

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
May 9, 2022
7:00 PM

REGULAR AGENDA MEETING

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
 - 1. April 25, 2022
- IV. PUBLIC HEARINGS**
- V. PRIVILEGE OF THE FLOOR**
- VI. UNFINISHED BUSINESS**
- VII. NEW BUSINESS**
- VIII. DISCUSSION ITEM**
 - 1. 2341 Nott St. E. – ShopRite Plaza – site plan app. for placing a Chase Bank ATM machine in the plaza parking lot
 - 2. 2303 Nott St. E. – ShopRite Plaza – Starbucks – site plan app. for renovations and new signage for Starbucks
 - 3. 1 Glen Eddy Drive – site plan app. for main entrance and Dining Room additions
 - 4. 3333 Consaul Rd. – Niskayuna Square / Hannaford Supermarket Plaza -- site plan app. for sidewalk improvements including the addition of an ADA ramp
- IX. REPORTS**
 - 1. Planning Department Updates
- X. COMMISSION BUSINESS**
 - 1. Discussion on Planning Board approvals/conditions
- XI. ADJOURNMENT**

NEXT MEETING: May 23, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
April 25, 2022

Members Present:

Kevin Walsh, Chairman
Chris LaFlamme
David D'Arpino
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. Skrebutenas, Ms. Shenfield, Mr. Khan and Mr. McPartlon were absent/excused tonight.

III. MINUTES

April 11, 2022

Mr. D'Arpino made a motion to approve the minutes and Mr. LaFlamme seconded the motion.

Upon voting, the minutes were approved unanimously 5-0.

Mr. D'Arpino	AYE
Ms. Gold	AYE
Mr. LaFlamme	AYE
Ms. Strang	AYE
Chairman Walsh	AYE

IV. PUBLIC HEARINGS

There were no public hearings.

V. PRIVILEGE OF THE FLOOR

No residents provided comments for privilege of the floor by email, videoconference or in-person participation.

VI. UNFINISHED BUSINESS

No unfinished business tonight.

VII. NEW BUSINESS**1. RESOLUTION: 2022—09: A Resolution for site plan approval for a 20 ft. long x 8 ft. wide storage container in the parking lot of Goodyear Tire at 3713 State Street.**

Mr. Bundy was present virtually for the meeting. The Board asked for clarification of how and where the large commercial tires that would be stored in the proposed container will be installed on the vehicles. More specifically, they asked if the large commercial trucks or 18-wheelers will come to 3713 State Street to have new tires installed. Mr. Bundy stated that the site will be for storage of the tires only. The installation of the tires will not happen on site. They are installed on the highway or at a truck yard. The tires will be delivered to the site via box truck only.

Mr. LaFlamme stated he went to the site and examined the location of the proposed container. He stated that although there are homes in the vicinity, they do not seem to have sightlines to the container. He added that once the container is in he will review the site again to assess the opportunity for possible buffering options.

Chairman Walsh asked for other questions or comments. Hearing none, he called for a vote on the resolution.

Upon voting, the resolution was passed 5-0.

Mr. D'Arpino AYE

Ms. Gold AYE

Mr. LaFlamme AYE

Ms. Strang AYE

Chairman Walsh AYE

VIII. DISCUSSION ITEMS**1. 2341 Nott St. – St. James Plaza – Site plan app. for placing a Chase Bank ATM machine in the Shop Rite parking lot.**

Ms. Robertson noted that the applicants contacted the Planning Office on Monday 4/25/22 and asked to be moved to the 5/9/22 Planning Board meeting to provide them additional time to resolve design issues. She continued by stating that the Planning Office notified the applicants that they would provide the Planning Board with a very brief update on the project and notify them of the request to be moved to the 5/9/22 meeting. The applicants were not present at the meeting tonight.

Ms. Robertson updated the Board that after much research by the Planning Department, it appears that there is enough parking for the project without needing a waiver from the Planning Board. The original PDD allowed for 625 parking spaces, and there may have been a further deduction allowed later, so this proposal still exceeds the total number of parking spaces as required by the PDD. Ms. Robertson stated she counted parking spaces from an aerial to visually confirm the spaces in the drawings still existed.

Mr. D'Arpino stated he has not emailed the bollard examples to the applicant yet but will follow through with the email before next meeting. Chairman Walsh stated the applicant will be available for the next meeting on May 9.

Ms. Robertson discussed with the Board some conditions that should be addressed with the applicant and the landlord of the property. Per the original PDD there were landscape conditions that stated the landscape need to be maintained. The landlord has been faulty on this condition. Chase Bank has proposed a landscape plan that will include creating a landscaped barrier for traffic calming.

Ms. Robertson also discussed requiring the applicant to paint or repaint crosswalks as part of their parking lot improvements, and fix some pavement / catch basin issues near the project.

IX. REPORTS

1. Planning Department Updates

Ms. Robertson stated the Planning Board and Tree Council did a site walk at the Trinity Baptist Church on Balltown Road. She stated that Ms. Gold and Ms. Strang were present from the Planning Board and Ms. Carey and Mr. Mahar were present from the Tree Council. Ms. Robertson stated that the Tree Council gave suggestions on tree planting and requested that the applicant protect the mature white pines. The Council stated they would put a proposal together for the applicant.

At the site, the applicant agreed with the suggestions and asked if they could email the recommendations before Wednesday so he could present it at the Church meeting. Ms. Robertson added that she asked if some of the parking could be eliminated but the applicant stated that during certain events all of the parking is used. Ms. Robertson stated that the night they did the walkthrough, most spots were taken that evening due to an event going on. He added that the side parking is also used for athletics including basketball. Mr. McPartlon has volunteered to be project lead. Ms. Robertson noted that the CAC asked if a daycare was going to be run out of the church. The applicant stated no. Ms. Strang noted that she was supportive of creating a bigger buffer of existing trees to the existing neighbors, and agrees with the locations for the new planted trees.

Ms. Robertson discussed the project at the GE Global Research site. She stated they will be on the May 9 agenda. She hopes they reach out to Mr. D'Arpino for revised building plans that can be discussed at the meeting. She added that the applicants met with the Tree Council and the Tree Council will submit their recommendations to the Board and the applicant.

X. COMMISSION OF BUSINESS

Mr. D'Arpino stated the ARB will be meeting on May 4. He stated that the Board will be reviewing Kelts Farm Town Homes and at 1206 Ruffner Road for a garage addition.

XI. ADJOURNMENT

Chairman Walsh asked for a motion to adjourn. Ms. Gold made a motion to adjourn and it was seconded by Ms. Strang. The meeting was adjourned at 7:30 pm.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 5/9/22

ITEM TITLE: DISCUSSION: 2341 Nott St. – ShopRite Plaza – site plan app. for placing a Chase Bank ATM machine in the plaza parking lot

PROJECT LEAD: Mike Skrebutenas

APPLICANT: Kristopher Miller, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Kristopher Miller, agent for the owner of 2341 Nott St, submitted an Application for Site Plan Review for the placement of a Chase Bank ATM in a portion of the Shop Rite parking lot.

BACKGROUND INFORMATION

2341 Nott St. is located within the C-N Neighborhood Commercial zoning district and the Town Center Overlay District.

The scope of work for the ATM project in the eastern most portion of the Shop Rite parking lot includes an ATM on a concrete pad, bollards, signature canopy, vehicle height detector bar and pole lighting. Lane striping and directional arrows will also be painted on the asphalt paving.

A 6-page drawing set entitled "Chase Bank Nott and Balltown ATM 2341 Nott Street Schenectady, NY 12309" by BHDP Lawrence Digennaro, Architect 302 W. 3rd Street, Suite 500, Cincinnati, OH 45202 dated 7-19-21 with a most recent revision of Rev 1 dated 4-1-22 was provided with the application and stamped "Received Apr 07 2022" by the Planning Department.

Setbacks

Zoning 220 Attachment 17 Schedule I-D C-N District column 2 lists the setback requirements for Food markets as: Front = 20', side = 15', rear = 25'. As proposed, the location of the ATM complies with all setback requirements.

Parking

The total required parking for Phase II of ShopRite Plaza (this parcel) has an existing deficit of 36 spaces. This proposal would bring the deficit to 44 (reduce the parking by an additional 8 spaces). However, there are cross parking easements across all the parcels in the plaza. With the cross easements in place, the total existing plaza deficit is 19 and this proposal would bring the deficit up to 27. The Town does not receive complaints of not enough parking in the plaza however, and for a plaza that size the deficit is small. It is worth noting though, that parking is being removed from the parcel that has the least amount of parking to begin with.

Plaza Existing	Parking Summary					
		Required	Provided			
	Phase I	465	482	17	Surplus	
	Phase II	203	167	36	Deficit	
	TOTAL	668	649	19	Deficit	
Proposed						
	TOTAL	668	641	27	Deficit	

Please see further discussion on initial parking PDD requirements below.

Lighting

Light Pole and Fixture

Zoning code Chapter 220 Zoning Article VIIIA. Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards: establishes design criteria for an identifiable center of the Town to further define a sense of community and promote traditional architecture. Section 220-48.5 Pedestrian and streetscape amenities C minimum performance criteria (3) Lighting (c) states the following: "Pole-mounted lighting in accordance with Planning Board guidelines shall not exceed a pole height of 22 feet from finished grade".

As proposed, page A102 of the drawing set includes a light pole with an area light measuring 23' high (3' high concrete base + 20' high light pole) located at the entrance to the ATM machine. Therefore, a waiver of 1' (23 – 22) of pole height from finished grade is required.

Minimum performance criteria subsection (3) Lighting (d) includes the following: "Light sources for all lighting shall be metal halide".

As proposed, page A104 of the drawing set includes a lighting fixture described as "Model ALED2T150N (Type II) 4000K LED 120-277V 151.4 Watts LED area light". Therefore, a waiver for an LED light rather than a metal halide light is required.

Lighting of Outdoor Areas

Zoning code Chapter 220-48.5 C (3) Lighting states lighting shall follow "Article VIIIB Guidelines for Lighting of Outdoor Areas under Site Plan Review".

- Table 1 lists Neighborhood shopping areas as "Moderate Activity" areas.
- Table 2 lists the guideline for maintained horizontal illuminance for general parking and pedestrian areas as 0.3 Footcandles and driveway access as 0.8 Footcandles.

As proposed, page A105 of the drawing set includes a photometric plan of the project area. The area immediately around the ATM is illuminated to approximately 5 fc. The illumination at a 25' radius from the project site is illuminated to approximately 2 fc. The illumination level at a radius of 50' from the project site is typically significantly less than 1 fc and equivalent to the larger parking lot area.

Signs

Section 220-4 Signs of the Niskayuna zoning code establishes standards to promote signs that are visually compatible with their surroundings and are of appropriate design and materials.

Subsection D Prohibited signs: The following signs shall be prohibited in the Town Center Overlay District: includes (5) Pylon signs.

Pages A102, A103 and A104 of the aforementioned drawing set include design details for the proposed ATM. Several portions of the ATM station infrastructure and associated graphical displays should be reviewed by the Board relative to the requirements set forth in Section 220-4 of the zoning code. The drawings include a "non-illuminated signage option" that reads "CHASE" followed by the Chase Bank logo on one of the canopy legs.

Section 220-48.4 Signs E Minimum performance criteria (5) Logo states: "In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign area to comprise not more than 30% of the sign area". As proposed, the drawings show a two-sided "non-illuminated octagon signage option" located above the aluminum "signature canopy" that partially shields the ATM machine from weather. The logo comprises 100% of the sign area so a waiver for a sign with a logo covering 100% of the sign area may be required.

Summary Table of Zoning Relief

	Required	Provided	Notes
Parking Spaces	668	641	<i>Reduction in 8 parking spaces still above 625 requirement</i>
Light Pole	22' pole height	23' pole height	1' waiver for height
Lighting type	Metal Halide	LED	Waiver to LED
Signage Logo	Logo 30%	Logo 100%	Waiver on Logo %
"Chase" Sign		Chase sign on ATM	Addressed as part of waiver package

4/11/22 Planning Board (PB) meeting – Chris Quinn and Tom Riley spoke on behalf of Chase Bank and explained the project to the Board. The Planning Office noted the entire Shop Rite plaza is currently 19 parking spaces below code and the proposed ATM will consume 8 existing parking spaces leaving the shopping center 27 spaces below code. A discussion ensued regarding the impact the ATM is anticipated to have on the shopping center. The applicants stated that their data estimates 1,800 visits to the ATM per month (approx. 60 visits / day). They also indicated that ATMs rarely have more than 1 vehicle at the ATM and one additional vehicle waiting to use it. The Board agreed on the following action items for the Chase Bank site plan.

- Explore muting the colors used for the design of the ATM and associated apparatus to comply with Section 220-48.7 of the Niskayuna zoning code.

- Refresh all parking space striping.
- Repair existing parking lot potholes.
- Replant landscaping as advised by the Niskayuna Tree Council.

PDD PARKING

Planning Staff has researched the initial approval of the PDD by the Town Board and recognizes that the Town Board approved full build out of the PDD with a parking requirement of 625 spaces. The PDD was given a 20% reduction in the total required spaces of 781 by the Town Board due to shared parking across parcels. The Planning Board may have allowed a further reduction to 602 in 1996 – but the clearest direction staff can find is to ensure 625 parking spaces in the plaza.

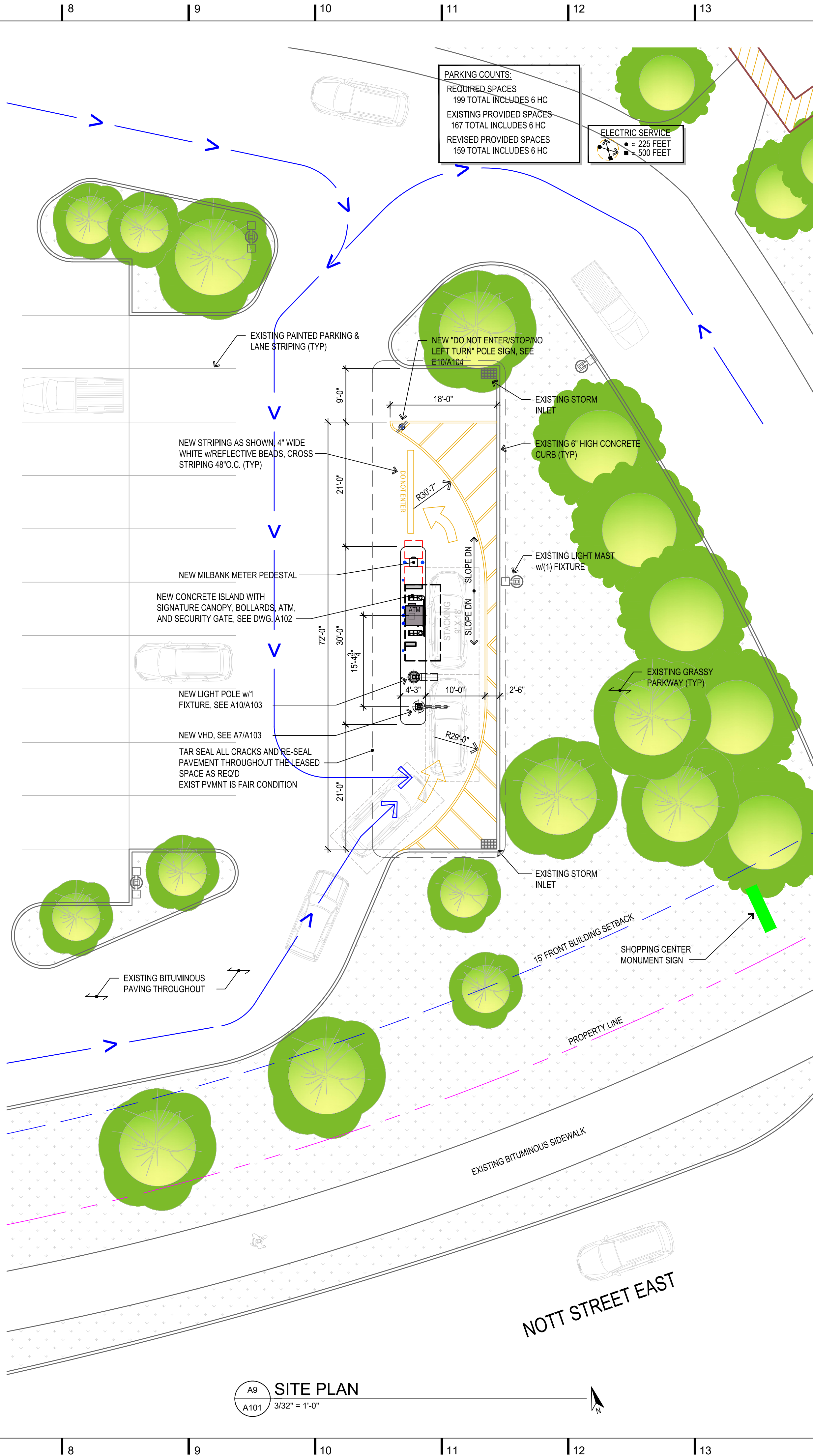
Given these facts, the Planning Board has the authority to work with the developer on parking spot configuration, provided they do not dip below the 625 originally approved, so this project would not need a referral to the Zoning Board of Appeals. However, it should be noted the second floor of Phase 2 of the plaza is largely vacant, so requiring staff to park in the rear of the building and keep front spots open to customers would be critical to any reduction in parking – as well as ensuring the remainder of the PDD requirements are met – including landscaping, pedestrian crosswalks and vehicular flow.

4/25/22 Planning Board (PB) meeting – The project was on the posted agenda for the 4/25/22 PB meeting but late in the day on Friday 4/22/22 the applicant asked to be pushed out to the 5/9/22 meeting. This was to allow them additional time to complete the action items that were identified at the 4/11/22 meeting most notably concepts for a more muted color scheme more in line with the requirements of section 220-48.7 for the Town Center Overlay District (TCOD). The PB discussed the project very briefly at the 4/25/22. The discussion was limited to the new parking space information the Planning Office noted in the Agenda Statement, above.

5/4/22 Architectural Review Board (ARB) meeting – The ARB reviewed the drawings of the proposed ATM machine and associated apparatus. They agreed that the bright blue color should be restricted to the Chase Bank logo and that more muted colors should be used on the protective bollards and ATM housing panels. The Planning Office (PO) noted that the applicant is on the agenda for the 5/9/22 PB meeting and a new color scheme is expected to be introduced at that time. The ARB agreed to review the proposal again after 5/9/22.

The applicant is on the agenda this evening to provide an update on the action items that were identified at the 4/11/22 PB meeting.

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GENERAL NOTES

- REFER SHEET G001 FOR GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
- DIMENSIONS GIVEN ARE TO THE FACE OF FINISHED MATERIAL UNLESS OTHERWISE INDICATED.
- PROVIDE EROSION AND SEDIMENT CONTROL, PRACTICES IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- GC TO PATCH AND REPAIR ANY FINISHED MATERIAL, DISTURBED DURING CONSTRUCTION TO LIKE NEW CONDITION, INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, AND LANDSCAPING.
- GC TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO WORK.
- CAST-IN-PLACE CONCRETE SPECIFICATION
 - SUMMARY
 - CAST-IN-PLACE CONCRETE, INCLUDING FORMWORK, REINFORCEMENT, CONCRETE MATERIALS, MIXTURE DESIGN, PLACEMENT PROCEDURES AND FINISHES FOR THE FOLLOWING:
 - FOOTINGS
 - SLABS ON GRADE
 - SIDEWALKS AND CURBS
 - PRODUCTS
 - CONCRETE GENERAL; ACI 301 AND ACI 117.
 - FORM FACING MATERIALS
 - STEEL REINFORCEMENT
 - REINFORCING BARS; DEFORMED
 - WELDED-WIRE REINFORCEMENT; PLAIN
 - CONCRETE MATERIALS
 - PORTLAND CEMENT; ASTM C 150, TYPE III, GRAY
 - AGGREGATE; NORMAL WEIGHT
 - WATER
 - MIXING; READY MIXED
 - CONCRETE MIXTURES
 - COMPRESSIVE STRENGTH (28 DAYS):
 - FOOTINGS: 3500 PSI
 - SLABS-ON-GRADE: 3500 PSI
 - SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
 - INSTALLATION
 - FORMED FINISHES: SMOOTH
 - FLOOR AND SLAB FINISHES: BROOM-EXTERIOR CONCRETE
 - FIELD QUALITY CONTROL
 - TESTING AND SPECIAL INSPECTIONS: BY OWNER-ENGAGED SPECIAL INSPECTOR AS REQUIRED BY LOCAL JURISDICTION.

ELECTRICAL NOTES

- CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO ATM. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
- CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO LIGHT POLE. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
- CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND TELECOM, ALARM, AND CAMERA WIRE PER MANUFACTURER SPECIFICATIONS.
- CONTRACTOR SHALL REFER TO A.T.M. MANUFACTURER SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.



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CINCINNATI
COLUMBUS
RALEIGH
CHARLOTTE

BHDP

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY

CHASE BANK
NOTT AND BALTOWN ATM
2341 NOTT STREET
SCHENECTADY, NY 12309

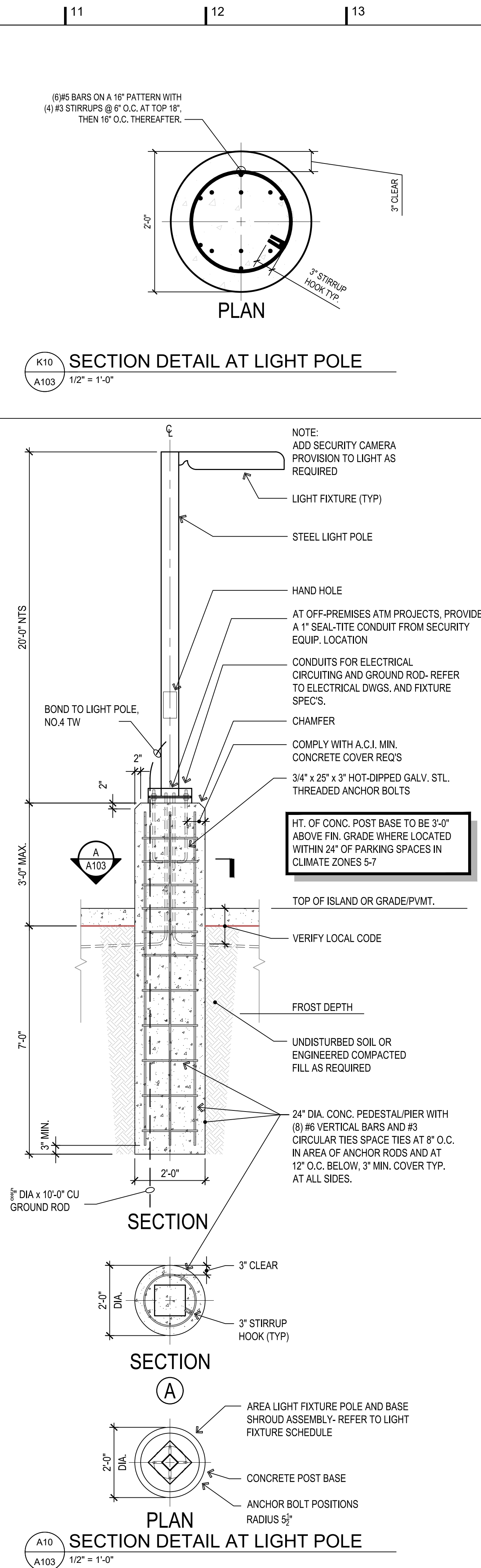
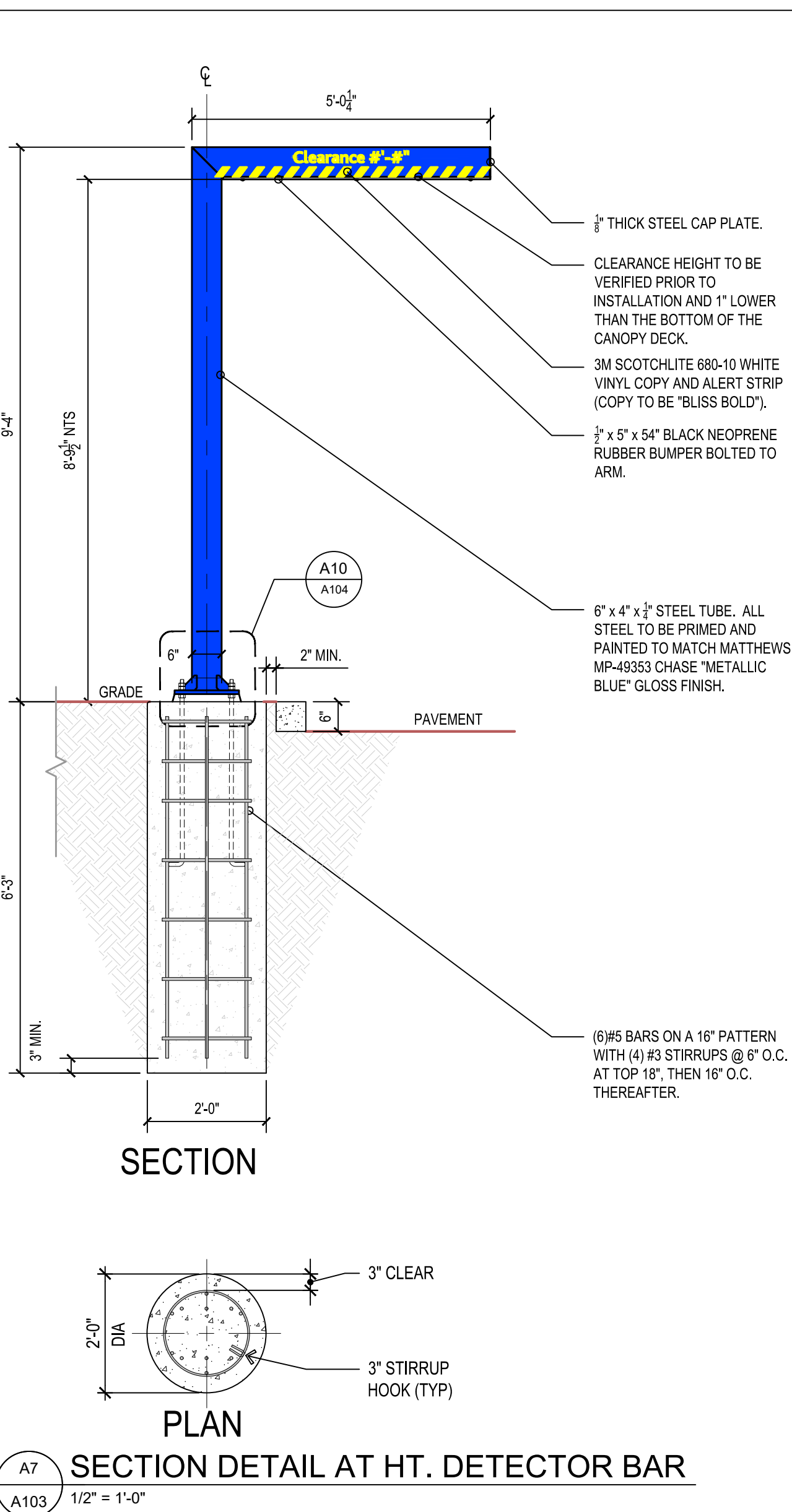
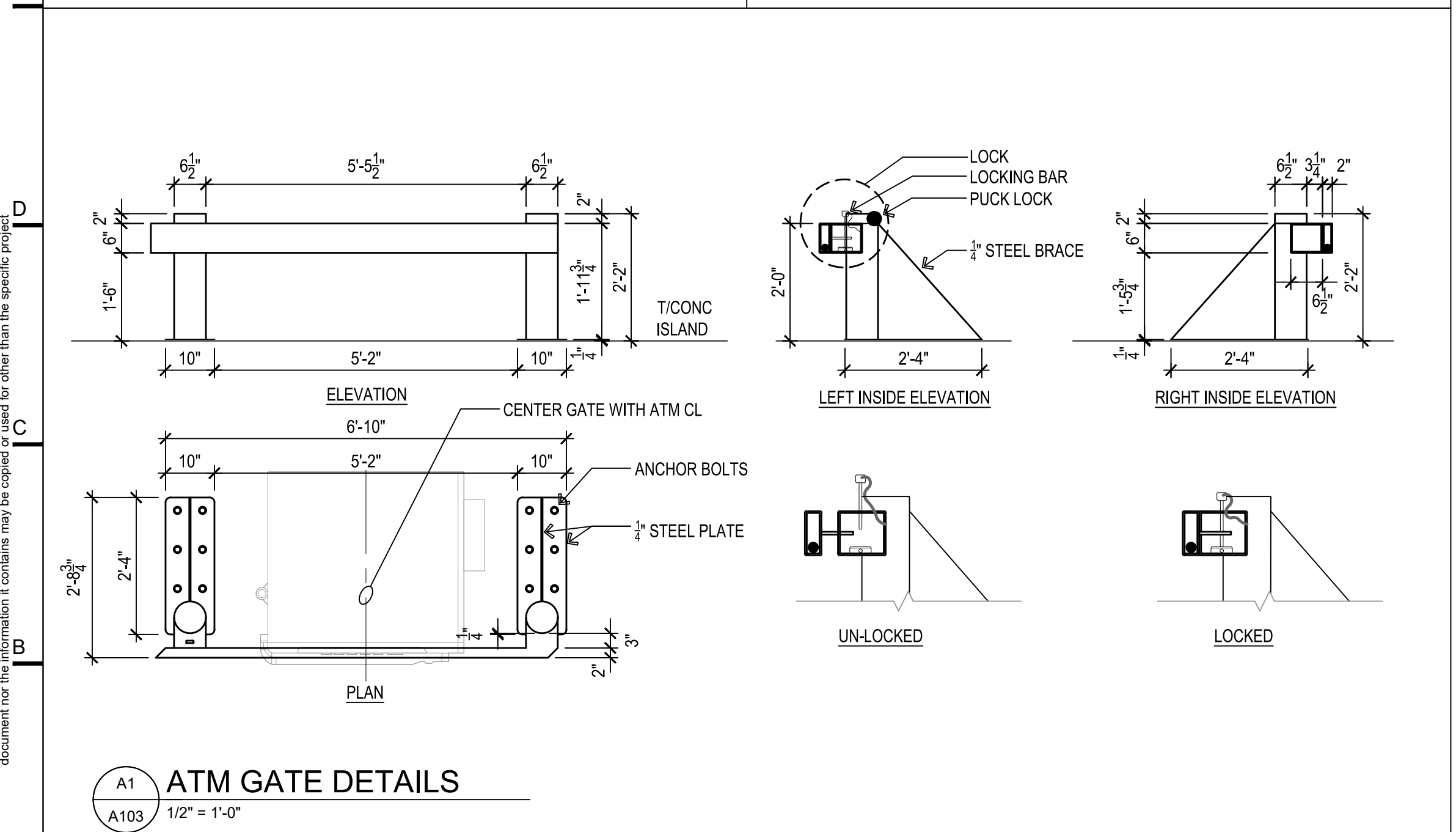
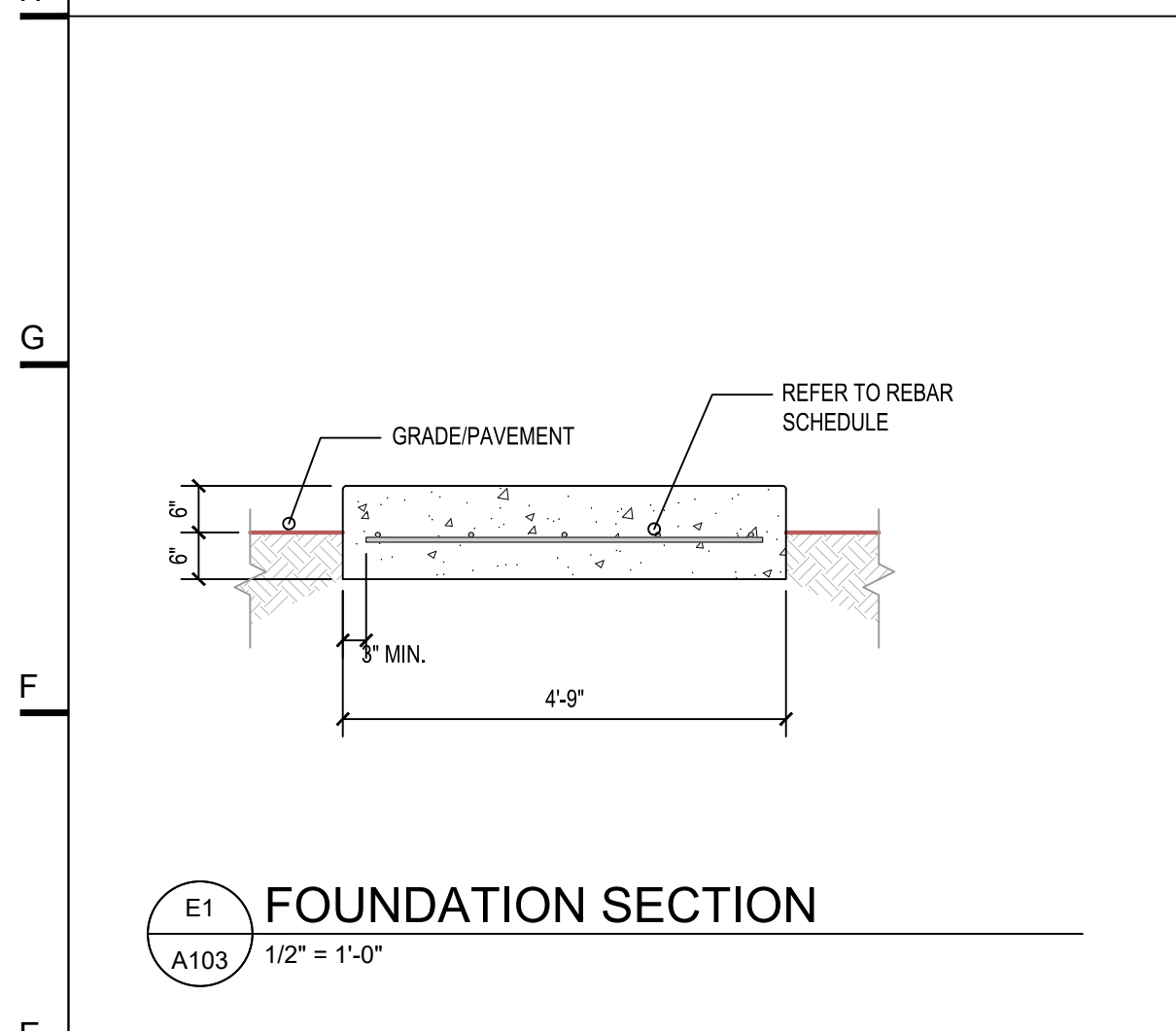
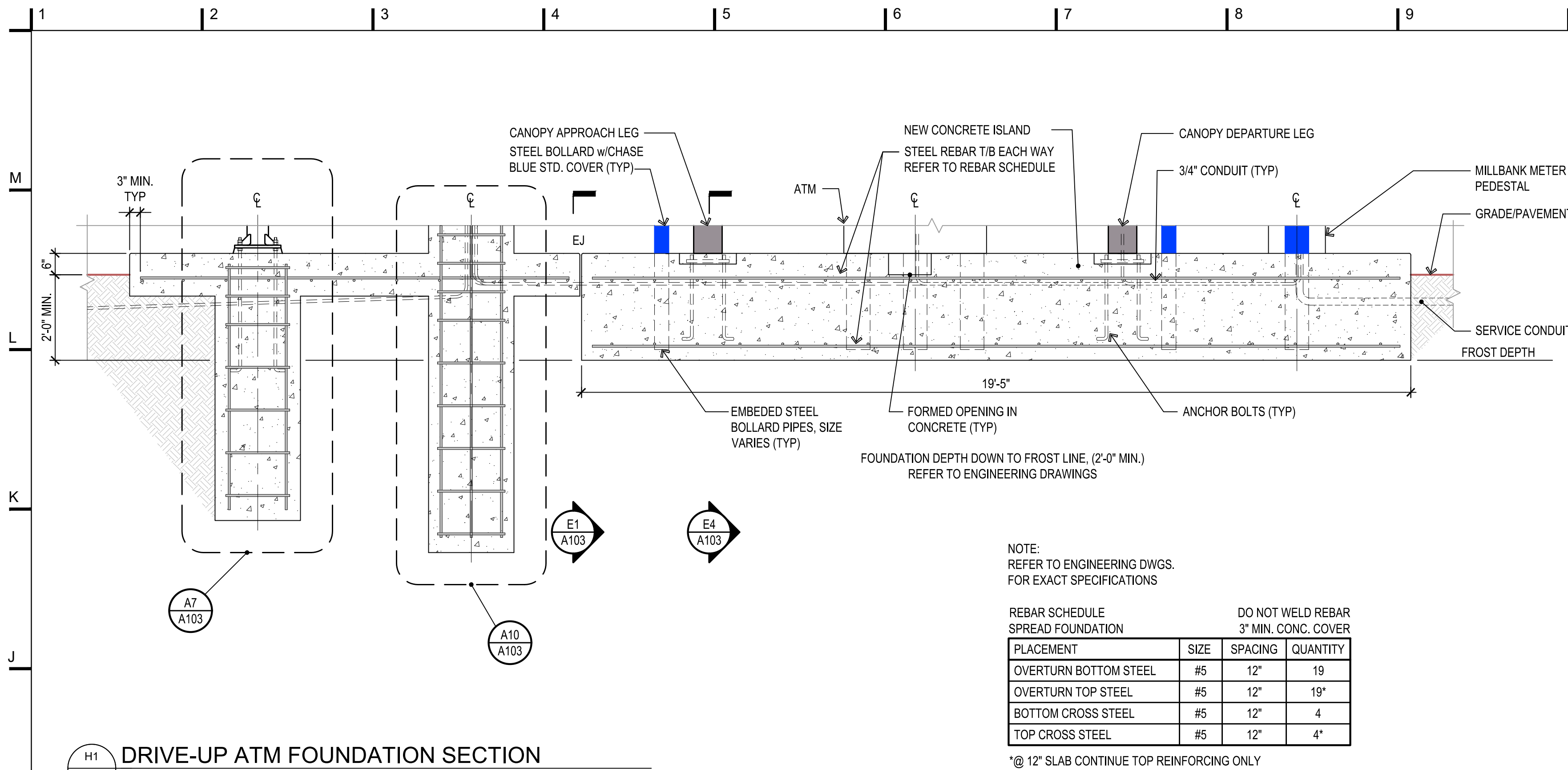
EXISTING CONDITIONS & SITE PLAN



Project Manager
A. PONTING
Drawn
K. MILLER
Checked
Z. FEIN
Contract Drawing Date
07-19-21
Proj. No.
TK004.44

A101

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04-01-22
01-21-22

1 SITE PLAN REVIEW
0 OWNERS REVIEW

TKO INSTALLATIONS, INC.
TKO INSTALLATIONS, INC.
CHASE

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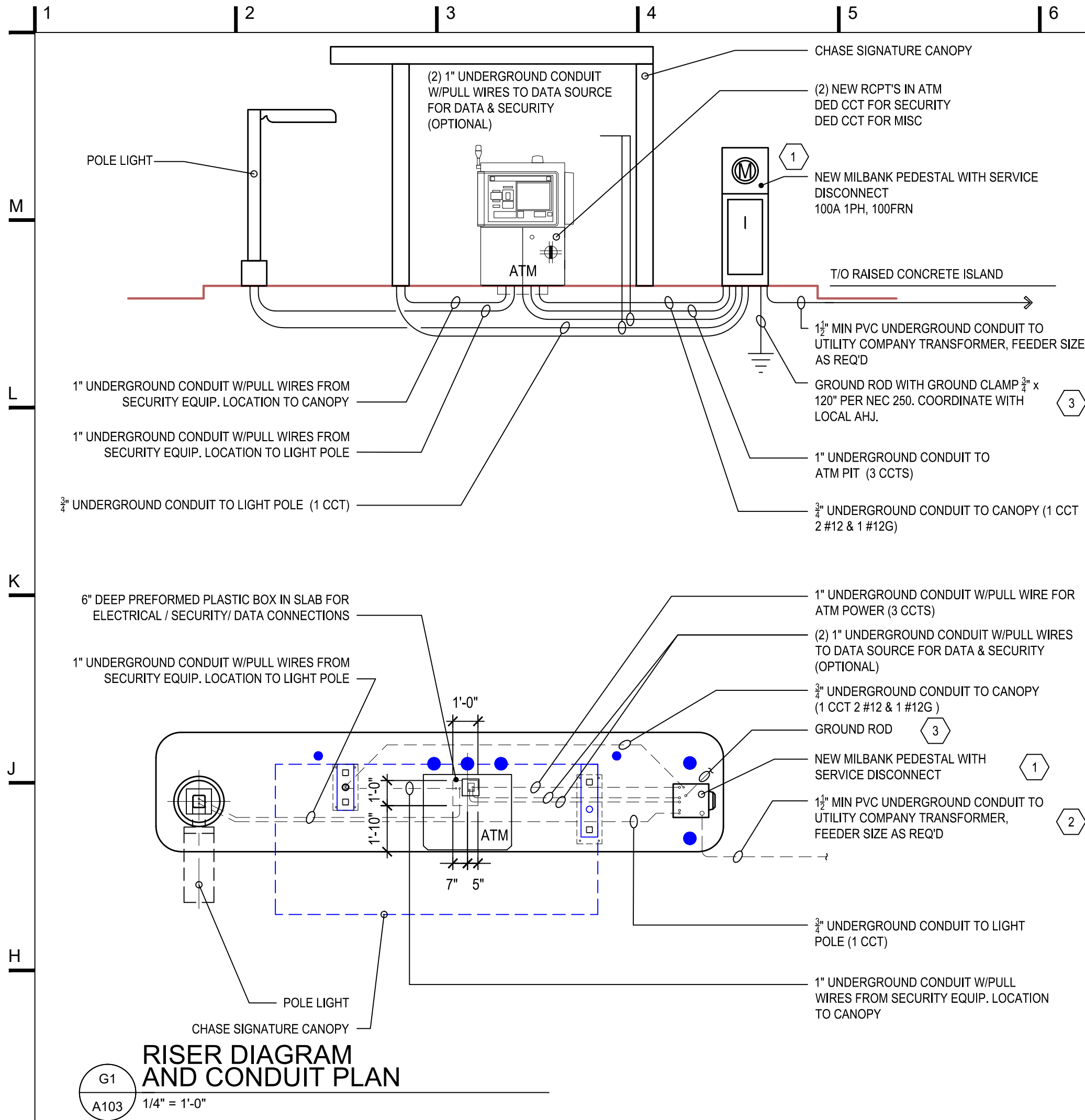
ELEVATIONS & DETAILS

REGISTERED ARCHITECT
LAWRENCE DIGENNARO
STATE OF NEW YORK
04/05/2022

Project Manager
A. PONTING
Drawn
K. MILLER
Checked
Z. FEIN
Contract Drawing Date
07-19-21
Proj. No.
TKO04.44

A103

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CONDUIT & WIRE SCHEDULE-20A LIGHTING CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#12	3/4"
10 THRU 14 (50%)	#10	1"
15 THRU 20 (50%)	#10	1-1/4"

CONDUIT & WIRE SCHEDULE-20A MULTI OUTLET RECEPTACLE CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#10	3/4"
10 THRU 15 (50%)	#8	1-1/4"
16 THRU 20 (50%)	#8	1-1/2"

- NOTES THIS DRAWING:**
- PROVIDE 100A MILBANK PEDESTAL PANEL WITH SERVICE DISCONNECT. REFER TO PANEL SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE SCHEDULE 40 PVC UNDERGROUND CONDUIT TO SERVICE ENTRANCE TRANSFORMER PROVIDED BY UTILITY COMPANY. SIZE CONDUCTOR AS REQUIRED FOR VOLTAGE DROP.
 - GROUND ROD WITH GROUND CLAMP 3/4" x 120" PER NEC 250. COORDINATE FINAL REQUIREMENTS WITH LOCAL AUTHORITY HAVING JURISDICTION.

- ### ELECTRICAL NOTES
- ALL DEVICE LOCATIONS SHOWN ARE APPROXIMATE UNLESS OTHERWISE DIMENSIONED OR NOTED.
 - ALL JUNCTION AND PULL BOXES SHALL BE SIZED PER NEC ARTICLE 314.16 AND 314.28.
 - ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION AND ALL APPLICABLE LOCAL CODES.
 - ALL NEW WIRING TO BE RUN IN CONDUIT. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE. ALL WIRE SHALL BE MINIMUM NO. 12 AWG UNLESS NOTED OTHERWISE.
 - ALL LINE- AND LOW-VOLTAGE WIRING SHALL BE INSTALLED IN CONDUIT SYSTEMS. ARMORED AND METAL-SHEATHED CABLES (GENERALLY "BX"), TYPES AC AND MC, AND NON-METALLIC SHEATHED CABLES (GENERALLY "ROMEX"), TYPES NM, NMC, AND NMS, ARE NOT PERMITTED.
 - ALL ENDS OF CONDUIT SYSTEM SHALL HAVE A BUSHING OR A COUPLING INSTALLED FOR THE PURPOSE OF PROVIDING PROTECTION OF CONDUCTORS.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRING INCLUDING LOW-VOLTAGE TO OWNER-PROVIDED SIGNAGE. ALL JUNCTION BOXES FOR SIGNAGE SHALL BE PLACED AS REQUIRED TO INSTALL THE SIGNAGE AS INDICATED IN THE ARCHITECTURAL ELEVATIONS. COORDINATE WITH OWNER'S SIGNAGE VENDOR AND REFER TO MANUFACTURERS WIRING DIAGRAMS.
 - ALL BRANCH CIRCUIT CONDUCTORS SHALL BE CONNECTED BY MEANS OF A SCREW TERMINAL.
 - THE CONTINUITY OF ANY BRANCH CIRCUIT CONDUCTOR INCLUDING ANY IDENTIFIED GROUNDING CONDUCTOR SHALL NOT DEPEND UPON DEVICE CONNECTIONS, SUCH AS LAMP HOLDERS, RECEPTACLES, ETC., WHERE THE REMOVAL OF SUCH DEVICES WOULD INTERRUPT THE CONTINUITY.
 - DE-RATING OF NEUTRALS IS PROHIBITED.
 - THE USE OF AUXILIARY GUTTERS, WIREWAYS, RACEWAYS AS ENCLOSURES FOR SERVICE ENTRANCE OR TAPPING OF SERVICE ENTRANCE CONDUCTORS IS STRICTLY PROHIBITED.
 - METAL IDENTIFICATION TAGS SHALL BE INSTALLED WHERE THE GROUNDING CONDUCTOR IS CONNECTED TO THE GROUNDING ELECTRODE.
 - ALL EXTERIOR LIGHTING AND SIGNAGE SHALL BE CONTROLLED BY PHOTOCELLS.
 - A MAXIMUM OF 3 HOMERUNS MAY BE GROUPED TOGETHER IN ONE CONDUIT AND SHARE A COMMON NEUTRAL PROVIDED THE HOMERUNS ARE DIFFERENT PHASES. IF BRANCH CIRCUITS ARE GROUPED THEY MUST ALL BE CONTROLLED BY THE SAME MULT-POLE BREAKER PER NEC 210.4.
 - PROVIDE (2) #10, (1) #10G, 3/4"C FEEDERS FOR ALL AREA LIGHT CONDUIT RUNS.
 - ISOLATED GROUND RECEPTACLES SHALL BE ORANGE.
 - COMPLY WITH REQUIRED CLEARANCES FOR ALL ELECTRICAL PANELS PER THE NEC.
 - ALL NEW POWER RACEWAYS TO INCLUDE 1 PULL WIRE, ALL NEW DATA RACEWAYS TO INCLUDE 3 PULL WIRES.

