

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
April 11, 2022
7:00 PM

REGULAR AGENDA MEETING

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. APPROVAL OF MINUTES**
 - 1. March 28, 2022
- IV. PUBLIC HEARINGS**
- V. PRIVILEGE OF THE FLOOR**
- VI. UNFINISHED BUSINESS**
- VII. NEW BUSINESS**
- VIII. DISCUSSION ITEM**
 - 1. 3713 State St. – Goodyear Tire – Site plan app. for keeping a 20 ft. long x 8 ft. wide storage container in the parking lot.
 - 2. 2341 Nott St. – St. James Plaza – Site plan app. for placing a Chase Bank ATM machine in the Shop Rite parking lot.
- IX. REPORTS**
 - 1. Planning Department Updates
- X. COMMISSION BUSINESS**
- XI. ADJOURNMENT**

NEXT MEETING: April 25, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
March 28, 2022

Members Present:

Kevin Walsh, Chairman
Patrick McPartlon
Genghis Khan
David D'Arpino
Daci Shenfield (virtual)
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. LaFlamme was absent / excused tonight.

III. MINUTES**March 14, 2022**

Mr. Skrebutenas made a motion to approve the minutes and it was seconded by Mr. McPartlon. Chairman Walsh asked for corrections or comments on the minutes. Hearing none, he called for a vote of approval.

Upon voting, the minutes were approved unanimously 7-0.

Mr. Skrebutenas	AYE
Mr. Khan	AYE
Mr. D'Arpino	AYE
Ms. Shenfield	AYE
Ms. Gold	AYE
Mr. McPartlon	AYE
Chairman Walsh	AYE

IV. PUBLIC HEARINGS

There were no public hearings.

V. PRIVILEGE OF THE FLOOR

No residents provided comments for privilege of the floor by email, videoconference or in-person participation.

VI. UNFINISHED BUSINESS**1. RESOLUTION: 2022-08: A Resolution for site plan approval of an extension of the approved site plan (Resolution 2020-12) for the construction of an 890 sq. ft. addition at 2764 Troy Rd. – Niskayuna Animal Hospital.**

Dr. Gaegan was present for the meeting. Chairman Walsh read the resolution and the conditions which included 6, 12, 18 and 24 month milestones to keep the project moving forward. Mr. D'Arpino (Project Lead) made a motion to approve the resolution and it was seconded by Ms. Gold. Mr. D'Arpino stated that he had met with Dr. Gaegan and discussed the upgrades, including many utility upgrades, which needed to be completed for this project. Chairman Walsh called for a vote on the resolution.

Upon voting, the resolution was approved 7-0.

Mr. Skrebutenas AYE

Mr. Khan AYE

Mr. D'Arpino AYE

Ms. Shenfield AYE

Ms. Gold AYE

Mr. McPartlon AYE

Chairman Walsh AYE

VII. NEW BUSINESS

No new business tonight.

VIII. DISCUSSION ITEMS**1. 1 Research Circle – GE Global Research – site plan application for the construction of a new 16,000 sq. ft. building**

Before the discussion began, Mr. Khan recused himself from the discussion due to conflict of interest.

Mr. Corey Whalen from GE Research attended the meeting virtually. Mr. D'Arpino (Project Lead) discussed updates on the project. He stated the applicants met with the ARB and that

71 resulted in favorable updates to the building design, including additional windows facing River
72 Road. He stated that Mr. Whalen submitted more information on what machinery and equipment
73 will be stored in the building. Mr. D'Arpino stated there are no updated elevations or floorplans
74 yet. Mr. Whalen stated that GE is still working out the specifics on the elevations and floorplans.

75 Mr. D'Arpino suggested to Mr. Whalen to consider the view from River Road and the bike path.
76 Mr. Whalen agreed and stated they are working that into their landscaping plan as well.

77 Chairman Walsh asked Mr. Whalen the height of the tallest building located near the proposed
78 new building. Mr. Whalen stated it was approximately 68 feet high. He added that he will be
79 sending pictures of this building to the ARB for review this week.

80 Chairman Walsh asked the Board their opinion on whether a public hearing is needed for this
81 project. The Board asked what the notification to the public on the project had been so far. Ms.
82 Robertson stated that because this project required a public hearing and mailout for the ZBA
83 meeting, the same number of properties within 200 feet of the GE parcel had already received
84 written notice about this project. At the Zoning Board there were no public comments. The
85 Board agreed that a second public hearing was not needed in this case. The height of the building
86 was the most significant impact of this project and had already been noticed to the public with no
87 comment.

88 The Board asked for the applicant to take into consideration that the rear of the building will be
89 facing River Road and to focus on making that as visually pleasing as possible.

90 Chairman Walsh asked for any other comments regarding this project. Hearing none, he closed
91 discussion and thanked the applicant for attending the meeting.

92 93 **IX. REPORTS**

94 **1. Historic Code Adoption**

95 Ms. Robertson stated the Town Board held the public hearing regarding this code and received
96 some comments. She stated the comments were in favor of the code but with some suggestions
97 on a few language changes. She stated the comments will be reviewed and possible changes will
98 be added to the code. The code is anticipated to be adopted at the end of April.

99 **2. Planning Department Updates**

100
101 Mr. Cark Henry stated that the Planning Department is still waiting on information regarding the
102 River's Ledge Senior Center and updates from the Trinity Baptist Church. Ms. Robertson added
103 that she is still waiting to hear from the applicant on the scheduling of the site walkthrough for
104 the Trinity Baptist Church project. The Board discussed if a public notice is needed to be
105 announced due to the number of Board members that may attend the site walk would constitute a
106 quorum. Ms. Robertson stated she would defer to Counsel regarding this but felt that the Open
107 Meetings Law applies more if there was a decision or voting occurring and that site visits were
108 allowed as long as members only asked clarifying questions and did not discuss the project

amongst themselves. Ms. Hess cautioned they should be careful about have a quorum at a site walk if possible. Ms. Gold asked if a member could not make the visit, could they have permission to walk the site alone. Ms. Robertson stated she will ask the applicant.

Ms. Robertson reminded the members to wear their Town badge identifying them as a Niskayuna Planning Board member on a walkthrough, especially if they weren't with the group. Several members stated they had not yet received their Town badge. Ms. Robertson asked the Board to email her if they do not have a badge and she stated that she will arrange for them to receive one.

X. COMMISSION OF BUSINESS

Mr. McPartlon asked for an update regarding the work on the intersection of Clifton Park and Crescent Ave in connection to the Nott Street project. Ms. Robertson stated the plan that received public comment has been finalized and is waiting for implementation. Ms. Robertson stated due to the high estimated costs, it was not able to be covered within the existing Town budget or combined with the Schenectady County Nott Street project. Ms. Robertson stated it will have to be implemented at a later date once funding can be established. Mr. McPartlon stated that there is at least a consensus regarding the plan and design and that should help with implementation later on.

Ms. Strang asked if there is a mitigation process on projects that come in to the Planning Board for subjects like traffic impacts or drainage impacts. Ms. Robertson stated this has been done before but has to have a specific purpose. She stated Town's in the area often collect these fees through a Generic Environmental Impact Statement (GEIS) which the Town does not have in place.

Ms. Gold asked if there is an update regarding when in-person trainings are being held again. Ms. Robertson stated as soon as she is aware of in-person workshops she will forward the information to Board members.

Chairman Walsh welcomed Attorney Robert Hess back to the Planning Board and thanked him for his good guidance at the meeting.

XI. ADJOURNMENT

Chairman Walsh asked for a motion to adjourn. Mr. McPartlon made a motion to adjourn and it was seconded by Mr. D'Arpino. The meeting was adjourned at 7:35 pm.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 4/11/22

ITEM TITLE: DISCUSSION: 3713 State Street – Goodyear Tire Store – site plan application for placement of a 20' long x 8' wide storage container on the property

PROJECT LEAD: TBD

APPLICANT: Lucas Bundy

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Lucas Bundy, agent for the owner of 3713 State Street, submitted an Application for Site Plan Review for the placement of a 20' long x 8' wide (160 sq. ft.) storage container in the parking lot of the Goodyear Tire store at 3713 State Street.

BACKGROUND INFORMATION

3713 State Street is located within the C-H Commercial Highway zoning district. A retail and service store is a permitted use in the district.

Zoning 220 Attachment 18 Schedule I-E C-H District lists the following requirements for retail and service stores.

- Setbacks: front = 15', side = 15', rear = 20'
- Min. required off-street parking: 1 space per 225 sq. ft. of gross floor area

The Niskayuna Planning Office received an Application for Site Plan Review and survey drawing of the property with the proposed location of the storage container sketched in. The two documents were stamped "Received Mar 31 2022 Planning Office Niskayuna, NY".

PORTABLE STORAGE UNITS

Portable storage units that are anticipated to be on site for anywhere from only a few days to up to 90 days are regulated by Section 220-30 of the zoning code.

Section 220-30 Portable storage units and temporary bulk waste containers, includes the following.

A. Definitions

PORTABLE STORAGE UNIT – A container designed, constructed, and commonly used for nonpermanent placement on property for the purpose of temporary storage of personal property.

B. General conditions

- (1) Before placing a portable storage unit or temporary bulk waste container on his or her property, a person must submit an application and receive a building permit from the Town of Niskayuna Building Department.
- (2) Permits will be granted for thirty-day periods. The first 30 days are free, but an applicant must submit a building permit application. For the second 30-day period, the \$25 permit fee is required. At the expiration of the second 30-day, applicants may seek one renewal for an additional 30 days at a cost of \$25.

ACCESSORY STRUCTURES

Portable storage units that are anticipated to be on site for more than 90 days may be viewed as accessory structures and accordingly be regulated by Section 220-18 of the zoning code.

Section 220-18 Accessory structures, includes the following.

D. Nonresidential lots. Unless otherwise specified, accessory structures shall comply with front, side and rear yard requirements for the principal structure to which they are accessory except that minor accessory structures may be as close as 10 feet to the rear property line.

Section 220-4 Definitions defines a major accessory structure as “detached accessory buildings or other structures in excess of 120 square feet in area”. Therefore, if viewed as an accessory structure, the proposed storage container measuring 20’ long x 8’ wide (160 sq. ft.) would be a major accessory structure.

As proposed, the site plan drawing provided with the application lists the setback dimensions as follows: front (to Fairfax Ave.) = 140’, side = 70’, rear = 50’ and are therefore compliant with code. The drawing also indicates the container would be approximately 6’ from the existing building.

The site plan drawing provided with the application indicates the building measures 128’ wide x 40’ deep = 5,120 sq. ft. A retail store of such size requires 23 parking spaces ($5,120 / 225 = 22.76 = 23$ spaces). The site plan drawing provided with the application identifies a current condition of 25 parking spaces plus 2 handicap accessible parking spaces. As proposed, the storage container would occupy 3 of the current parking spaces resulting in 22 parking spaces plus 2 handicap accessible parking spaces.

The applicant has stated the storage container will be lockable, will be used for inventory of new tires to be sold and will not contain any electrical supply. The Planning Office & the applicant discussed screening the container, similar to a garbage dumpster, to minimize its visual impact.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name: Lucas Bundy

Address: 3713 State St.
Niskayuna, NY 12304

Email: lucas.bundy@cbre.com

Telephone: 817.556.1830

Location:

Number & Street: 3713 State St.

Section-Block-Lot: 19 - 2 - 68

Zoning District: C-H (Commercial Hwy)

Proposal Description:

Place a 20' L x 8' W x 8.5' H shipping container in the rear of the property to accommodate our urgent need for additional storage of inventory.

Signature of applicant: _____

Handwritten signature of Lucas Bundy in black ink.

Date: 3/17/22

Signature of property owner: _____

Handwritten signature of Martin Owen in black ink.

Date: 4/6/22

Martin Owen

4-6-22

Each site plan application shall be accompanied by:

