

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
May 23, 2022
7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. May 9, 2022

IV. PUBLIC HEARINGS

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2022-10: A Resolution for site plan approval for main entrance and dining room additions at the Glen Eddy at 1 Glen Eddy Drive.
2. RESOLUTION: 2022-11: A Resolution for site plan approval for sidewalk improvements including the addition of an ADA accessible ramp at Niskayuna Square / Hannaford Supermarket Plaza at 3333 Consaul Rd.

VIII. DISCUSSION ITEM

1. 2303 Nott St. E. – Shop Rite Plaza – Starbucks – site plan app. for renovations and new signage.
2. 2207 / 2209 Nott St. – The Broken Inn – site plan app for temporary outside seating and parking space changes.
3. 424 Balltown Rd. – site plan app. for dividing the existing space into two spaces of 10,330 sf & 2,140 sf with a 127 sf landlord utility room with one of the new occupants being a 5 Below retail store.
4. 2837 Aqueduct Rd. – Rivers Ledge Senior Center – site plan app. for a 66 apartment unit building containing 2,000 sq. ft of mixed-use commercial space and a 3,000 sq. ft. commercial building.

IX. REPORTS

1. Planning Department Updates

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: June 13, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
May 9, 2022

Members Present:

Kevin Walsh, Chairman
Chris LaFlamme (Virtual)
David D'Arpino
Mike Skrebutenas
David D'Arpino
Daci Shenfield (Virtual)
Genghis Khan
Patrick McPartlon (Virtual)
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

All members present tonight.

III. MINUTES

April 25, 2022

Mr. D'Arpino made a motion to approve the minutes and Mr. Khan seconded the motion. Chairman Walsh asked for any changes or corrections. He stated he had one change regarding line 71 regarding the crosswalks at Chase ATM. He asked for it to say paint the new crosswalk and repaint the old crosswalks. Hearing no other changes, he motioned to accept the modified minutes. Mr. D'Arpino seconded it.

Upon voting, the amended minutes were approved unanimously.

IV. PUBLIC HEARINGS

There were no public hearings.

V. PRIVILEGE OF THE FLOOR

Ms. Patricia Doyle and Mr. Matthew Wood attended the meeting to request that an area variance case for 2275 Grand Boulevard that was approved at the Zoning Board of Appeals be looked at

by the Planning Board. They stated that they felt the size of the project was inappropriate for the neighborhood and disagreed with the decision by the ZBA. They requested it be looked at by the Planning Board, Historical Committee and the ARB.

VI. UNFINISHED BUSINESS

No unfinished business tonight.

VII. NEW BUSINESS

No new business tonight

VIII. DISCUSSION ITEMS

1. 2341 Nott St. E. – ShopRite Plaza – site plan app. for placing a Chase Bank ATM machine in the plaza parking lot

Mr. Reilly and Mr. Quinn were present virtually for Chase Bank. Mr. Reilly displayed the updated plans. He described the updated plans that were created due to the suggestions. They described the traffic flow, where the electrical will be sourced and appropriate height and lighting in relation to safety of the all vehicles that may enter and exit the ATM. Mr. Reilly described the color of the bollards and ATM as being a nickel color to comply with safety regulations and be uniform.

Mr. Reilly addressed the concern regarding landscaping and pavement. He stated he is working with the property's landlord regarding the repair of pavement and with the Tree Council on replantation of any trees or shrubs that have died.

The Board asked the applicants to look at the amount of light spillage from the ATM safety lighting that will be seen from Nott Street East. They also asked for new colored renderings of the nickel color being used for the machine and bollards. The applicant stated that the amount of light spillage is at a minimum but is needed to keep a standard of security for the customers at the ATM.

Ms. Robertson stated that there were a few renderings that showed a level of light spillage as high as 0.7 and 0.9 footcandles. She stated the code suggests it should not be higher than 0.5 footcandles. She suggested that landscape could shield the higher lighting from the neighbors. Mr. Reilly agreed and added that they are lowering one of the light poles by a foot to eliminate some of the spillage and will look into properly shielding the ATM that will give coverage but also provide safety for their customers.

The applicants discussed with the Board the next steps needed to move forward with the project. Chairman Walsh stated they would need to submit a new colored rendering and lighting plan. Ms. Robertson stated that the Tree Council is meeting this week and will schedule a walk through to highlight areas that need replanting. She stated it should be able to be a quick turnaround with recommendations from the Council. Mr. Khan reiterated the need for any upgrades to the striping and the pavement to be completed.

Chairman Walsh summarized to the applicant the open items needed to be addressed to move the project along. Ms. Gold asked if the Police and Fire Departments have commented yet on this project. Ms. Robertson stated she has not received a response yet.

Chairman Walsh asked for any other comments regarding this project. Hearing none, he thanked the applicants for attending the meeting.

2. 2303 Nott St. E. – ShopRite Plaza – Starbucks – site plan app. for renovations and new signage for Starbucks

Mr. Daniel Brennen was present to represent Starbucks. He stated that Starbucks is making some interior changes and updating the drive thru and signage to better serve their customers. Mr. Brennen shared his screen to review the plans with the Board. He displayed where the new order board will be. He stated the change is to allow more orders taken while in cue. He stated that this will allow more time to prepare the orders at a quicker pace.

Mr. Brennen displayed the new directional signage and store signage including an update for the original signage and awnings. He stated the color of the awnings will be black instead of green for a cleaner look. He described the new order board and its dimensions, how it will be built and how it will be lit.

The Board discussed the new signage and whether a waiver would be needed for any of it. Mr. Skrebutenas asked for clarification for changing where the order board is. Mr. Brennen explained that Starbucks did a lengthy study and found that the more orders that could be taken it actually shorten the wait time for check out. Mr. Skrebutenas stated his concern that the order line would still cause a backup. Mr. McPartlon asked if Mr. Brennen had any data regarding this study. Ms. Robertson questioned Mr. Brennen on why the call ahead pick up window was taken out. She stated it was another way to reduce backup at the drive thru by encouraging pedestrians. Mr. Brennen stated he did not know. Mr. McPartlon noted to the Board that fast food restaurants do research on how to streamline wait times to make order and pick up faster.

Chairman Walsh summarized for the Board what will need to be approved for this project to move forward. Chairman Walsh asked for some more detail from the applicant regarding the study done on wait times for the board to evaluate impact to the parking area based on moving the queue line backward. The Board requested that any internal work to be done at the restaurant should not diminish the amount of seating for customers. He discussed with the applicant the timeline for approval. The applicant stated he will have more information for the next meeting.

3. 1 Glen Eddy Drive – site plan app. for main entrance and Dining Room additions

Chairman Walsh recused himself from the discussion, Mr. D'Arpino became acting chair and Ms. Strang became a voting Board member for this project. Mr. Tierney from St. Peters Health Partners was present to represent Glen Eddy. He stated the project is going to take place in the Glen Eddy assisted living building called "The Terrace". They will be expanding the dining room, the library and will extend the outdoor porch and canopy. Mr. D'Arpino asked if this

increase will need more access for egress. Mr. Tierney stated there wasn't need for extra door access at this time.

Mr. McPartlon asked how far the portico extends over the driveway. Mr. Tierney stated it extends 8 feet out of the edge of sidewalk and has a 10 foot 8 inch height clearance. Mr. McPartlon asked about the work to be done on the cul-de-sac. Mr. Tierney stated they are reworking the curb line to straighten at the entry point. He assured the Board that any trees or shrubs being taken down will be replaced. Mr. D'Arpino stated the Planning Board will forward the plan to police and fire to make sure a full sized truck can pass with the overhang. Mr. D'Arpino suggested the ARB look at the renderings of the project and give recommendations. Mr. D'Arpino stated he will need a site plan that accurately identifies parking spaces before and after the proposed addition and they should provide a landscaping plan. The Board called for a tentative resolution for the next meeting. The Board thanked the applicant for attending.

4. 3333 Consaul Rd. – Niskayuna Square / Hannaford Supermarket Plaza -- site plan app. for sidewalk improvements including the addition of an ADA ramp

Mr. Matt Oaks spoke on behalf of the applicant. He stated that the plaza is looking to widen the existing sidewalk to make it safer for pedestrian use. The customer pick up at Hannaford has been relocated to existing parking spaces within the plaza. He stated the drive lane will be repaved after the work is complete. The Board noted that there are several potholes within the existing parking lot. Mr. Oaks stated the building does try to do routine maintenance on any pot holes that occur.

Mr. D'Arpino agreed that the widening of the sidewalk could promote more pedestrian activity. Ms. Robertson stated she will submit the plans to police and fire for any comments. The Board called for a tentative resolution for the next meeting.

IX. REPORTS

1. Planning Department Updates

There were no updates tonight.

X. COMMISSION OF BUSINESS

Mr. D'Arpino provided an update on the projects that went to the ARB including Chase Bank and Kelts Farm. He stated the ARB has been very busy and will do another meeting this month to keep up with the demand of projects.

Discussion on Planning Board approvals/conditions

Chairman Walsh asked to have a discussion regarding the process for PB approvals and adding conditions to resolutions. Ms. Gold brought up her concern with memos to file and stated anything that was important should be attached to the resolution – because Resolutions are not lost. Ms. Robertson and Ms. Finan discussed with the Board the difference between site plan approval scope and conditions and subdivision approval scope and conditions and what the

165 Planning Board is voting on and how conditions can be added to the resolution. Ms. Finan stated
166 that within case law, there are parameters to what is the role of the Planning Board. She stated
167 that within the subdivision it needs to be related to the lots, the dividing of land, the nature of the
168 lots, does it fit with the neighborhood. She listed some conditions that could be looked at for
169 subdivision. The list included lot configuration, landscaping, drainage, street pattern, service
170 access, utility installation and sidewalks and curbs. The Board discussed how to apply this in the
171 future and have a frame of reference for understanding the parameters.

172 **XI. ADJOURNMENT**

173 Chairman Walsh asked for a motion to adjourn. Mr. Skrebutenas made a motion to adjourn and
174 it was seconded by Mr. Khan. The meeting was adjourned at 9:30 pm.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 5/23/2022

ITEM TITLE: RESOLUTION: 2022-10: A Resolution for site plan approval for a main entrance and dining room addition to the Glen Eddy at 1 Glen Eddy Dr.

PROJECT LEAD: Chairman Walsh / Planning Board

APPLICANT: Mike Tierney

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Michael Tierney, of SPHP, submitted an Application for Site Plan Review for proposed internal and external modifications to the existing dining room and front entry porch of the Glen Eddy located at 1 Glen Eddy Drive. The existing covered front entry porch will be enclosed to increase the library, vestibule and office. The existing fabric roof will be replaced with copper roof that matches the existing building. The proposed modifications will protect residents from inclement weather during pick up and drop off at the main entrance.

The property falls within the R-1 Low Density Residential zoning district. Care homes and nursing homes are special principal uses in the R-1 district.

BACKGROUND INFORMATION

A 10-page "Site Plan Review Set" dated 5/3/22 with no subsequent revisions by Angerane Architects, P.C. was provided and includes the following drawings.

- Cover page
- Existing site plan – C101
- Site grading plan – C102
- Site utility plan –C103
- Site layout plan – C104
- Site planting plan – C105
- Site details – C106
- Site details – C107

- Site details – C108
- Erosion control details and notes - C109

A colored rendering entitled “The Terrace at Glen Eddy – Porte Cochere & Dining Room Additions” Scheme 4 dated 3/10/22 also by Angerame Architects, P.C. was also provided depicting how the front of the building will look after the proposed renovations.

5/9/22 Planning Board (PB) meeting – Mr. Tierney, of Saint Peters Health Partners (SPHP), provided the Board with some background on the project. SPHP is pursuing an enhanced license for their assisted living facility and achieving that approval requires a larger dining room to accommodate residents with wheelchairs, walkers, etc. As shown in the colored rendering and site plan drawings, the proposal is to extend the dining room and library towards the driveway resulting in an increase of approximately 1,000 sq. ft. of Gross Floor Area. A new canopy covered resident drop off and pick-up area is also proposed that will extend approximately 8 ft. over the driveway to protect passengers from the elements as they enter and exit vehicles.

The PB established the following action items.

1. Analyze potential impact on parking requirements -- Planning Office is to research the impact the addition would have, if any, on the number of parking spaces required per zoning code.

Section 220-31 G. Parking states: “Off-street parking spaces are to be provided as follows: one space for each four beds, plus one space for each registered or licensed practical nurse, plus one space for each two employees other than nurses, except that for residential care and personal care homes, there shall be one space for each three beds.” As proposed, the addition will not increase the number of required parking spaces since additional beds or employees are not being added.

2. Determine the number of parking spaces currently at the facility – The applicant is to provide data on the number of parking spaces currently at the facility and how the proposed modifications would affect the number of spaces.

The applicant counted the existing parking spaces and determined there are 158 total spaces with 22 of them being ADA compliant. The proposed project does not change the number of parking spaces at the facility.

The Fire Department reviewed the project and noted a ladder truck cannot fit under the canopy – so the engineers should ensure fire response vehicles have room to drive around the roof canopy (a full other lane).

The PB referred the project to the Niskayuna Architectural Review Board (ARB) and called for a tentative resolution for the 5/23/22 PB meeting.

A Resolution is included in the meeting packet.

RESOLUTION NO. 2022 - 10

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 23RD DAY OF MAY 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Mike Tierney, of St. Peters Health Partners (SPHP), owners of The Eddy, has made an application to the Planning Board for a main entrance and dining room addition to the Glen Eddy at 1 Glen Eddy Dr., and

WHEREAS, a 10-page drawing package entitled "The Terrance at Glen Eddy Porte Cochere & Dining Room Additions" dated May 17, 2022 was provided that includes the following drawings.

WHEREAS, the site plan is shown on a survey drawing submitted to the Planning Office with the site plan application and stamped "Received Mar 31 2022 Planning Office Niskayuna, NY" that includes a 20 ft. long x 8 ft. wide (160 sq. ft.) storage container in the back parking lot behind the Goodyear Tire building, and

WHEREAS, the zoning classification of the property is R-1 Low Density Residential zoning district, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions:

1. Prior to issuance of a building permit the Niskayuna Tree Council is to review and approve the proposed Planting Plan.
2. Prior to issuance of a building permit the Niskayuna Architectural Review Board (ARB) is to review and approve the site plan and renderings for the proposed addition.

Upon roll call the foregoing resolution was adopted by the following vote:

~~KEVIN A. WALSH, CHAIRMAN~~ - RECUSED
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.



Angerame

Architects, P. C.

Architecture
Planning
Interior Design



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Project
**THE TERRACE AT
GLEN EDDY -
PORTE COCHERE
& DINING ROOM
ADDITIONS**



Revisions

SCHEME 4

Date: 03/10/22

SCH4.4

THE TERRACE AT GLEN EDDY - PORTE COCHERE & DINING ROOM ADDITIONS

One Ascot Lane
Niskiyuna, NY 12309

Site Plan Review Set
May 17, 2022

Owner
Glen Eddy Retirement Community
One Ascot Lane
Niskiyuna, NY 12309

Architect
Angerame Architect, P.C.
30 Essex St, Albany, NY 12206
Phone: (518) 454-9300 Fax: (518) 454-9333

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions
646 Plank Rd, #104 Clifton Park, NY 12065
Phone: (518) 280-2410

Structural:
MRH Engineering, P.C.
20 Bayberry Drive, Queensbury, NY 12804
Ph: (518) 792-4042 Cell: (518) 796-6054

BUILDING INFORMATION

Building Type: 5B
Building Construction Type: Existing I-1, Condition 2
No. of Stories: 2

CODE REFERENCES

NFPA 101, Life Safety Code, 2012 Edition
Chapter 33 "Existing Residential Board & Care Facility"
Chapter 43 "Building Rehabilitation"

ICC/ANSI A117.1-2009 "Accessible and Usable Buildings and Facilities"

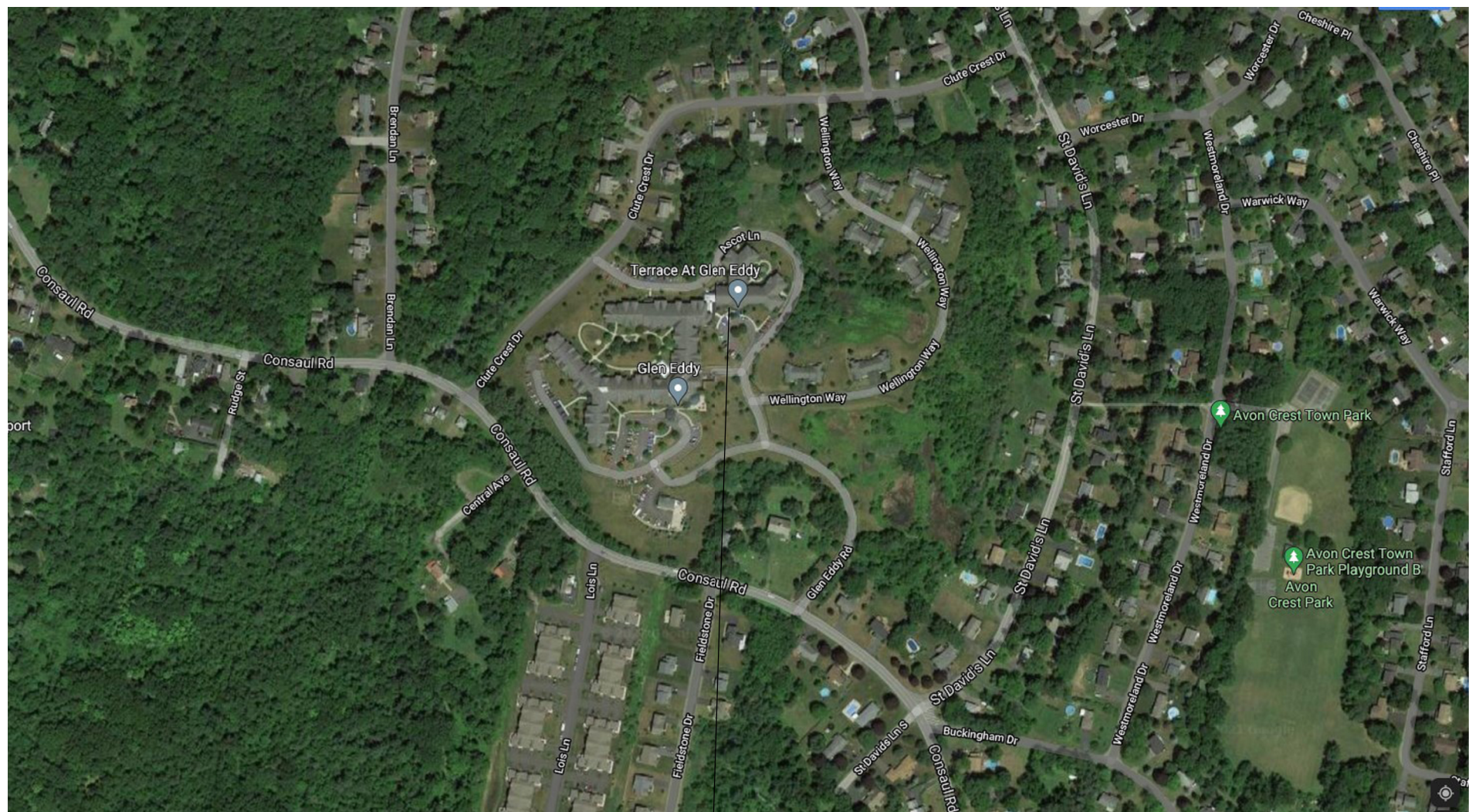
Uniform Federal Accessibility Standards (UFAS)

2010 ADA Standards for Accessible Design, Title II-3 - Department of Justice

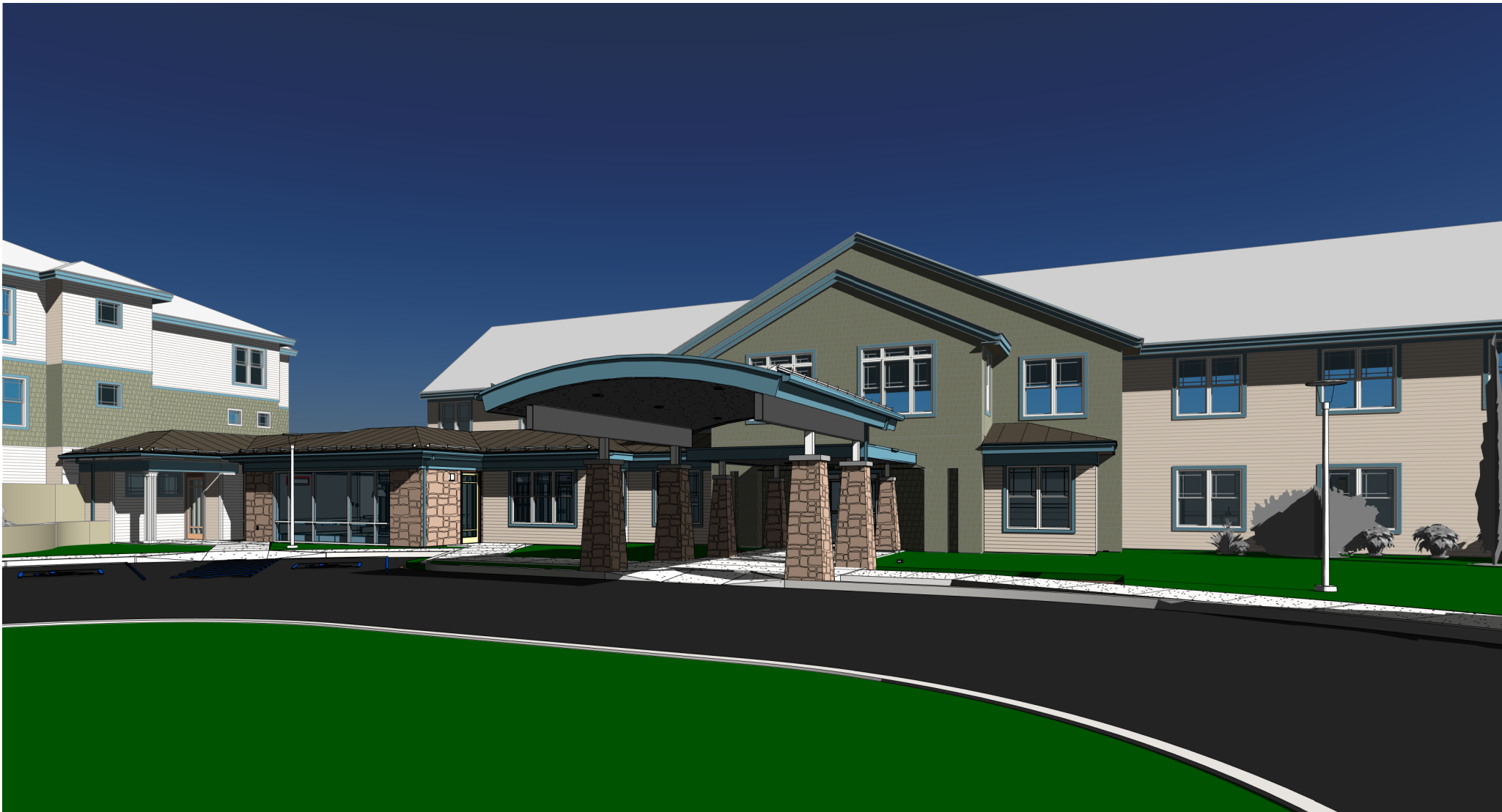
2020 International Building Code, Existing Building Code, Fire Code, Mechanical Code, Plumbing Code, Energy Code (As adopted by New York State)

Drawing List

C101	EXISTING SITE PLAN
C102	SITE GRADING PLAN
C103	SITE UTILITY PLAN
C104	SITE LAYOUT PLAN
C105	SITE DETAILS
C106	SITE DETAILS
C107	SITE DETAILS
C108	EROSION CONTROL DETAILS & NOTES
L101	SITE PLANTING PLAN
L102	SITE PLANTING DETAILS



SITE LOCATION MAP
N.T.S. The Terrace at Glen Eddy



-Site Plan Review Set-
NOT FOR CONSTRUCTION

GENERAL SITE WORK NOTES

1. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.

2. EXISTING UTILITY INFORMATION SHOWN HEREON WAS TAKEN FROM PREVIOUS RECORD DATA. THEIR EXACT LOCATION IN THE FIELD MAY DIFFER FROM THAT SHOWN HEREIN AND ADDITIONAL UTILITIES MAY EXIST. CALL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE UTILITIES MARKED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

3. THE ARCHITECT/ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT, AS INTENDED AND INTERPRETED BY THE ARCHITECT/ENGINEER.

4. MISCELLANEOUS WORK NOT SPECIFICALLY SHOWN ON THE CONTRACT DRAWINGS SUCH AS PATCHING, BLOCKING, TRIMMING, ETC. SHALL BE PERFORMED AS REQUIRED TO MAKE THE WORK COMPLETE.

5. ALL DISTURBED AREA TO RECEIVE TOPSOIL AND SEED.

7. THE CONTRACTOR SHALL:

A. VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

B. EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.

C. PROVIDE AND INSTALL ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH RECOGNIZED GOOD STANDARD PRACTICE.

D. COMMENCE WORK IMMEDIATELY UPON AWARDING OF THE CONTRACT AND PROCEED DILIGENTLY AND CONTINUALLY TO COMPLETION OF ALL WORK.

E. PROVIDE CERTIFICATE OF INSURANCE ACCEPTABLE TO THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.

F. HOLD THE OWNER AND ARCHITECT HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK DONE BY THE CONTRACTOR ON THE SITE.
8. ALL BACKFILL USED IN TRENCHES EXCAVATED IN EXISTING ROADWAYS SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.

9. WHEN BACKFILLING AROUND PROPOSED OR EXISTING STRUCTURES, MATERIAL SHALL BE PLACED IN MAXIMUM SIX (6) INCH LIFTS AND COMPACTED BY MEANS OF A COMPACTOR BETWEEN LIFTS.

10. PROVIDE EROSION CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS. THIS WILL INCLUDE BUT NOT LIMITED TO HAY BALES, SILTATION FENCES AND OTHER ACCEPTABLE METHODS OF EROSION CONTROL. THE INTENT OF THESE MEASURES IS TO INSURE THE PREVENTION OF SILTATION OF WATER COURSES DOWN STREAM FROM THIS PROJECT IN COMPLIANCE WITH THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION "GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM CONSTRUCTION ACTIVITIES".

11. ALL VEHICLES HAULING MATERIAL SHALL BE EQUIPPED WITH CANVAS COVERS TO PREVENT DUST AND LOOSE MATERIAL FROM EXISTING THE VEHICLE.

12. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION AND CONFORMANCE TO THE "NEW YORK" GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL," AS PREPARED BY THE U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE. THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL CONSTRUCTION WORKERS INVOLVED IN THE SITE DEVELOPMENT OF THE IMPORTANCE AND ELEMENTS OF THE PLAN.

13. ALL EXISTING DRAINAGE MUST BE MAINTAINED.

14. CONTRACTOR SHALL USE DUST CONTROL MEASURES DURING CONSTRUCTION.

15. ACCESS TO EXISTING BUILDING SHALL BE MAINTAINED COMPLETELY DURING DURATION OF PROJECT.

LEGEND

- CONTRACT ACCESS

CONTRACT LIMIT LINES

CONTRACT STAGING AREA

PROPERTY LINES

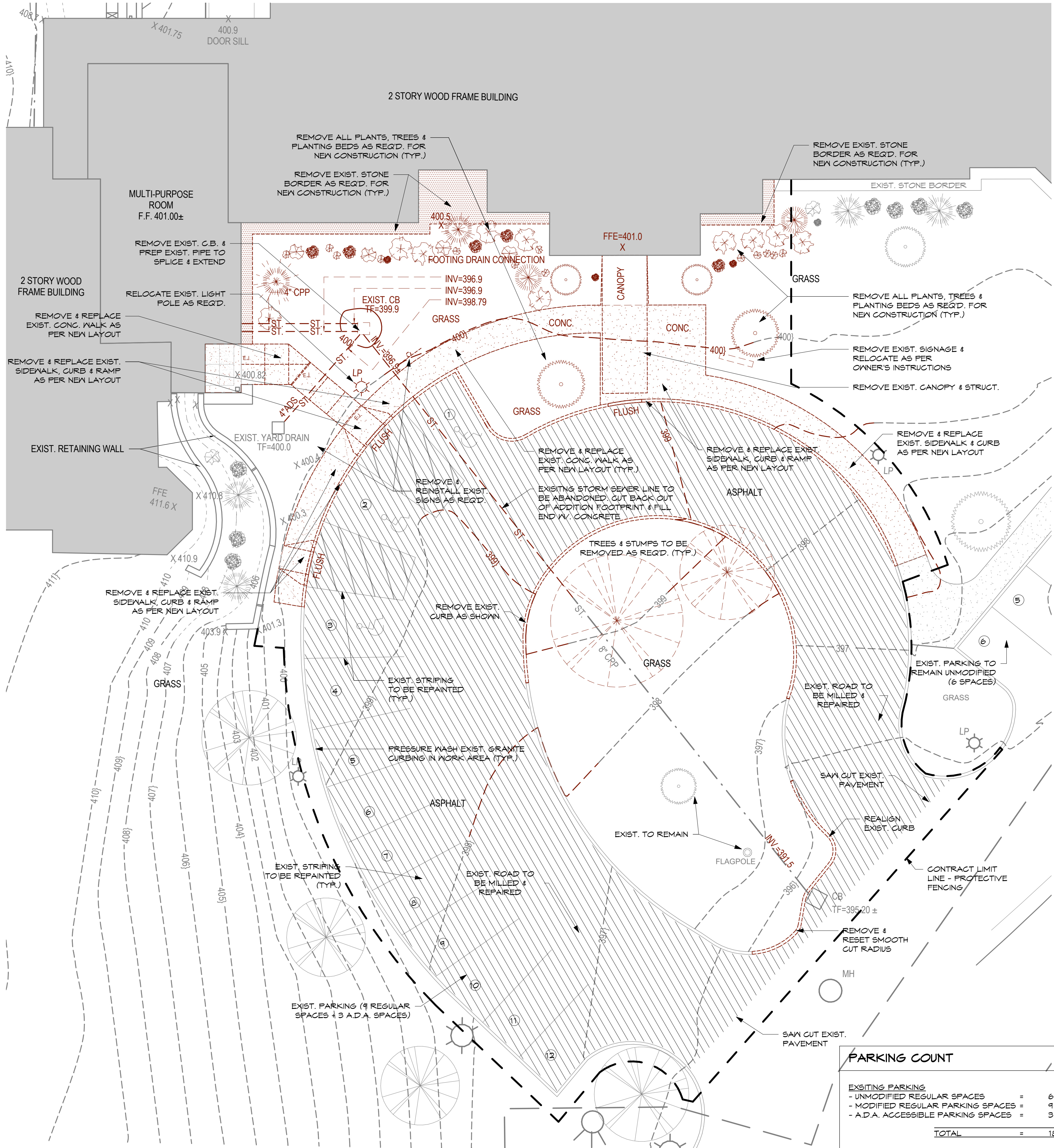
AREA OF CONSTRUCTION



OVERALL EXISTING SITE PLAN

1" = 200'-0"

1
C101



EXISTING & REMOVALS SITE PLAN

1" = 10'-0"

2
C101

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Project

THE TERRACE AT
GLEN EDDY -
PORTE COCHERE
& DINING ROOM
ADDITIONS

One Ascot Lane
Niskayuna, NY 12309

Site Plan Review Set

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions
646 Plank Rd. #104 Clifton Park, NY 12065
Phone: (518) 280-2410

Structural:

MRH Engineering, P.C.
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Revisions

REVISED 05-10-2022

-Site Plan Review Set-
NOT FOR CONSTRUCTION

Title

EXISTING SITE PLAN

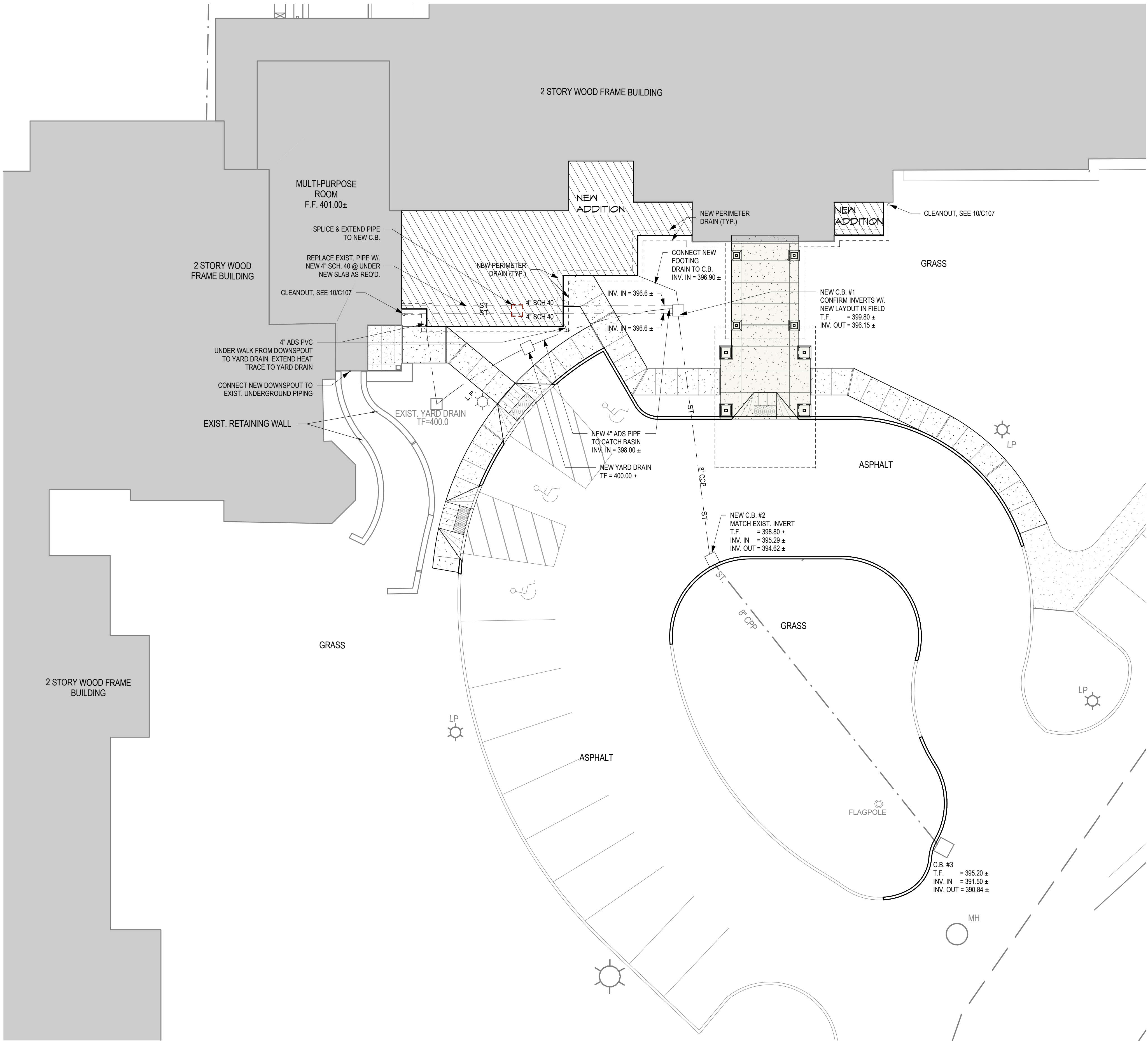
To not scale drawings - use dimensions
shown, verify all dimensions on site.
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Architects, P.C.

Drawing Number

C101

Date: May 10, 2022

5/17/2022 11:14:48 AM E:\Revit\User Files\Khaleel\Glen Eddy - Porte Cochere & Dining Addition - Central Model_kmohammedF52WX.rvt



SITE UTILITY PLAN

1" = 10'-0"

1

C103

angerame

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Project

THE TERRACE AT
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PORTE COCHERE
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One Ascot Lane
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Revisions

REVISED 05-10-2022

-Site Plan Review Set-
NOT FOR CONSTRUCTION

Title

SITE UTILITY PLAN

The full scale drawings in this document show, verify all dimensions on site. Unauthorised alterations or additions to this document is a violation of Sec. 1209 Sub 2 of the NYS Education Law. Copyright 2022 Angerame Architects, P. C. All rights reserved. No use or reproduction of this material is permitted without the express written consent of Angerame Architects, P. C.

Drawing Number

C103

Date: May 17, 2022

Project

THE TERRACE AT GLEN EDDY - PORTE COCHERE & DINING ROOM ADDITIONS

One Ascot Lane
Niskayuna, NY 12309

Site Plan Review Set

Consultants

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REVISED 05-10-2022

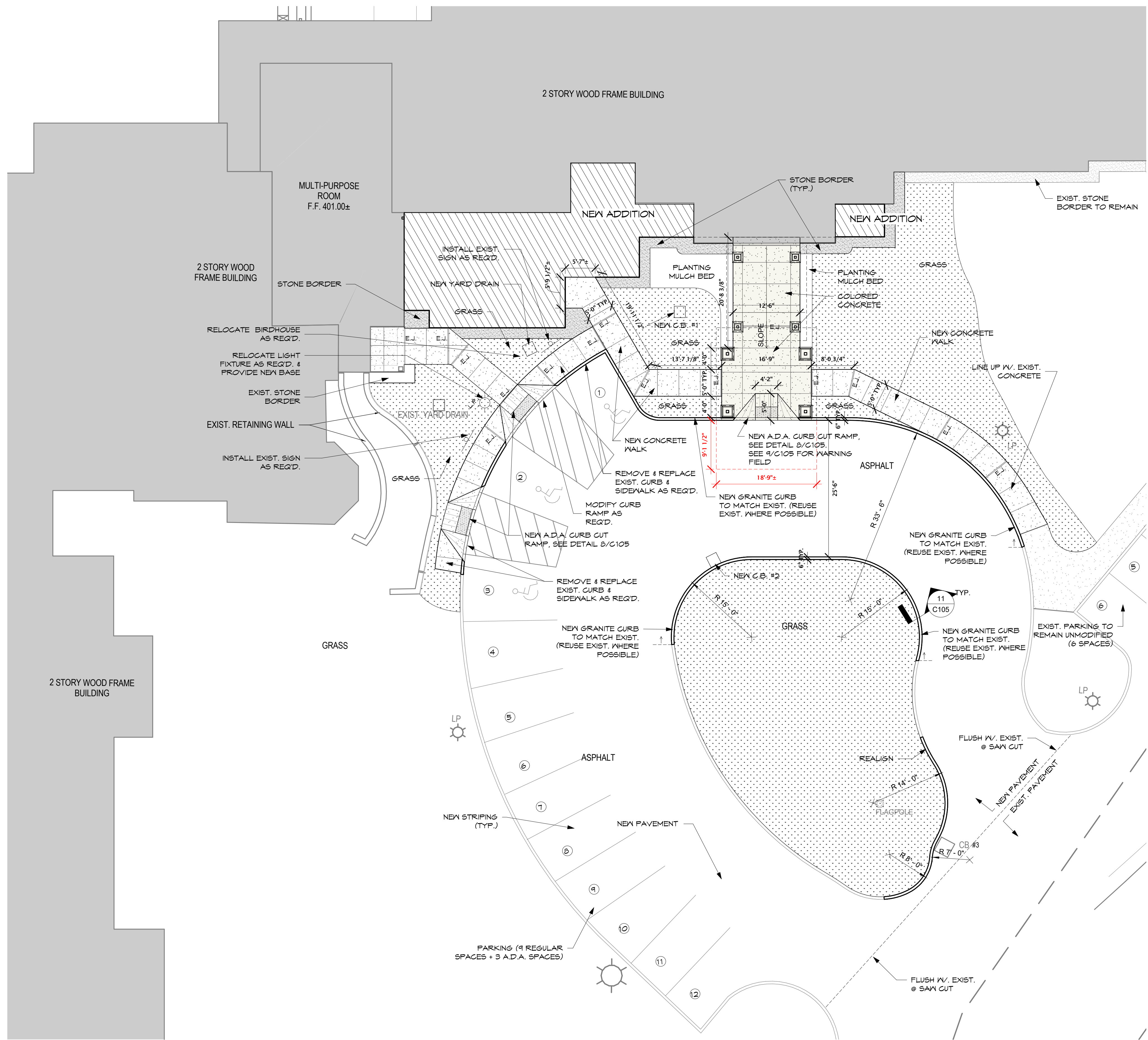
-Site Plan Review Set-
NOT FOR CONSTRUCTION

SITE LAYOUT PLAN

Drawing Number

C104

Date: May 17, 2022



PARKING COUNT

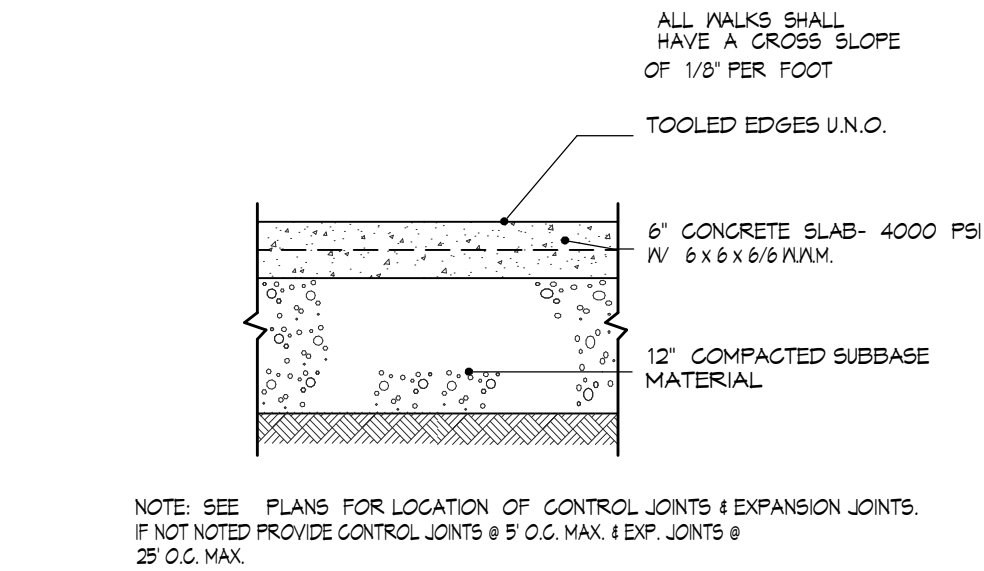
<u>EXISTING PARKING</u>	
- UNMODIFIED REGULAR SPACES	6
- MODIFIED REGULAR PARKING SPACES	4
- A.D.A. ACCESSIBLE PARKING SPACES	3
<u>TOTAL</u>	<u>13</u>

<u>NEW PARKING</u>	
- UNMODIFIED REGULAR SPACES	6
- MODIFIED REGULAR PARKING SPACES	4
- A.D.A. ACCESSIBLE PARKING SPACES	3
<u>TOTAL</u>	<u>13</u>

SITE LAYOUT PLAN

$$1'' = 10' - 0'$$

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CONCRETE PAVING DETAIL

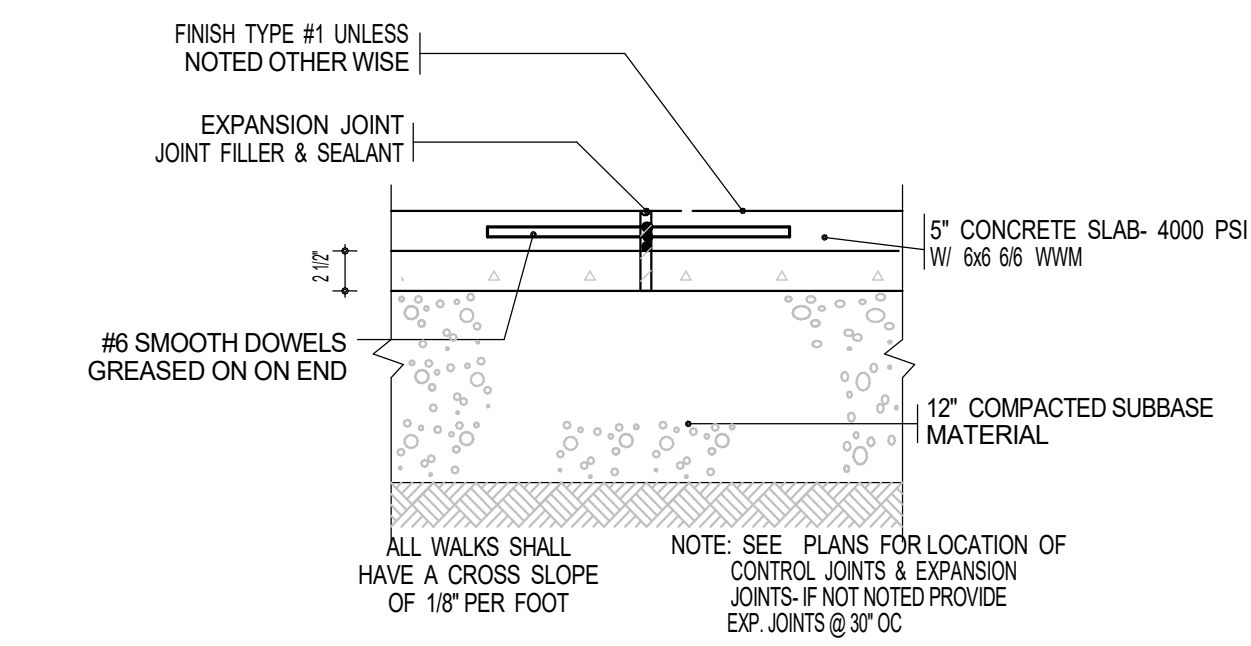
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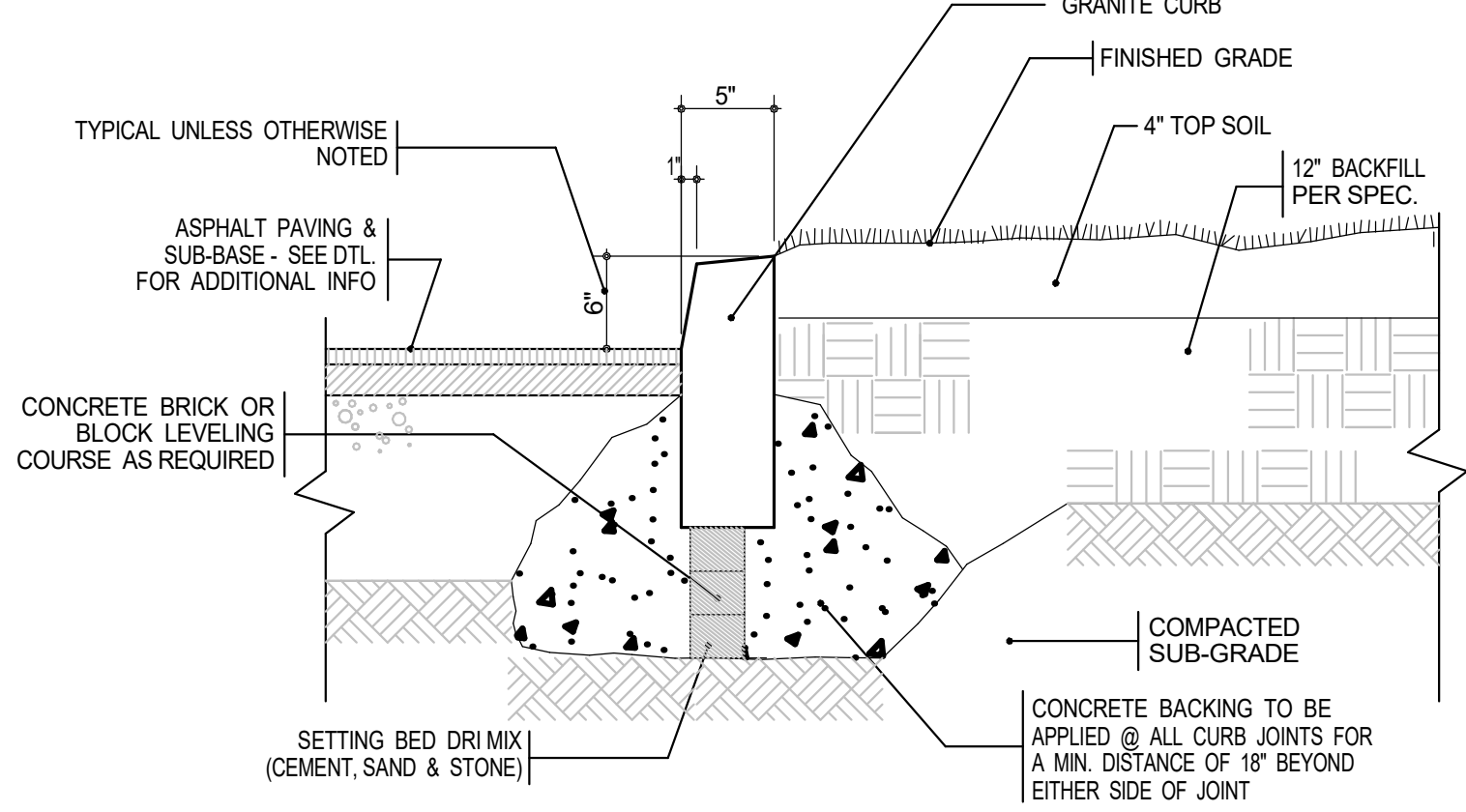
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CONCRETE WALK EXPANSION JOINT DETAIL

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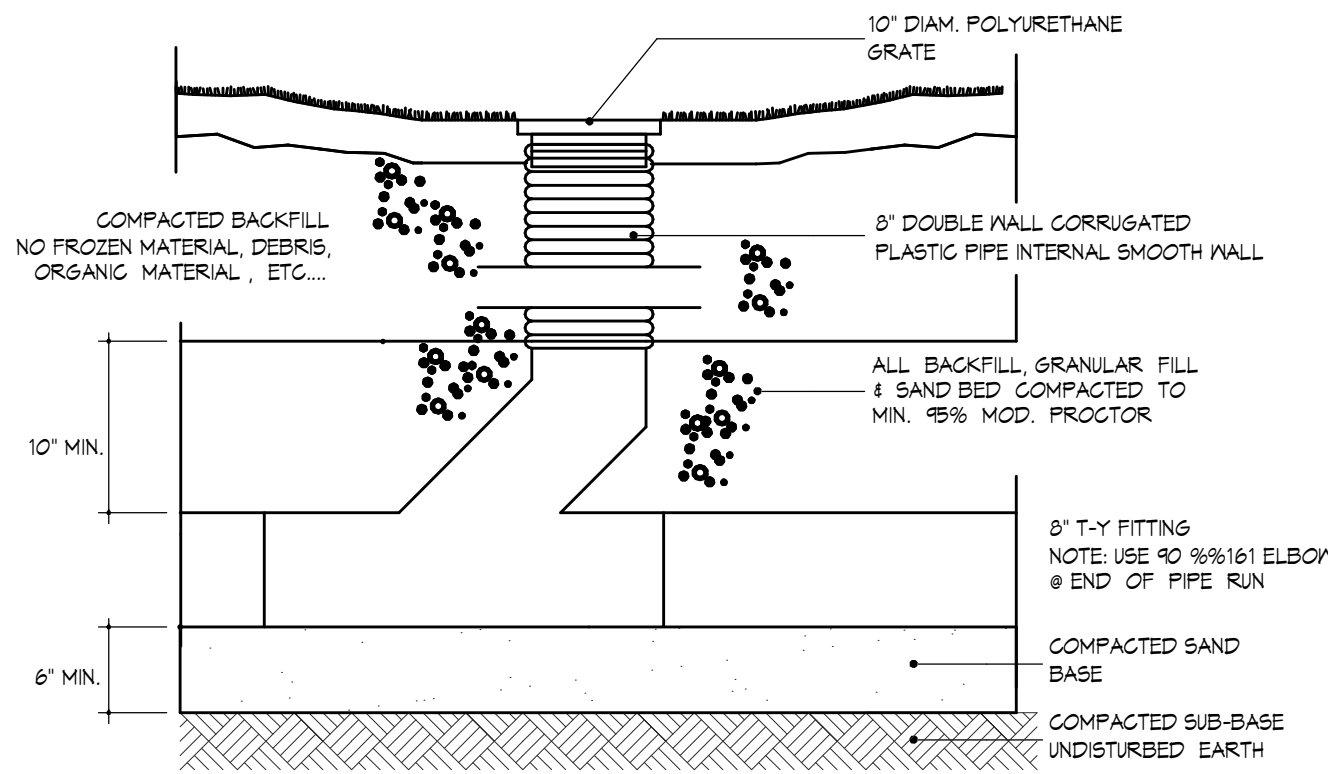
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GRANITE CURB DETAIL

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YARD DRAIN DETAIL

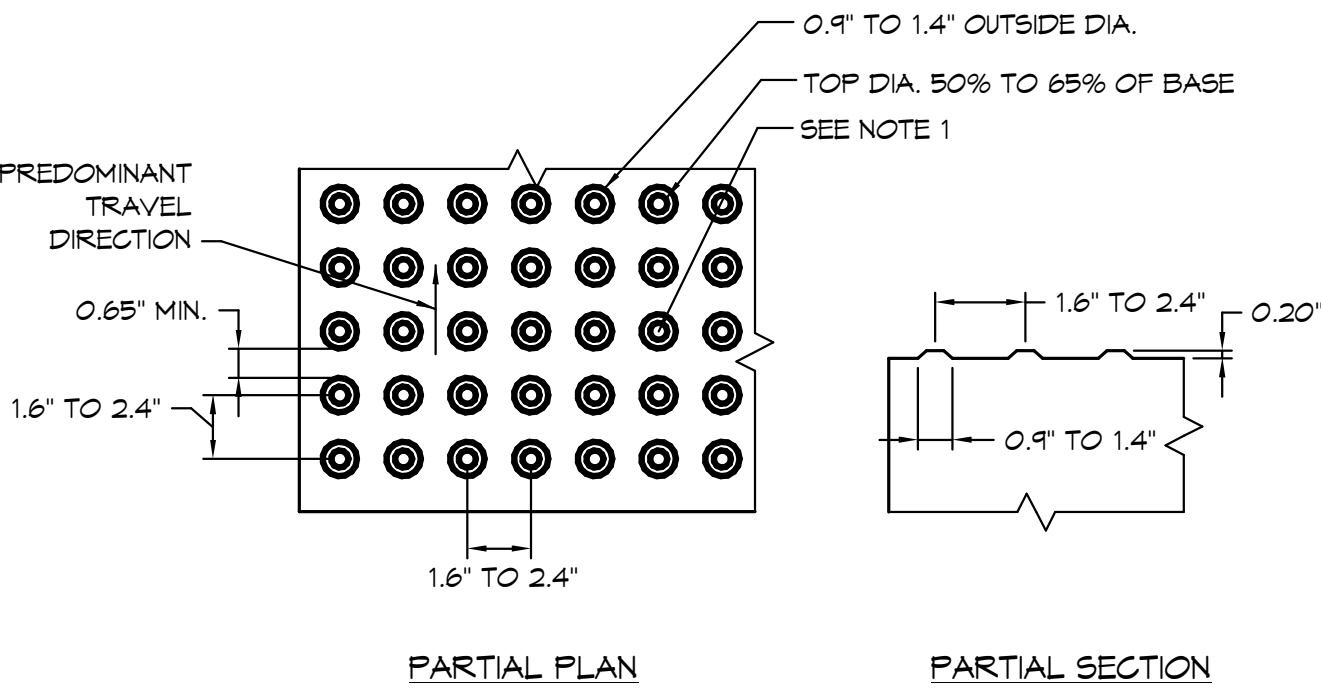
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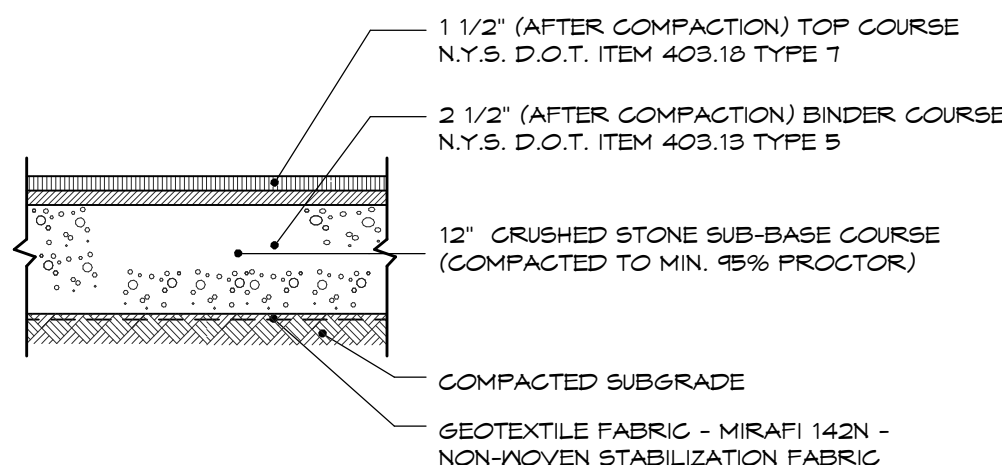
NOTES:

1. THE TRUNCATED DOME SURFACE SHALL CONTRAST VISUALLY WITH ADJOINING WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE TRUNCATED DOME SURFACE.
2. THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
3. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL.

DETECTABLE WARNING FIELD

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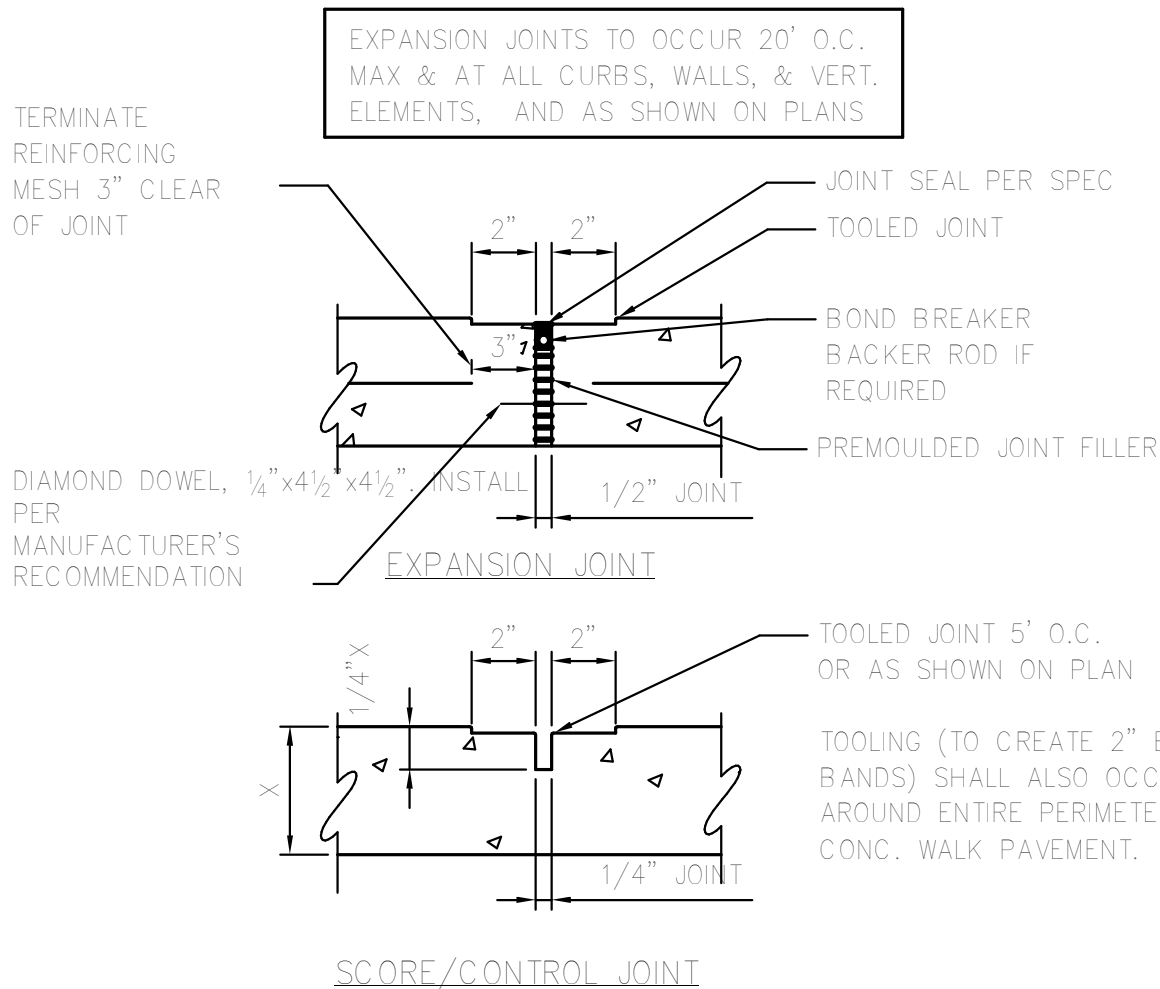
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ASPHALT PAVING DETAIL

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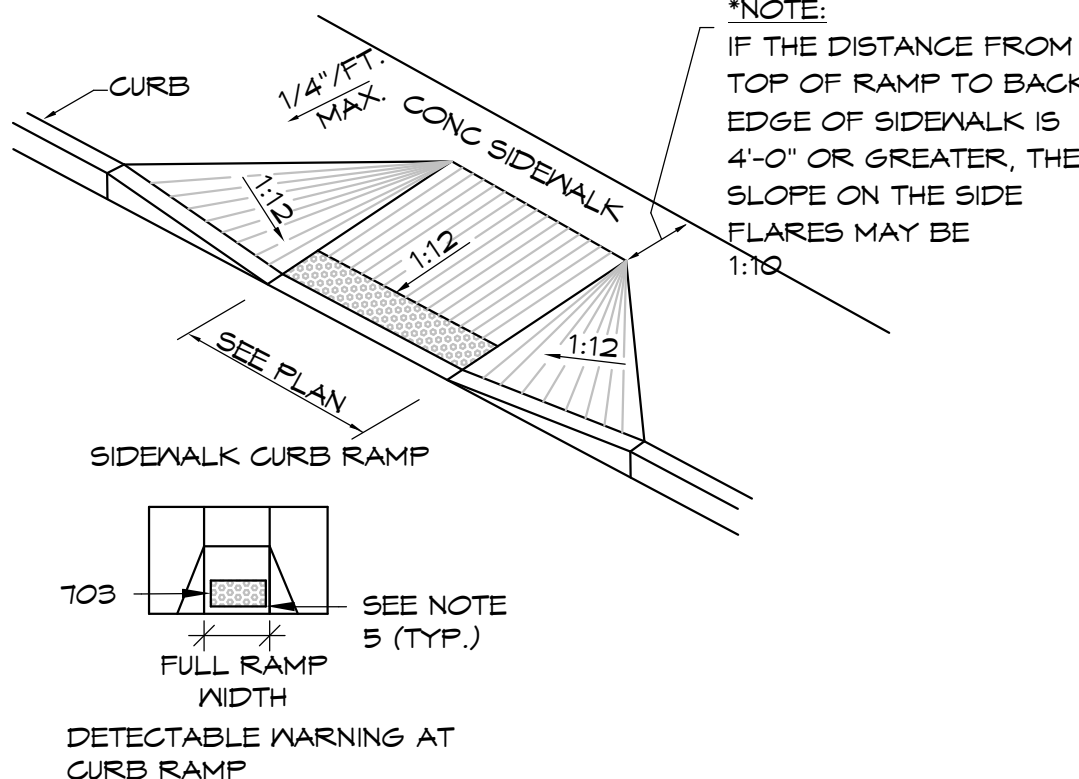


TYP. CONCRETE JOINT DETAIL

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NOTE:
THE SURFACE OF ALL SIDEWALK CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT (E.G., A COURSE BROOM FINISH IN DIRECTION OF TRAVEL)



NOTES:

1. NEW CONSTRUCTION: EMBEDDED PREFORMED TEXTURE WARNING DEVICES SHALL BE EMBEDDED IN THE CONCRETE PER NYS DOT ITEM 608.02, PREFORMED/PRECAST UNITS SHALL BE AS MANUFACTURED BY ADA SOLUTIONS OR APPROVED EQUAL.
2. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE, THE QUANTITY OF DOMES DEPICTED ON THE DETECTABLE WARNING FIELD (THE DOMES AND THE ENTIRE LEVEL SURFACE IS FOR ILLUSTRATION ONLY.)
3. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 310MM IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE EXCLUSIVE OF SIDE FLARES.
4. DOMES SHALL BE ALIGNED ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF TRAVEL.
5. THE DETECTABLE WARNING FIELD SHALL VISUALLY CONTRAST WITH THE ADJOINING CURB RAMP, OR OTHER ADJACENT WALKWAY SURFACES WHERE THERE IS NO CURB RAMP, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT AS DEFINED IN THE AMERICANS WITH DISABILITIES ACCESSIBILITY GUIDELINES (A.S.A.A.G. SECT. 1100).

HC SIDEWALK RAMP DETAIL

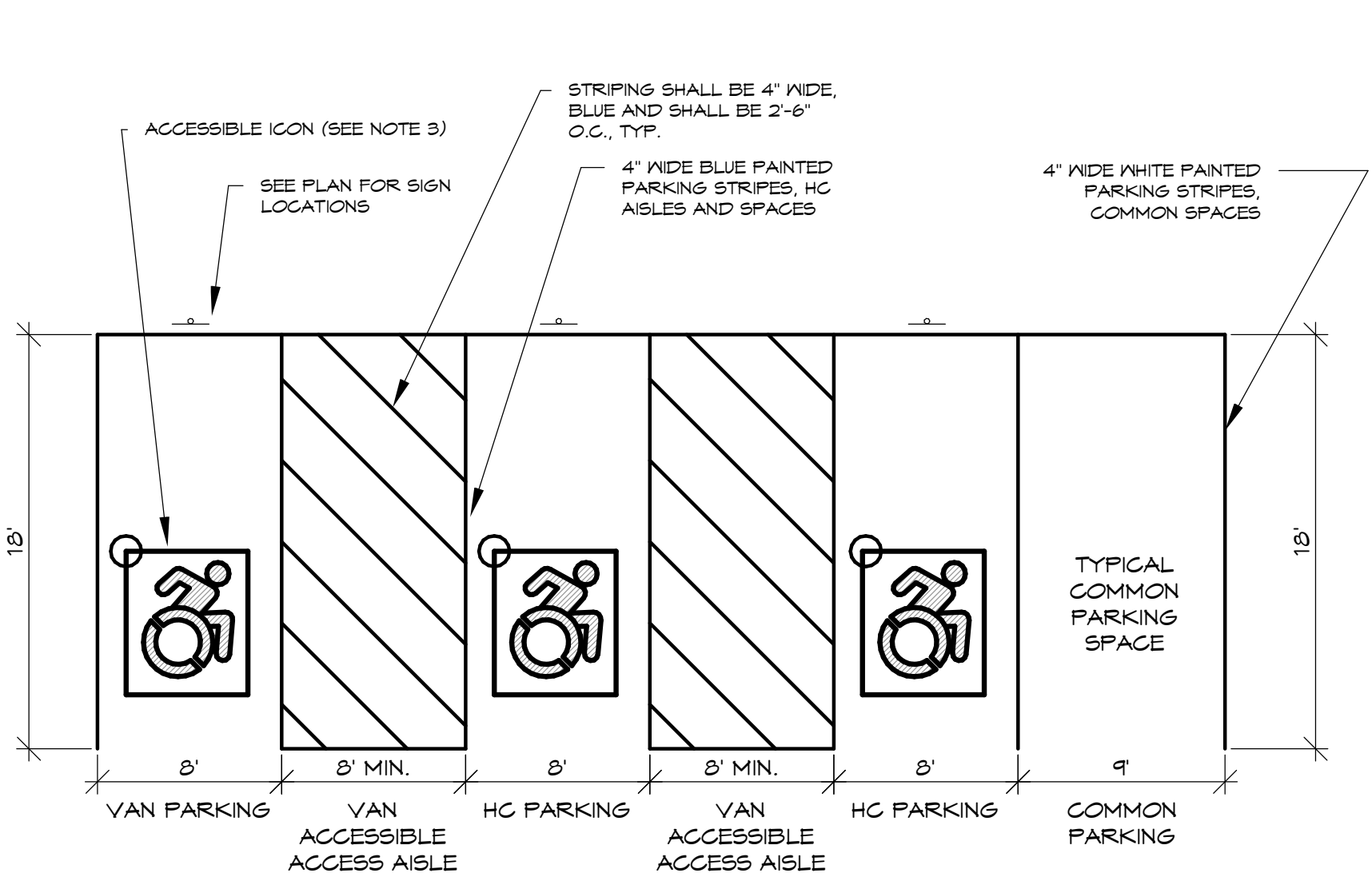
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TYPICAL SIGN POST INSTALLATION

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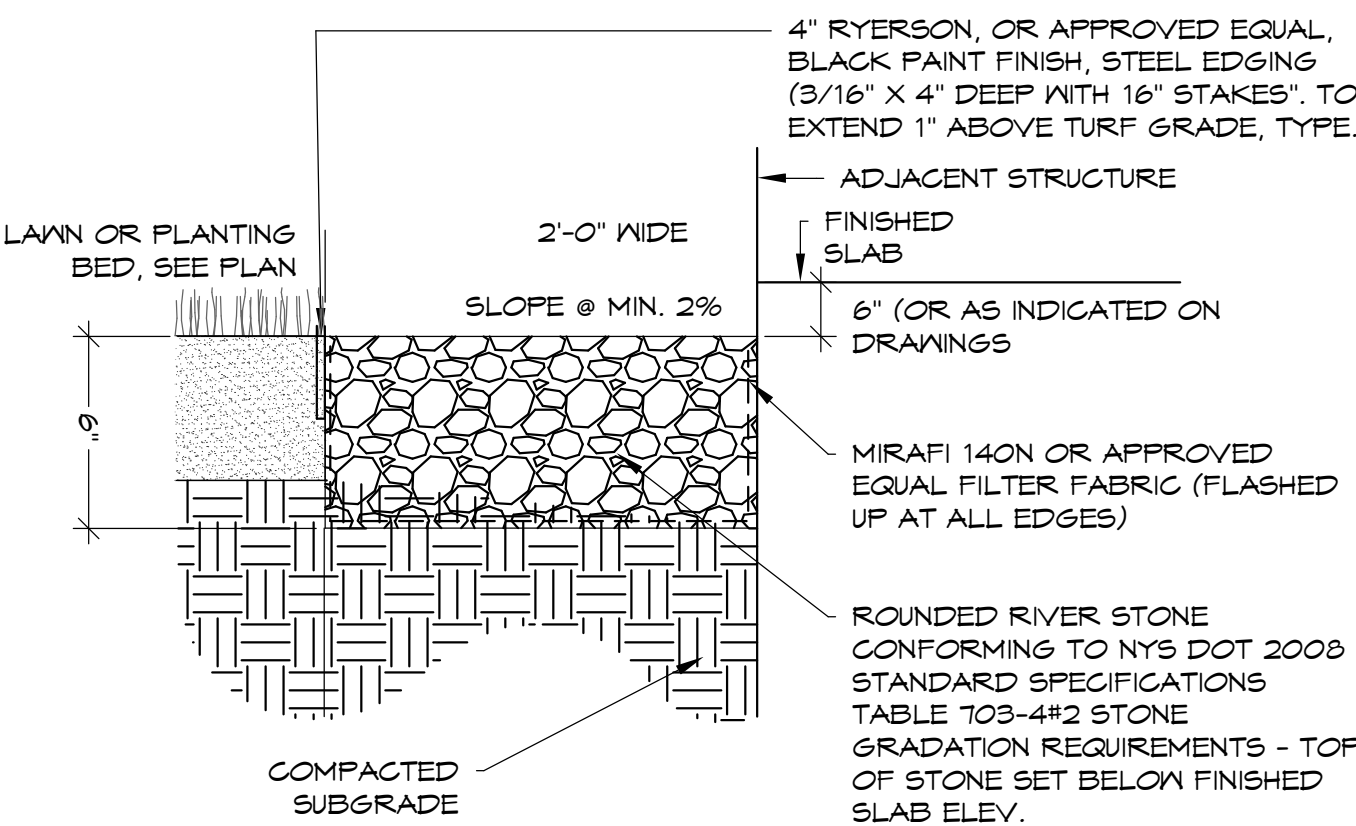
NOTES:

1. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARD AND CURRENT ZONING AND SITE REGULATIONS.
2. PAINTED ACCESSIBLE LOGO TO BE IN ACCORDANCE WITH NEW YORK STATE LAW.
3. SLOPE OF PAVEMENT SURFACE IN HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.

TYPICAL PAVEMENT STRIPING

N.T.S.

13
C 105



TYP. CONCRETE JOINT DETAIL

N.T.S.

