

TOWN OF NISKAYUNA
Planning Board and Zoning Commission
Agenda
November 14, 2022 7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. October 24, 2022

IV. PUBLIC HEARINGS

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2022-29: A Resolution for site plan amendment for constructing a berm and adding a monument sign at the Capital District Holocaust Memorial at 2501 Troy Schenectady Rd.
2. RESOLUTION: 2022-30: A Resolution for site plan approval for a tenant change to Cool Vibe Smoke Shop at 3413 State St.

VIII. DISCUSSION ITEM

1. 3413 State Street – Cool Vibe Smoke Shop – application for site plan amendment to include a new façade sign.
2. Empire Dr. – application for a 2 lot minor subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres
3. 2721 Balltown Rd. – application for construction of two additional 6-unit apartment buildings on the premises along with an accessory garage and associated parking.
4. 1851 Union St. -- Mohawk Golf Club -- application for subdivision sketch plan approval for 22 new single-family townhomes.

IX. REPORTS

X. COMMISSION BUSINESS

XI. ADJOURNMENT

NEXT MEETING: November 28, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
October 3, 2022

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Genghis Khan
Chris LaFlamme
Patrick McPartlon
Mike Skrebutenas
Nancy Strang
Chris LaFlamme

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Ms. Shenfield was excused tonight.

III. MINUTES**1. October 3, 2022**

Chairman Walsh had one minor change to the minutes. The amended minutes were approved unanimously.

IV. PUBLIC HEARINGS

- **2209 Nott St. – The Broken Inn – Site plan app. for a new outdoor dining area and reconfigured parking requiring an amended special use permit.**

Ms. Gail King the owner of 2215 Nott Street stated her opposition for the project. She noted that for the last 40 years, each store in the building was allowed 4 parking spots each. After the County improvements, this was changed. She stated her opposition to this and added that she is concerned for the tenants of the apartments not having parking at night. Ms. King noted her concern in regards to the late night hours proposed for the outdoor dining. She stated it could keep children awake at night. She noted that if the expansion is allowed it will add the possibility of 20 more cars needing to park. She asked the Board not to approve the expansion.

Mr. Richard Normandin of 2163 Nott Street expressed his concerns regarding this project. He stated he was supportive of the restaurant and the ice cream window but is not supportive of the

39 new plan to have outdoor dining. Mr. Normandin stated his concern for the limited space that
40 delivery trucks will have to drive down the alley way. He stated that during football season, the
41 bar has stayed open a bit later than the suggested hours and the noise from the bar permeates into
42 the neighborhood. Mr. Normandin stated this is an example of the noise that would be an
43 everyday occurrence if the project was approved. He asked the Board not to approve the project.

44 Ms. Jackson of 2219 Nott Street voiced her opposition for the project. She is support of the ice
45 cream window but is concerned for safety if the expansion is approved.

46 Chairman Walsh asked Ms. Robertson if there were any emails. Ms. Robertson noted that there
47 were 23 emails in support of the project and 1 against. She stated that all the emails were shared
48 with the Planning Board ahead of the meeting to review.

49 Ms. Robertson read 4 emails that were just received and not included in the comments emailed to
50 the Planning Board ahead of time.

51 Ms. Nicole Normandin emailed: I oppose the construction of the Broken Inn making an outdoor
52 dining area. Residents directly across the street at 1501 Clifton Park road will be directly
53 impacted. Other neighbors nearby as well. Sound carries, more cars, more traffic, more noise
54 bouncing between the homes, and the Broken Inn doesn't understand that this was a nice quiet
55 neighborhood before they came and now it's chaotic with all the traffic. Staying open during the
56 day will take parking away from the other businesses. The agreement bringing them into the
57 neighborhood was that they had set hours not open during day during week. Now they want to
58 change that due to demand. That will affect everyone including residents. I approve for a small
59 seating section for ice cream only during spring and summer months but outdoor dining will be a
60 total imposition to nearby residents. As it is now, the Broken Inn has chosen to advertise that
61 they would stay open later to accommodate game nights and cheers from the crowd have been
62 heard from nearby residents when door were left open. Me being one of them, and I live at 2163
63 Nott Street. I think they are a great addition to the neighborhood but now I feel they are
64 overstepping from what was originally approved.

65 Mr. Jason Clark of Clifton Park Road emailed: I am messaging you in support of Broken Inn's
66 new outdoor seating area and extended hours. The Broken Inn has been awesome for our
67 neighborhood in their support of our community by providing a local area for neighbors to meet
68 and interact with one another and by giving back with their charitable contributions each month.
69 Additionally, I think the business and community would greatly benefit from having the
70 restaurant open during lunch. I strongly support their new plans for seating and longer hours.

71 Ms. Pamela Zilka emailed: I support the plans of the Broken Inn for additional outdoor seating
72 and more safe parking. This restaurant is the biggest breath of fresh air we have experienced in
73 our area in a very long time. I commend their hard work and their devotion to our community.

74 Ms. Lauren Savage emailed: I am very much in favor of what is proposed. The Broken Inn has
75 added to a sense of community for Niskayuna and this would increase it. My family has been
76 waiting for take out! Please approve the plan.

Chairman Walsh noted that this public hearing was now closed and there would not be further discussion at the Board meeting tonight. He stated they needed to wait for clarity on what direction or if the project can go forward by the Planning Department before any more of the Planning Board process can be continued because the landlord had withdrawn their support of the application.

V. PRIVILEGE OF THE FLOOR

Mr. Thomas Nicchi of Lexington Ave, owner of the Broken Inn, approached the podium. He stated that he was disappointed that there will not be a discussion regarding the expansion project of the Broken Inn and had put forth a proposal that he asked the Town to consider.

Ms. Denise Connolly asked for clarity on where the water will flow and how the existing drainage issues will be addressed on the Empire Drive subdivision. She is concerned water will flow towards her property.

VI. UNFINISHED BUSINESS

No unfinished business today.

VII. NEW BUSINESS

1. RECOMMENDATION TO ZBA: 2750 Balltown Rd. – Momentive Performance Materials – A Recommendation to the ZBA for new façade signage.

Chairman Walsh summarized the status of the Momentive signage and how they were at the stage of needing an area variance from the Zoning Board of Appeals. He asked the 3 questions related to the Planning Board's recommendation to the ZBA.

Effect on the Comprehensive Plan

Mr. McPartlon made a recommendation that the façade sign square footage and additional logo did not affect the Comprehensive Plan. The Board unanimously agreed 7-0 that it did not affect the Comprehensive Plan.

Suitability of use

Mr. Khan made a recommendation that it was a suitable use for the area because the building was so far away from the road and the signage wouldn't effect any nearby residences. The Board unanimously agreed 7-0.

Recommendation to the ZBA

The Board voted to give a positive recommendation to the ZBA to approve the variance 7-0.

2. RESOLUTION: 2022-25: A Resolution for site plan approval for remodeling including a 149 sq. ft. addition of the existing Stewart's Shop at 1502 Balltown Rd.

Ms. Strang recused herself from the vote for conflict of interest. Mr. Khan made a motion to approve the resolution and it was seconded by Ms. Gold. Chairman Walsh noted that Stewarts

took the Boards comments from the last meeting and updated the site plan to reflect the comments. He asked if there was any discussion. Hearing none, Chairman Walsh called for a vote.

Upon voting, the resolution was approved 7-0

Mr. D'Arpino AYE

Mr. Skrebutenas AYE

Mr. Khan AYE

Ms. Gold AYE

Mr. McPartlon AYE

Mr. LaFlamme AYE

Chairman Walsh AYE

3. RESOLUTION: 2022-26: A Resolution for site plan approval for a 492 sq. ft. addition to the existing 1,455 sq. ft. retail / service store and gas station at 1747 Union St.

Mr. D'Arpino made a motion to approve the resolution and it was seconded by Mr. LaFlamme. Mr. D'Arpino summarized the updates to the plan and any issues that still need to be worked out. He summarized the response from the County regarding the project. Mr. D'Arpino noted that the County's suggestions fall in line with the Planning Board conditions and he would like to see them addressed.

Mr. Daniel Kauffman, representing the applicant, was present to discuss this project with the Board. Ms. Robertson stated she can work some of the conditions out through the Planning office if the Board would like to defer to her. Mr. Kauffman discussed the open conditions and asked for clarification on some of the requests from the County.

Chairman Walsh asked the Board if they wanted to continue with the resolution with the open conditions from the County or wait for more information. The Board agreed to move ahead and have the Planning Department work with the applicant on the County Conditions. Ms. Robertson added that as a condition to ensure the County conditions were met and the site work was completed, a pre-construction meeting will be required prior to any building permits. Mr. Kauffman agreed.

Chairman Walsh asked if there was any other discussion. Hearing none, Chairman Walsh called for a vote.

Upon voting, the resolution was approved 7-0

Mr. D'Arpino AYE

Mr. Skrebutenas AYE

Mr. Khan AYE

Ms. Strang AYE

Mr. McPartlon AYE
Mr. LaFlamme AYE
Chairman Walsh AYE

4. RESOLUTION: 2022-27: A Resolution for minor subdivision approval for a 2-lot subdivision at 2239 Van Antwerp Rd.

Mr. LaFlamme made a motion to approve the resolution and it was seconded by Mr. Skrebutenas. Mr. McPartlon asked for another condition to be added to the resolution. He would like a “no further subdivision clause” added. Ms. Robertson stated her Department would add it. Mr. McPartlon made a motion to amend the resolution to add the condition and it was seconded by Ms. Strang. The Board approved the amendment unanimously.

Mr. LaFlamme made a motion to approve the modified resolution and it was seconded by Mr. McPartlon. Ms. Robertson noted for the record that documentation of the easement and conveyance to the Town will need to be prepared and filed with the plat drawings. Hearing no more comments, Chairman Walsh called for a vote.

Upon voting, the resolution was approved 7-0

Mr. D’Arpino AYE
Mr. Skrebutenas AYE
Mr. Khan AYE
Ms. Strang AYE
Mr. McPartlon AYE
Mr. LaFlamme AYE
Chairman Walsh AYE

5. RESOLUTION: 2022-28: A Resolution for site plan approval for a tenant change to Hickory Farms at 412B Balltown Rd.

Mr. Khan made a motion to approve the resolution and it was seconded by Mr. McPartlon. Ms. Robertson noted that the present sign on the building for Hickory Farms is too large. It will need to be replaced with a 2’ X 20’ sign according to the proposed resolution.

The applicant agreed and noted that the sign will only be on the building from 10/29 -12/29. The Board noted that a building permit will need to be applied for. Hearing no more comments, Chairman Walsh called for a vote.

Upon voting, the resolution was approved 7-0

Mr. D’Arpino AYE
Mr. Skrebutenas AYE
Mr. Khan AYE
Ms. Strang AYE
Mr. McPartlon AYE

Mr. LaFlamme AYE

Chairman Walsh AYE

VIII. DISCUSSION ITEMS

1. 2209 Nott St. -- The Broken Inn – site plan app. for new outdoor dining area including additional and reconfigured parking

This discussion was put on hold.

2. Empire Dr. – application for a 2 lot minor subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres

Mr. McPartlon noted that the TDE comments have been reviewed and he noted that one of the comments was to use a culvert under the driveways near the stub road off of Empire Drive. Mr. Joralemon and Mr. Speulstra stated that the culvert could be done. Mr. McPartlon asked if the applicant would consider designating a filter strip of land as Land Conservation. He asked Mr. Speulstra to give additional explanation of the storm water analysis. Mr. Speulstra stated that he does not believe a conservation easement is warranted. He stated he will allow Mr. Joralemon answer that when he has time to look at it.

Mr. Speulstra recapped in detail the SWPPP that was prepared for the site plan and went over specific stormwater details.

Mr. McPartlon discussed the review of the property by the Tree Council. He noted there are a lot of large, impressive trees along the boundaries of the property that must be retained. He noted that the land seems to be free of invasive species so it is important to keep as much of the native undergrowth as possible. He asked Mr. Speulstra to explain the driveway design. Mr. Speulstra stated the extra area is so cars and delivery trucks can back into the spot and leave facing forward instead of needing to back all the way out of the long driveway.

Chairman Walsh noted the next step will be for the applicant to respond to the TDE comments. He thanked the applicants for their attendance.

3. 2501 Troy Schenectady Rd. – site plan app. for constructing a berm and adding a sign at the Capital District Holocaust Memorial.

The applicants were present to discuss the updates to the plan including the proposed berm that would be built between the proposed new sign and the main memorial area.

The applicants noted that at a recent event at the memorial site, there was noticeably a lot of noise traffic coming from Route 7 and a lot of invasive species on the site. They stated that due to fundraising efforts, the memorial has raised enough money to install the permanent sign. They discussed the distance the sign will be from the road, the size of the sign and the content

that will be displayed while construction is still ongoing. It will say “future home of Holocaust Memorial” until they are able to begin construction.

The applicants displayed the updated sign. It was noted the new sign will be made from the same materials and structure as the memorial as itself. The Planning Board asked if the berm will keep police from visually monitoring the site from Route 7. The applicant stated there has always been a lot of visually screening proposed to Route 7 because of the residences, so the Police agreed in initial discussions and reviews that they will need to drive into the memorial to observe the site. The berm doesn’t change that.

The applicant stated that the berm will not be created until the construction work begins on the memorial but they would like to install the sign as soon as possible.

Ms. Robertson noted that a new resolution will be needed for the updated site plan (berm) but it will not need a new TDE report. She noted that many of the issues will be worked out in the pre-construction meeting. The applicant stated that the sign will be lit with solar lights until electricity is on the site.

The Board approved of the idea of the sign and berm and called for a resolution for the next meeting on November 14.

4. 2721 Balltown Rd. – application to amend site plan approval to include construction of two additional 6-unit apartment buildings on the premises along with an accessory garage and associated parking.

Chairman Walsh asked the applicant to step forward and explain this agenda item. Ms. Strang recused herself from further discussion on this project due to a conflict of interest. Mr. Rob Stout was present to represent the applicant; Mr. Alex Ritmo. Mr. Stout gave a brief description on how the project came to be. He noted that the original apartment building was \$145,000 over budget due to needing a sewer pipe replacement and a water pipe replacement. The supply chain issues drove up the price of materials also.

Mr. Stout presented an explanation on why he believes that Mr. Ritmo can add another building to the site with only a site plan application and not need to return to the ZBA. He stated that the ZBA granted the original use variance and now the use is compliant to the area so adding another building would also be compliant. Ms. Robertson stated that the Planning and Legal departments disagreed with this assessment and are preparing denial for the application that requires a use variance. ZBA action will be required.

The Board discussed the location of the dumpsters and how the trucks will access them for trash removal. They were concerned of the excess noise that will be with 2 new apartment buildings on the site and how it will affect the surrounding neighbors. The Board questioned if it would be better to swap the parking garage with the new south building to minimize impacts on neighbors. The Board asked for some improved renderings of what the future proposal will look like. The Board stated that the Planning Department can draft up a denial for the ZBA but more refined drawings will be needed for a clearer idea of the project.

Ms. Gold noted her concern for the density of this project. Ms. Robertson commented the proposed density is an important part of the discussion and that as proposed, the new apartment buildings don't have the required multi-family setback. They are proposed at 25 feet but the multi-family code would require a 40 feet setback. They noted that Mr. Ritmo will need to submit an application to the ZBA for a use variance by 11/15/2022 if he wants to be on the December 21st ZBA meeting.

Ms. Robertson noted that the applicant will need to go to the CAC for recommendation on SEQR for this project also. Mr. Ritmo and Mr. Stout thanked the Board for their time and stated they will work on the application for ZBA.

IX. REPORT

1. Planning Department Updates

Ms. Robertson discussed the Smoke Shop at 3413 State street. She noted that the applicant withdrew their agenda item for this meeting and will be resubmitting the tenant change and sign package once more work is done on the design for the next meeting.

Ms. Robertson stated that the work on the Upper Union St and Saint Joseph's crosswalks will begin soon. She noted that she is creating signs to inform residents who use the path and park their cars at the site of the change to the parking. She stated they will now park at the Zenner Soccer Fields and get on the bike path from there.

Ms. Robertson updated the Board on online training opportunities for the group.

COMMISSION BUSINESS

No commission business tonight

XI. ADJOURNMENT

Chairman Walsh asked for a motion to adjourn. Mr. Skrebutenas made a motion to adjourn and it was seconded by Mr. McPartlon. The meeting was adjourned at 9 pm.



TOWN OF NISKAYUNA

PLANNING BOARD & ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII.1

MEETING DATE: 11/14/2022

ITEM TITLE: RESOLUTION: 2022-29: A Resolution for a site plan amendment adding a berm and constructing a sign at the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Rd.

PROJECT LEAD: Chris LaFlamme & Genghis Khan

APPLICANT: Restoration of Eastern European Jewish Cemeteries Project, Inc., represented by Dr. Michael Lozman

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☒ Town Board
☒ OTHER: Economic Development, Historic Preservation & Environmental Conservation Committee, Tree Council

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☒ Map ☐ Report ☐ Other: Engineering Response Letter

SUMMARY STATEMENT:

Dr. Michael Lozman, Director of Restoration of Eastern European Jewish Cemeteries Project, Inc, the applicant for the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Road, is requesting a site plan amendment to add a berm and is also requesting to construct the approved sign.

BACKGROUND INFORMATION

The Planning Board renewed the approval of the Capital District Jewish Holocaust on January 10, 2022 with conditions including a thick vegetative buffer to Route 7 and a preconstruction meeting prior to site disturbance. The applicant has used the site for observances relating to the Holocaust remembrance, and in the use of the property noted how loud the noise from Route 7 is in an area that necessitates solemnity. Based upon their experience with the actual land – they are proposing to add a berm to the plan in an attempt to reduce some of the road noise within the monument area.

Additionally, the applicant is still fundraising but at this point he finds that is would be very helpful to install the approved sign. The details of the sign are included in the packet – it is intended to mimic the memorial and use the same materials as the memorial.

10/24/22 Planning Board (PB) meeting – The applicant presented the revised site plan drawing set that included the proposed berm and monument sign. The Board had a discussion regarding the positive aspect of the noise reduction provided by the berm and the increase

visual barrier to the homes across the street. The Planning Office stated that they would review the revised grading plan prior to preconstruction meeting because there were still a few other technical items that needed to be finished. The discussion about the installation of the sign included materials, lighting, and a small "future home of" barrier that would be removed once the memorial opened. The Board calling for a resolution allowing the sign's installation and the addition of a berm to the grading for the 11/14/22 PB meeting.

A resolution for site plan amendment is included in the meeting packet.

RESOLUTION NO. 2022 - 29

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 14TH DAY OF NOVEMBER 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a site plan amendment.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Mr. Khan.
whom moved its adoption, and seconded by Mr. LaFlamme.

WHEREAS, Dr. Michael Lozman, Director of Restoration of Eastern European Jewish Cemeteries Project, Inc., has made an application to the Planning Board for the installation of a monument sign and earthen berm to the previously approved site plan for a 2.08-acre religious education facility at 2501 Troy Schenectady Road, as shown in a 10 page site plan set entitled "Existing Conditions Plan for Holocaust Memorial, 2501 Troy Schenectady Road, Town of Niskayuna, County of Schenectady, State of New York," by Hershberg & Hershberg, consulting engineers and land surveyors, and dated 5/1/2017, and

WHEREAS, the site plan amendments are shown in the revised set of drawings as follows:

Page No.	File Name	Name	Author	Date Drawn	Rev.
1	CDJHM001	Overall Plan	"A"	10/14/22	5/11/21
2	CDJHM002	Site Plan for Proposed Sign	"A"	10/14/22	10/21/22
3	CDJHM003	Site Plan with Section	"A"	NA	NA
4	CDJHM004	Monument Sign A100	"B"	10/14/22	10/14/22
5	CDJHM005	Monument Sign Rendered	"B"	NA	NA
6	CDJHM006	Short-term Sign Rendered	"B"	NA	NA

WHEREAS, the zoning classification of the property is R-1: Low Density Residential zoning district, and

WHEREAS, A religious education facility in an R-1 Zone requires a special use permit, and

WHEREAS the Planning Board conducted a public hearing on February 12, 2018 to consider the application for a special use permit and preliminary site plan review, and

WHEREAS this application was referred to the Schenectady County Planning Department and on November 20, 2017 the County responded that it conditionally approved of the project, pending NYSDOT approval of highway access, and

WHEREAS, the application was referred to the Niskayuna Conservation Advisory Council, and on January 3, 2018, the Council recommended a negative declaration, and

WHEREAS, the Town Board, acting in accordance with the State Environmental Quality Review regulations and local law, assumed the position of lead agency for this project, determined the project will not have a significant effect on the environment and directed the Town Planner to file a negative declaration, and

WHEREAS, the Town Board granted a special use permit on June 20, 2019 to allow a religious education facility at 2501 Troy Schenectady Road, by its Resolution No. 2018-182, and

WHEREAS, the Planning Board referred this application to the Town's Engineering Department and the department does not object to the proposed plans, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its decision hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby grant final site plan approval for a special use permit to allow the Capital District Jewish Holocaust Memorial at 2501 Troy Schenectady Road, subject to the following conditions:

1. Wetlands may not be disturbed, drained or physically altered in any way without first contacting the Army Corps of Engineers. Additionally, the Town of Niskayuna requires that no land can be disturbed within a twenty five (25) foot buffer from the boundary of the wetland.

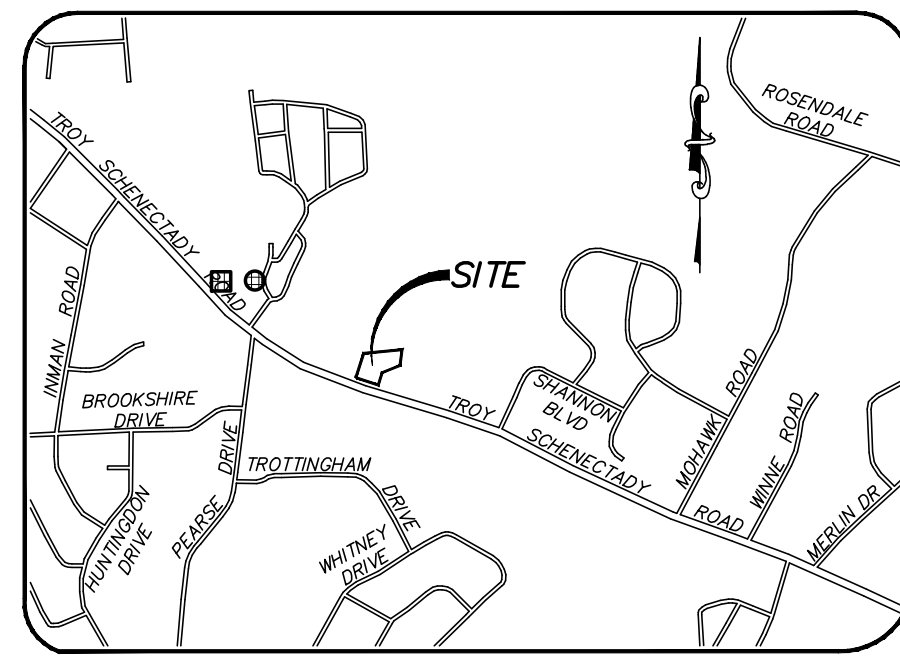
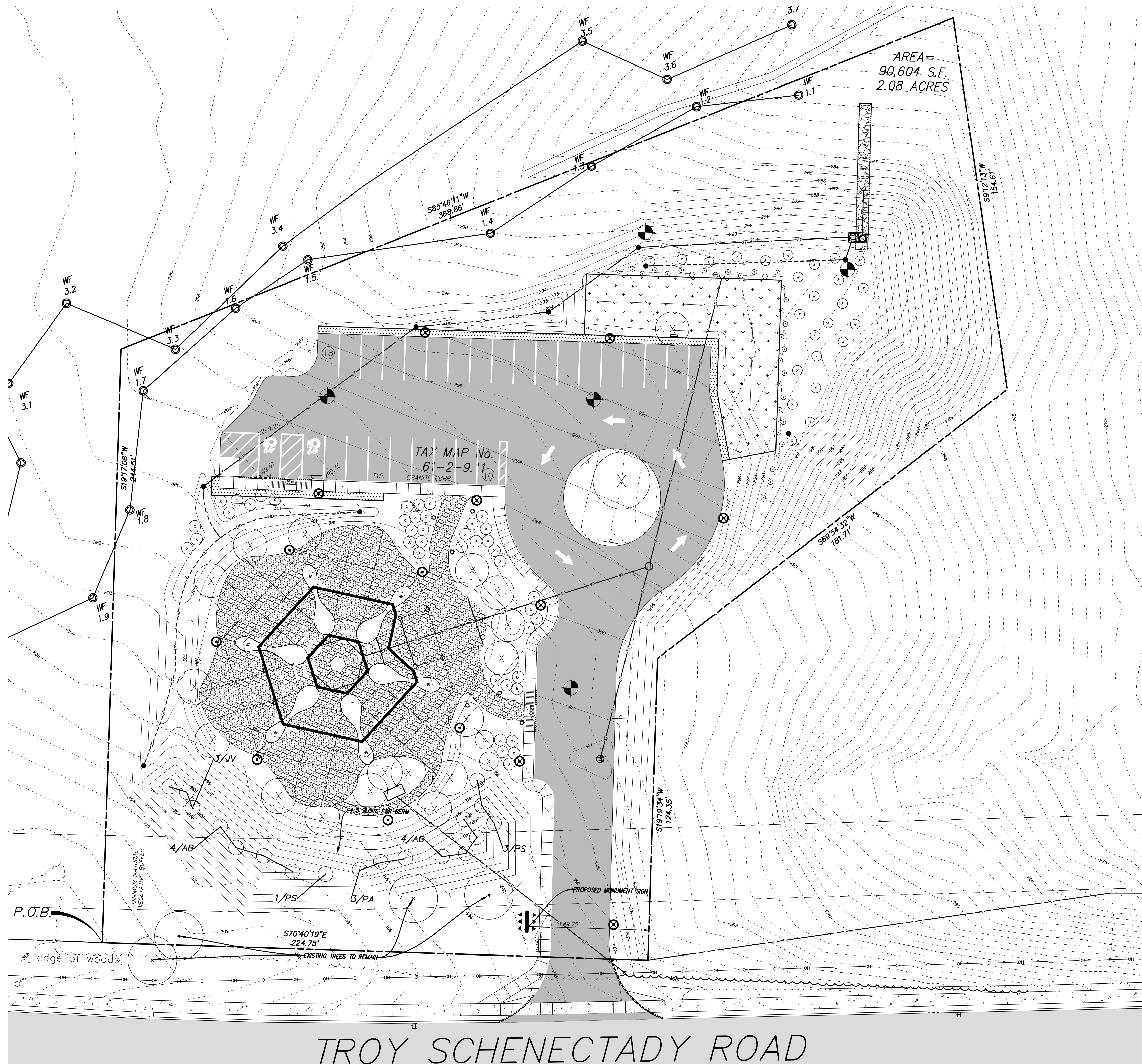
2. In accordance with Chapter 180 of the Soil Erosion and Sediment Control Ordinance of the Town of Niskayuna, the applicant shall put in place soil erosion and sediment control measures sufficient to stabilize disturbed areas. These measures shall be satisfactory to the Superintendent of Water, Sewer, and Engineering and shall remain in place until such time as natural vegetation has been successfully established.
3. Prior to issuance of a final CO, the applicant shall sign a Storm water Control Facility Maintenance and Access Agreement, in order to ensure the proposed storm water facilities are installed and maintained per plans.
4. Prior to site disturbance, the applicant shall participate in a preconstruction meeting with the Town of Niskayuna and shall address any concerns raised by the Town or the Town Designated Engineer (TDE).
 - A. Pursuant to this site plan amendment, the project is approved to install monument sign as outlined in the drawings noted above, with minor associated clearing, to mark the entrance to the memorial prior to full site disturbance or the preconstruction meeting requirement.
5. Prior to site disturbance, the site plan maps shall be modified to reflect agreed upon decisions of the preconstruction meeting, if any, and distributed as required to the Town and to all involved contractors. Final site plans shall be submitted to the Town labeled "For Construction."
6. Prior to site disturbance, confirmation shall be made by the applicant to the Department of Public Works that material specifications and site details, including road and utility plan/profiles, meet Town standards.
7. Prior to the preconstruction meeting, any engineering and drainage concerns will be addressed to the satisfaction of the Town Superintendent of Water, Sewer and Engineering, including item #7 in the TDE comment letter dated 2/3/2020.
8. Prior to the preconstruction meeting, any questions or concerns raised by the Town Designated Engineer will be addressed by the applicant in a formal letter to the Town.
9. Prior to the preconstruction meeting, the applicant shall provide written approval from the NYSDOT for the curb cut on Route 7.
10. As a condition of the special use permit, hours of operation for the property shall be dawn to dusk.