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

RECEIVED
 MAR 31 2022
 PLANNING OFFICE
 NISKAYUNA, NY

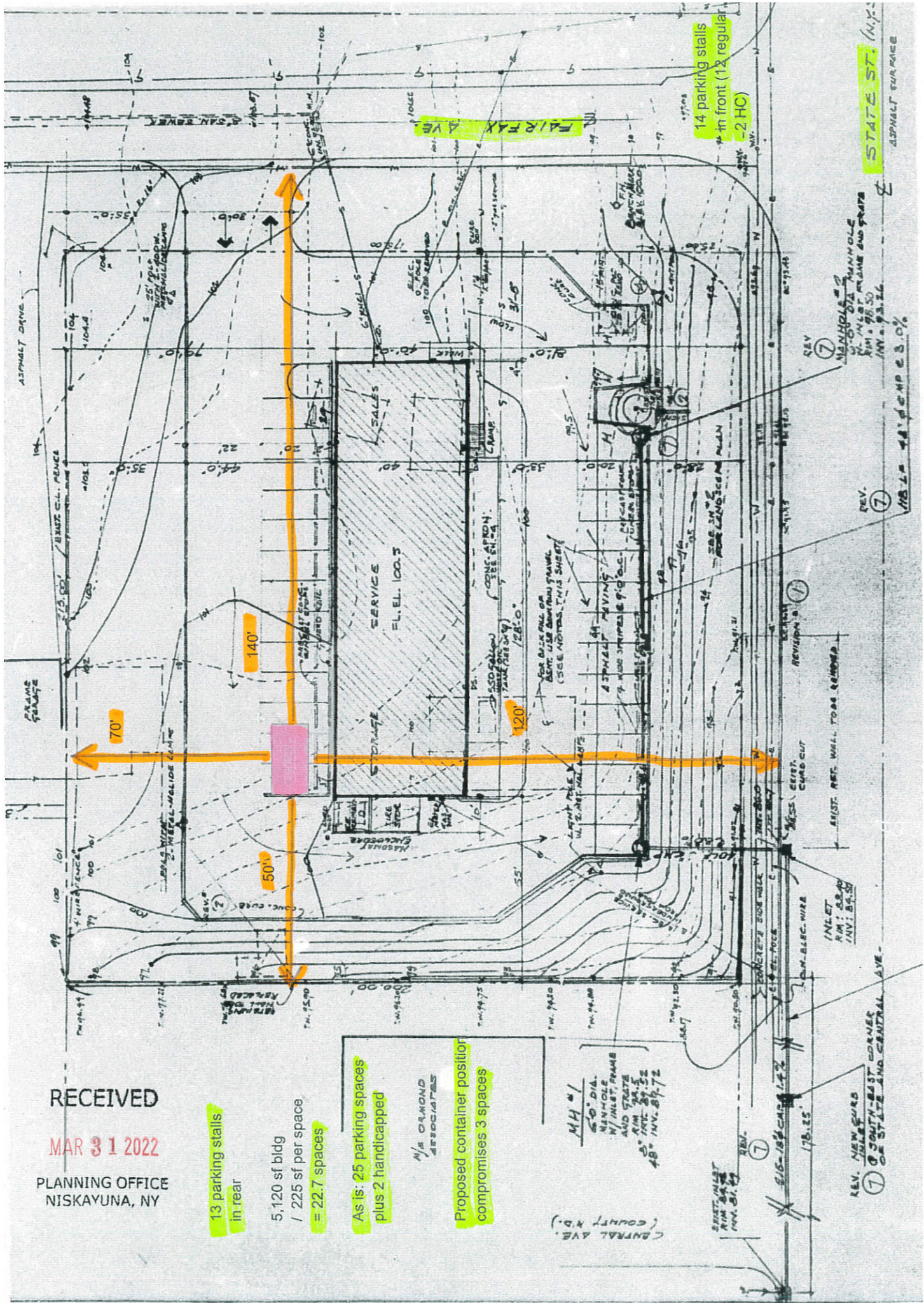
13 parking stalls
 in rear

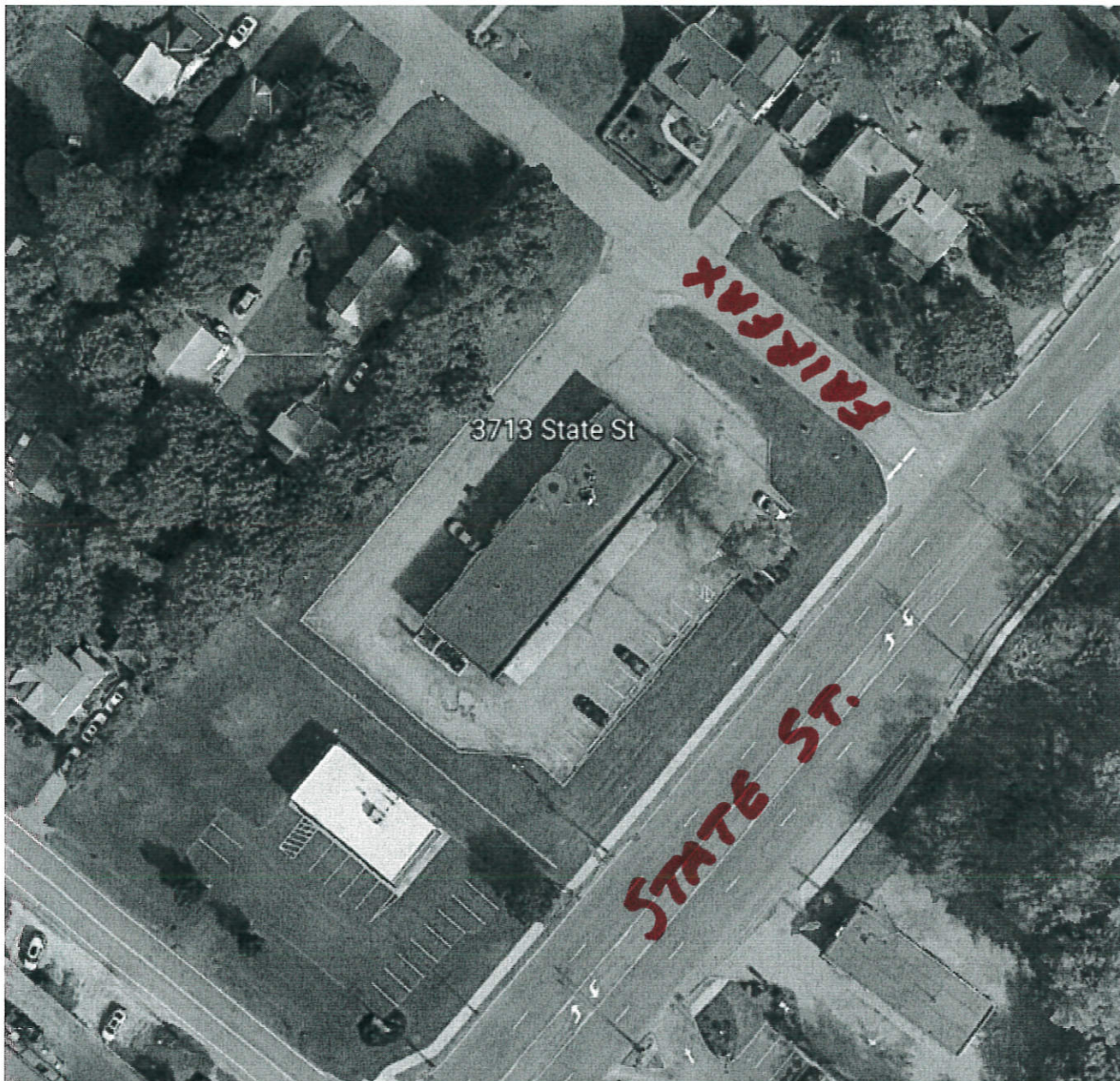
5,120 sf bldg
 / 225 sf per space
 = 22.7 spaces

As is: 25 parking spaces
 plus 2 handicapped

N/A ORMOND
 ASSOCIATES

Proposed container position
 comprises 3 spaces





3713 STATE ST. - GOOD YEAR



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 4/11/22

ITEM TITLE: DISCUSSION: 2341 Nott St. – St. James Plaza – site plan application for placement of a Chase Bank ATM in a portion of the Shop Rite parking lot.

PROJECT LEAD: TBD

APPLICANT: Kristopher Miller, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Kristopher Miller, agent for the owner of 2341 Nott St, submitted an Application for Site Plan Review for the placement of a Chase Bank ATM in a portion of the Shop Rite parking lot.

BACKGROUND INFORMATION

2341 Nott St. is located within the C-N Neighborhood Commercial zoning district and the Town Center Overlay District.

The scope of work for the ATM project in the eastern most portion of the Shop Rite parking lot includes an ATM on a concrete pad, bollards, signature canopy, vehicle height detector bar and pole lighting. Lane striping and directional arrows will also be painted on the asphalt paving.

A 6-page drawing set entitled "Chase Bank Nott and Balltown ATM 2341 Nott Street Schenectady, NY 12309" by BHDP Lawrence Digennaro, Architect 302 W. 3rd Street, Suite 500, Cincinnati, OH 45202 dated 7-19-21 with a most recent revision of Rev 1 dated 4-1-22 was provided with the application and stamped "Received Apr 07 2022" by the Planning Department.

Setbacks

Zoning 220 Attachment 17 Schedule I-D C-N District column 2 lists the setback requirements for Food markets as: Front = 20', side = 15', rear = 25'. As proposed, the location of the ATM complies with all setback requirements.

Parking

The total required parking for Phase II of ShopRite Plaza (this parcel) has an existing deficit of 36 spaces. This proposal would bring the deficit to 44 (reduce the parking by an additional 8 spaces). However, there are cross parking easements across all the parcels in the plaza. With the cross easements in place, the total existing plaza deficit is 19 and this proposal would bring the deficit up to 27. The Town does not receive complaints of not enough parking in the plaza however, and for a plaza that size the deficit is small. It is worth noting though, that parking is being removed from the parcel that has the least amount of parking to begin with.

Plaza Existing	Parking Summary			
	Required	Provided		
Phase I	465	482	17	Surplus
Phase II	203	167	36	Deficit
TOTAL	668	649	19	Deficit
Proposed				
TOTAL	668	641	27	Deficit

There does not appear to be any area for additional parking to be added – so the reduction in parking would require an area variance from the ZBA.

Lighting

Light Pole and Fixture

Zoning code Chapter 220 Zoning Article VIIIA. Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards: establishes design criteria for an identifiable center of the Town to further define a sense of community and promote traditional architecture. Section 220-48.5 Pedestrian and streetscape amenities C minimum performance criteria (3) Lighting (c) states the following: “Pole-mounted lighting in accordance with Planning Board guidelines shall not exceed a pole height of 22 feet from finished grade”.

As proposed, page A102 of the drawing set includes a light pole with an area light measuring 23’ high (3’ high concrete base + 20’ high light pole) located at the entrance to the ATM machine. Therefore, a waiver of 1’ (23 – 22) of pole height from finished grade is required.

Minimum performance criteria subsection (3) Lighting (d) includes the following: “Light sources for all lighting shall be metal halide”.

As proposed, page A104 of the drawing set includes a lighting fixture described as “Model ALED2T150N (Type II) 4000K LED 120-277V 151.4 Watts LED area light”. Therefore, a waiver for an LED light rather than a metal halide light is required.

Lighting of Outdoor Areas

Zoning code Chapter 220-48.5 C (3) Lighting states lighting shall follow “Article VIIIB Guidelines for Lighting of Outdoor Areas under Site Plan Review”.

- Table 1 lists Neighborhood shopping areas as “Moderate Activity” areas.
- Table 2 lists the guideline for maintained horizontal illuminance for general parking and pedestrian areas as 0.3 Footcandles and driveway access as 0.8 Footcandles.

As proposed, page A105 of the drawing set includes a photometric plan of the project area. The area immediately around the ATM is illuminated to approximately 5 fc. The illumination at a 25' radius from the project site is illuminated to approximately 2 fc. The illumination level at a radius of 50' from the project site is typically significantly less than 1 fc and equivalent to the larger parking lot area.

Signs

Section 220-4 Signs of the Niskayuna zoning code establishes standards to promote signs that are visually compatible with their surroundings and are of appropriate design and materials.

Subsection D Prohibited signs: The following signs shall be prohibited in the Town Center Overlay District: includes (5) Pylon signs.

Pages A102, A103 and A104 of the aforementioned drawing set include design details for the proposed ATM. Several portions of the ATM station infrastructure and associated graphical displays should be reviewed by the Board relative to the requirements set forth in Section 220-4 of the zoning code. The drawings include a "non-illuminated signage option" that reads "CHASE" followed by the Chase Bank logo on one of the canopy legs.

Section 220-48.4 Signs E Minimum performance criteria (5) Logo states: "In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign area to comprise not more than 30% of the sign area". As proposed, the drawings show a two-sided "non-illuminated octagon signage option" located above the aluminum "signature canopy" that partially shields the ATM machine from weather. The logo comprises 100% of the sign area so a waiver for a sign with a logo covering 100% of the sign area may be required.

Summary Table of Zoning Relief

	Required	Provided	Notes
Parking Spaces	668	641	Reduction in 8 parking spaces requires ZBA approval
Light Pole	22' pole height	23' pole height	1' waiver for height
Lighting type	Metal Halide	LED	Waiver to LED
Signage Logo	Logo 30%	Logo 100%	Waiver on Logo %
"Chase" Sign		Chase sign on ATM	Addressed as part of waiver package

The applicant is before the Planning Board this evening to present the project and answer any questions that arise.

Staff also recommends addressing the following outstanding site issues with the applicant:

1. Pavement condition – the pavement in the vicinity of this proposal is in poor / dangerous shape. A patch in the area should be completed immediately to address the concern.
2. Landscaping. Many of the trees on this site, particularly along the most eastern entrance into this parcel, were Ash trees that died due to the invasive emerald ash borer. The initial landscaping plan is attached. The Planning Board should discuss replanting and making sure the site is achieving the goals of its initial approvals prior to adding anything additional.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530
Fax: (518) 386-4592

Application for Site Plan Review

Applicant (Owner or Agent):

Name TKO Installations, Chris Quinn

Address 1287 Kyle Ct.

Wauconda, IL 60084

Email Chris.Quinn@TKOsafe.com

Telephone 847-526-1169 Fax _____

Location:

Number & Street 2341 Nott Street

Section-Block-Lot _____ - _____ - _____

Zoning District R1 - TCOD Overlay

Proposal Description:

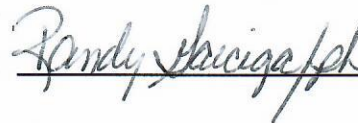
NEW DRIVE-UP ATM LOCATION WITH CONCRETE PAD, BOLLARDS, SIGNATURE

CANOPY, VEHICLE HEIGHT DETECTOR BAR AND POLE LIGHTING. LANE

STRIPING AND DIRECTIONAL ARROWS TO BE PAINTED.

Signature of applicant:  Date: 01/20/2022

Signature of owner (if different from applicant):



Date: 1/20/22

January 20, 2022,

Dear Permits Office,

I, Patti Healy, Chief Operating Officer for Cobra Properties, LLC and authorized representative for ownership of the property at 2341 Nott Street, Schenectady, NY 12309 hereby authorize TKO Installations Inc. to act on our behalf in obtaining permits as required by the local authority having jurisdiction for the construction of a new ATM site.