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C 105

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One Ascot Lane
Niskayuna, NY 12309

Site Plan Review Set

Consultants

Mechanical/Plumbing/Electric Engineer:
Engineered Solutions
646 Plank Rd. #104 Clifton Park, NY 12065
Phone: (518) 280-2410

Structural:
MRH Engineering, P.C.
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Ph: (518) 792-4042 Cell: (518) 796-6054

Revisions
REVISED 05-10-2022

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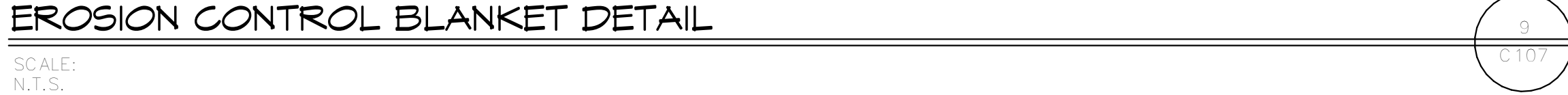
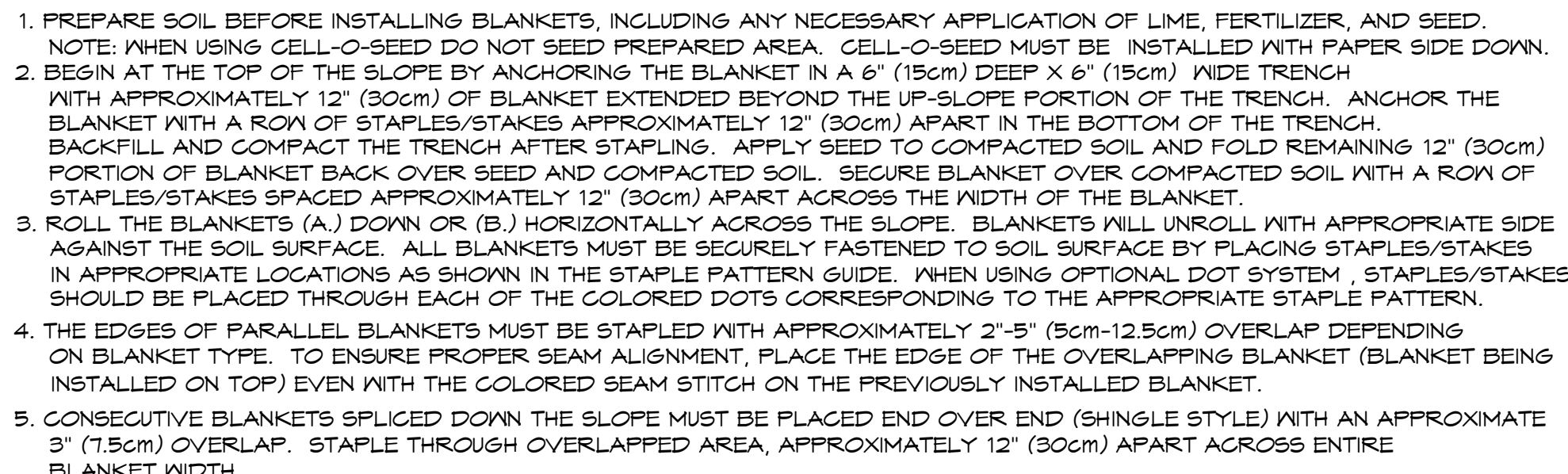
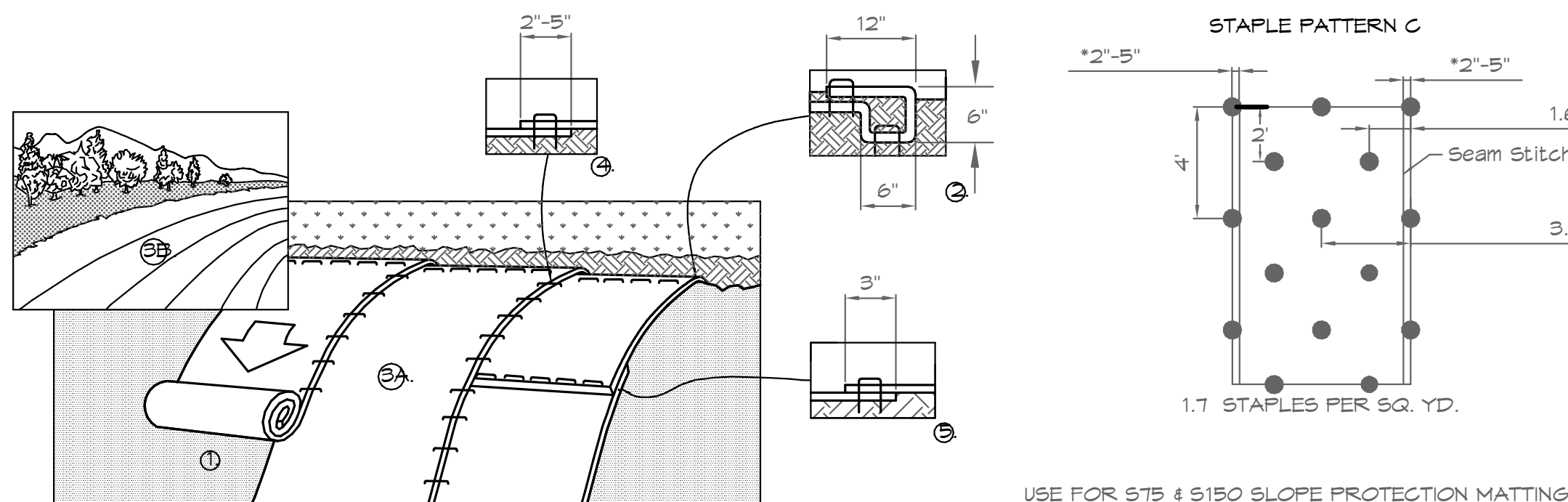
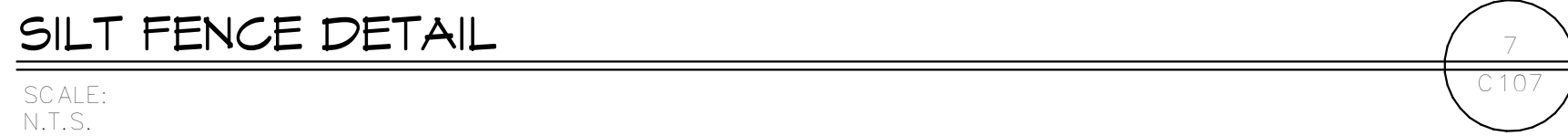
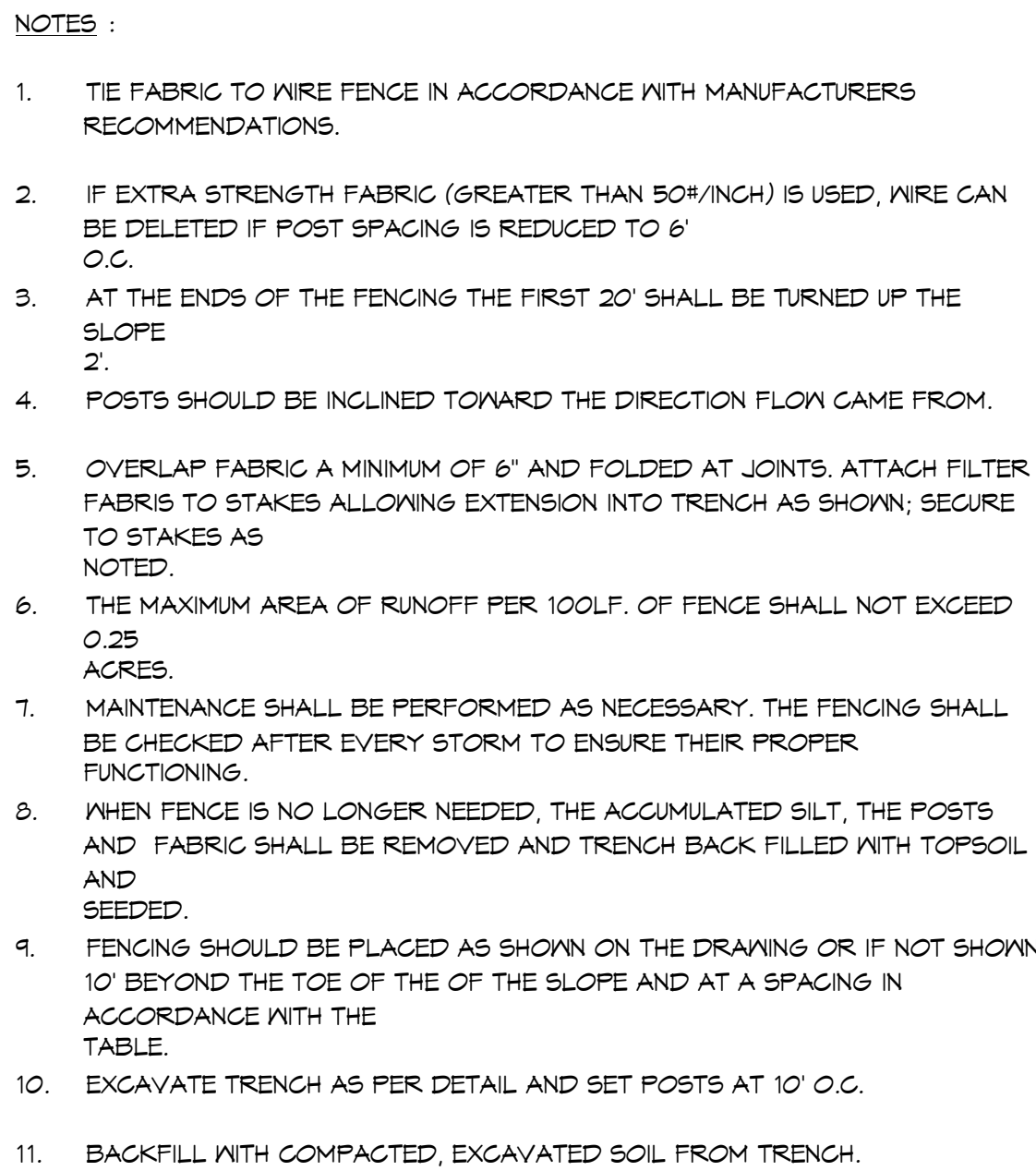
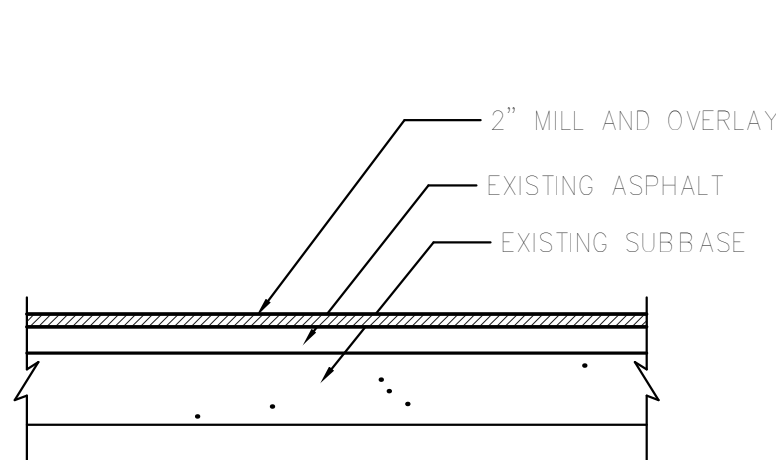
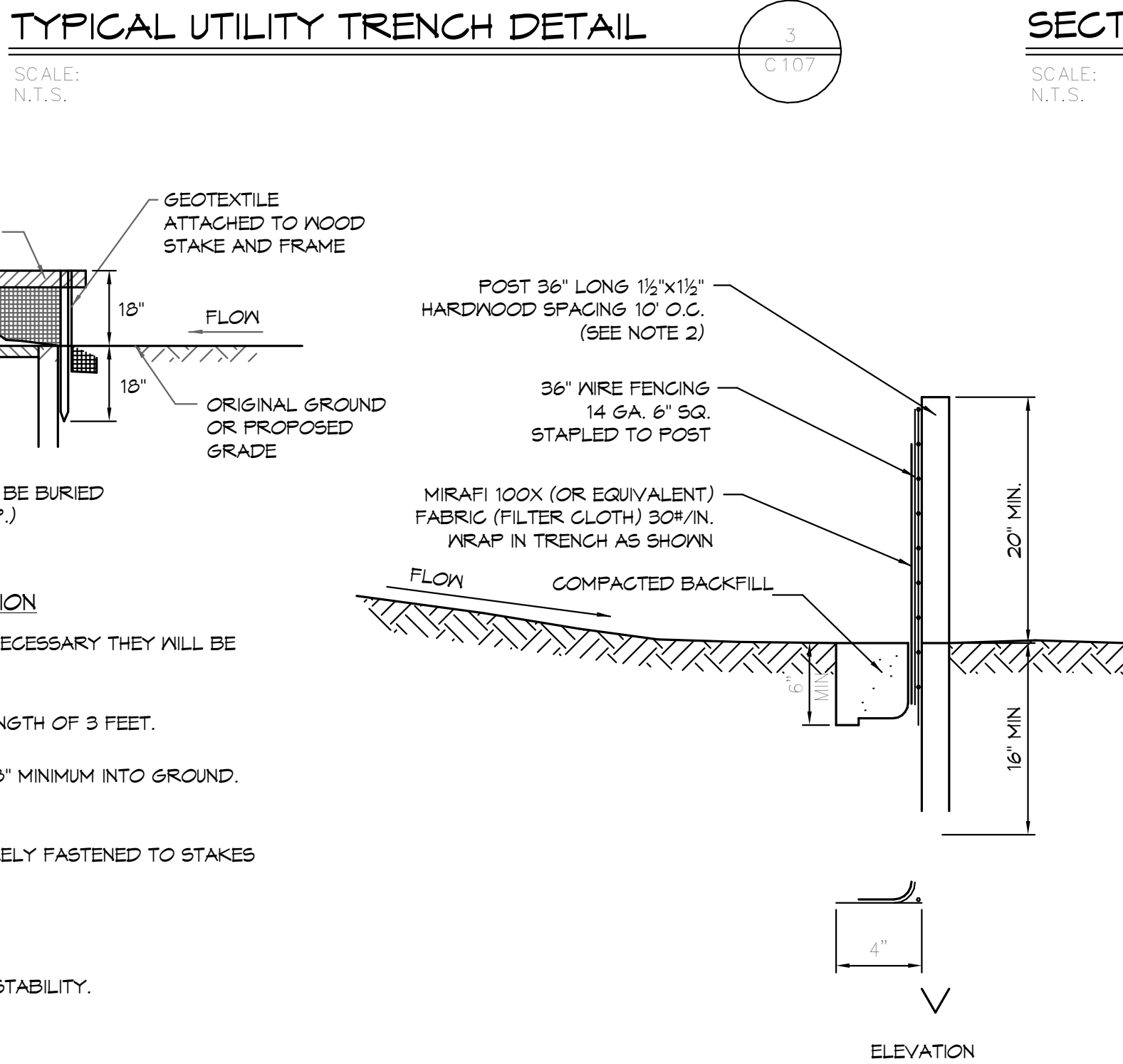
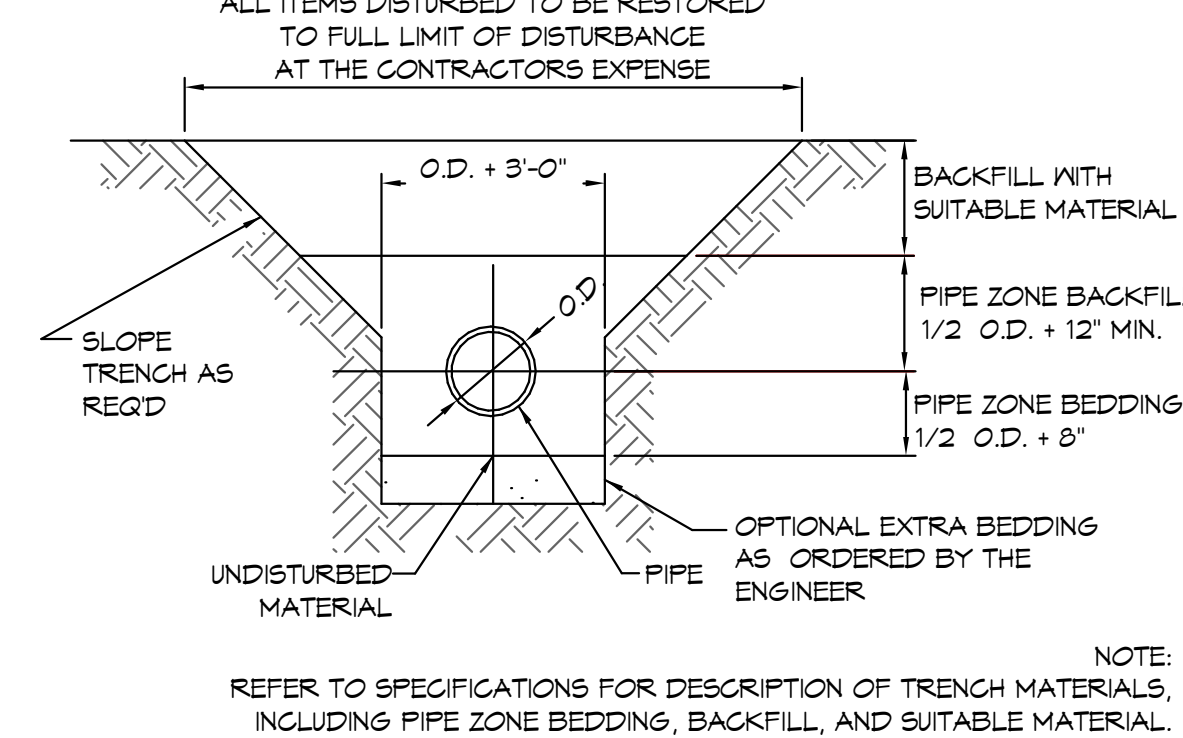
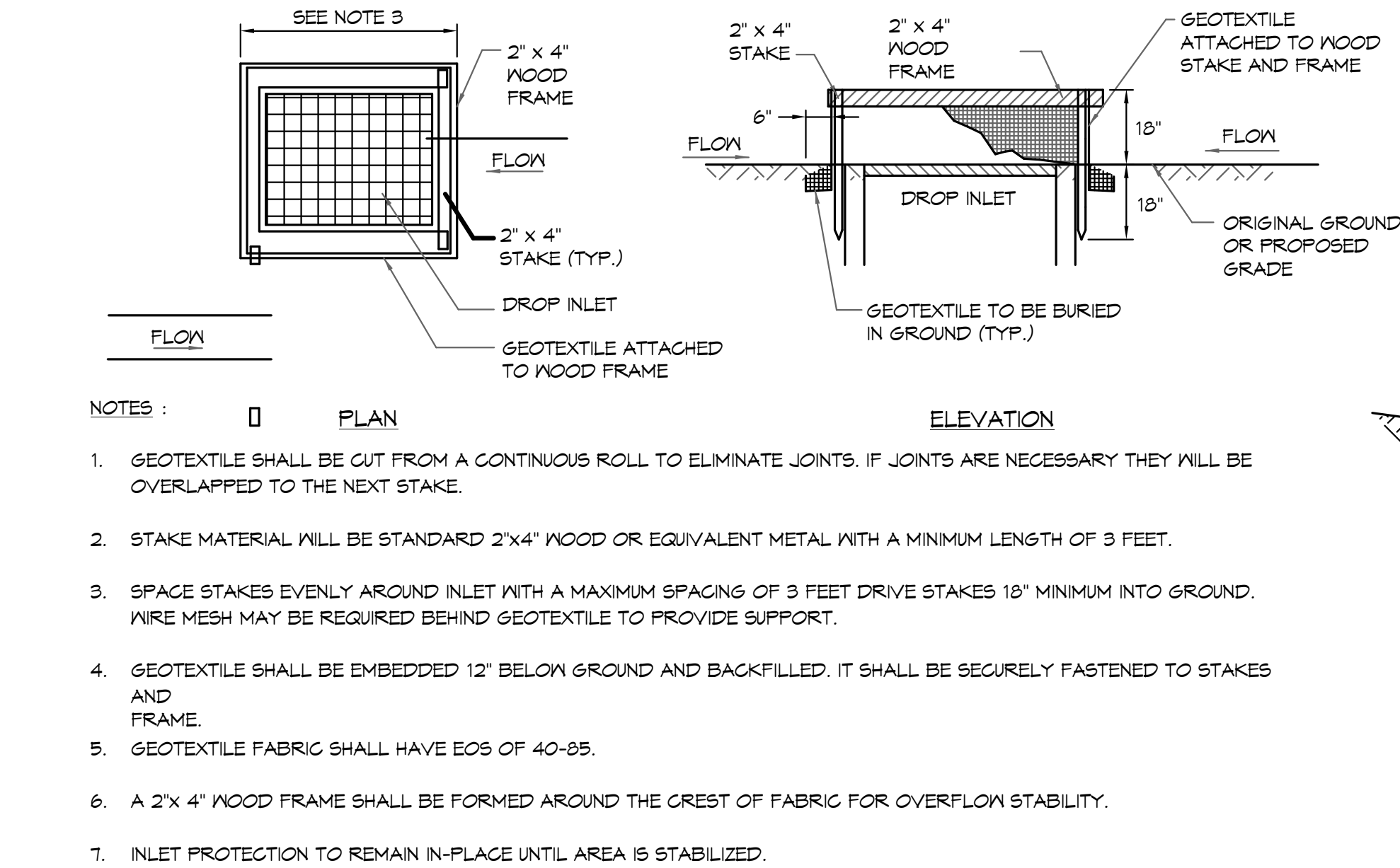
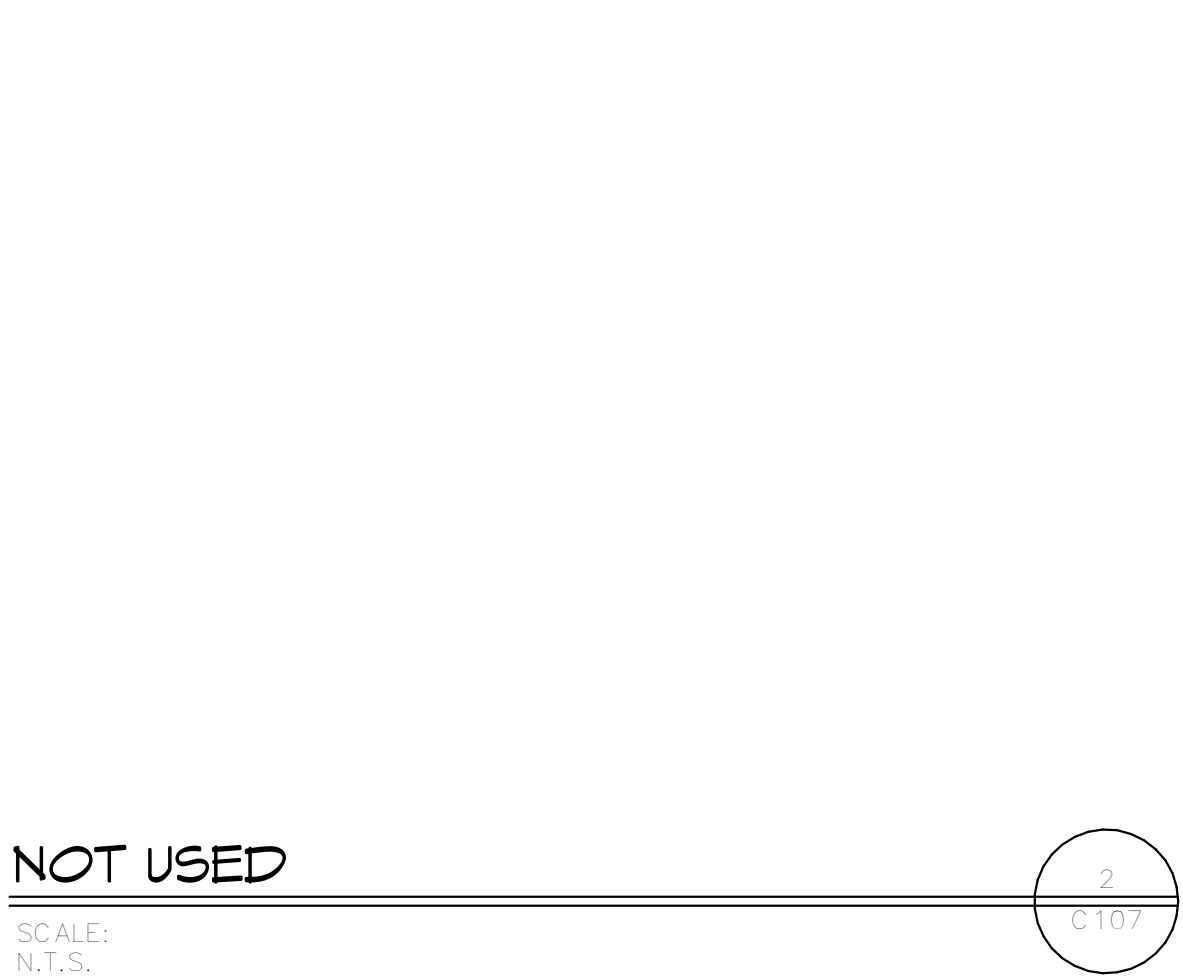
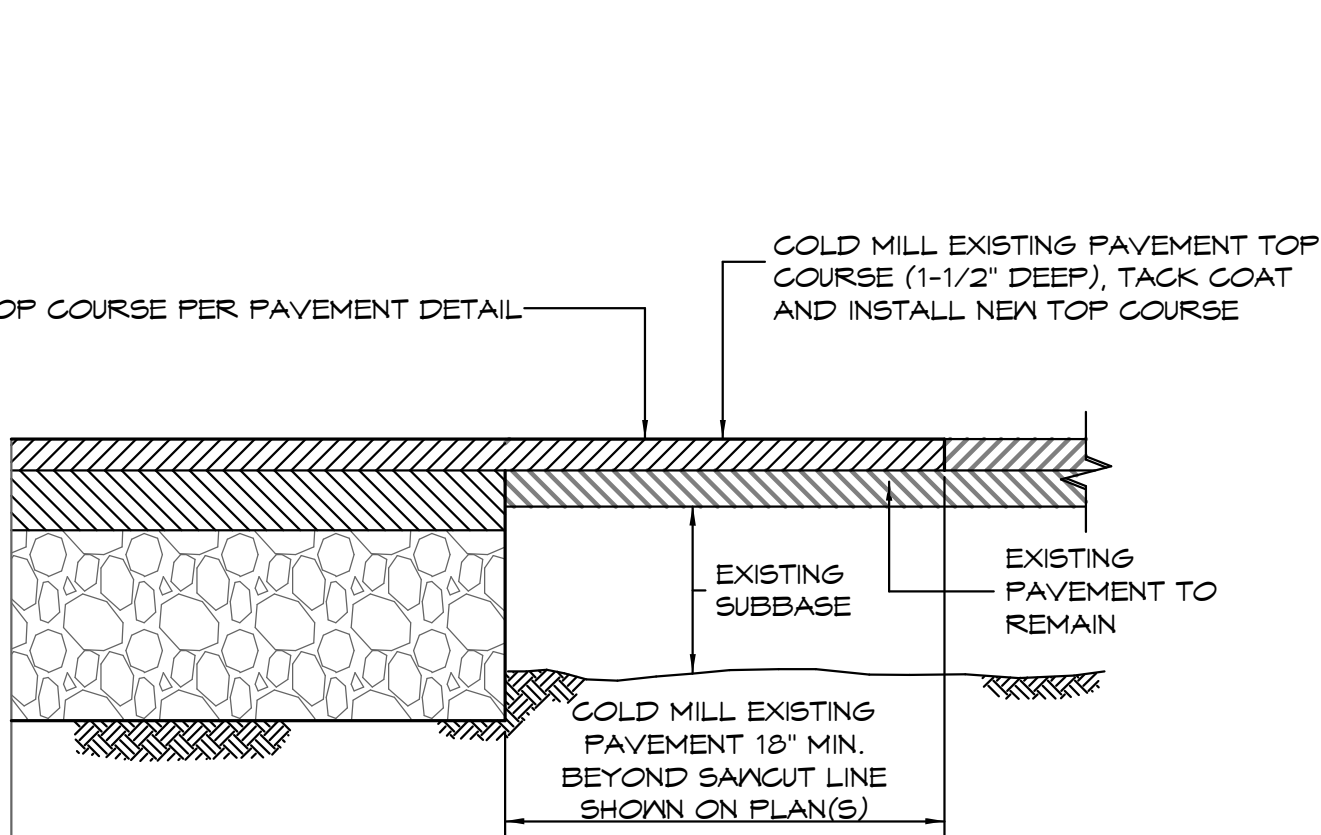
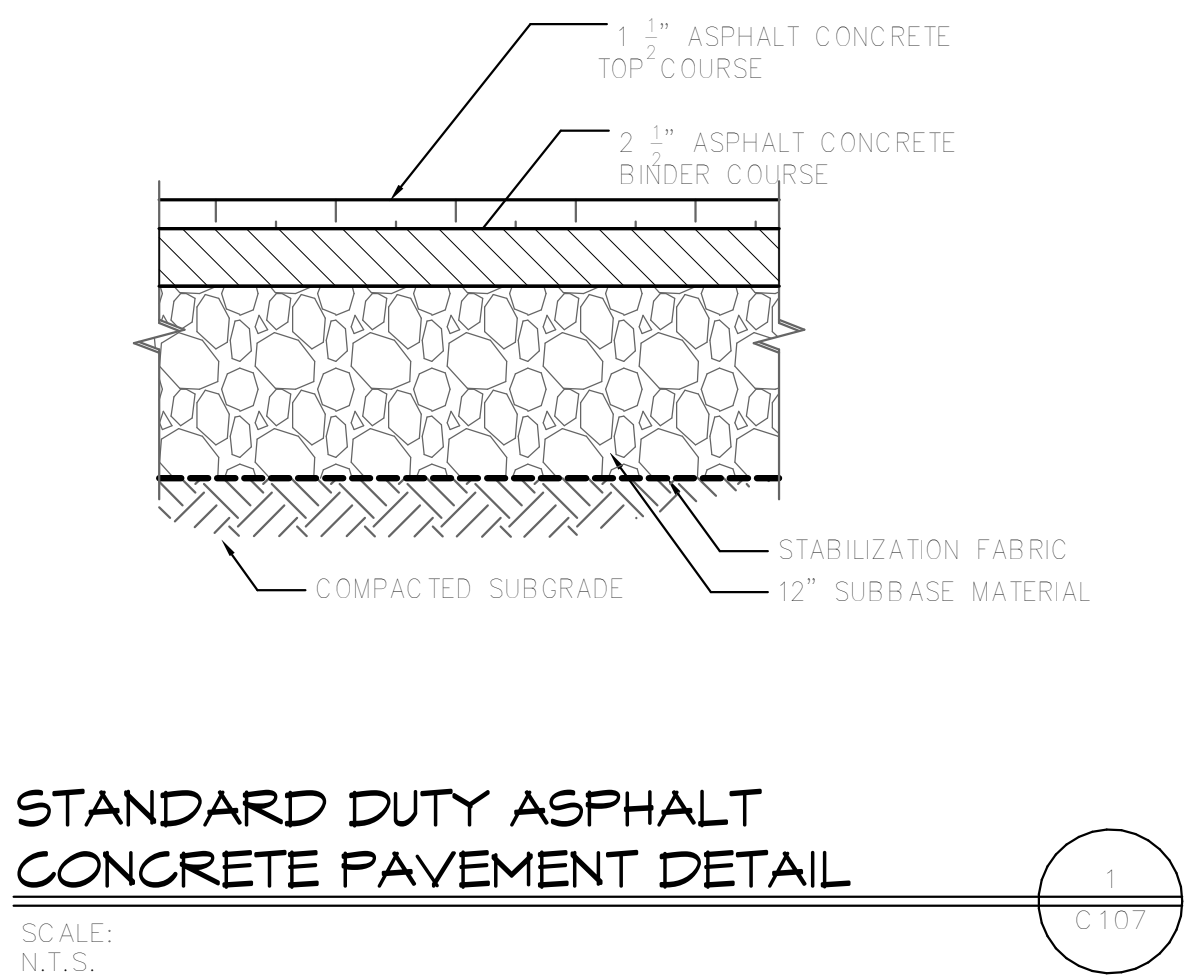
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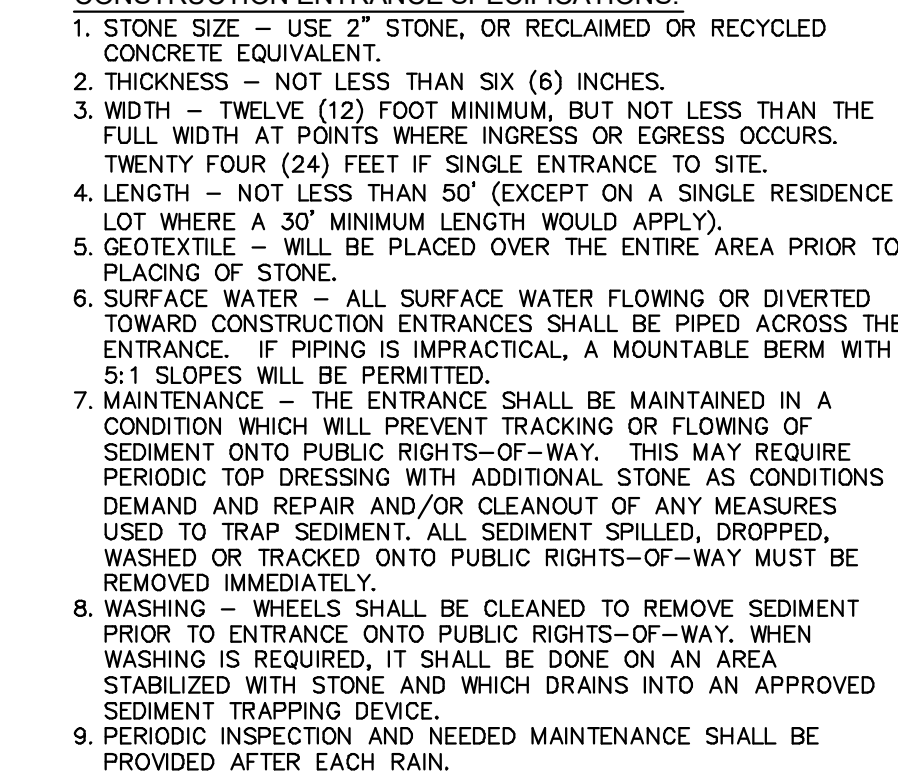
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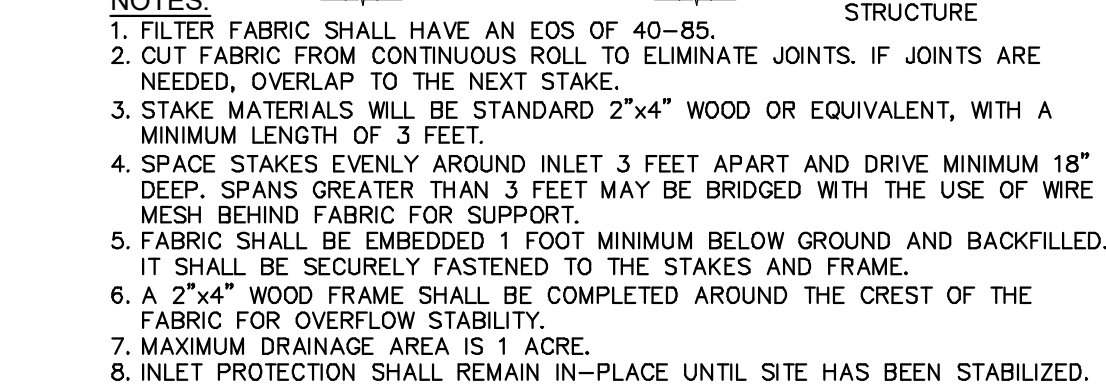
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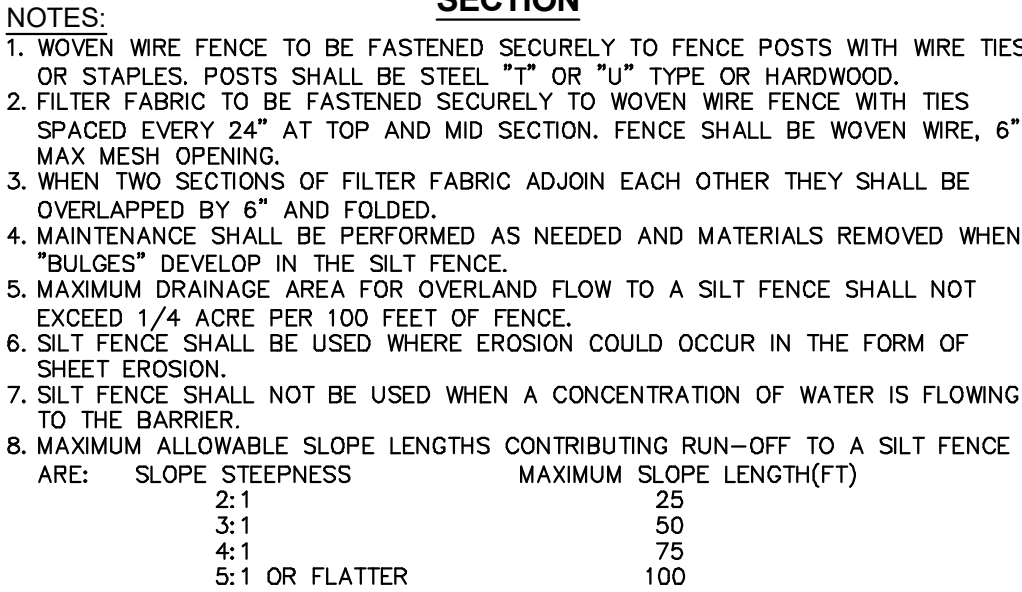


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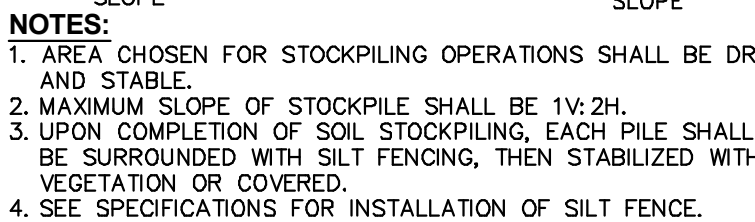


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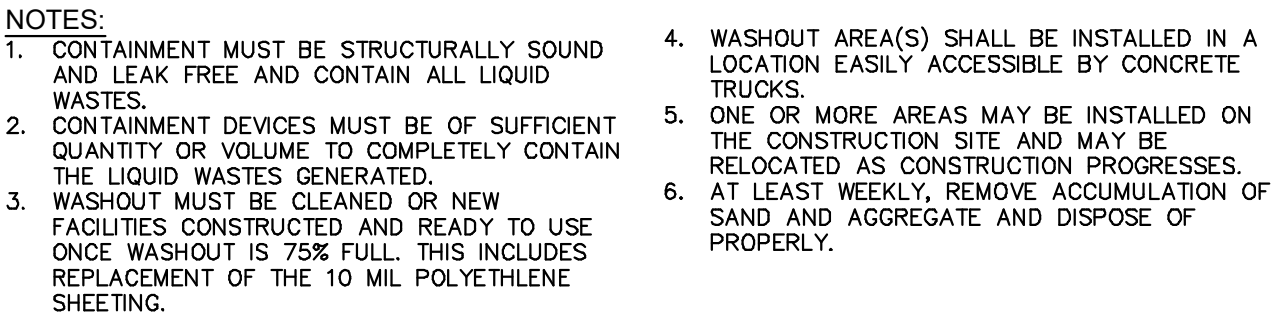
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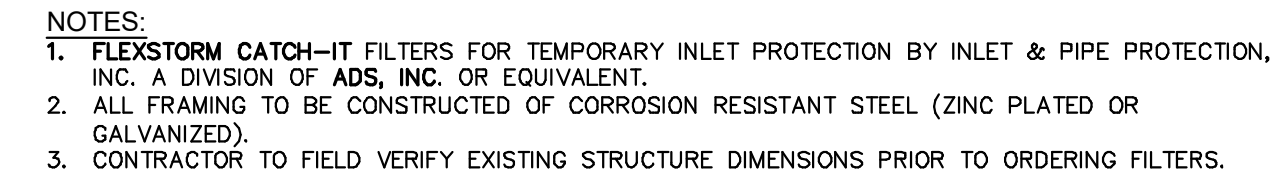
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THIS PLAN SET AND THE ACCOMPANYING SWPPP ENTITLED "ALBANY COUNTY RESIDENTIAL HEALTH CARE FACILITY RENOVATION" HAVE BEEN SUBMITTED AS A SET. THESE ENGINEERING DRAWINGS ARE CONSIDERED AN INTEGRAL PART OF THE SWPPP, THEREFORE THE PLAN SET IS NOT CONSIDERED COMPLETE WITHOUT THE SWPPP.

1. THIS PROJECT HAS NOT RECEIVED WRITTEN APPROVAL FROM NYSDEC ALLOWING THE DISTURBANCE OF MORE THAN FIVE (5) ACRES OF LAND AT ANY ONE TIME. THEREFORE, IF THE CONTRACTOR'S CONSTRUCTION SEQUENCE REQUIRES THE DISTURBANCE OF MORE THAN FIVE ACRES AT ANY ONE TIME, WRITTEN APPROVAL MUST BE OBTAINED FROM NYSDEC PRIOR TO EXCEEDING THE 5 ACRE LIMIT.

PRIOR TO COMMENCING ANY CLEARING, GRUBBING, EARTHWORK ACTIVITIES, ETC AT THE SITE, THE CONTRACTOR SHALL FLAG THE WORK LIMITS AND SHALL INSTALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (E.G. SILT FENCE, STORM DRAIN PROTECTION, BERM, ETC.) AT ALL CONSTRUCTION ENTRANCES, STORM DRAIN GABRIOL FILTERS, DRAINAGE DITCH SEDIMENT FILTERS, ETC.) INDICATED ON THE PROJECT DRAWINGS. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE CONSTRUCTED, STABILIZED, AND MAINTAINED BEFORE SITE DISTURBANCE BEGINS WITHIN THEIR "CATCHMENT AREAS". TEMPORARY SEED INFILTRATION SHALL NOT BE UTILIZED AS A TEMPORARY SEDIMENT TRAP DURING CONSTRUCTION.

THE CONTRACTOR SHALL COMMENCE SITE CONSTRUCTION ACTIVITIES INCLUDING CLEARING & SITE PREPARATION, PROPOSED DISTURBANCE AS REQUIRED, CONSTRUCTING EROSION PROTECTIVE MEASURES AT LOCATIONS OF STORM INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES. CONSTRUCT ALL UTILITIES, AREA INLETS, AND STORM SEWER SYSTEM, AS SHOWN ON THE PLANS. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIP-RAP AT LOCATIONS SHOWN ON THE PLANS.

FINALIZE PAVEMENT SUB-GRADE PREPARATION.

INSTALL SUB-BASE MATERIAL AS REQUIRED FOR PAVEMENT.

PRIOR TO ANALYZING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITY, ALL CATCH BASINS AND DRAINAGE LINES SHALL BE CLEANED OF ALL SILT AND SEDIMENT.

THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND IMMEDIATELY ESTABLISH PERMANENT VEGETATION ON THE AREAS DISTURBED DURING THEIR REMOVAL.

4. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION DEPOSIT AREAS.
5. AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
6. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
7. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.

ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (NYSDOT 175) JULY 1995 EDITION.

EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE IF NOT USED IMMEDIATELY FOR GRADING PURPOSES. INSTANT SILT FENCE AROUND SOIL STOCKPILE.

APPLY SURFACE STABILIZATION AND RESTORATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING AND ANY AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS DELAYED, SUSPENDED, OR INCOMPLETE AND WILL NOT BE REVEGETATED IMMEDIATELY SHALL BE SEEDING WITH PERMANENT VEGETATIVE COVER WITHIN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. (SEE SPECIFICATIONS FOR TEMPORARY VEGETATIVE COVER). SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE LIMITED TO AREAS DISTURBED BY CONSTRUCTION ACTIVITIES WHERE WORK IS COMPLETE AND WILL NOT BE REDISTURBED SHALL BE STABILIZED AND RESTORED WITH PERMANENT VEGETATIVE COVER AS SOON AS SITE AREAS ARE AVAILABLE AND WITHIN 14 DAYS AFTER COMPLETION OF CONSTRUCTION. SEEDING FOR PERMANENT VEGETATIVE COVER. SEEDING FOR PERMANENT VEGETATIVE COVER SHALL BE WITHIN THE SEASONAL LIMITATIONS. PROVIDE STABILIZATION WITH TEMPORARY VEGETATIVE COVER WITHIN 14 DAYS AFTER WORK IS COMPLETE, FOR SEEDING OUTSIDE PERMITTED SEEDING PERIODS.

SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.

UNDISTURBED AREAS SHALL BE STABLE. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.

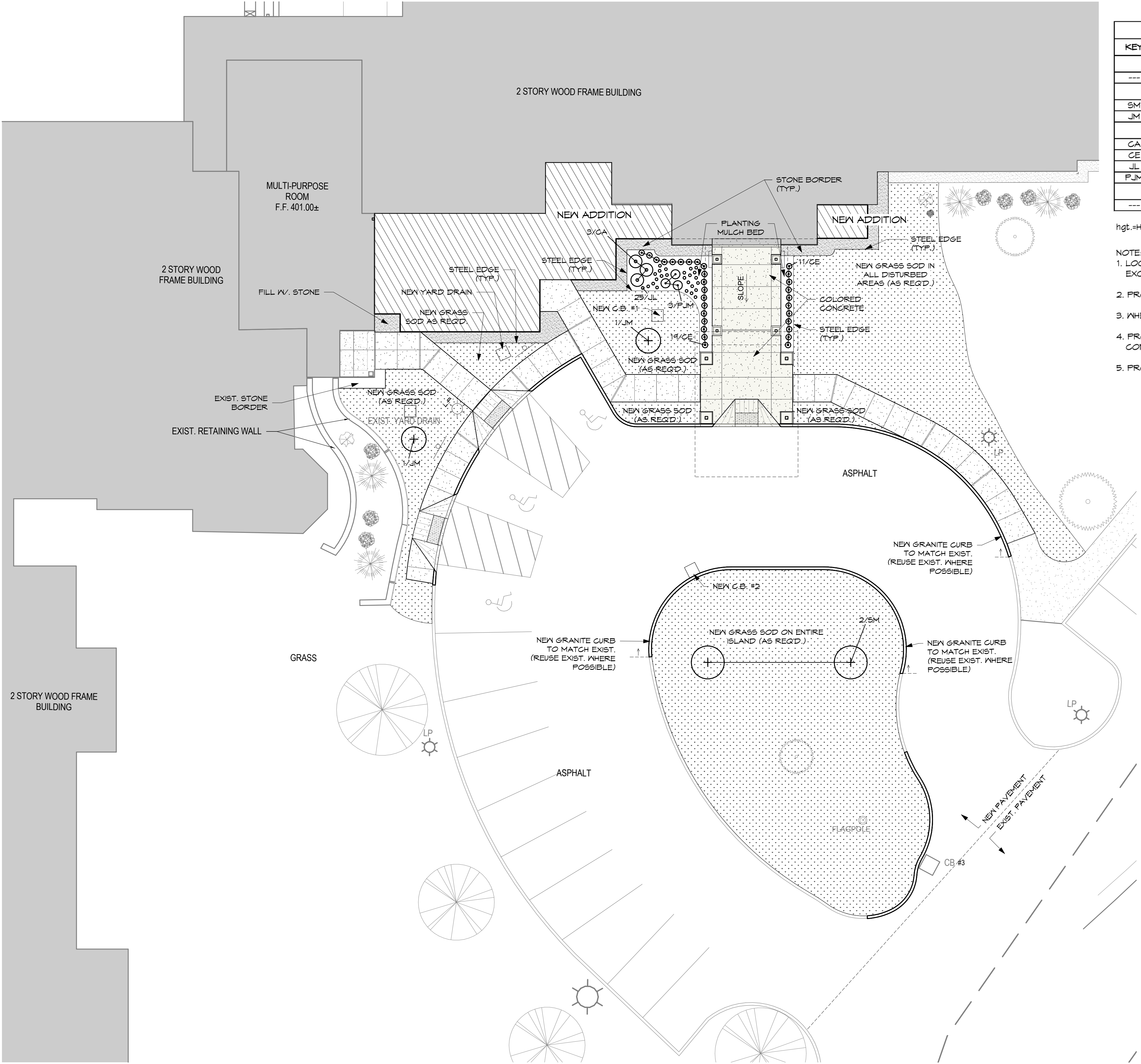
CONTRACTOR TO HERITAGE FOR CONSTRUCTION DEBRIS IN PUBLIC AREAS DAILY, AND TO HERITAGE ROAD AND DESIGNATED TEMPORARY PARKING AREAS ONCE PER WEEK.

TEMPORARY VEGETATIVE COVER (DURING CONSTRUCTION):

- CONSTRUCTION SPECIFICATIONS:**
- STONE SHALL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON THE PLAN.
- SET SPACING OF CHECK DAMS IN ACCORDANCE W/ THE FOLLOWING:
- CHECK DAM SPACING INCREMENT 2'-6" DEEP DITCH/SWALE W/**
- | 1'-9" HIGH CHECK DAM: | (SPACING = $\frac{1000 \times \text{check dam depth (ft)}}{\text{ditch depth (ft)}}$) | SPACING: | SPACING: |
|-----------------------|--|----------|----------|
| SLOPE: | SPACING: | SLOPE: | SPACING: |
| 0.5% | 305' | 6% | 29' |
| 1% | 175' | 7% | 25' |
| 2% | 87' | 8% | 21' |
| 3% | 58' | 9% | 19' |
| 4% | 44' | 10% | 17' |
| 5% | 35' | | |
- CONTRACTOR TO ADJUST SPACING ACCORDINGLY BASED ON ACTUAL DEPTH & SLOPE OF DITCH.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPEARANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAM ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.
- MAXIMUM DRAINAGE AREA IS 2 ACRES.

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SITE PLANTING PLAN

1" = 10'-0"

PLANT LIST & KEY				
KEY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
PERENNIALS				
TREES				
SM	Acer Saccharum	Sugar Maple	3"-3.5" cal.	B4B
JM	Acer Palmatum "Rhode Island Red"	Rhode Island Red Japanese Maple	15'hgt.	B4B or Container
SHRUBS				
CA	Ceanothus Americanus	New Jersey Tea	18"-24" hgt.	B4B
CE	Carex Pensylvanica	Ivory Sedge	1gal. Pots	12" spacing
JL	Polemonium Caeruleum	Jacob's Ladder	3" Pots	12" spacing
PJM	Rhododendron PJM	PJM	24"-36" hgt.	B4B
Grasses				
---	---	---	---	---

hgt.=HEIGHT, C=CALIPER, B & B=BALLED & BURLAPPED,

- NOTE:
1. LOCATE ALL UTILITIES BEFORE STARTING WORK. SEE SPECIFICATION SECTIONS FOR GRADING EXCAVATING AND BACKFIRING FOR UTILITY LOCATOR INFORMATION AND DIRECTION.
 2. PROVIDE MULCH COVERD BED WHEN SHRUBS ARE PLANTED IN GROUPS.
 3. WHERE NOTED "GRASS" ON PLANS PROVIDE SOD (AS APPROVED) TO FULLY COVER AREA.
 4. PROVIDE 6" TOP SOIL AND SEED TO ALL AREAS NOT COVERED BY PAVEMENT OR OTHER CONSTRUCTION OR OTHERWISE NOTED.
 5. PROTECT EXISTING TREES TO REMAIN.

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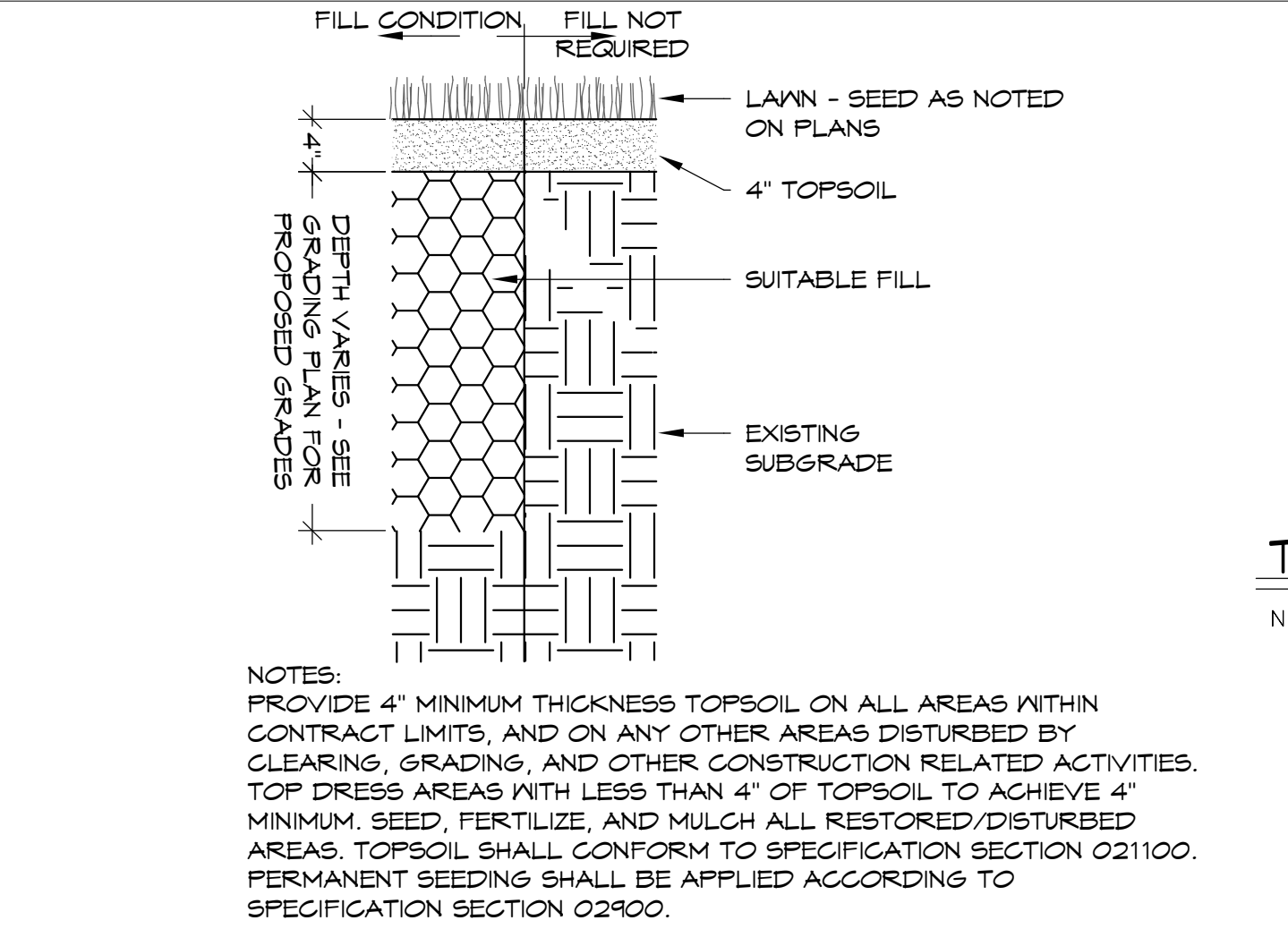
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Drawing Number

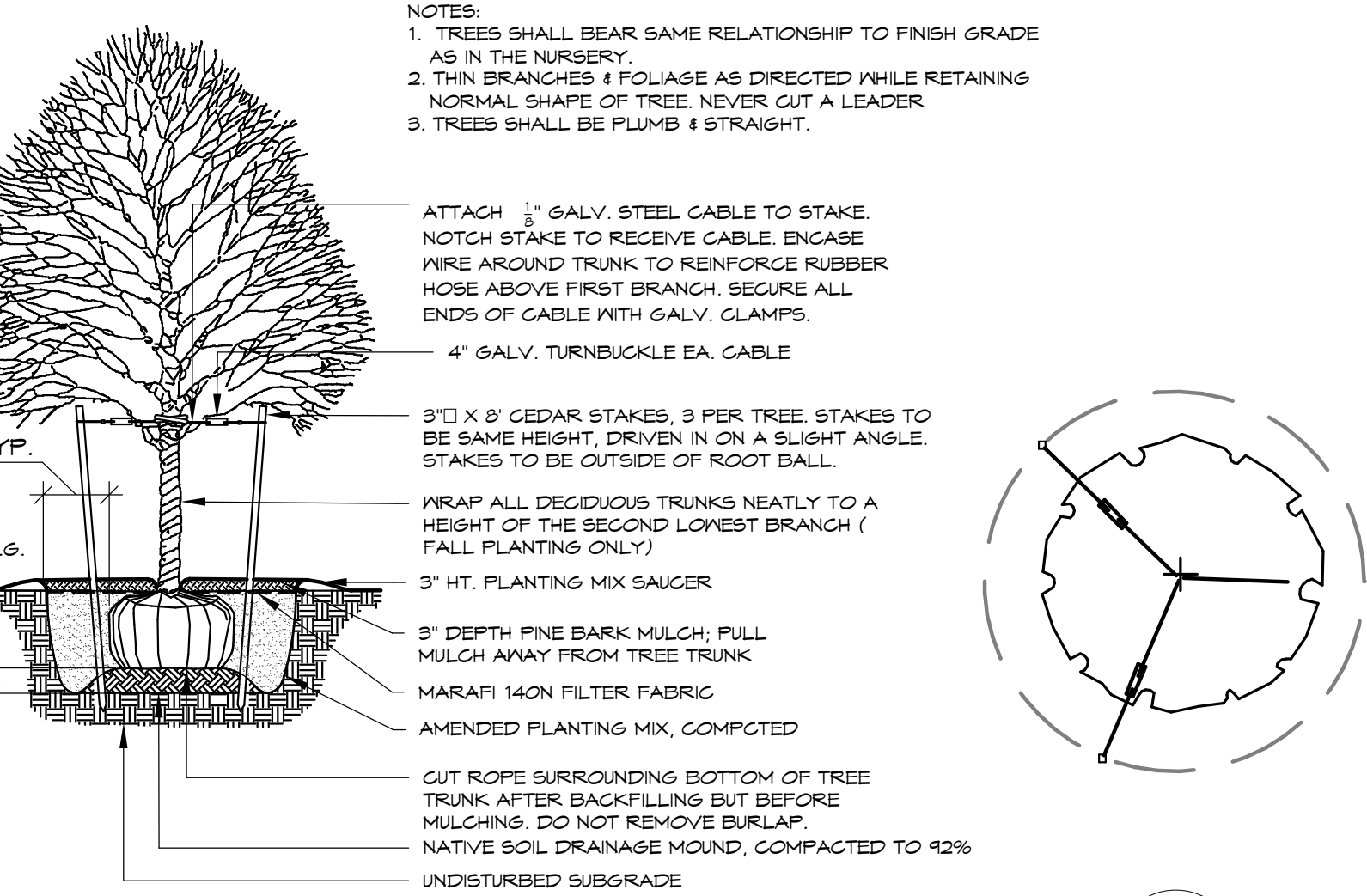
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Date: May 17, 2022

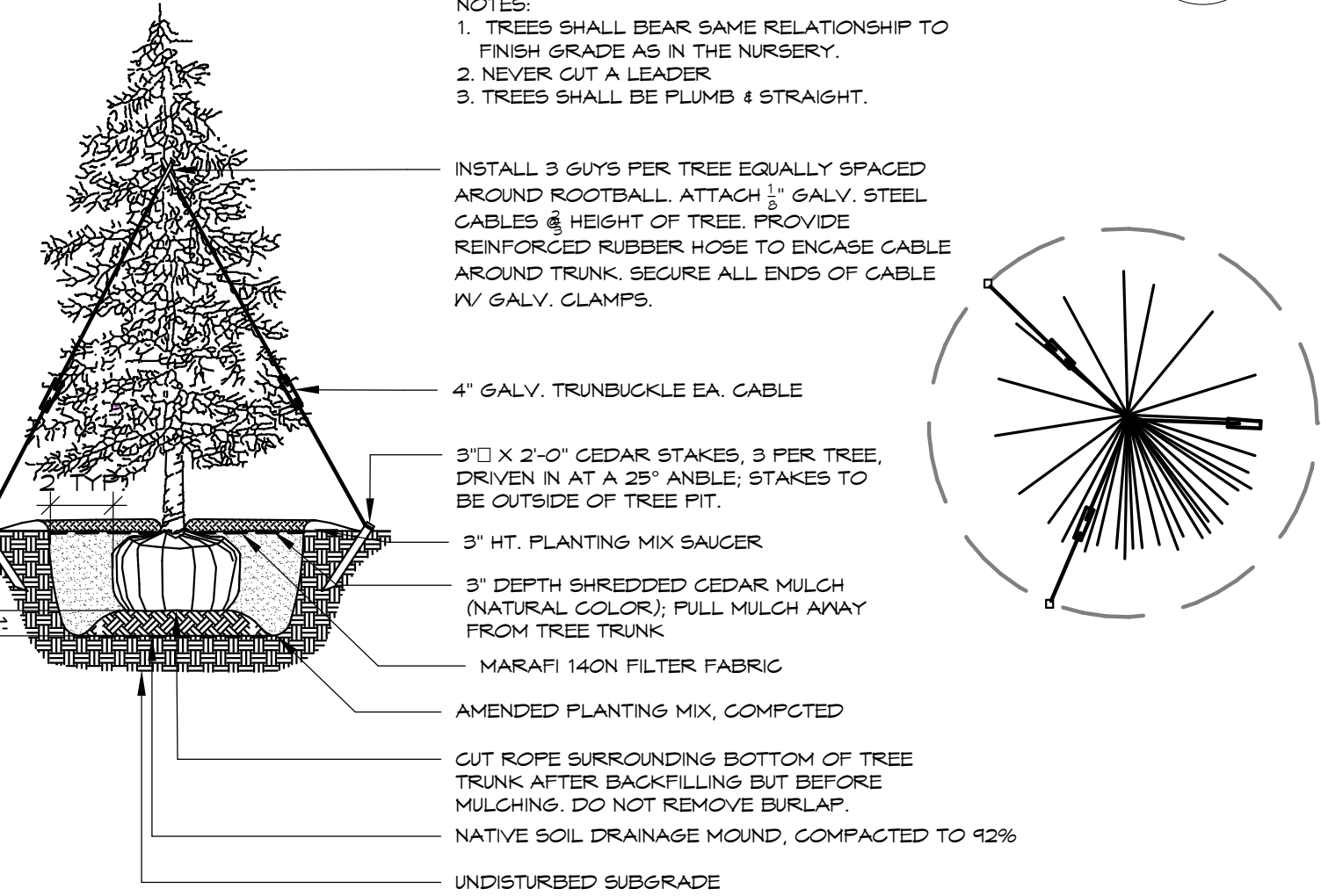
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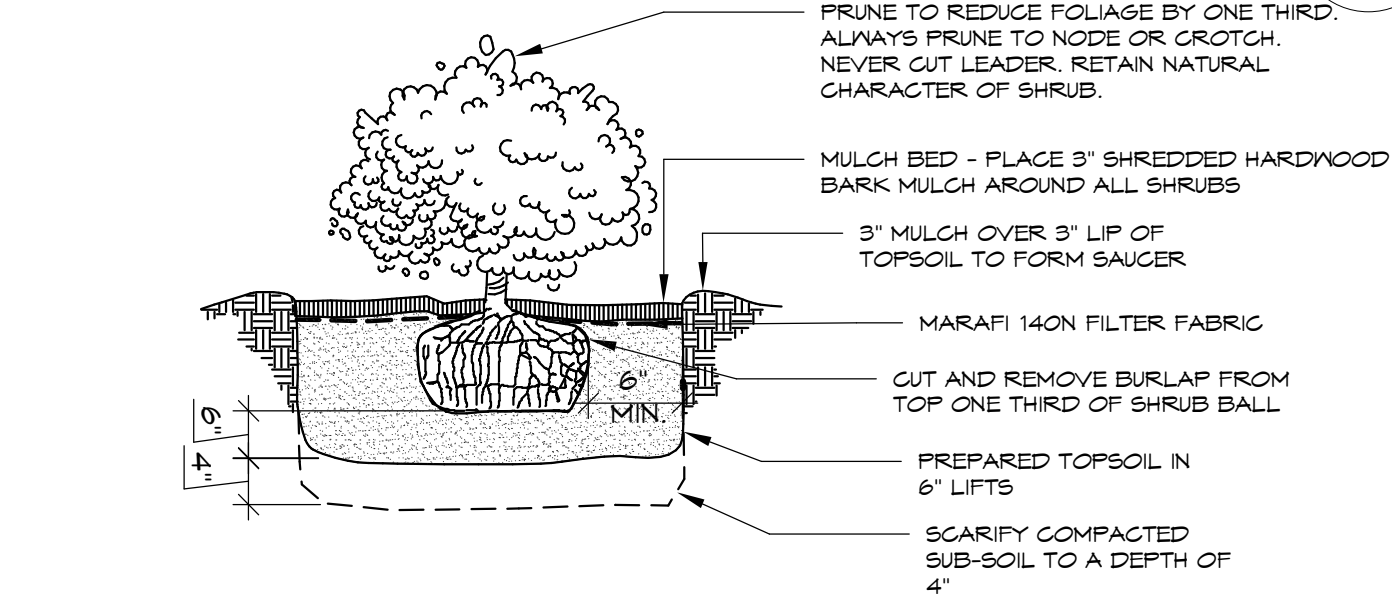
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L102

Date: May 17, 2022



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 2

MEETING DATE: 5/23/2022

ITEM TITLE: RESOLUTION: 2022-11: A Resolution for site plan approval for sidewalk improvements including the addition of an ADA ramp at 3333 Consaul Rd.

PROJECT LEAD: TBD

APPLICANT: Matthew Oates, P.E.

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Matthew Oates, P.E., of Benderson Development, submitted an Application for Site Plan Review for sidewalk and ADA improvements along the existing sidewalk in front of the retail portion of the property at 3333 Consaul Road. The proposed improvements will provide for a wider sidewalk and new ADA access curb ramps.

The property falls within the C-N Neighborhood Commercial zoning district. A search of Town of Niskayuna records revealed 8 businesses located on the property. The business names are included in a document entitled "3333/3337 Consaul Road". A review of Section 220-10 E of the Niskayuna zoning code resulted in the following.

- Permitted principal uses (1) (d) – all of the businesses listed in the document are allowable permitted principal uses under the category of neighborhood retail convenience stores with the exception of the Hannaford Food Market.
- Special principal uses (3) (e) – the Hannaford Food Market is an acceptable special principal use under the category of food markets.

BACKGROUND INFORMATION

The following documents were included with the Application for Site Plan Review.

- Civil engineering plans (6-pages) entitled "3333-3337 Consaul Rd. Niskayuna, NY 12304 Sidewalk Replacement" by Benderson Development.

- Pg. 1 – Storm Drainage Plan dated 7/28/21 with no subsequent revisions.
- Pg. 2 – Limited topo survey dated 4/14/21 with no revisions
- Pg. 3 – Demolition plan dated 7/28/21 with no revisions
- Pg. 4 – Overall site plan dated 7/28/21 with no revisions
- Pg. 5 – Grading plan dated 7/28/21 with no revisions
- Pg. 6 – Storm drainage plan dated 7/28/21 with no revisions

The project includes the removal of a large portion of the existing concrete sidewalk, removal of a striped portion of existing pavement directly in front of the store that was used for grocery pickups and a removal of a section of existing pavement. A new concrete sidewalk will be installed that is essentially equal to the width of the removed concrete and paved pickup area. Dedicated grocery pickup areas were created in the parking lot. Storm drainage improvements are also included consisting primarily of four long sections of 4" perforated HDPE and 4 cleanouts along the interface of new concrete sidewalk and new paved area. The overall site plan also includes a proposed landscaping plan.

5/9/22 Planning Board (PB) meeting – Mr. Oates spoke on behalf of the applicant and described the project to the Planning Board. He referred to the site plan drawings that were included with the application and noted the fire lane in front of the existing sidewalk will be eliminated. The sidewalk will be widened to include what was the fire lane. He acknowledged that the fire lane was used for customer pick up but stated that dedicated customer pick up parking spaces are now located in the parking lot. Mr. Oates stated that there will be no change in traffic patterns or flow within the parking lot or near the store. An ADA accessible ramp will be added thereby providing better access to the store from the parking lot. The PB noted that there are several pot holes in the existing pavement that should be addressed as part of this project. After additional discussion the PB called for a resolution for the 5/23/22 PB meeting.

A resolution for site plan approval is included.

RESOLUTION NO. 2022 - 11

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 23RD DAY OF MAY 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Matthew Oates, P.E. of Benderson Development and agent for the owner, has made an application to the Planning Board and Zoning Commission for site plan review for sidewalk improvements including the addition of an ADA accessible ramp at 3333 Consaul Rd. Niskayuna, and

WHEREAS, the following documents were included with the Application for Site Plan Review:

- Civil engineering plans (6-pages) entitled "3333-3337 Consaul Rd. Niskayuna, NY 12304 Sidewalk Replacement" by Benderson Development.
 - Pg. 1 - Storm Drainage Plan dated 7/28/21 with no subsequent revisions.
 - Pg. 2 - Limited topo survey dated 4/14/21 with no revisions
 - Pg. 3 - Demolition plan dated 7/28/21 with no revisions
 - Pg. 4 - Overall site plan dated 7/28/21 with no revisions
 - Pg. 5 - Grading plan dated 7/28/21 with no revisions
 - Pg. 6 - Storm drainage plan dated 7/28/21 with no revisions

and,

WHEREAS, the zoning classification of the property is C-N Neighborhood Commercial zoning district, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions:

1. All pot-holes and significant asphalt decay shall be resurfaced and the existing parking lot shall be repaired as part of the sidewalk improvement project.
2. Any dead or dying landscaping shall be removed and replanted.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.



570 DELAWARE AVENUE
BUFFALO, NEW YORK 14202
716.886.0211.P :: 716.886.1026.F

April 25, 2022

Laura Robertson, AICP – Town Planner
Niskayuna Town Hall
One Niskayuna Circle
Niskayuna, NY 12309

Re: Niskayuna Square (BPD# 3722)
Proposed Sidewalk Modifications and ADA Improvements

Dear Ms. Robertson:

At this time, Benderson Development Company, LLC (hereinafter “Benderson”) is pleased to be submitting the enclosed site plan application to allow for sidewalk and ADA improvements along the existing sidewalk in front of the retail portion of our Niskayuna Square property. The proposed improvements will provide for a wider sidewalk, new ADA access curb ramps at the southeast end and will match in better to the existing sidewalk in front of Hannaford Supermarket. In support of this application, please find enclosed the following information:

- 1) Civil Engineering Plans prepared by James A. Rumsey, R.A
- 2) Town of Niskayuna Site Plan Application
- 3) New York State Short Environmental Assessment Form

We believe the proposed improvements will be a significant enhancement to the existing plaza. After review of the enclosed materials, please let us know what the next steps are in the approval process. Should you have any questions or require any additional information, please do not hesitate to contact me by phone at (716) 878-9397 or by e-mail at mattoates@Benderson.com.

Thank you,
BENDERSON DEVELOPMENT COMPANY, LLC

A handwritten signature in black ink, appearing to read 'Matthew Oates', written in a cursive style.