11. As a condition of the special use permit, a thick vegetative buffer shall be established along the Route 7 corridor to protect the residential nature of the corridor and limit impact to adjacent properties.
 - A. Pursuant to this site plan amendment, an earthen berm shown in page 2 of the 6-page drawing set noted above is approved to be added to the grading plan to create additional screening and noise reduction to the site.
12. As a condition of the special use permit, temporary onsite restroom facilities shall be required at any time the memorial is open, with an area reserved on the site plan that will adequately serve for the construction of permanent bathrooms in the event that they are deemed necessary by the Town and overseeing Foundation.
13. All large events that require traffic control / Niskayuna police presence shall be coordinated with the Town of Niskayuna Police Department in well in advance of each event.
14. Per Niskayuna Town Code Section 220-48 E: Final site plan approval shall expire two years after the date of this written final approval of the Planning Board unless construction in accordance with the approved plan has begun or an additional extension of time has been granted by the Planning Board.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.

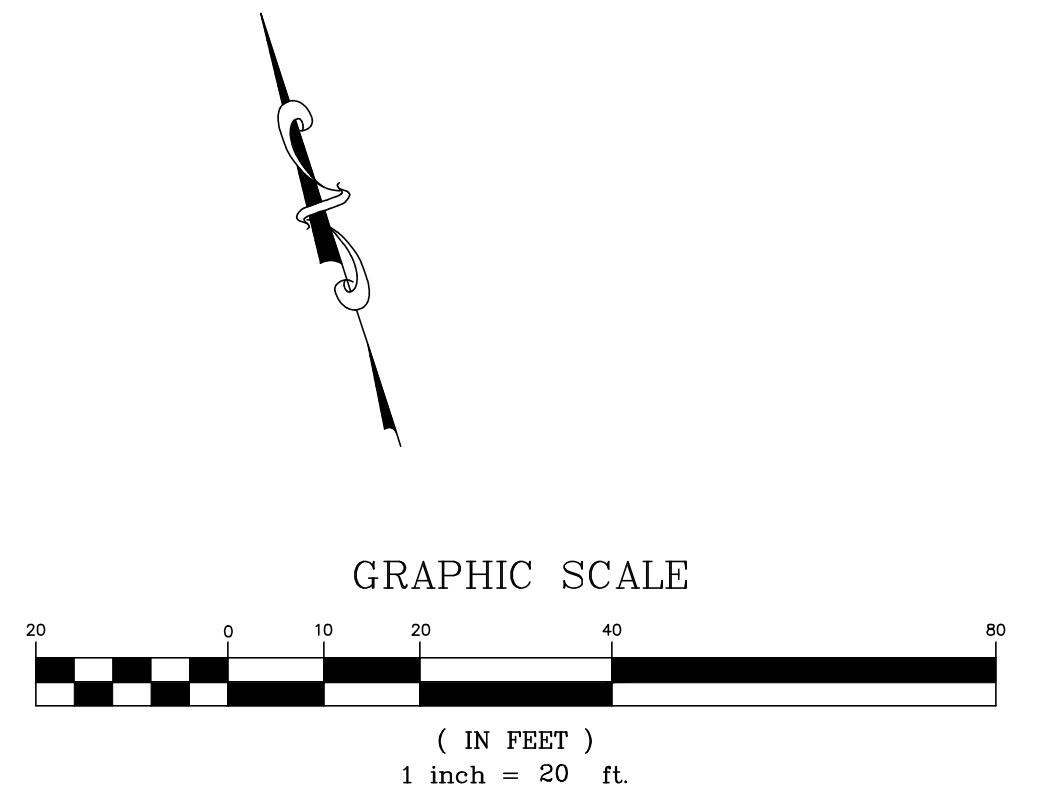


VICINITY MAP
MAP NOT TO SCALE

LEGEND		
R.O.W.	RIGHT OF WAY	MONUMENT
Nb.	NUMBER	IRON ROD
ENC.	ENCROACHMENT	MANHOLE
P.O.B.	POINT OF BEGINNING	CATCHBASIN
S.F.	SQUARE FEET	SIGN
N/F	NOW OR FORMERLY	BOLLARD
FL.	FEET	FENCE LINE
Deg.	DEGREE	GUARD RAIL
R.	RECORD	OVERHEAD WIRE, UTILITY POLE & OUT WIRE
M.	MEASURED	WATER SHUT OFF
N.	NORTH	WATER VALVE
S.	SOUTH	HYDRANT
E.	EAST	GAS VALVE
W.	WEST	STREET LIGHT
TEL.	TELEPHONE	LIGHT POLE
ENC.	ELECTRIC	CONCRETE
L.	LIBER	PAVEMENT
P.	PAGE	
	PROPOSED LIGHT POLE	
	PROPOSED BOLLARD	
	PROPOSED SHRUB OR TREE	
	NEW STORM SEWER	
	NEW UNDERGROUND ELECTRIC	
	PROPOSED CONTOURS	
		NEW PAVEMENT AND PAVEMENT MARKINGS
		NEW CATCH BASIN
		LIMITS OF CLEARING

UTILITY NOTES

1. POWER SERVICE TO BE SUPPLIED BY NATIONAL GRID AND INSTALLED TO NATIONAL GRID REQUIREMENTS. SUBMIT SHOP DRAWING.



SCALE: 1"=20'

TOWN OF NISKAYUNA APPROVAL	
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION

HERSHBERG & HERSHBERG
Consulting Engineers and Land Surveyors
18 Locust Street
Albany, New York 12203

ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR IS ILLEGAL.

DATE	5/11/21
REMARKS	SKETCH PLAN SUBMISSION
REVISIONS	

OVERALL PLAN FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

FILE: 170044
SCALE: AS NOTED
CHK: DRH
BY: MLW
DATE: 10/14/22
70044-LDWG

LEGEND

R.O.W.

RIGHT OF WAY

No.

NUMBER

ENC.

ENCROACHMENT

P.O.B.

POINT OF BEGINNING

S.F.

SQUARE FEET

N/F

NOW OR FORMERLY

FL

FEET

Deg.

DEGREE

R

RECORD

M

MEASURED

N

NORTH

S

SOUTH

E

EAST

W

WEST

tel.

TELEPHONE

elec.

ELECTRIC

L

LIBER

P.

PAGE

PROPOSED LIGHT POLE

PROPOSED BOLLARD

PROPOSED SHRUB OR TREE

NEW STORM SEWER

NEW UNDERGROUND ELECTRIC

PROPOSED CONTOURS

MONUMENT

IRON ROD

MANHOLE

CATCHBASIN

SIGN

BOLLARD

FENCE LINE

GUARD RAIL

OVERHEAD WIRE, UTILITY POLE & OUT WIRE

WATER SHUT OFF

WATER VALVE

HYDRANT

GAS VALVE

STREET LIGHT

LIGHT POLE

CONCRETE

PAVEMENT

NEW PAVEMENT AND PAVEMENT MARKINGS

NEW CATCH BASIN

LIMITS OF CLEARING

UTILITY NOTES

1. POWER SERVICE TO BE SUPPLIED BY NATIONAL GRID AND INSTALLED TO NATIONAL GRID REQUIREMENTS. SUBMIT SHOP DRAWING.

VICINITY MAP

MAP NOT TO SCALE

NEW EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

3-2"x2" HARDWOOD STAKES TO 42" ABOVE GROUND OR TO LOWEST BRANCHES, WHICH EVER IS LOWER

DOUBLE STANDARD 12 GAUGE GALV. WIRE TWISTED IN RUBBER HOSE 6" FROM TOP OF STAKE UP TO LOWEST BRANCHES

REMOVE BURLAP FROM TOP OF BALL

GROUND LINE TO BE THE SAME AS IN THE NURSERY

CONSTRUCT EARTH SAUCER WITH 4" HIGH BERM, FLOOD WITH WATER TWICE IN FIRST 24 HOURS

NOTE: PRUNE A MAX. OF 1/5 OF BRANCHES, BUT RETAIN NATURAL FORM OF TREE. SPRAY WITH WILT-PROOF ACCORDING TO MFG'S INSTRUCTIONS IF FOLIAGE IS PRESENT.

LOOSEN SUB-SOIL AT THE BOTTOM OF THE PIT

WRAP TRUNK WITH WATERPROOF TREE WRAP SECURED WITH TWINE AFTER SPRAYING TRUNK WITH 10% SOLUTION OF INSECTICIDE

WEED BARRIER

3" MULCH EXTENDING OVER BERM

PLANTING SOIL MIX: 2/3 TOPSOIL PLUS 1/3 ORGANIC COMPOST

TREE PIT SIZE TO BE 2-3 TIMES THE WIDTH OF THE BALL

TREE PLANTING DETAIL

NOT TO SCALE

Pruning shall be in accordance with approved horticultural standards in order to preserve the natural form of the specific plants. If applicable & approved by the landscape architect, one-fourth to one-third of the wood shall be removed by thinning out to balance root loss due to transplanting.

Black rubber reinforced hose not less than 1/2" I.D. above first set of branches

2 strands of 12 gauge galv. wire, twisted

2"x2"x8'-0" Pointed Cedar Stakes: 3 stakes per tree - drive at angle and draw vertical

Remove burlap entirely

4" Mulch - finely shredded bark mulch (Sample to be approved)

3" Soil saucer typ.

Finished grade

Topsoil

Subsoil

CU-Structural soil

Compact planting mix below ball. Pitch to perimeter of pit

STAKING Stake deciduous trees under 3" Cal. and evergreen trees over 8' HT.

GUYING Guy deciduous trees over 3" Cal. and evergreen trees over 8' HT.

Guy wires - Double strand #12 galvanized wire, 3 per plant

Treewrap - 6" wide heavy duty burlap

Turnbuckle - 1/4" x 4"

Flag - White plastic, 3" x 10"

Set top of root ball at or slightly above fin. grade

3" below grade

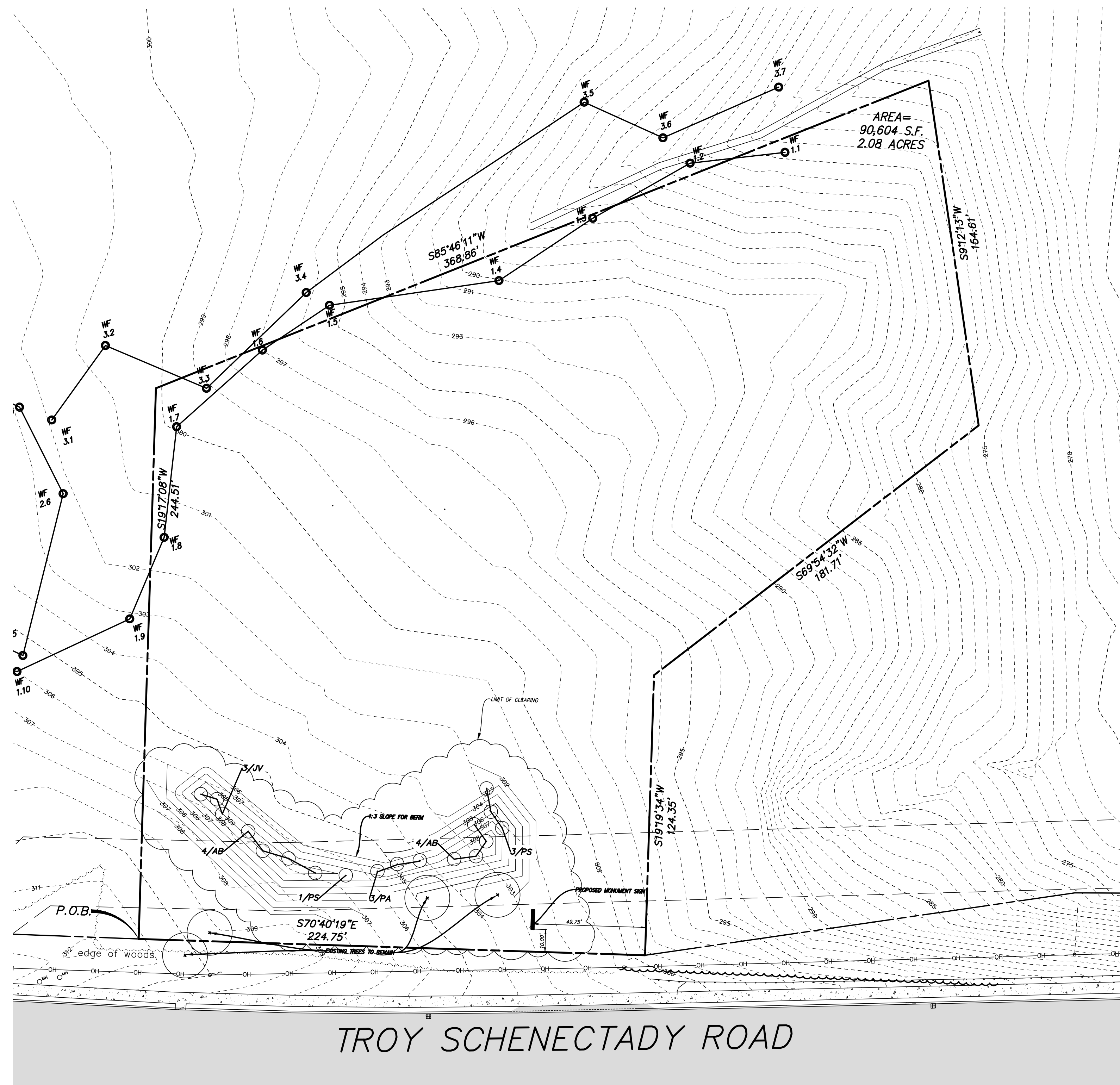
2"x2" Stakes

6" Min.

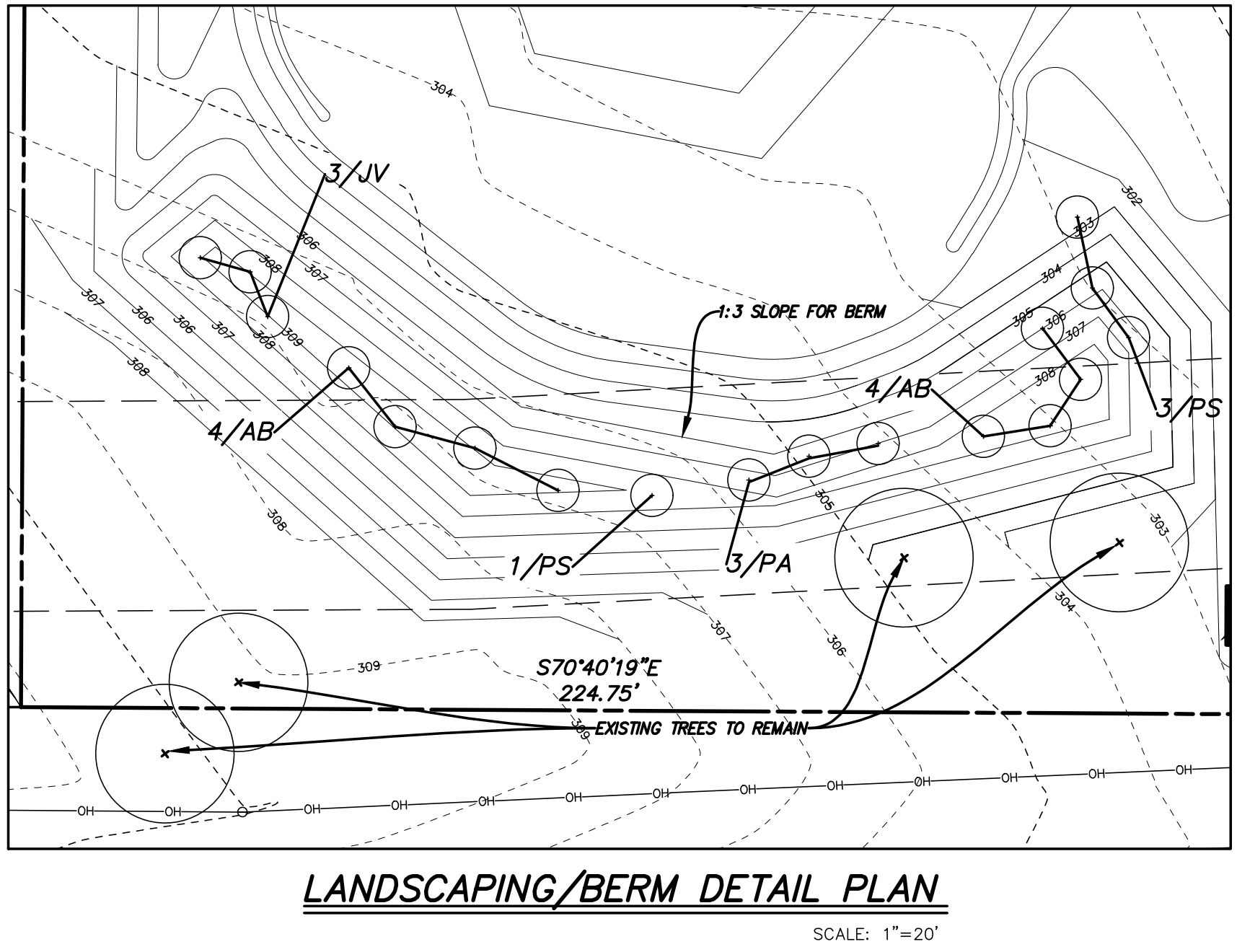
12" Min.

Equals twice Ball diameter

Scarify glazed sides or hardened surface if pits are dug with auguring device



PLANT MATERIAL SCHEDULE					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	AMT	COMMENTS
TREES					
AB	ABIES CONCOLOR	WHITE FIR	5'-6" HT.	8	B & B
JV	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6'-8" HT.	3	B & B, NYNS
PA	PICEA ABIES	NORWAY SPRUCE	10'-12' HT.	3	B & B
PS	PINUS STROBUS	WHITE PINE	9' HT.	4	B & B



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HERSHBERG & HERSHBERG

Consulting Engineers and Land Surveyors

18 Locust Street
Albany, New York 12203

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STATE OF NEW YORK

SEWELL R. HERSHBERG

PROFESSIONAL ENGINEER & LAND SURVEYOR

044225

DATE

10/21/23

REMARKS

GENERAL REMARKS

REVISIONS

SITE PLAN FOR PROPOSED SIGN AT
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

SCALE: AS NOTED

DATE: 10/14/22

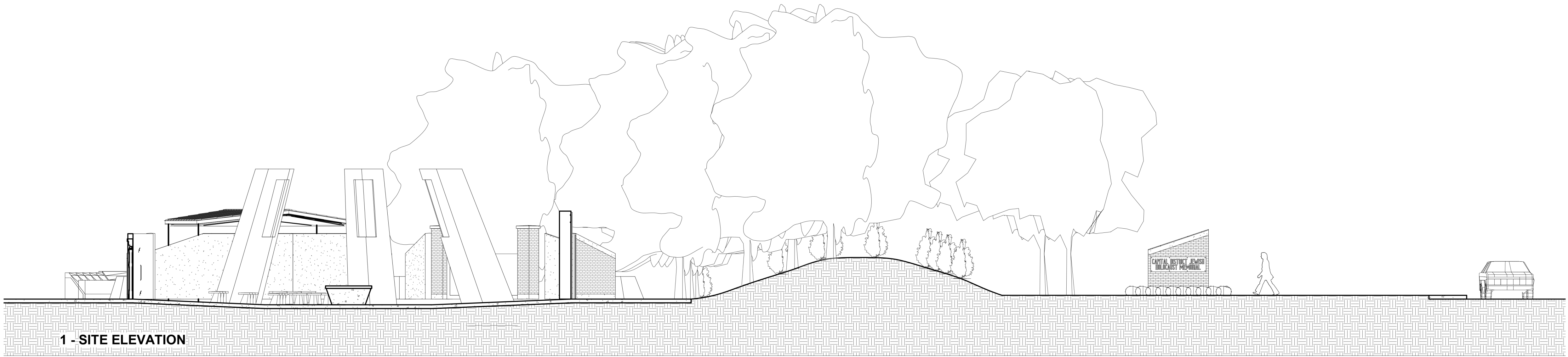
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BY: MLW

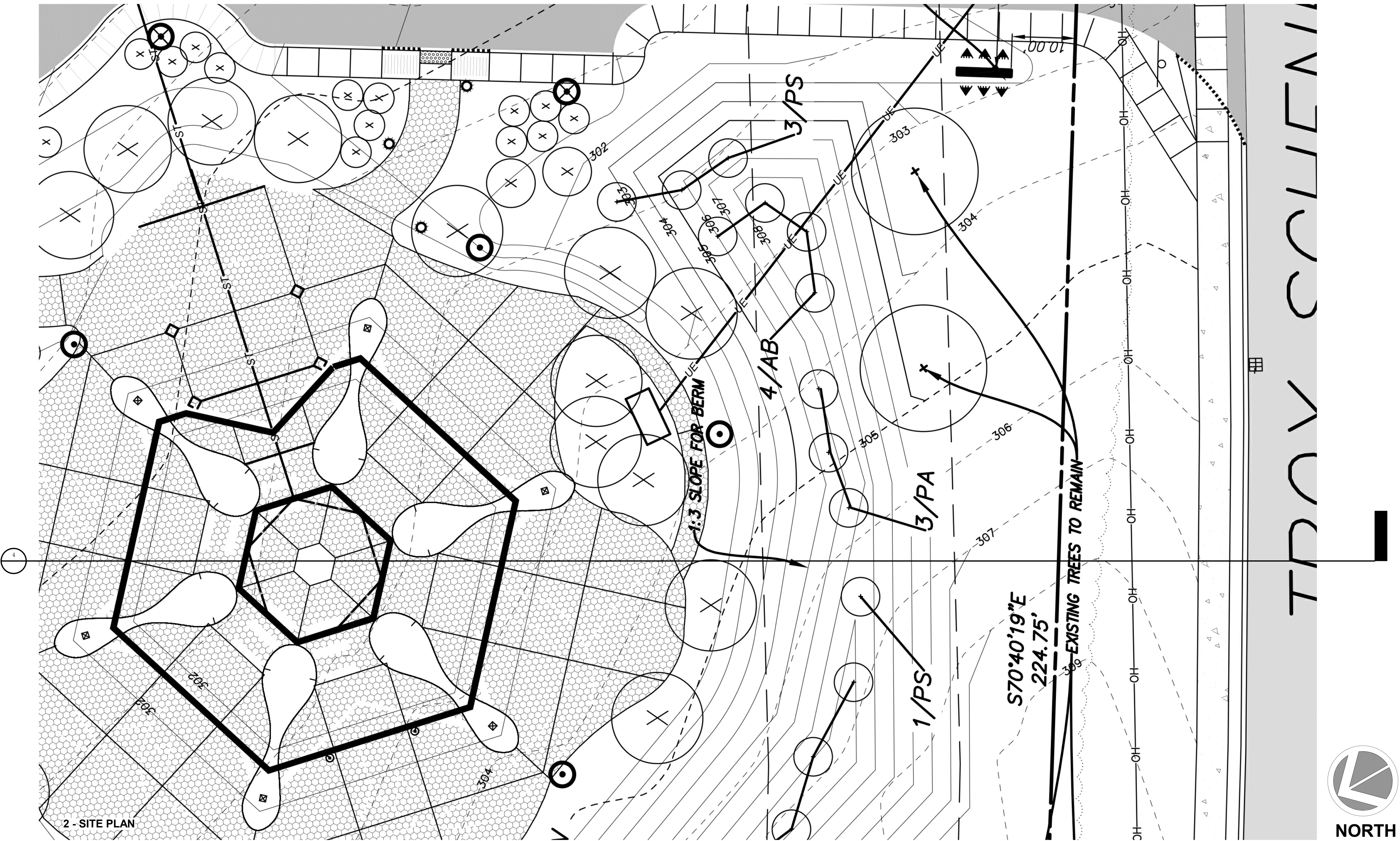
FILE: 170044

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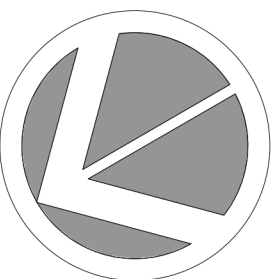


