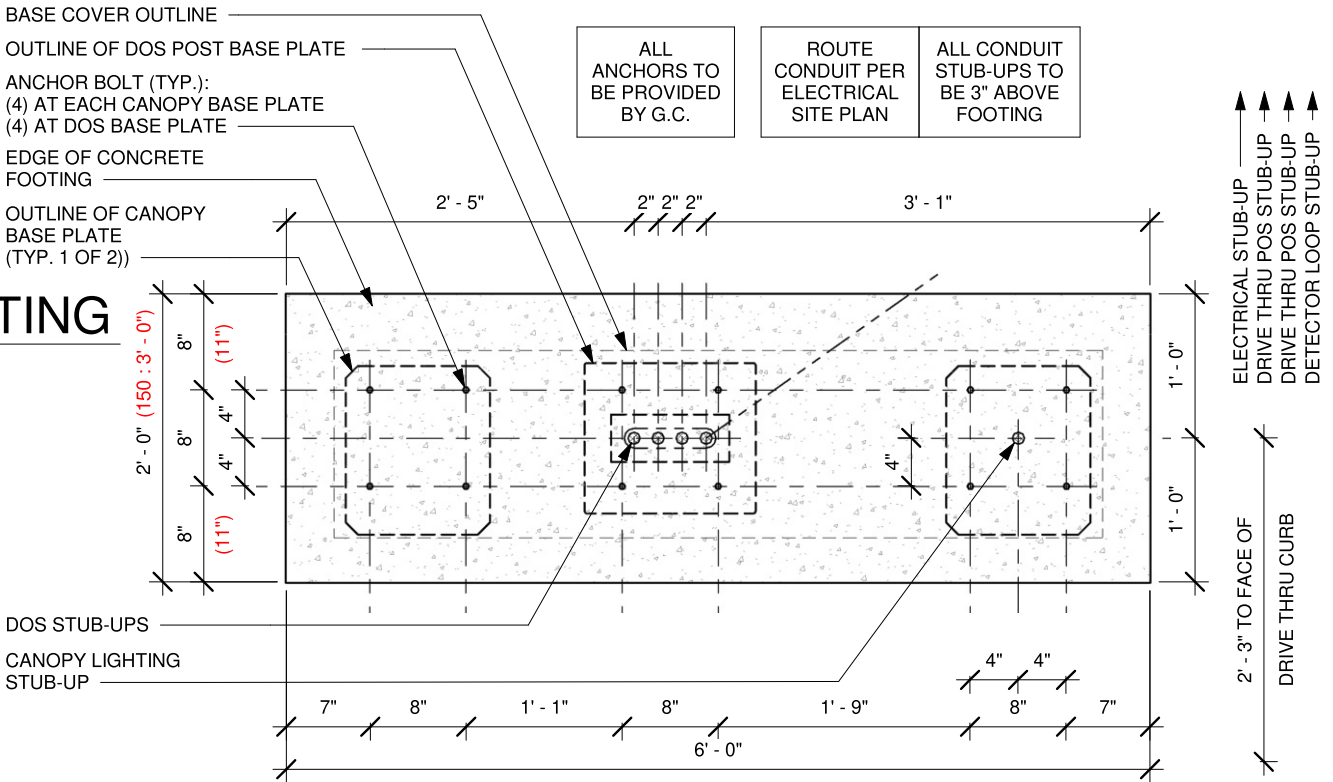
CANOPY - INSTALL ONLY

Qty. 1
G



BASE PLATE

Scale: 1" = 1'-0"



BOLT PATTERN (TOP VIEW)

scale: 3/4" = 1'

DT DIGITAL ORDER SCREEN CANOPY GROUND FOOTING

scale: 1/4" = 1'



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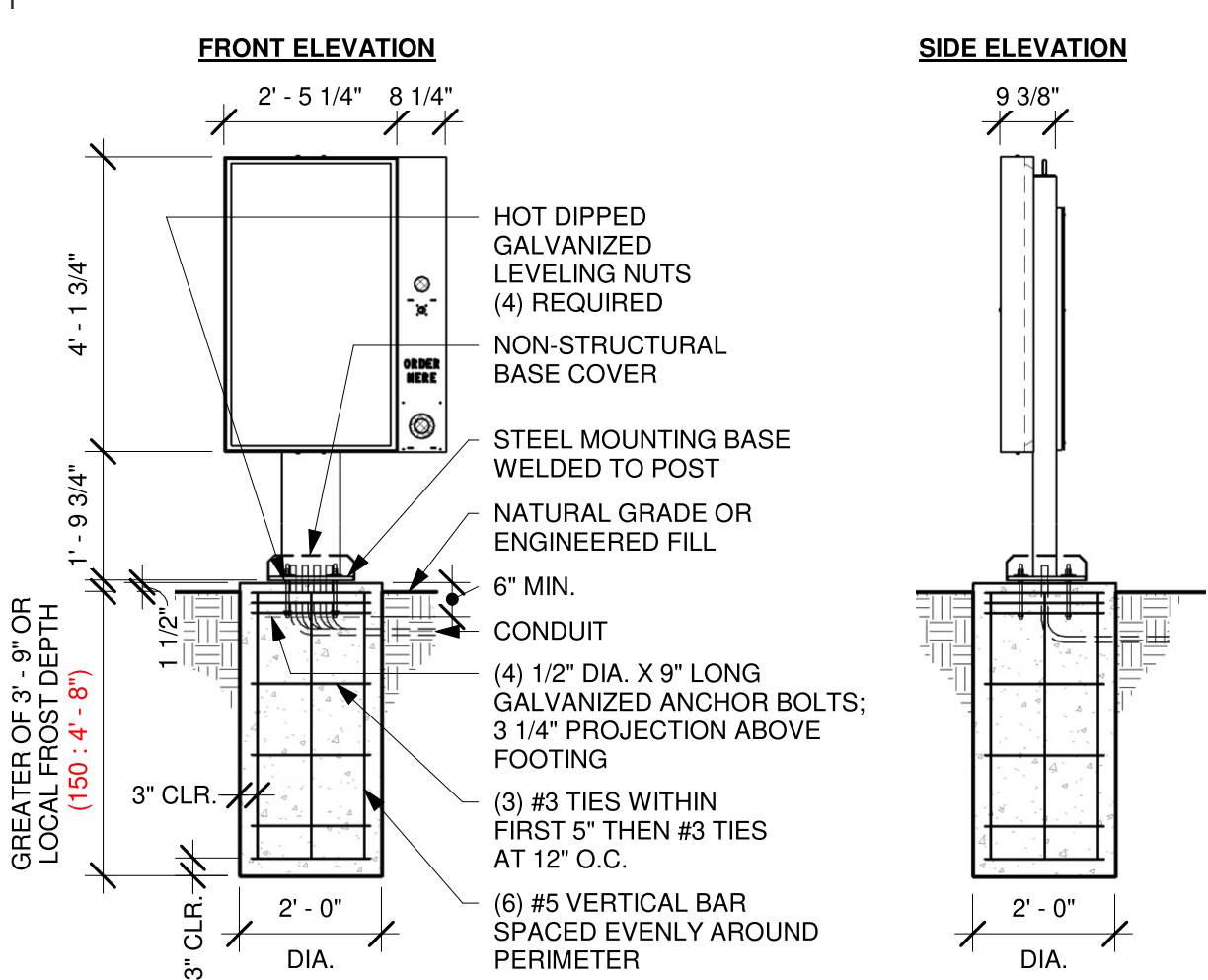
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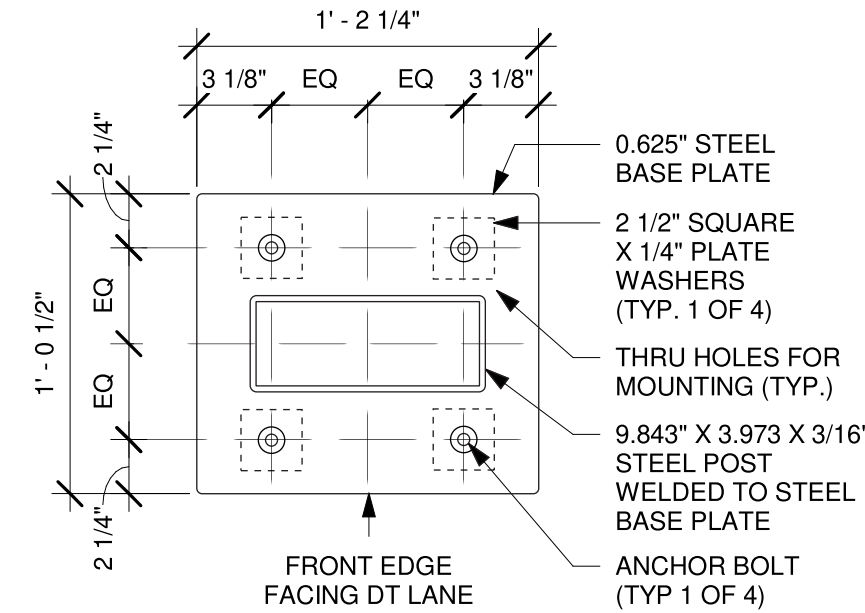
DOS - INSTALL ONLY **Note:** - All steel shall be galvanized

Qty. 1
G



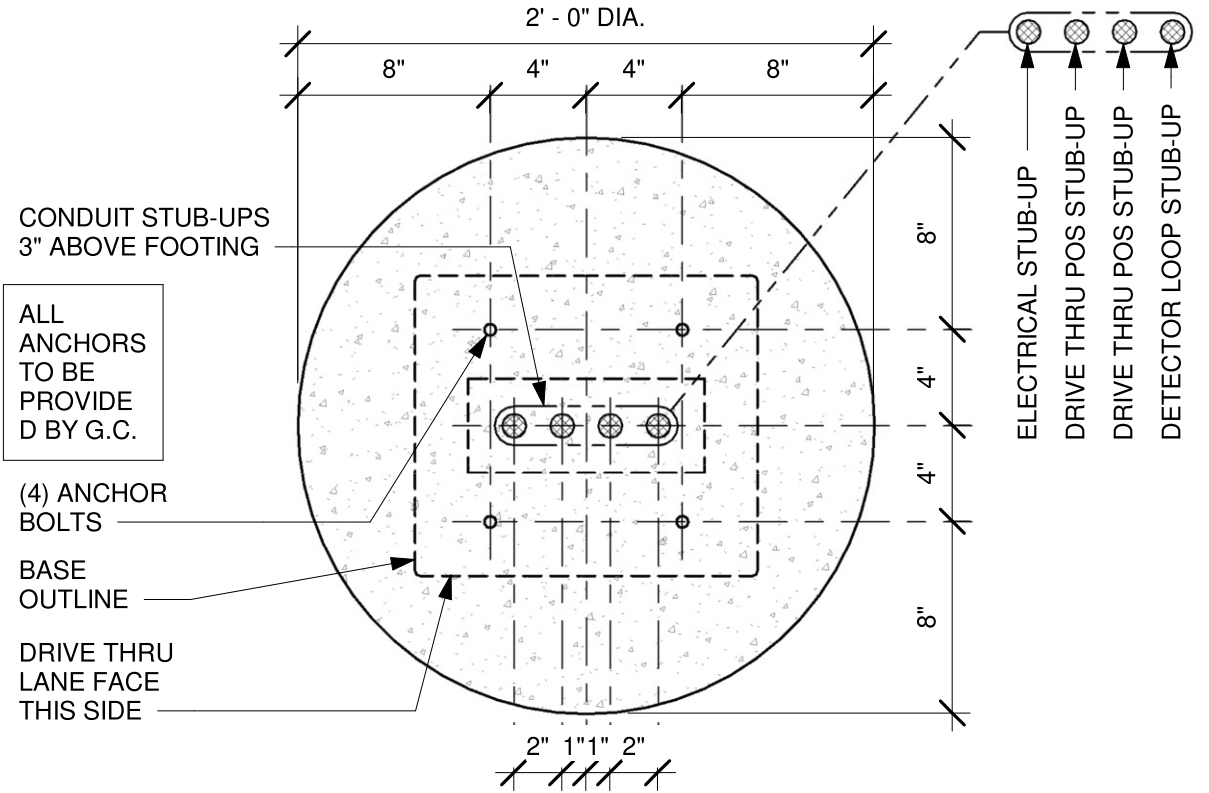
DT DIGITAL ORDER SCREEN POST GROUND FOOTING

Scale: 3/8" = 1'-0"



BASE PLATE

Scale: 1 1/2" = 1'-0"



BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"

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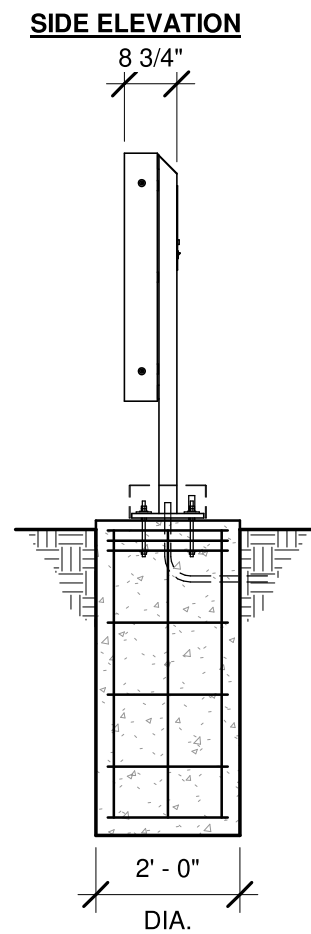
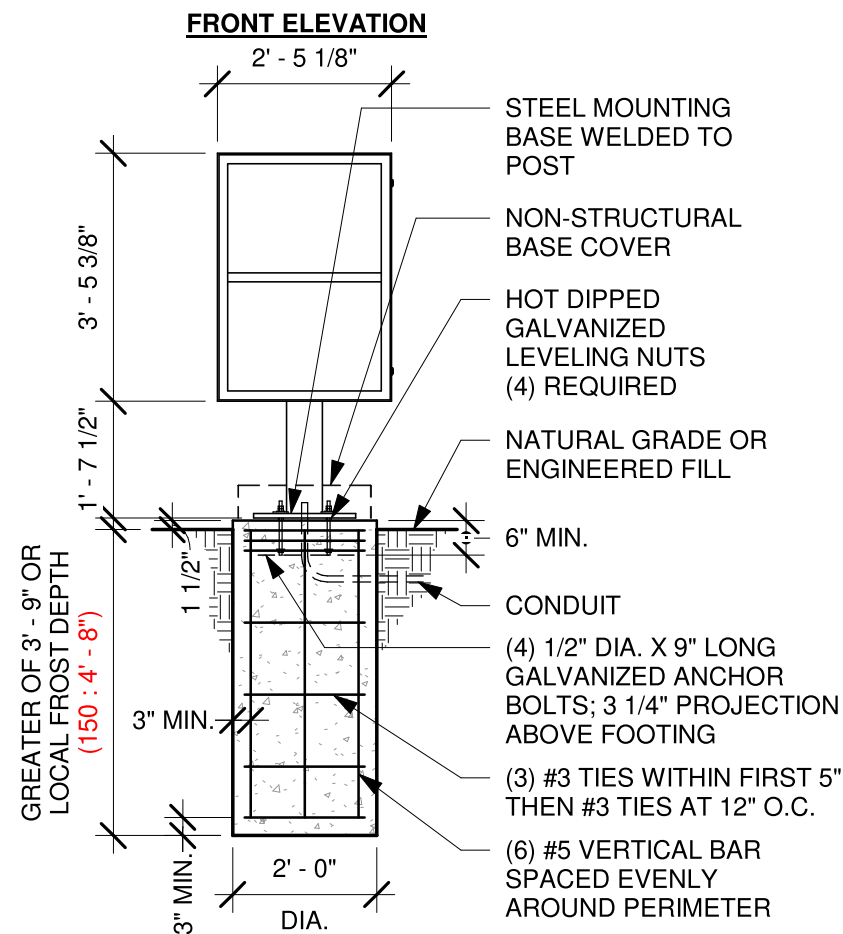
2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

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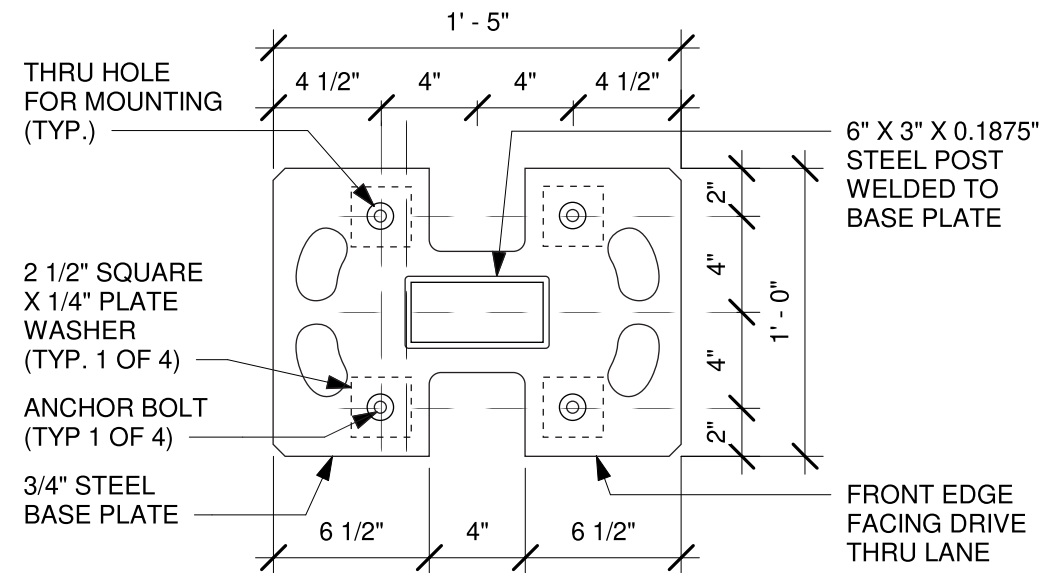
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Qty. 1



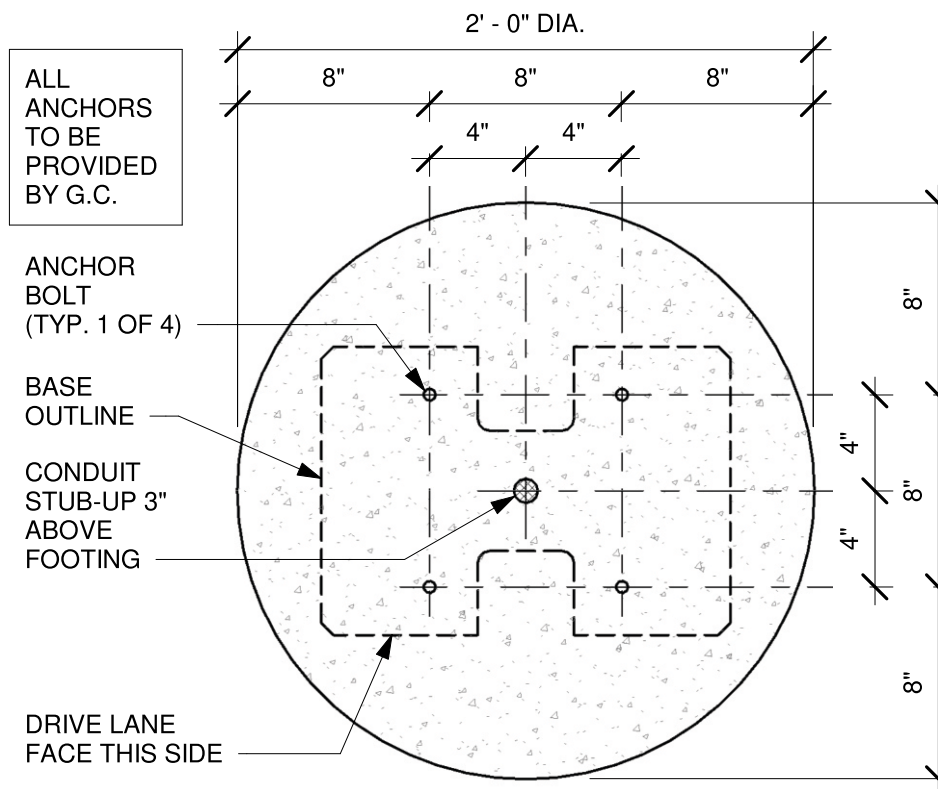
DT PRE-MENU GROUND FOOTING

Scale: $\frac{3}{8}'' = 1'-0''$



BASE PLATE

scale: 1 1/2" = 1'



BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"

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QID 22-59788

JOB NAME

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3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

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2022/Starbucks/Locations/
Niskayuna NY/22-59788/
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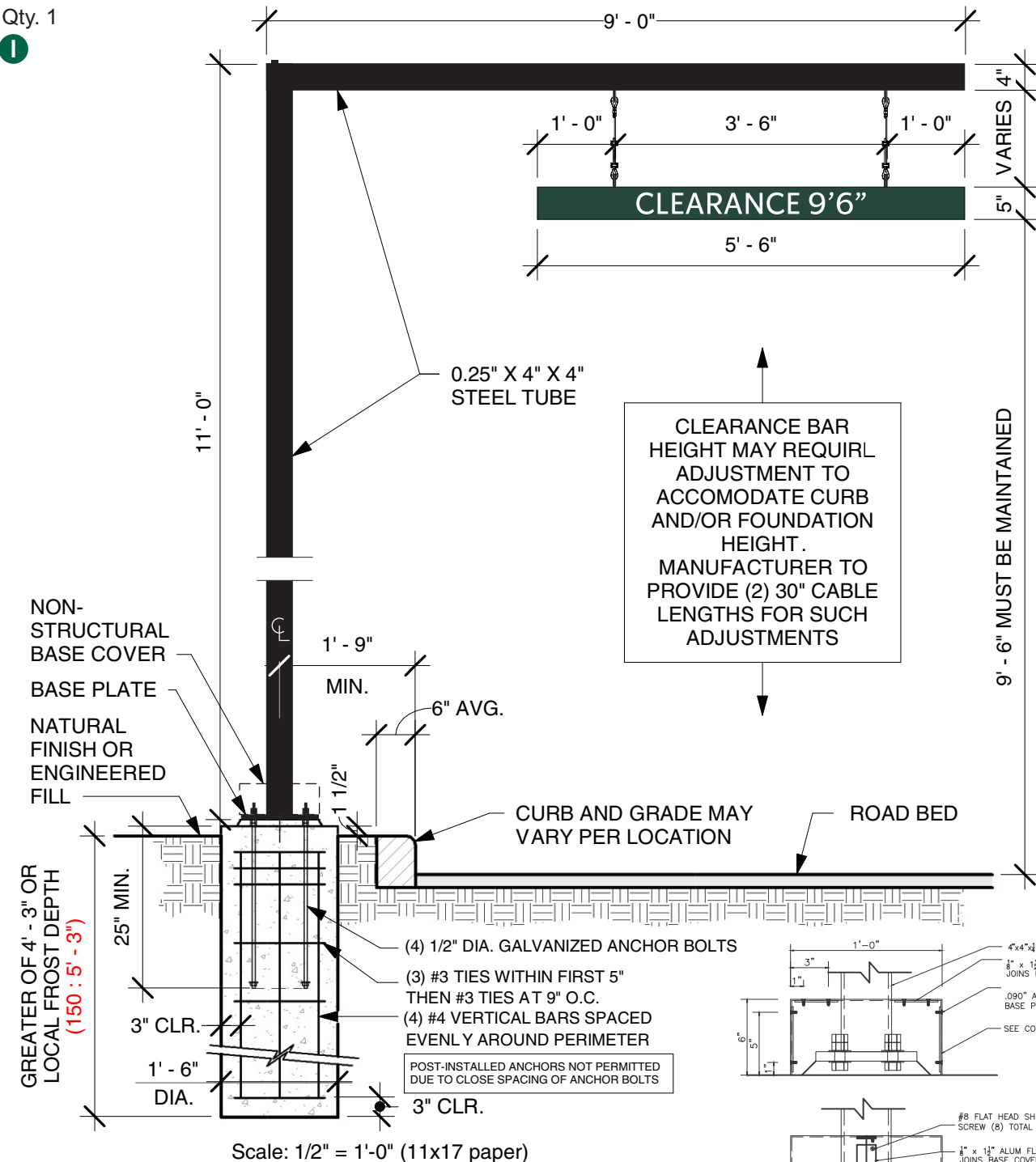


REVOLUTION CLEARANCE BAR

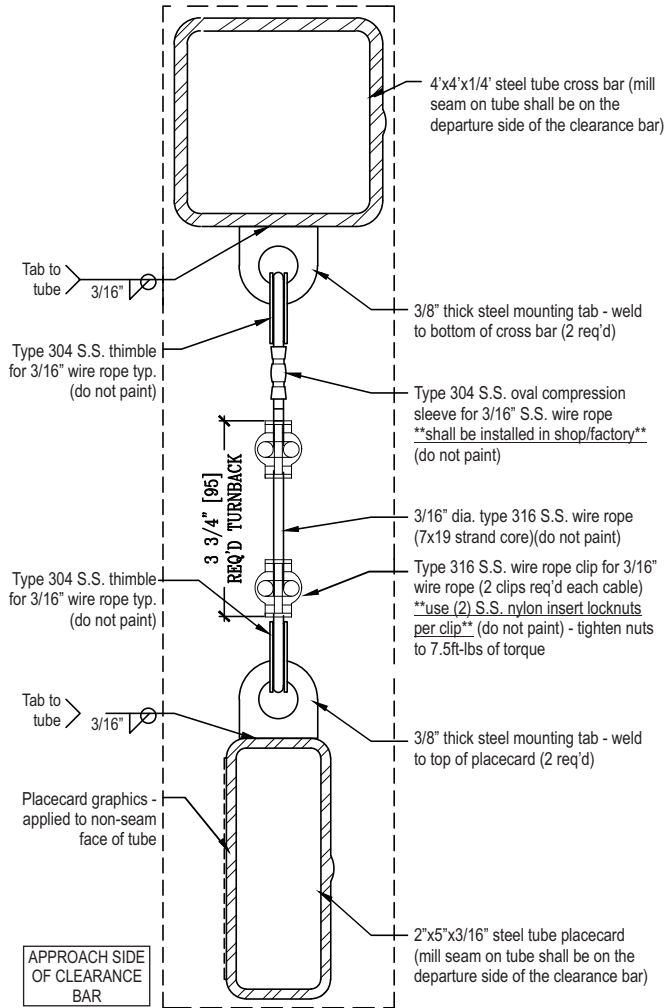
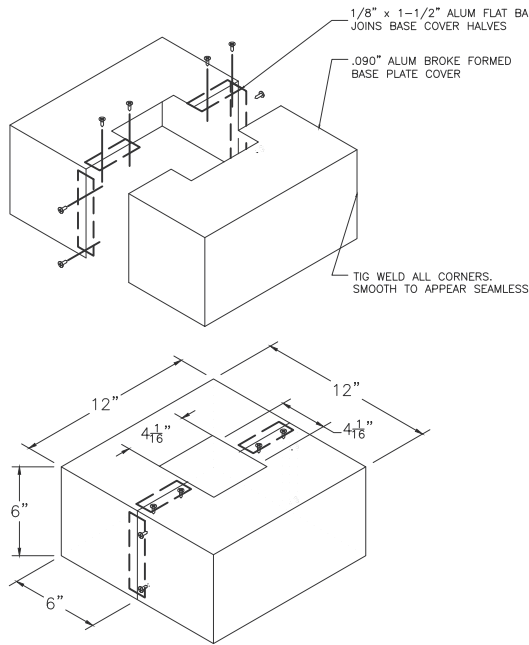
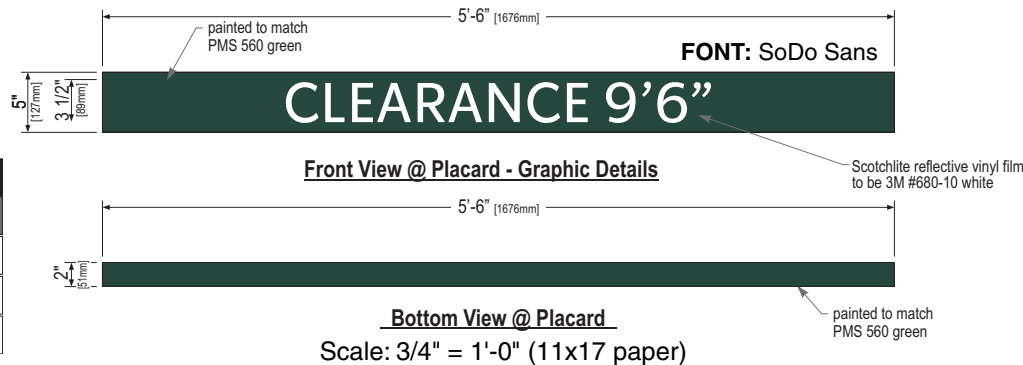
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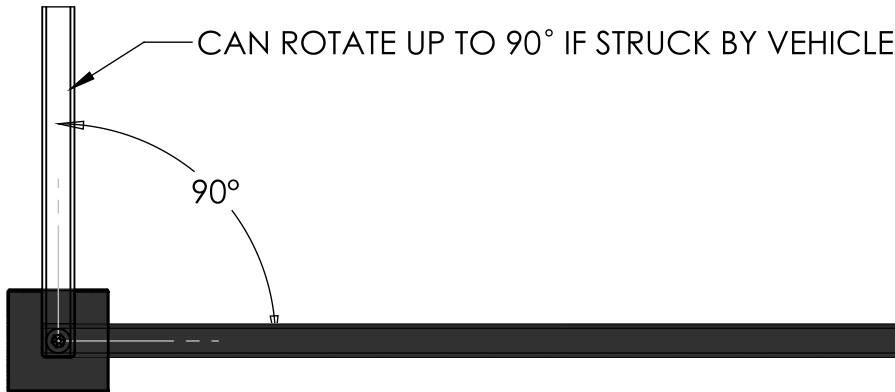
1



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 560 C	NA
	PSB 6865/ SATIN BLACK	3M 3630-22
	REFL. WHITE	3M 680-10



End Section View



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CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

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DWG. DATE

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SCALE

As Noted

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2022/Starbucks/Locations/
 Niskayuna NY/22-59788/
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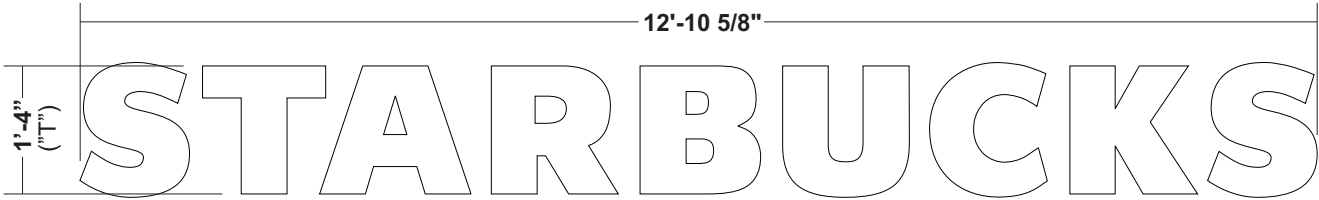
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16” CHANNEL LETTERS - REMOTE

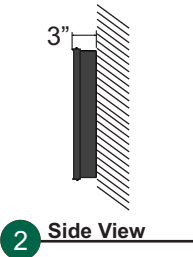
SBC-S18496-SB-W-SL

Qty. 1



1 Front View
Scale: 1/2" = 1' (11x17 Paper)

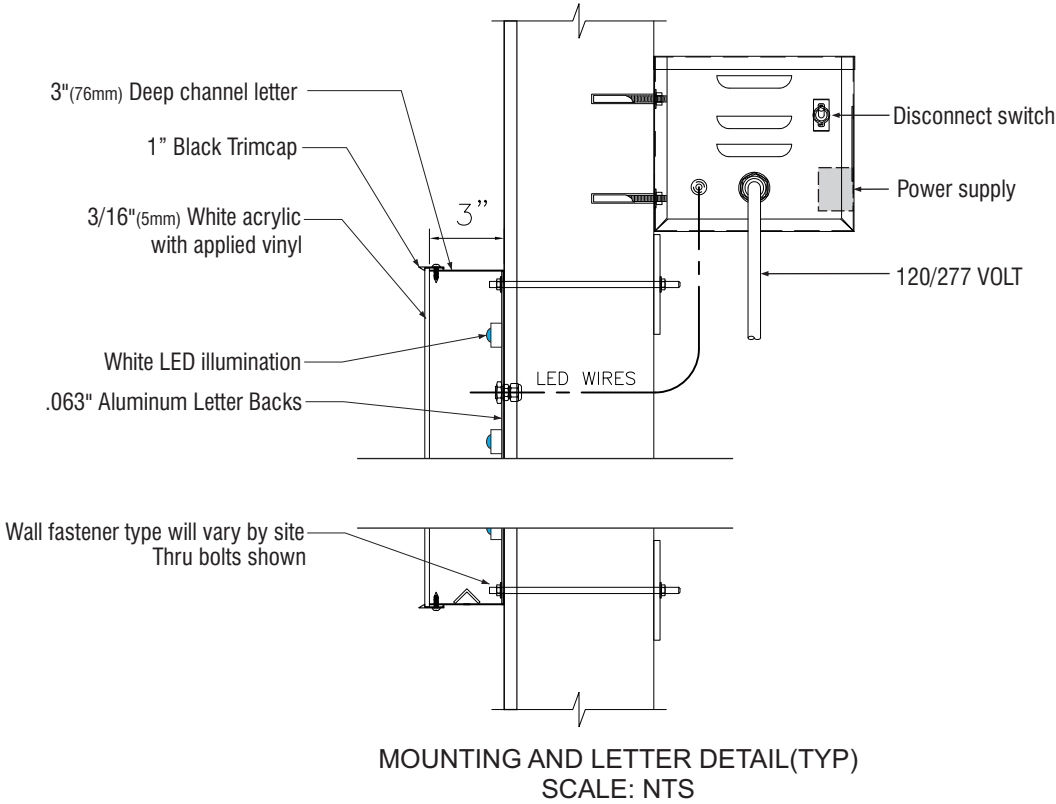
17.18 SF



2 Side View

SPECIFICATIONS

- A** Internally illuminated channel letters to be fabricated from .040 returns aluminum with pre-painted White interiors and pre-finished Black returns. Letter backs to be aluminum stapled to sidewalls and sealed.
- B** Faces to be 3/16" White acrylic with 1" Black trimcap
Faces to be first surface 3M Scotchcal #3630-76 Holly Green vinyl with white acrylic portions to show through white.
- C** Letters illuminated w/ Sloan Prism Enlighten White 6500k LED's w/ remote power supply.
- D** Letters to be installed flush to wall.



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

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QID 22-59788

JOB NAME

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Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

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SCALE

As Noted

FILE

2022/Starbucks/Locations/
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Underwriters Laboratories Inc.

DRY

DAMP

WET

X

60” ILLUMINATED SIREN

Qty. 1 SBC-S13164-SL

K



1 Front View
3/4" = 1'-0" (11x17 Paper)

SPECIFICATIONS:

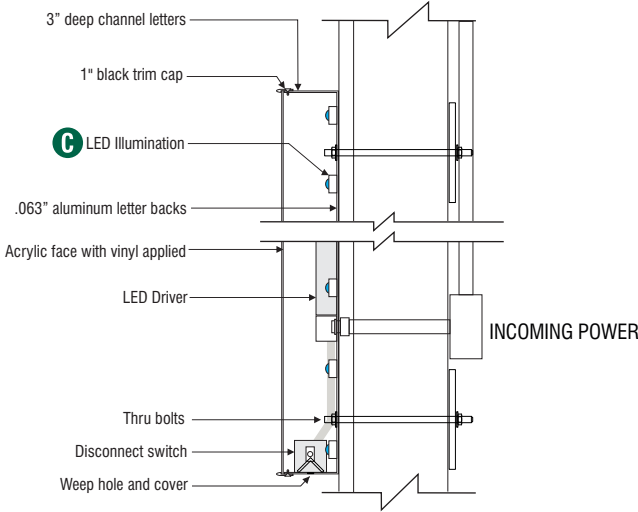
- A Single faced internally illuminated wall mount logo disk. Cabinet to be 3" deep, fabricated aluminum returns and back. Paint cabinet black. Faces to be 3/16" white Plex with 1" black trimcap
- B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.
- C Internally illuminated logo disk with Sloan Prism Enlighten 6500K white LEDs

3" (76mm)

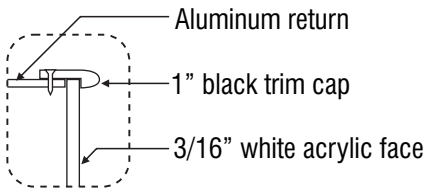
A



2 Side View



3 Disk Section View Typ.



4 Enlarged Detail

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Wall Mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
60" (1524mm)	19.62	1.82	120/277

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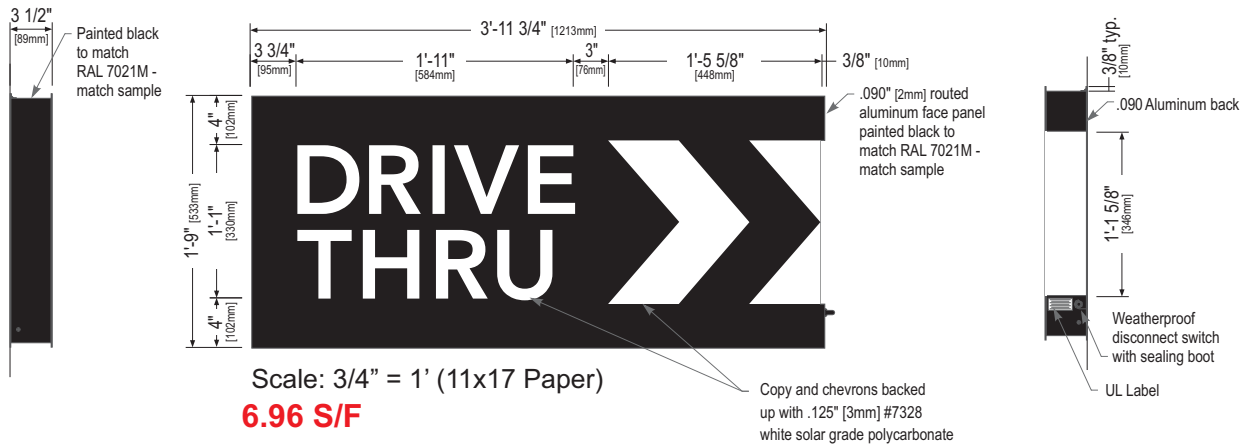
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48” DT WALL SIGN-RH

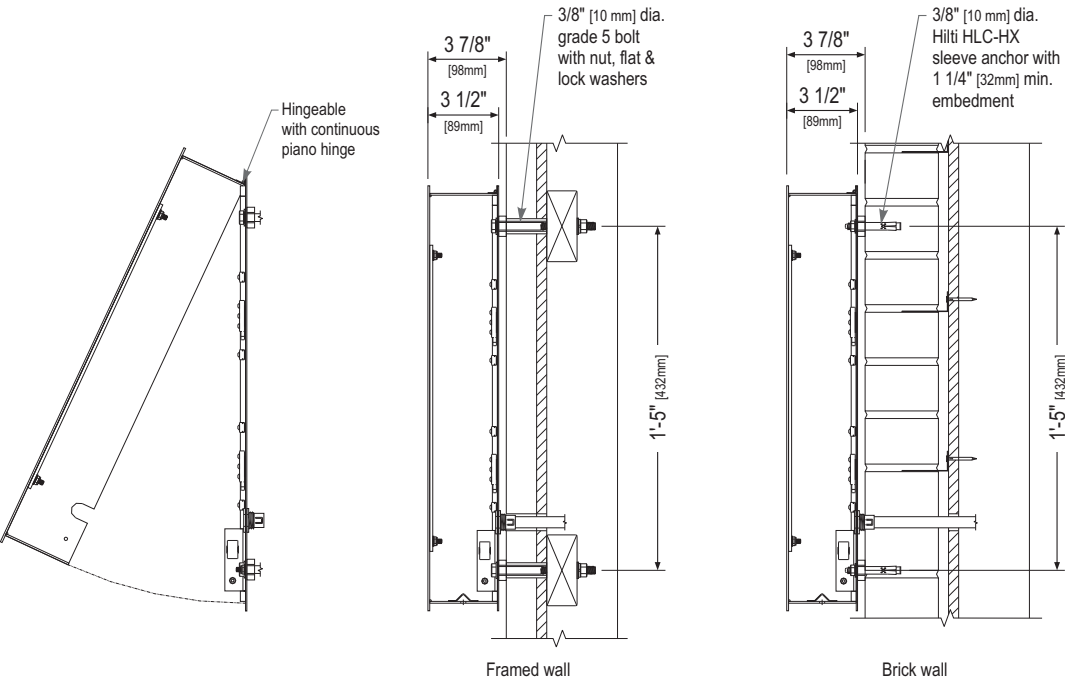
Qty. 1 SBC-S14099-SL



Left Side View

Front Elevation View

Right Side View



Service Position View
NOT TO SCALE

Section View at Installation Detail
NOT TO SCALE

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Sign Specifications:

Cabinet:

- Fabricated .090" [2mm] aluminum housing painted black to match RAL 7021M with 3M #180-10 white vinyl end cap as shown.
- Directional copy and chevrons backed up with .125" white polycarb. All polycarb face elements to be attached to aluminum face panel with weld studs.
- Welded aluminum construction with no visible fasteners. Fasteners retaining the hinged face will be located on the bottom such that they are not visible. All fasteners used in the assembly of internal components shall be coated to prevent corrosion.
- Internal structure of cabinet shall be per approved shop drawings.
- Graphic elements are internally illuminated using Sloan Prism Enlighten LEDs. LED's to be mounted on back panel with self-contained power supply. All electrical components are removable for service.

Regulatory:

- Sign must meet all regulations in the National Electric Code as well as any local or state electrical codes.
- As per NEC 600.6, sign is equipped with a service disconnect switch.
- Sign must be listed as an Electric Sign per Underwriters Laboratories UL48 and/or CSA and bear the appropriate UL, CUL or CSA relevant certification marks. Primary power by electrical contractor per NEC.

Size	Sq. Ft. ¹	Sq. Ft. ²	Volts	Amps
21"	4.52	6.96	120/277	0.85

1: Figured as illuminated center part
2: Figured as complete signage

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QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

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CHANNEL LETTERS ON BACKER PANEL

Qty. 1 SBC-PART #



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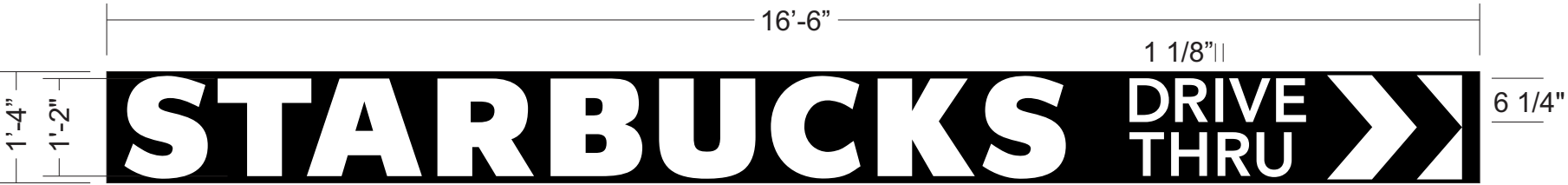
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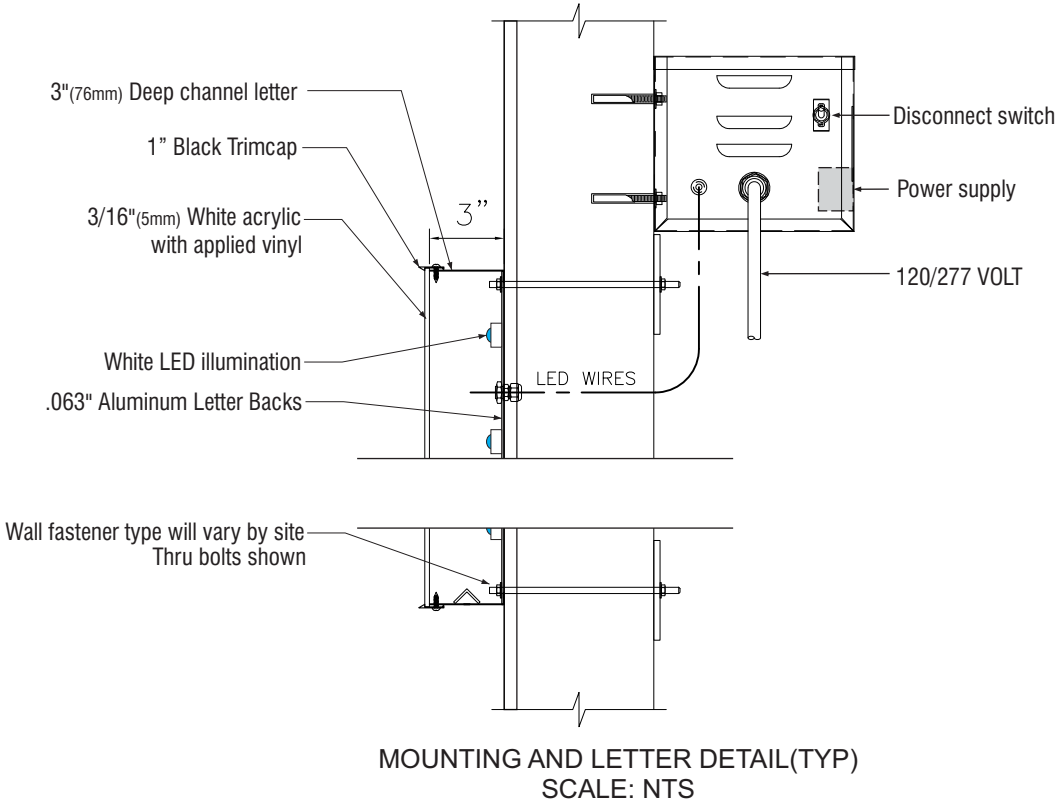


1 Front View
Scale: 1/2" = 1' (11x17 Paper)

22 SF

SPECIFICATIONS

- A** Internally illuminated channel letters to be fabricated from .040 returns aluminum with pre-painted White interiors and pre-finished Black returns. Letter backs to be aluminum stapled to sidewalls and sealed.
- B** Faces to be 3/16" White acrylic with 1" Black trimcap
Faces to be first surface 3M Scotchcal
#3630-76 Holly Green vinyl with white acrylic portions to show through white.
- C** Letters illuminated w/ Sloan Prism Enlighten White 6500k LED's w/ remote power supply.
- D** Letters to be installed to wall on flat aluminum backer panel painted satin black.