Matthew J. Oates, P.E.
Director, Engineering

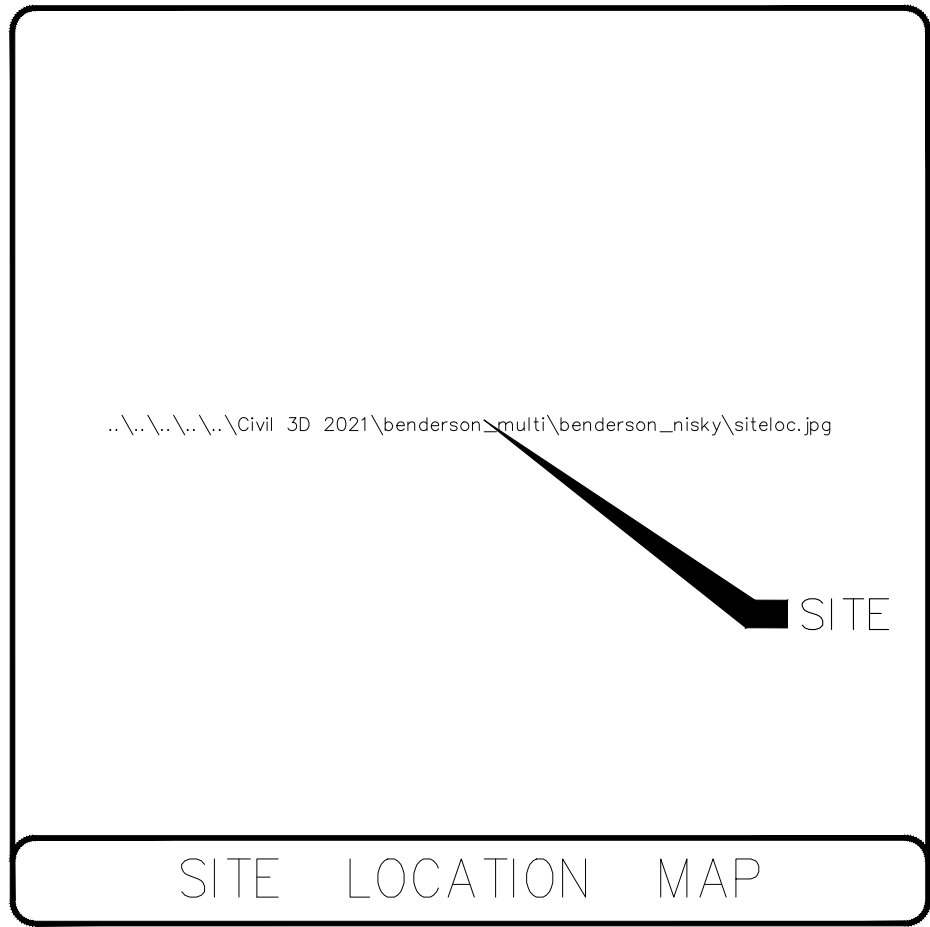
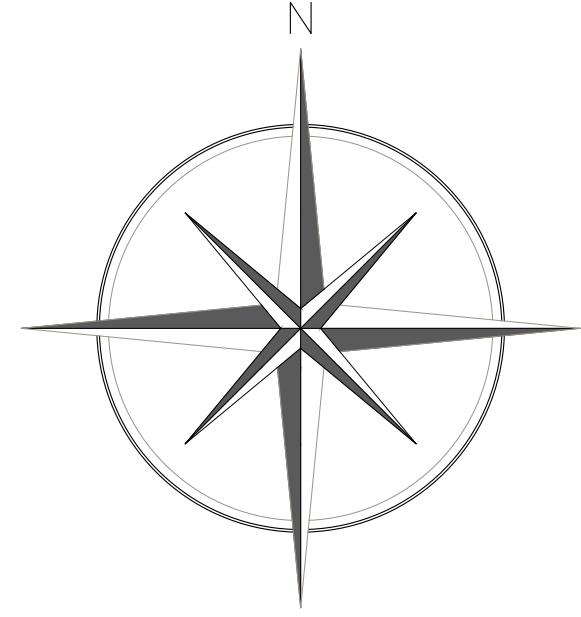
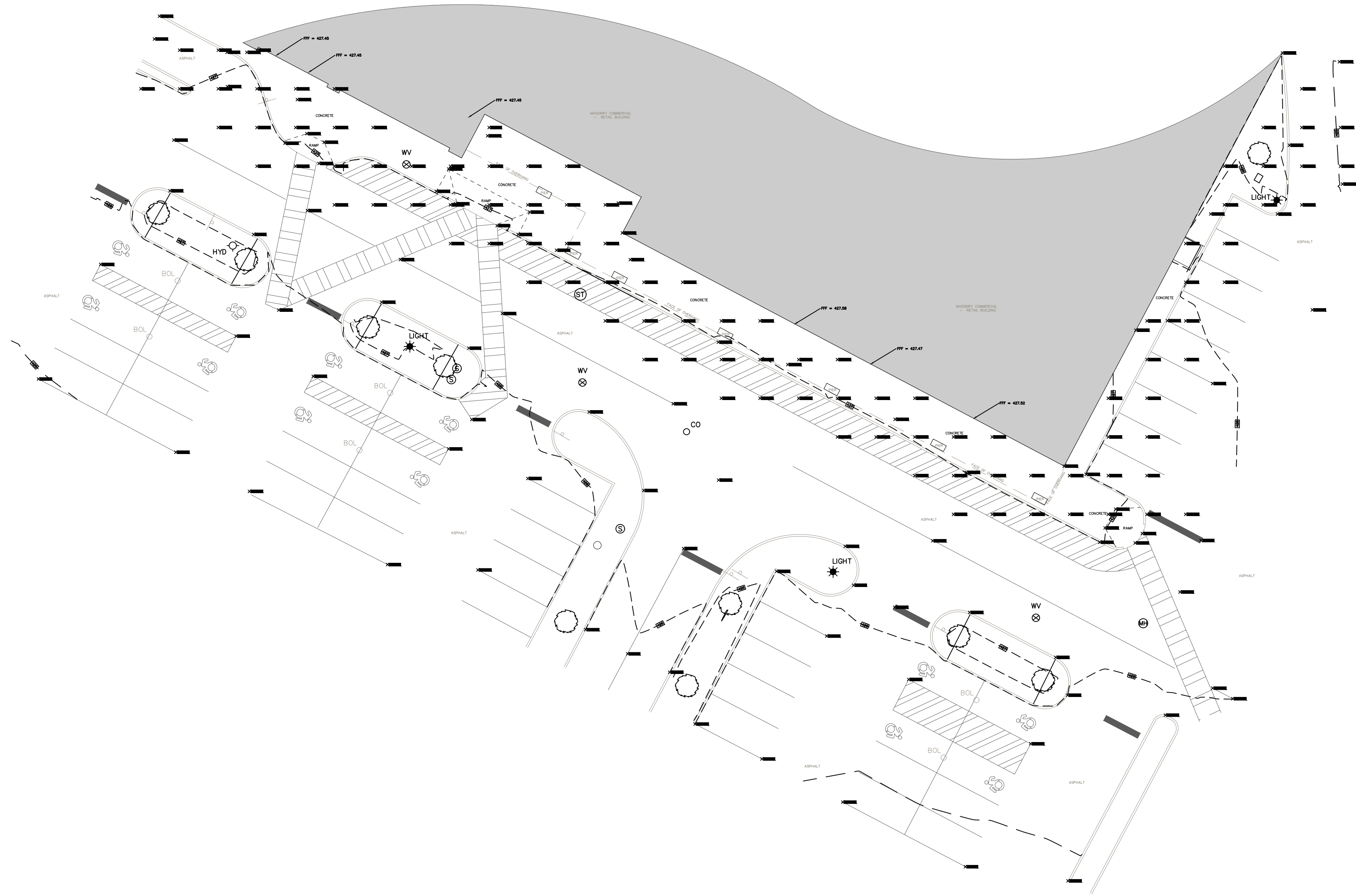
SITE DEVELOPMENT DRAWINGS

NAME:	GERALD R GRAY- LICENSED LAND SURVEYOR
ADDRESS:	LATHAM, NY 12110
CONTACT:	GERALD R GRAY
PHONE:	518-312-1335

NYSDOT - HIGHWAY & UTILITY PERMITS	
NAME/TITLE:	PATTI LESTER, SECRETARY
COMPANY/DEPT:	NEW YORK STATE DEPARTMENT OF TRANSPORTATION (TOWN OF NISKAYUNA)
ADDRESS:	1040 WTRY ROAD, NISKAYUNA, NY 12309
PHONE:	518-785-9753

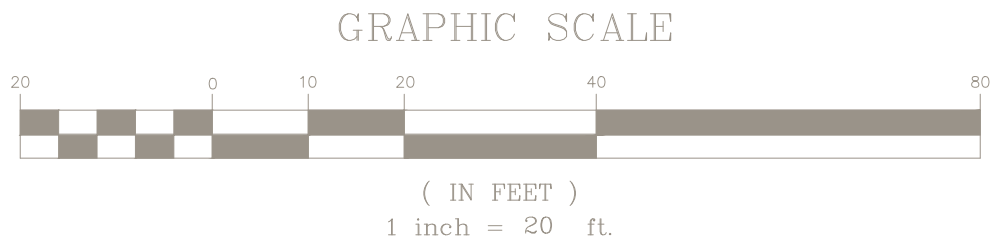
SCALE:
UNITS
DRAWN BY:
KER
CHECKED BY:
MAO
DATE:
C1.0

File: H:\BENDERSON\3722-NISKAYUNA SQUARE SITE SURVEY\3722-NISKAYUNA SQUARE SITE SURVEY\DWG 5000.dwg Saved: 4/17/2021 9:19:05 PM Plotted: 8/2/2021 3:08:48 PM User: Katherine Rowe



NOTES:

- 1) SURVEYED PARCEL: TOWN OF AMSTERDAM - TAX MAP 39.00, BLOCK 5, PARCEL 2.
- 2) SURVEY PREPARED BY GERALD R. GRAY, PLS, FROM MAP REFERENCE AND AN APRIL 2021 FIELD SURVEY.
- 3) NORTH IS REFERENCED TO NAD 83 NEW YORK STATE PLANES EAST ZONE. ELEVATIONS AND TOPOGRAPHY BASED UPON NAVD 88 DATUM.
- 4) SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTION; RECORDED OR UNRECORDED.
- 5) SUBJECT TO ANY STATEMENT OF FACT CONTAINED IN AN UP TO DATE ABSTRACT OF TITLE OR TITLE REPORT.
- 6) UNDERGROUND UTILITIES IF SHOWN HEREON ARE BASED ON VISIBLE PHYSICAL EVIDENCE. THEY SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE SHOWN TO DEPICT GENERAL UTILITY CONNECTIONS RATHER THAN EXACT UNDERGROUND LOCATIONS. GERALD R. GRAY PLS MAKES NO CERTIFICATION AS TO THE ACCURACY OF THE UNDERGROUND UTILITY LOCATIONS AND OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP. CALL DIGSAFE FOR FURTHER VERIFICATION.
- 7) SURVEY IS PREPARED IN ACCORDANCE WITH THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS CODE OF PRACTICE FOR LAND SURVEYS AS ADOPTED IN OCTOBER OF 1966 AND LAST REVISED ON JULY 18, 1997.



..\\..\\12-15 GRG STAMP.jpg

Gerald R Gray NYSPLS 50513

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE VALID. COPIES CERTIFICATES INDICATED OR IMPLIED HEREON SHALL RUN ONLY TO THE PARTY FOR WHOM THE SURVEY IS PREPARED, AND ON THEIR BEHALF TO THE ADDITIONAL PARTIES LISTED HEREON. CERTIFICATES ARE NOT TRANSFERABLE TO ADDITIONAL PARTIES OR SUBSEQUENT OWNERS, NOT LISTED HEREON.

No.	Submittal / Revision	App'd	Date
-----	----------------------	-------	------

Drawn:	GRG	Date:	4/14/21
--------	-----	-------	---------

Designed:		Date:	
-----------	--	-------	--

Checked:	GRG	Date:	4/14/21
----------	-----	-------	---------

Project Number

Project Title

Niskayuna Square

3333-3337 Consaul Road

Property ID 3722J04

Niskayuna, NY 12304

Prepared For

**BENDERSON
DEVELOPMENT**

570 DELAWARE AVE.,
BUFFALO, NY 14202 (716) 886-0211

Drawing Title

Limited
Topographic Survey

Drawing Scale:

1" = 20'

Date:




April 14, 2021

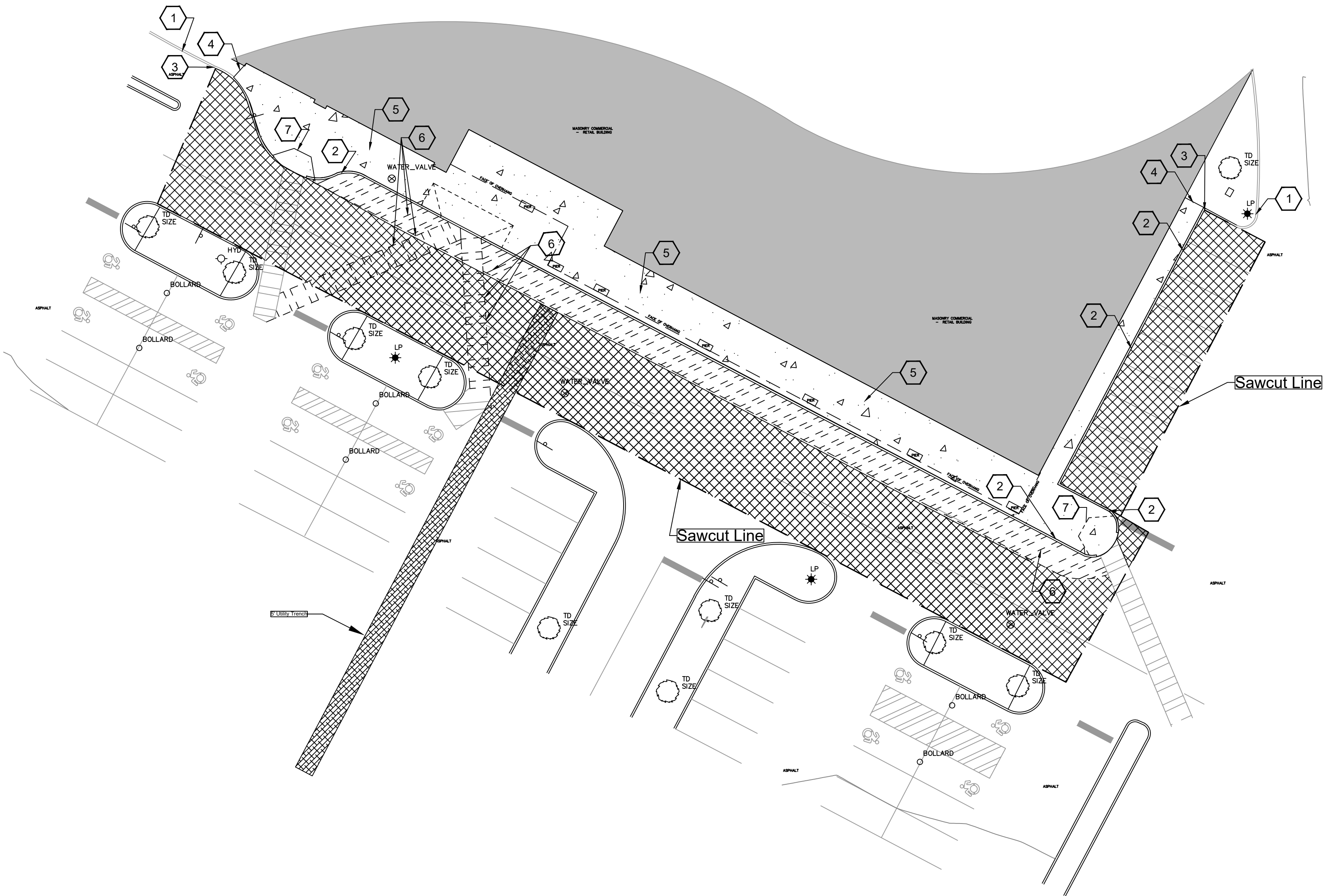
Drawing Number

1 of 1

- GENERAL NOTES:
1. INSTALL ALL MATERIALS TO MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARDS OF TRADE INVOLVED.
 2. SUBSTITUTIONS SHALL BE MADE ONLY WITH OWNER'S APPROVAL AND BE OF EQUIVALENT QUALITY TO WHAT IS SPECIFIED.
 3. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND OSHA SAFETY RULES AND REGULATIONS.
 4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE. NOTIFY OWNER & ENGINEER OF DISCREPANCIES IN CONDITIONS SHOWN ON DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ANY EXISTING STRUCTURES TO REMAIN AND ANY FINISH MATERIAL INSTALLED WHILE WORKING ON OTHER COMPONENTS.
 6. CONTRACTOR SHALL KEEP JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF OWNER.
 7. CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION SO THAT THIS WORK WILL NOT DISTURB EXISTING LINES AND/OR INSTALLATIONS EXCEPT AS DETAILED ON THE PLANS. COORDINATE ALL WORK WITH THE APPLICABLE UTILITY COMPANIES.
 8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS NECESSARY TO PERFORM THE WORK.
 9. BUILDING DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR LAYOUT DIMENSIONS.
 10. SIDEWALK DIMENSIONS ARE APPROXIMATE. REFER TO ARCHITECTURAL DRAWINGS FOR THE SIDEWALK PLAN.
 11. CONCRETE SIDEWALK SEALERS: (REFER TO ARCHITECTURAL PLANS FOR LOCATION OF CONCRETE TYPES.)
 - 11.1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
 - 11.2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.
 12. LIGHTING FIXTURE ARROW SYMBOLS REFER TO THE DIRECTION THAT THE FIXTURES ARE REQUIRED TO FACE. SPECIFIC MOUNT BRACKETS WILL BE REQUIRED DEPENDING ON ORIENTATION AND FIXTURE COUNT.
 13. CURB ISLAND DIMENSIONS ARE FROM INSIDE OF CURB TO INSIDE OF CURB.

- DEMOLITION NOTES: #
1. Existing Curb to Remain.
 2. Existing Curb to be Removed.
 3. Limit of Curb Removal.
 4. Limit of Sidewalk Removal.
 5. Existing Concrete Sidewalk to be Removed.
 6. Existing Striping to be Removed.
 7. Existing Ramp to be Removed.

- DEMO LEGEND:
-  Concrete Sidewalk to be Removed
 -  Existing Pavement to be Removed
 -  Existing Striping to be Removed



DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
UNAUTHORIZED ALTERATIONS OF THIS DOCUMENT ARE IN VIOLATION OF SECTION #7209 OF THE STATE EDUCATION LAW.



PROPERTY NUMBER: # 3722
AREA: -

3333-3337 CONSAUL RD
NISKAYUNA, NY 12304

SIDEWALK REPLACEMENT

CONSULTANT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Demolition Plan

SCALE:
1:20
DRAWN BY: KER
CHECKED BY: MAO
DATE: 07.28.21
DRAWING NO.
C3.0

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK
FOR A PERIOD OF ONE YEAR FROM THE DATE OF
OWNERS ACCEPTANCE.

NOTICE
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IN VIOLATION OF SECTION #7209 OF THE STATE
EDUCATION LAW.



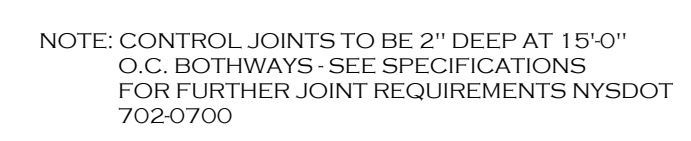
SIDEWALK REPLACEMENT

JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR

SEAL



C4.0



1" MILL & OVERLAY WITH TACK.

18"






1" SAWCUT DEPTH

PROPOSED PAVEMENT. REFER TO PAVEMENT DETAIL FOR CONSTRUCTION MAKE-UP

EXISTING PAVEMENT

SITE LEGEND:

----- Match into Existing Pavement

	Proposed Concrete Sidewalk
	Proposed ADA Ramp
	Proposed Landscaping
	1" Mill and Overlay
	Proposed New Pavement

CONCRETE SIDEWALK SEALERS:

1. GREY CONCRETE SIDEWALKS SHALL HAVE CHEMMASTERS - SILENCURE WITHIN 2HRS AFTER FINAL FINISHING OF CONCRETE AND ALL BLEED WATER HAS DISSIPATED.
2. EXPOSED AGGREGATE/STAMPED CONCRETE SIDEWALKS SHALL HAVE ONE (x1) COAT CHEMMASTERS - SILENCURE AS SOON AS CONCRETE HAS DRIED AFTER PRESSURE-WASHING THE RELEASE AGENT OFF. APRX 30 DAYS AFTER THIS (IF WEATHER PERMITS) APPLY ONE (x1) COAT OF CHEMMASTERS - POLYSEAL EZ.

BUTT JOINT

12" #4 DOWEL
@ 24" C.C

PAVEMENT ELEVATION
& DIMENSION TO THIS POINT

REFER TO LAYOUT

Technical drawing of a roof section showing a cross-section of a roof with insulation, structural layers, and a drainage system. The drawing includes a scale bar at the bottom right.

4" 3,500 PSI CONCRETE
CYC 1010 W/W/M

6x6 10/10 W.W.M. PRIOR TO PAVING

4" COMPACTED CRUSHED 4" PERFORATED

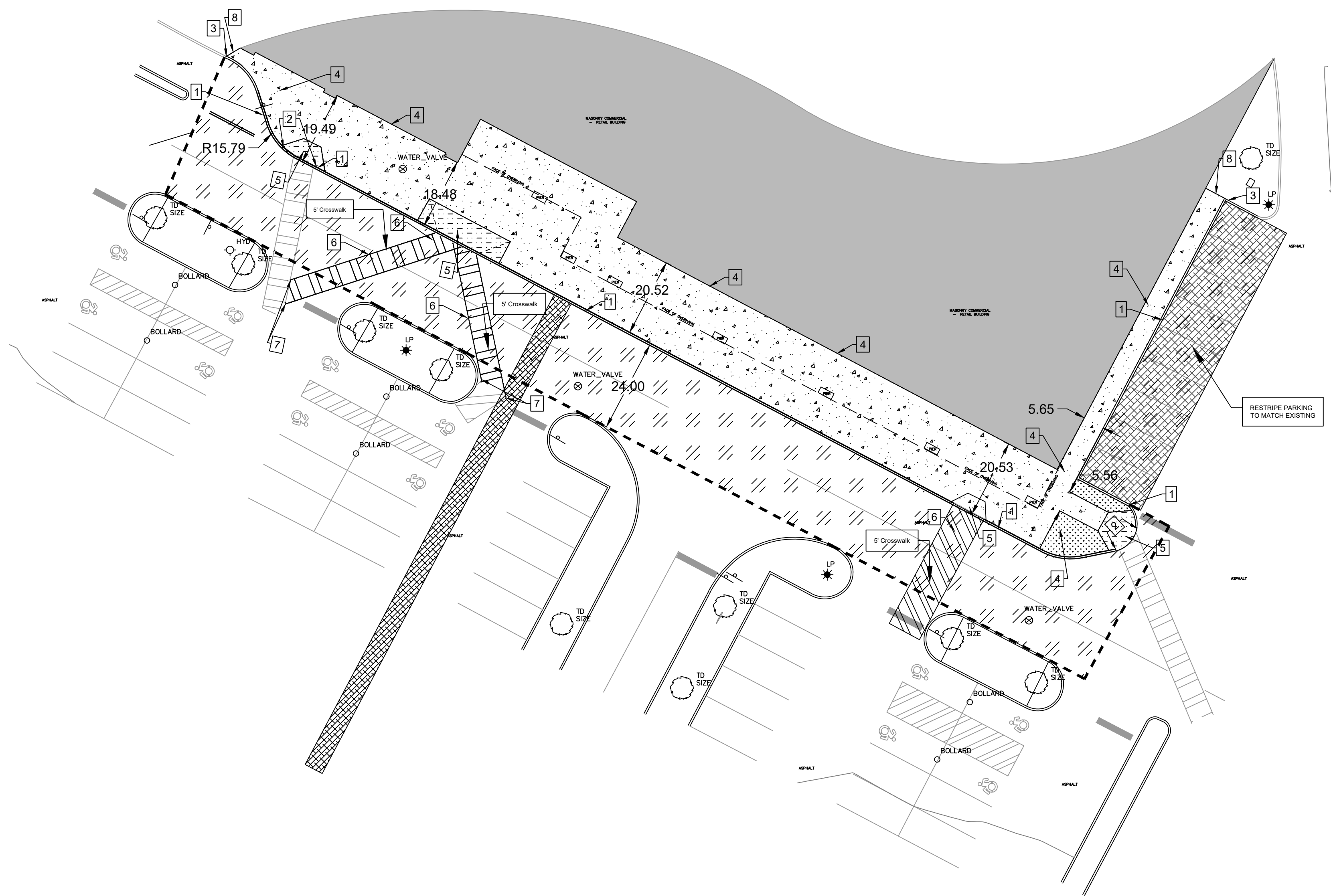
STONE OR GRAVEL NYS DOT ITEM 304.03	HDPE UNDER DRAIN WITH SOCK
--	-------------------------------

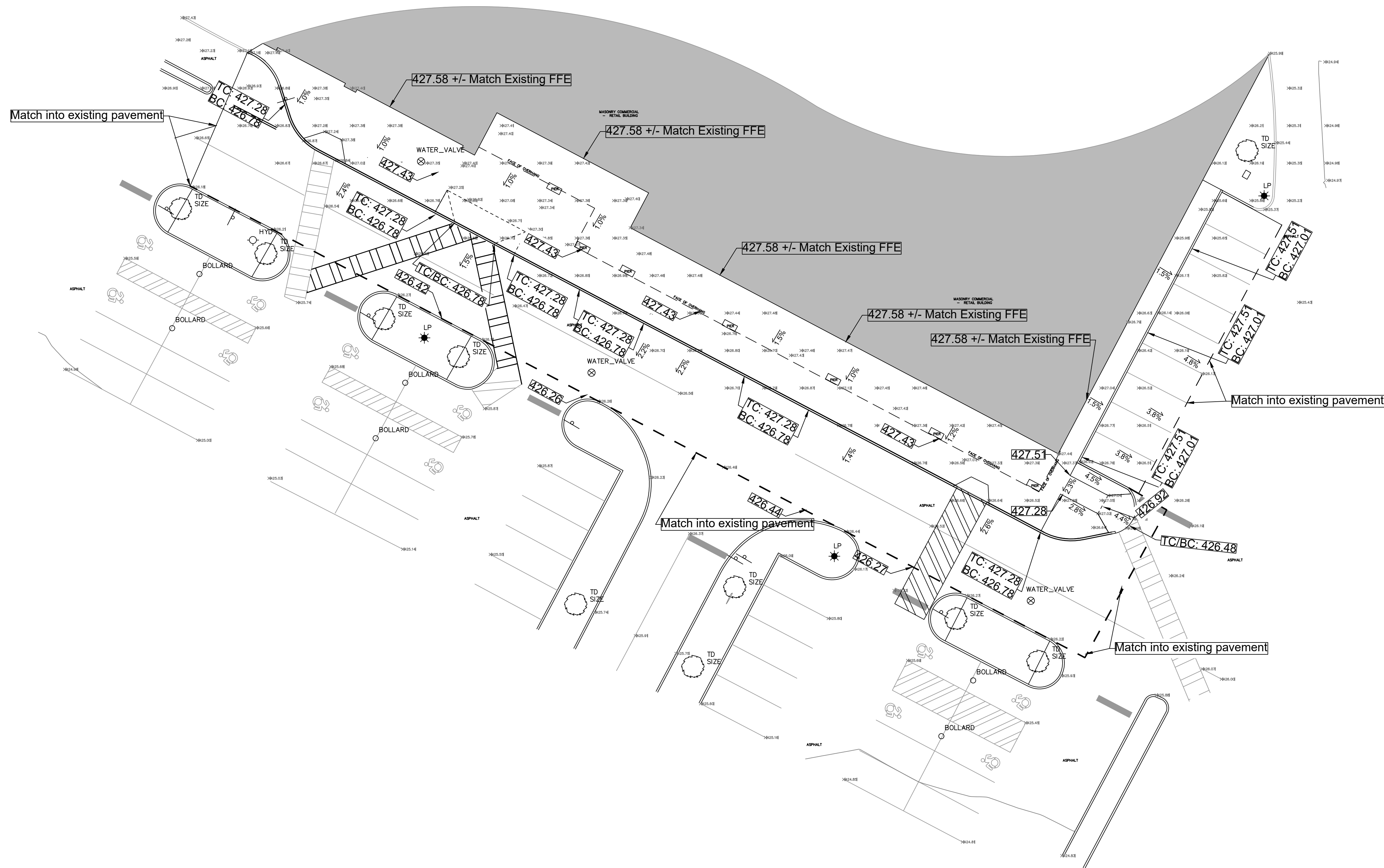
GRADED AT 1.5%
TOWARDS PERFORATED

ING	PIPE.	CONDENS
ION		

DING SIDEWALK DETAIL

CONTRACTOR TO VERIFY WITH OWNER ON CURB DETAIL





DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

NOTICE
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PROPERTY NUMBER: # 3722
AREA: -

3333-3337 CONSUL RD
NISKAYUNA, NY 12304

SIDEWALK REPLACEMENT

CONSULTANT

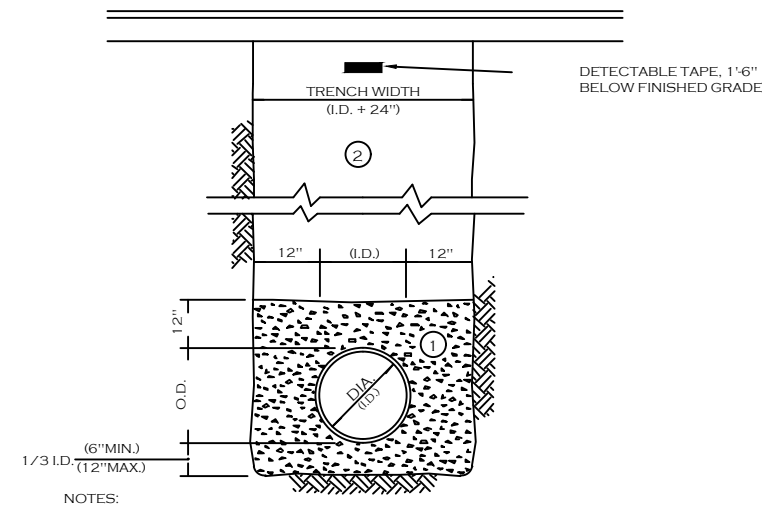
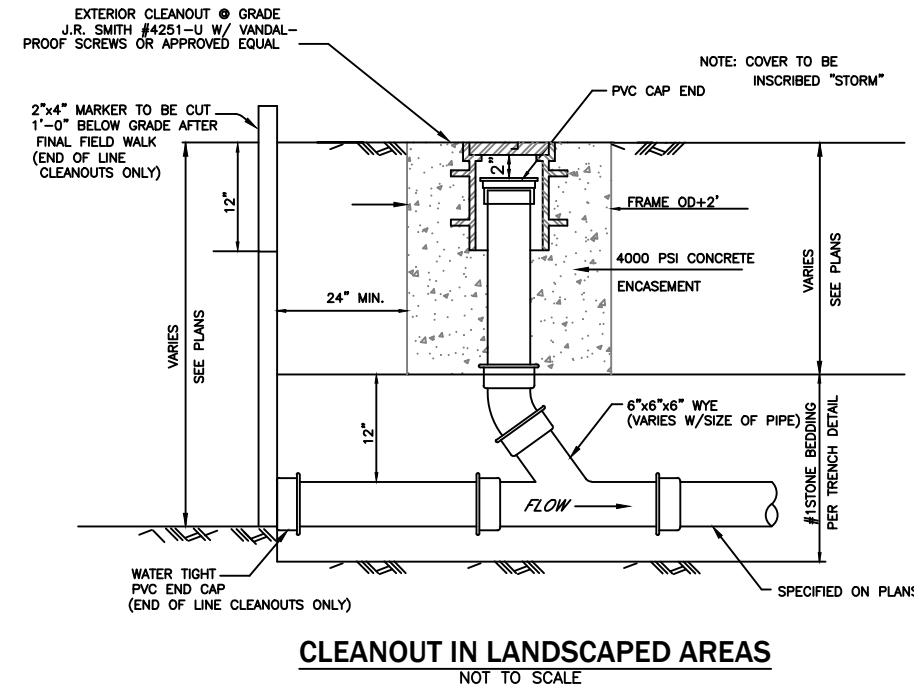
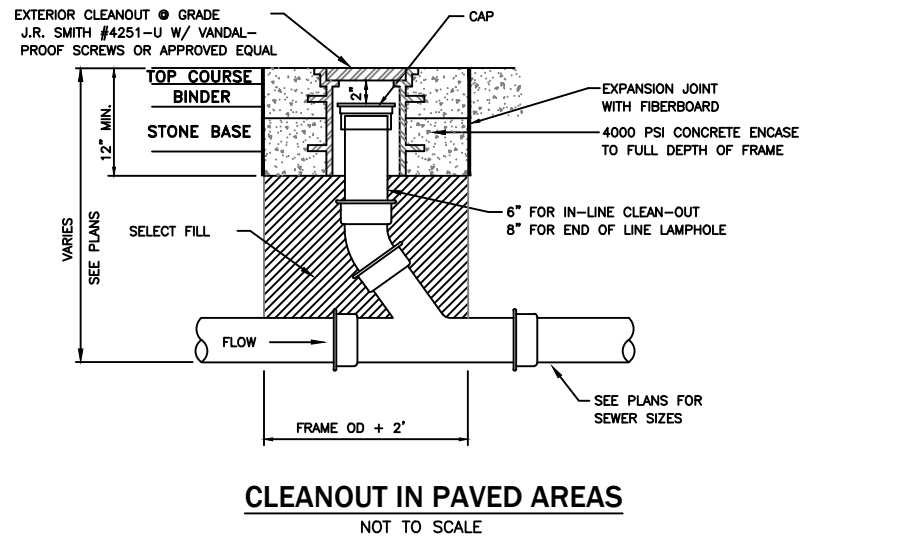
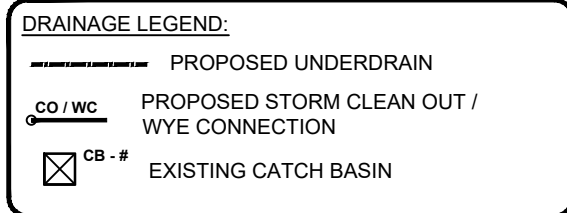
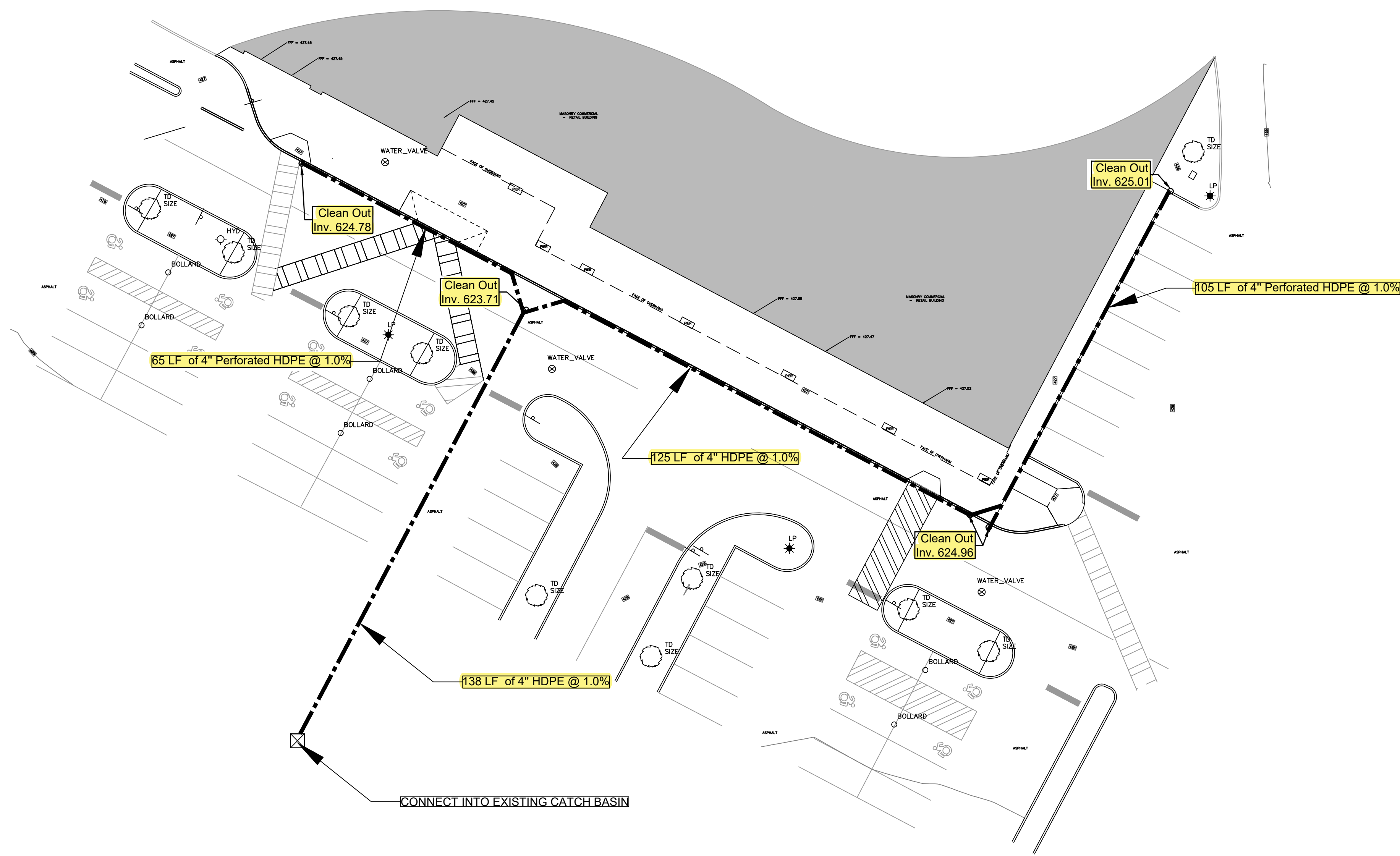
JAMES ALLEN RUMSEY
ARCHITECT
PREPARED FOR
BENDERSON DEVELOPMENT
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



TITLE:
Grading Plan

SCALE:
1:16
DRAWN BY: KER
CHECKED BY: MAO
DATE: 07.28.21
DRAWING NO.
C5.0



NOTES:

- PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- TRENCHING OPERATIONS SHALL INCLUDE ALL NECESSARY DEWATERING.
- TRENCH DETAILS ARE ONLY SHOWN FOR PURPOSES OF MATERIAL PLACEMENT AND MAXIMUM FOOT LIMITS.
- AN OSHA APPROVED MOVABLE PROTECTIVE TRENCH SHIELD SHALL BE USED IN ALL UNBERTESTED TRENCH AREAS.

MATERIALS

PIPE BEDDING MAXIMUM DEPTH - 18\"x18\" SECTION

- NO. 1 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.02. THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN ONE INCH AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6\" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- NO SLAG SHALL BE ALLOWED FOR MATERIAL.
- TYPE 2 CRUSHED STONE OR CRUSHED GRAVEL WITH A GRADATION CONFORMING WITH HYSDOT SECTION 703.02.2 (2\" TYPE 2). THE MATERIAL SHALL BE WELL GRADED WITH NO PARTICLES LARGER THAN TWO INCHES AND HAVING A MAXIMUM GRADATION MEETING THE LIMITS DESCRIBED IN THE SPECIFICATIONS. THE BEDDING SHALL BE COMPACTED IN 6\" LIFTS WITH EQUIPMENT ACCEPTABLE TO THE PIPE MANUFACTURER.
- NO SLAG SHALL BE ALLOWED FOR MATERIAL.

DRAWING REVISIONS:			
No.	DATE	BY	REMARKS

SPECIAL INFORMATION:
ALL CONTRACTORS SHALL GUARANTEE THEIR WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNERS ACCEPTANCE.

SHOP DRAWING SUBMITTALS ARE REQUIRED FOR ANY AND ALL STRUCTURES.

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PROPERTY NUMBER: # 3722

AREA: -

**3333-3337 CONSAL RD
NISKAYUNA, NY 12304**

SIDEWALK REPLACEMENT

CONSULTANT

**JAMES ALLEN RUMSEY
ARCHITECT**
PREPARED FOR

**BENDERSON
DEVELOPMENT**
570 DELAWARE AVE., BUFFALO, NY 14202
(716) 886-0211

SEAL



**Storm Drainage
Plan**

SCALE:
1:20

DRAWN BY: KER

CHECKED BY: MAO

DATE: 07.28.21

DRAWING NO. **C5.1**

3333/3337 Consaul Road

(1 of 2)

Parcels

Property Address	3333/3337 CONSAUL RD
Municipality	Niskayuna
Print Key	60.-1-11.11
SWIS Code	422400
SBL	06000000010110110000
Owner	MSF NISKAYUNA, LLC,
Owner Street	570 DELAWARE AVE
Owner City-State	BUFFALO, NY 14202

[Zoom to](#)

Parcel Search

All 3333/3337 Search

View Parcel Search Options 9 results...

Drag a column header and drop it here to group by that column

Identifier	Name	Number	Address	City	Zip
60.-1-11.11		3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 3, Coco's Nail Salon	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 1, Orangetheory	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Key Bank	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Hannaford	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 2b, Fortune Cookie	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 4, Wine&Liquor	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	CAPCOM	3333/3337	Consaul Rd	Niskayuna	12304
60.-1-11.11	Ste 2a, Power Yoga NY	3333/3337	Consaul Rd	Niskayuna	12304

3333/3337 Consaul Rd,
Niskayuna 12304
MSF Niskayuna, LLC

Select Cancel



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 5/23/2022

ITEM TITLE: DISCUSSION: 2303 Nott St. E. – Starbucks -- site plan app. for interior and exterior renovations including new signage.

PROJECT LEAD: Genghis Khan

APPLICANT: Daniel Brennan, Starbuck permit agent

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Daniel Brennan, Starbucks permit agent, submitted an Application for Site Plan Review for internal and external remodeling of the Starbucks at 2303 Nott St. E. The remodeling includes general painting and interior remodeling, relocating new exterior menu boards and new signage.

The property falls within the C-N Neighborhood Commercial zoning district and Town Center Overlay district. Sections 220-10E (3) (d) and 220-13, Schedule I-D of the Niskayuna zoning code, do not allow restaurants with vehicle pick-up and ordering facilities in the C-N district. However, the Zoning Board of Appeals (ZBA) granted a use variance on November 28, 2012 allowing the restaurant with its present vehicle pick-up and ordering configuration.

Summary of Action Requested by the Planning Board

- A waiver for a façade sign with a sign area of 100% logo is requested as noted below.

BACKGROUND INFORMATION

Documentation Package

A completed site plan application and 26-page documentation package was provided that includes the following.

Pages 1 – 9 of the 26 page package

- Pages 4 – 9 -- Entitled Niskayuna Shoprite Sq.

- By Bergman Architects Engineers Planners, Philadelphia, PA

No.	Name	Sheet #	Issue Date	Rev.	Rev Date
1	Picture of main entrance	NA	NA	NA	NA
2	Pic. of outdoor seating	NA	NA	NA	NA
3	Pic. of drive-thru exit	NA	NA	NA	NA
4	Demo floor plan	D101	2/14/22	1	4/12/22
5	Demo elevations	D103	2/14/22	1	4/12/22
6	Life Safety Plan	G002	2/14/22	2	5/18/22
7	Ref site plan	A001	2/14/22	2	5/18/22
8	Bldg. exterior elevation	A201	2/14/22	2	5/18/22
9	FF & E plan	I101	2/14/22	2	5/18/22

The originally issued versions of the drawings included proposed modifications to the existing building that were removed from the project scope. The areas of the building where these proposed modifications were to occur are identified on the Rev. 1 & 2 drawings with scalloped red balloons.

Pages 10 – 26 of the 26 page package

- Entitled Starbucks Coffee #7363
- 2303 Nott St. E., Niskayuna, NY 12309
- By Hilton Displays, Greenville, SC
- All drawings contain a “Dwg. Date” of 3/1/22
- All drawings contain a “Rev. Date / Revision” of 4/21/22

All pages of the Hilton Displays drawing package were reviewed relative to Niskayuna zoning code.

Elevation: Proposed – Main Entry

--- Page 15 of 24

--- Displays the Exterior Elevation – Main Entry

--- Displays “Logo” façade sign “K” 60” Siren

--- Section 220 – 48.4 E (5) Logo of the zoning code states: “In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign area to comprise not more than 30% of the sign area...”

--- As proposed the logo comprises 100% of the sign & requires a waiver

--- **A waiver of 70% of logo area is requested resulting in a façade sign with an area of 100% logo**

5/9/22 Planning Board (PB) meeting – Mr. Brennan appeared at the meeting on behalf of Starbucks and described the goals of the project as a general interior decoration and exterior signage refresh and slight reconfiguration of the drive-thru aimed at reducing the in-line wait time. The site plan drawing for the redesign relocates the pre-order and menu boards two cars to the left from their present positions. Mr. Brennan referenced studies that have been performed by the Starbucks Corporation that indicate providing additional distance between ordering and pickup / payment reduces overall wait time and reduces the instances of people waiting at the pickup / payment window for their item to be prepared.

The Planning Office (PO) and PB reviewed the waivers that would be needed. Mr. Brennan agreed to reduce the area of the proposed two signs for side entry façade and combine them into a single sign such that the resulting sign area is 23 sq. ft. or less, thereby making them

compliant with code and eliminating the need for any waivers related to this sign. The area of the newly designed single sign is 22 sq. ft. and is therefore compliant.

The PB asked Mr. Brennan to provide the Board with copies of wait time data for this particular Starbucks location and copies of the Studies that he mentioned that were performed by the Starbucks Corporation.

In order to treat all the plaza tenant change applications equally, the Planning Board should also discuss the landscaping that has died in the vicinity of Starbucks that needs to be removed and replaced.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name DANIEL BRENNAN -
STARBUCKS PERMIT AGENT

Address 8 STONEGATE LANE,
SALEM NH 03079

Email DPBPERMITS@GMAIL.COM

Telephone 603-505-5633 Fax _____

Location:

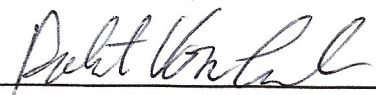
Number & Street 2303 NOTT ST E

Section-Block-Lot 40. - 1 - 17.3

Zoning District C-N Neighborhood Commercial

Proposal Description: STABUCKS RENOVATION- EXTERIOR WORK TO INCLUDE:
REMOVE EXISTING WALL SIGNAGE AND INSTALL NEW WALL SIGNS. PAINT
EXISTING CANOPIES (2) MAIN ENTRANCE AND ONE OVER DRIVE THRU WINDOW
UPDATE PATIO FURNITURE. RELOCATE AND UPDATE DRIVE THRU EQUIPMENT
CLEARANCE BAR, PRE-MENU BOARD, ORDER SCREEN WITH CANOPY AND 3 PANEL
MENU BOARD

Signature of applicant:  Date: 04/25/22

Signature of owner (if different from applicant): 

Date: 4/27/22







LEGEND

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- PRESERVE FOR FUTURE USE
- EXISTING TO REMAIN
- EXISTING WALL FINISH TO BE DEMOLISHED

ITEMS TO PRESERVE

- FRONT BAR:**
- MAESTRO'S (2)
 - UNDERCOUNTER FRIDGES (2)
 - SAFE
 - POS PRINTER
- BACK BAR:**
- BREWER
 - SHUTTLES (4)
 - UNDERCOUNTER FRIDGE (2)
 - CUP CADDY
 - DT POS EQUIPMENT
- BACK OF HOUSE:**
- ALL METRO RACKS
 - FREEZERS
 - FRIDGES
- SITE:**
- BIKE RACK

ITEMS TO DEMOLISH

- FRONT BAR:**
- ZEPHYR
 - POS (2)
 - POS CASEWORK
 - ESP ICE BIN, SINKS, AND CASEWORK
- BACK BAR:**
- BREW EQUIPMENT AND CASEWORK
 - NITRO STATION
 - WARMING STATION
 - CBE STATION
 - DT POS CASEWORK
- CAFE:**
- FLOORING
 - ALL FURNITURE AND FIXTURES
 - MERCH SHELVINGS
 - REFRIDGERATED FOOD CAGE
 - MERCH SHELVING

- RESTROOMS:**
- EXISTING RESTROOMS

- SITE:**
- CLEARANCE BAR
 - ORDER POINT
 - CANOPY
 - ALL EXTERIOR FURNITURE
 - MENU BOARD

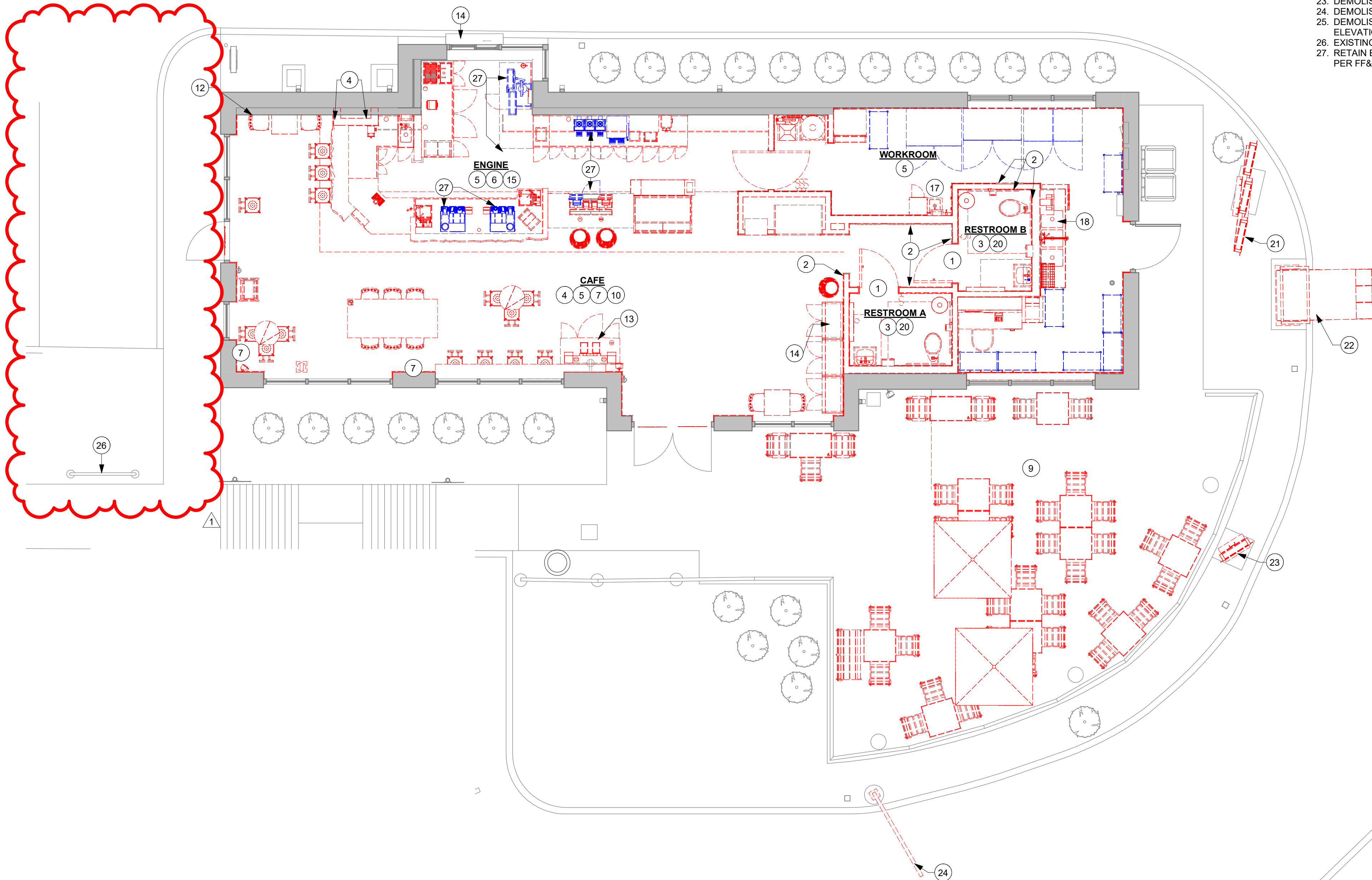
- WORKROOM:**
- ICE MACHINE
 - LOCKER
 - HAND SINK
 - MOP SINK
 - WATER FILTRATION EQUIPMENT
 - 3 COMP SINK
 - MANAGER'S DESK
 - FLOORING

KEYED NOTES

1. DEMOLISH EXISTING DOOR FRAME AND ASSOCIATED FASTENERS.
2. DEMOLISH INTERIOR PARTITION FROM FLOOR TO UNDERSIDE OF STRUCTURE.
3. DEMOLISH EXISTING RESTROOMS AND CAP PLUMBING.
4. DEMOLISH EXISTING WALL FINISH. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.
5. DEMOLISH EXISTING FLOORING. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH.
6. DEMOLISH EXISTING CASE WORK, HANGING DEVICES, AND FASTENERS AS SHOWN. DEMOLISH ASSOCIATED ELECTRICAL AND DATA LINES, CAP EXISTING PLUMBING.
7. DEMOLISH EXISTING FIXTURES, FURNITURE, AND EQUIPMENT. REFERENCE SCHEDULES ON THIS SHEET FOR ITEMS TO BE PRESERVED.
8. NOT USED.
9. ALL EXISTING OUTDOOR FURNITURE, UMBRELLAS, AND STANDS TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL OF FURNITURE FROM SITE.
10. ALL EXISTING CAFE FURNITURE TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL OF FURNITURE FROM SITE.
11. EXISTING MERCHANDISE BAYS TO BE DEMOLISHED.
12. EXISTING ARTWORK, MURAL AND COMMUNITY BOARD TO BE DEMOLISHED.
13. EXISTING CONDIMENT CART TO BE REMOVED. COORDINATE WITH STARBUCKS CM FOR DISPOSAL.
14. EXISTING DRIVE THRU WINDOW TO REMAIN.
15. DEMOLISH EXISTING COUNTERTOPS AND UNDERCOUNTER CASEWORK AT FRONTBAR AND BACKBAR.
16. EXISTING MENU BOARDS TO BE DEMOLISHED.
17. EXISTING HAND SINK TO BE DEMOLISHED.
18. EXISTING 3- COMP SINK TO BE DEMOLISHED.
19. EXISTING ICE BIN TO BE DEMOLISHED.
20. EXISTING PLUMBING FIXTURES, CHANGING TABLE, HAND DRYER, MIRROR AND SCONCE IN RESTROOM TO BE REMOVED.
21. DEMOLISH EXISTING MENU BOARD
22. DEMOLISH EXISTING ORDER POINT
23. DEMOLISH EXISTING PRE-MENU BOARD
24. DEMOLISH EXISTING CLEARANCE BAR
25. DEMOLISH EXISTING SIGNAGE. REFER TO EXTERIOR ELEVATIONS.
26. EXISTING BIKE RACK TO REMAIN
27. RETAIN EXISTING ITEM AS SHOWN FOR RELOCATION PER FF&E PLAN

GENERAL NOTES

- A. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY.
- B. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF EXISTING CONDITIONS DEVIATE FROM CONSTRUCTION DOCUMENTS.
- C. REMOVE EXISTING INTERIOR WALL FINISH AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVE WALL COVERINGS ON EXISTING WALLS TO REMAIN THAT FACE AREAS OF DEMOLITION. REMOVAL SHALL INCLUDE ANY RESIDUAL MATERIAL AFTER DEMOLITION, (I.E. PIECES OF WALL COVERING OR BACKING). REMOVAL OF ALL COVERINGS IS TO BE DONE W/O DAMAGING THE EXISTING WALL SURFACE TO REMAIN. ALSO REMOVE WALL DEVICES AND ITEMS MOUNTED TO WALLS.
- D. REMOVE EXISTING FLOORING AS SHOWN. PATCH, REPAIR AND PREP. SUBSTRATE TO RECEIVE NEW FINISH. REMOVAL OF EXISTING FLOORING INCLUDES, BUT IS NOT LIMITED TO REMOVAL OF EXISTING CERAMIC TILE, CARPET OR VINYL TILE FLOORING AND ASSOCIATED WALL BASE. SUBFLOOR TO BE STRIPPED OF ALL COVERING/FINISH AND CLEANED TO REMOVE EXISTING ADHESIVE, GROUT, MORTAR, DIRT AND COATINGS. FINAL SURFACE TO BE STREAK-FREE WITH NO MACHINE MARKS AND/OR SMOOTH, STABLE AND LEVEL. PROVIDE LEVELING WHERE NECESSARY TO ACCOMMODATE NEW FINISHES.
- E. DEMOLITION PLANS REPRESENT APPROXIMATE LOCATION OF EXISTING WALLS TO BE DEMOLISHED. FIELD VERIFY TYPE OF CONSTRUCTION AND HEIGHT OF WALLS. PLANS DO NOT NECESSARILY INDICATE ALL DEMO WALLS, COUNTERS, HANDRAILS, WALL PROTECTION, CLOSETS, SINKS ETC. PRIOR TO DEMOLITION, FIELD VERIFY THAT WALLS TO BE REMOVED DO NOT PROVIDE SUPPORT FOR EXISTING BUILDING ELEMENTS AND EXISTING CONSTRUCTION TO REMAIN. NOTIFY STARBUCKS CONSTRUCTION MANAGER IF DEMOLITION WALLS SUPPORT EXISTING BUILDING ELEMENTS.
- F. DEMOLISH AND REMOVE DOORS, VINYL BASE, CONDUIT, WIRING, DUPLEXES, DATA OUTLETS, CABLES, SHELVING, METAL STUD AND GYPSUM BOARD WALLS, CLOSETS, CABINETS, FILES, COUNTERS, WOOD MOLDING, SHELVES AND ENCLOSURES WHERE APPLICABLE.
- G. VERIFY WITH STARBUCKS CONSTRUCTION MANAGER ACCESS TO THE DEMOLITION AREA, INGRESS AND EGRESS ROUTES FOR MATERIAL AND EQUIPMENT.
- H. PROTECT EXISTING FLOORS, WALLS AND CORNERS TO REMAIN ALONG WORK ACCESS ROUTES.
- I. CONTAIN DUST AND DEBRIS WITHIN THE DEMOLITION AREA.
- J. THE GENERAL CONTRACTOR SHALL PERFORM WORK IN A MANNER THAT DOES NOT DAMAGE THE EXISTING STRUCTURE. DEMOLITION SHALL NOT COMPROMISE THE STRUCTURAL INTEGRITY OF ANY WALLS, FLOORS, CEILINGS, SUPPORTS, STRUCTURE, ETC. TO REMAIN.
- K. ALL DEMOLITION MATERIALS AND DEBRIS SHALL BE DISPOSED OF ACCORDING TO FEDERAL, STATE AND LOCAL REGULATIONS.
- L. AT LOCATIONS WHERE EXISTING WALLS ARE TO BE REMOVED NEAR EXISTING WALLS TO REMAIN, PERFORM DEMOLITION WITHOUT DISTURBING EXISTING ELEMENTS TO REMAIN. WALLS TO REMAIN SHALL BE INTACT AND HAVE A NEAT SURFACE.
- M. REFER TO "ITEMS TO BE PRESERVED" LIST FOR ITEMS THAT SHALL BE SALVAGED FOR RELOCATION. VERIFY WITH OWNER FOR ON SITE STORAGE LOCATION OF SALVAGED ITEMS.
- N. DAMAGED FIREPROOFING SHALL BE REPAIRED/ REPLACED TO MATCH EXISTING.
- O. THE GENERAL CONTRACTOR SHALL DEMOLISH ANY EXISTING ABANDONED VOICE/DATA CABLING AND DEAD OR NON-USE ELECTRICAL BACK TO PANEL. ALL RECEPTACLES NOT REUSED ARE TO BE REMOVED, PATCHED AND PAINTED.
- P. REMOVAL OF LOW VOLTAGE EQUIPMENT, PERTAINING TO DATA/COMMUNICATIONS AND TELEPHONE SHALL BE VERIFIED BY THE STARBUCKS CONSTRUCTION MANAGER PRIOR TO REMOVAL. SALVAGED EQUIPMENT SHALL BE STORED IN A CLIMATE CONTROLLED ENVIRONMENT FOR FUTURE INSTALLATION.
- Q. LABEL ALL ITEMS AND PROPERLY STORE FOR RE-INSTALL.
- R. REMOVE EXISTING PLUMBING FIXTURES AND HVAC EQUIPMENT AS NECESSARY. CAP LINES AND TERMINATE DUCTS AS NECESSARY FOR THOSE NOT BEING RE-USED.



1 DEMOLITION PLAN

Scale: 3/16" = 1'-0"

BID / PERMIT - INTENDED FOR CONSTRUCTION USE



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(206) 318-1575

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STARBUCKS TEMPLATE VERSION: I2021.01.22



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SCOTT P. WRASMAN

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LICENSE NO: 029335
EXPIRATION DATE: 07/31/2023

PROJECT NAME:
NISKAYUNA
SHOPRITE SQ

PROJECT ADDRESS:
2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #: 07363
PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

Revision Schedule				
Rev	Date	By	Description	
1	04/12/22		REVISIONS TO SITE SCOPE	

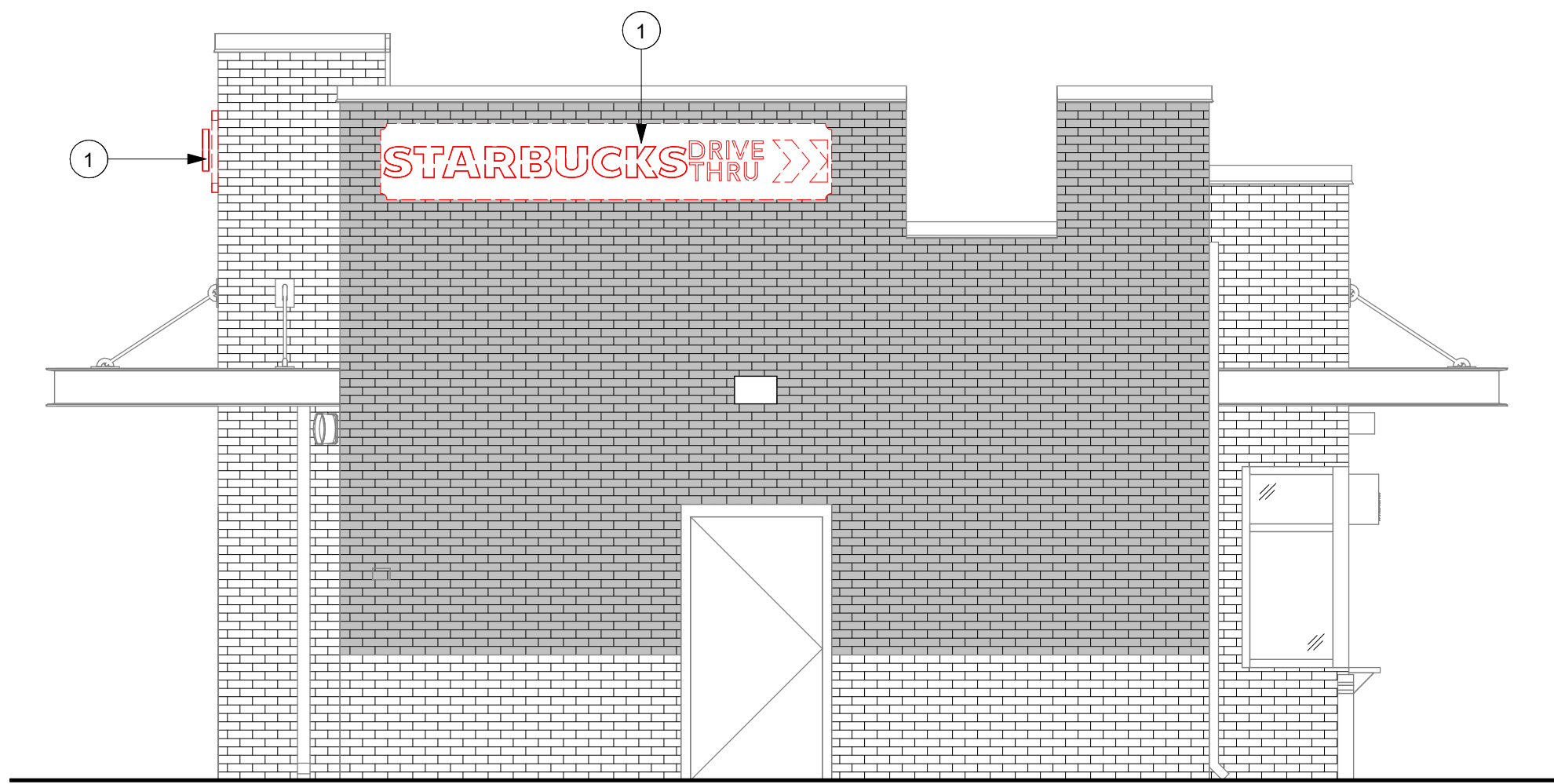
SHEET TITLE:
DEMOLITION FLOOR PLAN

SCALE: AS SHOWN

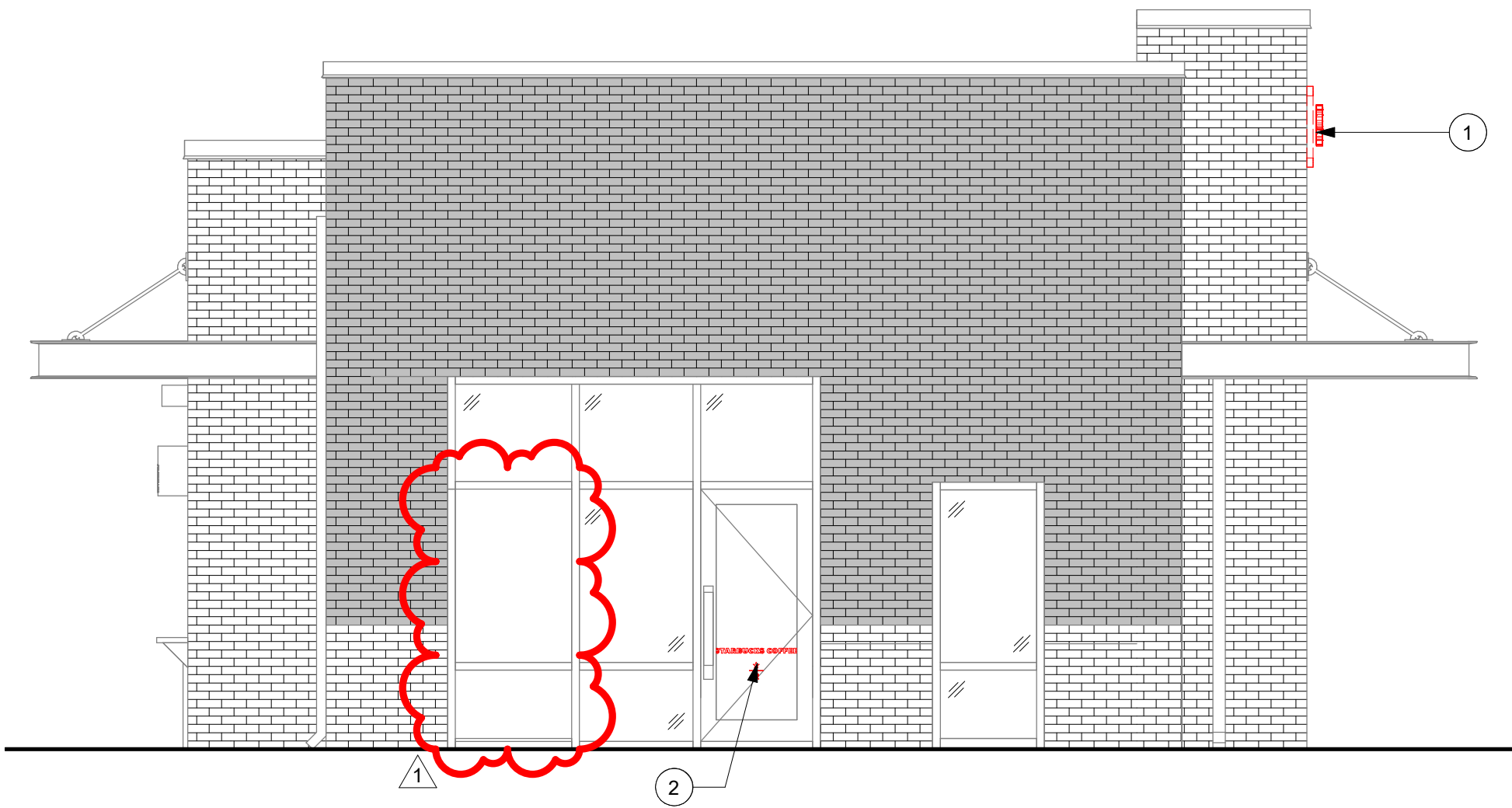
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D101

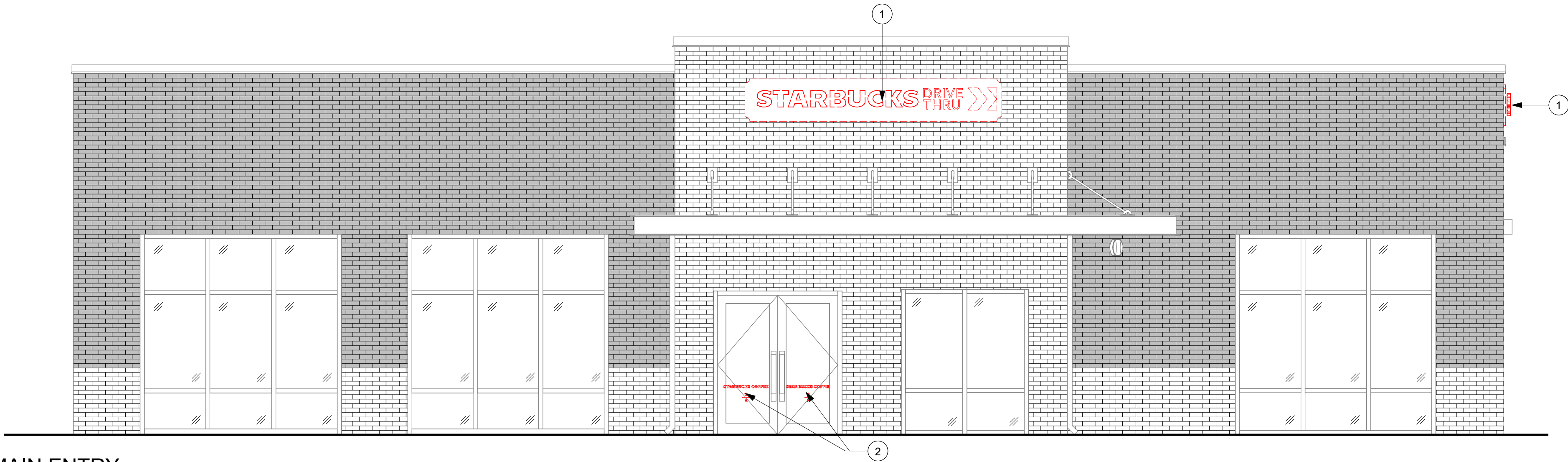
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3 EXTERIOR ELEVATION - REAR
Scale: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SIDE ENTRY
Scale: 1/4" = 1'-0"



1 EXTERIOR ELEVATION - MAIN ENTRY
Scale: 1/4" = 1'-0"

ITEMS TO DEMOLISH

- SITE:
- SIGNAGE
 - RESERVE BAR VINYL

KEYED NOTES

1. DEMLOSIH EXISTING SIGNAGE
DEMOLISH EXISTING VINYL
NOT USED

LEGEND

- MATERIAL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- PRESERVE FOR FUTURE USE
- EXISTING TO REMAIN
- EXISTING WALL FINISH TO BE DEMOLISHED



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STARBUCKS TEMPLATE VERSION: I2021.01.22



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SHOPRITE SQ

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NISKAYUNA, NY 12309

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PROJECT #: 03364-075

ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

Revision Schedule

Rev	Date	By	Description
1	04/12/22		REVISIONS TO SITE SCOPE

SHEET TITLE:

DEMOLITION
ELEVATIONS

SCALE: AS SHOWN

SHEET NUMBER:

D103

BID / PERMIT - INTENDED FOR CONSTRUCTION USE

INDOOR SEATING CALCULATIONS			
DESCRIPTION	NUMBER OF ITEMS	SEATS	PER ITEM
TABLE TOPS AT BANQUETTE	7	7 SEATS	2
		TOTAL ACCESSIBLE SEATS (≥ 5%)	2
		TOTAL	14

OUTDOOR SEATING CALCULATIONS			
DESCRIPTION	NUMBER OF ITEMS	SEATS	PER ITEM
TABLE TOP, SQUARE	14	28 SEATS	2
TABLE TOP, RECTANGULAR (ADA)	3	6 SEATS	2
LOUNGE	6	6 SEATS	1
COMMUNITY TABLE	1	6 SEATS	6
		TOTAL ACCESSIBLE SEATS (≥ 5%)	3
		TOTAL	46

EGRESS CALCULATIONS	
EXIT WIDTH REQUIRED - XX OCC. x 0.2	= 10.8 IN.
EXIT WIDTH PROVIDED	= 149 IN.
EXITS	= 77 IN. PRIMARY ENTRY, 36 IN. SECONDARY ENTRY, 36 IN WORKROOM
NUMBER OF EXITS REQUIRED	= 2
NUMBER OF EXITS PROVIDED	= 2
MAXIMUM ALLOWABLE TRAVEL DISTANCE	= 200' - 0"
MAXIMUM TRAVEL DISTANCE PROVIDED	= 47' - 1"
MINIMUM EXIT SEPARATION	= 71' - 10" (MAXIMUM DIAGONAL) / 2 = 36' - 4"
EXIT SEPARATION PROVIDED	= 37' - 2"

OCCUPANCY CALCULATIONS	
CAFE: 280 SQ. FT. / 15 SQ. FT. / OCC.	18 OCC.
QUEUING: 165 SQ. FT. / 5 SQ. FT. / OCC.	33 OCC.
BAR: 370 SQ. FT. / 200 SQ. FT. /	2 OCC.
WORKROOM: 450 SQ. FT. / 300 SQ. FT. / OCC.	2 OCC.
UNOCCUPIABLE: 155 SQ. FT.	-
TOTAL OCC. LOAD:	55 OCC.