Thank you

Sincerely,

Patti Healy
Chief Operating Officer
Cobra Properties, LLC

Date 1-20-22

Signature

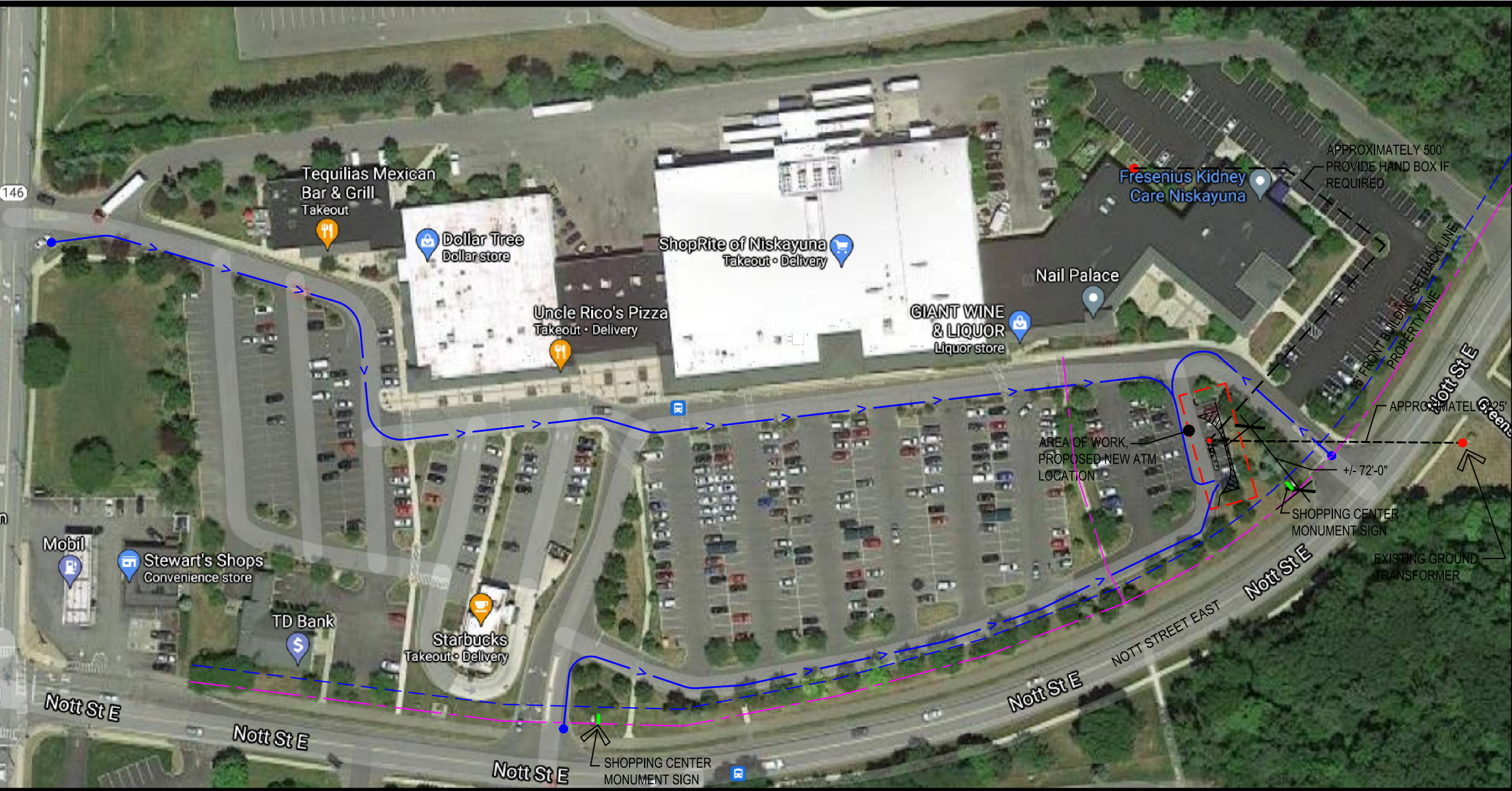
P. Healy

TKO INSTALLATIONS, INC.
CHASE BANK

NOTT AND BALLTOWN ATM
2341 NOTT STREET
SCHENECTADY, NY 12309

LAWRENCE DiGENNARO, ARCHITECT
302 W. 3rd STREET, SUITE 500, CINCINNATI, OHIO 45202
PHONE: 513.271.1634 FAX:513.271.7017

SITE PLAN



BUILDING CODE

PROJECT DESCRIPTION:	DRIVE-UP A.T.M.
ADDRESS:	2341 NOTT STREET SCHENECTADY, NY 12309
APPLICABLE CODES:	2020 BUILDING CODE OF NEW YORK STATE (2018 IBC) 2020 PLUMBING CODE OF NEW YORK STATE (2018 IPC) 2020 MECHANICAL CODE OF NEW YORK STATE (2018 IMC) 2020 FUEL AND GAS CODE OF NEW YORK STATE (2018 IFGC) 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE (2018 EEC) 2017 NATIONAL ELECTRICAL CODE OF NEW YORK STATE
OCCUPANCY GROUP:	M-MERCANTILE
CONSTRUCTION TYPE:	TYPE IIB
OCCUPANCY/EGRESS:	MERCANTILE
PARKING LOADS:	REQUIRED PARKING = 199 SPACES (INCLUDES 6 HC) EXISTING PARKING = 167 SPACES (INCLUDES 6 HC) REVISED PARKING = 159 SPACES (INCLUDES 6 HC)

SCOPE OF WORK

NEW DRIVE-UP ATM LOCATION WITH CONCRETE PAD, BOLLARDS, SIGNATURE CANOPY, VEHICLE HEIGHT DETECTOR BAR AND POLE LIGHTING. LANE STRIPING AND DIRECTIONAL ARROWS TO BE PAINTED.

PROJECT LOCATION



DRAWING INDEX

1	SITE PLAN REVIEW 04-11-22	
OWNER ISSUE 01-21-22		
ARCHITECTURAL		
G001	COVER PAGE & GENERAL NOTES	X X
A101	EXISTING CONDITIONS & SITE PLAN	X X
A102	ELEVATIONS & DETAILS	X X
A103	SECTIONS & DETAILS	X X
A104	SECTIONS & DETAILS	X X
A105	PHOTOMETRIC PLANS	X X

GENERAL NOTES

- ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND STANDARDS.
- GENERAL CONTRACTOR SHALL SCHEDULE AND ARRANGE FOR ALL REQUIRED LEGAL INSPECTIONS.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULE AND SEQUENCING OF THE WORK.
- THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN INTENT AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
- THE DRAWINGS ARE NOT TO BE SCALED.
- FOR INFORMATION CONCERNING EXISTING CONDITIONS VERIFICATION MUST BE DONE IN THE FIELD. CONTRACTOR TO ENSURE EXISTING SITE LIGHTING IS NOT DISTURBED.
- LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS WITHIN THE AREA OF WORK PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
- EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, DEMOLISHED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE IMMEDIATELY REMOVED FROM THE PROJECT SITE AND PROPERLY DISPOSED OF.
- ALL MATERIALS, FIXTURES, AND EQUIPMENT INDICATED IN THE CONSTRUCTION DOCUMENTS SHALL BE NEW AND AS SPECIFIED, UNLESS OTHERWISE INDICATED.
- FIELD WELDING SHALL ONLY BE DONE BY QUALIFIED WELDERS WHO HAVE BEEN OWNER CERTIFIED.
- DIMENSIONS INDICATED ON PLANS ARE TO THE FACE OR TO THE CENTERLINE OF OBJECTS UNLESS OTHERWISE INDICATED.
- ALL NEW AND EXISTING FINISHES AND PATCHED SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS, AND IN PROPER CONDITION TO RECEIVE THE SPECIFIED FINISH. PATCHED AREAS SHALL MATCH THE ADJACENT MATERIALS CONSTRUCTION AND FINISH.
- NEW CONSTRUCTION ABUTTING EXISTING CONSTRUCTION IN THE SAME PLANE SHALL BE FLUSH UNLESS OTHERWISE INDICATED.
- PATCH AND REPAIR AREAS WITHIN THE SCOPE OF THE PROJECT AND ADJACENT TO THE PROJECT LIMITS WHICH HAVE BEEN AFFECTED BY THE WORK. CONTRACTOR TO ENSURE SUBBASE MATERIAL IS COMPACTED PROPERLY AT ALL PAVEMENT PATCH AREAS.
- PROVIDE BACKER ROD AND SEALANT JOINT AT ALL DISSIMILAR MATERIALS.
- ALL WOOD BLOCKING, NAILED, GROUNDS, PLYWOOD, OR ANY OTHER WOOD TO BE NON-COMBUSTIBLE.
- TENANT TO VERIFY ELECTRIC SOURCE WITH UTILITY PROVIDER.
- TENANT TO ENSURE STORM SURFACE DRAINAGE FUNCTIONS PROPERLY.
- ALL WORK INCLUDING BUILDING PERMIT, CONSTRUCTION, TESTING, ETC. BY TENANT.
- ALL WORK TO BE COMPLETED BY TENANT.

SYMBOLS

- ELEVATION REFERENCE
- Elevation number
- Indicates drawing sheet on which Elevation is shown
- 1
- 4
- 2
- 3
- Elevation number
- SECTION OR DETAIL REFERENCE
- Section letter or detail number
- Indicates drawing sheet on which Section or Detail is shown
- 1
- DRAWING NOTE
- △ REVISION AND NUMBER
- △ CONTROL JOINT
- ▲ EXPANSION JOINT
- BACKER ROD AND SEALANT, TYPICAL
- ◆ NEW SPOT ELEVATION
- + 0.00' REFERENCE ELEVATION
- ELEVATION DESIGNATION
- NEW CONSTRUCTION
- PROPERTY LINE
- CENTER LINE, ELEVATION LINE

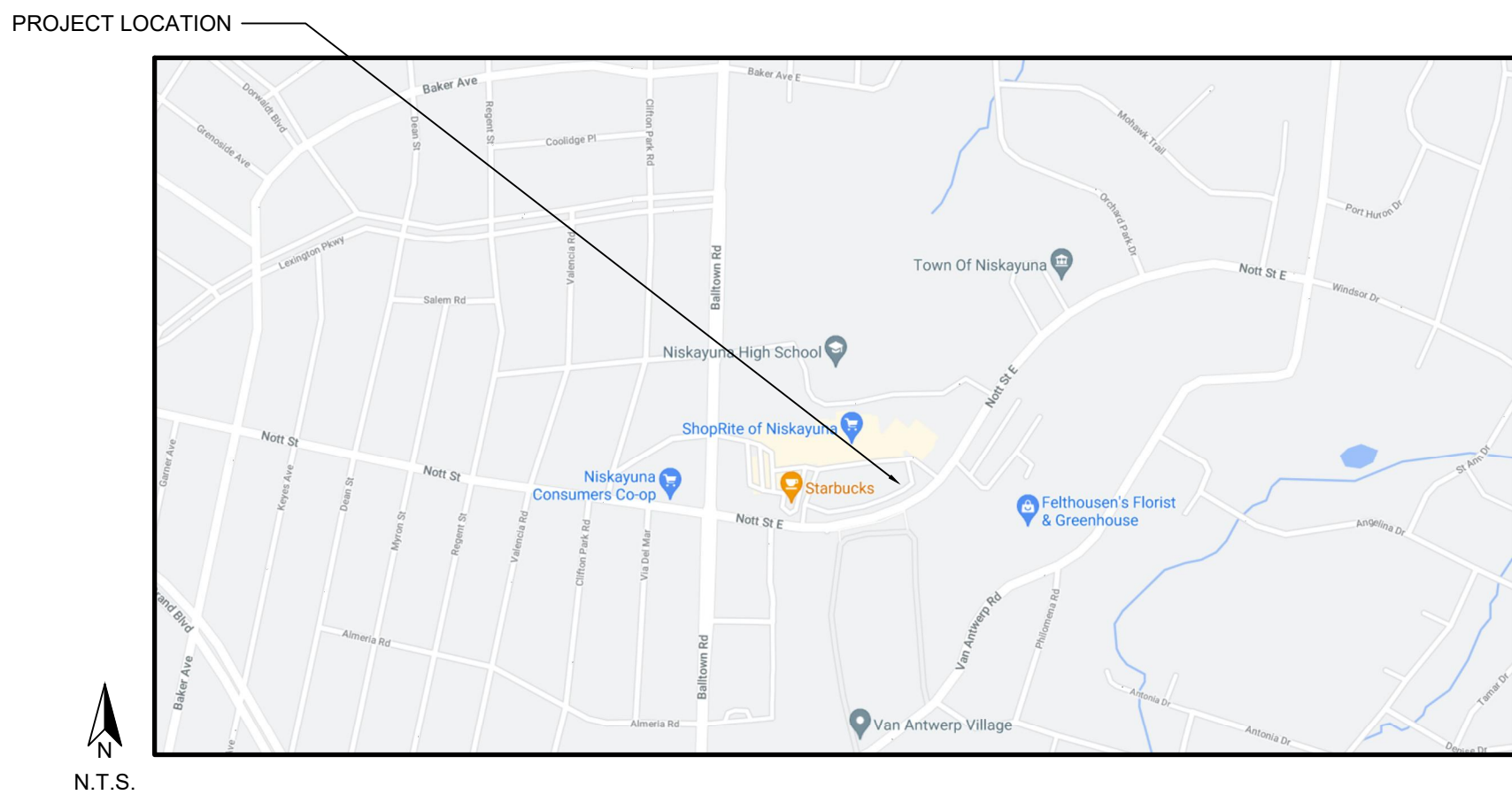
MATERIAL SYMBOLS

- EARTH
- GRANULAR FILL
- CAST-IN- PLACE CONCRETE
- ASPHALT PAVEMENT
- LANDSCAPE/ GRASS

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
A.H.J.	AUTHORITIES HAVING JURISDICTION	MISC.	MISCELLANEOUS
A.T.M.	AUTOMATED TELLER MACHINE	M.P.O.E.	MAIN POINT OF ENTRY
BRG.	BEARING	MTL	METAL
BLDG.	BUILDING	N/A, N.A.	NOT APPLICABLE
B.M.	BENJAMIN MOORE	N.I.C.	NOT IN CONTRACT
B.O.	BOTTOM OF	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.C.	ON CENTER
C.L.	CENTER LINE	OPP.	OPPOSITE
CONST.	CONSTRUCTION	PM, P.M.	PROJECT MANAGER
DIA.	DIAMETER	PTD.	PAINTED
DIM.	DIMENSION	R., RAD.	RADIUS
DWG.	DRAWING	RCP, R.C.P.	REFLECTED CEILING PLAN
ETR, E.T.R.	EXISTING TO REMAIN	REF., RE.	REFERENCE
EQ.	EXIST.	REQ., REQ'D.	REQUIRED
EQ.	EQUAL	REV.	REVISION
FT.	FEET / FOOT	RM.	ROOM
FLUOR.	FLUORESCENT	RO, R.O.	ROUGH OPENING
FRP, F.R.P.	FIBER REINFORCED PLASTIC	S.F., SF.	SQUARE FOOT
FRT, F.R.T.	FIRE RETARDANT TREATED	SIM.	SIMILAR
GA.	GAUGE	SPEC.	SPECIFICATIONS
G.C.	GENERAL CONTRACTOR	SO.	SQUARE
G.W.B.	GYPSON WALL BOARD	STD.	STANDARD
GYP. BD.	GYPSON BOARD	T.A.	TOP OF
H. HT.	HEIGHT	TYP.	TYPICAL
HORZ.	HORIZONTAL	U.N.O., U.O.N.	UNLESS OTHERWISE INDICATED
LAV.	LAVATORY	U/S	UNDERSIDE
LGMF	LIGHT GAUGE METAL FRAMING	VERT.	VERTICAL
LL	LANDLORD	VIF, V.I.F.	VERIFY IN FIELD
MFR, MFR	MANUFACTURER	W/	WITH
MAX.	MAXIMUM	W/O	WITHOUT
		WD.	WOOD