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10



May 20, 2022

Town of Niskayuna Planning Board
1 Niskayuna Circle
Niskayuna, New York 12309

Re: **2303 Nott Street East**
Niskayuna, Schenectady County, New York 12309
Starbucks Drive-Thru Queue Analysis

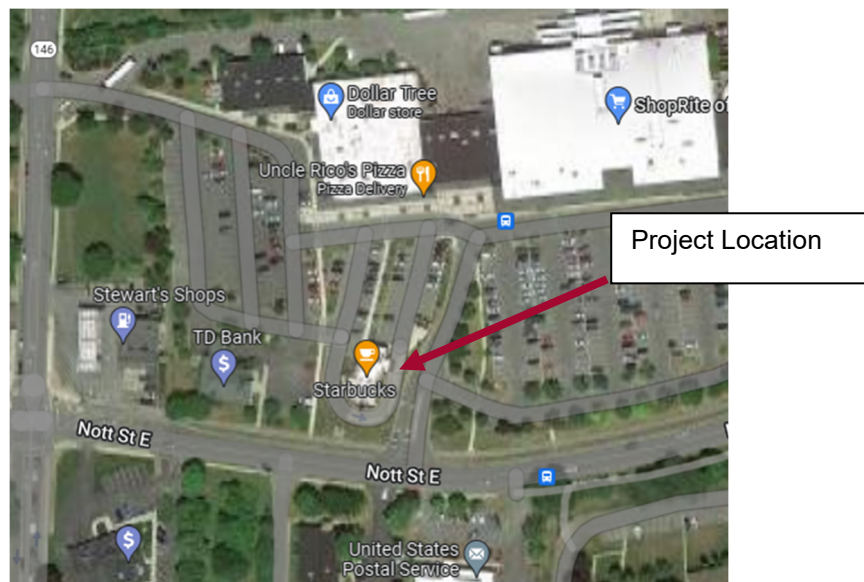
Dear Planning Board Members:

Kimley-Horn and Associates, Inc. (Kimley-Horn) has prepared this Drive-Thru queue analysis in support of the proposed modifications to the existing Starbucks located at 2303 Nott Street East, Town of Niskayuna, New York. This statement is based upon the premise that the existing drive thru ordering board will be demolished and new equipment will be installed in a different location to provide additional vehicle storage and decreased customer processing times.

Development Conditions

As shown on the site vicinity map below, access to the site is provided via two (2) existing driveways within the ShopRite Plaza. Both existing driveways are considered full access. No changes to the existing driveways are proposed.

Figure 1. Site Vicinity Map



Trip Generation Estimates

Trip generation estimates for the existing Starbucks store were made utilizing data as published in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 11th Edition. The *Trip Generation*

Manual sets forth trip generation rates and equations based upon traffic counts conducted at similar land use sites throughout the nation.

Land use code (LUC) 937 "Coffee/Donut Shop with Drive Thru Window" is compatible land use for the existing site for Weekday AM and PM Peak Hour of Adjacent Street Traffic.

Table 1 provides a summary of the trip generation estimation for the existing Starbucks store. It should be noted that there is no proposed change to the building square footage. Therefore, it is assumed that there will not be any changes to site generated trips. The proposed building modifications simply provide more efficient on-site traffic operations.

Table 1. Trip Generation Comparison

ITE Land Use Code	Variable	AM Peak Driveway Trips			PM Peak Driveway Trips		
		Entering	Exiting	Total	Entering	Exiting	Total
937: Coffee/Donut Shop with Drive-Thru Window	1,770 SF	78	74	152	34	35	69

Source: Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 11th Edition

The site is estimated to generate 152 trips (78 vehicles) during the morning peak period, 69 trips (35 vehicles) during the evening peak period.

Based on drive-thru transaction data provided by the client, the percentage of trips that use the drive-thru are approximately 55% during the AM peak-hour and 35% during the PM peak-hour. For purposes of this analysis, the percentage of AM-peak-hour trips that use the drive-thru, will be utilized as it represents the higher utilization of the drive thru. Therefore, 78 vehicles with 55% utilizing drive-thru equates to 43 vehicles using the drive-thru during the AM Peak.

Drive-Thru Queue Analysis

The ordering station location and vehicle queuing distance are two important factors that determine the efficiency of the drive-through operation. The current drive-thru ordering window and pick-up window location can currently queue 5 vehicles from the ordering location to the pick-up window, while the proposed ordering location and pick-up window location can queue 7 vehicles.

The existing drive-thru configuration can provide service times of approximately 55 seconds per vehicle, while the proposed drive-thru configuration and building renovations can provide improved (decreased) service times of approximately 40 seconds per vehicle. This is based on operational data provided by Starbucks for the existing and proposed ordering window configurations.

The table below summarizes the comparison between the existing and proposed ordering location and pick-up window operations and their impact on queuing. For the purpose of this analysis, only the AM peak-period trips, 43 vehicles in the drive-thru, was utilized. **Table 2** below, summarizes the expected changes for drive-thru operations, based on the proposed modifications.

Table 2 – Drive-Thru Operations Summary

Drive-Thru Operations	Existing Drive-Thru	Proposed Drive-Thru
Service Time at pick-up window (sec/veh)	55	40
Calculated Service Rate, μ (veh/hr)	65	90
Total vehicles serviced (AM Only)	43	43
Traffic Intensity (vehicles serviced/service rate)	0.66	0.47
Reduction of Queue	-	19%

Based on the results, the proposed drive-thru modifications are expected to improve overall efficiency by 19%, as compared to the existing conditions. This reduces the queue length at the drive thru and provides more vehicle queuing area between the drive-thru ordering window and pick-up window, and in-store operations can proceed more efficiently as compared to the existing conditions. Additionally, the increase in service rate exceeds the arrival rate and will thus reduce periods of vehicle queuing compared to the existing condition.

Conclusion

The proposed drive-thru modifications for the existing Starbucks will result in improved drive-thru operations, by being able to service more vehicles with an improved service time (15 second improvement) than the existing drive-thru configuration as well as reduce queue length by 19%.

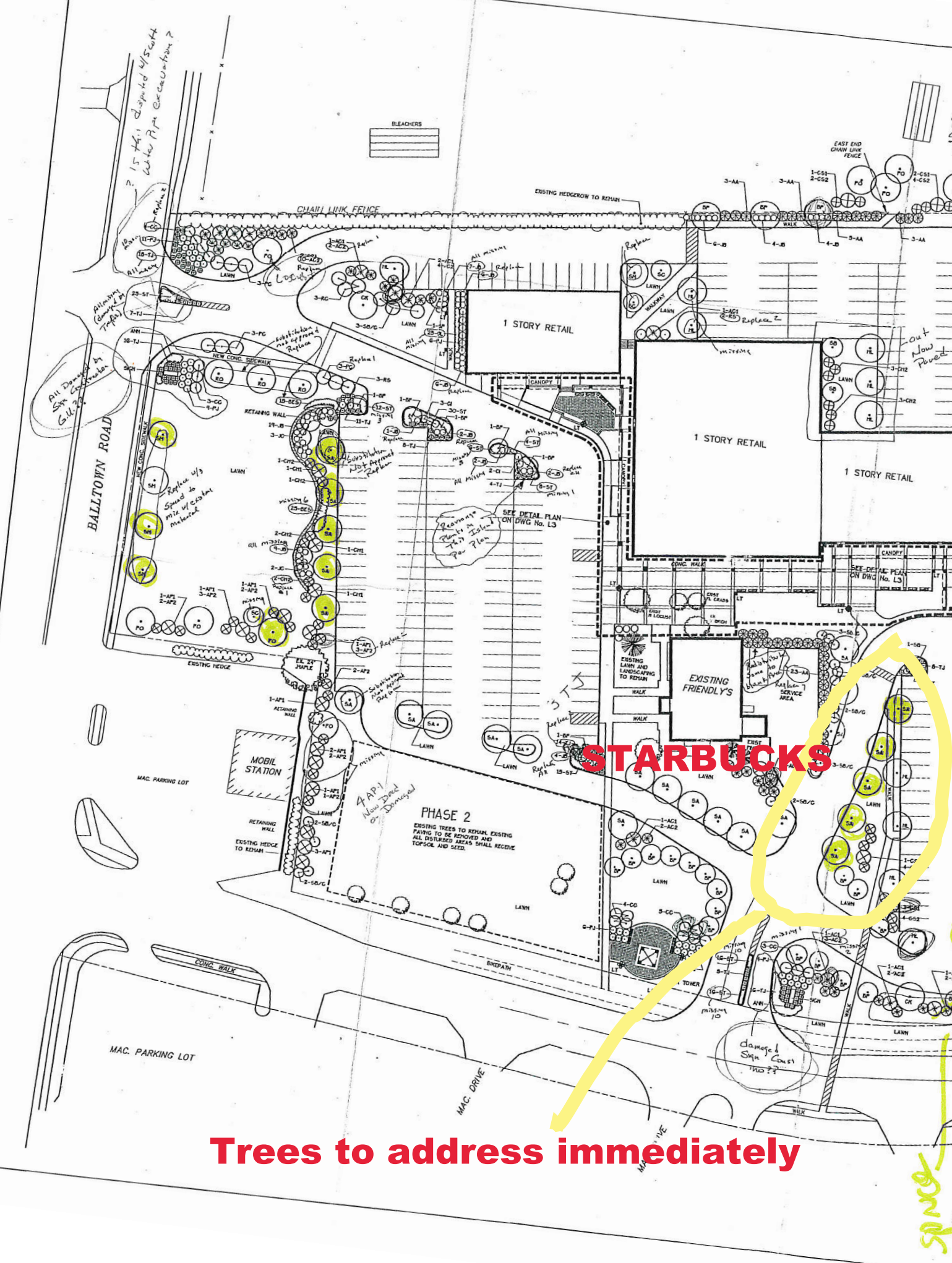
Please contact me at 717.803.8192 or cory.greene@kimley-horn.com should you have any questions or require any additional information.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Cory H. Greene, P.E., PTOE
Transportation Engineer



Trees to address immediately

SPRINKLER



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 2

MEETING DATE: 6/13/2022

ITEM TITLE: RESOLUTION: 2022-13: A Resolution for site plan approval for dividing the exiting single store front into two rentable spaces of 10,330 sf and 2,140 sf with a 127 sf utility room including a tenant change to a Five Below retail store in one of the newly created spaces at 424 Balltown Rd.

PROJECT LEAD: TBD

APPLICANT: Rick Flather, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Rick Flather, agent for the owner, submitted an Application for Site Plan Review for changes and improvements to the existing commercial space at 424 Balltown Road within Mohawk Commons. Mr. Flather would like to divide the existing space into two main spaces of 10,330 sq. ft. and 2,140 sq. ft. with a separate 127 sq. ft. landlord utility room. A new tenant, a Five Below retail store, is proposed for one of the newly created spaces. The commercial space is located within the C-S Shopping Center Commercial zoning district. Retail stores are permitted principal uses in the C-S district.

BACKGROUND INFORMATION

A 3-page drawing set was provided with the application consisting of the following.

Page	Title	By	Rev
1	402-442 Balltown Rd.	DLC Management	None
2	Alta / ACMSM Land Title Survey	DDR Project	1/15/2016
3	Construction Floor Plan – Former Party City Space	DLC Management	5/9/22

Mr. Flather states that the proposed Five Below retail store will be open from 8 AM – 11 PM, will have an occupancy load of 154 people and will consist of 15 employees per shift.

A separate application will be submitted in the future for new signage. The applicant is before the board to present the project and address any questions that arise.

5/23/22 Planning Board (PB) meeting – Chairman Walsh recused himself from this project and David D’Arpino filled in as acting Chairperson. Mr. Flather described the project to the Board. After a short discussion the Board called for a resolution for the 6/13/22 PB meeting.

A resolution is included in the meeting packet.

RESOLUTION NO. 2022 - 13

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 13TH DAY OF JUNE 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Rick Flather, agent for the owner, has made an application to the Planning Board for interior modifications and a tenant change to a Five Below department store at 424 Balltown Rd., and

WHEREAS, a 3-page drawing set was provided including a construction floor plan by DLC Management dated 5/9/22, and

WHEREAS, the zoning classification of the property is C-S Shopping Center Commercial zoning district, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan.

Upon roll call the foregoing resolution was adopted by the following vote:

~~KEVIN A. WALSH, CHAIRMAN~~
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO, ACTING CHAIRMAN
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.



Mohawk Commons

402-442 Balltown Rd
Schenectady, NY 12309

GLA: 535,153

Contact:
Brooke Stevens

P. 914.304.5671
C. 419.560.2304
F. 914.631.6533
E. bstevens@dlcmgmt.com

This site plan indicates the general layout of the shopping center and is not a warranty, representation, or agreement on the part of the landlord that the shopping center will be exactly as depicted herein.

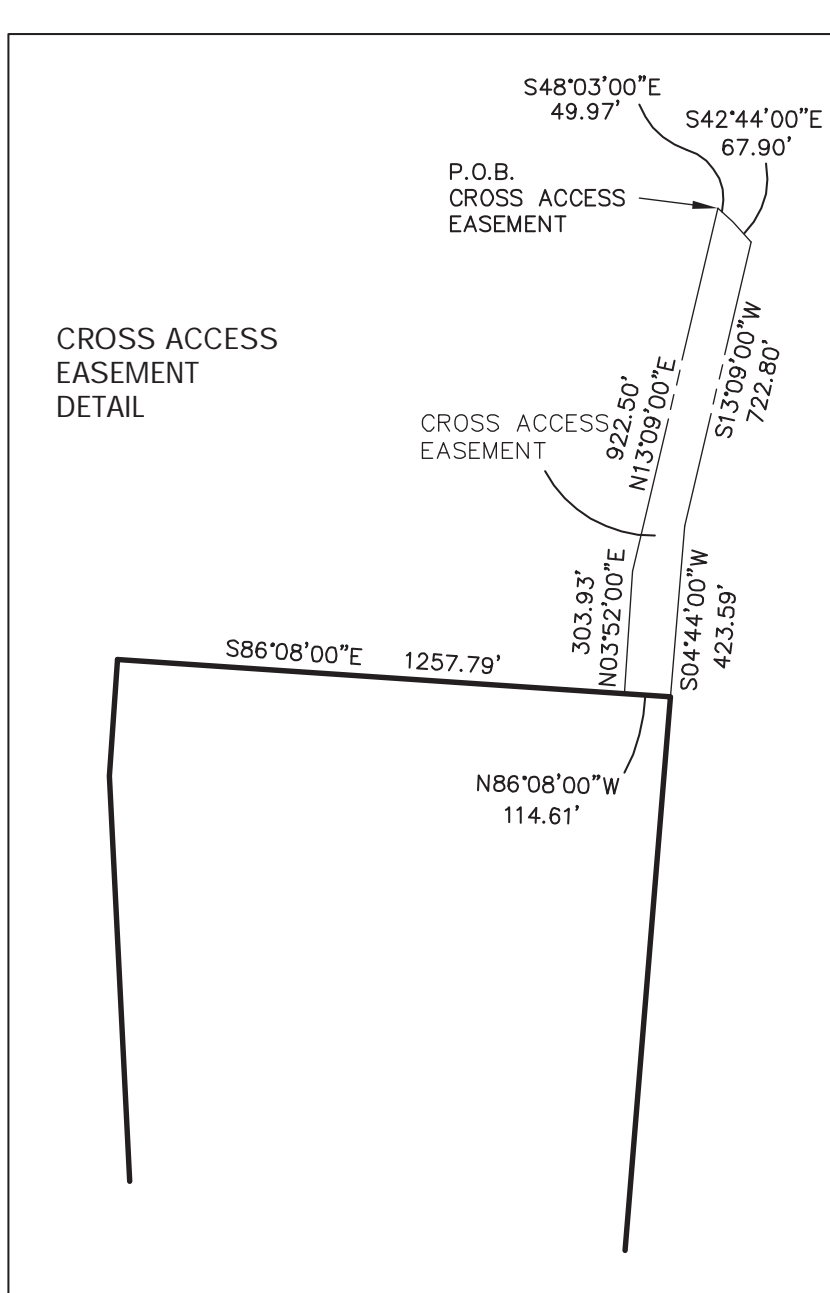
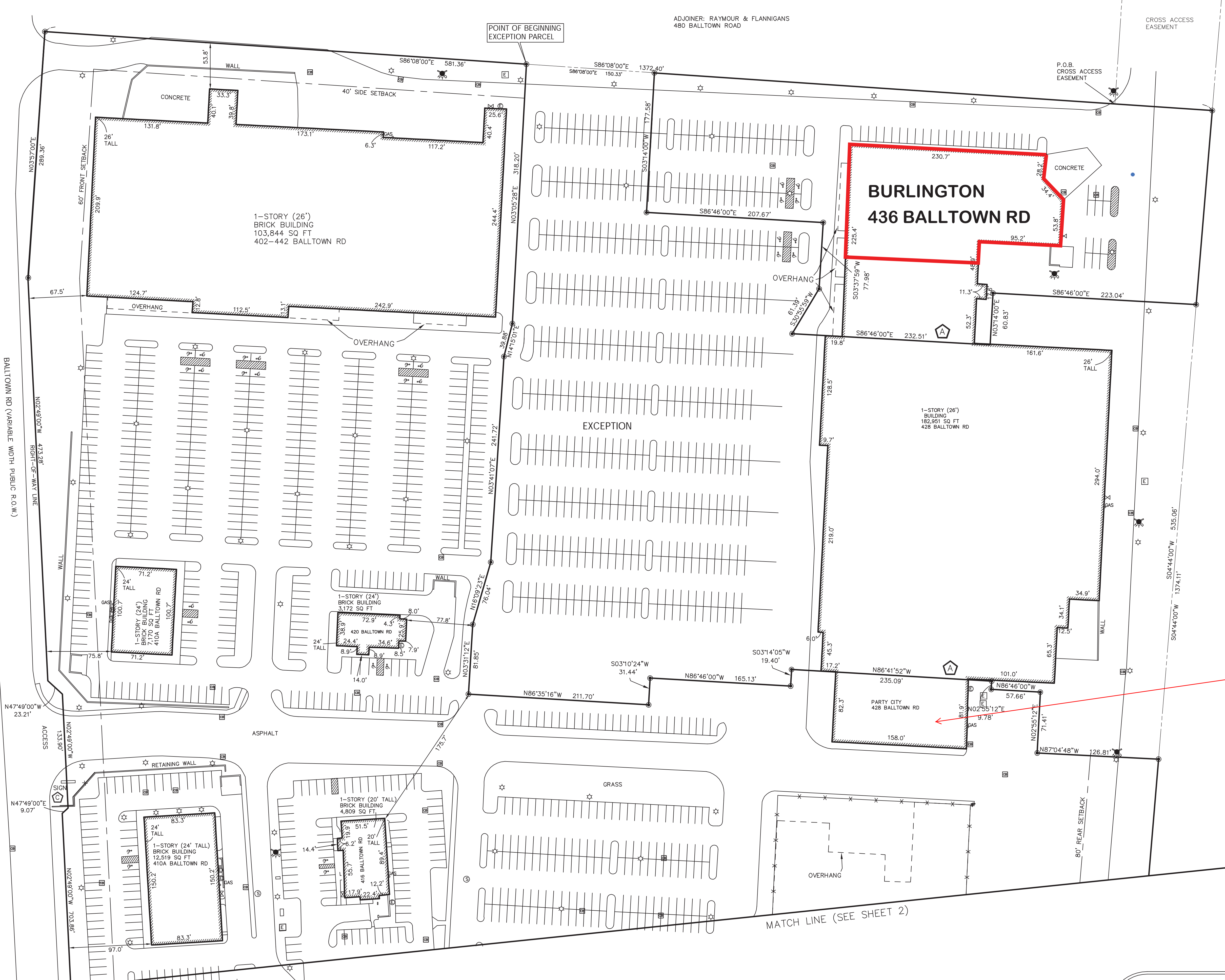
AVAILABLE SPACES

6D	1,712 SF
8	25,000 SF



CURRENT TENANTS

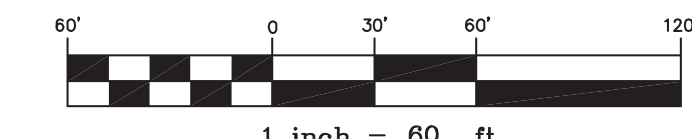
GL-10	Taco Bell	5,074 SF	11	Carter's	4,000 SF	21	Aspen Dental	3,500 SF
U-1	Target	125,400 SF	13	Chase Bank	4,645 SF	21B	Massage Envy	2,588 SF
1	Market 32	73,892 SF	14A	Spectrum	3,621 SF	22	Sprint	2,638 SF
2	Lowe's	135,197 SF	14B	Pure Barre	2,372 SF	23	Old Navy	14,800 SF
5	Marshalls	30,010 SF	15	America's Best Contacts & Eyeglasses	3,652 SF	24	Metro Mattress	4,355 SF
6A	Ulta Beauty	11,299 SF	15A	Five Guys	1,985 SF	25	GNC	1,208 SF
6B	Gap	8,325 SF	16	Panera Bread	4,800 SF	26	Professional	1,500 SF
6C	Blaze Pizza	2,471 SF	17	PetSmart	19,200 SF	26A	Beijing House / China King	1,105 SF
7	Party City	12,640 SF	18	GameStop	1,115 SF	28	Verizon Wireless	3,500 SF
8A	Maurices	4,500 SF	19	Supercuts	1,321 SF			
9	Famous Footwear	10,075 SF	20	AT&T Wireless	2,733 SF	8	Burlington	24,391 SF



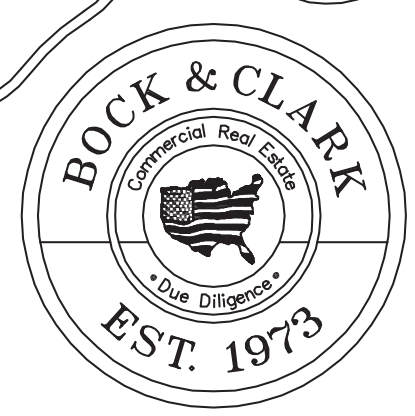
ADJOINER: INFO. NOT AVAILABLE

PREVIOUS PARTY CITY
PROPOSED FUTURE TENANTS AND
UTILITY ROOM
424 BALLTOWN ROAD

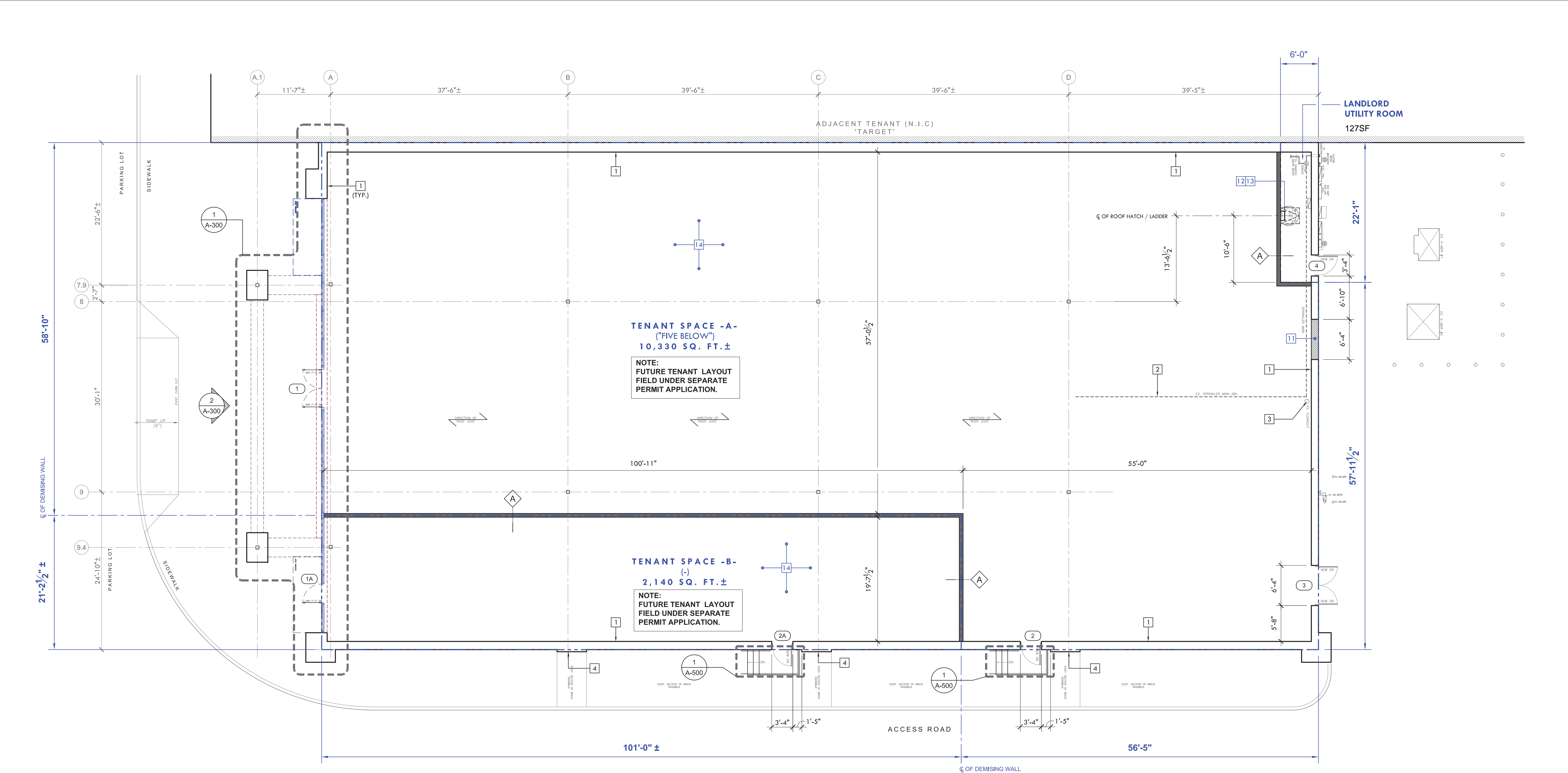
Global Land Solutions
Solutions that work for you.
Corporate Office: 5065 12 Mile Road NE
Rockford, Michigan 49341
(888) 352-5617
www.GlobalLandSolutions.com
Serving The Great Lakes Region



ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR:
DDR-PROJECT SABRE
DATE OF FIELD SURVEY: JANUARY 15, 2016
NETWORK PROJECT NO. 201504336-009 SHEET 3 OF 3



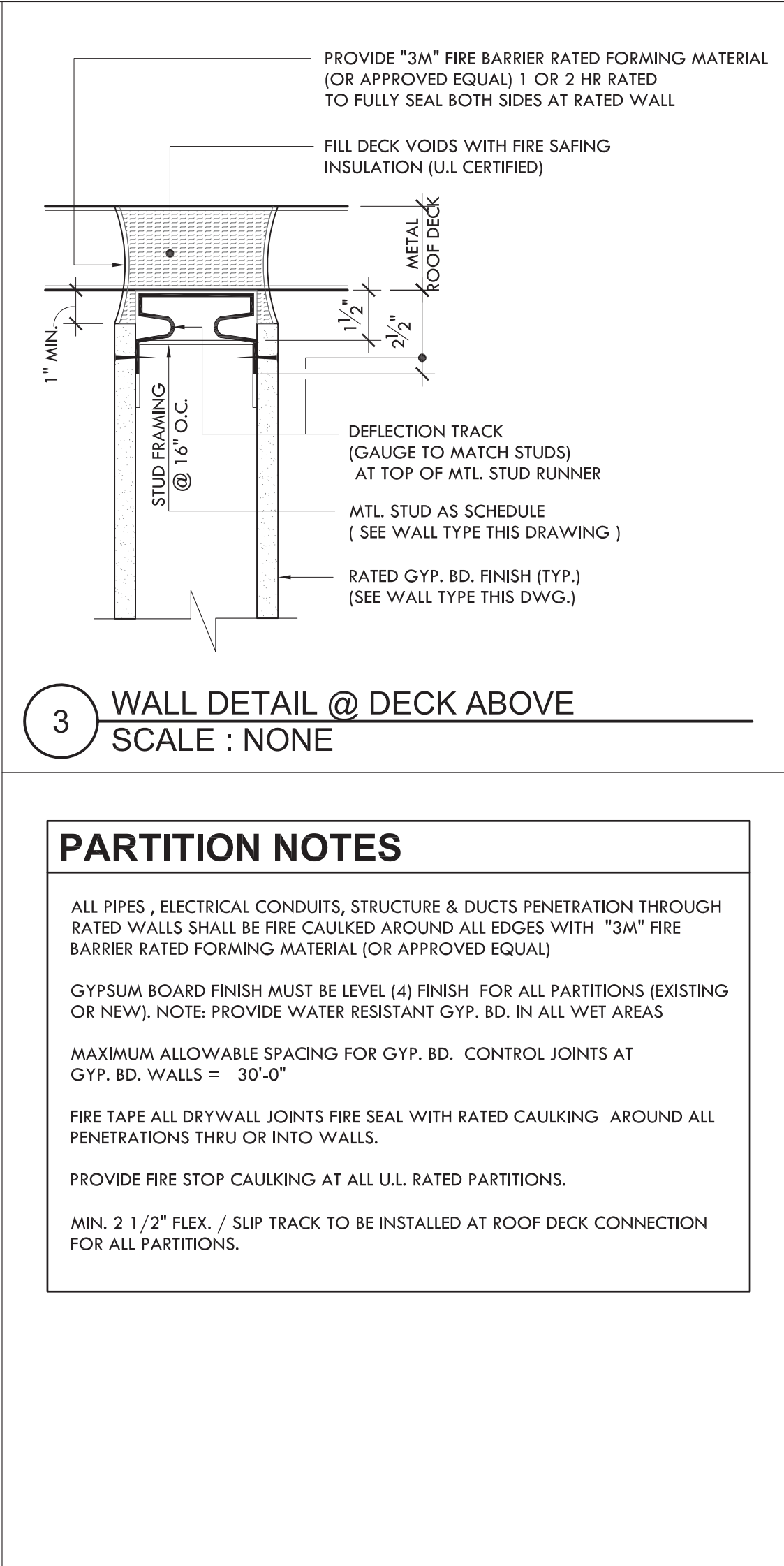
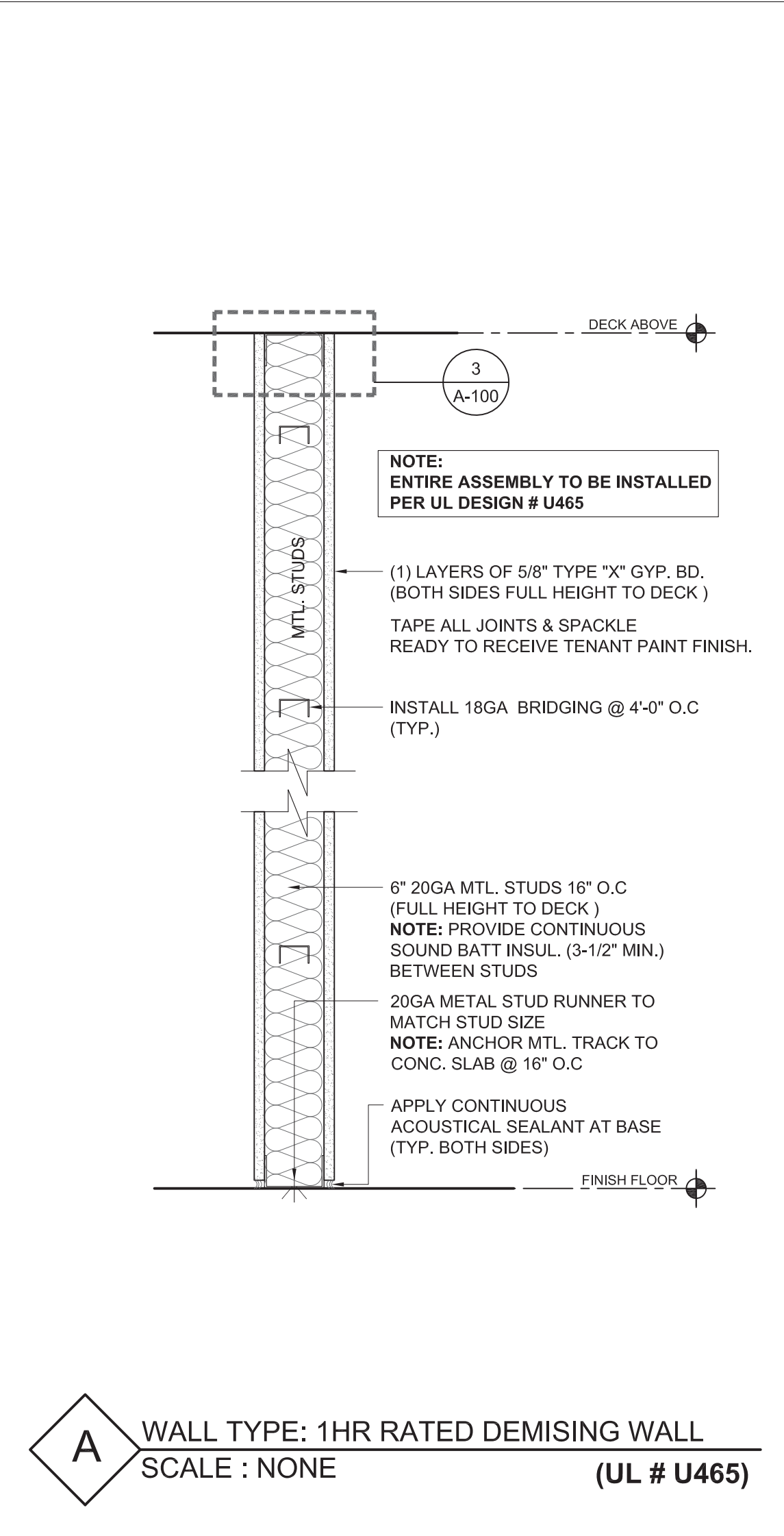
Bock & Clark's National Surveyors Network
National Coordinators of ALTA/ACSM Land Title Surveys
3550 W. 80th Street, Suite 400, Akron, OH 44319
Phone: (800) 368-3608 (330) 666-3608 www.bockandclark.com



CONSTRUCTION FLOOR PLAN

SCALE: 1/8" = 1'-0"

1



DOOR SCHEDULE

DOOR NO.	ROOM NAME	THICKNESS	MATERIAL	DOOR SIZE	DOOR FINISH	HARDWARE SET	REMARKS
1	STOREFRONT ENTRY	-	ALUM./GLS.	(2) 3'-0" x 8'-0"	CLEAR ANODIZED	#4	ADJUST CLOSER FOR A 105° ROTATION
1A	STOREFRONT ENTRY	-	ALUM./GLS.	3'-0" x 8'-0"	CLEAR ANODIZED	#4	ADJUST CLOSER FOR A 105° ROTATION
2	EGRESS DOOR	1-3/4"	HOLLOW METAL	3'-0" x 7'-0"	PAINTED "P-2"	#3	ADJUST CLOSER FOR A 105° ROTATION
2A	EGRESS DOOR	1-3/4"	HOLLOW METAL	3'-0" x 7'-0"	PAINTED "P-2"	#3	ADJUST CLOSER FOR A 105° ROTATION
3	EGRESS DOOR	1-3/4"	HOLLOW METAL	(2) 3'-0" x 7'-0"	PAINTED "P-2"	#3	ADJUST CLOSER FOR A 105° ROTATION
4	LANDLORD UTILITY ROOM	1-3/4"	HOLLOW METAL	3'-0" x 7'-0"	PAINTED "P-2"	#3 (NO "EXIT DEVICE"	-

DOOR HARDWARE

HARDWARE SET# 3 (EXIT DOOR WITH PANIC HARDWARE)

CLOSER:
NORTON # C L P 8 5 0 1 R, PUSH MTD., HOLD-OPEN OPERATION (SET TO BE SLB. MAX OPENING FORCE) INCLUDE HOLD OPEN CLOSER TYP. OF 1.

HINGES:
HAGER AB850, 1-1/2 PAIR STAINLESS STEEL MARKAR, ASSA ABLOY HINGE #B1923, SUPPORT PIVOT, US2G

EXIT DEVICE:
- SINGLE DOOR: DETEX #V40 x 628 X EB W X CD X 99, WEATHERIZED ALARMED RM.
- DOUBLE DOOR: DETEX #V40 X 628 X EB W X CD X 94, WEATHERIZED ALARMED RM. EXIT DEVICE, 292D.
AUTOMATIC FLUSH BOLTS, 297D COORDINATION BAR, 280x DUST PROOF STRIKE & 94 DOUBLE DOOR STRIKE EXIT DEVICE TO HAVE 7"-PIN BEST ACCEPTABLE CYLINDER & (2) HAGER 297B MOUNTING BRACKETS
*NEW EXIT DEVICE TO BE INSTALLED ON ALL.

KICK PLATE:
36" x 48" 16GA KICK PLATE. INSTALL WITH 5.5 COUNTERSUNK SCREWS ON PUSH SIDE. *VERIFY SIZE WITH DOOR SIZE.

SILENCER:
RESILIENT TYPE, REMOVABLE FOR REPLACEMENT, 3 EACH DOOR MTD. IN FRAME.

SMOKE SEAL:
"PEMKO" #58BD (USE AT RATED DOORS ONLY)

WEATHERING:
5" ALUM./ STEEL THRESHOLD COMPLETE WITH WEATHER STRIPPING AND SMOKE GASKET (EXTERIOR DOORS)

SECURITY:
SECURITY ASTRAGAL, NATIONAL GUARD PRODUCTS #139SP FULL HT. OF DOOR, INSTALL WITH SECURITY SCREWS

VIEWER:
180 DEGREE VIEWER - HAGER 1756

HARDWARE SET# 4 (ENTRY DOORS)

CLOSER:
NORTON # C L P 8 5 0 1 R WITH 8148 DROP PLATE ADJUSTED MOUNTING POINTS FOR MIN. 105° ROTATION.

PULL:
HAGER PULL #111J, 32D OR APPROVED EQ.

PUSH:
HAGER PUSH #130S, 32D OR APPROVED EQ.

LOCK:
7 PIN BEST ACCEPTABLE CYLINDER WITH TEE TURN INSIDE & EXTERIOR CYLINDER GUARD, MAJOR MANUF. # CGL-26D
* NO LOCKSET TO BE INSTALLED ON INTERIOR VESTIBULE DOORS, WHEN VESTIBULE IS INST.

LOCK BOX:
MASTER LOCK - 5400D

WEATHERING:
PER MANUF. SPECS, INCLUDING FLOOR SWEEPS.

THRESHOLD:
8" STANDARD MILL FINISHED THRESHOLD.

LEGEND SYMBOL

SYMBOL	DESCRIPTION
⋯	DENOTES DRAWING NOTE (SEE THIS DRAWING)
⊖	DENOTES DOOR TYPE (SEE THIS DRAWING)
⊗	DENOTES PARTITION KEY - SEE DRAWING A-402
⊗ A-XXX	ELEVATION TAG
⊗ A-XXX	DETAIL TAG
EX., EXIST.	EXISTING TO REMAIN (SEE PLAN KEY NOTES)
(N)	NEW CONSTRUCTION (SEE PLAN KEY NOTES)

LEGEND WALL TYPES

SYMBOL	DESCRIPTION
⋯	DENOTES DRAWING NOTE (SEE THIS DRAWING)
---	EXISTING CONSTRUCTION TO REMAIN
---	NEW 1HR RATED DEMISING WALL (SEE WALL TYPE)

CONTRACTOR NOTE:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITION AND DIMENSIONS - COORDINATE ALL PHASES OF DEMOLITION / CONSTRUCTION FOR PROJECT AND NOTIFY ARCHITECTS OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK AND TENANT DESIGN CONCEPT, PRIOR TO THE START OF DEMOLITION / CONSTRUCTION.

PLAN KEY NOTES

- (EX) PARTITION: G.C TO PATCH AND REPAIR AS REQUIRED (LEVEL 3 FINISH)
- (EX) 4" Ø SPRINKLER MAIN @ +1'-3"
- (EX) 8" Ø PVC ROOF DRAIN CLEAN-OUT @ +2'-6"
- (EX) EXTERIOR PIER
- (N) WALL IN-FILL TO MATCH AND ALIGN WITH ADJACENT BUILDING CONSTRUCTION AND FINISHES. G.C TO COORDINATE WITH LANDLORD REP. FOR ALL EXTERIOR FINISH SPECS.
- (N) ROOF HATCH:
MANUFACTURER.....BILCO (OR APPROVED EQUAL)
SIZE..... 36" X 30"
MODEL..... S-50-TB
PROVIDE SAFETY RAIL SYSTEM (MODEL: RL2-S)
INSTALL PER MANUFACTURE PUBLISHED INSTRUCTIONS
- (N) ROOF HATCH LADDER / SAFTY CAGE:
MANUFACTURER.....OKEEFFE'S INC. (OR APPROVED EQUAL)
MODEL..... S31 CAGE LADDER
- INSTALL PER MANUFACTURE PUBLISHED INSTRUCTIONS
- G.C TO PROVIDE CONCEAL WOOD FOR LADDER SUPPORT
- SEE DETAIL# 6/A-500 FOR PIPE TRENCH IN-FILL AND M.E.P FOR UNDERGROUND PIPE LOCATIONS

GENERAL ARCHITECTURAL NOTES

- DO NOT SCALE THE DRAWINGS.
- GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY, FACE OF STUDS AND FACE OF CONCRETE WALLS.
- "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.
- REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.
- REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CATEGORIES OR DRAWINGS FOR ADDITIONAL NOTES.
- VERIFY SIZE, LOCATION, FINISH, FIRE-RATING, ETC. AND PROVIDE COMPLETE ALL REQUIRED OPENINGS THROUGH FLOORS AND WALLS, ACCESS DOORS, FURNING, CURBS, ANCHORS AND INSERTS. PROVIDE ALL BASES AND BLOCKING REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.
- WALL TYPES WITH UL DESIGN NO.5 SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- ALL INTERIOR METAL STUD WALLS SHALL BE CONSTRUCTED TO ACHIEVE MINIMUM STC RATING AS INDICATED ON THE DRAWINGS. SEE SHEET G-006 FOR ADDITIONAL INFORMATION REGARDING ACOUSTICAL PERFORMANCE REQUIREMENTS.
- PROVIDE (2-1/2") MIN. ACOUSTICAL BATT INSULATION AT ALL INTERIOR METAL STUD WALL ASSEMBLIES AS NOTED. FASTEN BATT INSULATION TO STUDS WITH BATT TIES, FILL WALL THICKNESS COMPLETE.
- ALL PENETRATIONS AND OPENINGS SHALL MEET WALL ASSEMBLY FIRE RATINGS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND 1 OR FIRESTOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- ALL LISTED METAL STUD DIMENSIONS, GAGE & THICKNESS ARE MINIMUMS AND ARE PROVIDED AS BASIS-OF-DESIGN. CONTRACTOR TO VERIFY & SUBMIT FINAL PROPOSED DESIGN.
- NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE THE ROOF DECK.
- T.G.C. MAY ATTACH TO THE TOP CHORD OF JOIST(S) OR TO THE STRUCTURAL STEEL ALL WALLS.
- CONSTRUCTION SHALL BE SUPPORTED IN THIS MANNER: NO WELDING OR SHOOTING INTO THE STRUCTURE IS PERMITTED.