BAR
FLOOR: POLYVINYL FLOORING
WALL: WALL TILE, BACKSPLASH, WITH POLYVINYL BASE
CEILING: GYPSUM CEILING

CAFE
FLOOR: TILE FLOORING
WALL: WOOD WAINSCOT AND PAINT
CEILING: ACOUSTICAL CEILING TILE

WORKROOM
FLOOR: POLYVINYL FLOORING
WALL: FRP WITH POLYVINYL BASE
CEILING: ACOUSTICAL CEILING TILE

RESTROOM
FLOOR: TILE FLOORING
WALL: WALL TILE
CEILING: GYPSUM CEILING

- THRESHOLDS TO BE BARRIER FREE COMPLIANT PER ALL APPLICABLE CODES.
- BARRIER-FREE PATH OF TRAVEL.
- 30" (160 MM) X 48" (1220 MM) CLEAR FOR WHEELCHAIR ACCESS.
- 60" (1525 MM) DIAMETER MINIMUM TURN RADIUS FOR WHEELCHAIR ACCESS.
- 32" (815 MM) MINIMUM CLEAR AT RESTROOM DOOR.
- SEE ENLARGED RESTROOM PLAN AND ELEVATIONS SHEET (H401) FOR ADDITIONAL INFORMATION ON ACCESSIBLE RESTROOM CLEARANCES.
- POS TRANSACTION PLANE, CONDIMENT CART TOP AND HAND-OFF PLANE ARE 34 INCHES (860 MM) ABOVE THE FINISHED FLOOR FOR WHEELCHAIR ACCESSIBILITY.
- PROVIDE BARRIER-FREE SIGNAGE AT ADA RESTROOMS PER ALL APPLICABLE CODES.
- 36 INCH (915 MM) CLEAR FOR ELECTRICAL PANEL ACCESS.
- PROVIDE TACTILE "EXIT" SIGNAGE.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN PER NY STATE STANDARDS

PLUMBING FIXTURE CALCULATIONS						
CHAPTER 29-2020 IBC TABLE 2902.1						
OCCUPANCY	MALE	FEMALE	TOTAL			
	51 OCC.	51 OCC.	102 OCC.			
FIXTURES	WATER CLOSETS		URINALS*	LAVATORY		WATER FOUNTAIN**
	1 PER 75 M; 1 PER 75 F			1 PER 200		1 PER 100 OR STATION
	REQUIRED	1 M	1 F	0 M	1 M	1 F
	PROVIDED	1 M	1 F	0 M	1 M	1 F

*IN EACH BATHROOM OR TOILET ROOM, URINALS SHALL NOT BE SUBSTITUTED FOR MORE THAN 67% OF THE REQUIRED WATER CLOSETS IN ASSEMBLY OCCUPANCIES.

**RETAIL ESTABLISHMENT SERVES WATER UPON REQUEST.

- MEANS OF EGRESS NOTES**
- A. EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT ACCESS DOORWAY. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER AUTHORIZED AGENT. (1004.3)
- B. EGRESS SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, CLOSETS OR SIMILAR SPACES. (1014.2)
- C. PANIC AND FIRE EXIT HARDWARE, WHERE INSTALLED ON DOORS IN THIS BUILDING SHALL SATISFY THE FOLLOWING (1008.1.10):
- THE ACTUATION PORTION OF THE RELEASING DEVICE SHALL EXTEND AT LEAST ONE-HALF OF THE DOOR LEAF WIDTH.
 - THE MAXIMUM UNLATCHING FORCE DOES NOT EXCEED 15 POUNDS (6.8 KG).
 - PIVOTED OR BALANCED DOORS SHALL BE OF THE PUSH-PAD TYPE WHERE PANIC HARDWARE IS REQUIRED AND THE PAD SHALL NOT EXTEND ACROSS MORE THAN ONE-HALF OF THE DOOR WIDTH, MEASURED FROM THE LATCH SIDE.
 - PANIC HARDWARE LISTED IN ACCORDANCE WITH UL 305.
 - FIRE EXIT HARDWARE LISTED IN ACCORDANCE WITH UL 10C AND UL 305.
- D. STRUCTURAL ELEMENTS, FIXTURES OR FURNISHINGS SHALL NOT PROJECT HORIZONTALLY FROM EITHER SIDE MORE THAN 4 INCHES (100 MM) OVER ANY WALKING SURFACE BETWEEN 27 INCHES (685 MM) AND 80 INCHES (2030 MM) ABOVE THE WALKING SURFACE. EXCEPTION: HANDRAILS SERVING STAIRS AND RAMPS ARE PERMITTED TO PROTRUDE 4 1/2 INCHES (115 MM) FROM THE WALL. (1003.3.3)
- E. THE PATH OF EGRESS TRAVEL EXITS AND WITHIN EXITS IN THIS BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF SECTION 1011 AND AS NOTED BELOW:
- EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL.
 - EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL.
 - NO POINT IN A CORRIDOR SHALL BE MORE THAN 100 FT (30.5 M) OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.
- F. WHERE KEY OPERATED LOCKING DEVICES ARE USED, POST A SIGN ON OR ADJACENT TO THE REQUIRED MAIN EXIT DOOR WITH 1 INCH (25 MM) LETTERING STATING THAT "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED". (1008.1.9.3)
- G. EGRESS DOORS OR GATES SHALL BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES (860 MM) TO 48 INCHES (1220 MM) ABOVE FINISHED FLOOR. MANUALLY OPERATED FLUSH BOLTS OR SURFACE BOLTS ARE NOT PERMITTED. THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION. (1008.1.9)
- H. LANDINGS SHALL BE PROVIDED ON EACH SIDE OF DOORS AND SUCH LANDING SHALL BE AT THE SAME ELEVATION ON EACH SIDE OF THE DOOR LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE DOOR AND LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NOT LESS THAN 44 INCHES (11120 MM). (1008.1.5, 1008.1.6)

- HEALTH DEPT. PLAN NOTES**
- A. GENERAL CONTRACTOR TO SCHEDULE WITH REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR APPROVED CONTRACTOR, CONTACT THE VENDOR.
- B. THE SPACE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- D. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS
- E. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- F. EACH HAND WASHING WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- G. REFERENCE INTERIOR SCHEDULE SHEETS (1600 SERIES) FOR ADDITIONAL INFORMATION.
- H. PROVIDE SNEEZE GUARDS WHERE REQUIRED BY JURISDICTION.
- I. ALL FOOD STORAGE AND DISPLAY SHELVING SHALL BE A MINIMUM 6" (150MM) ABOVE FINISH FLOOR.

- LEGEND**
- ← 3'-0" (915MM) → TRAVEL DISTANCE
- BARRIER FREE PATH OF TRAVEL (MIN 3'-0" (915MM) - NO PINCH POINT)
- 2'-0" — EMERGENCY LIGHT
- EXIT SIGN
- FIRE EXTINGUISHER
- ADA ACCESSIBLE SEATING 36" (915MM) X 48" (1220MM) CLEAR AREA



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LICENSE NO: 029335
EXPIRATION DATE: 07/31/2023

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PROJECT ADDRESS:
2303 NOTT STREET EAST
NISKAYUNA, NY 12309

STORE #: 07363
PROJECT #: 03364-075
ISSUE DATE: 02/14/2022
DESIGN MANAGER: NATALIA ROSENTHAL
PRODUCTION DESIGNER: MB/EE
CHECKED BY: HVT

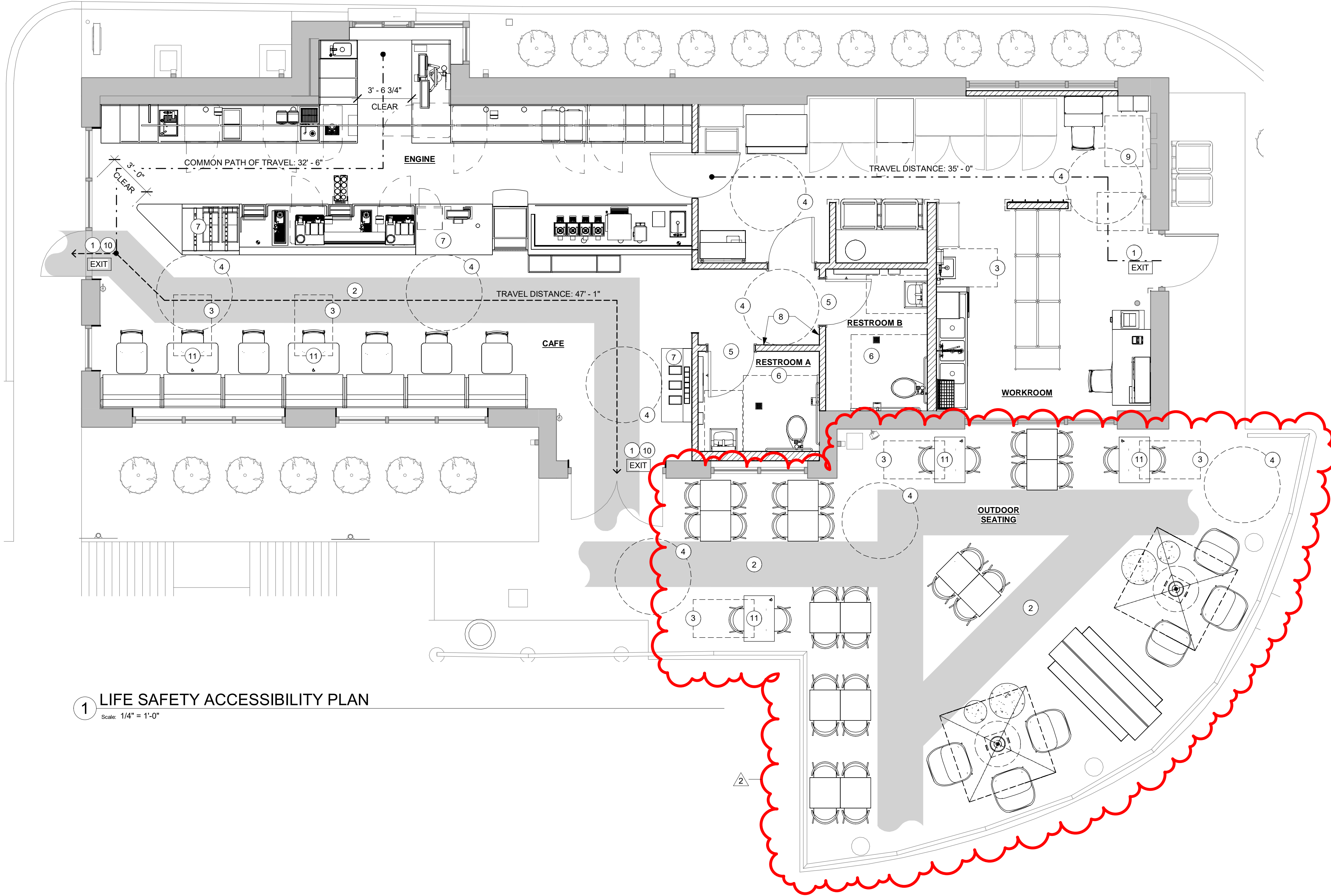
Revision Schedule			
Rev	Date	By	Description
1	04/12/22	HVT	REVISIONS TO SITE SCOPE
2	05/18/22	HVT	REVISED FOR SITE PLAN REVIEW

SHEET TITLE:
LIFE SAFETY ACCESSIBILITY PLAN
SCALE: AS SHOWN

SHEET NUMBER:
G002

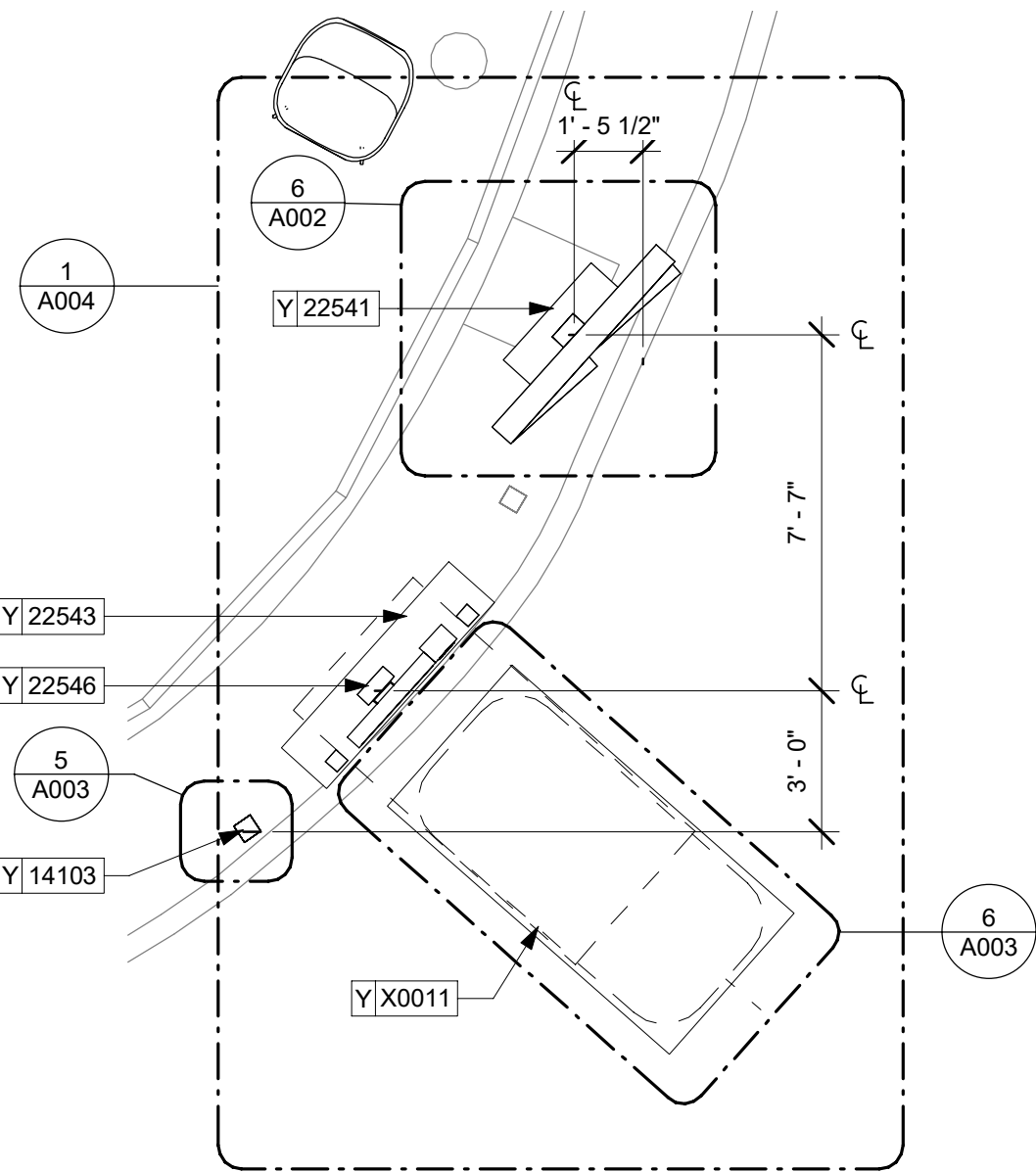
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1 LIFE SAFETY ACCESSIBILITY PLAN
Scale: 1/4" = 1'-0"



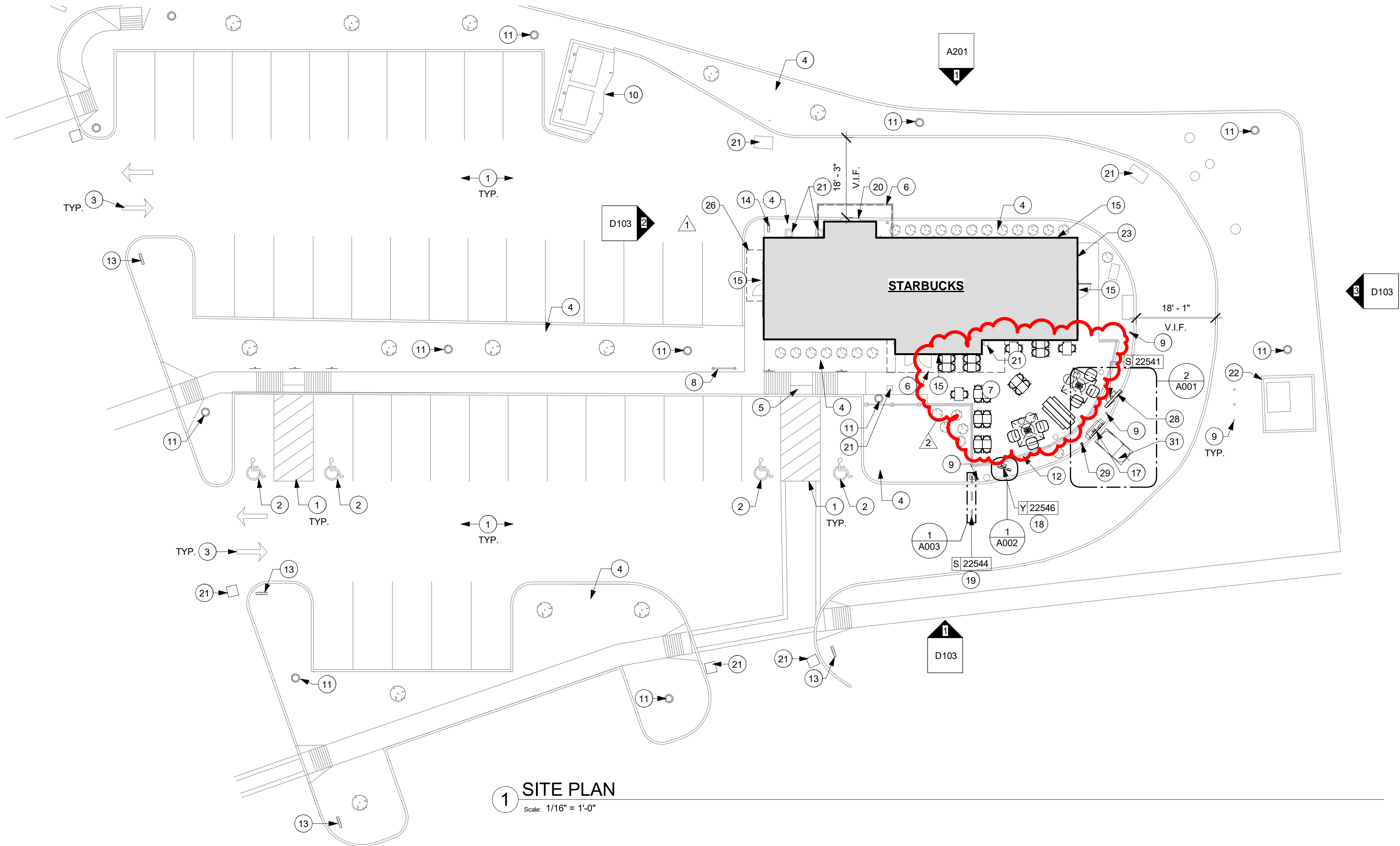
SITE SCHEDULE - "Y"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
EXTERIOR MENU				
22541	1	MENU BOARD - DT 3 PANEL SQUARE FRAME FREESTANDING - 63X62IN 1600X1575MM - BLACK	SB/SB	
22546	2	MENU BOARD - DT DIGITAL ORDER SCREEN WITH POST - BLACK	SB/SB	
OTHER				
14103	1	BOLLARD NONILLUMINATED SQUARE - FLAT BLACK MT0028	SB/GC	
22543	1	DT ORDER POINT CANOPY SQUARE FRAME - BLACK	SB/SB	
X0011	1	VEHICLE LOOP DETECTION	SB/GC	BY HME, CONDUIT MUST BE INSTALLED PRIOR TO PAVING, GC TO COORDINATE WITH PAVING CONTRACTOR
UMBRELLA				
10068	2	UMBRELLA - IN GROUND - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	SB/GC	
18714	2	UMBRELLA - BASE 200LB 90KG - FLAT BLACK MT0028	SB/GC	

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
SIGNAGE - DISK				
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
SIGNAGE - DRIVE THRU				
14099	1	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - RH - 48IN 1220MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB/SB	
SIGNAGE - WORDMARK				
18496	1	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 15IN 105MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
X0500	1	SIGN - WORDMARK/DIRECTIONAL IN LIGHT BOX - CUSTOM	SB/SB	



2 ENLARGED PLAN AT ORDERPOINT

Scale: 1/4" = 1'-0"



1 SITE PLAN

Scale: 1/16" = 1'-0"

GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS ON SHEET A201 FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- LANDSCAPING TO BE PROVIDED PER ZONING CODE AND SUSTAINABILITY REQUIREMENTS.
- DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION AND MONITORS SHALL BE COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- NOT USED
- GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION.
- PROVIDE DETECTABLE WARNING (IF APPLICABLE PER LOCAL CODE) AT TRANSITION FROM SIDEWALK TO DRIVE AISLE.
- ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SLOPE.
- SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS AND SITE LIGHTING BASES.
- SEE SHEET A002-A005 FOR ARCHITECTURAL SITE DETAILS.

KEYED NOTES

- EXISTING STRIPING.
- EXISTING ADA PARKING.
- EXISTING WAYFINDING ARROWS.
- EXISTING LANDSCAPED AREA.
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY.
- EXISTING CANOPY ABOVE SHOWN DASHED FOR REFERENCE.
- EXISTING OUTDOOR SEATING AREA.
- EXISTING BIKE RACK TO REMAIN.
- EXISTING BOLLARD.
- EXISTING TRASH ENCLOSURE.
- EXISTING SITE LIGHTING.
- EXISTING METAL RAILING.
- EXISTING "DRIVE THRU" DIRECTION SIGNAGE.
- EXISTING "THANK YOU/EXIT ONLY" SIGNAGE.
- NEW FLUSH MOUNTED BUILDING SIGNAGE. SEE ELEVATIONS.SCHEDULES FOR DETAILS.
- NOT USED
- NEW ORDER POINT WITH CANOPY. SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- NEW PRE MENU BOARD SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT.
- NEW CLEARANCE BAR.SEE SCHEDULES FOR DETAILS. LANDLORD TO FURNISH AND INSTALL CONCRETE FOOTINGS AND ELECTRICAL CONDUIT
- EXISTING DRIVE THRU WINDOW.
- EXISTING DRAIN.
- EXISTING TRANSFORMER.
- EXISTING ELECTRICAL METER.
- LANDSCAPE AREA.
- ACCESSIBLE PATH OF TRAVEL TO PUBLIC WAY.
- NEW CANOPY ABOVE SHOWN DASHED FOR REFERENCE.
- NEW OUTDOOR SEATING. SEE FF&E PLAN AND SCHEDULES.
- NEW 3-PANEL MENU BOARD. SEE SCHEDULES FOR DETAILS.
- NEW NONILLUMINATED BOLLARD
- NOT USED
- DRIVE THRU DETECTOR LOOP. SEE SITE DETAILS AND SCHEDULE.



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Revision Schedule

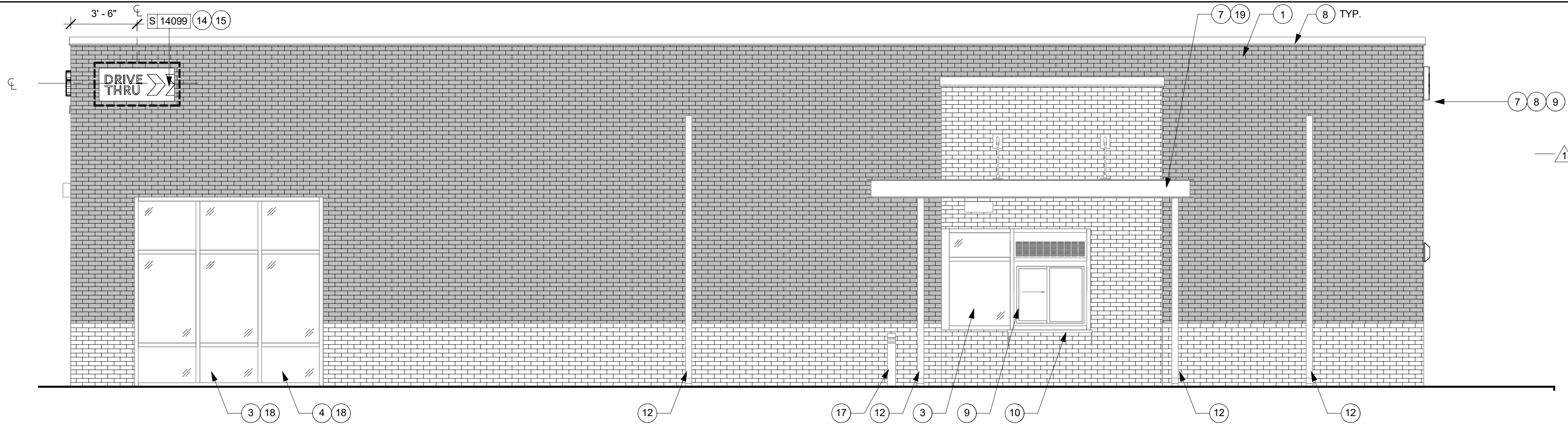
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2	05/18/22	HVT	REVISED FOR SITE PLAN REVIEW

SHEET TITLE:
REFERENCE SITE PLAN

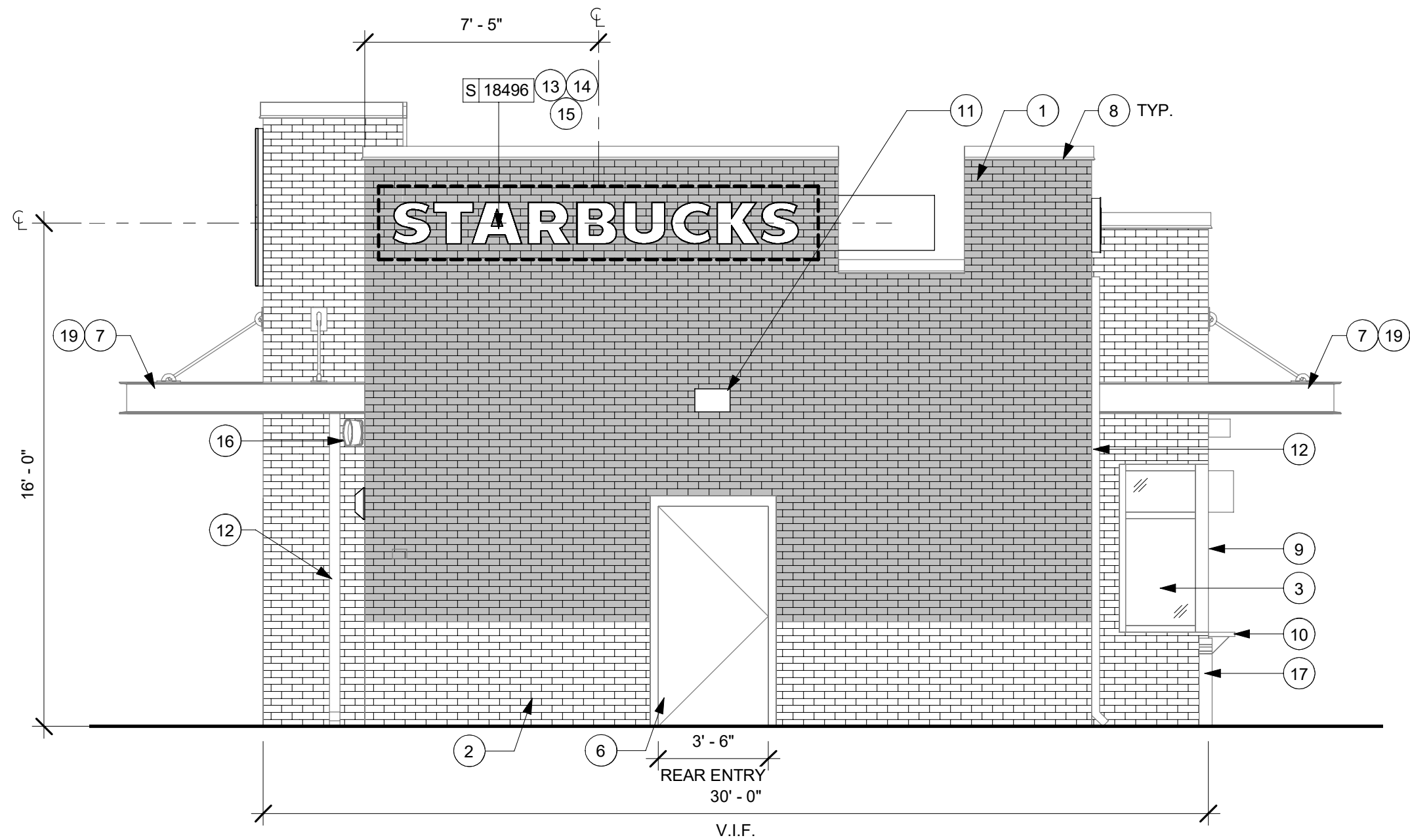
SCALE: AS SHOWN

SHEET NUMBER:
A001

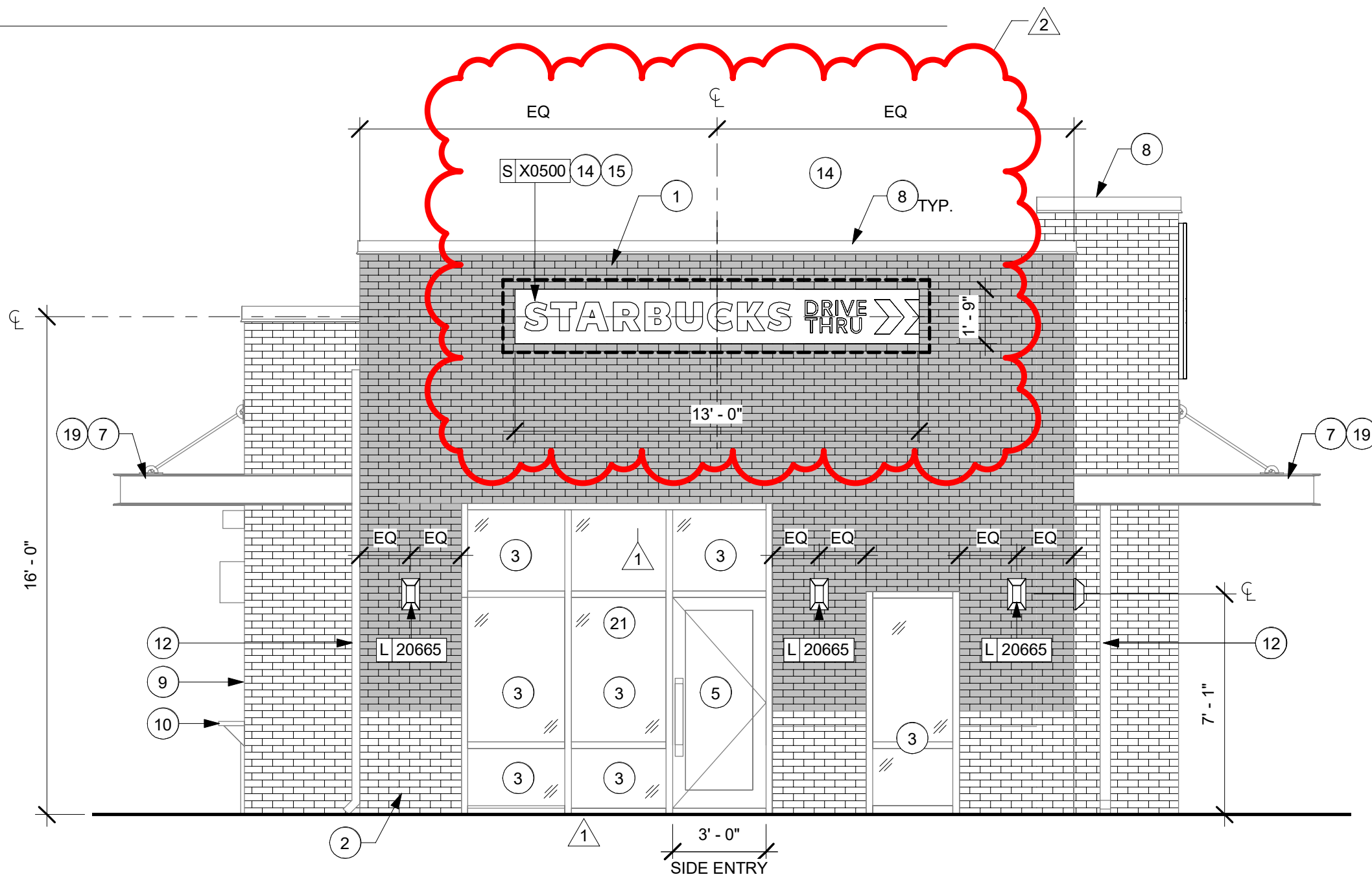
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1 EXTERIOR ELEVATION - DRIVE THRU
Scale: 1/4" = 1'-0"

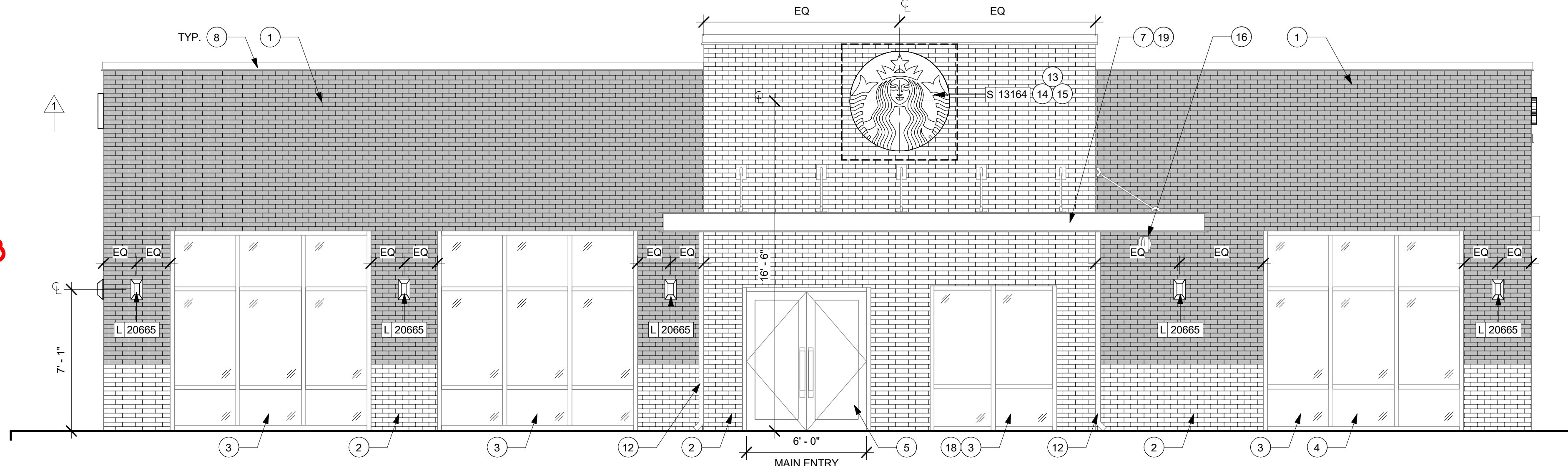


3 EXTERIOR ELEVATION - REAR
Scale: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - SIDE ENTRY
Scale: 1/4" = 1'-0"

EXTERIOR SIGNAGE SCHEDULE - "S"				
DESIGN ID	COUNT	DESCRIPTION	RESP.	COMMENTS
SIGNAGE - DISK				
13164	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 60IN 1525MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
SIGNAGE - DRIVE THRU				
14099	1	SIGN - DRIVE THRU ILLUMINATED ARROW SERIES FLUSH MOUNTED - RH - 48IN 1220MM	SB/SB	MOUNTED TO EXISTING WALL- SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
22544	1	SIGN - DT CLEARANCE BAR SQUARE FRAME FREESTANDING - BLACK AND DARK GREEN	SB/SB	
SIGNAGE - WORDMARK				
18496	1	SIGN - WORDMARK STARBUCKS FLUSH MOUNTED - 16IN 405MM	SB/SB	MOUNTED TO EXISTING WALL - SIGN VENDOR TO COORDINATE DETAILS WITH STARBUCKS DESIGN
X0500	1	SIGN - WORDMARK/DIRECTIONAL IN LIGHT BOX - CUSTOM	SB/SB	



2 EXTERIOR ELEVATION - MAIN ENTRY
Scale: 1/4" = 1'-0"

GENERAL NOTES

- GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING OR EQUIVALENT TO SUPPORT SIGNAGE.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO THE STARBUCKS DESIGNER FOR APPROVAL.
- SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH ARCHITECTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.

KEYED NOTES

- EXISTING BRICK FINISH, COLOR: RED.
- EXISTING BRICK FINISH, COLOR: TAN.
- EXISTING STOREFRONT.
- EXISTING SPANDREL GLASS.
- EXISTING STOREFRONT DOOR.
- EXISTING HOLLOW METAL DOOR.
- EXISTING METAL CANOPY.
- EXISTING COPING, TYP AT PARAPET, PAINT BLACK.
- EXISTING DRIVE THRU WINDOW/AIR CURTAIN.
- EXISTING DRIVE THRU WINDOW SHELF.
- EXISTING WALL SCENCE.
- EXISTING SCUPPER AND DOWNSPOUT.
- COORDINATE SIGN MOUNTING WITH CANOPY TIE BACKS.
- GC TO PROVIDE J-BOX W/ PULL STRING FOR FUTURE BUILDING SIGNAGE. COORDINATE LOCATION OF J-BOX W/ SIGNAGE VENDOR PRIOR TO INSTALL.
- 3/4" MARINE GRADE PLYWOOD BLOCKING FOR EXTERIOR SIGNAGE. EXTEND BLOCKING 8" (205MM) MIN. BEYOND EDGE OF SIGNAGE.
- EXISTING SPEAKER.
- EXISTING BOLLARD.
- WINDOW TO HAVE FILM FINISH.
- PAINT EXISTING CANOPY TRIM TO MATCH MT0028
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.



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Revision Schedule			
Rev	Date	By	Description
1	04/12/22	HVT	REVISIONS TO SITE SCOPE
2	05/18/22	HVT	REVISED FOR SITE PLAN REVIEW

SHEET TITLE:
**BUILDING EXTERIOR
ELEVATIONS**
SCALE: AS SHOWN

SHEET NUMBER:
A201

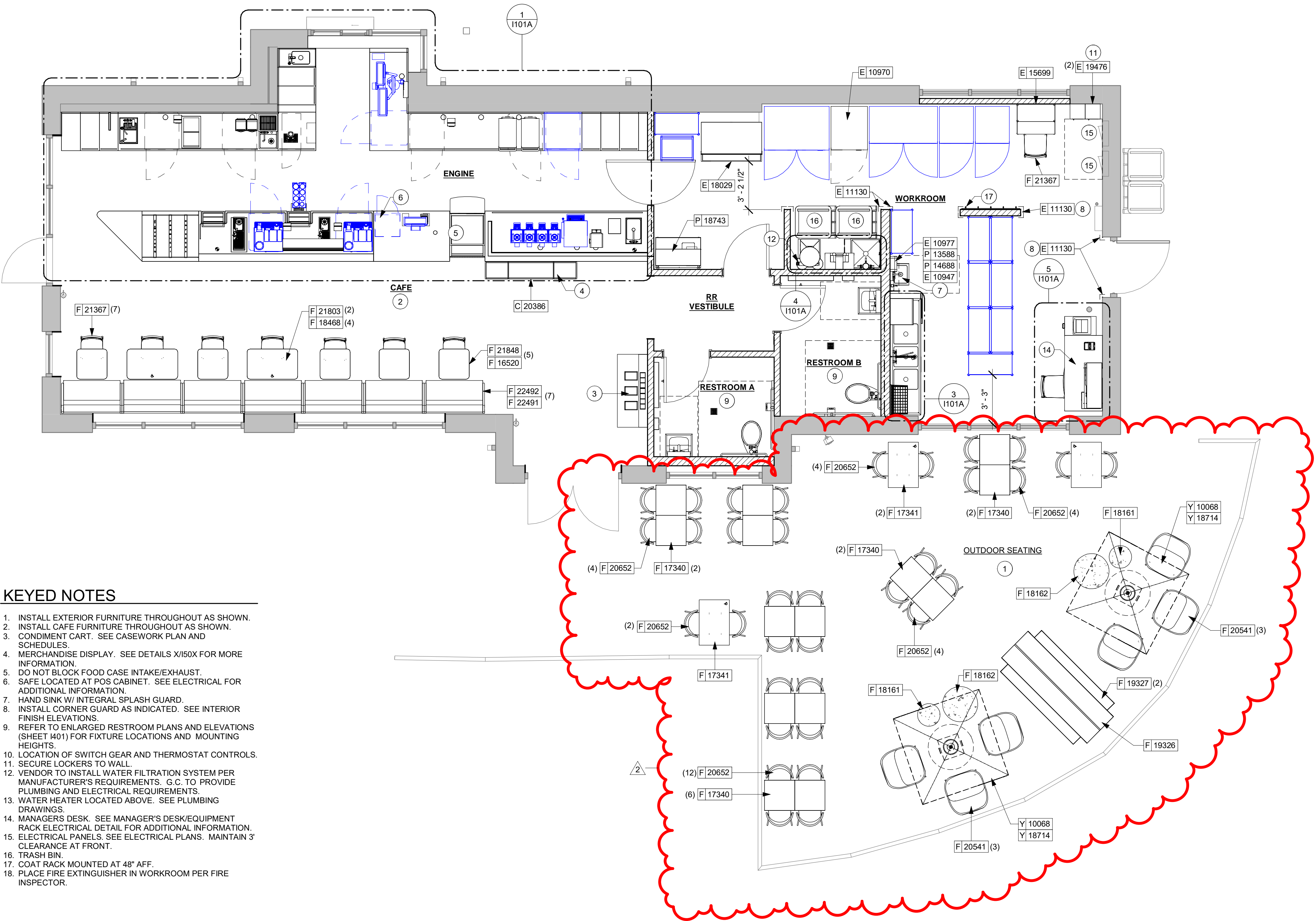
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GENERAL NOTES

- A. GENERAL CONTRACTOR TO SCHEDULE WITH LOCAL REFRIGERATION CONTRACTOR TO CONDUCT INITIAL FOOD CASE START-UP AND TESTING. FOR LIST OF APPROVED START UP CONTRACTORS, CONTACT PROJECT CONSTRUCTION REPRESENTATIVE.
- B. THE SITE IS SERVED BY THE MUNICIPAL WATER AND SEWER SYSTEM UNLESS OTHERWISE NOTED.
- C. ALL FLOOR AND WALL JUNCTIONS IN STORAGE AND PREP. AREAS SHALL HAVE A 6" COVED BASE.
- D. ALL FOOD STORAGE SHALL BE 6" (150mm) A.F.F.
- E. ALL WOOD SURFACES (DOORS, TRIM, SHELVES, CABINETS) SHALL BE SEALED.
- F. FLOORS, WALLS AND CEILING FINISHES IN FOOD PREP. AREAS SHALL BE SMOOTH, NON-TOXIC, NON-ABSORBENT, DURABLE AND EASILY CLEANABLE. PAINT SHALL BE WASHABLE AND SEMI-GLOSS OR HIGH-GLOSS FINISH.
- G. ALL EQUIPMENT AND INSTALLATION WILL MEET NATIONAL SANITATION FOUNDATION STANDARDS OR EQUIVALENT.
- H. ALL EQUIPMENT AND CABINETRY WILL BE FLUSH MOUNTED TO COUNTERS, WALLS OR FLOORS, OR BE RAISED TO ALLOW FOR CLEANING.
- I. CONFIRM ALL NECESSARY CLEARANCES PER PRODUCT CUT SHEET REQUIREMENTS FOR ALL EQUIPMENT (E.G. ICE MACHINE).
- J. FOR LOCATION OF COUNTERTOP EQUIPMENT, REFER TO CASEWORK ELECTRICAL DETAILS.
- K. EQUIPMENT UNITS SHALL CONTAIN NO EXPOSED THREADS, EMBELLISHMENTS OR OVERHANGING EDGES THAT SERVE AS PLACES FOR ACCUMULATION OF DUST, DIRT AND DEBRIS.
- L. WARMING OVEN(S) SHOWN FOR PERMITTING PURPOSES. INSTALLATION AT STORE OPENING TO BE VERIFIED BY STARBUCKS CONSTRUCTION REPRESENTATIVE.
- M. EACH HAND WASHING SINK WILL HAVE A SINGLE SERVICE TOWEL AND SOAP DISPENSER, AND ALL HAND SINKS TO HAVE A COMBINATION FAUCET OR PREMIXING FAUCET.
- N. FOR PLUMBING FIXTURES, REFER TO THE PLUMBING DESIGN PLAN. FOR DATA DEVICE SCHEDULE, REFER TO THE ELECTRICAL DESIGN PLAN.
- O. SEE ELEVATIONS FOR DISTRIBUTION OF CUP DISPENSERS.
- P. GENERAL CONTRACTOR TO COORDINATE NEWSPAPER. FIXTURE ORDERING. CONTACT TRIAD MANUFACTURING BY EMAIL (starbucks@triadmf.com) OR BY PHONE (314-381-5280 X1111) TO ARRANGE SHIPMENT OF THE FIXTURE. ALLOW (5) DAY LEAD-TIME.

KEYED NOTES

1. INSTALL EXTERIOR FURNITURE THROUGHOUT AS SHOWN.
2. INSTALL CAFE FURNITURE THROUGHOUT AS SHOWN.
3. CONDIMENT CART. SEE CASEWORK PLAN AND SCHEDULES.
4. MERCHANDISE DISPLAY. SEE DETAILS X/150X FOR MORE INFORMATION.
5. DO NOT BLOCK FOOD CASE INTAKE/EXHAUST.
6. SAFE LOCATED AT POS CABINET. SEE ELECTRICAL FOR ADDITIONAL INFORMATION.
7. HAND SINK W/ INTEGRAL SPLASH GUARD.
8. INSTALL CORNER GUARD AS INDICATED. SEE INTERIOR FINISH ELEVATIONS.
9. REFER TO ENLARGED RESTROOM PLANS AND ELEVATIONS (SHEET 1401) FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
10. LOCATION OF SWITCH GEAR AND THERMOSTAT CONTROLS.
11. SECURE LOCKERS TO WALL.
12. VENDOR TO INSTALL WATER FILTRATION SYSTEM PER MANUFACTURER'S REQUIREMENTS. G.C. TO PROVIDE PLUMBING AND ELECTRICAL REQUIREMENTS.
13. WATER HEATER LOCATED ABOVE. SEE PLUMBING DRAWINGS.
14. MANAGERS DESK. SEE MANAGER'S DESK/EQUIPMENT RACK ELECTRICAL DETAIL FOR ADDITIONAL INFORMATION.
15. ELECTRICAL PANELS. SEE ELECTRICAL PLANS. MAINTAIN 3' CLEARANCE AT FRONT.
16. TRASH BIN.
17. COAT RACK MOUNTED AT 48" AFF.
18. PLACE FIRE EXTINGUISHER IN WORKROOM PER FIRE INSPECTOR.



1 FURNITURE, FIXTURES, AND EQUIPMENT PLAN

Scale: 1/4" = 1'-0"



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SHEET TITLE:

FF & E PLAN

SCALE: AS SHOWN

SHEET NUMBER:

1101

BID / PERMIT - INTENDED FOR CONSTRUCTION USE

STARBUCKS COFFEE #7363
2303 Nott Street East
Niskayuna NY 12309



22-59788

***HILTON*DISPLAYS**

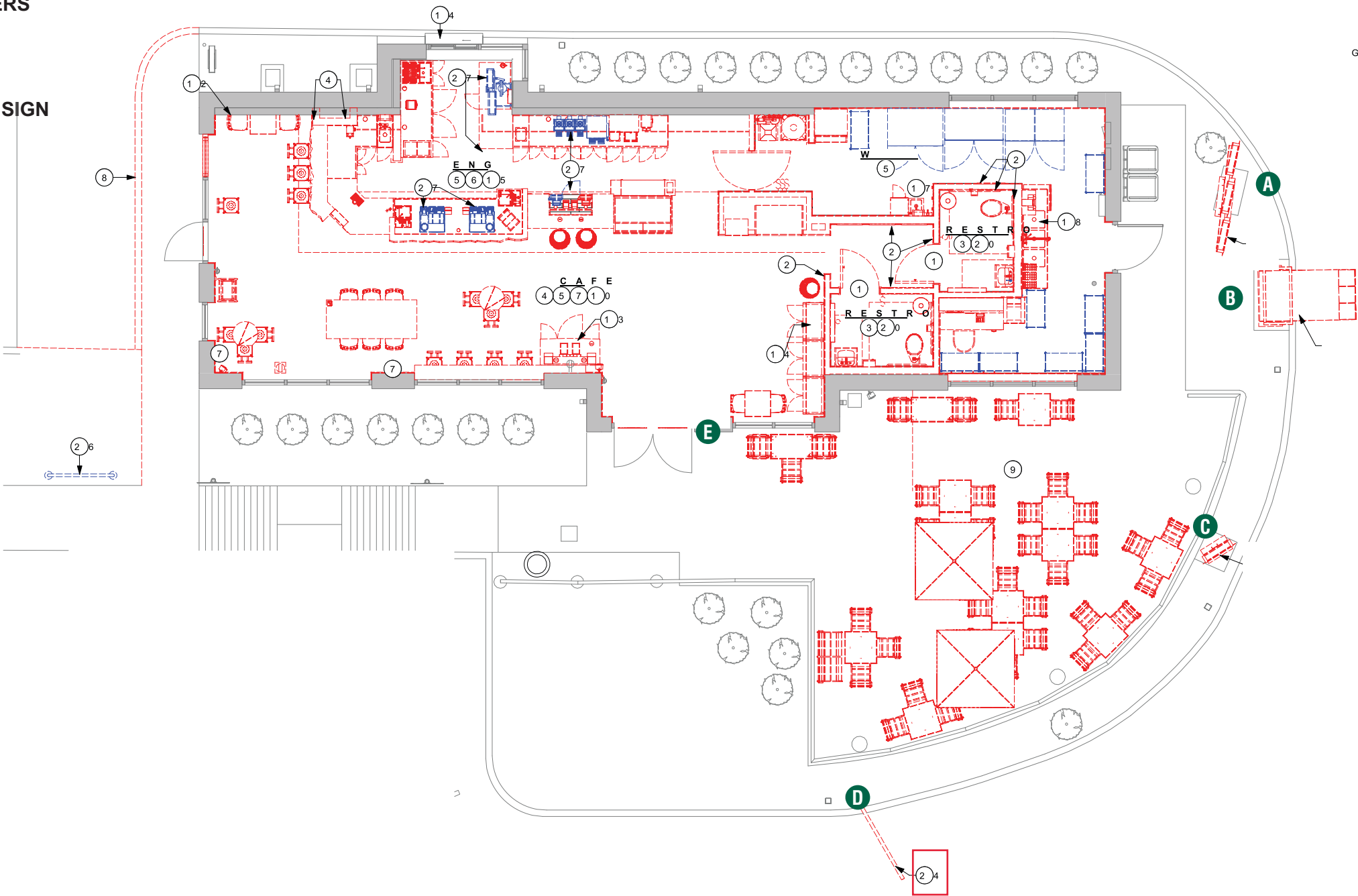
125 HILLSIDE DRIVE • GREENVILLE SC 29607

P 800 353 9132 • F 864 242 2204

www.hiltondisplays.com

SITE PLAN: DEMO

- A DEMO EXISTING MENU BOARD
- B DEMO EXISTING DOS/CANOPY
- C DEMO EXISTING PRE-MENU BOARD
- D DEMO EXISTING CLEARANCE BAR
- E DEMO EXISTING WORDMARK SIGNS
- F 3-PANEL MENU BOARD
- G DOS/CANOPY
- H PRE-MENU BOARD
- I CLEARANCE BAR
- J 16" REMOTE CHANNEL LETTERS
- K 60" SIREN
- L 48" DT WALL SIGN
- M CHANNEL LETTERS/DT WALL SIGN



2022

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QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

DESIGN SPECIFICATIONS ACCEPTED BY:

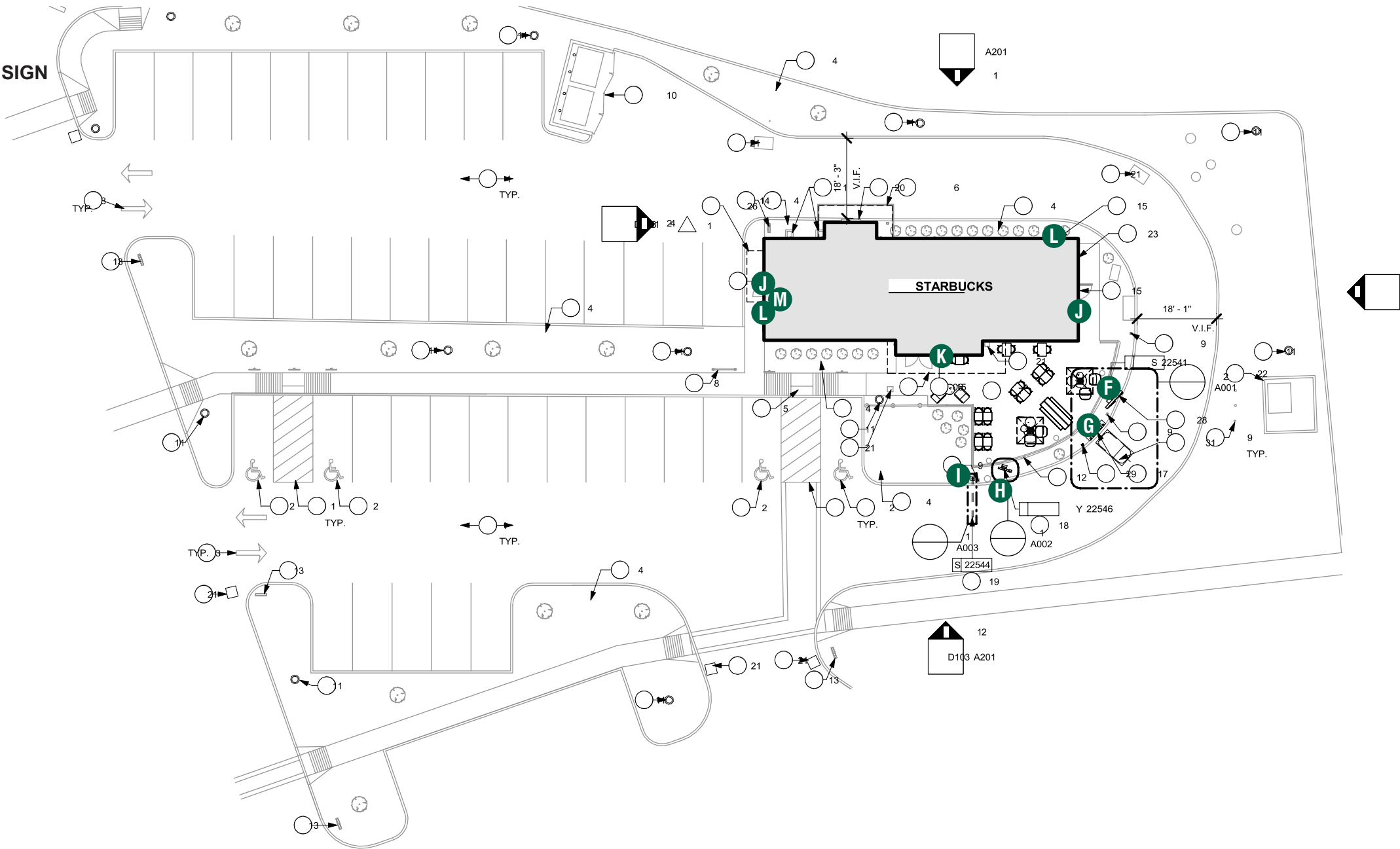
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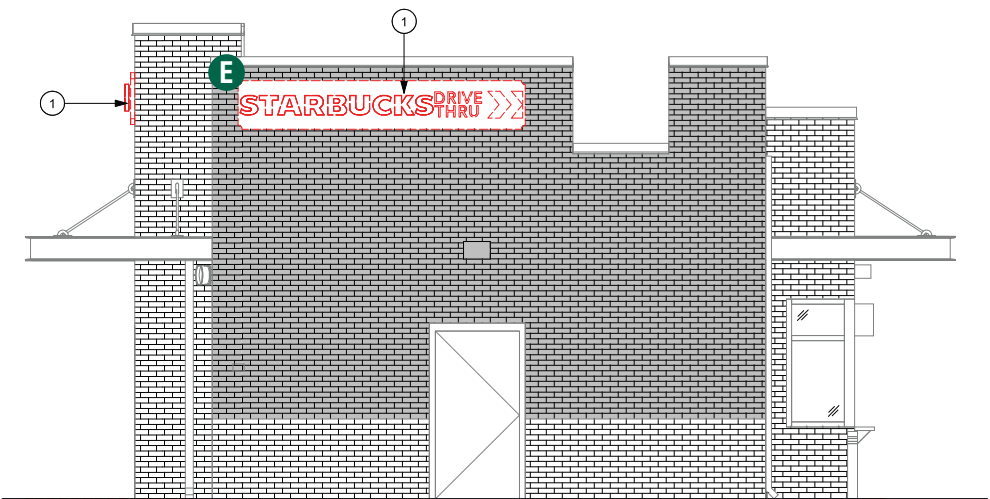
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 Underwriters Laboratories Inc.

DRY	
DAMP	
WET	<input checked="" type="checkbox"/>

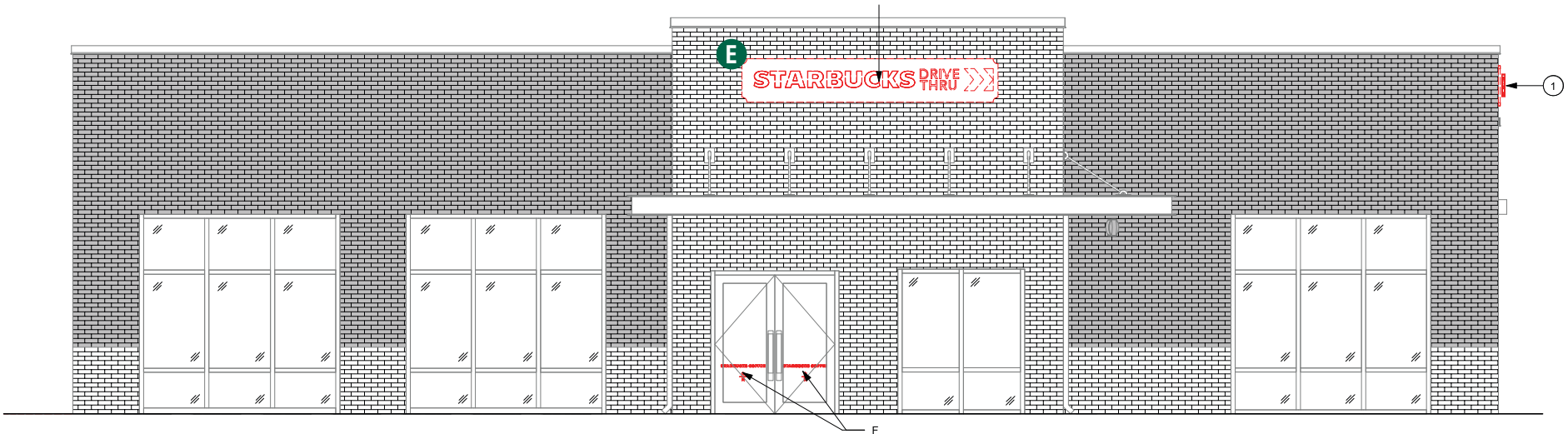
ELEVATION: EXISTING

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Rear Elevation

Scale: 1/8" = 1' (11x17 paper)



Front Elevation

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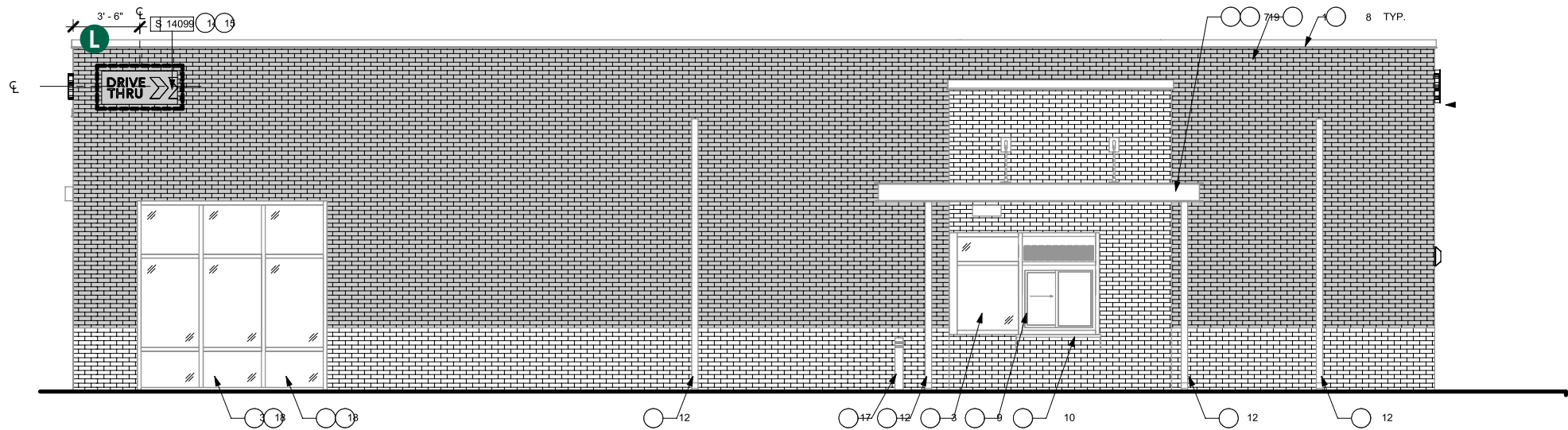
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EXTERIOR ELEVATION - DRIVE THRU

Scale: 1/8" = 1' (11x17 paper)

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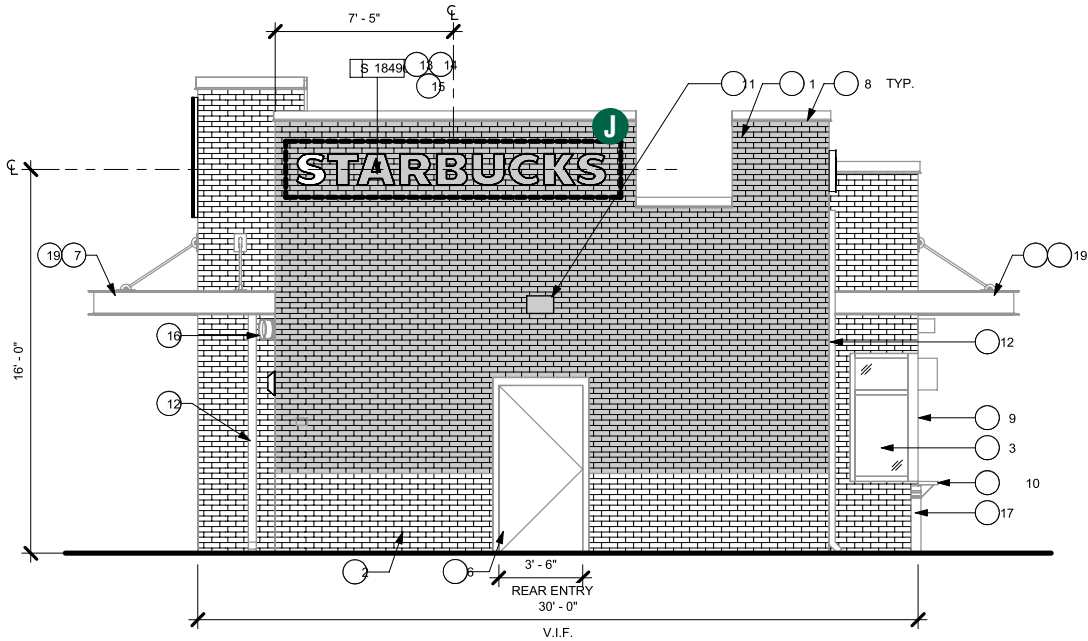
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EXTERIOR ELEVATION - REAR

Scale: 1/8" = 1' (11x17 paper)

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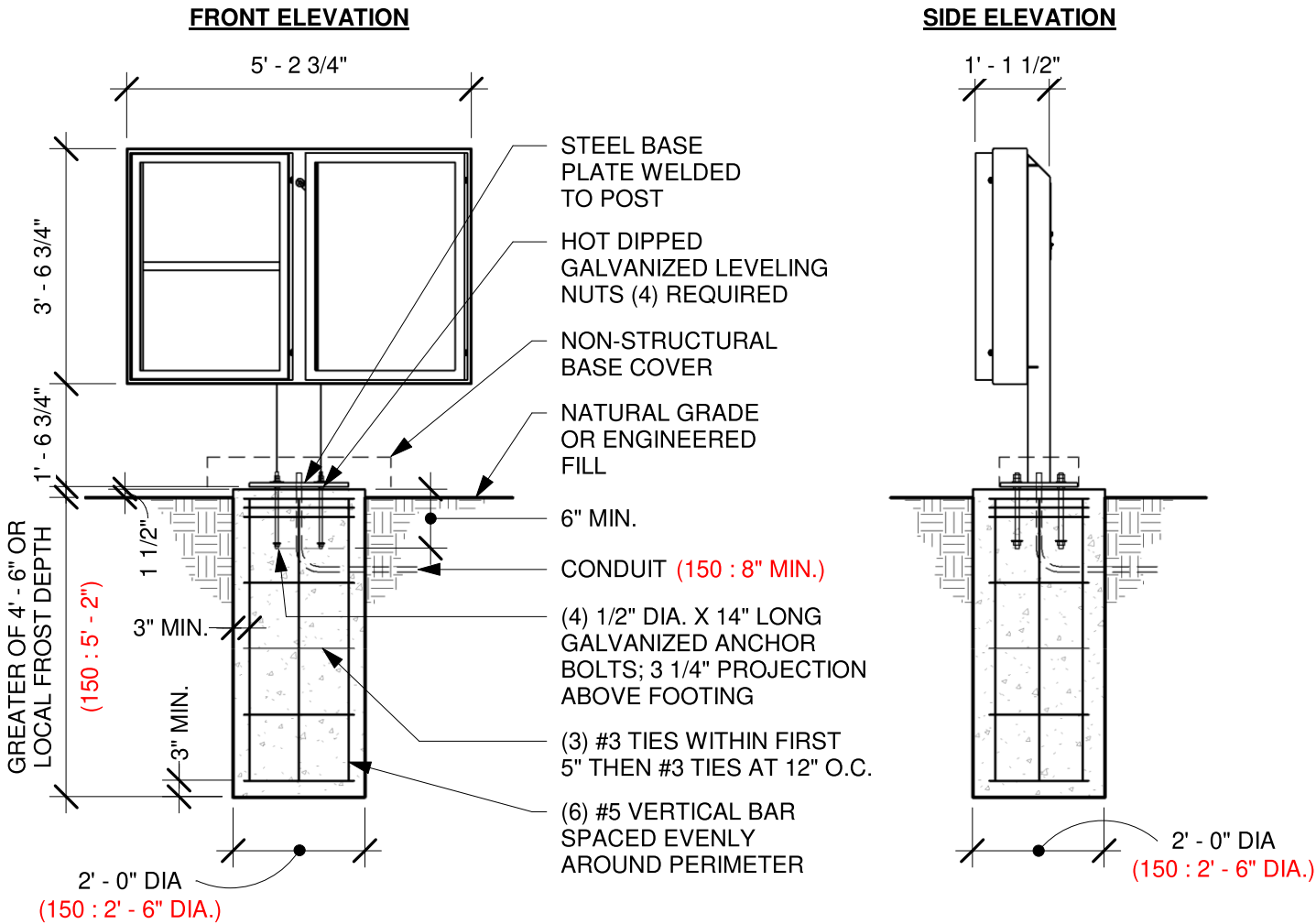
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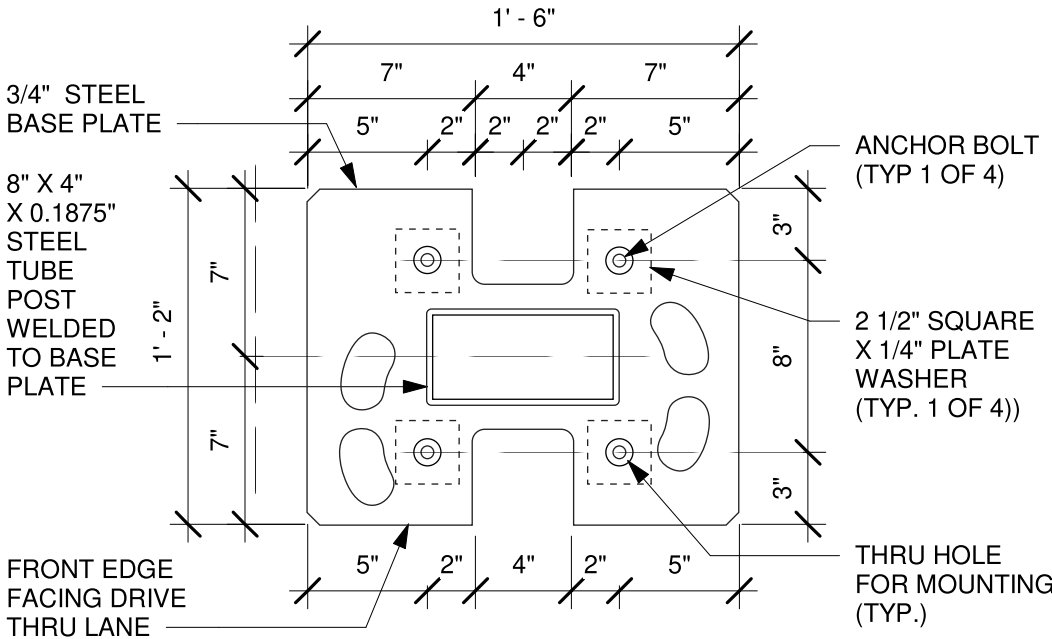
MENU BOARD - INSTALL ONLY

Qty. 1
F

Note: - All steel shall be A36 Galvanized or A304 Stainless Steel

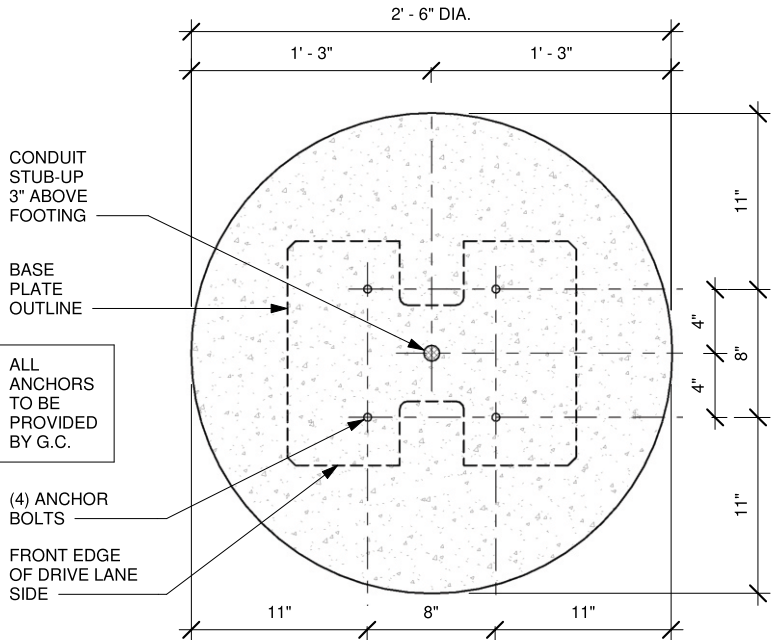


DT 3-PANEL MENU BOARD GROUND FOOTING



BASE PLATE

scale: 1 1/2" = 1'



BOLT PATTERN (TOP VIEW)

scale: 1" = 1'