1 - SITE ELEVATION

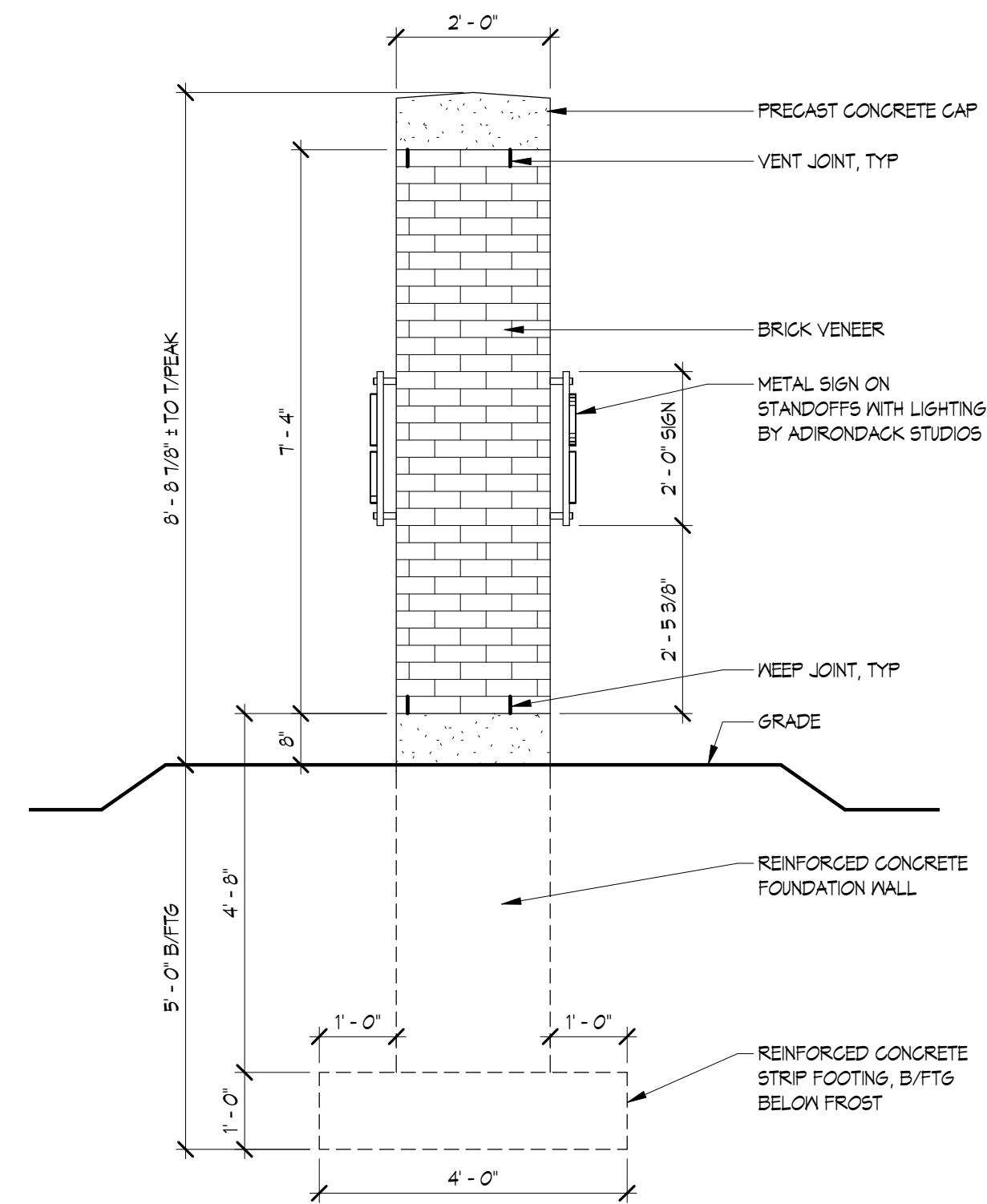


2 - SITE PLAN

CAPITAL DISTRICT JEWISH
HOLOCAUST MEMORIAL



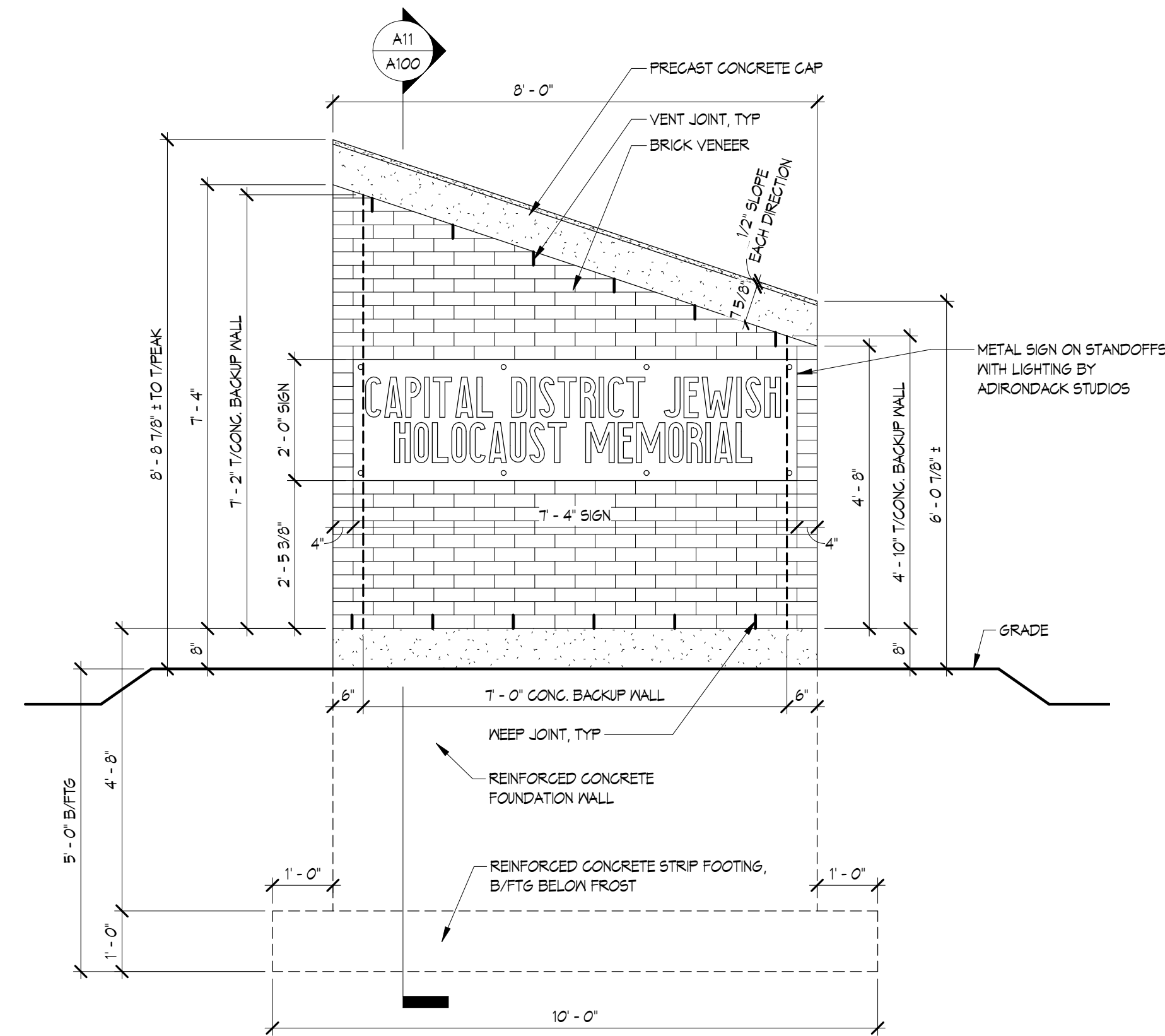
NORTH



H1	MONUMENT SIGN ELEVATION
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1/2" = 1'-0"	H11 / A100
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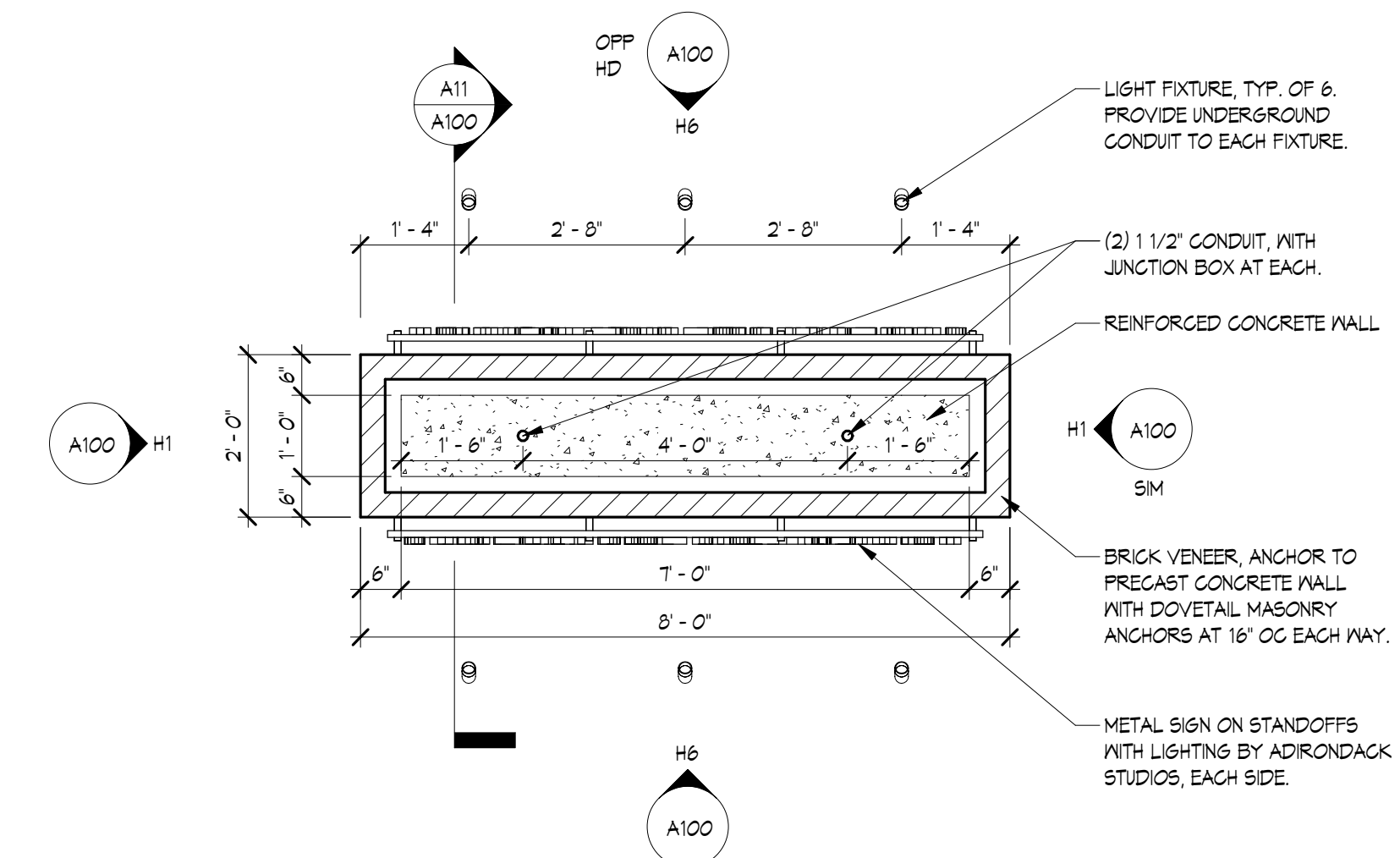
H11 / A100



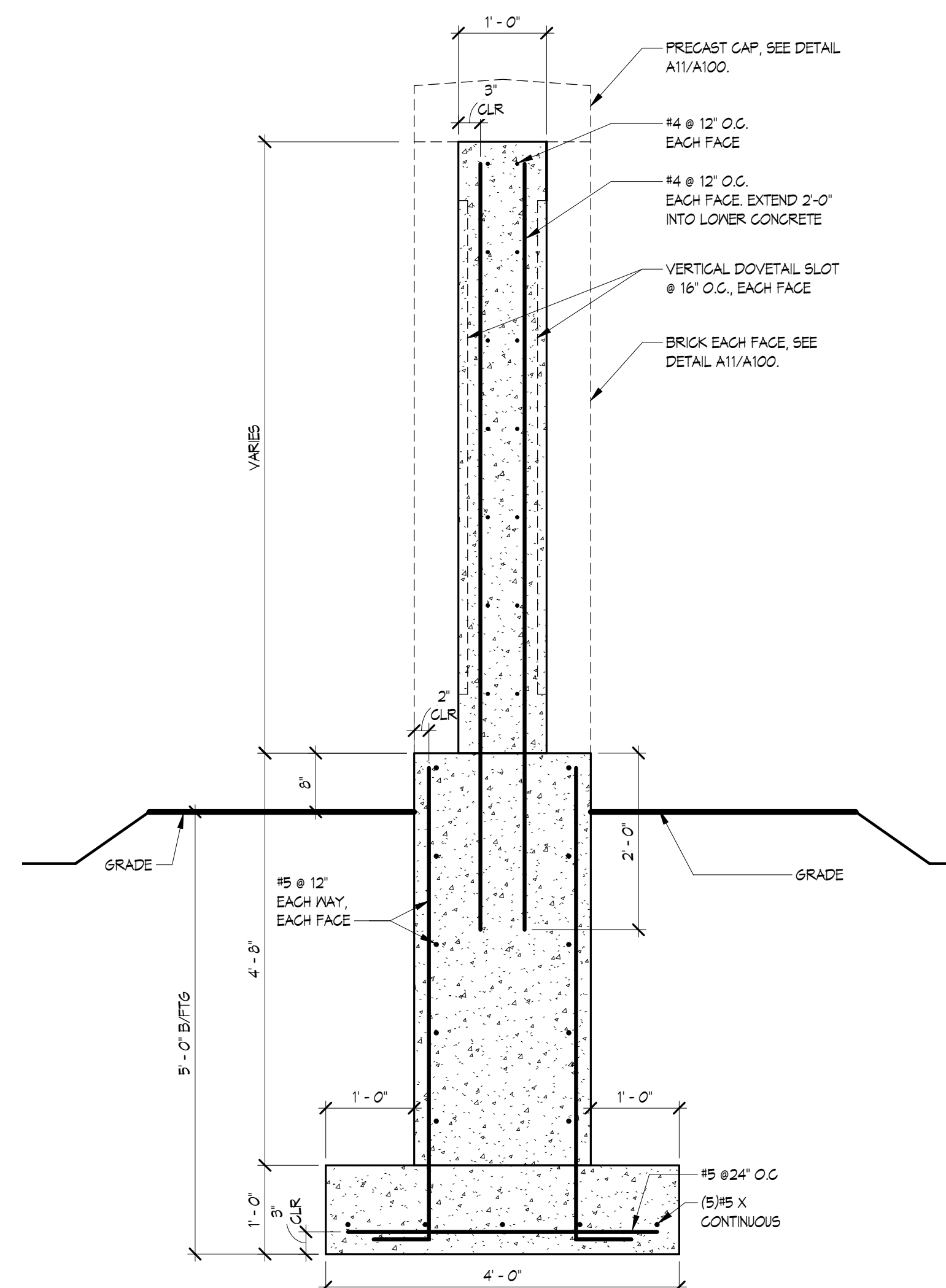
H6	MONUMENT SIGN ELEVATION
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$$1/2'' = 1'-0''$$

H11 / A100

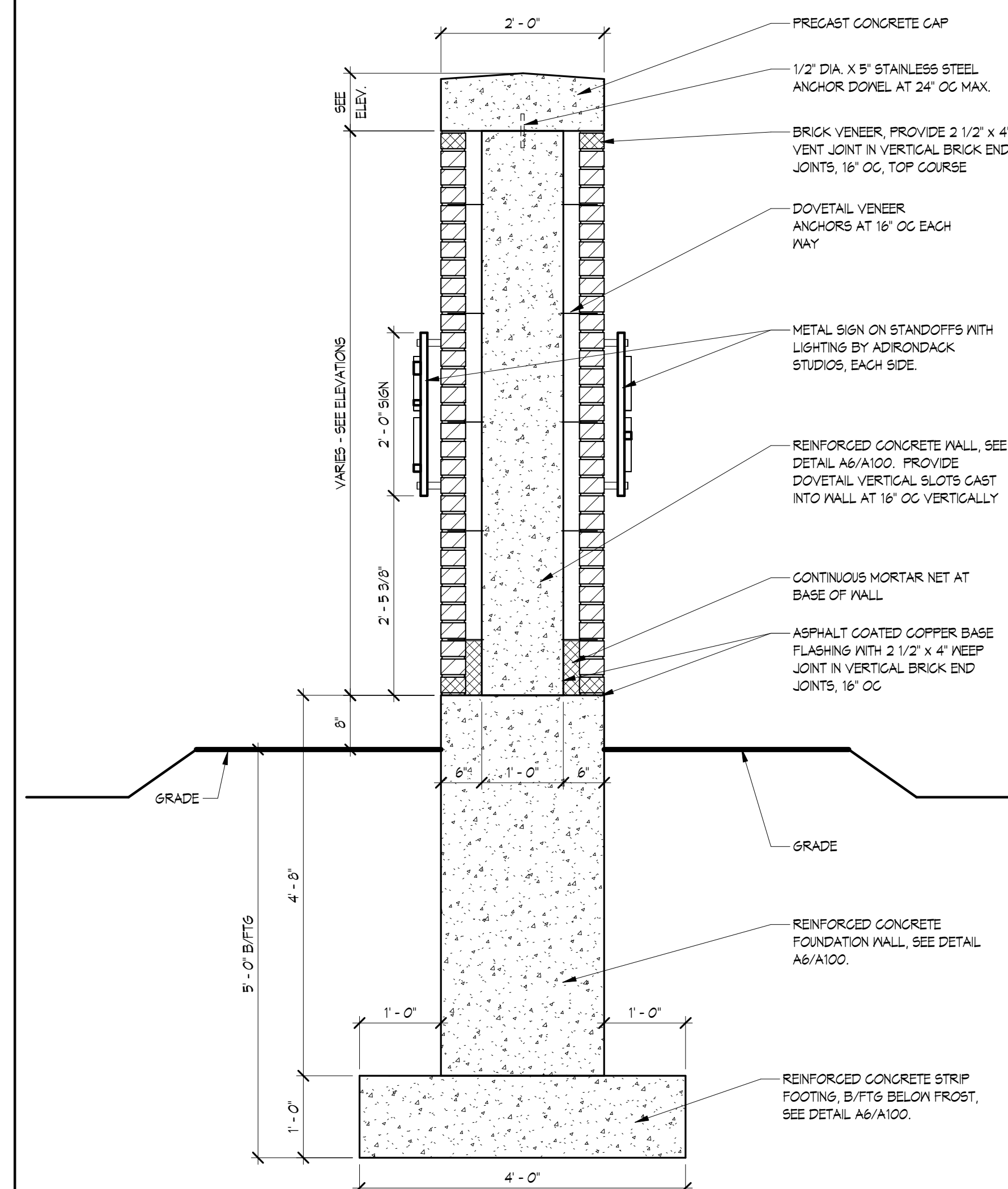


H11	MONUMENT SIGN PLAN
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$$1/2'' = 1'-0''$$


A6	MONUMENT SIGN SECTION - REINFORCING
----	-------------------------------------

$3/4" = 1'-0"$



A11	MONUMENT SIGN SECTION
-----	-----------------------

$3/4'' = 1'-0''$

H6 /A100



ARCHITECTURE
■
INTERIORS
■
PLANNING

307 Washington Avenue
Albany, New York 12206 USA
<http://www.DDArch.com>
T: 518.463.8066 F: 518.463.8610

PROJECT TITLE

**CAPITAL DISTRICT JEWISH
HOLOCAUST MEMORIAL**
2501 TROY-SCHENECTADY RD
NISKAYUNA, NY 12309

DDA PROJECT #M17-006

[illegible]

PROGRESS DRAWINGS
NOT FOR
CONSTRUCTION
10/14/22

Drawn	Project Manager	P.I.C.
CLH/JZ	DWD	DWD

SHEET TITLE

MONUMENT SIGN

SHEET NUMBER

A100

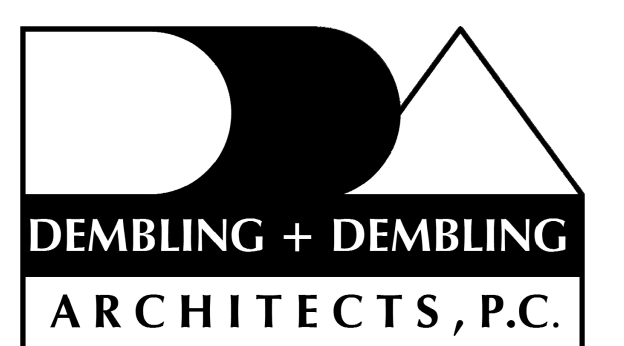


CAPITAL DISTRICT JEWISH
HOLOCAUST MEMORIAL





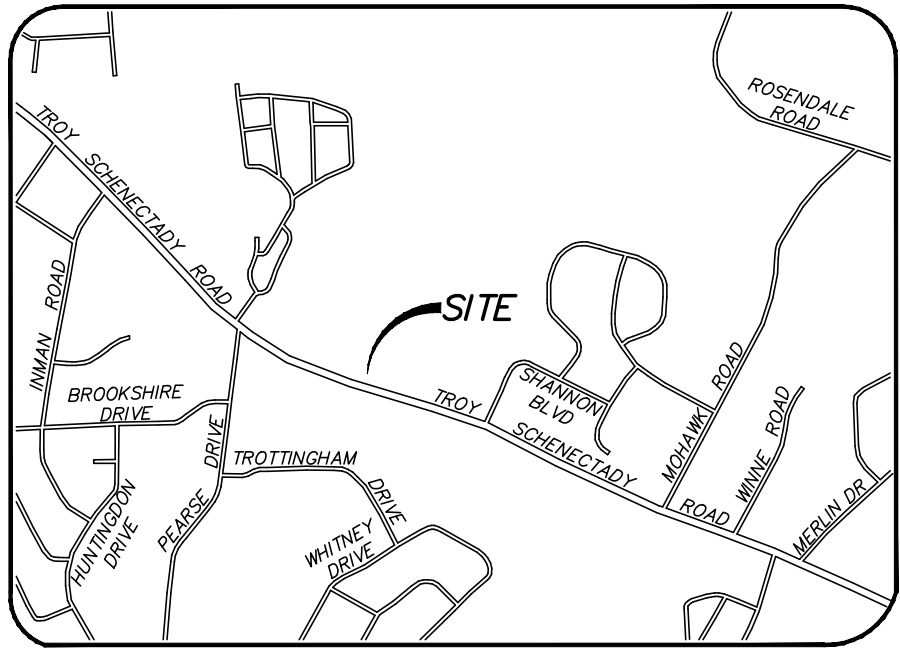
CAPITAL DISTRICT JEWISH
HOLOCAUST MEMORIAL



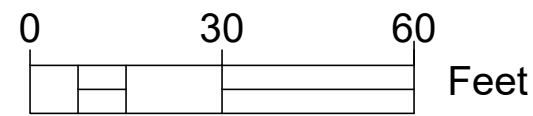
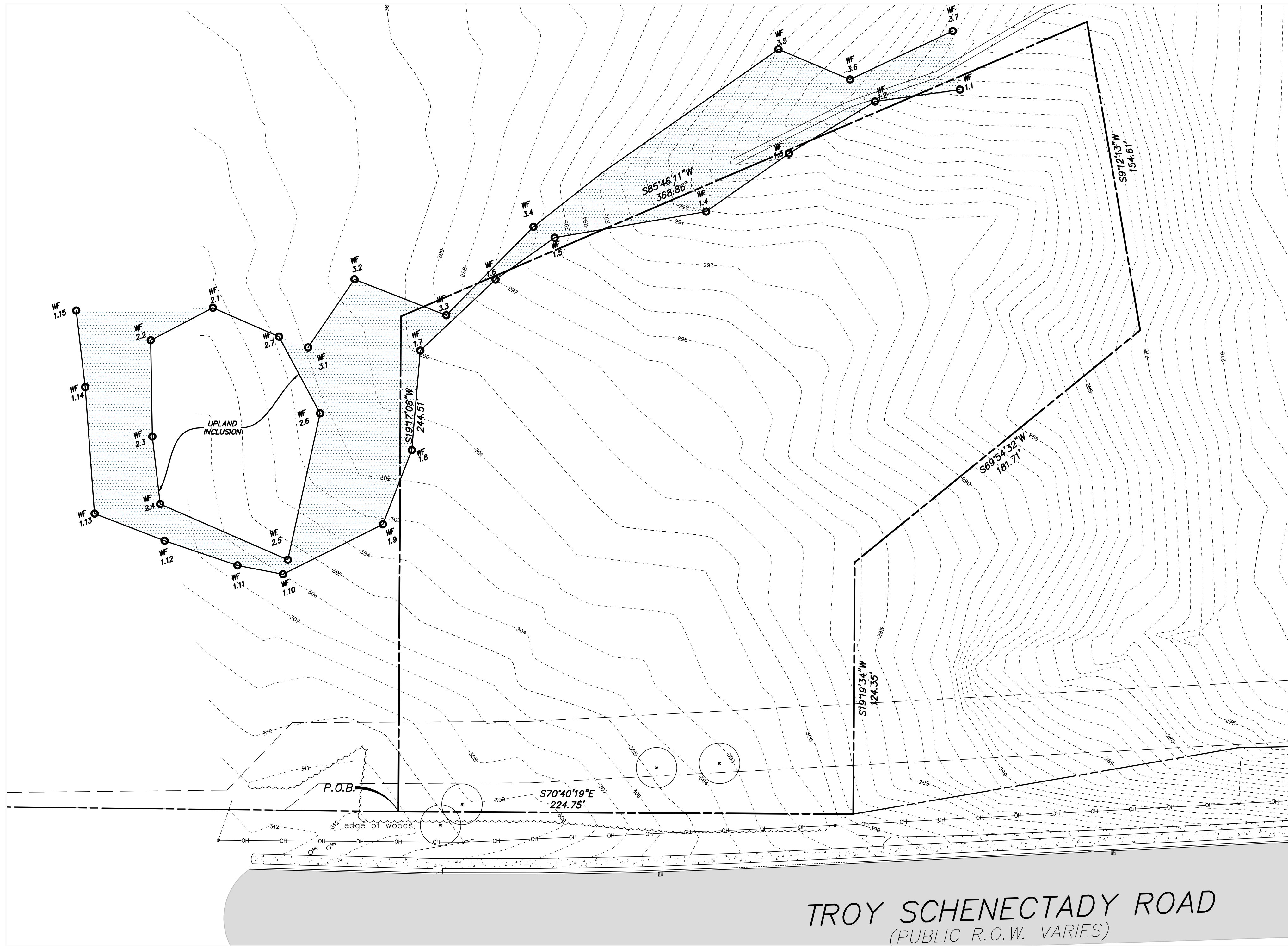


CAPITAL DISTRICT JEWISH
HOLOCAUST MEMORIAL

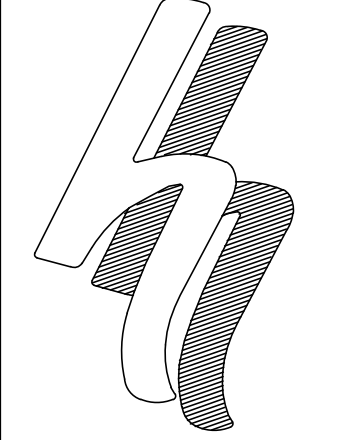




VICINITY MAP
MAP NOT TO SCALE

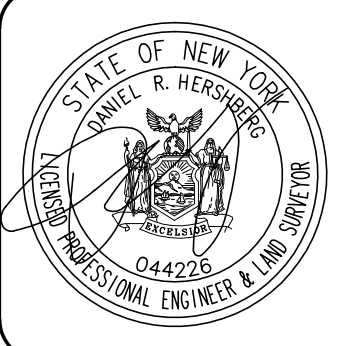


LEGEND			
R.O.W.	RIGHT OF WAY	□	MONUMENT
No.	NUMBER	○	IRON ROD
ENC.	ENCROACHMENT	⊗	MANHOLE
P.O.B.	POINT OF BEGINNING	⊞	CATCHBASIN
S.F.	SQUARE FEET	—	SON
N/F	NOW OR FORMERLY	•	BOLLARD
FL	FEET	—	FENCE LINE
Deg.	DEGREE	—	GUARD RAIL
R	RECORD	—	OVERHEAD WIRE, UTILITY POLE & GUY WIRE
M	MEASURED	⊕	WATER SHUT OFF
N	NORTH	⊕	WATER VALVE
S	SOUTH	⊕	HYDRANT
E	EAST	⊕	GAS VALVE
W	WEST	⊕	STREET LIGHT
TEL	TELEPHONE	⊕	LIGHT POLE
ELC.	ELECTRIC	⊕	CONCRETE
UBR	UBR	⊕	PAVEMENT
P.	PAGE		



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Consulting Engineers and Land Surveyors
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Albany, New York 12203

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REMARKS	DATE
LAYOUT REVISED	6/7/17
SITE PLAN REVISIONS	8/29/19
REVISIONS	

EXISTING CONDITIONS PLAN FOR
HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

FILE: 170044
SCALE: 1"=30'
BY: MLW
CHK: DRH
DATE: 5/1/17
170044-3.DWG

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION

SUBDIVISION MAP STANDARD NOTES

GENERAL NOTES

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL EROSION AND SEDIMENT CONTROL MEASURES

- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.

MAINTENANCE OF EROSION CONTROL MEASURES

- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPILL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDS AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY

- SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
- THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
- ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
- THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES

- THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

EXISTING LEGEND

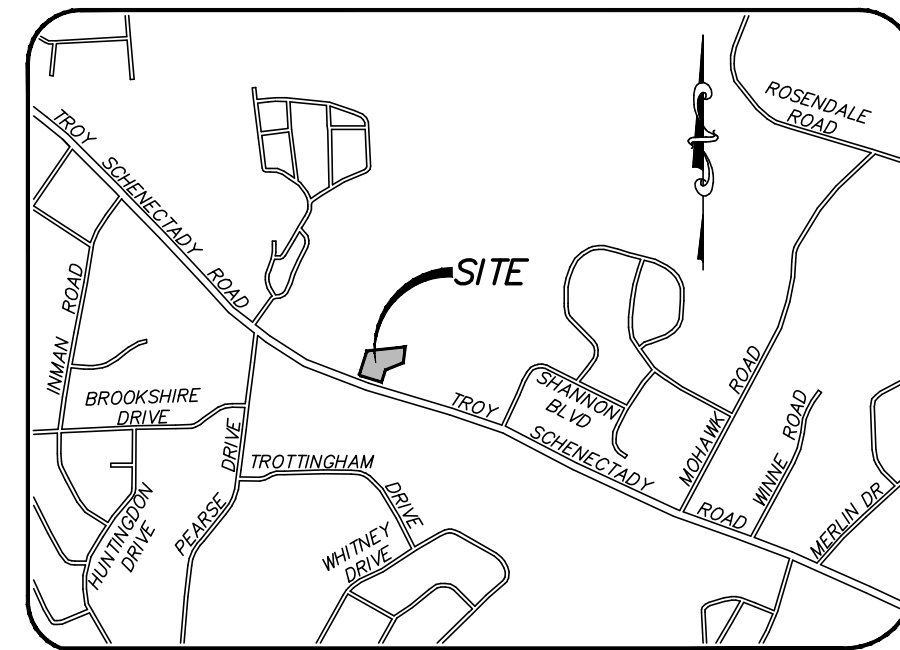
R.O.W.	RIGHT OF WAY	○	MONUMENT
No.	NUMBER	○	IRON ROD
ENC.	ENCROACHMENT	○	MANHOLE
P.O.B.	POINT OF BEGINNING	○	CATCH-BASIN
S.F.	SQUARE FEET	○	SIGN
N/F	NOW OR FORMERLY	○	BOLLARD
FL	FEET	○	FENCE LINE
Deg.	DEGREE	○	GUARD RAIL
R	RECORD	○	OVERHEAD WIRE, UTILITY POLE & CUT WIRE
M	MEASURED	○	WATER SHUT OFF
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S	SOUTH	○	GAS VALVE
E	EAST	○	STREET LIGHT
W	WEST	○	LIGHT POLE
tel.	TELEPHONE	○	
elec.	ELECTRIC	○	
L	LIBER	○	
P.	PAGE	○	

PROPOSED LEGEND

○	PROPOSED LIGHT POLE
○	PROPOSED BOLLARD
○	PROPOSED SHRUB OR TREE
—	NEW STORM SEWER
—	NEW UNDERGROUND ELECTRIC
—	PROPOSED CONTOURS
□	NEW PAVEMENT AND PAVEMENT MARKINGS
□	NEW CATCH BASIN
—	LIMITS OF CLEARING

UTILITY NOTES

- POWER SERVICE TO BE SUPPLIED BY NATIONAL GRID AND INSTALLED TO NATIONAL GRID REQUIREMENTS. SUBMIT SHOP DRAWING.
- SECURITY SYSTEM AND SECURITY LIGHTING BY OTHERS.