JEFFREY
TAYLOR
ARCHITECT

572 NORTH BROADWAY
WHITE PLAINS, NEW YORK 10603
TEL 914 289 0011



EXP. DATE 04/30/24



PLAN NORTH

ISSUE / REVISIONS:
05.09.22 ISSUED FOR PERMIT

PROJECT NO. 10777
DRAWN BY: JTA (R.M)
SCALE: AS NOTED

SHEET TITLE:
CONSTRUCTION
FLOOR PLAN

DIC MANAGEMENT CORP.
PROJECT: FORMER "PARTY CITY" SPACE (RE-DEMISING)
MOHAWK COMMONS
424 BALLTOWN ROAD
SCHENECTADY, NY 12304

SHEET NO:
A-100.00



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 6/13/2022

ITEM TITLE: DISCUSSION: Site plan app. for temporary outside seating area and parking space changes at The Broken Inn at 2207 2209 Nott St.

PROJECT LEAD: David D'Arpino

APPLICANT: Thomas Nicchi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board

☒ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Thomas Nicchi, of Stand Up Global and agent for the owner, submitted an Application for Site Plan Review for temporary outdoor seating and parking space changes at 2207 / 2209 Nott Street. Mr. Nicchi would like to relocate the parking spaces along the west façade of Lange's Pharmacy approximately 24 ft. west of their present location. The resulting vacated area is proposed to be a 59' 6" x 14' (833 sq. ft.) outdoor seating area for The Broken Inn and a 59' 6" x 8' (476 sq. ft.) sidewalk / queue area for the take-out and ice cream windows.

BACKGROUND INFORMATION

2207 2209 Nott Street is located within the C-N Commercial Neighborhood Zoning district and Town Center Overlay District. Section 220-10 District regulations E C-N Neighborhood Commercial District (3) Special principal uses (d) Restaurants, sit-down or take-out (no vehicle pickup and ordering facilities) allows a restaurant to be located in the C-N district upon granting of a special permit by the Town Board. The Town Board granted a special use permit on December 22, 2020 to allow a restaurant with bar, sit-down or take-out (no vehicle pickup and ordering facilities) by Resolution No. 2020-327.

Mr. Nicchi opened the restaurant in the early spring of 2022. As the temperatures began to rise, and the activity at the walk-up ice cream window began to increase, he noticed patrons collecting along the west façade to queue up in line for the window or to socialize as they enjoyed their ice cream. His proposal to create a temporary outdoor seating area is intended to create a safe queuing and gathering area.

The following supporting documents were submitted with the site plan application.

1. Site plan drawing entitled "Concept Drawing Nott Street / Crescent Road Outdoor Dining Area and Parking Modifications" by MJ Engineering and Land Surveying, P.C. dated March 2022 with no subsequent revisions.
2. Letter from MR. Nicchi to the Planning Board dated 5/16/22 describing the project.
3. Drawing showing the Schenectady Cty. Nott St. redesign project by MJ Engineering and Land Surveying, P.C.
4. Pictures taken from approximately 5/10/22 thru 5/17/22 of the current condition showing people collecting & lingering at the ice cream window area.
5. Site plan drawing of the proposed redesign by MJ Engineering dated March 2022.
6. A picture taken on 5/11/22 showing tables and chairs arranged in the proposed temporary outdoor seating area.
7. A rendering of a proposed temporary outdoor seating area showing tables with patio umbrellas, chairs, decorative lighting and flower boxes.

ANALYSIS

1. Parking

During the public input opportunities associated with the Planning Board site plan review and Town Board special use permit review of the initial proposal to locate a sit-down restaurant with take-out window (no vehicle pickup or ordering facilities) at this location within the Co-op Plaza, parking availability was discussed and analyzed at length. A very detailed report was prepared that documents the zoning code based parking space requirements for 2207 / 2209 Nott Street and the entire Co-op Plaza. The report also includes an actual count of the existing parking spaces and the spaces that will exist after the Schenectady County redesign of the Co-op Plaza area of Nott. St. A summary of that analysis is included below. The complete report is saved in the project folder for the proposed temporary outdoor seating project.

Design Condition	Parking contiguous to 2207 / 2209 Nott St	Parking in entire Co-op Plaza parking lots
Current condition	21	115
Post Sch Cty proj	21	103
With Broken Inn outdoor seating	18	100

As noted in the complete report, the Co-op Plaza is "pre-existing nonconforming" relative to the Niskayuna zoning code that was first adopted in approximately 1971. The Co-op Plaza as a whole never had enough parking spaces to meet the current zoning code and in fact functions effectively in its current configuration. As noted above, the Schenectady County Nott St. reconfiguration project was approved with its 12 parking space reduction from the current condition. The proposed redesign for temporary outdoor seating will reduce available parking by 3 spaces.

2. Safety of patrons from vehicular traffic and parking

The Planning Board should consider and discuss the safety of patrons gathered in the proposed temporary outdoor seating area since that area is contiguous to a row of parking spaces where vehicles will be entering and exiting on a routine basis.

3. Queue area for the ice cream and take out windows

The Planning Board should consider and discuss how patrons will safely queue up for the take out windows since the windows are in the immediate vicinity of an active parking area.

4. Noise, garbage, parking demand & lighting

The creation of a temporary outdoor seating area would seem to produce an increase in noise and garbage and possibly increase the need for more parking and lighting. Although the outdoor seating area does not meet the definition of Gross Floor Area which drives parking space requirements an additional 833 sq. ft. plus seating area would seem to have an incremental impact.

5/11/2022

Based on customer behavior during the first few months of spring Mr. Nicchi is requesting an immediate review of the current site plan with a take-out window and ice cream window so close to active parking areas. He is requesting approval of a defined outdoor seating area to create safe queuing and gathering areas along the west facing façade of the building.

Mr. Nicchi's intention is to observe how the temporary seating area functions and apply that learning to a more permanent solution in the future. Safety of patrons is paramount, and any temporary or permanent solution will need to have barriers in place between cars and pedestrians.

5/23/22 Planning Board (PB) meeting – Mr. Nicchi addressed the PB and explained the urgent need for a safe area in the immediate vicinity of the ice cream takeout window for patrons to queue in line for the window and enjoy their ice cream once served. The PB and the Planning Office (PO) echoed Mr. Nicchi's concerns regarding safety and expressed their support to quickly implement temporary measures. The PB noted the inherent challenges of making any changes in this portion of town and the balance that must be struck to satisfy the concerns of interested stakeholders. Complicating factors include: a Schenectady County Road (Nott St.), parking space limitations, nearby single-family home residences and a Right of Way boundary line passing directly thru the proposed queuing and gathering area.

Mr. Nicchi stated several times during the discussion that he was only requesting a temporary seating and queuing area for the ice cream window. He was not requesting outdoor seating for sit-down dining associated with the restaurant or take-out window. Mr. Nicchi, the PB and the PO agreed that an appropriate next step was for him to submit a site plan drawing showing a queuing and gathering area along the west façade of the building. Chairperson Walsh stated that after a review of the drawing and a discussion with the Chairperson, project lead, Police Chief, Fire Chief and Highway Superintendent, the Town Planner may approve the site plan drawing documenting where a temporary queuing and seating area will be located.

The Police Chief, Highway Superintendent, Town Planner & members of the Planning Office held a meeting at 2009 Nott St. to discuss design options. An agreement was reached and a site plan was drafted by Mr. Nicchi's engineer showing a temporary queuing and seating area and protective barriers to isolate patrons from vehicular traffic and cars entering and exiting the parking area. After a final review with the parties mentioned above, Ms. Robertson wrote an email to Mr. Nicchi approving the emergency site plan changes (attached)

6/8/22 Conservation Advisory Council (CAC) meeting – the proposal for outdoor seating was discussed during the CAC's 6/8/22 meeting. The CAC was supportive of the concept but would

like to see more details. Ms. Robertson noted that emergency measures were in place for pedestrians using the ice cream window but now a thorough review of parking and outdoor dining/seating is needed. She stated that a more holistic review of parking, seating, lighting, noise etc. will be required before a larger plan could be approved.

NEXT STEPS FOR PLANNING BOARD

1. Planning Board: Right now the area is adjacent to a construction zone and looks like a construction zone itself for safety reasons. The Planning Board needs to work with Mr. Nicchi on an actual outdoor area for the Broken Inn that is visually stimulating and far more welcoming.
 - a. There were over 160 comments in favor of some form of outdoor seating by the public
 - b. There were several concerns expressed about parking, lighting and hours of operation as well as what the use of the outdoor seating area would be.
 - c. The current configuration can offer insight to how a more permanent solution will affect the area – but some of the impact is limited due to the major construction all around the project.
2. Owner: Mr. Nicchi needs to update his site plan application to put forward his best holistic plan for the area – including changes to parking / outdoor seating areas / and landscaping. He will also need to submit a special use permit application. The review of this proposal will include a public hearing and referral to the Town Board for modification of the special use permit.
3. By July 11 – the PO office recommends that by July 11 – a preliminary plan for a permanent outdoor area should be submitted to the Planning Board – which includes analysis of multiple options for the location of the outdoor area, use of the area, and evaluation of parking configurations.

Laura Robertson

From: Laura Robertson
Sent: Friday, May 27, 2022 12:01 PM
To: Tommy Nicchi
Cc: Brett Steenburgh PE; Clark A. Henry; David D'Arpino; Kevin Walsh; Alaina Finan
Subject: RE: {EXTERNAL} Re: Clifton Park Rd - Outdoor seating - Site Plan Review
Attachments: The Broken Inn Parking.pdf

Hi Tommy,

The attached map is approved temporarily to protect pedestrians and bicyclists from vehicles using the parking spaces. Please note you will need to add "no parking" signs in the area designated for no parking. You could have Brett evaluate and recommend if the no parking area can support a bicycle rack.

You are not approved for tables and seating. You can put some benches up along the building as long as they don't impede pedestrian flows and access to other businesses.

You are approved to place temporary striping of the designated parking spaces per the attached map to try and maximize the ability for cars to still get to and from the Broken Inn and surrounding businesses.

I want to emphasize that this is temporary and is only meant to address the safety issues identified in our discussions of people using the outdoor ice cream window. The Town reserves the right to require you to make changes to this emergency plan or require it to be taken down / modified if it creates additional nuisances or proves problematic. This safety area is being designated so that the ice cream window can be operated while you pursue a more permanent solution to address the popularity of the window – which will include public hearings and a parking analysis to ensure the rights and concerns of adjacent businesses and neighbors are taken into account prior to any permanent approvals.

Please let me know if you have any questions, thanks.

Laura

Laura Robertson, AICP

Town Planner
(518) 386 -4530

Town of Niskayuna
1 Niskayuna Circle
Niskayuna, NY 12309

lrobertson@niskayuna.org

From: Tommy Nicchi [mailto:tommy@standupglobal.com]
Sent: Friday, May 27, 2022 10:58 AM
To: Laura Robertson
Cc: Brett Steenburgh PE; Clark A. Henry; David D'Arpino; Kevin Walsh; Alaina Finan
Subject: Re: {EXTERNAL} Re: Clifton Park Rd - Outdoor seating - Site Plan Review

Hi Laura:



Untitled Map

Write a description for your map.

Legend

- Admissions 1 Educational C
- ComputeRx
- Lange Pharmacy

NOTE: 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONTACT THE U.F.P.O. TO LOCATE ALL UNDERGROUND UTILITIES. 1-800-962-7962

FOR INFORMATION ONLY
NOT FOR CONSTRUCTION

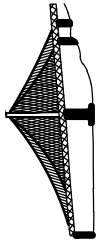
The Broken Inn and Lange's
SHARED PARKING
2207/2208 NOTT STREET

COUNTY OF SCHENECTADY
TOWN OF NISKAYUNA
STATE OF NEW YORK
SCALE: 1"=20'

DATE: DECEMBER 5, 2020
JOB NO. 2207/2208
SHEET 1 OF 1

BRETT L. STEENBURGH, P.E. PLLC

2832 ROSENDALE ROAD
NISKAYUNA, NY 12309
(518) 568-0076
bsteenburg@peyaho.com



CIVIL ENVIRONMENTAL STRUCTURAL
ENGINEERING

BRETT L. STEENBURGH, P.E.
N.Y.S. LIC. NO. 02459

NO. DATE. REVISIONS

BY:

NO. DATE. REVISIONS

BY:



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII.2

MEETING DATE: 6/13/2022

ITEM TITLE: DISCUSSION: 2837 Aqueduct Rd. (River's Ledge) – Application for Site Plan Review for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space.

PROJECT LEAD: Genghis Khan & Chris LaFlamme

APPLICANT: Chuck Pafundi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☒ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

BACKGROUND INFORMATION

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

Phase 2 – Revision 1

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

Phase 2 – Revision 2

The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

Phase 2 – Revision 3

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.
3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.

4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL

Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:

The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*
- h) *The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

[5/23/22 Planning Board \(PB\) meeting](#) – Mr. Pafundi attended the meeting and presented the Rev 3 version of the proposed Senior Center. He noted that since they last appeared before the

PB (11/8/21) their design team completely redesigned their approach. One of their primary goals was to break up the long length of the building with the use of a row house look and a variety of façade depths, colors, etc. He noted that they were able to maintain the requirement of 1 parking space for each apartment unit in the building. PB members noticed and commented on the height of the building being 41' (35' is max. allowed per zoning code) and would therefore still require a variance. The PB suggested that Mr. Pafundi utilize a mixture of roof lines – dormers, gable, mansard roof, etc. to soften the building appearance.

Mr. Pafundi stated that he can have his architects and civil engineers work together to create a rendering of how the building will appear with the existing trees and vegetation around it. Mr. Pafundi noted that he is working with the Army Corps of Engineers regarding wetlands.

The PB established the following action items.

- Applicant – work with design team regarding the PB's façade comments
 - Create a rendering showing proposed building with exiting trees around it to help w/scale
 - Explore ways to shorten the height of the building and also make it appear shorter
- PO – schedule a review with the ARB
- PO – provide pictures of Notts Landing to Mr. Pafundi

On Monday June 6, 2022 Mr. Pafundi emailed the Planning Office stating that he and his design team evaluated the following 3 design options.

1. Reduce the height of the building to comply with the 35' maximum zoning code height.
2. Employ design features such as dormers, gable roofs, mansard roofs, etc. to reduce the visual impact of a building that is taller than 35'. (Make the building appear $\leq 35'$).
3. Proceed with the design as it was presented at the 5/23/22 PB meeting and request a variance for building height from the Zoning Board of Appeals (ZBA).

In the email Mr. Pafundi stated that they would like to proceed with option 3. A scaled rendering of the 41' high building and the surrounding trees was also provided.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office described the details of the Rev 3 version of the proposed Senior Center Building to the CAC. After an engaged discussion the CAC members concurred on offering the following suggestions.

- They would like to see what a 2 story rendition would like that complies with the 35' height requirement because they are concerned about the height.
- They asked for green energy practices to be utilized – solar, EV charging stations, etc.
- They asked the Planning Board to require pesticide free maintenance of the building grounds, especially with all the wetland around
- They asked for a path or walkway to connect all of the buildings, including the small commercial building, to the bike path.
- They requested outdoor seating and outdoor recreation space for the senior center building and outdoor seating for the commercial building.
- They appreciated the reduction in wetland impacts.

The next step for the PB is to review the rendering and call for a recommendation either for or against the proposed 6' ($41 - 35 = 6$) height variance.



TOWN OF NISKAYUNA

PLANNING DEPARTMENT

One Niskayuna Circle
Niskayuna, New York 12309-4381

Laura Robertson
Town Planner

(518) 386-4522
FAX: (518) 386-4592

BUILDING AND ZONING PERMIT DENIAL

**Address: 2837 Aqueduct Rd.
Rivers Ledge Senior Center Building**

Application Date: 11/15/21

Luizzi Brothers Construction
857 1st Street
Watervliet, NY 12189
cpafundi@luizzibros.com

Dear Mr. Pafundi:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that the Application for Site Plan Review for a proposed 66-unit senior apartment building at 2837 Aqueduct Rd has been denied by reason of failure to comply with the provisions of Niskayuna Zoning Code Section 220-17 Height regulations. The property is located within a Planned Unit Development (PUD) within the R-2 Medium Density Residential Zoning District.

Niskayuna Zoning Code Section 220-17 (A) Height regulations states: "No building or structure shall exceed a height of 35 feet above the average finished grade adjoining the building unless otherwise specified in this chapter. The finished grade of artificial berms or similar earthen structures created for insulation or other purposes adjacent to the building shall be disregarded in the determination of average finished grade." As proposed, the 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh and the 24-page drawing set entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects show the proposed 66-unit senior living building as 41' high. Therefore a 6' height variance is required.

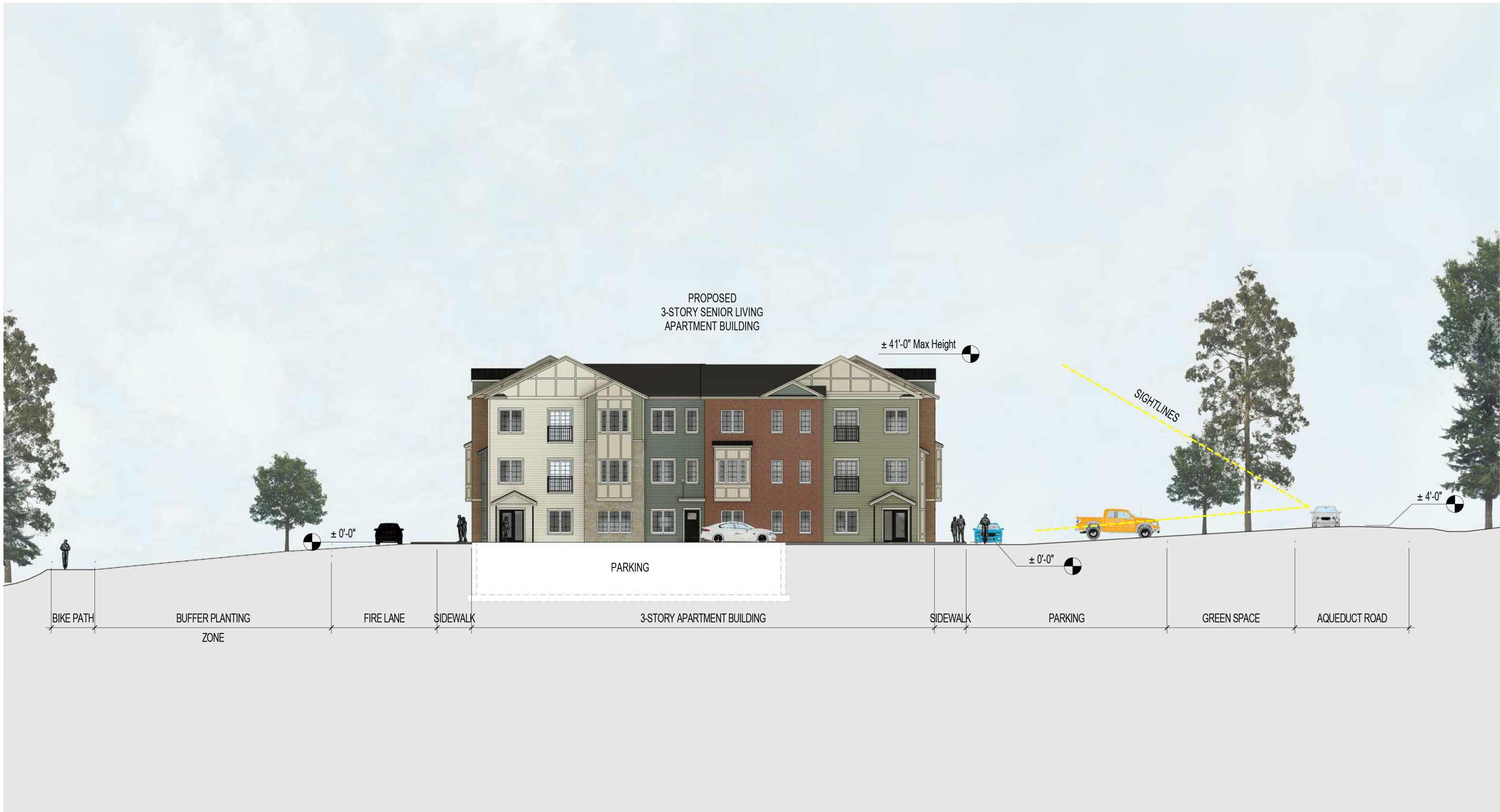
Under the provisions of Section 220-69 the Zoning Ordinance of the Town of Niskayuna you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

A handwritten signature in cursive script, appearing to read "Laura Robertson".

Laura Robertson, Deputy Code Enforcement Officer

6/10/22

Date

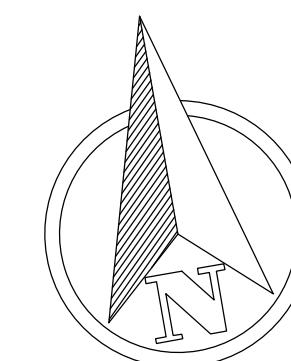
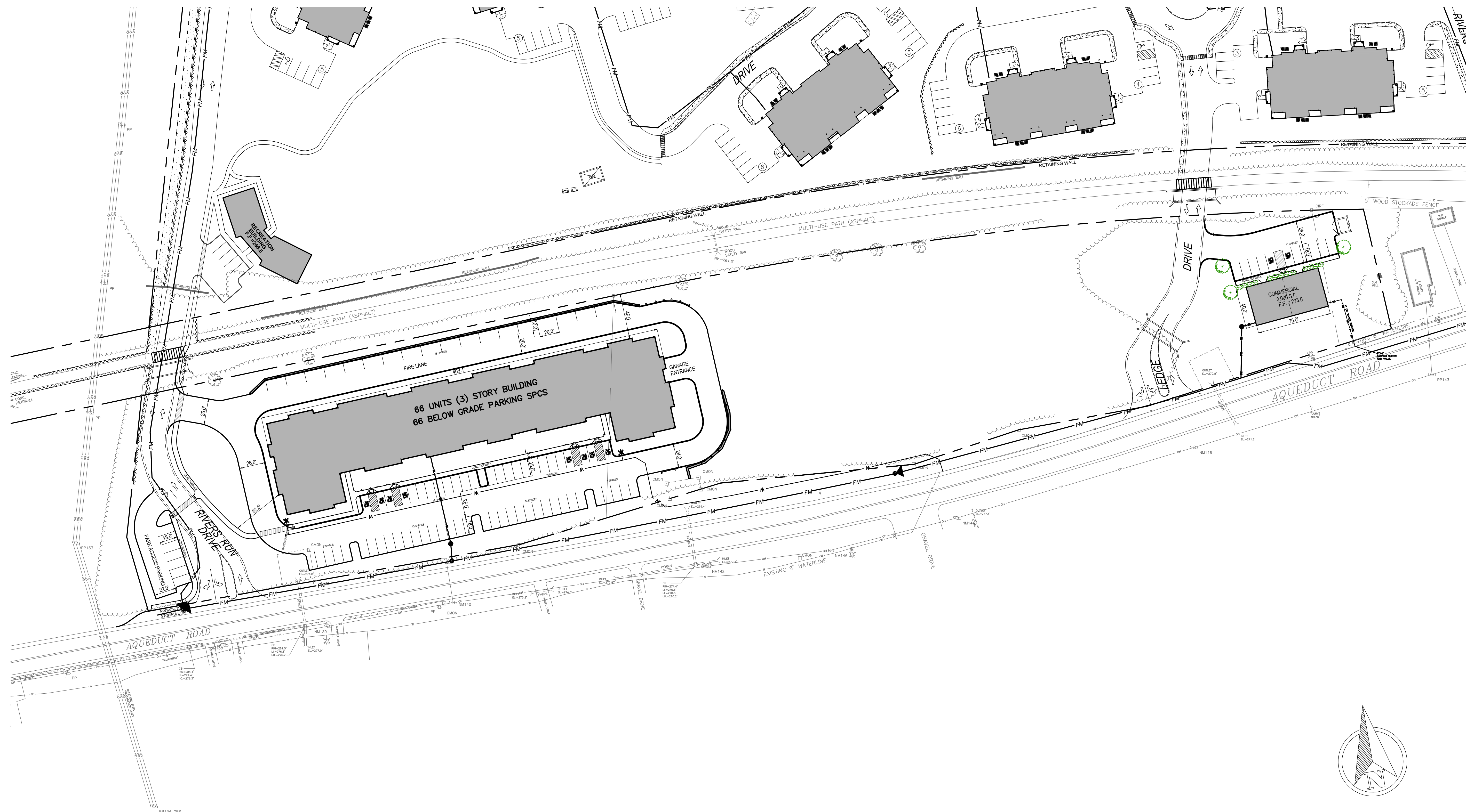







SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES
BUILDING HEIGHT - 41'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'



BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

OVERALL PLAN		BRETT L. STEENBURGH, P.E. PLLC	
PHASE 2 – RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD		2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburgpe@gmail.com	
COUNTY OF SCHENECTADY			
TOWN OF NISKAYUNA		ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY	
DRAWN BY:	CHECKED BY:	SCALE: 1" = 50'	
CADD FILE:	JOB NO.	SHEET 0-1	
DATE: MAY 11, 2022			

Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

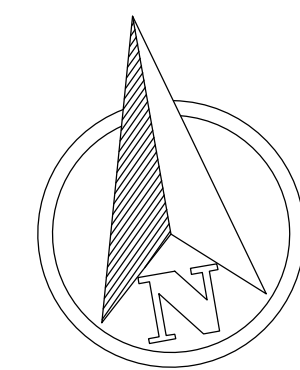
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OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
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PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

1	HANDICAP RAMP PER ADA STANDARDS
2	CONCRETE SIDEWALK
3	BEGIN CURB
4	END CURB
5	HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)
6	STOP SIGN (MUTCD R1-1 MIN. 30" X 30")
7	NO PARKING ANYTIME SIGN (MUTCD R7-1)
8	BEGIN RETAINING WALL
9	END RETAINING WALL

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BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
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DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

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BRETT J. STEENBURGH, P. E.



2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675
bsteenburgh@gmail.com

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IMAGINATION INTO REALITY**

PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD
TOWN OF NISKAYUNA
COUNTY OF SCHENECTADY
STATE OF NEW YORK

DRAWN BY:	CHECKED BY:	SCALE: 1" = 30'
CADD FILE:	JOB NO.	
DATE:		SHEET 54

SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES
BUILDING HEIGHT - 35'4"
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

LEGEND

- 1

2

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4

5

6

7

8

9
- HANDICAP RAMP PER ADA STANDARDS

CONCRETE SIDEWALK

BEGIN CURB

END CURB

HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)

STOP SIGN (MUTCD R1-1 MIN. 30" X 30")

NO PARKING ANYTIME SIGN (MUTCD R7-1)

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END RETAINING WALL
- 10

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13

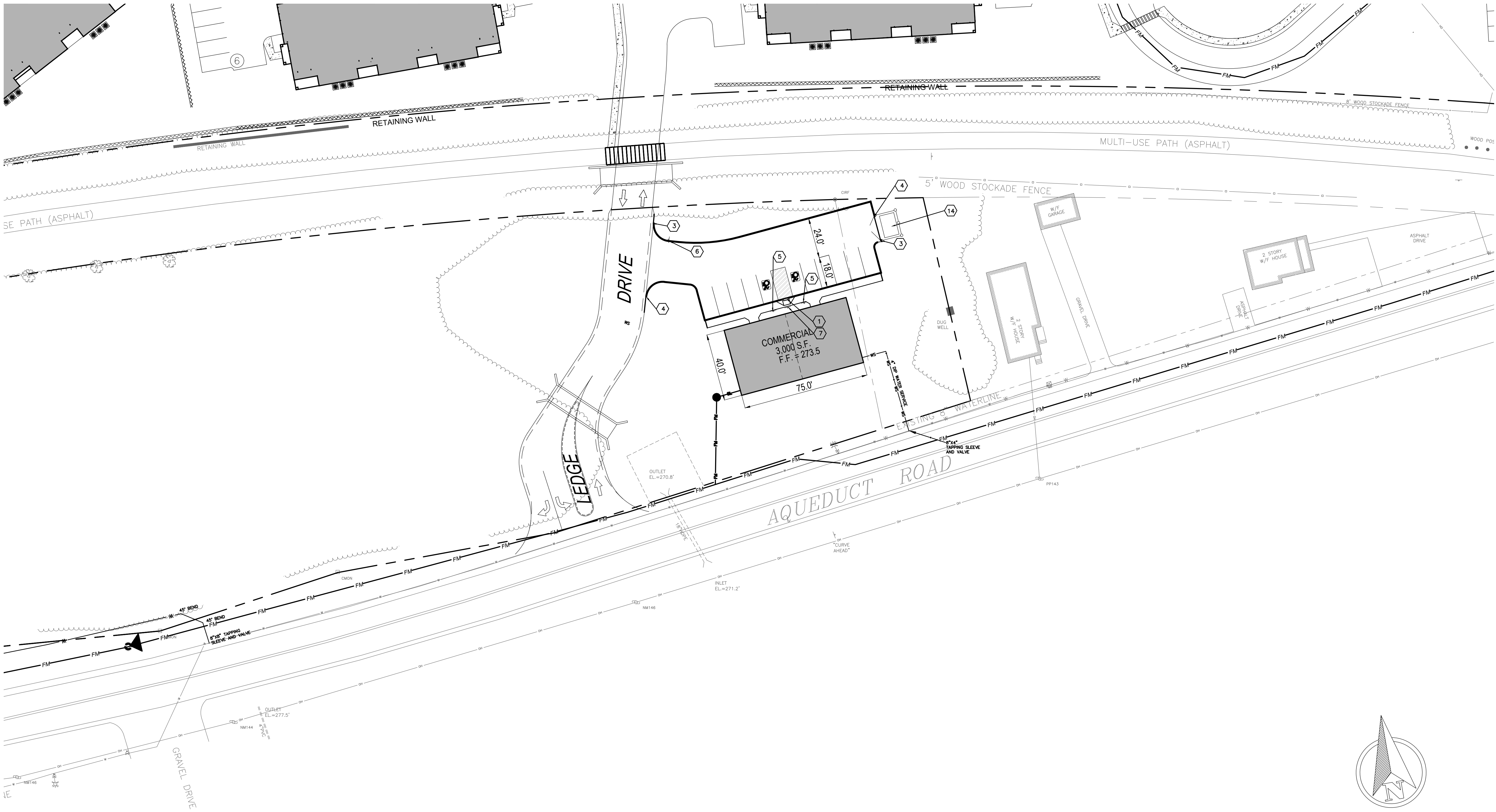
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- BEGIN GUIDE RAIL

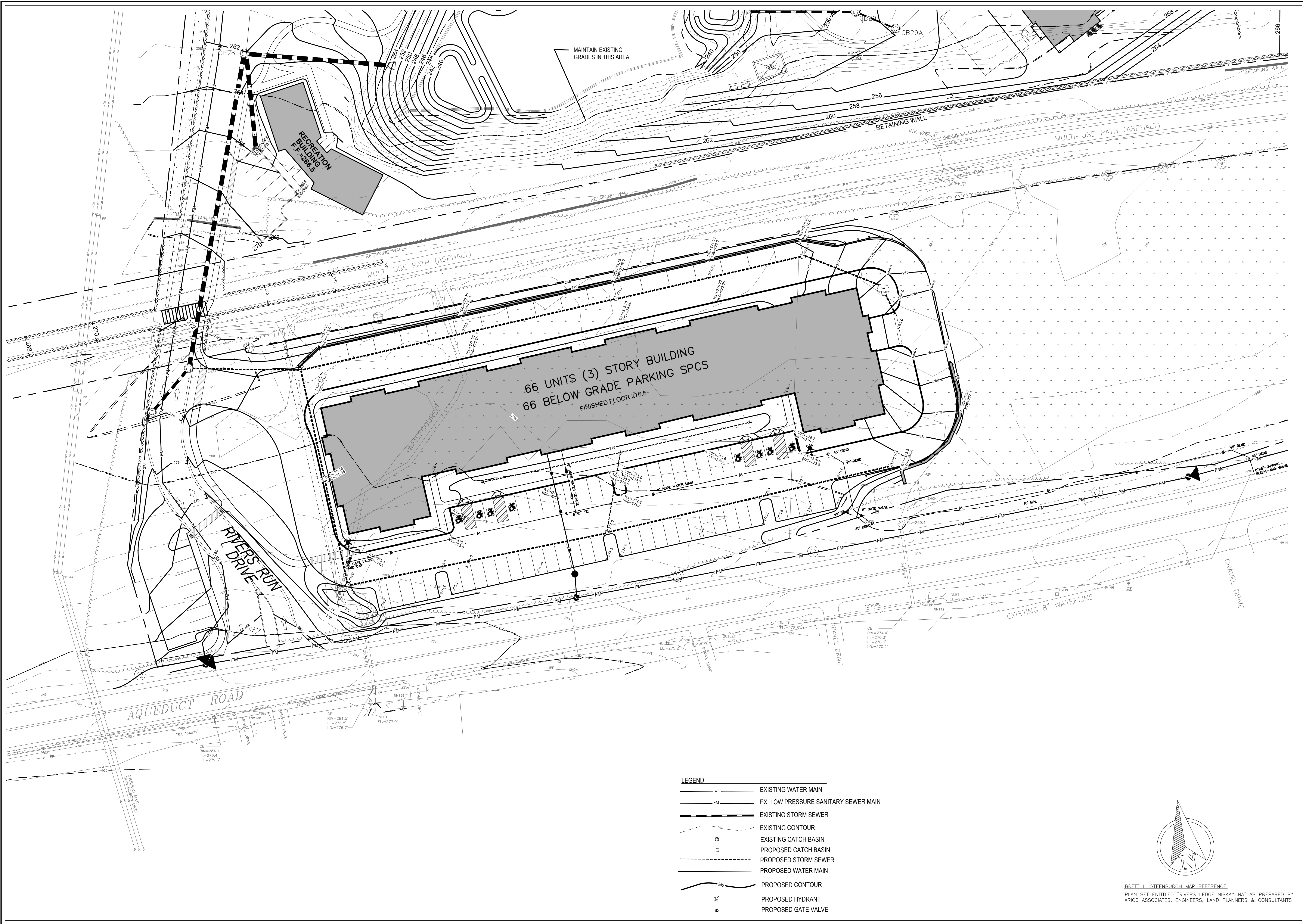
END GUIDE RAIL

CROSSWALK

CONNECT TO EX. SIDEWALK

DUMPSTER ENCLOSURE





GRADING PLAN

PHASE 2 - RIVERS LEDGE OF NISKAYUNA

2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY

DRAWN BY: [blank]

CADD FILE: [blank]

DATE: MAY 11, 2022

BRETT L. STEENBURGH, P.E. PLLC

2832 Rosendale Road

Niskayuna, NY 12059

(518) 365-0675

bsteenburgpe@gmail.com

ENGINEERING THAT TRANSFORMS

IMAGINATION INTO REALITY

STATE OF NEW YORK

TOWN OF NISKAYUNA

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JOB NO. [blank]

SCALE: 1" = 30'

SHEET G-1

NO. DATE: [blank]

REVISIONS: [blank]

BY: [blank]

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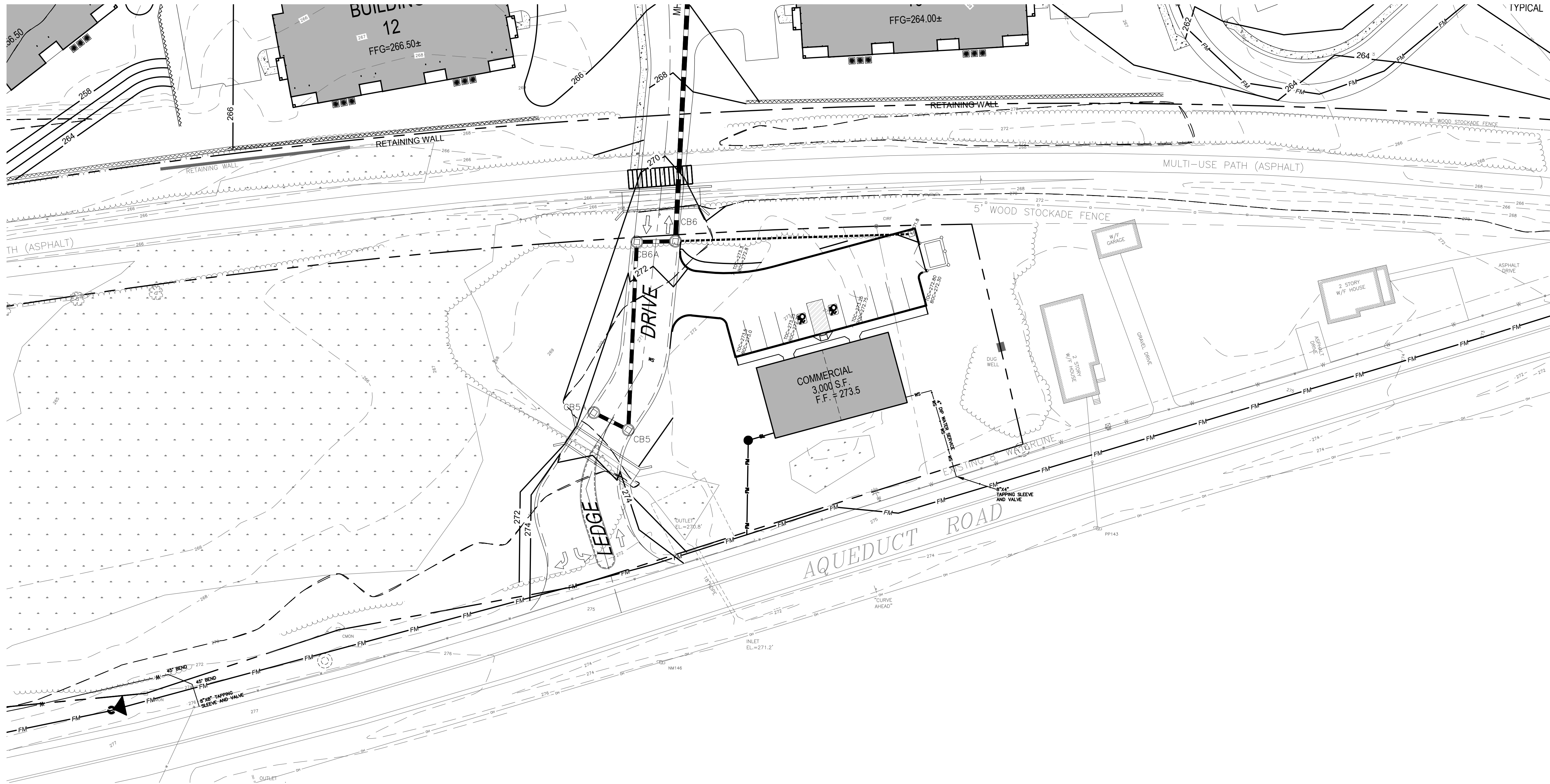
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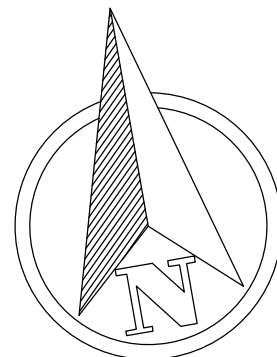
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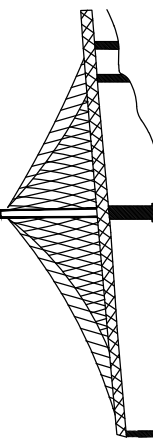
- LEGEND
- w— EXISTING WATER MAIN
 - FM— EX. LOW PRESSURE SANITARY SEWER MAIN
 - — — EXISTING STORM SEWER
 - - - - - EXISTING CONTOUR
 - ⊙ EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - - - - - PROPOSED STORM SEWER
 - — — PROPOSED WATER MAIN
 - — — PROPOSED CONTOUR
 - ⊙ PROPOSED HYDRANT
 - ⊙ PROPOSED GATE VALVE



BRETT L. STEENBURGH, MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS

BRETT L. STEENBURGH, P.E. PLLC

2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675
bsteenburgpe@gmail.com



ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY

GRADING PLAN
PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

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CADD FILE: JOB NO. DATE: MAY 11, 2022 SHEET G-2

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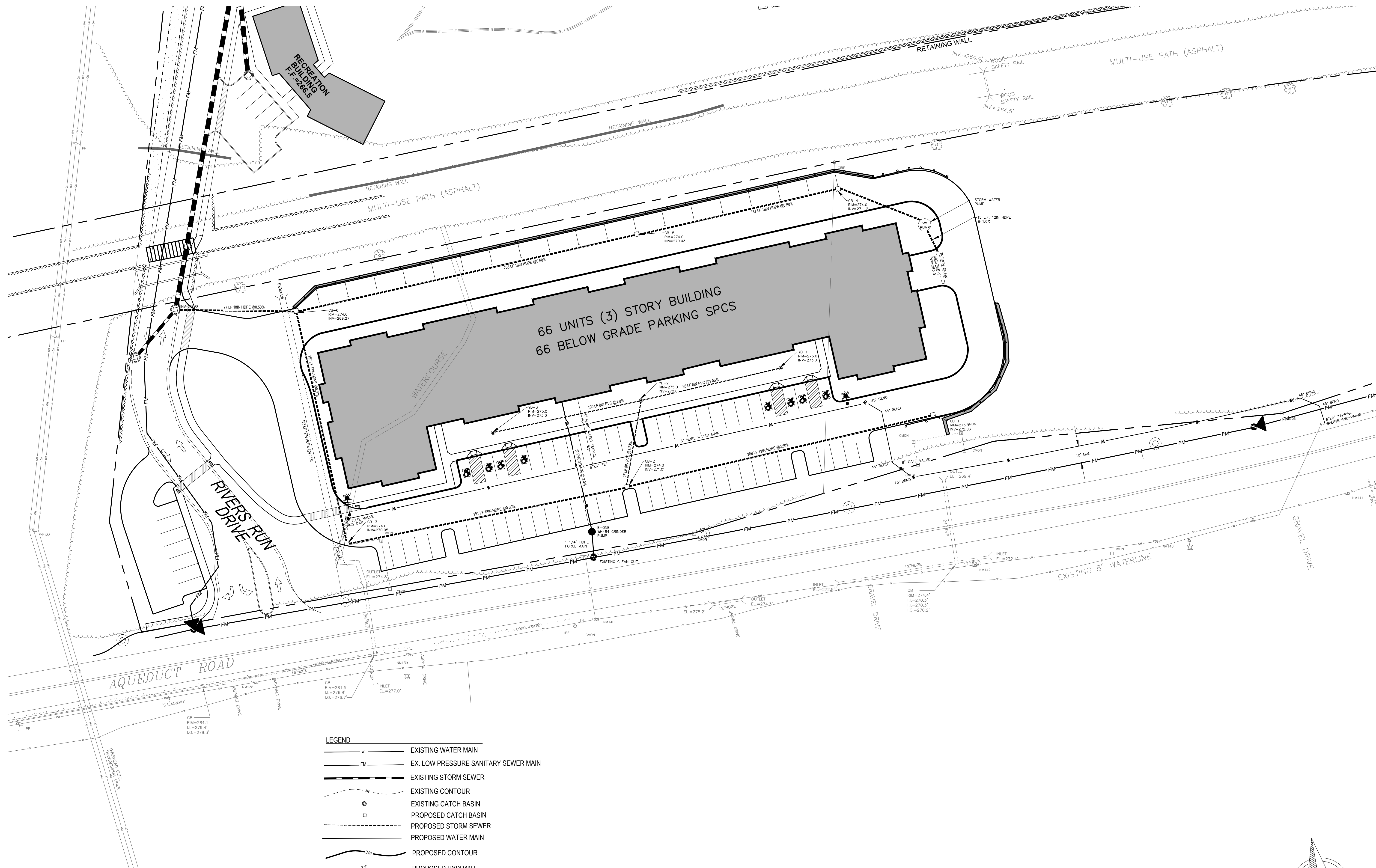
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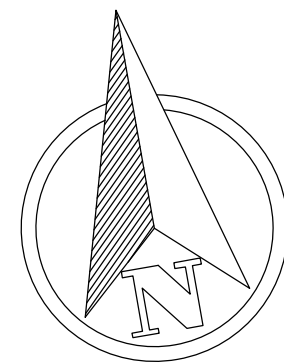