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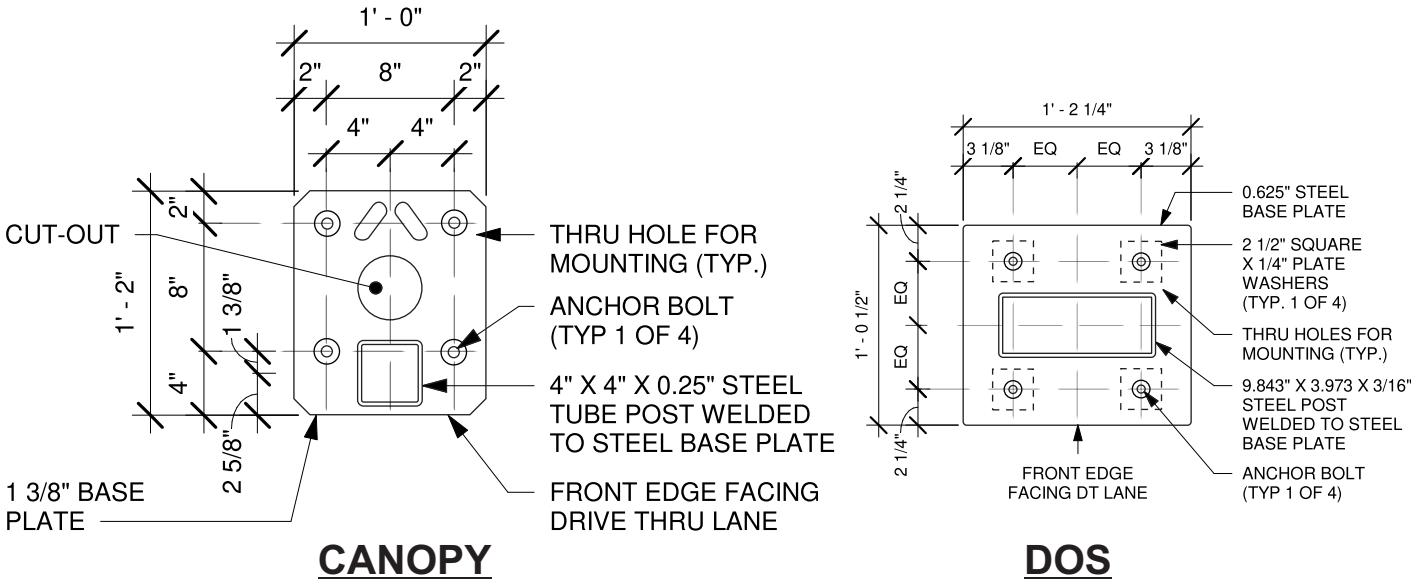
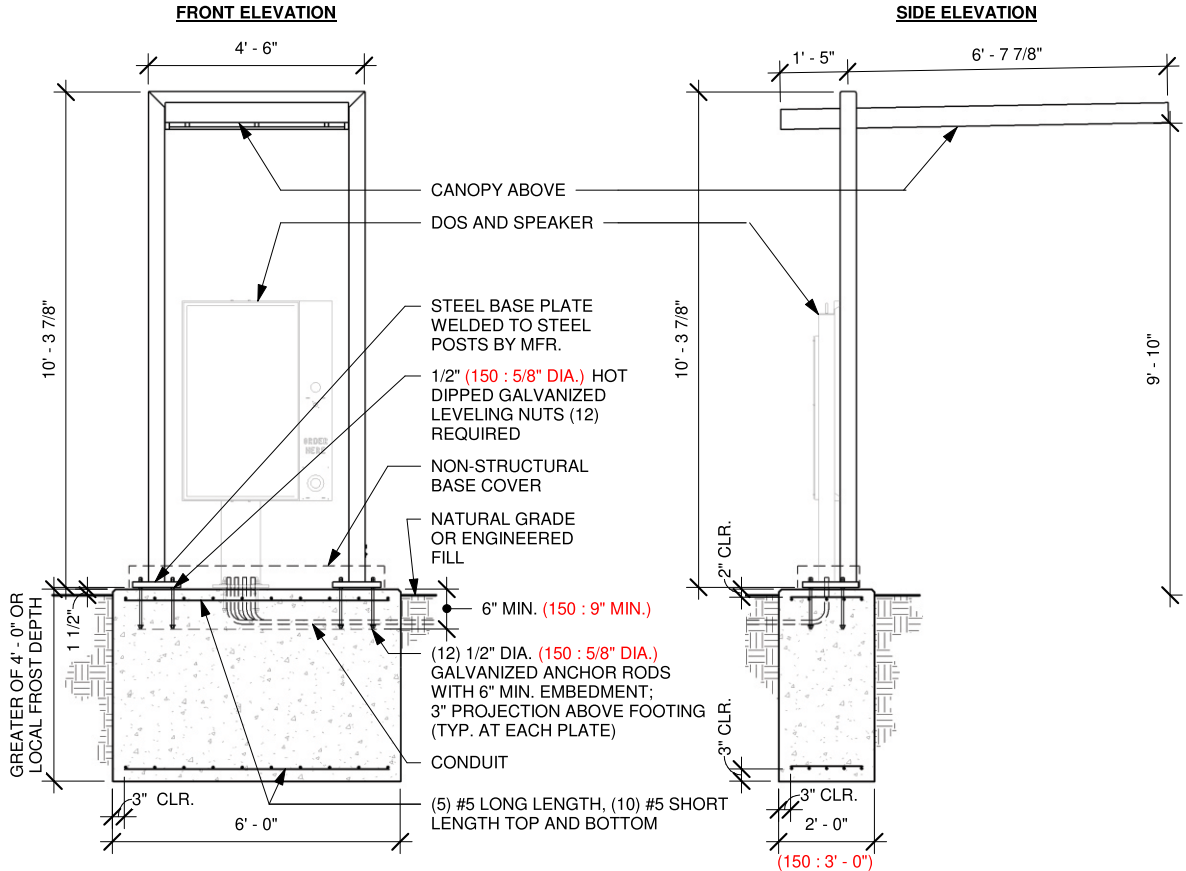
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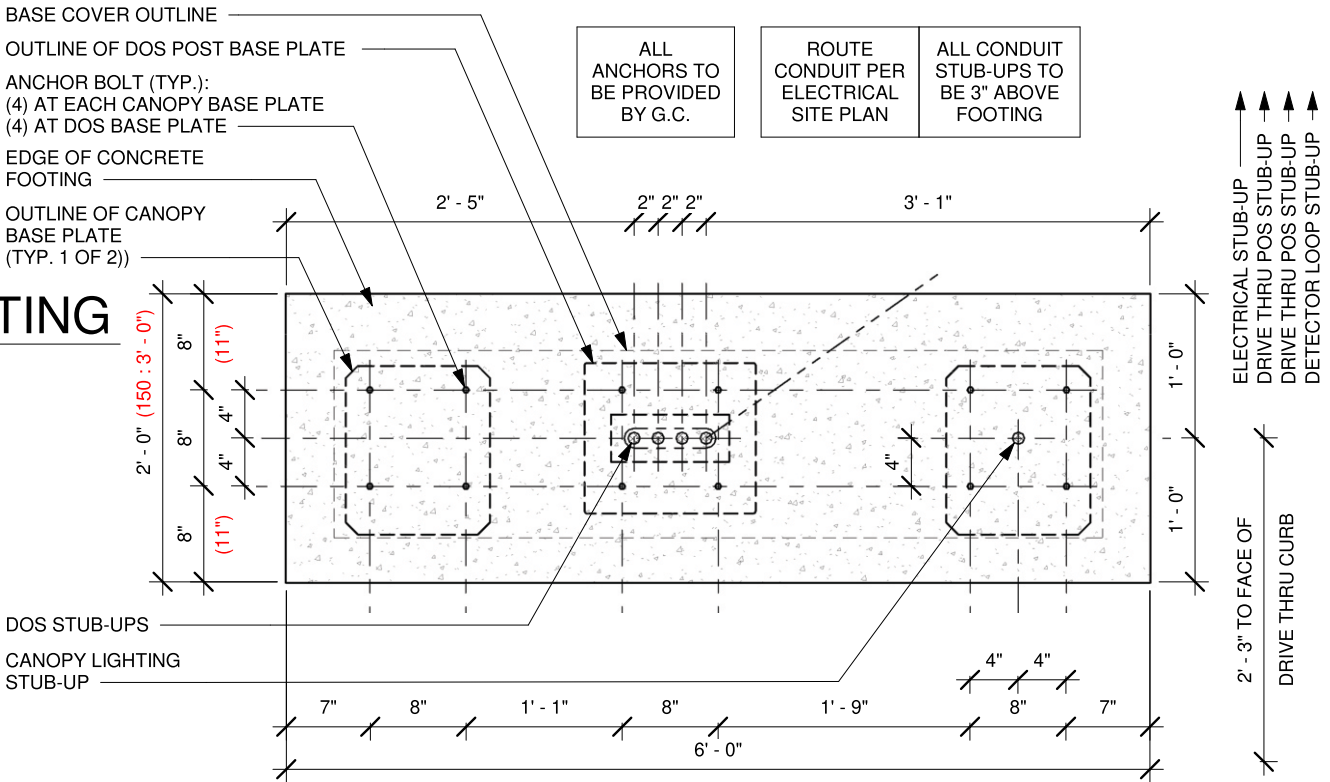
CANOPY - INSTALL ONLY

Qty. 1
G



BASE PLATE

Scale: 1" = 1'-0"



BOLT PATTERN (TOP VIEW)

scale: 3/4" = 1'

DT DIGITAL ORDER SCREEN CANOPY GROUND FOOTING

scale: 1/4" = 1'



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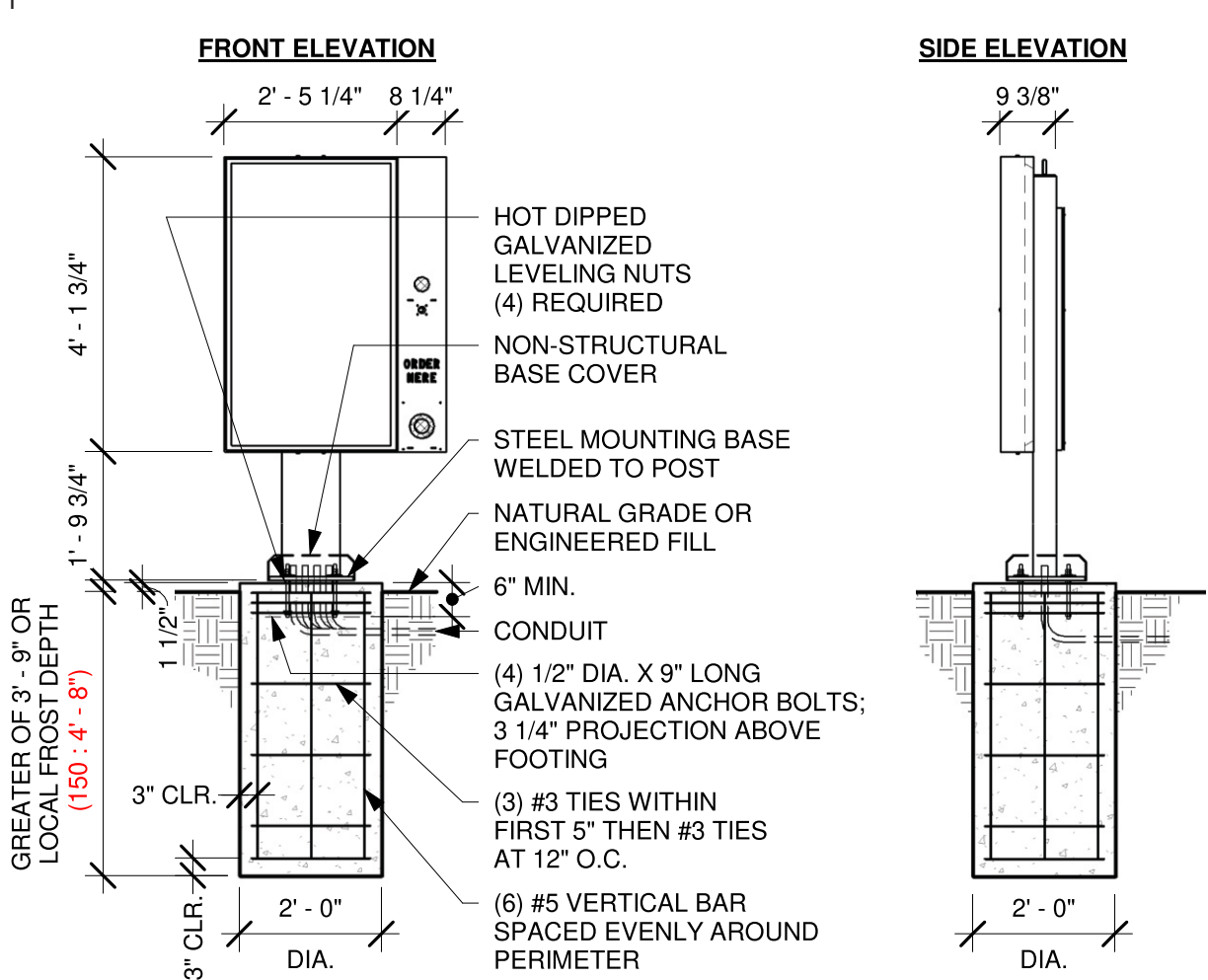
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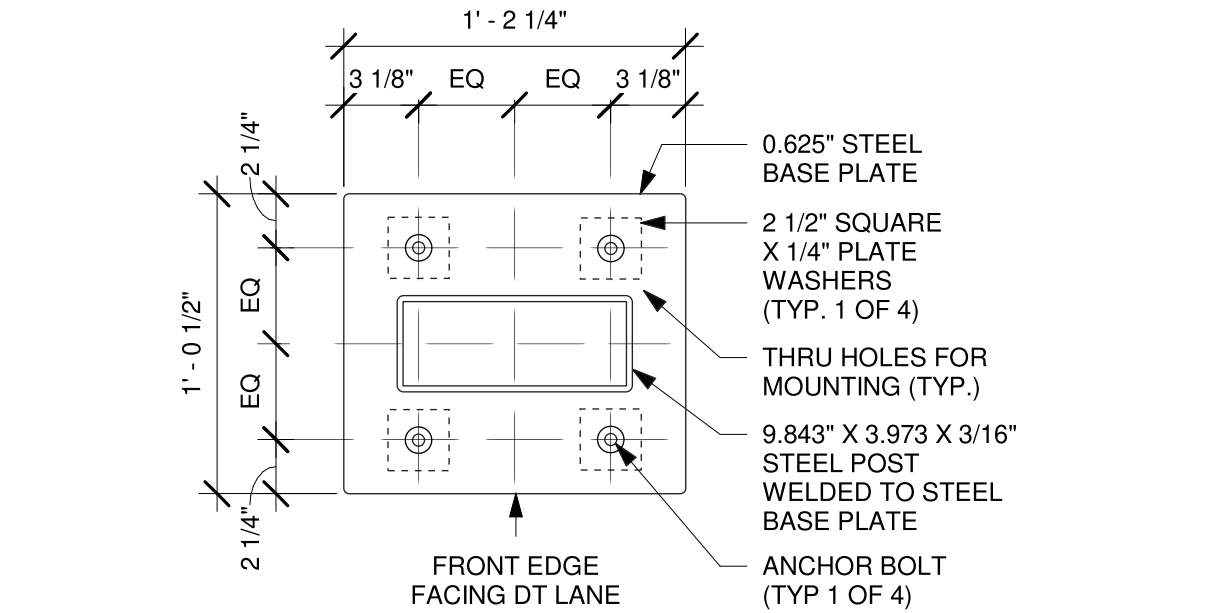
DOS - INSTALL ONLY **Note:** - All steel shall be galvanized

Qty. 1
G



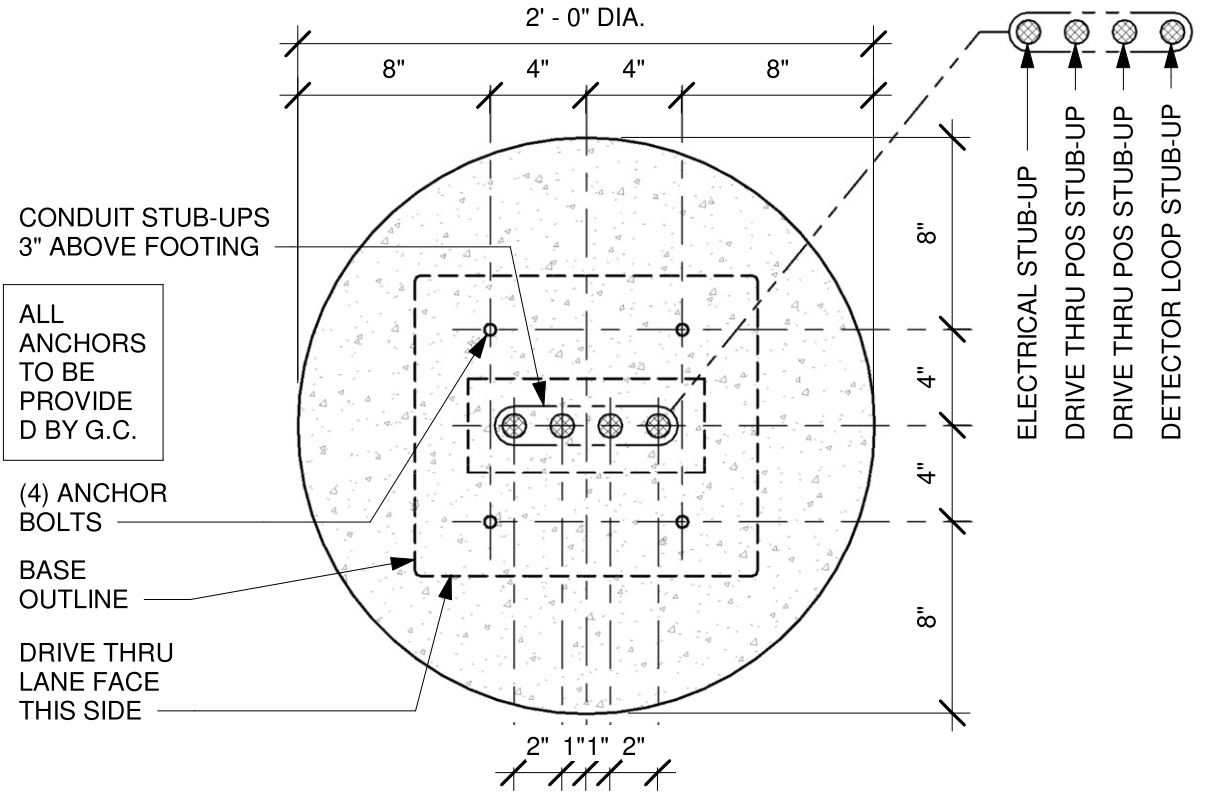
DT DIGITAL ORDER SCREEN POST GROUND FOOTING

Scale: 3/8" = 1'-0"



BASE PLATE

Scale: 1 1/2" = 1'-0"



BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"

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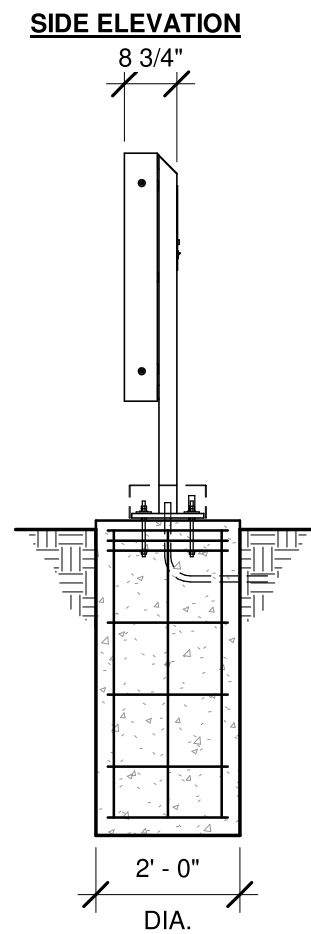
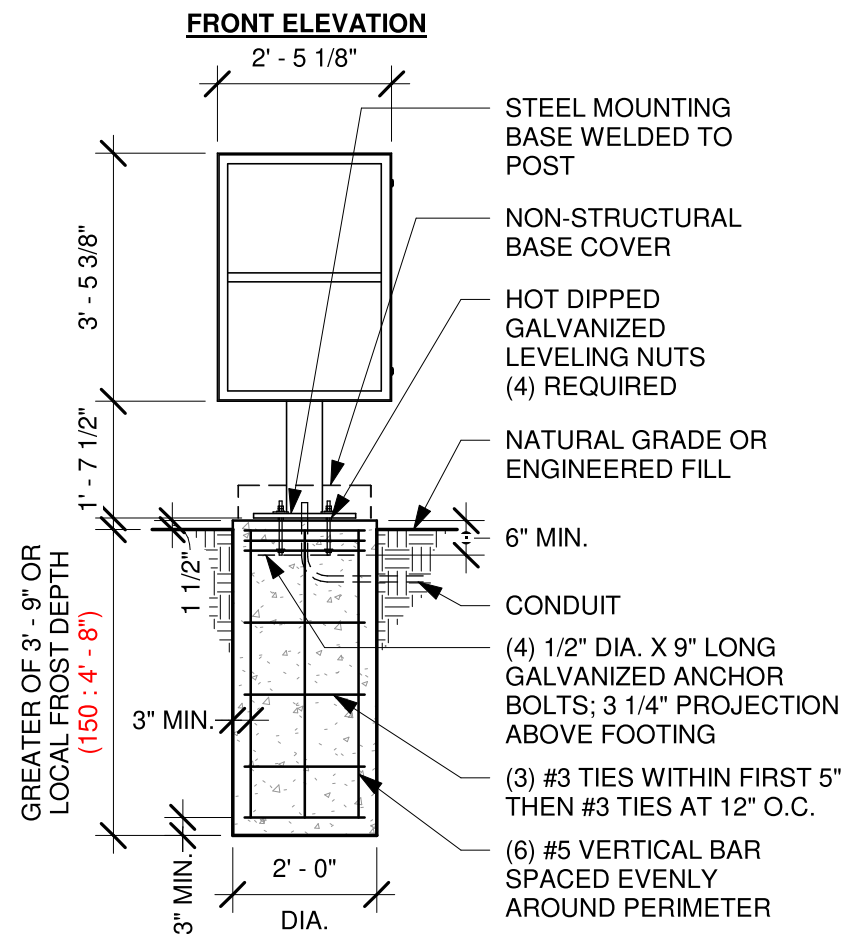
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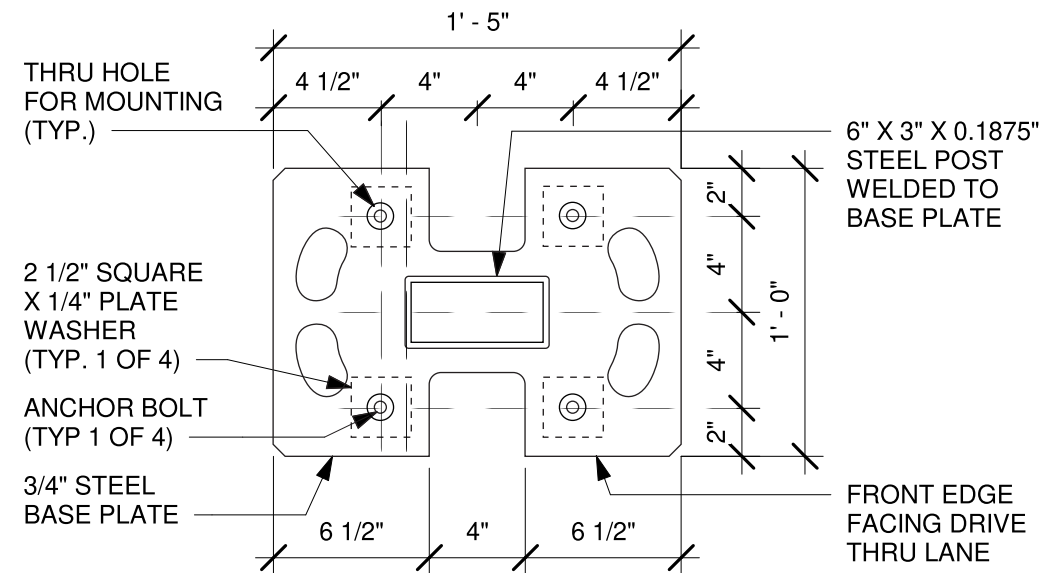
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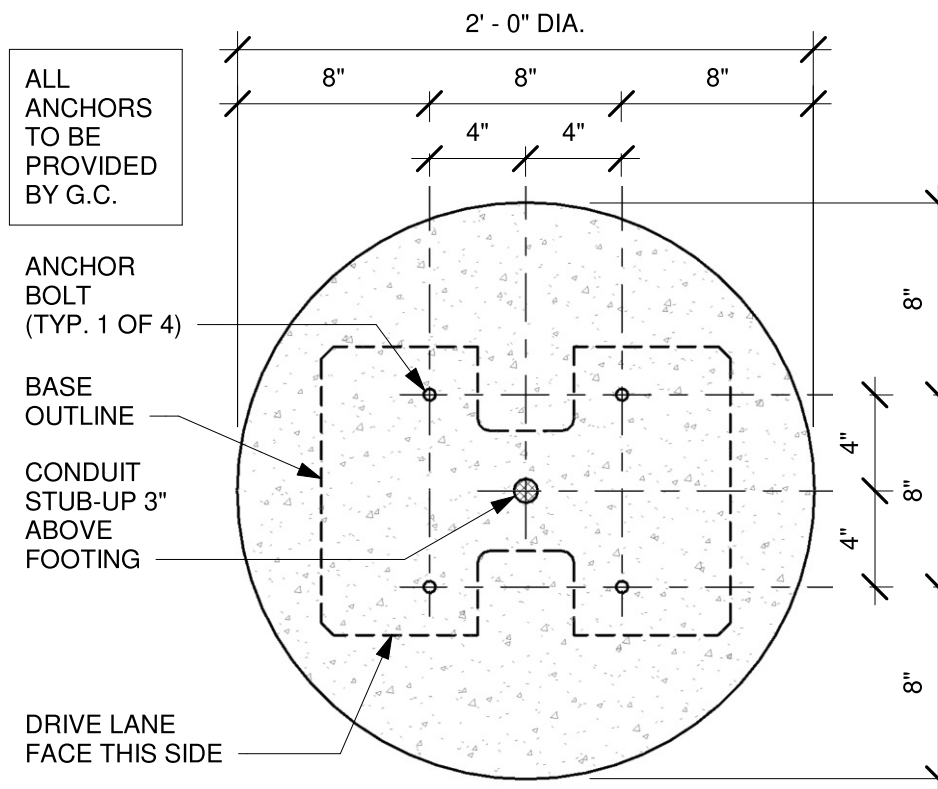
DT PRE-MENU GROUND FOOTING

Scale: $\frac{3}{8}'' = 1'-0''$



BASE PLATE

scale: 1 1/2" = 1'



BOLT PATTERN (TOP VIEW)

Scale: 1 1/2" = 1'-0"

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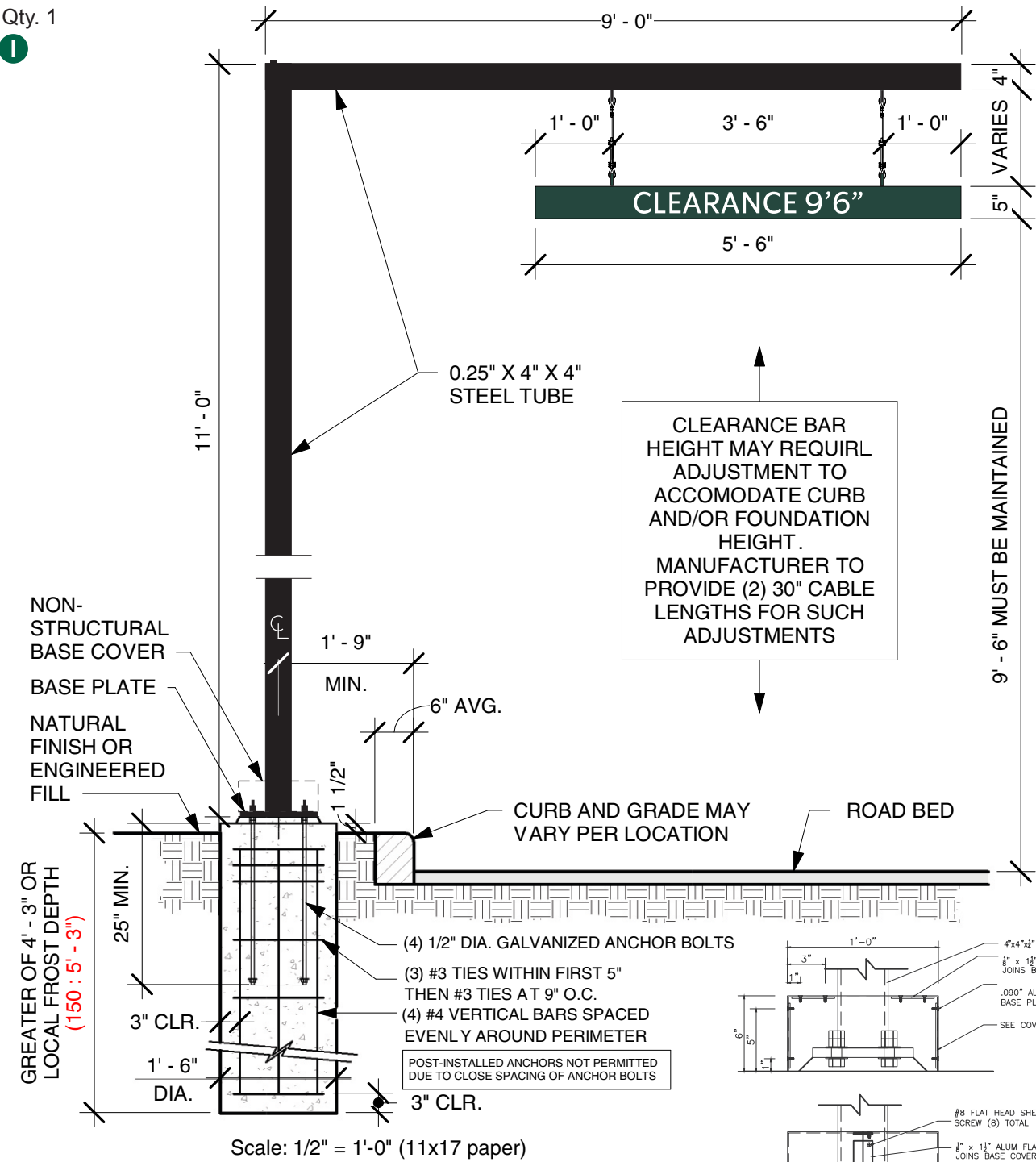


REVOLUTION CLEARANCE BAR

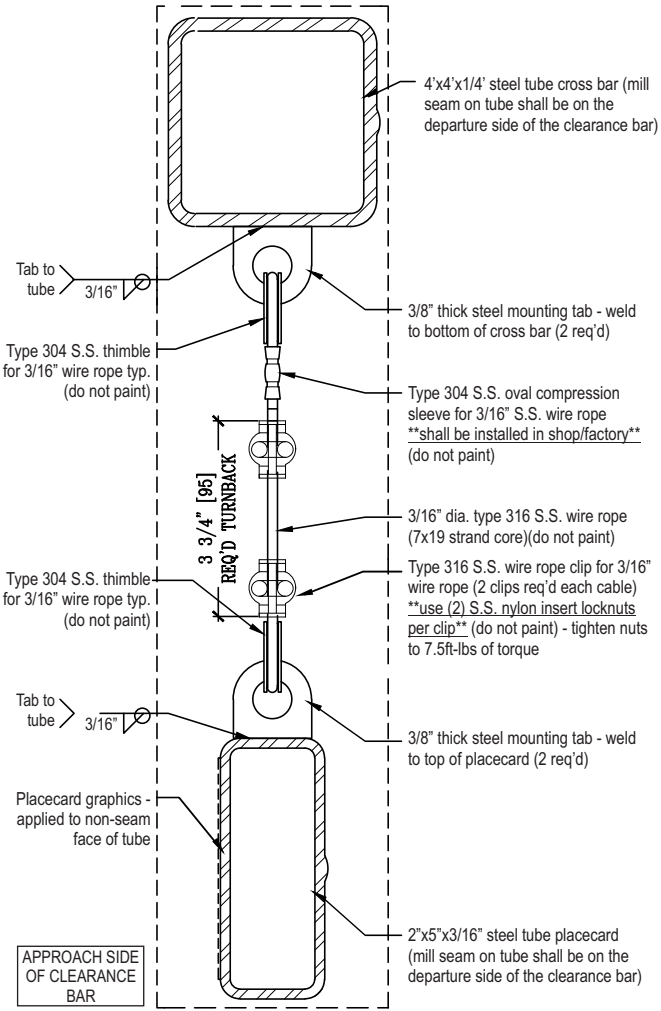
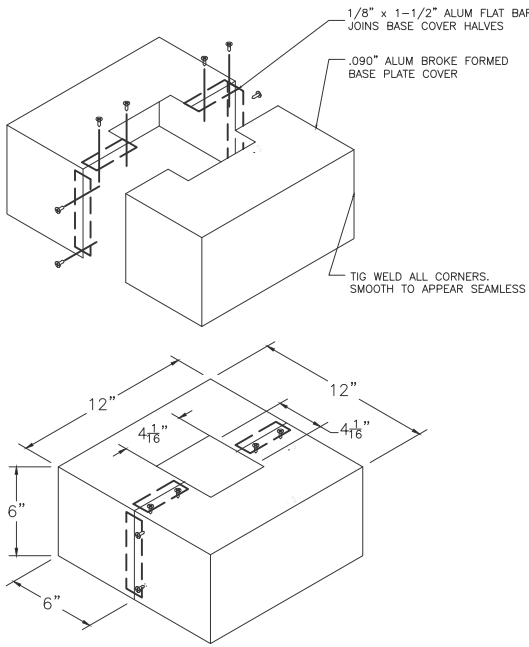
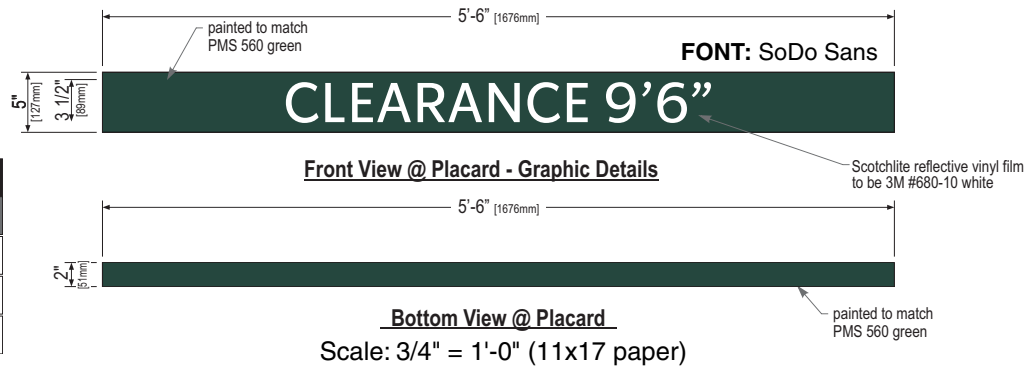
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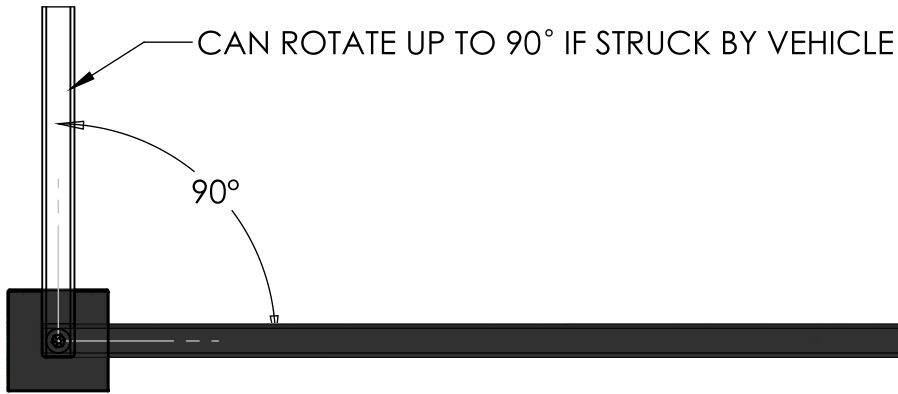
1



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 560 C	NA
	PSB 6865/ SATIN BLACK	3M 3630-22
	REFL. WHITE	3M 680-10



End Section View



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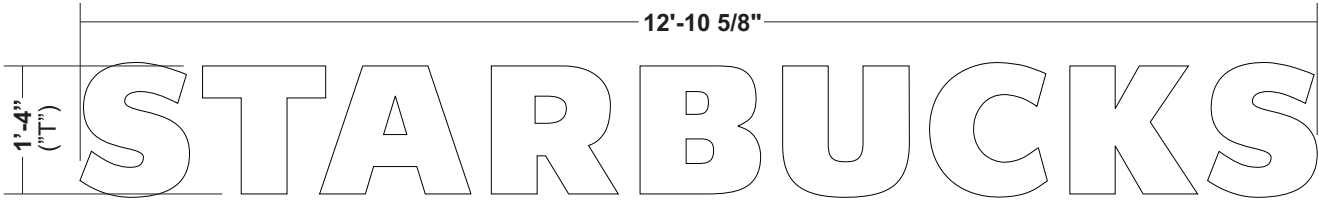
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16” CHANNEL LETTERS - REMOTE

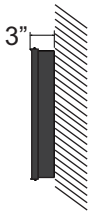
SBC-S18496-SB-W-SL

Qty. 1



1 Front View
Scale: 1/2" = 1' (11x17 Paper)

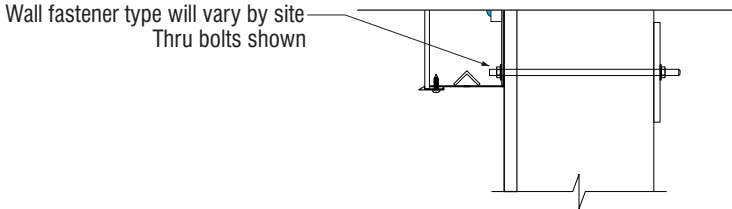
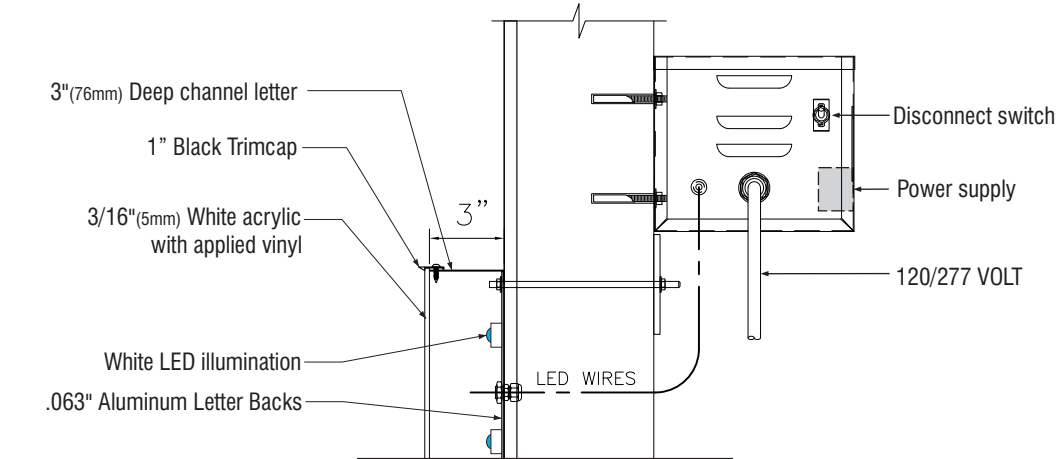
17.18 SF



2 Side View

SPECIFICATIONS

- A Internally illuminated channel letters to be fabricated from .040 returns aluminum with pre-painted White interiors and pre-finished Black returns. Letter backs to be aluminum stapled to sidewalls and sealed.
- B Faces to be 3/16" White acrylic with 1" Black trimcap
Faces to be first surface 3M Scotchcal #3630-76 Holly Green vinyl with white acrylic portions to show through white.
- C Letters illuminated w/ Sloan Prism Enlighten White 6500k LED's w/ remote power supply.
- D Letters to be installed flush to wall.



MOUNTING AND LETTER DETAIL(TYP)
SCALE: NTS

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

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THE INTENT OF THIS DRAWING IS TO SHOW A CONCEPTUAL REPRESENTATION OF THE PROPOSED SIGNAGE. DUE TO VARIATIONS IN PRINTING DEVICES AND SUBSTRATES, THE FINISHED PRODUCT MAY DIFFER SLIGHTLY FROM DRAWING.

UL

Underwriters
Laboratories Inc.

DRY

DAMP

WET

60” ILLUMINATED SIREN

Qty. 1 SBC-S13164-SL

K



1 Front View
3/4" = 1'-0" (11x17 Paper)

SPECIFICATIONS:

- A Single faced internally illuminated wall mount logo disk. Cabinet to be 3" deep, fabricated aluminum returns and back. Paint cabinet black. Faces to be 3/16" white Plex with 1" black trimcap
- B Graphics of logo to be 1st surface 3M Translucent Scotchcal vinyl- Holly Green #3630-76. Siren to show thru White.
- C Internally illuminated logo disk with Sloan Prism Enlighten 6500K white LEDs

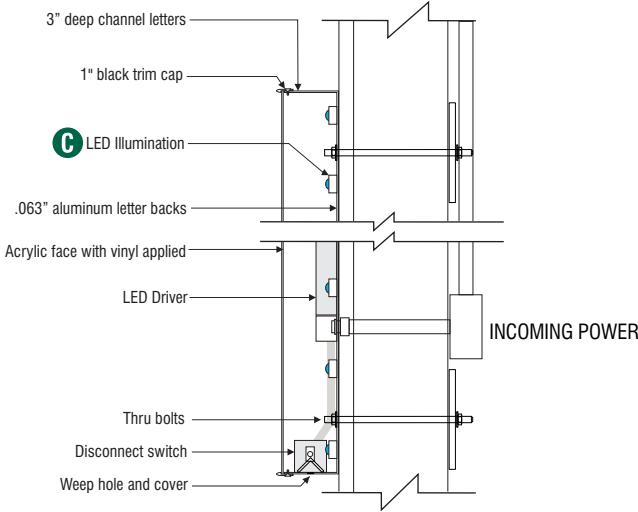
COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Wall Mount EVOLVED			
Size	Sq.Ft.	Sq.M.	Volts
60" (1524mm)	19.62	1.82	120/277

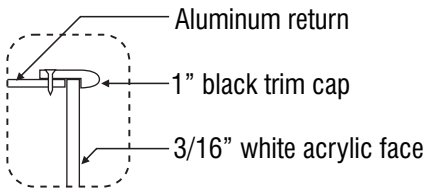
3" (76mm)

A

2 Side View



3 Disk Section View Typ.



4 Enlarged Detail

HILTONDISPLAYS
125 HILLSIDE DRIVE • GREENVILLE SC 29607
P 800 353 9132 • F 864 242 2204
www.hiltondisplays.com

QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

DESIGN SPECIFICATIONS ACCEPTED BY:

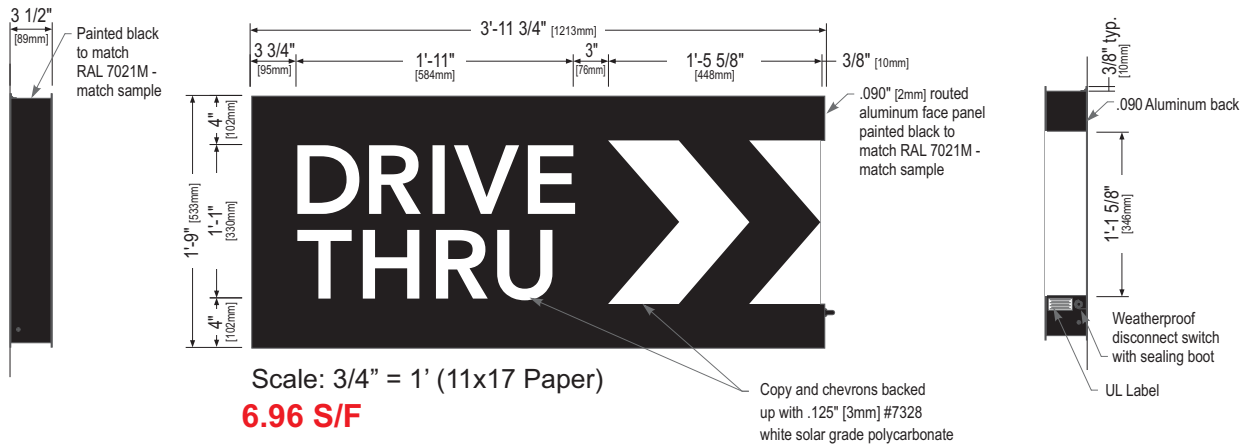
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SLS/PM:	LANDLORD:

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48” DT WALL SIGN-RH

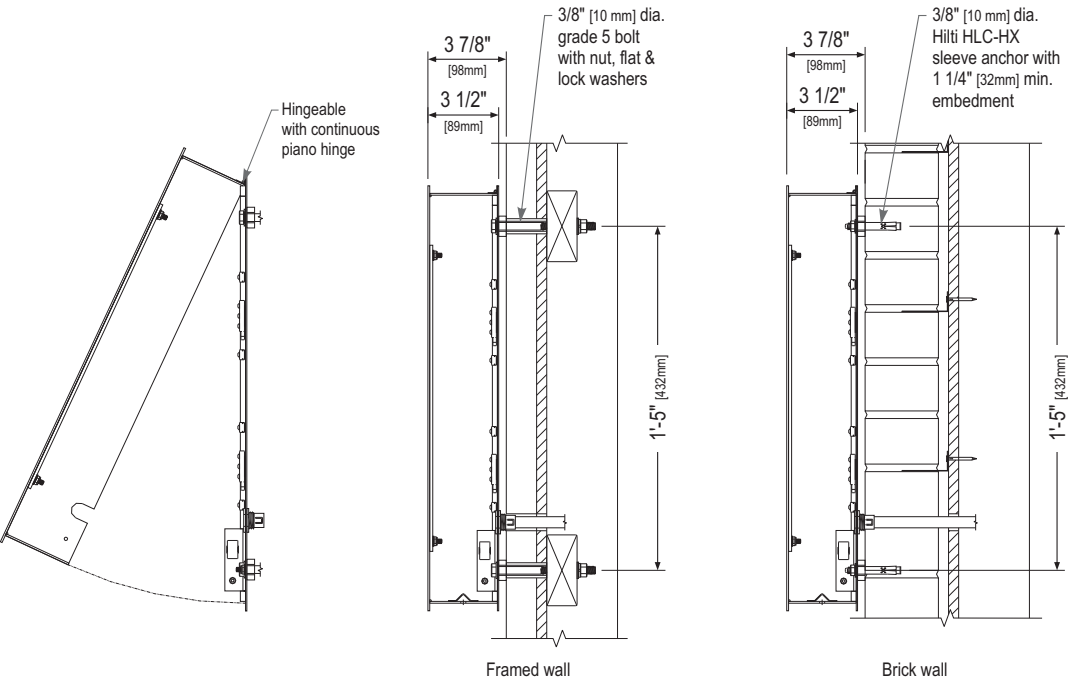
Qty. 1 SBC-S14099-SL



Left Side View

Front Elevation View

Right Side View



Service Position View
NOT TO SCALE

Section View at Installation Detail
NOT TO SCALE

COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10

Sign Specifications:

Cabinet:

- Fabricated .090" [2mm] aluminum housing painted black to match RAL 7021M with 3M #180-10 white vinyl end cap as shown.
- Directional copy and chevrons backed up with .125" white polycarb. All polycarb face elements to be attached to aluminum face panel with weld studs.
- Welded aluminum construction with no visible fasteners. Fasteners retaining the hinged face will be located on the bottom such that they are not visible. All fasteners used in the assembly of internal components shall be coated to prevent corrosion.
- Internal structure of cabinet shall be per approved shop drawings.
- Graphic elements are internally illuminated using Sloan Prism Enlighten LEDs. LED's to be mounted on back panel with self-contained power supply. All electrical components are removable for service.

Regulatory:

- Sign must meet all regulations in the National Electric Code as well as any local or state electrical codes.
- As per NEC 600.6, sign is equipped with a service disconnect switch.
- Sign must be listed as an Electric Sign per Underwriters Laboratories UL48 and/or CSA and bear the appropriate UL, CUL or CSA relevant certification marks. Primary power by electrical contractor per NEC.

Size	Sq. Ft. ¹	Sq. Ft. ²	Volts	Amps
21"	4.52	6.96	120/277	0.85

1: Figured as illuminated center part
2: Figured as complete signage

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www.hiltondisplays.com

QID 22-59788

JOB NAME

Starbucks 7363

LOCATION

2303 Nott Street East
Niskayuna NY 12309

CUSTOMER CONTACT

SALESMAN / PM

Morgan Aussprung

DESIGNER

Brian Sowder

DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

DESIGN SPECIFICATIONS ACCEPTED BY:

EST:	CLIENT:
SLS/PM:	LANDLORD:

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CHANNEL LETTERS ON BACKER PANEL

Qty. 1 SBC-PART #



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QID 22-59788

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DWG. DATE

3-1-22

REV. DATE / REVISION

4-21-22

SCALE

As Noted

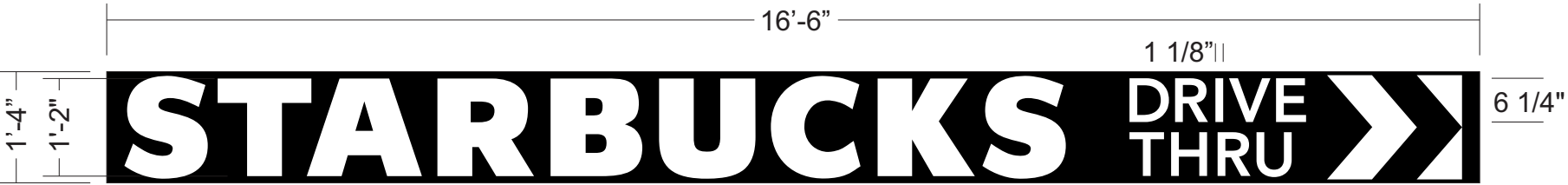
FILE

2022/Starbucks/Locations/
Niskayuna NY/22-59788/
SB Niskayuna NY 22-59788

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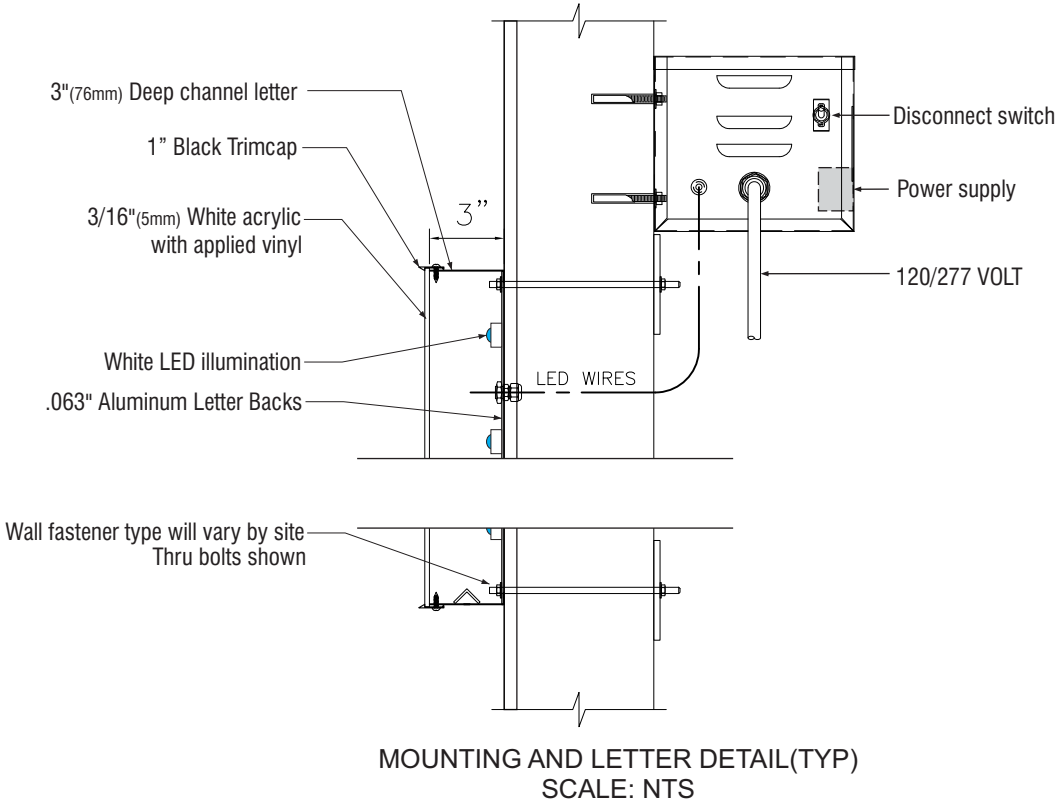


1 Front View
Scale: 1/2" = 1' (11x17 Paper)

22 SF

SPECIFICATIONS

- A** Internally illuminated channel letters to be fabricated from .040 returns aluminum with pre-painted White interiors and pre-finished Black returns. Letter backs to be aluminum stapled to sidewalls and sealed.
- B** Faces to be 3/16" White acrylic with 1" Black trimcap
Faces to be first surface 3M Scotchcal
#3630-76 Holly Green vinyl with white acrylic portions to show through white.
- C** Letters illuminated w/ Sloan Prism Enlighten White 6500k LED's w/ remote power supply.
- D** Letters to be installed to wall on flat aluminum backer panel painted satin black.



COLOR LEGEND		
	PMS/PAINT	VINYL
	PMS 3425 C	3M 3630-76
	RAL 7021M	3M 3630-22
	PMS WHITE	3M 3630-20/ 7725-10 TRANSLUCENT OPAQUE
	PMS 369 C	NA
	REFL. WHITE	3M 680-10



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ALL DISTURBED AREAS WITHIN LIMITS OF WORK WHICH ARE NOT INDICATED AS MULCHED PLANT BEDS OR HARDSCAPE SHALL BE TOPSOILED, SEEDED, AND MULCHED. REFER TO SHEET SDS FOR ADDITIONAL TOPSOIL AND SEE REQUIREMENTS (TYP).

UTILITY EASEMENT (DEED 1530 PAGE 278)

CLASS 52 C/D RECORD MAPING

8" WATER LINE

SEE ENLARGEMENT PLAN 1.1.1 FOR PLANTING DETAILS

ASPHALT SIDEWALK

GRANITE CURB

DOUBLE YELLOW LINE

ASPHALT SURFACE

CONCRETE CURB

CONCRETE CURB

CONCRETE CURB

CONCRETE CURB

CONCRETE CURB

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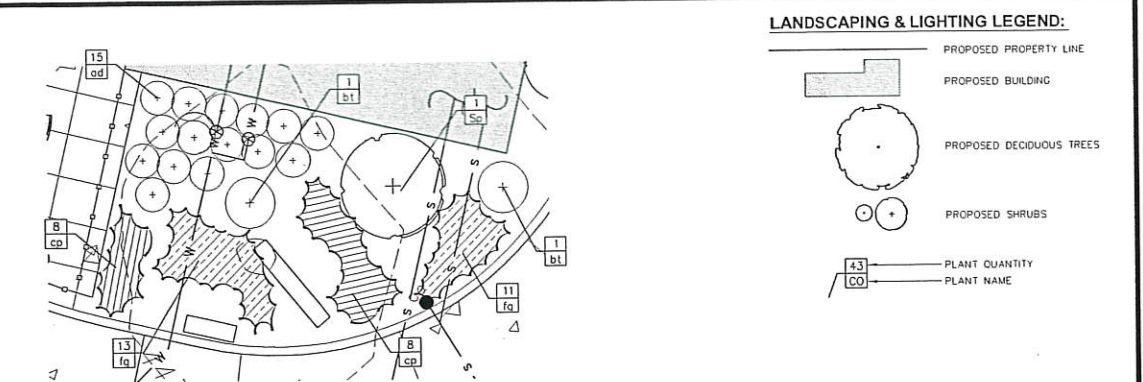
CONCRETE CURB

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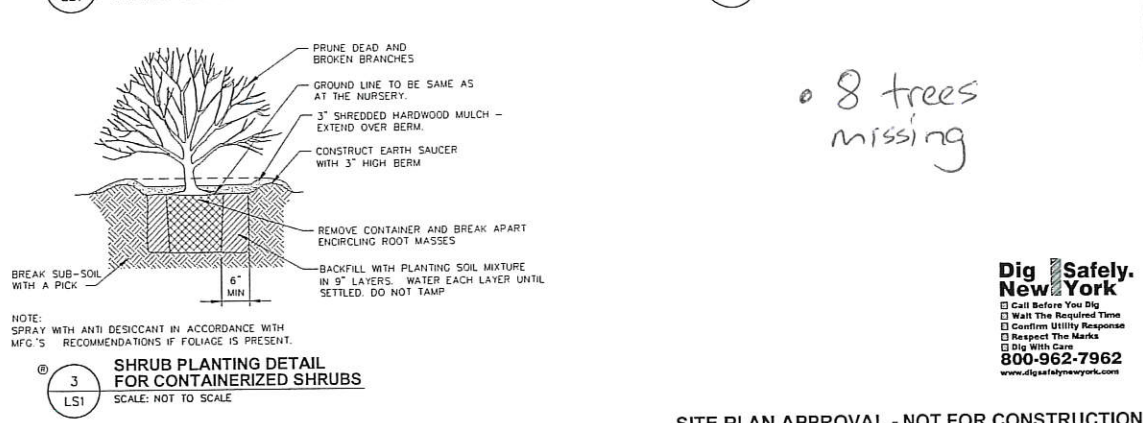
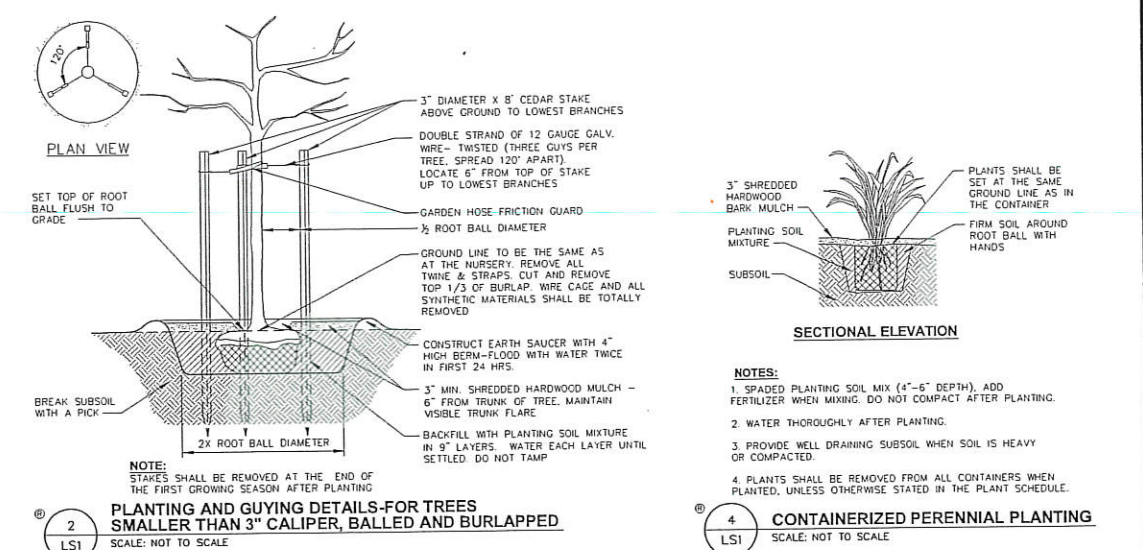
CONCRETE CURB



1 PLANTING BED ENLARGEMENT PLAN SCALE: 1"=5'

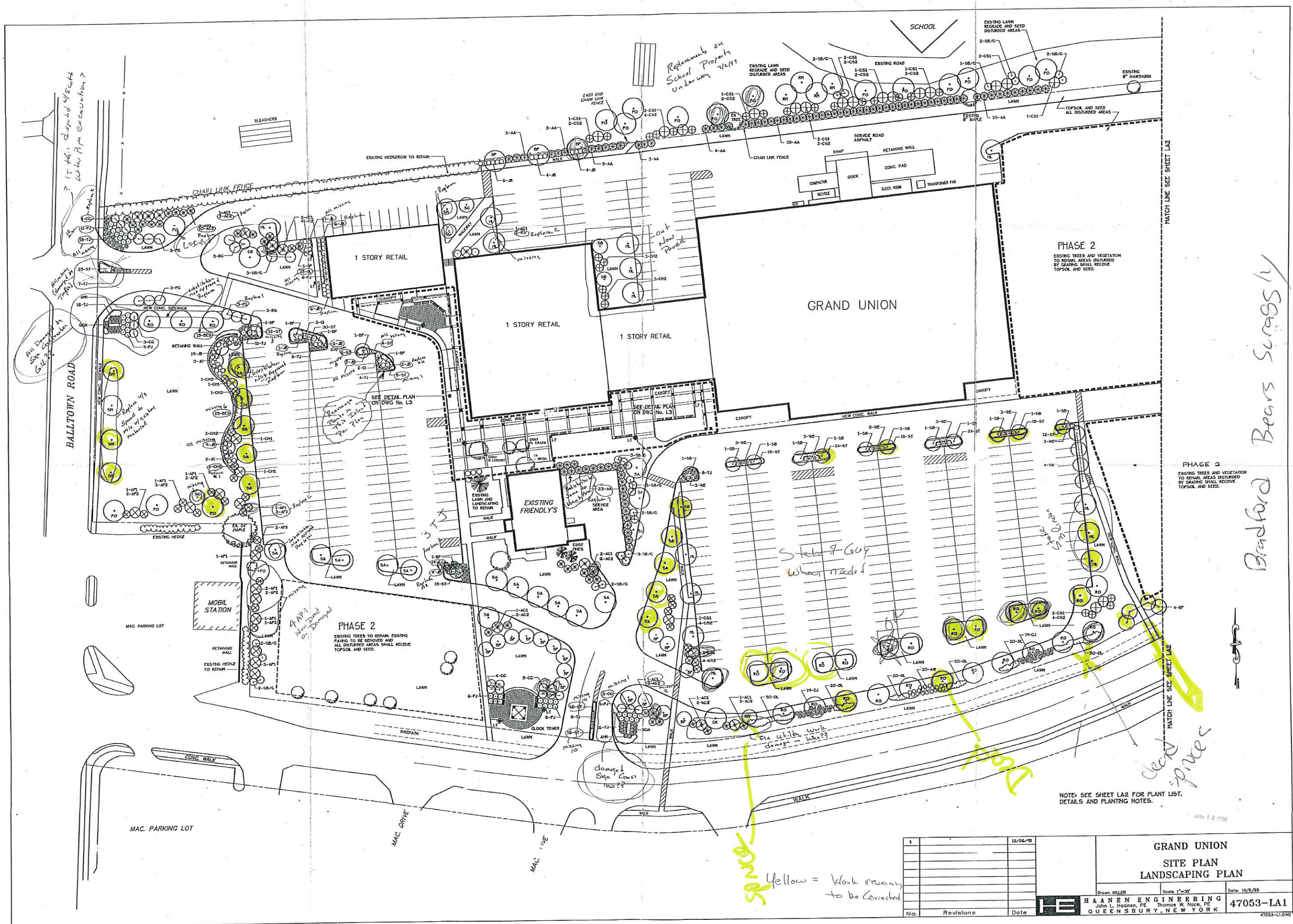
LS1 SCALE: 1"=5'

OVERALL PLANT LIST								
	QTY	ABRV	BOTANICAL NAME	COMMON NAME	SIZE	COND	SPACING	REMARKS
TREES	4	BP	Betula papyrifera	Paper Birch	8'-10' Clump	B&B	As Shown	
	10	CO	Celtis occidentalis	Hackberry	2"-2.5" Cal.	B&B	As Shown	
	7	PT	Populus tremuloides	Quaking Aspen	2"-2.5" Cal.	B&B	As Shown	
SHRUBS	11	Bz	Buddleia x 'Purple Haze La and Behold'	La & Behold Butterfly Bush	30-36"	Cont	As Shown	
	3	Ck	Coryopteris x clandonensis 'Dark Knight'	Bluebird 'Dark Knight'	18"-24"	Cont	As Shown	
	5	Cs	Cornus sanguinea 'Cala'	Arctic Sun Dogwood	18"-24"	Cont	As Shown	
	3	Sp	Salix purpurea 'nana'	Dwarf Blue Leaf Arctic Willow	30-36"	Cont	As Shown	
	2	Sy	Symphoricarpos x doorenbosii 'Marleen'	Marleen Coral Berry	30-36"	Cont	As Shown	
PLANTS & GRASSES	58	ad	Aster dumosus	New York Aster	#2 Cont	24" O.C.		
	2	bl	Baptisia aristata 'Carolina Moonlight'	'Carolina Moonlight' False Indigo	18"	#2 Cont	As Shown	
	16	cp	Coreopsis grandiflora 'Early Sunrise'	Early Sunrise Coreopsis	18"	#1 Cont	As Shown	
	24	fg	Festuca glauca 'Elijah Blue'	Elijah Blue Fescue	18"	#1 Cont	As Shown	
	120	sn	Salvia nemorosa 'Blue Hill'	Blue Hill Garden Sage	12"	#1 Cont	12" O.C.	



4 CONTAINERIZED PERENNIAL PLANTING SCALE: NOT TO SCALE

8 trees missing



NOTE: SEE SHEET LA2 FOR PLANT LIST, DETAILS AND PLANTING NOTES.

1		12/26/03	GRAND UNION	
			SITE PLAN	
			LANDSCAPING PLAN	
			Drawn: MILLER	Scale: 1"=30'
			HAANEN ENGINEERING	Date: 10/9/03
			John L. Haanen, PE Thomas W. Nace, PE	
			QUEENSBURY, NEW YORK	47053-LA1
No.	Revisions	Date		



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 2/23/2022

ITEM TITLE: DISCUSSION: Site plan app. for temporary outside seating area and parking space changes at The Broken Inn at 2207 2209 Nott St.

PROJECT LEAD: David D'Arpino

APPLICANT: Thomas Nicchi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Thomas Nicchi, of Stand Up Global and agent for the owner, submitted an Application for Site Plan Review for temporary outdoor seating and parking space changes at 2207 / 2209 Nott Street. Mr. Nicchi would like to relocate the parking spaces along the west façade of Lange's Pharmacy approximately 24 ft. west of their present location. The resulting vacated area is proposed to be a 59' 6" x 14' (833 sq. ft.) outdoor seating area for The Broken Inn and a 59' 6" x 8' (476 sq. ft.) sidewalk / queue area for the take-out and ice cream windows.

BACKGROUND INFORMATION

2207 2209 Nott Street is located within the C-N Commercial Neighborhood Zoning district and Town Center Overlay District. Section 220-10 District regulations E C-N Neighborhood Commercial District (3) Special principal uses (d) Restaurants, sit-down or take-out (no vehicle pickup and ordering facilities) allows a restaurant to be located in the C-N district upon granting of a special permit by the Town Board. The Town Board granted a special use permit on December 22, 2020 to allow a restaurant with bar, sit-down or take-out (no vehicle pickup and ordering facilities) by Resolution No. 2020-327.

Mr. Nicchi opened the restaurant in the early spring of 2022. As the temperatures began to rise, and the activity at the walk-up ice cream window began to increase, he noticed patrons collecting along the west façade to queue up in line for the window or to socialize as they enjoyed their ice cream. His proposal to create a temporary outdoor seating area is intended to create a safe queuing and gathering area.

The following supporting documents were submitted with the site plan application.

1. Site plan drawing entitled "Concept Drawing Nott Street / Crescent Road Outdoor Dining Area and Parking Modifications" by MJ Engineering and Land Surveying, P.C. dated March 2022 with no subsequent revisions.
2. Letter from MR. Nicchi to the Planning Board dated 5/16/22 describing the project.
3. Drawing showing the Schenectady Cty. Nott St. redesign project by MJ Engineering and Land Surveying, P.C.
4. Pictures taken from approximately 5/10/22 thru 5/17/22 of the current condition showing people collecting & lingering at the ice cream window area.
5. Site plan drawing of the proposed redesign by MJ Engineering dated March 2022.
6. A picture taken on 5/11/22 showing tables and chairs arranged in the proposed temporary outdoor seating area.
7. A rendering of a proposed temporary outdoor seating area showing tables with patio umbrellas, chairs, decorative lighting and flower boxes.

ANALYSIS

1. Parking

During the public input opportunities associated with the Planning Board site plan review and Town Board special use permit review of the initial proposal to locate a sit-down restaurant with take-out window (no vehicle pickup or ordering facilities) at this location within the Co-op Plaza, parking availability was discussed and analyzed at length. A very detailed report was prepared that documents the zoning code based parking space requirements for 2207 / 2209 Nott Street and the entire Co-op Plaza. The report also includes an actual count of the existing parking spaces and the spaces that will exist after the Schenectady County redesign of the Co-op Plaza area of Nott. St. A summary of that analysis is included below. The complete report is saved in the project folder for the proposed temporary outdoor seating project.

Design Condition	Parking contiguous to 2207 / 2209 Nott St	Parking in entire Co-op Plaza parking lots
Current condition	21	115
Post Sch Cty proj	21	103
With Broken Inn outdoor seating	18	100

As noted in the complete report, the Co-op Plaza is "pre-existing nonconforming" relative to the Niskayuna zoning code that was first adopted in approximately 1971. The Co-op Plaza as a whole never had enough parking spaces to meet the current zoning code and in fact functions effectively in its current configuration. As noted above, the Schenectady County Nott St. reconfiguration project was approved with its 12 parking space reduction from the current condition. The proposed redesign for temporary outdoor seating will reduce available parking by 3 spaces.

2. Safety of patrons from vehicular traffic and parking

The Planning Board should consider and discuss the safety of patrons gathered in the proposed temporary outdoor seating area since that area is contiguous to a row of parking spaces where vehicles will be entering and exiting on a routine basis.

3. Queue area for the ice cream and take out windows

The Planning Board should consider and discuss how patrons will safely queue up for the take out windows since the windows are in the immediate vicinity of an active parking area.

4. Noise, garbage, parking demand & lighting

The creation of a temporary outdoor seating area would seem to produce an increase in noise and garbage and possibly increase the need for more parking and lighting. Although the outdoor seating area does not meet the definition of Gross Floor Area which drives parking space requirements an additional 833 sq. ft. plus seating area would seem to have an incremental impact.

NEXT STEPS

Based on customer behavior during the first few months of spring Mr. Nicchi is requesting an immediate review of the current site plan with a take-out window and ice cream window so close to active parking areas. He is requesting approval of a defined outdoor seating area to create safe queuing and gathering areas along the west facing façade of the building.

Mr. Nicchi's intention is to observe how the temporary seating area functions and apply that learning to a more permanent solution in the future.

Safety of patrons is paramount, and any temporary or permanent solution will need to have barriers in place between cars and pedestrians.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Thomas Nicchi for
The Broken Inn

Address 2209 Nott St.
Niskayuna NY 12309

Email info@broken-inn.com

Telephone 518 365 7685 Fax _____

Location:

Number & Street 2209 Nott Street

Section-Block-Lot 40.14 - 5 - 30

Zoning District C-N

Proposal Description:

Project detail attached for
temporary exterior seating area for
the purpose of public safety on the
Clifton Park Rd side of the
business address above.

Signature of applicant: _____

Date: 5/16/22

Signature of owner (if different from applicant): _____

Date: 5/18/22

RECEIVED

MAY 19 2022

PLANNING OFFICE
NISKAYUNA, NY

May 16, 2022

Niskayuna Planning Board
One Niskayuna Circle
Niskayuna, NY 12309

Dear Board Members:

I am today requesting emergency authorization for the temporary outdoor seating area as described below.

Since my business, The Broken Inn, has opened we have had great support from the community, in particular those who walk to our business. Thank you for previously granting the approval for this business to open.

Included in our previously reviewed and approved plan is a soft serve ice cream window. This window faces a paved area that is nearly 50 feet away from the street line and nearly 75 feet long. This entire area is paved, but has no marked parking spaces, no marked sidewalks, and is awkwardly angled in relation to the building and to Clifton Park rd. In short is it a challenge to navigate as it currently sits to even the best drivers.

About two weeks ago we opened our soft serve ice cream window and have seen guests of all ages walk, run and bike to have a treat and to meet with others. Those guests include many parents with strollers (some who are expecting), youth sports teams, and children on bikes.

At first these guests visited us and had no place to sit. They would either sit on the ground where drives could not see them, or stand all over the parking lot.

To correct the issue we measured an area that allowed both ample seating and an area that included all existing parking spaces. Our intention then was to stripe the parking spaces in this area as we have already agreed to do. Striping is necessary as some people park mere inches from the building currently or even hit it. We then met with the Town planners office and showed them this and were advised that we needed to wait and present the striping plan to this board prior to marking the ground. Note – striping had not been done previously due to weather.

In the interim we placed temporary red velvet ropes and stanchions and tables in a marked area for guests to sit, but again were told these tables and chairs needed to be removed until presenting to this board.

I have provided photos of all of these.

With the inability to stripe, nor to be able to place tables and chairs in a roped off area, I ask you for emergency authorization for a temporary outdoor seating area as described in the attached Site Plan detail. Granting this permission will immediately make this area safer, will make this area more comfortable, and will allow you to test the viability of a permanent community gathering area.

You will find within a drawing completed by MJ Engineering who designed the ongoing Nott Street construction project, a plan for barriers that are in accordance with New York State Fire Code section 312, and mock ups of an outdoor area that looks and feels great for our guests and our community.

Thank you in advance for your consideration.

Regards,
Thomas Nicchi
The Broken Inn

2209 Nott Street – Site Plan Detail

For both customer comfort and safety we request permission to place a temporary exterior seating and gathering area on the Clifton Park Rd side of our building. Our plan has been drawn up by MJ Engineering to work in concert with the ongoing Nott Street construction which they designed as well. All drawings and plans are done in accordance with parking space and safety requirements, and take into account safe sidewalk and public gathering spaces.

SAFETY:

The proposed outdoor area will be created in compliance with the Americans with Disabilities Act (ADA) standards and New York State code per fire and life safety requirements – in particular New York State Fire Code section 312 (Vehicle Impact Protection – subsection 312.3 which states “Barriers, other than posts specified in Section 312.2 ,that are designed to resist, deflect or visually deter vehicular impact commensurate with an anticipated impact scenario shall be permitted where approved.” To satisfy this requirement we intend to bring in barriers that visually deter vehicular impact commensurate with an anticipated impact scenario.

SIDEWALK:

The proposed layout would continue the 8’ wide sidewalk area currently being built on the Nott Street side of the building. It would run adjacent to the Clifton Park Rd side of the building and would be the same width as the newly placed sidewalk.