VICINITY MAP

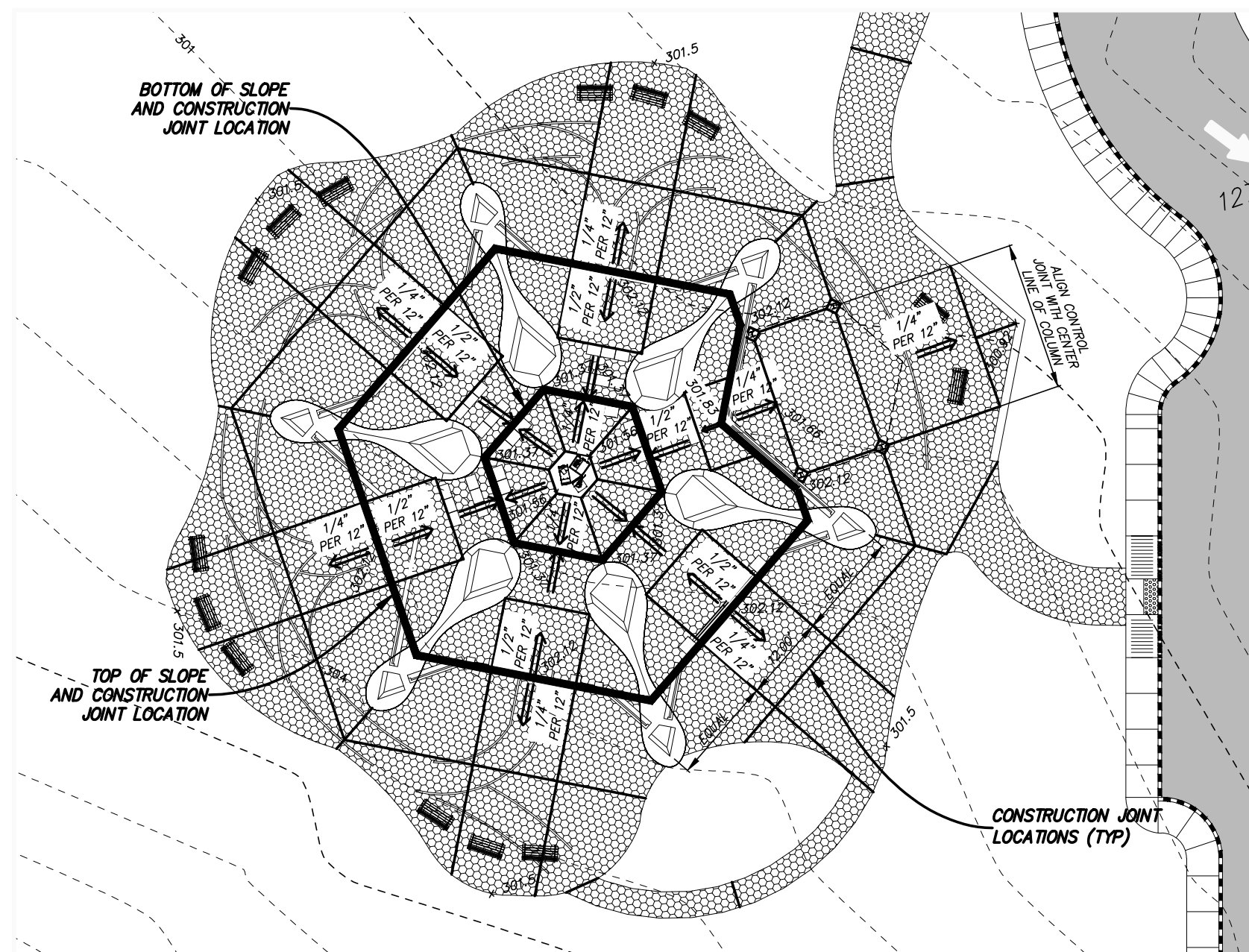
MAP NOT TO SCALE

EXISTING SITE COVERAGE STATISTICS

DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	90,604	2.08	100.0%
IMPERVIOUS AREA	0	0	0
BUILDING COVERAGE	0	0	0
PAVEMENT/SIDEWALK COVERAGE	0	0	0
PERVIOUS AREA	90,604	2.08	100.0%

PROPOSED SITE COVERAGE STATISTICS

DESCRIPTION	S.F.	ACRES	%
GROSS SITE AREA	90,604	2.08	100.0%
IMPERVIOUS AREA	31,812	0.73	35.11
BUILDING COVERAGE	0	0	0
PAVEMENT/SIDEWALK COVERAGE	31,812	0.73	35.11
PERVIOUS AREA	58,792	1.35	64.89

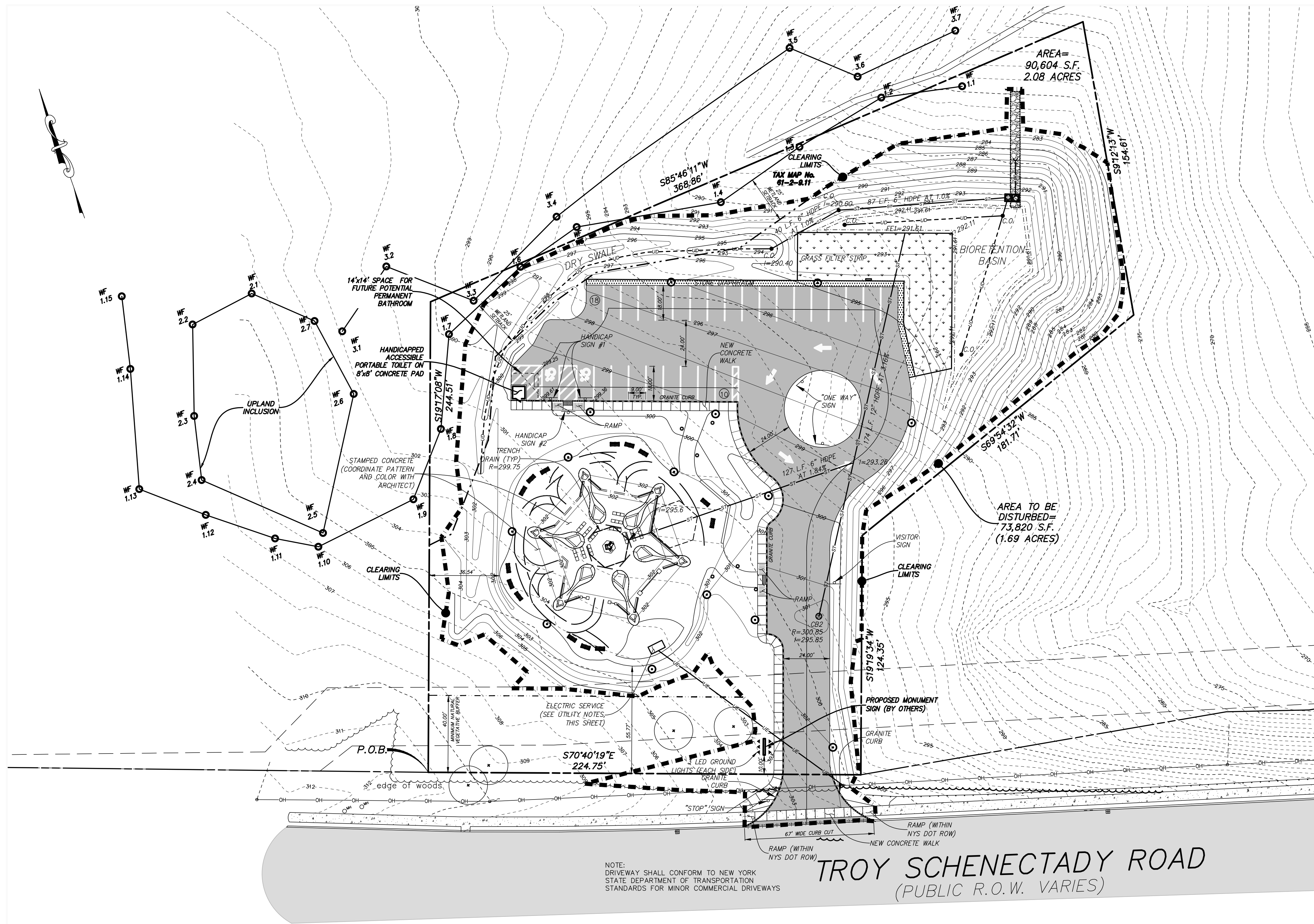


NOTE:

CONSTRUCTION JOINTS, AFTER CONCRETE HAS CURED, REMOVE TOP OF DEVICE, CON-TIE OR EQUAL, AND FILL WITH POLYSULFIDE CAULK.

CONSTRUCTION JOINT LOCATIONS AND SPOT ELEVATIONS FOR STAMPED CONCRETE PLAN

SCALE: 1"=20'



SITE PLAN

SCALE: 1"=30'

TOWN OF NISKAYUNA APPROVAL

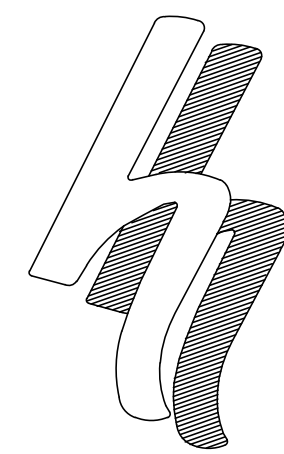
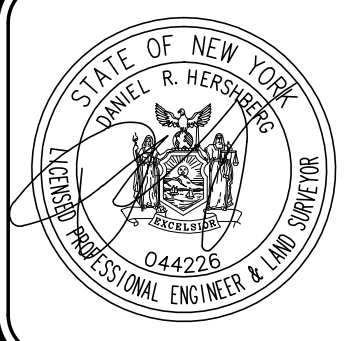
PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE

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&
HERSHBERGConsulting Engineers
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REMARKS	DATE
NEW MEMORIAL LAYOUT	5/1/19
GRADING AND LANDSCAPE REVS	5/19/19
DONOR WALL ADDED	6/12/19
SITE PLAN REVISIONS	8/29/19
COORDINATION WITH SWPPP	9/12/19
SIDEWALK TO RT 7/DRIVEWAY NOTE	12/16/19

REVISIONS

SITE PLAN FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

FILE: 170044 SCALE: 1"=30' CHK: DRH BY: MLW DATE: 5/1/17 170044-3.DWG

PLANT MATERIAL SCHEDULE									
SYM	AMT	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	MIN. BALL DIA.	MIN. PIT DIA.	SOURCE	REMARKS
MAJOR DECIDUOUS TREES									
AR	17	ACER RUBRUM VAR. 'OCTOBER GLORY'	RED MAPLE	2 1/1"-3" CAL.	B & B	28"	52"	NG, SP	
QR	9	QUERCUS RUBRUM	NORTHERN RED OAK	2 1/2"-3" CAL.	B & B	28"	52"	NG, SP	
QP	9	QUERCUS PALUSTRIS	PIN OAK	2 1/2"-3" CAL.	B & B	28"	52"	NG, SP	
MINOR DECIDUOUS TREES									
AA	4	AMELANCHIER ARBOREA	SERVICEBERRY	6'-7' HT.	B & B	20"	40"	NG	CLUMP FORM
AC	3	ACER CAMPESTRE	HEDGE MAPLE	2"-2 1/2" CAL.	B & B	24"	48"	NG	
CV	3	CRATAEGUS VIRIDIS	WINTER KING HAWTHORNE	2"-2 1/2" CAL.	B & B	24"	48"	NG, SP	
EVERGREEN TREES									
WF	7	ABIES CONCOLOR	WHITE FIR	6'-7' HT.	B & B	24"	48"	NG	SPACE 8" O.C.
JV	9	JUNIERUS VIRGINIANA	EASTERN RED CEDAR	6'-7' HT.	B & B	24"	48"	NG	
PA	3	PICEA ABIES	NORWAY SPRUCE	10'-12' HT.	B & B	27"	51"	NG	SPACE 8" O.C.
PS	10	PINUS STROBUS	WHITE PINE	7'-8' HT.	B & B	27"	51"	NG	
GRASSES									
SS	33	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUE STEM	#2 CONTAINER	CG			NG	SPACE 3' O.C.
PS	16	PANICUM VIRGATUM 'SHENANDOAH'	'SHENANDOAH' SWITCH GRASS	2 GAL.	CG				
HERBACEOUS PLANTS									
OC	16	OSMUNDA CINNAMOMEA	CINNAMON FERN	1 GAL.	CG				
SHRUBS									
IV	13	ILEX VERTICILLATA	WINTERBERRY	3'-4' HT.	B & B				
VD	12	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3' HT.	B & B				

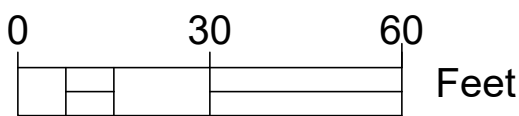
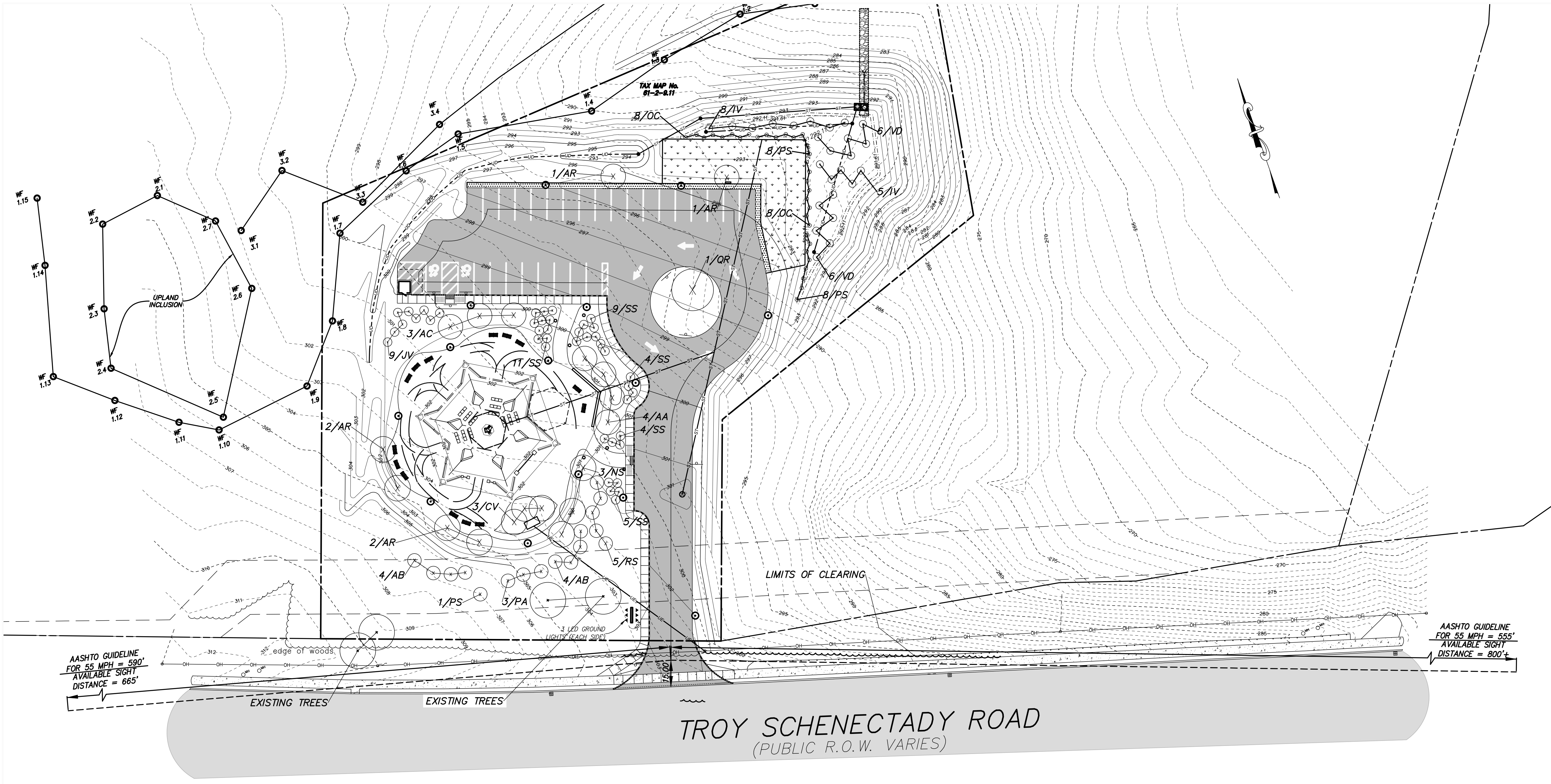
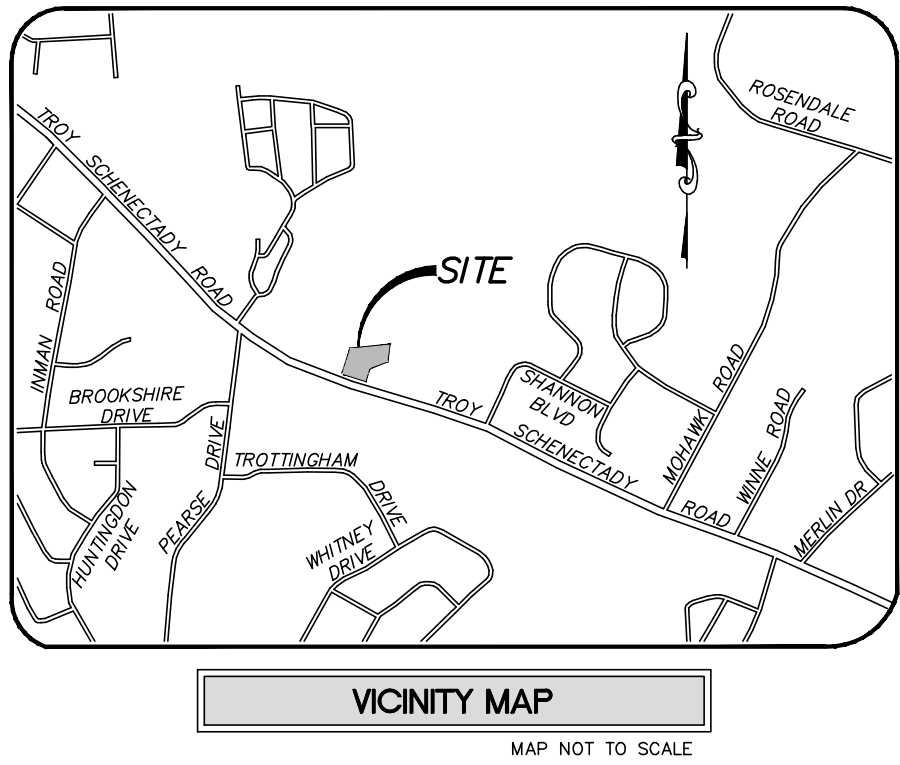
KEY TO ABBREVIATIONS:
ROOTS:
B&B - BALLED AND BURLAPPED
CG - CONTAINER GROWN
SOURCE:
NG - NURSERY GROWN
SP - FALL DIGGING HAZZARD
SIZE:
CAL. - CALIPER
SP - SPREAD
HT. - HEIGHT

EXISTING LEGEND	
R.O.W.	RIGHT OF WAY
No.	NUMBER
ENC.	ENCROACHMENT
P.O.B.	POINT OF BEGINNING
S.F.	SQUARE FEET
N/F	NOW OR FORMERLY
FL	FEET
Deg.	DEGREE
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W	WEST
TEL.	TELEPHONE
ELC.	ELECTRIC
L	LIBER
P.	PAGE
MONUMENT	
IRON ROD	
MANHOLE	
CATCHBASIN	
SIGN	
BOLLARD	
FENCE LINE	
GUARD RAIL	
OVERHEAD WIRE, UTILITY POLE & GUY WIRE	
WATER SHUT OFF	
WATER VALVE	
HYDRANT	
GAS VALVE	
STREET LIGHT	
LIGHT POLE	
CONCRETE	
PAVEMENT	

PROPOSED LEGEND	
PROPOSED LIGHT POLE	
PROPOSED LIGHT BOLLARD	
PROPOSED LANDSCAPING	

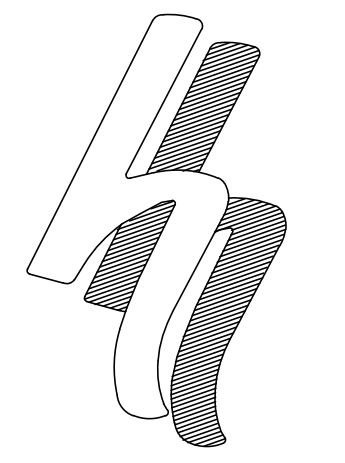
1. EXISTING TREES TO REMAIN TO BE TAGGED.

GENERAL NOTES	
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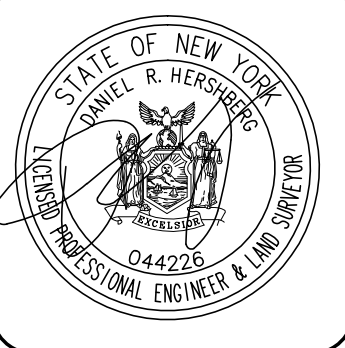
TOWN OF NISKAYUNA APPROVAL	
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

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HERSHBERG & HERSHBERG
Consulting Engineers and Land Surveyors
18 Locust Street
Albany, New York 12203

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REVISIONS	DATE	REMARKS
NEW MEMORIAL LAYOUT	5/7/19	
GRADING AND LANDSCAPE REVS	5/8/19	
DONOR WALL ADDED	5/8/19	
SITE PLAN REVISIONS	8/29/19	
SIGHT DISTANCE LINES ADDED	11/26/19	
SIDEWALK TO RT 7	12/16/19	

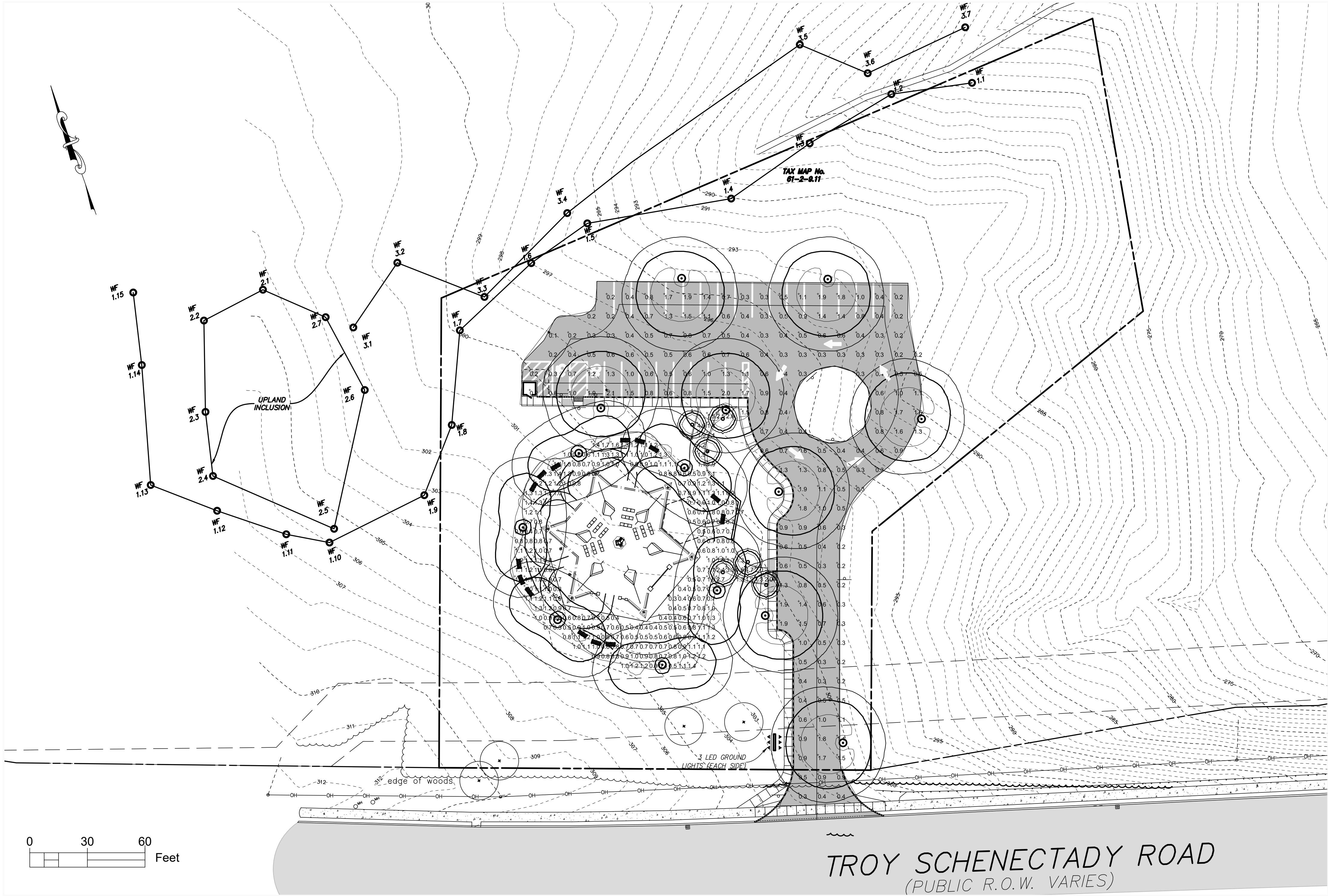
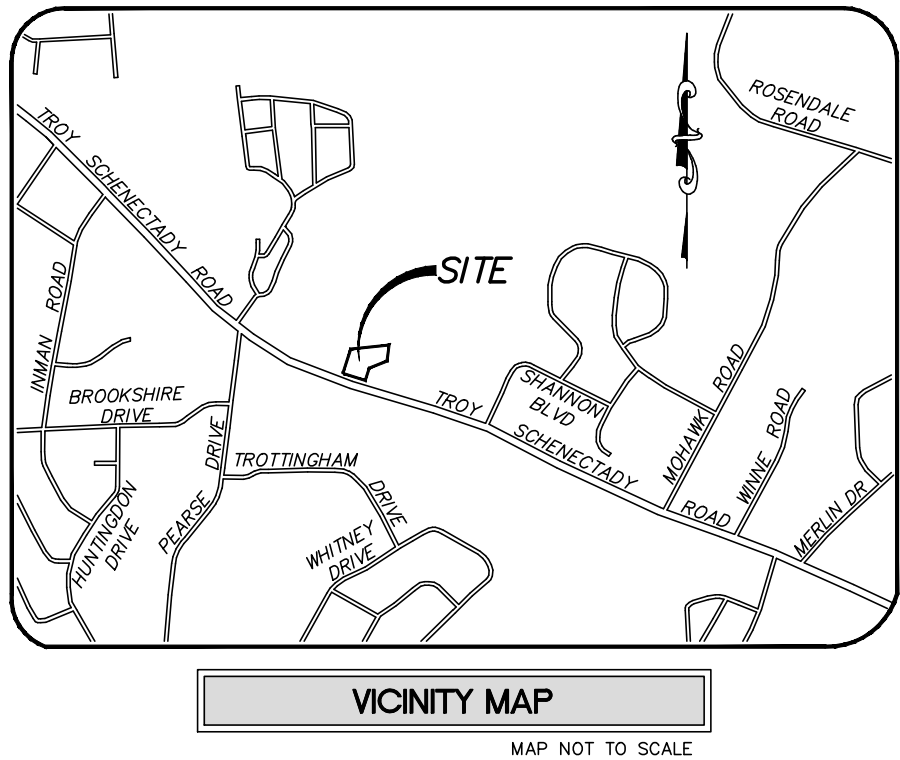
LANDSCAPE AND SIGHT DISTANCE PLAN FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK



EXISTING LEGEND			
R.O.W.	RIGHT OF WAY	□	MONUMENT
No.	NUMBER	○	IRON ROD
enc.	ENCROACHMENT	○	MANHOLE
P.O.B.	POINT OF BEGINNING	⊞	CATCHBASIN
S.F.	SQUARE FEET	—	SIGN
N.Y.	NOW OR FORMERLY	•	BOLLARD
Fl.	FEET	—	FENCE LINE
Dep.	DEGREE	—	GUARD RAIL
R	RECORD	—	OVERHEAD WIRE, UTILITY POLE & GUY WIRE
M	MEASURED	⊙	WATER SHUT OFF
N	NORTH	⊙	WATER VALVE
S	SOUTH	⊙	HYDRANT
E	EAST	⊙	GAS VALVE
W	WEST	⊙	STREET LIGHT
tel.	TELEPHONE	⊙	LIGHT POLE
elec.	ELECTRIC	⊙	
L	LBER	⊙	
P.	PAGE	⊙	

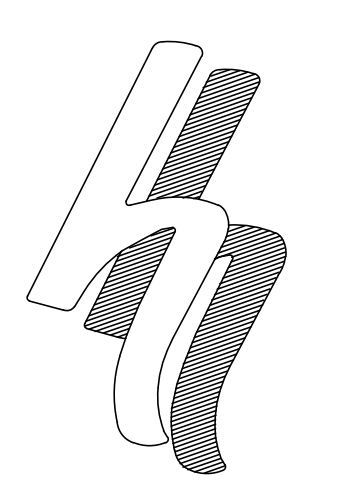
EXISTING LEGEND	
○	PROPOSED LIGHT POLE
○	PROPOSED BOLLARD

Schedule							
Symbol	Label	TY	Manufacturer	Catalog Number	Description	Lumens (or Lum.)	LLF Wattage
○	SL1	8	Lithonia Lighting	RADPT LED P1 40K ASY MVOLT RADPT20 DOBXD RSS 12-48 T20 DOB	RADEAN Post-To- with P1 4000K Asymmetric distribution	3168	0.9 25,4134
○	SL2	6	Lithonia Lighting	RADPT LED P1 40K PATH MVOLT RADPT20 DOBXD RSS 12-48 T20 DOB	RADEAN Post-To- with P1 4000K Pathway distribution	2593	0.9 25,4134
○	BL1	6	Lithonia Lighting	RADB LED P1 40K SYM DOBXD	RADB LED P1 40K SYM DOBXD	331	0.9 5,21



TOWN OF NISKAYUNA APPROVAL	
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

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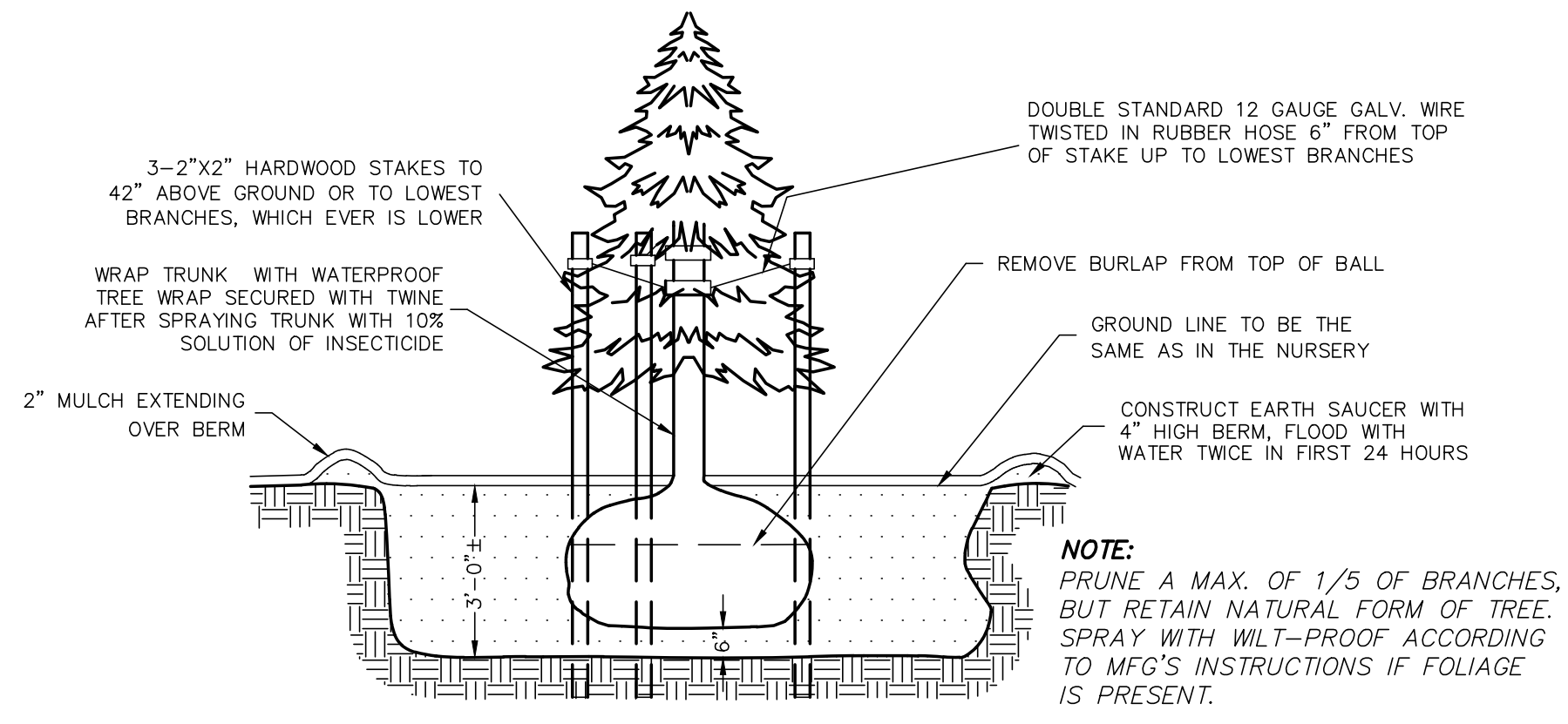
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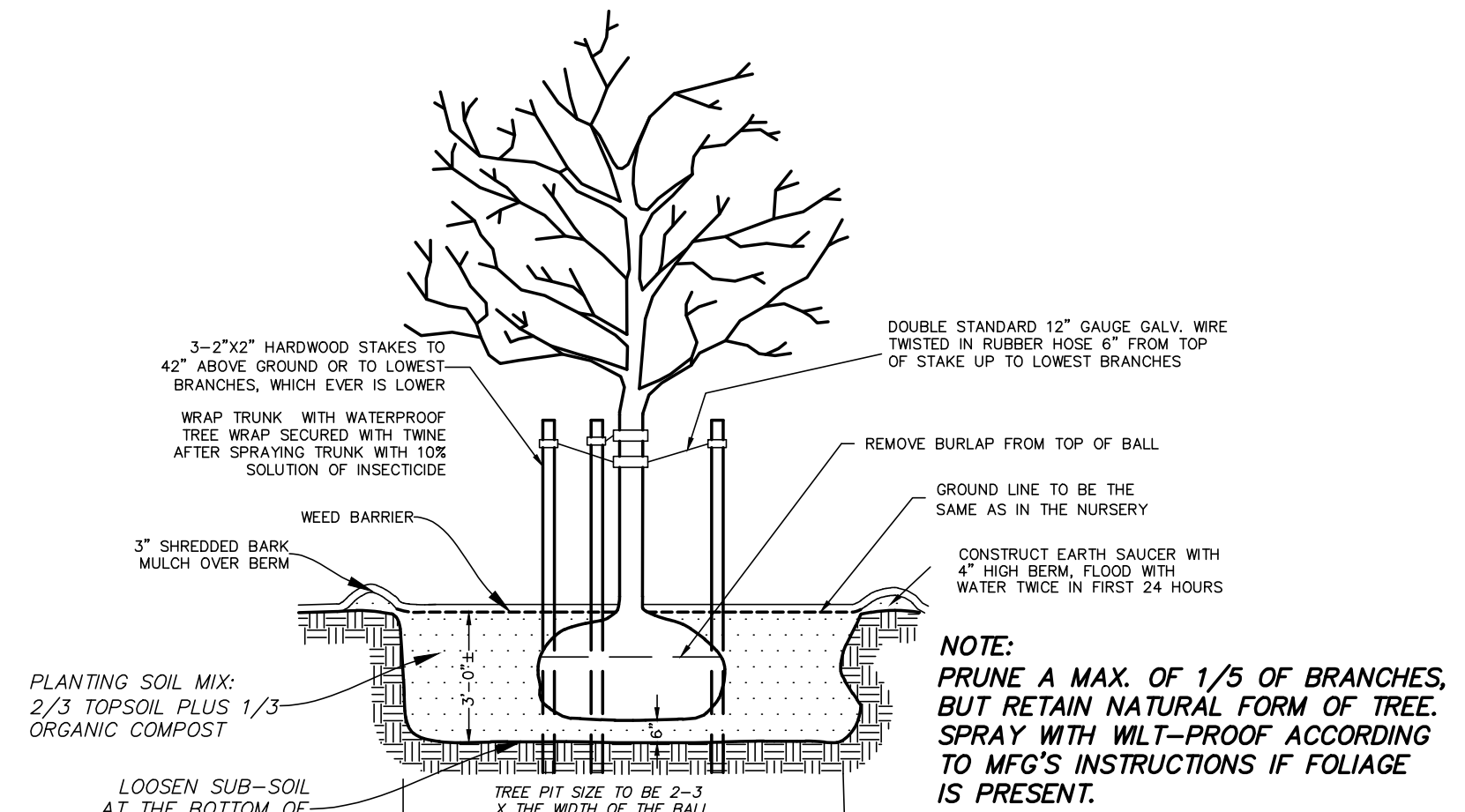
REVISIONS	DATE	REMARKS
LANDSCAPING REVISED	3/19/18	
NEW MEMORIAL LAYOUT	5/1/19	
GRADING AND LANDSCAPE REVISED	5/15/19	
DONOR WALL ADDED	8/19/19	
SITE PLAN REVISIONS	8/29/19	
SIDEWALK TO RT 7	12/16/19	

LIGHTING PLAN FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

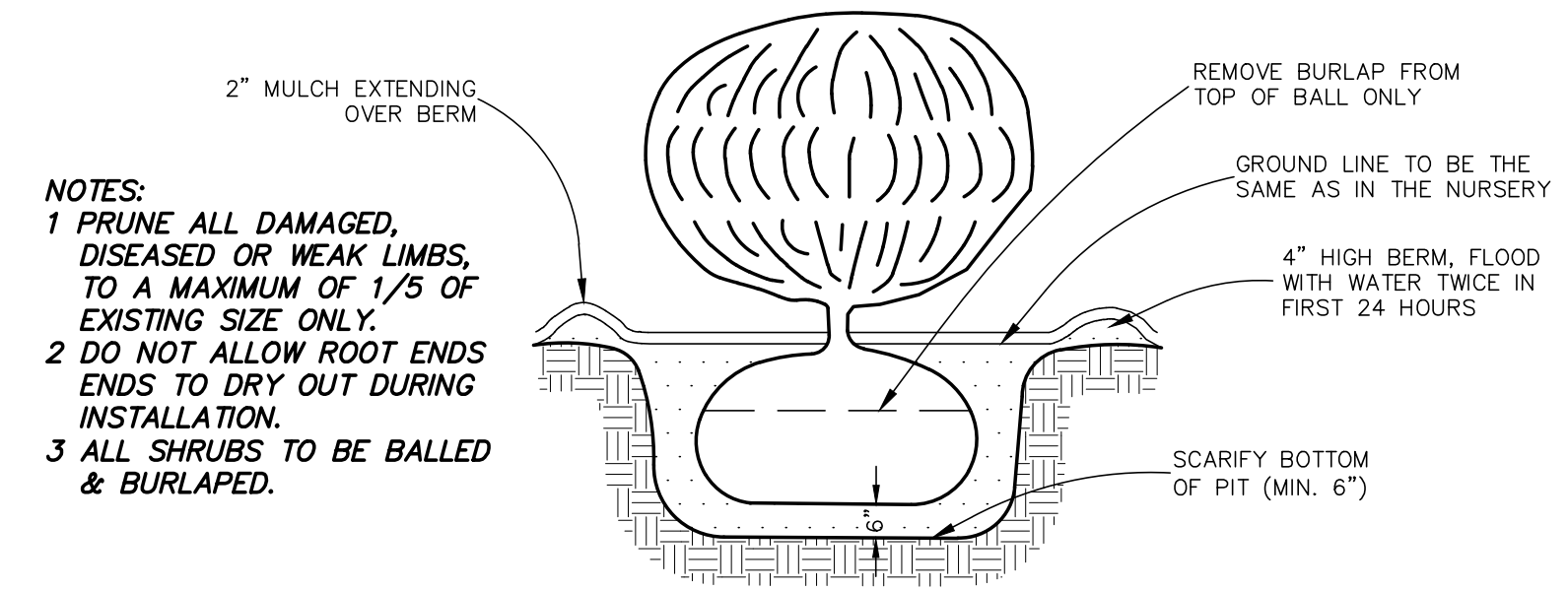
FILE: 170044 SCALE: 1"=30' DATE: 5/1/17 CHK: DRH BY: MLW



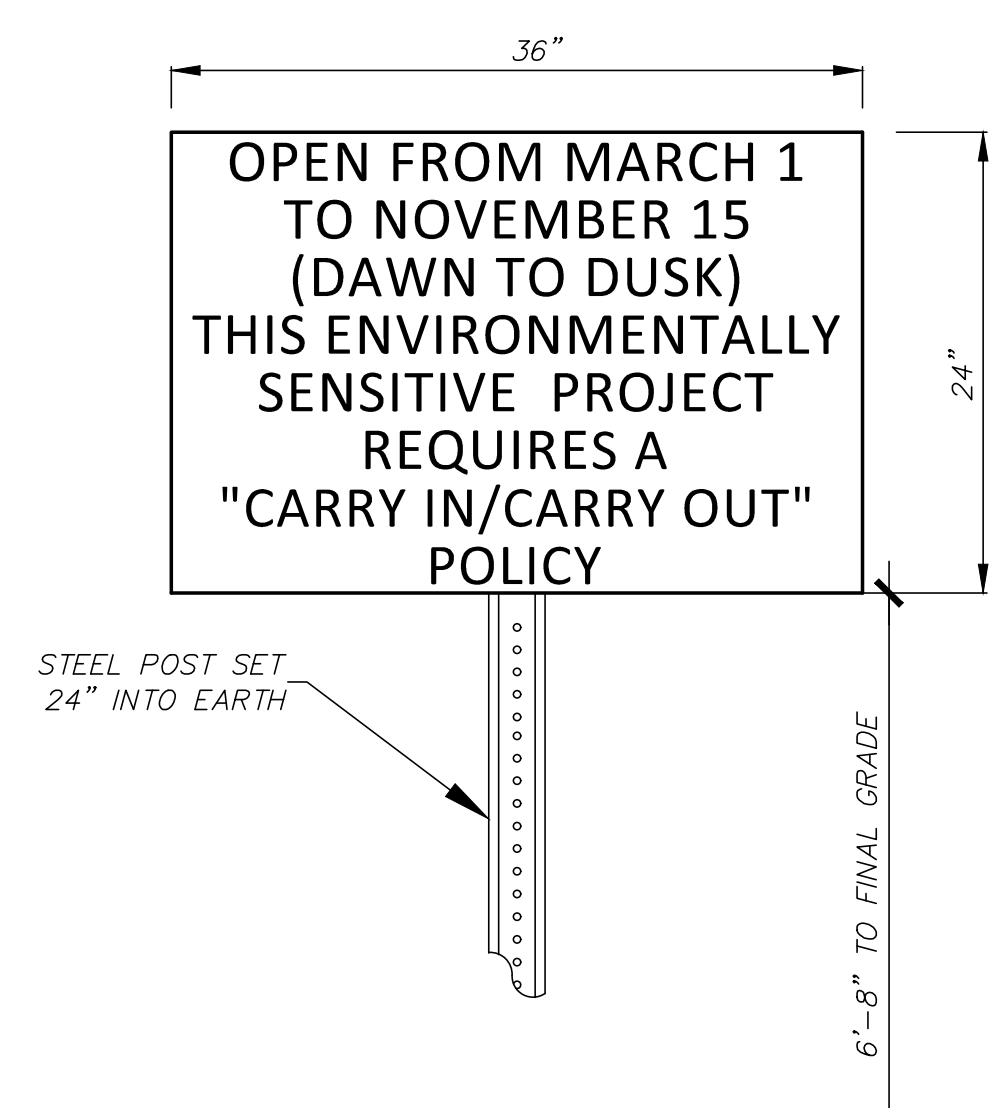
NEW EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



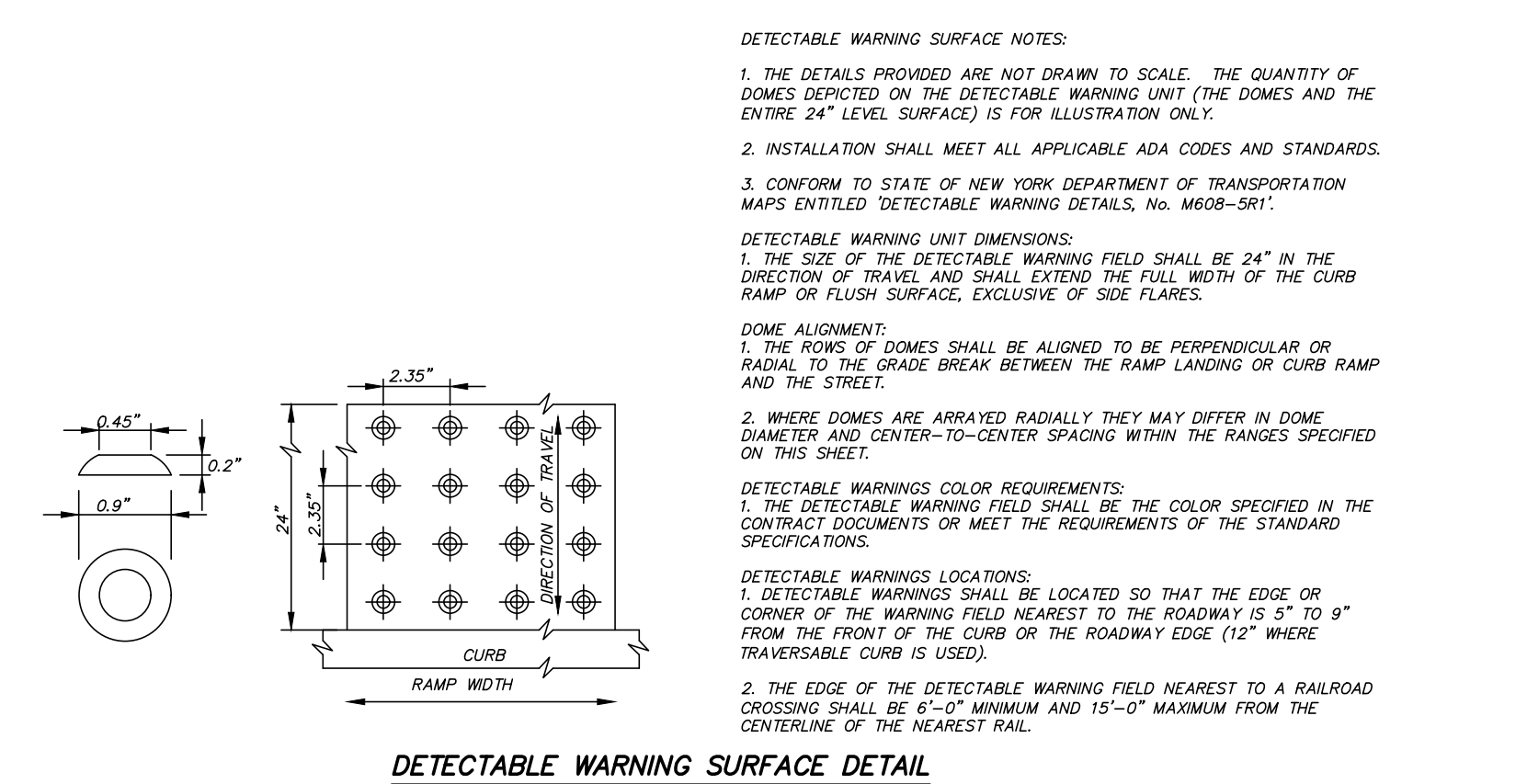
NEW DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



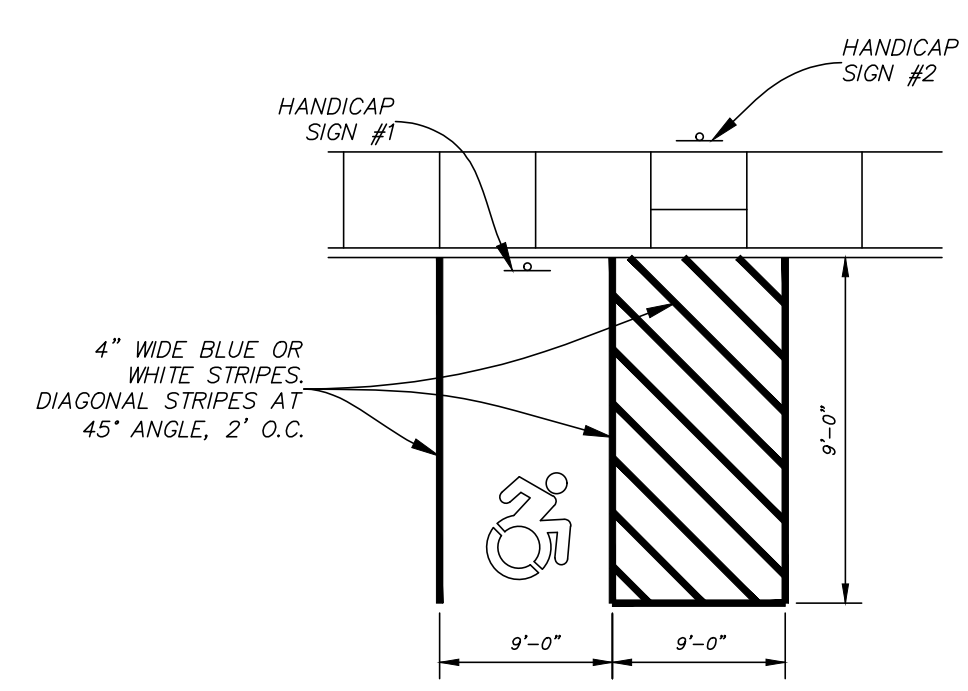
SHRUB PLANTING DETAIL
NOT TO SCALE



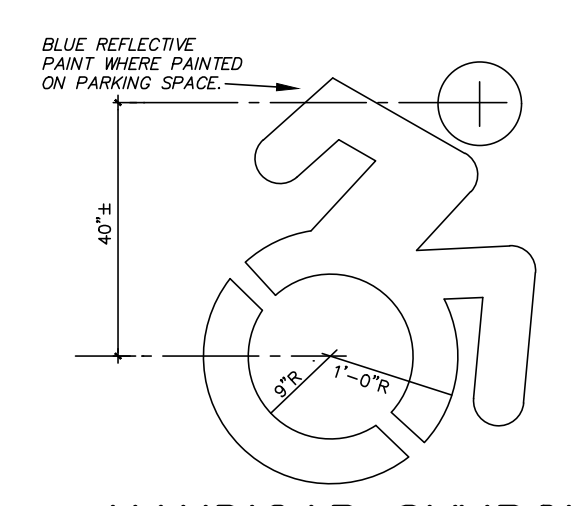
VISITOR SIGN
NOT TO SCALE



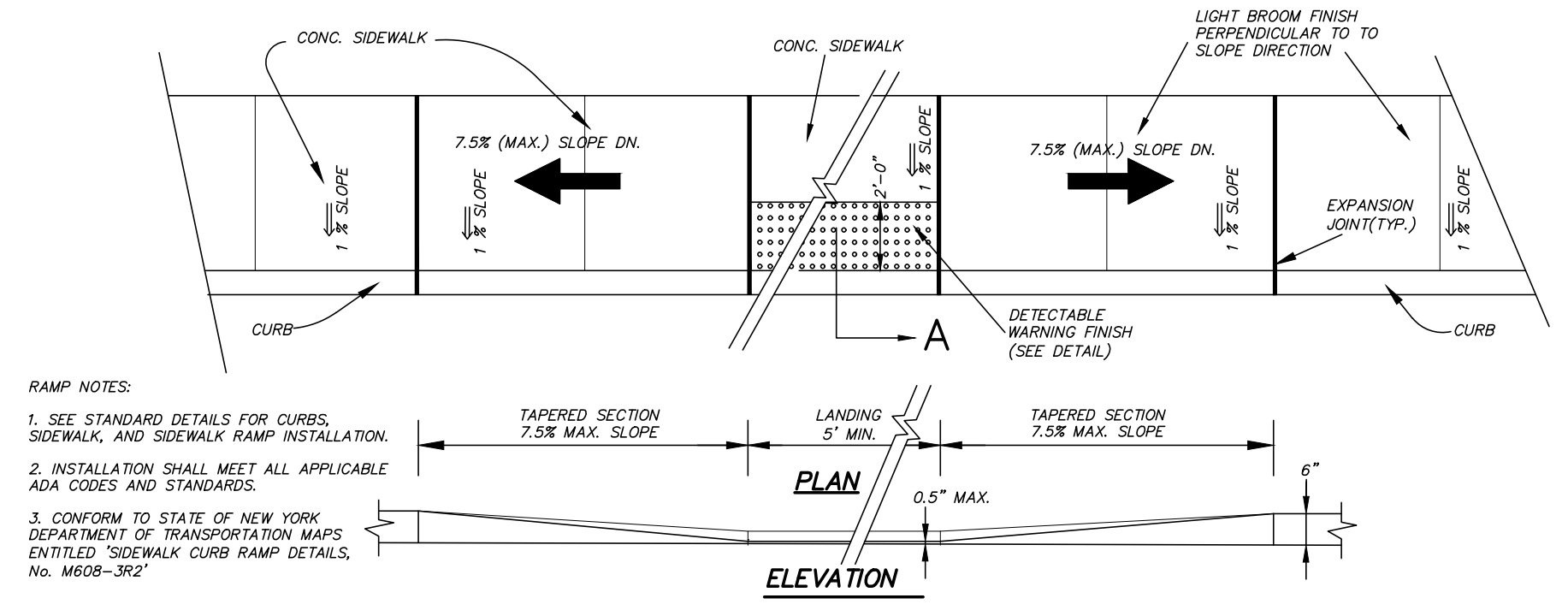
DETECTABLE WARNING SURFACE DETAIL



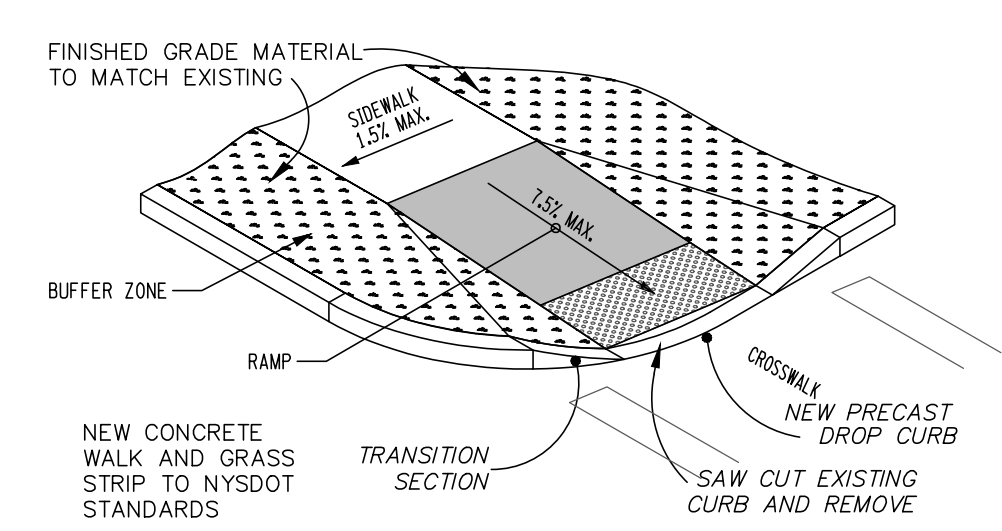
HANDICAPPED PAVEMENT STRIPING DETAIL
NOT TO SCALE