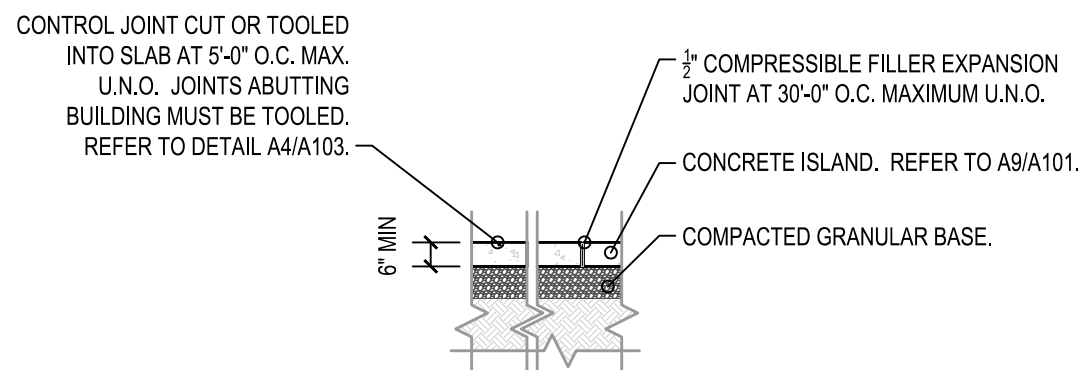
- ### GENERAL NOTES
- A. REFER SHEET G001 FOR GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS.
- B. DIMENSIONS GIVEN ARE TO THE FACE OF FINISHED MATERIAL UNLESS OTHERWISE INDICATED.
- C. PROVIDE EROSION AND SEDIMENT CONTROL PRACTICES IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- D. GC TO PATCH AND REPAIR ANY FINISHED MATERIAL DISTURBED DURING CONSTRUCTION TO LIKE NEW CONDITION, INCLUDING BUT NOT LIMITED TO PAVEMENT, CONCRETE, AND LANDSCAPING.
- E. GC TO FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES WITHIN THE PROJECT AREA PRIOR TO WORK.
- F. **CAST-IN-PLACE CONCRETE SPECIFICATION**
- SUMMARY
 - CAST-IN-PLACE CONCRETE, INCLUDING FORMWORK, REINFORCEMENT, CONCRETE MATERIALS, MIXTURE DESIGN, PLACEMENT PROCEDURES AND FINISHES FOR THE FOLLOWING:
 - FOOTINGS
 - SLABS ON GRADE
 - SIDEWALKS AND CURBS
 - PRODUCTS
 - CONCRETE GENERAL: ACI 301 AND ACI 117.
 - FORM FACING MATERIALS
 - STEEL REINFORCEMENT
 - REINFORCING BARS; DEFORMED
 - WELDED-WIRE REINFORCEMENT; PLAIN
 - CONCRETE MATERIALS
 - PORTLAND CEMENT: ASTM C 150, TYPE III, GRAY
 - AGGREGATE: NORMAL WEIGHT
 - WATER
 - MIXING: READY MIXED
 - CONCRETE MIXTURES
 - COMPRESSIVE STRENGTH (28 DAYS):
 - FOOTINGS: 3500 PSI
 - SLABS-ON-GRADE: 3500 PSI
 - SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
 - INSTALLATION
 - FORMED FINISHES: SMOOTH
 - FLOOR AND SLAB FINISHES: BROOM-EXTERIOR CONCRETE
 - FIELD QUALITY CONTROL
 - TESTING AND SPECIAL INSPECTIONS: BY OWNER-ENGAGED SPECIAL INSPECTOR AS REQUIRED BY LOCAL JURISDICTION.

- ### ELECTRICAL NOTES
- A. CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO ATM. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
- B. CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND DEDICATED CIRCUITS FOR ELECTRICAL SERVICE FROM POWER SOURCE TO LIGHT POLE. CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL SERVICE PER MANUFACTURER SPECIFICATIONS AND VERIFY SOURCE HAS CAPACITY FOR REQUIRED LOADS.
- C. CONTRACTOR SHALL FURNISH AND INSTALL 2" CONDUIT AND TELECOM, ALARM, AND CAMERA WIRE PER MANUFACTURER SPECIFICATIONS.
- D. CONTRACTOR SHALL REFER TO A.T.M. MANUFACTURER SHOP DRAWINGS FOR FULL SCOPE OF ELECTRICAL REQUIREMENTS.

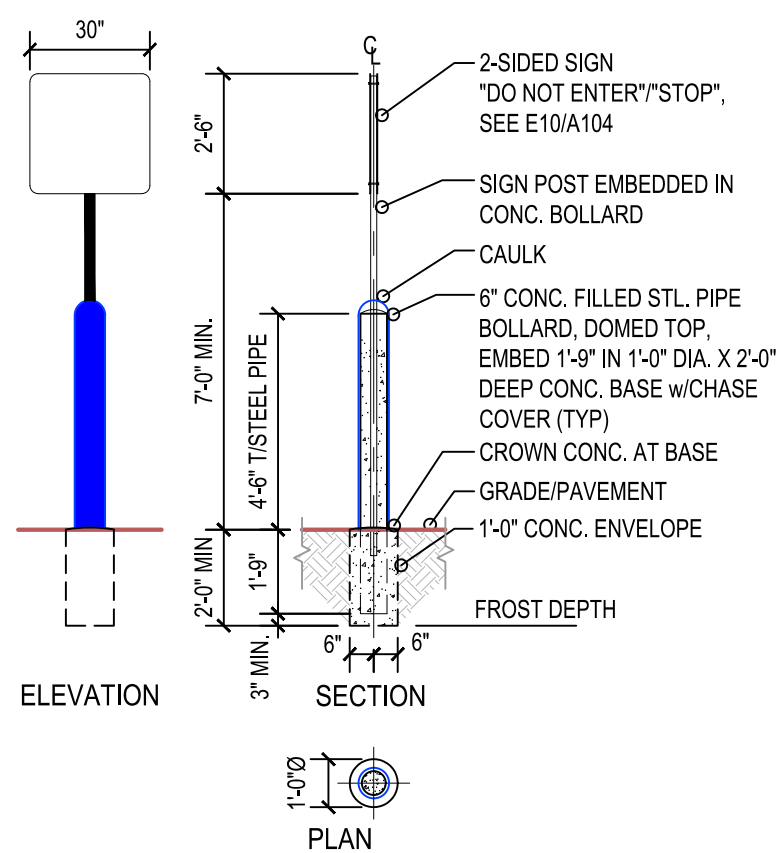
LIGHTING FIXTURE SCHEDULE						
TYPE	SYMBOL	MANUFACTURER	MODEL	LAMP	INPUT	
				TYPE	VOLTS	WATTS
SL-1		RAB	ALED2T150N (TYPE II)	4000K LED	120-277V	151.4
		RAB	PS4-11-20D2	N/A	N/A	N/A

- NOTES:**
- NOTES 1-3 APPLY TO ALL APPLICABLE LIGHTING FIXTURES. THE REMARKS COLUMN SHALL NOTE ADDITIONAL REQUIREMENTS.
- LIGHTING FIXTURE SCHEDULE FOR REFERENCE ONLY. COORDINATE FINAL LIGHTING FIXTURE SCHEDULES FROM ARCHITECTS PLANS. IF DISCREPANCIES OCCUR BETWEEN SCHEDULES NOTIFY ARCHITECT AND ENGINEER PRIOR TO PRICING OR ORDERING.
 - VERIFY EXACT MOUNTING CONDITIONS AND PROVIDE APPROPRIATE ACCESSORIES AND HARDWARE TO ACCOMMODATE REQUIREMENTS.
 - FIXTURE TYPE INDICATED ONCE ON A CONTINUOUS ROW SHALL BE TYPICAL OF ALL FIXTURES IN THE ROW UNLESS NOTED OTHERWISE FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY HARDWARE AND FILLERS TO PROVIDE THE EXACT LENGTHS AS INDICATED ON THE PLANS.
 - MIN ILLUMINATION VALUES 36" ABOVE GRADE AT ATM: VERTICAL FACE-15fc; WITHIN 5'-10fc; GRADE & PARKING WITHIN 50'-2fc; PATH OF ACCESS-2fc *ALL VALUES FROM FACE OF ATM

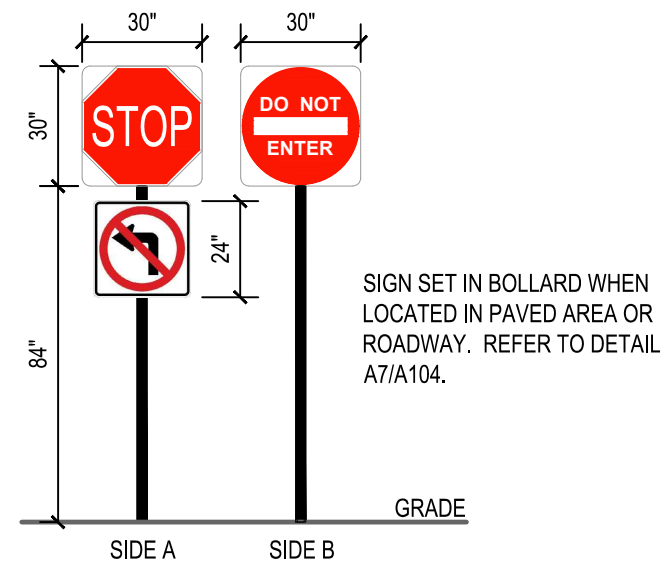
PANEL SCHEDULE					
NAME:	MILBANK PANEL # CP3B51115A22P13SP1	MAIN:	100A MB	MOUNTING:	PEDESTAL
VOLTAGE:	120/240 VAC	MAIN OPTIONS:	120	ENCLOSURE:	RAIN PROOF, 3R, STEEL (G90)
PHASE/WIRE:	1PH, 3W	BUS:	REFER TO ONE LINE	NEUTRAL BUS:	100%
SVC ENTRANCE:	NO	GROUNDING:	YES	KAIC RATING:	22,000
				BUSSING:	COPPER
				INTEGRAL SPD:	NO



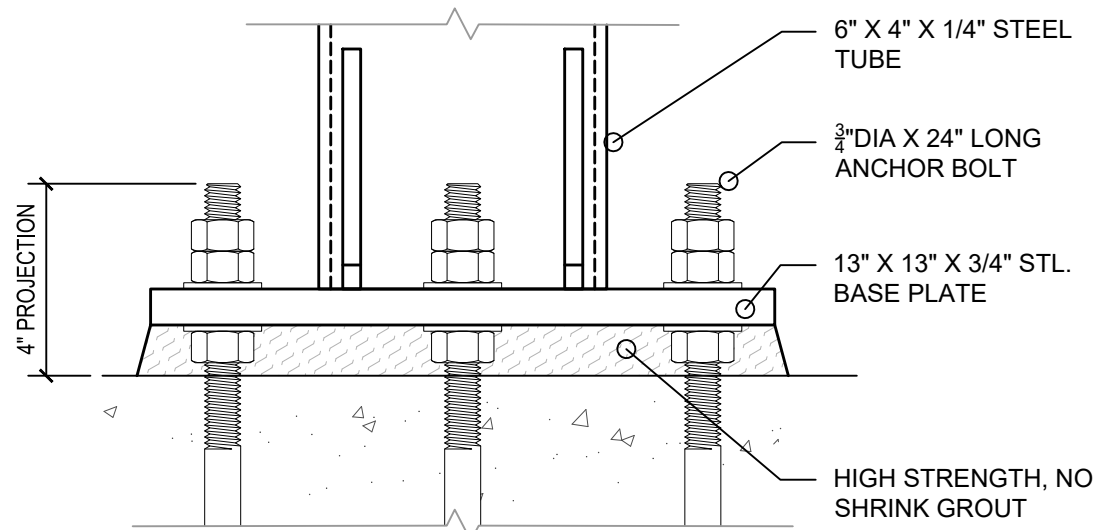
A4
A104
EXPANSION / CONTROL JOINT
1/4" = 1'-0"



A7
A104
SECTION DETAIL AT SIGN POLE
1/4" = 1'-0"



E10
A104
DOT SIGN DETAIL - POLE MOUNTED
NTS



A10
A104
ANCHOR BOLT PROJECTION DETAIL
3" = 1'-0"



LAWRENCE DIGENNARO,
ARCHITECT
30 WEST THIRD STREET,
SUITE 200, NEW YORK, NY 10012
PHONE: 212.512.1000
FAX: 212.512.1001

BHDP

CHASE BANK
NOTT AND BALLTOWN ATM
2341 NOTT STREET
SCHENECTADY, NY 12309



Project Manager:
A. PONTING
Drawn:
K. MILLER
Checked:
Z. FEIN
Contract Drawing Date:
07-19-21
Proj. No.:
TKO04.44

A104

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY

SECTIONS & DETAILS

1 SITE PLAN REVIEW
0 OWNERS REVIEW

04-01-22
01-21-22



Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
3		221.725	137.876	23	0	0
4		222.558	150.547	9.478	0	0
5		222.676	144.702	9.478	0	0
Total Quantity: 3						



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 5/9/2022

ITEM TITLE: DISCUSSION: 2303 Nott St. E – Starbucks – Application for Site Plan Review for interior and exterior renovations to the shop.

PROJECT LEAD: TBD

APPLICANT: Daniel Brennan, Starbucks permit agent

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Daniel Brennan, Starbucks permit agent, submitted an Application for Site Plan Review for internal and external remodeling of the Starbucks at 2303 Nott St. E. The remodeling includes general painting and interior remodeling, relocating new exterior menu boards and new signage.

The property falls within the C-N Neighborhood Commercial zoning district and Town Center Overlay district. Sections 220-10E (3) (d) and 220-13, Schedule I-D of the Niskayuna zoning code, do not allow restaurants with vehicle pick-up and ordering facilities in the C-N district. However, the Zoning Board of Appeals (ZBA) granted a use variance on November 28, 2012 allowing the restaurant with its present vehicle pick-up and ordering configuration.

Summary of Action Requested by the Planning Board

- A waiver for a façade sign with a sign area of 100% logo is requested as noted in 5, below.
- A waiver allowing two façade signs on one façade is requested as noted in 7, below.
- A waiver of 1.18 sq. ft. of sign area is requested for the Side Entry façade as noted in 7, below.

BACKGROUND INFORMATION

Documentation Package

A completed site plan application and 24-page documentation package was provided that includes the following.

Pages 1 – 9 of the 24 page package

- Entitled Niskayuna Shoprite Sq.
- By Bergman Architects Engineers Planners, Philadelphia, PA

No.	Name	Sheet #	Issue Date	Rev.	Rev Date
1	Demo floor plan	D101	2/14/22	1	4/12/22
2	Demo elevations	D103	2/14/22	1	4/12/22
3	Ref site plan	A001	2/14/22	1	4/12/22
4	Site details	A002	2/14/22	---	---
5	Site details	A003	2/14/22	---	---
6	Site details	A004	2/14/22	---	---
7	Bldg. exterior elevation	A201	2/14/22	1	4/12/22
8	Schedules	A601	2/14/22	---	---
9	FF & E plan	I101	2/14/22	1	4/12/22

The originally issued versions of the drawings identified as numbers 1, 2, 3, 7 & 9 in the table above included proposed modifications to the existing building that were removed from the project scope with Rev. 1 dated 4/12/22. The areas of the building where these proposed modifications were to occur are identified on the Rev. 1 drawings with scalloped red balloons.

Pages 10 – 24 of the 24 page package

- Entitled Starbucks Coffee #7363
- 2303 Nott St. E., Niskayuna, NY 12309
- By Hilton Displays, Greenville, SC
- All drawings contain a “Dwg. Date” of 3/1/22
- All drawings contain a “Rev. Date / Revision” of 4/21/22

All pages of the Hilton Displays drawing package were reviewed relative to Niskayuna zoning code resulting in the following.

1. Site Plan: Demo

--- Page 11 of the 24 page documentation package

--- Items A – E will be removed from the store and will be replaced with items F – L, as shown

2. Site Plan: Proposed

--- Page 12 of 24

--- Items identified as F, G, H, I, J, K, L are proposed to be added to the project site

3. Elevation: Existing

--- Page 13 of 24

--- Displays the Rear Elevation & Front Elevation

--- Displays the (1) existing sign on the Rear façade of the building

--- Displays the (1) existing sign on the Front façade of the building

4. Elevation: Proposed – Drive-Thru

--- Page 14 of 24

--- Displays the Exterior Elevation – Drive-Thru

--- Displays “Drive Thru” façade sign “L” 48” DT Wall Sign” which is compliant with zoning code

5. Elevation: Proposed – Main Entry

--- Page 15 of 24

--- Displays the Exterior Elevation – Main Entry

--- Displays “Logo” façade sign “K” 60” Siren

--- Section 220 – 48.4 E (5) Logo of the zoning code states: “In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign are to comprise not more than 30% of the sign area...”

--- As proposed the logo comprises 100% of the sign & requires a waiver

--- **A waiver of 70% of logo area is requested resulting in a façade sign with an area of 100% logo**

6. Elevation: Proposed -- Rear

--- Page 16 of 24

--- Displays the Exterior Elevation – Rear

--- Displays “Starbucks” façade sign “J – 16” Remote Channel Letters”

--- The proposed sign is complaint with zoning code

7. Elevation: Proposed -- Side Entry

--- Page 17 of 24

--- Displays the Exterior Elevation – Side Entry

--- Section 220-48.4 E (9) Number of signs of the zoning code states: “A maximum of one facade sign per use is permitted, except that a use fronting on two streets may have one sign for each building front...”

--- As proposed the side entry will have two façade signs on one façade & will require a waiver

--- **A waiver is requested for two façade signs on the “Side Entry” elevation**

--- Schedule I-D Part 1 C-N District states: “For each linear foot of building frontage, 1 square foot of sign area shall be permitted...”

--- The Side Entry façade measures 22.96 ft.

--- As proposed the two signs measure 24.14 sq. ft. (17.18 sq. ft. + 6.96 sq. ft.)

--- **A waiver is requested for 1.18 sq. of sign area.**

8. 3-Panel Menu -- Freestanding

--- Page 18 of 24

--- Displays the DTE – Menu 3 Panel Freestanding

--- There is no specific section of the Niskayuna zoning code related to menu panels

--- The Planning Board should review the menu panels as part of the overall redesign

9. DOS ON Canopy – DCB On Unistrut

--- Page 19 of 24

--- Displays DTE canopy and associated control boxes

--- There is no specific section of the Niskayuna zoning code related to this item

--- The Planning Board should review the canopy as part of the overall redesign

10. Pre-Menu Board – Freestanding

--- Page 20 of 24

--- Displays the DTE – Pre-menu freestanding

--- There is no specific section of the Niskayuna zoning code related to menu panels

--- The Planning Board should review the menu panels as part of the overall redesign

11. Revolution Clearance Bar

--- Page 21 of 24

--- Displays the drive-thru clearance bar and mounting

--- There is no specific section of the Niskayuna zoning code related to clearance bars

--- The Planning Board should review the clearance bar as part of the overall redesign

12. 16" Channel Letter – Remote "STARBUCKS" sign

--- Page 22 of 24

--- Displays the "Starbucks" façade sign identified as "J" on the site plan and drawing set

--- The sign measures 154.63" long x 16" high (17.18 sq. ft.) and is compliant with code

13. 60" Illuminated Siren – Starbucks logo sign

--- Page 23 of 24

--- Displays the Starbucks logo sign identified as "K" on the site plan and drawing set

--- Per Niskayuna zoning code the area of the sign is 60" x 60" or 25 sq. ft.

--- As proposed the logo comprises more than 30% of the sign area and therefore requires a waiver from the PB as noted in 5, above

14. 48" DT Wall Sign – RH – Drive-Thru sign

--- Page 24 of 24

--- Displays the Drive-Thru sign identified as "L" on the site plan and drawing set

--- The sign measures 47.75" wide x 21" high (6.96 sq. ft.)

--- As proposed the sign is individually compliant with zoning code

The applicant is appearing before the Planning Board this evening to present the proposed redesign and address any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name DANIEL BRENNAN -
STARBUCKS PERMIT AGENT

Address 8 STONEGATE LANE,
SALEM NH 03079

Email DPBPERMITS@GMAIL.COM

Telephone 603-505-5633 Fax _____

Location:

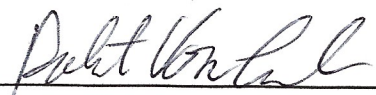
Number & Street 2303 NOTT ST E

Section-Block-Lot 40. - 1 - 17.3

Zoning District C-N Neighborhood Commercial

Proposal Description: STABUCKS RENOVATION- EXTERIOR WORK TO INCLUDE:
REMOVE EXISTING WALL SIGNAGE AND INSTALL NEW WALL SIGNS. PAINT
EXISTING CANOPIES (2) MAIN ENTRANCE AND ONE OVER DRIVE THRU WINDOW
UPDATE PATIO FURNITURE. RELOCATE AND UPDATE DRIVE THRU EQUIPMENT
CLEARANCE BAR, PRE-MENU BOARD, ORDER SCREEN WITH CANOPY AND 3 PANEL
MENU BOARD

Signature of applicant:  Date: 04/25/22

Signature of owner (if different from applicant): 

Date: 4/27/22

LEGEND

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- PRESERVE FOR FUTURE USE
- EXISTING TO REMAIN
- EXISTING WALL FINISH TO BE DEMOLISHED

ITEMS TO PRESERVE

- FRONT BAR:**
- MAESTRO'S (2)
 - UNDERCOUNTER FRIDGES (2)
 - SAFE
 - POS PRINTER
- BACK BAR:**
- BREWER
 - SHUTTLES (4)
 - UNDERCOUNTER FRIDGE (2)
 - CUP CADDY
 - DT POS EQUIPMENT
- BACK OF HOUSE:**
- ALL METRO RACKS
 - FREEZERS
 - FRIDGES
- SITE:**
- BIKE RACK

ITEMS TO DEMOLISH

- FRONT BAR:**
- ZEPHYR
 - POS (2)
 - POS CASEWORK
 - ESP ICE BIN, SINKS, AND CASEWORK
- BACK BAR:**
- BREW EQUIPMENT AND CASEWORK
 - NITRO STATION
 - WARMING STATION
 - CBE STATION
 - DT POS CASEWORK
- CAFE:**
- FLOORING
 - ALL FURNITURE AND FIXTURES
 - MERCH SHELVINGS
 - REFRIDGERATED FOOD CAGE
 - MERCH SHELVING

- RESTROOMS:**
- EXISTING RESTROOMS

- SITE:**
- CLEARANCE BAR
 - ORDER POINT
 - CANOPY
 - ALL EXTERIOR FURNITURE
 - MENU BOARD

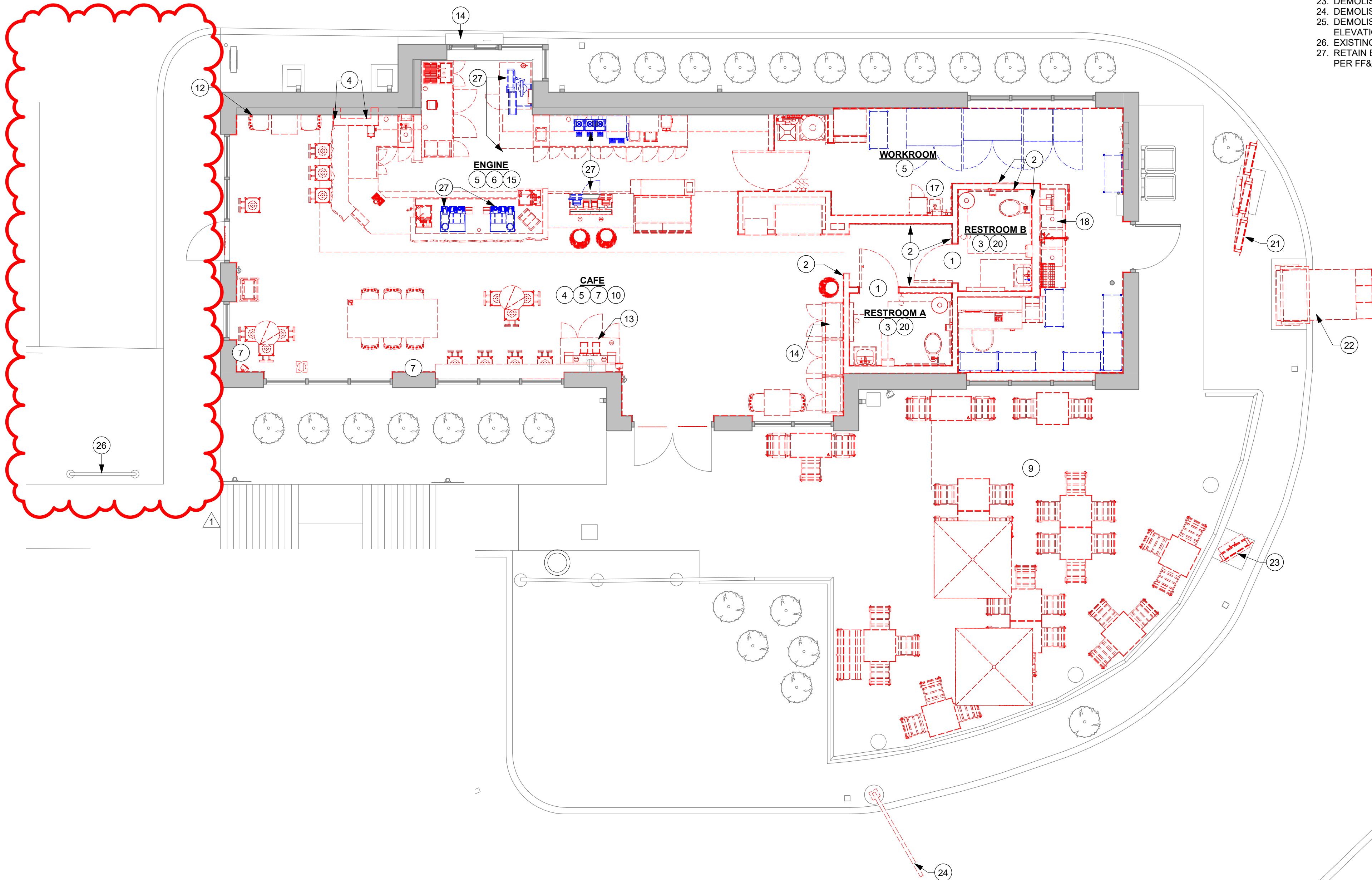
- WORKROOM:**
- ICE MACHINE
 - LOCKER
 - HAND SINK
 - MOP SINK
 - WATER FILTRATION EQUIPMENT
 - 3 COMP SINK
 - MANAGER'S DESK
 - FLOORING

KEYED NOTES

1. DEMOLISH EXISTING DOOR FRAME AND ASSOCIATED FASTENERS.
2. DEMOLISH INTERIOR PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
3. DEMOLISH EXISTING RESTROOMS AND CAP PLUMBING.
4. DEMOLISH EXISTING WALL FINISH. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.
5. DEMOLISH EXISTING FLOORING. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.
6. DEMOLISH EXISTING CASE WORK, HANGING DEVICES, AND FASTENERS AS SHOWN. DEMOLISH ASSOCIATED ELECTRICAL AND DATA LINES, CAP EXISTING PLUMBING.
7. DEMOLISH EXISTING FIXTURES, FURNITURE, AND EQUIPMENT. REFERENCE SCHEDULES ON THIS SHEET FOR ITEMS TO BE PRESERVED.
8. NOT USED.
9. ALL EXISTING OUTDOOR FURNITURE, UMBRELLAS, AND STANDS TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL OF FURNITURE FROM SITE.
10. ALL EXISTING CAFE FURNITURE TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL OF FURNITURE FROM SITE.
11. EXISTING MERCHANDISE BAYS TO BE DEMOLISHED.
12. EXISTING ARTWORK, MURAL AND COMMUNITY BOARD TO BE DEMOLISHED.
13. EXISTING CONDIMENT CART TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL.
14. EXISTING DRIVE THRU WINDOW TO REMAIN.
15. DEMOLISH EXISTING COUNTERTOPS AND UNDERCOUNTER CASEWORK AT FRONTBAR AND BACKBAR.
16. EXISTING MENU BOARDS TO BE DEMOLISHED.
17. EXISTING HAND SINK TO BE DEMOLISHED.
18. EXISTING 3- COMP SINK TO BE DEMOLISHED.
19. EXISTING ICE BIN TO BE DEMOLISHED.
20. EXISTING PLUMBING FIXTURES, CHANGING TABLE, HAND DRYER, MIRROR AND SCONCE IN RESTROOM TO BE REMOVED.
21. DEMOLISH EXISTING MENU BOARD
22. DEMOLISH EXISTING ORDER POINT
23. DEMOLISH EXISTING PRE-MENU BOARD
24. DEMOLISH EXISTING CLEARANCE BAR
25. DEMOLISH EXISTING SIGNAGE. REFER TO EXTERIOR ELEVATIONS.
26. EXISTING BIKE RACK TO REMAIN
27. RETAIN EXISTING ITEM AS SHOWN FOR RELOCATION PER FF&E PLAN

GENERAL NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF EXISTING CONDITIONS DEVIATE FROM CONSTRUCTION DOCUMENTS.
- C. REMOVE EXISTING INTERIOR WALL FINISH AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, (I.E. PIECES OF WALL COVERING OR BACKING). REMOVAL OF ALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
- D. REMOVE EXISTING FLOORING AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVAL OF EXISTING FLOORING INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF EXISTING CERAMIC TILE, CARPET OR VINYL TILE FLOORING AND ASSOCIATED WALL BASE. SUBFLOOR TO BE STRIPPED OF ALL COVERING/FINISH AND CLEANED TO REMOVE EXISTING ADHESIVE, GROUT, MORTAR, DIRT AND COATINGS. FINAL SURFACE TO BE STREAK-FREE WITH NO MACHINE MARKS AND/OR SMOOTH, STABLE AND LEVEL. PROVIDE LEVELING WHERE NECESSARY TO ACCOMMODATE NEW FINISHES.
- E. DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS ETC. PRIOR TO DEMOLITION, FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- F. DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, DATA OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- G. VERIFY WITH STARBUCKS CONSTRUCTION MANAGER ACCESS TO THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- H. PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- I. CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- J. THE GENERAL CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILINGS, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
- K. ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- L. AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE.
- M. REFER TO "ITEMS TO BE PRESERVED" LIST FOR ITEMS THAT SHALL BE SALVAGED FOR RELOCATION. VERIFY WITH OWNER FOR ON SITE STORAGE LOCATION OF SALVAGED ITEMS.
- N. DAMAGED FIREPROOFING SHALL BE REPAIRED/ REPLACED TO MATCH EXISTING.
- O. THE GENERAL CONTRACTOR SHALL DEMOLISH ANY EXISTING ABANDONED VOICE/DATA CABLING AND DEAD OR NON-USE ELECTRICAL BACK TO PANEL. ALL RECEPTACLES NOT REUSED ARE TO BE REMOVED, PATCHED AND PAINTED.
- P. REMOVAL OF LOW VOLTAGE EQUIPMENT, PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED BY THE STARBUCKS CONSTRUCTION MANAGER PRIOR TO REMOVAL. SALVAGED EQUIPMENT SHALL BE STORED IN A CLIMATE CONTROLLED ENVIRONMENT FOR FUTURE INSTALLATION.
- Q. LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
- R. REMOVE EXISTING PLUMBING FIXTURES AND HVAC EQUIPMENT AS NECESSARY. CAP LINES AND TERMINATE DUCTS AS NECESSARY FOR THOSE NOT BEING RE-USED.



1 DEMOLITION PLAN

Scale: 3/16" = 1'-0"

BID / PERMIT - INTENDED FOR CONSTRUCTION USE



STARBUCKS®
2401 UTAH AVENUE SOUTH
SEATTLE, WASHINGTON 98134
(206) 318-1575

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EXPIRATION DATE: 07/31/2023

PROJECT NAME:
NISKAYUNA
SHOPRITE SQ

PROJECT ADDRESS:
2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #: 07363
PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

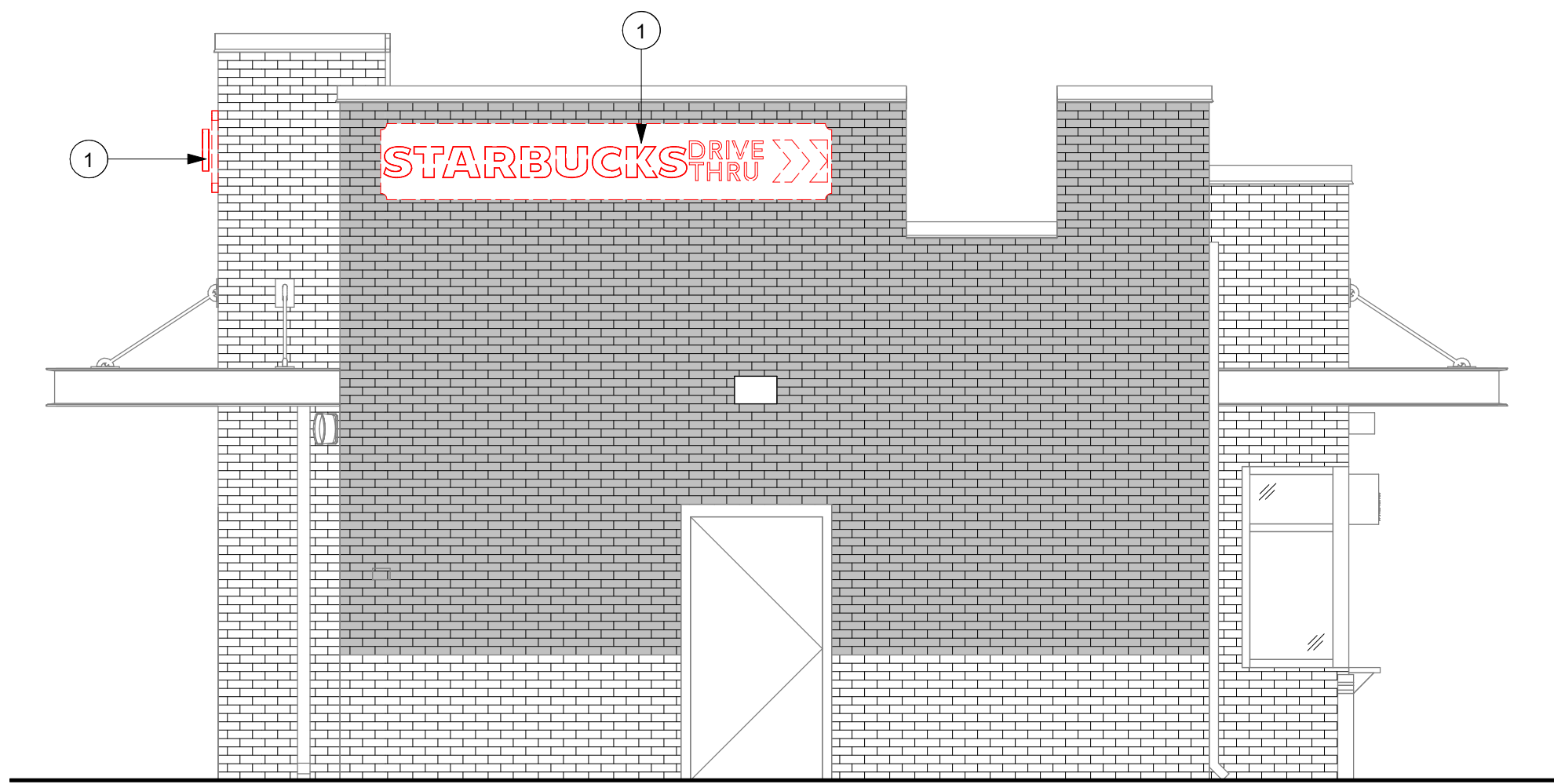
Revision Schedule				
Rev	Date	By	Description	
1	04/12/22		REVISIONS TO SITE SCOPE	

SHEET TITLE:
DEMOLITION FLOOR PLAN

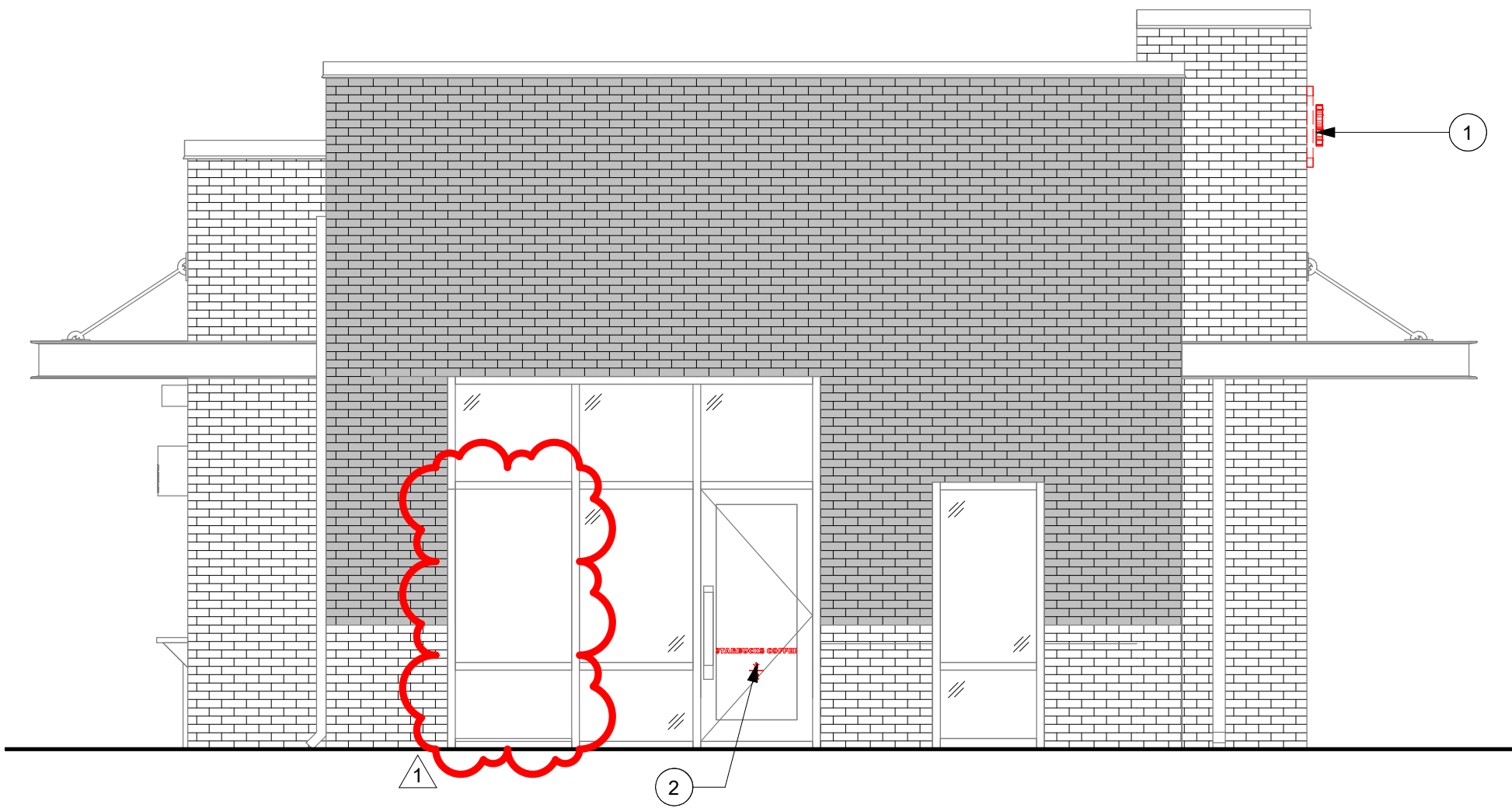
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SHEET NUMBER:

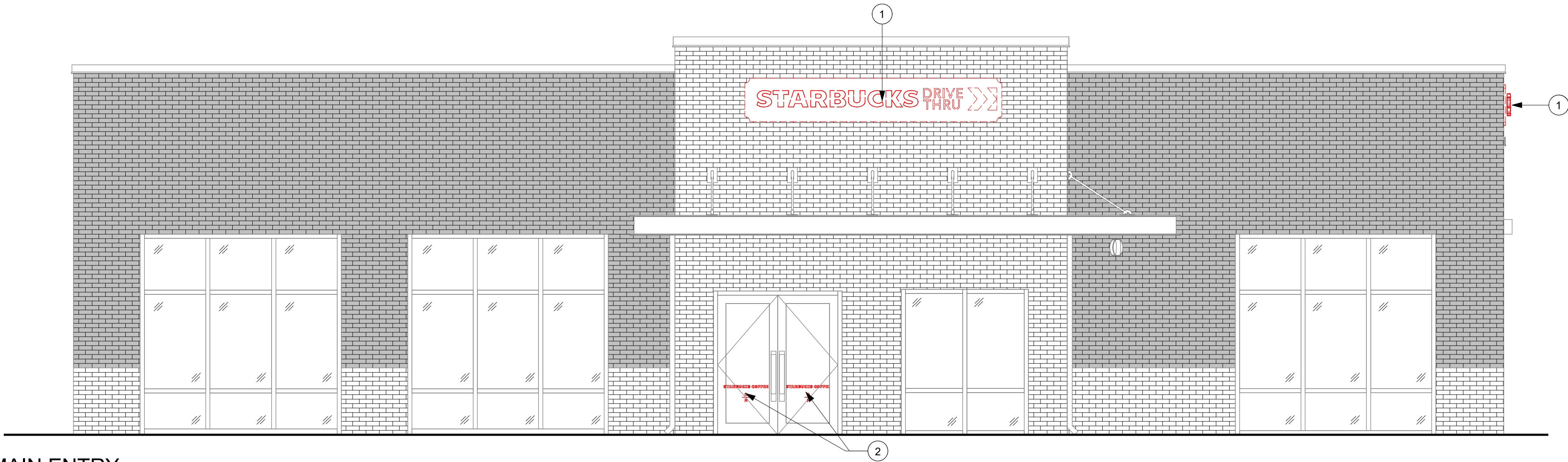
D101



3 EXTERIOR ELEVATION - REAR
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SIDE ENTRY
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - MAIN ENTRY
Scale: 1/4" = 1'-0"

ITEMS TO DEMOLISH

- SITE:
- SIGNAGE
 - RESERVE BAR VINYL

KEYED NOTES

1. DEMLOSIH EXISTING SIGNAGE
DEMOLISH EXISTING VINYL
NOT USED

LEGEND

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- PRESERVE FOR FUTURE USE
- EXISTING TO REMAIN
- EXISTING WALL FINISH TO BE DEMOLISHED



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Revision Schedule

Rev	Date	By	Description
1	04/12/22		REVISIONS TO SITE SCOPE

SHEET TITLE:

DEMOLITION
ELEVATIONS

SCALE: AS SHOWN

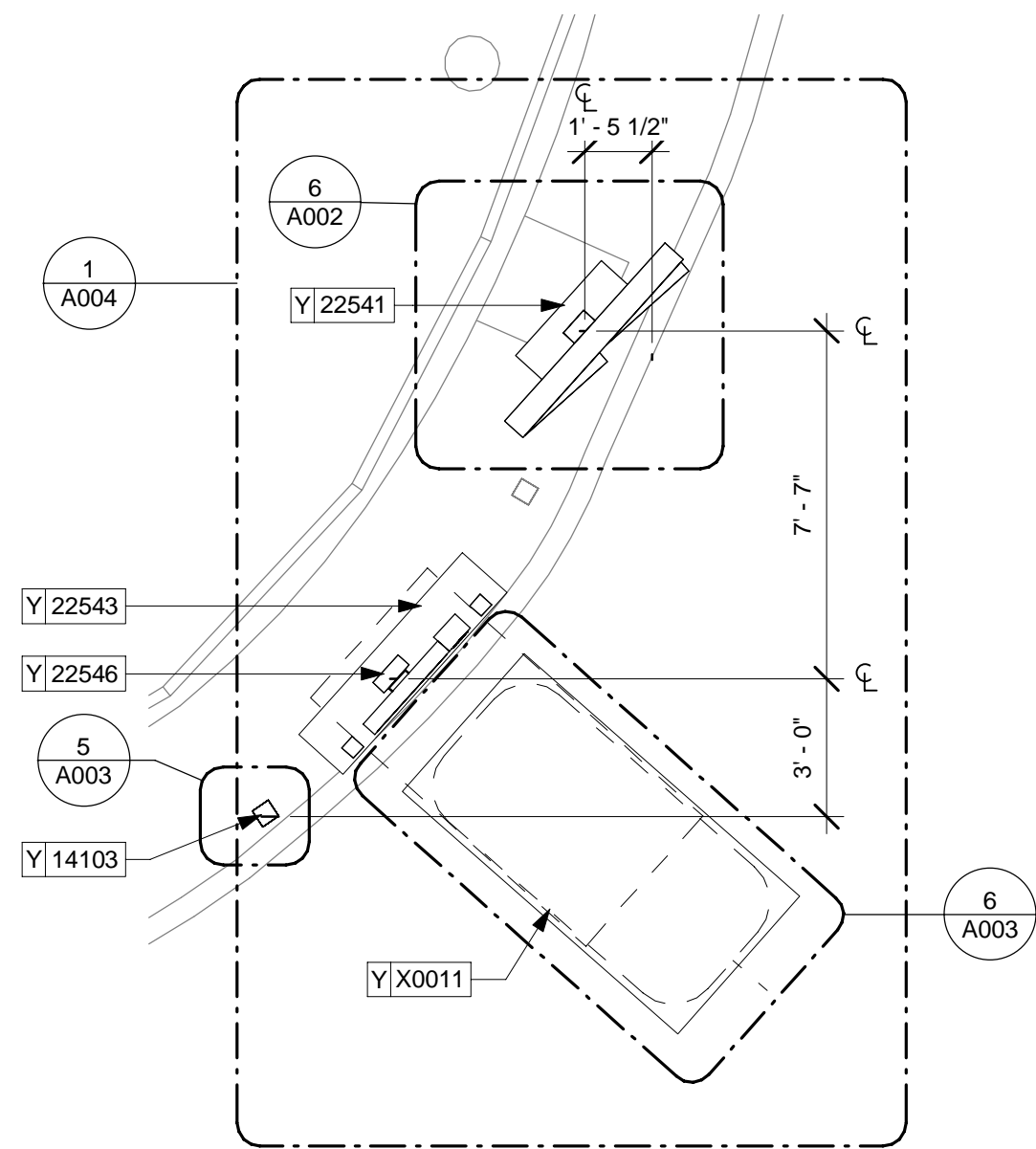
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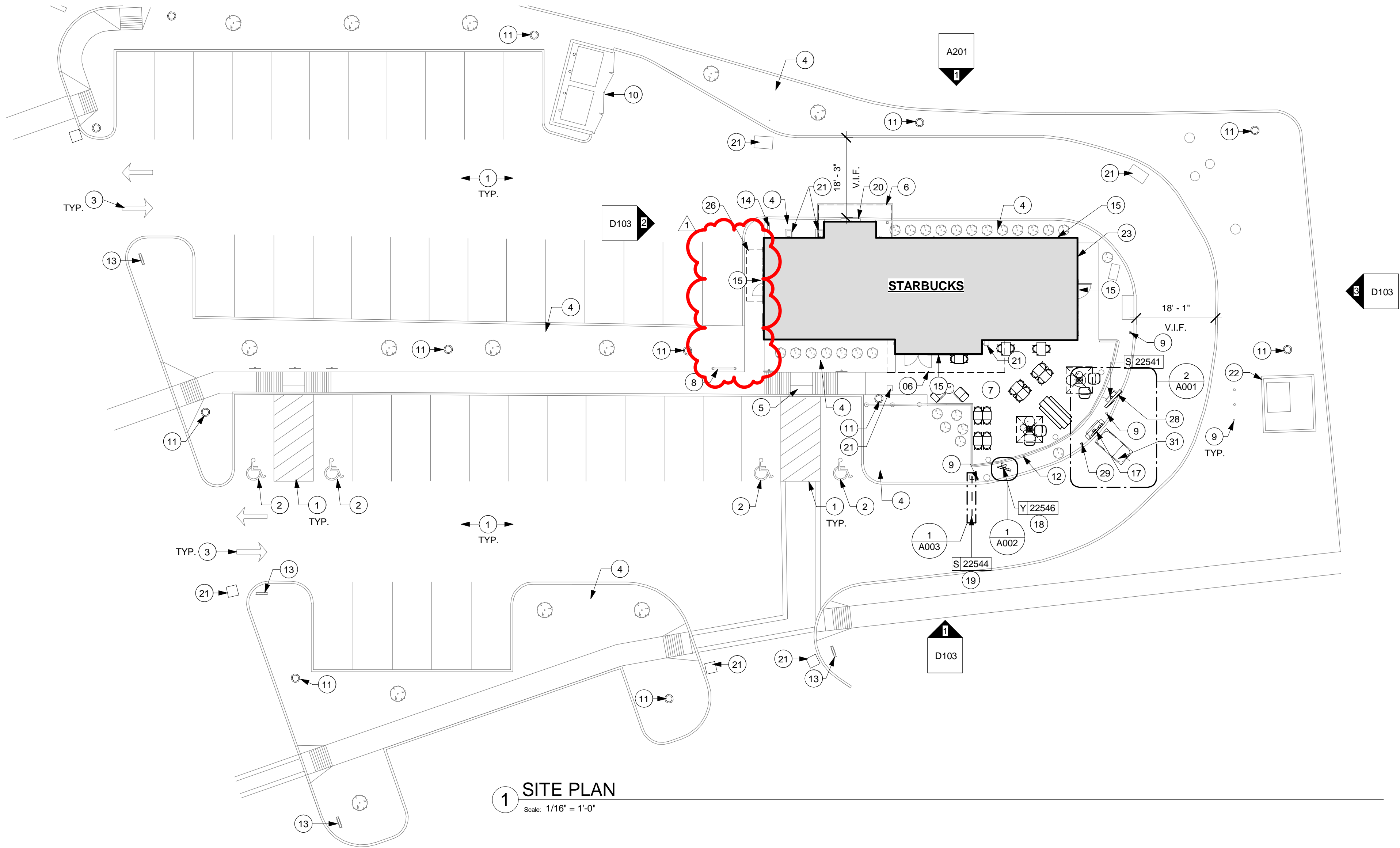
BID / PERMIT - INTENDED FOR CONSTRUCTION USE

SITE SCHEDULE - "Y"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
EXTERIOR MENU				
22541	1	MENU BOARD - DT 3 PANEL SQUARE FRAME FREESTANDING - 63X62IN 1600X1575MM - BLACK	SB/SB	
22546	2	MENU BOARD - DT DIGITAL ORDER SCREEN WITH POST - BLACK	SB/SB	
OTHER				
14103	1	BOLLARD NONILLUMINATED SQUARE - FLAT BLACK MT0028	SB/GC	
22543	1	DT ORDER POINT CANOPY SQUARE FRAME - BLACK	SB/SB	
X0011	1	VEHICLE LOOP DETECTION	SB/GC	BY HME; CONDUIT MUST BE INSTALLED PRIOR TO PAVING, GC TO COORDINATE WITH PAVING CONTRACTOR
UMBRELLA				
10068	2	UMBRELLA - IN GROUND - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	SB/GC	
18714	2	UMBRELLA - BASE 200LB 90KG - FLAT BLACK MT0028	SB/GC	

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
SIGNAGE - DISK				
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
SIGNAGE - DRIVE THRU				
14099	2	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - RH - 48IN 1220MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB/SB	
SIGNAGE - WORDMARK				
18496	2	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 16IN 405MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCK DESIGN



2 ENLARGED PLAN AT ORDERPOINT
Scale: 1/4" = 1'-0"



1 SITE PLAN
Scale: 1/16" = 1'-0"

GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NOT USED.
- GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SLOPE.
- SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- SEE SHEET A002-A005 FOR ARCHITECTURAL SITE DETAILS.