PARKING:

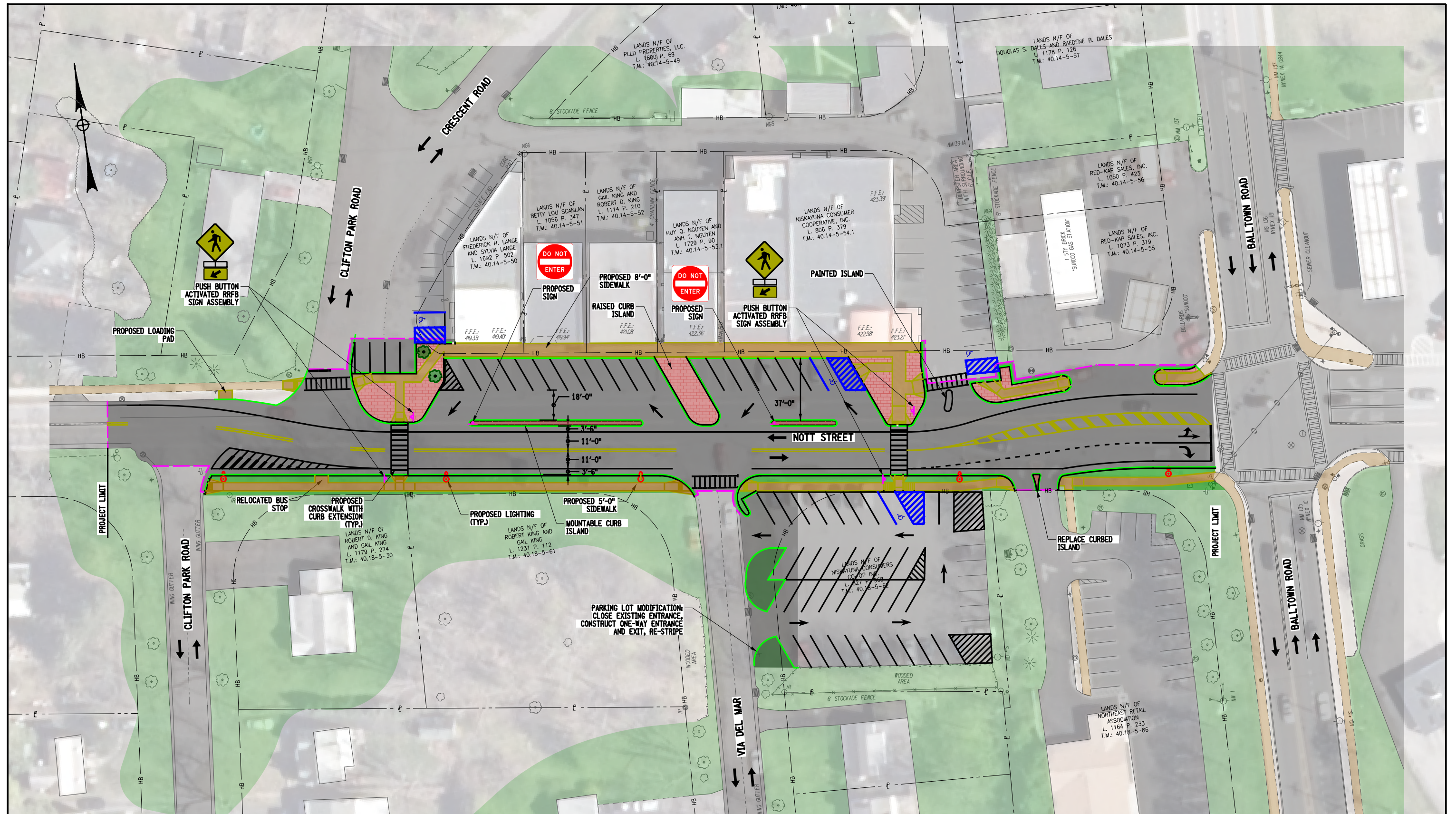
The proposed layout would have the exact same number of parking spaces that currently exists on the Clifton Park Rd side of the building taking into account one handicap parking space with loading area and the 4 parking spaces that are being constructed as part of the Nott Street project built towards the new island area. The total number of parking spaces on this side of the building is 13.

BICYCLES:

The proposed layout would have a bicycle rack (currently none exists) for those who ride bikes to safely stand/lock up when frequenting any business in the plaza.

DINING AREA:

The proposed layout would be approx. 14’ wide by 60’ long and would be safely enclosed from the parking area by a barrier on both the North and West sides. It would be adjacent to the new sidewalk on the South side and adjacent to an 8’ sidewalk area on the East side. The area would have tables and chairs with umbrellas for shade, string lights hanging over the area for evening lighting, and would be handicap accessible. This area would provide a safe space for guests of all ages to spend time.



ALTERNATIVE 2C **PROPOSED CONDITIONS:** **SHIFT NOTT STREET SOUTH** **APRIL 24, 2020**

LEGEND	
	PROPOSED ASPHALT
	PROPOSED SIDEWALK
	TOPSOIL AND SEED
	EXISTING ASPHALT
	EXISTING SIDEWALK
	EXISTING GREEN SPACE



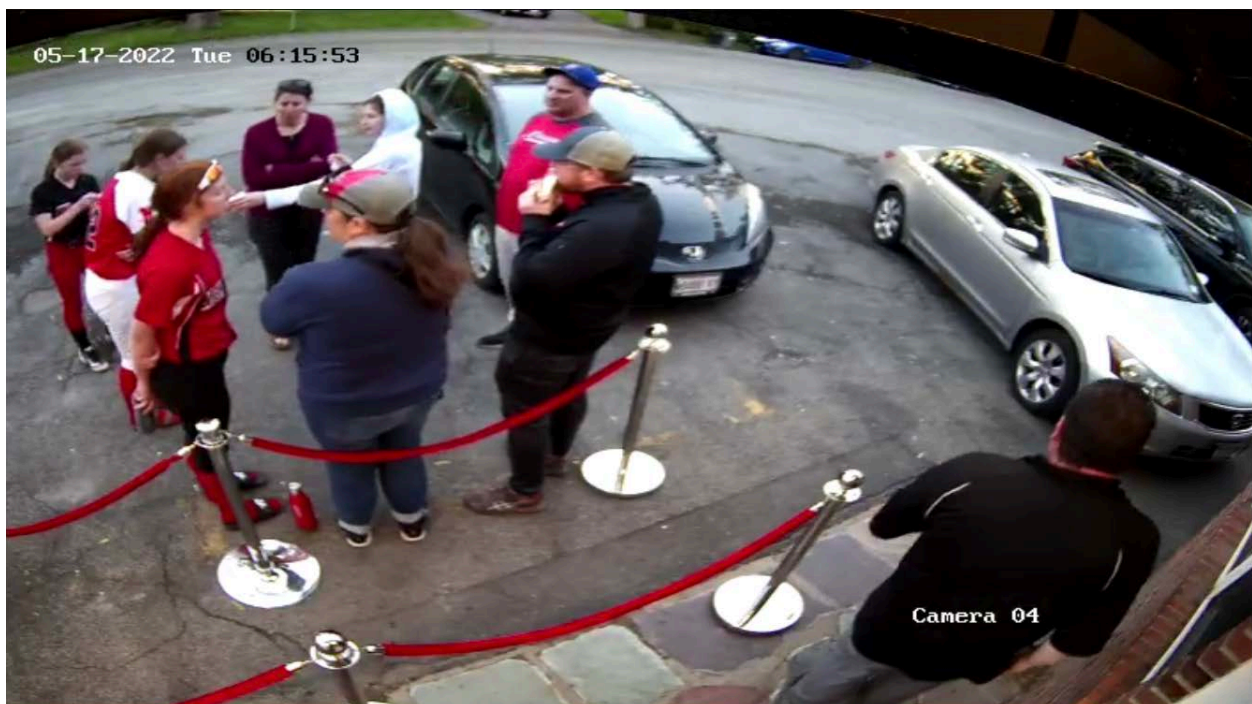
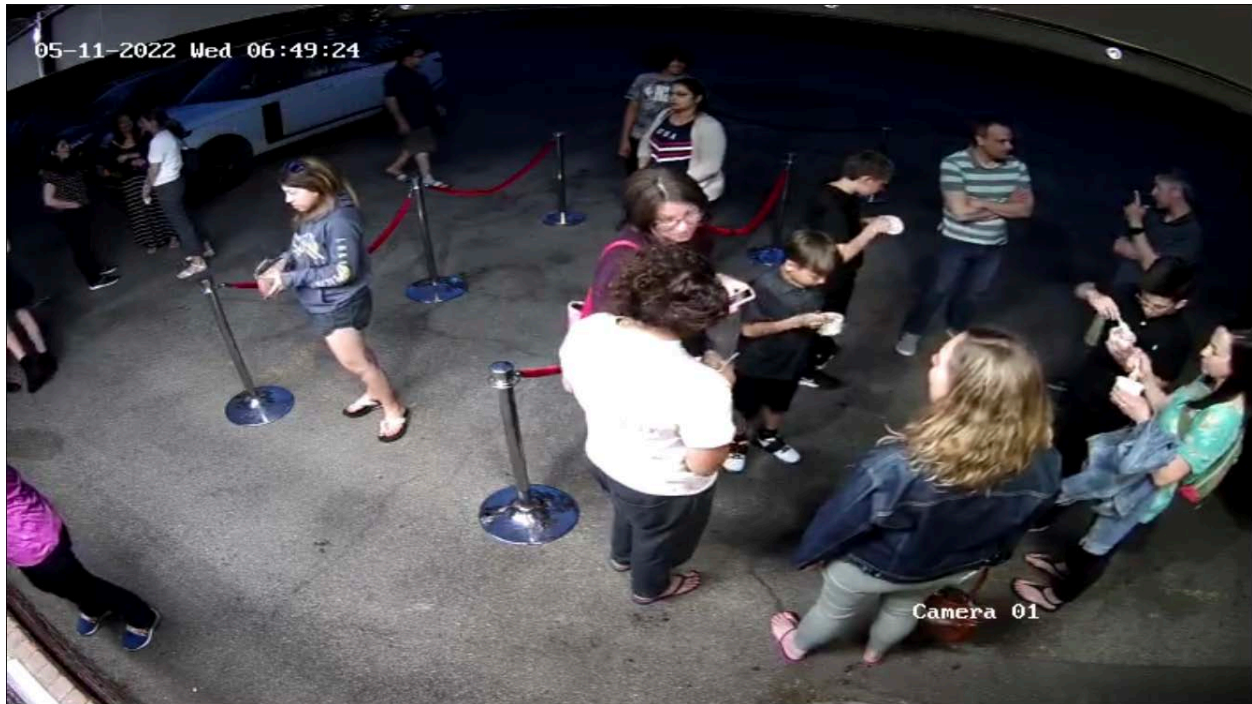


05-10-2022 Tue 06:10:08



Camera 01

The Broken Inn





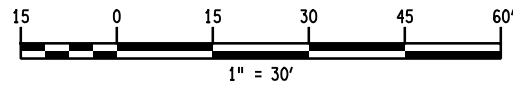
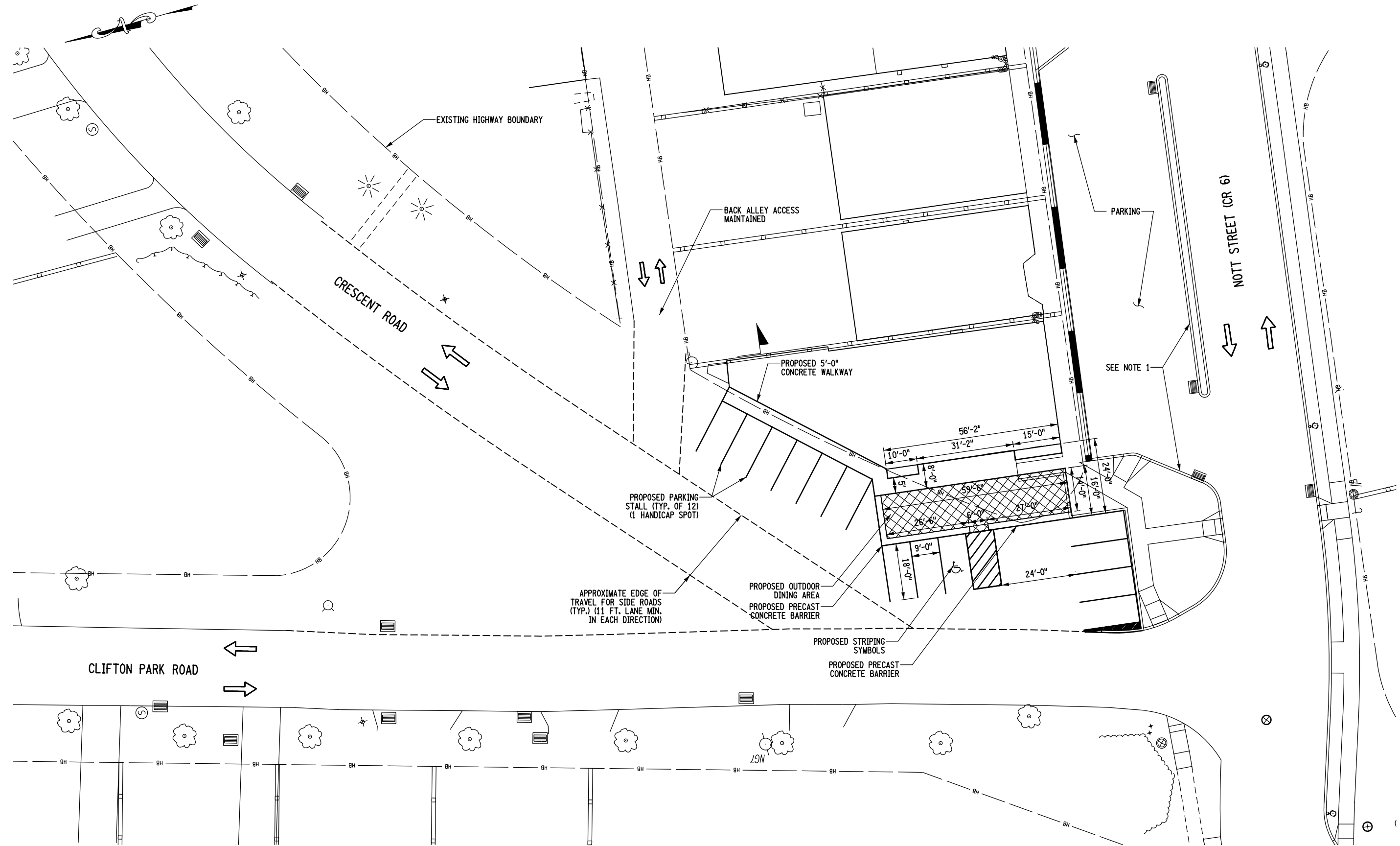
THE BROKEN INN

RESTAURANT

ICE CREAM

SOFT SERVE ICE CREAM
CHOCOLATE, VANILLA OR TWIST
DO TWIST VANILLA
ONE SIZE - \$5 (CUPS ONLY)
CHOCOLATE BRUSSELS LUNCH
BRUSSELS DOG - \$10
UNCLE JOE'S COFFEE FLOAT - \$4
PEPSI OR SODA BEER FLOAT - \$4
CHOCOLATE LASAGNA - \$8
MASSIVE CORNED SANDWICH - \$8
SODA OR BOTTLED WATER - \$3
CASH ONLY PLEASE. MAKE YOURS HERE.

FILE NAME = F:\m\701\m\701.12 - Nott Area Improvements\701.12.opd_OPTION 4.dgn
DATE/TIME = 5/18/2022 4:45:47 PM
USER = ngibson



NOTES:

1. THE EXISTING CONDITION OF NOTT STREET INCLUDING CURBS, SIDEWALKS AND LANE WIDTHS REPRESENT THE PROPOSED DESIGN OF SCHENECTADY COUNTY'S PIN 1760.60 NOTT STREET SAFETY IMPROVEMENTS. CONSTRUCTION IS SCHEDULED FOR 2022.



Engineering and
Land Surveying, P.C.
1533 Crescent Road - Clifton Park, NY 12065

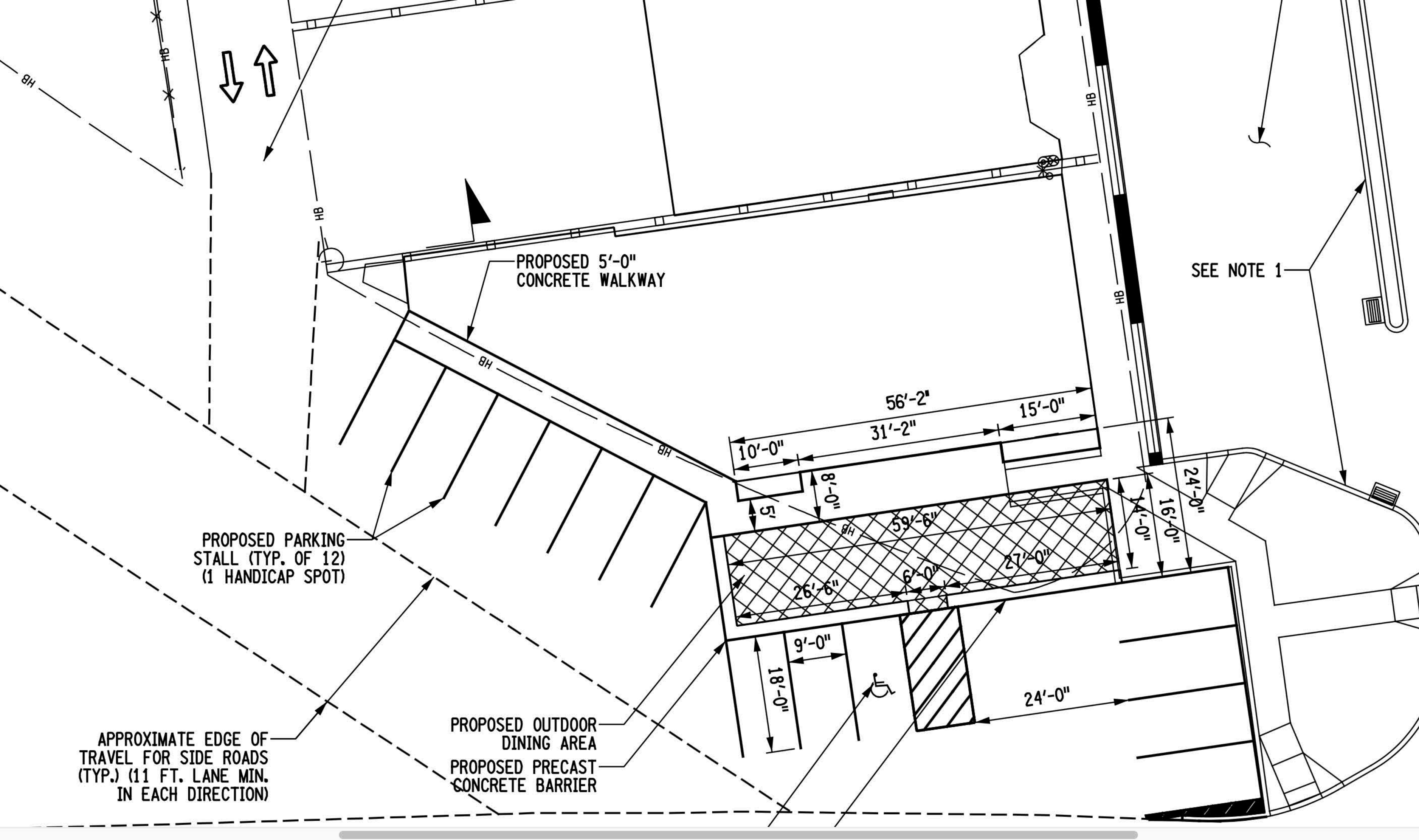
**CONCEPT DRAWING
NOTT
STREET/CRESCENT
ROAD OUTDOOR DINING
AREA AND PARKING
MODIFICATIONS**

MARCH 2022

MJ PROJ. No.: 874.30

DRAWING NO.

1.0



PROPOSED 5'-0"
CONCRETE WALKWAY

SEE NOTE 1

PROPOSED PARKING
STALL (TYP. OF 12)
(1 HANDICAP SPOT)

APPROXIMATE EDGE OF
TRAVEL FOR SIDE ROADS
(TYP.) (11 FT. LANE MIN.
IN EACH DIRECTION)

PROPOSED OUTDOOR
DINING AREA
PROPOSED PRECAST
CONCRETE BARRIER

56'-2"
31'-2"
15'-0"

10'-0"

8'-0"

5'

59'-6"

6'-0"

27'-0"

26'-6"

14'-0"

16'-0"

24'-0"

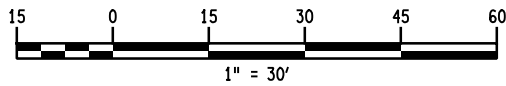
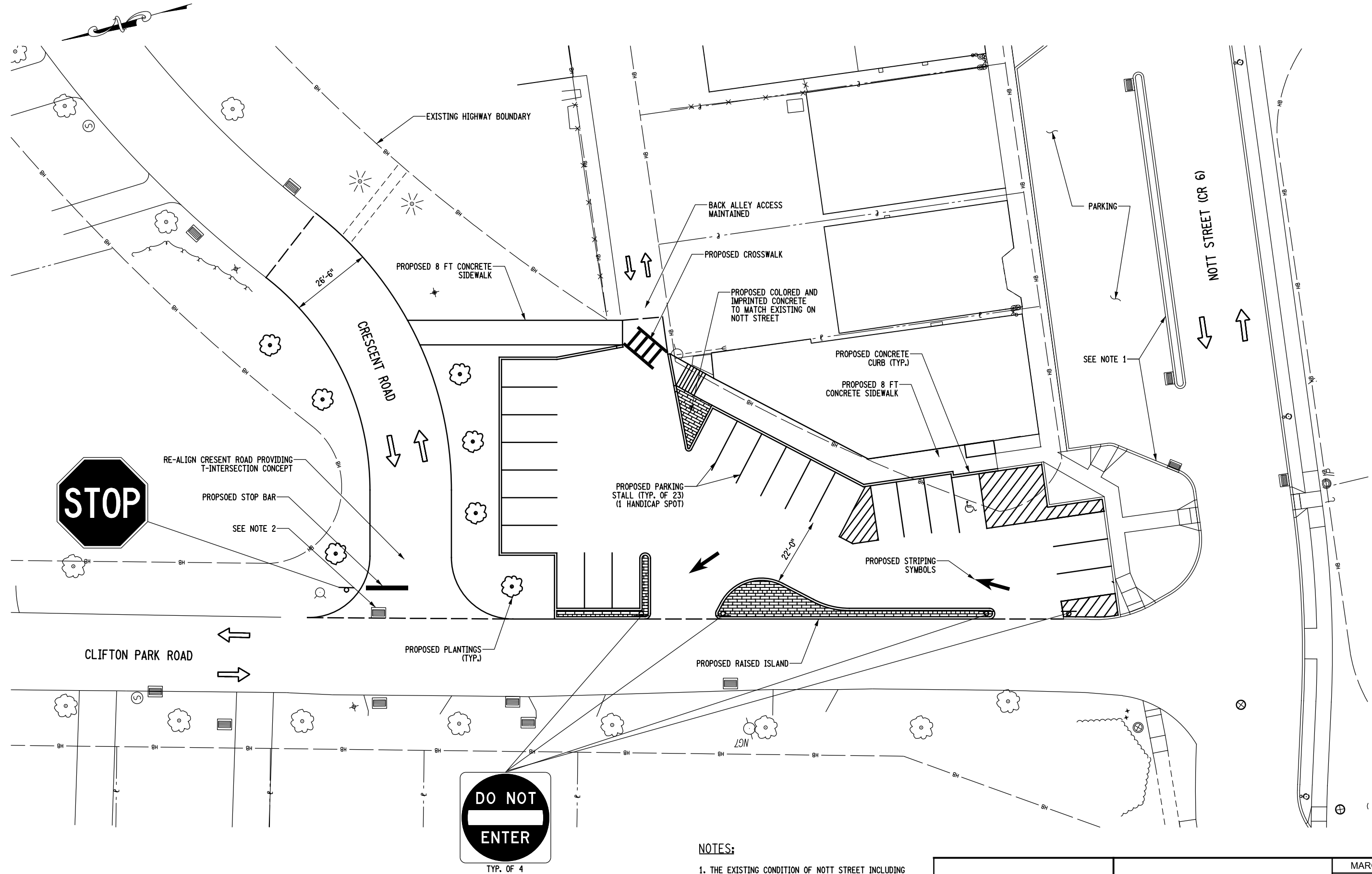
18'-0"

9'-0"

24'-0"



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DATE/TIME = 3/9/2021 9:48:18 AM
USER = amushaw



NOTES:

1. THE EXISTING CONDITION OF NOTT STREET INCLUDING CURBS, SIDEWALKS AND LANE WIDTHS REPRESENT THE PROPOSED DESIGN OF SCHENECTADY COUNTY'S PIN 1760.60 NOTT STREET SAFETY IMPROVEMENTS. CONSTRUCTION IS SCHEDULED FOR 2021.
2. DRAINAGE MODIFICATIONS TO BE DETERMINED DURING FINAL DESIGN.



Engineering and
Land Surveying, P.C.
1533 Crescent Road - Clifton Park, NY 12065

**CONCEPT 3
CRESCENT ROAD /
CLIFTON PARK ROAD
T-INTERSECTION**

MARCH 2021
MJ PROJ. No.: 701.12
DRAWING NO.
2.2



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 2/23/2022

ITEM TITLE: DISCUSSION: 424 Balltown Rd -- Site plan app. for dividing the exiting single store front into two rentable spaces of 10,330 sf and 2,140 sf with a 127 sf utility room. The proposal includes a tenant change to a 5 Below retail store in one of the newly created spaces.

PROJECT LEAD: TBD

APPLICANT: Rick Flather, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Rick Flather, agent for the owner, submitted an Application for Site Plan Review for changes and improvements to the existing commercial space at 424 Balltown Road within Mohawk Commons. Mr. Flather would like to divide the existing space into two main spaces of 10,330 sq. ft. and 2,140 sq. ft. with a separate 127 sq. ft. landlord utility room. A new tenant, a 5 Below retail store, is proposed for one of the newly created spaces. The commercial space is located within the C-S Shopping Center Commercial zoning district. Retail stores are permitted principal uses in the C-S district.

BACKGROUND INFORMATION

A 3-page drawing set was provided with the application consisting of the following.

Page	Title	By	Rev
1	402-442 Balltown Rd.	DLC Management	None
2	Alta / ACMSM Land Title Survey	DDR Project	1/15/2016
3	Construction Floor Plan – Former Party City Space	DLC Management	5/9/22

Mr. Flather states that the proposed 5 Below retail store will be open from 8 AM – 11 PM, will have an occupancy load of 154 people and will consist of 15 employees per shift.

A separate application will be submitted in the future for new signage. The applicant is before the board to present the project and address any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530
Fax: (518) 386-4592

Application for Site Plan Review

Applicant (Owner or Agent):

Name RICK FLATHER

Address 12587 FAIR LAKES CIR, #238
FAIRFAX VA 22033

Email rflather@ds2i.net

Telephone 703-843-5996 Fax 703-997-5996

Location:

Number & Street 424 BALLTOWN RD

Section-Block-Lot _____ - _____ - _____

Zoning District C-S SHOPPING CTR COMM

Proposal Description:

Landlord Improvements to previous Party City to create 2 Future Tenant
Retail spaces A & B (A=10,330sf, B=2,140sf) and Landlord Utility Room (127sf).

Proposed Space A will be a 5 Below retail store with store hours
daily 8a-11p with Occupant Load of 154, and 15 employees per shift.

Signage to be submitted by others. Future Retail Tenant B TBD.

Signature of applicant: RICK FLATHER Date: 5/18/2022

Signature of owner (if different from applicant): _____

Date: _____

Permit and Utility Authorization

From: Clark Lowe, Director of Construction
To: Town of Niskayuna, NY Building Department
Date: January 4, 2021
Subj: Mohawk Commons

Please accept this letter as notification the services of Rick Flather have been retained by DLC MANAGEMENT CORP to provide permitting and utility services. Mr. Flather shall have authorization to apply for Building Permits and all Dry Utility Public Companies associated with Mohawk Commons, either via Landlord work or any associated tenant.

Respectfully,

Clark C. Lowe

Clark Lowe
Director of Construction



Mohawk Commons

402-442 Balltown Rd
Schenectady, NY 12309

GLA: 535,153

Contact:
Brooke Stevens

P. 914.304.5671
C. 419.560.2304
F. 914.631.6533
E. bstevens@dlcmgmt.com

This site plan indicates the general layout of the shopping center and is not a warranty, representation, or agreement on the part of the landlord that the shopping center will be exactly as depicted herein.

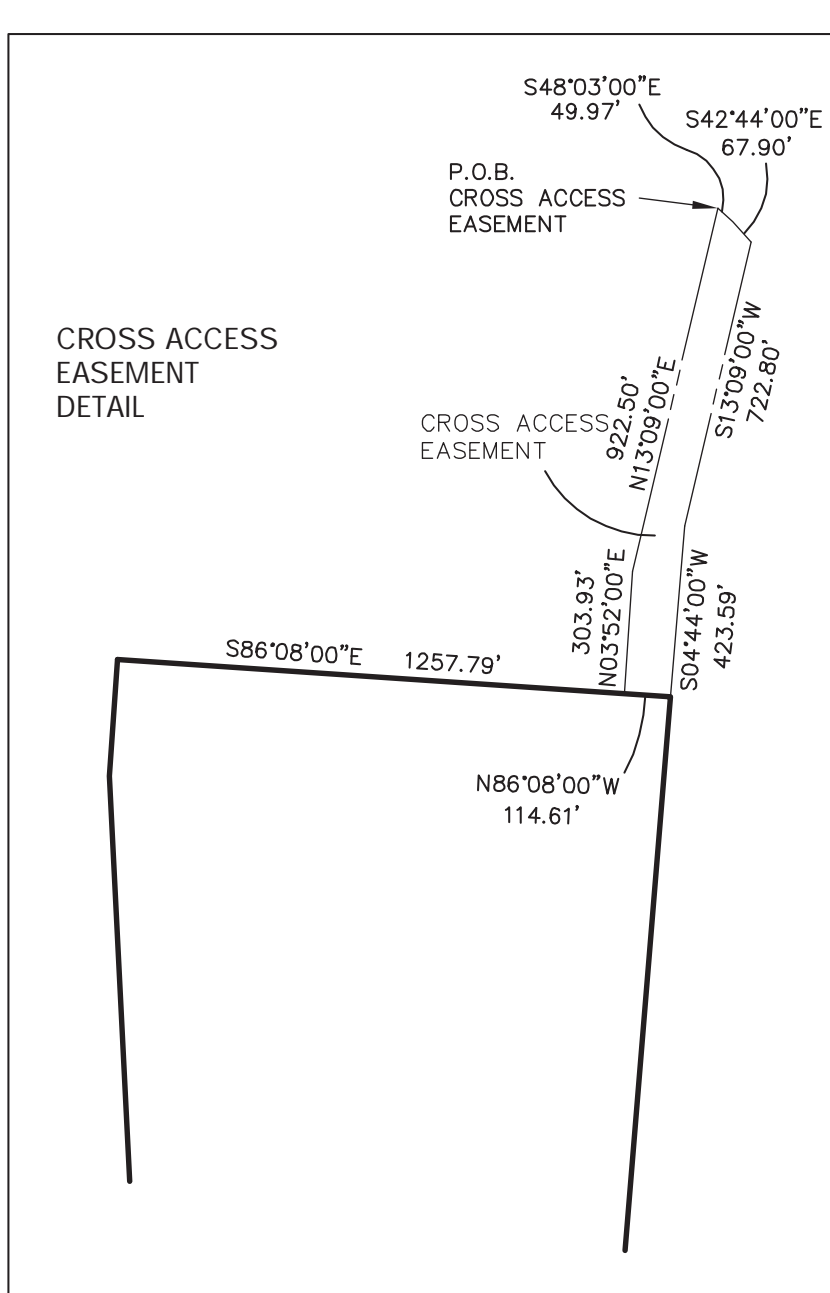
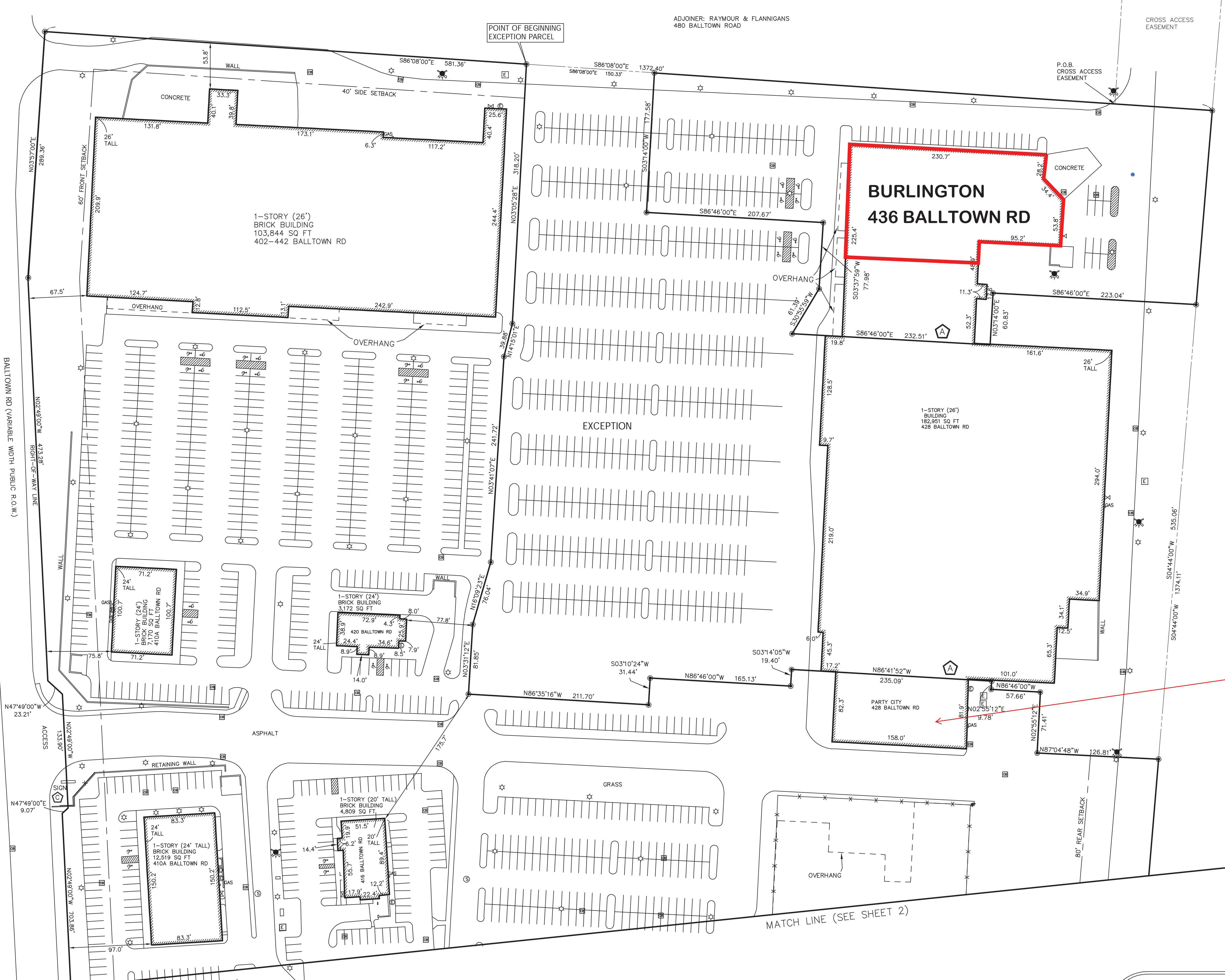
AVAILABLE SPACES

6D	1,712 SF
8	25,000 SF



CURRENT TENANTS

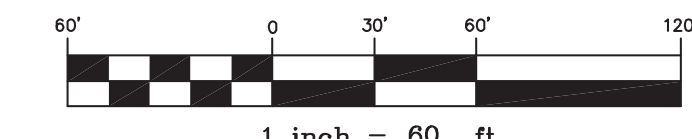
GL-10	Taco Bell	5,074 SF	11	Carter's	4,000 SF	21	Aspen Dental	3,500 SF
U-1	Target	125,400 SF	13	Chase Bank	4,645 SF	21B	Massage Envy	2,588 SF
1	Market 32	73,892 SF	14A	Spectrum	3,621 SF	22	Sprint	2,638 SF
2	Lowe's	135,197 SF	14B	Pure Barre	2,372 SF	23	Old Navy	14,800 SF
5	Marshalls	30,010 SF	15	America's Best Contacts & Eyeglasses	3,652 SF	24	Metro Mattress	4,355 SF
6A	ULTA Beauty	11,299 SF	15A	Five Guys	1,985 SF	25	GNC	1,208 SF
6B	Gap	8,325 SF	16	Panera Bread	4,800 SF	26	Professionail	1,500 SF
6C	Blaze Pizza	2,471 SF	17	PetSmart	19,200 SF	26A	Beijing House / China King	1,105 SF
7	Party City	12,640 SF	18	GameStop	1,115 SF	28	Verizon Wireless	3,500 SF
8A	Maurices	4,500 SF	19	Supercuts	1,321 SF	8	Burlington	24,391 SF
9	Famous Footwear	10,075 SF	20	AT&T Wireless	2,733 SF			



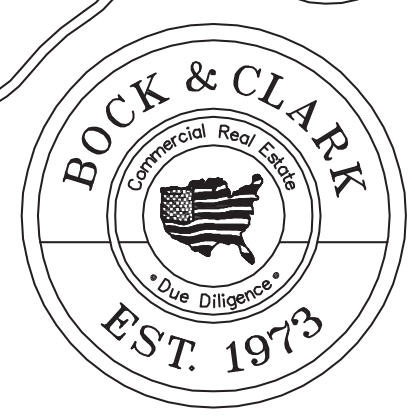
ADJOINER: INFO. NOT AVAILABLE

PREVIOUS PARTY CITY
PROPOSED FUTURE TENANTS AND
UTILITY ROOM
424 BALLTOWN ROAD

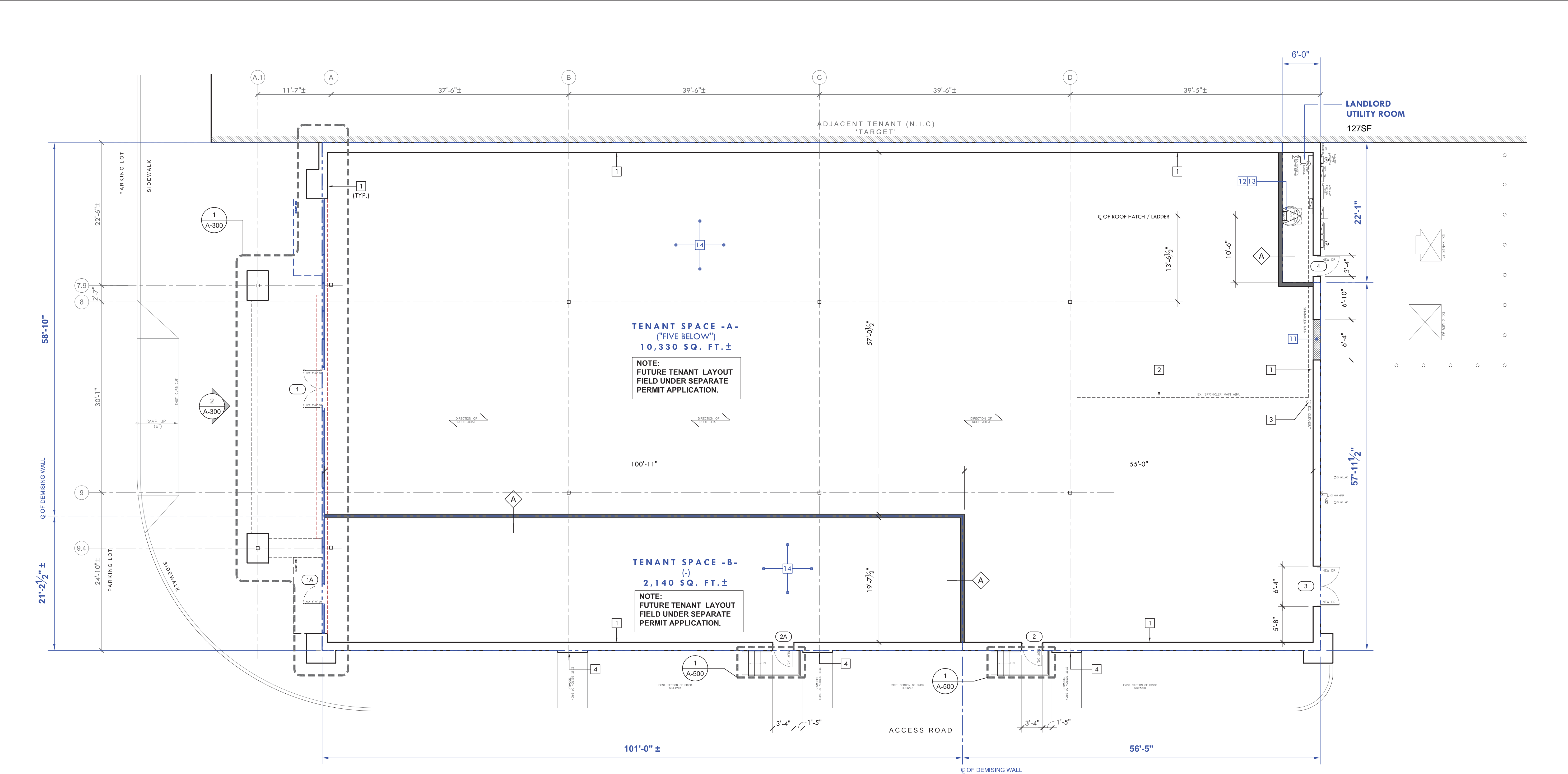
Global Land Solutions
Solutions that work for you.
Corporate Office: 5065 12 Mile Road NE
Rockford, Michigan 49341
(888) 352-5617
www.GlobalLandSolutions.com
Serving The Great Lakes Region



ALTA/ACSM LAND TITLE SURVEY
PREPARED FOR:
DDR-PROJECT SABRE
DATE OF FIELD SURVEY: JANUARY 15, 2016
NETWORK PROJECT NO. 201504336-009 **SHEET 3 OF 3**



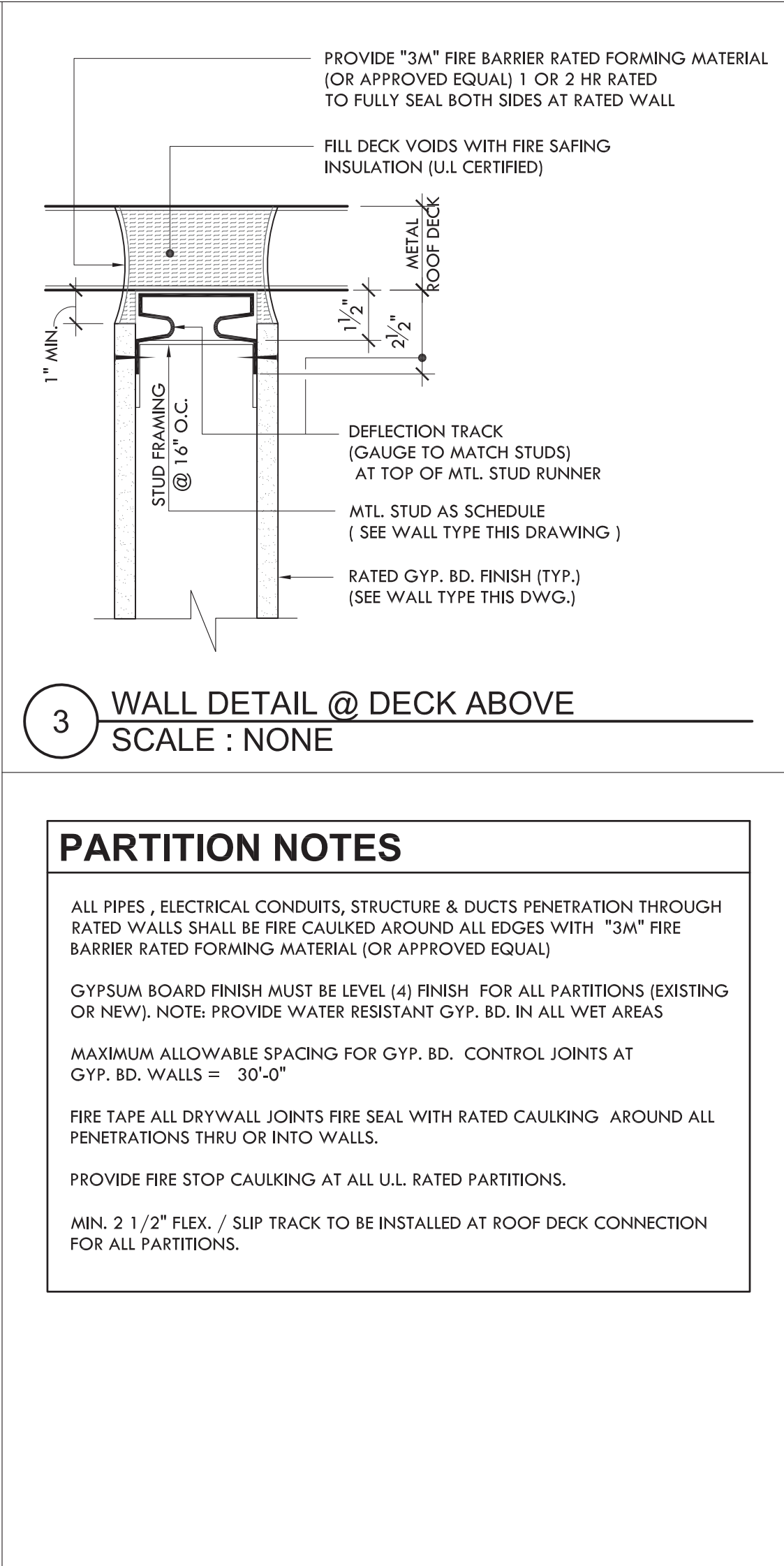
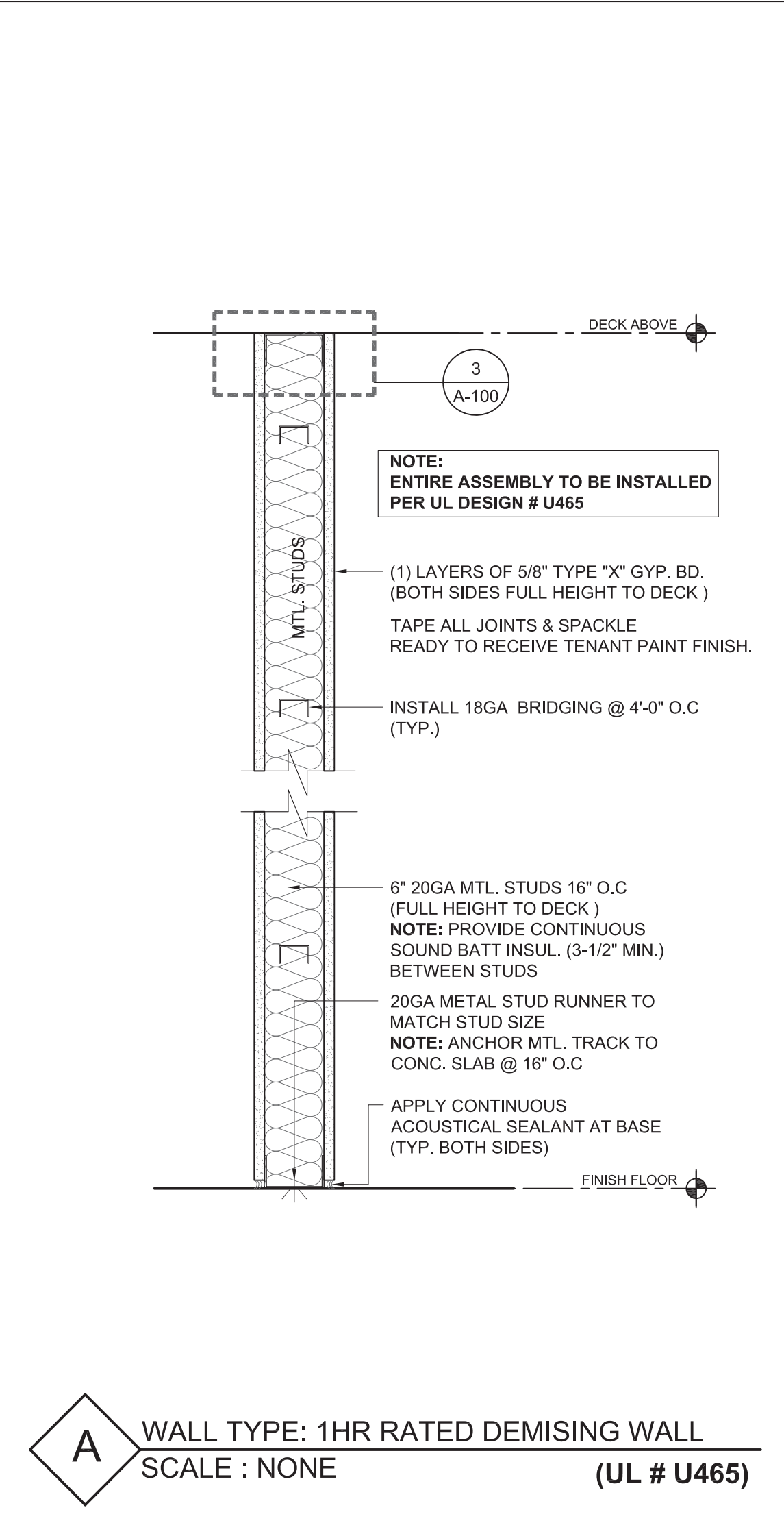
Bock & Clark's National Surveyors Network
National Coordinators of ALTA/ACSM Land Title Surveys
3550 W. 80th Street, Suite 400, Akron, OH 44312
Phone: (800) 366-3608 (330) 666-3608 www.bockandclark.com



CONSTRUCTION FLOOR PLAN

SCALE: 1/8" = 1'-0"

1



DOOR SCHEDULE

DOOR NO.	ROOM NAME	THICKNESS	MATERIAL	DOOR SIZE	DOOR FINISH	HARDWARE SET	REMARKS
1	STOREFRONT ENTRY	-	ALUM./GLS.	(2) 3'-0" x 8'-0"	CLEAR ANODIZED	#4	ADJUST CLOSER FOR A 105° ROTATION
1A	STOREFRONT ENTRY	-	ALUM./GLS.	3'-0" x 8'-0"	CLEAR ANODIZED	#4	ADJUST CLOSER FOR A 105° ROTATION
2	EGRESS DOOR	1-3/4"	HOLLOW METAL	3'-0" x 7'-0"	PAINTED "P-2"	#3	ADJUST CLOSER FOR A 105° ROTATION
2A	EGRESS DOOR	1-3/4"	HOLLOW METAL	3'-0" x 7'-0"	PAINTED "P-2"	#3	ADJUST CLOSER FOR A 105° ROTATION
3	EGRESS DOOR	1-3/4"	HOLLOW METAL	(2) 3'-0" x 7'-0"	PAINTED "P-2"	#3	ADJUST CLOSER FOR A 105° ROTATION
4	LANDLORD UTILITY ROOM	1-3/4"	HOLLOW METAL	3'-0" x 7'-0"	PAINTED "P-2"	#3 (NO "EXIT DEVICE")	-

DOOR HARDWARE

HARDWARE SET# 3 (EXIT DOOR WITH PANIC HARDWARE)

CLOSER:
NORTON # C L P 8 5 0 1 R, PUSH MTD., HOLD-OPEN OPERATION (SET TO BE SLB. MAX OPENING FORCE) INCLUDE HOLD OPEN CLOSER TYP. OF 1.

HINGES:
HAGER AB850, 1-1/2 PAIR STAINLESS STEEL MARKAR, ASSA ABLOY HINGE #B1923, SUPPORT PIVOT, US2G

EXIT DEVICE:
- SINGLE DOOR: DETEX #V40 x 628 X EB W X CD x 99, WEATHERIZED ALARMED RM.
- DOUBLE DOOR: DETEX #V40 X 628 X EB W X CD X 94, WEATHERIZED ALARMED RM. EXIT DEVICE, 292D.
AUTOMATIC FLUSH BOLTS, 297D COORDINATION BAR, 280x DUST PROOF STRIKE & 94 DOUBLE DOOR STRIKE EXIT DEVICE TO HAVE 7"-PIN BEST ACCEPTABLE CYLINDER & (2) HAGER 297B MOUNTING BRACKETS
*NEW EXIT DEVICE TO BE INSTALLED ON ALL.

KICK PLATE:
36" x 48" #6GA KICK PLATE. INSTALL WITH 5.5 COUNTERSUNK SCREWS ON PUSH SIDE. *VERIFY SIZE WITH DOOR SIZE.

SILENCER:
RESILIENT TYPE, REMOVABLE FOR REPLACEMENT, 3 EACH DOOR MTD. IN FRAME.

SMOKE SEAL:
"PEMKO" #58BD (USE AT RATED DOORS ONLY)

WEATHERING:
5" ALUM./STEEL THRESHOLD COMPLETE WITH WEATHER STRIPPING AND SMOKE GASKET (EXTERIOR DOORS)

SECURITY:
SECURITY ASTRAGAL, NATIONAL GUARD PRODUCTS #139SP FULL HT. OF DOOR, INSTALL WITH SECURITY SCREWS

VIEWER:
180 DEGREE VIEWER - HAGER 1756

HARDWARE SET# 4 (ENTRY DOORS)

CLOSER:
NORTON # C L P 8 5 0 1 R WITH 8148 DROP PLATE ADJUSTED MOUNTING POINTS FOR MIN. 105° ROTATION.

PULL:
HAGER PULL #111J, 32D OR APPROVED EQ.

PUSH:
HAGER PUSH #130S, 32D OR APPROVED EQ.

LOCK:
7 PIN BEST ACCEPTABLE CYLINDER WITH TEE TURN INSIDE & EXTERIOR CYLINDER GUARD, MAJOR MANUF. # CGL-26D
*NO LOCKSET TO BE INSTALLED ON INTERIOR VESTIBULE DOORS, WHEN VESTIBULE IS INST.

LOCK BOX:
MASTER LOCK - 5400D

WEATHERING:
PER MANUF. SPECS, INCLUDING FLOOR SWEEPS.

THRESHOLD:
8" STANDARD MILL FINISHED THRESHOLD.

LEGEND SYMBOL

SYMBOL	DESCRIPTION
⋯	DENOTES DRAWING NOTE (SEE THIS DRAWING)
⊖	DENOTES DOOR TYPE (SEE THIS DRAWING)
⊗	DENOTES PARTITION KEY - SEE DRAWING A-402
⊗ A-XXX	ELEVATION TAG
⊗ A-XXX	DETAIL TAG
EX., EXIST.	EXISTING TO REMAIN (SEE PLAN KEY NOTES)
(N)	NEW CONSTRUCTION (SEE PLAN KEY NOTES)

LEGEND WALL TYPES

SYMBOL	DESCRIPTION
⋯	DENOTES DRAWING NOTE (SEE THIS DRAWING)
---	EXISTING CONSTRUCTION TO REMAIN
---	NEW 1HR RATED DEMISING WALL (SEE WALL TYPE)

CONTRACTOR NOTE:
CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITION AND DIMENSIONS - COORDINATE ALL PHASES OF DEMOLITION / CONSTRUCTION FOR PROJECT AND NOTIFY ARCHITECTS OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK AND TENANT DESIGN CONCEPT, PRIOR TO THE START OF DEMOLITION / CONSTRUCTION.

PLAN KEY NOTES

- (EX) PARTITION: G.C TO PATCH AND REPAIR AS REQUIRED (LEVEL 3 FINISH)
- (EX) 4" Ø SPRINKLER MAIN @ +1'-3"
- (EX) 8" Ø PVC ROOF DRAIN CLEAN-OUT @ +2'-6"
- (EX) EXTERIOR PIER
- (N) WALL IN-FILL TO MATCH AND ALIGN WITH ADJACENT BUILDING CONSTRUCTION AND FINISHES. G.C TO COORDINATE WITH LANDLORD REP. FOR ALL EXTERIOR FINISH SPECS.
- (N) ROOF HATCH:
MANUFACTURER.....BILCO (OR APPROVED EQUAL)
SIZE.....36" X 30"
MODEL.....S-50-TB
PROVIDE SAFETY RAIL SYSTEM (MODEL: RL2-S)
INSTALL PER MANUFACTURE PUBLISHED INSTRUCTIONS
- (N) ROOF HATCH LADDER / SAFTY CAGE:
MANUFACTURER.....OKEEFFE'S INC. (OR APPROVED EQUAL)
MODEL.....S31 CAGE LADDER
- INSTALL PER MANUFACTURE PUBLISHED INSTRUCTIONS
- G.C TO PROVIDE CONCEAL WOOD FOR LADDER SUPPORT
- SEE DETAIL# 6/A-500 FOR PIPE TRENCH IN-FILL AND M.E.P FOR UNDERGROUND PIPE LOCATIONS

GENERAL ARCHITECTURAL NOTES

- DO NOT SCALE THE DRAWINGS.
- GENERAL CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS REQUIRED BY ONE IS AS BINDING AS IF REQUIRED BY ALL. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
- UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY, FACE OF STUDS AND FACE OF CONCRETE WALLS.
- "FLOOR LINE" REFERS TO TOP OF CONCRETE SLABS. FINISH FLOORING IS INSTALLED ABOVE THE FLOOR LINE. FOR DEPRESSED FLOORS AND CURBS, SEE STRUCTURAL DRAWINGS.
- REPETITIVE FEATURES ARE NOT DRAWN IN THEIR ENTIRETY AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.
- REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL AND OTHER CATEGORIES OR DRAWINGS FOR ADDITIONAL NOTES.
- VERIFY SIZE, LOCATION, FINISH, FIRE-RATING, ETC. AND PROVIDE COMPLETE ALL REQUIRED OPENINGS THROUGH FLOORS AND WALLS, ACCESS DOORS, FURNING, CURBS, ANCHORS AND INSERTS. PROVIDE ALL BASES AND BLOCKING REQUIRED FOR ACCESSORIES, MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT.
- WALL TYPES WITH UL DESIGN NO.5 SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- ALL INTERIOR METAL STUD WALLS SHALL BE CONSTRUCTED TO ACHIEVE MINIMUM STC RATING AS INDICATED ON THE DRAWINGS. SEE SHEET G-006 FOR ADDITIONAL INFORMATION REGARDING ACOUSTICAL PERFORMANCE REQUIREMENTS.
- PROVIDE (2-1/2") MIN. ACOUSTICAL BATT INSULATION AT ALL INTERIOR METAL STUD WALL ASSEMBLIES AS NOTED. FASTEN BATT INSULATION TO STUDS WITH BATT TIES, FILL WALL THICKNESS COMPLETE.
- ALL PENETRATIONS AND OPENINGS SHALL MEET WALL ASSEMBLY FIRE RATINGS AND INTERSECTIONS OF FIRE-RATED PARTITIONS, PROVIDE FIRE SEALANT AND 1 OR FIRESTOPPING TO MAINTAIN CONTINUITY OF PARTITION RATING.
- ALL LISTED METAL STUD DIMENSIONS, GAGE & THICKNESS ARE MINIMUMS AND ARE PROVIDED AS BASIS-OF-DESIGN. CONTRACTOR TO VERIFY & SUBMIT FINAL PROPOSED DESIGN.
- NOTHING IS PERMITTED TO BE ATTACHED TO, SUSPENDED FROM, OR PENETRATE THE ROOF DECK.
- T.G.C. MAY ATTACH TO THE TOP CHORD OF JOIST(S) OR TO THE STRUCTURAL STEEL ALL WALLS.
- CONSTRUCTION SHALL BE SUPPORTED IN THIS MANNER: NO WELDING OR SHOOTING INTO THE STRUCTURE IS PERMITTED.

JEFFREY
TAYLOR
ARCHITECT

572 NORTH BROADWAY
WHITE PLAINS, NEW YORK 10603
TEL 914 289 0011



EXP. DATE 04/30/24



PLAN NORTH

ISSUE / REVISIONS:
05.09.22 ISSUED FOR PERMIT

PROJECT NO. 10777
DRAWN BY: JTA (R.M.)
SCALE: AS NOTED

SHEET TITLE:
CONSTRUCTION
FLOOR PLAN

DIC MANAGEMENT CORP.
PROJECT: FORMER "PARTY CITY" SPACE (RE-DEMISING)
MOHAWK COMMONS
424 BALLTOWN ROAD
SCHENECTADY, NY 12304

SHEET NO:
A-100.00



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII.4

MEETING DATE: 5/23/2022

ITEM TITLE: DISCUSSION: 2837 Aqueduct Rd. (River's Ledge) – Application for Site Plan Review for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space.

PROJECT LEAD: Genghis Khan & Chris LaFlamme

APPLICANT: Chuck Pafundi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

BACKGROUND INFORMATION

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

Phase 2 – Revision 1

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

Phase 2 – Revision 2

The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

Phase 2 – Revision 3

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.

3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.
4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL

Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:

The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*

- h) The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

Mr. Pafundi is before the Planning Board and Zoning Commission this evening to present the Rev 3 version of the project to the Board and answer any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Location:

Name Rivers Ledge of Niskayuna

Number & Street Aqueduct Road

Address 857 1st Street

Section-Block-Lot 31.00 - 1 - 23.1 ~~23.1~~

Watervliet, NY 12189

Email cpafundi@luzzibros.com

Telephone (518) 482-8877 Fax _____

Zoning District PUD

Proposal Description:

Construct a 60 unit Senior Apartment Building
and 3,500 s.f commercial building

Signature of applicant: [Signature]

Date: 11/15/21

Signature of owner (if different from applicant): [Signature]

Date: 11/15/21

SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205

AREA = 5.25± ACRES

USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL

MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL

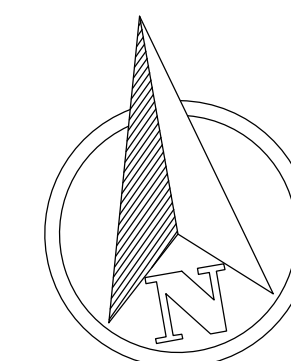
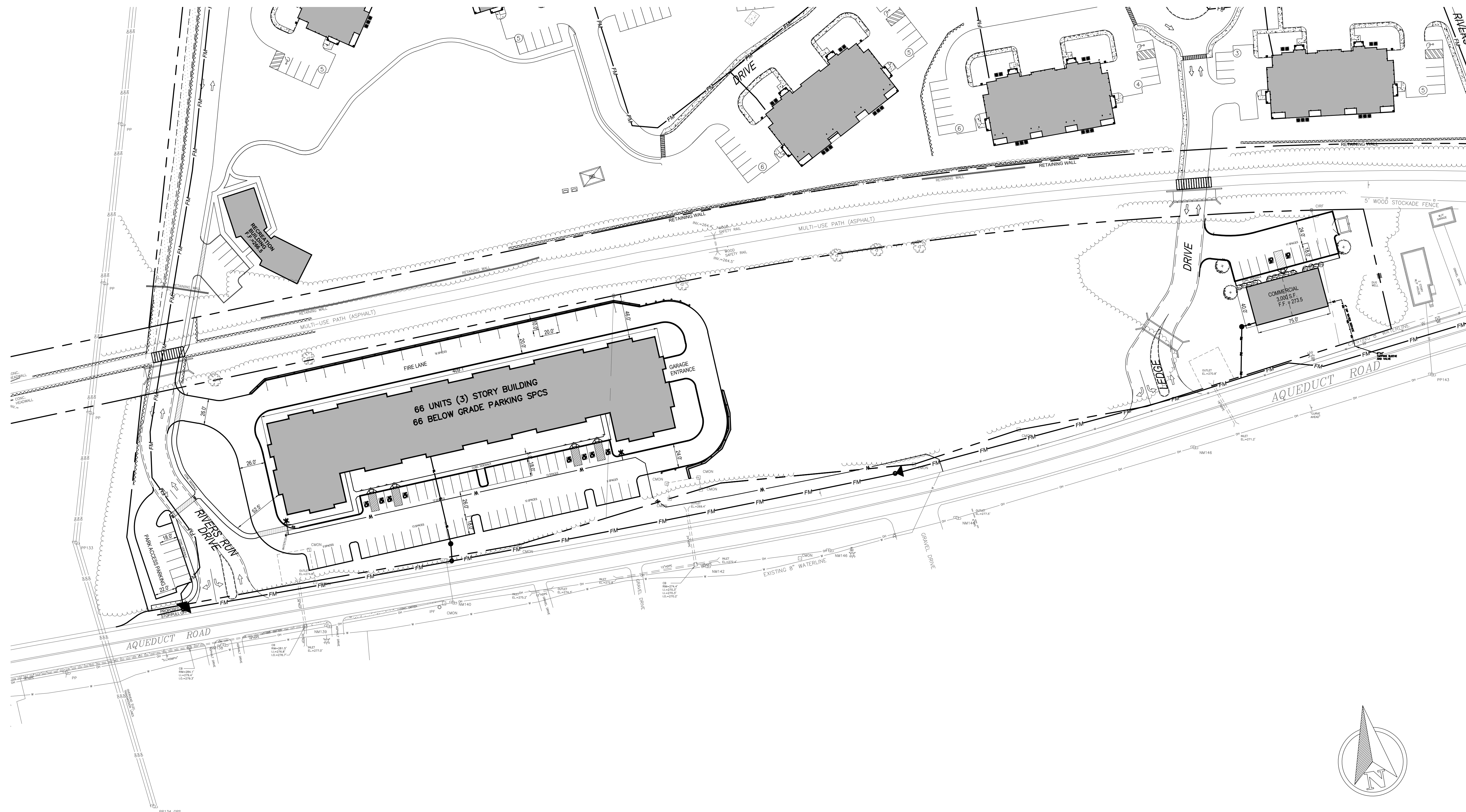
PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES

BUILDING HEIGHT - 35'

STAND ALONE COMMERCIAL BLDG = 3,000 S.F.