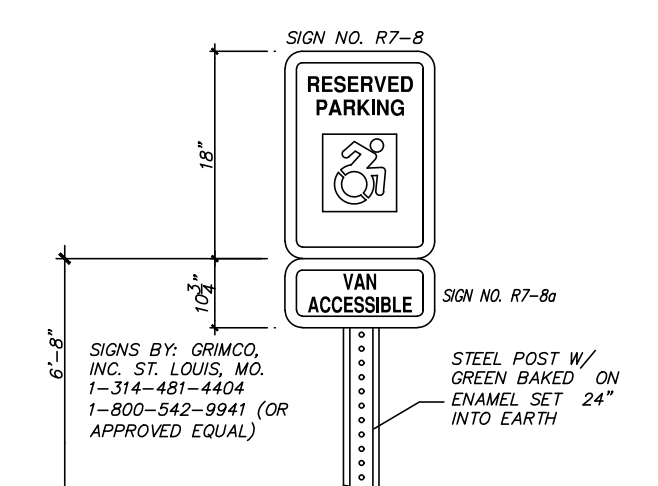
HANDICAP SYMBOL
NOT TO SCALE



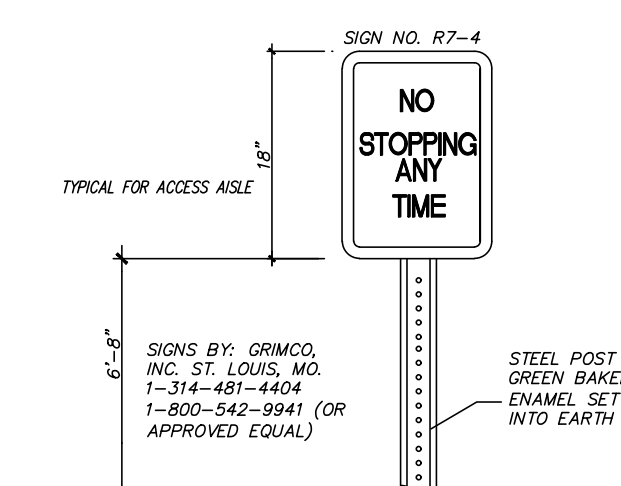
HANDICAPPED RAMP (WITHIN PARKING LOT) PLAN
NOT TO SCALE



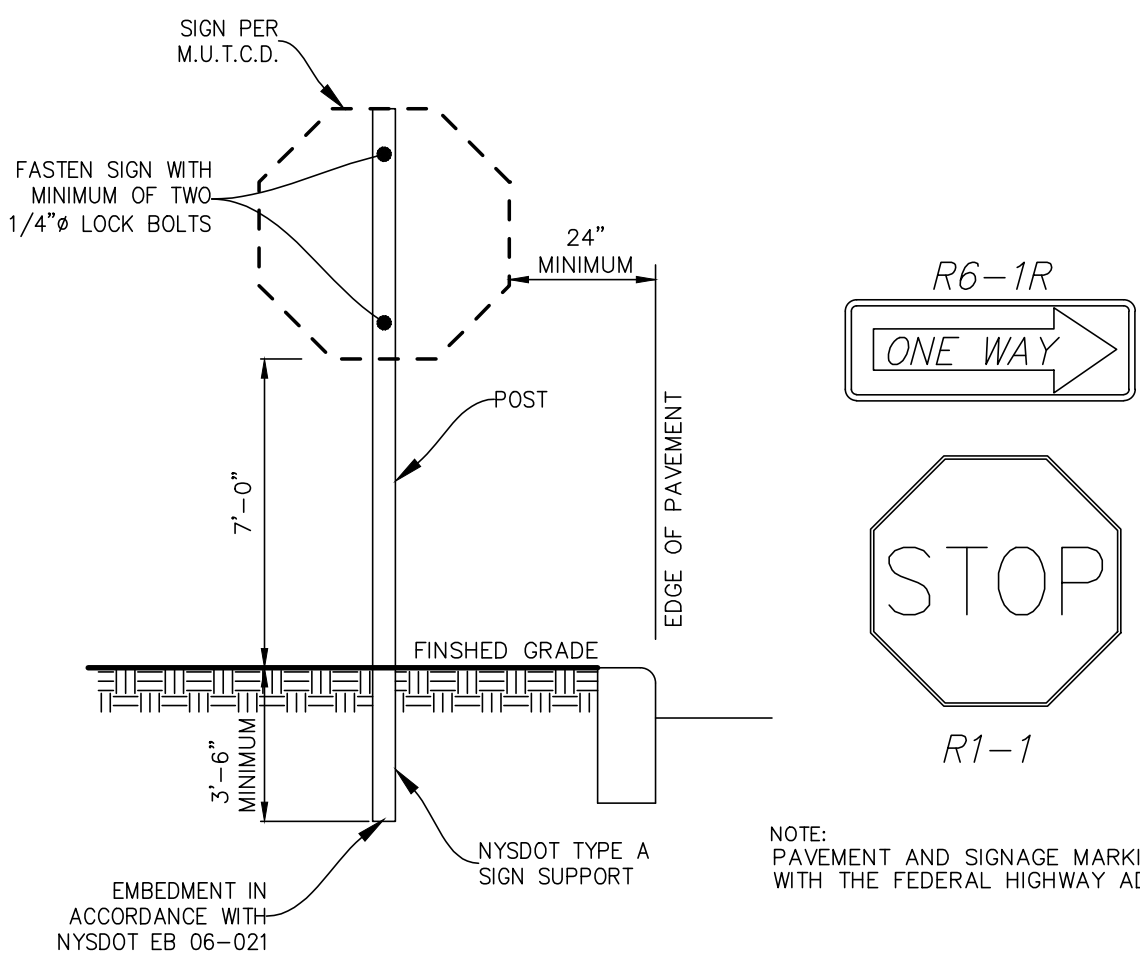
RAMP DETAIL IN NYSDOT ROW
NOT TO SCALE



HANDICAP SIGN #1
N.T.S. TYPICAL FOR PARKING SPACE



HANDICAP SIGN #2
N.T.S. TYPICAL FOR ACCESS AISLE



SIGN INSTALLATION DETAIL
NOT TO SCALE

TOWN OF NISKAYUNA APPROVAL

PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

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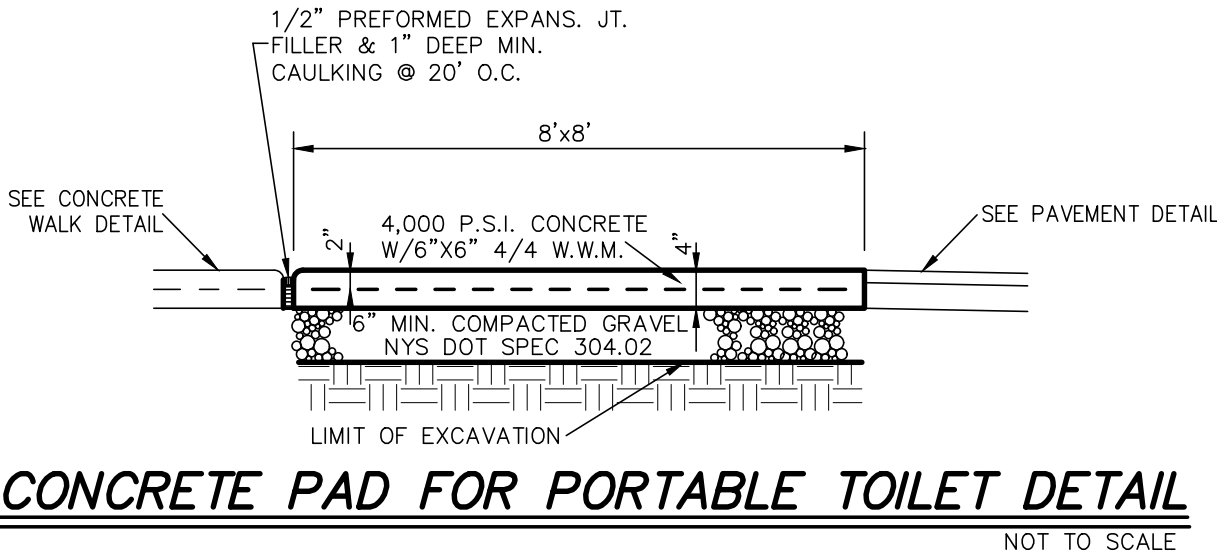
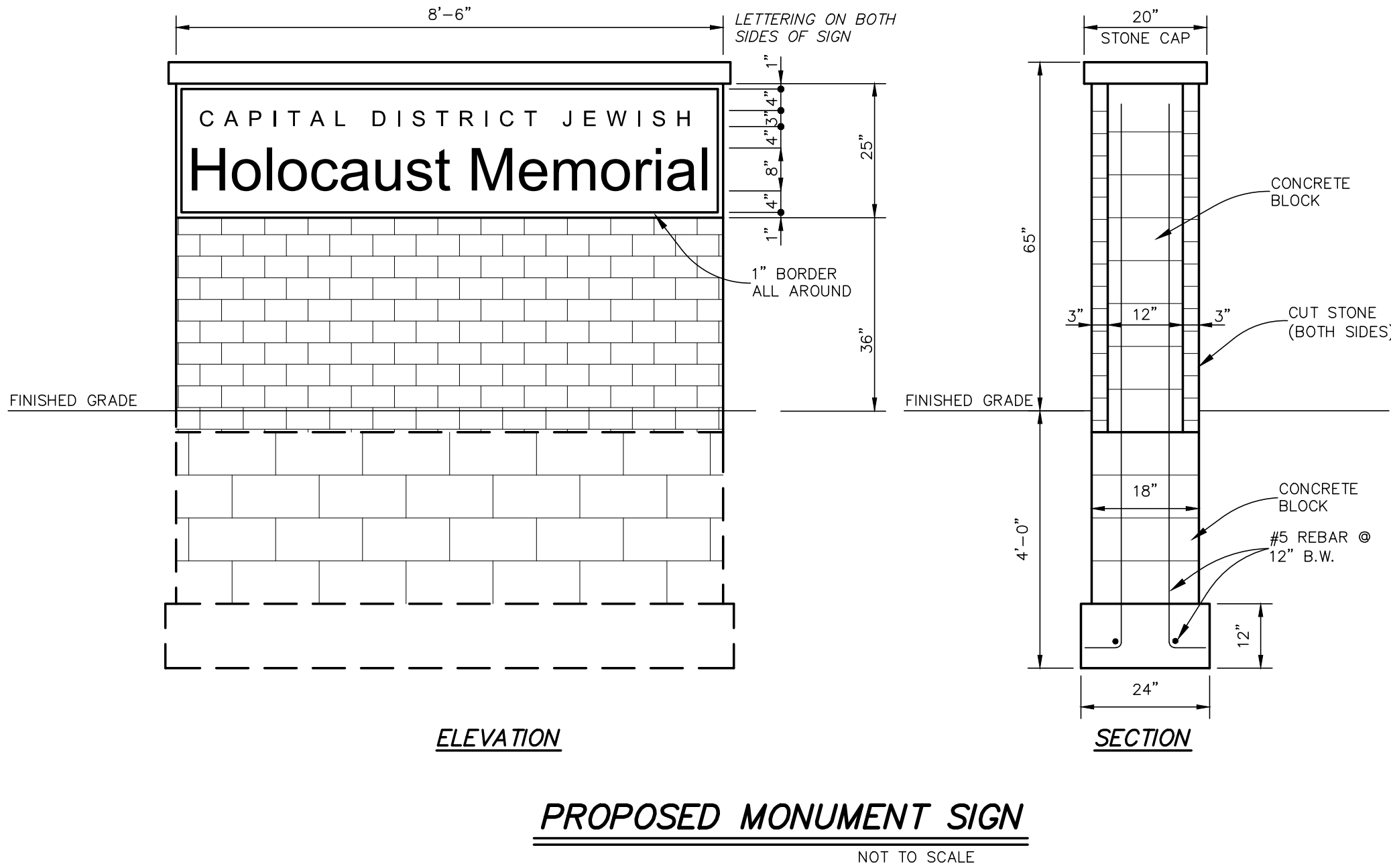
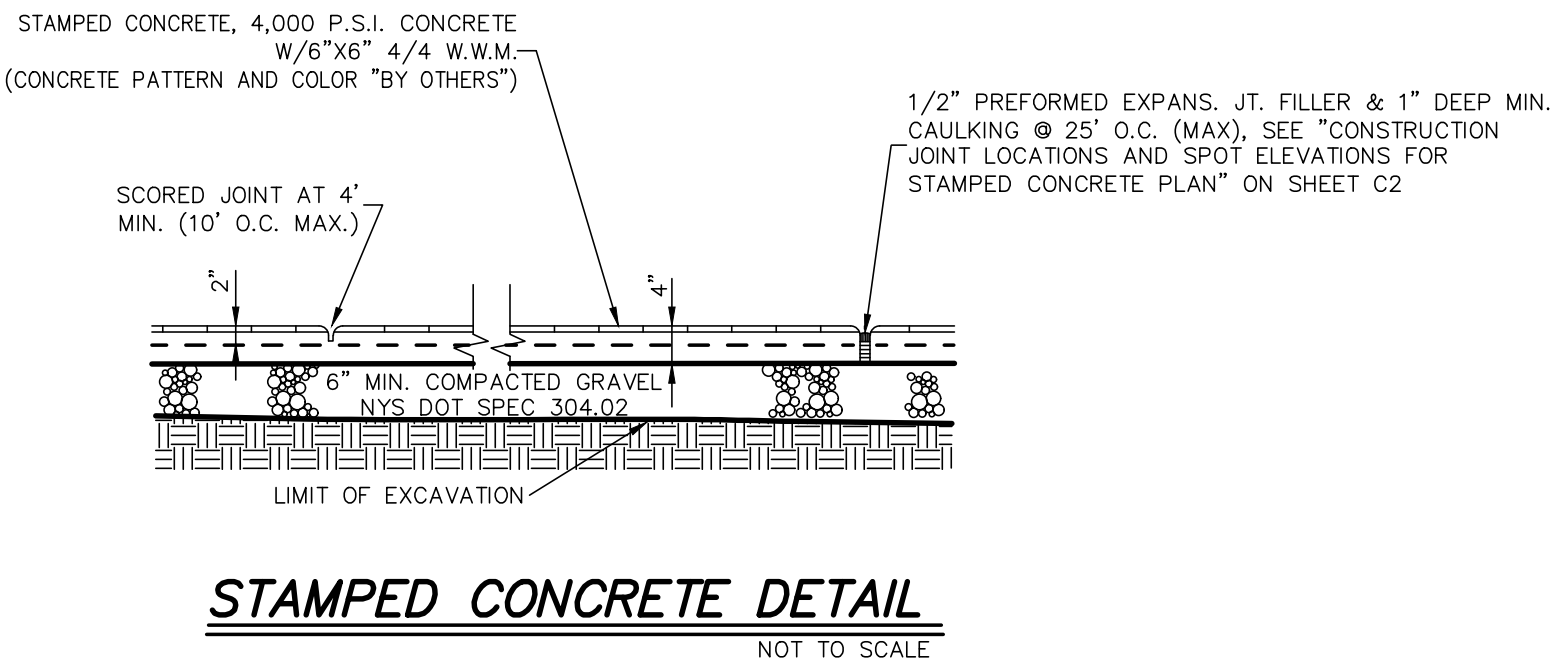
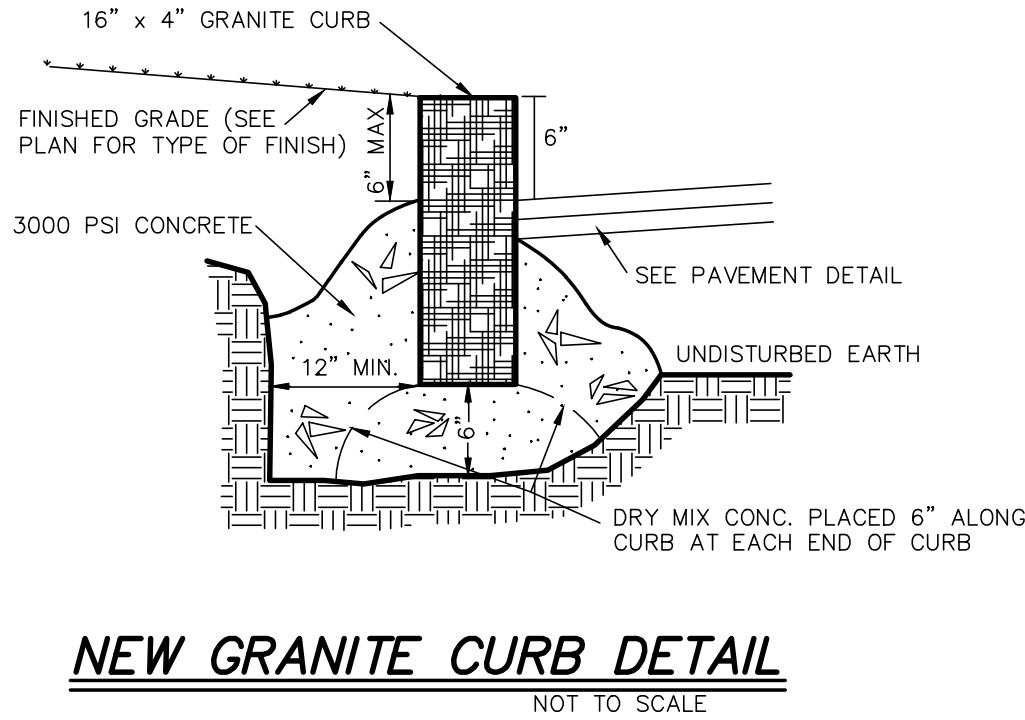
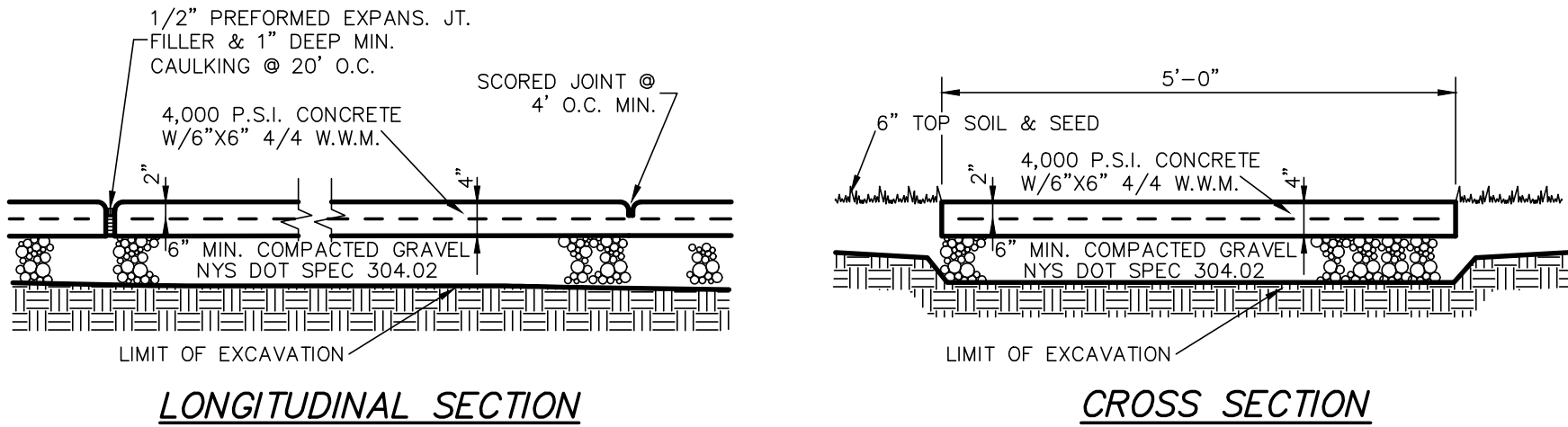
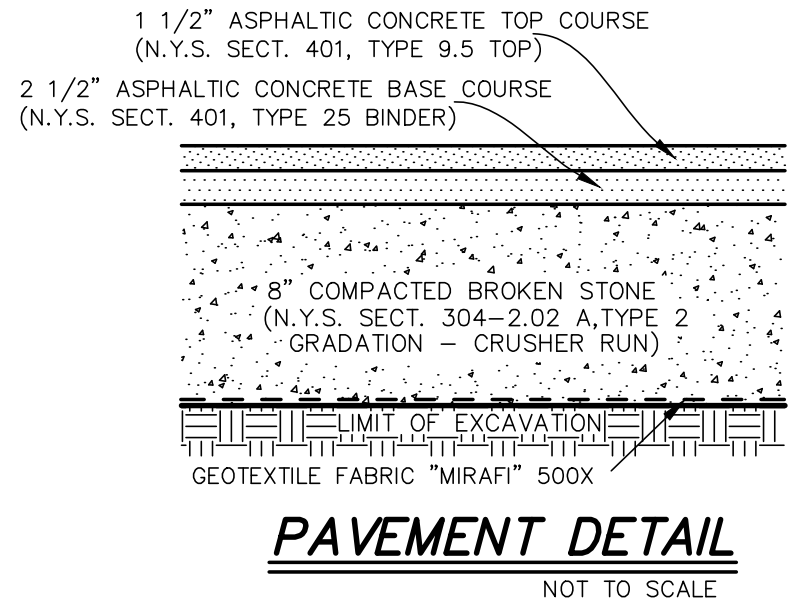
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REMARKS	DATE
SITE PLAN REVISIONS	8/29/19
VISITOR SIGN REVISION	12/16/19

REVISIONS

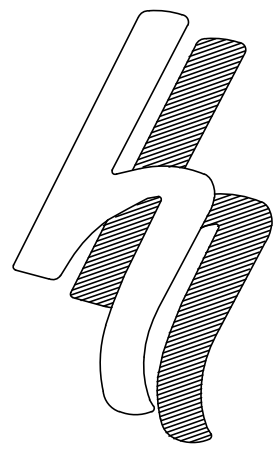
SITE DETAILS FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

FILE: 170044
SCALE: AS NOTED
CHK: DRH
DATE: 1/17/18
BY: MLW
770044-JDWG



TOWN OF NISKAYUNA APPROVAL	
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE

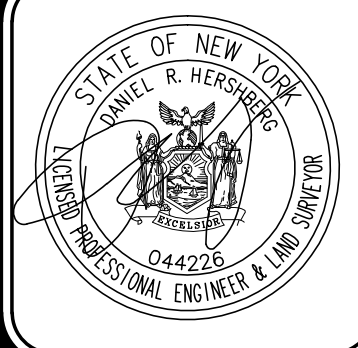
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REVISIONS	DATE
1	8/29/19
2	
3	
4	
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6	
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9	
10	

SITE DETAILS FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

170044-2.DWG

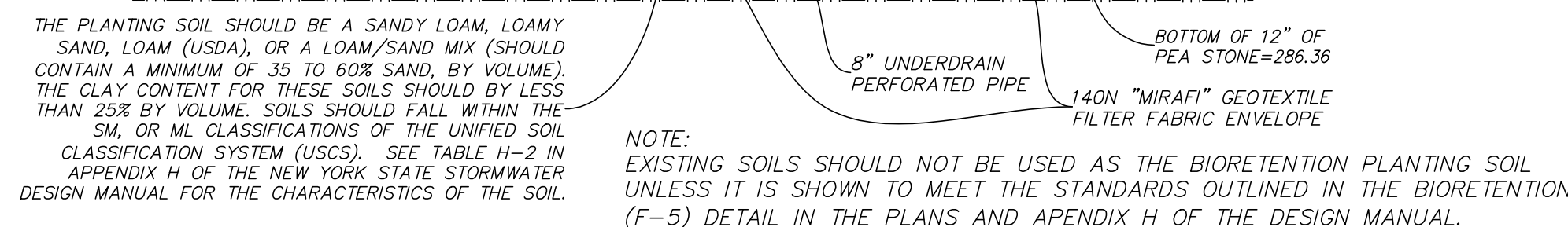
DATE: 1/17/18

CHK: DRH

BY: MLW

SCALE: AS NOTED

FILE: 170044



SWPPP AREAS No. 1 & 2
WQv=3,209 C.F.
PRETREATMENT VOLUME REQUIRED
(25% OF WQv)=802 C.F.
PRETREATMENT VOLUME PROVIDED
=1,665 C.F. (DRY SWALE &
STONE DIAPHRAGM)

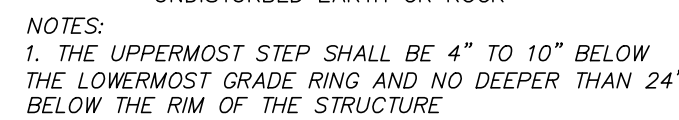


Diagram illustrating the outlet assembly for a bio-retention basin. The components shown include:

- DRAINAGE GRATE (SUBMIT SHOP DRAWINGS) IN BIO RETENTION BASIN
- FINISHED GRADE
- SOLID PVC
- PVC BELL END ADAPTER
- 6" H.D.P.E.
- GASKET
- 135° ELBOW FITTING
- 8"x6"x8" WYE
- SPLIT END CAP
- FLOW direction indicated by an arrow.

Z880 PERMA-TRENCH AS MANUFACTURED BY ZURN OR APPROVED EQUAL. COLOR AND GRATE OPTION "BY OTHERS"

4" MIN

2 1/2"

1 3/4"

4" MIN

1/2" PREFORMED EXPANS. JOINT FILLER & 1" DEEP MIN. CAULKING (TYP)

1/2" MIN

4000 P.S.I. CONCRETE

5 3/4"

1/2" OR 5/8" REBAR

STAMPED CONCRETE - SEE DETAIL

STAMPED CONCRETE - SEE DETAIL

FINISH GRADE (RESTORE TO MATCH ADJACENT GRADE)

SAW-CUT ALL EXISTING PAVED AREAS AS REQUIRED

SUITABLE GRANULAR MATERIAL FROM EXCAVATION OR TRENCH BACKFILL COMPACTED IN 6" LAYERS (MAXIMUM)

12" MIN.

1/2 O.D.

6" MIN.

PIPE

PROVIDE SHEETING OR SLOPE TRENCH WALLS AS REQUIRED BY STATE OR FEDERAL CODES

SELECT GRANULAR TRENCH BACKFILL SAND—NYSDOT SPEC. 203-3.15

BEDDING MATERIAL—CRUSHED STONE 6" COMPACTED CRUSHED STONE NYS DOT SPEC 703-0201, TABLE 703-4, SIZE 1A

O.D. + 2'-0"

Diagram illustrating a cross-section of a stormwater management system, showing various components and elevations:

- Dimensions:**
 - Basin 1 width: 3'
 - Basin 2 width: 4.5'
 - Basin 3 width: 3'
 - Basin 4 width: 4.5'
 - Basin 1 depth: 3'
- Elevations:**
 - 100 YEAR STORM (+4.7') ELEV.=+5.0'
 - 10 YEAR STORM (+3.69') ELEV.=+3.5'
 - 2:1 SLOPE OR FATTER (TYP.)
 - 30" PERMEABLE SOIL
 - 12" OF GRAVEL ELEV.=+1.0'
 - 6" UNDERDRAIN PERFORATED PIPE ELEV.=0.0'
 - 1 YEAR STORM (+0.97')
- Components:**
 - SEE PAVEMENT DETAIL
 - PEA GRAVEL DIAPHRAGM
 - FILTER FABRIC
- Section View:** The diagram is labeled "SECTION VIEW" at the bottom.