NO. DATE: BY:

REVISIONS



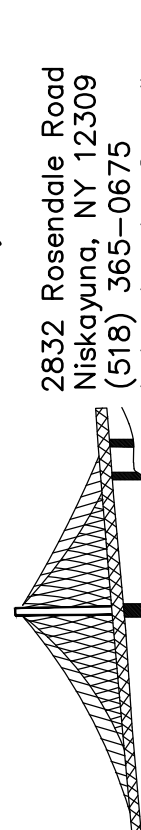
- LEGEND**
- W — EXISTING WATER MAIN
 - FM — EX. LOW PRESSURE SANITARY SEWER MAIN
 - - - - - EXISTING STORM SEWER
 - - - - - EXISTING CONTOUR
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - - - - - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - - - - - PROPOSED CONTOUR
 - ⊕ PROPOSED HYDRANT
 - PROPOSED GATE VALVE



BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

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ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY

UTILITY PLAN
PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

DRAWN BY: CHECKED BY: SCALE: 1" = 30'

CADD FILE: JOB NO. SHEET U-1

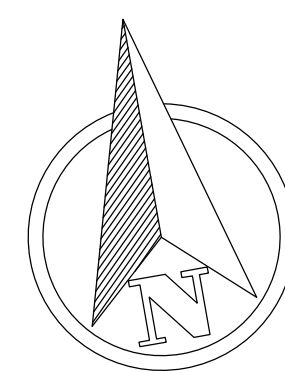
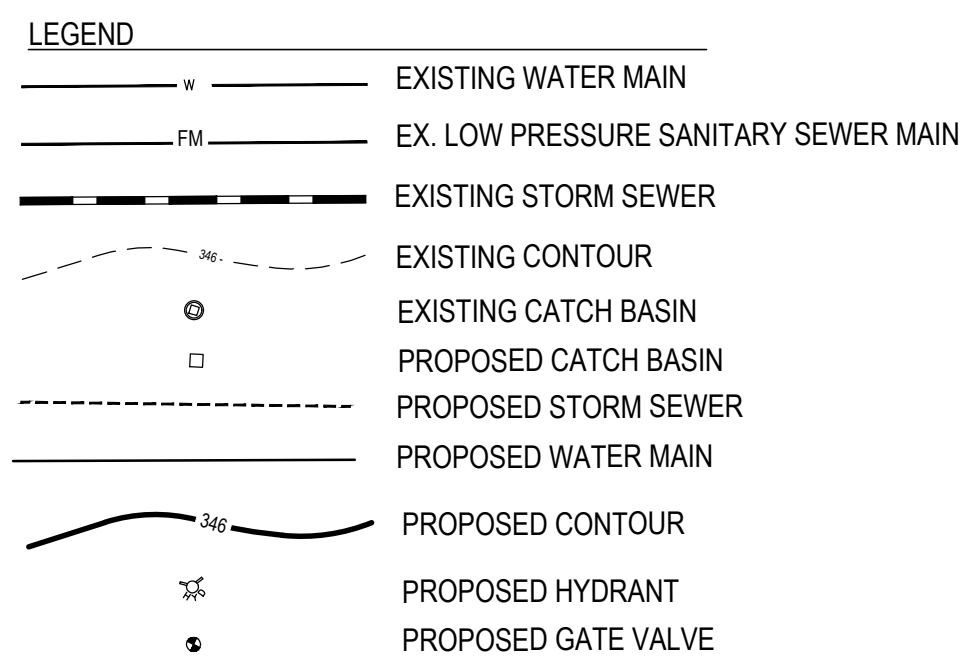
DATE: MAY 11, 2022

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NO. DATE: REVISIONS BY:



COUNTY OF SOHENECDACTY TOWN OF NISKAYUNA STATE OF NEW YORK		CHECKED BY: JOB NO.		SCALE: 1" = 30' SHEET U-2	
PHASE 2 - RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD		UTILITY PLAN			
BRETT L. STEENBURGH, P.E. PLLC 2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburgpe@gmail.com		ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY			

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BRETT L. STEENBURGH, P.E.
NYS LIC. NO. 075458

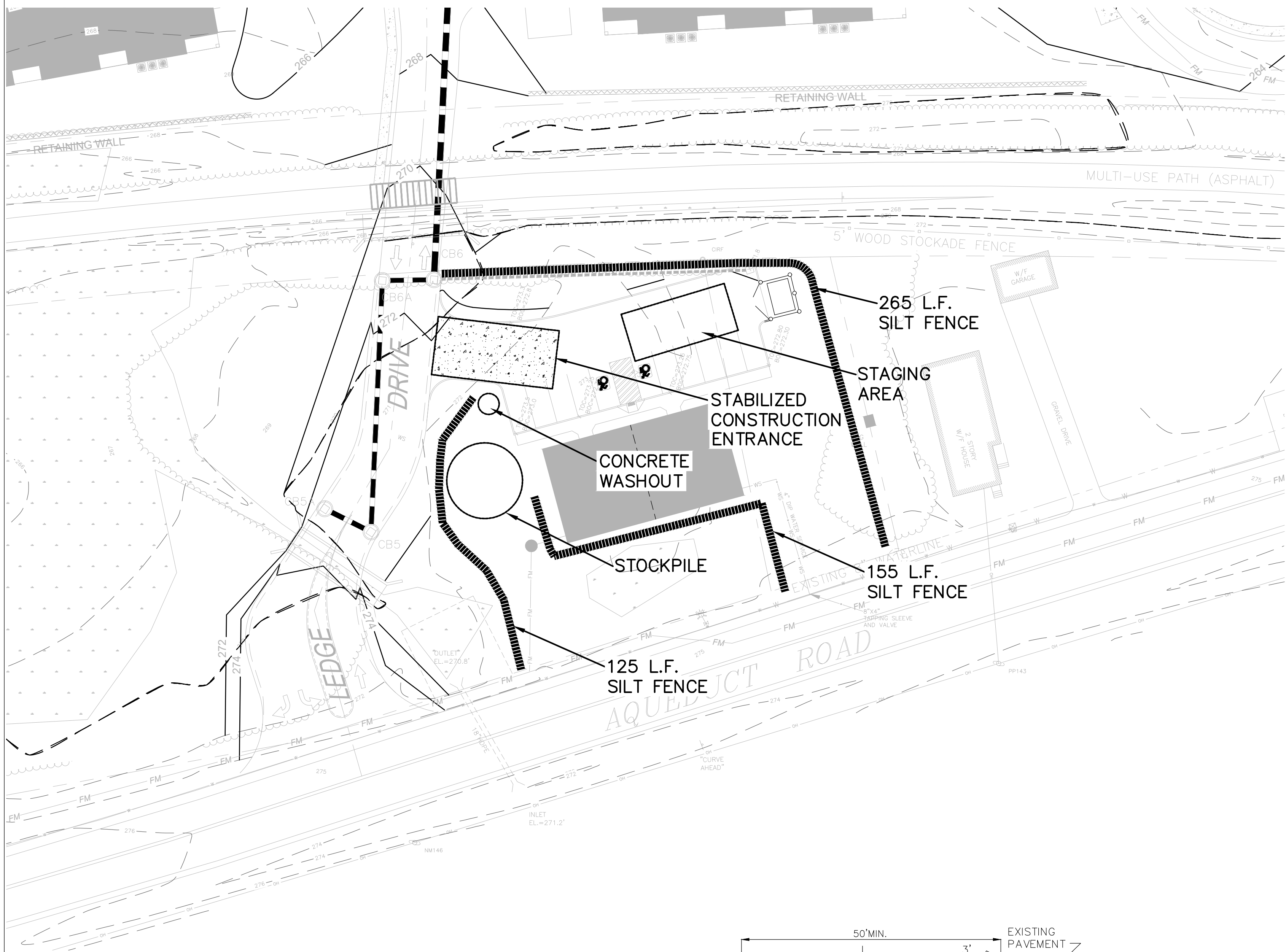
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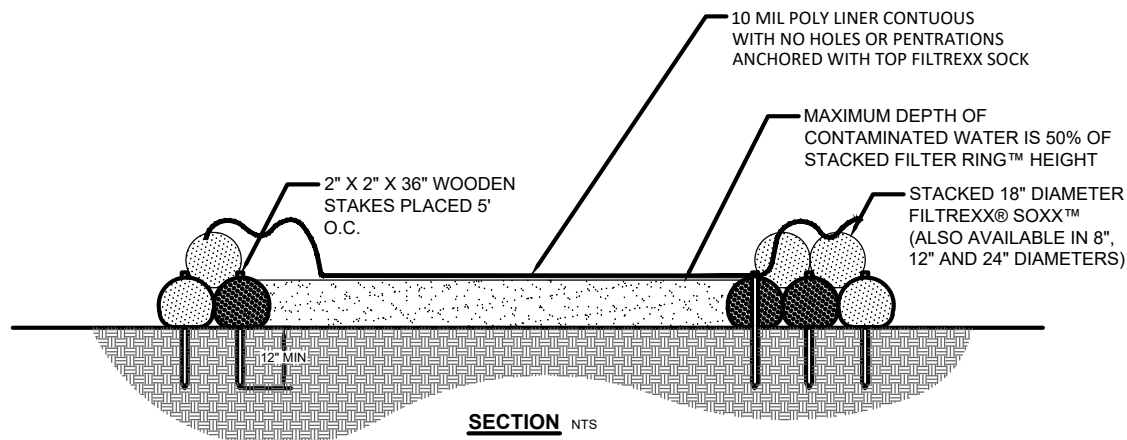
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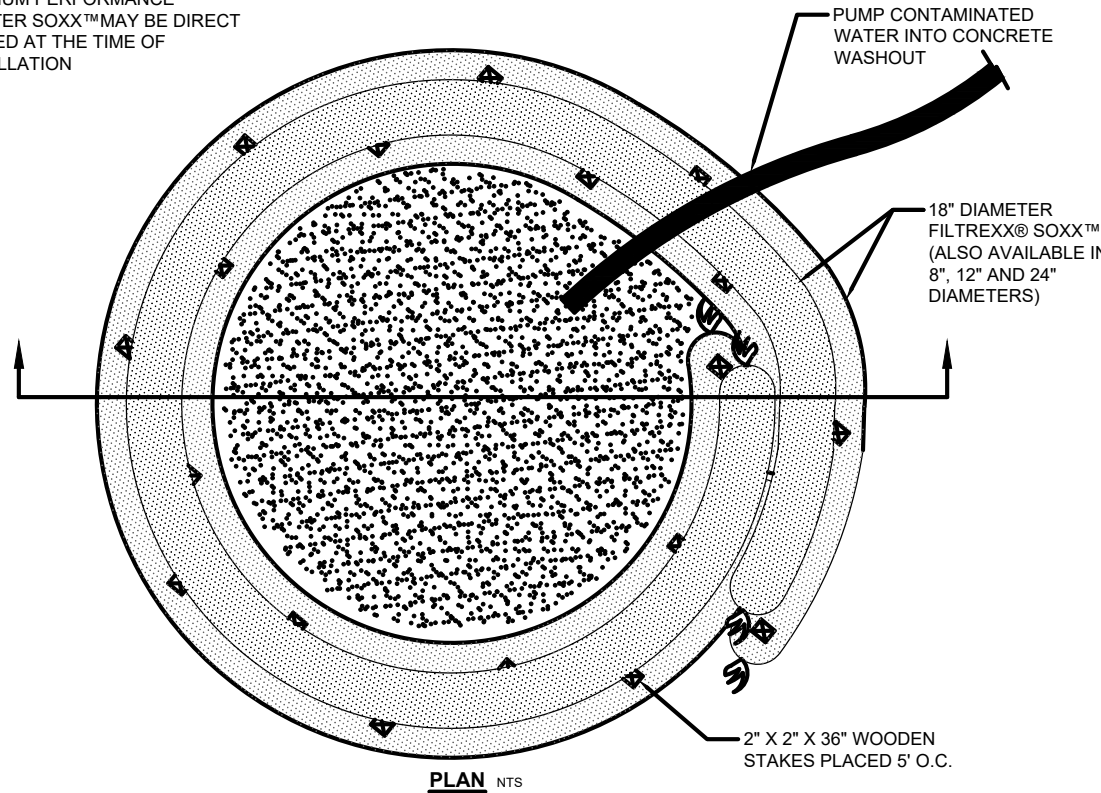


- LEGEND**
- EXISTING WATER MAIN
 - EX. LOW PRESSURE SANITARY SEWER MAIN
 - EXISTING STORM SEWER
 - EXISTING CONTOUR
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED CONTOUR
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE

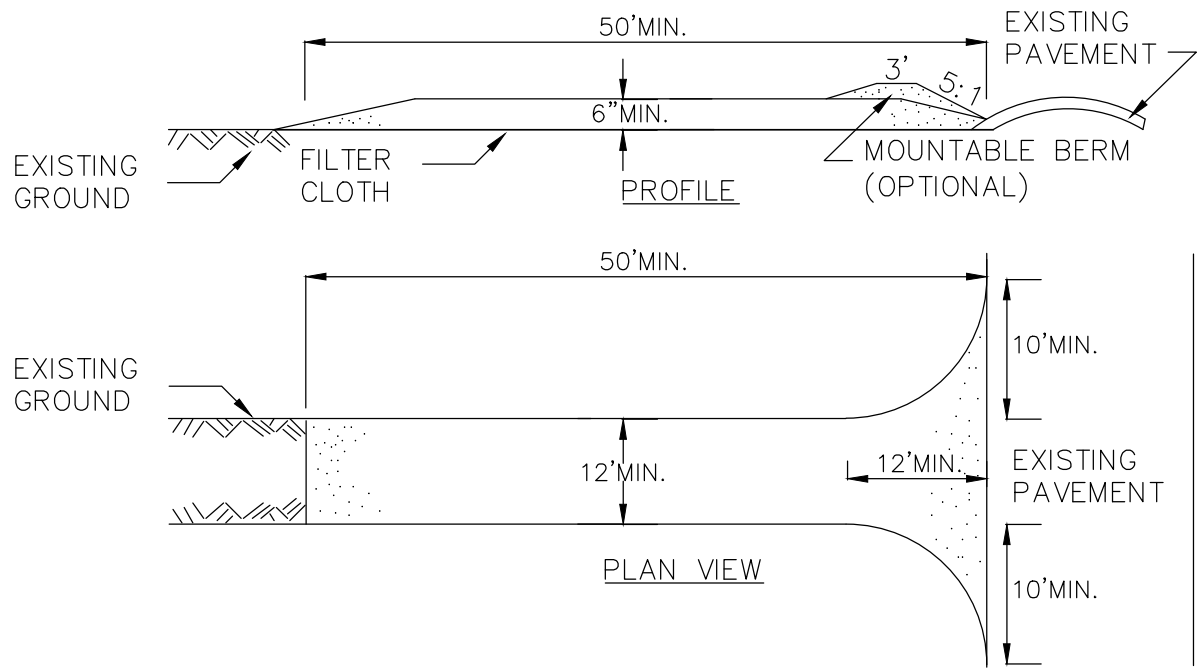
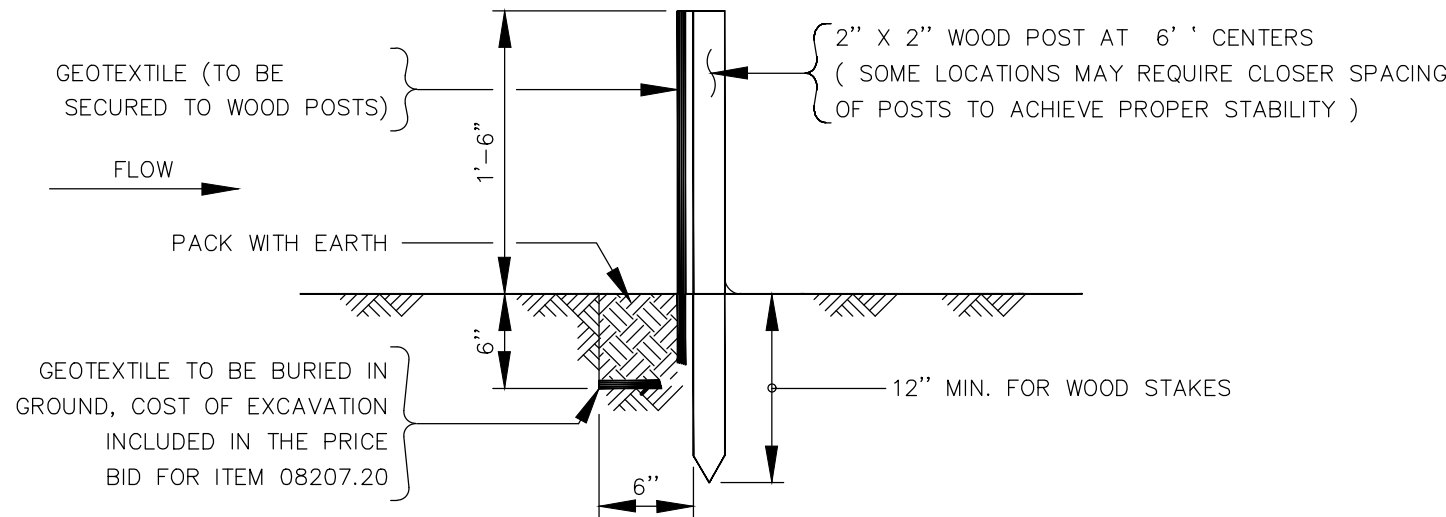
- EROSION AND SEDIMENT CONTROL NOTES:**
1. A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE SITE CONTRACTOR, SWPPP INSPECTOR, PROPERTY OWNER AND THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 2. ESTABLISH A PERMANENT TRAFFIC CORRIDOR FOR ALL TRAFFIC DURING CONSTRUCTION. A STONE STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED AND INSPECTED AND APPROVED BY THE THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. TRAFFIC SHALL NOT CROSS OR OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
 3. IF REQUESTED BY THE STORMWATER OFFICE, ADDITIONAL SILT FENCE MUST BE INSTALLED A MINIMUM OF 6 INCHES INTO THE GROUND SURFACE.
 4. ANY SOILS TRACKED INTO PUBLIC ROADS MUST BE SWEEPED UP IMMEDIATELY
 5. CONCRETE POURING MAY NOT TAKE PLACE UNTIL A CONCRETE WASHOUT AREA IS INSTALLED.
 6. ANY PUMPING OF STORMWATER ON SITE MUST BE DISCHARGED THROUGH A FILTER AND/OR STONE.
 7. A FINAL GRADING INSPECTION IS REQUIRED WITH THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL EXPOSED SOILS MUST BE STABILIZED AND APPROVED IF THE C.O. IS NEEDED DURING NON GROWING MONTHS, THE OWNER MUST PROVIDE A GRADING ESCROW TO THE STORMWATER OFFICE FOR THE OUTSTANDING WORK TO BE COMPLETED DURING THE GROWING MONTHS.



- NOTES:**
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 2. FILTER SOCK™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION



FILTREXX® CONCRETE WASHOUT
NTS



CONSTRUCTION SPECIFICATIONS

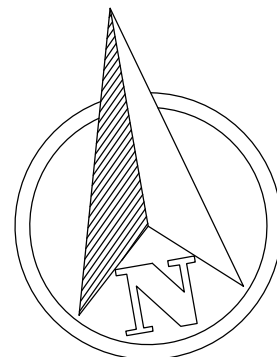
1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
10. CONSTRUCTION ACCESS ALONG FEURA BUSH ROAD SHALL BE CONSTRUCTED IN COMPLIANCE WITH THESE PLANS AND NYSDOT STANDARD SHEET 209.05

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

SILT FENCE DETAIL

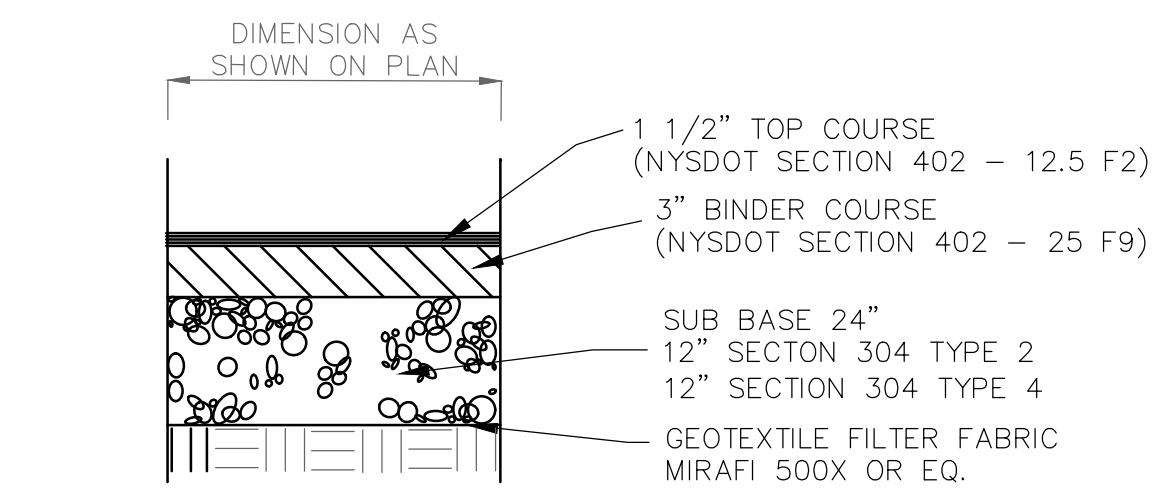
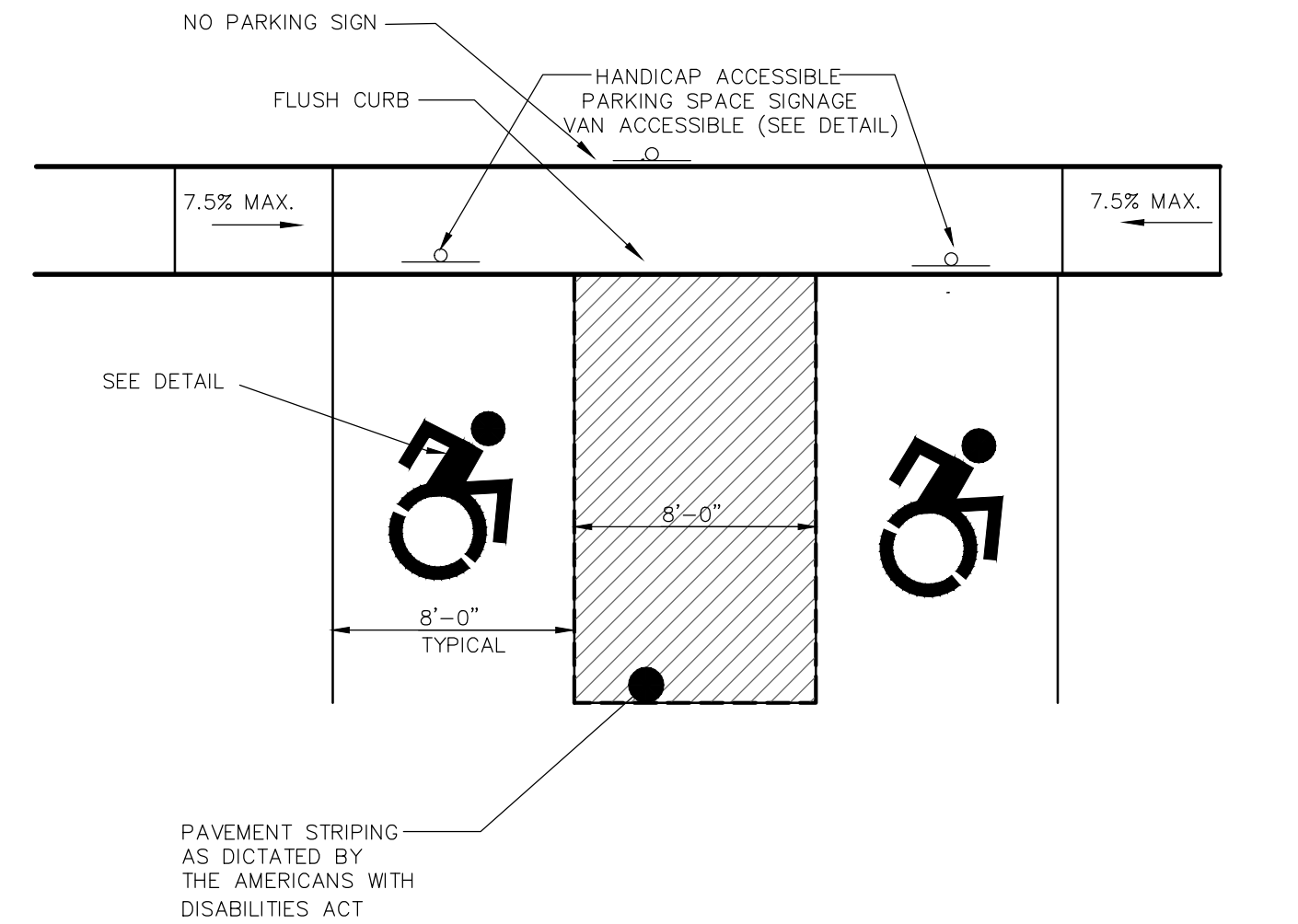
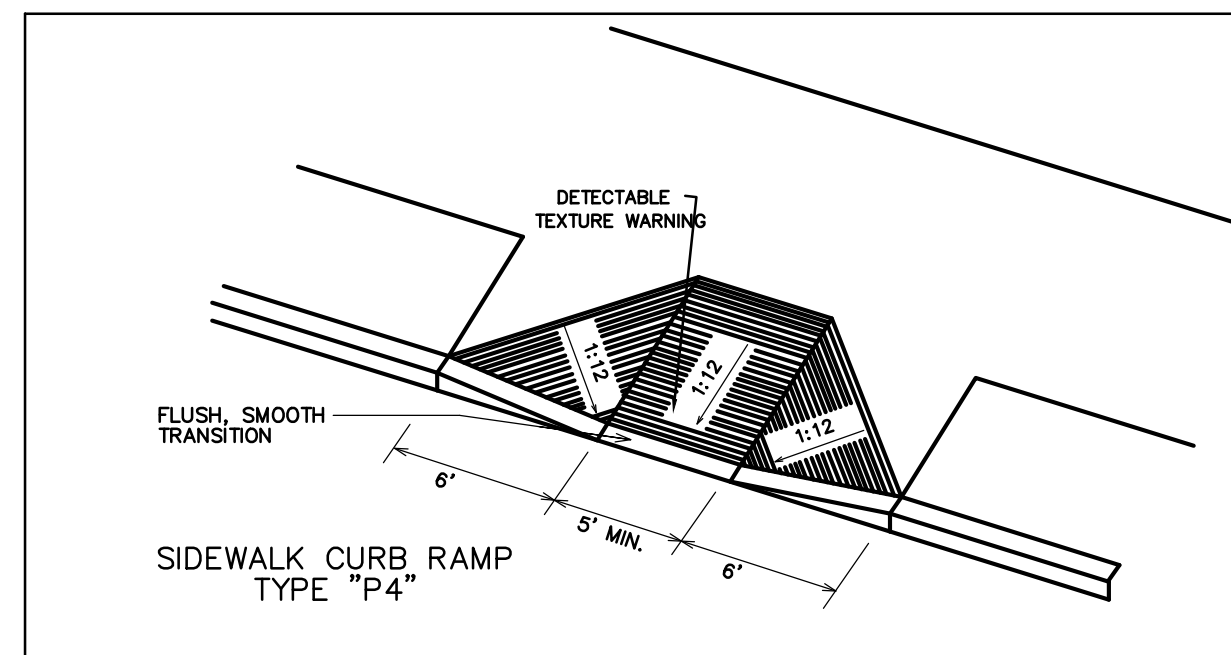
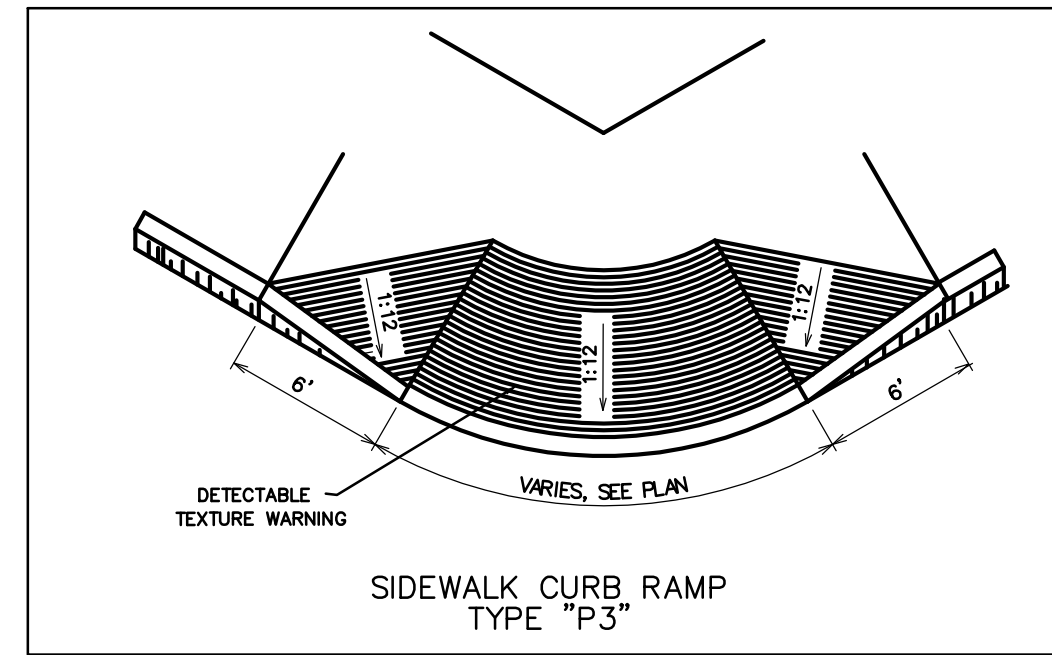
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- | | |
|--|--|
| 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. | POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD |
| 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. | FENCE: WOVEN WIRE, 14 6" MAX. MESH OPENING |
| 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. | FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL. |
| 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE | PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL. |



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PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS

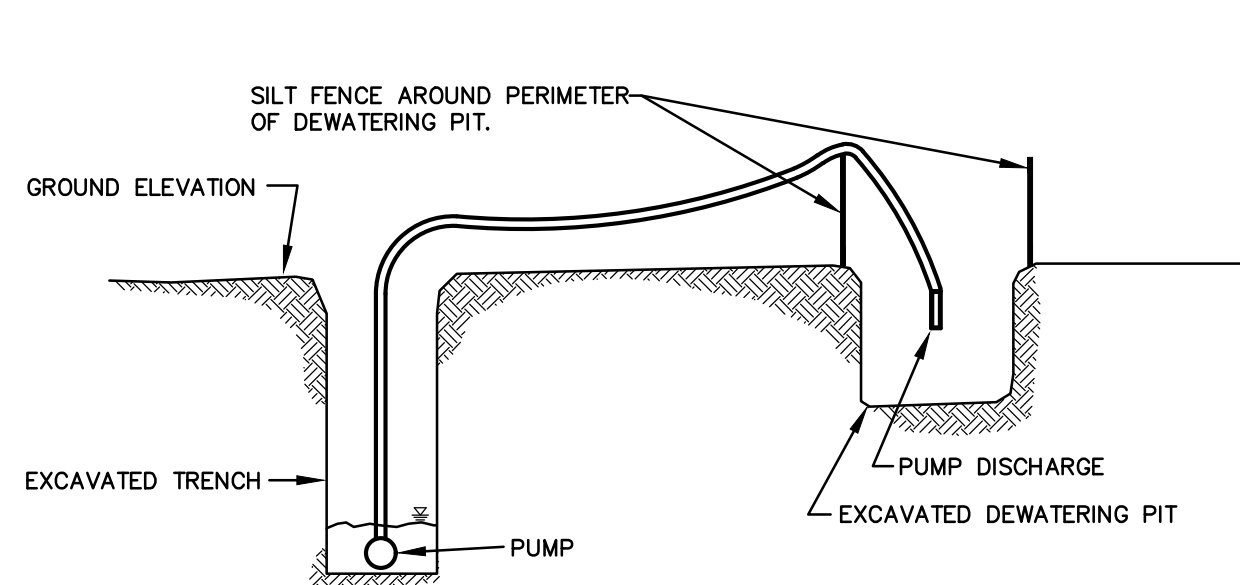
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BRETT L. STEENBURGH, P.E. PLLC 2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburghpe@gmail.com	
ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY	
E & SC PLAN PHASE 2 – RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD	COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK CHECKED BY: [] JOB NO. [] SCALE: 1" = 30' SHEET E-2
DRAWN BY: [] CADD FILE: [] DATE: MAY 11, 2022	



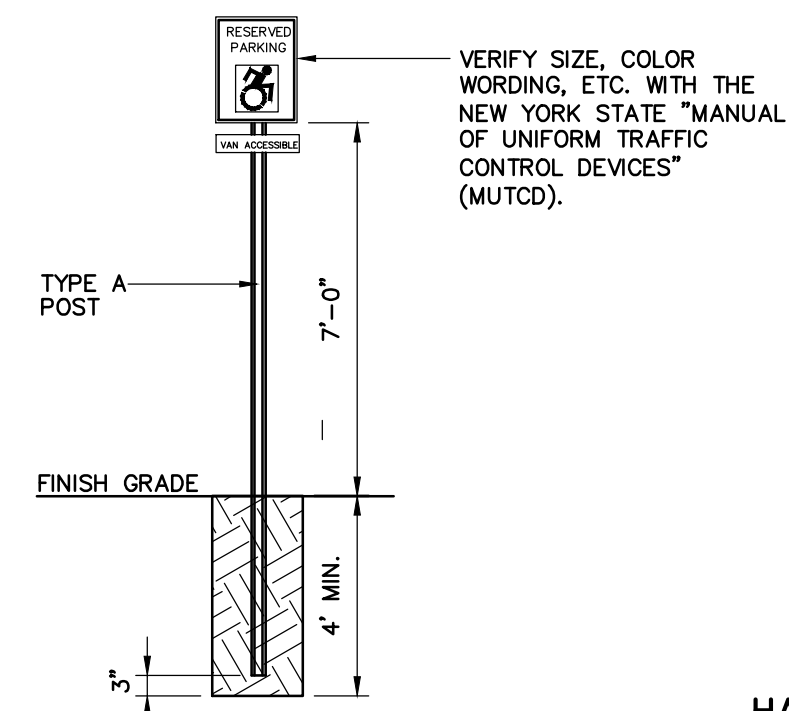
ASPHALT PAVEMENT SECTION

(NOT TO SCALE)

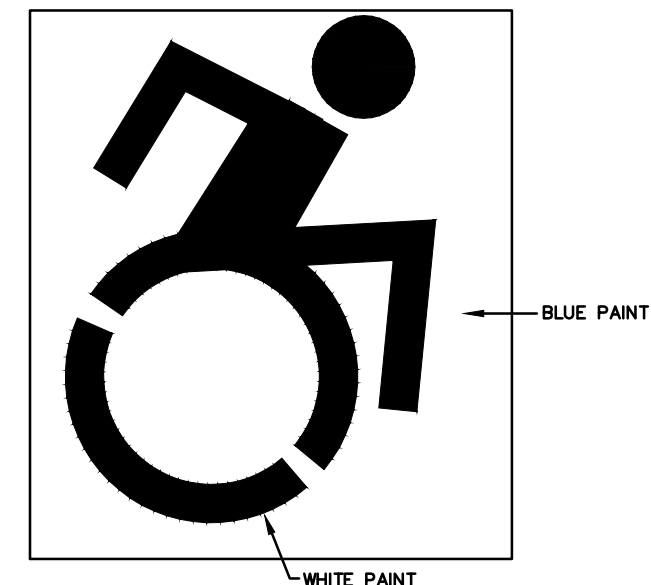
HANDICAP RAMP DETAILS



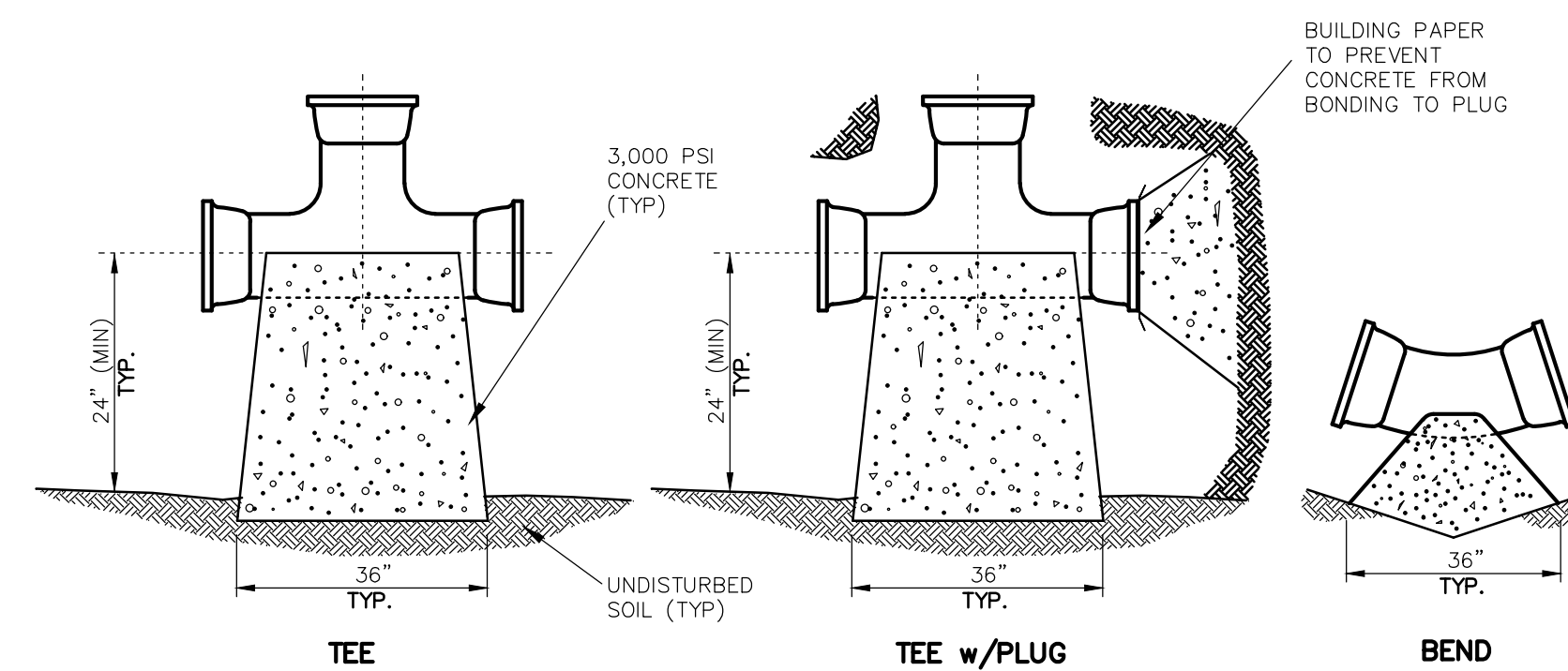
TYPICAL DEWATERING DETAIL



ACCESSIBLE PARKING SIGN
(NOT TO SCALE)



HANDICAP PARKING SPACE PARKING DETAIL
(NOT TO SCALE)



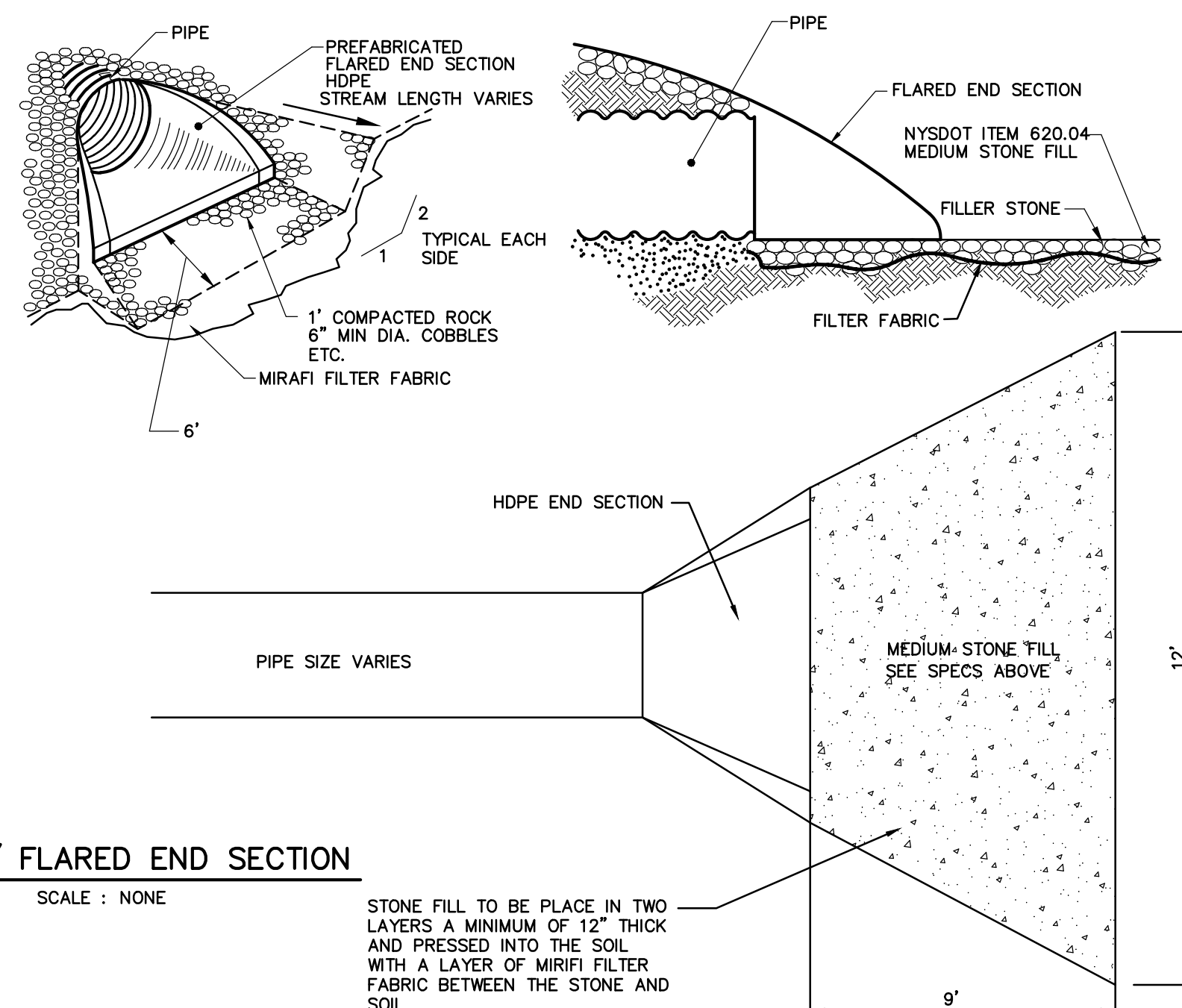
TYPICAL HORIZONTAL THRUST BLOCK DETAIL

SAFE BEARING LOADS OF SOILS & MULTIPLICATIVE FACTORS FOR MODIFICATION OF THRUST BLOCK AREAS (TABLE 2)			
SOIL	SOIL BEARING CAPACITY (LB/FT ²)	FACTORS	
MUCK PEAT	0	—	
SOFT CLAY	300	4.00	
SAND	1000	2.00	
SAND & GRAVEL	1500	1.33	
SAND & GRAVEL w/CLAY	2000	1.00	
SHALE	5000	0.40	

NOTE: BEARING AREAS SHOWN IN TABLE 2 SHALL BE MULTIPLIED BY FACTORS NOTED IN TABLE 1 TO ESTABLISH REQUIRED BEARING AREAS FOR SOIL CONDITIONS.