VICINITY MAP



TKO INSTALLATIONS, INC.
302 WEST THIRD STREET,
CINCINNATI, OHIO 45202
PHONE: 513.271.1634

CHASE

1 SITE PLAN REVIEW
0 OWNERS REVIEW

04-01-22
01-21-22

Date

LAWRENCE DiGENNARO,
ARCHITECT
302 WEST THIRD STREET,
CINCINNATI, OHIO 45202
PHONE: 513.271.1634

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CHASE BANK
NOTT AND BALLTOWN ATM
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SCHENECTADY, NY 12309

COVER PAGE AND GENERAL NOTES

Project Manager
A. PONTING

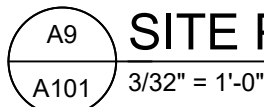
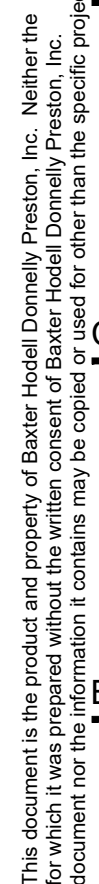
Drawn
K. MILLER

Checked
Z. FEIN

Contract Drawing Date
07-19-21

Proj. No.
TK004.44

G001



A101

1	SITE PLAN REVIEW	04-01-22
0	OWNERS REVIEW	01-21-22

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DRIVE-UP ATM (CAN-ATM-SIG-OCT) ELEVATIONS

1/2" = 1'-0"

SECURITY GATE NOTES:

- GATE & ANCHORS PROVIDED BY OWNER INSTALLED BY GC.
- GATE MUST BE FLUSH TO ATM BEAUTY DOORS OR AS CLOSE AS POSSIBLE TO PREVENT DAMAGE TO LOCK COVER
- SILICONE SEAL CAPS WITH A THICK, CONTINUOUS BEAD OF WEATHERPROOF SILICONE SEALANT COMPLETELY AROUND THE TOP CAP OF THE SECURITY GATE BETWEEN THE CAP AND GATE POST.

- WELD THE NUT TO THE BASE PLATE AND ANCHOR IT TO PREVENT THE NUT FROM BEING REMOVED, APPLY TOUCH-UP PAINT TO WELDED ANCHOR AND BASE PLATE.

PAINT CODES:

- SWW GATES
 - VALSPAR, 1 GALLON SIZE CAN, MANUAL FORMULA, ANTI-RUST ARMOR, OIL GLOSS ENAMEL, CLEAR BASE #4 102-8Y8.5, 113-2Y36.5, 116-27.5
- DIVERSIFIED GATES
 - BENJAMIN MOORE #2064-30 "OL' BLUE EYES"

SIGNAGE REGULATIONS

FREESTANDING SIGNS SHALL BE GROUND (MONUMENT) SIGNS ONLY, BUILDING SIGNS SHALL BE WALL SIGNS ONLY.

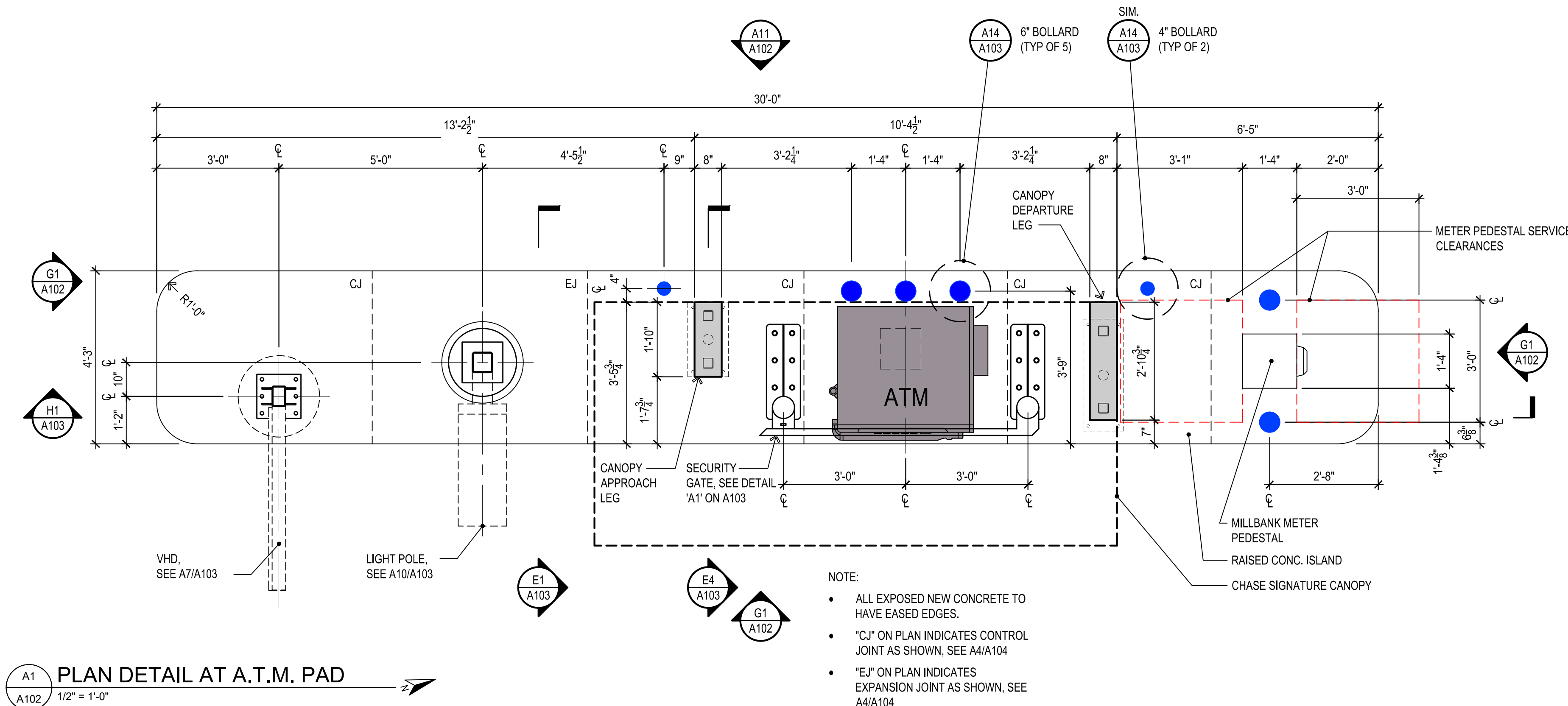
SIGNS SHALL NOT BE INTERNALLY LIT, EXTERNAL LIGHTING SHALL BE PLACED IN A MANNER THAT MINIMIZES GLARE TO ADJACENT PROPERTIES AND STREETS.

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- CAST-IN-PLACE CONCRETE SPECIFICATION**
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 - 1.1. CAST-IN-PLACE CONCRETE, INCLUDING FORMWORK, REINFORCEMENT, CONCRETE MATERIALS, MIXTURE DESIGN, PLACEMENT PROCEDURES AND FINISHES FOR THE FOLLOWING:
 - 1.1.1. FOOTINGS
 - 1.1.2. SLABS ON GRADE
 - 1.1.3. SIDEWALKS AND CURBS
 - PRODUCTS
 - 2.1. CONCRETE GENERAL; ACI 301 AND ACI 117.
 - 2.2. FORM FACING MATERIALS
 - 2.3. STEEL REINFORCEMENT
 - 2.3.1. REINFORCING BARS; DEFORMED
 - 2.3.2. WELDED-WIRE REINFORCEMENT; PLAIN
 - 2.4. CONCRETE MATERIALS
 - 2.4.1. PORTLAND CEMENT; ASTM C 150, TYPE III, GRAY
 - 2.4.2. AGGREGATE; NORMAL WEIGHT
 - 2.4.3. WATER
 - 2.5. MIXING; READY MIXED
 - CONCRETE MIXTURES
 - 3.1. COMPRESSIVE STRENGTH (28 DAYS):
 - 3.1.1. FOOTINGS: 3500 PSI
 - 3.1.2. SLABS-ON-GRADE: 3500 PSI
 - 3.1.3. SIDEWALKS: AIR-ENTRAINED CONCRETE: 3500 PSI
 - INSTALLATION
 - 4.1. FORMED FINISHES: SMOOTH
 - 4.2. FLOOR AND SLAB FINISHES: BROOM-EXTERIOR CONCRETE
 - FIELD QUALITY CONTROL
 - 5.1. TESTING AND SPECIAL INSPECTIONS: BY OWNER-ENGAGED SPECIAL INSPECTOR AS REQUIRED BY LOCAL JURISDICTION.

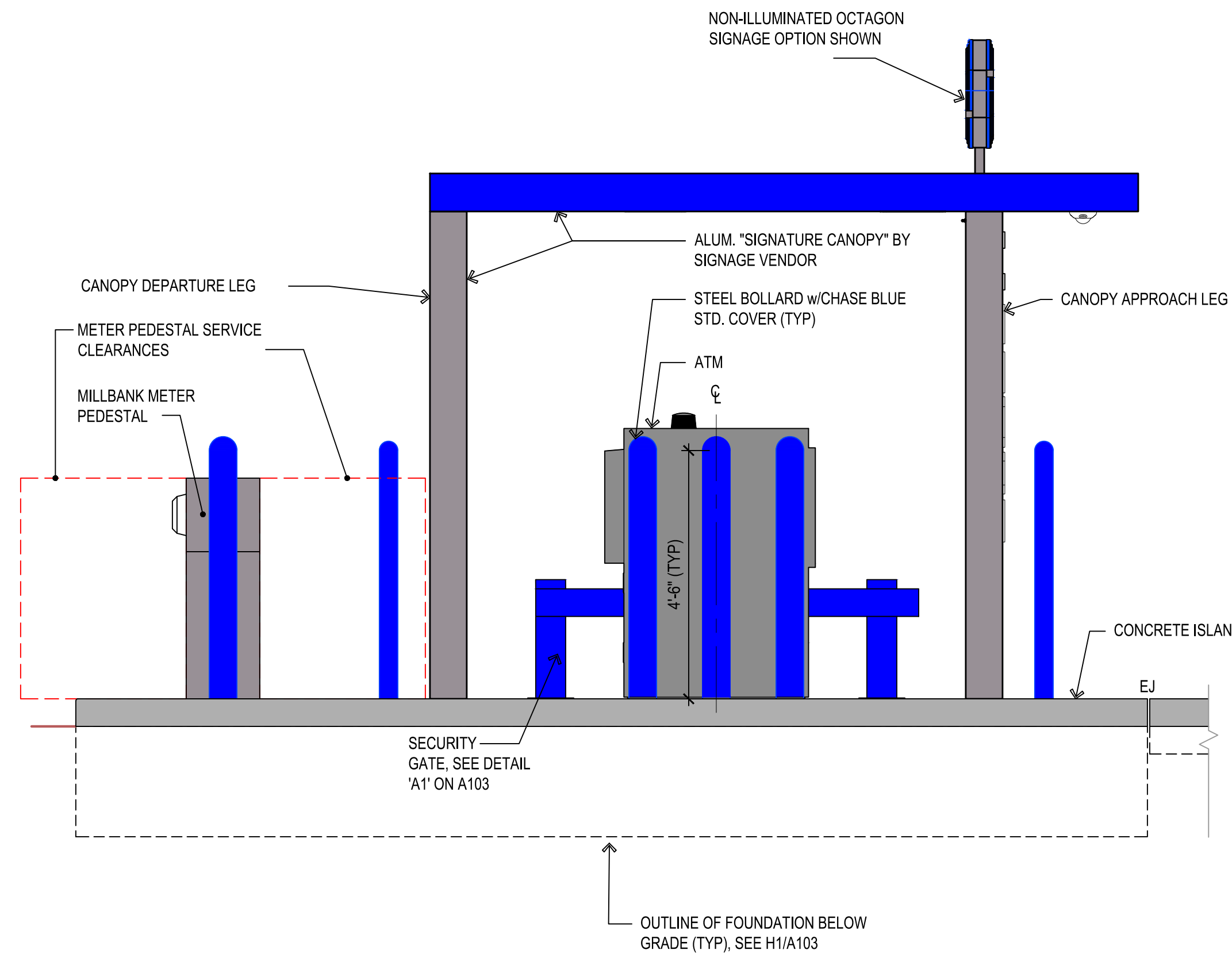
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PLAN DETAIL AT A.T.M. PAD

1/2" = 1'-0"



DRIVE-UP ATM (CAN-ATM-SIG-OCT) REAR ELEVATION

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NOTT AND BALTOWN ATM
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SCHENECTADY, NY 12309