PARKING PROVIDED = 11 SPACES


BUILDING HEIGHT - 16'



BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

<p>OVERALL PLAN</p> <p>PHASE 2 – RIVERS LEDGE OF NISKAYUNA</p> <p>2837 AQUEDUCT ROAD</p>		<p>TOWN OF NISKAYUNA</p> <p>STATE OF NEW YORK</p>	
<p>COUNTY OF SCHENECTADY</p>	<p>CHECKED BY:</p>	<p>SCALE: 1" = 50'</p>	<p>SHEET 0-1</p>
<p>DESIGNED BY:</p>	<p>DRAWN BY:</p>	<p>DATE FILE:</p>	<p>DATE: MAY 11, 2022</p>

BRETT L. STEENBURGH, P.E. PLLC



2832 Rosendale Road
Niskayuna, NY 12309
(518) 365-0675
bsteenburghpe@gmail.com

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BRETT L. STEENBURGH, P.E.
NYS LIC. NO. 075458

SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES
BUILDING HEIGHT - 35'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

LEGEND

- 1

2

3

4

5

6

7

8

9
- HANDICAP RAMP PER ADA STANDARDS

CONCRETE SIDEWALK

BEGIN CURB

END CURB

HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)

STOP SIGN (MUTCD R1-1 MIN. 30" X 30")

NO PARKING ANYTIME SIGN (MUTCD R7-1)

BEGIN RETAINING WALL

END RETAINING WALL

- 10

11

12

13

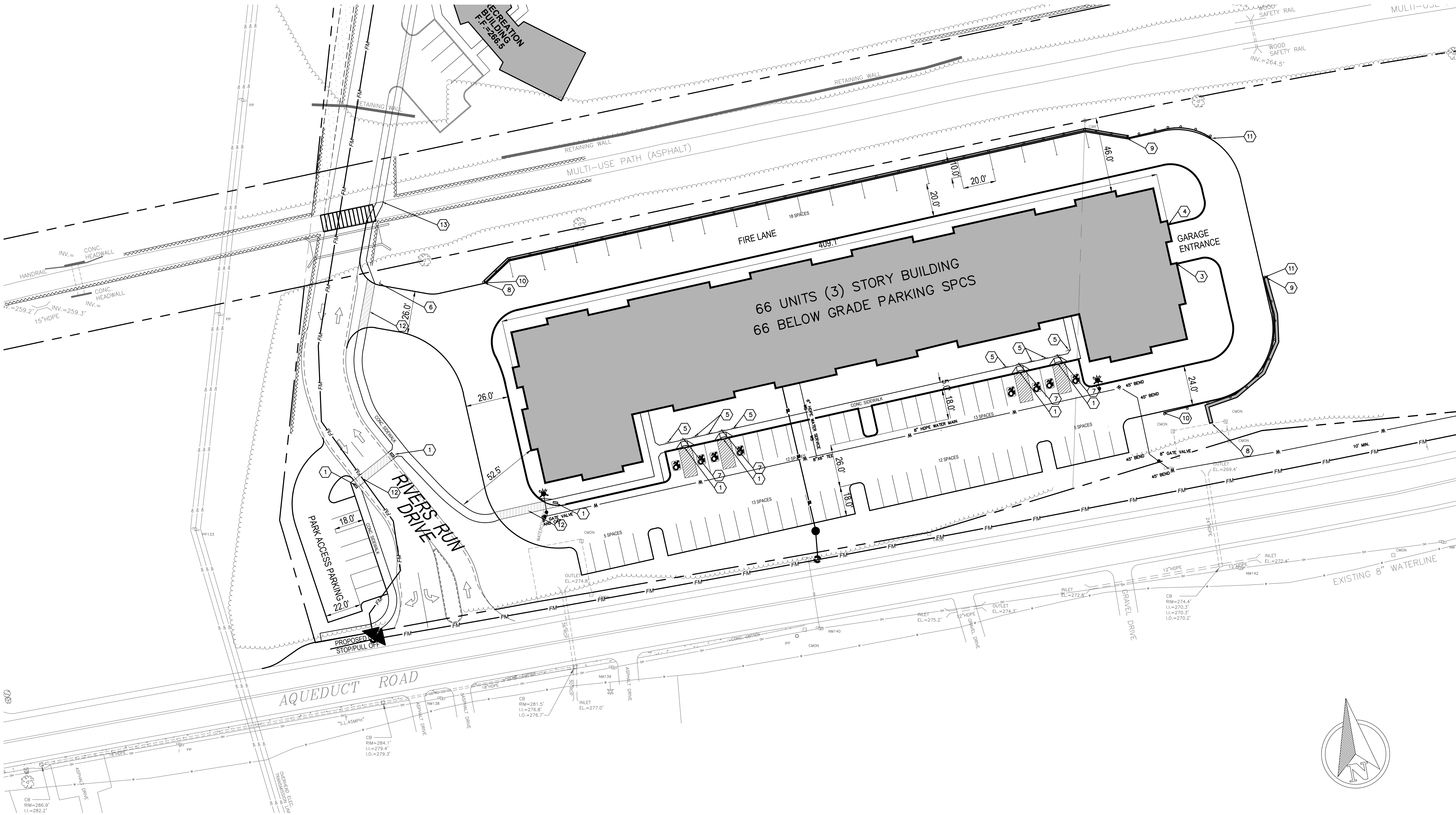
14
- BEGIN GUIDE RAIL

END GUIDE RAIL

CROSSWALK

CONNECT TO EX. SIDEWALK

DUMPSTER ENCLOSURE



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(518) 365-0875
bsteenburgpe@gmail.com
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SITE PLAN
PHASE 2 - RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD
COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK
DRAWN BY: CHECKED BY: SCALE: 1" = 30'
CADD FILE: JOB NO. DATE: MAY 11, 2022
SHEET S-1



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BRETT L. STEENBURGH, P.E.
NYS LIC. NO. 0754568

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205

AREA = 5.25± ACRES

USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL

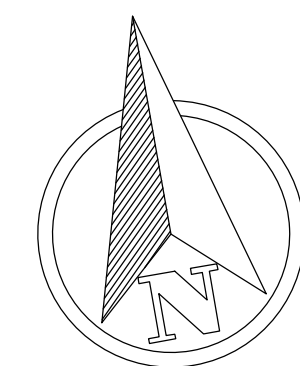
MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL

PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES


BUILDING HEIGHT - 35'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

1	HANDICAP RAMP PER ADA STANDARDS
2	CONCRETE SIDEWALK
3	BEGIN CURB
4	END CURB
5	HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)
6	STOP SIGN (MUTCD R1-1 MIN. 30" X 30")
7	NO PARKING ANYTIME SIGN (MUTCD R7-1)
8	BEGIN RETAINING WALL
9	END RETAINING WALL

- [illegible]



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PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

COUNTY OF SCHENECTADY DRAWN BY: _____ CAD FILE: _____ DATE: MAY 11, 2022		TOWN OF NISKAYUNA STATE OF NEW YORK SCALE: 1" = 30' SHEET S-1	
SITE PLAN PHASE 2 - RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD		 <p> BRETT L. STEENBURGH, P.E. PLLC 2832 Rosendale Road Niskayuna, NY 12109 (516) 363-0875 bsteenburgh@brelli.com </p>	

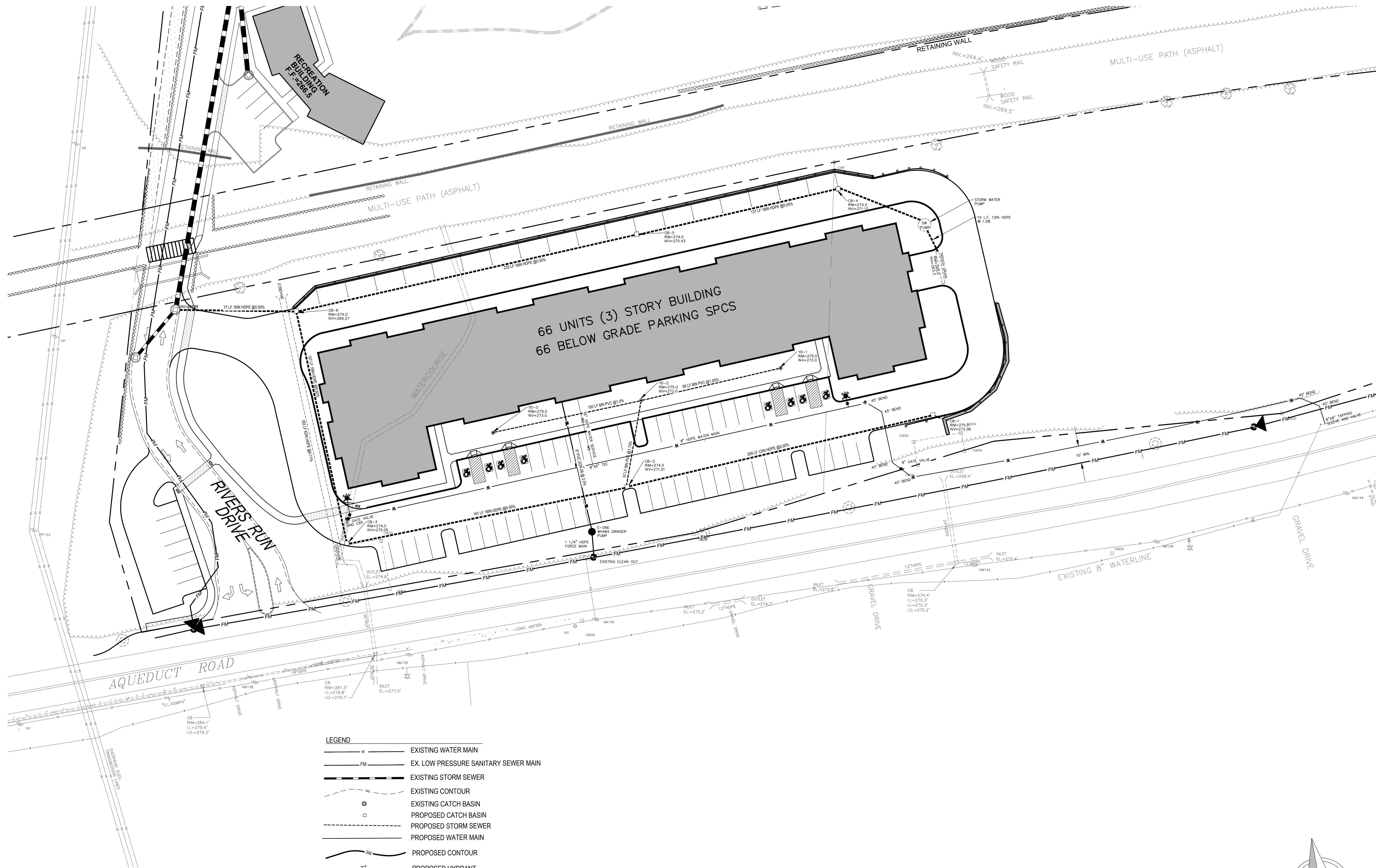
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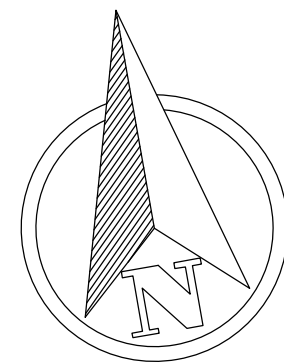


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[illegible]



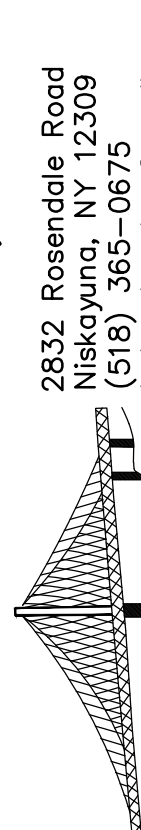
- LEGEND**
- W — EXISTING WATER MAIN
 - FM — EX. LOW PRESSURE SANITARY SEWER MAIN
 - — — EXISTING STORM SEWER
 - - - - - EXISTING CONTOUR
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - - - - - PROPOSED STORM SEWER
 - — — PROPOSED WATER MAIN
 - - - - - PROPOSED CONTOUR
 - ⊕ PROPOSED HYDRANT
 - PROPOSED GATE VALVE



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 Niskayuna, NY 12309
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 bsteenburgpe@gmail.com



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UTILITY PLAN
PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

DRAWN BY: CHECKED BY: SCALE: 1" = 30'

CADD FILE: JOB NO. SHEET U-1

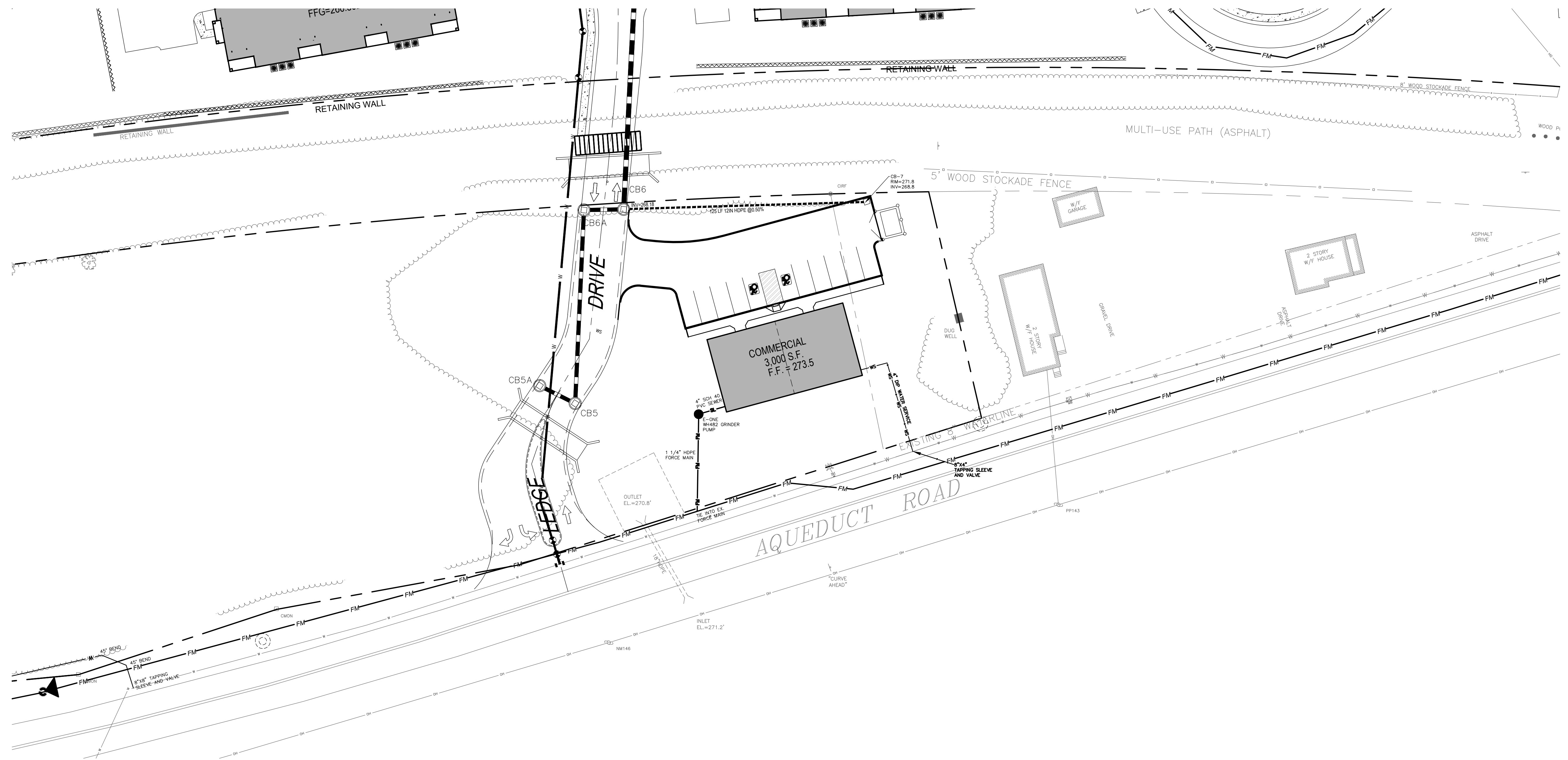
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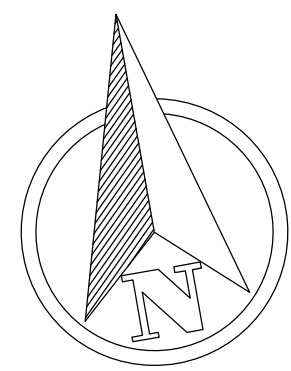
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NO. DATE: REVISIONS BY:



- LEGEND**
- W — EXISTING WATER MAIN
 - FM — EX. LOW PRESSURE SANITARY SEWER MAIN
 - — — EXISTING STORM SEWER
 - - - - - EXISTING CONTOUR
 - ⊙ EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - - - - - PROPOSED STORM SEWER
 - — — PROPOSED WATER MAIN
 - 360 — PROPOSED CONTOUR
 - 15% — PROPOSED HYDRANT
 - S — PROPOSED GATE VALVE



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bsteenburgp@bmail.com

UTILITY PLAN

PHASE 2 – RIVERS LEDGE OF NISKAYUNA

2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

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CADD FILE: JOB NO. SHEET U-2

DATE: MAY 11, 2022

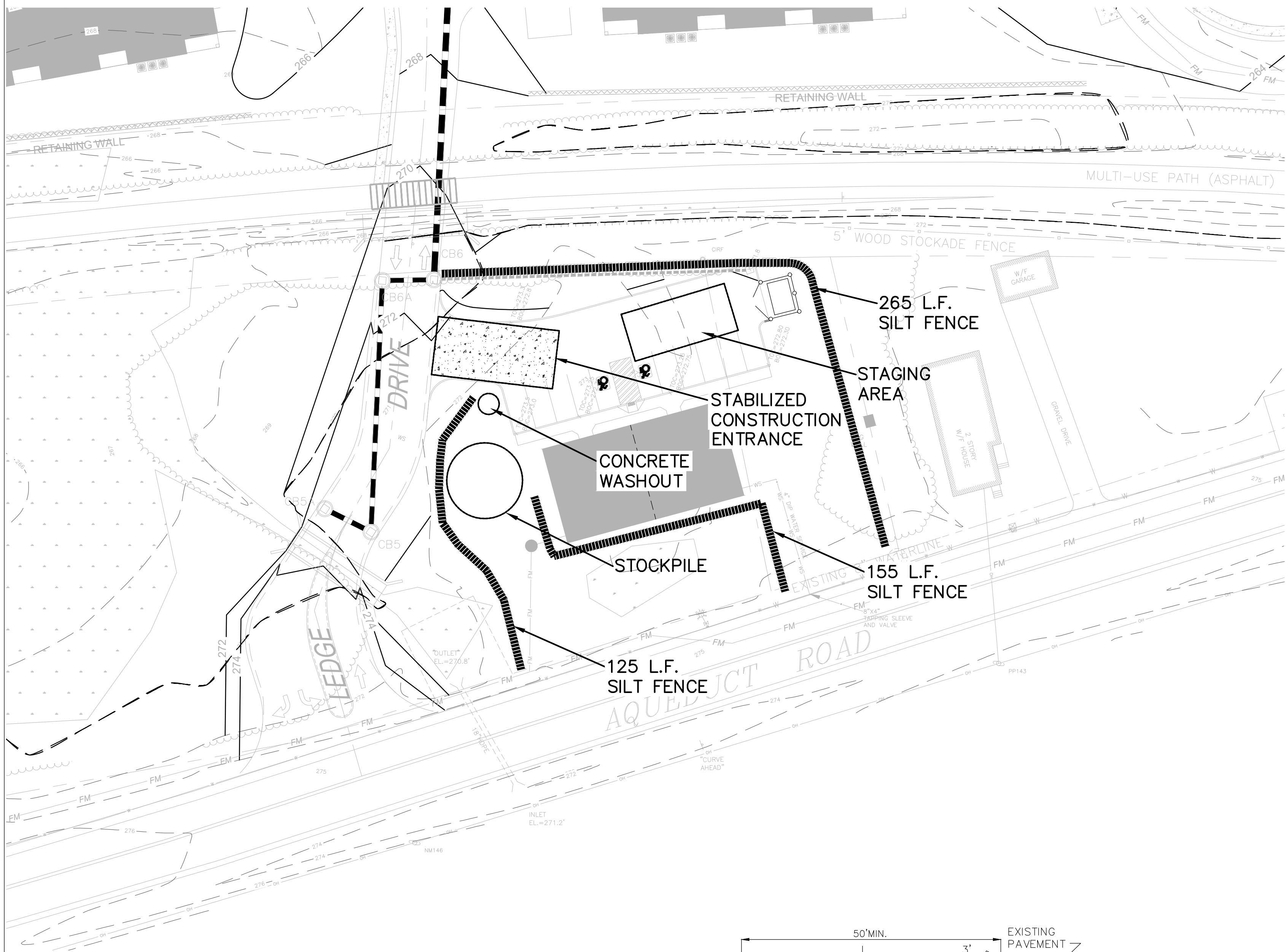


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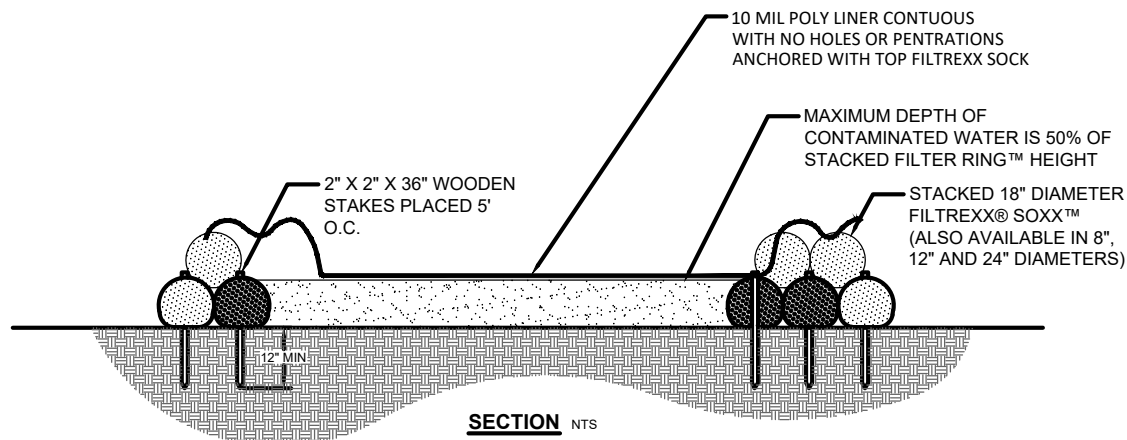
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NYS Lic. No. 0792406

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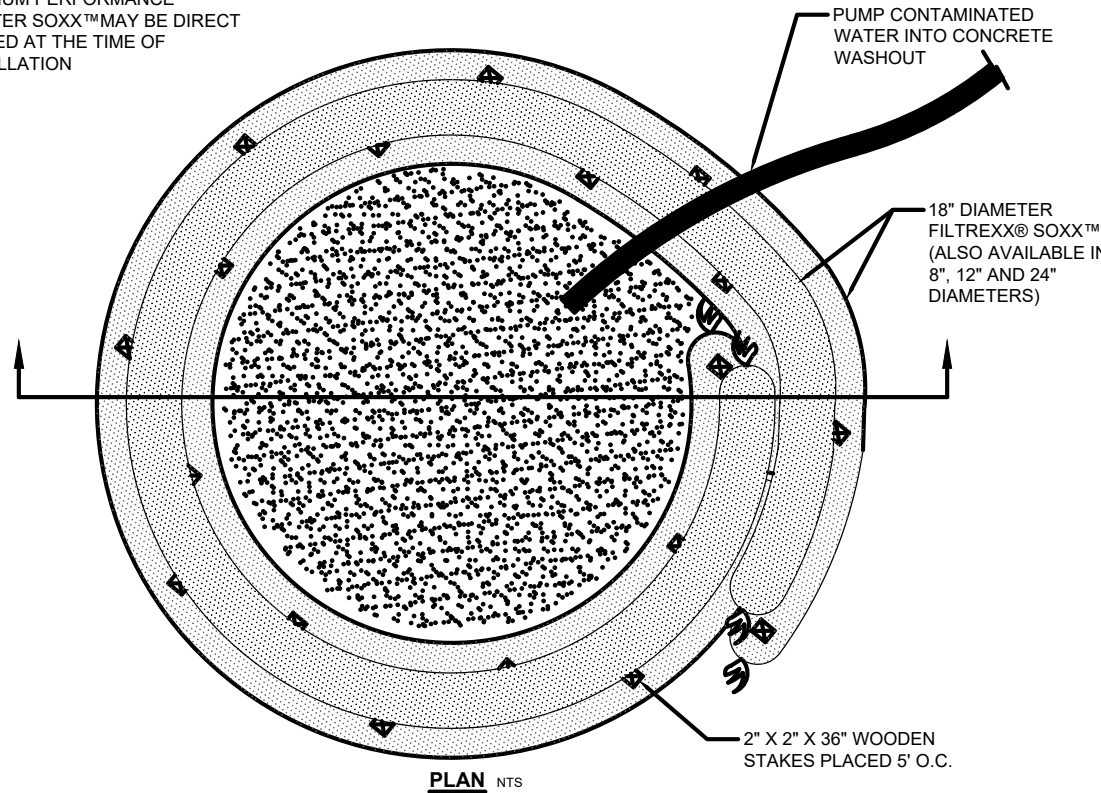


- LEGEND**
- EXISTING WATER MAIN
 - EX. LOW PRESSURE SANITARY SEWER MAIN
 - EXISTING STORM SEWER
 - EXISTING CONTOUR
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED CONTOUR
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE

- EROSION AND SEDIMENT CONTROL NOTES:**
- A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE SITE CONTRACTOR, SWPPP INSPECTOR, PROPERTY OWNER AND THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - ESTABLISH A PERMANENT TRAFFIC CORRIDOR FOR ALL TRAFFIC DURING CONSTRUCTION. A STONE STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED AND INSPECTED AND APPROVED BY THE THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. TRAFFIC SHALL NOT CROSS OR OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
 - IF REQUESTED BY THE STORMWATER OFFICE, ADDITIONAL SILT FENCE MUST BE INSTALLED A MINIMUM OF 6 INCHES INTO THE GROUND SURFACE.
 - ANY SOILS TRACKED INTO PUBLIC ROADS MUST BE SWEEPED UP IMMEDIATELY
 - CONCRETE POURING MAY NOT TAKE PLACE UNTIL A CONCRETE WASHOUT AREA IS INSTALLED.
 - ANY PUMPING OF STORMWATER ON SITE MUST BE DISCHARGED THROUGH A FILTER AND/OR STONE.
 - A FINAL GRADING INSPECTION IS REQUIRED WITH THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL EXPOSED SOILS MUST BE STABILIZED AND APPROVED IF THE C.O. IS NEEDED DURING NON GROWING MONTHS, THE OWNER MUST PROVIDE A GRADING ESCROW TO THE STORMWATER OFFICE FOR THE OUTSTANDING WORK TO BE COMPLETED DURING THE GROWING MONTHS.

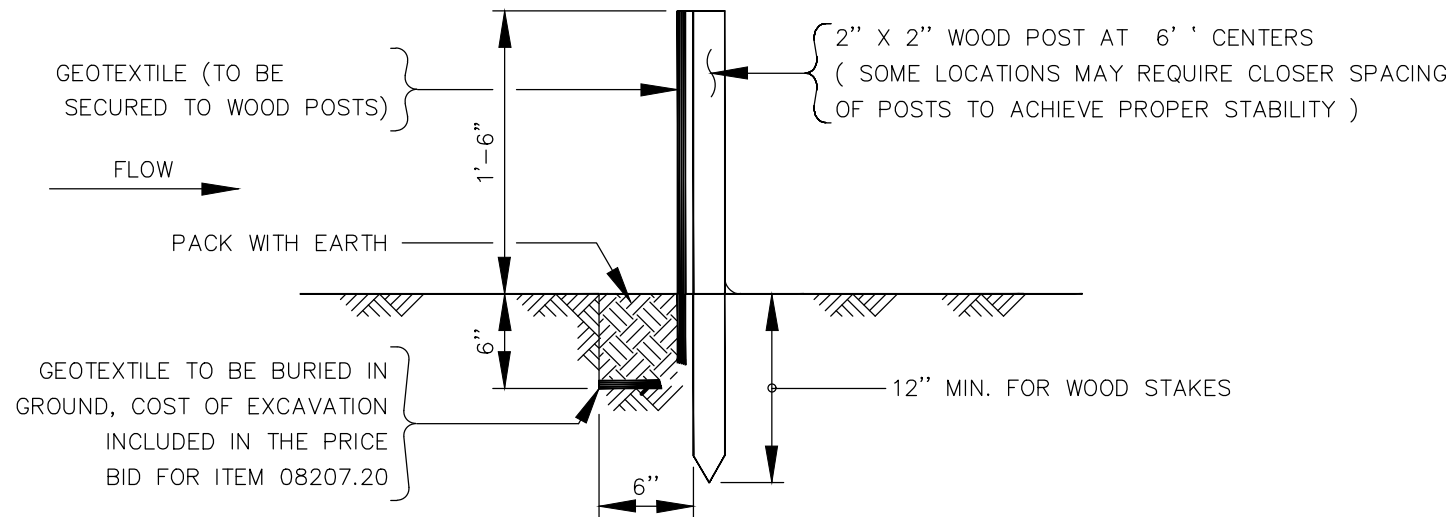


- NOTES:**
- INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 - FILTER SOCK™ MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION



FILTREXX® CONCRETE WASHOUT

NTS

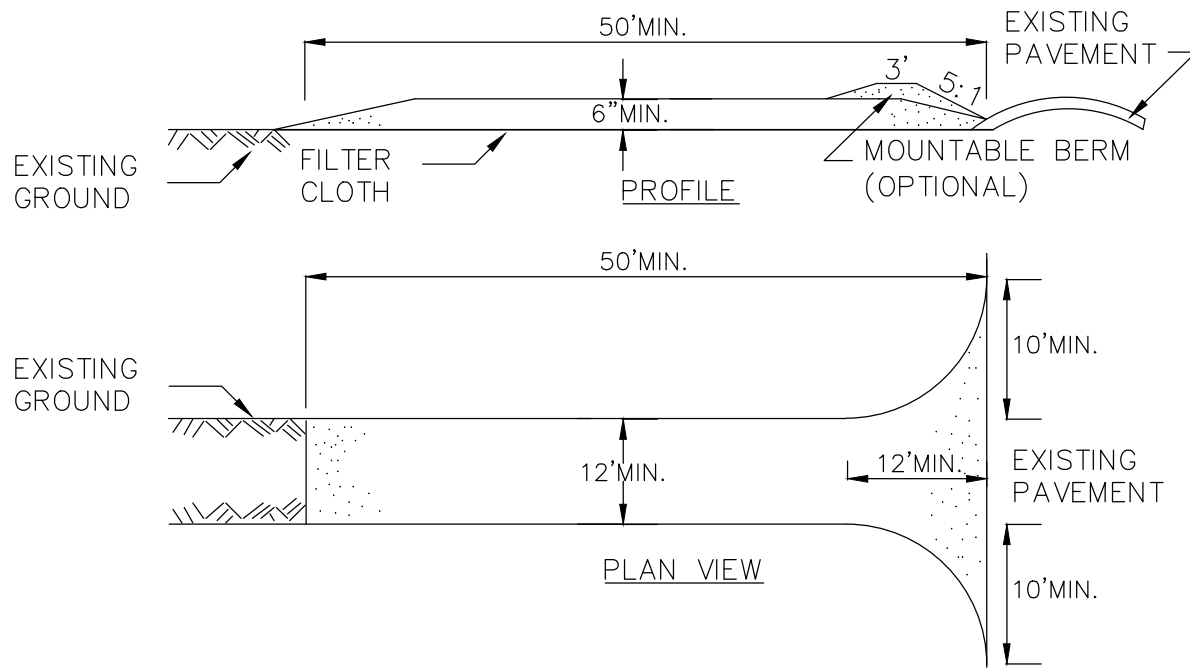


SILT FENCE DETAIL

(NOT TO SCALE)

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- | | |
|--|--|
| 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. | POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD |
| 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. | FENCE: WOVEN WIRE, 14' 6" MAX. MESH OPENING |
| 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. | FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL. |
| 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE | PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL. |

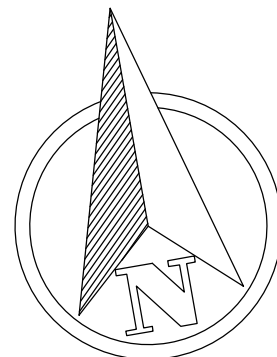


CONSTRUCTION SPECIFICATIONS

- STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS – NOT LESS THAN SIX (6) INCHES.
- WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
- CONSTRUCTION ACCESS ALONG FEURA BUSH ROAD SHALL BE CONSTRUCTED IN COMPLIANCE WITH THESE PLANS AND NYSDOT STANDARD SHEET 209.05

STABILIZED CONSTRUCTION ENTRANCE DETAIL

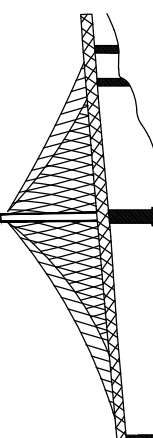
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PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS

BRETT L. STEENBURGH, P.E. PLLC

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Niskayuna, NY 12309
(518) 365-0675
bsteenburgp@icloud.com



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E & SC PLAN
PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

DRAWN BY: CHECKED BY: SCALE: 1" = 30'

CADD FILE: JOB NO. SHEET E-2

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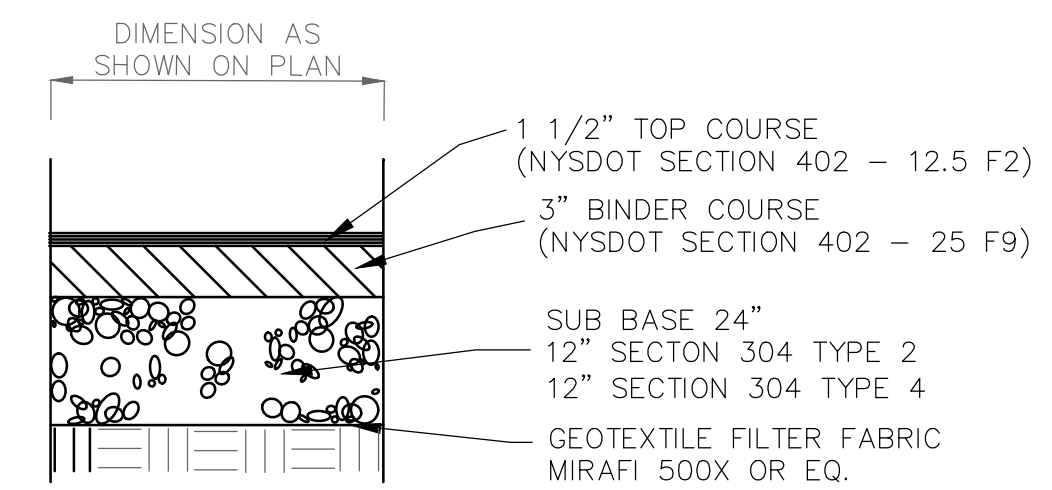
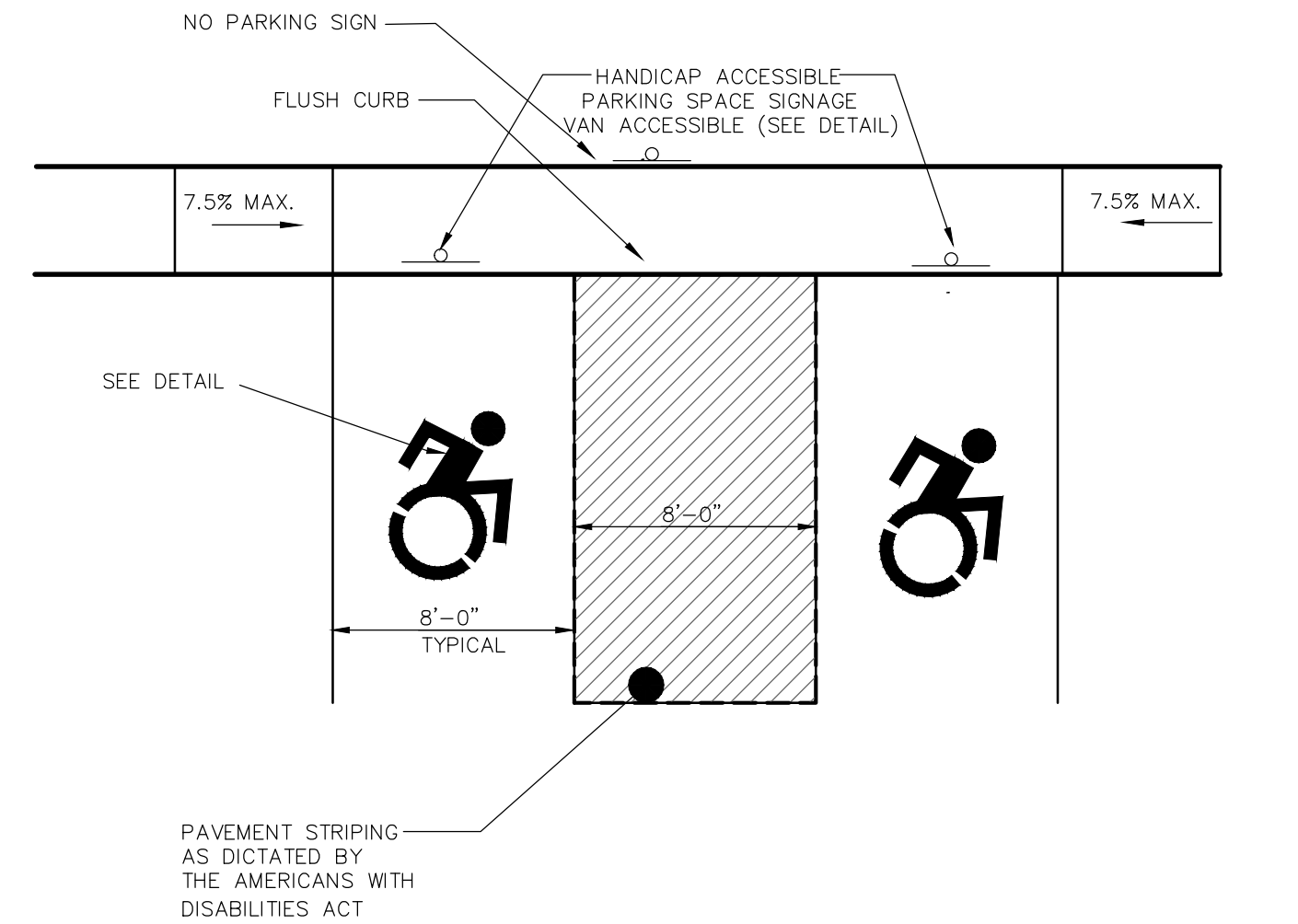
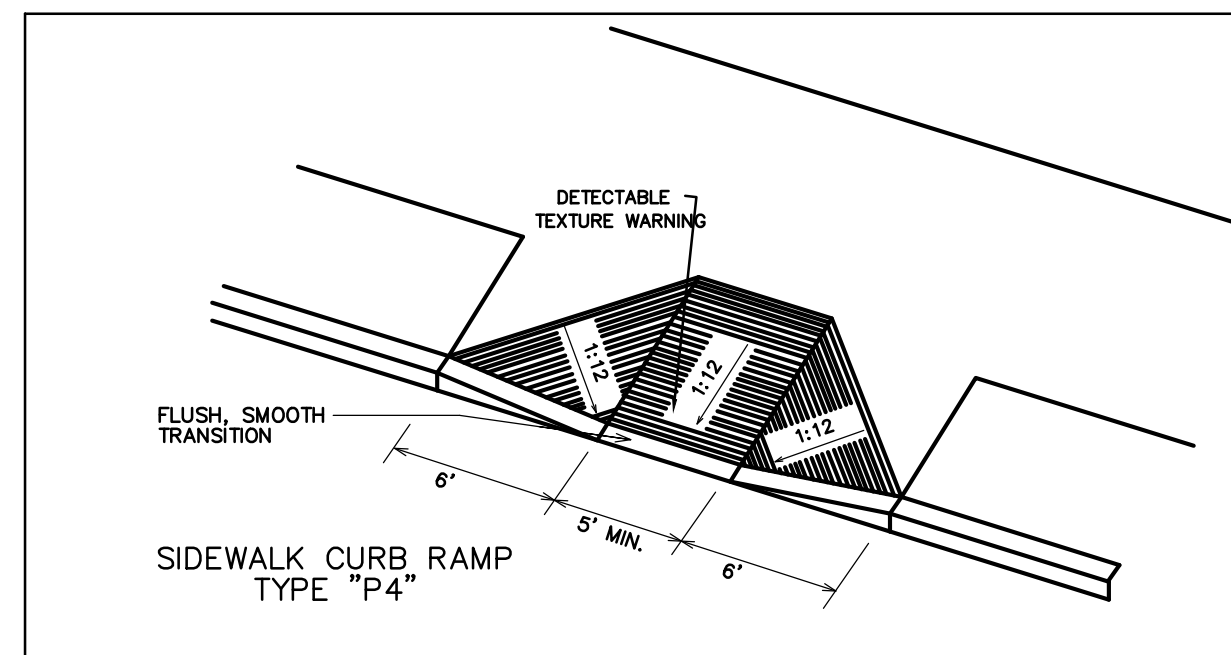
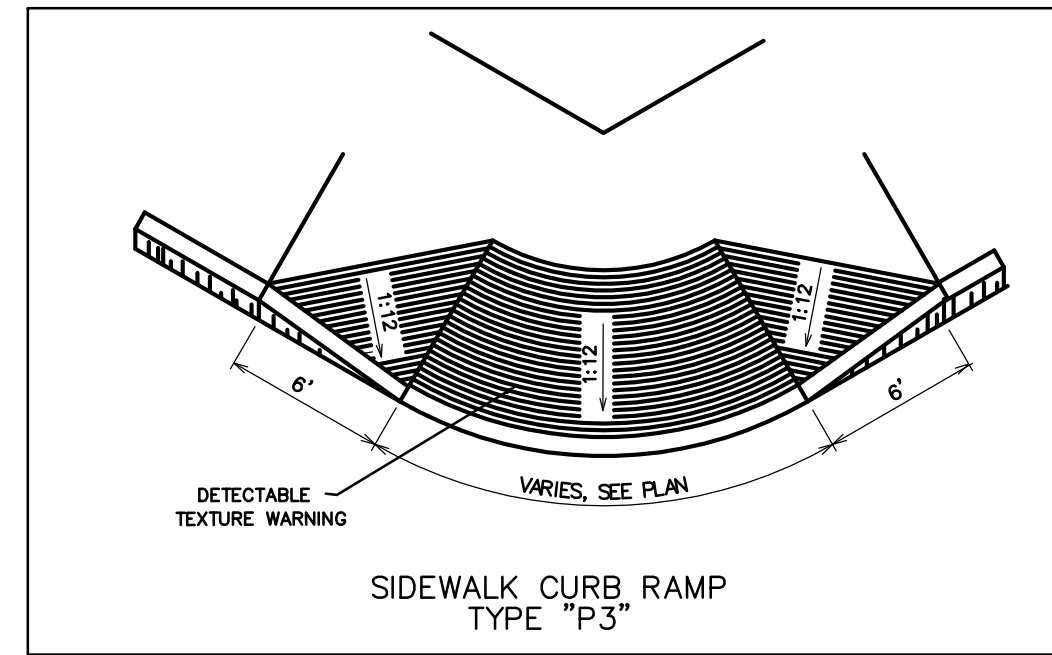
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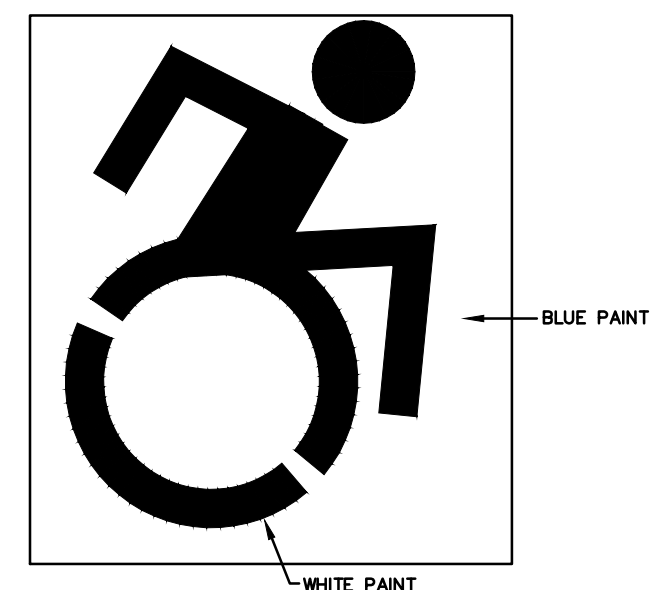
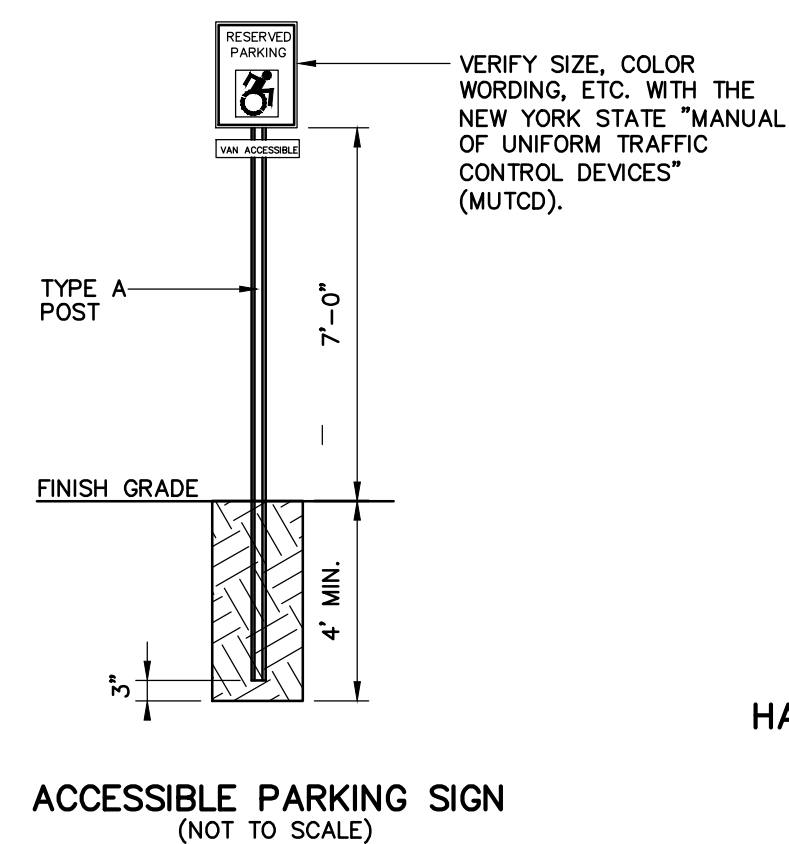
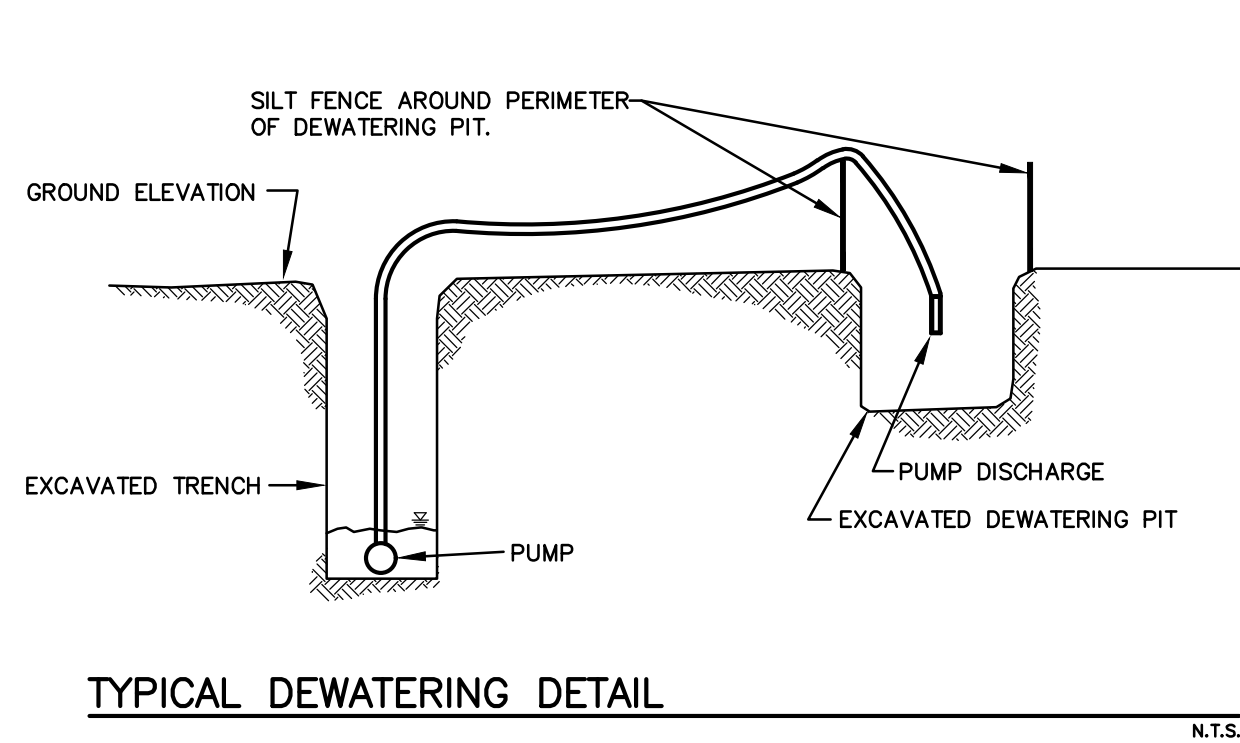
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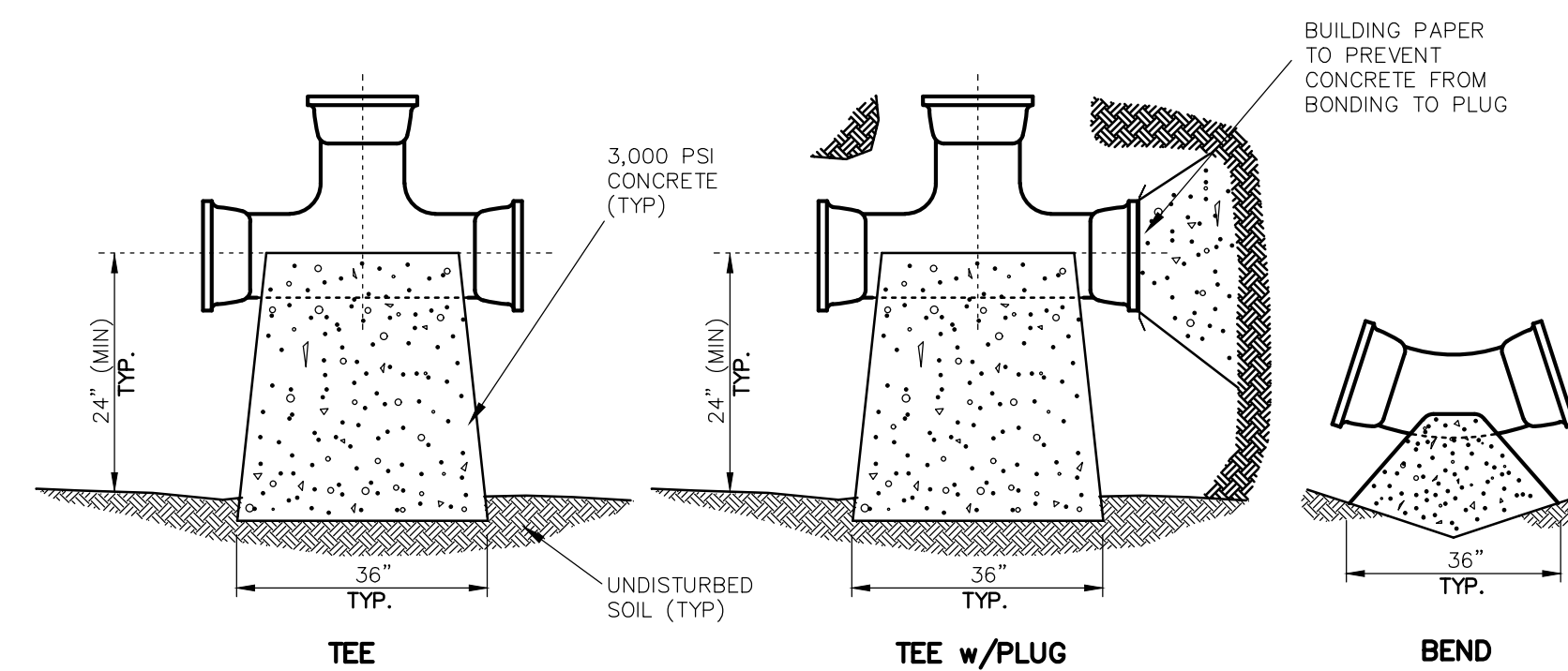
ASPHALT PAVEMENT SECTION

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HANDICAP RAMP DETAILS



HANDICAP PARKING SPACE PARKING DETAIL
(NOT TO SCALE)



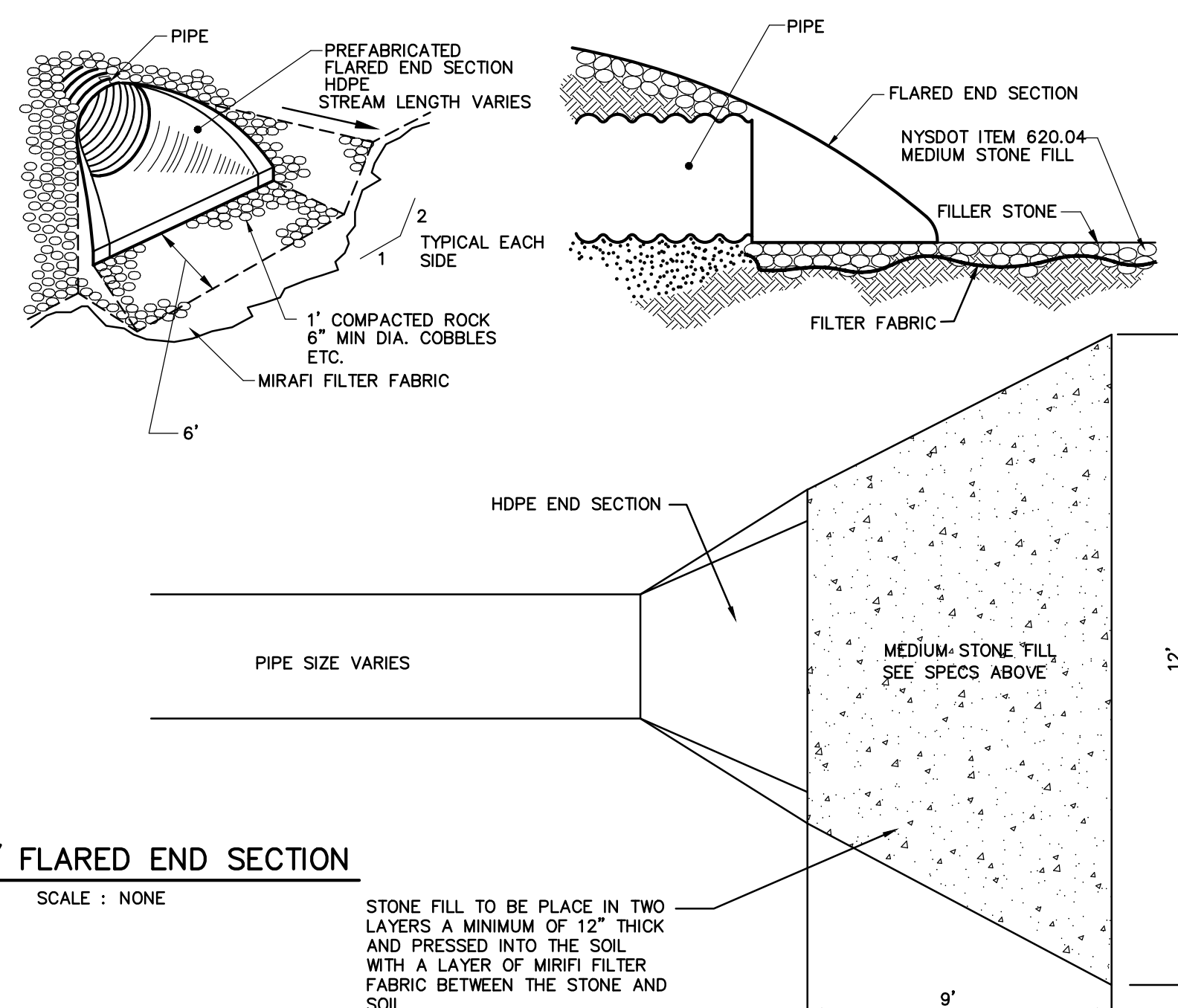
TYPICAL HORIZONTAL THRUST BLOCK DETAIL

SAFE BEARING LOADS OF SOILS & MULTIPLICATIVE FACTORS FOR MODIFICATION OF THRUST BLOCK AREAS (TABLE 2)			
SOIL	SOIL BEARING CAPACITY (LB/FT ²)	FACTORS	
MUCK PEAT	0	—	
SOFT CLAY	300	4.00	
SAND	1000	2.00	
SAND & GRAVEL	1500	1.33	
SAND & GRAVEL w/CLAY	2000	1.00	
SHALE	5000	0.40	

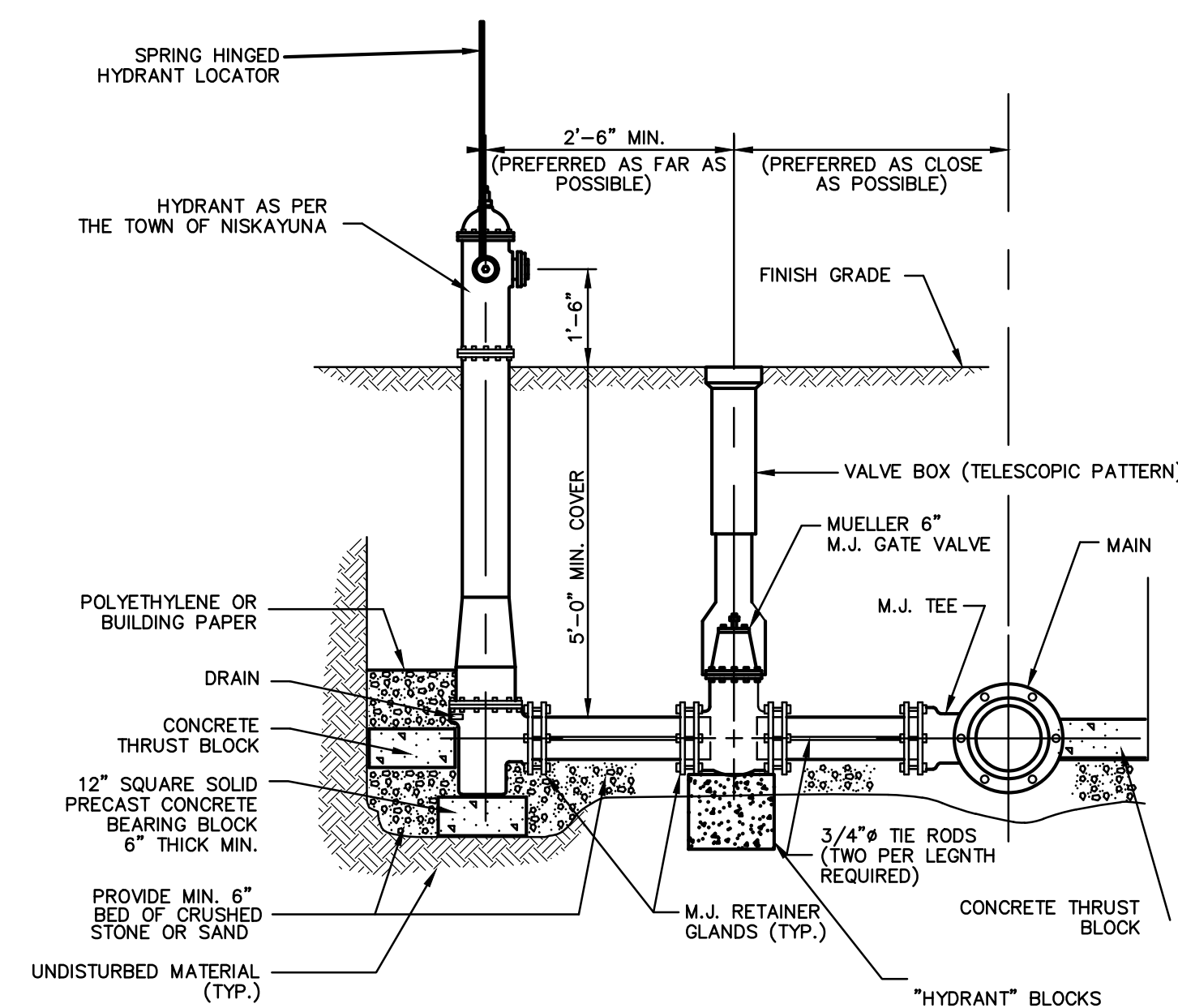
NOTE: BEARING AREAS SHOWN IN TABLE 2 SHALL BE MULTIPLIED BY FACTORS NOTED IN TABLE 1 TO ESTABLISH REQUIRED BEARING AREAS FOR SOIL CONDITIONS.

PIPE SIZE	TEE	90° BEND	45° BEND	22.5° BEND
200 P.S.I.G. INTERNAL PRESSURE				
3" & 4"	1	1	1	1
6"	2	2	1	1
8"	3	3	2	1
10"	6	8	3	2
12"	6	8	4	2
14"	11	11	6	3
16"	14	14	8	4
18"	18	18	10	5
20"	22	22	12	7
24"	32	32	17	9

N.T.S.

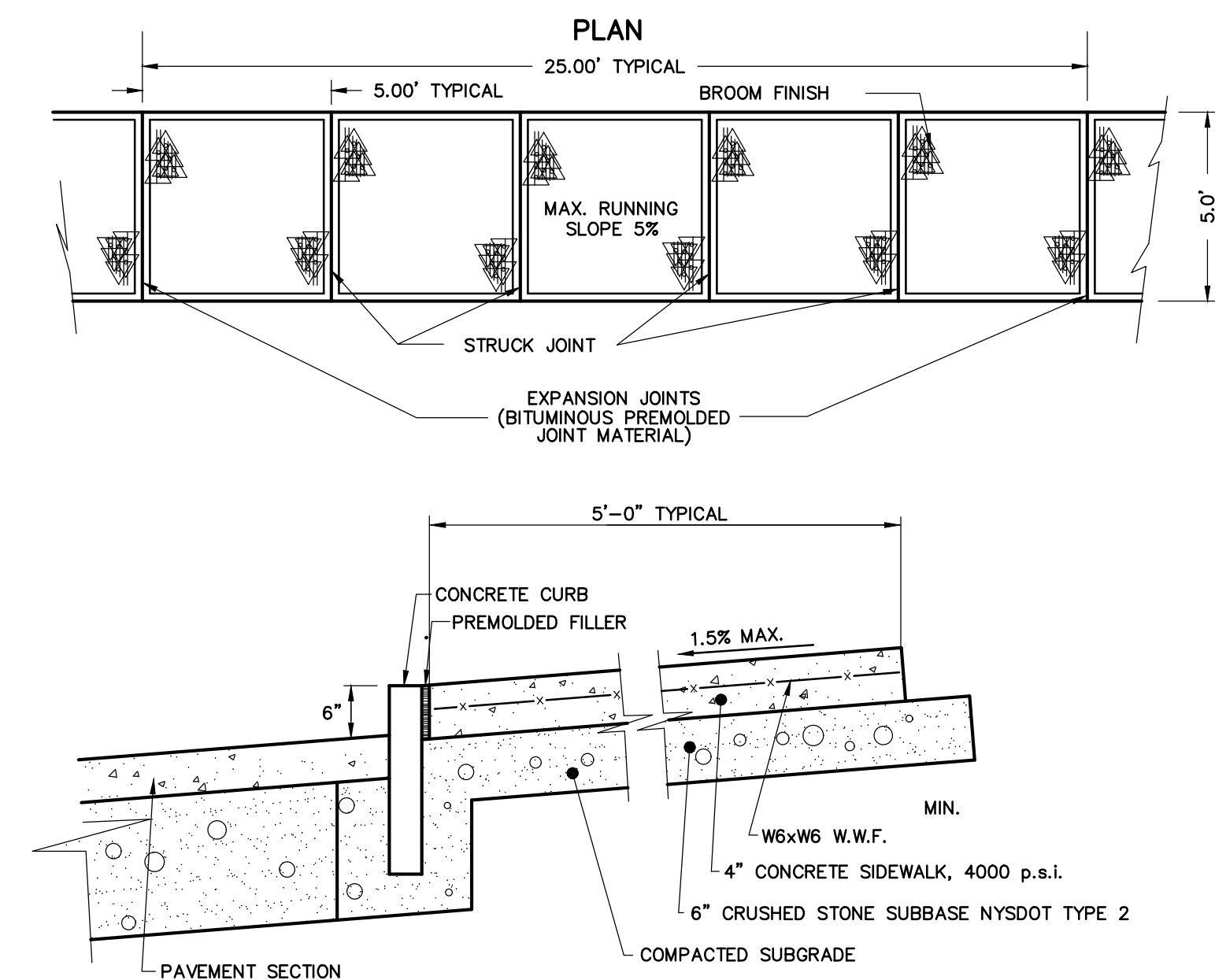


PIPE W/ FLARED END SECTION



HYDRANT DETAIL

(NOT TO SCALE)



CONCRETE SIDEWALK DETAIL

N.T.S.

BRETT L. STEENBURGH MAP REFERENCE:

PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

Unauthorized alterations or additions to this document is a violation of Sec. 7209 Sub. 2 of the NYS Education Law.
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ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY

DETAILS

PHASE 2 – RIVERS LEDGE OF NISKAYUNA

2837 AQUEDUCT ROAD

TOWN OF NISKAYUNA
STATE OF NEW YORK

SCALE: AS NOTED

DATE:	MAY 11, 2022	
		SHEET D-1

DATE:	MAY 11, 2022	
		SHEET D-1

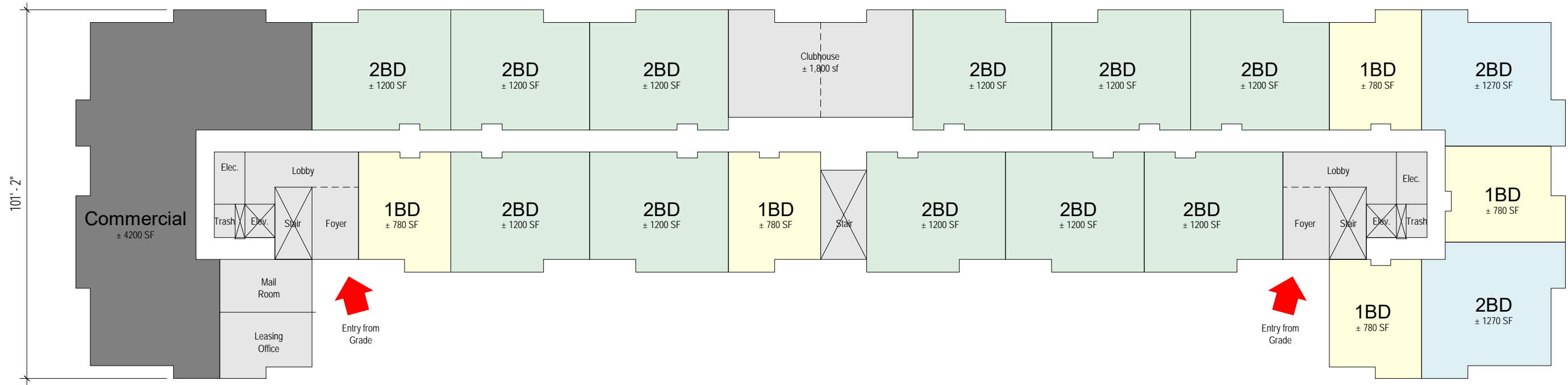


FINAL BACKFILL SHALL BE OF SUITABLE MATERIAL REMOVED FROM EXCAVATION EXCEPT WHERE OTHER MATERIAL IS SPECIFIED. DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER AND OTHER UNSTABLE MATERIALS SHALL BE USED FOR FINAL BACKFILL WITHIN 2 FEET OF THE TOP OF PIPE.



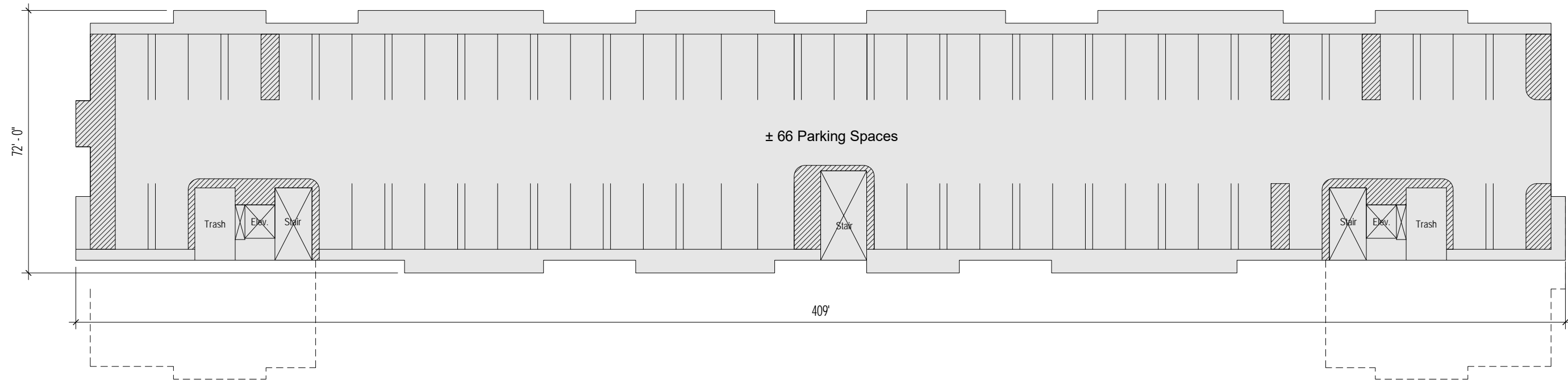




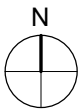


First Floor Block Plans

31,300 sf Footprint



Basement Floor Block Plans



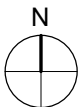
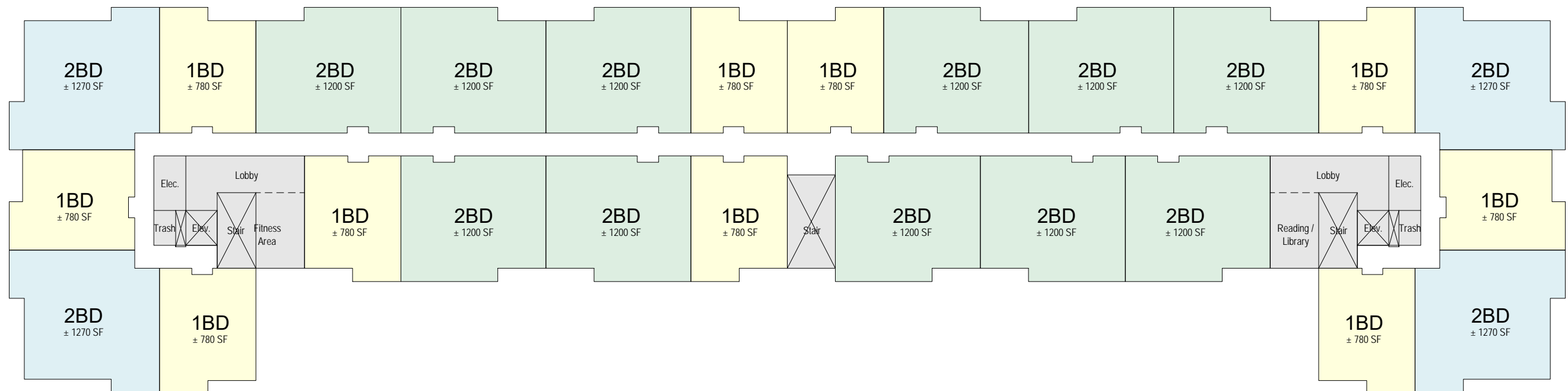
Unit Count Matrix			
	1 Bedrooms	2 Bedroom	
First Floor	5	13	± 66 Units
Second Floor	10	15	
Third Floor	8	15	
Total	23	43	



Third Floor Block Plans



Second Floor Block Plans



Unit Count Matrix			
	1 Bedrooms	2 Bedroom	
First Floor	5	13	± 66 Units
Second Floor	10	15	
Third Floor	8	15	
Total	23	43	



EXTERIOR CLADDING SPECIFICATIONS	WINDOW SPECIFICATIONS
<p><u>CULTURED STONE VENEER:</u></p> <ul style="list-style-type: none"> CASA DI SASSI VOLTERRA TURIN <p><u>EIFS BRICK</u></p> <ul style="list-style-type: none"> STOCREATIV BRICK OHIO STANDARD BRICK COLOR: VARIES <p><u>SIDING / TRIM:</u></p> <ul style="list-style-type: none"> JAMES HARDIE FIBER CEMENT 7" SMOOTH LAP SIDING COLOR: VARIES VERTICAL & PANEL SIDING COLOR: VARIES TRIM, FASCIA & SOFFITS COLOR: VARIES <p><u>STANDING SEAM METAL ROOF - DORMERS & SHED ROOFS:</u></p> <ul style="list-style-type: none"> ATAS 2" FIELD-LOK COLOR: BLACK <p><u>ROOFING:</u></p> <ul style="list-style-type: none"> GAF TIMBERLINE HDZ ARCHITECTURAL ASPHALT SHINGLES COLOR: WEATEHRED WOOD 	<p><u>WINDOWS:</u></p> <ul style="list-style-type: none"> ANDERSEN 100 SERIES OR EQUAL SINGLE HUNG: (2) 2'-6" X 5'-0" <ul style="list-style-type: none"> EXT. COLOR: VARIES INT. COLOR: WHITE <p><u>SLIDING PATIO DOORS</u></p> <ul style="list-style-type: none"> ANDERSEN 100 SERIES OR EQUAL GLIDING PATIO DOOR: 8'-0"w X 7'-0"h <ul style="list-style-type: none"> EXT. COLOR: VARIES INT. COLOR: WHITE <p><u>BUILDING ENTRANCES:</u></p> <ul style="list-style-type: none"> KAWNEER 350 MEDIUM STILE ALUMINUM ENTRANCES 3-1/2" VERTICAL STILES AND TOP RAILS 10" HIGH BOTTOM RAIL ALUMINUM FINISH: PERMAFLUOR, VARIES



MAX BUILDING HEIGHT

41' - 0"

West Elevation

East Elevation Similar



MAX BUILDING HEIGHT

41' - 0"

South Elevation - West Wing

East Wing Similar



VOLTERRA



Niveo



Terracina



Turin



CASA DI SASSI'S Volterra has a historically classic appearance and consists of stones hewed in rectangular shapes with unique textures and ruggedness. The stone heights enable ease of installation and coursing.

Left: Turin Volterra

Top: Niveo Volterra

ACCENTS



Keystone
8" x 5" x 10"



Trim Stone
6" x 8"



Watertable
3" x 3" x 24"

CAPS



Flat Wall Cap
W: 10", 12", 14", 16" & 18"
L: 23.5"



Chiseled Cap
W: 14", 18", 22", 24" & 31"



Natural Cap
18" x 24", 18" x 36" and
24" x 24"

BRACKETS



Wood Bracket
6" x 6.25"
Available in Brown and Grey



Stone Bracket
2.5" x 11"

MANTELS



Barn Beam Mantel



Barn Beam Mantel
60" x 8.5" x 6" (L x W x H)
Available in Brown and Grey



Wood Grain Mantel
60" x 8.5" x 6"
Available in Brown and Grey



Stone Mantel
60" x 10" x 2.5"

UTILITIES



Light Block

10" x 15"

4" Hole



Small Light Block

8" x 10"

4" Hole



Double Receptacle

8" x 8"



Single Receptacle

6" x 8"



Hose Bib

5" x 5"

1.5" Hole

HEARTHSTONES



20" x 20" x 2"

ACCESSORY COLOR GUIDE



Cream



Fumo



Mezzo



Sage



Terra

Limestone	
Imperia	Cream, Sage, Terra
Salerno	Cream, Sage, Terra

EZ Ledge	
Bergamo	Sage, Terra
Cremona	Fumo, Mezzo
Gola	Mezzo, Sage, Terra
Matera	Mezzo, Sage, Terra
Niveo	Cream

Kwik Stack	
Carbone	Fumo, Mezzo
Matera	Mezzo, Sage, Terra
Niveo	Cream

Blends	
Bella	Mezzo, Sage
Bianco	Cream
Bolzano	Cream, Mezzo
Cremona	Fumo, Mezzo
Terracina	Sage, Terra

Fieldstone	
Gola	Mezzo, Sage, Terra
Legno	Cream, Sage, Terra
Monte	Sage, Terra

Granite	
Luce	Cream, Terra

Old World	
Bella	Mezzo, Sage
Dorato	Cream, Terra
Euro	Cream, Sage, Terra
Grigio	Fumo, Mezzo, Sage
Turin	Fumo, Mezzo

Volterra	
Niveo	Cream
Turin	Fumo, Mezzo
Terracina	Sage, Terra

Brick	
Neve	Cream
Rosso	Fumo, Mezzo

Ledgestone	
Bella	Mezzo, Sage
Carbone	Fumo, Mezzo
Cremona	Fumo, Mezzo
Gola	Mezzo, Sage, Terra
Matera	Mezzo, Sage, Terra
Monte	Sage, Terra
Murano	Sage, Terra

Country Rubble	
Matera	Mezzo, Sage, Terra
Murano	Sage, Terra
Turin	Fumo, Mezzo

Barnstone	
Catania	Sage, Terra



StoCreativ® Brick

The classic look of brick in a lightweight, energy-efficient cladding.

StoCreativ® Brick is a cost-effective, easy-to-apply decorative wall finish system that can be used over any Sto cladding or other prepared exterior surface including Stucco, EIFS, Tilt-up and CMU to achieve the classic look of brick.

Using self-adhering stencils applied over a primer layer to create the appearance of mortar, this simple finish system offers a sustainable alternative to heavier brick, while avoiding the hassle of dealing with multiple trades and cumbersome accessories.

Available with a variety of brick patterns and color options for both the finish layer and mortar, StoCreativ® Brick is a lightweight, single source system, ideal for new construction and restoration.



StoCreativ® Brick Benefits:

A cost-effective, time-efficient process to achieve the classic look of brick

- Light weight decorative finish system which can reduce costly structural requirements needed for heavier claddings
- Quick and simple application process using self-adhering stencils; doesn't require highly-specialized labor or expensive accessories
- Easy to install even in tight spaces where brick and other heavier claddings just won't work; ideal for restoration of buildings in urban areas
- StoCreativ® Brick is ready to install when you need it; no time wasted waiting for custom colors or special orders

Sustainable, 'single source' system for increased energy-efficiency and greater peace of mind

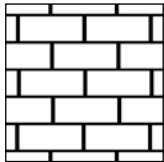
- StoCreativ® Brick can be installed over any continuous insulation (ci) wall system from Sto, thus providing a proven and hassle-free 'single source' solution to meet ASHRAE design standard 90.1-2010 and the new IGCC/IECC* energy code requirements.
- Light-weight system which creates less solid waste in production and at end-of-life than heavier claddings
- Can be combined with other Sto finishes for multi-cladding aesthetics, thus avoiding the hassle of dealing on the jobsite with multiple suppliers and trades.

Exceptional design versatility

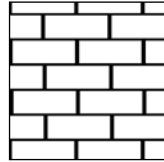
- Wide range of decorative and protective 100% Acrylic wall finishes in virtually unlimited colors
- By varying application technique and finish color combination, StoCreativ® Brick can be used to match any brick veneer texture including aged ones; perfect for building restoration.
- This lightweight wall finish system can also be used to create decorative custom shapes, virtually impossible to achieve with heavy claddings.

*IGCC: International Green Construction Code - IECC: International Energy Conservation Code

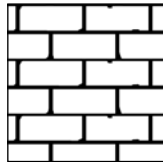
Available Brick Patterns



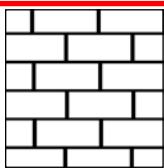
Utility Brick 3/8" (RP)



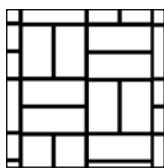
New York Brick 1/2" (RP)



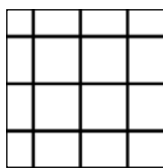
Used Wall Brick (RP)



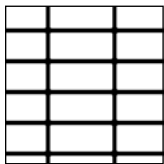
Ohio Standard Brick (RP)



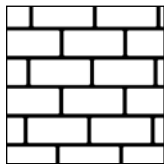
Block Pattern (RP)*



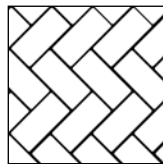
Square 8.5 (RP)*



Stack Ribbon Brick (RP)*



Baltimore Brick (RP)*



Herringbone (RP)*

RP: Recycled Plastics

*3 - 4 weeks lead time; Minimum order quantity applies.