PIPE SIZE	TEE	90° BEND	45° BEND	22.5° BEND
200 P.S.I.G. INTERNAL PRESSURE				
3" & 4"	1	1	1	1
6"	2	2	1	1
8"	3	3	2	1
10"	6	8	3	2
12"	6	8	4	2
14"	11	11	6	3
16"	14	14	8	4
18"	18	18	10	5
20"	22	22	12	7
24"	32	32	17	9

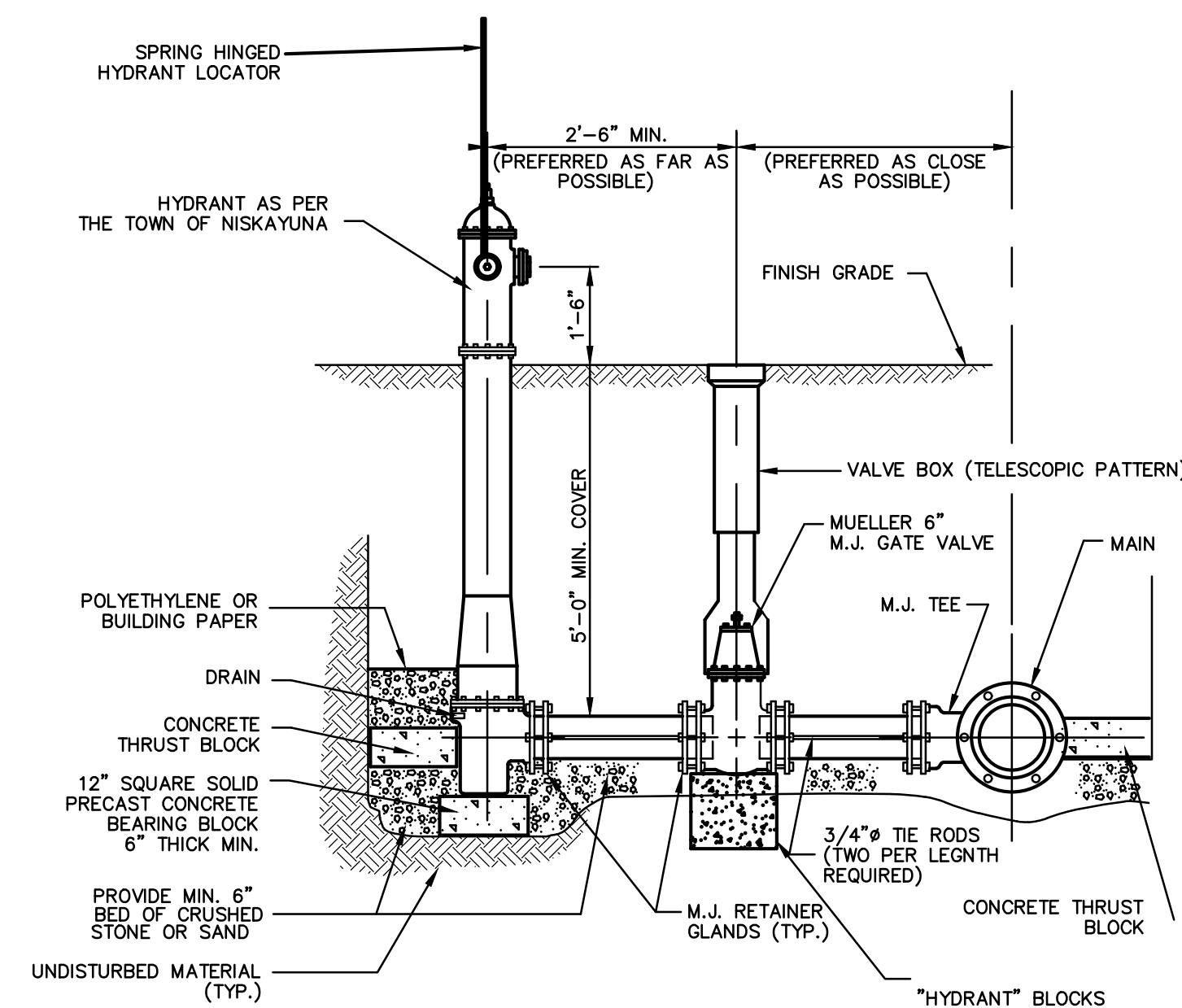
N.T.S.



PIPE W/ FLARED END SECTION

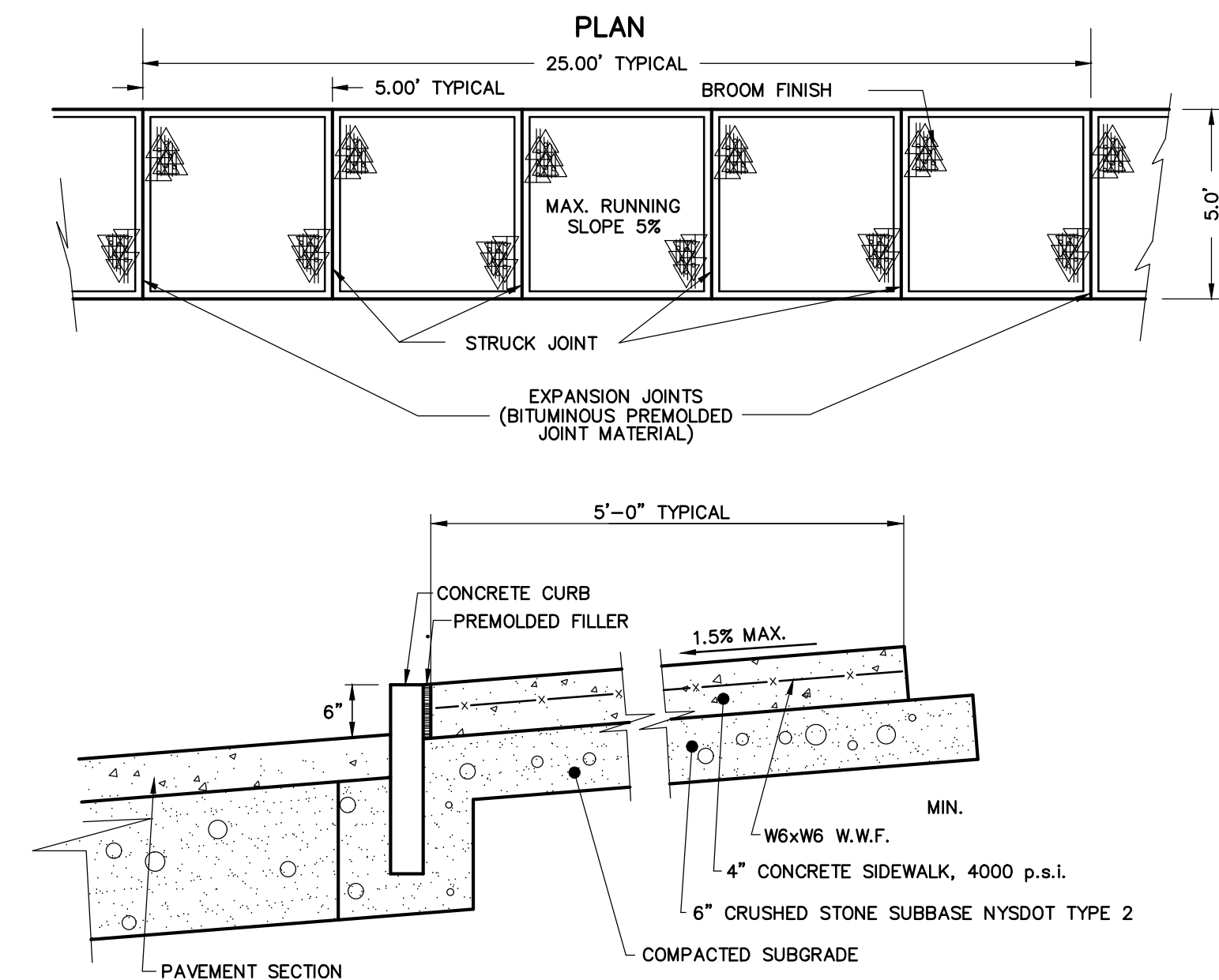
SCALE : NONE

STONE FILL TO BE PLACE IN TWO LAYERS A MINIMUM OF 12" THICK AND PRESSED INTO THE SOIL WITH A LAYER OF MIRIFI FILTER FABRIC BETWEEN THE STONE AND SOIL



HYDRANT DETAIL

(NOT TO SCALE)



NOTES:

1. SEE SIDEWALK JOINTS DETAIL FOR JOINT SIZE AND SPACING
2. EXPOSED CONCRETE SURFACE TO HAVE LIGHT BROOM FINISH

CONCRETE SIDEWALK DETAIL

N.T.S.

BRETT L. STEENBURGH MAP REFERENCE:

PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY
TOWN OF NISKAYUNA
STATE OF NEW YORK


COUNTY OF SCHENECTADY	DRAWN BY:	CHECKED BY:	STATE OF NEW YORK
	CADD FILE:		
SCALE: AS NOTED			

DATE: MAY 11, 2022

SHEET D-1

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NYS LIC. NO. 075458

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Call 811
before you dig



SUITABLE BACKFILL MATERIAL FOR FINAL BACKFILL SHALL BE FREE OF DEBRIS, FOREIGN MATERIAL, LARGE STONES, TREES, ORGANIC MATTER AND OTHER DELETERIOUS MATER AND CONFORMS WITH ASTM D 2487 SOIL GROUPS GW, GP, GM, SM, SW, AND SP.

THE ALL BEDDING, BACKFILL AND HAUNCHING SHALL
COMPLY WITH THE TEN STATES STANDARDS SECTION 33.83 AND 33.84.

EMBEDMENT MATERIALS FOR BEDDING AND INTIAL BACKFILL, CLASSES I, II OR III AS DESCRIBED IN ASTM 2321 SHALL BE USED AND CAREFULLY COMPACTED FOR ALL FLEXIBLE PIPE.



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bsteenburghpegmail.com

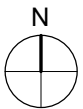
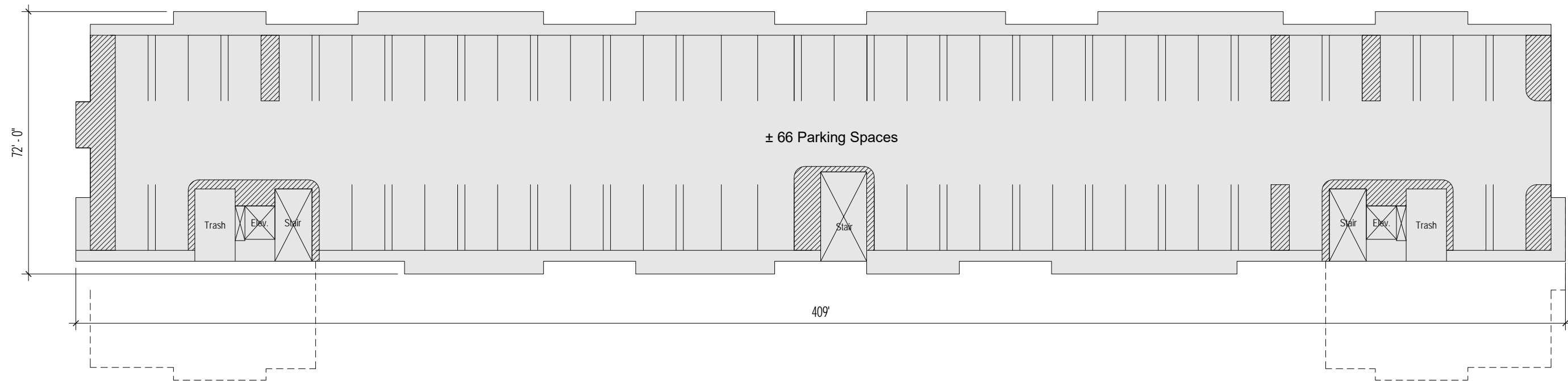
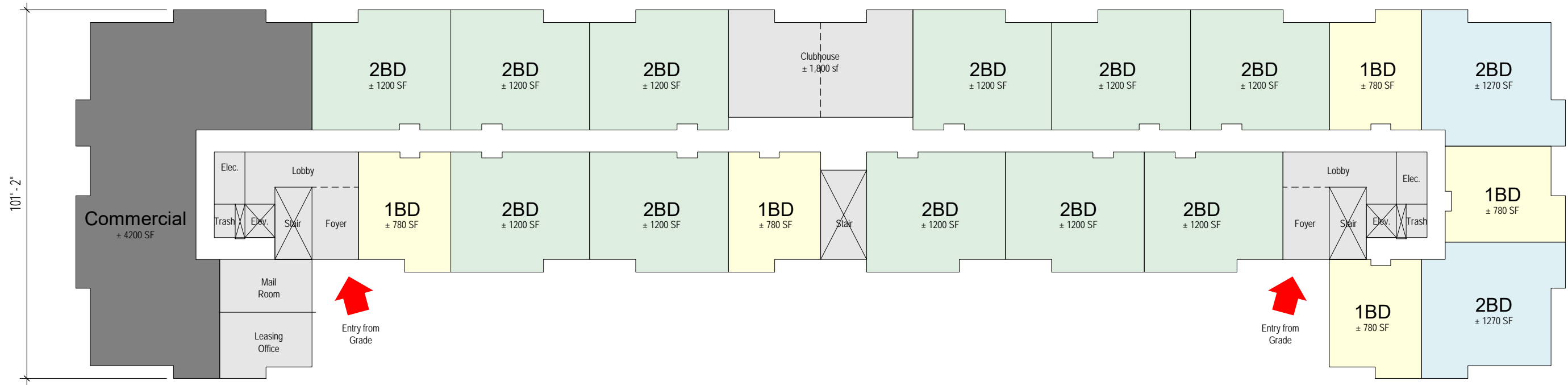
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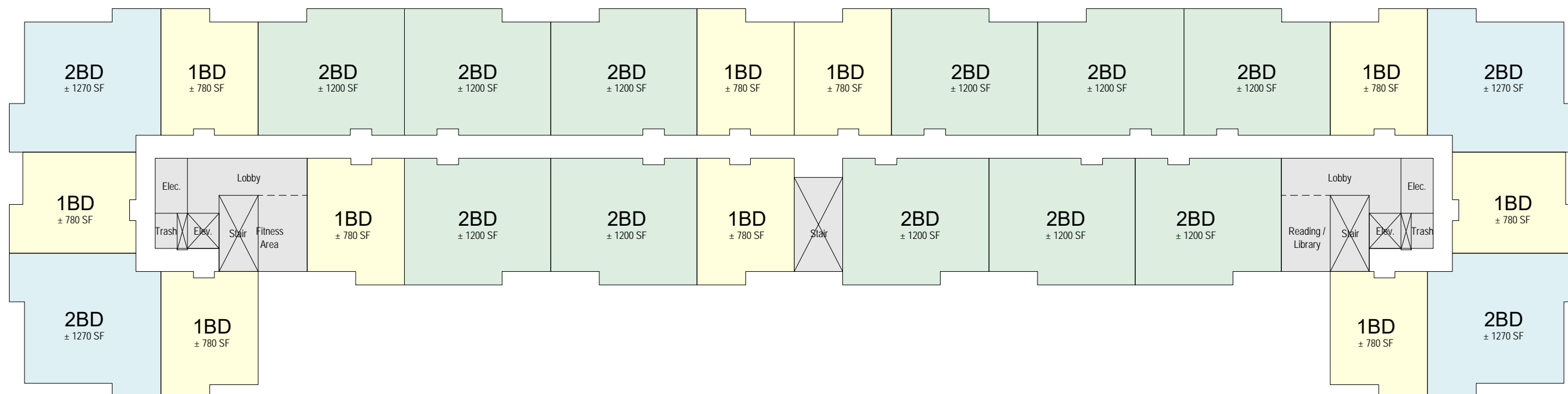




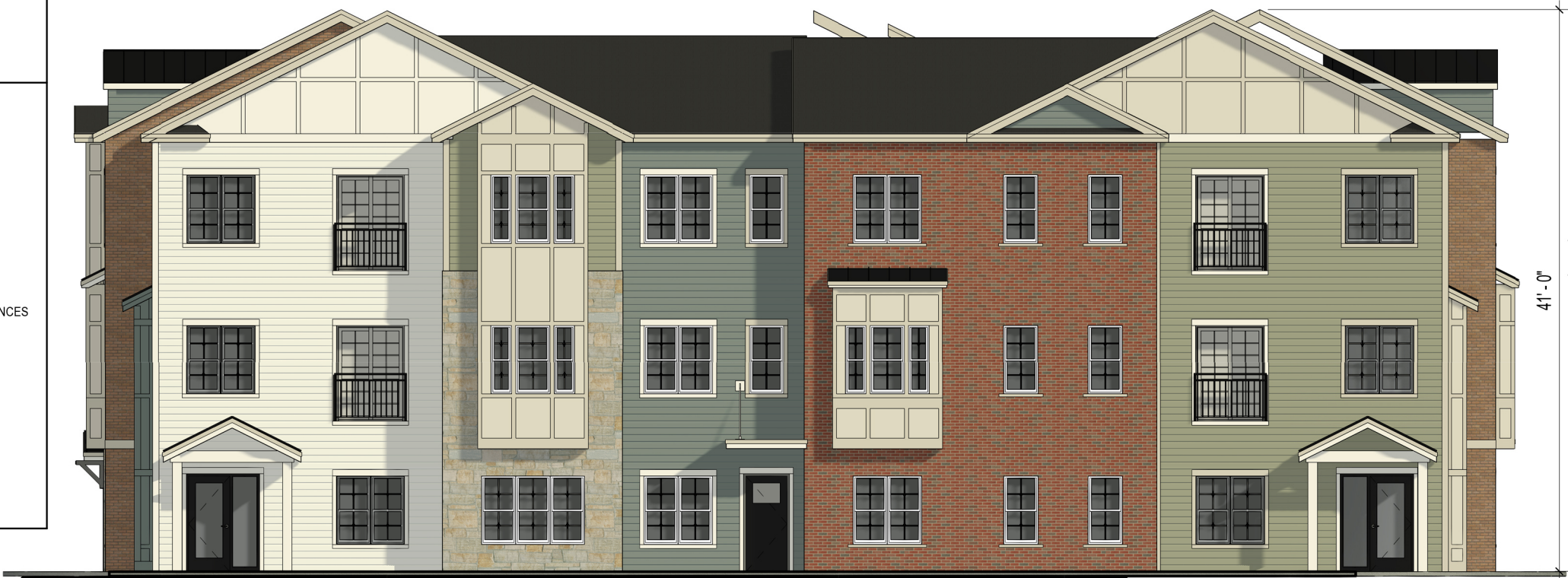
Unit Count Matrix			
	1 Bedrooms	2 Bedroom	
First Floor	5	13	± 66 Units
Second Floor	10	15	
Third Floor	8	15	
Total	23	43	



Second Floor Block Plans



EXTERIOR CLADDING SPECIFICATIONS		WINDOW SPECIFICATIONS	
<ul style="list-style-type: none"> <u>CULTURED STONE VENEER:</u> <ul style="list-style-type: none"> CASA DI SASSI VOLTERRA TURIN <u>EIFS BRICK</u> <ul style="list-style-type: none"> STOCREATIV BRICK OHIO STANDARD BRICK COLOR: VARIES <u>SIDING / TRIM:</u> <ul style="list-style-type: none"> JAMES HARDIE FIBER CEMENT 7" SMOOTH LAP SIDING COLOR: VARIES VERTICAL & PANEL SIDING COLOR: VARIES TRIM, FASCIA & SOFFITS COLOR: VARIES <u>STANDING SEAM METAL ROOF - DORMERS & SHED ROOFS:</u> <ul style="list-style-type: none"> ATAS 2" FIELD-LOK COLOR: BLACK <u>ROOFING:</u> <ul style="list-style-type: none"> GAF TIMBERLINE HDZ ARCHITECTURAL ASPHALT SHINGLES COLOR: WEATEHRED WOOD 		<ul style="list-style-type: none"> <u>WINDOWS:</u> <ul style="list-style-type: none"> ANDERSEN 100 SERIES OR EQUAL SINGLE HUNG: (2) 2'-6" X 5'-0" <ul style="list-style-type: none"> EXT. COLOR: VARIES INT. COLOR: WHITE <u>SLIDING PATIO DOORS</u> <ul style="list-style-type: none"> ANDERSEN 100 SERIES OR EQUAL GLIDING PATIO DOOR: 8'-0"w X 7'-0"h <ul style="list-style-type: none"> EXT. COLOR: VARIES INT. COLOR: WHITE <u>BUILDING ENTRANCES:</u> <ul style="list-style-type: none"> KAWNEER 350 MEDIUM STILE ALUMINUM ENTRANCES 3-1/2" VERTICAL STILES AND TOP RAILS 10" HIGH BOTTOM RAIL ALUMINUM FINISH: PERMAFLUOR, VARIES 	



MAX BUILDING HEIGHT

41' - 0"

West Elevation

East Elevation Similar

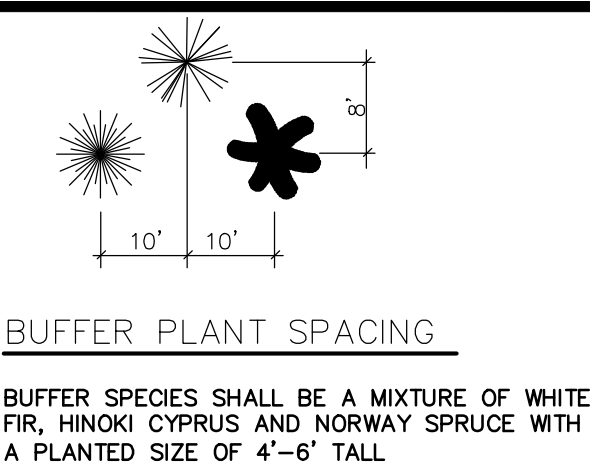


MAX BUILDING HEIGHT

41' - 0"

South Elevation - West Wing

East Wing Similar



BUFFER PLANT SPACING

BUFFER SPECIES SHALL BE A MIXTURE OF WHITE FIR, HINOKI CYPRUS AND NORWAY SPRUCE WITH A PLANTED SIZE OF 4'-6' TALL

LANDS N/F OF
NIAGARA MOHAWK
L 363 PG. 565
31.00-1-72.1

LANDS N/F OF
NIAGARA MOHAWK
L 363 PG. 565
31.00-1-72.1

LANDS N/F OF
COUNTY OF SCHENECTADY
31.00-1-22.1
2.60± AC.

OVERALL LAYOUT
SCALE: NONE

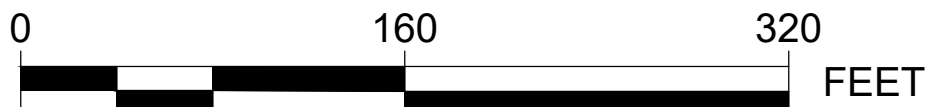
PLANTING LIST

NO.	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	9	ACER RUBRUM	RED MAPLE	2"-2 1/2" CAL	AS SHOWN
2	9	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	6'-8' TALL	AS SHOWN
3	73	BETULA NIGRA	RIVER BIRCH	10"-12" CLUMP	AS SHOWN
4	9	MALUS VAR."SNOWDRIFT"	SNOWDRIFT CRABAPPLE	2"-2 1/2" CAL	AS SHOWN
5	4	NYSSA SYLVATICA	BLACK GUM/TUPELO	2"-2 1/2" CAL	AS SHOWN
6	1	PRUNUS SUBHIRETTA DEUDULA	WEeping JAPANESE CHERRY	2"-2 1/2" CAL	AS SHOWN
7	30	CORNUS KOUSA	KOUSA DOGWOOD	5'-6" TALL	AS SHOWN
8	2	MAGNOLIA STELLATA "ROYAL STAR"	ROYAL STAR MAGNOLIA	5'-6" TALL	AS SHOWN
9	8	HIBISCUS SYRIACUS	ROSE OF SHARON	4'-5" TALL	AS SHOWN
10	39	PICEA PUNGENS GLAUCA	COLORADO BLUE SPRUCE	8'-10" TALL	AS SHOWN
11	8	CLETHRA ANIFOLIA	SUMMER SWEET CLETHRA	5 GALLON	5'-0"
12	136	GORNUS ALBA ELEGANTISSIMA	VARIEGATED RED STEM DOGWOOD	2'-3" TALL	5'-0"
13	180	ILEX VERTICILLATA	WINTER BERRY (MALE&FEMALE)	5 GALLON	6'-0"
14	179	SPIREA BUMALDA VAR. GOLDFLAME	GOLDFLAME SPIREA	5 GALLON	3'-0"
15	34	MALUS SARGENTI	SARGENT CRABAPPLE	2"-2 1/2" CAL	AS SHOWN
16	295	ITEA VIRGINICA	VIRGINIA SWEETSPICE	3 GALLON	4'-0"
17	87	JUNIPERUS CHINENSIS "SEAGREEN"	SEAGREEN & SARGENT JUNIPER	3 GALLON	6'-0"
18	1072	STELLA	D'ORO & HAPPY ENDINGS DAYLILY	2 GALLON	2'-0"
19	56	CRATAGUS VIRIDIS "WINTER KING"	WINTER KING HAWTHORN	2"-2 1/2" CAL	AS SHOWN
20	81	PICEA ABIES	NORWAY SPRUCE	8'-10" TALL	AS SHOWN
21	72	PENNISETUM SETACEUM	ROSE FOUNTAIN GRASS	3 GALLON	AS SHOWN
22	56	CHAMAECYPARIS OBTUSA	HINOKI CYPRESS	5'-6" TALL	AS SHOWN
23	40	ALIES CONCOLOR	WHITE FIR	5'-6" TALL	AS SHOWN
24	27	ILEX OPACA	AMERICAN HOLLY	5 GALLON	AS SHOWN
*	648	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	5 GALLON	AS SHOWN
*	64	PICEA (GLAUCA & PUNGENS)	BLUE AND WHITE SPRUCE	8'-10" TALL	AS SHOWN
*	104		SUMMER WINE NINEBARK	3 GALLON	AS SHOWN
*	40	QUERCUS ROBAR FASTIGIATA	ENGLISH PYRAMIDAL OAK	2"-2 1/2" CAL	AS SHOWN
*	112	PENNISETUM ALOPECUROIDES	DWARF FOUNTAIN GRASS	2 GALLON	AS SHOWN
*	16	PYRUS CALLERYANA "CLEVELAND"	CLEVELAND SELECT PEAR	2"-2 1/2" CAL	AS SHOWN
*	32	RHODODENDRON 'OLGA MEZITT'	OLGAL MEZITT RHODODENDRON	3 GALLON	AS SHOWN
*	128		ENDELSS SUMMER HYDRANGEA	3 GALLON	AS SHOWN
*	40	RHODODENDRON PJM	PJM RHODODENDRON	3 GALLON	AS SHOWN

* DESIGNATES FOUNDATION PLANTINGS SEE SKETCH TO THE RIGHT

BRETT L. STEENBURGH MAP REFERENCE:

PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

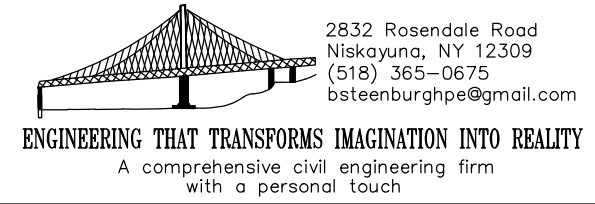


LIMITS OF DISTURBANCE IS PRIMARILY WITHIN THE
PROPERTY LIMITS OF THE PROJECT. OFF-SITE
IMPROVEMENTS ALONG AQUEDUCT PARK, EXCEPT
FOR PUMP STATION, WILL BE COMPLETED BY TOWN
OF NISKAYUNA AT A FUTURE DATE. OFF-SITE WORK
ALONG HUDSON-MOHAWK WILL BE COMPLETED BY
APPLICANT.

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	ADDED LANDSCAPED BERM	BLS	8/20/21
2	CAC COMMENTS	BLS	5/25/22

BRETT L. STEENBURGH, P.E. PLLC



TOWN OF NISKAYUNA COUNTY OF SCHENECTADY
RIVERS LEDGE OF NISKAYUNA
OVERALL LANDSCAPING PLAN
LOCATED AT
2837 AQUEDUCT ROAD
TAX MAP NO. 31.00-1-24, 22.1, 23.1 & 26

DATE: JULY 2021

JOB NO: RIVERS LEDGE

SCALE: 1"= 80'

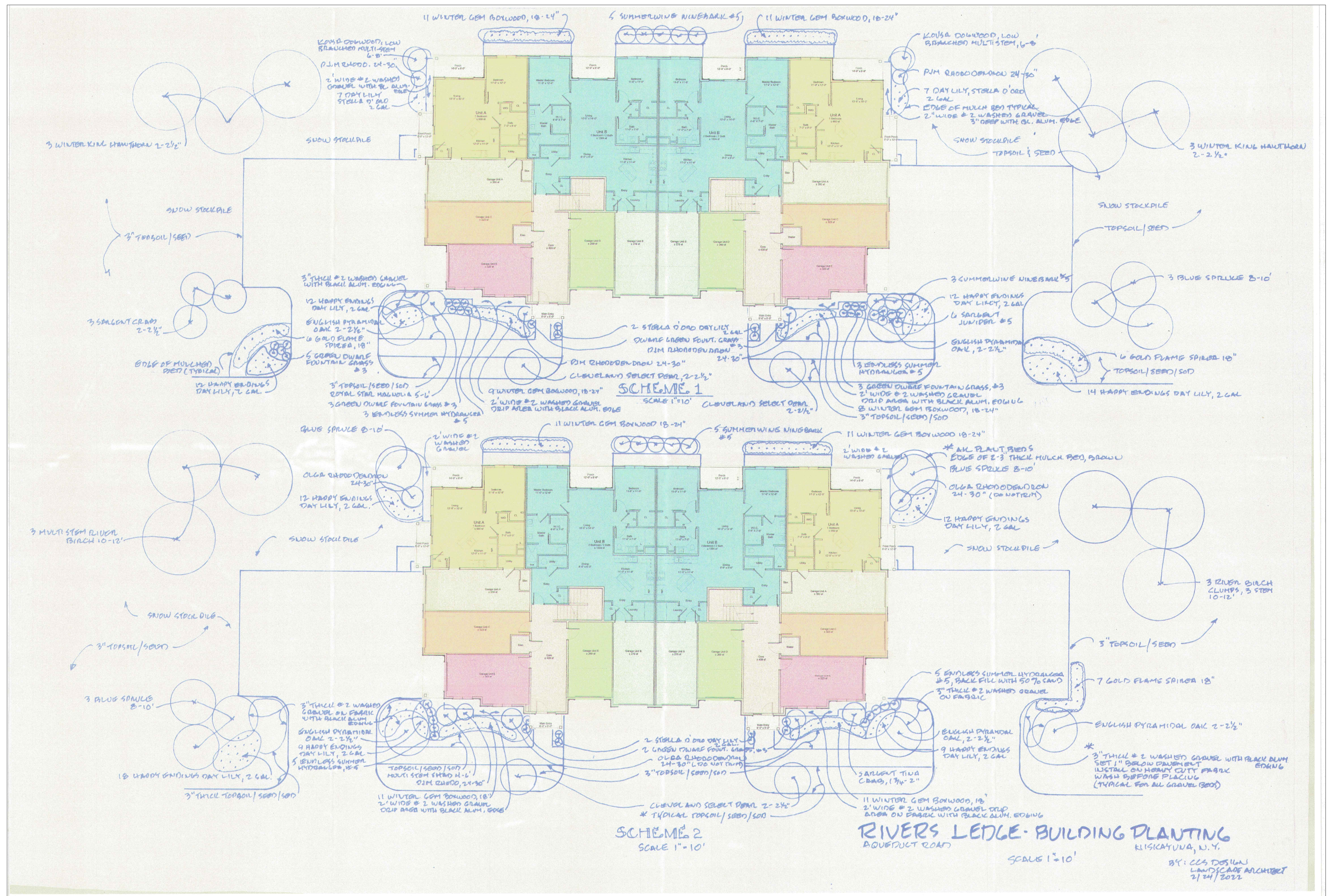
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CHECKED BY:

SHEET ____ OF ____

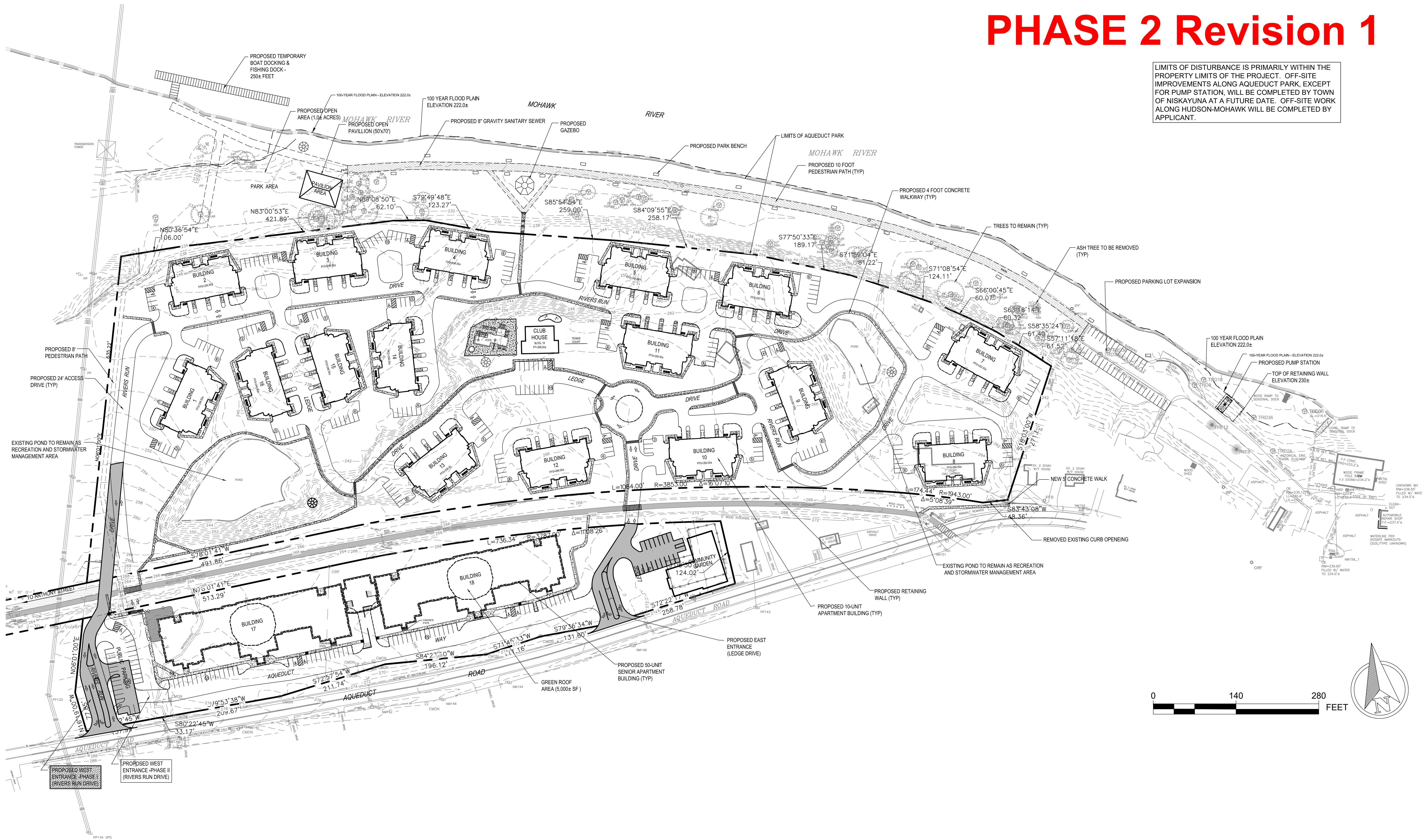
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L1



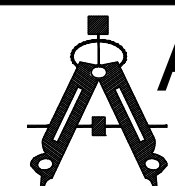
PHASE 2 Revision 1

LIMITS OF DISTURBANCE IS PRIMARILY WITHIN THE PROPERTY LIMITS OF THE PROJECT. OFF-SITE IMPROVEMENTS ALONG AQUEDUCT PARK, EXCEPT FOR PUMP STATION, WILL BE COMPLETED BY TOWN OF NISKAYUNA AT A FUTURE DATE. OFF-SITE WORK ALONG HUDSON-MOHAWK WILL BE COMPLETED BY APPLICANT.



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ALTERATION OF THIS DOCUMENT, EXCEPT BY A LICENSED PROFESSIONAL ENGINEER IS ILLEGAL ACCORDING TO NEW YORK STATE EDUCATION LAW, ARTICLE 145 SEC. 7209.

REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	MODIFIED GENERAL LAYOUT MODIFIED GENERAL LAYOUT	DFA	01/13/2017 04/14/2017

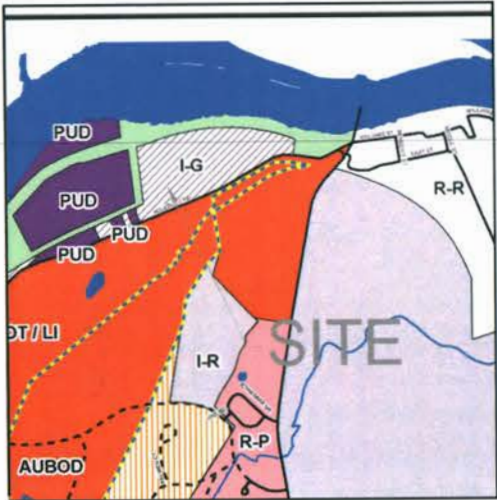


Arico Associates
Engineers, Land Planners
& Consultants
49 Railroad Avenue, Albany, NY, 12205
darico@aricoassociates.com 518.573.6989
www.aricoassociates.com

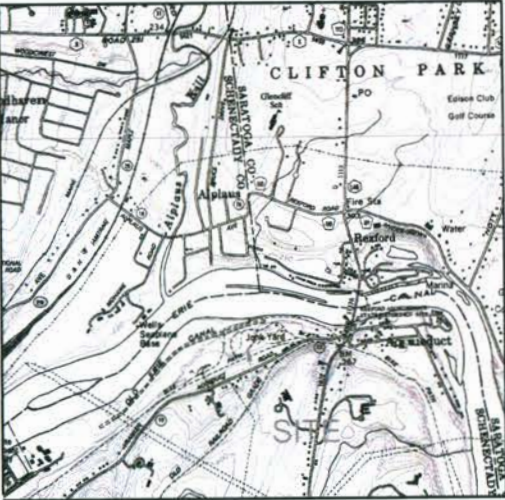
TOWN OF NISKAYUNA COUNTY OF SCHENECTADY
RIVERS LEDGE OF NISKAYUNA
OVERALL LAYOUT PLAN
LOCATED AT
2837 AQUEDUCT ROAD
TAX MAP NO. 31.00-1-24, 22.1, 23.1 & 26

DATE: JANUARY 2017
JOB NO. L16-001
DRAWING NO. S1
SCALE: 1"= 70'
DRAWN BY: DFA
CHECKED BY: DFA
SHEET OF

RIVERS LEDGE OF NISKAYUNA
TOWN OF NISKAYUNA
SCHENECTADY COUNTY STATE OF NEW YORK
MARCH 7, 2016
LAST REVISED: APRIL 2017



ZONING MAP
SCALE: 1"=1000'



LOCATION MAP
SCALE: 1"=2000'



SITE STATISTICS					
TOTAL PROJECT AREA 18.16 AC	EXISTING		PROPOSED		
	SQUARE FEET	ACRES	SQUARE FEET	ACRES	PERCENT
TOTAL BUILDING AREA	2,700,000	6.17	1,511,500	4.12	55.98%
	1,198,500	2.74	1,511,500	4.12	55.98%
TOTAL PAVEMENT AREA	1,198,500	2.74	1,198,500	2.74	6.55%
	1,198,500	2.74	1,198,500	2.74	6.55%
TOTAL GREEN ROOF AREA	1,198,500	2.74	1,198,500	2.74	6.55%
	1,198,500	2.74	1,198,500	2.74	6.55%

PROJECT INFORMATION	
ADDRESS:	RAILROAD AVENUE, NISKAYUNA, NY 12205
TAX MAP NO.:	11.01.02.24
OWNER:	ARICO ASSOCIATES
ARCHITECT:	ARICO ASSOCIATES
ENGINEER:	ARICO ASSOCIATES
ENVIRONMENTAL:	ARICO ASSOCIATES
LANDSCAPE:	ARICO ASSOCIATES
TRAILER:	ARICO ASSOCIATES
ADDITIONAL WORK:	ARICO ASSOCIATES
PREPARED BY:	ARICO ASSOCIATES

OWNER / APPLICANT:
RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205

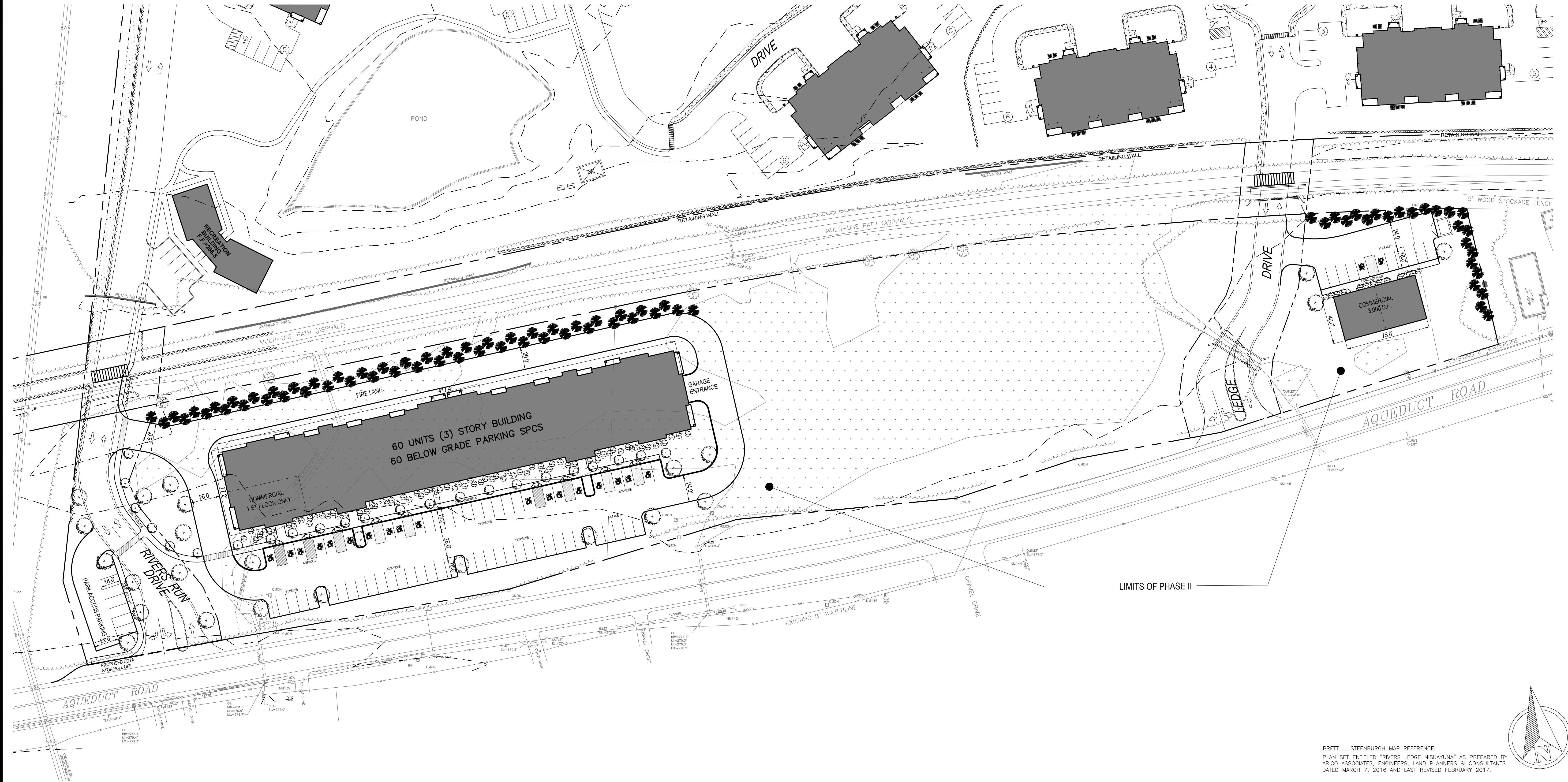
Arico Associates
Engineers, Land Planners
& Consultants
49 Railroad Avenue, Albany, NY, 12205
518.573.6989
arico@aricoassociates.com www.aricoassociates.com

PHASE 2 Revision 1

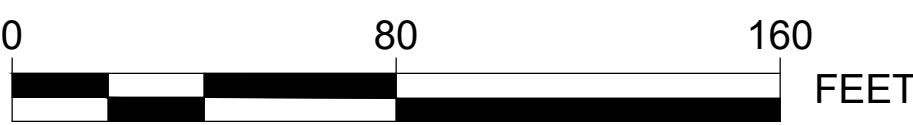
SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 60 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 125 SPACES
GARAGE SPACES = 60 SPACES
OUTDOOR SPACES = 65 SPACES
BUILDING HEIGHT - 35'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

PHASE 2 Revision 2



BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.