ELEVATIONS & DETAILS



Project Manager

A. PONTING

Drawn

K. MILLER

Checked

Z. FEIN

Contract Drawing Date

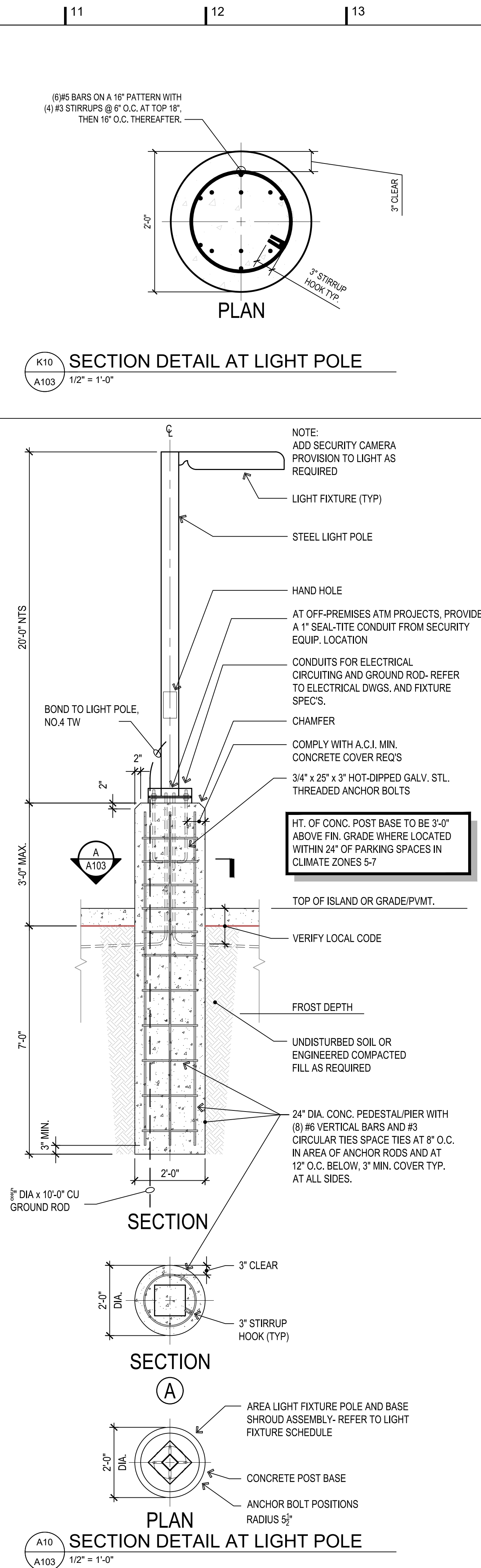
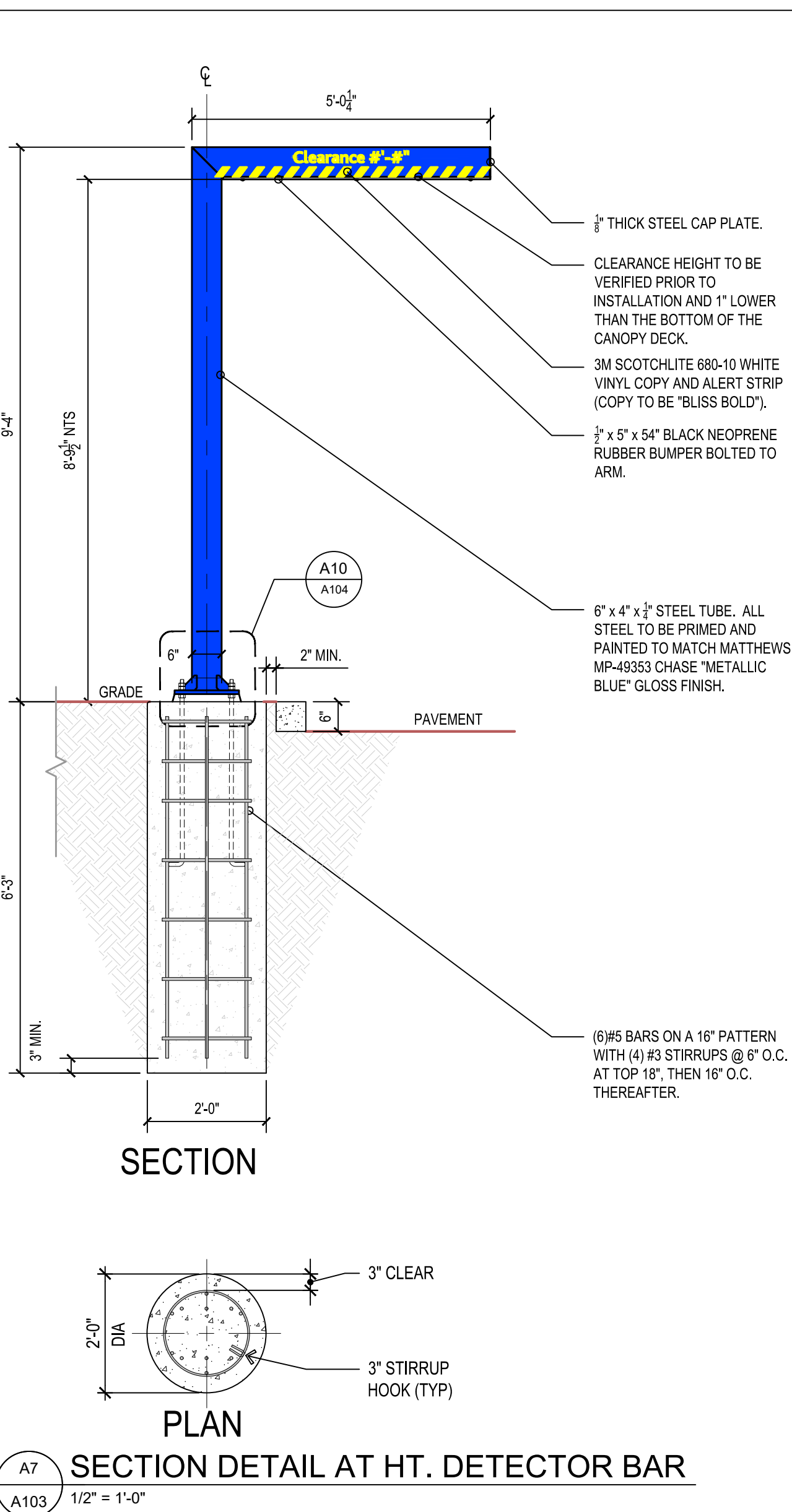
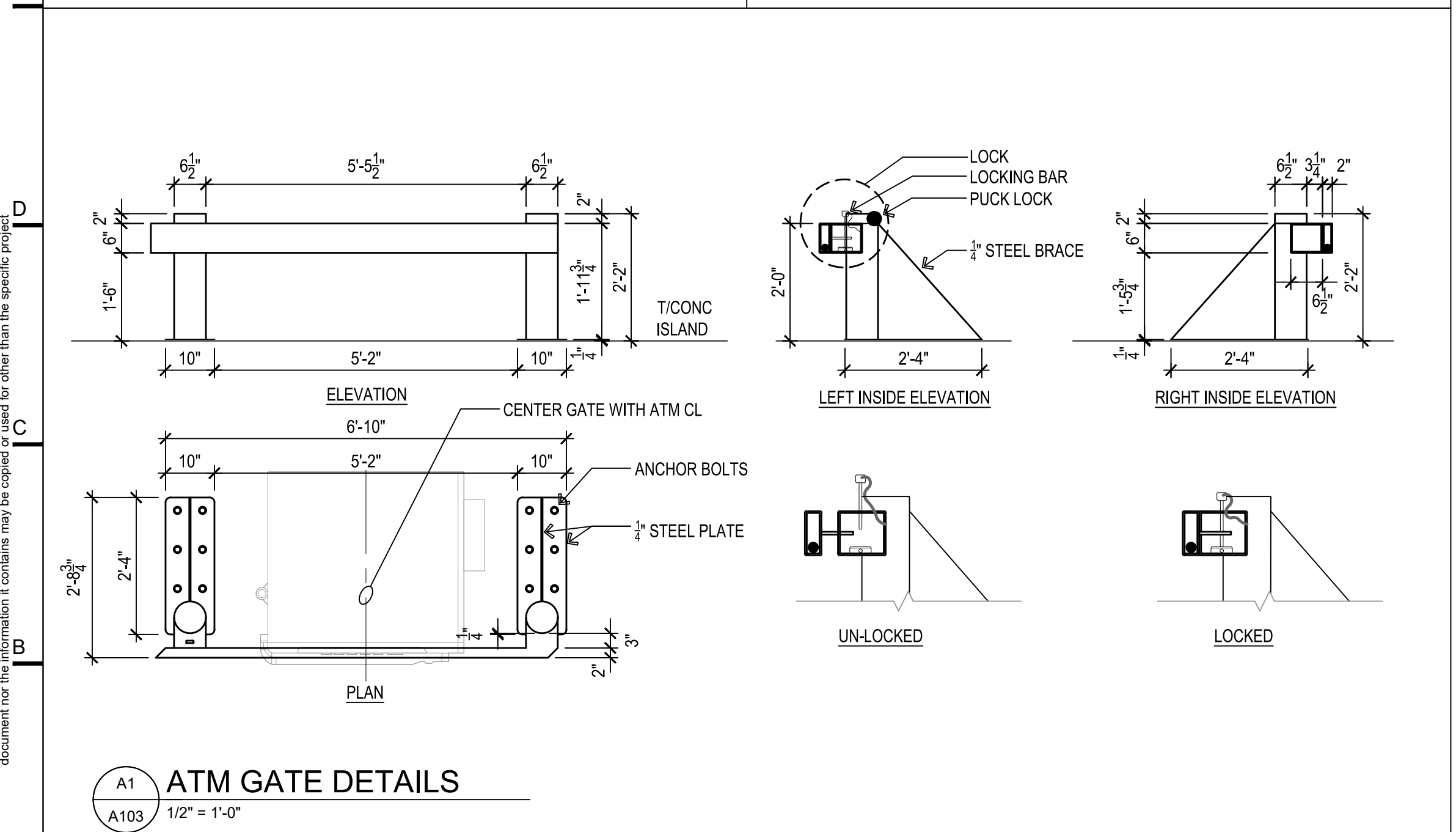
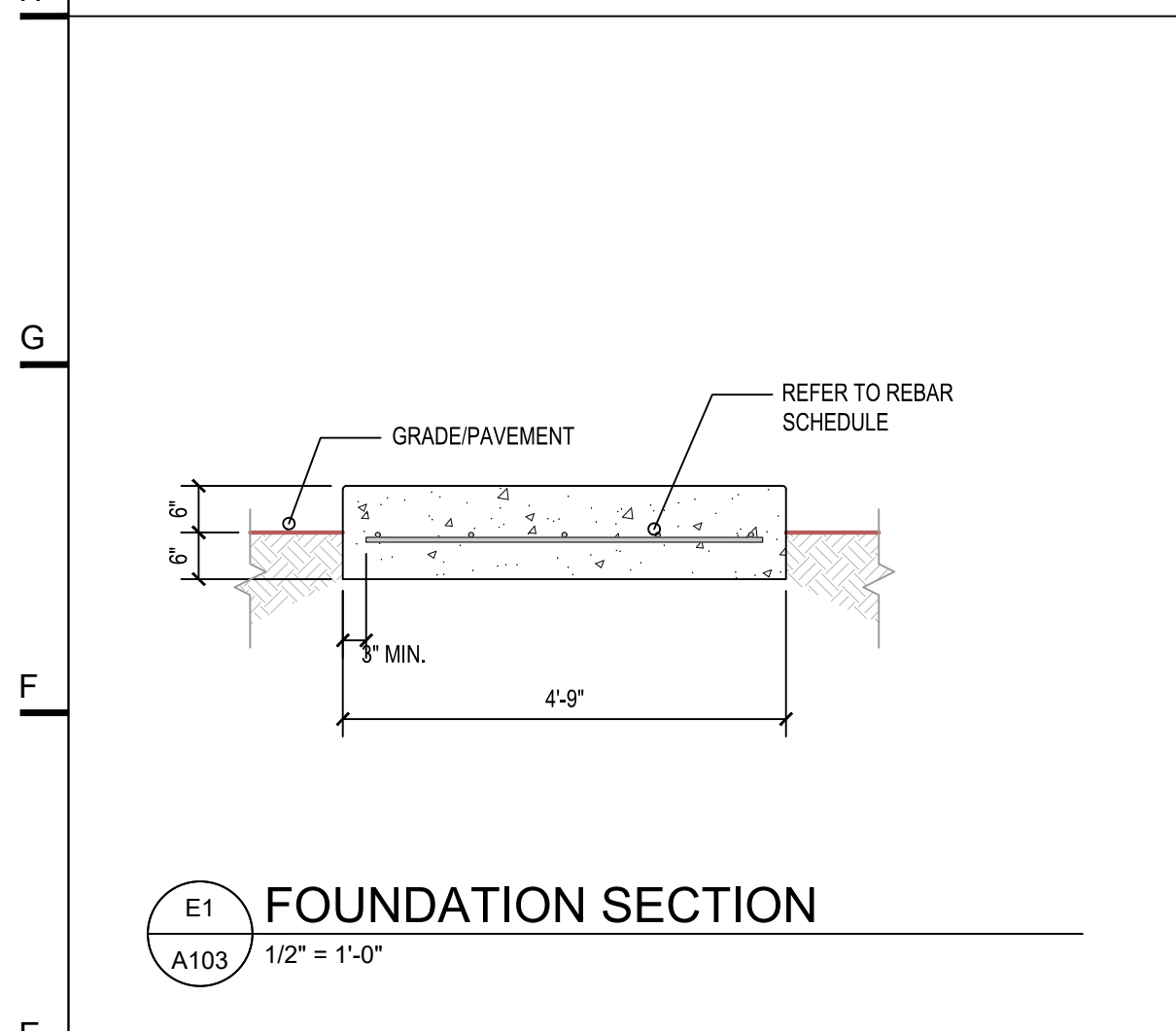
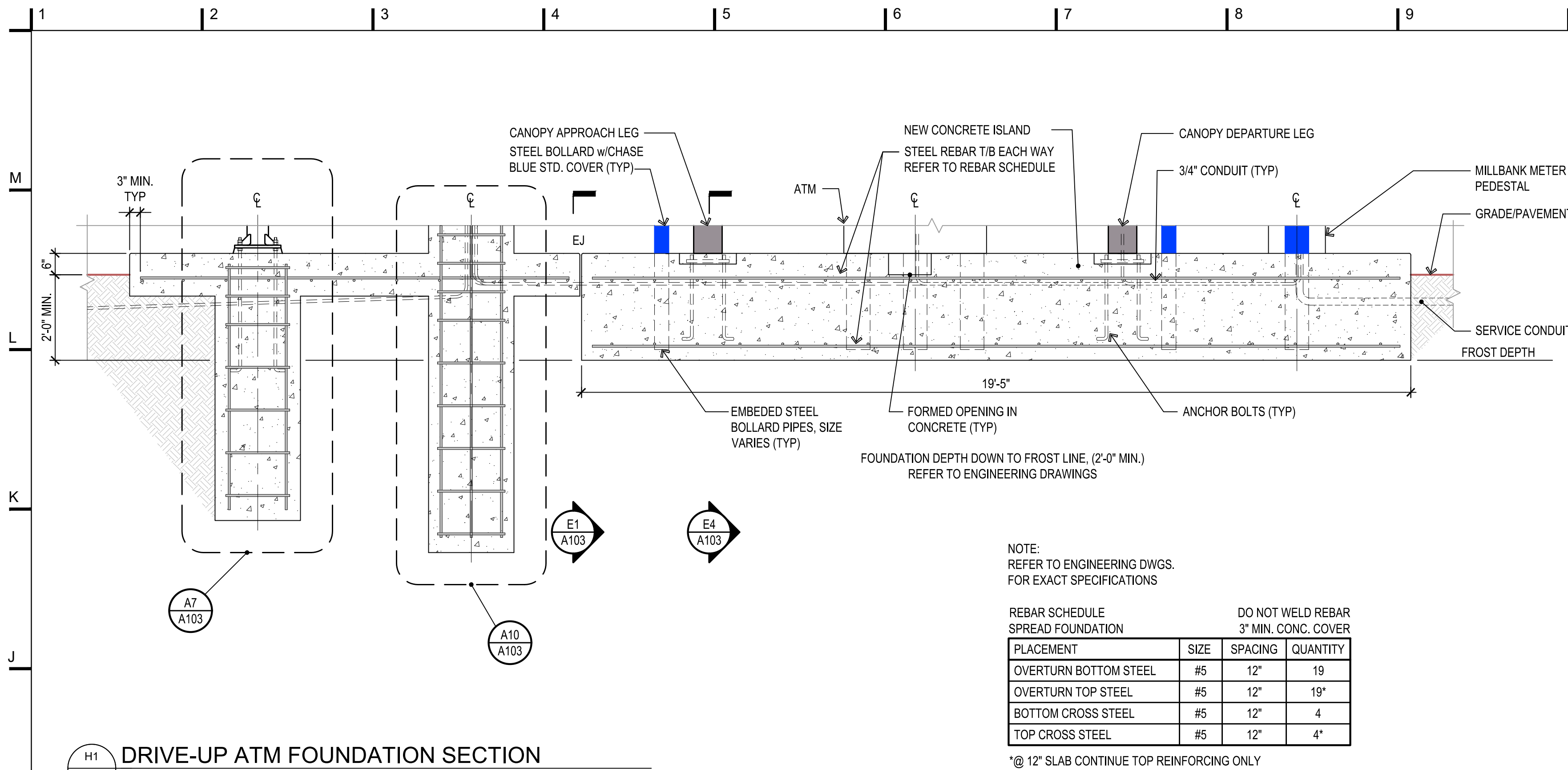
07-19-21