KEYED NOTES

- EXISTING STRIPING.
- EXISTING ADA PARKING.
- EXISTING WAYFINDING ARROWS.
- EXISTING LANDSCAPED AREA.
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY.
- EXISTING CANOPY ABOVE SHOWN DASHED FOR REFERENCE.
- EXISTING OUTDOOR SEATING AREA.
- EXISTING BIKE RACK TO REMAIN.
- EXISTING BOLLARD.
- EXISTING TRASH ENCLOSURE.
- EXISTING SITE LIGHTING.
- EXISTING METAL RAILING.
- EXISTING "DRIVE THRU" DIRECTION SIGNAGE.
- EXISTING "THANK YOU/EXIT ONLY" SIGNAGE.
- NEW FLUSH MOUNTED BUILDING SIGNAGE. SEE ELEVATIONS.SCHEDULES FOR DETAILS.
- NOT USED
- NEW ORDER POINT WITH CANOPY. SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- NEW PRE MENU BOARD.SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- NEW CLEARANCE BAR.SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- EXISTING DRIVE THRU WINDOW.
- EXISTING DRAIN.
- EXISTING TRANSFORMER.
- EXISTING ELECTRICAL METER.
- LANDSCAPE AREA.
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY.
- NEW CANOPY ABOVE SHOWN DASHED FOR REFERENCE.
- NEW OUTDOOR SEATING. SEE FF&E PLAN AND SCHEDULES.
- NEW 3-PANEL MENU BOARD. SEE SCHEDULES FOR DETAILS.
- NEW NONILLUMINATED BOLLARD
- NOT USED
- DRIVE THRU DETECTOR LOOP. SEE SITE DETAILS AND SCHEDULE.



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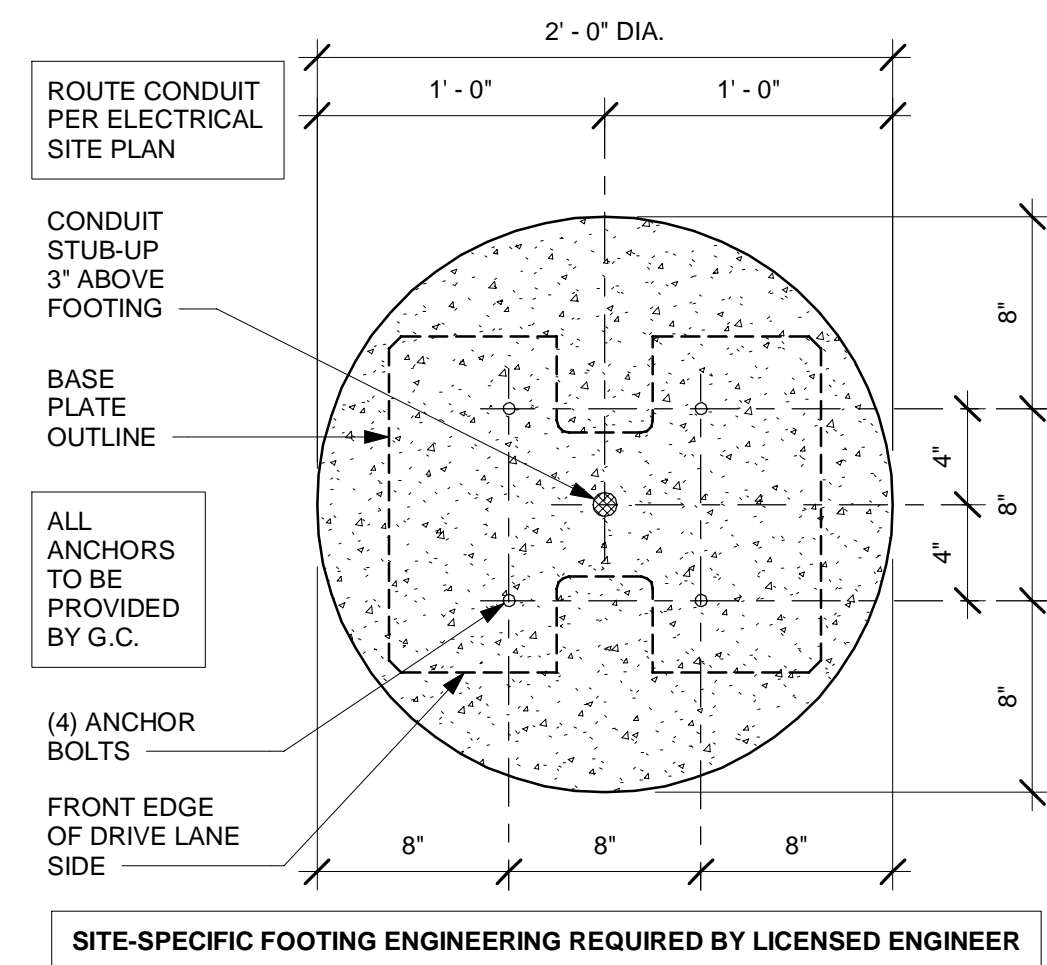
Revision Schedule			
Rev	Date	By	Description
1	04/12/22		REVISIONS TO SITE SCOPE

SHEET TITLE:
REFERENCE SITE PLAN

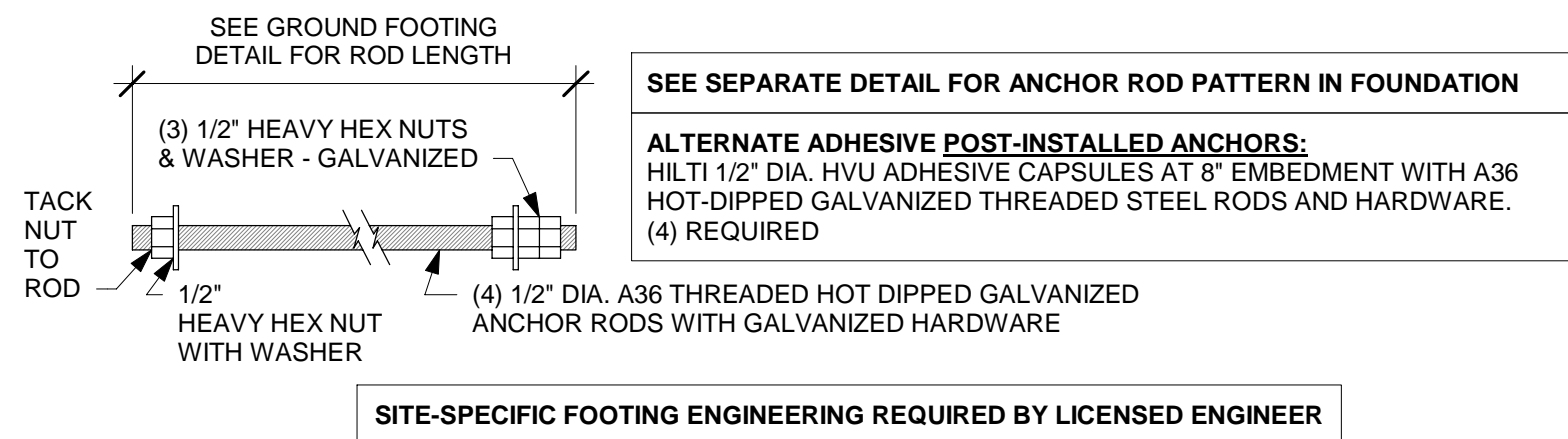
SCALE: AS SHOWN

SHEET NUMBER:
A001

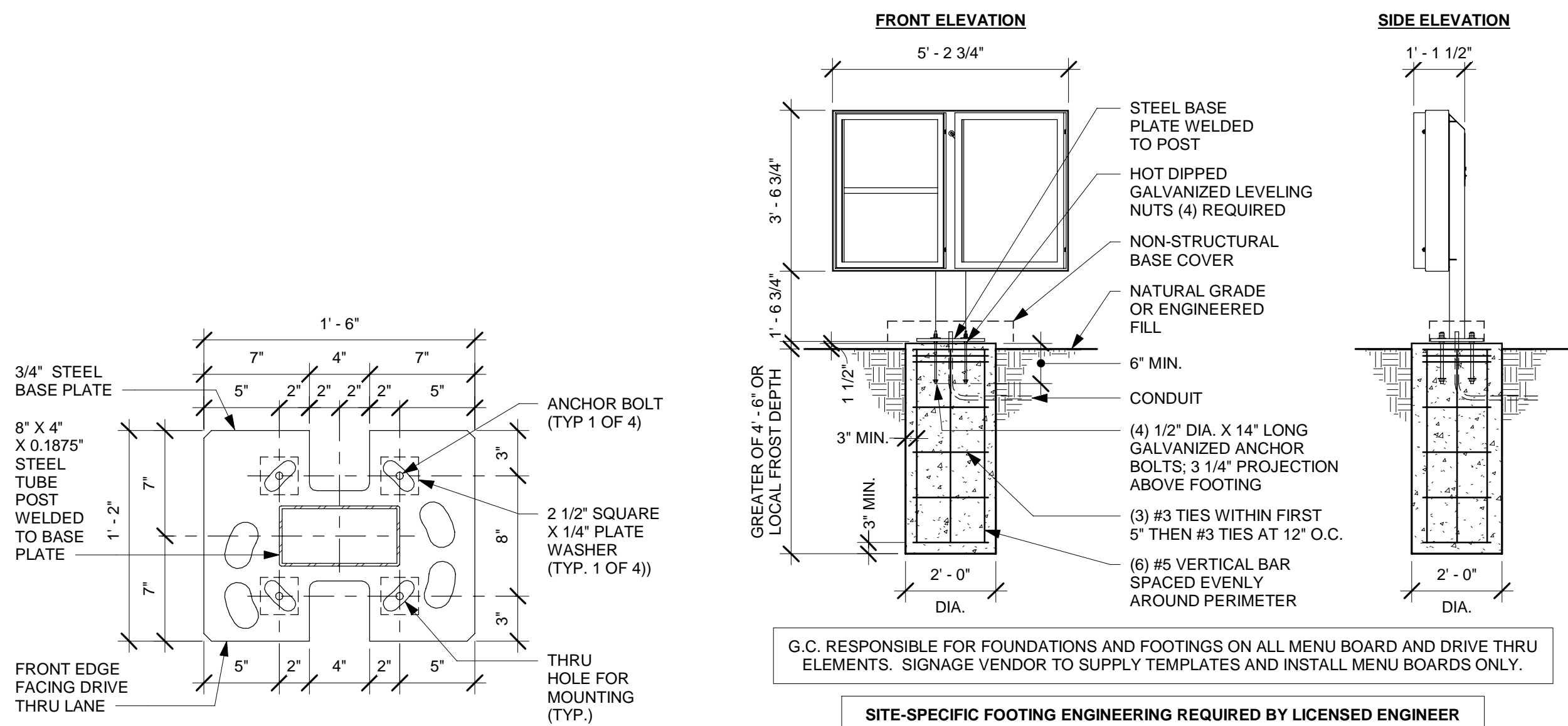
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7 DTE 5-PANEL MENU BOARD BOLT PATTERN (TOP VIEW)
Scale: 1 1/2" = 1'-0"



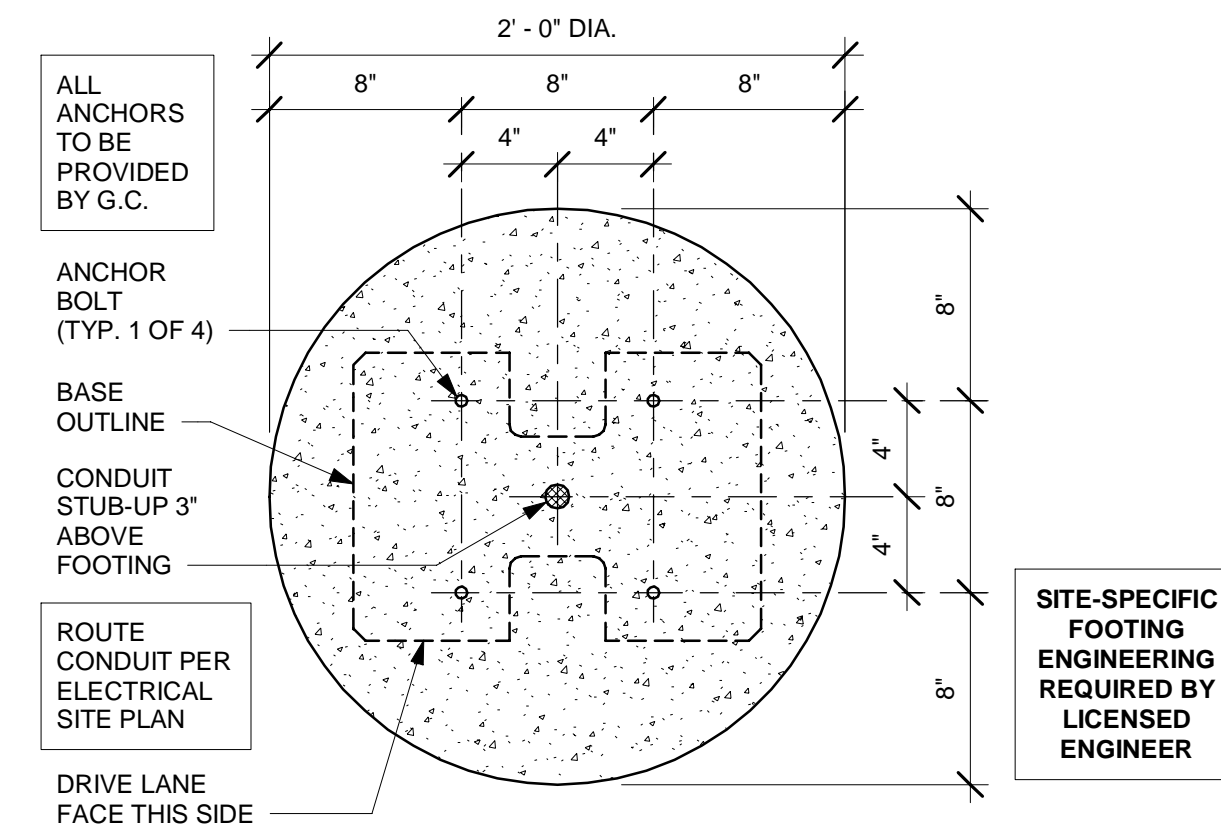
9 DTE 5-PANEL MENU BOARD ANCHOR ROD
Scale: 3" = 1'-0"



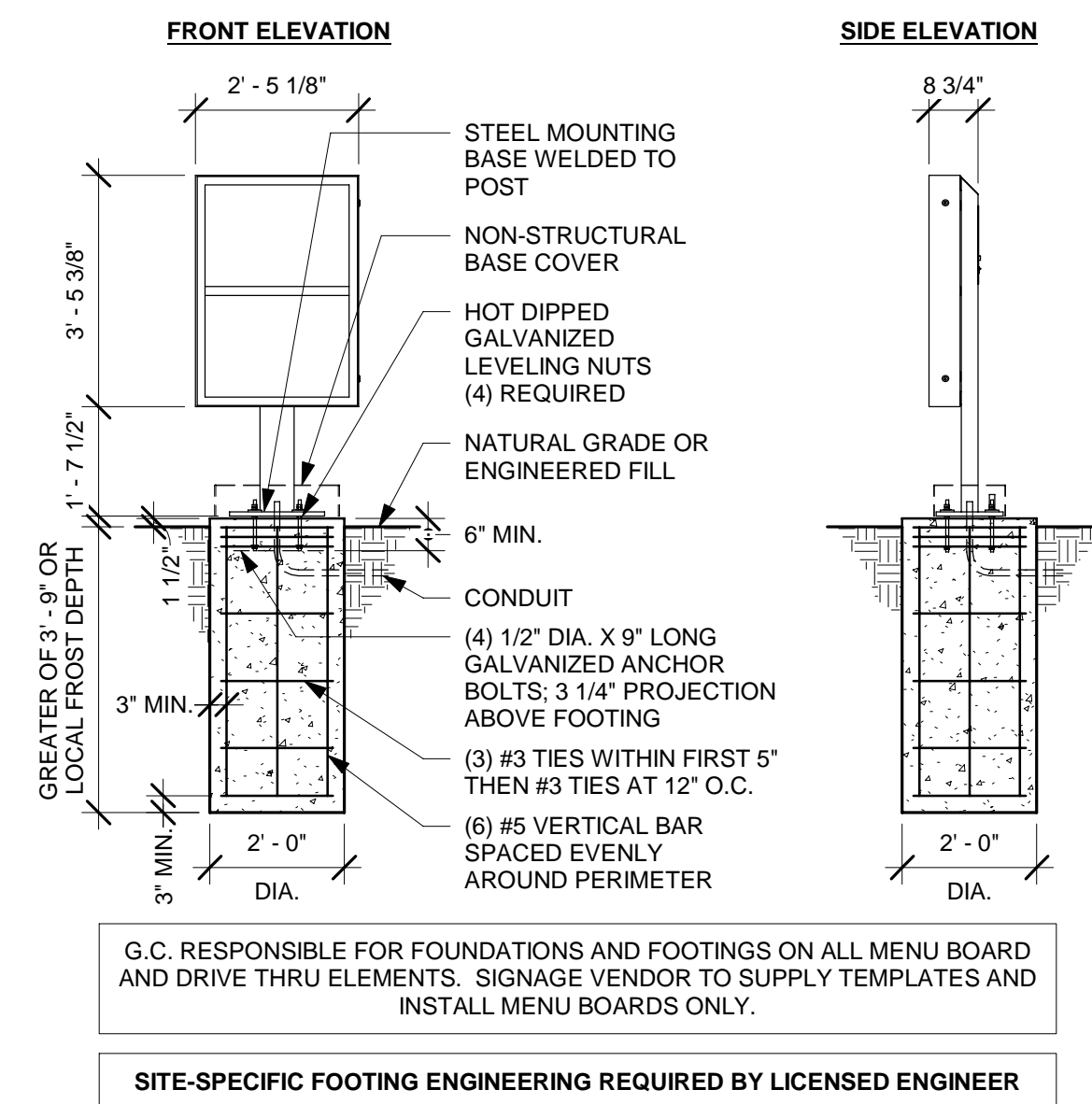
8 DTE 5-PANEL MENU BOARD BASE PLATE Scale: 1 1/2" = 1'-0"

6 DT 5-PANEL MENU BOARD GROUND FOOTING
Scale: 3/8" = 1'-0"

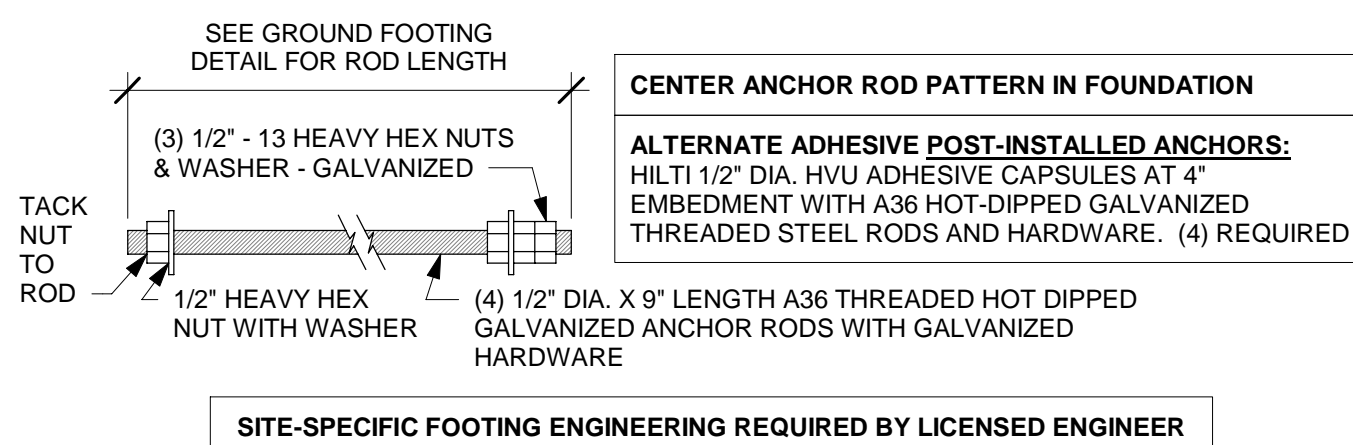
**SITE DETAIL DRAWINGS FOR
REFERENCE ONLY. SIGN VENDOR
TO ENGINEER AND PULL PERMIT
FOR SIGNAGE FEATURES.**



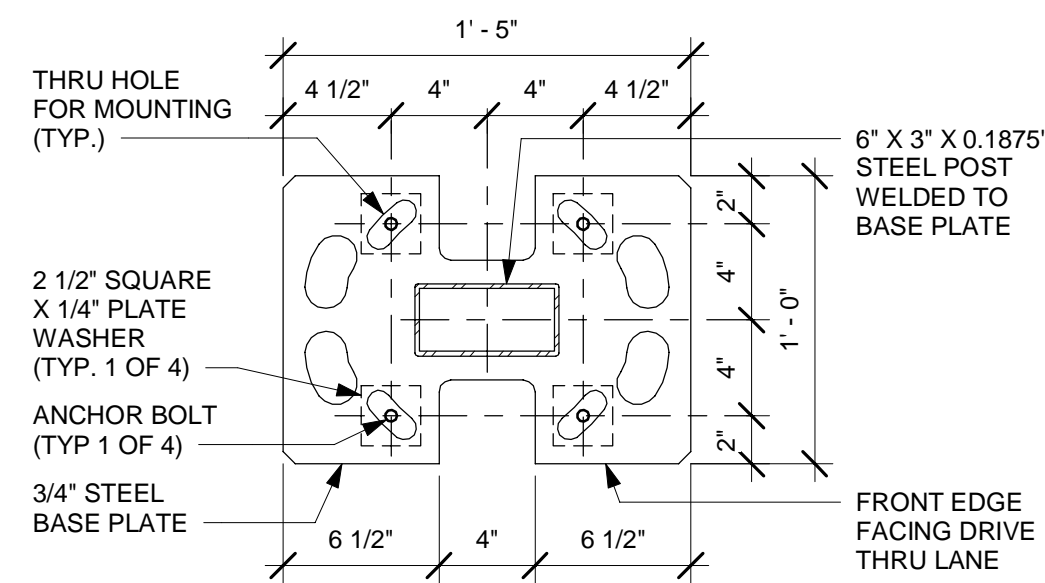
3 DTE PRE-MENU BOLT PATTERN (TOP VIEW)



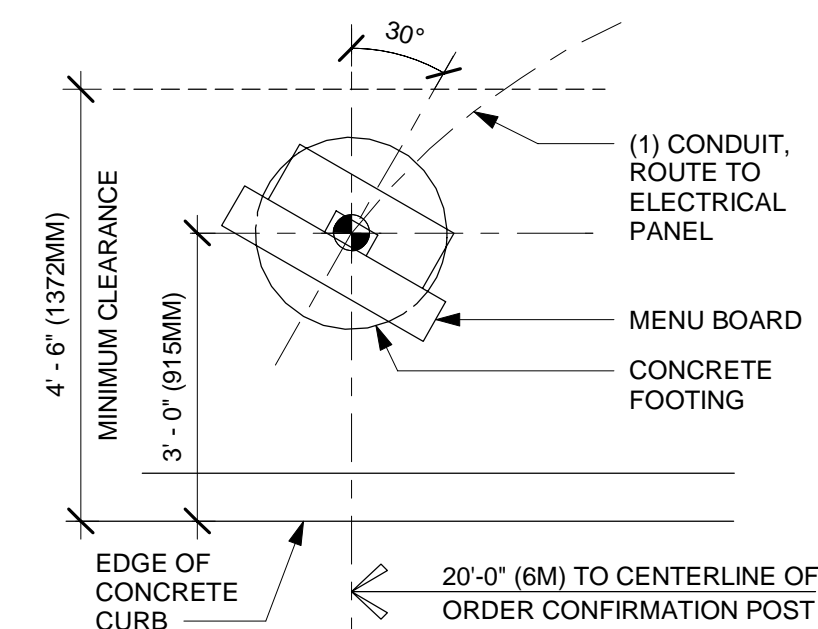
2 DTE PRE-MENU GROUND FOOTING



5 DTE PRE-MENU ANCHOR ROD
Scale: 3" = 1'-0"



4 DTE PRE-MENU BASE PLATE



1 PRE-MENU 30 DEG
Scale: 1/2" = 1'-0"



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PROJECT #:	03364-075

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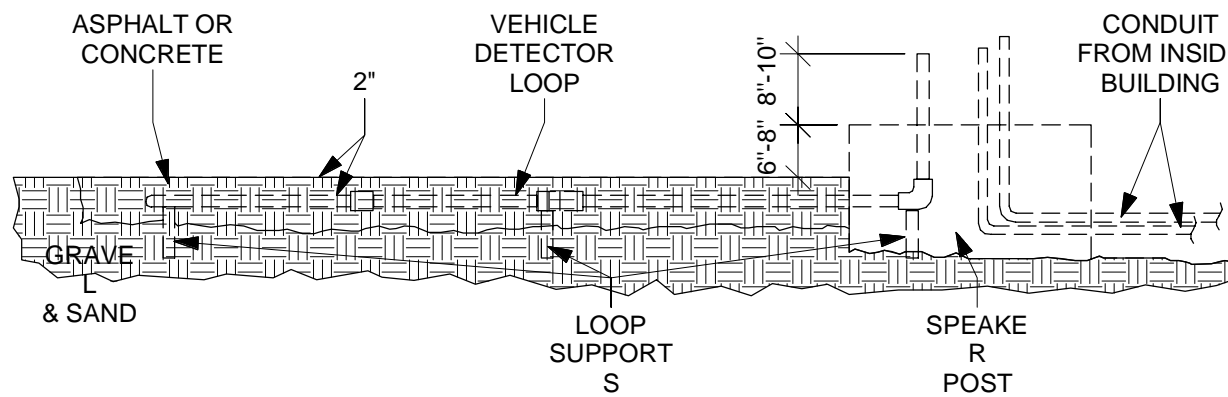
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SHEET TITLE:
SITE DETAILS

SCALE: AS SHOWN

SHEET NUMBER: A002

**SITE DETAIL DRAWINGS FOR
REFERENCE ONLY. SIGN VENDOR
TO ENGINEER AND PULL PERMIT
FOR SIGNAGE FEATURES.**

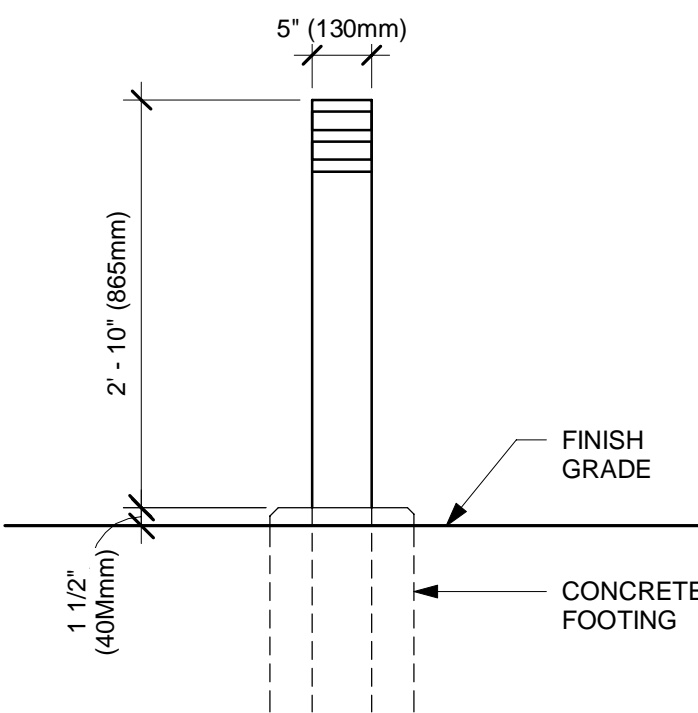


6 DTE - DETECTOR LOOP INSTALLATION - ISOMETRIC1

Scale: $1/2" = 1'-0"$

5 DTE - NON-ILLUMINATED BOLLARD

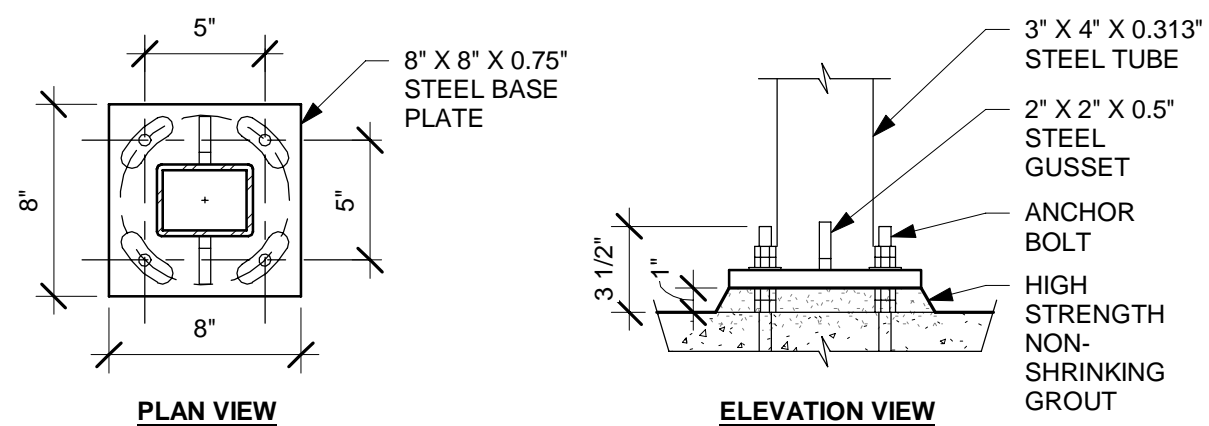
Scale: $3/4" = 1'-0"$



SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

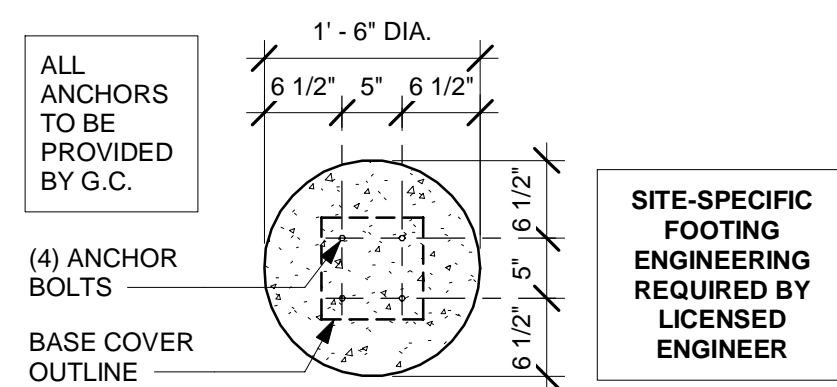
4 DTE CLEARANCE BAR ANCHOR ROD
Scale: 3" = 1'-0"

Scale: 3" = 1'-0"



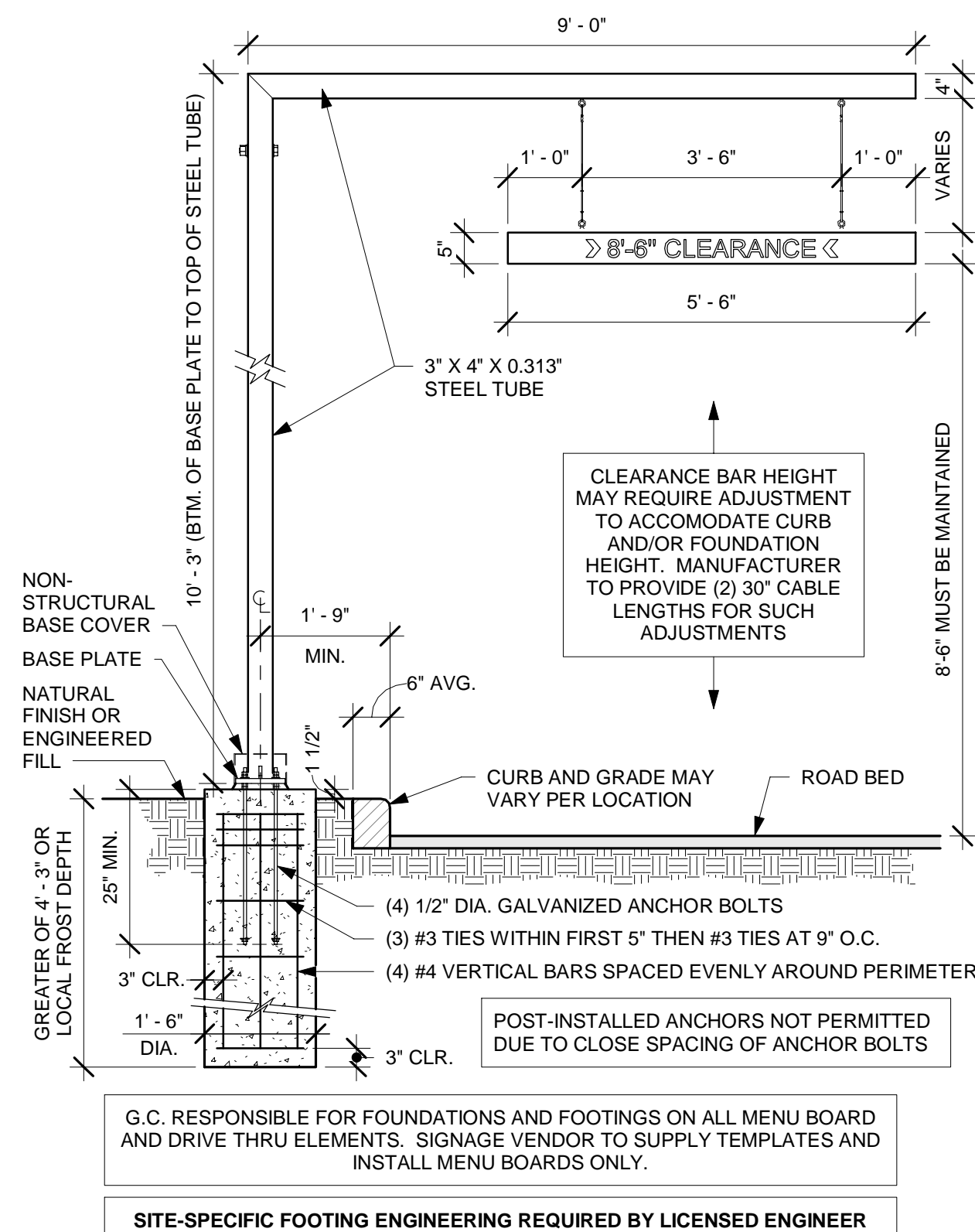
3 DIE CLEARANCE BAR BASE PLATE

Scale: 1 1/2" = 1'-0"



2 DIE CLEARANCE BAR BOLT PATTERN (TOP VIEW)

Scale: $3/4" = 1'-0"$



1 DTE CLEARANCE BAR GROUND FOOTING

Scale: $1/2" = 1'-0"$



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Revision Schedule			
Rev	Date	By	Description

SHEET TITLE

SITE DETAILS

SCALE: AS SHOWN

SHEET NUMBER:

A003



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A004

FRONT ELEVATION

4' - 6"

10' - 3 7/8"

1 1/2"

3' CLR.

6' - 0"

CANOPY ABOVE

DOS AND SPEAKER

STEEL BASE PLATE WELDED TO STEEL POSTS BY MFR.

1/2" HOT DIPPED GALVANIZED LEVELING NUTS (12) REQUIRED

NON-STRUCTURAL BASE COVER

NATURAL GRADE OR ENGINEERED FILL

6" MIN.

(12) 1/2" DIA. GALVANIZED ANCHOR RODS WITH 6" MIN. EMBEDMENT; 3" PROJECTION ABOVE FOOTING (TYP. AT EACH PLATE)

CONDUIT

(5) #5 LONG LENGTH, (10) #5 SHORT LENGTH TOP AND BOTTOM

GREATER OF 4'-0" OR LOCAL FROST DEPTH

SIDE ELEVATION

1' - 5"

6' - 7 7/8"

9' - 10"

3' CLR.

2' - 0"

3' CLR.

SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

Scale: $3/8" = 1'-0"$



Scale: 1" = 1'-0"



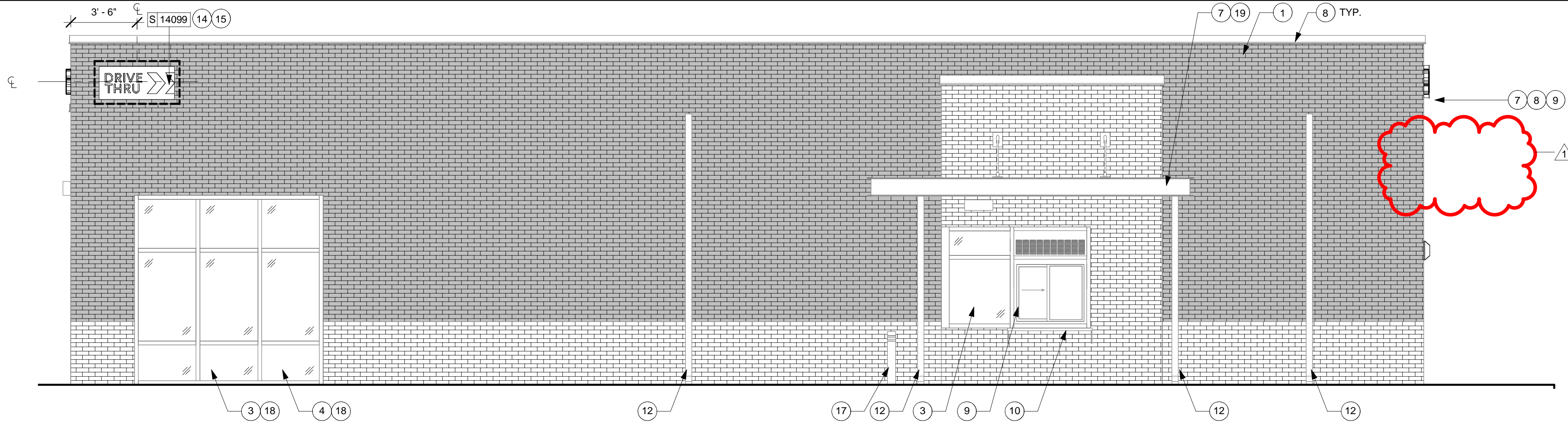
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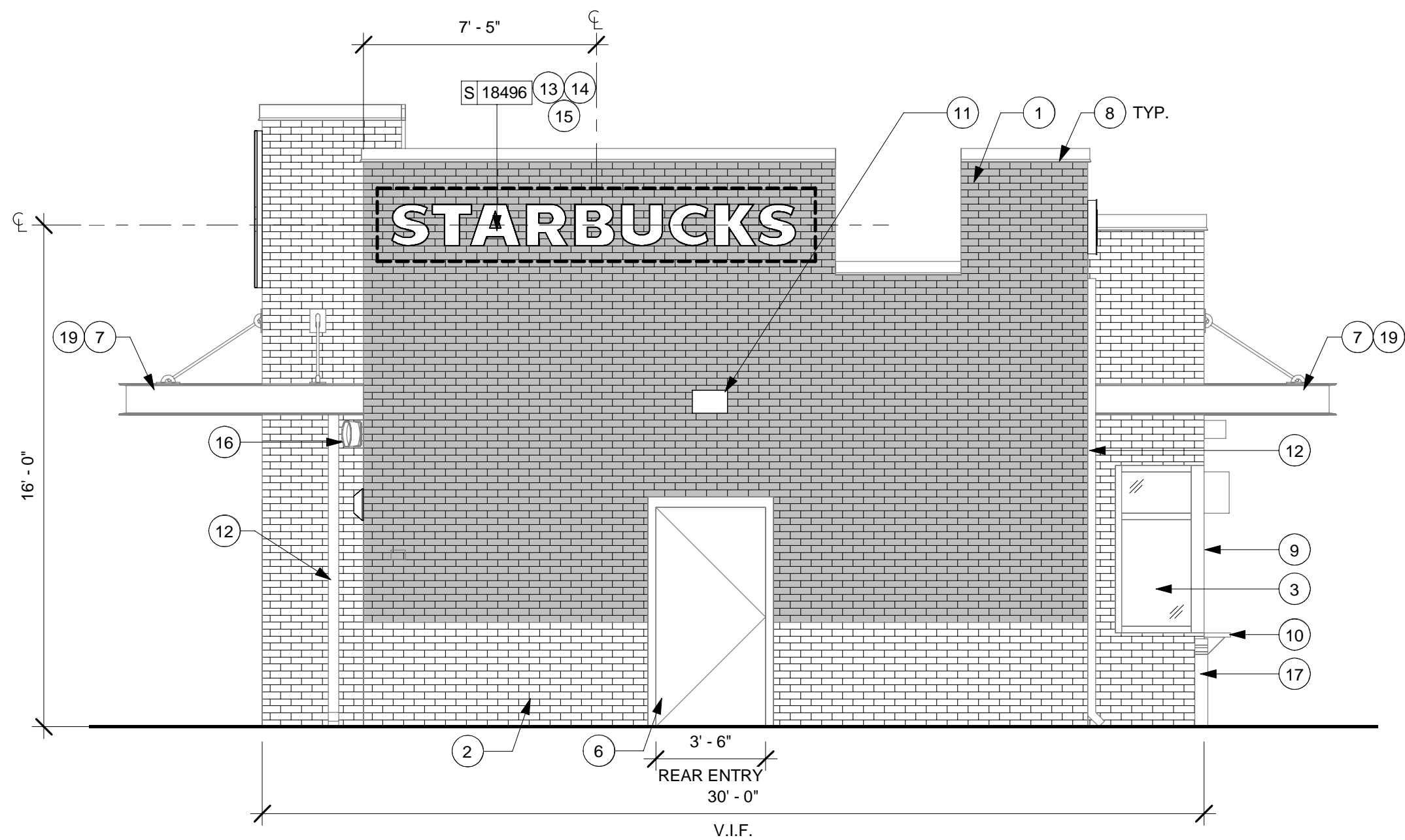
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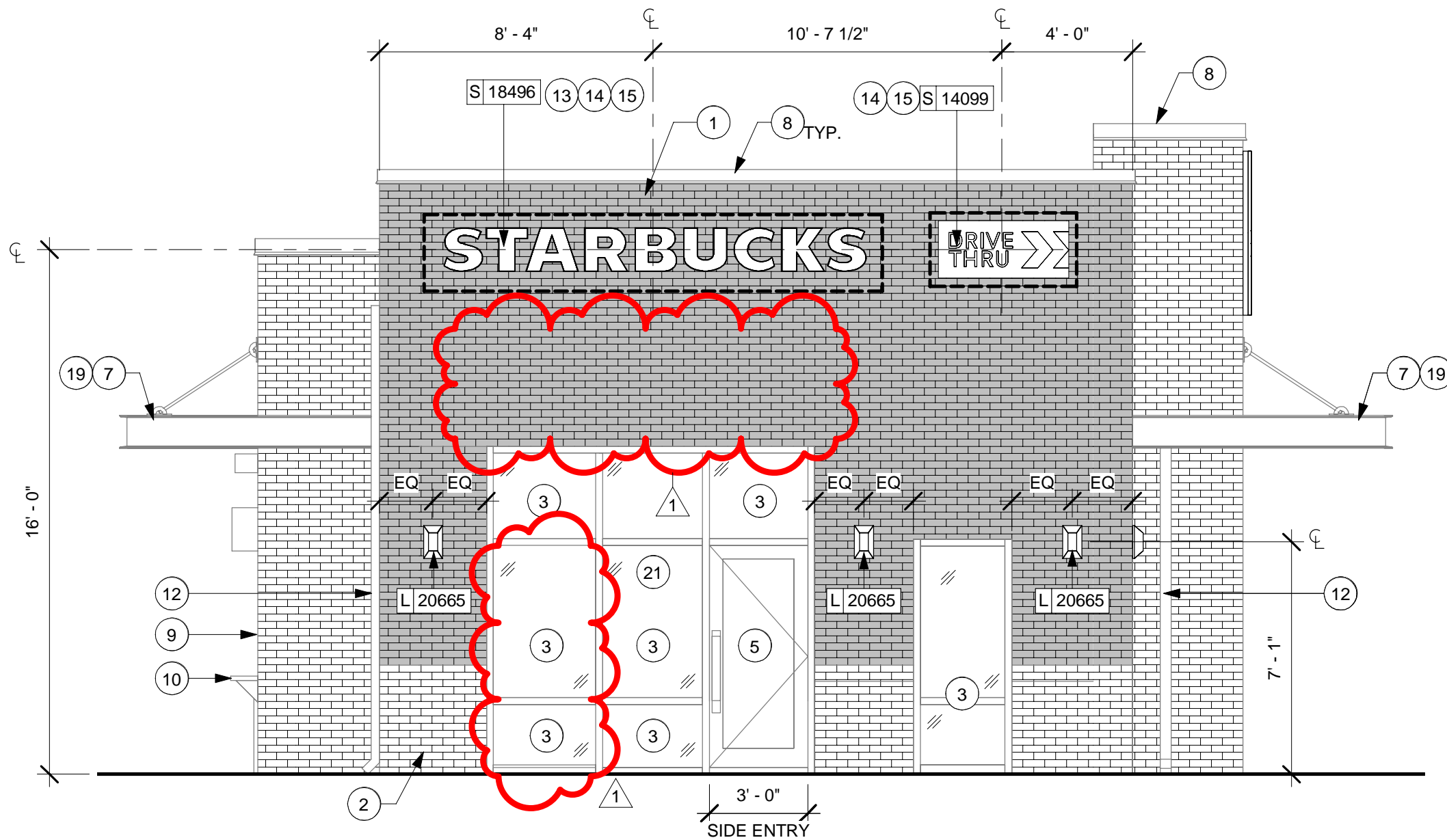
Scale: 1/2" = 1'-0"



1 EXTERIOR ELEVATION - DRIVE THRU
Scale: 1/4" = 1'-0"

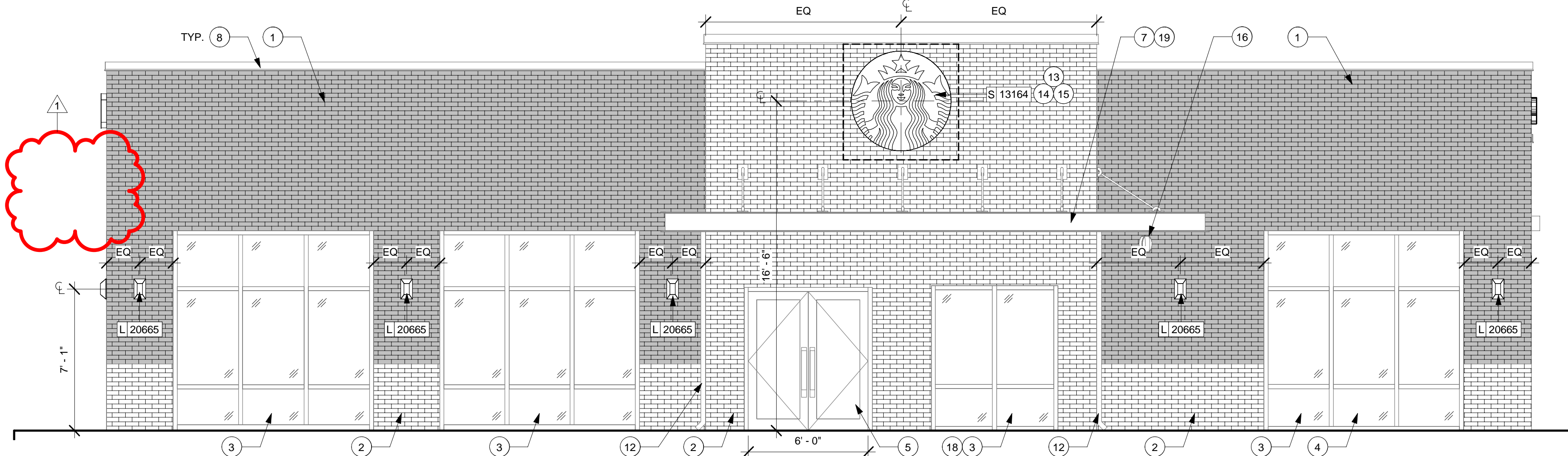


3 EXTERIOR ELEVATION - REAR
Scale: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - SIDE ENTRY
Scale: 1/4" = 1'-0"

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
SIGNAGE - DISK				
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
SIGNAGE - DRIVE THRU				
14099	2	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - RH - 48IN 1220MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB/SB	
SIGNAGE - WORDMARK				
18496	2	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 16IN 405MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCK DESIGN



2 EXTERIOR ELEVATION - MAIN ENTRY
Scale: 1/4" = 1'-0"

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

KEYED NOTES

- EXISTING BRICK FINISH; COLOR: RED.
- EXISTING BRICK FINISH; COLOR: TAN.
- EXISTING STOREFRONT.
- EXISTING SPANDREL GLASS.
- EXISTING STOREFRONT DOOR.
- EXISTING HOLLOW METAL DOOR.
- EXISTING METAL CANOPY.
- EXISTING COPING, TYP AT PARAPET. PAINT BLACK.
- EXISTING DRIVE THRU WINDOW/AIR CURTAIN.
- EXISTING DRIVE THRU WINDOW SHELF.
- EXISTING WALL SCENCE.
- EXISTING SCUPPER AND DOWNSPOUT.
- COORDINATE SIGN MOUNTING WITH CANOPY TIE BACKS.
- GC TO PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION OF J-BOX W/ SIGNAGE VENDOR PRIOR TO INSTALL.
- 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- EXISTING SPEAKER.
- EXISTING BOLLARD.
- WINDOW TO HAVE FILM FINISH.
- PAINT EXISTING CANOPY TRIM TO MATCH MT0028
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.



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3rd Floor
Philadelphia, PA 19102
office: 215.753.1524
www.bergmannpc.com



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LICENSE NO: 029335
EXPIRATION DATE: 07/31/2023

PROJECT NAME:
**NISKAYUNA
SHOPRITE SQ**
PROJECT ADDRESS:
2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #: 07363
PROJECT #: 03364-075
ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

Revision Schedule			
Rev	Date	By	Description
1	04/12/22		REVISIONS TO SITE SCOPE

SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN


SHEET NUMBER:
A201

BID / PERMIT - INTENDED FOR CONSTRUCTION USE

SITE SCHEDULE - "Y"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
EXTERIOR MENU				
22541	1	MENU BOARD - DT 3 PANEL SQUARE FRAME FREESTANDING - 63X62IN 1600X1575MM - BLACK	SB/SB	
22546	2	MENU BOARD - DT DIGITAL ORDER SCREEN WITH POST - BLACK	SB/SB	
OTHER				
14103	1	BOLLARD NONILLUMINATED SQUARE - FLAT BLACK MT0028	SB/GC	
22543	1	DT ORDER POINT CANOPY SQUARE FRAME - BLACK	SB/SB	
X0011	1	DT WINDOW SHELF - 48IN 1205MM - SST	SB/GC	BY READY ACCESS
X0011	1	VEHICLE LOOP DETECTION	SB/GC	BY HME; CONDUIT MUST BE INSTALLED PRIOR TO PAVING; GC TO COORDINATE WITH PAVING CONTRACTOR
UMBRELLA				
10068	3	UMBRELLA - IN GROUND - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	SB/GC	
18714	3	UMBRELLA - BASE 200LB 90KG - FLAT BLACK MT0028	SB/GC	

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
SIGNAGE - DISK				
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
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2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #:
PROJECT #:

07363
03364-075

ISSUE DATE:
DESIGN MANAGER:
PRODUCTION DESIGNER:
CHECKED BY:

02/14/2022
NATALIA ROSENTHAL
MB/EE
HVT

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
SCHEDULES

SCALE: AS SHOWN

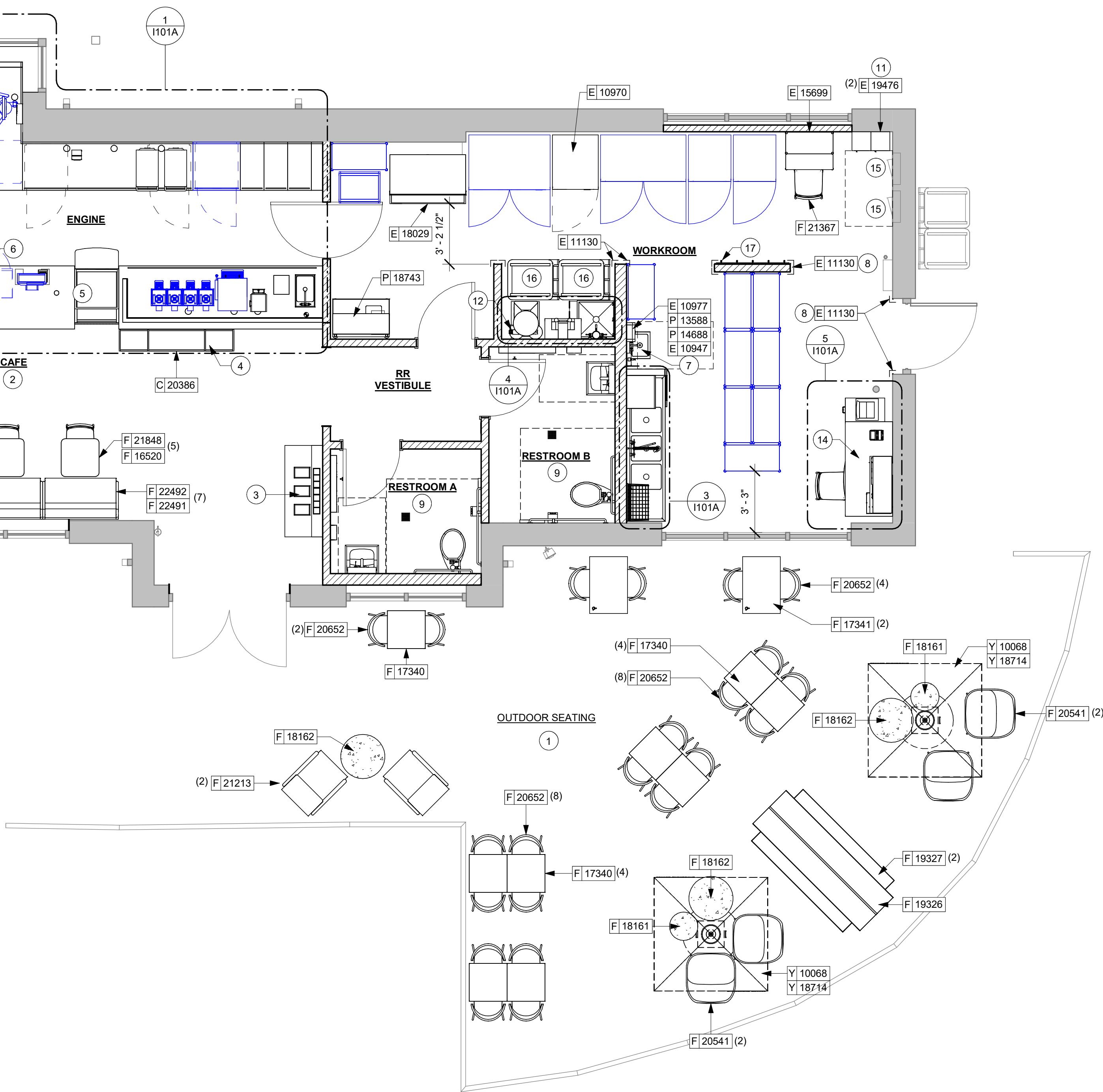
SHEET NUMBER:
A601

GENERAL NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- B. THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND PREP. AREAS SHALL HAVE A 6" COVED BASE.
- D. ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- E. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREP. AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE AND SEMI-GLOSS OR HIGH-GLOSS FINISH.
- G. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- H. ALL EQUIPMENT AND CABINETRY WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- I. CONFIRM ALL NECESSARY CLEARANCES PER PRODUCT CUT SHEET REQUIREMENTS FOR ALL EQUIPMENT (E.G. ICE MACHINE).
- J. FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- K. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- L. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- M. EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- N. FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- O. SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- P. GENERAL CONTRACTOR TO COORDINATE NEWSPAPER. FIXTURE ORDERING. CONTACT TRIAD MANUFACTURING BY EMAIL (starbucks@triadmf.com) OR BY PHONE (314-381-5280 X1111) TO ARRANGE SHIPMENT OF THE FIXTURE. ALLOW (5) DAY LEAD-TIME.

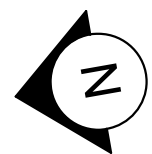
KEYED NOTES

1. INSTALL EXTERIOR FURNITURE THROUGHOUT AS SHOWN.
2. INSTALL CAFE FURNITURE THROUGHOUT AS SHOWN.
3. CONDIMENT CART. SEE CASEWORK PLAN AND SCHEDULES.
4. MERCHANDISE DISPLAY. SEE DETAILS X/150X FOR MORE INFORMATION.
5. DO NOT BLOCK FOOD CASE INTAKE/EXHAUST.
6. SAFE LOCATED AT POS CABINET. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
7. HAND SINK W/ INTEGRAL SPLASH GUARD.
8. INSTALL CORNER GUARD AS INDICATED. SEE INTERIOR FINISH ELEVATIONS.
9. REFER TO ENLARGED RESTROOM PLANS AND ELEVATIONS (SHEET 1401) FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
10. LOCATION OF SWITCH GEAR AND THERMOSTAT CONTROLS.
11. SECURE LOCKERS TO WALL.
12. VENDOR TO INSTALL WATER FILTRATION SYSTEM PER MANUFACTURER'S REQUIREMENTS. G.C. TO PROVIDE PLUMBING AND ELECTRICAL REQUIREMENTS.
13. WATER HEATER LOCATED ABOVE. SEE PLUMBING DRAWINGS.
14. MANAGERS DESK. SEE MANAGER'S DESK/EQUIPMENT RACK ELECTRICAL DETAIL FOR ADDITIONAL INFORMATION.
15. ELECTRICAL PANELS. SEE ELECTRICAL PLANS. MAINTAIN 3' CLEARANCE AT FRONT.
16. TRASH BIN.
17. COAT RACK MOUNTED AT 48" AFF.
18. PLACE FIRE EXTINGUISHER IN WORKROOM PER FIRE INSPECTOR.



1 FURNITURE, FIXTURES, AND EQUIPMENT PLAN

Scale: 1/4" = 1'-0"



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STORE #: 07363
PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

Revision Schedule

Rev	Date	By	Description
1	04/12/22		REVISIONS TO SITE SCOPE

SHEET TITLE:

FF & E PLAN

SCALE: AS SHOWN

SHEET NUMBER:

1101

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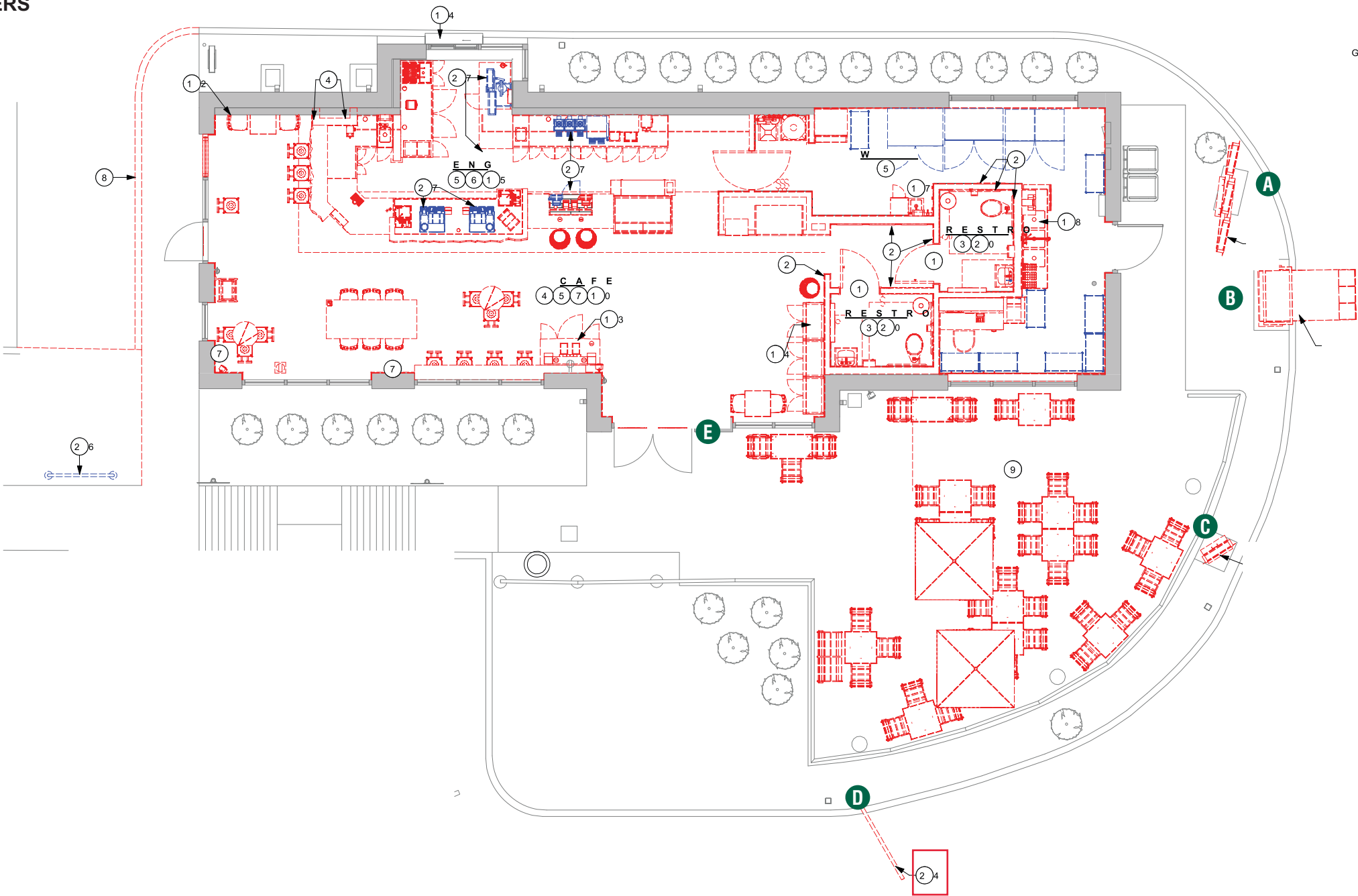
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SITE PLAN: DEMO

- A DEMO EXISTING MENU BOARD
- B DEMO EXISTING DOS/CANOPY
- C DEMO EXISTING PRE-MENU BOARD
- D DEMO EXISTING CLEARANCE BAR
- E DEMO EXISTING WORDMARK SIGNS
- F 3-PANEL MENU BOARD
- G DOS/CANOPY
- H PRE-MENU BOARD
- I CLEARANCE BAR
- J 16" REMOTE CHANNEL LETTERS
- K 60" SIREN
- L 48" DT WALL SIGN



2022

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JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

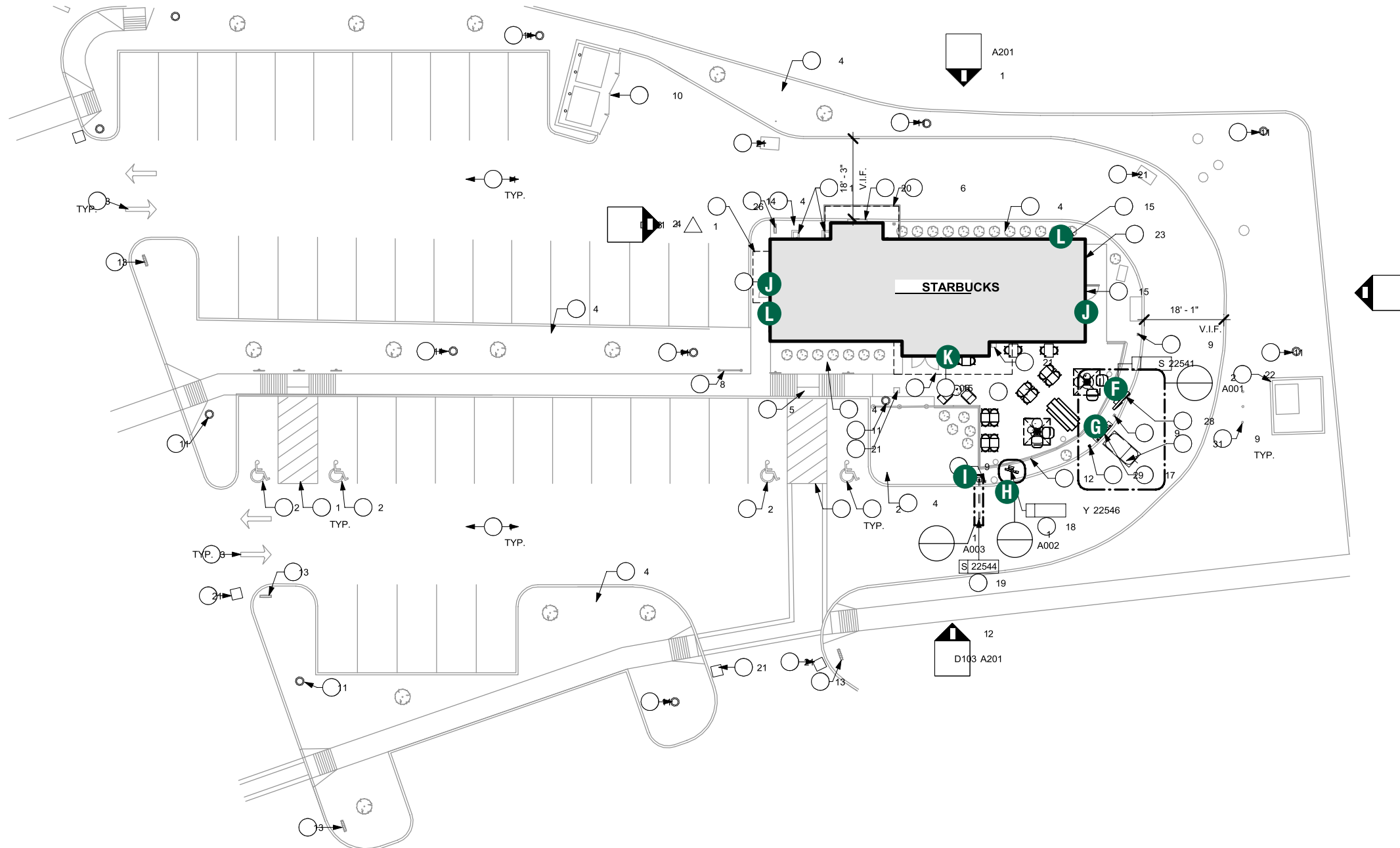
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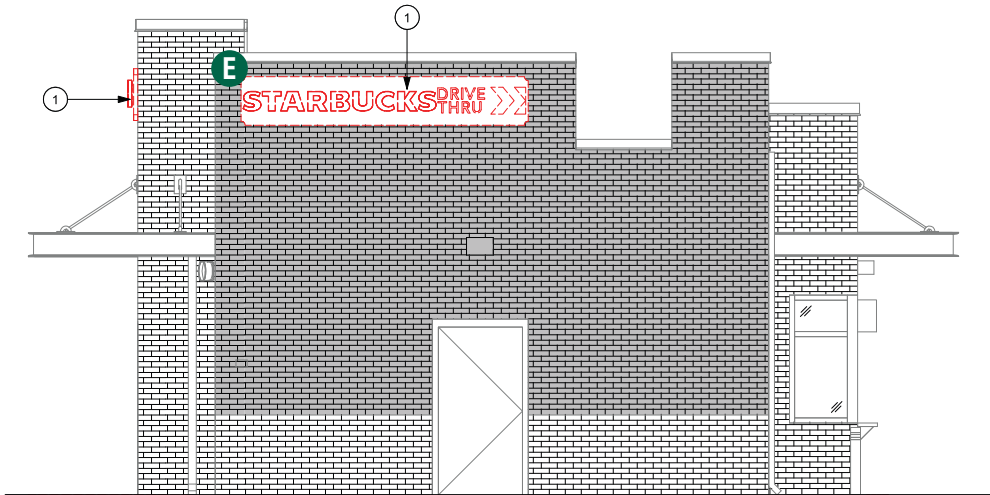
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Laboratories Inc.**

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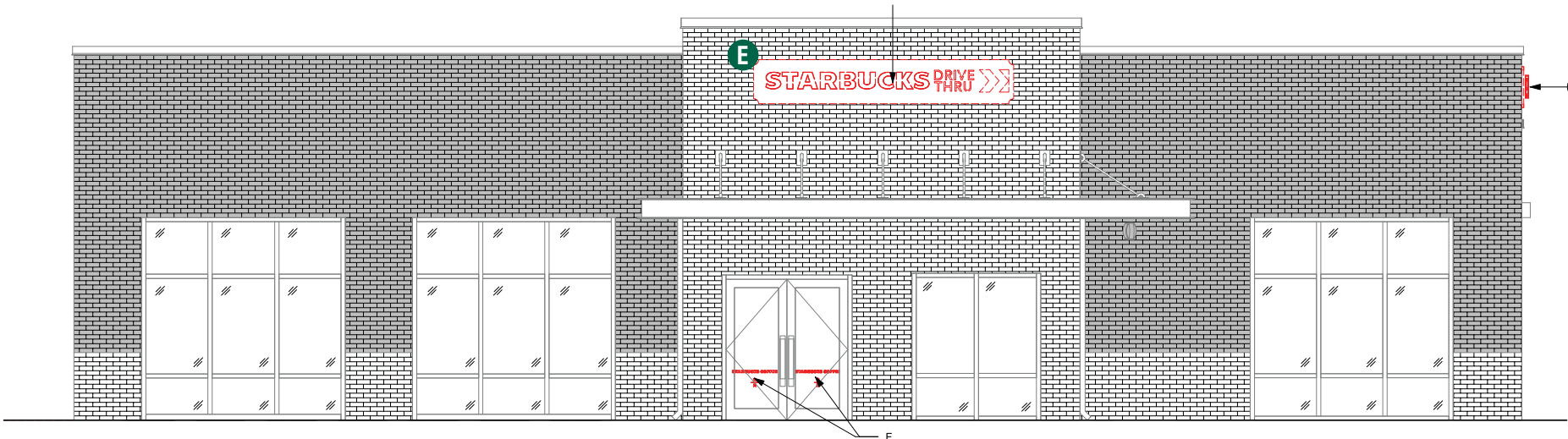
ELEVATION: EXISTING

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Rear Elevation

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Front Elevation

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SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

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REV. DATE / REVISION

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SCALE

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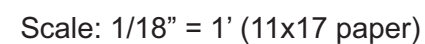
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SALESMAN / PM

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SCALE

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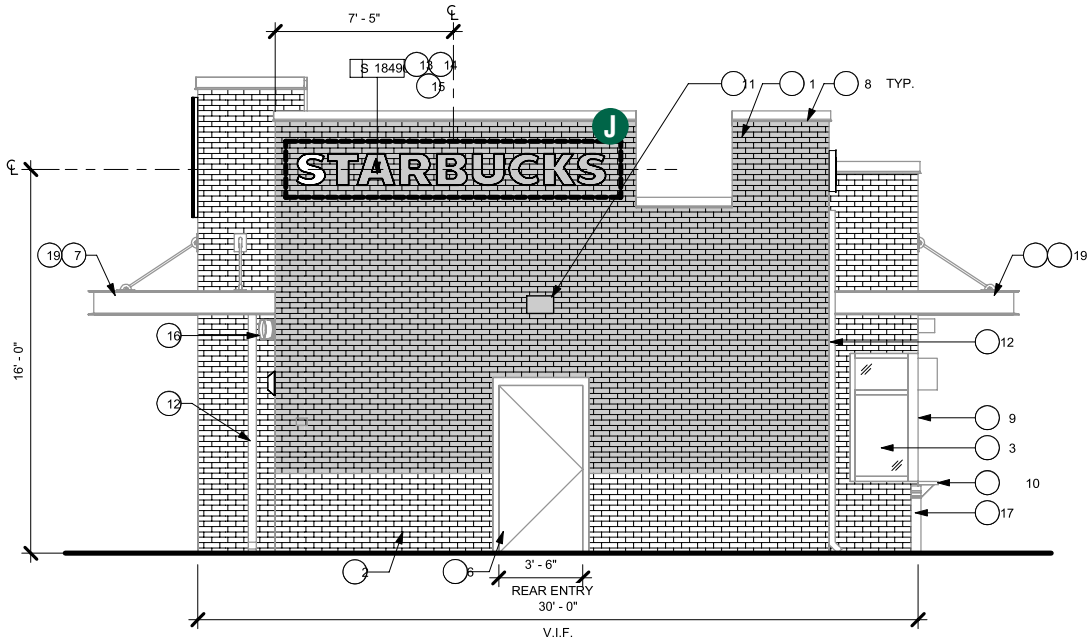
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EXTERIOR ELEVATION - REAR

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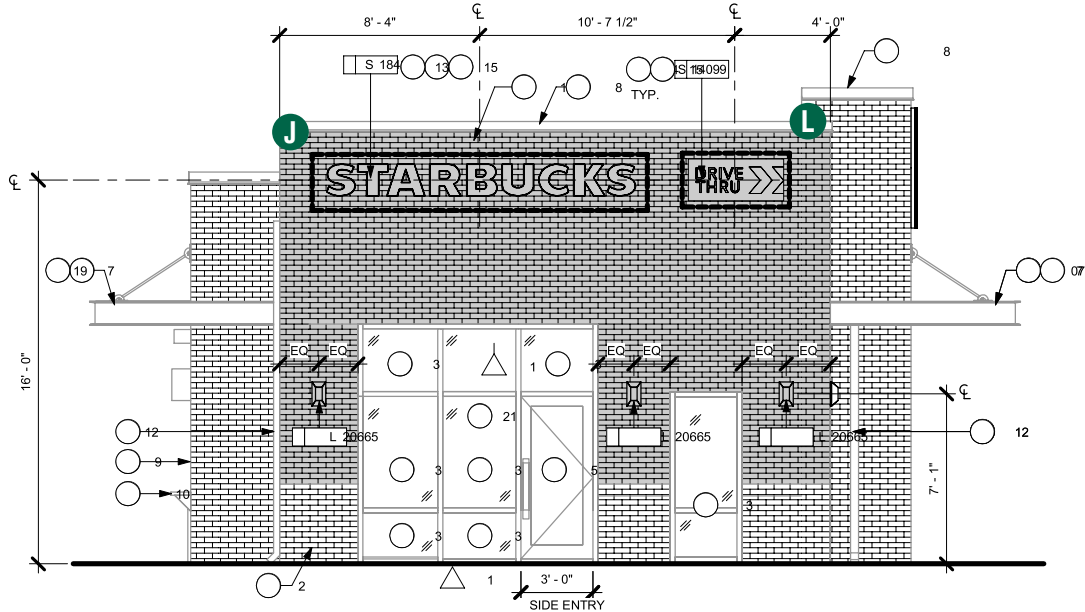
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EXTERIOR ELEVATION - SIDE ENTRY

Scale: 1/18" = 1' (11x17 paper)

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QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

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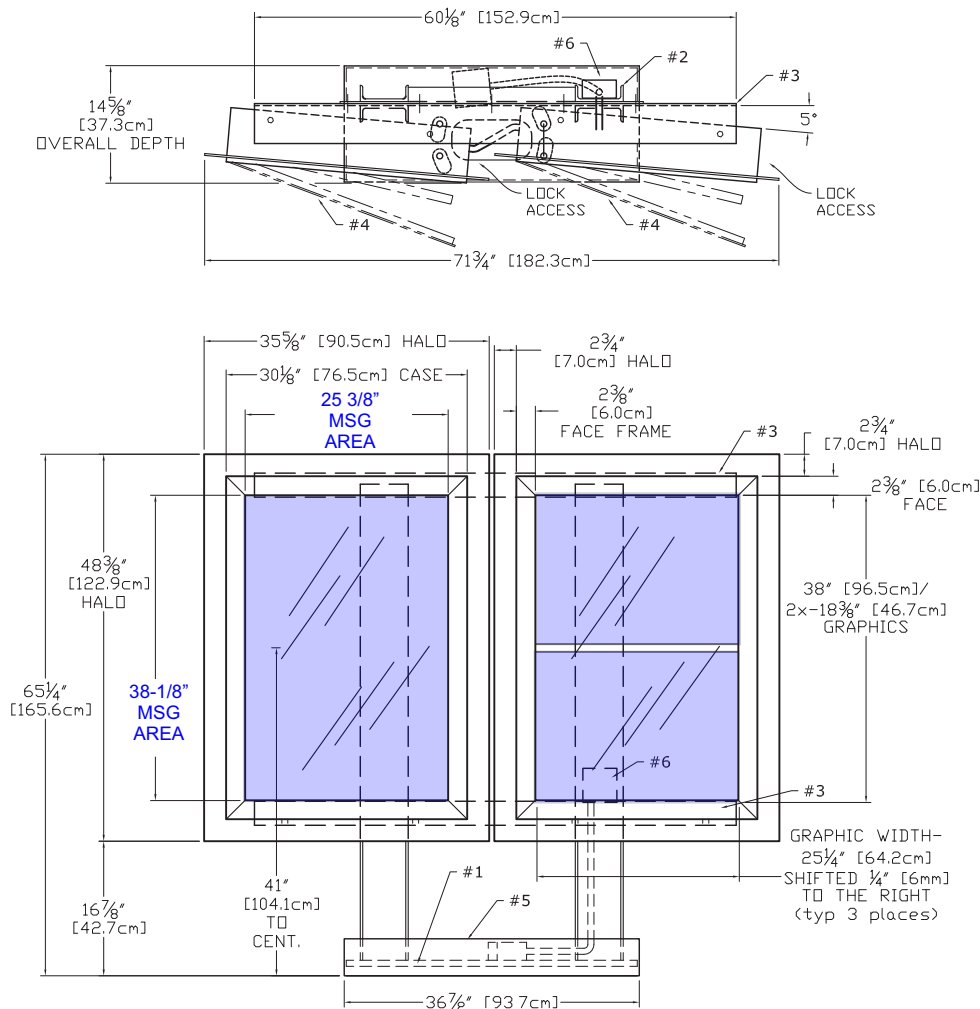
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3-PANEL MENU - FREESTANDING

Qty. 1

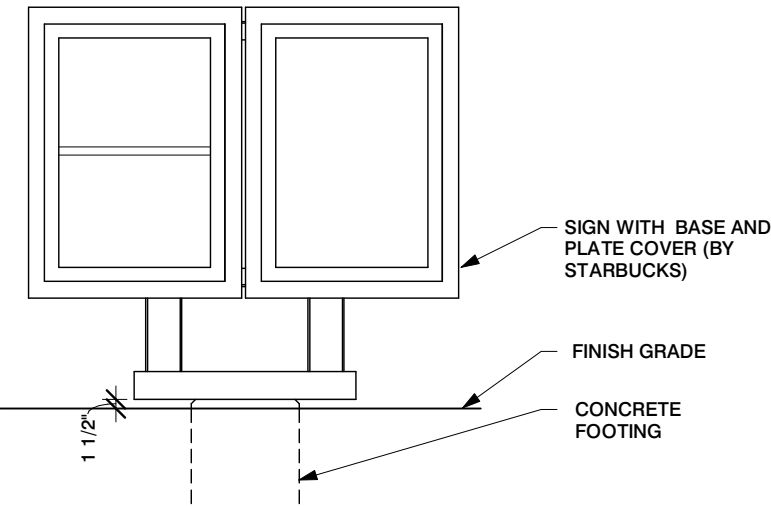
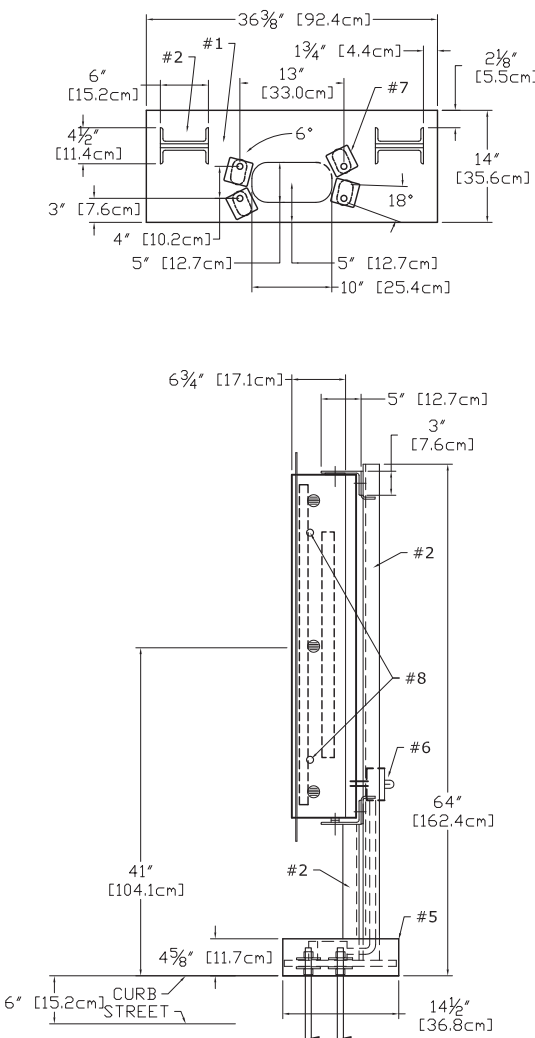
F



MESSAGE AREA: 38 1/8" X 25 3/8" / 144X 2=13.56 SF

DTE - MENU 3 PANEL FREESTANDING

Scale: 1/2" = 1' (11x17 paper)



DTE - MENU 3 PANEL FREESTANDING

Scale: 3/8" = 1' (11x17 paper)

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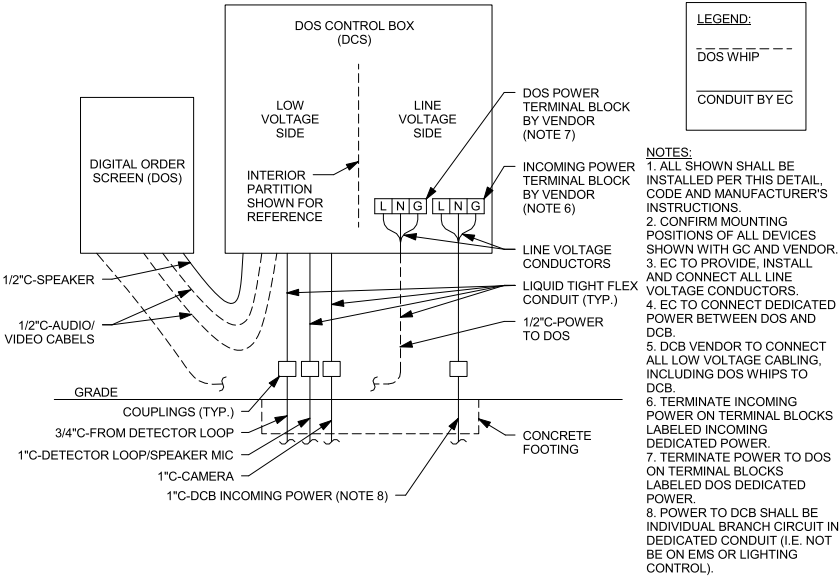
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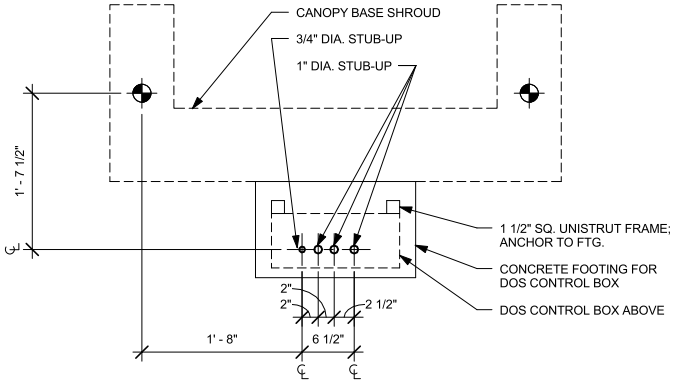
DOS ON CANOPY - DCB ON UNISTRUT

Qty. 1
G



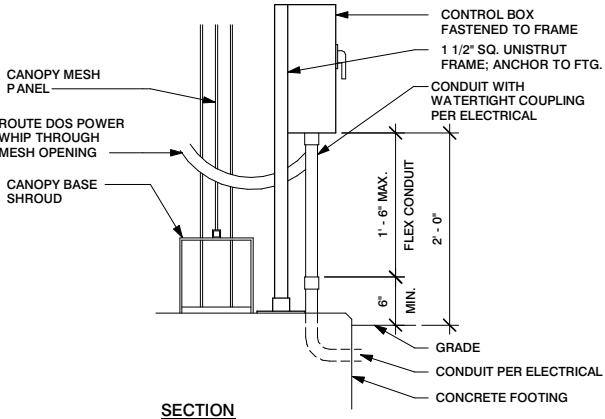
DTE - DOS CONTROL BOX WIRING

Scale: 1/2" = 1' (11x17 paper)



DTE - DOS CONTROL BOX CONDUIT STUB-UPS AT CANOPY

Scale: 1/2" = 1' (11x17 paper)