Diagram illustrating the dimensions and materials for a sand trap:

- Top width: 5' WIDE
- Side slope: 4" TO 12"
- Bottom width: 3"
- Height: 1'
- Material: MIRAFIX 500X OR EQUAL
- Fill: LIGHT STONE FILL (NYS DOT ITEM 620.03)

OVERFLOW RIP-RAP CHANNEL

2.0'

4.0'

2.50'

2.0'

0.50'

GEOTEXTILE FABRIC
"MIRAFI 500X",
TYPICAL

6" INLET PIPE
l=289.13

0.50'

AS REQUIRED

0.66'

ORIFICE
6"ø l=291.00

0.50'

INLET PIPE

5"ø l=288.80

ORIFICE

4"ø l=288.50

ORIFICE

2.5"ø l=286.36

2.00'

12" OUTLET PIPE

OUTLET ELEVATION
l=286.36

INLET ELEVATION
l=289.36

SECTION A'-A'

SECTION B'-B'

PLAN

MH. STEPS
ACCESS COVER ABOVE
ORIFICE 4" l=288.50
ORIFICE 2.5" l=286.36
ORIFICE 6" l=291.00
ORIFICE 5" l=288.80
MORTAR (TYP.)
6" INLET PIPE
12" OUTLET PIPE
36" MIN.
95"
0.50'
0.50'
0.50'
CONCRETE STRUCTURE IS 4"x5" AND 30" I CHAMBER. SUBMIT FOR OR APPROVED EQUAL POLYMER

TOWN OF NISKAYUNA APPROVAL

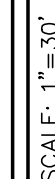
PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE

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TEMPORARY EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE JULY 2016 "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (aka: THE BLUE BOOK) EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. IT IS THE INTENT OF THESE PLANS AND NOTES TO BE USED AS A GUIDE BY THE CONTRACTOR TO ENSURE THAT NO ERODED MATERIAL MIGRATES FROM THE SITE OR ENTERS ANY WATER COURSE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THIS GOAL IS MET, BY IMPLEMENTING THESE PLANS AND ANY ADDITIONAL MEANS THAT MAY BE NECESSARY. FURTHER MEASURES MAY BE REQUIRED BY THE CITY, VILLAGE, OR TOWN ENGINEER, WHILE MANY OF THE EROSION CONTROL DETAILS CONTAINED WITHIN THESE PLANS ARE TAKEN DIRECTLY FROM THE BLUE BOOK, THE CONTRACTOR SHOULD CONSIDER ANY OF THE DETAILS CONTAINED IN THE JULY 2016 NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AS ACCEPTABLE PRACTICE IN THE APPROPRIATE APPLICATION.
3. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAINFALL EVENT THROUGHOUT THE ENTIRE DEVELOPMENT PROCESS, TO ASSURE PROPER FUNCTION. SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REPAIRED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL SEDIMENT ACCUMULATED SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPILL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDD AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED. DURING THESE PERIODIC INSPECTIONS, THE FOLLOWING ITEMS SHOULD BE PAID PARTICULAR ATTENTION:
 - A. THE BASIN INLET LOCATIONS SHALL BE INSPECTED FOR SILT ACCUMULATION CAUSED BY THE LACK OF ESTABLISHED SURROUNDING VEGETATION.
 - B. CATCH BASINS SHALL BE CHECKED FOR SEDIMENT ACCUMULATION.
 - C. RIP-RAP OUTLET PROTECTION SHALL ALSO BE CHECKED FOR SEDIMENT ACCUMULATION. IF SIGNIFICANT AMOUNTS OF SEDIMENT ACCUMULATE, RIP-RAP SHALL BE REMOVED AND REPLACED.
 - D. STONE CHECK DAMS AND SILT FENCING SHALL BE INSPECTED REGULARLY FOR UNDERMINING AND DETEIORATION.
 - E. SEEDD/MULCHED AREAS SHALL BE INSPECTED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE REPAIRED AS NECESSARY.
4. EROSION CONTROL DEVICES SHALL NOT BE REMOVED UNTIL THE CITY, VILLAGE OR TOWN ENGINEER HAS APPROVED FINAL STABILIZATION.
5. STONE CHECK DAMS AND SILT FENCE SHALL BE INSTALLED IN ACCORDANCE WITH PLAN AND DETAIL LOCATIONS AND AS DESCRIBED IN GP-0-15-002.
6. PRIOR TO CONSTRUCTION OF ANY PHASE, THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED.
7. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES. EQUIPMENT SHALL NOT OPERATE, UNNECESSARILY.
8. EXISTING PAVEMENT AREAS SHALL BE CLEANED AT THE DIRECTION OF THE CITY, VILLAGE, OR TOWN ENGINEER.
9. WATER TRUCKS SHALL BE USED TO MINIMIZE DUST POLLUTION ON SITE, AND ON ADJACENT ROADWAYS ROADWAY AREAS AS DIRECTED BY THE CITY, VILLAGE, OR TOWN ENGINEER.
10. ANY WATER PUMPED AS A RESULT OF DEWATERING ACTIVITIES SHALL BE PUMPED INTO A DEWATERING PIT.
11. CONCRETE WASHOUT AREAS SHALL BE DESIGNATED BY THE DESIGN ENGINEER AND PROTECTED IN ACCORDANCE WITH GP-0-15-002.
12. ALL AREAS DISTURBED IN THE CONSTRUCTION PROCESS SHALL BE RE-SEEDD AS SOON AS PRACTICABLE. PARTICULAR CARE SHALL BE TAKEN TO RE-SEED DISTURBED SLOPES IN A TIMELY MANNER.
13. IT IS RECOMMENDED THAT ALL EROSION CONTROL DEVICES BE PLACED FOR THE ENTIRE PHASE AS SHOWN ON THE EROSION CONTROL PLAN. PLACEMENT MAY BE DONE, HOWEVER, TO SUIT CONSTRUCTION SEQUENCING AS APPROVED BY THE CITY, VILLAGE, OR TOWN ENGINEER.
14. STOCK PILES SHALL BE PROTECTED BY A SEDIMENT CONTROL FENCE OR TEMPORARY SEDIMENT CONTROL TRENCH PER GP-0-15-002. THESE FENCES/TRENCHES SHALL BE MAINTAINED IN GOOD CONDITION UNTIL SAID STOCK PILES ARE REMOVED AND STOCK PILING AREAS ARE PERMANENTLY STABILIZED.
15. STOCK PILES SHALL BE SEEDD UPON SUSPENSION OF WORK OR IF MATERIAL IS NOT TO BE USED WITHIN 14 DAYS, IN ACCORDANCE WITH GP-0-15-002.
16. IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25 FEET OF ANY DITCH, STREAM OR OTHER SURFACE WATER BODY.
17. SILT FENCING SHALL BE INSTALLED AT THE DOWN GRADIENT PERIMETERS OF ALL SLOPES TO BE GRADED, PRIOR TO GRADING OPERATIONS.
18. SEDIMENT STILLING BASINS SHALL BE UTILIZED TO PREVENT OFF SITE EROSION.
19. THE STORMWATER DETENTION PONDS AND CUT-OFF SWALES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF ADJACENT AREAS.
20. WHERE NECESSARY, TEMPORARY GRADING WILL BE REQUIRED TO ROUTE STORMWATER TO CUT OFF SWALES AND DETENTION PONDS.
21. UPON INSTALLATION OF ANY CATCH BASIN, INSTALL EXCAVATED DROP INLET PROTECTION. THIS SHALL REMAIN UNTIL THE DRAINAGE AREA IS STABILIZED.
22. PRIOR TO ANY CONSTRUCTION ALL FEDERAL JURISDICTIONAL WETLANDS SHALL BE FIELD LOCATED AND DELINEATED WITH SILT FENCING AND ORANGE CONSTRUCTION FENCE. THE ORANGE FENCING SHALL BE INSTALLED AT THE ESTABLISHED WETLAND BUFFER LINE, AND THE SILT FENCE SHALL BE LOCATED BETWEEN THE BUFFER AND THE JOB SITE.
23. CLEARING OPERATIONS SHALL BE LIMITED TO ACTIVE WORK AREAS.
24. CARE SHALL BE TAKEN TO PRESERVE AS MUCH EXISTING VEGETATION AS POSSIBLE AND HEALTHY TREES OF DESIRABLE SPECIES SHALL BE PROTECTED.
25. RIP-RAP OUTLET PROTECTION: RIP-RAP SHALL BE PROVIDED AT CULVERT LOCATIONS AS INDICATED ON THESE DRAWINGS. THE RIP-RAP SHALL PROTECT SIDE SLOPES FROM EROSION, AND SHALL BE ESTABLISHED AS THE CULVERT IS INSTALLED.
26. STORM INLET PROTECTION: IMMEDIATELY FOLLOWING COMPLETION OF ANY AND ALL OF THE PROPOSED STORM DRAIN INLETS, STORM DRAIN INLET PROTECTION SHALL BE CONSTRUCTED. THIS PROTECTION SHALL FUNCTION TO PREVENT SEDIMENT ENTRANCE INTO THE STORM DRAINS. PROTECTION SHALL BE MAINTAINED IN GOOD CONDITION UNTIL THE DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED.
27. STONE CHECK DAMS SHALL BE PROVIDED AT ALL STORMWATER OUTLETS UNTIL VEGETATION HAS BEEN STABILIZED.
28. REOP (ROLLED EROSION CONTROL PRODUCT) SHALL BE JUTE OR EXCELSSOR MATTING PROVIDE 4' MIN TOPSOIL, AND SEED WITH KENTUCKY BLUEGRASS, CREEPING RED FESCUE AND PERENIAL RYGRASS AT A RATE OF 25, 20 AND 10 LBS PER ACRE RESPECTIVELY.
29. EROSION AND SEDIMENT CONTROL MEASURES SHALL INCLUDE A SWPPP MONITORING PROFESSIONAL AS WELL AS COORDINATION WITH MUNICIPALITY OFFICIALS IN ADDITION TO INSPECTION ROLES OF CONTRACTOR AND/OR SITE CONTRACTOR.

EROSION AND SEDIMENT CONTROL NOTES

1. THIS PROJECT IS AUTHORIZED UNDER NYSDEC SPDES GENERAL PERMIT GP-0-15-002.
2. ANY CONTRACTOR INVOLVED IN EARTHWORK ACTIVITIES, INCLUDING BUT NOT LIMITED TO: CLEARING, GRADING AND TRENCHING, SHALL REVIEW ALL PERMIT CONDITIONS AND CERTIFY UNDERSTANDING OF THESE CONDITIONS, IN WRITING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT ALL EROSION CONTROL MEASURES DESCRIBED IN GP-0-15-002, AND IT IS NOT THE INTENT OF THESE DRAWINGS TO REPLACE OR DISSEMINATE THE PERMIT REQUIREMENTS. THE CONTRACTOR SHALL REMAIN IN COMPLIANCE WITH THE PERMIT AT ALL TIMES.
3. AT NO TIME, SHALL MORE THAN FIVE (5) ACRES REMAIN UNSTABILIZED. THE CONTRACTOR SHALL COORDINATE EARTHWORK ACTIVITIES AND IMPLEMENTATION OF SOIL STABILIZATION MEASURES TO ENSURE COMPLIANCE TO THIS PERMIT REQUIREMENT.
4. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION AND EQUIPMENT ENTRANCE WHENEVER PRACTICABLE.
5. DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF COMPLETION OR SUSPENSION OF GRADING OPERATIONS.
6. INSTALL TEMPORARY & PERMANENT SEEDING IN ACCORDANCE WITH THE JULY 2016 NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, STANDARD AND SPECIFICATION FOR TEMPORARY CONSTRUCTION AREA SEEDING PAGE 4.58 AND FOR MULCHING PAGE 4.39.
7. INSTALL PERMANENT RIP-RAP AT ALL PIPE END SECTIONS AT TIME OF INSTALLATION OF PIPE.
8. DURING EXCAVATION OF TEMPORARY SEDIMENT BASIN, FIELD VERIFY A MINIMUM OF 2' SEPARATION DISTANCE FROM GROUND WATER ELEVATION TO SURFACE SAND FILTERS WITH AN IMPERMEABLE BOTTOM AND 3' WITH A PERMEABLE BOTTOM. NOTIFY ENGINEER IMMEDIATELY IF THESE MINIMUM SEPARATION REQUIREMENTS DO NOT EXIST FOR ALTERNATIVE MEANS OF STORMWATER POLLUTION PREVENTION.
9. SEE REMAINDER OF PLANS FOR PERMANENT IMPROVEMENTS. PERMANENT IMPROVEMENTS SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY.
10. PAVED AREAS ARE TO BE SWEEP DAILY TO REMOVE ANY SEDIMENT AND ALL NEWLY PAVED AREAS SHALL BE DIRECTED TO THE TEMPORARY OR FINAL SEDIMENT CONTROL BASINS.

EXISTING LEGEND

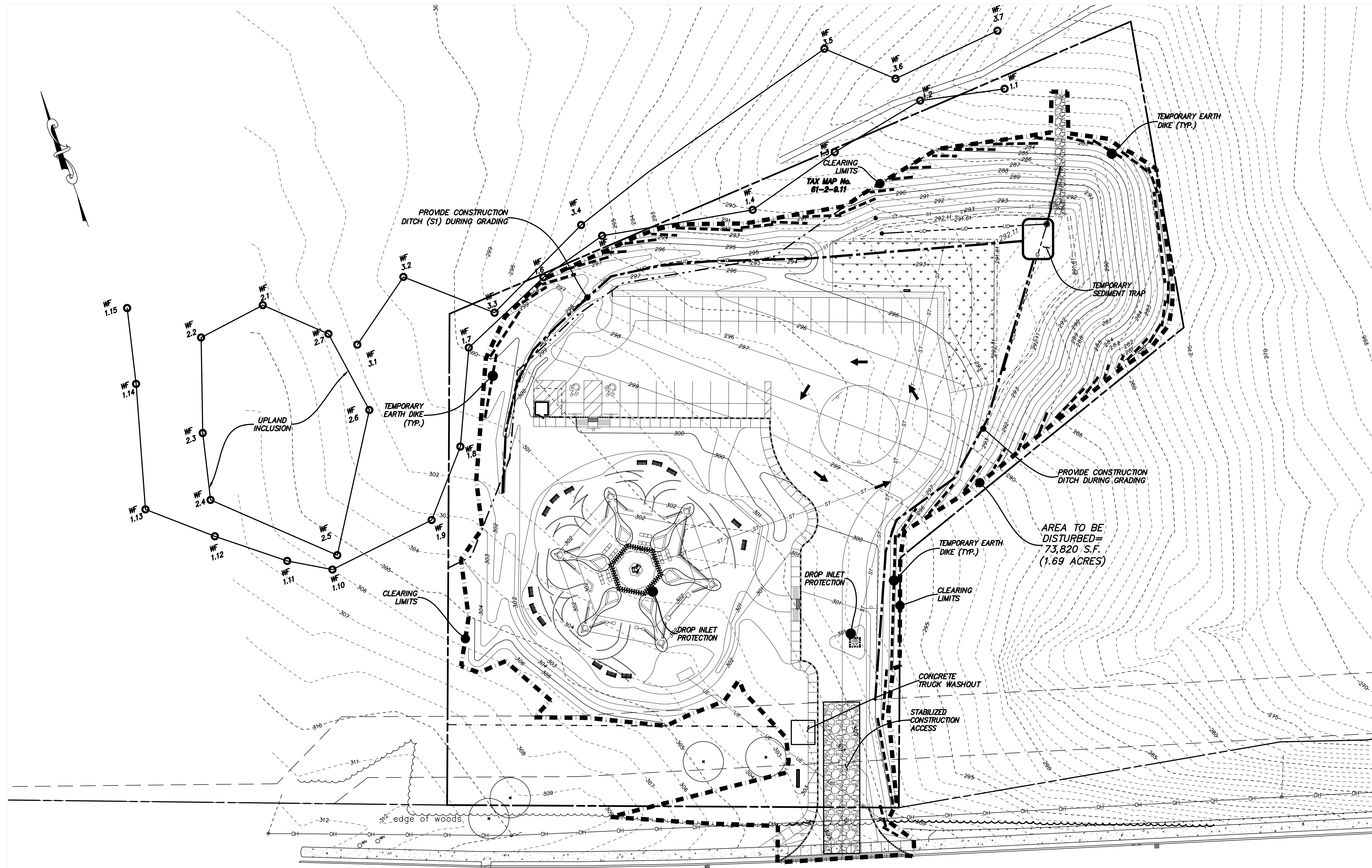
R.O.W.	RIGHT OF WAY	MONUMENT
ENC.	ENCROACHMENT	IRON ROD
P.O.B.	POINT OF BEGINNING	MANHOLE
S.F.	SQUARE FEET	CATCHBASIN
N/Y	NOW OR FORMERLY	SIGN
FL	FEET	BOLLARD
Dip	DEGREE	FENCE LINE
R	RECORD	GUARD RAIL
M	MEASURED	OVERHEAD WIRE, UTILITY POLE & CUT WIRE
N	NORTH	WATER SHUT OFF
S	SOUTH	WATER VALVE
E	EAST	HYDRANT
W	WEST	GAS VALVE
TEL	TELEPHONE	STREET LIGHT
ELC	ELECTRIC	LIGHT POLE
L	LIBER	CONCRETE
P.	PAGE	PAVEMENT

PROPOSED LEGEND

PROPOSED LIGHT POLE
PROPOSED BOLLARD
PROPOSED SHRUB OR TREE
NEW STORM SEWER
NEW UNDERGROUND ELECTRIC
PROPOSED CONTOURS
NEW PAVEMENT AND PAVEMENT MARKINGS
NEW CATCH BASIN
LIMITS OF CLEARING

EROSION AND SEDIMENT CONTROL LEGEND

PROPOSED SEDIMENT CONTROL FENCE
PROPOSED PIPE OUTLET SEDIMENT TRAP
PROPOSED DROP INLET PROTECTION
PROPOSED TEMPORARY SWALE



TROY SCHENECTADY ROAD (PUBLIC R.O.W. VARIES)

EROSION AND SEDIMENT CONTROL PLAN

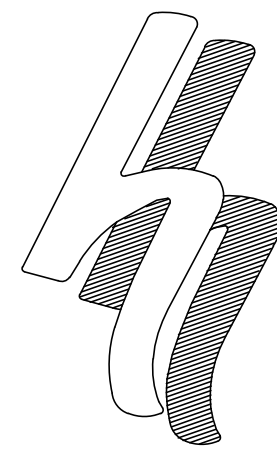
SCALE: 1"=30'

TOWN OF NISKAYUNA APPROVAL

PLANNING BOARD CHAIRMAN DATE

TOWN ENGINEER DATE

FOR MUNICIPAL APPROVAL ONLY-NOT INTENDED FOR CONSTRUCTION

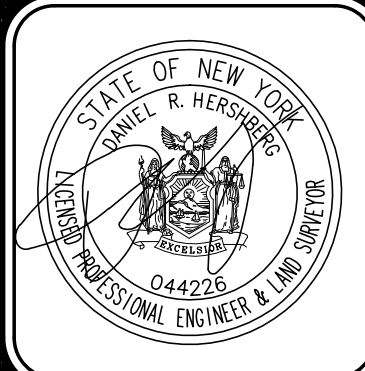


**HERSHBERG
&
HERSHBERG**

Consulting Engineers
and Land Surveyors

18 Locust Street
Albany, New York 12203

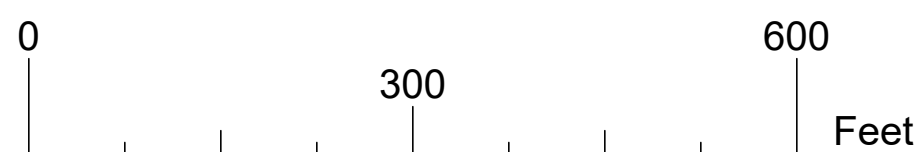
ALTERATION OF THIS
DOCUMENT EXCEPT BY A
LICENSED PROFESSIONAL
ENGINEER OR LAND
SURVEYOR, IS ILLEGAL.



DATE	REVISIONS
9/29/19	SITE PLAN REVISIONS
9/12/19	COORDINATION WITH SWPPP
12/16/19	SEWALK TO RT 7

EROSION AND SEDIMENT CONTROL PLAN FOR
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

FILE: 170044 SCALE: 1"=30' DATE: 5/1/17 CHK: DRH BY: MLW



SUBDIVISION MAP STANDARD NOTES

GENERAL NOTES

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.

SOIL EROSION AND SEDIMENT CONTROL MEASURES

- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.

MAINTENANCE OF EROSION CONTROL MEASURES

- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS, WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY

- SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY, THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.

- THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 6 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
- ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
- THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIAL SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES

- THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

LEGEND



ZONING LINE



PROPERTY LINE

OWNER

CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL, LLC
17 JOHNSON ROAD, LATHAM, NY 12110

SUBDIVIDER

MOST HOLY REDEEMER
2501 TROY SCHENECTADY ROAD, SCHENECTADY, NY 12309

DOES NOT AFFECT

1528.794 NIMO
1531.178 UTILITY
1531.396 UTILITY
1531.428 UTILITY
1675.710 UTILITY

NO LOCATION

1276.7 UTILITY
1061.99 SEWER
11527.265 SEWER

TOWN OF NISKAYUNA APPROVAL

PLANNING BOARD CHAIRMAN

DATE _____

TOWN ENGINEER

DATE _____

Consulting Engineers
and Land Surveyors

18 Locust Street
Albany, New York 12203

ALTERATION OF THIS
DOCUMENT EXCEPT BY A
LICENSED PROFESSIONAL
ENGINEER OR LAND
SURVEYOR, IS ILLEGAL



REMARKS	DATE

REVISIONS

PROPOSED SUBDIVISION
CAPITAL DISTRICT JEWISH HOLOCAUST MEMORIAL
2501 TROY SCHENECTADY ROAD
TOWN OF NISKAYUNA, COUNTY OF SCHENECTADY, STATE OF NEW YORK

170044-3.DWG

DATE: 2/6/18

CHK: DRH

BY: MLW

SCALE: 1"=30'

C10



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 2

MEETING DATE: 11/14/2022

ITEM TITLE: RESOLUTION: 2022-30: A Resolution for site plan approval for a tenant change to Cool Vibe Smoke Shop at 3413 State Street.

PROJECT LEAD: TBD

APPLICANT: Frank Norvici, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Frank Norvici, agent for the owner, Showki Alharby, submitted an Application for Site Plan Review for a tenant change to a retail smoke shop at 3413 State St. (Suite 1). The site was previously occupied by T-Mobile.

BACKGROUND INFORMATION

The property is located within the C-H Commercial Highway zoning district. A retail / service store is a permitted principal use in the C-H district.

A 1-page site plan sketch was provided with the application and was stamped "Received Sep 26 2022 Planning Office Niskayuna, NY" by Planning Office staff.

Niskayuna Zoning Code Section 220-32.7 Tobacco retailers, e-cigarette retailers and marijuana retailers B Distance separation requirements states "Tobacco retailers, e-cigarette retailers and marijuana retailers, as defined in Section 220-4 of this chapter, shall not be located within 1,000 feet from the property lines of any Niskayuna Central School District school, nursery school, school of private instruction, or child day-care center. The Planning Office reviewed the proposed project with regards to this requirement and determined that as proposed the project complies with code.

The Planning Department has notified the applicant that the Town of Niskayuna opted out of retail cannabis and consumption – so no marijuana would be allowed on the premises.

10/3/22 Planning Board (PB) meeting – Mr. Norvici presented the project to the Board. After a brief general discussion the PB called for a resolution for site plan approval for the 10/24/22 meeting.

10/17/22 – Mr. Norvici provided images of a proposed façade sign. The Planning Office reviewed the images relative to the zoning code and informed Mr. Norvici that several non-compliances existed. After consultation with the proposed business owner he asked that the Planning Office pull the project from the agenda of the 10/24/22 to allow him time to rework the sign design.

A revised sign drawing entitled “3413 State St. Schenectady, NY 12304” by Ameer Sign 506-A Route 46 W Garfield, NJ” was provided to the Planning Office on 11/10/22 and stamped “Received Nov 10 2022 Planning Office Niskayuna, NY”.

The Planning Office reviewed the drawing and noted that as proposed it will require additional review, discussion and ultimately a waiver by the Planning Board if they approve of the design. Therefore, the attached resolution was prepared for the tenant change only with a condition that the proposed signage will require a separate resolution once the Board decides on any requested waivers.

RESOLUTION NO. 2022 - 28

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 14TH DAY OF NOVEMBER 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Showki Alhardy, has made an application to the Planning Board and Zoning Commission for site plan review for a tenant change to the Cool Vibe Smoke Shop at 3413 State St. (Mansion Square), Niskayuna, and

WHEREAS, the site plan is shown on a 1-page hand-drawn sketch, that was provided with the application. The drawing was stamped "Received Sept. 26 2022 Planning Office Niskayuna, NY" by staff, and

WHEREAS, the zoning classification of the property is C-H Commercial Highway zoning district, and

WHEREAS, the new tenant qualifies as a retail smoke shop and is an allowable use within the zoning district subject to Section 220-32.7, Town Board Resolution 2021-263 and Town of Niskayuna Local Law G (2021), and

WHEREAS, Niskayuna Zoning Code Section 220-32.7 Tobacco retailers, e-cigarette retailers and marijuana retailers (B) Distance separation requirements states "Tobacco retailers, e-cigarette retailers and marijuana retailers, as defined in Section 220-4 of this chapter, shall not be located within 1,000 feet from the property lines of any Niskayuna Central School District

school, nursery school, school of private instruction, or child day-care center. As of the date of this resolution, the Planning Office did not discover any schools or day care centers within 1,000 of this retail tobacco and e-cigarette store, and

WHEREAS, pursuant to Town Board Resolution 2021-263 and Local Law G (2021), the Town of Niskayuna opted out of hosting retail cannabis dispensaries and on-site cannabis consumption licenses within its municipal boundaries pursuant to Section 131 of the NYS Marijuana Regulation and Taxation Act and the state Municipal Home Rule Law. Therefore no sale or on-site consumption of cannabis is allowed on the premises of this Smoke Shop, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron.