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TK004.44

A102

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ELEVATIONS & DETAILS

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CINCINNATI
COLUMBUS
RALEIGH
CHARLOTTE

TKO INSTALLATIONS, INC.
REINFORCEMENT CONTRACTORS • GENERAL CONTRACTORS

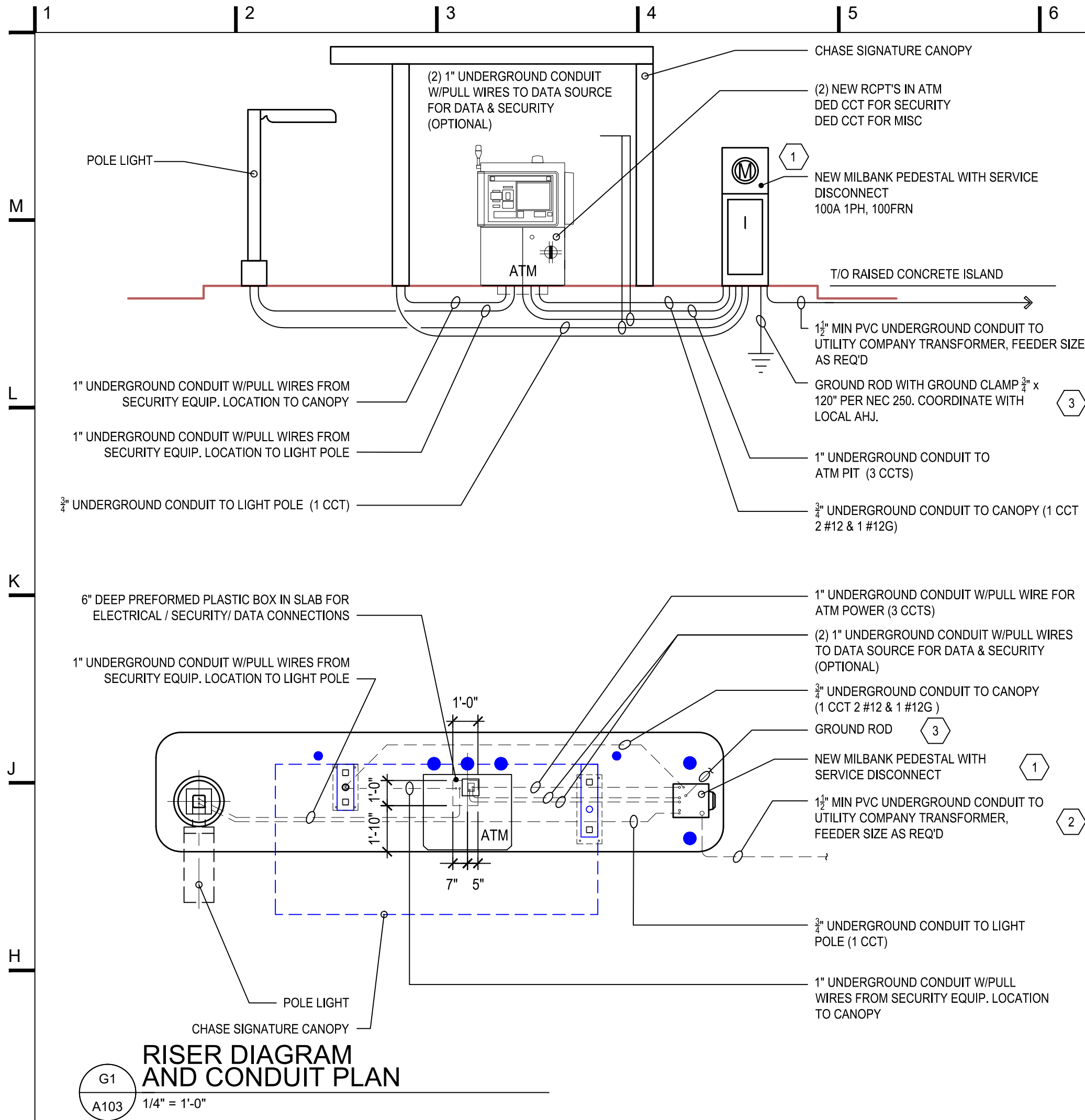
CHASE

Project Manager
A. PONTING
Drawn
K. MILLER
Checked
Z. FEIN
Contract Drawing Date
07-19-21
Proj. No.
TKO04.44

04-01-22
01-21-22
1 SITE PLAN REVIEW
0 OWNERS REVIEW

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CONDUIT & WIRE SCHEDULE-20A LIGHTING CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#12	3/4"
10 THRU 14 (50%)	#10	1"
15 THRU 20 (50%)	#10	1-1/4"

CONDUIT & WIRE SCHEDULE-20A MULTI OUTLET RECEPTACLE CIRCUITS PER NEC TABLE 310.15(B)(3)(a) ADJUSTMENT FACTORS		
NO. OF CONDUCTORS (INCLUDING NEUTRALS)	MINIMUM WIRE SIZE	CONDUIT SIZE
2 THRU 6 (80%)	#12	3/4"
7 THRU 9 (70%)	#10	3/4"
10 THRU 15 (50%)	#8	1-1/4"
16 THRU 20 (50%)	#8	1-1/2"

- NOTES THIS DRAWING:**
- PROVIDE 100A MILBANK PEDESTAL PANEL WITH SERVICE DISCONNECT. REFER TO PANEL SCHEDULE ON THIS SHEET FOR ADDITIONAL INFORMATION.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE SCHEDULE 40 PVC UNDERGROUND CONDUIT TO SERVICE ENTRANCE TRANSFORMER PROVIDED BY UTILITY COMPANY. SIZE CONDUCTOR AS REQUIRED FOR VOLTAGE DROP.
 - GROUND ROD WITH GROUND CLAMP 3/4" x 120" PER NEC 250. COORDINATE FINAL REQUIREMENTS WITH LOCAL AUTHORITY HAVING JURISDICTION.

- ### ELECTRICAL NOTES
- ALL DEVICE LOCATIONS SHOWN ARE APPROXIMATE UNLESS OTHERWISE DIMENSIONED OR NOTED.
 - ALL JUNCTION AND PULL BOXES SHALL BE SIZED PER NEC ARTICLE 314.16 AND 314.28.
 - ALL ELECTRICAL WORK SHALL BE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION AND ALL APPLICABLE LOCAL CODES.
 - ALL NEW WIRING TO BE RUN IN CONDUIT. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS NOTED OTHERWISE. ALL WIRE SHALL BE MINIMUM NO. 12 AWG UNLESS NOTED OTHERWISE.
 - ALL LINE- AND LOW-VOLTAGE WIRING SHALL BE INSTALLED IN CONDUIT SYSTEMS. ARMORED AND METAL-SHEATHED CABLES (GENERALLY "BX"), TYPES AC AND MC, AND NON-METALLIC SHEATHED CABLES (GENERALLY "ROMEX"), TYPES NM, NMC, AND NMS, ARE NOT PERMITTED.
 - ALL ENDS OF CONDUIT SYSTEM SHALL HAVE A BUSHING OR A COUPLING INSTALLED FOR THE PURPOSE OF PROVIDING PROTECTION OF CONDUCTORS.
 - ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRING INCLUDING LOW-VOLTAGE TO OWNER-PROVIDED SIGNAGE. ALL JUNCTION BOXES FOR SIGNAGE SHALL BE PLACED AS REQUIRED TO INSTALL THE SIGNAGE AS INDICATED IN THE ARCHITECTURAL ELEVATIONS. COORDINATE WITH OWNER'S SIGNAGE VENDOR AND REFER TO MANUFACTURERS WIRING DIAGRAMS.
 - ALL BRANCH CIRCUIT CONDUCTORS SHALL BE CONNECTED BY MEANS OF A SCREW TERMINAL.
 - THE CONTINUITY OF ANY BRANCH CIRCUIT CONDUCTOR INCLUDING ANY IDENTIFIED GROUNDING CONDUCTOR SHALL NOT DEPEND UPON DEVICE CONNECTIONS, SUCH AS LAMP HOLDERS, RECEPTACLES, ETC., WHERE THE REMOVAL OF SUCH DEVICES WOULD INTERRUPT THE CONTINUITY.
 - DE-RATING OF NEUTRALS IS PROHIBITED.
 - THE USE OF AUXILIARY GUTTERS, WIREWAYS, RACEWAYS AS ENCLOSURES FOR SERVICE ENTRANCE OR TAPPING OF SERVICE ENTRANCE CONDUCTORS IS STRICTLY PROHIBITED.
 - METAL IDENTIFICATION TAGS SHALL BE INSTALLED WHERE THE GROUNDING CONDUCTOR IS CONNECTED TO THE GROUNDING ELECTRODE.
 - ALL EXTERIOR LIGHTING AND SIGNAGE SHALL BE CONTROLLED BY PHOTOCELLS.
 - A MAXIMUM OF 3 HOMERUNS MAY BE GROUPED TOGETHER IN ONE CONDUIT AND SHARE A COMMON NEUTRAL PROVIDED THE HOMERUNS ARE DIFFERENT PHASES. IF BRANCH CIRCUITS ARE GROUPED THEY MUST ALL BE CONTROLLED BY THE SAME MULTI-POLE BREAKER PER NEC 210.4.
 - PROVIDE (2) #10, (1) #10G, 3/4"C FEEDERS FOR ALL AREA LIGHT CONDUIT RUNS.
 - ISOLATED GROUND RECEPTACLES SHALL BE ORANGE.
 - COMPLY WITH REQUIRED CLEARANCES FOR ALL ELECTRICAL PANELS PER THE NEC.
 - ALL NEW POWER RACEWAYS TO INCLUDE 1 PULL WIRE, ALL NEW DATA RACEWAYS TO INCLUDE 3 PULL WIRES.