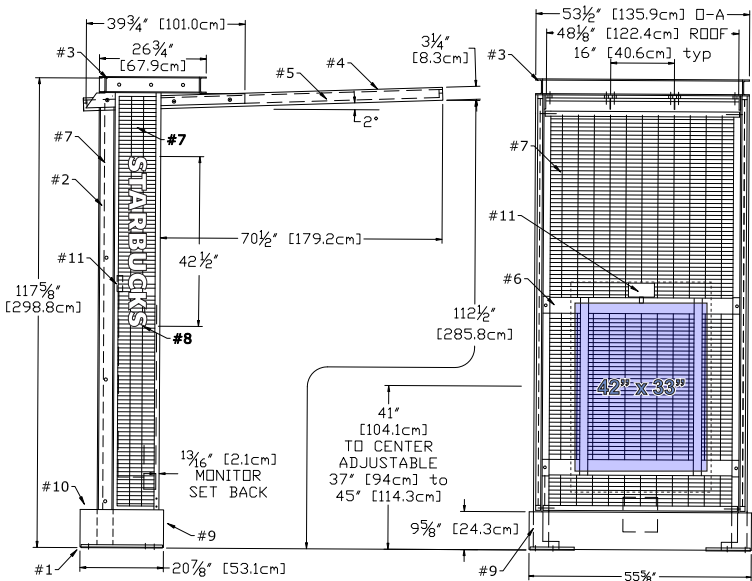
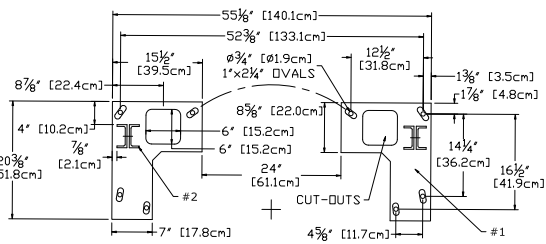
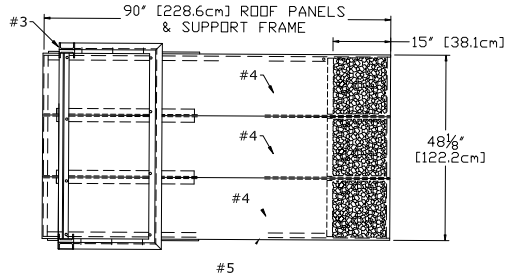
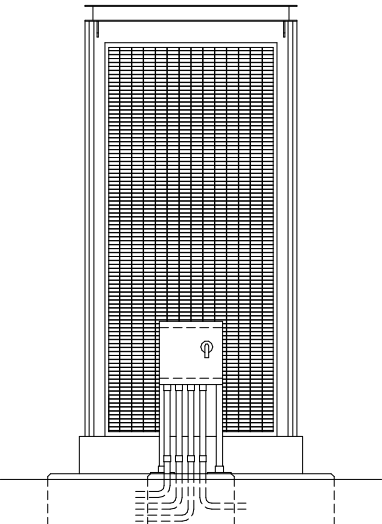


DTE - DOS CONTROL BOX AT CANOPY

Scale: 1/2" = 1' (11x17 paper)

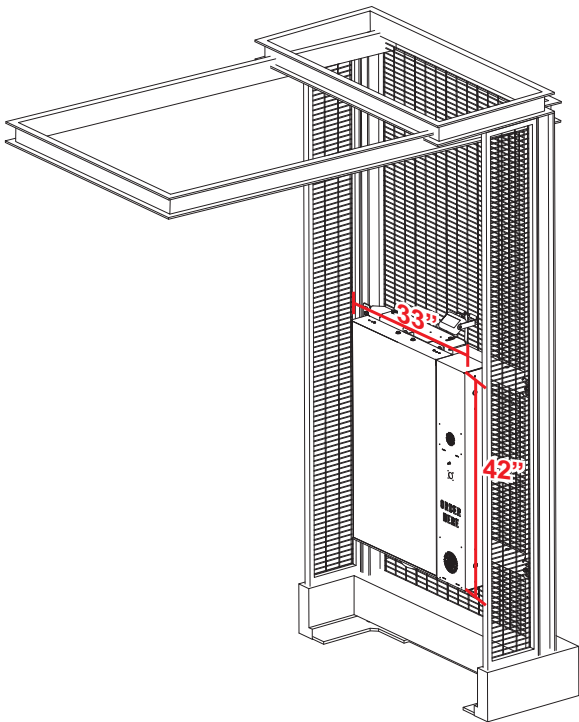


- #1 - TWO - 3/4" [19mm] STEEL BASE PLATES w/ OVAL HOLES FOR SWIVEL/POSITION
- #2 - TWO - BACK TO BACK C4X7.25 (4"x13 1/4"x5 1/16") STEEL POSTS
- #3 - WELDED ALUMINUM HEADER, C4"x1.58" CHANNEL
- #4 - THREE - ALUMINUM ROOF PANELS SEAMLESS RAISED SIDE EDGES 15" OF LASERED PATTERN W/ DRIP EDGE BEHIND
- #5 - WELDED STEEL PERIMETER ROOF FRAME
- #6 - WELDED 3/16" STEEL [5mm] MONITOR SUPPORT FRAME WITH HGT ADJUSTMENT
- #7 - WELDED STEEL 1" [25.4mm] O-C WIRE GRID BACK & SIDE PANELS IN WELDED RECTANGULAR STEEL TUBE FRAMES
- #8 - 47 1/8" X 1 1/2" [11.3cmX12.7mm] WHITE ACRYLIC LETTERS. FIXED TO LH GRID PANEL w/ANTI-TAMPER SCREWS
- #9 - WELDED ALUMINUM BASE COVERS
- #10 - WELDED ALUMINUM WATER-TIGHT ELECTRIC ENCLOSURE (REAR HATCH)
- #11 - LED CEILING FLOODLIGHT, WIRED COMPLETE



DTE - CANOPY

Scale: 1/4" = 1' (11x17 paper)



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SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

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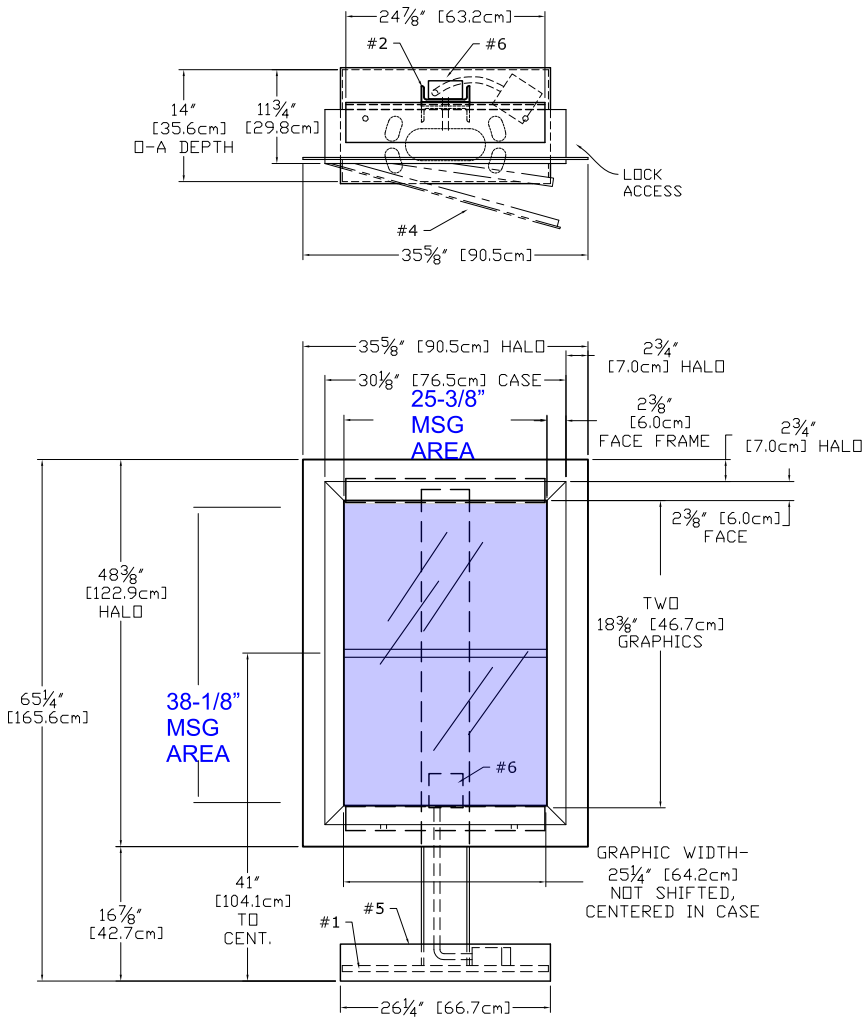
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PRE-MENU BOARD - FREESTANDING

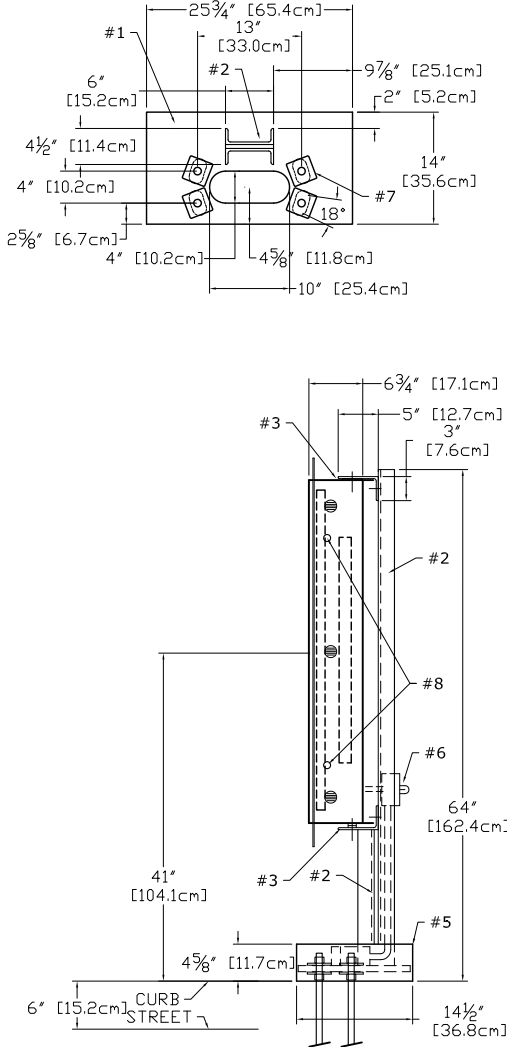
Qty. 1



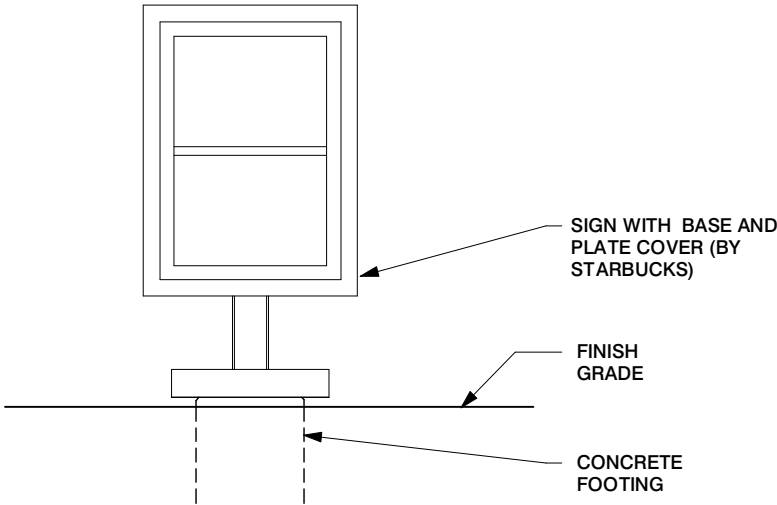
MESSAGE AREA = (25.375 * 38.125) / 144 = 6.72 SQ FT

DTE - PRE-MENU FREESTANDING

Scale: 1/2" = 1' (11x17 paper)



- #1 - 3/4" [19mm] STEEL BASE PLATE w/ 18deg HOLES PATTERN LEFT SQUARE / SYMETRICAL
- #2 - C6X10.5 (6"x2"x5/16") STEEL POST (1x)
- #3 - 5"x3"x1/4" STEEL SUPPORT ANGLES (2x) (WELDED TO STEEL POST)
- #4 - EXTRUDED ALUMINUM MENU BOARD (1x) ONE SPLIT PANEL LIGHTBOX TWO 25 1/4"x18 3/8" GRAPHICS GRAPHIC ASSEMBLY CENTERED, NOT SHIFTED STANDARD LED TUBE LIGHTING, SIDE LOCKS
- #5 - WELDED ALUMINUM BASE COVER
- #6 - WATER-TIGHT BOX w/SWITCHES & SENSOR, RIDGID CONDUIT RUN TO SECOND EXT BOX BELOW BASE COVER, 120 WATT, 0.30Aac
- #7 - 8 BASE WASHERS, 1/4" THICK
- #8 - TWO SIDE MOUNT LOCKS, RETAIN EXISTING KEY #E3-26-819-15



DTE - PRE-MENU FREESTANDING

Scale: 3/8" = 1' (11x17 paper)

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UL

Underwriters

Laboratories Inc.

DRY

DAMP

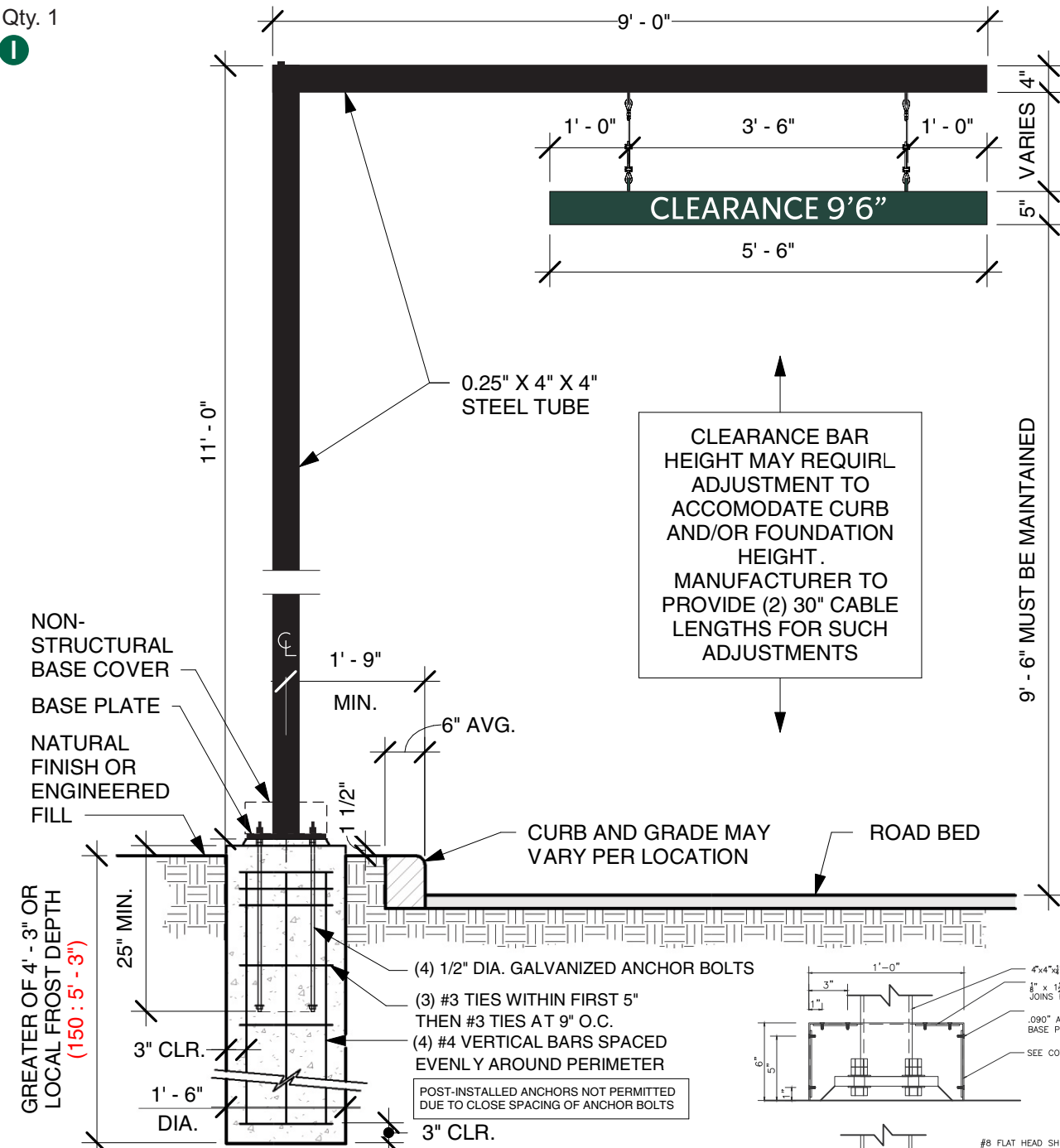
WET

REVOLUTION CLEARANCE BAR

SBC-S22544-SHB-C-11

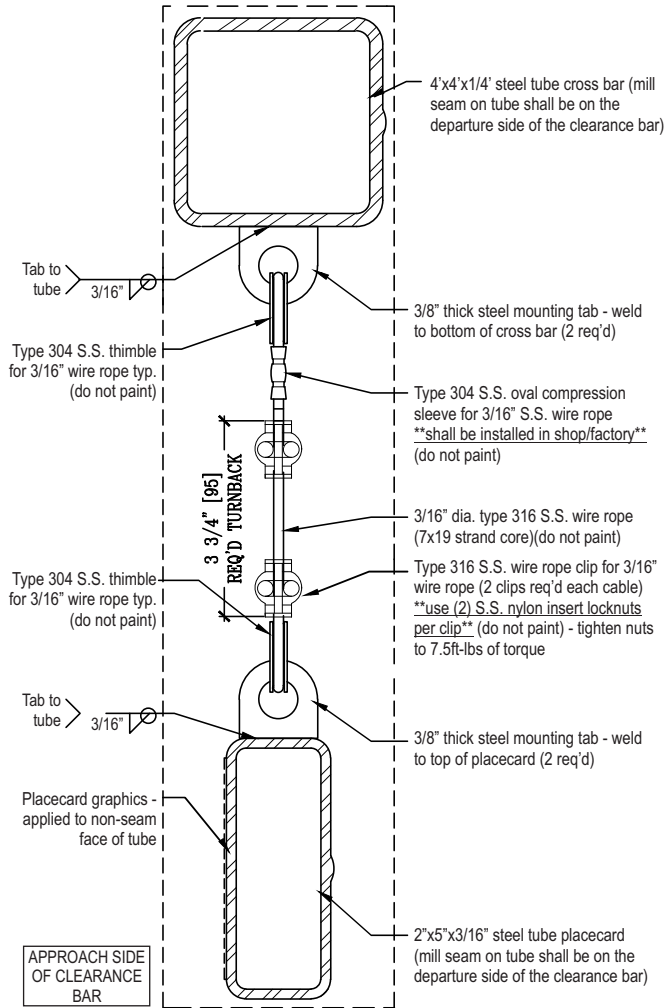
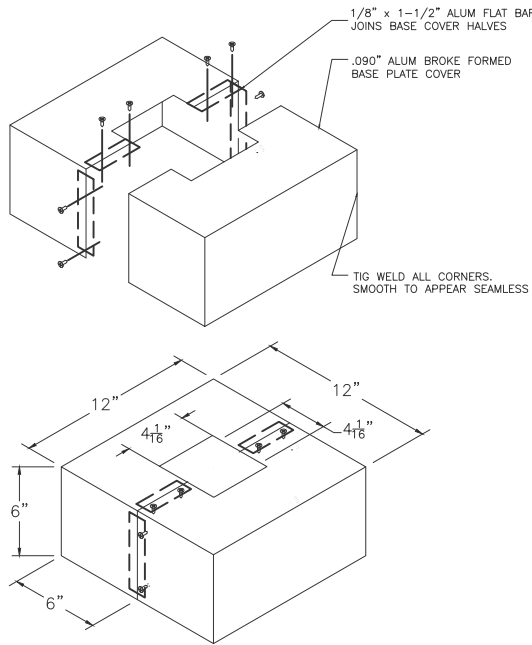
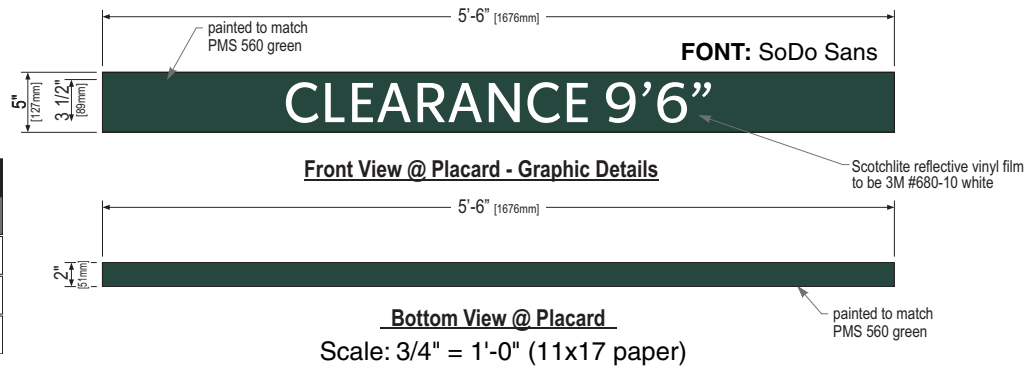
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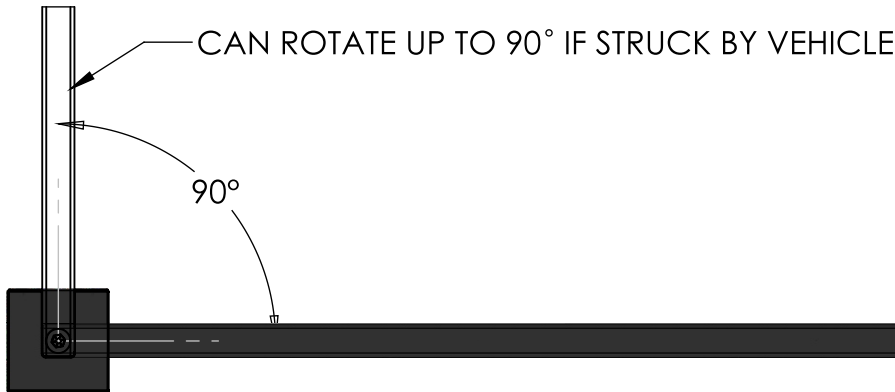


Scale: 1/2" = 1'-0" (11x17 paper)

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 560 C	NA
	PSB 6865/ SATIN BLACK	3M 3630-22
	REFL. WHITE	3M 680-10



End Section View



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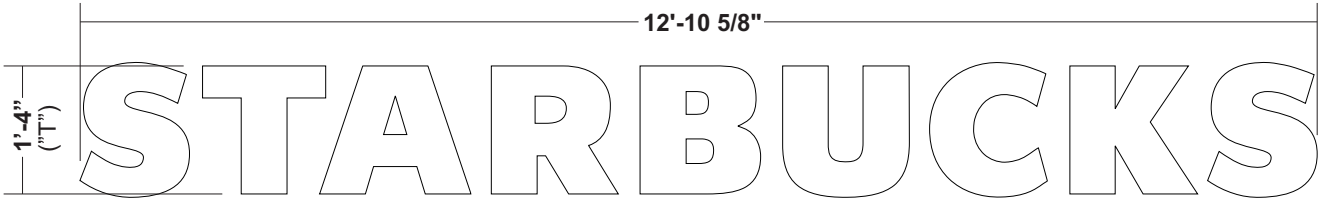


16” CHANNEL LETTERS - REMOTE

SBC-S18496-SB-W-SL

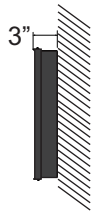
Qty. 2

J



1 Front View
Scale: 1/2" = 1' (11x17 Paper)

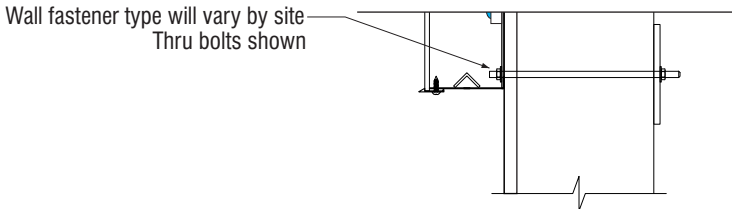
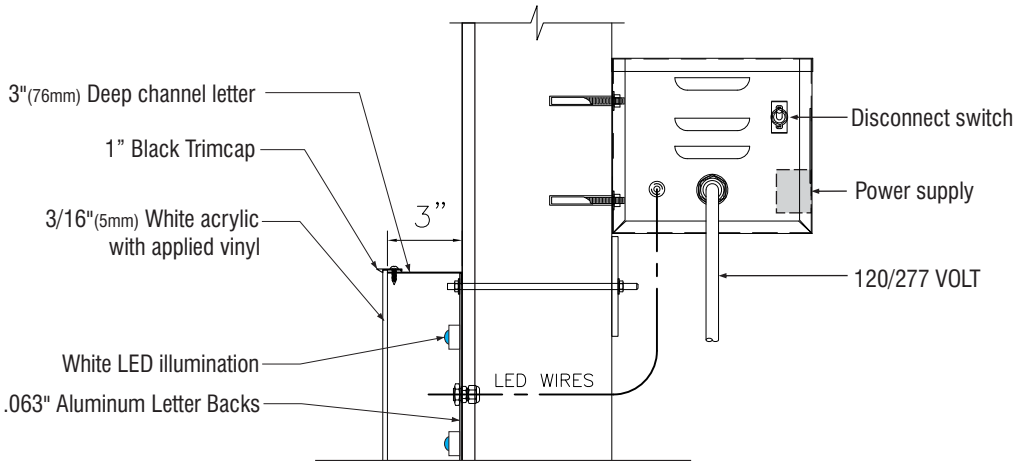
17.18 SF



2 Side View

SPECIFICATIONS

- A** Internally illuminated channel letters to be fabricated from .040 returns aluminum with pre-painted White interiors and pre-finished Black returns. Letter backs to be aluminum stapled to sidewalls and sealed.
- B** Faces to be 3/16" White acrylic with 1" Black trimcap
Faces to be first surface 3M Scotchcal
#3630-76 Holly Green vinyl with white acrylic portions to show through white.
- C** Letters illuminated w/ Sloan Prism Enlighten White 6500k LED's w/ remote power supply.
- D** Letters to be installed flush to wall.



MOUNTING AND LETTER DETAIL(TYP)
SCALE: NTS

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

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Underwriters Laboratories Inc.

DRY

DAMP

WET

X

60” ILLUMINATED SIREN

Qty. 1 SBC-S13164-SL

K



1 Front View
3/4" = 1'-0" (11x17 Paper)

SPECIFICATIONS:

- A Single faced internally illuminated wall mount logo disk. Cabinet to be 3" deep, fabricated aluminum returns and back. Paint cabinet black. Faces to be 3/16" white Plex with 1" black trimcap
- B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.
- C Internally illuminated logo disk with Sloan Prism Enlighten 6500K white LEDs

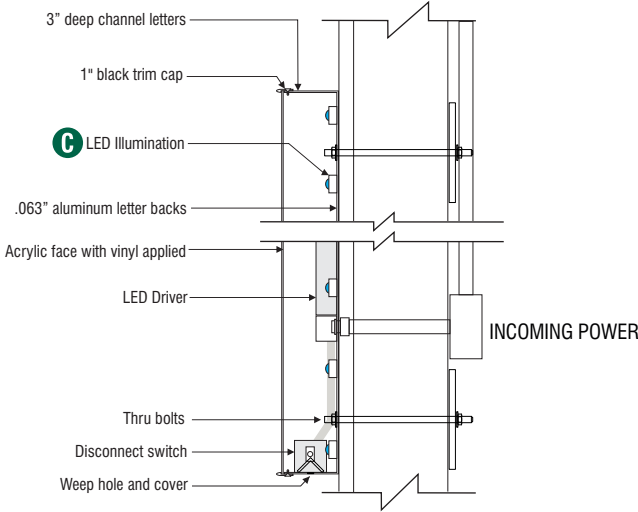
COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Wall Mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
60" (1524mm)	19.62	1.82	120/277

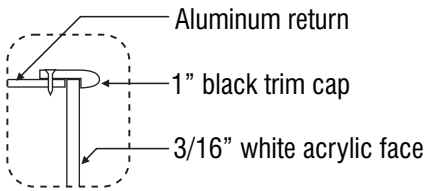
3" (76mm)

A

2 Side View



3 Disk Section View Typ.



4 Enlarged Detail

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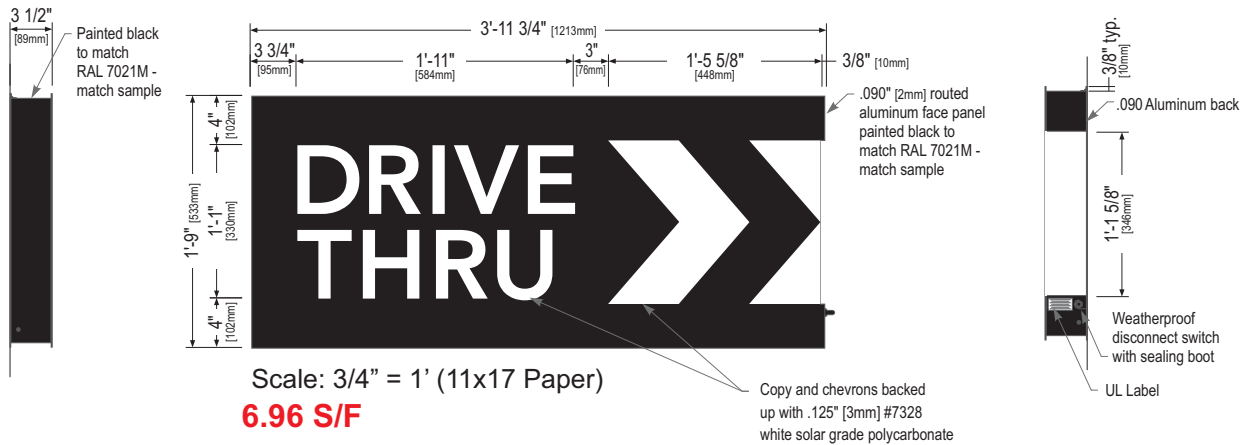
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48” DT WALL SIGN-RH

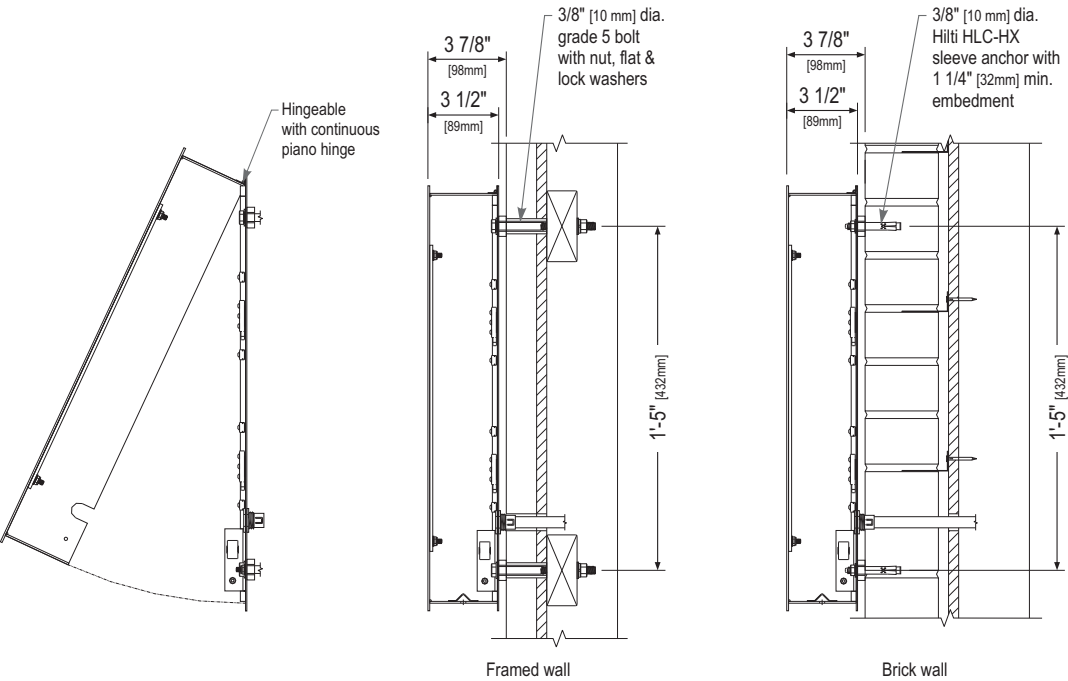
Qty. 1 SBC-S14099-SL



Left Side View

Front Elevation View

Right Side View



Service Position View
NOT TO SCALE

Section View at Installation Detail
NOT TO SCALE

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Sign Specifications:

Cabinet:

- Fabricated .090" [2mm] aluminum housing painted black to match RAL 7021M with 3M #180-10 white vinyl end cap as shown.
- Directional copy and chevrons backed up with .125" white polycarb. All polycarb face elements to be attached to aluminum face panel with weld studs.
- Welded aluminum construction with no visible fasteners. Fasteners retaining the hinged face will be located on the bottom such that they are not visible. All fasteners used in the assembly of internal components shall be coated to prevent corrosion.
- Internal structure of cabinet shall be per approved shop drawings.
- Graphic elements are internally illuminated using Sloan Prism Enlighten LEDs. LED's to be mounted on back panel with self-contained power supply. All electrical components are removable for service.

Regulatory:

- Sign must meet all regulations in the National Electric Code as well as any local or state electrical codes.
- As per NEC 600.6, sign is equipped with a service disconnect switch.
- Sign must be listed as an Electric Sign per Underwriters Laboratories UL48 and/or CSA and bear the appropriate UL, CUL or CSA relevant certification marks. Primary power by electrical contractor per NEC.

Size	Sq. Ft. ¹	Sq. Ft. ²	Volts	Amps
21"	4.52	6.96	120/277	0.85

1: Figured as illuminated center part
2: Figured as complete signage

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TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 5/9/2022

ITEM TITLE: DISCUSSION: 1 Glen Eddy Dr. – site plan app. for a main entrance and Dining Room addition.

PROJECT LEAD: TBD

APPLICANT: Mike Tierney

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Michael Tierney, of SPHP, submitted an Application for Site Plan Review for proposed internal and external modifications to the existing dining room and front entry porch of the Glen Eddy located at 1 Glen Eddy Drive. The existing covered front entry porch will be enclosed to increase the library, vestibule and office. The existing fabric roof will be replaced with copper roof that matches the existing building. The proposed modifications will protect residents from inclement weather during pick up and drop off at the main entrance.

The property falls within the R-1 Low Density Residential zoning district. Care homes and nursing homes are special principal uses in the R-1 district.

BACKGROUND INFORMATION

A 10-page "Site Plan Review Set" dated 5/3/22 with no subsequent revisions by Angerane Architects, P.C. was provided and includes the following drawings.

- Cover page
- Existing site plan – C101
- Site grading plan – C102
- Site utility plan –C103
- Site layout plan – C104
- Site planting plan – C105
- Site details – C106
- Site details – C107

- Site details – C108
- Erosion control details and notes - C109

A colored rendering entitled “The Terrace at Glen Eddy – Porte Cochere & Dining Room Additions” Scheme 4 dated 3/10/22 also by Angerame Architects, P.C. was also provided depicting how the front of the building will look after the proposed renovations.

The applicant is appearing before the Planning Board to present the project and answer any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Mike Tierney

Address 1 Glen Eddy Drive

Niskayuna, NY

Email Michael.Tierney@SPHP.com

Telephone 518-810-6763 Fax _____

Location:

Number & Street 1 Glen Drive Drive

Section-Block-Lot 60. - 1 - 17.3

Zoning District R-1 Low Denisty Residential

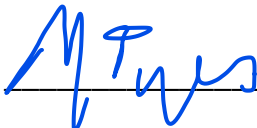
Proposal Description:

The proposed project includes a small addition (929sf) to the existing dining room, along with enclosing an existing covered front entry porch to increase the Library, Vestibule, and Office. Additionally, the existing steel frame canopy with fabric roof will be removed and replaced by a new steel frame canopy with a copper roof that matches the existing building. The new canopy will better protect the residents from the elements as they exit a vehicle.

The dining room addition is required to allow the facility to comply with an Enriched Housing licensure it is seeking. There will be no increase in the number of residents and/or staff.

Additionally, there will be no new plumbing fixtures in the proposed project, thereby no increase in municipality demands.

The area of proposed disturbance is .23acres, and the total increase in hard surfaces is 1,072sf. New roof drains will be connected to the existing storm sewer system. There is no increase in site utilities required.

Signature of applicant:  Date: 4/29/22

Signature of owner (if different from applicant): _____

Date: 4/29/22

Each site plan application shall be accompanied by:

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.



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Project

THE TERRACE AT
GLEN EDDY -
PORTE COCHERE
& DINING ROOM
ADDITIONS



Revisions

SCH4.4

SCHEME 4

Date: 03/10/22

THE TERRACE AT GLEN EDDY - PORTE COCHERE & DINING ROOM ADDITIONS

One Ascot Lane
Niskiyuna, NY 12309

Site Plan Review Set
May 03, 2022

Owner
Glen Eddy Retirement Community
One Ascot Lane
Niskiyuna, NY 12309

Architect
Angerame Architect, P.C.
30 Essex St, Albany, NY 12206
Phone: (518) 454-9300 Fax: (518) 454-9333

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions
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Phone: (518) 280-2410

Structural:
MRH Engineering, P.C.
20 Bayberry Drive, Queensbury, NY 12804
Ph: (518) 792-4042 Cell: (518) 796-6054

BUILDING INFORMATION

Building Type: 5B
Building Construction Type: Existing I-1, Condition 2
No. of Stories: 2

CODE REFERENCES

NFPA 101, Life Safety Code, 2012 Edition
Chapter 33 "Existing Residential Board & Care Facility"
Chapter 43 "Building Rehabilitation"

ICC/ANSI A117.1-2009 "Accessible and Usable Buildings and Facilities"

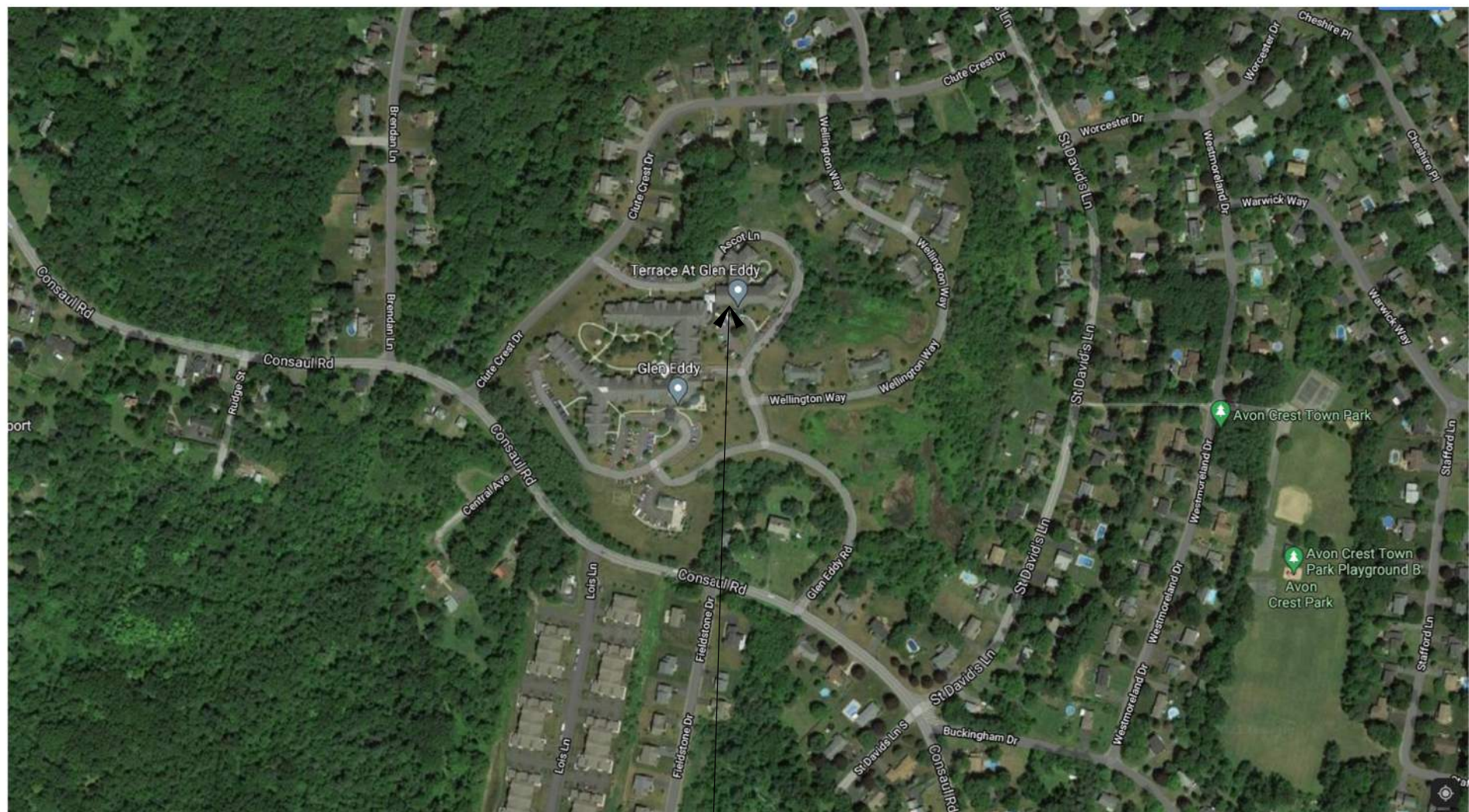
Uniform Federal Accessibility Standards (UFAS)

2010 ADA Standards for Accessible Design, Title II-3 - Department of Justice

2020 International Building Code, Existing Building Code, Fire Code, Mechanical Code, Plumbing Code, Energy Code (As adopted by New York State)

Drawing List

C101	EXISTING SITE PLAN
C102	SITE GRADING PLAN
C103	SITE UTILITY PLAN
C104	SITE LAYOUT PLAN
C105	SITE PLANTING PLAN
C106	SITE DETAILS
C107	SITE DETAILS
C108	SITE DETAILS
C109	EROSION CONTROL DETAILS & NOTES



SITE LOCATION MAP
N.T.S.

The Terrace at Glen Eddy



-Site Plan Review Set-
NOT FOR CONSTRUCTION

GENERAL SITE WORK NOTES

1. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.

2. EXISTING UTILITY INFORMATION SHOWN HEREON WAS TAKEN FROM PREVIOUS RECORD DATA. THEIR EXACT LOCATION IN THE FIELD MAY DIFFER FROM THAT SHOWN HEREIN AND ADDITIONAL UTILITIES MAY EXIST. CALL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE UTILITIES MARKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT, AS INTENDED AND INTERPRETED BY THE ARCHITECT/ENGINEER.

4. MISCELLANEOUS WORK NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATCHING, BLOCKING, TRIMMING, ETC. SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE.

5. ALL DISTURBED AREA TO RECEIVE TOPSOIL AND SEED.

7. THE CONTRACTOR SHALL:

A. VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

B. EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.

C. PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.

D. COMMENCE WORK IMMEDIATELY UPON AWARDSING OF THE CONTRACT AND PROCEED DILIGENTLY AND CONTINUALLY TO COMPLETION OF ALL WORK.

E. PROVIDE CERTIFICATE OF INSURANCE ACCEPTABLE TO THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.

F. HOLD THE OWNER AND ARCHITECT HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON THE SITE.
8. ALL BACKFILL USED IN TRENCHES EXCAVATED IN EXISTING ROADWAYS SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.

9. WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A COMPACTOR BETWEEN LIFTS.

10. PROVIDE EROSION CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS. THIS WILL INCLUDE BUT NOT LIMITED TO HAY BALES, SILTATION FENCES AND OTHER ACCEPTABLE METHODS OF EROSION CONTROL. THE INTENT OF THESE MEASURES IS TO INSURE THE PREVENTION OF SILTATION OF WATER COURSES DOWN STREAM FROM THIS PROJECT IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION "GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM CONSTRUCTION ACTIVITIES".

11. ALL VEHICLES HAULING MATERIAL SHALL BE EQUIPPED WITH CANVAS COVERS TO PREVENT DUST AND LOOSE MATERIAL FROM EXISTING THE VEHICLE.

12. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION AND CONFORMANCE TO THE "NEW YORK" GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL," AS PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL CONSTRUCTION WORKERS INVOLVED IN THE SITE DEVELOPMENT OF THE IMPORTANCE AND ELEMENTS OF THE PLAN.