REVISIONS			
NO.	DESCRIPTION	BY	DATE

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Niskayuna, NY 12059
(518) 365-0675
bsteenburgpllc@gmail.com
ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY
A comprehensive civil engineering firm
with a personal touch.

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY
RIVERS LEDGE OF NISKAYUNA
PHASE 2 - CONCEPT PLAN
LOCATED AT
2837 AQUEDUCT ROAD
TAX MAP NO. 31.00-1-24, 22.1, 23.1 & 26

DATE: DECEMBER 2020
JOB NO. RIVERS LEDGE DRAWING NO.
SCALE: 1"=40'
DRAWN BY:
CHECKED BY:
C-1

PHASE 2 Revision 2





West Elevation



North Elevation - West Wing



TOWN OF NISKAYUNA

PLANNING BOARD & ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 6/13/2022

ITEM TITLE: DISCUSSION ITEM: 2538 River Road -- major subdivision and average density development (ADD) -- Kelts Farm

PROJECT LEAD: David D'Arpino & Patrick McPartlon

APPLICANT: Joel Bisaillon

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☒ Town Board
☒ OTHER: Economic Development, Historic Preservation & Environmental Conservation Committee, Tree Council

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☒ Map ☐ Report ☒ Other: Special Use Permit

SUMMARY STATEMENT:

Joel Bisaillon, owner of 2538 River Road, has submitted an Application for Approval of a Final Plat Plan for an average density development major subdivision including a special use permit for 24 building lots on the property known as the Kelts Farm. The proposal is a mixture of twin townhomes and single family lots.

BACKGROUND INFORMATION

6/22/20 -- The Planning Board (PB) passed Resolution 2020-17 including 3 conditions granting sketch plan approval and making a Recommendation that the Town Board grant a special use permit for the project.

7/28/20 -- The Town Board (TB) passed Resolution No. 2020 – 193 including 4 conditions granting a special use permit for the average density development subdivision.

5/10/21 -- The Planning Board passed Resolution 2021-13 including 23 conditions approving an Application for Approval of a Preliminary Plat Plan for an Average Density Development (ADD) major subdivision with a special use permit. This allows construction of the road and multi-use path, installation of utilities and the construction of 1 home.

6/6/22 -- The Planning Office (PO) received an Application for Approval of a Final Plat Plan for an Average Density Development (ADD) subdivision with a special use permit.

Final subdivision approval is the last step in the subdivision process. It is intended to be the final check to ensure the subdivision was built according to the approved plans prior to recording the plat and releasing additional building permits. The Planning Department is still waiting on the “as-built” drawings – but the only changes to the plans the developer (Joel Bisailon) is noting are the following:

- 1) “We are using 4 ft. black chain link fencing with double 5 ft. swinging gates on the retention ponds instead of the specified split rail fencing. (split-rail fencing is out of stock everywhere).
- 2) We planted (3) Oak trees on the cul-de-sac and (32) evergreens on the berm in a saw tooth pattern. The plans called for (19) total evergreens and no trees on the cul-de-sac. We also extended the berm 30 ft. to the north at the request of the Town.
- 3) The bike path in front of the homes was mistakenly made 10 ft. wide so it was saw cut back to 8 ft. The plans called for 6 ft. of grass space between the road edge and the path but there is only 4 ft.
- 4) We agreed to the Town's request to Avanti grout the existing sewer manhole along River Rd. The abandoned 15" inlet line to the manhole will be sealed with a concrete plug. Baldwin Packard Contractors will be performing the work.

I will be providing a proposed sketch to the Town for our plans for the end of Windsor Drive. We will not have to add this to the drawings but we are going to provide a 10ft. open air gazebo from Classic Sheds with a stone path to the bike path. We will also provide planting beds and perennial flower seeds that can be planted in coordination with the Niskayuna flower organizations”.

The Planning Office and Mr. Bisailon discussed the project on 6/6/22 and identified the following open action items.

- 1) Bisailon Properties (BP) to provide a LOC for \$75,000 for the road.
- 2) BP to provide a plan for a Gazebo / park at the end of Windsor.
- 3) BP to provide the deeds and recording fees for the subdivision.
 - a. Warranty Deed for the road and detention pond parcels
 - b. Utility easements
- 4) BP to add to the TDE escrow account – Planning Office (PO) to provide the required amount based on three outstanding invoices and the TDE’s estimate for reviewing the “as-built” drawings once they are received.

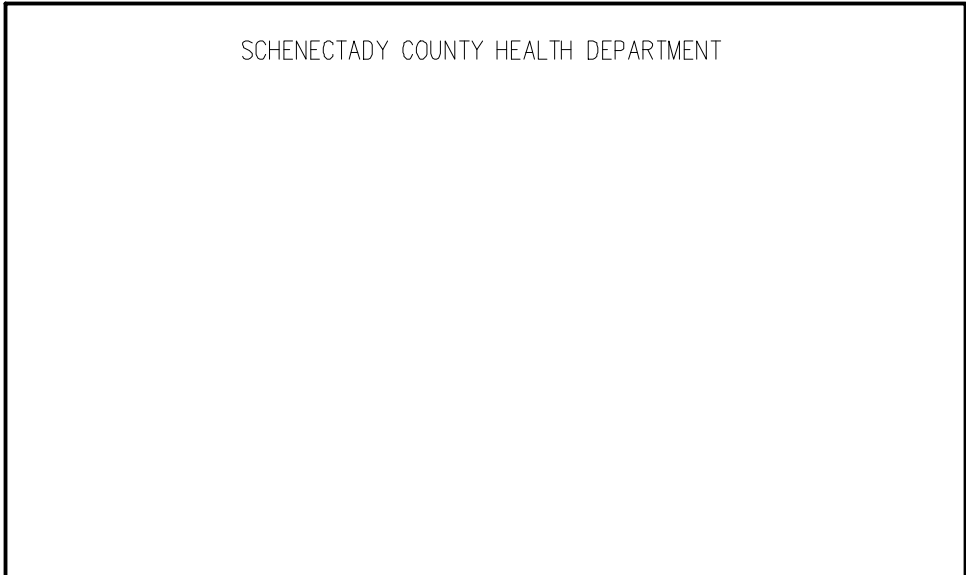
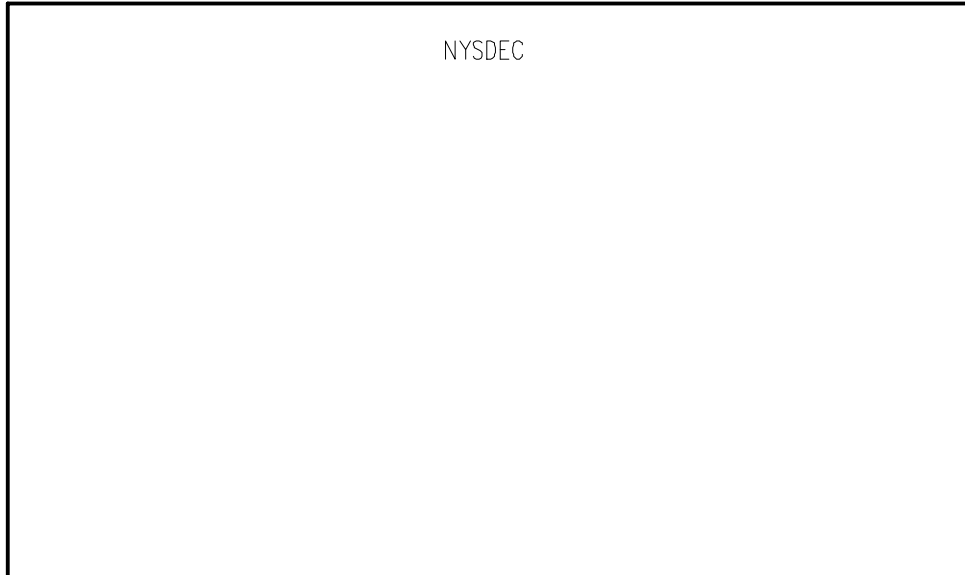
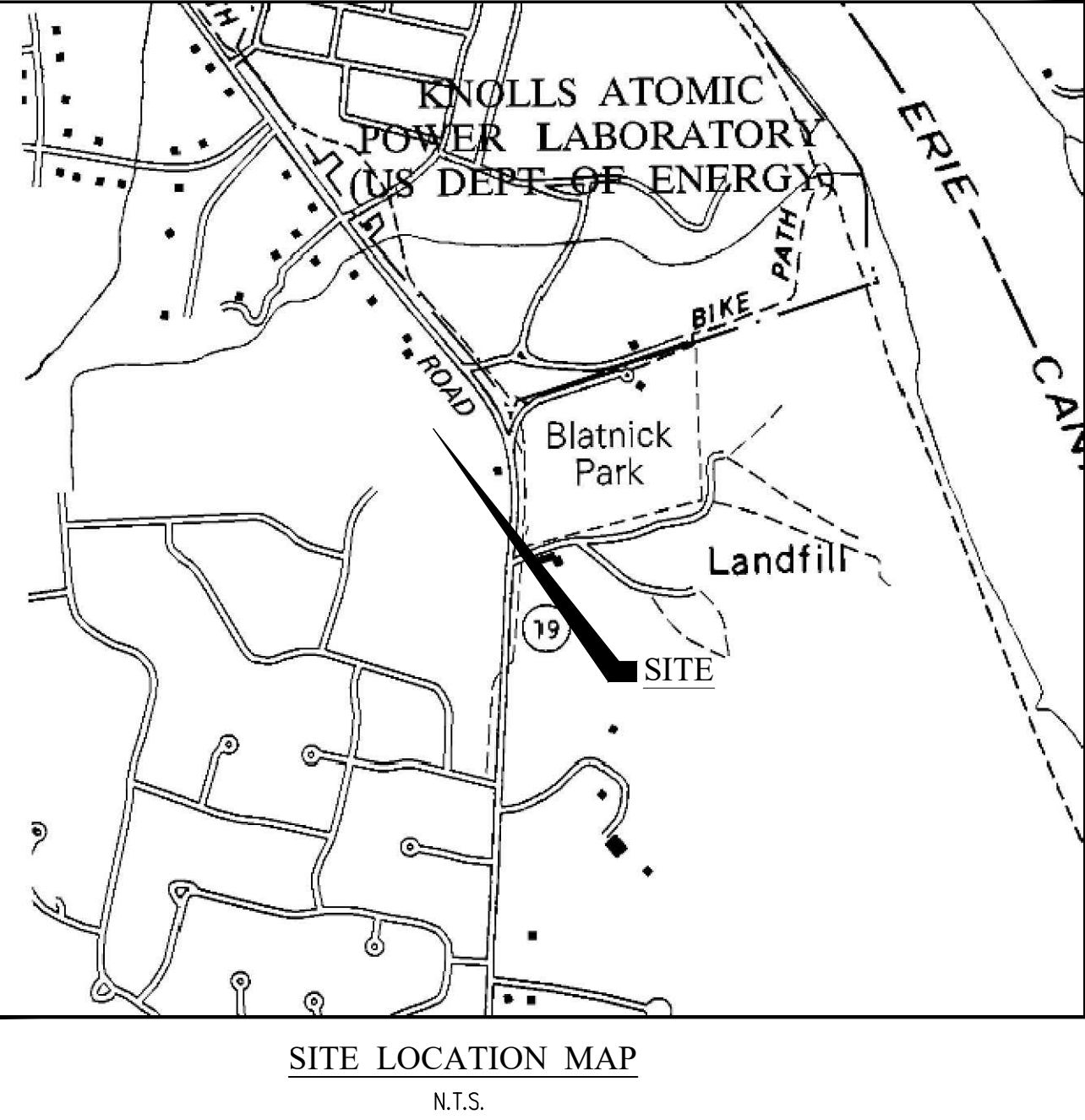
6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office provided the CAC with an update on the status of the project and stated that once the final plat plan is approved to developer will be free to begin constructing additional units. The CAC expressed their excitement and anticipation regarding the park-like area near the Windsor Drive end of the multi-use path. A suggestion was made to reach out to the residents along Windsor Drive to help create a biodiverse area along the multi-use path. They also noted that they would like to make sure there is a garbage can in that area.

ENGINEERING PLANS FOR: KELT'S FARM SUBDIVISION

TOWN OF NISKAYUNA * SCHENECTADY COUNTY
NEW YORK

MARCH 2021
REVISED JULY 2021

SHEET INDEX:		
SHEET 1	COVER	COVER SHEET
SHEET 2	EXIST	EXISTING CONDITIONS
SHEET 3	SUB	SUBDIVISION PLAN
SHEET 4	GRD	GRADING & UTILITY PLAN
SHEET 5	ERO	EROSION CONTROL PLAN
SHEET 6	PROF	PROFILE
SHEET 7	DET-1	CONSTRUCTION DETAILS - 1
SHEET 8	DET-2	CONSTRUCTION DETAILS - 2
SHEET 9	DET-3	CONSTRUCTION DETAILS - 3



OWNER/ APPLICANT
BISAILLON PROPERTIES, LLC
2307 BERKLEY AVE
NISKAYUNA, NY 12309



COVER

KELT'S FARM SUBDIVISION
ST. NO. 2538 RIVER ROAD
TOWN OF NISKAYUNA
COUNTY OF SCHENECTADY
DATE: DECEMBER 13, 2019

SCALE: NONE

Design of:
ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN -
CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT
COMMERCIAL AND RESIDENTIAL

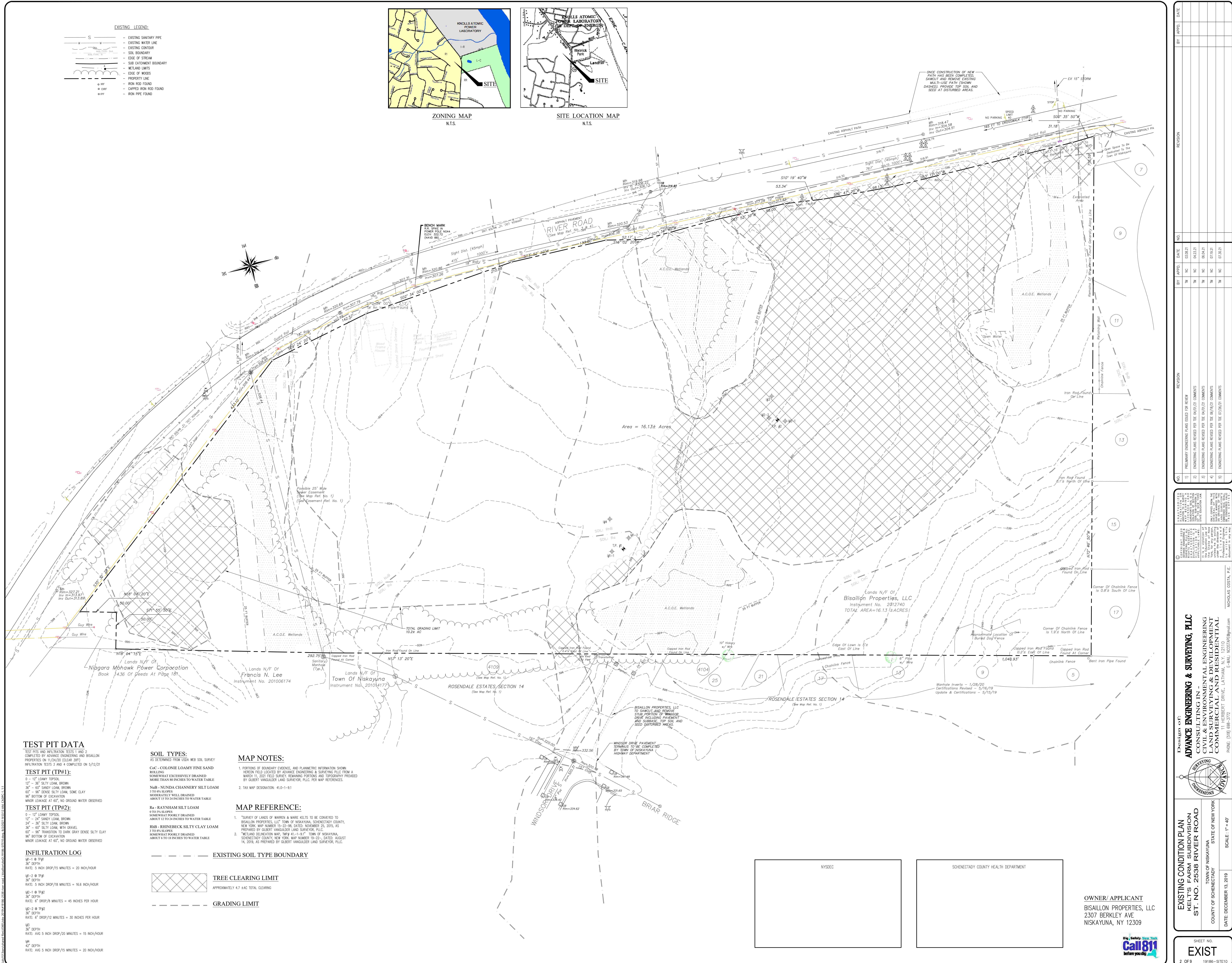
11 HERBERT DRIVE, LATHAM, N.Y. 12110
PHONE: (518) 686-2772
E-MAIL: info@aesurveys.com
NICHOLAS COSTA, P.E.

1 OF 9

COVER

19186-SITE10

NO.	REVISION	BY	APPD.	DATE	NO.	REVISION	BY	APPD.	DATE
1	PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW	TM	NC	03.08.21					
2	ENGINEERING PLANS REVISED PER THE 04/07/21 COMMENTS	TM	NC	04.23.21					
3	ENGINEERING PLANS REVISED PER THE 04/07/21 COMMENTS	TM	NC	04.23.21					
4	ENGINEERING PLANS REVISED PER THE 06/08/21 COMMENTS	TM	NC	07.09.21					
5	ENGINEERING PLANS REVISED PER THE 07/09/21 COMMENTS	TM	NC	07.30.21					



ZONING AND LAND USE:

TOWN OF NISKAYUNA
SCHEDULE I-B

R-1 DISTRICT
SCHEDULE OF SUPPLEMENTARY REGULATIONS

DISTRICT	USE	MINIMUM LOT SIZE			MAXIMUM PERCENTAGE OF COVERAGE BY BUILDING AND STRUCTURES	MINIMUM YARD REQUIREMENTS			MINIMUM REQUIRED OFF-STREET PARKING SPACES (ALSO SEE 220-19)
		AREA	WIDTH	DEPTH		FRONT	SIDE BOTH	REAR	
R-1 (LOW-DENSITY RESIDENTIAL)	SINGLE FAMILY DWELLING	18,000 SF	100 FT	125 FT	25	35	20	40	25
AVERAGE DENSITY DEVELOPMENT (50% R-1)		9,000 SF	50 FT	62.5 FT	25	20	10	20	15

STANDARD SUBDIVISION NOTES:

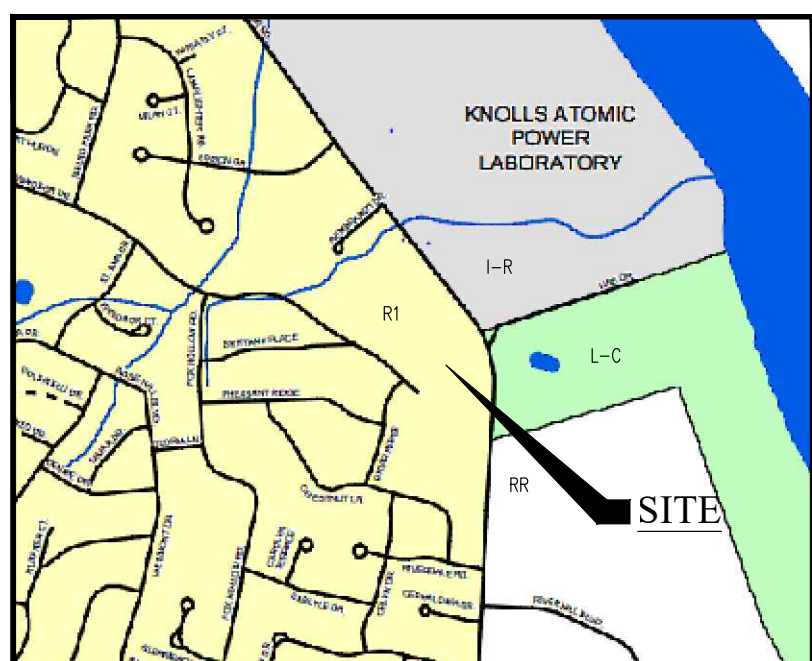
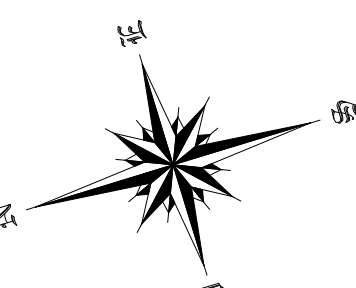
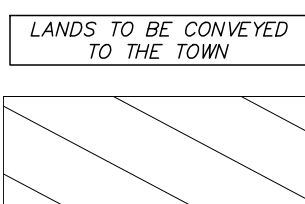
GENERAL NOTES:
BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL EROSION AND SEDIMENT CONTROL MEASURES:
DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SATISFACTORY CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

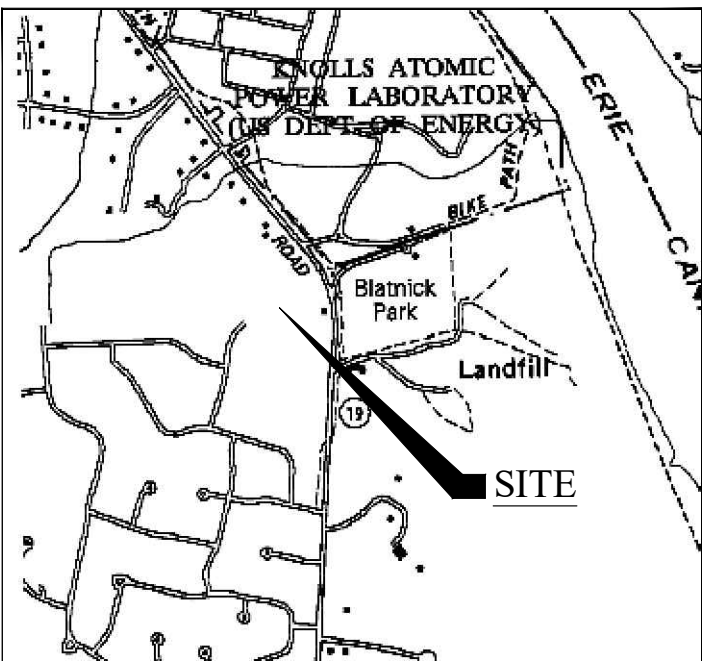
MAINTENANCE OF EROSION CONTROL MEASURES:
THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS, TO ASSURE PROPER FUNCTION. SEDIMENT BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED APPROPRIATELY. EROSION CONTROL MEASURES SHALL BE APPLIED TO NEWLY SEEDER AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:
SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 3 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER. THE REPLACEMENT SHALL BE THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, EROSION CONTROL MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

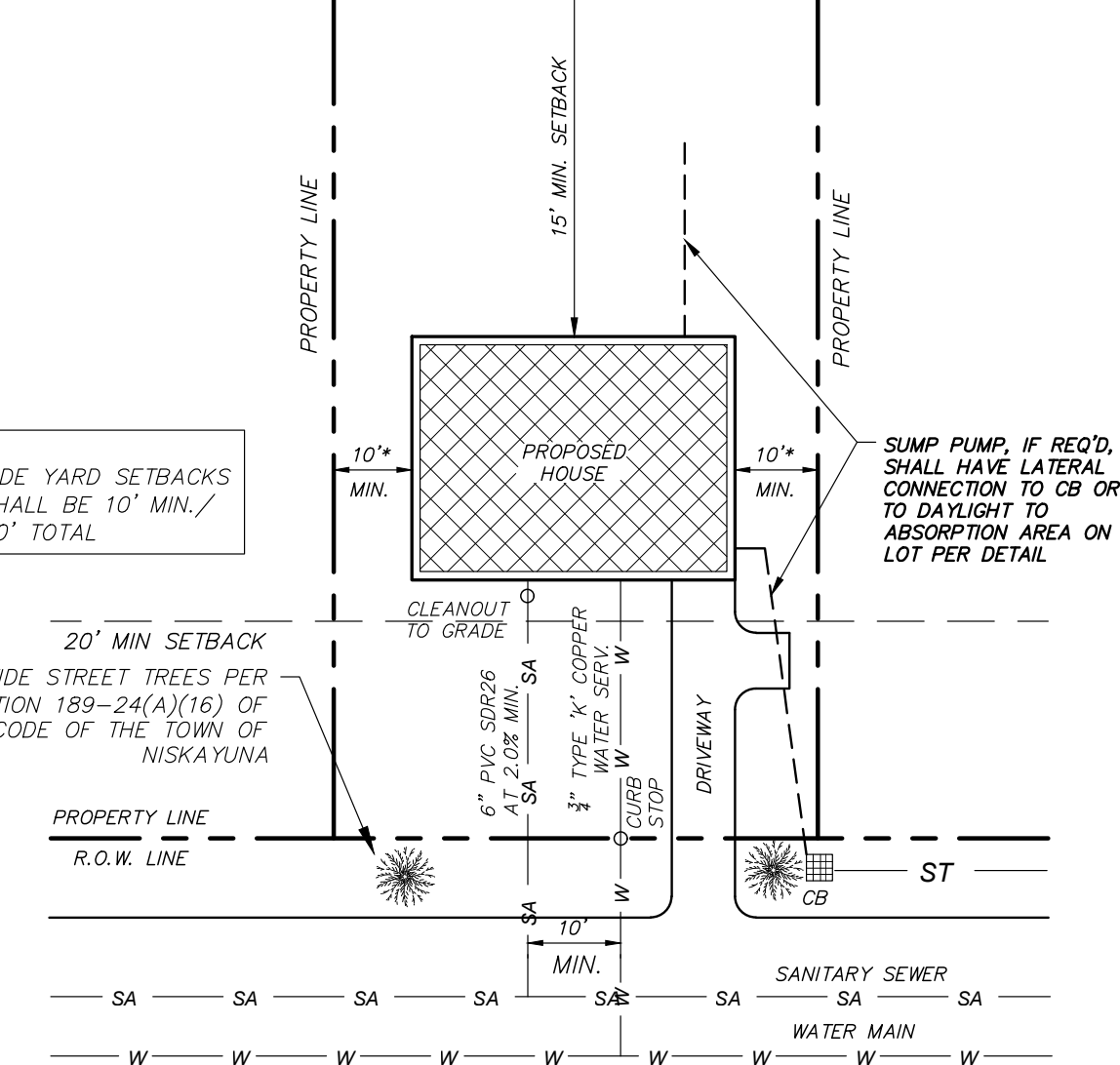
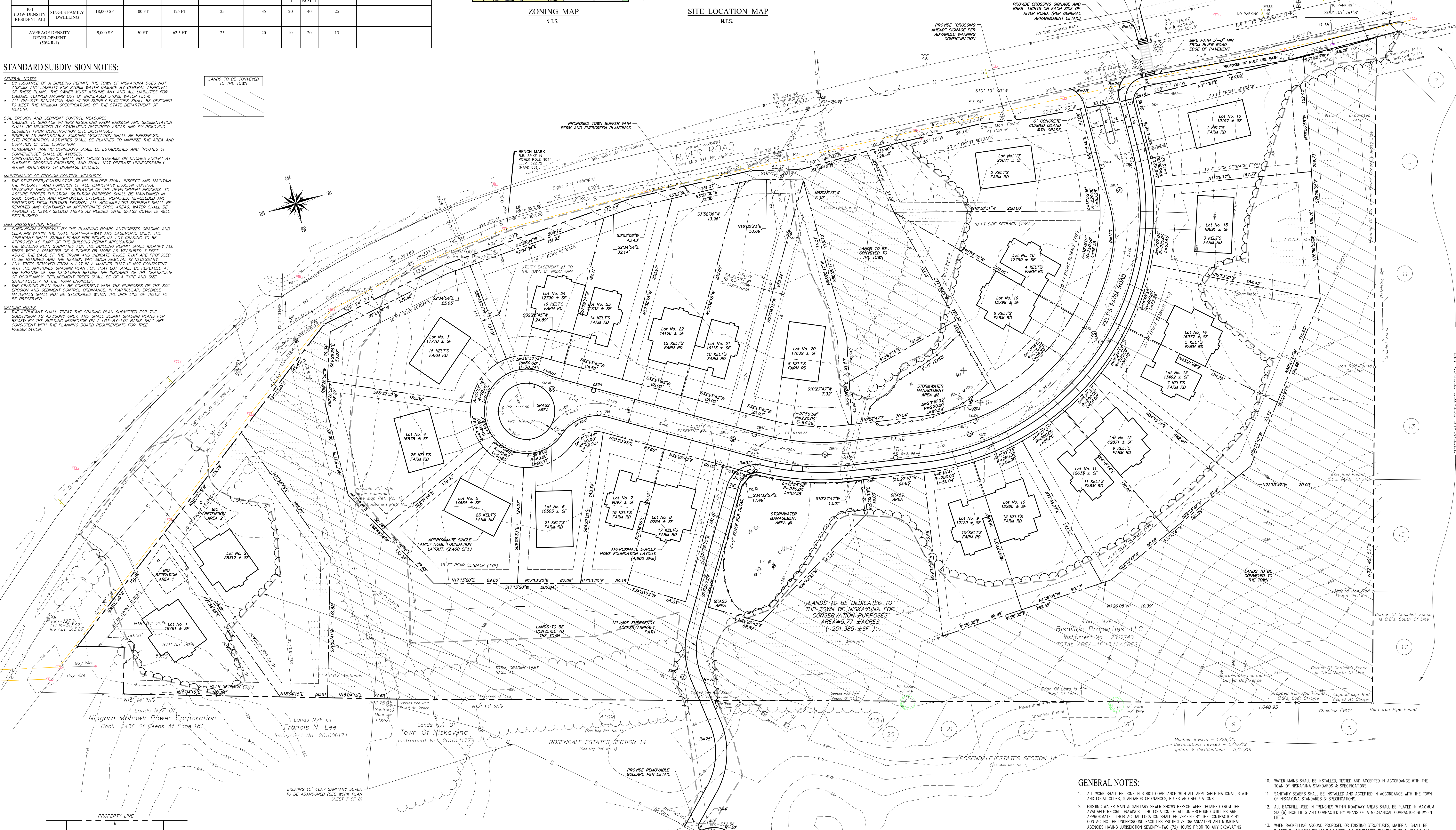
GRADING NOTES:
THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.



ZONING MAP
N.T.S.



SITE LOCATION MAP
N.T.S.



AVERAGE DENSITY RESIDENTIAL (R-1)
TYPICAL LOT LAYOUT

Line #/Curve #	Length	Bearing/Deflection	Radius
C1	10.05	9.59	60.00
C2	10.05	9.59	60.00
L1	194.84	S57°36'14.55"E	
L2	57.18	S80°15'05.41"E	
L3	25.15	S16°02'23.11"W	
L4	26.97	S80°15'05.41"E	
L5	229.81	N57°36'14.55"W	
L6	12.50	N32°23'45.45"E	
L7	32.46	S80°15'05.41"E	
L8	199.85	S57°36'14.55"E	
L9	12.50	N32°23'45.45"E	
L10	127.17	N57°36'14.55"W	
L11	127.44	S61°17'36.75"E	
L12	8.20	S32°23'45.45"W	
L13	108.14	N85°46'31.32"E	
L14	10.00	S2°34'03.62"E	
L15	107.01	S85°46'31.32"W	
L16	10.00	S2°34'03.62"E	
L17	107.58	S85°46'31.32"W	

MAP NOTES:

1. PORTIONS OF BOUNDARY EVIDENCE AND PLANNING INFORMATION SHOWN HEREON FIELD LOCATED BY ADVANCE ENGINEERING & SURVEYING, PLLC, FROM A MARCH 11, 2001 FIELD SURVEY. REMAINING PORTIONS AND TOPOGRAPHY PROVIDED BY GILBERT WANGSLEDER LAND SURVEYOR, PLLC.

2. TAX MAP DESIGNATION: 410-1-91

MAP REFERENCE:

1. "SURVEY OF LANDS OF WARREN & WARE KELTS TO BE CONVEYED TO BISAILLON PROPERTIES, LLC, TOWN OF NISKAYUNA, SCHOENECTADY COUNTY, NEW YORK, MAP NUMBER 15-22-98, DATED NOVEMBER 25, 2015, AS PREPARED BY GILBERT WANGSLEDER LAND SURVEYOR, PLLC.
2. "WETLAND DELINEATION MAP, TWP# 41-1-91, TOWN OF NISKAYUNA, SCHOENECTADY COUNTY, NEW YORK, MAP NUMBER 15-22, DATED AUGUST 14, 2016, AS PREPARED BY GILBERT WANGSLEDER LAND SURVEYOR, PLLC.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, STANDARDS ORDINANCES, RULES AND REGULATIONS.
- EXISTING WATER MAIN & SANITARY SEWER SHOWN HEREON WERE OBTAINED FROM THE AVAILABLE RECORD DRAWINGS. THE LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. THEIR ACTUAL LOCATION SHALL BE VERIFIED BY THE CONTRACTOR BY CONTACTING THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION AND MUNICIPAL AGENCIES HAVING JURISDICTION SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATING AND/OR CONSTRUCTION. (1-800-REL-7852)
- CONSTRUCTION OF ALL PROPOSED UTILITIES MUST BEGIN AT ITS POINT OF CONNECTION TO THE EXISTING UTILITY OR AT THE LOWEST POINT IN THE SYSTEM. RIMS, GRATES, INVERTS, CLEARANCES AND LOCATION AT CROSSINGS MUST BE VERIFIED PRIOR TO THE BEGINNING OF CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF ANY INSTALLATION TO BE ABLE TO PROVIDE OBSERVATION AS REQUIRED. THE CONTRACTOR MUST KEEP A RECORD OF ALL UNDERGROUND UTILITIES INSTALLED AND/OR CONSTRUCTION. (1-800-REL-7852)
- WHEN CROSSING EXISTING UTILITIES WITH PROPOSED UTILITIES, CONTRACTOR SHALL COORDINATE SUCH CROSSINGS WITH THE RESPECTIVE MUNICIPAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE EXISTING UTILITIES.
- ALL PROPOSED UTILITIES AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL MUNICIPALITIES CODES AND REGULATIONS GOVERNING THE INSTALLATION OF SUCH UTILITIES.
- THE ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT, AS INTENDED AND INTERPRETED BY THE ENGINEER.
- MISCELLANEOUS WORK NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATIOING, BLOODING, TRIMMING, ETC., SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE AND FUNCTIONAL.
- ALL DISTURBED AREAS OUTSIDE OF PAVED AREA TO RECEIVE TOPSOIL AND SEED, EXCEPT AS OTHERWISE NOTED.
- THE CONTRACTOR SHALL:
 - VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.
 - NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
 - EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS OF THE WORK.
 - PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.
 - HOLD THE OWNER HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON THE SITE.
- WATER MAINS SHALL BE INSTALLED, TESTED AND ACCEPTED IN ACCORDANCE WITH THE TOWN OF NISKAYUNA STANDARDS & SPECIFICATIONS.
- SANITARY SEWERS SHALL BE INSTALLED AND ACCEPTED IN ACCORDANCE WITH THE TOWN OF NISKAYUNA STANDARDS & SPECIFICATIONS.
- ALL BACKFILL USED IN TRENCHES WITHIN ROADWAY AREAS SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
- WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
- CONTRACTOR SHALL ADJUST RIM/TOE OF FRAME ELEVATIONS TO PROPOSED FINISHED GRADES FOR ALL UTILITIES LOCATED WITHIN UNITS OF PROPOSED WORK.
- NO SUMP PUMP, CELLAR OR FOOTING DRAINS SHALL BE CONNECTED TO ANY SANITARY SEWER.
- SEWER MAINS IN RELATION TO WATER MAINS WHERE POSSIBLE SEWERS SHALL BE LAYED AT LEAST 10.0 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE A MINIMUM OF 18 INCHES BETWEEN THE SEWER AND WATER MAIN CROSSINGS.
- CONTRACTOR MUST PROTECT ALL SURFACE WATERS FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES INCLUDING, BUT NOT LIMITED TO PLACING BAY BALES AND SILTATION FENCING AROUND WORK.
- ALL WATER MAIN PIPE TO BE USED MUST MEET ALL APPROPRIATE AWWA STANDARDS.
- CONTRACTOR IS ADVISED THAT CONSTRUCTION PROCEDURE AND MATERIALS TO BE USED FOR ALL WORK WILL HAVE TO COMPLY WITH THE WRITTEN SPECIFICATIONS AND STANDARDS OF THE VARIOUS TOWNS OF NISKAYUNA DEPARTMENTS INCLUDING HIGHWAY CONTRACTOR IS RESPONSIBLE FOR SECURING AND COMPLYING WITH THOSE RESPECTIVE WRITTEN SPECIFICATIONS AND STANDARDS.
- REFER TO AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS FOR FOUNDATION DRAIN LOCATIONS, MECHANICAL, PLUMBING AND OTHER PERTINENT COMMENTS OF THE PROJECT.
- NOISE SHALL BE IN ACCORDANCE WITH TOWN OF NISKAYUNA CODE SECTION 142-3 AS FOLLOWS:
 - All construction activity, including but not limited to excavation, demolition, piling, construction, alteration or repair of any building, other than between 7:00 a.m. and 9:00 p.m. Monday through Friday and 8:00 a.m. to 8:00 p.m. on Saturday and Sunday, except in case of urgent necessity in the interest of public safety as determined by the Building Inspector, Highway Superintendent, Commissioner of Public Works, Chief of Police or Fire Chief or their designees.

OWNER/APPLICANT
BISAILLON PROPERTIES, LLC
2307 BERKLEY AVE
NISKAYUNA, NY 12309

MATTHEW KETTO
TOWN ENGINEER

KEVIN WALSH
CHAIRMAN OF THE PLANNING BOARD

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NICKOLAS COSTA, P.E.
E-MAIL: mcs@ae-engineering.com



SUBDIVISION PLAN
KELT'S FARM SUBDIVISION
ST. NO. 2538 RIVER ROAD
TOWN OF NISKAYUNA
COUNTY OF SCHOENECTADY
STATE OF NEW YORK
DATE: DECEMBER 13, 2019
SCALE: 1" = 40'

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HYDRO FRAME AND COVER (INCLUDED)

EQUIPMENT PERFORMANCE

The stormwater treatment unit shall adhere to the hydraulic parameters given in the chart below and provide the removal efficiencies and storage capacities as follows:

1. The treatment system shall not allow any suspended solids to pass through the stormwater runoff.
2. Peak Hydraulic Capacity: 8.0 cfs (227 m³).
3. Sediment Storage Capacity: 2.10 cu. yd. (1.58 cu. m).
4. Continuous Oil Storage Capacity: 2.0 gal. (0.018 m³).
5. Sediment shall be stored in a zone that is isolated from the main flow path and protected from resuspension by a floating weir.
6. For more product information including regulatory acceptances, please visit <http://www.hydroframe.com>.

NOTE: NOT FOR CONSTRUCTION. CONTACT HYDRO FOR SITE SPECIFIC DETAIL.

HydroFrame International

SECTION A-A

PIPE COUPLING REDUCER REQUIRED BY CONTRACTOR

OUTLET: 5.99 ft (1.78 m) (MINIMUM)

INLET: 4.38 ft (1.30 m)

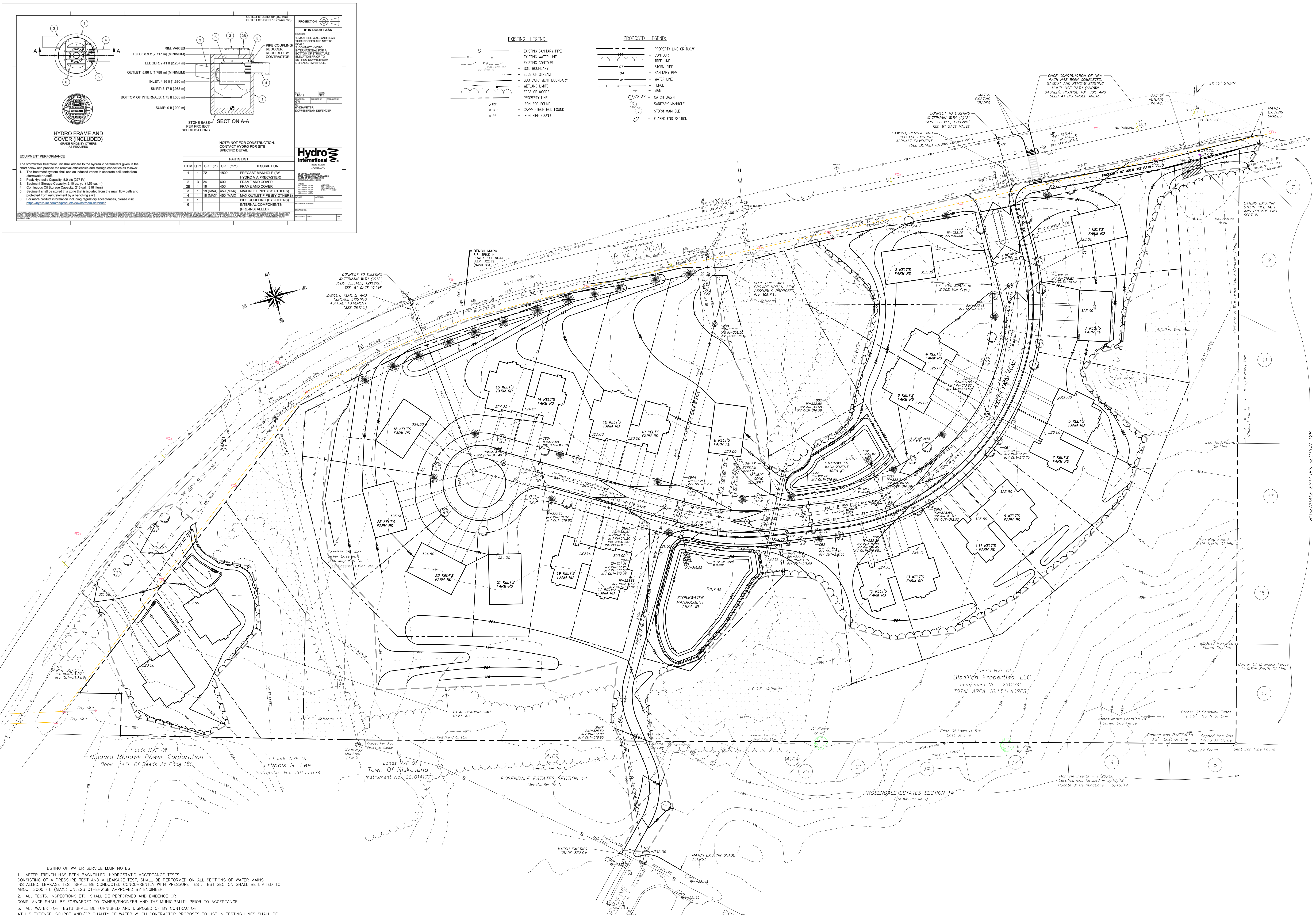
BOTTOM OF INTERNALS: 1.75 ft (0.53 m)

SUMP: 0 ft (0.00 m)

STONE BASE PER PROJECT SPECIFICATIONS

ITEM QTY SIZE (in) SIZE (mm) DESCRIPTION

1	1	72	1800	PRECAST MANHOLE (BY HYDROFRAME PRECAST)
2	3	24	600	FRAME AND COVER
3	1	18	450	FRAME AND COVER
4	1	18 (MAX)	450 (MAX)	MAX INLET PIPE (BY OTHERS)
5	1	18 (MAX)	450 (MAX)	MAX OUTLET PIPE (BY OTHERS)
6	1	18 (MAX)	450 (MAX)	PIPE COUPLING (BY OTHERS)
7	1	18 (MAX)	450 (MAX)	INTERNAL COMPONENTS (PRE-INSTALLED)



TESTING OF WATER SERVICE MAIN NOTES

1. AFTER TRENCH HAS BEEN BACKFILLED, HYDROSTATIC ACCEPTANCE TESTS, CONSISTING OF A PRESSURE TEST AND A LEAKAGE TEST, SHALL BE PERFORMED ON ALL SECTIONS OF WATER MAINS INSTALLED. LEAKAGE TEST SHALL BE CONDUCTED CONCURRENTLY WITH PRESSURE TEST. TEST SECTION SHALL BE LIMITED TO ABOUT 2000 FT. (MAX.) UNLESS OTHERWISE APPROVED BY ENGINEER.
2. ALL TESTS, INSPECTIONS ETC. SHALL BE PERFORMED AND EVIDENCE OR COMPLIANCE SHALL BE FORWARDED TO OWNER/ENGINEER AND THE MUNICIPALITY PRIOR TO ACCEPTANCE.
3. ALL WATER FOR TESTS SHALL BE FURNISHED AND DISPOSED OF BY CONTRACTOR AT HIS EXPENSE. SOURCE AND/OR QUALITY OF WATER WHICH CONTRACTOR PROPOSES TO USE IN TESTING LINES SHALL BE ACCEPTABLE TO ENGINEER.
4. HYDROSTATIC PRESUMPTIVE TESTS MAY BE PERFORMED WHEN SYSTEM IS PARTIALLY BACKFILLED TO SIMPLY CHECK WORK, BUT ACCEPTANCE OF SYSTEM SHALL BE BASED ON HYDROSTATIC TESTS RUN ON FINISHED SYSTEM AFTER IT HAS BEEN COMPLETELY BACKFILLED. ALL HYDROSTATIC TESTS SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 4 OF ANWA STANDARD 0200-83, AS ADJUDICATED HEREIN.
5. FOR THE PRESSURE TEST, SYSTEM SHALL BE PRESSURIZED AND MAINTAINED AT A MINIMUM OF 150 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON ELEVATION OF LOWEST POINT IN SECTION BEING TESTED AND CORRECTED TO ELEVATION OF GAUGE. PROVISIONS SHALL BE MADE TO RELIEVE AIR TRAPPED AT HIGH POINTS IN SYSTEM THROUGH ADJACENT HYDRANTS OR THROUGH TAPS AND CORPORATION STOPS INSTALLED FOR THIS PURPOSE BY CONTRACTOR. AFTER THIS PRESSURE HAS BEEN MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS, THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.
6. LEAKAGE TEST SHALL BE PERFORMED CONCURRENTLY USING A MINIMUM TEST PRESSURE OF 150 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON ELEVATION OF LOWEST POINT IN SECTION UNDER TEST AND CORRECTED TO ELEVATION OF GAUGE. LEAKAGE TEST DURATION SHALL BE A MIN. OF 2 HOURS AFTER LEAKAGE RATE HAS STABILIZED.
7. MAXIMUM ALLOWABLE LEAKAGE SHALL BE AS SHOWN IN THE FOLLOWING TABLE:
ALLOWABLE LEAKAGE PER 100 FT. OF PIPELINE
AVG. TEST PRESSURE NOMINAL PIPE DIAMETER-IN.
PSI (BAR)

	6	8
250 (17)	0.71	0.95
225 (16)	0.68	0.90
200 (14)	0.64	0.85
175 (12)	0.59	0.80
150 (10)	0.55	0.74
125 (9)	0.50	0.67
100 (7)	0.45	0.60

8. IF LEAKAGE IN SYSTEM EXCEEDS SPECIFIED AMOUNT, CONTRACTOR SHALL (AT NO ADDED COST TO OWNER) LOCATE, REPAIR, AND/OR REPLACE DEFECT(S) AND RETEST PIPING SYSTEM.