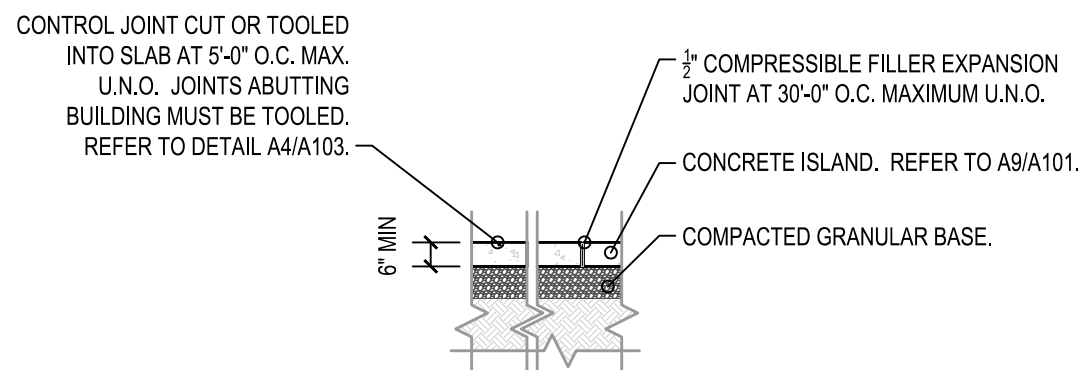
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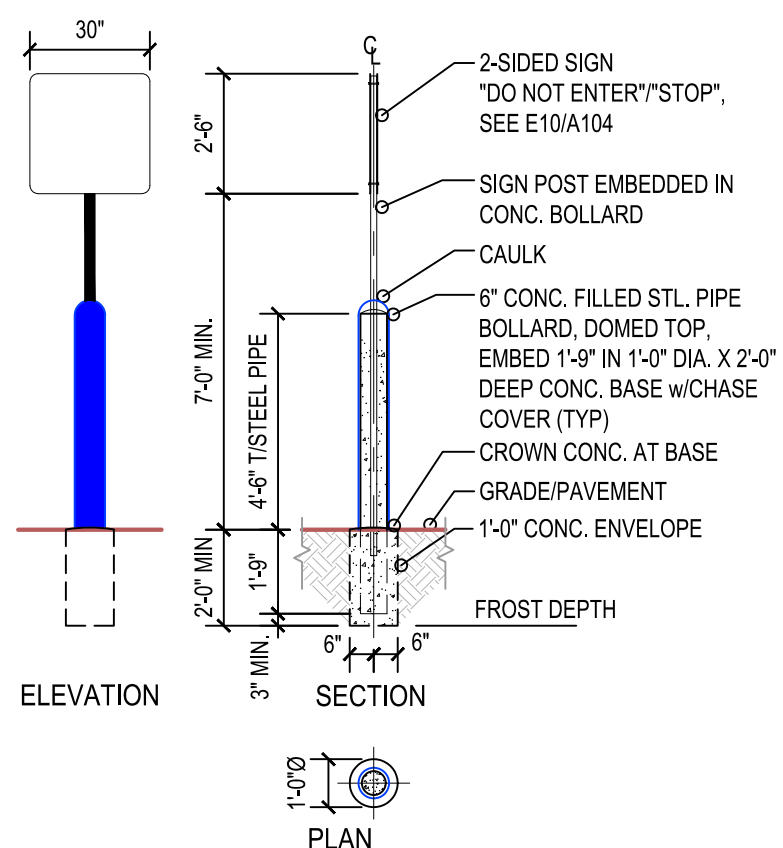
LIGHTING FIXTURE SCHEDULE						
TYPE	SYMBOL	MANUFACTURER	MODEL	LAMP	INPUT	
				TYPE	VOLTS	WATTS
SL-1		RAB	ALED2T150N (TYPE II)	4000K LED	120-277V	151.4
		RAB	PS4-11-20D2	N/A	N/A	N/A

- NOTES:**
- NOTES 1-3 APPLY TO ALL APPLICABLE LIGHTING FIXTURES. THE REMARKS COLUMN SHALL NOTE ADDITIONAL REQUIREMENTS.
- LIGHTING FIXTURE SCHEDULE FOR REFERENCE ONLY. COORDINATE FINAL LIGHTING FIXTURE SCHEDULES FROM ARCHITECTS PLANS. IF DISCREPANCIES OCCUR BETWEEN SCHEDULES NOTIFY ARCHITECT AND ENGINEER PRIOR TO PRICING OR ORDERING.
 - VERIFY EXACT MOUNTING CONDITIONS AND PROVIDE APPROPRIATE ACCESSORIES AND HARDWARE TO ACCOMMODATE REQUIREMENTS.
 - FIXTURE TYPE INDICATED ONCE ON A CONTINUOUS ROW SHALL BE TYPICAL OF ALL FIXTURES IN THE ROW UNLESS NOTED OTHERWISE FIXTURES SHALL BE PROVIDED WITH ALL NECESSARY HARDWARE AND FILLERS TO PROVIDE THE EXACT LENGTHS AS INDICATED ON THE PLANS.
 - MIN ILLUMINATION VALUES 36" ABOVE GRADE AT ATM: VERTICAL FACE-15fc; WITHIN 5'-10fc; GRADE & PARKING WITHIN 50'-2fc; PATH OF ACCESS-2fc *ALL VALUES FROM FACE OF ATM

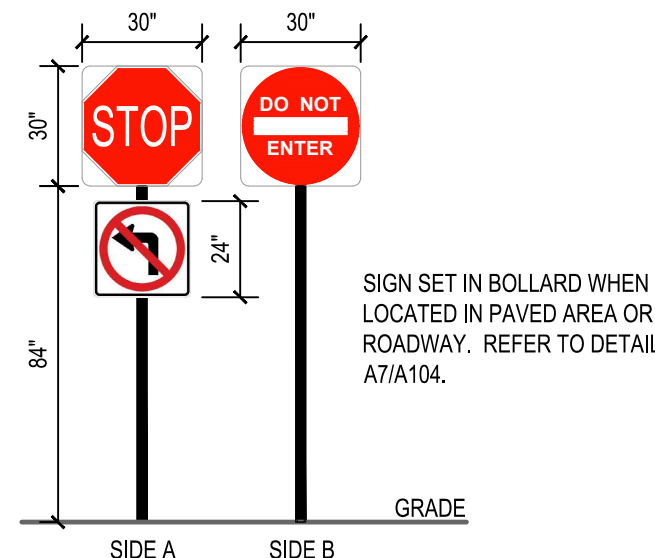
PANEL SCHEDULE					
NAME:	MILBANK PANEL # CP3B51115A22P13SP1	MAIN:	100A MB	MOUNTING:	PEDESTAL
VOLTAGE:	120/240 VAC	MAIN OPTIONS:	120	ENCLOSURE:	RAIN PROOF, 3R, STEEL (G90)
PHASE/WIRE:	1PH, 3W	BUS:	REFER TO ONE LINE	NEUTRAL BUS:	100%
SVC ENTRANCE:	NO	GROUNDING:	YES	KAIC RATING:	22,000
				BUSSING:	COPPER
				INTEGRAL SPD:	NO



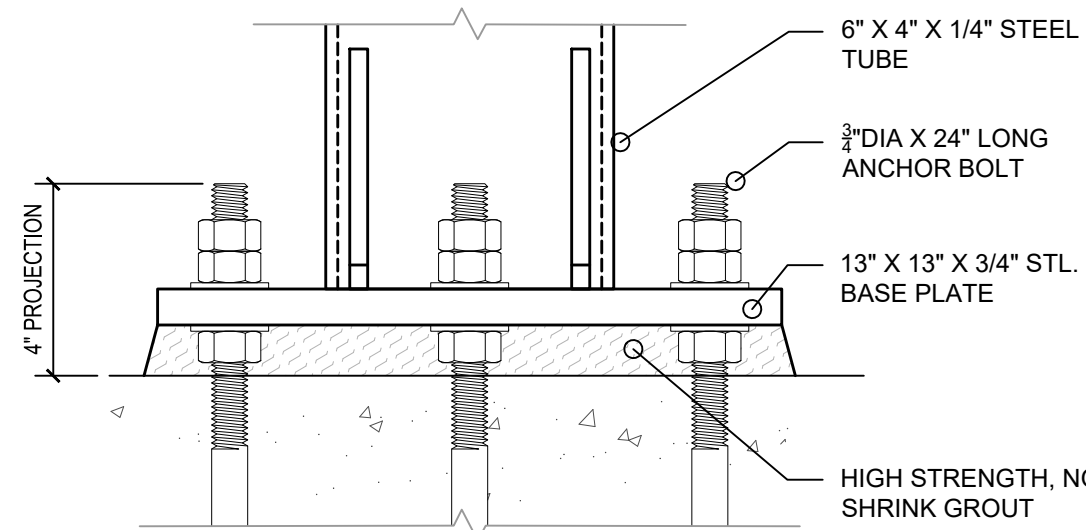
A4
A104
EXPANSION / CONTROL JOINT
1/4" = 1'-0"



A7
A104
SECTION DETAIL AT SIGN POLE
1/4" = 1'-0"



E10
A104
DOT SIGN DETAIL - POLE MOUNTED
NTS



A10
A104
ANCHOR BOLT PROJECTION DETAIL
3" = 1'-0"



BHDP

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER AN ITEM IN ANY WAY

LAWRENCE DIGENNARO, ARCHITECT
30 WEST THIRD STREET, SUITE 200, NEW YORK, NY 10012
PHONE: 212.512.1000
FAX: 212.512.1001

CINCINNATI
COLUMBUS
RALEIGH
CHARLOTTE

CHASE BANK
NOTT AND BALLTOWN ATM
2341 NOTT STREET
SCHENECTADY, NY 12309

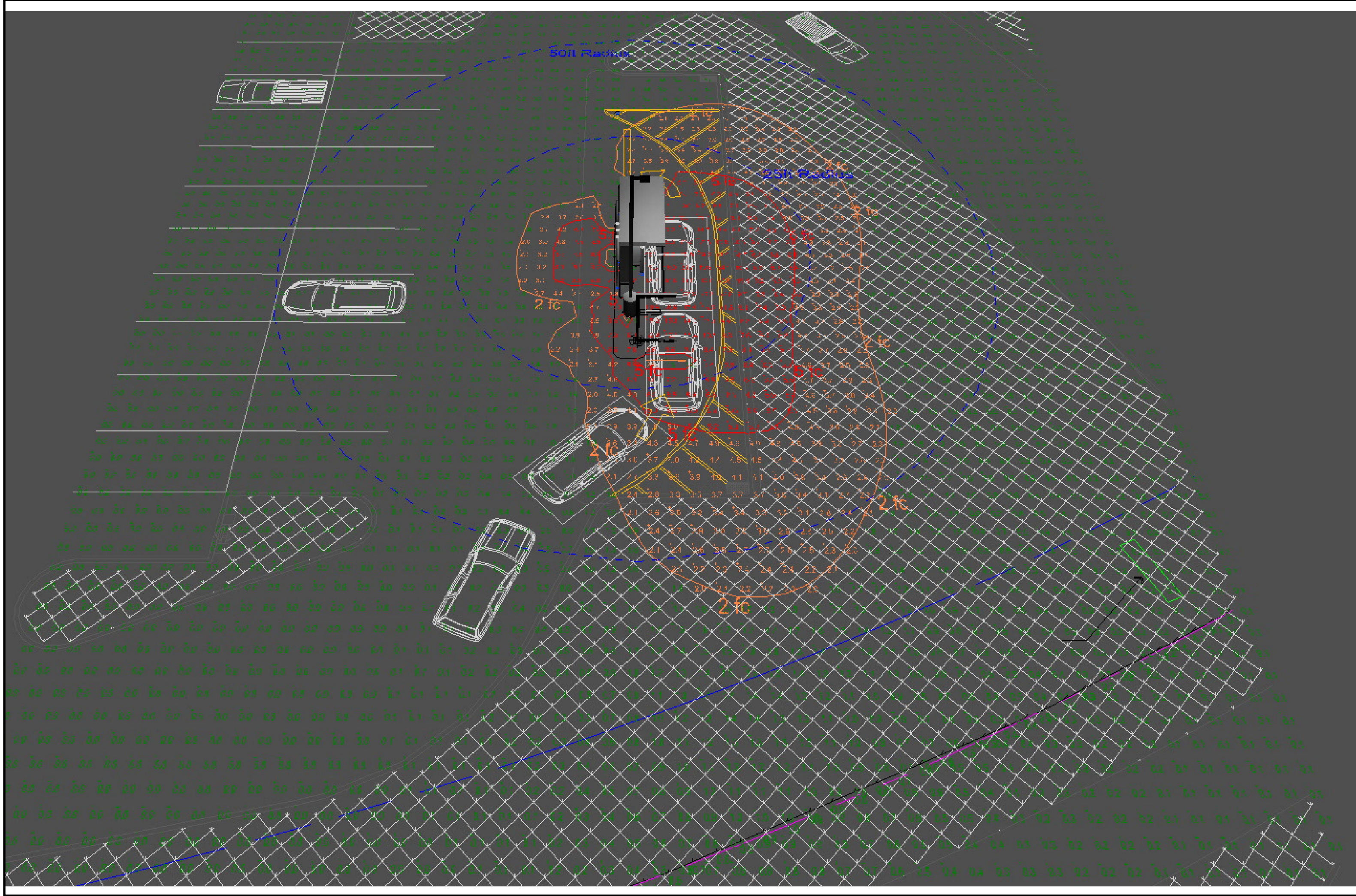
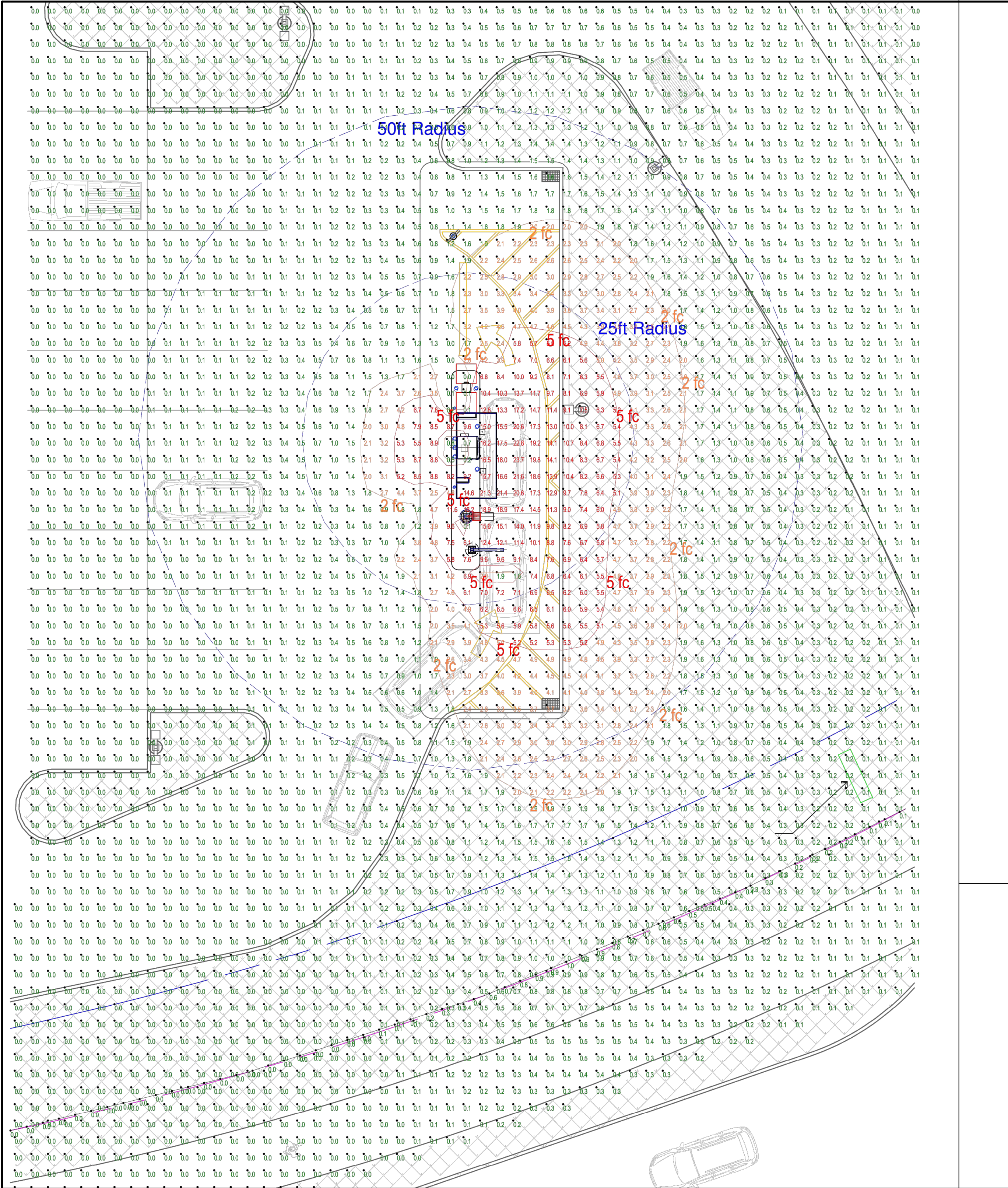
SECTIONS & DETAILS