13. ALL EXISTING DRAINAGE MUST BE MAINTAINED.

14. CONTRACTOR SHALL USE DUST CONTROL MEASURES DURING CONSTRUCTION.

15. ACCESS TO EXISTING BUILDING SHALL BE MAINTAINED COMPLETELY DURING DURATION OF PROJECT.

LEGEND

- CONTRACT ACCESS

CONTRACT LIMIT LINES

CONTRACT STAGING AREA

PROPERTY LINES

AREA OF CONSTRUCTION

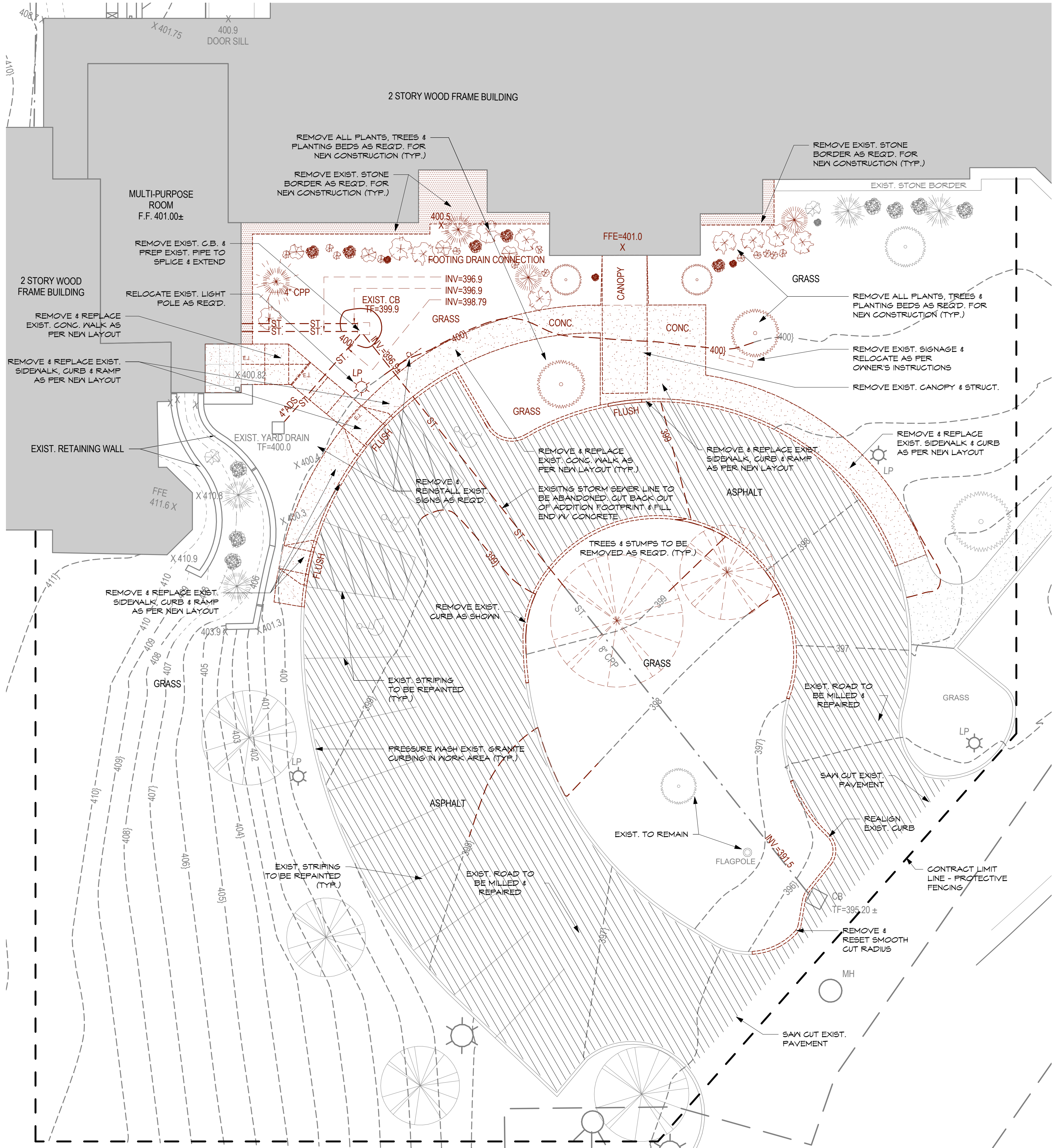


OVERALL EXISTING SITE PLAN

1" = 200'-0"

1

C101



EXISTING & REMOVALS SITE PLAN

1" = 10'-0"

2

C101

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Project

THE TERRACE AT
GLEN EDDY -
PORTE COCHERE
& DINING ROOM
ADDITIONS

One Ascot Lane
Niskayuna, NY 12309

Site Plan Review Set

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions
646 Plank Rd. #104 Clifton Park, NY 12065
Phone: (518) 280-2410

Structural:

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Ph: (518) 742-4042 Cell: (518) 746-6054

Revisions

-Site Plan Review Set-
NOT FOR CONSTRUCTION

Title

EXISTING SITE PLAN

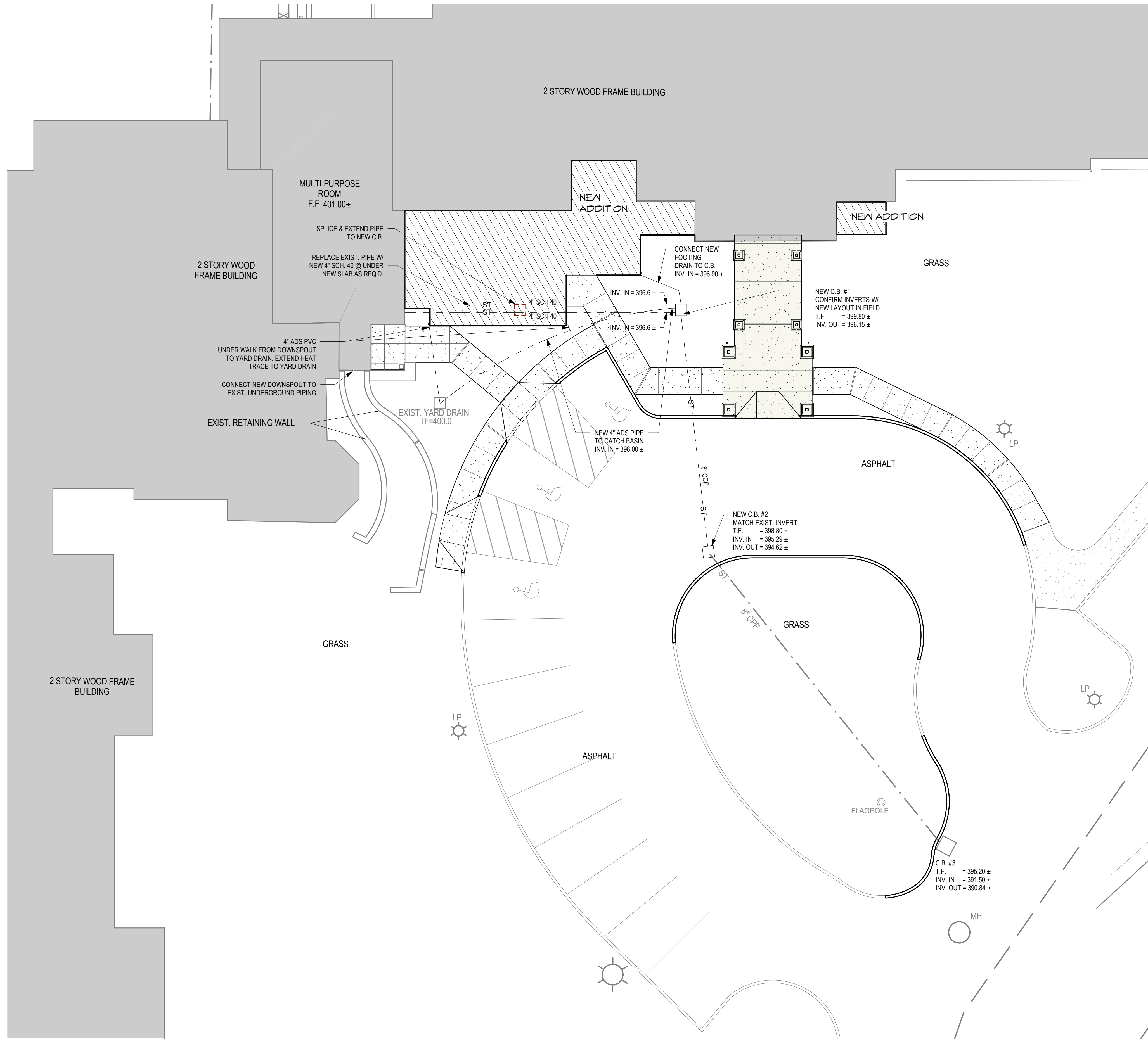
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Drawing Number

C101

Date: May 03, 2022

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SITE UTILITY PLAN

1" = 10'-0"

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Revisions

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Title

SITE UTILITY PLAN

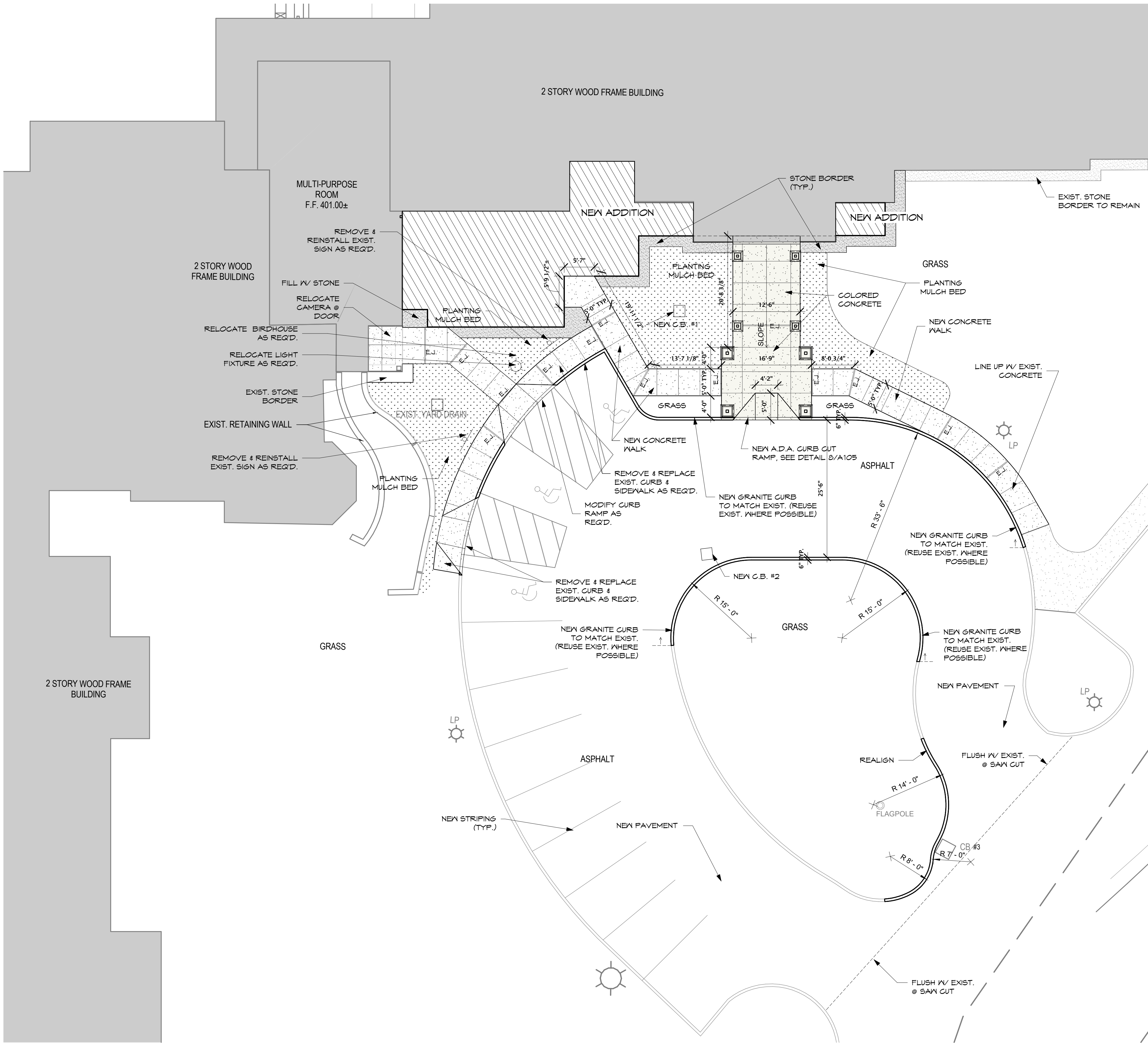
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C103

Date: May 03, 2022

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SITE LAYOUT PLAN

1" = 10'-0"

1

C104

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Title

SITE LAYOUT PLAN

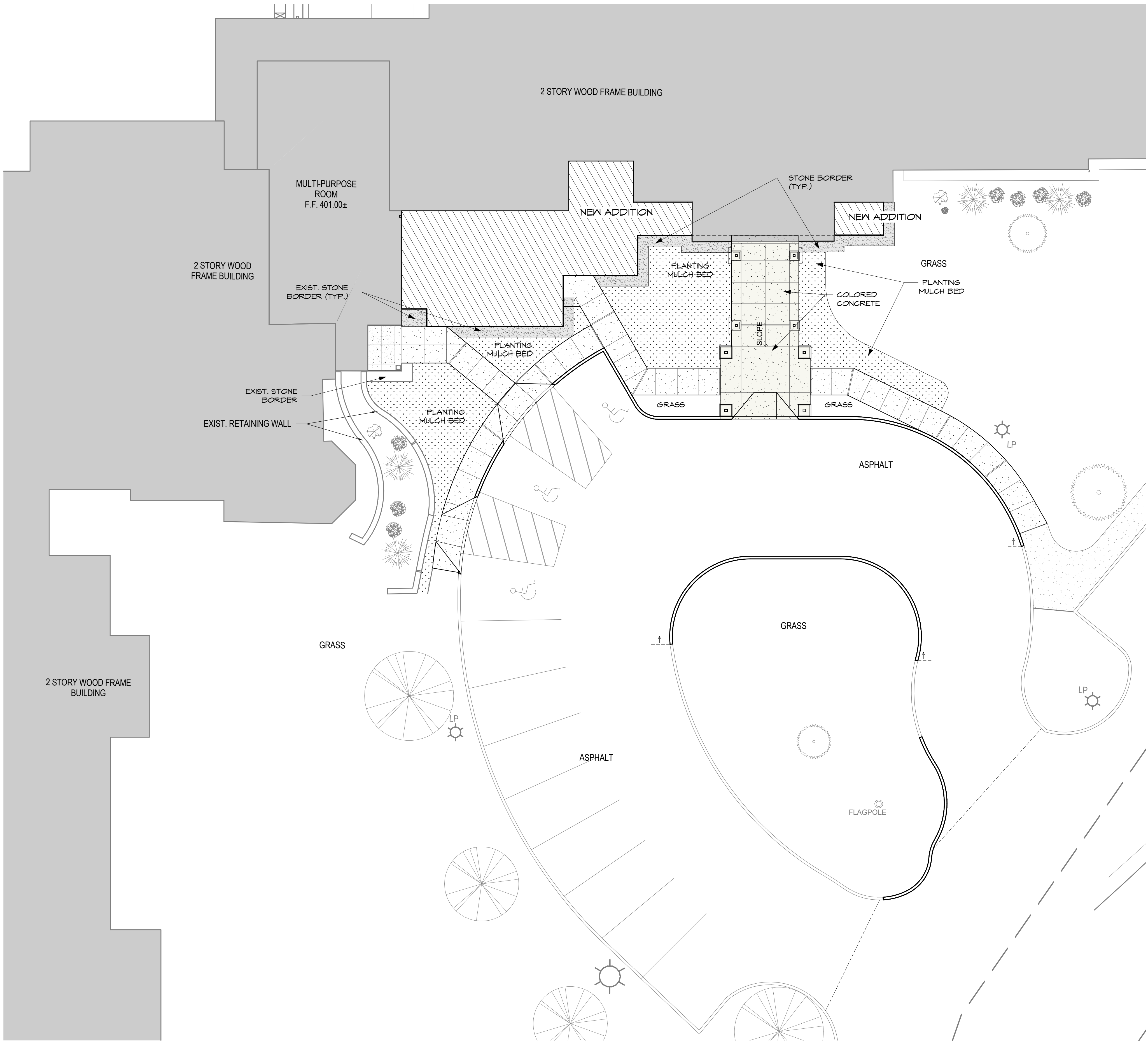
The site plan drawings show dimensions, areas, and other information as shown. The drawings are not to be used for construction without the express written consent of Angerame Architects, P.C.

Drawing Number

C104

Date: May 03, 2022

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SITE PLANTING PLAN
1" = 10'-0"

1
C 105

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Title

SITE PLANTING PLAN

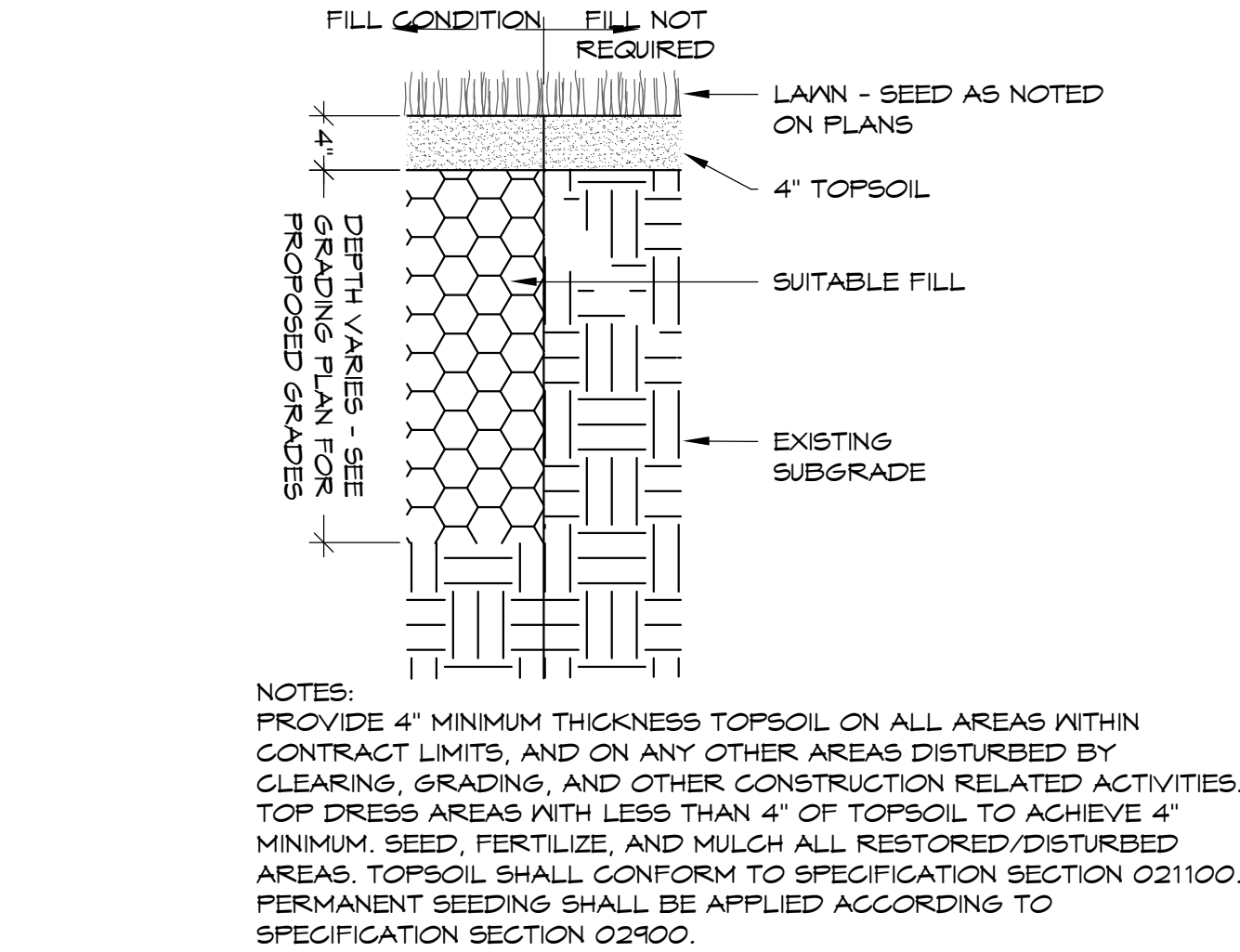
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Drawing Number

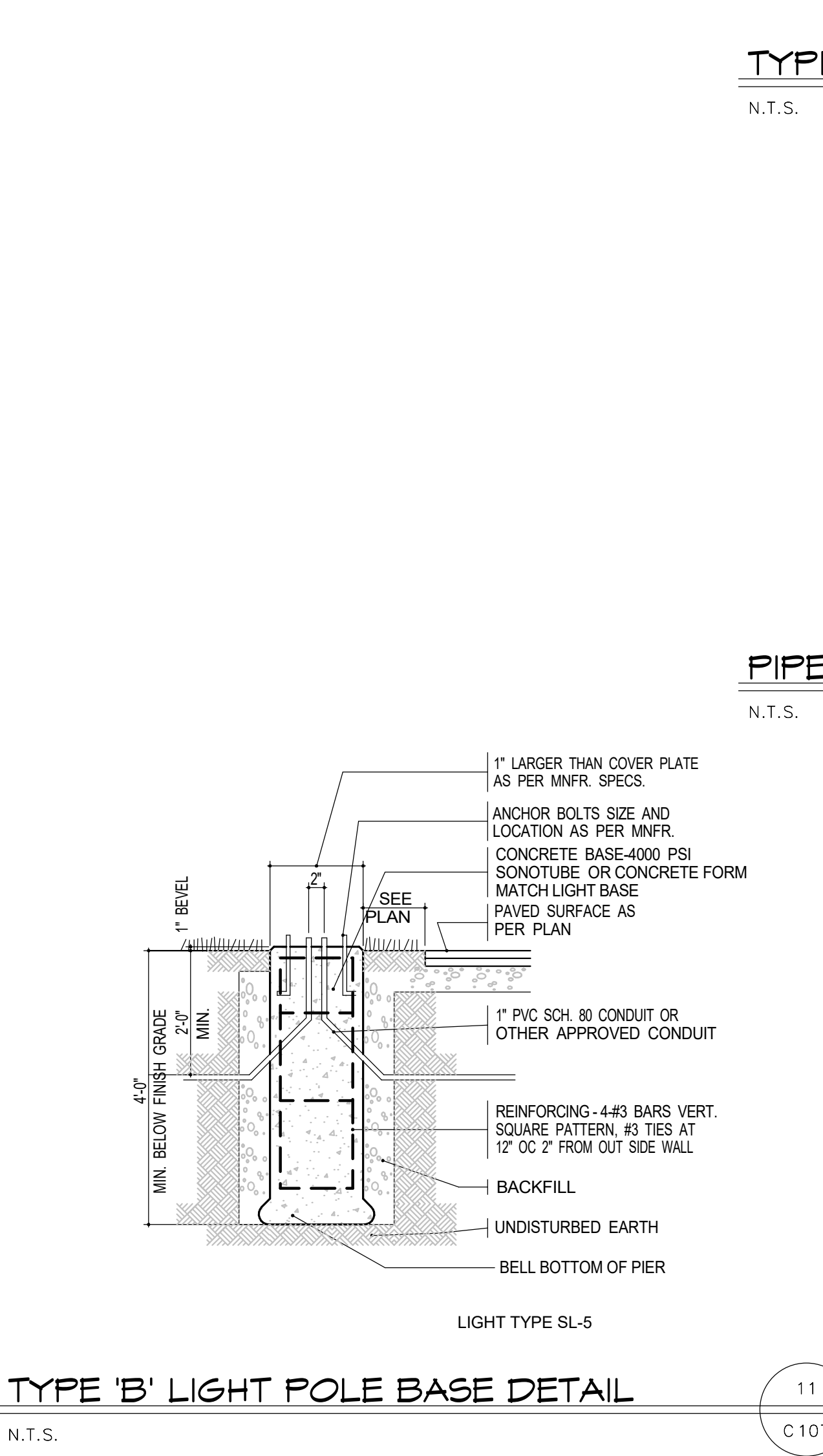
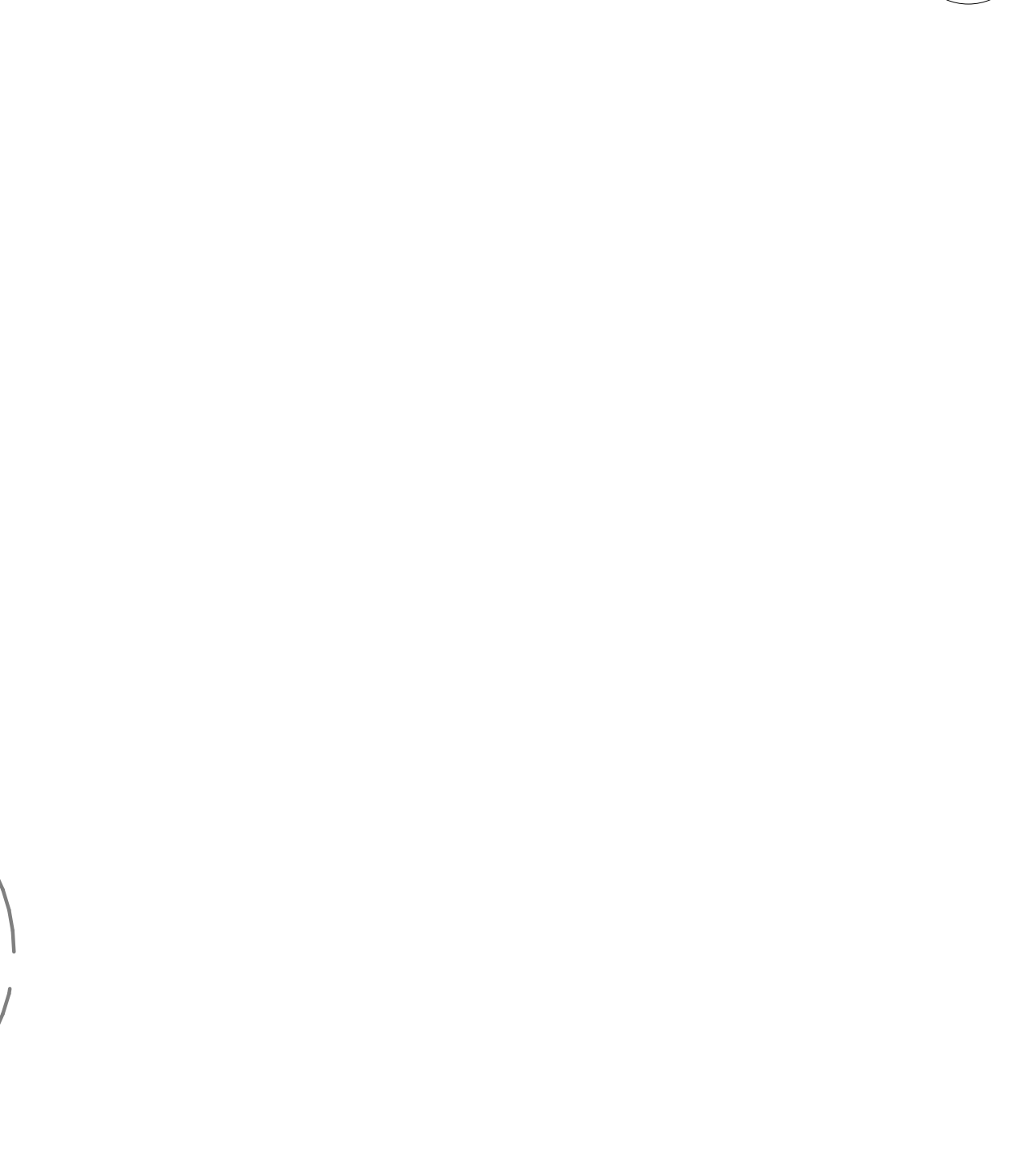
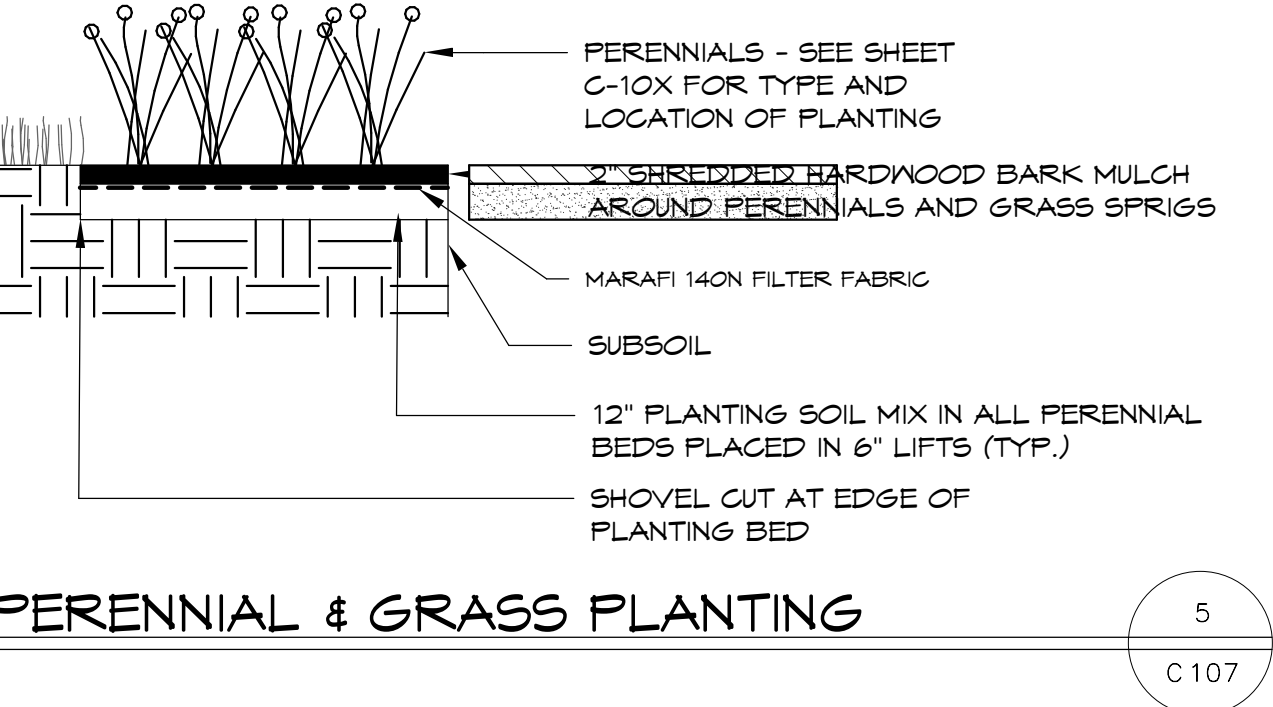
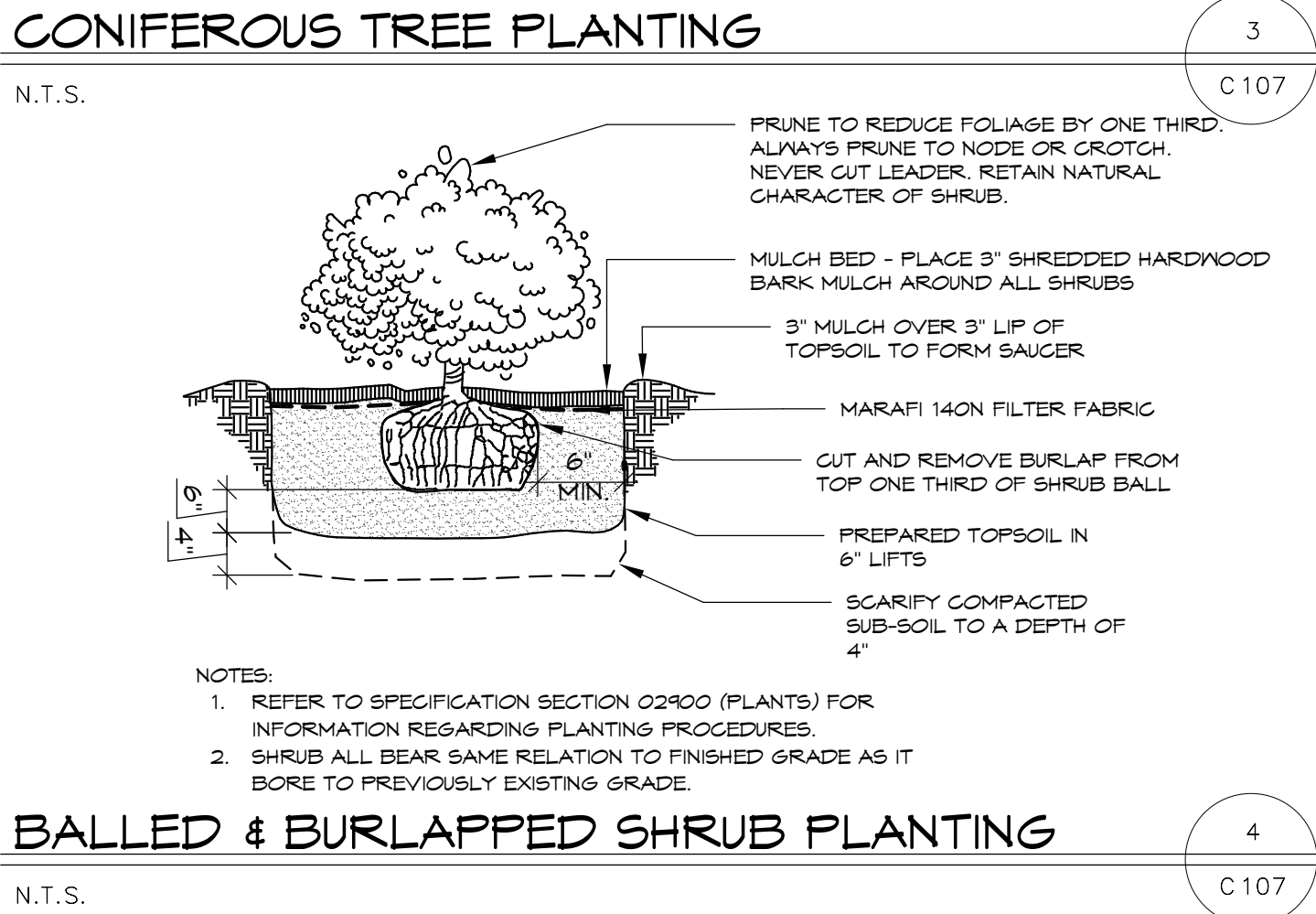
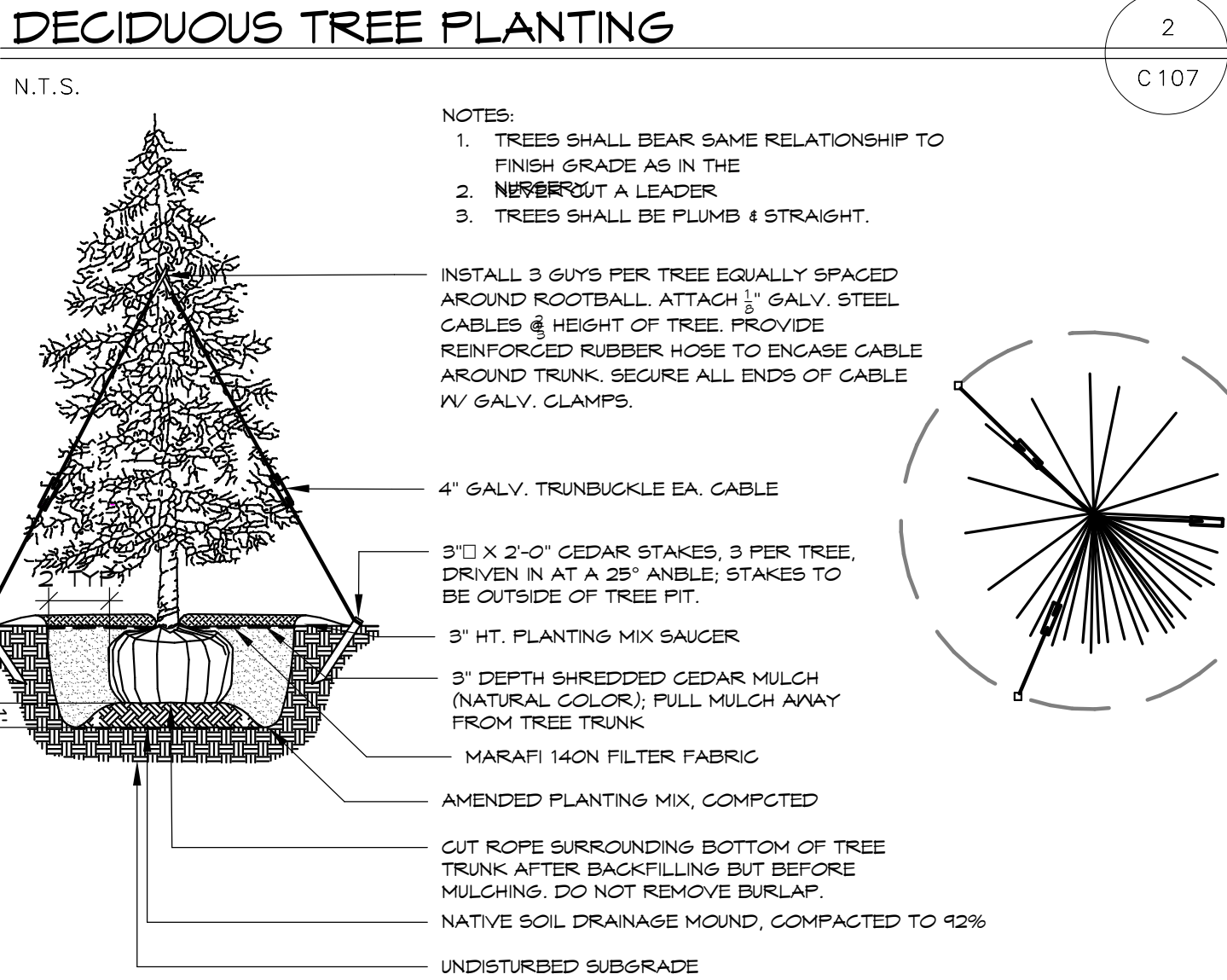
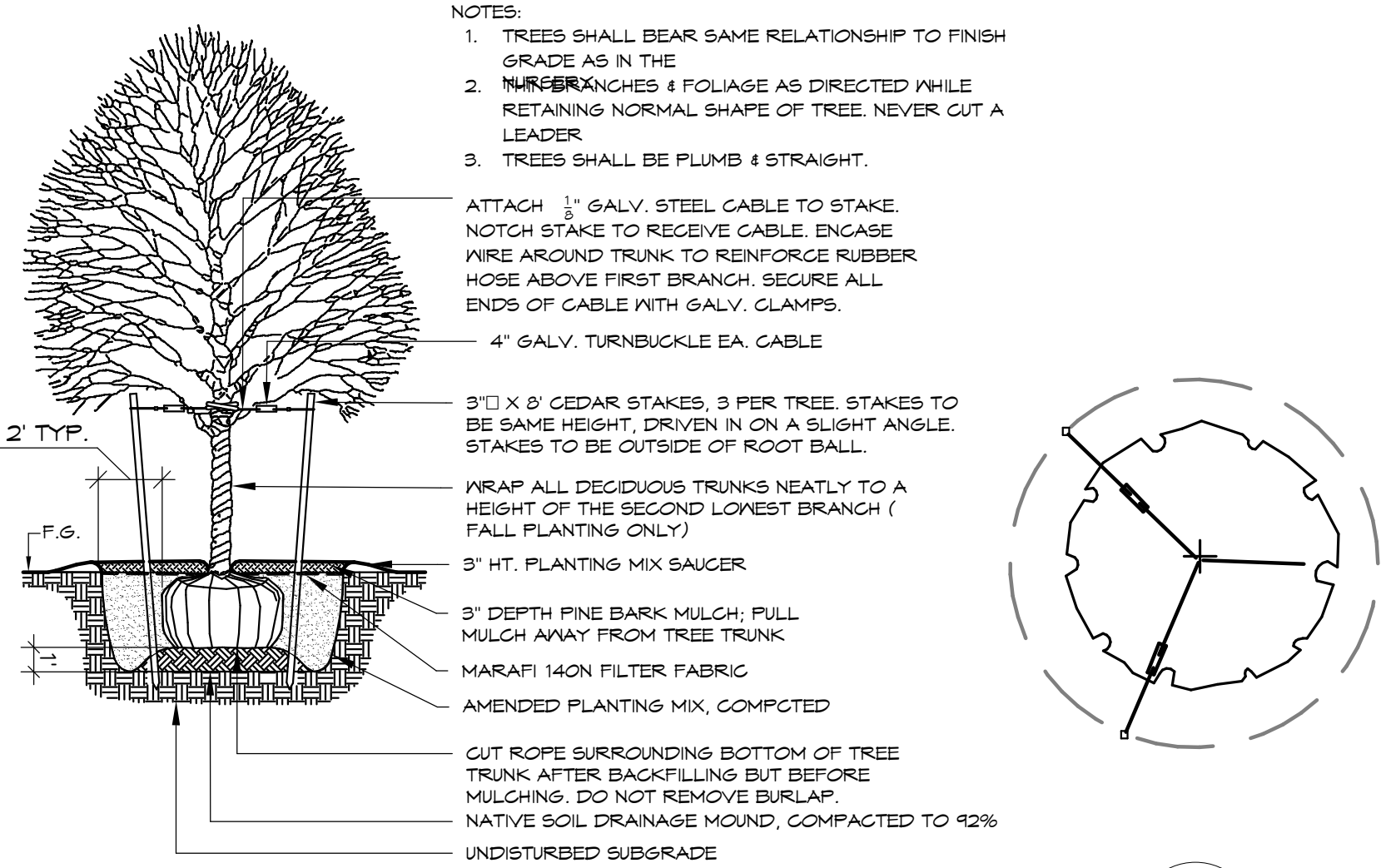
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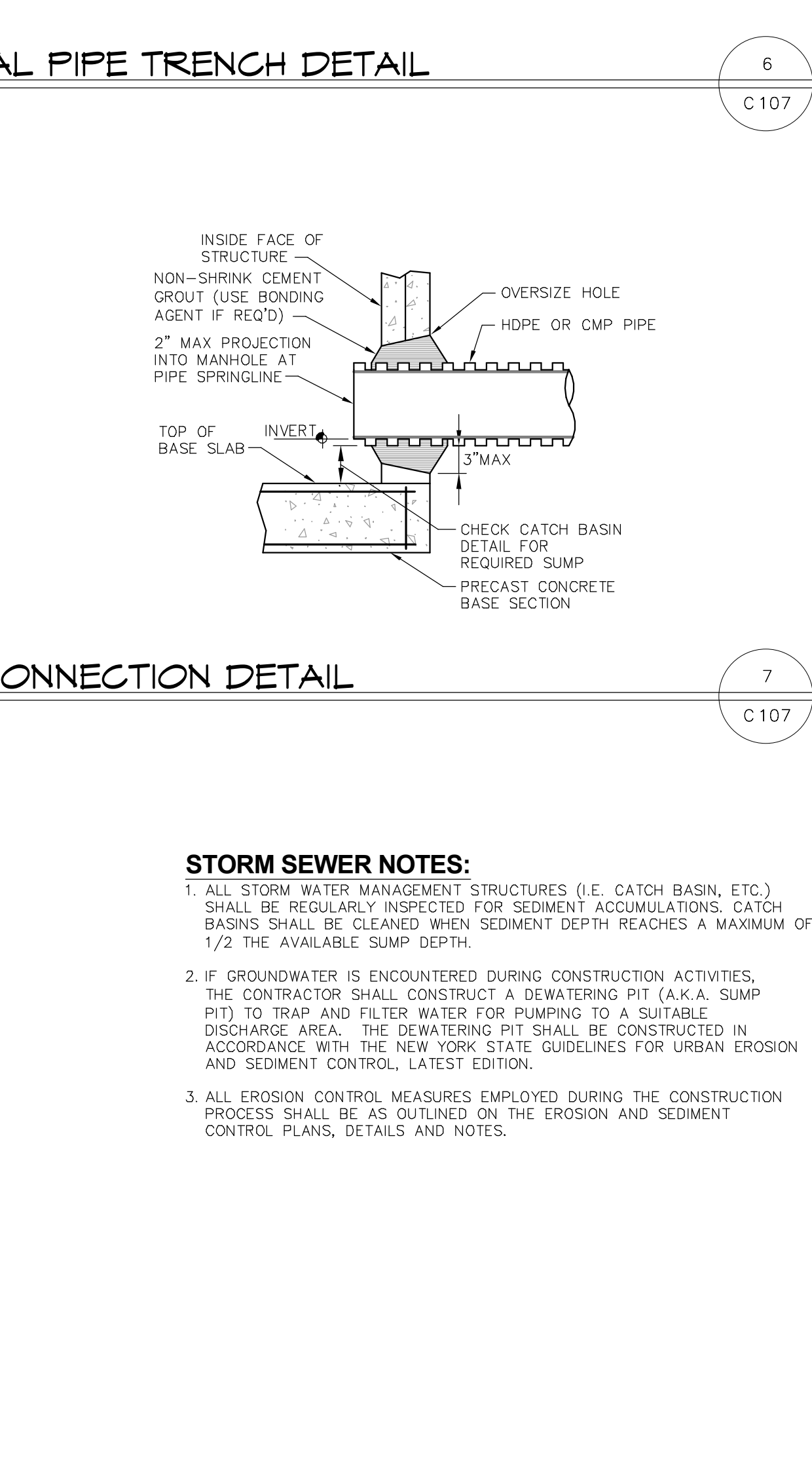
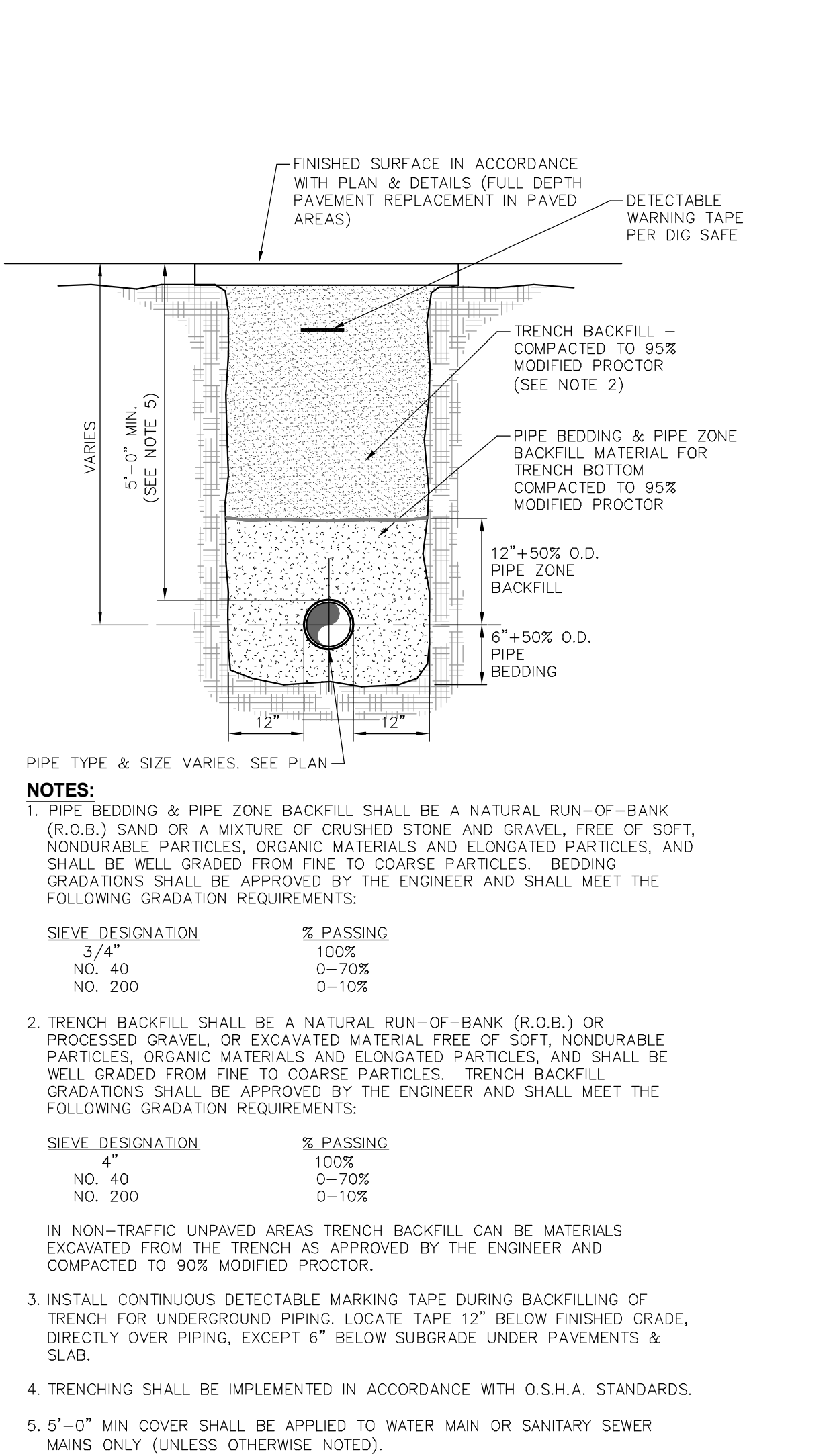
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TURF RESTORATION