SITE TREE PLANTING SCHEDULE

PLANT (COMMON)	PLANT (BOTANICAL)	SYMBOL	SIZE	QUANTITY	SPACING
NORTHERN RED OAK	QUERCUS BOREALIS RUBRA		2.5" CAL @ 5'-0"	16	AS SHOWN
NORWAY MAPLE	ACER PLATANOIDES		2.5" CAL @ 5'-0"	19	AS SHOWN
THORNLESS HONEY LOCUST	GLEDITSIA TRACANTHOS INERMIS		2.5" CAL @ 5'-0"	14	AS SHOWN
WHITE SPRUCE	PICEA GLAUBA		5" - 6" HEIGHT	12	AS SHOWN

EROSION & GRADING NOTES:

1. AREAS TO BE FILLED WILL BE CLEARED & GRUBBED. TOPSOIL WILL BE STOCKPILED FOR RE-USE.
2. FILL WILL BE PLACED IN LAYERS NOT TO EXCEED 9" & COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
3. FROZEN MATERIALS OR SOFT, HIGHLY COMPRESSIBLE MATERIALS WILL NOT BE USED AS FILL.
4. FILL WILL NOT BE PLACED ON FROZEN SURFACE.
5. FILLING WILL BE COMPLETED AS A CONTINUOUS OPERATION.
6. AS SOON AS FINAL GRADES ARE ACHIEVED, THE AREAS WILL BE STABILIZED.
7. SEED & MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
8. CONTRACTOR MUST PROTECT ALL SURFACE WATER FROM SELECTION DURING CONSTRUCTION WITH APPROPRIATE MEASURES, INCLUDING BUT NOT LIMITED TO PLACING SELECTION TENDING AROUND THE WORK AREA.
9. ANY SOILS TRACKED OUT INTO PUBLIC ROADS WILL BE SWEEP UP IMMEDIATELY.
10. A CONCRETE WASHOUT AREA MUST BE DIG BEFORE ANY POURING IS TO TAKE PLACE.
11. ANY PUMPING THAT IS TO BE DONE ON SITE MUST BE RUN THROUGH A FILTER AND/OR STONE.
12. A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
13. ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
14. ALL LAWN AREAS SHALL BE PLANTED BY HYDROSEEDING METHODS AND IF IT IS COMPLETED DURING THE WINTER IT SHALL BE PROTECTED WITH EROSION BLANKETS.
15. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

SOIL RESTORATION NOTES:

ALL DISTURBED LAWN AREAS OF THE SITE AND THE STORMWATER MANAGEMENT AREA SHALL BE RESTORED AS FOLLOWS:

1. BRING SUBSOIL TO FINAL GRADE MINUS 6 INCHES.
2. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
3. TILL COMPOST INTO SUBSOIL TO A DEPTH OF 12 INCHES CIRCULATING AIR AND COMPOST INTO THE SUBSOIL.
4. ROCK-POCK ALL UPLIFTED STONE/ROCK MATERIALS OF 4 INCHES AND LARGER AND REMOVE FROM THE SITE.
5. APPLY TOPSOIL TO A DEPTH OF 6 INCHES, SEED AND MULCH.
6. RE-MEDIATED SOIL SHOULD ALLOW 12 INCHES OF PENETRATION OF A 3/8" DIAMETER ROD INTO THE SOIL BY USING ONLY FOOT WIDTH.
7. APPLY FILL SOIL RESTORATION PER NYSDC PUBLICATION ENTITLED "DEEP RIPPING AND DE-COMPACTION, DEC 2008".

OWNER/APPLICANT
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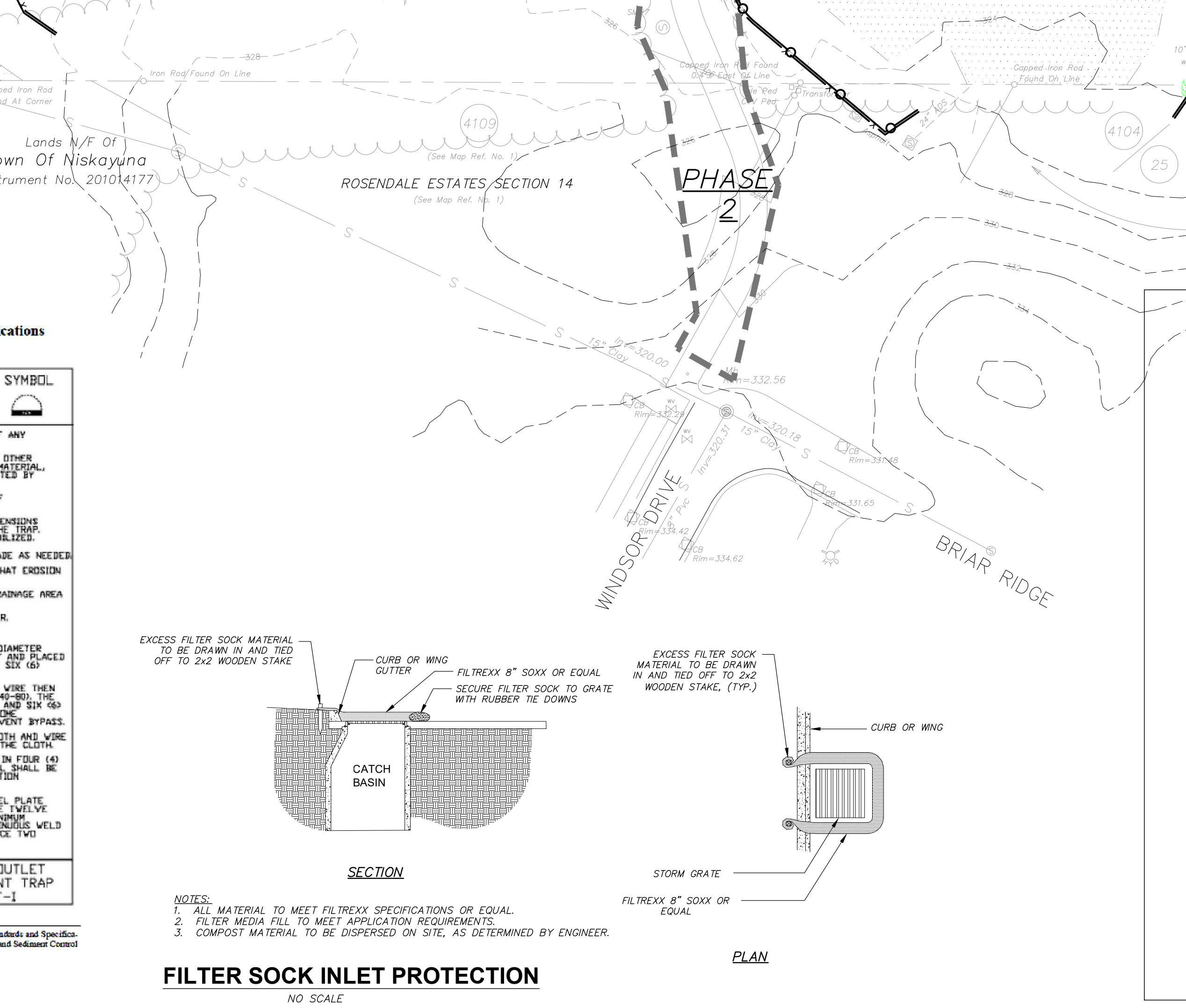
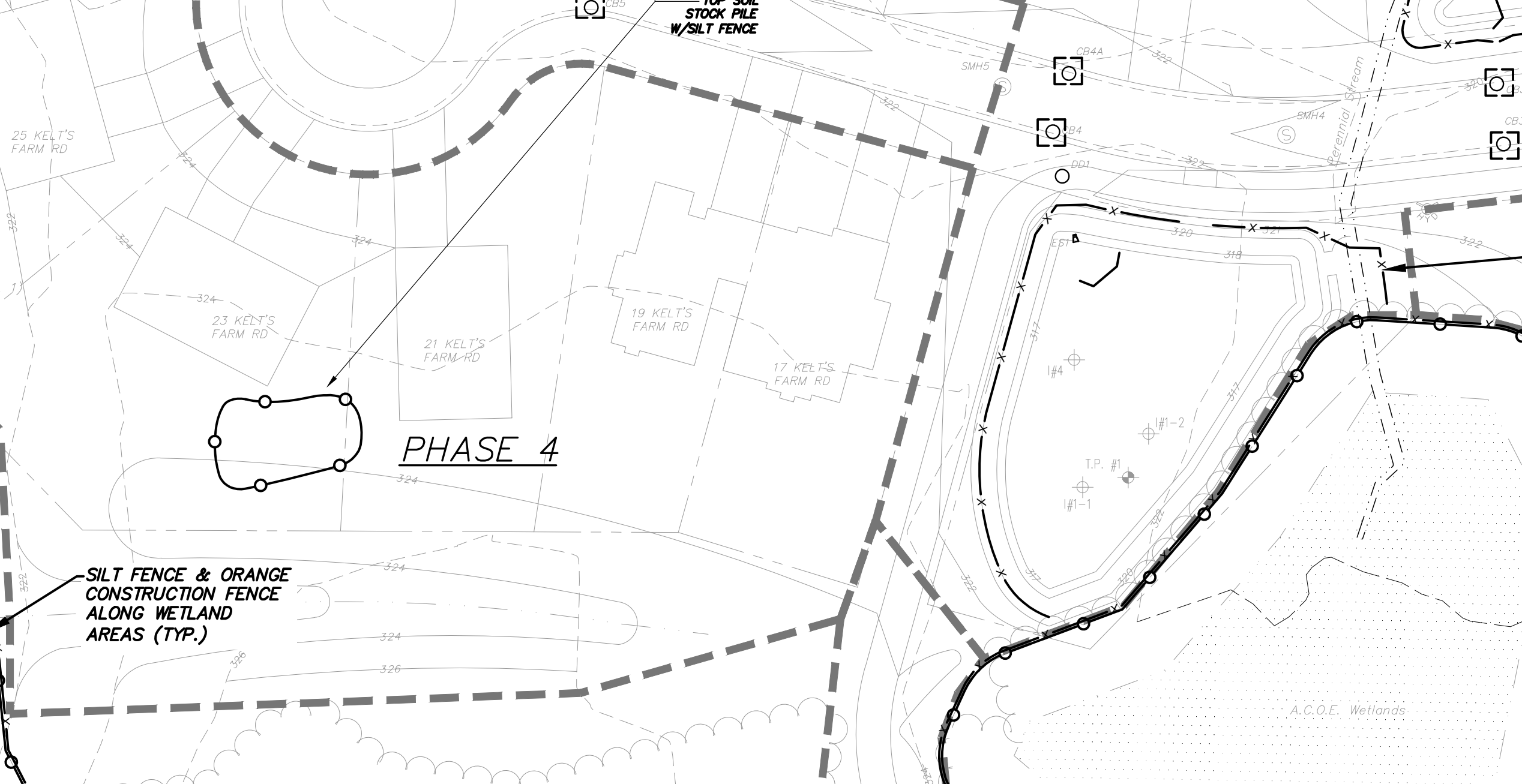
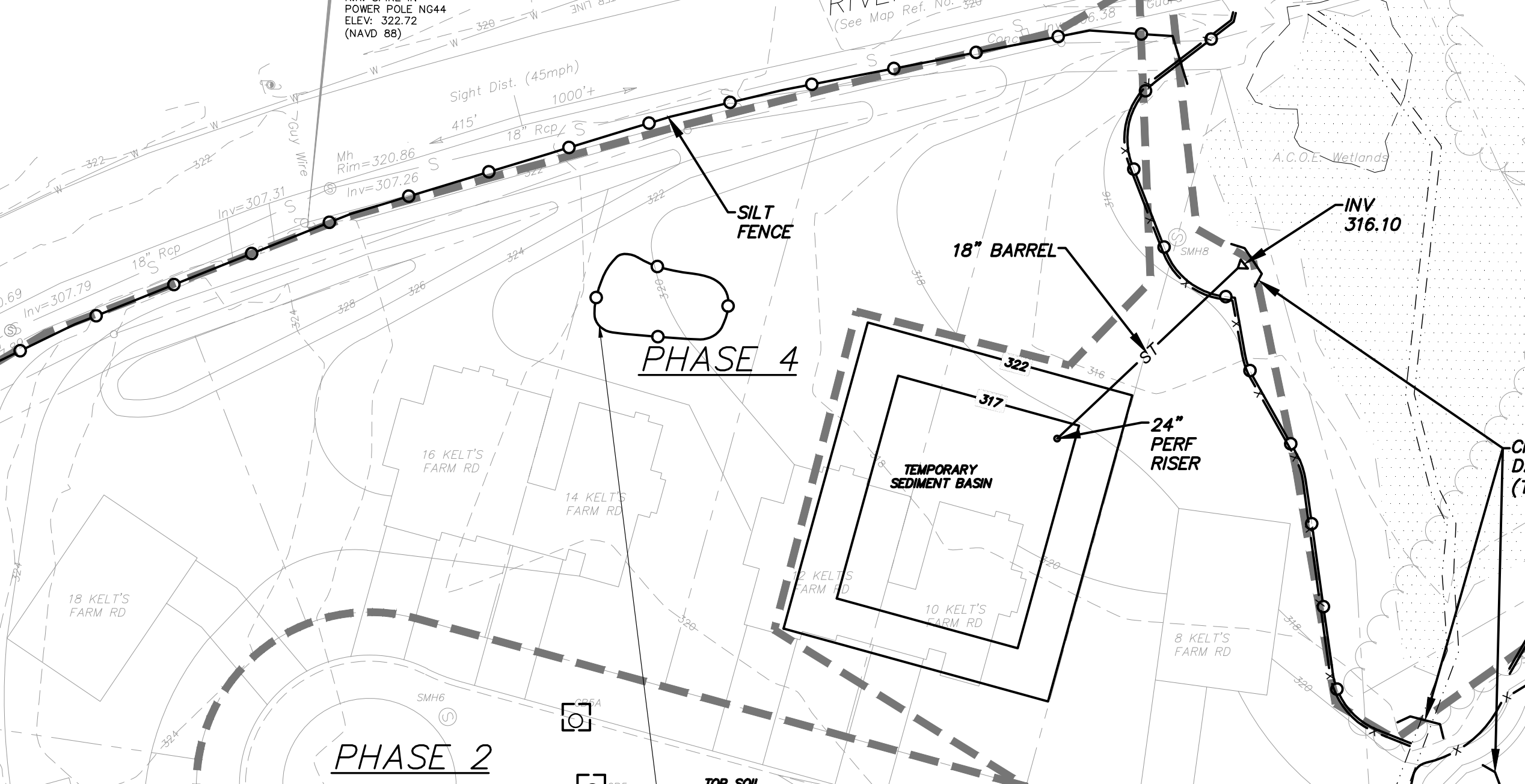
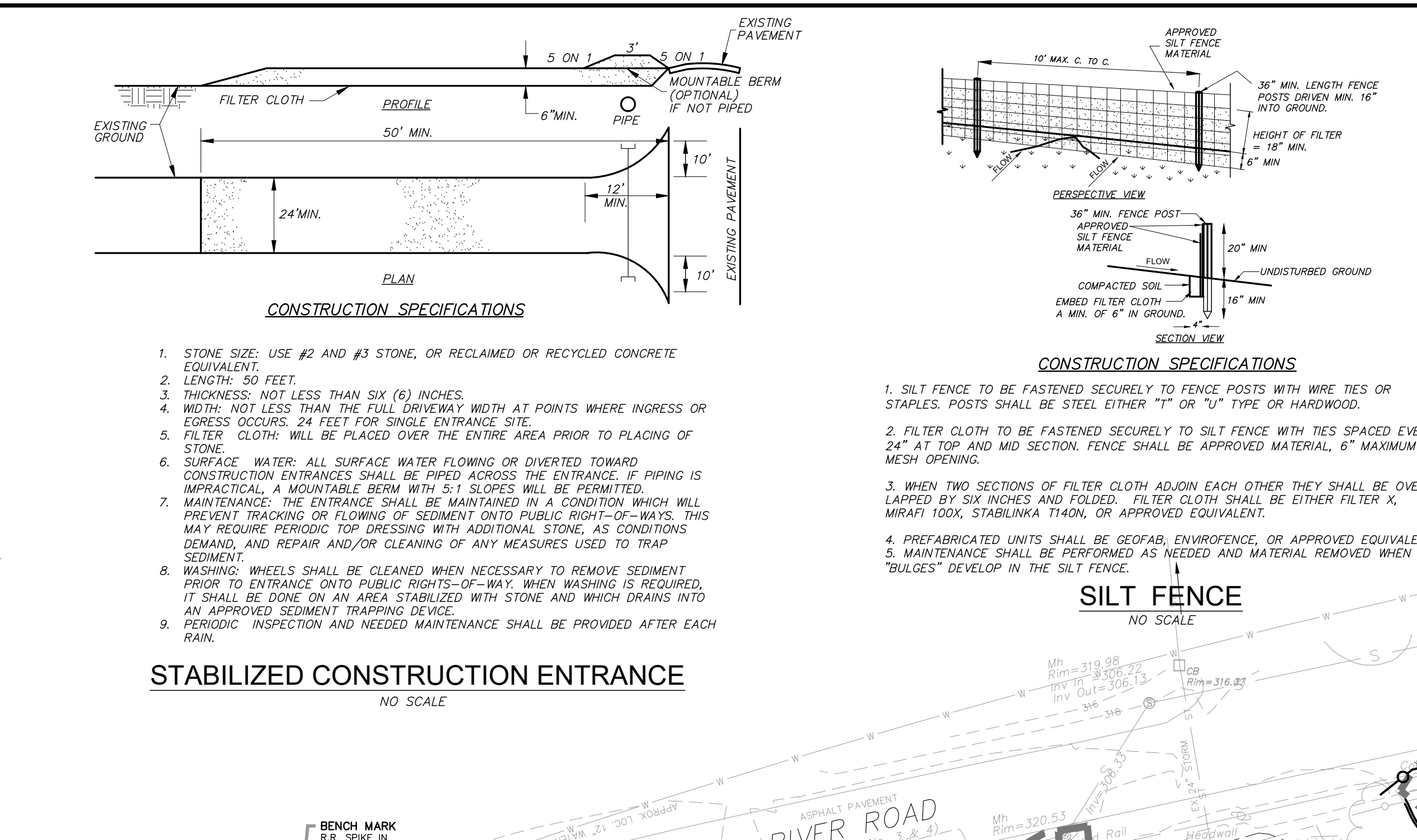
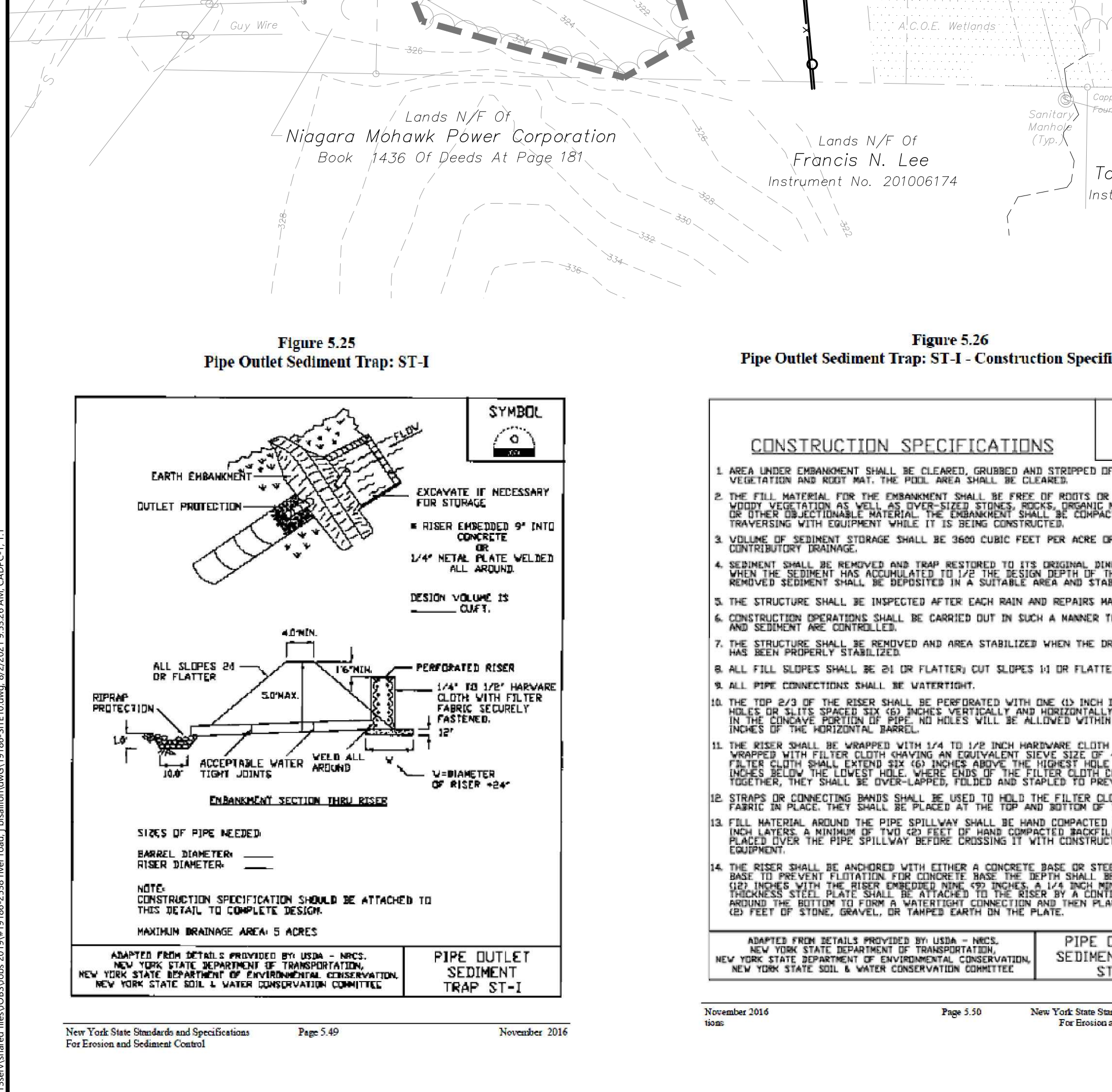
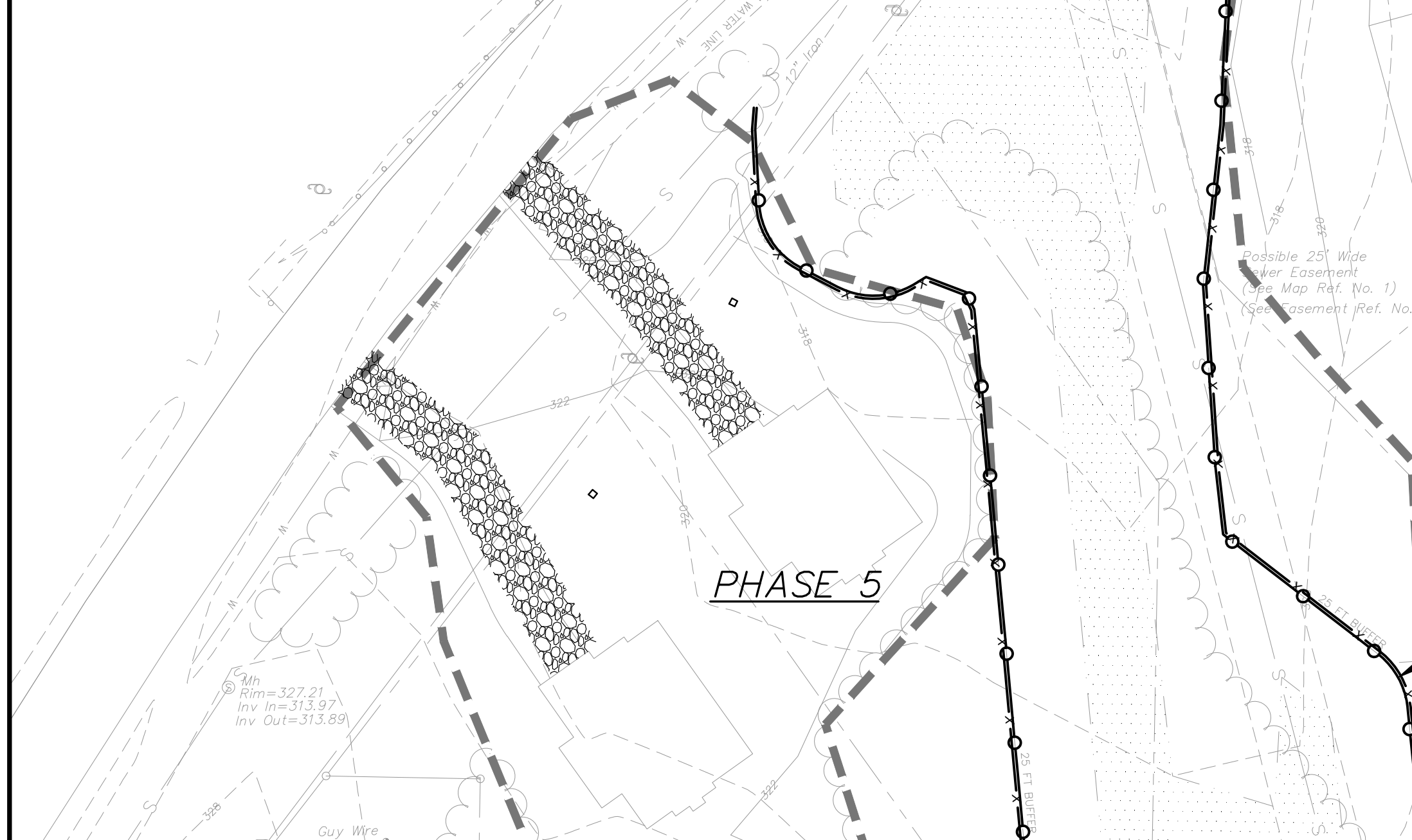
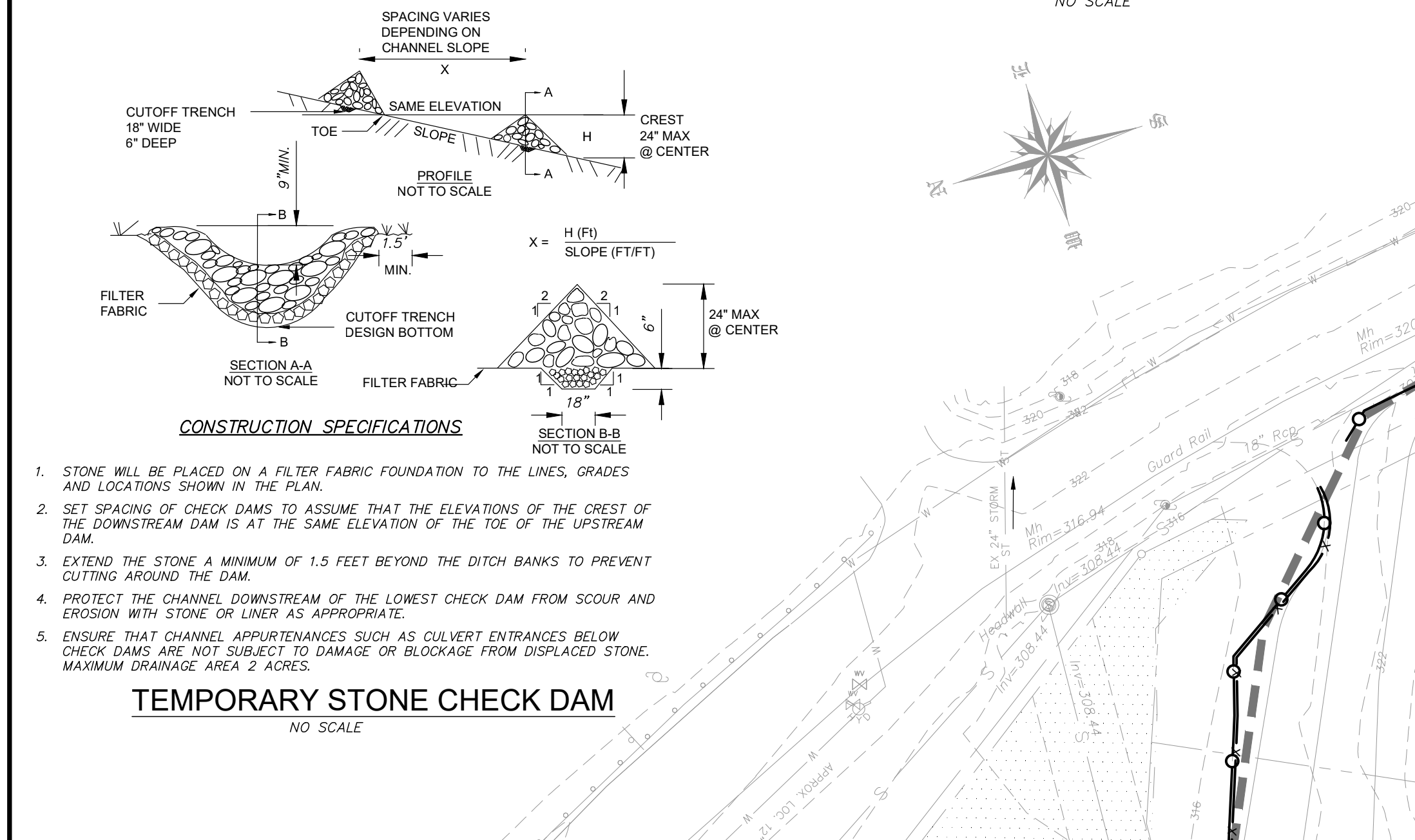
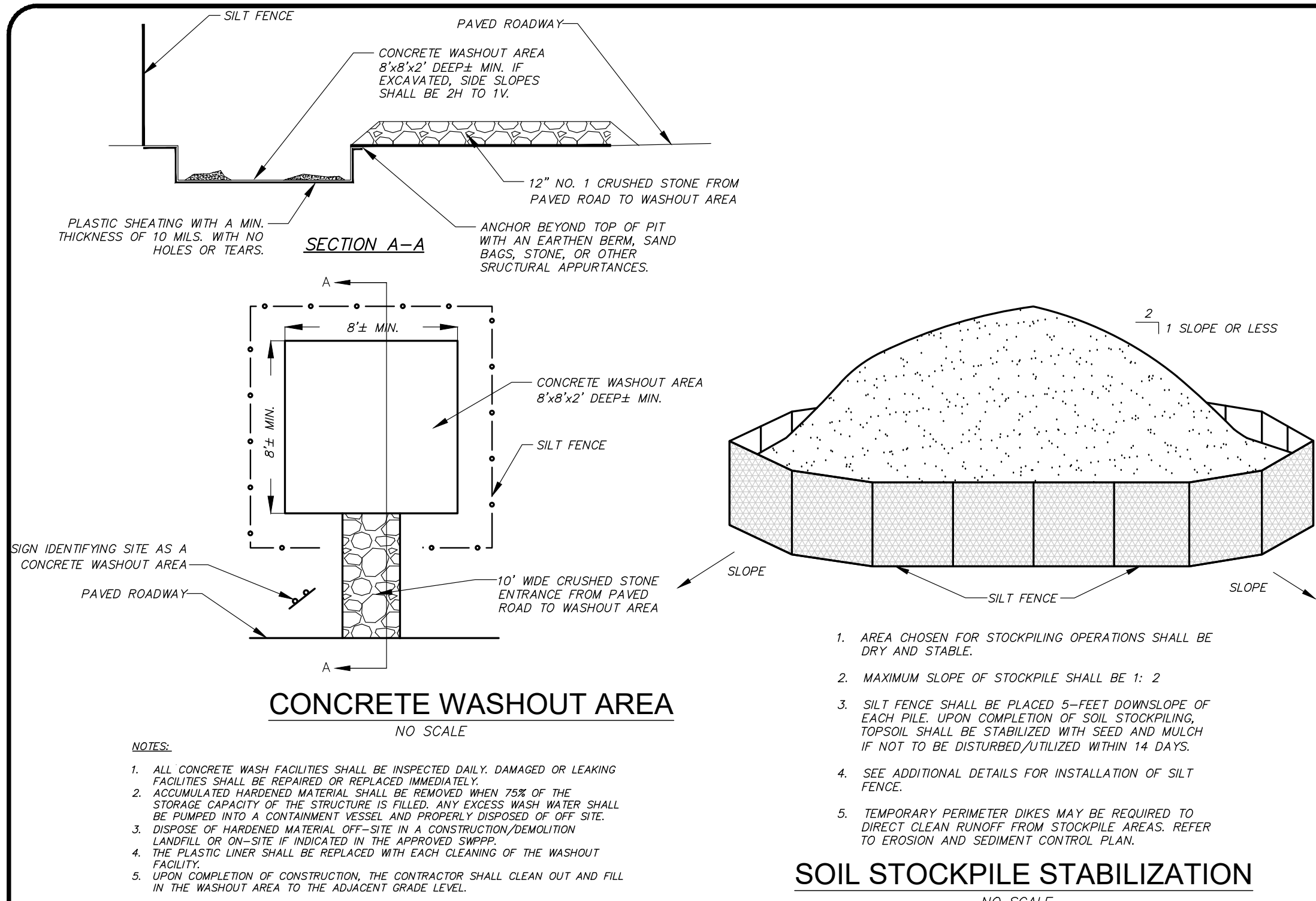
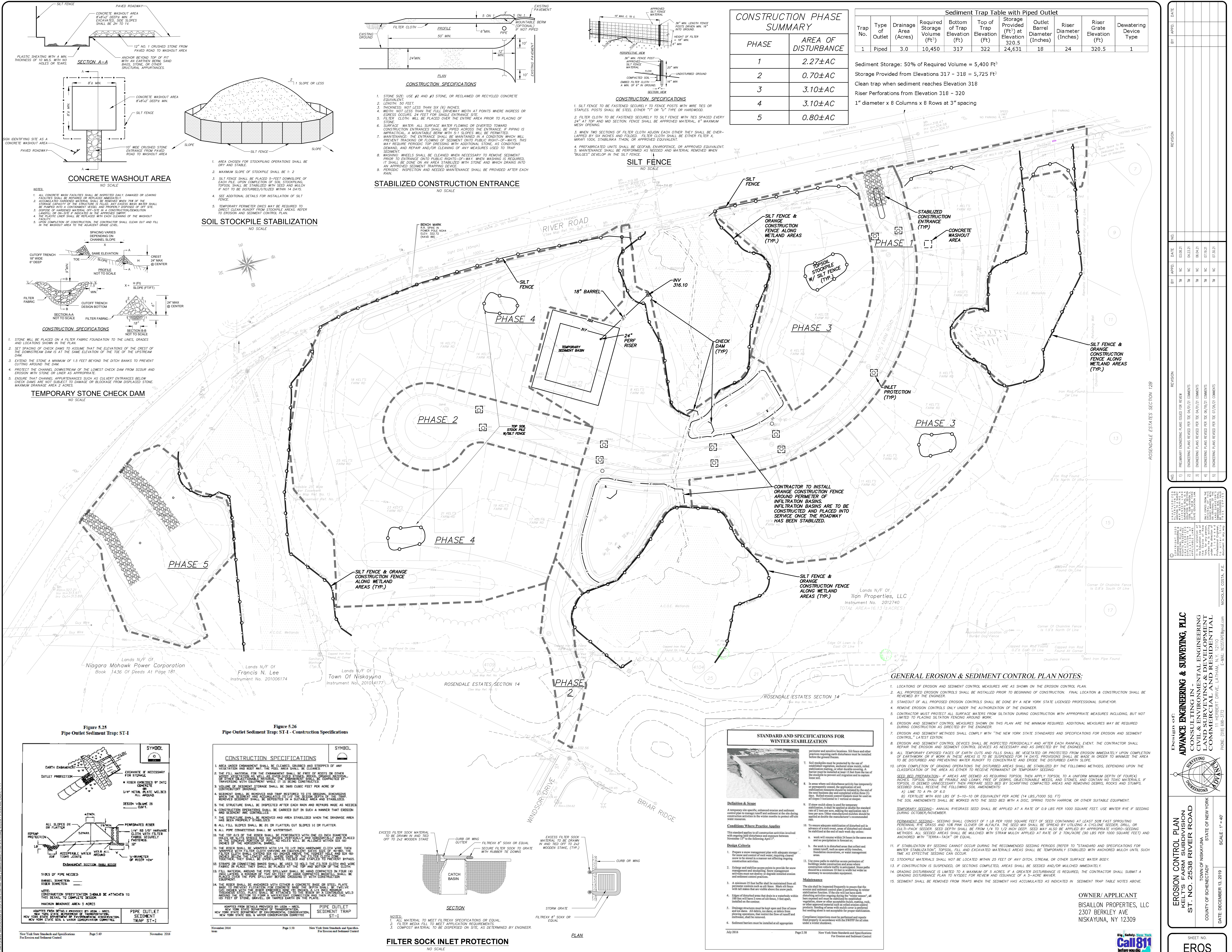
GRADING AND UTILITY PLAN
KELT'S FARM SUBDIVISION
ST. NO. 2538 RIVER ROAD
TOWN OF NISKAYUNA
COUNTY OF SCHENECTADY
STATE OF NEW YORK

DATE: DECEMBER 13, 2019
SCALE: 1" = 40'

SHEET NO.
GRD
4 OF 9 19166-SITE10

REVISION

NO.	DATE	BY	APPD.	NO.	DATE	BY	APPD.
1	03.08.21	TM	NC	1	03.08.21	TM	NC
2	06.04.21	TM	NC	2	06.04.21	TM	NC
3	07.02.21	TM	NC	3	07.02.21	TM	NC
4	07.02.21	TM	NC	4	07.02.21	TM	NC
5	07.02.21	TM	NC	5	07.02.21	TM	NC



CONSTRUCTION PHASE SUMMARY	
PHASE	AREA OF DISTURBANCE
1	2.27±AC
2	0.70±AC
3	3.10±AC
4	3.10±AC
5	0.80±AC

Sediment Trap Table with Piped Outlet										
Trap No.	Type of Outlet	Drainage Area (Acres)	Required Storage Volume (Ft³)	Bottom of Trap Elevation (Ft)	Top of Trap Elevation (Ft)	Storage Provided (Ft³) at Elevation 320.5	Outlet Barrel Diameter (Inches)	Riser Diameter (Inches)	Riser Grate Elevation (Ft)	Dewatering Device Type
1	Piped	3.0	10,450	317	322	24,631	18	24	320.5	1

Sediment Storage: 50% of Required Volume = 5,400 Ft³
 Storage Provided from Elevations 317 - 318 = 5,725 Ft³
 Clean trap when sediment reaches Elevation 318
 Riser Perforations from Elevation 318 - 320
 1" diameter x 8 Columns x 8 Rows at 3" spacing

The site plan illustrates the construction area and its surroundings. Key features include:

- Construction Phases:** Indicated by different line styles and patterns along the site boundary.
- Silt Fence:** A line of circular markers representing the silt fence location.
- Silt Fence & Orange Construction:** A specific area marked for silt fence and orange construction.
- Stabilized Construction Entrance (TIP):** A designated area for the stabilized construction entrance.
- Trap 1:** A rectangular area representing the sediment trap, with a note indicating it is "50% of Required Volume = 5,400 Ft³".
- Site Features:** Various other features are labeled, including "EXISTING KIPPAH FARM", "NO PARKING", "SPEED LIMIT 15", "1 HELPS FARM RD", "Along Road", "Exposed Area", "Open Space to be Dedicated to the Town of Kippan", "Proposed 10' Multi-Use Path", "1' Helix Farm Rd", "1' Helix

GENERAL EROSION & SEDIMENT CONTROL PLAN NOTES:

- LOCATIONS OF EROSION AND SEDIMENT CONTROL MEASURES ARE AS SHOWN ON THE EROSION CONTROL PLAN.
- ALL PROPOSED EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION & CONSTRUCTION SHALL BE REVIEWED BY THE ENGINEER.
- STAFFING OF ALL PROPOSED EROSION CONTROLS SHALL BE DONE BY A NEW YORK STATE LICENSED PROFESSIONAL SURVEYOR.
- REMOVE EROSION CONTROLS ONLY UNDER THE AUTHORIZATION OF THE ENGINEER.
- CONTRACTOR MUST PROTECT ALL SURFACE WATERS FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES INCLUDING, BUT NOT LIMITED TO PLACING SILTATION FENCING AROUND WORK.
- EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- EROSION AND SEDIMENT METHODS SHALL COMPLY WITH "THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION.
- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAINFALL EVENT. THE CONTRACTOR SHALL REPAIR THE EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY AND AS DIRECTED BY THE ENGINEER.
- ALL TEMPORARY EXPOSED FACES OF EARTH CUTS AND FILLS SHALL BE VEGETATED OR PROTECTED FROM EROSION IMMEDIATELY UPON COMPLETION OF EARTHWORK OR IF WORK IN THESE AREAS IS TO BE SUSPENDED FOR 14 DAYS. PROVISIONS SHALL BE MADE IN ORDER TO MINIMIZE THE AREA TO BE DISTURBED AND PREVENTING WATER RUNOFF TO CONCENTRATE AND ERODE THE DISTURBED EARTH SURFACE.
- UPON COMPLETION OF GRADING OPERATIONS THE DISTURBED AREAS SHALL BE STABILIZED BY THE FOLLOWING METHODS, DEPENDING UPON THE CLASSIFICATION OF THE AREA AS EITHER TO RECEIVE PERMANENT OR TEMPORARY SEEDING:
 - SEED BED PREPARATION - IF AREAS ARE SEEMED AS REQUIRING TOPSOIL, THEN APPLY TOPSOIL TO A UNIFORM MINIMUM DEPTH OF FOUR(4) INCHES. TOPSOIL SHALL BE FRIABLE AND LOAMY, FREE OF DEBRIS, OBJECTS, UNDESIRABLE WEEDS, AND STONES, AND CONTAIN NO TOXIC MATERIALS. IF TOPSOIL IS DEEMED UNNECESSARY THEN PREPARE SEED BED BY SCARPING COMPACTED AREAS AND REMOVING DEBRIS, ROCKS AND STUMPS.
 - SEEDING - ALL SEEDS AREAS SHALL BE MULCHED WITH STRAW MULCH APPLIED AT RATE OF 2 TON/ACRE (90 LBS PER 1000 SQUARE FEET) AND ANCHORED WITH "TERRA-TACK" OR EQUIV.
 - SEEDING - ALL SEEDS AREAS SHALL BE MULCHED WITH STRAW MULCH APPLIED AT RATE OF 2 TON/ACRE (90 LBS PER 1000 SQUARE FEET) AND ANCHORED WITH "TERRA-TACK" OR EQUIV.
- TEMPORARY SEEDING - ANNUAL RYEGRASS SEED SHALL BE APPLIED AT A RATE OF 0.9 LBS PER 1000 SQUARE FEET. USE WINTER RYE IF SEEDING DURING OCTOBER/NOVEMBER.
- PERMANENT SEEDING - SEEDING SHALL CONSIST OF 1 LB PER 1000 SQUARE FEET OF SEED CONTAINING AT LEAST 50% FAST-SPROUTING PERENNIAL RYE GRASS AND 10% FINE FESCUE OR ALFALFA. THE SEED MIX SHALL BE SPREAD BY UTILIZING A CYCLOE SEEDER, DRILL, OR CULTI-PACK SEEDER. SEED DEPTH SHALL BE FROM 1/4 TO 1/2 INCH DEEP. SEED MAY ALSO BE APPLIED BY APPROPRIATE HYDRO-SEEDING METHODS. ALL SEEDS AREAS SHALL BE MULCHED WITH STRAW MULCH APPLIED AT RATE OF 2 TON/ACRE (90 LBS PER 1000 SQUARE FEET) AND ANCHORED WITH "TERRA-TACK" OR EQUIV.
- IF STABILIZATION BY SEEDING CANNOT OCCUR DURING THE RECOMMENDED SEEDING PERIODS (REFER TO "STANDARD AND SPECIFICATIONS FOR WINTER STABILIZATION"), TOPSOIL, FILL AND EXCAVATED MATERIALS AREAS SHALL BE TEMPORARILY STABILIZED WITH ANCHORED MULCH UNTIL SUCH TIME AS EFFECTIVE SEEDING CAN OCCUR.
- STOCKPILE MATERIALS SHALL NOT BE LOCATED WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.
- IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS SHALL BE SEED AND/OR MULCHED IMMEDIATELY.
- GRADING DISTURBANCE IS LIMITED TO A MAXIMUM OF 5 ACRES. IF A GREATER DISTURBANCE IS REQUIRED, THE CONTRACTOR SHALL SUBMIT A GRADING DISTURBANCE PLAN TO NYSED FOR REVIEW AND ISSUANCE OF A 5-ACRE WAIVER.
- SEDIMENT SHALL BE REMOVED FROM TRAPS WHEN THE SEDIMENT HAS ACCUMULATED AS INDICATED IN SEDIMENT TRAP TABLE NOTES ABOVE.