Project Manager:
A. PONTING
Drawn:
K. MILLER
Checked:
Z. FEIN
Contract Drawing Date:
07-19-21
Proj. No.:
TKO04.44

A104

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Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
CalcPts_1	Illuminance	Fc	0.86	23.7	0.0	N.A.	N.A.		2.5	2.5	Horizontal
Property Line	Illuminance	Fc	0.27	1.0	0.0	N.A.	N.A.		2.5	N.A.	Horizontal

Luminaire Schedule													
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename	BUG Rating
	1		ALD2T150NPCT	SINGLE	17213	17213	1.000	ALD2T150N (TYPE II)	151.4	151.4	151.4	ALD2T150N.ies	B2-U0-G3
	2		e-csa04_series_40k	SINGLE	4891	4891	1.000	E-CSA04A-W40Z	43.11	43.11	86.22	e-csa04_series_40k.ies	B2-U2-G2
	1		PS4-11-20D2										
	1		BCK-S4										

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
3		221.725	137.876	23	0	0
4		222.558	150.547	9.478	0	0
5		222.676	144.702	9.478	0	0
Total Quantity: 3						



Project Manager
A. PONTING
Drawn
K. MILLER
Checked
Z. FEIN
Contract Drawing Date
07-19-21
Proj. No.
TKO04.44

BHDP
LAWRENCE DIGENARO,
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1 SITE PLAN REVIEW
0 OWNERS REVIEW
No. 04-01-22
01-21-22
Date

PHASE 1 - BEFORE STARBUCKS.

SPACES

ORIGINAL

W/STARBUCKS

$\left\{ \begin{array}{l} \text{RETAIL SPACE} = 39,040 \text{ SF} / 225 = 174 \\ \text{FOOD MARKET} = 56,321 \text{ SF} / 200 = 282 \\ \text{STARBUCKS} = 1,750 \text{ SF} / 200 = 9 \text{ SPACES NEEDED.} \end{array} \right\}$

$\frac{9}{405}$ NEED.

442 SPACES ACTUAL

DEFICIT OF 14 SPACES (456-442)

40 SPACES ACTUAL ADDED W/STARBUCKS.

SURPLUS OF 17 SPACES (481-464)

482 ACTUAL



AS-BUILT PLAN

NOTES:
 1. SEE WATER MAIN EASEMENT MAP FOR LOCATION OF UTILITY EASEMENT TO TOWN OF NISAYUTIA AND FOR ACTUAL LOCATION OF WATERMAIN RUNNING THROUGH SITE.
 2. UNDERLYING LAYOUT NOT UPDATED TO AS-BUILT CONFIGURATION. SEE AS-BUILT LAYOUT PLAN C-1 FOR LAYOUT INFORMATION.

No.	Revisions	Date
4	AS-BUILT UTILITIES	12/5/97
3	REVISED WATER MAIN ENTRANCES	1/19/96
2	ISSUED FOR CONSTRUCTION	11/20/95
1	REVISED PER TOWN REVIEW	11/9/95
0	ISSUED FOR SITE PLAN REVIEW	10/12/95

DEC 08 1997

SITE PLAN SURVEY BY:
W.J.ROURKE ASSOCIATES
 Licensed Land Surveyors
 10264 SARATOGA ROAD
 SOUTH GLEN FALLS, NEW YORK 12803

SAINT JAMES SQUARE PHASE 1 SITE PLAN UTILITY PLAN

Drawn: MITCHELL Scale: 1"=50' Date: 8/1/95
HAANEN ENGINEERING
 John L. Haanen, P.E. Thomas W. Haanen, P.E.
 QUEENSBURY, NEW YORK 47053-C2

Drawing Name: S:\3\31200-31299\31235-00\ENG\DWG\01_5P3_31235-00_Site.dwg
Xref Attached: XTB_31235-00_24X36; XBASE_31235-00; XLAYOUT_31235-00; XAERIAL_31235-00
Date Printed: May 01, 2013, 1:59pm

* 45,700 SF OF RETAIL
AT 1 SPACE/225 SF

* NEED 203 SPACES

* HAVE 167 SPACES

* DEALT 36 SPACTS

TEST PIT	SOL DESCRIPTION
TP-1	
0" - 6"	TOPSOIL
6" - 29"	SILT LOAM
29" - 33"	SHALY SILT LOAM
33" - 50"	SHALE BEDROCK
TP-2	
0" - 6"	TOPSOIL
6" - 12"	SILT LOAM, MOTTLED AT 6"
13" - 33"	LOAM
33" - 36"	SHALY LOAM
36" - 42"	SHALE BEDROCK

GENERAL NOTES

- 1) THE EXISTING SHOPPING CENTER, PARKING LOTS AND ENTRANCE DRIVEWAYS ARE TO BE KEPT IN OPERATION DURING CONSTRUCTION. SHORT TERM CLOSURE OF ONE LANE ONLY OF THE ENTRANCE ROAD ADJACENT TO PHASE 2 ARE PERMISSIBLE AS REQUIRED.
- 2) STANDARDS OF REGION 1 NYSOT SHALL BE FOLLOWED FOR MAINTENANCE AND PROTECTION OF TRAFFIC WHEN LANES ARE CLOSED AND WHEN CONSTRUCTION IS IN PROGRESS ADJACENT TO THE FREEWAYS.
- 3) ALL AREAS OF CONSTRUCTION SHALL BE FENCED AT ALL TIMES TO PROTECT THE PUBLIC. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FLAGMEN, SIGNS AND SIGNALS TO PROTECT THE PUBLIC FROM CONSTRUCTION ACTIVITIES AND HAZARDS.
- 4) ALL CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL ENTER THE MAIN PORTION OF THE SITE FROM THE REAR ENTRANCE ROADS.
- 5) DURING CONSTRUCTION OF THE NEW SOUTHERN PARKING LOT, EQUIPMENT AND CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT FROM THE SOUTHEASTERN CORNER OF THE EXISTING GRAND UNION PARKING LOT.

MAP REFERENCES:

1. BOUNDARY SURVEY - NOTT STREET EAST
BY C.T. MALE ASSOCIATES, P.C. DATED
7/16/91

LEGEND:

- DENOTES FOUND IRON MARKER
 ○ DENOTES IRON ROD SET WITH CAP
 ○ DENOTES A POINT
 -E- DENOTES POWER LINES
 ∞ DENOTES STONE WALL
 -X- DENOTES WIRE FENCE
 ○- DENOTES CHAIN LINK FENCE
 □- DENOTES WOOD FENCE
 ③ DENOTES LOT NO. AS PER
 MAP REF. NO. 1

SITE PLAN SURVEY BY:

W.J.ROURKE ASSOCIATES
Licensed Land Surveyors

10264 SARATOGA ROAD
SOUTH GLENS FALLS, NEW YORK 12803



MILLER ASSOCIATES LANDSCAPE ARCHITECTS
37 Chester Street Glens Falls, New York 12801

NACE ENGINEERING, P.C.
37 Chester Street

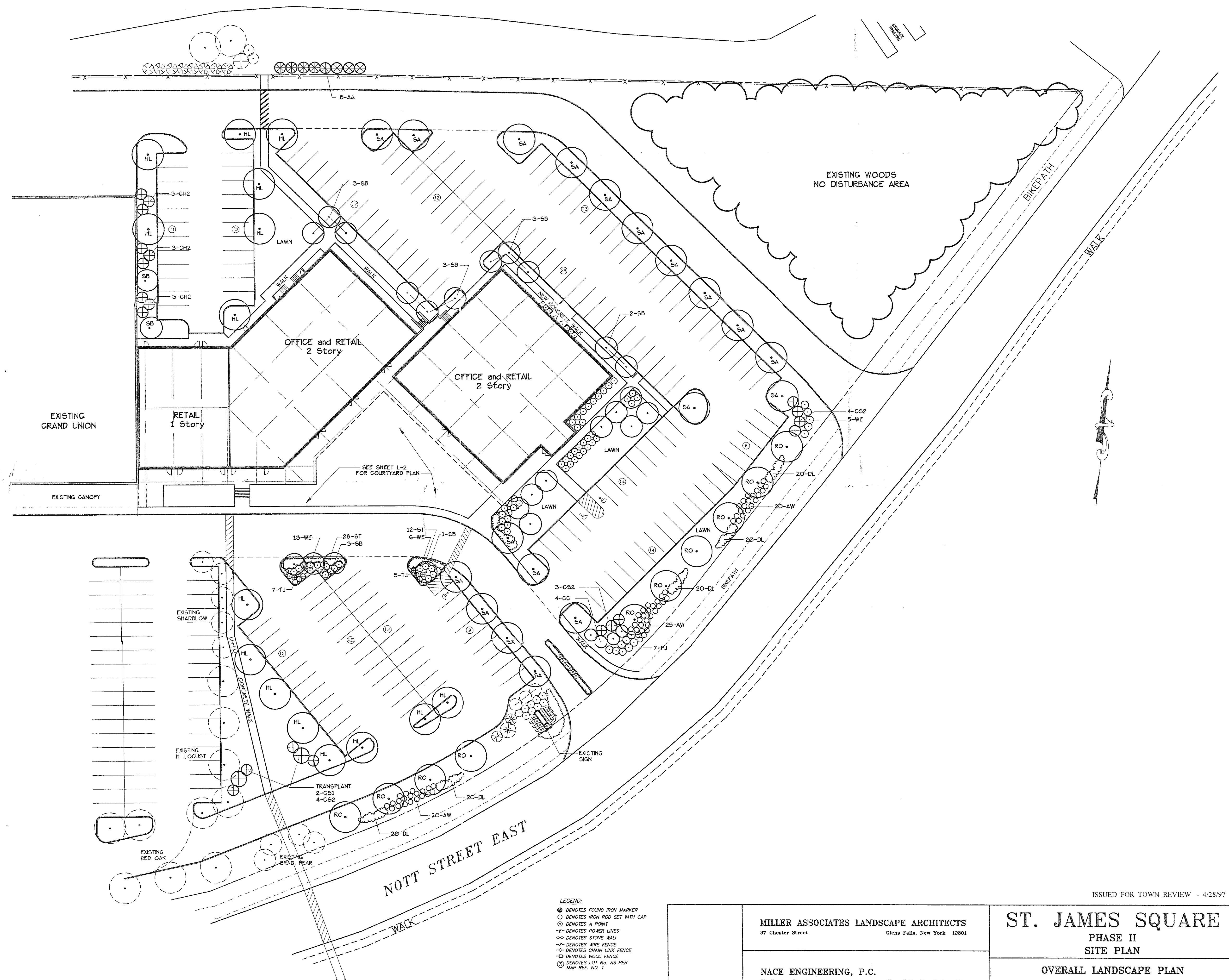
ST. JAMES SQUARE

PHASE II
SITE PLAN

LAYOUT PLAN

SCALE 1"=40'	DATE 3/13/97	JOB No. 47218	DRAWING C-1
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per preconstruction meeting
revisions will be same as this
except for addition of sewer detail
notes on siting materials - colors &
paving detail for NSE



ISSUED FOR TOWN REVIEW - 4/28/97

MILLER ASSOCIATES LANDSCAPE ARCHITECTS
37 Chester Street
Glens Falls, New York 12801

NACE ENGINEERING, P.C.
37 Chester Street
Glens Falls, New York 12801

ST. JAMES SQUARE PHASE II SITE PLAN

OVERALL LANDSCAPE PLAN

SCALE 1"=40'	DATE 3/13/97	JOB No. 47218	DRAWING L-1
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