Sto New Name	Dimension (inches)		Sheets Per Box	Coverage (Sq. Feet)
	Width	Height x Mortar Joint Width		
Utility Brick 3/8" (RP)	11.5"	3.625" x .375"	32	480
New York Brick 1/2" (RP)	8"	2.25" x .5"	47	450
Used Wall Brick (RP)	7.75"	2.5" x .375"	32	480
Ohio Standard Brick (RP)	7.75"	2.5" x .375"	32	480
Block Pattern (RP)	8"	3.75" x .5"	37	480
Square 8.5 (RP)	7 7/8"	7 7/8" x .5"	37	480
Stack Ribbon Brick (RP)	8"	3.5" x .5"	32	480
Baltimore Brick (RP)	7.5"	3.375" x .5"	34	480
Herringbone (RP)	8"	4" x .5"	48	480

RP: Recycled Plastics

Sto Corp.

3800 Camp Creek Parkway
Building 1400, Suite 120
Atlanta, GA 30331

Phone: 404-346-3666

Toll Free: 1-800-221-2397

Fax: 404-346-3119

www.stocorp.com

5877 03/18

Sto | Building with conscience.

ATTENTION

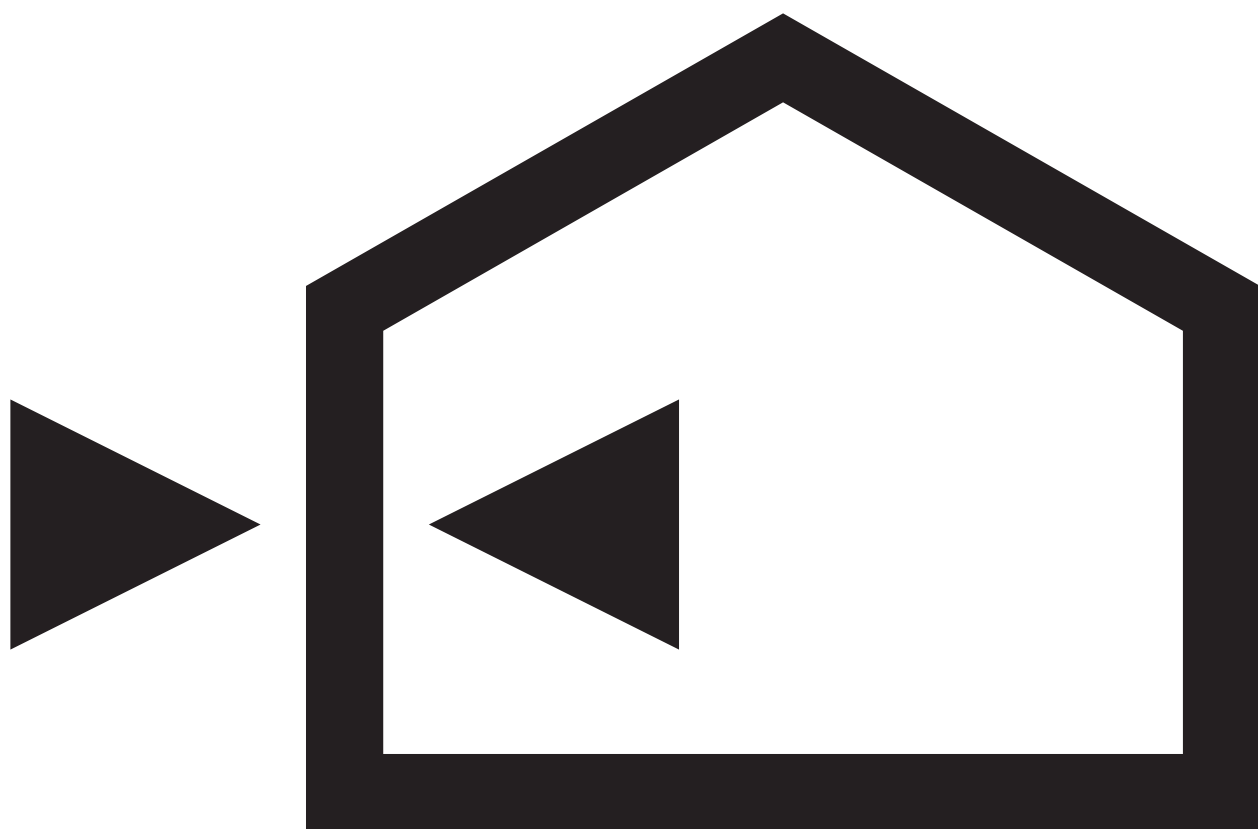
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Building with conscience.

StoCast Brick Color Collection

Resin Cast Brick



Creativity Begins. **Sto Finishes.®**

Brushed/Sand Faced Bricks



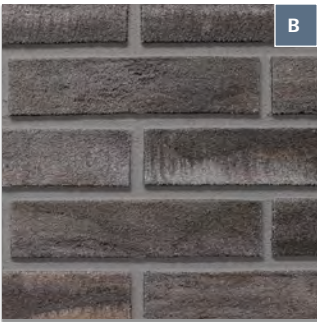
Albi S9.4936 ■ 13



Bordeaux S9.5317 ■ 10



Brighton S9.4748 ■ 12



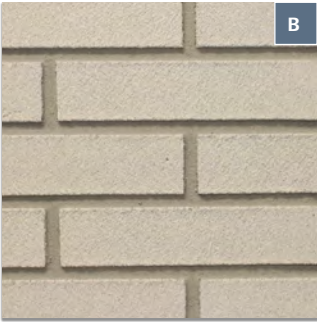
Durham S9.4824 ■ 10



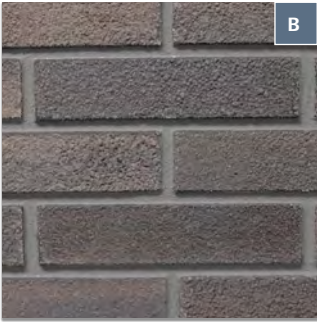
Leiria S9.7227 ■ 11



Mayfield S9.5895 ■ 90



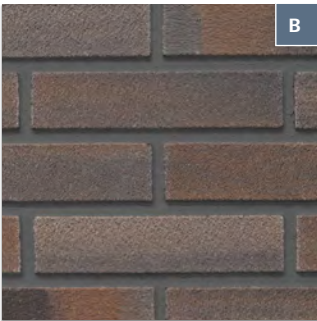
Milwaukee S9.5974 ■ 85



Princeton S9.8419 ■ 11



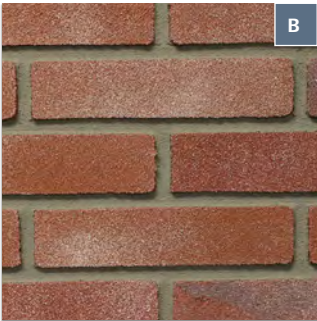
Richmond S9.6526 ■ 10



Salem S9.6597 ■ 11



Savannah S9.7341 ■ 15



St. Louis S9.5287 ■ 13

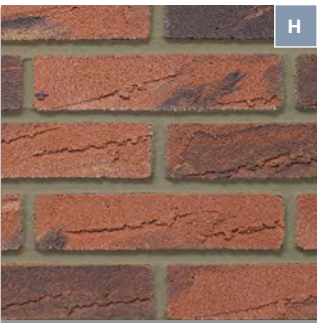
Heavy Texture



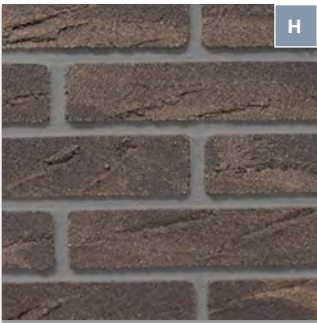
Toulouse S9.6689 ■ 10



Wexford S9.4865 ■ 13



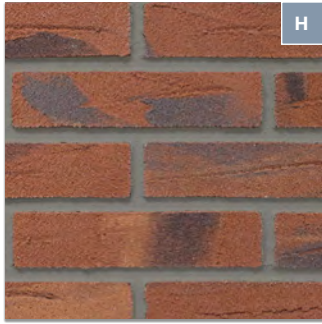
Arlington S9.3900 ■ 13



Bainbridge S9.5083 ■ 11

NOTE: Custom colors and custom matching are available in addition to these StoCast Brick standards. ■ 00 Light Reflective Value

Light Texture



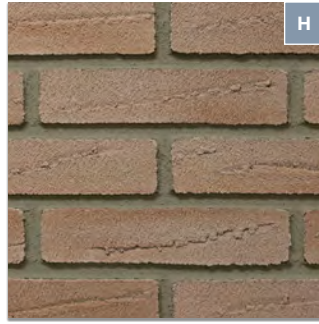
Cambridge S9.3488

■ 11



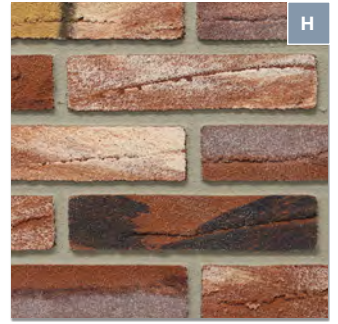
Davenport S9.3812

■ 65



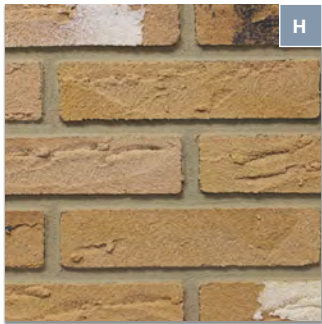
Kensington S9.5627

■ 35



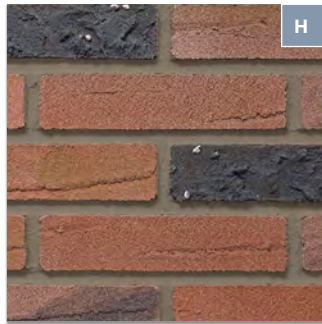
Newberry S9.4988

■ 13



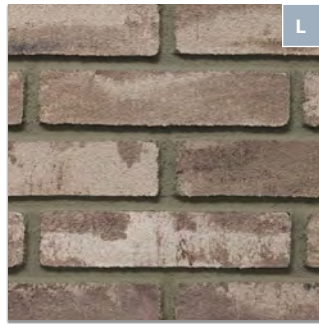
Westend S9.6527

■ 44



Winston S9.5575

■ 14



Harrison S9.6897

■ 11



Lexington S9.6683

■ 30

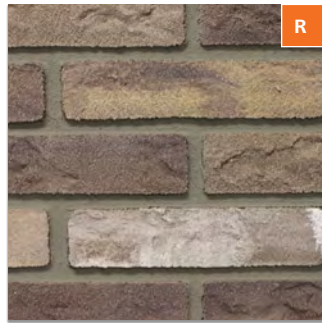
Light Texture

Rolled



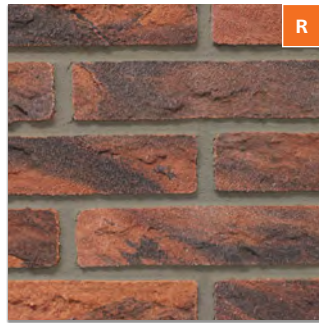
Madison S9.4435

■ 33



Brandenburg S9.7094

■ 16



Portmarnock S9.6761

■ 20

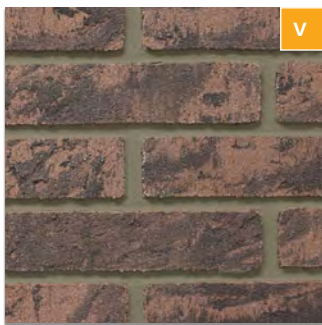
Tumbled



Hamilton S9.6855

■ 18

Vertical/Blade Cut



Lubeck S9.6118

■ 17



Sunderland S9.4475

■ 15

- B Brushed/Sand Faced Bricks
- H Heavy Texture
- L Light Texture
- R Rolled
- T Tumbled
- V Vertical/Blade Cut

NOTE: Custom colors and custom matching are available in addition to these StoCast Brick standards.

■ 00 Light Reflective Value

Flexible, lightweight, sustainable and durable

StoCast Brick is a highly customizable and versatile facade aesthetic that can be used in a variety of wall systems, ceilings, and soffits in both new and existing construction.

StoCast Brick uses the same technology as Sto’s traditional acrylic finishes and therefore allows for nearly endless possibilities for customized designs. By using StoCast Brick together with StoTherm® ci, it is possible to combine continuous thermal insulation with the appearance of a traditional brick facade and add design accents to any building

Wide range of looks and design options

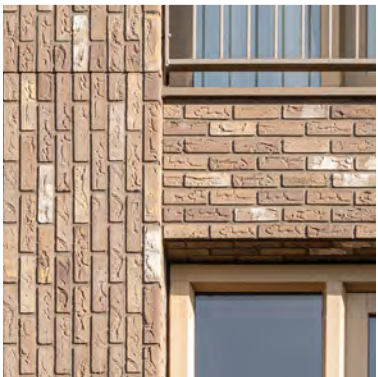
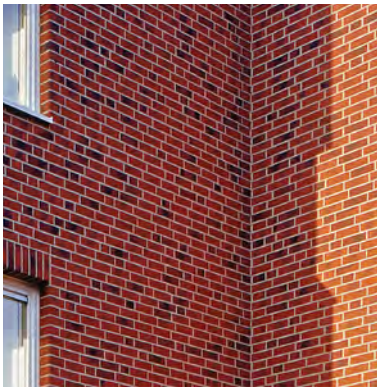
With 30 standard bricks and our custom matching abilities, our large selection of StoCast Brick works with any building style. Whether the design calls for a modern, traditional or rustic design, StoCast Brick is both classic and contemporary.

StoCast Brick joins a wide range of aesthetic options provided by Sto. Designers ask for design freedom but with the assurance that the entire building envelope will perform. With this new outstanding offer, architects can now add brick to the vast aesthetics options Sto offers, while enjoying the continuity and compatibility of the wall cladding throughout the entire building, no matter the aesthetic chosen.

Creativity Begins. **Sto Finishes.®**

Limitations

This chart offers a representation of StoCast Brick color. Actual color of manufactured product may vary slightly from the chart. Furthermore, samples may vary slightly in color and texture from production materials made for a particular job. It is always recommended to install a large sample wall area to assure desired results.



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STATEMENT COLLECTION™



ColorPlus® Technology

Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for the Northeast, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

HardiePlank
smooth & cedarmill

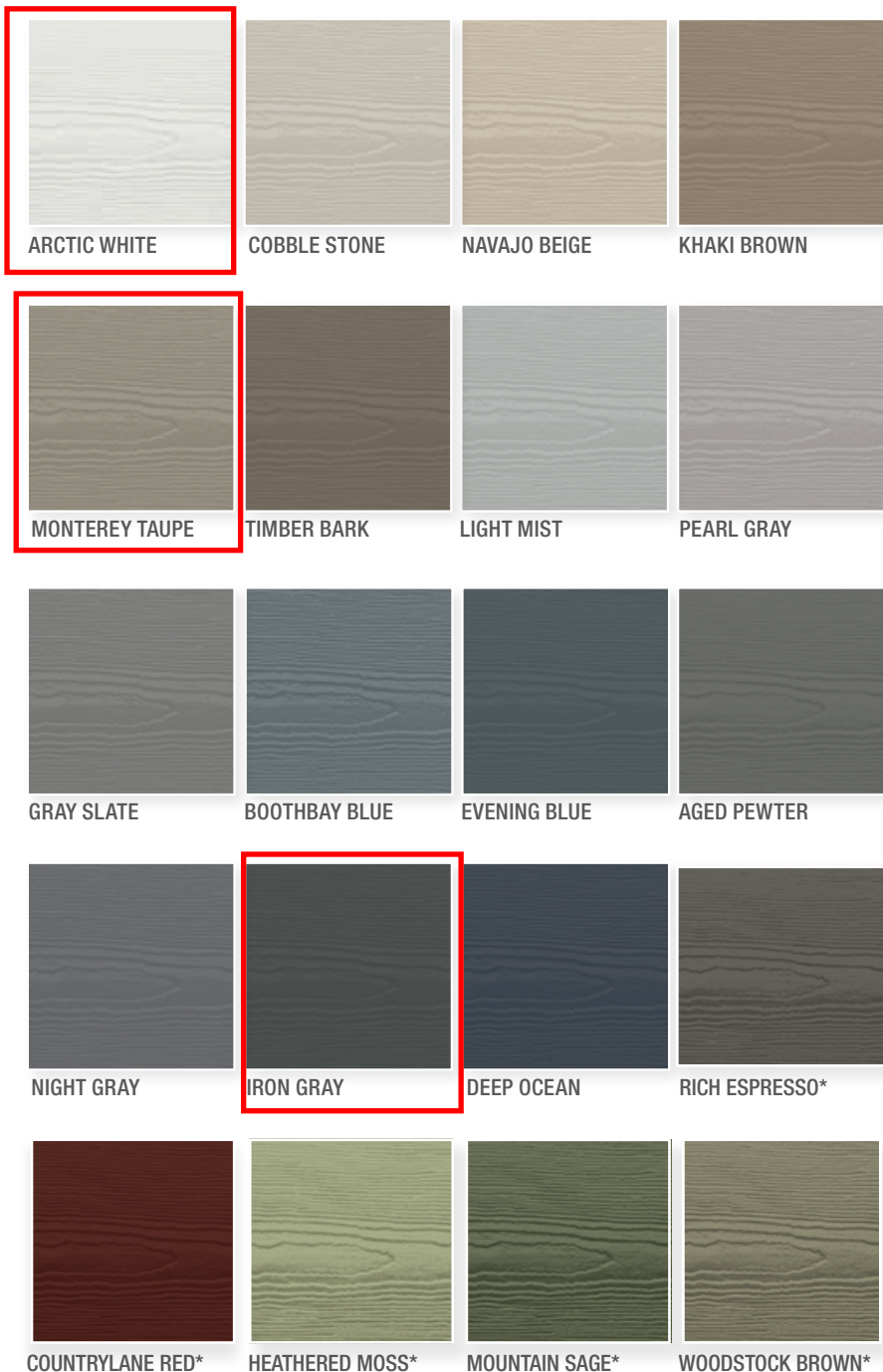
HardiePanel™
4' x 10'

HardieShingle™
5" & 7" exposure

*ADDITIONAL LEAD TIME MAY APPLY



Plank, Panel, Shingle and Battens Color Offering



Trim Color Offering



Colors shown are as accurate as printing methods will permit.
Please see actual product sample for true color.

HardiePlank®



SELECT CEDARMILL®

Width 6.25 in 8.25 in
Exposure 5 in 7 in

HardiePanel®



SELECT CEDARMILL®

Size 4 ft x 10 ft



SMOOTH

Width 6.25 in 8.25 in
Exposure 5 in 7 in



SMOOTH

Size 4 ft x 10 ft

HardieShingle®

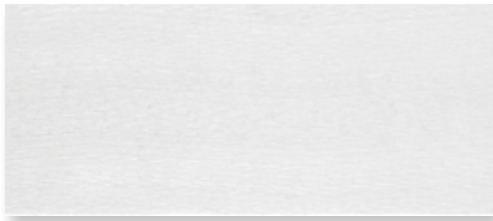


STRAIGHT EDGE PANEL

Height 14 in 15.25 in
Exposure 5 in 7 in

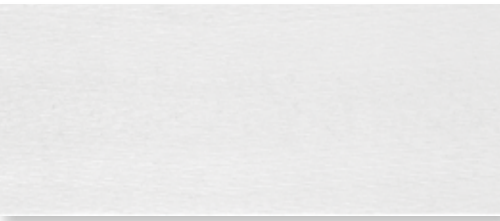
HardieTrim®

4/4 SMOOTH



Thickness .75 in
Length 12 ft boards
Width 3.5 in 5.5 in 7.25 in 11.25 in

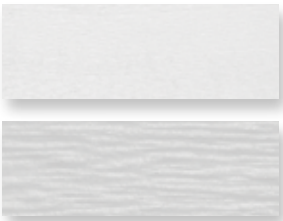
5/4 SMOOTH



Thickness 1 in
Length 12 ft boards
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

BATTEN BOARDS

4/4 SMOOTH & RUSTIC GRAIN®



.75 in
2.5 in



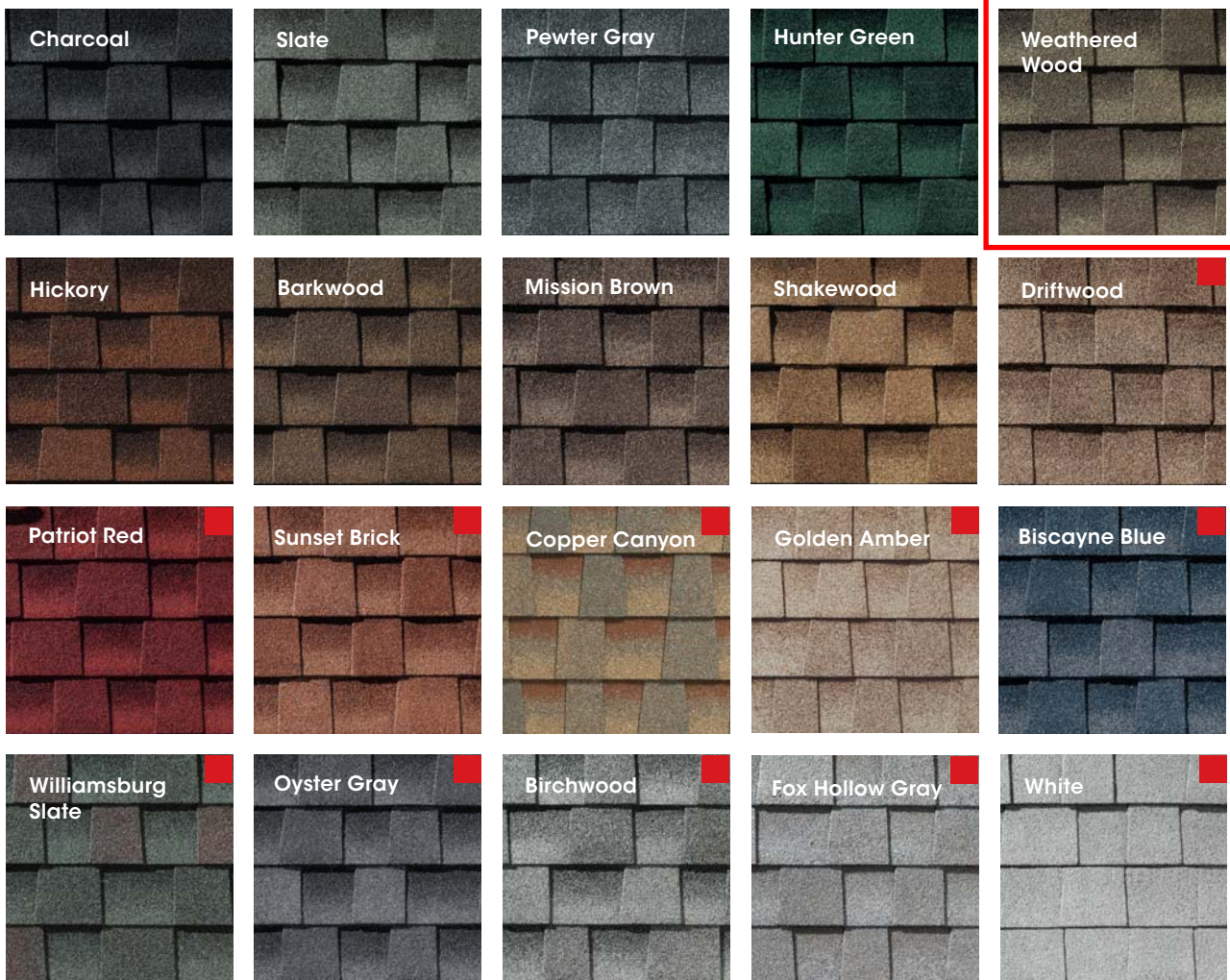
Selecting a color? Request a product sample
at jameshardiepros.com/samples

GAF Timberline[®] HDZ[™]

High Definition[®] Lifetime[†] Shingles



Timberline[®] shingles protect millions of families nationwide with great value and a genuine wood-shake look. Peace of mind has never looked so good.



For more details visit gaf.com/hdz

[†] 15-year WindProven[™] limited wind warranty on Timberline[®] HDZ[™] Shingles requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Available regionally

100 SERIES

WINDOWS & PATIO DOORS

THE SMART ALTERNATIVE TO VINYL

Whether you're replacing, remodeling or building, Andersen® 100 Series windows and patio doors are a smart step up from vinyl. They provide uncommon value, combining time-tested performance with long-lasting beauty. Our 100 Series products are made with our revolutionary Fibrex® composite material, which comes in deep, rich colors that can dramatically enhance any project. In addition, Fibrex material is environmentally responsible and energy efficient, making 100 Series products a winning choice for anyone considering vinyl windows and doors.

DURABILITY

Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight. And 100 Series products come with durable, low-maintenance finishes that won't fade, flake, blister or peel.*



DEEP, RICH COLORS

Our 100 Series windows come in beautiful colors that can set a project apart.

ENVIRONMENTALLY SMART

Our Fibrex composite material is composed of 40% reclaimed wood fiber by weight.



*Visit andersenwindows.com/warranty for details.

FIBREX® MATERIAL. STRONG ON PERFORMANCE. GENTLE ON THE ENVIRONMENT.

With Fibrex® composite material, you get the best of both worlds: a top-performing product that is environmentally responsible.

Developed by Andersen, Fibrex material is a revolutionary structural composite material that blends the very best attributes of vinyl and wood. Fibrex material saves on natural resources because it is composed of 40% reclaimed wood fiber by weight. Special polymer formulations surround and fill each wood fiber, enabling top performance.

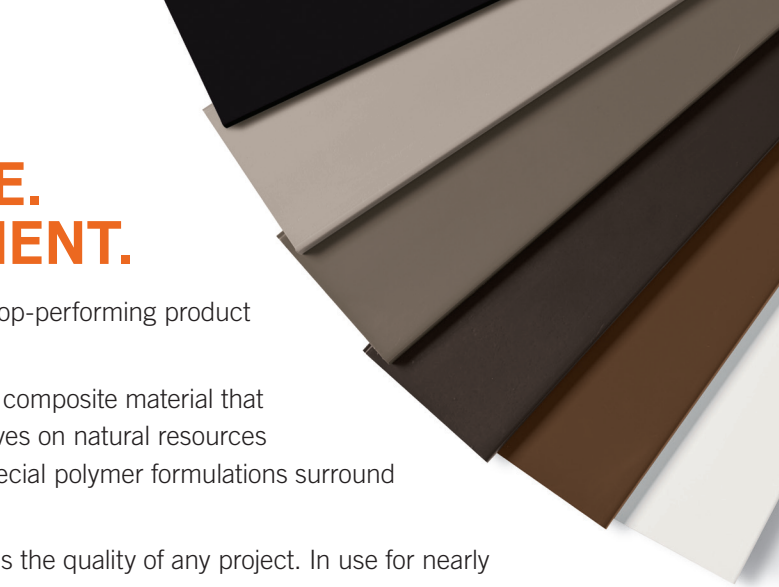
The result is a material that provides uncommon value and enhances the quality of any project. In use for nearly two decades in Andersen® products, Fibrex material has proven its strength and durability in all types of climates.

A REVOLUTIONARY BUILDING MATERIAL

- Fibrex material is twice as strong as vinyl, so weathertight seals stay weathertight
- It blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills
- For exceptional durability, Fibrex material retains its stability and rigidity in all climates

ENVIRONMENTALLY RESPONSIBLE

- Since Andersen developed the highly sustainable Fibrex material, reuse of waste wood fiber has prevented the harvesting of nearly 90 million board-feet of timber
- 100 Series windows can help builders earn LEED® points in three key categories: Energy & Atmosphere, Materials & Resources and Indoor Environmental Quality
- 100 Series products meet or exceed California Section 01350 Specification, a California indoor emission standard — one of the toughest in the country
- Like all Andersen windows, the 100 Series product line is designed to last* and help reduce future waste streams



See how Andersen created Fibrex material at andersenwindows.com/fibrex.

*Visit andersenwindows.com/warranty for details.

All logos and marks are trademarks of their respective owners.

GLASS OPTIONS

Andersen has the glass you need to get the performance you want with options for every climate, project and customer. Check with your supplier for the selections that are ENERGY STAR® certified in your area.

PERFORMANCE COMPARISON OF ANDERSEN® 100 SERIES GLASS OPTIONS

GLASS	E N E R G Y		L I G H T	
	U-FACTOR	SOLAR HEAT GAIN COEFFICIENT	VISIBLE LIGHT TRANSMITTANCE	UV PROTECTION
	How well a product prevents heat from escaping.	How well a product blocks heat caused by sunlight.	How much visible light comes through a product.	How well a product blocks ultraviolet rays.
High-Performance Low-E Energy-efficient Low-E glass is available in all Andersen® 100 Series products, and can help reduce energy bills in any climate.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
High-Performance Low-E with HeatLock® Coating Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factors.	★★★★☆	★★★★☆	★★★★☆	★★★★☆
High-Performance SmartSun™ Thermal control similar to tinted glass, but with the visible light transmittance of clear glass.	★★★★☆	★★★★★	★★★★☆	★★★★★
High-Performance SmartSun with HeatLock Coating Applied to the room-side glass surface, it reflects heat back into the home and improves U-Factors.	★★★★☆	★★★★★	★★★☆☆	★★★★★
Clear Dual-Pane Dual-pane glass is available for projects where codes allow its use.*	★★★☆☆	☆☆☆☆☆	★★★★★	☆☆☆☆☆

Center of glass performance only. Ratings based on glass options available as of January 2018. Visit andersenwindows.com/energystar for ENERGY STAR® map and NFRC total unit performance data.

TIME-SAVING TRANSLUCENT FILM

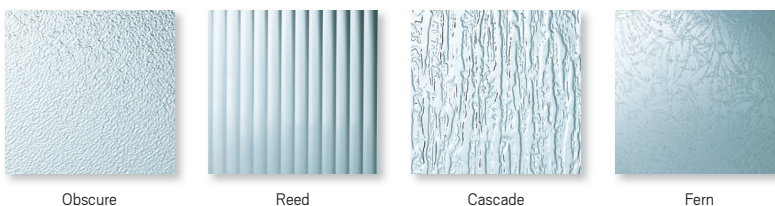
We help protect 100 Series windows and doors during delivery and construction with a translucent film that minimizes time spent masking on the jobsite, then peels away for a spotless window. For details, contact your Andersen supplier.



ADDITIONAL GLASS OPTIONS

Tempered safety glass is available (standard on gliding patio doors) as well as sound-reducing glass options.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch to your home.



Cascade and Reed patterns are only available in a vertical orientation.

*See your local code official for building code requirements in your area.

GRILLE OPTIONS

Grilles for Andersen® 100 Series windows and patio doors are available in a wide variety of patterns to complement virtually any style of home. Plus, they give you options for easy cleaning and architectural authenticity many vinyl windows can't match.

CONFIGURATIONS

FINELIGHT™ GRILLES-BETWEEN-THE-GLASS



Finelight grilles make glass easy to clean. They have an elegant, sculpted profile, plus they offer a two-sided color scheme, allowing you to have grilles that match not only the interior but also your exterior color choice.



Finelight with Exterior Grilles make interior glass easier to clean, while permanent exterior grilles provide architectural style and detail.

FULL DIVIDED LIGHT

For an authentic look, Full Divided Light features permanently applied grilles to the interior and exterior of the window with a spacer between the glass.



SIMULATED DIVIDED LIGHT

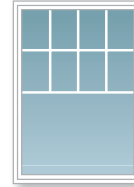
Simulated Divided Light offers permanent grilles on the exterior and interior with no spacer between the glass.



PATTERNS



Colonial



Modified Colonial



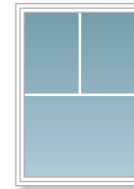
Prairie A



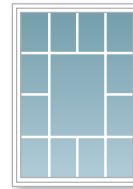
Simulated Single-Hung*



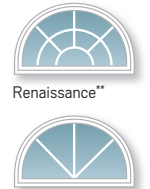
Short Fractional



Tall Fractional



Victorian



Renaissance**



Sunburst**

Specified Equal Light

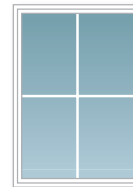
Any number of same-size rectangles across or down. Some limitations apply.



2 x 1



1 x 3



2 x 2



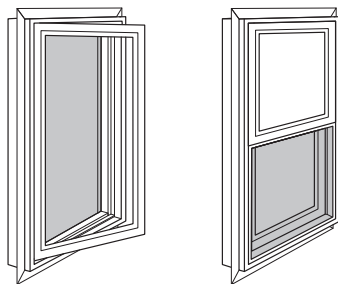
2 x 4

Note: Some grille patterns not available in all configurations and products.

INSECT SCREENS

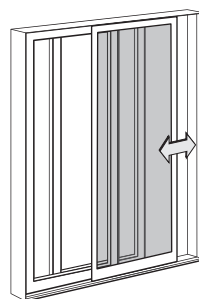
Insect screens for windows and patio doors have a fiberglass screen mesh. Optional TruScene® insect screens for windows are made with a micro-fine stainless steel mesh, providing 50% more clarity than our conventional insect screens.

WINDOWS



Insect screens are available for all 100 Series venting windows.

PATIO DOORS



Gliding Insect Screen

Gliding insect screens are available for two-panel doors.

*Our 2 1/4" wide grille can make a casement window look like a single-hung. Can also be used with a Specified Equal Light pattern grille.

**Renaissance and Sunburst patterns are only available with Finelight grilles.

FEATURES

CASEMENT & AWNING

Frame

- A** Frame constructed with Fibrex® composite material. This construction produces a rigid frame.
- B** Durable, low-maintenance finish won't fade, flake, blister or peel.*

Concealed receiving brackets mounted on the hinge side of the frame keep the sash tightly secured within the window frame when closed.

- C** Three flange options include:
 - 1 3/8" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.
 - 1" (25) flange setback with stucco key.
 - No-flange option for use as an insert/replacement window.

Sash

- D** Fibrex material construction provides long-lasting performance*. The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.
- E** The dual weatherstripping system combines both an exterior watershed design and a bulb weatherstrip seal between the sash and frame. The result is a long-lasting*, energy-efficient barrier against wind, water and dust.

Glass

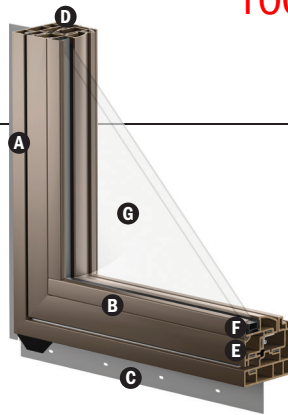
- F** A glazing bead and silicone provide superior weathertightness and durability.
- G** High-Performance glass options include:
 - Low-E SmartSun™ glass
 - Low-E SmartSun HeatLock® glass
 - Low-E glass
 - Low-E HeatLock glass
 - Dual-pane glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 10 for more details.



Hardware

Sash operator provides almost effortless opening and closing, regardless of unit size. Long-lasting stainless steel hinge channels are used at the head and sill to provide easy operation.



Single-Action Casement Lock

Single-action lock easily releases all concealed locking points on casement sash. The lock and folding handle match the window's interior.

Awning Sash Locks



Awning sash locks provide an added measure of security and weathertightness. Awning hardware style and color options are compatible with 100 Series casement windows to ensure a consistent appearance when used in combination designs.

SINGLE-HUNG

Frame

- A** Frame constructed with Fibrex composite material. This construction produces a rigid frame.
- B** A durable, side-loaded balancer provides for easy sash opening and closing. The lower sash can be removed without the use of tools.
- C** Durable, low-maintenance finish won't fade, flake, blister or peel.*
- D** Three flange options include:
 - 1 3/8" (35) flange setback for siding applications. An integral rigid vinyl flange helps seal the unit to the structure.
 - 1" (25) flange setback with stucco key.
 - No-flange option for use as an insert/replacement window.
- E** Weep holes are located on the exterior sill nose for proper water management.

Sash

- The lower sash has a check rail cover with a unique raised profile design, allowing the sash to be opened and closed easily.
- F** Fibrex material construction provides long-lasting performance*. The sash, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.
- G** Dual-felt weatherstripping provides a long-lasting*, energy-efficient barrier against wind, water and dust.

Glass

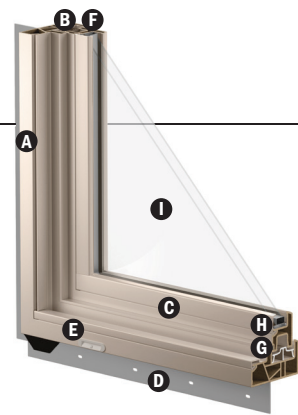
- H** A glazing bead and silicone provide superior weathertightness and durability.
- I** High-Performance glass options include:
 - Low-E SmartSun™ glass
 - Low-E SmartSun HeatLock® glass
 - Low-E glass
 - Low-E HeatLock glass
 - Dual-pane glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 10 for more details.



Hardware

Sash Lock

Sash lock engages automatically when lower sash is closed. The sash lock matches the window's interior. An optional sash lift is available.

Sash Options



Reverse Cottage Style

Shapes



Arch Single-Hung

*Visit andersenwindows.com/warranty for details. Dimensions in parentheses are in millimeters.

FEATURES

GLIDING PATIO DOORS

Frame

A Frame constructed with Fibrex® composite material. This construction produces a rigid frame.

B Durable, low-maintenance finish won't fade, flake, blister or peel.

Factory-assembled doors arrive at the jobsite ready to install.

C Dual-felt weatherstripping, applied on the inside pocket of both side jambs and the head jamb, creates a positive seal between the frame and panels. The result is a long-lasting, energy-efficient barrier against wind, water and dust.

A full-length combination weatherstrip/interlock system provides a flexible seal at the meeting stile.

Sill

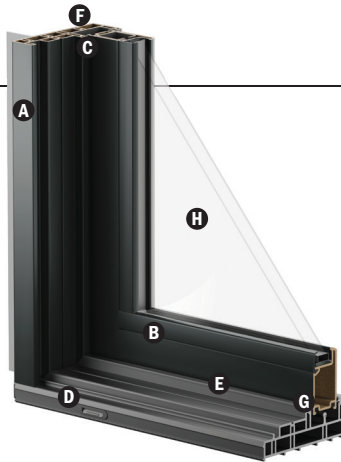
D One-piece sill design with weep holes located on the sill exterior provides superior water management. The heavy gauge PVC construction is wear-resistant and neutral gray in color.

E The roller track has a stainless steel cap that resists denting for smooth, reliable operation.

Panel

F Fibrex material construction provides long-lasting performance. The panel, finished with a durable capping, provides maximum protection and a matte, low-maintenance finish.

G Dual corrosion-resistant* ball-bearing rollers on the operating door panel provide smooth operation with self-contained leveling adjusters. The rollers have deep grooves to increase engagement with the roller track and resist lateral movement. Metal reinforcement inserted into the panel stiles provides additional stability.



Glass

A glazing bead and silicone provide superior weathertightness and durability.

H High-Performance glass options include:

- Low-E SmartSun™ tempered glass
- Low-E SmartSun HeatLock® tempered glass
- Low-E tempered glass
- Low-E HeatLock tempered glass
- Dual-pane tempered glass

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 10 for more details.

Hardware

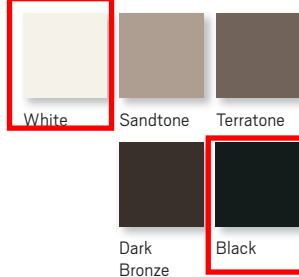
Locking System



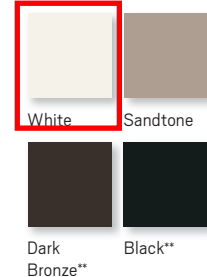
A two-point locking system engages a steel receiver plate that is secured into the side jamb. This provides enhanced security and a weathertight seal, with the operating panel pulled tightly into the jamb.

Tulsa and Afton hardware options are available. Tulsa hardware exterior handles match the door's exterior color, while interior handles come in white or sandtone to match the interior. Afton hardware has the same finish inside and out.

EXTERIOR COLORS



INTERIOR COLORS

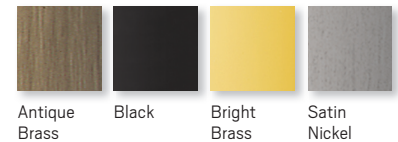


HARDWARE FINISHES

TULSA

Tulsa hardware matches the exterior and interior color options shown above.

AFTON



GLIDING PATIO DOOR HARDWARE

TULSA (Standard)



Exterior Handle
Black
Cocoa Bean
Dark Bronze
Sandtone
Terratone
White

Interior Handle
Black
Dark Bronze
Sandtone
White

Bold name denotes finish shown.

AFTON (Optional)



Exterior Handle Interior Handle
Antique Brass | Bright Brass
Black | **Satin Nickel**

ACCESSORIES Sold Separately

Hardware

Auxiliary Foot Lock

Provides an extra measure of security when the door is in a locked position. Available in colors that coordinate with the interior.

Grilles

Grilles are available in a variety of configurations. See page 11 for details.

Insect Screens

Insect screens are available with a gray fiberglass screen mesh and are color-matched to the door exterior. The latch mechanism is contained within the insect screen handle for easy operation.

Sidelights & Transoms

Patio door sidelights and transoms are available for 100 Series gliding patio doors. See pages 85-86.

*Visit andersenwindows.com/warranty for details.

**Dark Bronze and Black interiors are only available with Dark Bronze and Black exteriors respectively.

Printing limitations prevent exact duplication of colors and finishes. See your Andersen supplier for actual color and finish samples.



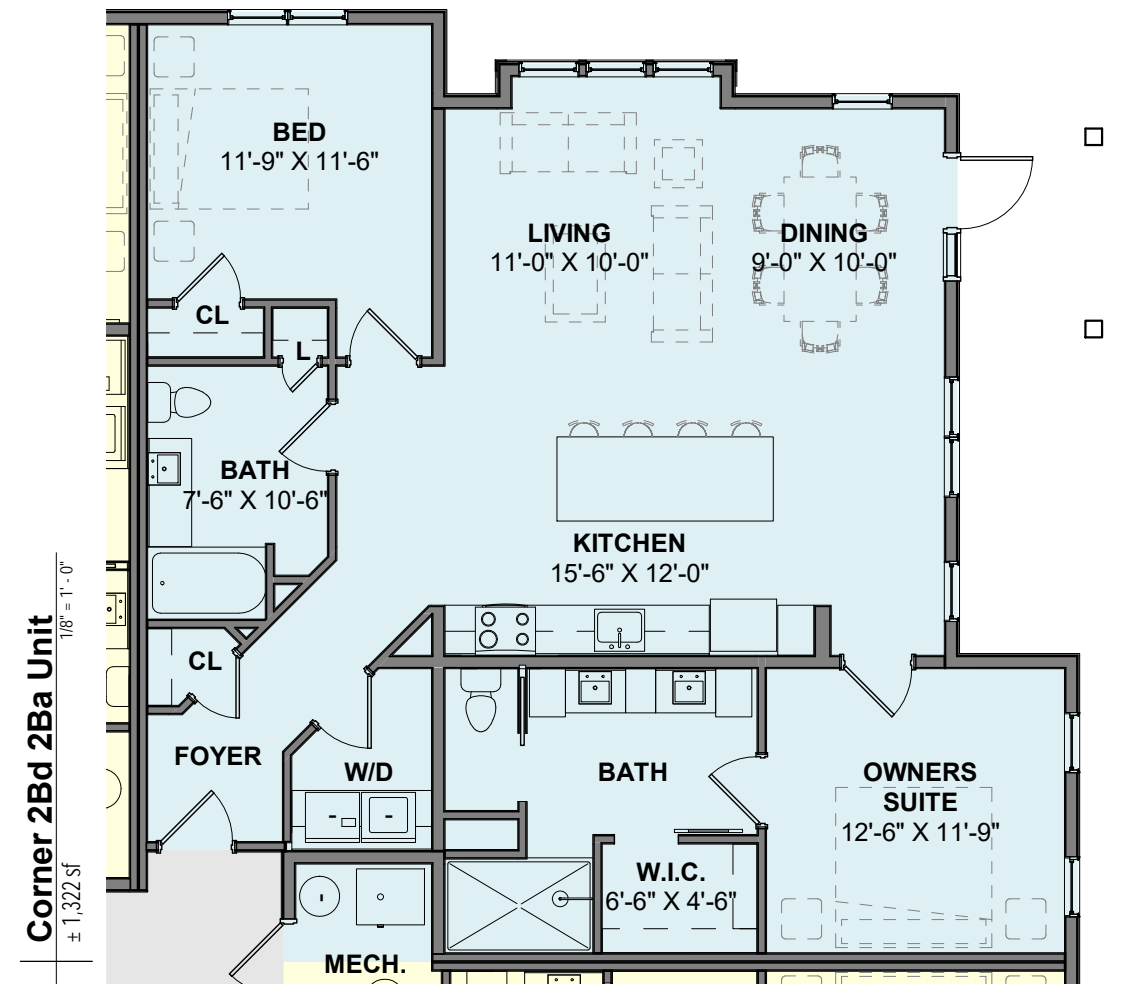
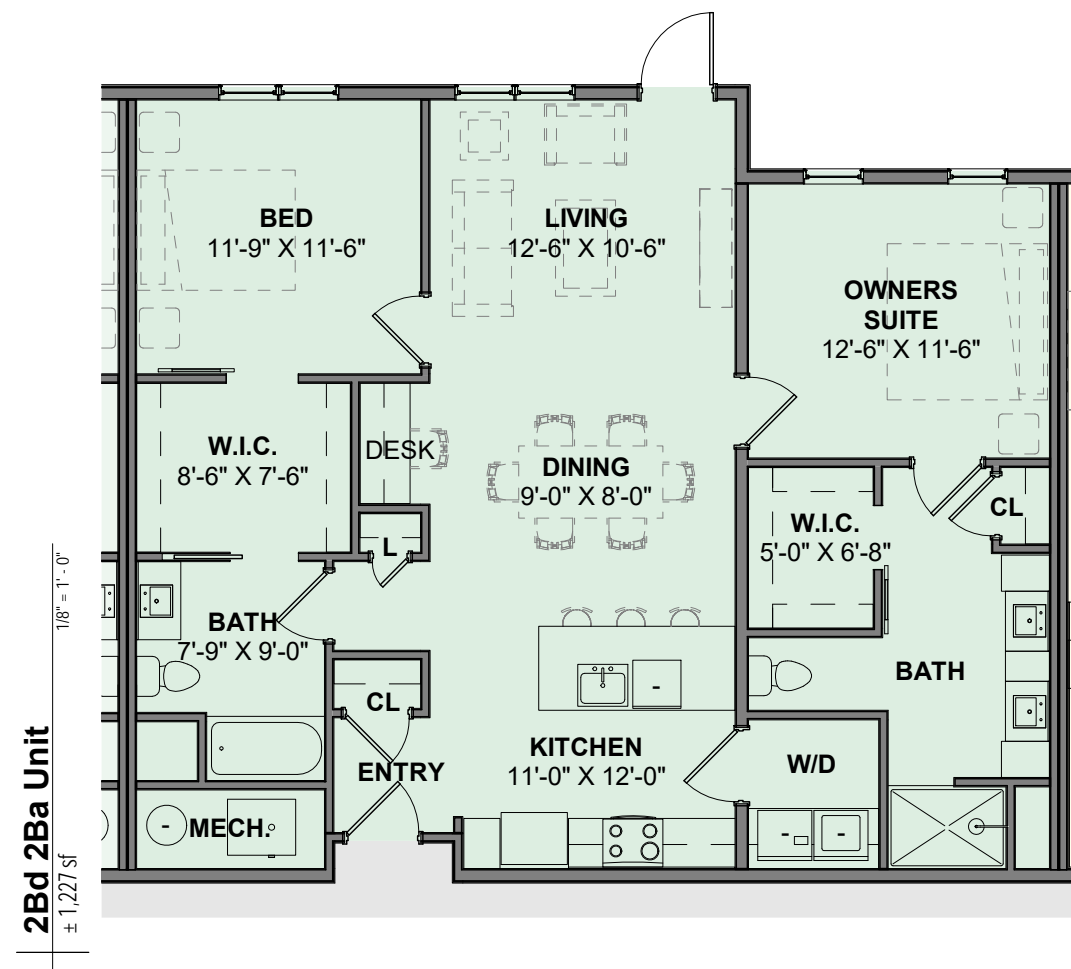
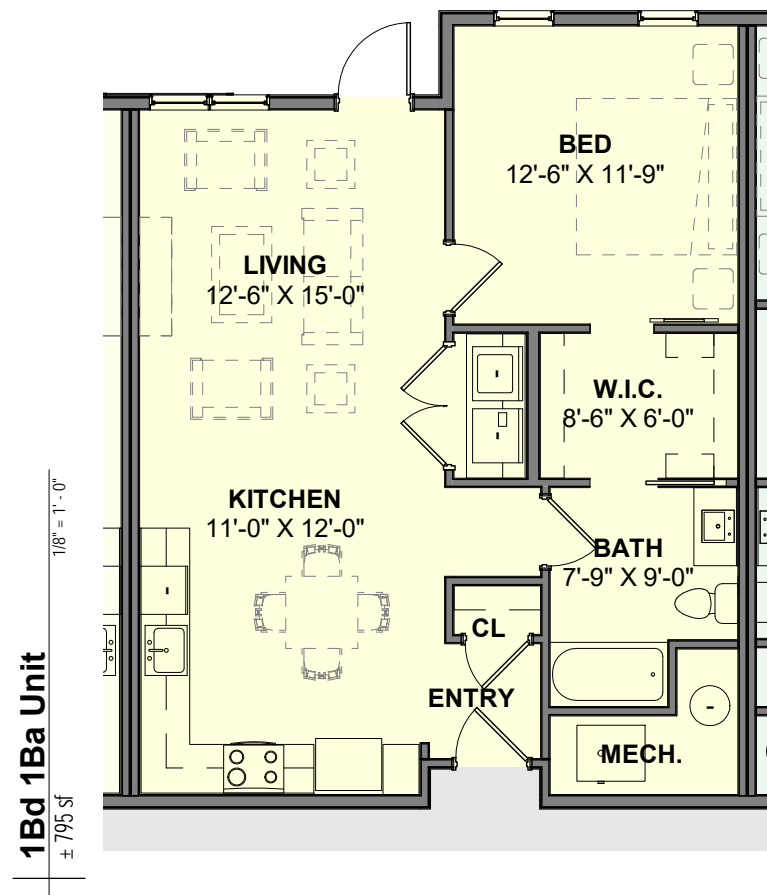
Unit Count Matrix			
	1 Bedrooms	2 Bedroom	
First Floor	5	13	± 66 Units
Second Floor	10	15	
Third Floor	8	15	
Total	23	43	

First Floor Plan - East Wing

Rivers Ledge Development: Senior Building
Town of Niskayuna, New York 12309

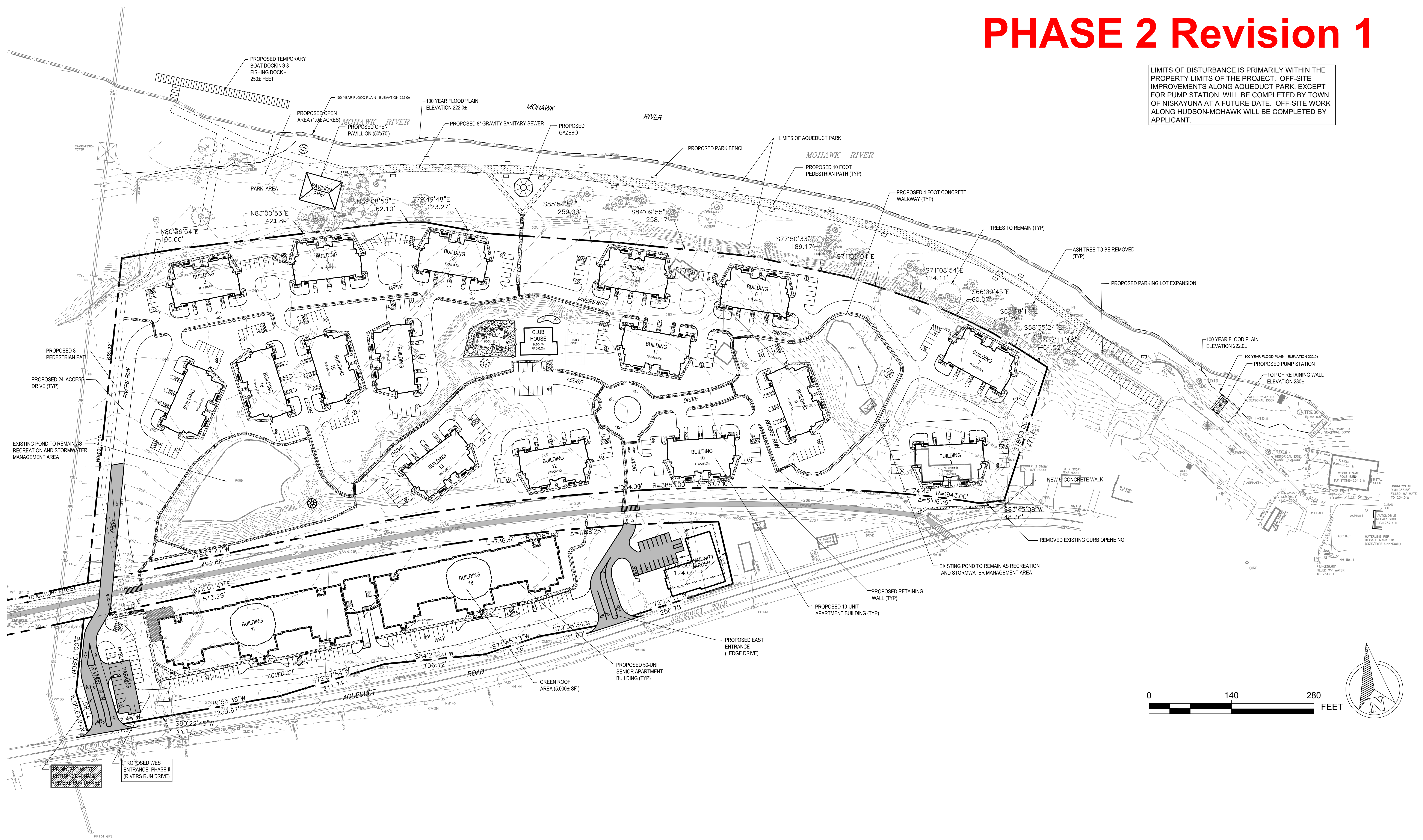


Scale: 3/32" = 1'-0"
May 11th, 2022



PHASE 2 Revision 1

LIMITS OF DISTURBANCE IS PRIMARILY WITHIN THE PROPERTY LIMITS OF THE PROJECT. OFF-SITE IMPROVEMENTS ALONG AQUEDUCT PARK, EXCEPT FOR PUMP STATION, WILL BE COMPLETED BY TOWN OF NISKAYUNA AT A FUTURE DATE. OFF-SITE WORK ALONG HUDSON-MOHAWK WILL BE COMPLETED BY APPLICANT.



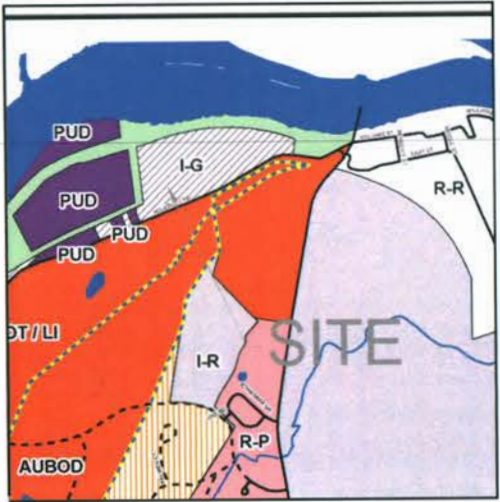
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REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	MODIFIED GENERAL LAYOUT MODIFIED GENERAL LAYOUT	DFA	01/13/2017 04/14/2017

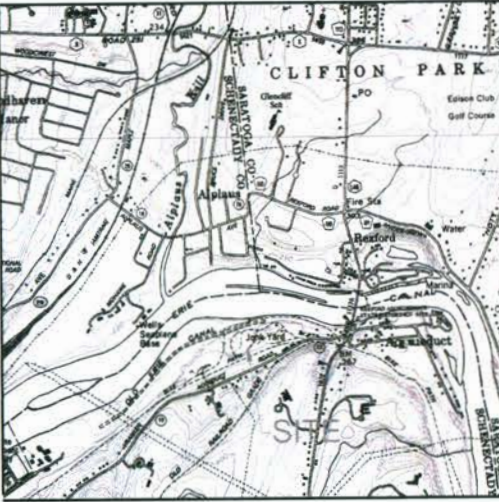
Arico Associates
Engineers, Land Planners
& Consultants
49 Railroad Avenue, Albany, NY, 12205
darico@aricoassociates.com 518.573.6989
www.aricoassociates.com

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY RIVERS LEDGE OF NISKAYUNA OVERALL LAYOUT PLAN LOCATED AT 2837 AQUEDUCT ROAD TAX MAP NO. 31.00-1-24, 22.1, 23.1 & 26	DATE: JANUARY 2017 JOB NO. L16-001 SCALE: 1"= 70' DRAWN BY: CHECKED BY: DFA SHEET OF	DRAWING NO. S1
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RIVERS LEDGE OF NISKAYUNA
TOWN OF NISKAYUNA
SCHENECTADY COUNTY STATE OF NEW YORK
MARCH 7, 2016
LAST REVISED: APRIL 2017



ZONING MAP
SCALE: 1"=1000'



LOCATION MAP
SCALE: 1"=2000'



SITE STATISTICS					
TOTAL PROJECT AREA 18.16 AC	EXISTING		PROPOSED		
	SQUARE FEET	ACRES	SQUARE FEET	ACRES	PERCENT
TOTAL BUILDING AREA	2,700,000	6.17	1,511,500	4.12	55.98
	1,188,500	2.71	1,511,500	4.12	55.98
TOTAL PAVEMENT AREA	1,188,500	2.71	1,188,500	2.71	6.55
	1,188,500	2.71	1,188,500	2.71	6.55
TOTAL GREEN ROOF AREA	1,188,500	2.71	1,188,500	2.71	6.55
	1,188,500	2.71	1,188,500	2.71	6.55

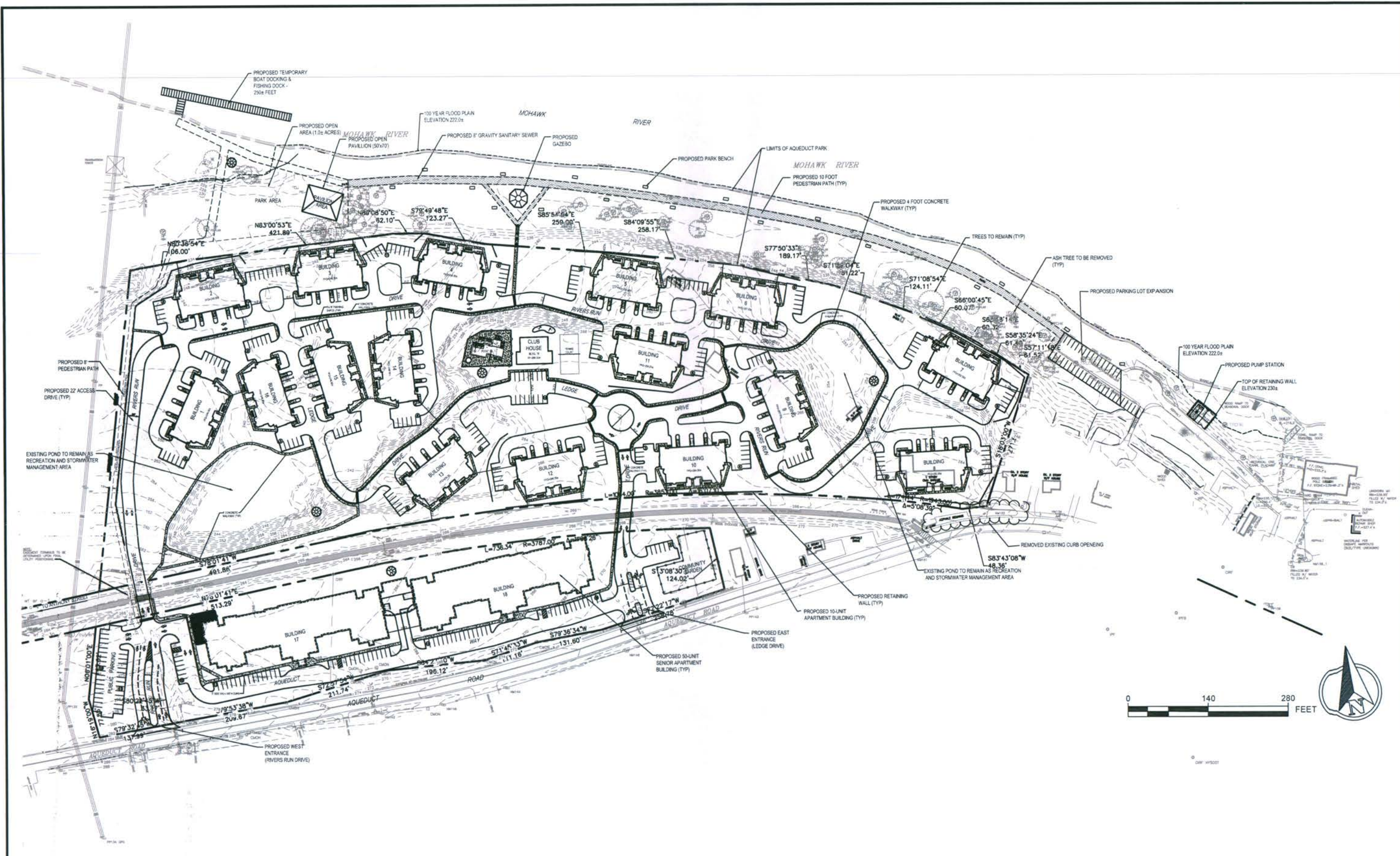
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TAX MAP NO.:	11.01.01.01
OWNER:	ARICO ASSOCIATES
ARCHITECT:	ARICO ASSOCIATES
ENGINEER:	ARICO ASSOCIATES
ENVIRONMENTAL:	ARICO ASSOCIATES
LANDSCAPE:	ARICO ASSOCIATES
PLANNING:	ARICO ASSOCIATES
TRAFFIC ENGINEER:	ARICO ASSOCIATES
UTILITY ENGINEER:	ARICO ASSOCIATES
WATER ENGINEER:	ARICO ASSOCIATES
SEWER ENGINEER:	ARICO ASSOCIATES

OWNER / APPLICANT:

RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205

Arico Associates
Engineers, Land Planners
& Consultants
49 Railroad Avenue, Albany, NY, 12205
518.573.6989
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PHASE 2 Revision 1



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REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	MODIFIED GENERAL LAYOUT	DFA	01/13/2017
2	MODIFIED GENERAL LAYOUT	DFA	04/14/2017

Arico Associates
 Engineers, Land Planners & Consultants
 49 Railroad Avenue, Albany, NY, 12205
 518.573.6989
 darico@aricoassociates.com www.aricoassociates.com

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY
 RIVERS LEDGE OF NISKAYUNA
OVERALL LAYOUT PLAN
 LOCATED AT
2837 AQUEDUCT ROAD
 TAX MAP NO. 31.00-1-24, 22.1, 23.1 & 26

DATE: JANUARY 2017
 JOB NO. L16-M001
 DRAWING NO. S1
 SCALE: 1" = 75'
 DRAWN BY: DFA
 CHECKED BY: DFA
 SHEET 1 OF 1



4/27/2017 5:14:58 PM
2.11708 - Luzzi Niskayuna/CURRENT DRWG01708 - Luzzi Niskayuna 17-0426 rev.4.rvt
PLOTTED ON:

PROGRESS SET:



① South1
1/16" = 1'-0"



② West1
1/8" = 1'-0"



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State Education Law

PROJECT: PROPOSED SENIOR HOUSING

Project Status
NISKAYUNA, NY

DRAWING: ELEVATIONS

SCALE: As indicated

DATE: 04/27/17

DRAWN BY: DG

CHECKED BY:

REVISIONS:

PROJECT NO:
1708

DRAWING NO:

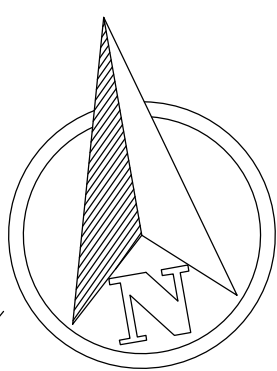
A200






OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205
AREA = 5.25± ACRES
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
MAIN BUILDING: 60 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 125 SPACES
GARAGE SPACES = 60 SPACES
OUTDOOR SPACES = 65 SPACES
BUILDING HEIGHT - 35'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

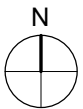
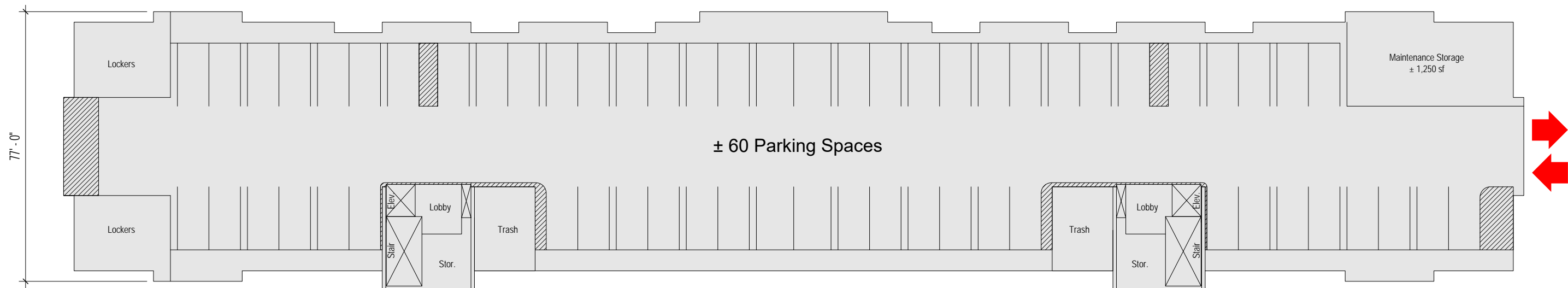
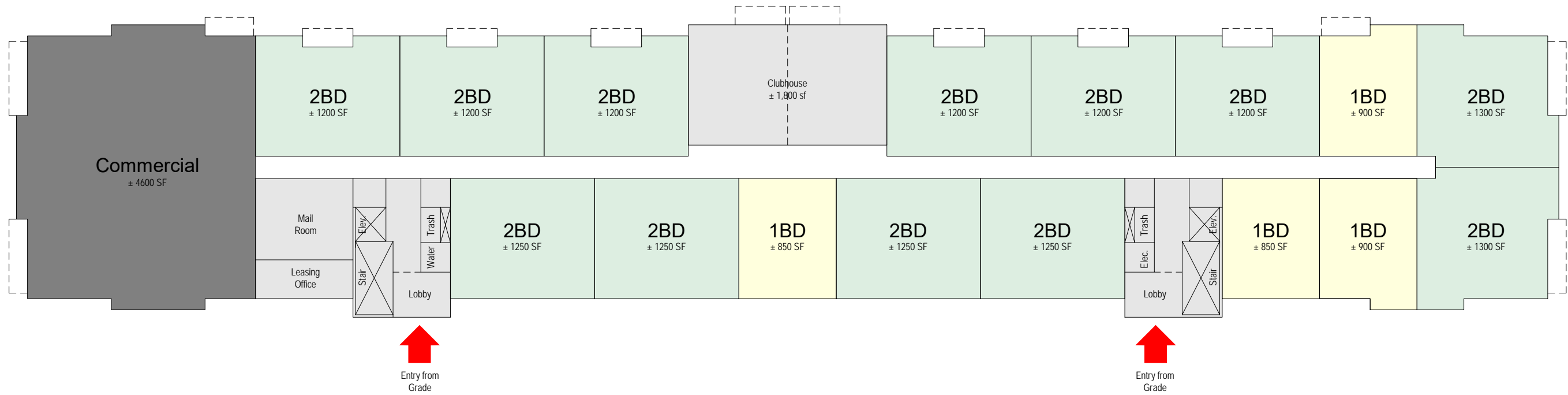
BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.



				<p>REVISIONS</p> <table><tr><th>NO.</th><th>DESCRIPTION</th><th>BY</th><th>DATE</th></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>		NO.	DESCRIPTION	BY	DATE					<p>BRETT L. STEENBURGH, P.E. PLLC</p> <div><p>2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0676 bsteenburghpe@gmail.com</p><p>ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY</p><p>A comprehensive civil engineering firm</p></div>		<p>TOWN OF NISKAYUNA COUNTY OF SCHENECTADY</p> <p>RIVERS LEDGE OF NISKAYUNA</p> <p>PHASE 2 - CONCEPT PLAN</p> <p>LOCATED AT</p> <p>2837 AQUEDUCT ROAD</p> <p>TAX MAP NO. 31.00-1-24, 22.1, 23.1 & 26</p>		<p>DATE: DECEMBER 2020</p> <p>JOB NO. RIVERS LEDGE DRAWING NO.</p> <p>SCALE: 1"=40'</p> <p>DRAWN BY:</p> <p>CHECKED BY:</p> <div>C-1</div>	
NO.	DESCRIPTION	BY	DATE																

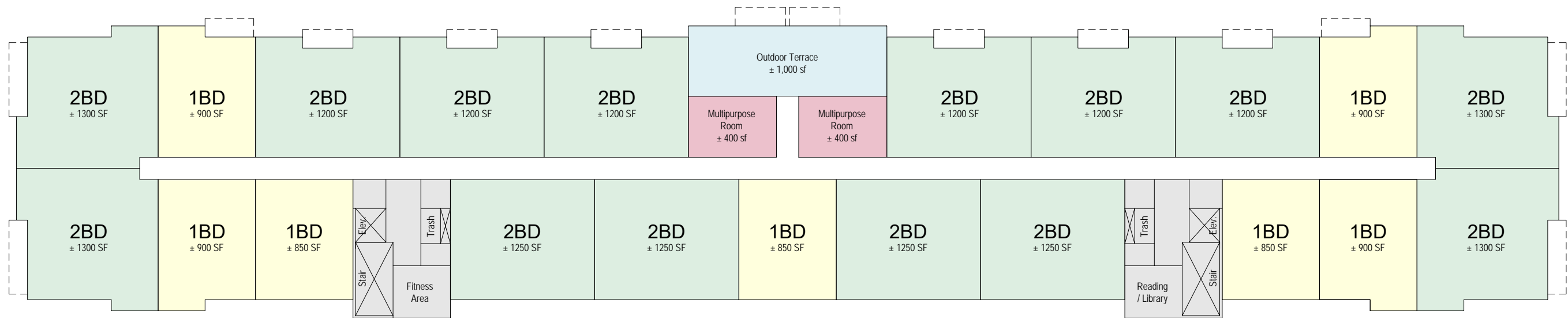
PHASE 2 Revision 2



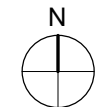
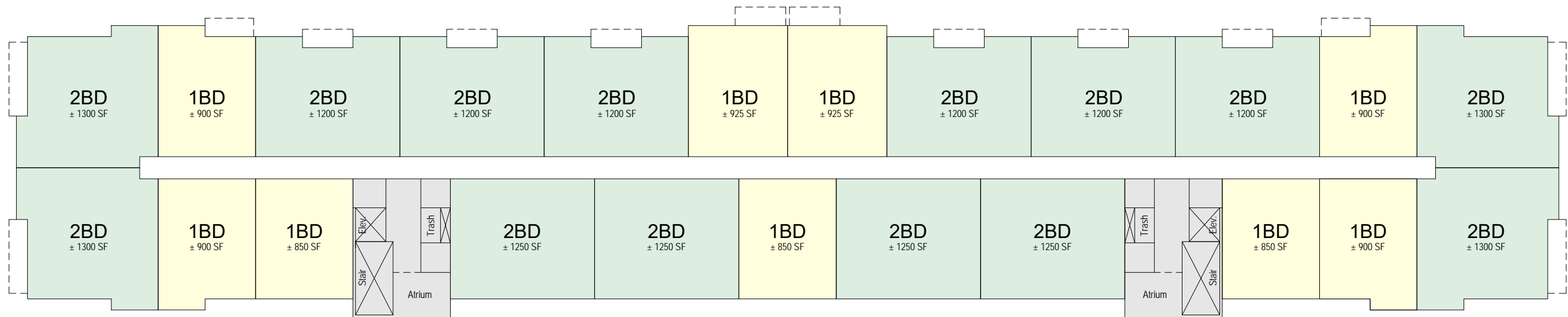


Unit Count Matrix			± 60 Units
	1 Bedrooms	2 Bedroom	
First Floor	4	12	
Second Floor	9	14	
Third Floor	7	14	
Total	20	40	

Third Floor Block Plans



Second Floor Block Plans





West Elevation



North Elevation - West Wing