OWNER/APPLICANT
BISAILLON PROPERTIES, LLC
2307 BERKLEY AVE
NISKAYUNA, NY 12309

REVISION

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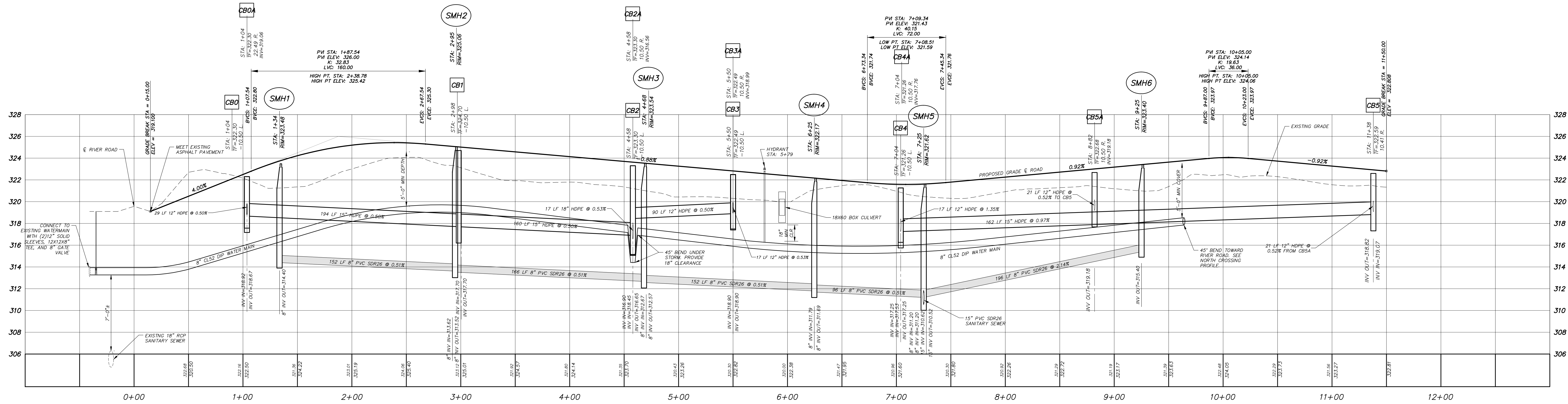
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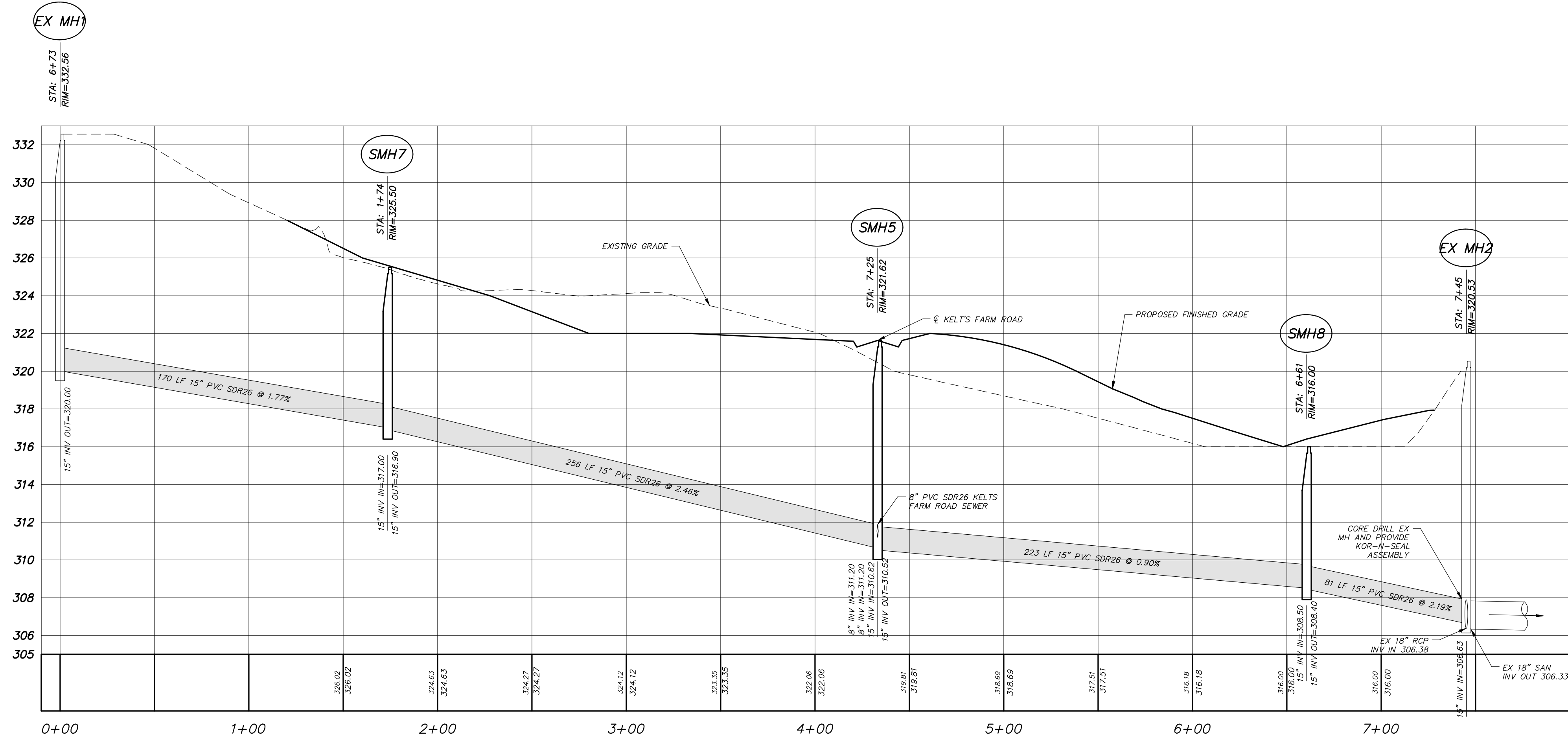
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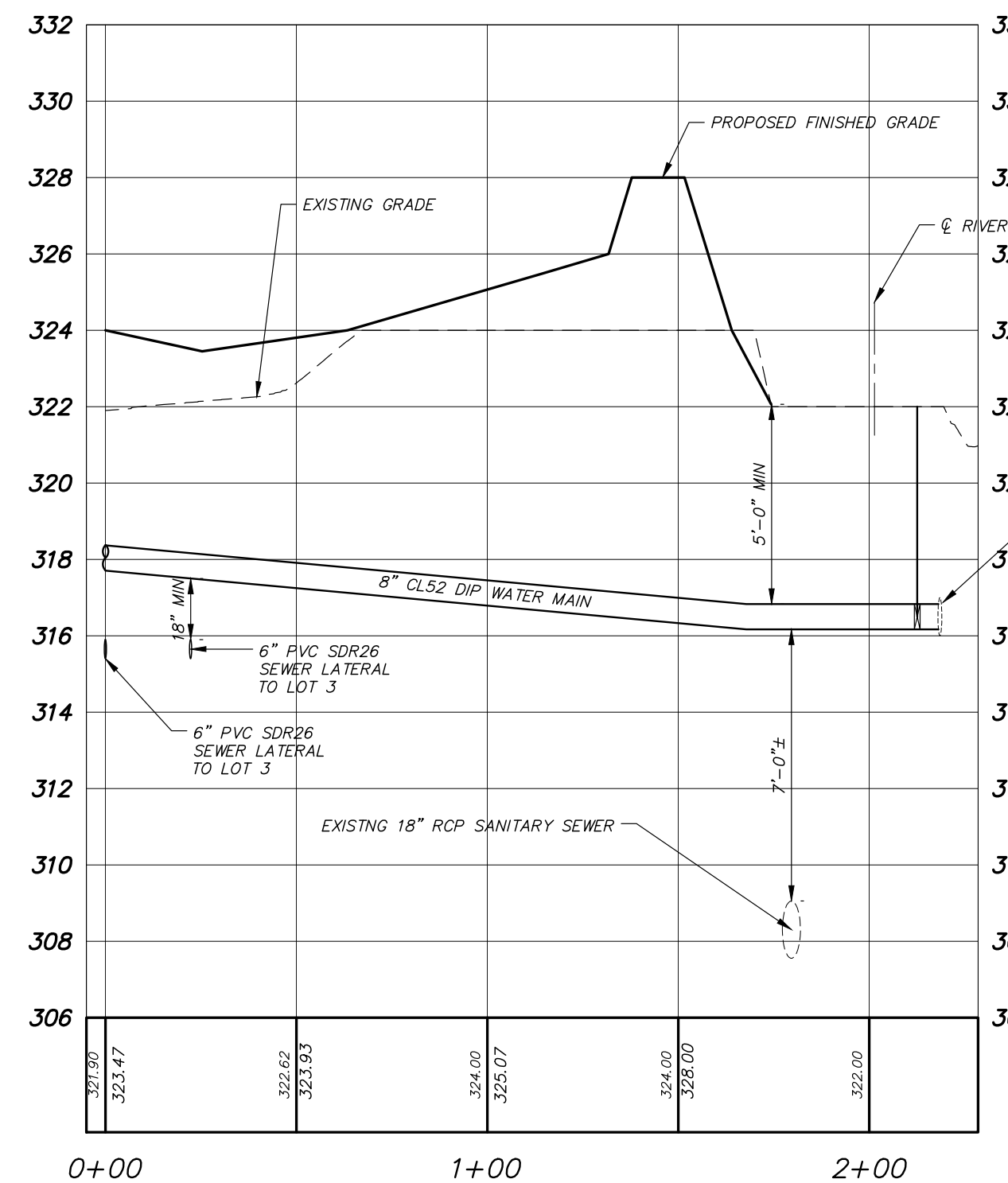
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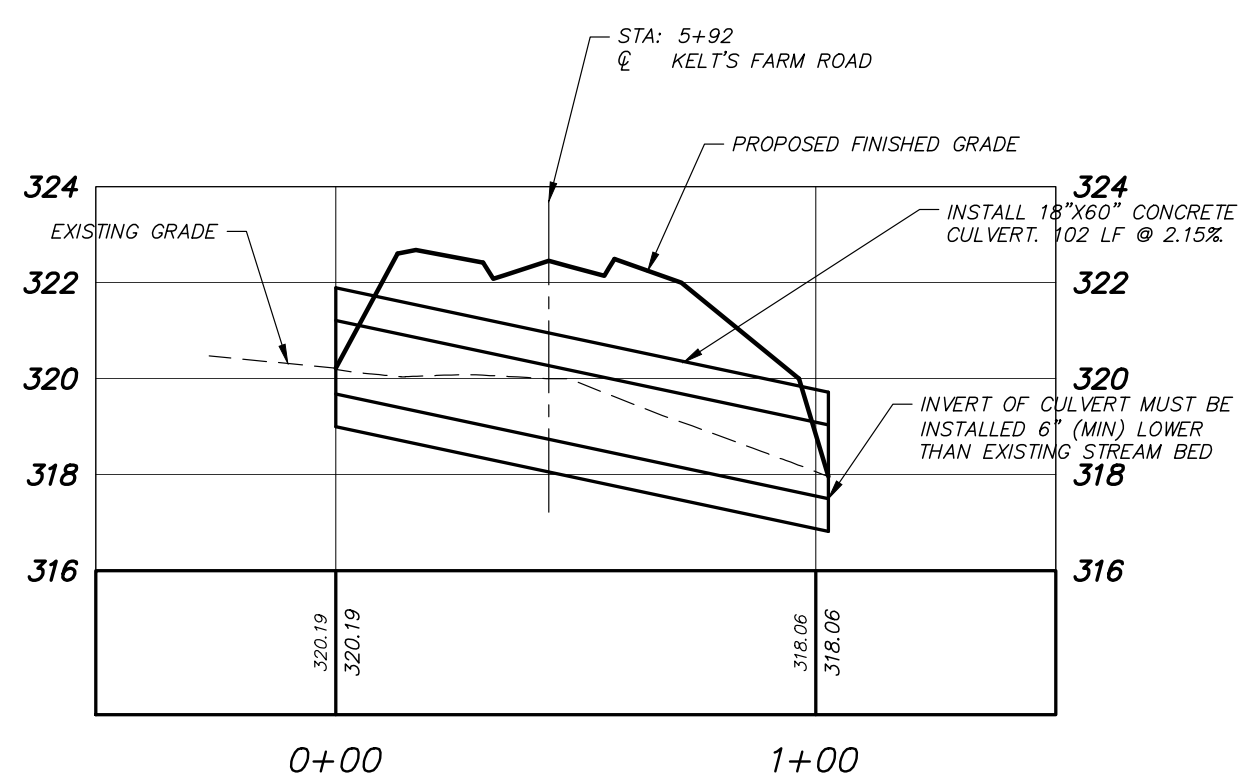
KELTS FARM ROAD PROFILE
H Scale: 1" = 40'
V Scale: 1" = 4'



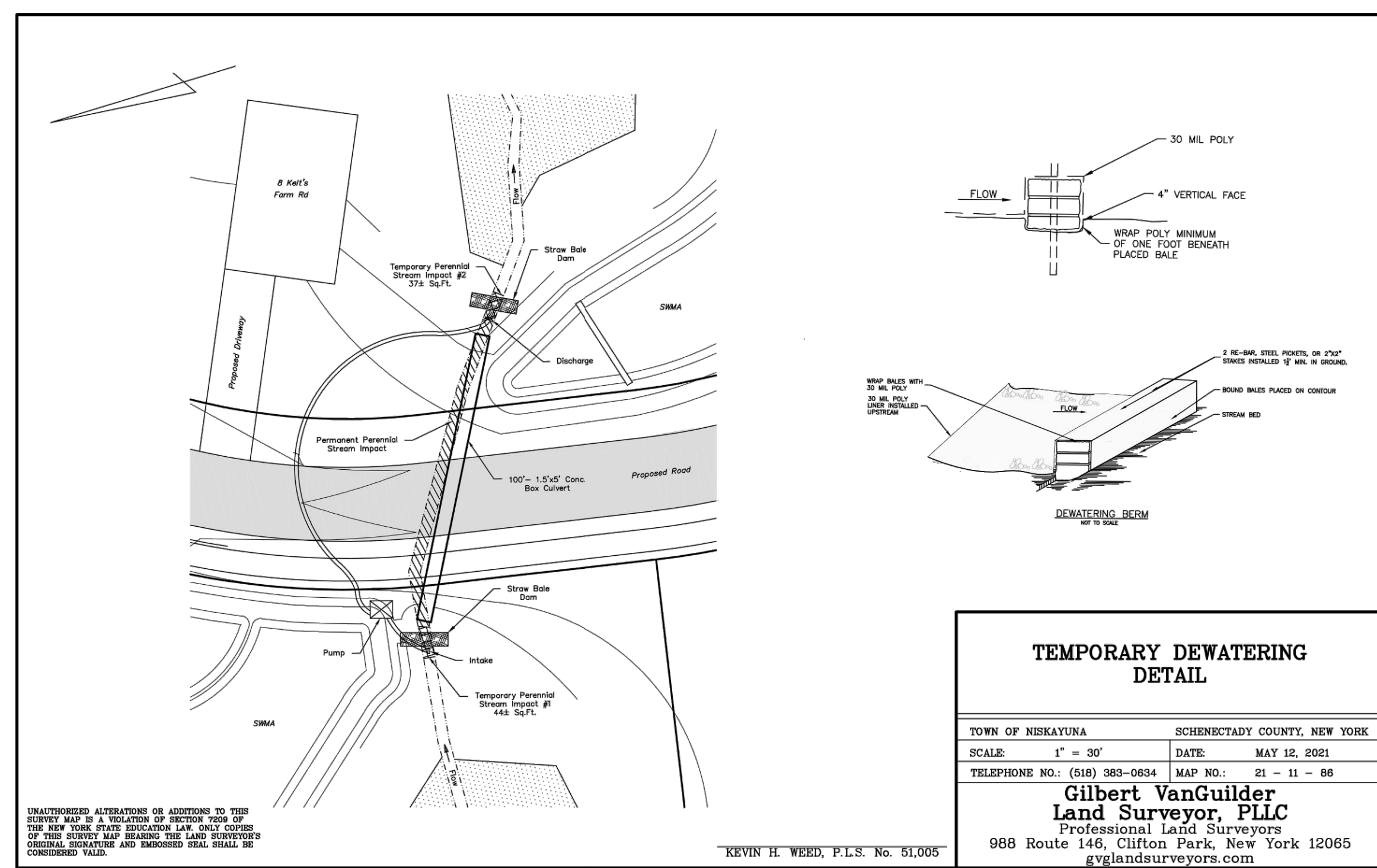
15-INCH SANITARY SEWER
H Scale: 1" = 40'
V Scale: 1" = 4'



WATERLINE PROFILE - RIVER ROAD NORTH CROSSING
H Scale: 1" = 40'
V Scale: 1" = 4'



CULVERT
H Scale: 1" = 40'
V Scale: 1" = 4'



OWNER / APPLICANT
BISAILLON PROPERTIES, LLC
2307 BERKLEY AVE
NISKAYUNA, NY 12039

NO.	REVISION	DATE	BY	APPD.
1	PRELIMINARY ENGINEERING PLANS ISSUED FOR REVIEW	03.02.21	TM	NC
2	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS	04.23.21	TM	NC
3	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS	04.23.21	TM	NC
4	ENGINEERING PLANS REVISION FOR THE 04/07/21 COMMENTS	07.13.21	TM	NC
5	ENGINEERING PLANS REVISION FOR THE 07/06/21 COMMENTS	07.30.21	TM	NC

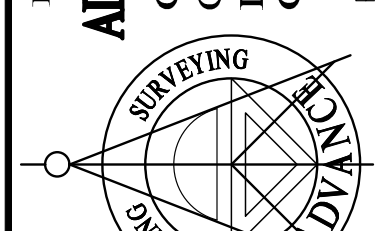
NOTED: SEE SHEET 10 FOR THE RIVER ROAD NORTH CROSSING WATERLINE PROFILE. SEE SHEET 11 FOR THE KELTS FARM ROAD PROFILE. SEE SHEET 12 FOR THE 15-INCH SANITARY SEWER PROFILE. SEE SHEET 13 FOR THE CULVERT PROFILE. SEE SHEET 14 FOR THE TEMPORARY DEWATERING DETAIL. SEE SHEET 15 FOR THE RIVER ROAD NORTH CROSSING WATERLINE PROFILE. SEE SHEET 16 FOR THE KELTS FARM ROAD PROFILE. SEE SHEET 17 FOR THE 15-INCH SANITARY SEWER PROFILE. SEE SHEET 18 FOR THE CULVERT PROFILE. SEE SHEET 19 FOR THE TEMPORARY DEWATERING DETAIL.
--

DESIGN OF:
ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN -
CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT
COMMERCIAL AND RESIDENTIAL

PROJECT:
KELTS FARM SUBDIVISION
ST. NO. 2538 RIVER ROAD
TOWN OF NISKAYUNA
COUNTY OF SCHENECTADY
STATE OF NEW YORK

DATE: DECEMBER 13, 2019
SCALE: AS SHOWN

DESIGNED BY: NICHOLAS COSTA, P.E.
E-MAIL: nicostae@aesurveys.com
PHONE: (518) 686-2722



OWNER / APPLICANT
BISAILLON PROPERTIES, LLC
2307 BERKLEY AVE
NISKAYUNA, NY 12039

DATE: DECEMBER 13, 2019
SCALE: AS SHOWN

DESIGNED BY: NICHOLAS COSTA, P.E.
E-MAIL: nicostae@aesurveys.com
PHONE: (518) 686-2722

SHEET NO.
PROF
8 OF 8
19166--SITE10



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 4

MEETING DATE: 6/13/2022

ITEM TITLE: DISCUSSION: 1850 Union Street -- Immanuel Evangelical Lutheran Church – site plan app. for the operation of a Capital Kids Care school age child care program.

PROJECT LEAD: TBD

APPLICANT: Katie Brownell, of Capital Kids Care

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Katie Brownell of Capital Kids Care submitted an Application for Site Plan Review and an Application for Special Use Permit to the Planning Office to locate a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street. The applications propose to locate the care program in the approximately 2,157 sq. ft. basement activity space of the church. The church is located within the R-1 Low Density Residential zoning district. Per Section 220-10 of the Niskayuna Zoning Code, child day-care centers operated within a school, hospital or place of worship are special principal uses within the R-1 district and are therefore acceptable uses upon the issuance of a special use permit by the Niskayuna Town Board.

BACKGROUND INFORMATION

The following documents and drawings were provided with the applications and were stamped "RECEIVED Jun 08 2022 Planning Office Niskayuna, NY" by the Planning Office staff.

- A 1-page fact sheet about the after school program entitled "After School Schedule & Details" authored by Capital Kids Care
- A 1-page floor plan drawing entitled "Basement Floor Fire Evacuation Plan"
- A 1-page hand drawn floorplan marked page 14 of 14 that appears to be part of an application that includes "Capital Kids Care" as the "Program Name" and "890141" as the Facility ID Number".
- A 1-page weekly schedule of events for the proposed child care program entitled "Theme: Best of the Best Week: 4 Date: July 19-23".
- A 1-page aerial view pictorial image of 1850 Union St. entitled "Proposed traffic routing for drop off and pick up: Capital Kids Care 1850 Union St."

Ms. Brownell also provided the following information about the proposed child care program via an e-mail to the Planning Office dated 6/8/22.

- Age range of children in care program
 - School age 5 – 12
- Days and Hours of Operation
 - Sept. – Jun.: M – F: 7 am – 8 am and 2 pm to 6 pm
 - Jun. – Aug.: M -- F: 7:30am – 5:30pm
- Approximate number of students on site
 - Morning care = 5
 - Afterschool care = 45
 - Summer camp (2023) = 50 – 70
- Approximate number of staff on site
 - School year adult / child ratio = 1/10 + site director
 - Summer camp adult / child ratio = 1/12 + site director
- Afterschool programs
 - All afterschool programs are licensed and inspected by the Office of Children and Families.
 - All staff are subject to background checks before hiring

The applicant is appearing before the Planning Board this evening to present the project to them and answer any questions that may arise. The Planning Office and Planning Board will outline the approval process.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Katie Brownell

Address 165 Creek Rd
Wynantskill NY 12198

Email capitalKidsCare@gmail.com

Telephone 518-878-9258 Fax —

Location:

Number & Street

1850 Union St
Schenectady NY 12309
(518) 878-29258

Section-Block-Lot — - — - —

Zoning District R2

Proposal Description:

School age child care program (Ages 5-12)

Sept - June M-F Morning care 7:00 - 8:00 AM
After school 2:00 - 6:00 PM

June - Aug M-F 7:30 - 5:30

Signature of applicant: [Signature] Date: 6/6/22

Signature of owner (if different from applicant): [Signature]

Date: 6/7/22



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530
Fax: (518) 386-4592

Application for Special Use Permit

APPLICANT (Owner or Agent):

Name: Katie Brownell
Address: 65 Creek Rd
Wynantskill NY 12198
Telephone: 352-286-1345 Fax:

LOCATION:

Number & Street: 1850 Union St
Schenectady NY 12309
Section-Block-Lot: 518-878-9258
Zoning District: R2 Medium density Residential

Proposal Description:

School age child care program. Before school M-F 7:00-8:00
After-school 2:30-6:00. School-age Summer Camp M-F
7:30-5:30

Each special use permit application shall be accompanied by a site plan for which there are additional fees.

Each application shall be accompanied by three (3) full size copies and twelve (12) 11x 17 copies of any large scale plans or maps and twelve (12) copies of the long Environmental Assessment Form (EAF).

Administration Fees: An application for a special use permit shall be submitted to the Town Board at least ten (10) days prior to a regular meeting of the Town Board. An application shall be submitted in accordance with Article X of the Zoning Ordinance of the Town of Niskayuna. Each petition shall be accompanied by a fee of three hundred dollars (\$300.00), payable to the Town of Niskayuna and presented to the Town Clerk.

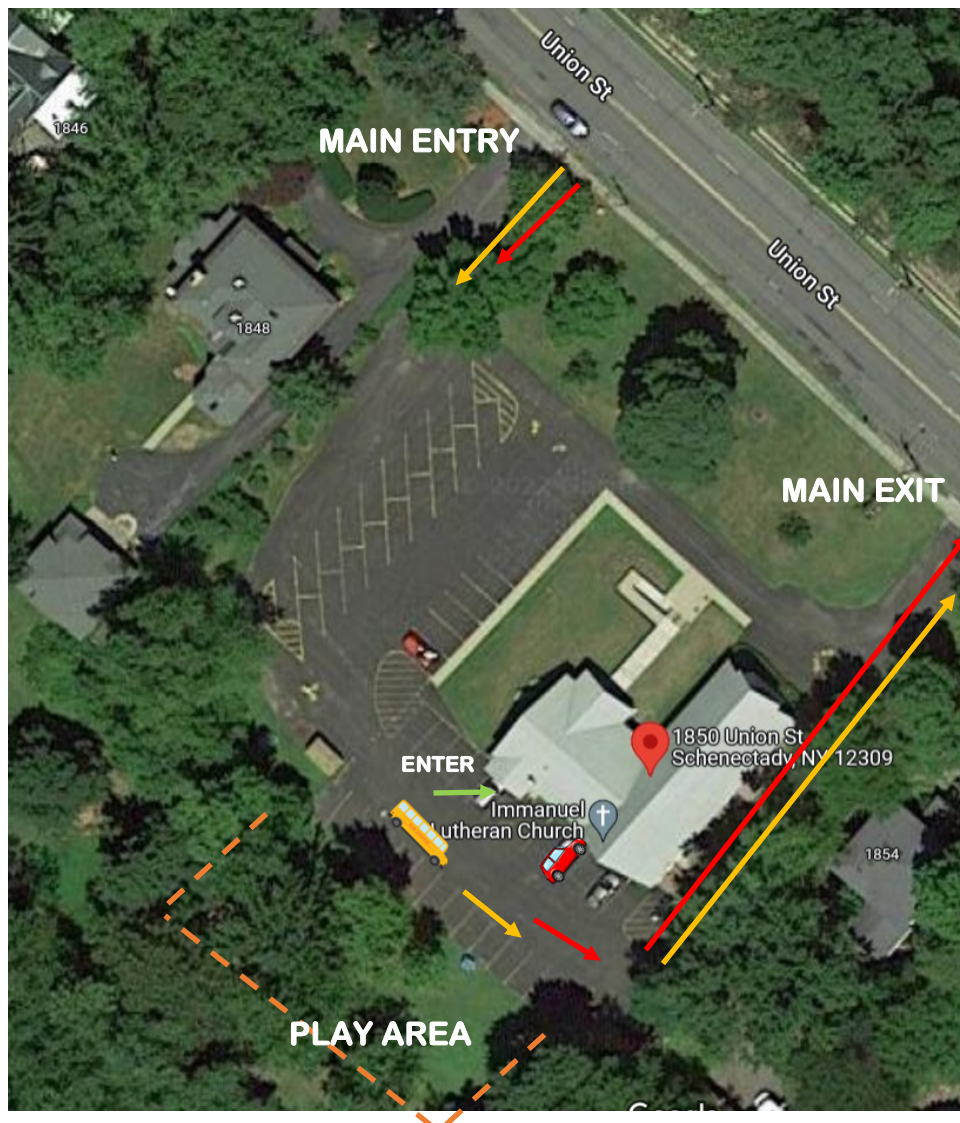
Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.





Signature of applicant: [Signature] Date: 6/6/22

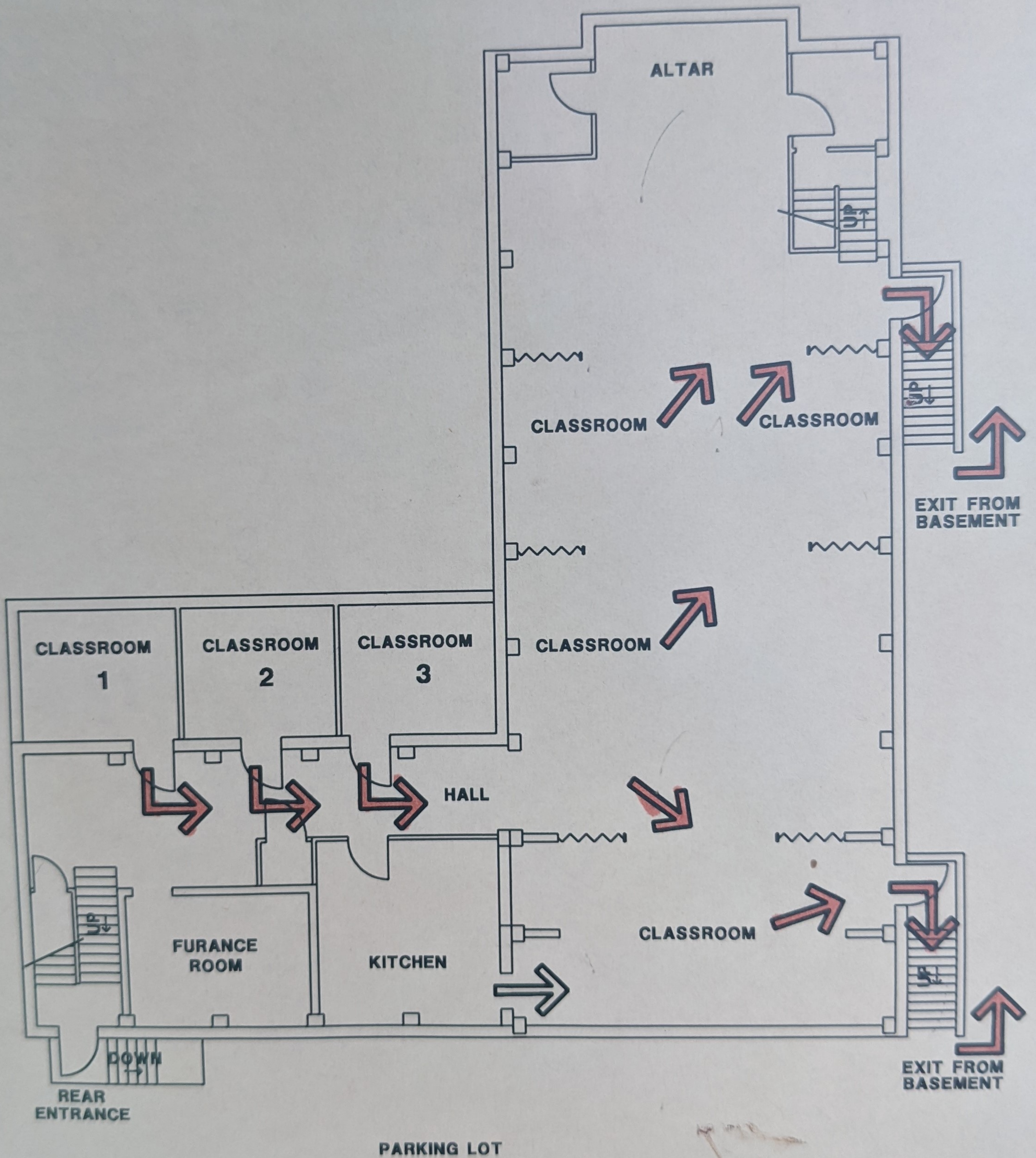
Signature of owner (if different from applicant): [Signature]

Date: 6-7-22

Proposed traffic routing for drop off and pick up:
Capital Kids Care 1850 Union St



Key	
	Bus Route
	Parent Route
	Parent/Child Entry
	Cone Line



BASEMENT FLOOR FIRE EVACUATION PLAN

FLOOR PLAN

LDSS-4438 (Rev. 062020)

INSTRUCTIONS

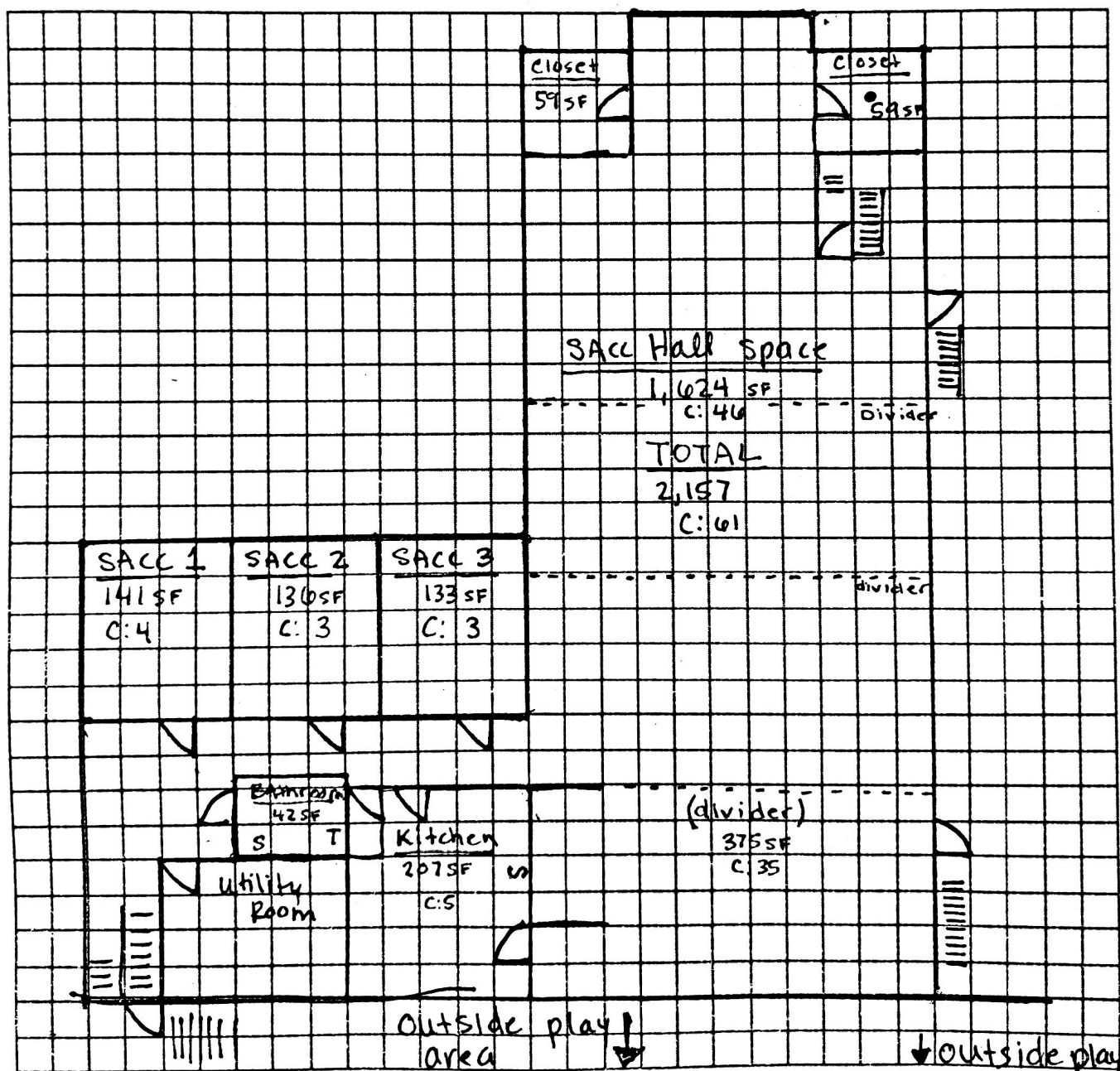
- Use the instructions on the previous sheet to assist you with your diagram
- The Emergency Evacuation Diagram, as approved by the Office, must be posted in a conspicuous place in every room.
- Arrange the paper so that the diagram is oriented as it would be as you leave the room.
- Make additional blank copies as needed.

Room dimensions
Age: SACC
group size
Kitchen/Bathroom
exit/egress
plumbing
outside play area

Program Name: **Capital Kids Care**

Facility ID Number: **890141**

Room:



AFTER SCHOOL SCHEDULE & DETAILS



There are set hand washing times, but most scheduled activities end with clean up and handwashing

1:45/2:00pm:

Bus drop off begins

As kids arrive: Daily Health check, sign in, wash hands, put personal items away.

Activities: active organized game (adult led), indoor quiet play (stations set at tables), reading and media, homework, snack

2:00pm:

Homework room opens, everything above continued as well as outdoor play

3:00pm:

(handwashing)

Community Meeting: daily schedule, reminders, upcoming events, entertainment (changes daily: jokes, would you rather, mad libs, minute to win it games, silly challenges, etc), kids share, Q&A

3:30pm:

Clubs: (these are different daily and are set by the kids. Examples include, karaoke club, book club, bae blades club, puzzle club, Pokémon and other trading cards, fitness club, soccer club, photo club, etc.)

Homework Club

Outside Organized Game

Outside Free Play

Inside quiet free play

Art activity

4:30pm:

clubs end and clean up (handwashing)

free play inside and outside

5:15pm:

Consolidate group inside or outside depending on weather. Free play and adult lead quiet game (20 questions, quiz bowl, guess who, 7 up, etc)

6:00pm:

Program closes

Parent pickup happens throughout.

Kids wash hands and gather belongings while the parent receives a report for the day.

AFTER SCHOOL FACTS:

All After School Programs are licensed and inspected by the Office of Children and Families.

All staff are subject to background checks before hiring.

Any kids within the district can be sent to Before and After School programming

School Year Breaks & Holiday Care available!

Before School Available

Programs can be enrolled in on our website

CapitalKidsCare.com

Contact Us: CapitalKidsCare@gmail.com

Theme: Best of the Best Week: 4

Date: JULY 19-23

MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	Supplemental Activities
7:30-9:00 Me Time	7:30-9:00 Me Time	7:30-9:00 Me Time	7:30-9:00 Me Time	7:30-9:00 Me Time	Creation Corner Caterpillar Race Blow Paint Race Sailboat Race Whole Group: WEEK LONG Tournaments: Connect 4 or any board game, Tic-Tac-Toe Relay, 4 Square, 4 Passes. Etc. Bubble Blowing Contest Ugly Face Contest Hand and Foot Suitcase Fit Crossed or Uncrossed Other: Death Box
9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	
10:00-10:30 Whole Group Challenge Connect 4 Toss Rock Paper Scissor Hop	10:00-10:30 Whole Group Challenge War Group Jump Rope	10:00-10:30 Whole Group Challenge 4 On the Couch Bolf	10:00-10:30 Whole Group Challenge Challenge Game Board Game Tournament	10:00-10:30 Cap Kids Got Talent: Anything about why your group is the best! That’s Exactly What It Is!	
10:30-10:45 Break	10:30-10:45 Break	10:30-10:45 Break	10:30-10:45 Break	10:30-10:45 Break	
10:45-11:30 Active Game Speedy Undies Creation Corner Domino Structures	10:45-11:30 Active Game Park Play Creation Corner Mentos Soda Cars	10:45-11:30 Active Game Potato Roll Creation Corner Best of the Challenge Fair	10:45-11:30 Active Game Home Run Creation Corner	10:45-11:30 Active Game Park Play Creation Corner	
11:30-12:15 Mini Masterpiece You Can Draw * see note High Active Game Top Dogs	11:30-12:15 Mini Masterpiece Rainbow Paint Race High Active Game 6th Sense Sensei	11:30-12:15 Mini Masterpiece Largest Pavement Art High Active Game Weird Flex Master	11:30-12:15 Mini Masterpiece Sculpture Scramble High Active Game Real Record Setters	11:30-12:15 Mini Masterpiece High Active Game Best of the Best	
12:15-12:45 Lunch	12:15-12:45 Camp Lunch	12:15-12:45 Lunch	12:15-12:45 Lunch	12:15-12:45 Camp Lunch	
12:45-2:00 Water Play	12:45-2:00 Water Play	12:45-2:00 Water Play	12:45-2:00 Water Play	12:45-2:00 Water Play	
2:00-2:30 Break	2:00-2:30 Break	2:00-2:30 Break	2:00-2:30 Break	2:00-2:30 Break	
2:30-3:00 Mixed Group Classics Challenge	2:30-3:00 Mixed Group Classics Challenge	2:30-3:00 Mixed Group Classics Challenge	2:30-3:00 Mixed Group Classics Challenge	2:30-3:30 Final Circle & Raffle	
3:00-3:45 Circle Game Kids V Kids Balloon Strong Man Odds & Evens Kids V Counselors: Eleven	3:00-3:45 Circle Game Kids V Kids Catch Don’t Catch How Long is a Minute Kids V Counselors: Tootsie Roll	3:00-3:45 Circle Game Kids V Kids Night Night Grandma Kids V Counselors: Master Sorter Quick Draw	3:00-3:45 Circle Game Kids V Kids Dollar Jump Survivor Dodge Kids V Counselors: 5 in 10 Flinch		
3:45-4:15 Circle Up	3:45-4:15 Circle Up	3:45-4:15 Circle Up	3:45-4:15 Circle Up	3:30-5:30 Movie	
4:15-5:30 Me Time	4:15-5:30 Me Time	4:15-5:30 Me Time	4:15-5:30 Me Time		