CLEAN OUT - NON TRAFFIC AREA

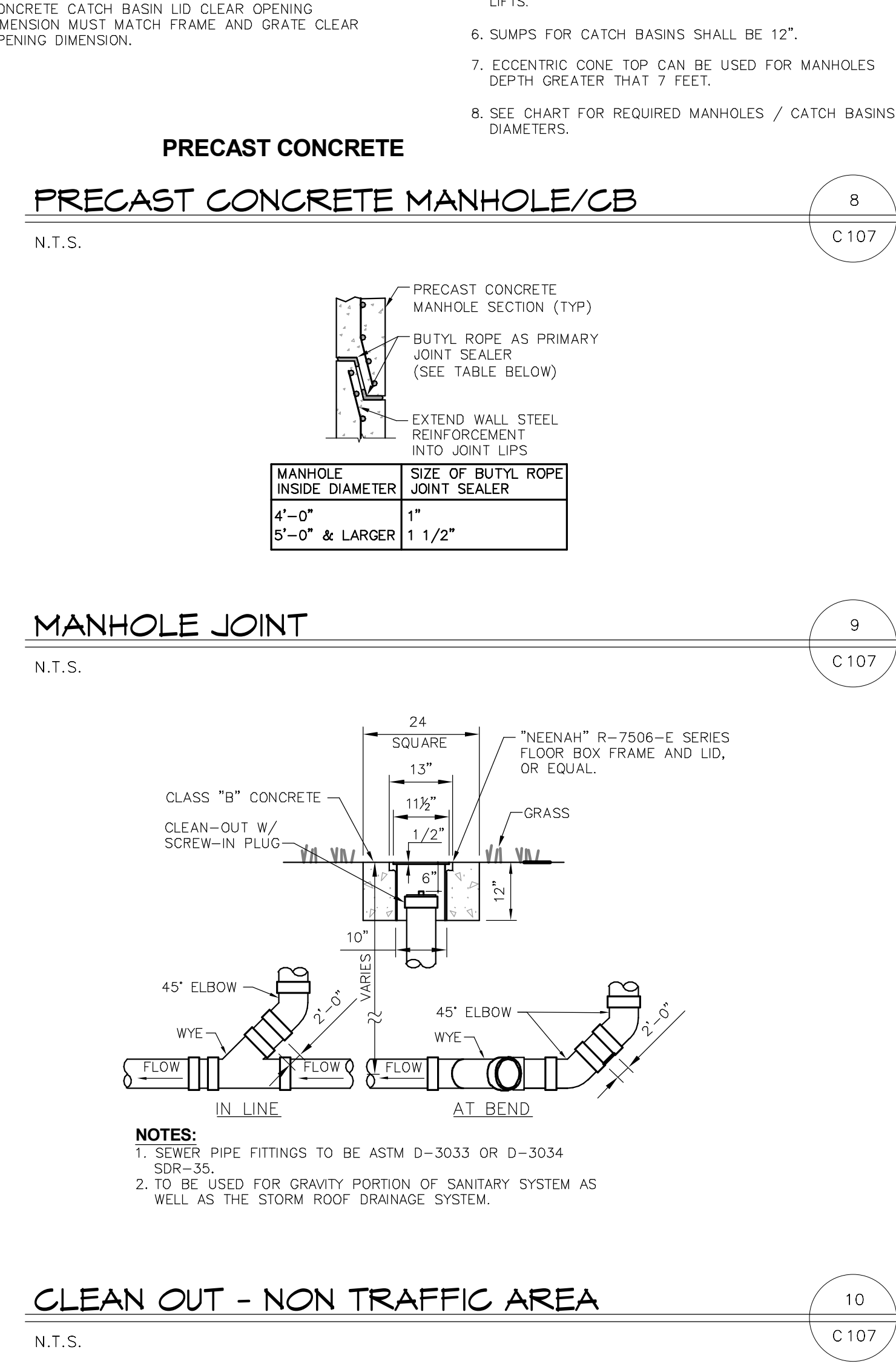
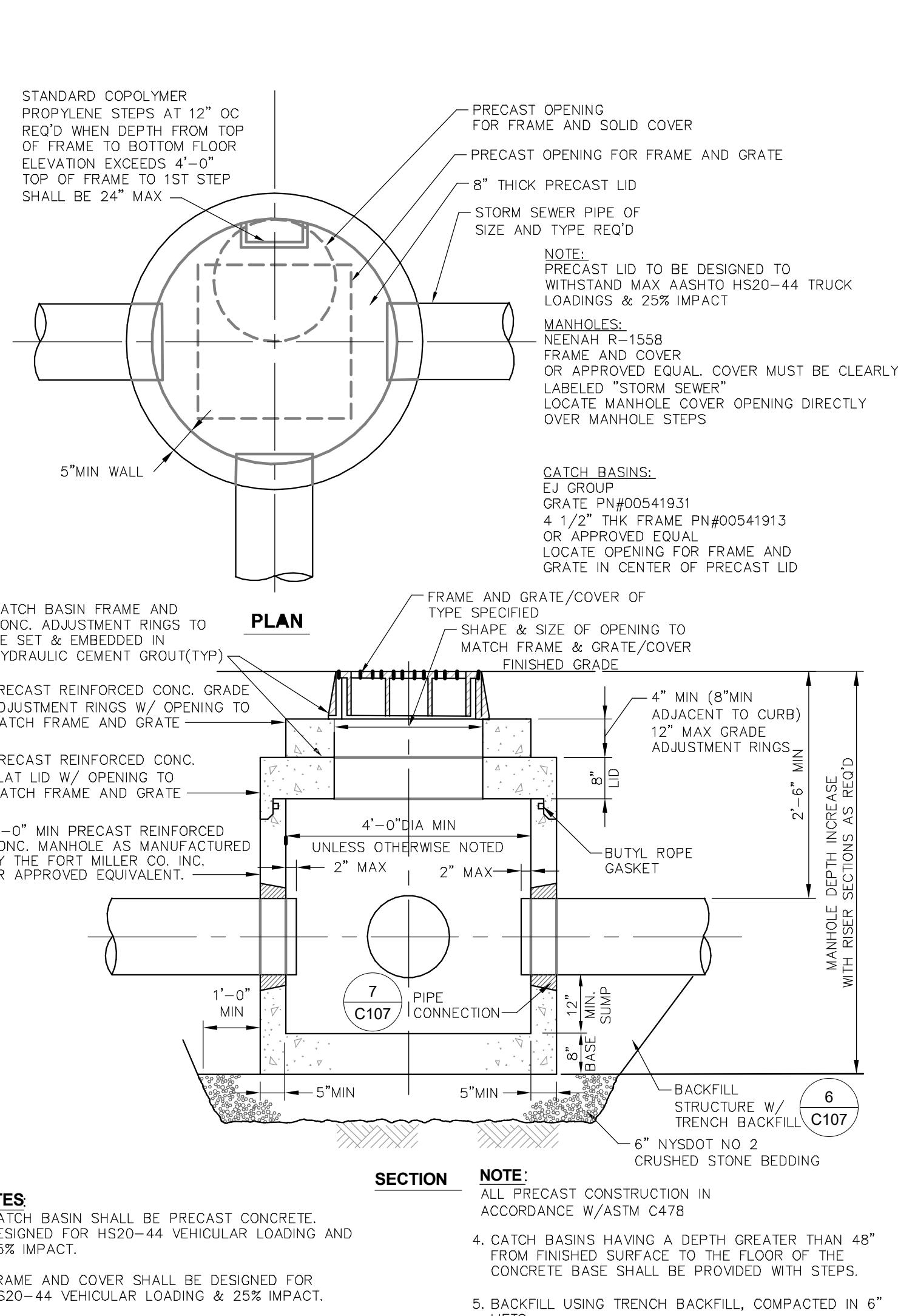


STORM SEWER NOTES:

1. ALL STORM WATER MANAGEMENT STRUCTURES (I.E. CATCH BASIN, ETC.) SHALL BE REGULARLY INSPECTED FOR SEDIMENT ACCUMULATIONS. CATCH BASINS SHALL BE CLEANED WHEN SEDIMENT DEPTH REACHES A MAXIMUM OF 1/2 THE AVAILABLE SUMP DEPTH.

2. IF GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A DEWATERING PIT (A.K.A. SUMP PIT) TO TRAP AND FILTER WATER FOR PUMPING TO A SUITABLE DISCHARGE AREA. THE DEWATERING PIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, LATEST EDITION.

3. ALL EROSION CONTROL MEASURES EMPLOYED DURING THE CONSTRUCTION PROCESS SHALL BE AS OUTLINED ON THE EROSION AND SEDIMENT CONTROL PLANS, DETAILS AND NOTES.



CLEAN OUT - NON TRAFFIC AREA

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THE TERRACE AT GLEN EDDY - PORTE COCHERE & DINING ROOM ADDITIONS

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Revisions

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NOT FOR CONSTRUCTION

Title

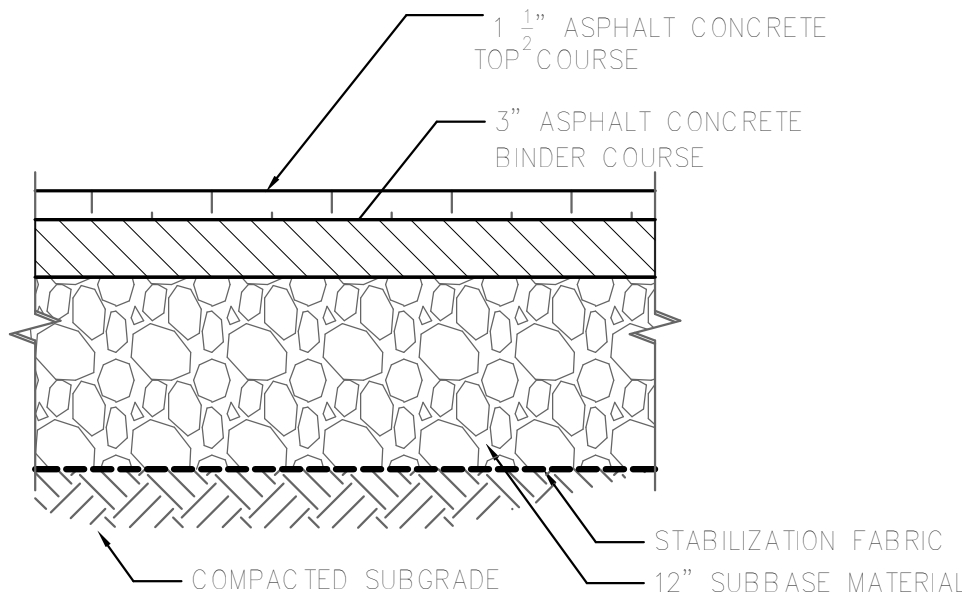
SITE DETAILS

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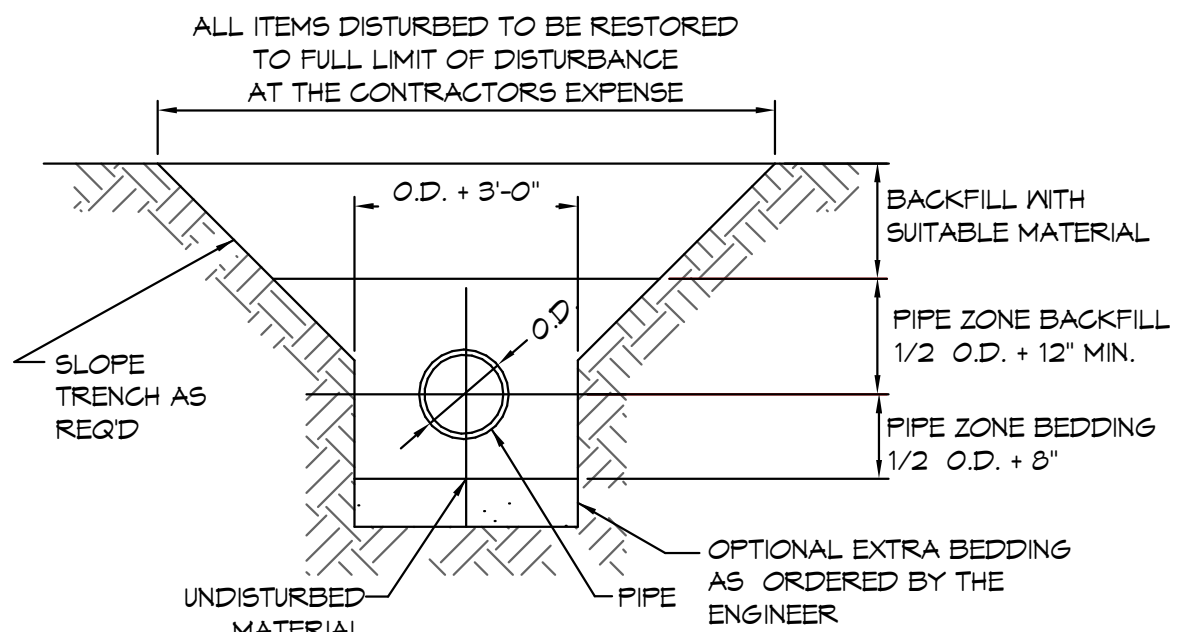
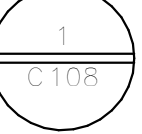
C107

Date: May 03, 2022



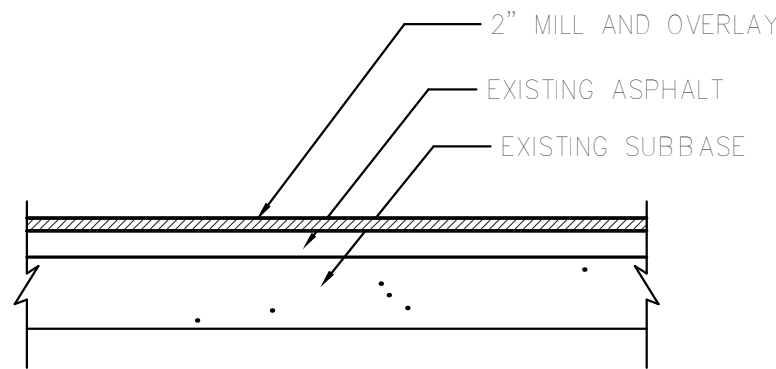
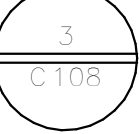
STANDARD DUTY ASPHALT CONCRETE PAVEMENT DETAIL

SCALE:
N.T.S.



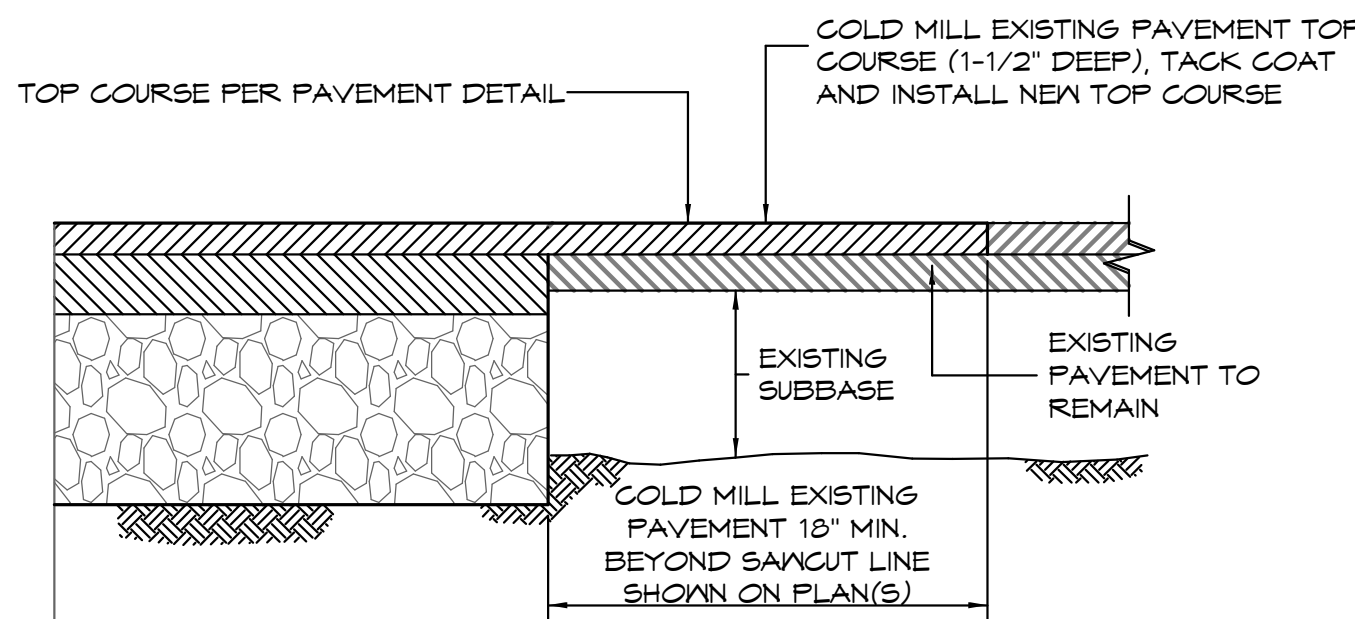
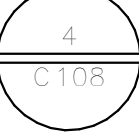
TYPICAL UTILITY TRENCH DETAIL

SCALE:
N.T.S.



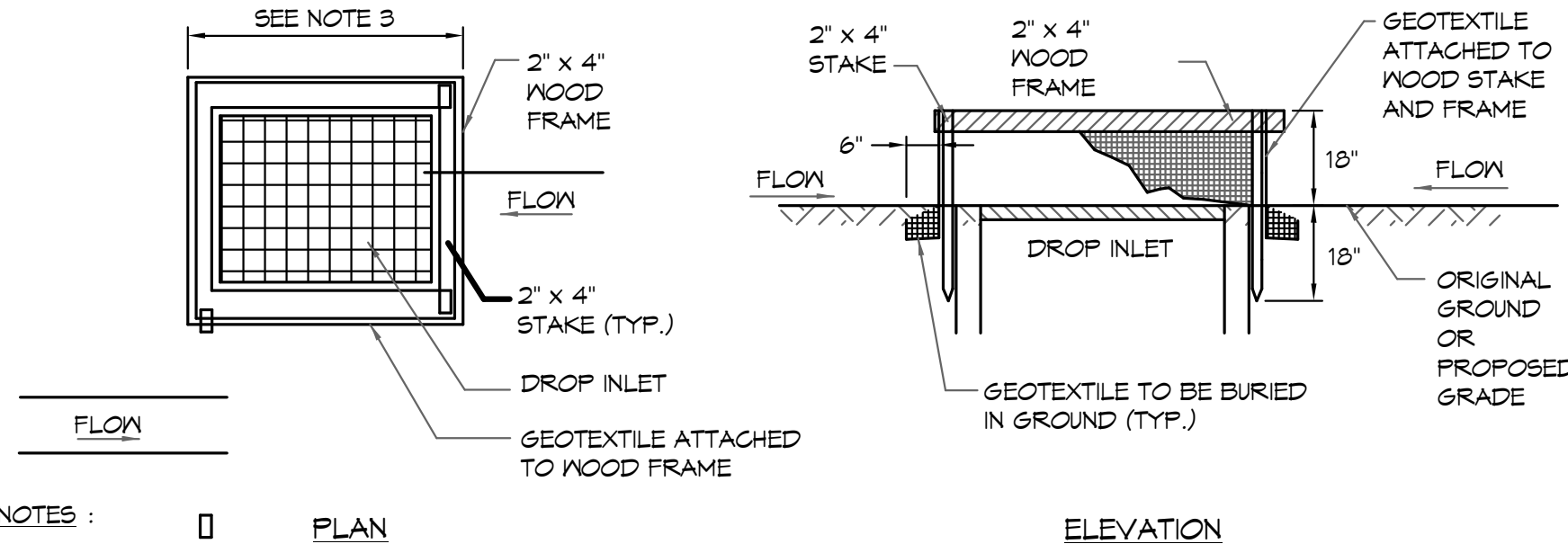
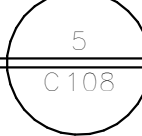
MILL & OVERLAY PAVEMENT SECTION

SCALE:
N.T.S.



PROPOSED/EXISTING ASPHALT INTERFACE

SCALE:
N.T.S.

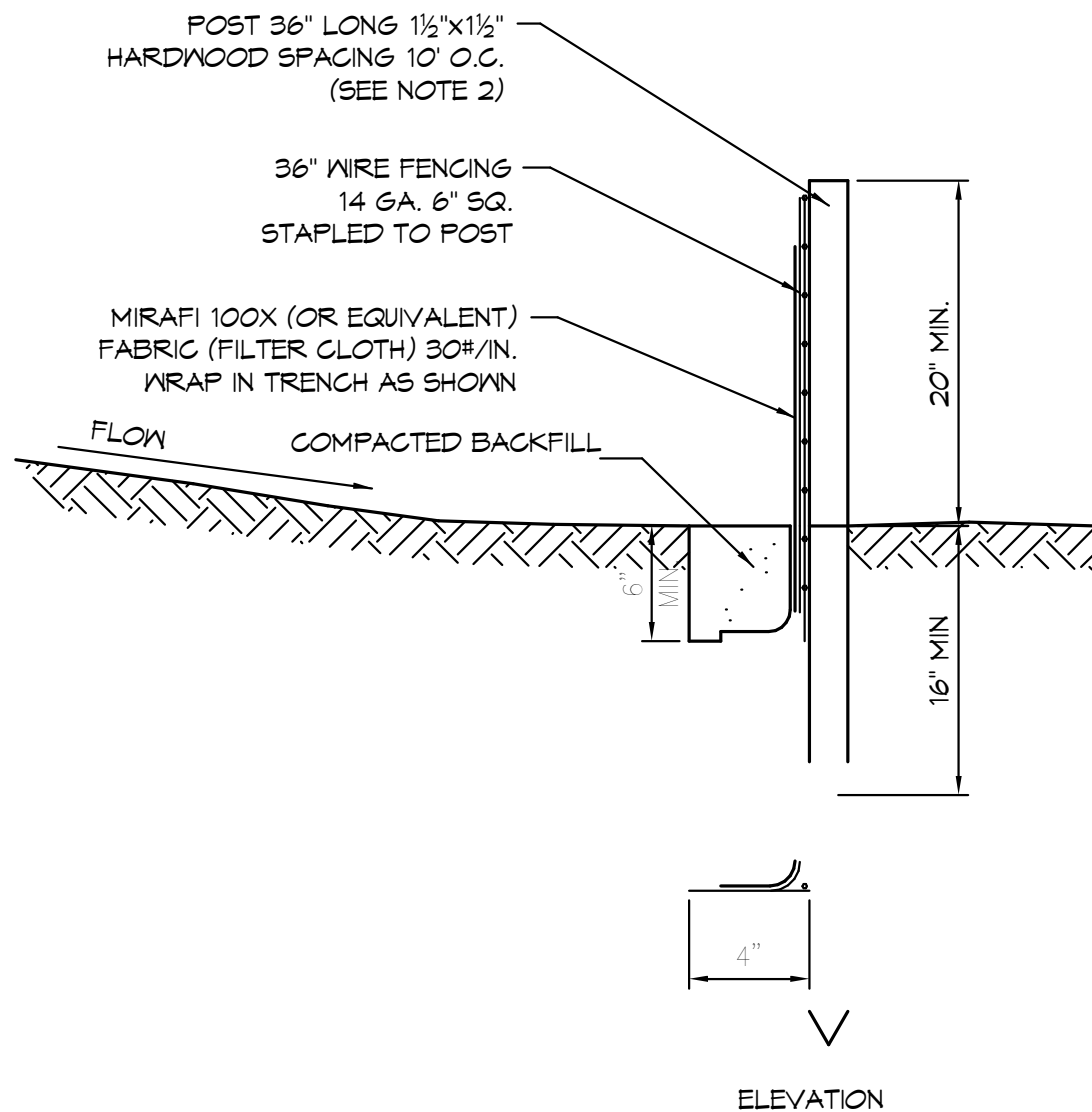
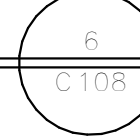


NOTES :

- GEOTEXTILE SHALL BE CUT FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NECESSARY THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIAL WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET DRIVE STAKES 18" MINIMUM INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
- GEOTEXTILE SHALL BE EMBEDDED 12" BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO STAKES AND FRAME.
- GEOTEXTILE FABRIC SHALL HAVE EOS OF 40-85.
- A 2'x 4' WOOD FRAME SHALL BE FORMED AROUND THE CREST OF FABRIC FOR OVERFLOW STABILITY.
- INLET PROTECTION TO REMAIN IN-PLACE UNTIL AREA IS STABILIZED.

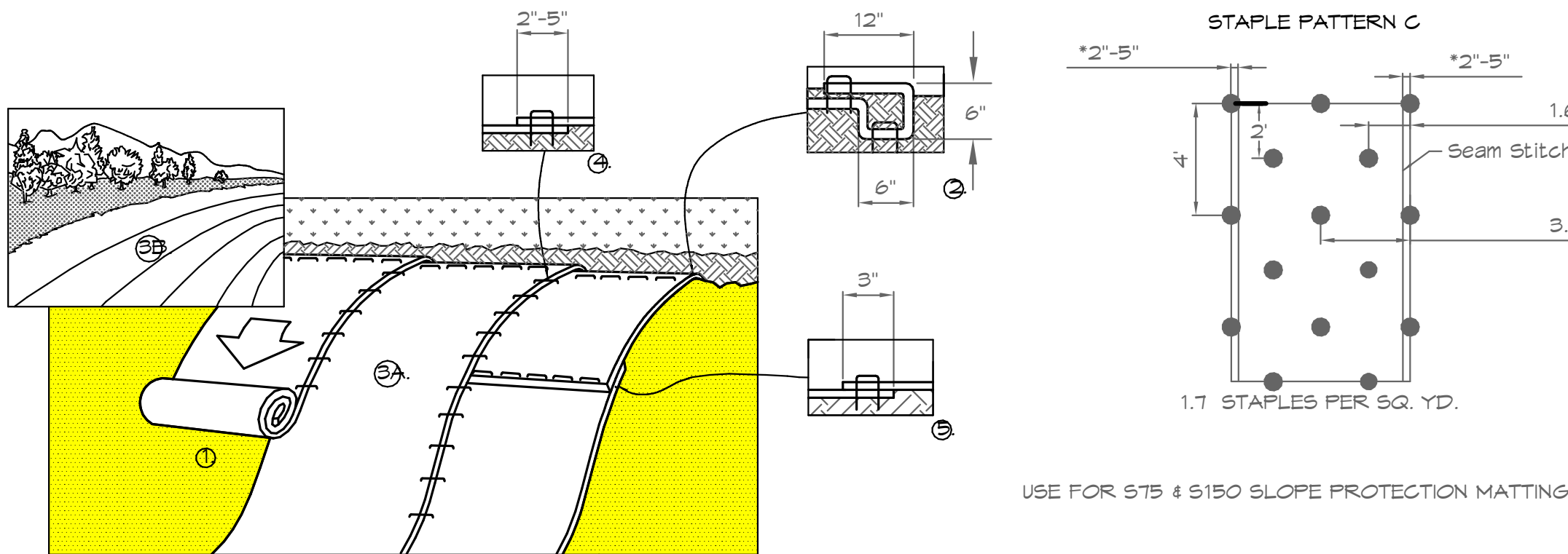
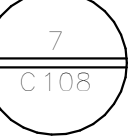
FILTER FABRIC DROP INLET PROTECTION DETAIL

SCALE:
N.T.S.



SILT FENCE DETAIL

SCALE:
N.T.S.

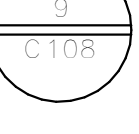


- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

NOTE:
*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

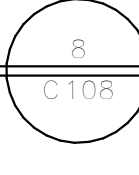
EROSION CONTROL BLANKET DETAIL

SCALE:
N.T.S.



NOT USED

SCALE:
N.T.S.



A n g e r a m e
Architects, P. C.

Architecture
Planning
Interior Design

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New York 12206
P 518 454 9300
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Project

THE TERRACE AT GLEN EDDY - PORTE COCHERE & DINING ROOM ADDITIONS

One Ascot Lane
Niskayuna, NY 12309

Site Plan Review Set

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions
646 Plank Rd., #104 Clifton Park, NY 12065
Phone: (518) 280-2410

Structural:
MRH Engineering, P.C.
20 Bayberry Drive, Queensbury, NY 12804
Ph: (518) 742-4042 Cell: (518) 746-6054

Revisions

-Site Plan Review Set-
NOT FOR CONSTRUCTION

Title

SITE DETAILS

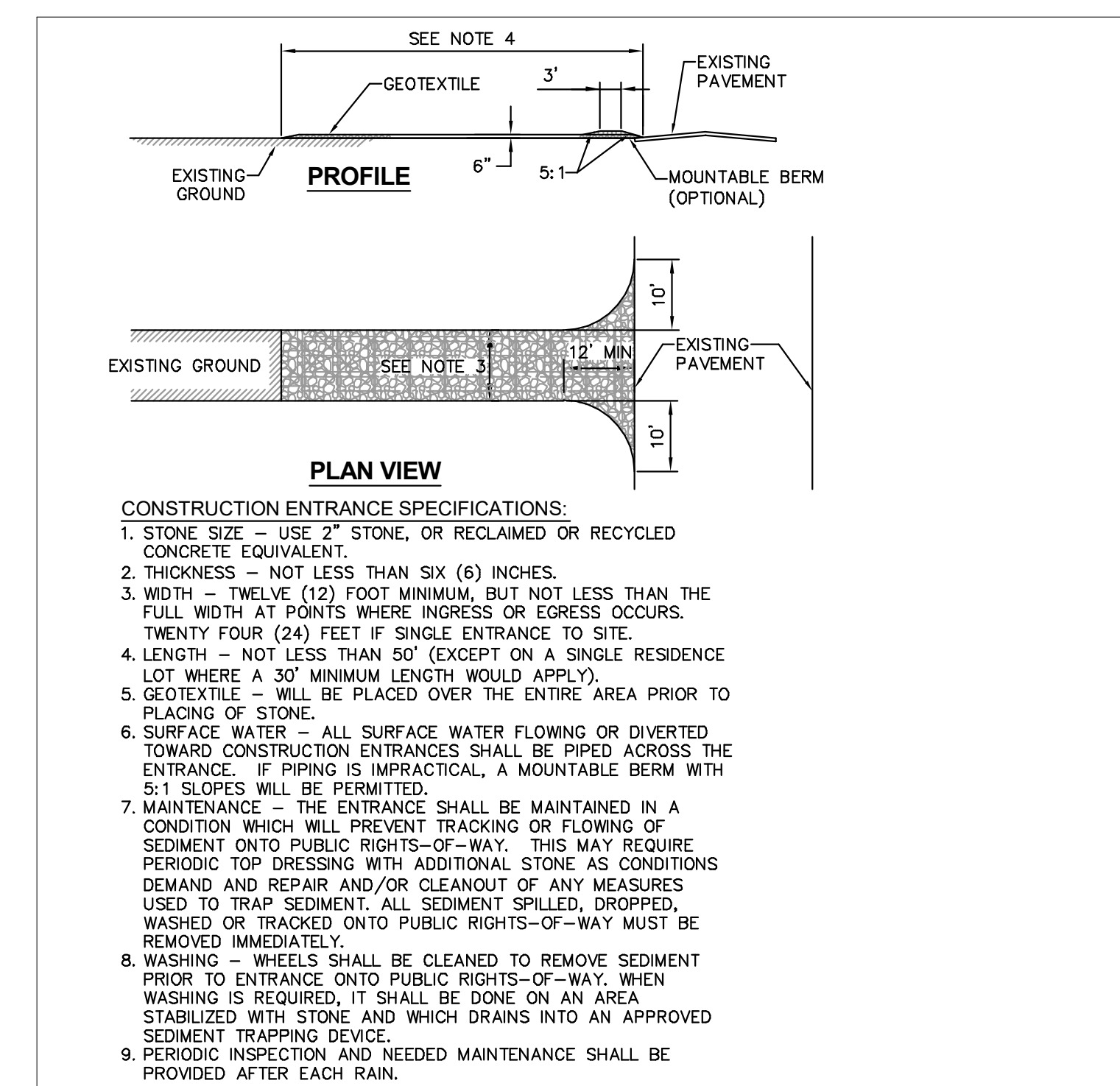
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Drawing Number

C108

Date: May 03, 2022

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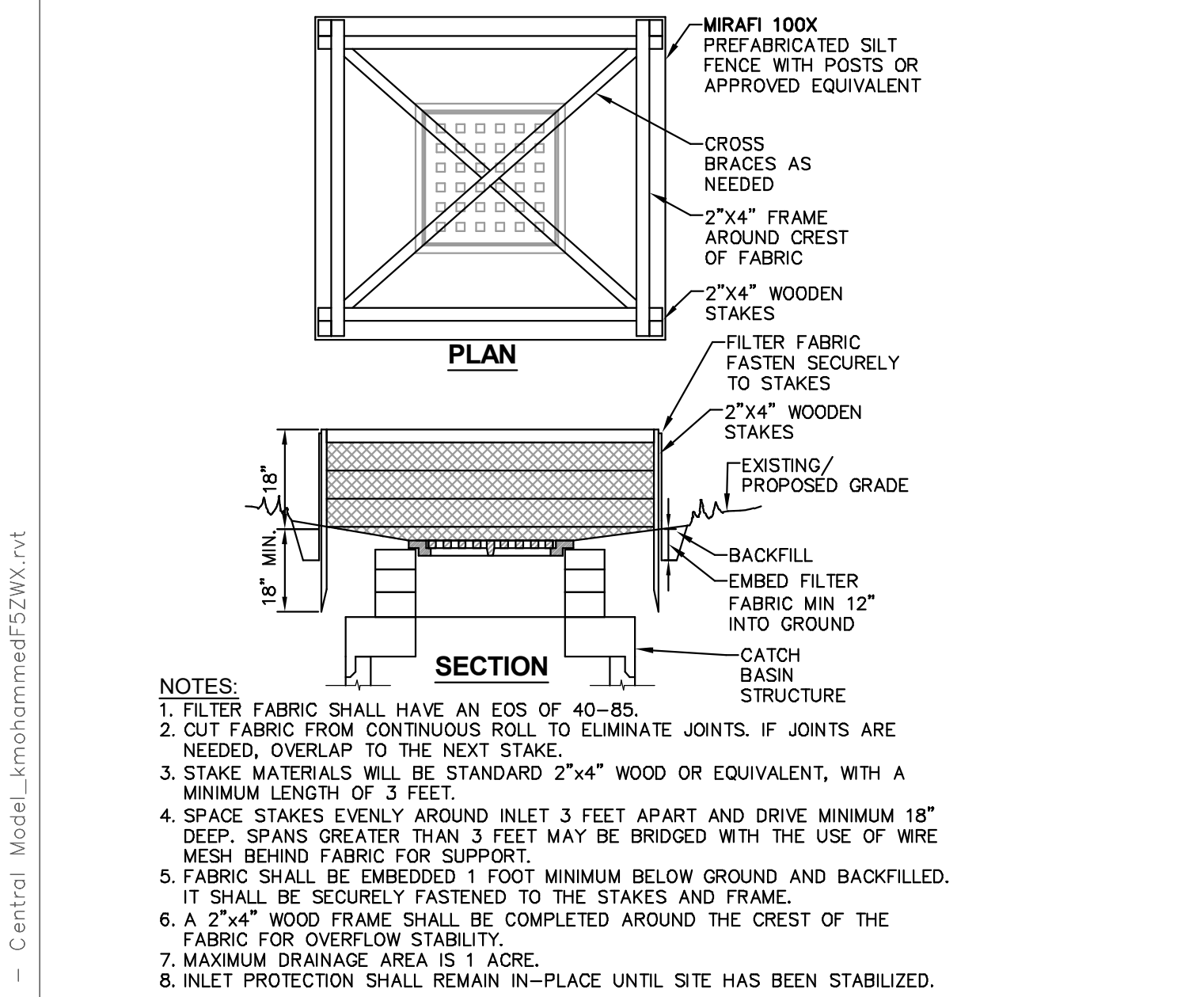


STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.

1

A109

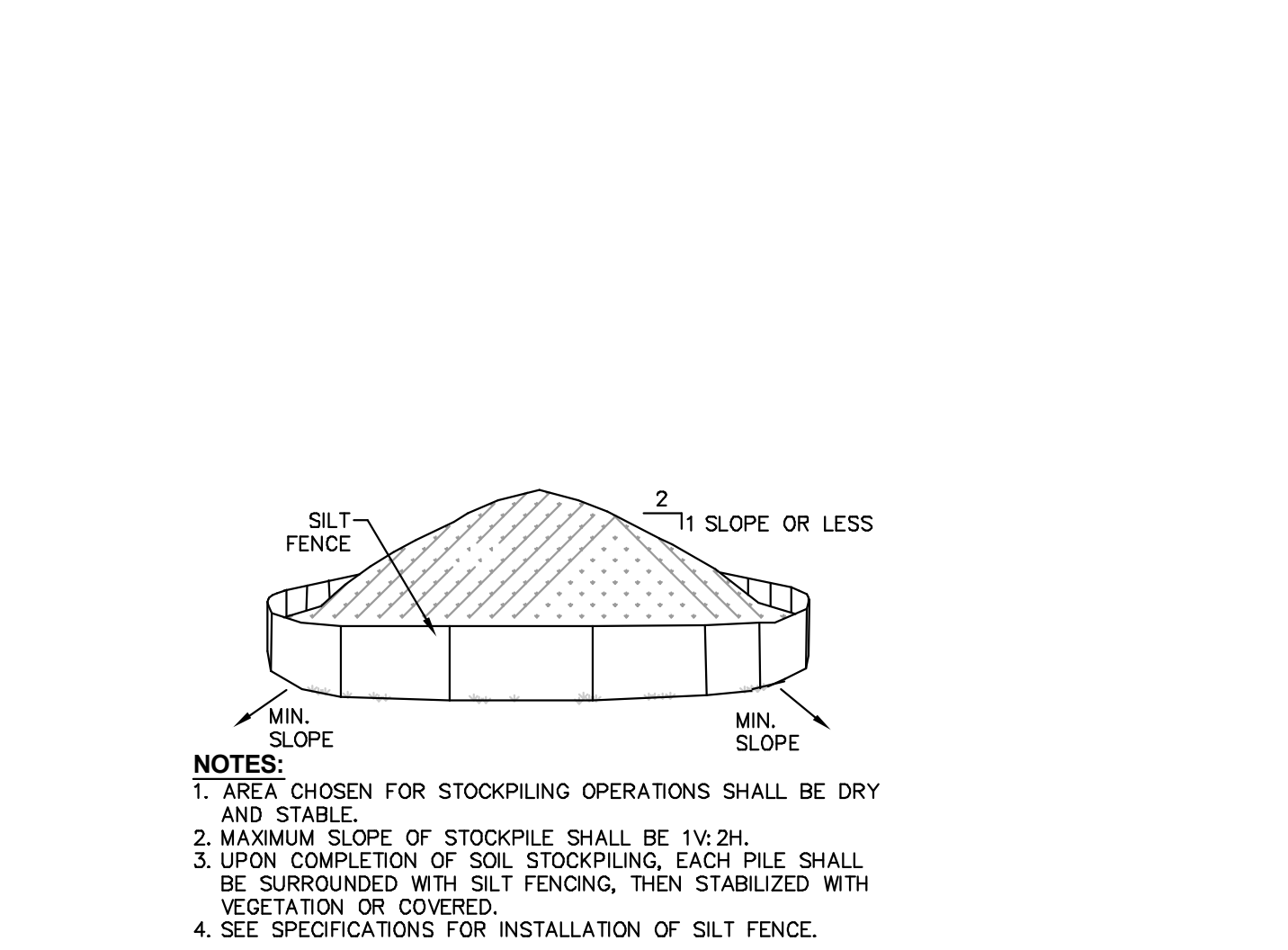


SILT FENCE

SCALE: N.T.S.

2

A109



TEMPORARY SOIL STOCKPILE

SCALE: N.T.S.

4

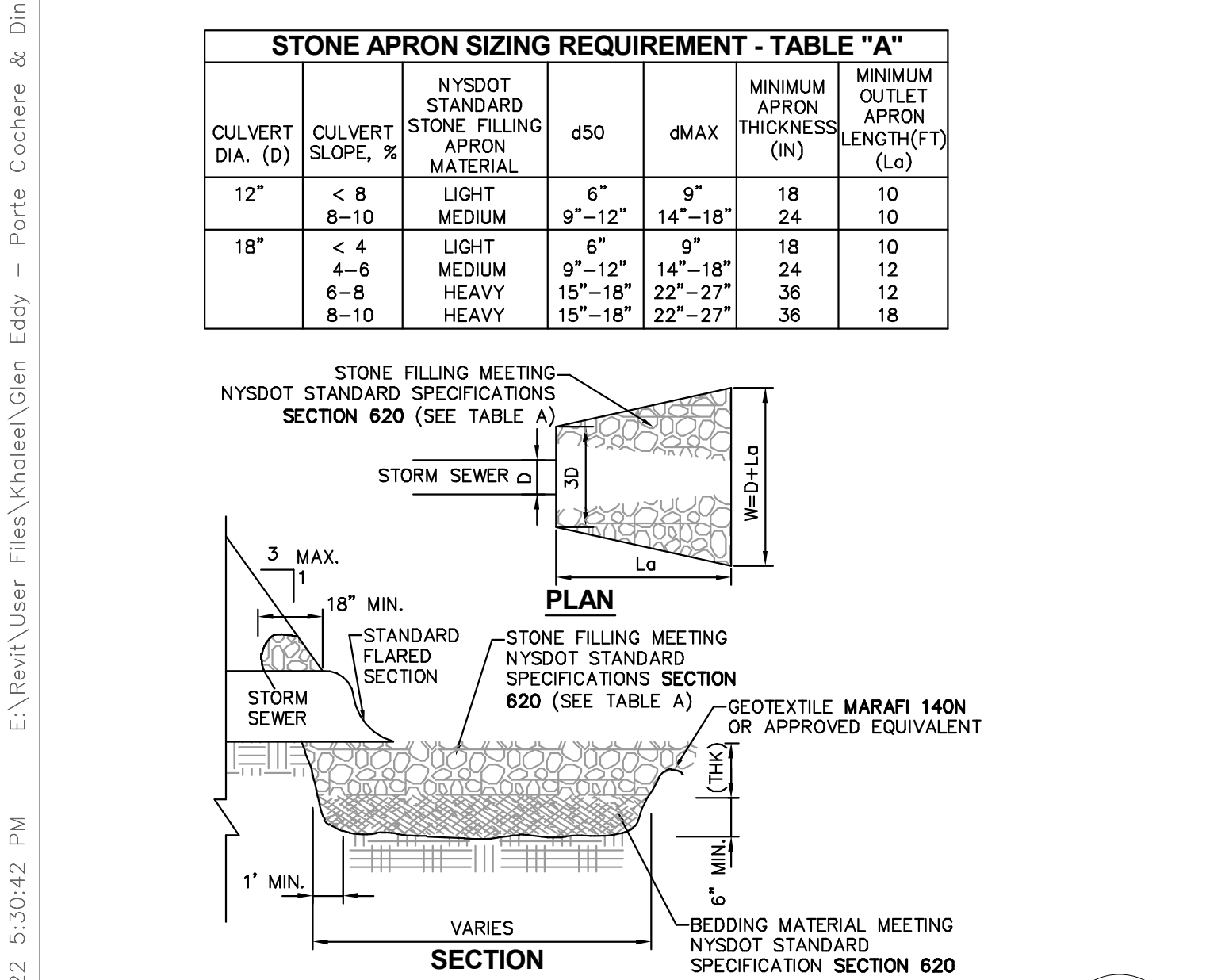
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TEMPORARY INLET PROTECTION

SCALE: N.T.S.

3

A109



STONE LINED APRON

SCALE: N.T.S.

5

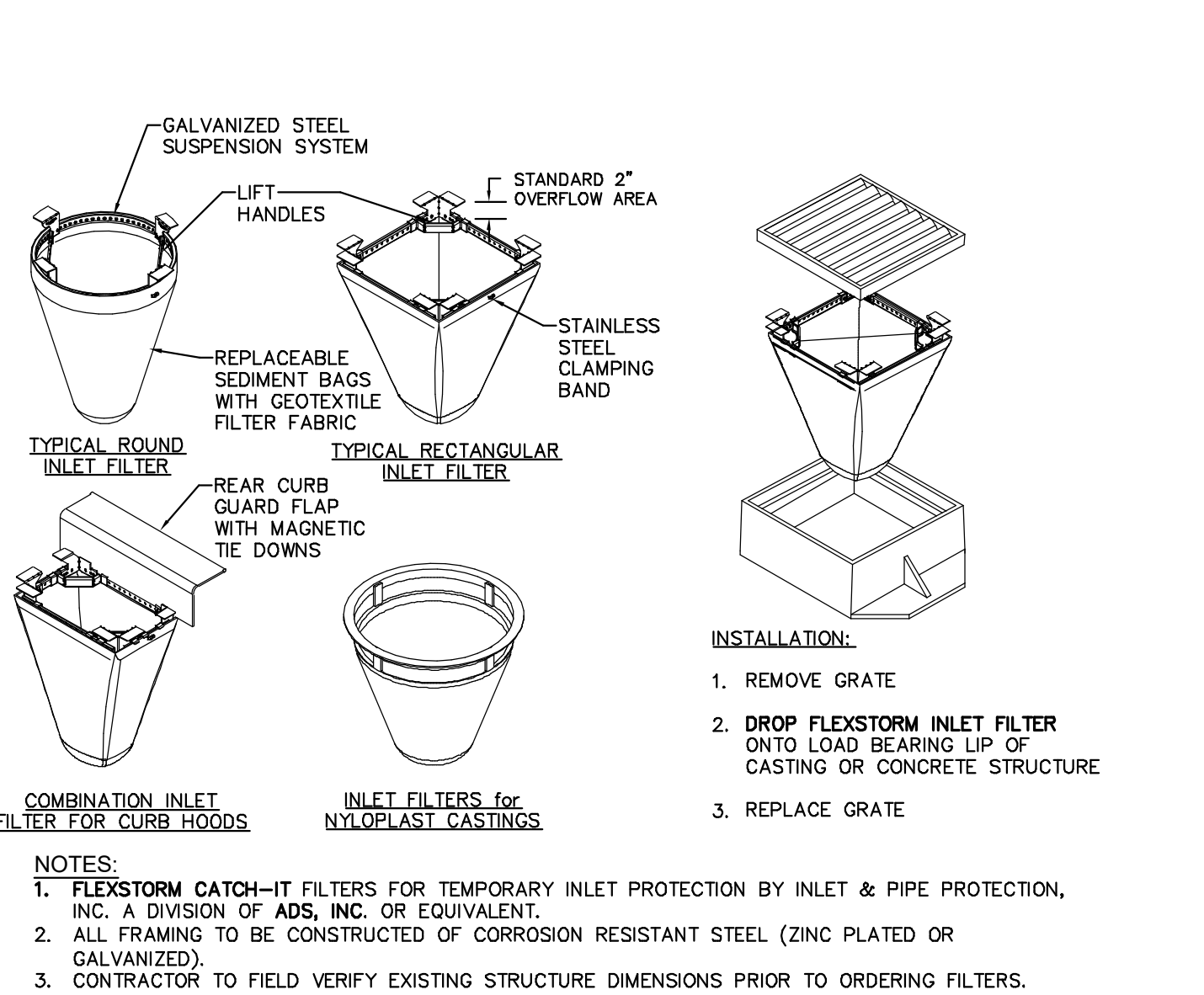
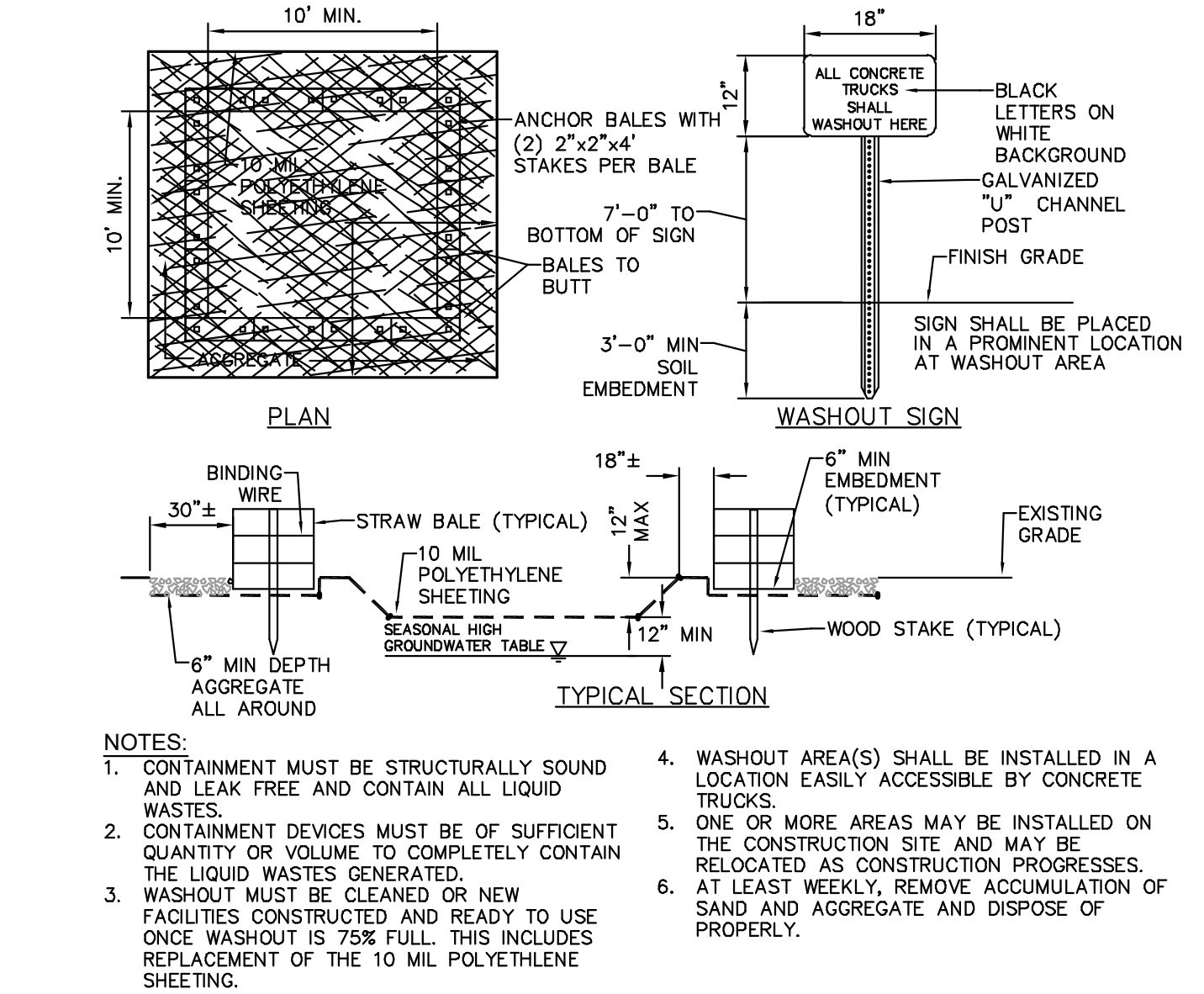
A109

TEMPORARY CONCRETE WASHOUT

SCALE: N.T.S.

6

A109



FLEXSTORM INLET PROTECTION

SCALE: N.T.S.

7

A109

SPDES GENERAL PERMIT GP-0-15-002 COMPLIANCE NOTES:

THIS PLAN SET AND THE ACCOMPANYING SWPPP ENTITLED "ALBANY COUNTY RESIDENTIAL HEALTH CARE FACILITY REPAIRS" HAVE BEEN SUBMITTED AS A SET. THESE ENGINEERING DRAWINGS ARE CONSIDERED AN INTEGRAL PART OF THE SWPPP. THEREFORE THE PLAN SET IS NOT CONSIDERED COMPLETE WITHOUT THE SWPPP.

1. THIS PROJECT HAS NOT RECEIVED WRITTEN APPROVAL FROM NYSDOT ALLOWING THE DISTURBANCE OF MORE THAN FIVE (5) ACRES OF LAND AT ANY ONE TIME. THEREFORE, IF THE CONTRACTOR'S CONSTRUCTION SEQUENCE REQUIRES THE DISTURBANCE OF MORE THAN FIVE ACRES AT ANY ONE TIME, WRITTEN APPROVAL MUST BE OBTAINED FROM NYSDOT PRIOR TO EXCEEDING THE 5 ACRE LIMIT.

CONSTRUCTION SEQUENCING NOTES:

1. PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC.AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (I.E. SILT FENCES, TREE PROTECTION/BARRIER FENCES, STABILIZED CONSTRUCTION ENTRANCES, STORM DRAIN SEDIMENT FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR TRIBUTARY AREAS.
2. THE STORMWATER INFILTRATION BASIN SHALL NOT BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & GRADING OF THE PROPOSED AREA OF DISTURBANCE AS REQUIRED.
4. INSTALL PROTECTIVE MEASURES AT THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.
5. CONSTRUCT ALL UTILITIES, AREA INLETS, AND STORM SEWER SYSTEM, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP-RAP AT LOCATIONS SHOWN ON THE PLANS.
6. FINALIZE PAVEMENT SUB-GRADE PREPARATION.
7. INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.
8. PRIOR TO FINALIZING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, ALL CATCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.
9. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

EROSION AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", JULY 2016.
2. EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTALL SILT FENCE AROUND SOIL STOCKPILES.
3. APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED FOR 21 DAYS OR MORE SHALL BE STABILIZED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER WORK IS COMPLETE. (SEE SPECIFICATIONS FOR PERMANENT VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.
4. SEEDING AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
7. WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
8. CONTRACTOR TO INSPECT FOR CONSTRUCTION DEBRIS IN PUBLIC AREAS DAILY, AND TO POWER SWEEP HERITAGE ROAD AND DESIGNATED TEMPORARY PARKING AREAS ONCE PER WEEK.

MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:

PERMANENT AND TEMPORARY VEGETATION:
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RESEEDING IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE:
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.

SILT FENCE:
INSPECT FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.

SOIL STOCKPILE:
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

DUST CONTROL:
SCHEDULE CONSTRUCTION OPERATIONS TO MINIMIZE THE AMOUNT OF DISTURBED AREAS AT ANY ONE TIME DURING THE COURSE OF WORK. APPLY TEMPORARY SOIL STABILIZATION PRACTICES SUCH AS MULCHING, SEEDING, AND SPRAYING (WATER). STRUCTURAL MEASURES (MULCH, SEEDING) SHALL BE INSTALLED IN DISTURBED AREAS BEFORE SIGNIFICANT BLOWING PROBLEMS DEVELOP. WATER SHALL BE SPRAYED AS NEEDED. REPEAT AS NEEDED, BUT AVOID EXCESSIVE SPRAYING, WHICH COULD CREATE RUNOFF AND EROSION PROBLEMS.

STORM DRAIN INLET PROTECTION:
INSPECT ALL STORM DRAIN INLET PROTECTION DEVICES EVERY SEVEN DAYS & AFTER EVERY RAIN EVENT. MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT FROM THE POOL AREA AS NECESSARY.

DEWATERING PITS:
(IF REQUIRED) – INSPECT DAILY DURING OPERATION FOR CLOGGING OR OVERFLOW. CLEAR INLET AND DISCHARGE PIPES OF OBSTRUCTIONS. IF A FILTER MATERIAL BECOMES CLOGGED WITH SEDIMENT, PIT SHALL BE DISMANTLED AND CONSTRUCT NEW PITS AS NEEDED.

SNOW AND ICE CONTROL:
PARKING LOTS, ROADWAYS, AND DRIVEWAYS ADJACENT TO WATER QUALITY FILTERS SHALL NOT BE SANDED DURING SNOW EVENTS DUE TO HIGH POTENTIAL FOR CLOGGING FROM SAND IN SURFACE WATER RUNOFF. USE SALT ONLY FOR SNOW AND ICE CONTROL.

TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):

1. **SEED MIX:** (APPLY AT RATE OF 3 TO 4 LBS PER 1000 SF)
AMOUNT BY:
WEIGHT SPECIES OR VARIETY PURITY GERMINATION
100% ANNUAL RYEGRASS 98% 90%

Site Plan Review Set

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions

646 Plank Rd. #104 Clifton Park, NY 12065
Phone: (518) 280-2410

Structural:

MRH Engineering, P.C.
20 Bayberry Drive, Queensbury, NY 12804
Ph: (518) 742-4042 Cell: (518) 746-6054

Revisions

-Site Plan Review Set-
NOT FOR CONSTRUCTION

Title

EROSION CONTROL DETAILS & NOTES

Scale: N.T.S.

Scale: N.T.S.

Scale: N.T.S.

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TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 4

MEETING DATE: 5/9/2022

ITEM TITLE: DISCUSSION: 3333 Consaul Rd. site plan app. for sidewalk improvements including the addition of an ADA ramp.

PROJECT LEAD: TBD

APPLICANT: Matthew Oates, P.E.

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Matthew Oates, P.E., of Benderson Development, submitted an Application for Site Plan Review for sidewalk and ADA improvements along the existing sidewalk in front of the retail portion of the property at 3333 Consaul Road. The proposed improvements will provide for a wider sidewalk and new ADA access curb ramps.

The property falls within the C-N Neighborhood Commercial zoning district. A search of Town of Niskayuna records revealed 8 businesses located on the property. The business names are included in a document entitled "3333/3337 Consaul Road". A review of Section 220-10 E of the Niskayuna zoning code resulted in the following.

- Permitted principal uses (1) (d) – all of the businesses listed in the document are allowable permitted principal uses under the category of neighborhood retail convenience stores with the exception of the Hannaford Food Market.
- Special principal uses (3) (e) – the Hannaford Food Market is an acceptable special principal use under the category of food markets.

BACKGROUND INFORMATION

The following documents were included with the Application for Site Plan Review.

- Civil engineering plans (6-pages) entitled "3333-3337 Consaul Rd. Niskayuna, NY 12304 Sidewalk Replacement" by Benderson Development.

- Pg. 1 – Storm Drainage Plan dated 7/28/21 with no subsequent revisions.
- Pg. 2 – Limited topo survey dated 4/14/21 with no revisions
- Pg. 3 – Demolition plan dated 7/28/21 with no revisions
- Pg. 4 – Overall site plan dated 7/28/21 with no revisions
- Pg. 5 – Grading plan dated 7/28/21 with no revisions
- Pg. 6 – Storm drainage plan dated 7/28/21 with no revisions

The project includes the removal of a large portion of the existing concrete sidewalk, removal of a striped portion of existing pavement directly in front of the store that was used for grocery pickups and a removal of a section of existing pavement. A new concrete sidewalk will be installed that is essentially equal to the width of the removed concrete and paved pickup area. Dedicated grocery pickup areas were created in the parking lot. Storm drainage improvements are also included consisting primarily of four long sections of 4" perforated HDPE and 4 cleanouts along the interface of new concrete sidewalk and new paved area. The overall site plan also includes a proposed landscaping plan.

The applicant is appearing before the Planning Board this evening to present the project and answer any questions that arise.

TOWN OF NISKAYUNA
Application for Site Plan Review

Applicant (Owner or Agent):

Location:

Name Benderson Development Company, LLC Number & Street 3333 - 3337 Consaul Road
Address 570 Delaware Avenue Section-Block-Lot 39.00 - 5 - 2
Buffalo, New York 14202
Telephone 716-878-9630 Fax _____ Zoning District _____

Proposal Description:

Please see the attached Letter of Intent

Each site plan application shall be accompanied by:

1. Twelve (12) site plan maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A lighting plan showing the lighting distribution of existing or proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. Six (6) copies of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review", of the Code of the Town of Niskayuna.

4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **two hundred dollars (\$200.00)** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Benderson Development Company, LLC

Signature of applicant: Matthew Carter Date: 04/26/2022

MSF Niskayuna, LLC

Signature of owner (if different from applicant): Matthew Carter

Date: 04/26/2022



570 DELAWARE AVENUE
BUFFALO, NEW YORK 14202
716.886.0211.P :: 716.886.1026.F

April 25, 2022

Laura Robertson, AICP – Town Planner
Niskayuna Town Hall
One Niskayuna Circle
Niskayuna, NY 12309

Re: Niskayuna Square (BPD# 3722)
Proposed Sidewalk Modifications and ADA Improvements

Dear Ms. Robertson:

At this time, Benderson Development Company, LLC (hereinafter “Benderson”) is pleased to be submitting the enclosed site plan application to allow for sidewalk and ADA improvements along the existing sidewalk in front of the retail portion of our Niskayuna Square property. The proposed improvements will provide for a wider sidewalk, new ADA access curb ramps at the southeast end and will match in better to the existing sidewalk in front of Hannaford Supermarket. In support of this application, please find enclosed the following information:

- 1) Civil Engineering Plans prepared by James A. Rumsey, R.A
- 2) Town of Niskayuna Site Plan Application
- 3) New York State Short Environmental Assessment Form

We believe the proposed improvements will be a significant enhancement to the existing plaza. After review of the enclosed materials, please let us know what the next steps are in the approval process. Should you have any questions or require any additional information, please do not hesitate to contact me by phone at (716) 878-9397 or by e-mail at mattoates@Benderson.com.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

A handwritten signature in black ink, appearing to read 'Matthew Oates', written in a cursive style.

Matthew J. Oates, P.E.
Director, Engineering

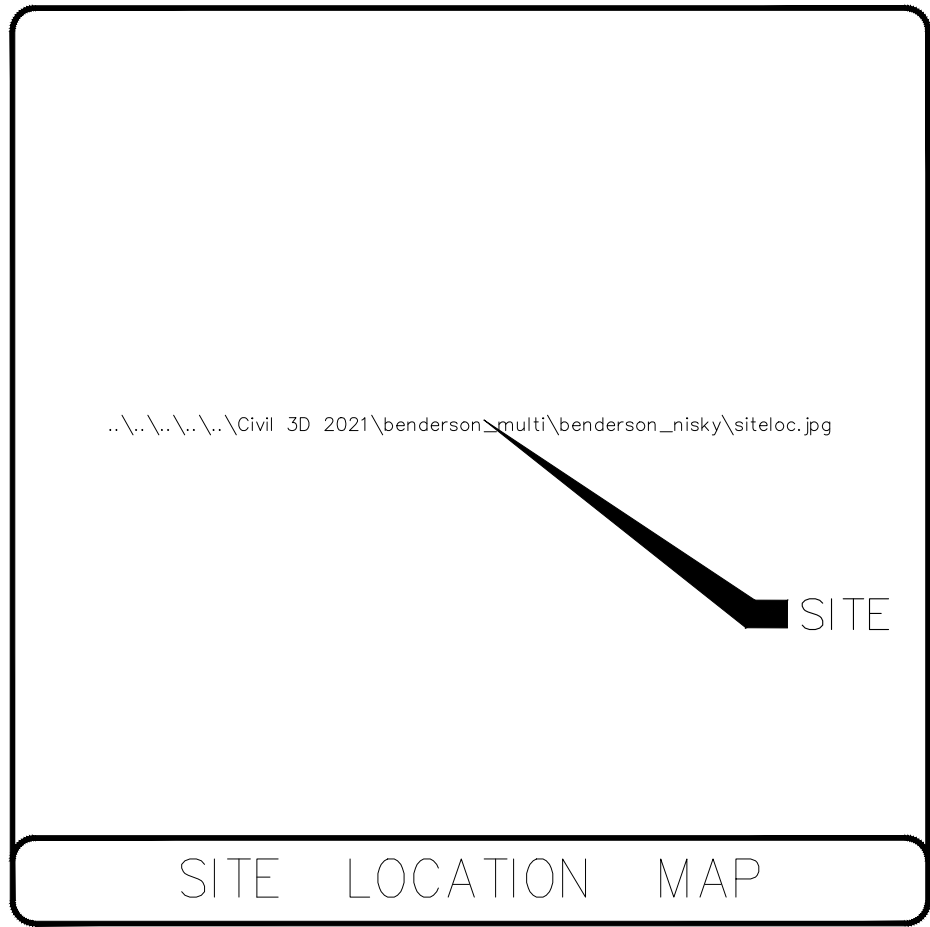
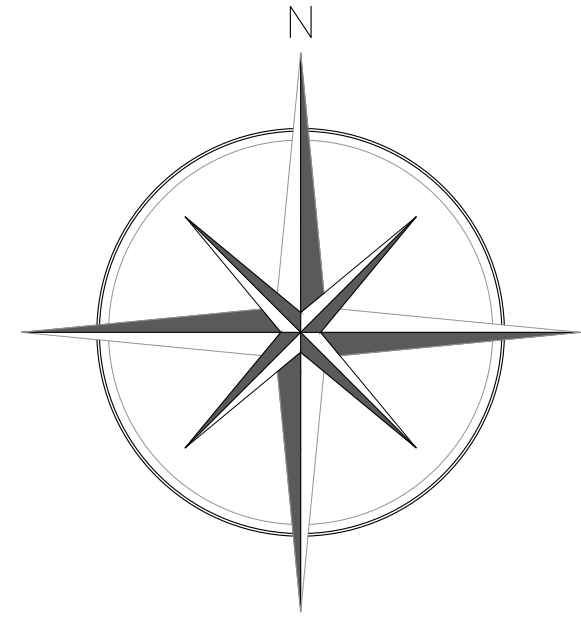
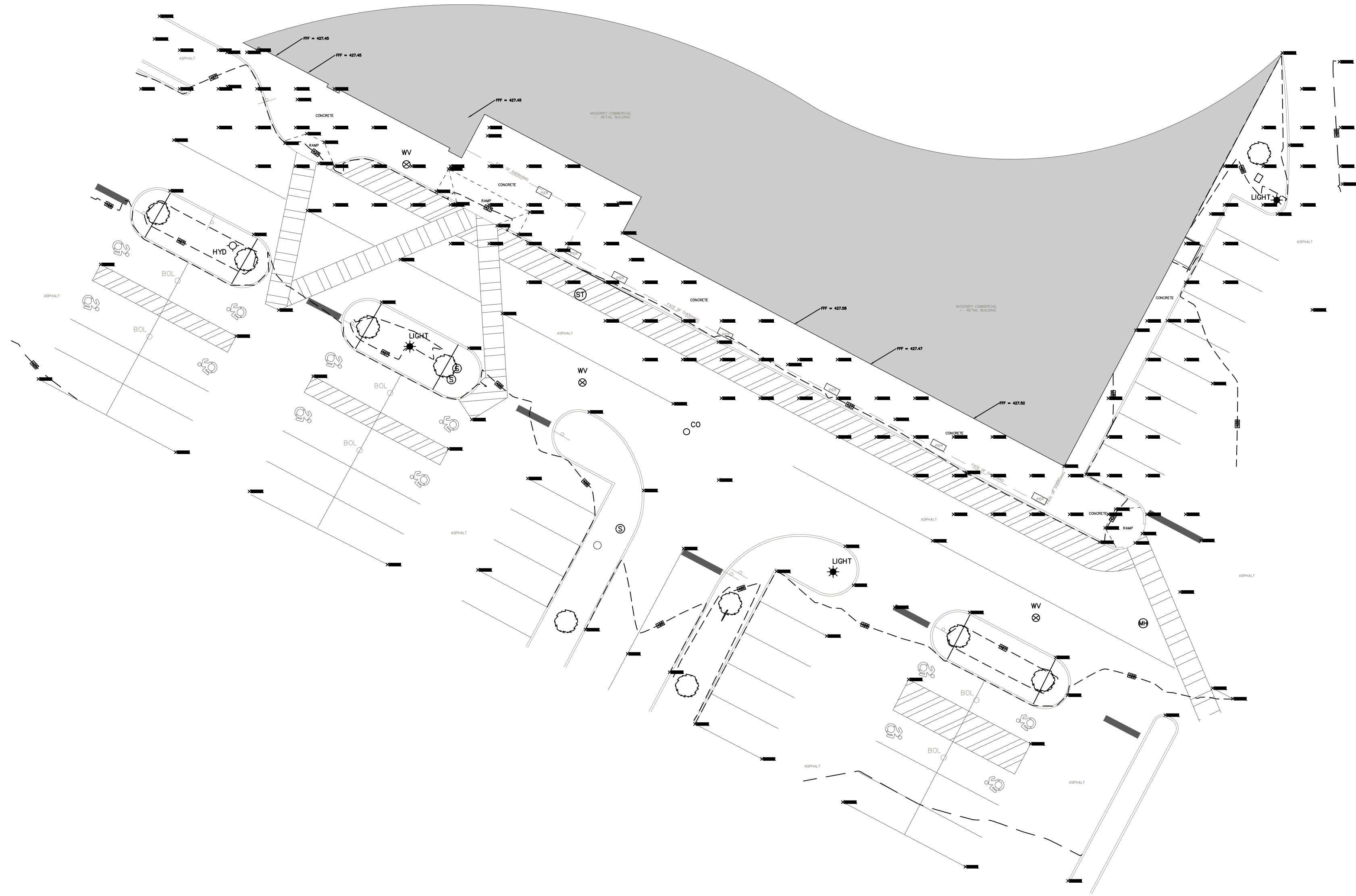
SITE DEVELOPMENT DRAWINGS

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DATE:

DRAWING NO.

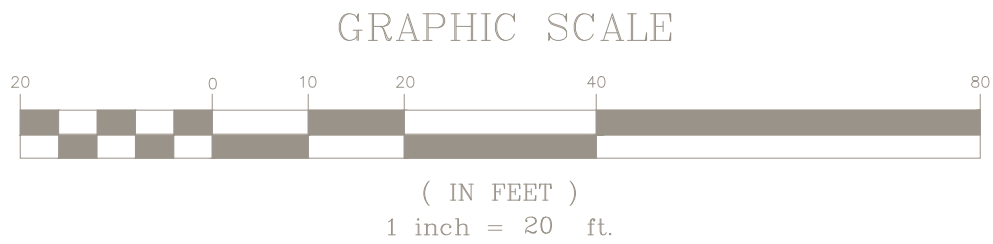
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File: H:\BENDERSON\3722-NISKAYUNA SQUARE SITE SURVEY\3722-NISKAYUNA SQUARE SITE SURVEY\DWG 5001.dwg Saved: 4/17/2021 9:19:05 PM Plotted: 8/2/2021 3:08:48 PM User: Katherine Rowe



NOTES:

- 1) SURVEYED PARCEL: TOWN OF AMSTERDAM - TAX MAP 39.00, BLOCK 5, PARCEL 2.
- 2) SURVEY PREPARED BY GERALD R. GRAY, PLS, FROM MAP REFERENCE AND AN APRIL 2021 FIELD SURVEY.
- 3) NORTH IS REFERENCED TO NAD 83 NEW YORK STATE PLANES EAST ZONE. ELEVATIONS AND TOPOGRAPHY BASED UPON NAVD 88 DATUM.
- 4) SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTION; RECORDED OR UNRECORDED.
- 5) SUBJECT TO ANY STATEMENT OF FACT CONTAINED IN AN UP TO DATE ABSTRACT OF TITLE OR TITLE REPORT.
- 6) UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS. GERALD R. GRAY PLS MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE UNDERGROUND UTILITY LOCATIONS AND OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP. CALL DIGSAFE FOR FURTHER VERIFICATION.
- 7) SURVEY IS PREPARED IN ACCORDANCE WITH THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS CODE OF PRACTICE FOR LAND SURVEYS AS ADOPTED IN OCTOBER OF 1966 AND LAST REVISED ON JULY 18, 1997.



..\\..\\12-15 GRG STAMP.jpg

Gerald R Gray NYSPLS 50513

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No.	Submittal / Revision	App'd	Date
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Drawn:	GRG	Date:	4/14/21
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Designed:		Date:	
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Checked:	GRG	Date:	4/14/21
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Project Number

Project Title

Niskayuna Square

3333-3337 Consaul Road

Property ID 3722J04

Niskayuna, NY 12304

Prepared For

BENDERSON DEVELOPMENT

570 DELAWARE AVE.,
BUFFALO, NY 14202 (716) 886-0211

Drawing Title

Limited
Topographic Survey

Drawing Scale:

1" = 20'

Date:

April 14, 2021

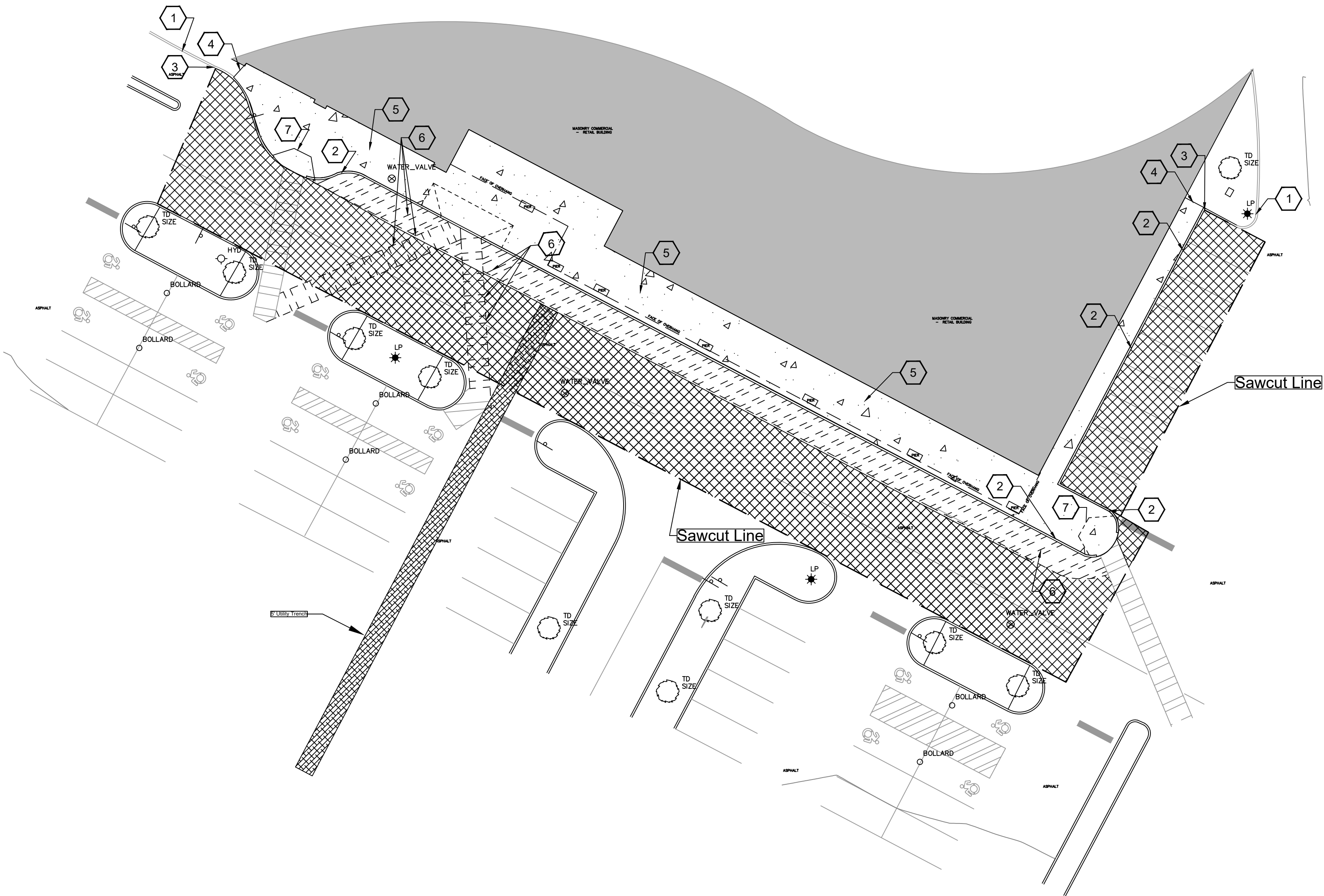
Drawing Number

1 of 1

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- DEMOLITION NOTES: #
1. Existing Curb to Remain.
 2. Existing Curb to be Removed.
 3. Limit of Curb Removal.
 4. Limit of Sidewalk Removal.
 5. Existing Concrete Sidewalk to be Removed.
 6. Existing Striping to be Removed.
 7. Existing Ramp to be Removed.

- DEMO LEGEND:
- Concrete Sidewalk to be Removed
 - Existing Pavement to be Removed
 - Existing Striping to be Removed



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 3722
AREA: -

3333-3337 CONSAUL RD
NISKAYUNA, NY 12304

SIDEWALK REPLACEMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Demolition Plan

SCALE:
1:20
DRAWN BY: KER
CHECKED BY: MAO
DATE: 07.28.21
DRAWING NO.
C3.0

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

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IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.



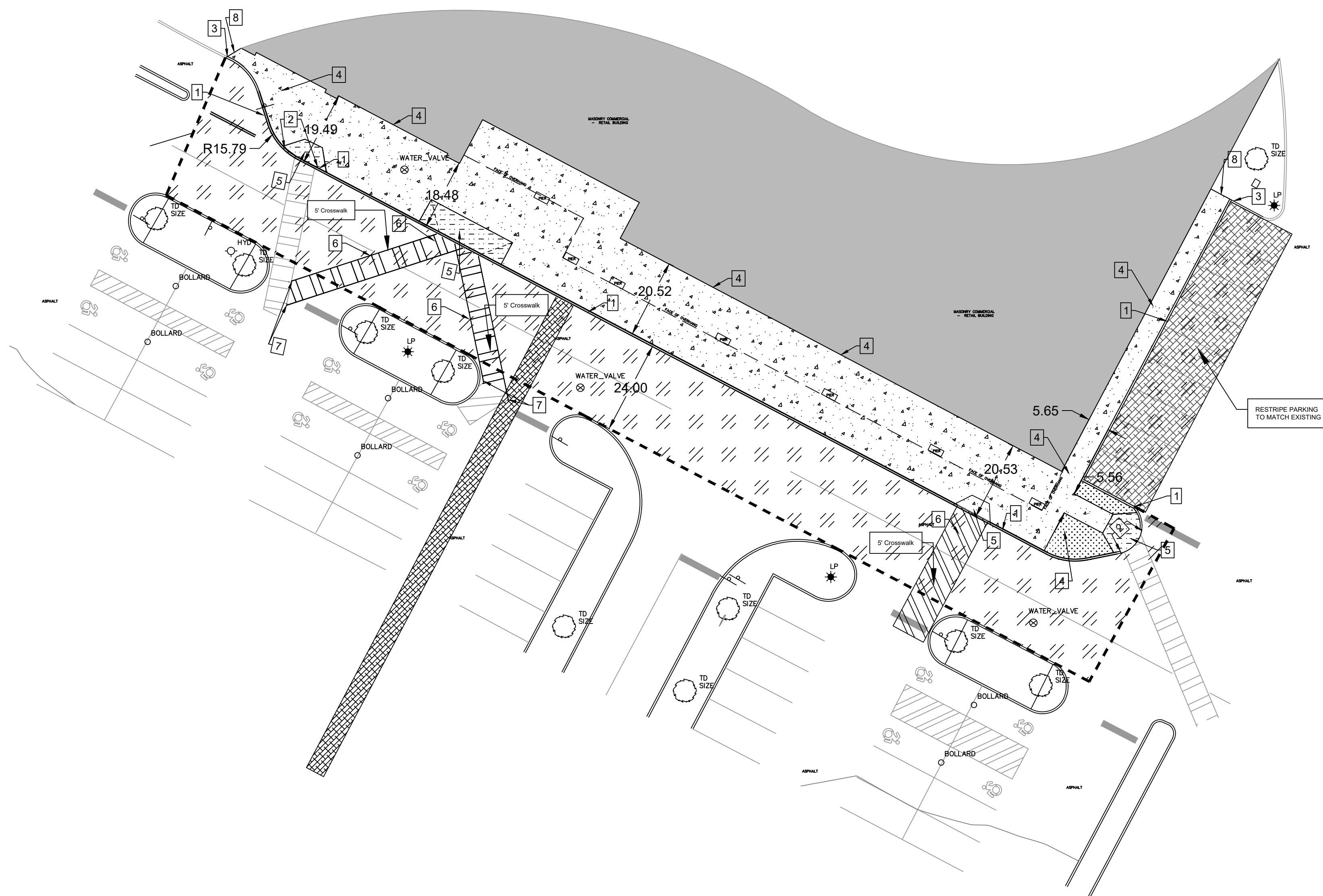
SIDEWALK REPLACEMENT

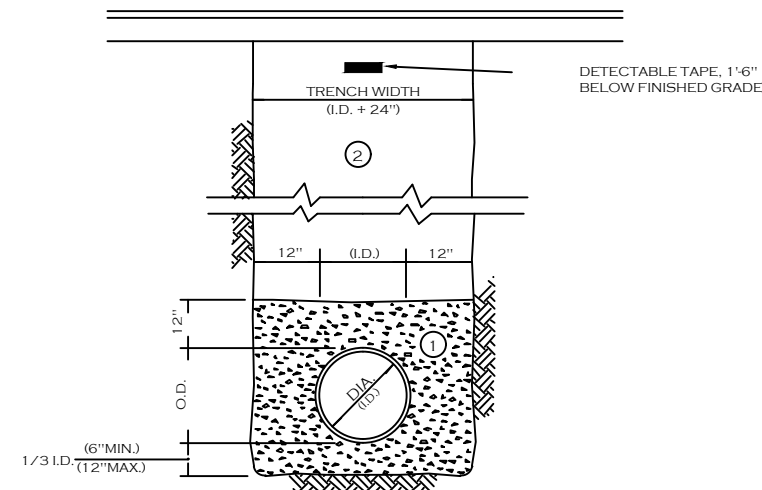
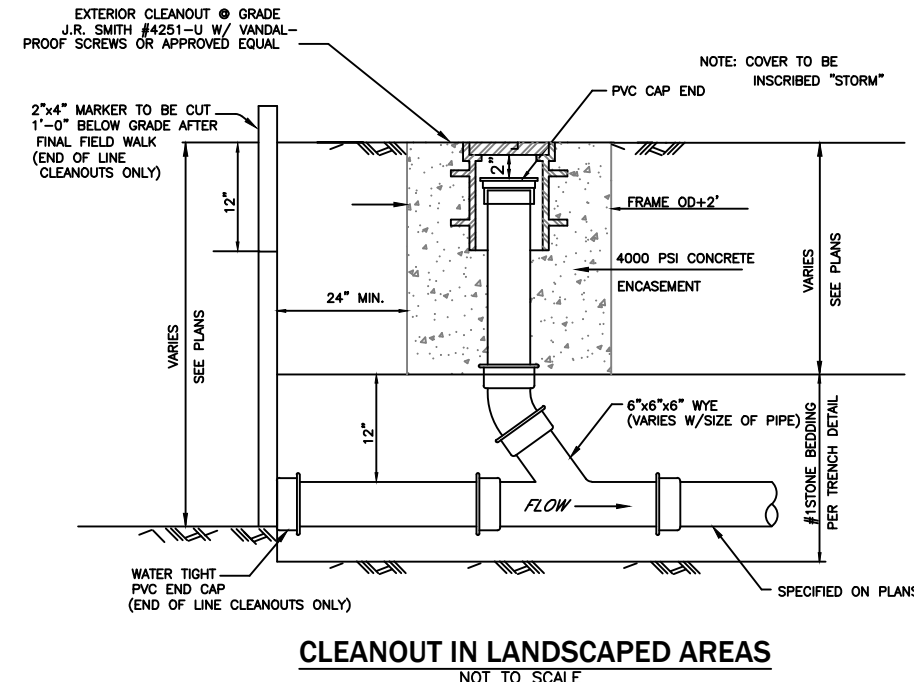
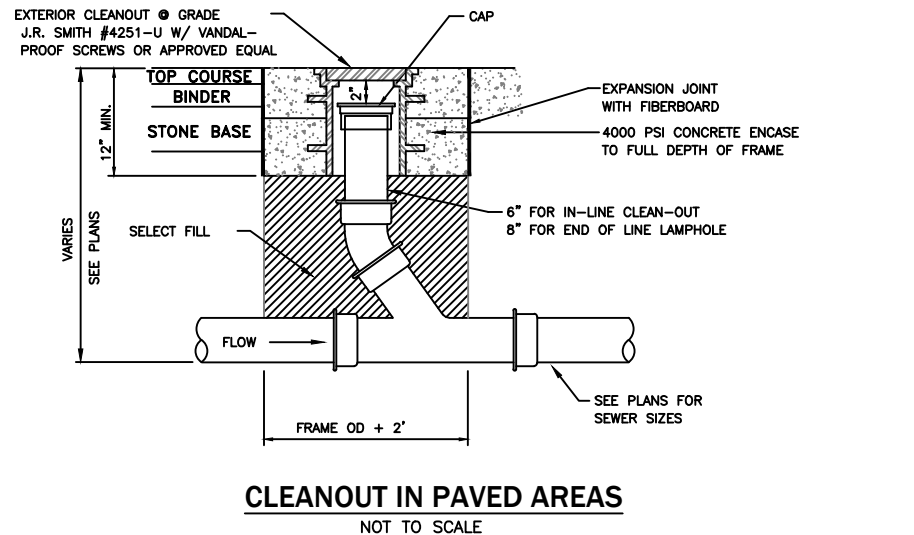
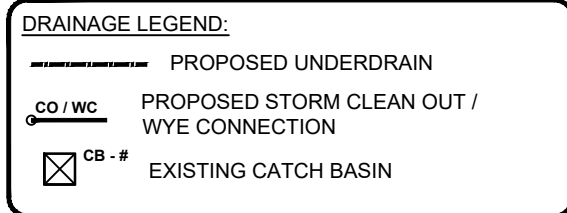
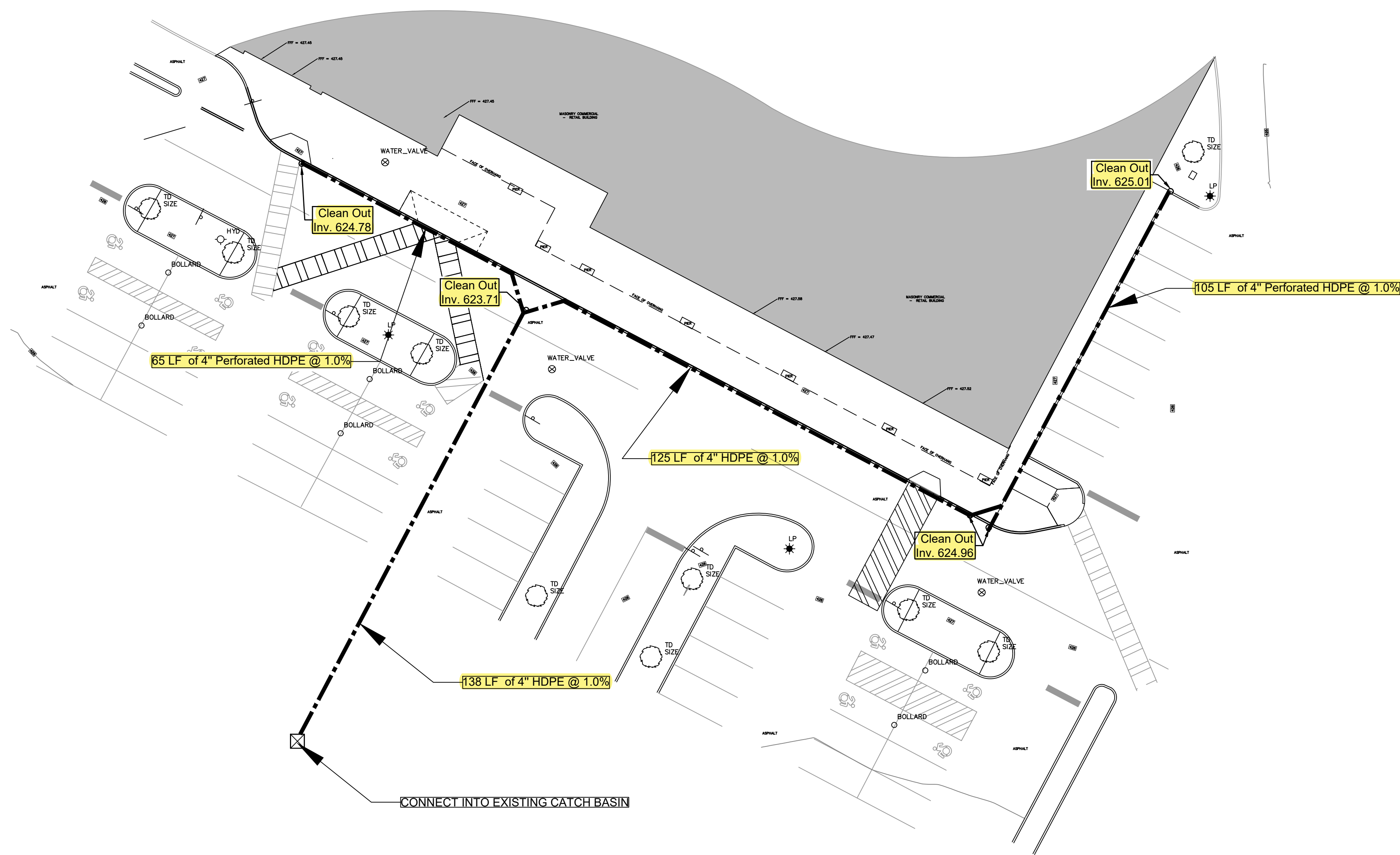
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

SEAL



C4.0





- NOTES:
- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
 - TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM FOOT LIMITS.
 - AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNBERSTED TRENCH AREAS.
- MATERIALS**
- PIPE BEDDING MAXIMUM DEPTH - 18\" PER SECTION**
- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6\" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL.
 - TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.02 (2\" TYPE 2). THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6\" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
 - NO SLAG SHALL BE ALLOWED FOR MATERIAL.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
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PROPERTY NUMBER: # 3722

AREA: -

3333-3337 CONSAL RD
NISKAYUNA, NY 12304

SIDEWALK REPLACEMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Storm Drainage Plan

SCALE:
1:20

DRAWN BY: KER
CHECKED BY: MAO
DATE: 07.28.21

DRAWING NO.: **C5.1**

3333/3337 Consaul Road

(1 of 2)

Parcels

Property Address	3333/3337 CONSAUL RD
Municipality	Niskayuna
Print Key	60.-1-11.11
SWIS Code	422400
SBL	06000000010110110000
Owner	MSF NISKAYUNA, LLC,
Owner Street	570 DELAWARE AVE
Owner City-State	BUFFALO, NY 14202

[Zoom to](#)

Parcel Search

All 3333/3337 Search

View Parcel Search Options 9 results...

Drag a column header and drop it here to group by that column

Identifier	Name	Number	Address	City	Zip
60.-1-11.11		3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 3, Coco's Nail Salon	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 1, Orangetheory	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Key Bank	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Hannaford	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 2b, Fortune Cookie	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 4, Wine&Liquor	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	CAPCOM	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 2a, Power Yoga NY	3333/3337	Consaul Rd	Niskayuna	12304

3333/3337 Consaul Rd,
Niskayuna 12304
MSF Niskayuna, LLC

Select Cancel