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan and tenant change with the following condition:

1. Any façade signage association with this tenant change application will require separate review and approval via resolution by this Planning Board
2. Pursuant to Town Board Resolution 2021-263, no sale or on-site consumption of cannabis is permitted at this location.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Showki Alharby

Address 140 McClellan St

Schenectady NY 12304

Email Showki.alharby@gmail.com

Telephone 518 986 9160 Fax 518 377 0690

Location:

Number & Street 3413 State St, Nisky NY

Section-Block-Lot - -

Zoning District

Proposal Description:

Retail Smoke Shop

FRANK@FDNTAX.COM

Signature of applicant: X

Showki

Date: 9/26/22

Signature of owner (if different from applicant):

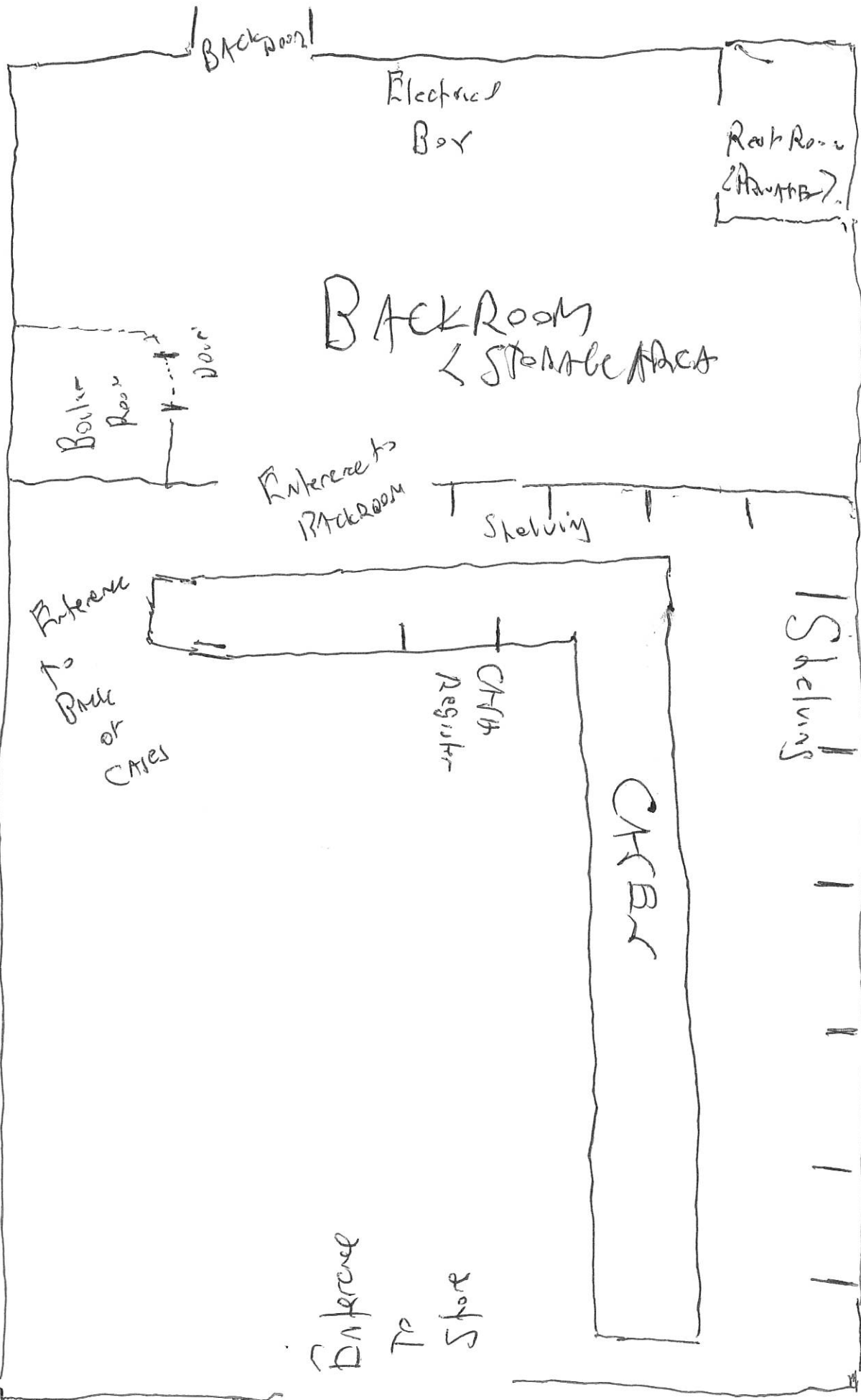
Date:

Each site plan application shall be accompanied by:

1. Digital copies in pdf format of all application forms and supporting documents.
2. A digital copy in pdf format and three (3) full size copies of any large scale plans or maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A digital copy in pdf format of a lighting plan showing the lighting distribution of existing and proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. One (1) copy of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review" of the Code of the Town of Niskayuna.
4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of **\$200.00** plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

H + R Block

WALL - 3A13 STREET





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 11/14/2022

ITEM TITLE: DISCUSSION: 3413 State St. -- site plan app. for signage for Cool Vibe Smoke Shop.

PROJECT LEAD: TBD

APPLICANT: Frank Norvici, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Frank Norvici, agent for the owner, Showki Alharby, submitted an Application for Site Plan Review for a tenant change to a retail smoke shop at 3413 State St. (Suite 1). The site was previously occupied by T-Mobile.

BACKGROUND INFORMATION

The property is located within the C-H Commercial Highway zoning district. A retail / service store is a permitted principal use in the C-H district. This agenda item is to review the signage plan provided by the applicant and give them direction on any waivers they are requesting.

On 10/17/22 – Mr. Norvici provided images of a proposed façade sign. The Planning Office reviewed the images relative to the zoning code and informed Mr. Norvici that several non-compliances existed. After consultation with the proposed business owner he decided to rework the sign design.

A revised sign drawing entitled “3413 State St. Schenectady, NY 12304” by Ameer Sign 506-A Route 46 W Garfield, NJ” was provided to the Planning Office on 11/10/22 and stamped “Received Nov 10 2022 Planning Office Niskayuna, NY”.

Schedule I-E Part 1 C-H District column 7 Permitted Signs states: “All uses: Same as C-N...”
Schedule I-D Part 1 C-N District column 7 Permitted Signs states: “For all uses: For each linear foot of building frontage, 1 square foot of sign area shall be permitted....Under no circumstances shall any 1 sign exceed 50 square feet.”

As proposed, the façade sign measures 144' w x approximately 57" h = 8,208 sq. in. = 57 sq. ft. Suite 1 of 3413 State St. has 19' of building frontage. Therefore a waiver of 38 sq. ft. of façade sign area (57-19=38) is required.

Additionally, although the sign regulations for C-H are not as strict as the Town Center Overlay district and Shopping Center Commercial district – it is notable that there are more than 3 colors on this sign and the mix of multiple colors and graphics set it apart from remaining signs in the plaza. It is arguably not in harmony with the surrounding commercial area signage and aesthetics.

The Planning Department recommends removing the graphic so that signage is closer in compliance with the other signs on the building and in the plaza and so that the square footage (need for a waiver) is reduced.



506-A Route 46 W. - Garfield, NJ 07026
 Tel: 973-580-2592 - Fax: 973-253-8804
 ameersigns2011@gmail.com

3413 STATE ST SCHENECTADY NEW YORK 12304



144"

Cool Vibe

SMOKE SHOP



36"

20"

57" WHEN
 SCALED TO
 THE 20"
 DIM.

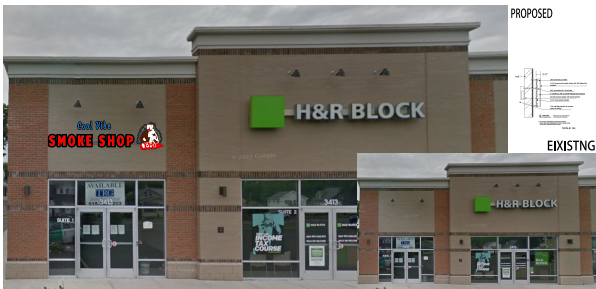
144"

3413 STATE ST SCHENECTADY NEW YORK 12304

PROPOSED



EXISTING



SMOKE SHOP = 12 SQ

COOL VIBE = 3 SQ

LOGO = 4



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 11/14/2022

ITEM TITLE: DISCUSSION: Empire Dr. – Application for a 2-lot minor subdivision of tax map parcel 61.-1.33.2 into two separate lots of 1.83 and 2.0 acres.

PROJECT LEAD: Patrick McPartlon

APPLICANT: Robert Joralemon

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Robert Joralemon, property owner, submitted an sketch plan application for a minor 2-lot subdivision of the property at tax map parcel 61.0-1-33.2, creating two separate lots of 1.83 and 2.0 acres, respectively.

BACKGROUND INFORMATION

Tax map parcel 61.0-1-33.2 is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled “Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated 6/30/22 with no further revisions was provided with the application. Lot lines demarcating “Lot 1 Area = 1.83 Acres” and “Lot 2 Area = 2.0 Acres” are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
Single-family dwelling	18,000	100	125	35	40	25
Lot 1	79,715	≈300	≈200	≈70	≈50 / ≈250	≈75
Lot 2	87,120	≈570	≈200	≈70	≈50 / ≈450	≈75

The original sketch plan drawing proposed two parallel contiguous driveways exiting from the stub off of Empire Drive running along the shared side property line of the two lots. Each driveway included a 20' wide turnaround at their intersection with the stub street so that snowplows would be able to turnaround.

7/11/22 Planning Board (PB) meeting – The property owner, Robert Joralemon, and Frank Palumbo of CT Male Associates presented the project to the PB. The PB did not like the proposal to have the Town snowplows turn around on the private driveways of the proposed subdivision. The PB asked for two alternate site plan drawings to be prepared. One version will include a traditional cul-de-sac at the end of the existing stub road. The second version will include a smaller “bulb” end to the existing stub road. The drawings were provided and are included in the packet for the meeting this evening.

7/25/22 Planning Board (PB) meeting – Mr. Joralemon and Mr. Palumbo presented two new site plan drawings that depicted the layouts that were requested by the PB at the 7/11/22 meeting. The PB preferred the second version of the two plans. It is entitled “Sketch Plan-Alt 2, 2 Lot Minor Subdivision, Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated June 30, 2022 with no subsequent revisions. The site plan includes small snow storage areas along each side of the stub road that intersects Empire Drive. Two completely independent driveways for the proposed two lots connect to a small semi-circular bulbous end of the stub road. Ms. Robertson noted that the Highway Superintendent preferred this version. The PB agreed on the following action items.

1. The PB to call for a public hearing (PH) at the 8/8/22 PB meeting (PH to be held on 8/29/22)
2. PB to make a SEQR determination at their 8/8/22 meeting
3. PB to take action on a resolution for sketch plan approval at their 8/8/22 meeting
4. Resolution to include the requirement that a sign stating “End of Public Road” be placed at the end of the stub road.

7/29/2022 Complete Streets Committee – Explore an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School in case of future development.

8/3/22 Conservation Advisory Council (CAC) meeting – the CAC reviewed the project at their regularly scheduled meeting on 8/3/22 and voted unanimously in favor of making a recommendation to the PB to make a negative SEQR declaration with the following recommendations.

1. Require an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School.
2. Keep the limits of clearing as small as possible so that as many mature trees as possible may be preserved.

8/8/22 Planning Board (PB) meeting – Resolution 2022-17 was approved granting approval of the sketch plan, calling for a public hearing to be held at the 8/29/22 PB meeting and directing the Town Planner to file a Negative SEQR declaration with the following 2 conditions.

1. An easement for a potential future multi-use path is to be included in the site plan drawing
2. Limits of clearing are to be kept as small as possible & as many mature trees as possible are to be preserved.

After additional discussion the PB decided the best location for the easement would be along property line near and parallel to Empire Drive. The PB also requested that the following information be added to the site plan drawing.

1. Show the limits of clearing
2. Include a numerical value for the amount of disturbed land for each lot

Mr. Joralemon provided a revised site plan drawing dated 8/10/22 that includes the requested information. The easement provided is 8 feet however and should be a minimum of 12 feet (2 feet on each side of path for construction and maintenance).

8/29/22 Planning Board (PB) meeting – A public hearing regarding the proposed subdivision was held at the 8/29/22 PB meeting. Approximately six neighbors chose to be heard at the hearing. Concerns were expressed regarding water and drainage and the interruption of a currently forested view. The project was also reviewed during the discussion portion of the meeting. The applicant presented the revised site plan that included the addition of limits of clearing and disturbance, an added multi-use path easement and turn arounds on the driveways. Drainage and water flow from the property were discussed. The PB requested additional information for the 9/12/22 PB meeting all of which has been provided.

The applicant provided a new revision of the site plan drawing that contains the following.

- Revised limit of anticipated clearing
- Revised multi-use path easement
- Added grading showing a grassed swale to direct storm water away from Empire Drive
- Added a chart comparing the proposed two lot sizes to adjacent lot sizes
- Added 25' wetland buffer to plans
- Added a second sheet to the drawing to show drainage area and direction

The Planning Department has also recently reached out to the Town of Colonie Planning Department and has also discussed drainage and wetland concerns with the DEC.

An adjacent resident, Mr., Woolley, requested two emails be sent to the Planning Board which were forwarded to the Board September 9. The concerns detailed in the comments include:

1. Drainage. The adjacent residents are submitting documentation for drainage issues adjacent to the subdivision proposal
2. The adjacent residents are requesting an in-depth storm water review
3. The adjacent residents are requesting a review of the adjacent land conservation areas to see if they should extend into this subdivision
4. The adjacent residents are concerned about noise and water issues

9/12/22 Planning Board (PB) meeting – Mr. Joralemon presented a revised site plan drawing (marked R2 dated 9/6/22) and noted the changes that had been made per the request of the PB. A discussion regarding drainage ensued. Chairman Walsh asked that a written drainage plan be prepared. He noted that a full SWPPP is not necessary but a written plan documenting how drainage is being addressed is necessary. He added that the plan should also include the impact of snow storage and a Town Designated Engineer (TDE) will review the material. A Board member recommended that the site plan be revised to preserve some trees between the two proposed lots. Ms. Robertson stated that the Tree Council will walk the site.

On Tuesday 9/27/22 Mr. Joralemon provided the Planning Office with the following documents.

- A 1-page drawing entitled “Layout Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated 6/30/22 with a most recent revision of Rev 2 dated 9/6/22. A Filter Strip Treatment Area has been added to the plan to the west of the house on Lot 1. A tree buffer has also been added between the houses on Lots 1 and 2.

- A 37-page Storm Water Management Report for “Joralemon Minor Subdivision – Empire Drive” by C.T. Male Associates dated 9/27/22 with no subsequent revisions. The report includes the following sections.
 - Introduction
 - Methodology
 - Existing Conditions
 - Storm Water Run-Off Simulation
 - Post-Developed Conditions
 - Conclusions / Recommendations

The calculated peak storm water runoff rates for the existing conditions are listed below

Subcatchments	Condition	1-yr (cfs)	10-yr (cfs)	100-yr (cfs)
E1	Existing	0.00	0.00	0.01
E2	Existing	0.00	0.00	0.07
E3	Existing	0.00	0.00	0.02

The calculated peak storm water rates for post development conditions are listed below

Subcatchments	Condition	1-yr (cfs)	10-yr (cfs)	100-yr (cfs)
P1	Proposed	0.00	0.00	0.01
P2	Proposed	0.00	0.03*	0.95*
P3	Proposed	0.00	0.00	0.01
*This is prior to accounting for the Filter Strip Green Infrastructure Practice				

The Conclusions / Recommendations portion includes the following.

“In order to control peak runoff rates to existing conditions rates or less, a portion of one of the proposed residences needed to be temporarily detained. This area will be conveyed to a green area filter strip in the rear yard of Lot 1 that is designed to allow the removal of the tributary impervious area from the overall calculations. The runoff rate and volume to the Design Location will be very similar, or less, under post-developed conditions than under existing condition at all subcatchments with a minor increase at subcatchment P2 which is where the filter strip is proposed.”

In Planning discussions with the Town of Colonie – their Planning Department requested drainage be looked at closely and a buffer be left between the subdivision and the Town of Colonie residents wherever possible.

10/24/22 Planning Board (PB) meeting – a representative of C.T. Male Associates summarized the Storm Water Management Report they prepared. He described the 3 existing

subcatchments and the 3 subcatchments that would exist if the proposed subdivision was executed. He noted that he recommends the use of a 120' wide filter strip along the entire west edge of the property to transition any runoff from subcatchment #2 to sheet flow so that it can be evenly absorbed on the property. The Planning Office (PO) noted that the Tree Council will walk the site prior to the 10/24/22 PB meeting. They also reported that they had received a quotation for TDE services to review the storm water report. Because several neighbors had expressed concerns regarding storm water drainage the Planning Office asked the applicant's engineer to provide a more comprehensive summary of the storm water report at the 10/24/22 PB meeting.

10/11/22 Tree Council (TC) site walk – the TC walked the site to familiarize themselves with the property. They had the following comments / recommendations:

1. The largest trees which appeared to potentially be old growth specimens were along the boundary with the Town of Colonie. This area is extremely important to remain un-cleared and protected. Some of the largest trees within the buffer were marked to be saved with ribbons but the Tree Council noted all the trees within the 25 foot rear setback buffer should be protected.
2. The Tree Council noted this is an intact forest with very little invasive species. They recommended protecting the understory wherever possible – mostly witch hazels, hophornbeams and ironwoods. There were many large trees and excellent habitat in the areas that are shown not to be disturbed that were not marked for preservations (because they are not proposed to be cleared) but were notable.
3. The Tree Council marked several trees at or near where they estimated the limits of clearing to be. They put ribbon around a line of trees close to the proposed limit of clearing that they would like the developer to retain that shouldn't interfere with construction of the single family homes. This is indicated by the blue line on the attached map.
4. The Tree Council marked several large trees within the limits of clearing that they are requesting the applicant work around if possible but understand that some may need to be cleared if they are too close to the home.
5. The Tree Council also noted many large and important trees within the 35 front yard setback line and also stated this is an important no clear boundary whenever possible.
6. Pictures of the ribboned trees and forest habitat are attached.

The PO engaged the services of a TDE to review the storm water report. The TDE is currently reviewing the storm water report and will issue comments to the developer as soon as the review is completed, which the Planning Department expects within the next few days.

As a note – the developer did not want to have a conservation easement on the property where the subdivision is proposing to use forest to spread and absorb the stormwater from the two future homes – but if this is the stormwater management practice that is going to protect the adjacent properties in perpetuity (which the Planning Department recommends, it preserves valuable forests and habitats) – the Planning Board should discuss how to protect the land against any future encroachments. At the last meeting this was suggested as a comment for the TDE.

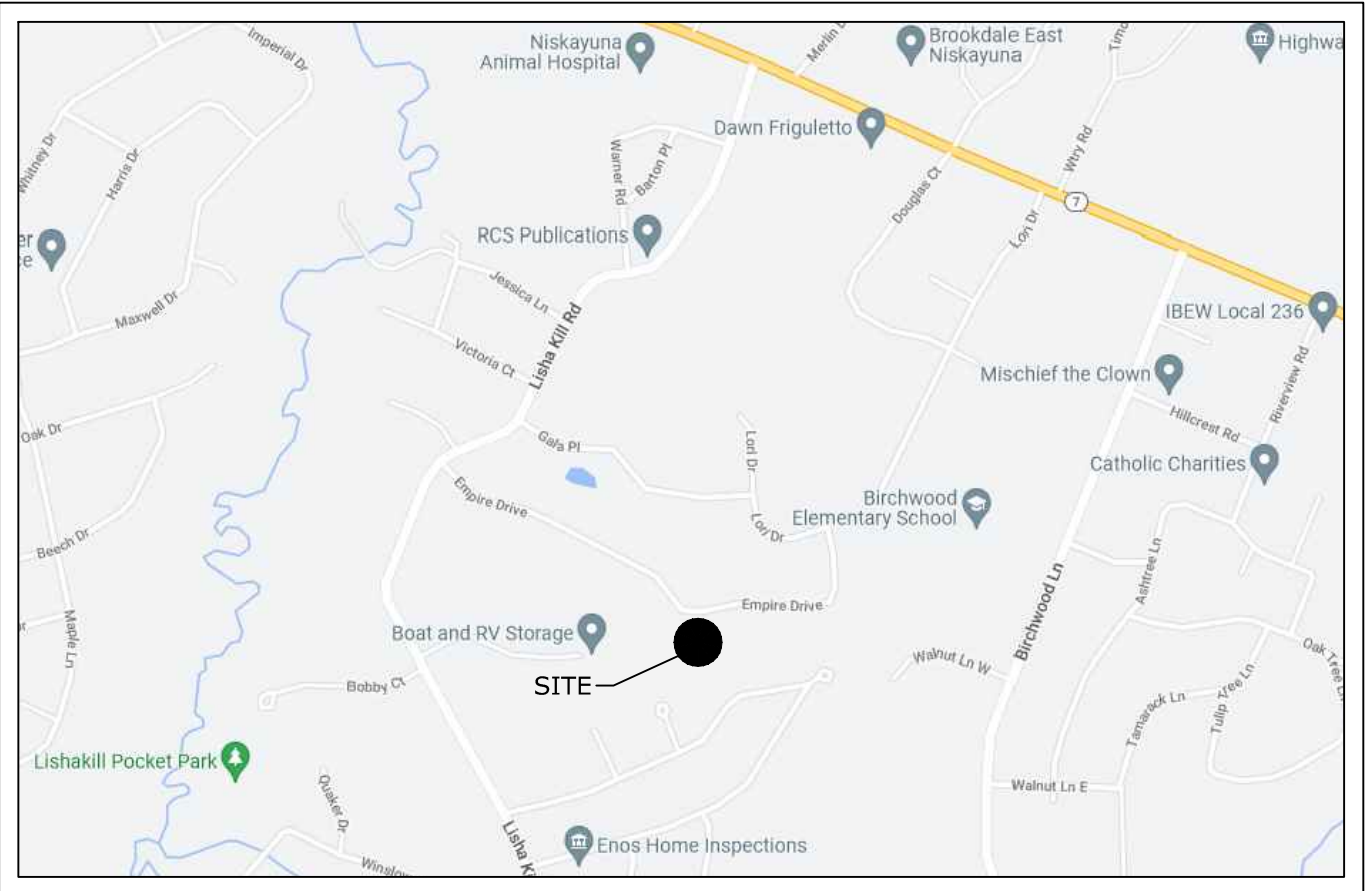
The TDE is also requested to comment on the requirement for a driveway culvert.

The Planning Department also consulted with the Highway Department and the consensus is that the stub street should be named and the proposed new homes should have addresses that relate to the stub streets name (similar to Vincenzo and St. Gerard).

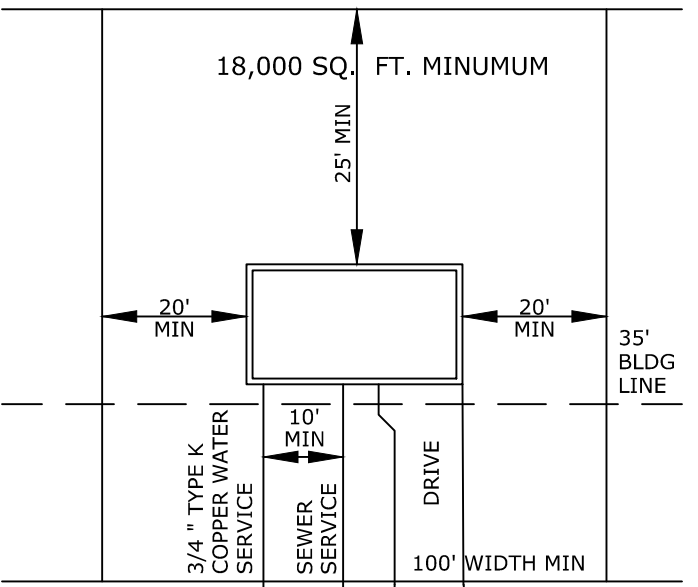
10/24/22 Planning Board (PB) meeting – The Planning Office noted that a TDE comment letter was received on 10/24/22 and will be shared with the applicant. The PB and Planning Office asked if the applicant would consider designating the filter strip land as a Land Conservation area. Mr. Joralemon indicated that he would consider it. Mr. Joralemon's engineer provided a comprehensive overview of the storm water analysis.

The TDE's response letter was shared with Mr. Joralemon's engineer and Mr. Joralemon's engineer addressed the items raise in a letter dated 11/4/22. This letter was shared with the TDE. A response from the TDE is expected during the week of 11/14/22.

The next step for the PB is to consider calling for a resolution for the 11/28/22 PB meeting.



SITE LOCATION PLAN
N.T.S.



R-1 ZONING
TYPICAL HOUSE UTILITY LAYOUT
(NOT TO SCALE)

GENERAL NOTES:

1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
2. ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. INSOFAR AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
5. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

1. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS, WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

1. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
2. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
3. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
4. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

1. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

LOT AREA AND IMPERVIOUS COVERAGE

	LOT AREA	IMPERVIOUS COVERAGE
NISKAYUNA ADJACENT LOTS	0.42 - 0.67 ±ACRES	15% - 25%
COLONIE ADJACENT LOTS	0.26 - 0.75 ±ACRES	15% - 25%
JORALEMON PROPOSED LOTS	1.83 - 2.00 ±ACRES	5.6% & 6%



ZONING DATA:

ZONE: R-1
MIN. LOT AREA: 18,000 SF
MIN. LOT WIDTH: 100 FEET

YARD REQUIREMENTS:

FRONT SETBACK MINIMUM: 35 FEET
SIDE SETBACK MINIMUM: 20 FEET (40 FEET BOTH)
REAR SETBACK MINIMUM: 25 FEET

MAP REFERENCE:

1. "BOUNDARY SURVEY PORTION OF LANDS OF ROBERT W. JORALEMON & PATRICIA A. JORALEMON" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, PREPARED BY C.T. MALE ASSOCIATES, DATED MARCH 1, 2004, BEARING PROJECT NO. 04.9065, DWG. NO. 04-151.
2. "CERONE PAULSEN SUBDIVISION" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, DATED FEBRUARY 5, 2004 BEARING DWG NO. PROJECT NO. 383.02 & MAP. NO. 04-30-41B

MAP NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER LIDAR INFORMATION OBTAINED ON MAY 13, 2022 AS SUPPLIED BY THE NEW YORK STATE GIS CLEARINGHOUSE, NYS 2 METER DEM INDEX.
2. NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 1.
3. NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES. EXISTING UTILITIES WERE PER DESIGN DRAWING INFORMATION PER MAP REFERENCE NO. 2.



Lands Now or Formerly of
MICHAEL INDARSHAN
Book 2006 Page 245
Tax Map I.D. No. 61.0-1-36

Lands Now or Formerly of
SEN ZHANG & MIN ZHANG
Book 1967 Page 972
Tax Map I.D. No. 61.15-2-22

Lands Now or Formerly of
**JONATHAN M. DE JESUS &
MARIA ARSYL D. DE JESUS**
Book 1861 Page 137
Tax Map I.D. No. 61.15-2-21

Lands Now or Formerly of
HELDERBERG PROPERTY COMPANY LLC
Book 1946 Page 855
Tax Map I.D. No. 61.0-1-34,11

30' WIDE ACCESS LANDS
OF JORALEMON EASEMENT
TO BK.1146 PG.67

Lands Now or Formerly of
**ROBERT W. JORALEMON &
ROSEMARY JORALEMON**
Book 1685 Page 756
Tax Map I.D. No. 61.0-1-31

Lands Now or Formerly of
**STEPHEN P. CONNOLLY &
DENISE I. CONNOLLY**
Book 2509 Page 997
Tax Map I.D. No. 7.4-7-17

ARBOR ESTATES SECTION III

Lands Now or Formerly of
CARL J. WHITE & CATHERINE S. WHITE
Book 3094 Page 886
Tax Map I.D. No. 7.4-7-18

Lands Now or Formerly of
**STEVEN J. MASTRIANNI &
SUSAN A. MASTRIANNI**
Book 2295 Page 1023
Tax Map I.D. No. 7.4-7-23

Lands Now or Formerly of
GREGORY BUTTNER
Book 2017 Page 20073
Tax Map I.D. No. 7.4-7-24

Lands Now or Formerly of
**DONAL E. COOKE &
WENDY J. COOKE**
Book 2654 Page 220
Tax Map I.D. No. 7.4-7-25

Lands Now or Formerly of
CHARLES J. SOGOIAN
Book 2316 Page 930
Tax Map I.D. No. 7.4-7-26

Lands Now or Formerly of
AMY M. SHAUL
Book 2019 Page 7421
Tax Map I.D. No. 7.4-7-27

Lands Now or Formerly of
**JOHN DONOGHUE &
CHRISTINA PENSIERO**
Book 2019 Page 1631
Tax Map I.D. No. 7.4-7-28

Lands Now or Formerly of
**JEFFERY C. COMLEY &
JANICE B. COMLEY**
Book 2620 Page 812
Tax Map I.D. No. 7.4-1-76

Lands Now or Formerly of
**DANIEL J. MARINUCCI &
ANGELINE M. MARINUCCI**
Book 2017 Page 8846
Tax Map I.D. No. 7.4-1-75

TOWN OF NISKAYUNA (SCHENECTADY COUNTY)
TOWN OF COLONIE (ALBANY COUNTY)

LOT 2
AREA ~2.00 ACRES

PARCEL AREA=3.831±ACRES

Lands Now or Formerly of
**RUTISURHATA K. HARTANA
& JIANHUA WANG**
Book 1852 Page 527
Tax Map I.D. No. 61.15-2-18

Lands Now or Formerly of
**DANIEL F. WOOLLEY
& TERESA M. ZIELINSKI**
Book 1858 Page 885
Tax Map I.D. No. 61.15-2-17

Lands Now or Formerly of
SCOTT C. STRYKER
Book 1900 Page 720
Tax Map I.D. No. 61.15-2-19

Lands Now or Formerly of
YI QI & LI LI
Book 1884 Page 586
Tax Map I.D. No. 61.15-2-20

LAYOUT PLAN
2 - LOT MINOR SUBDIVISON

EMPIRE DRIVE
LANDS N/F OF JORALEMON

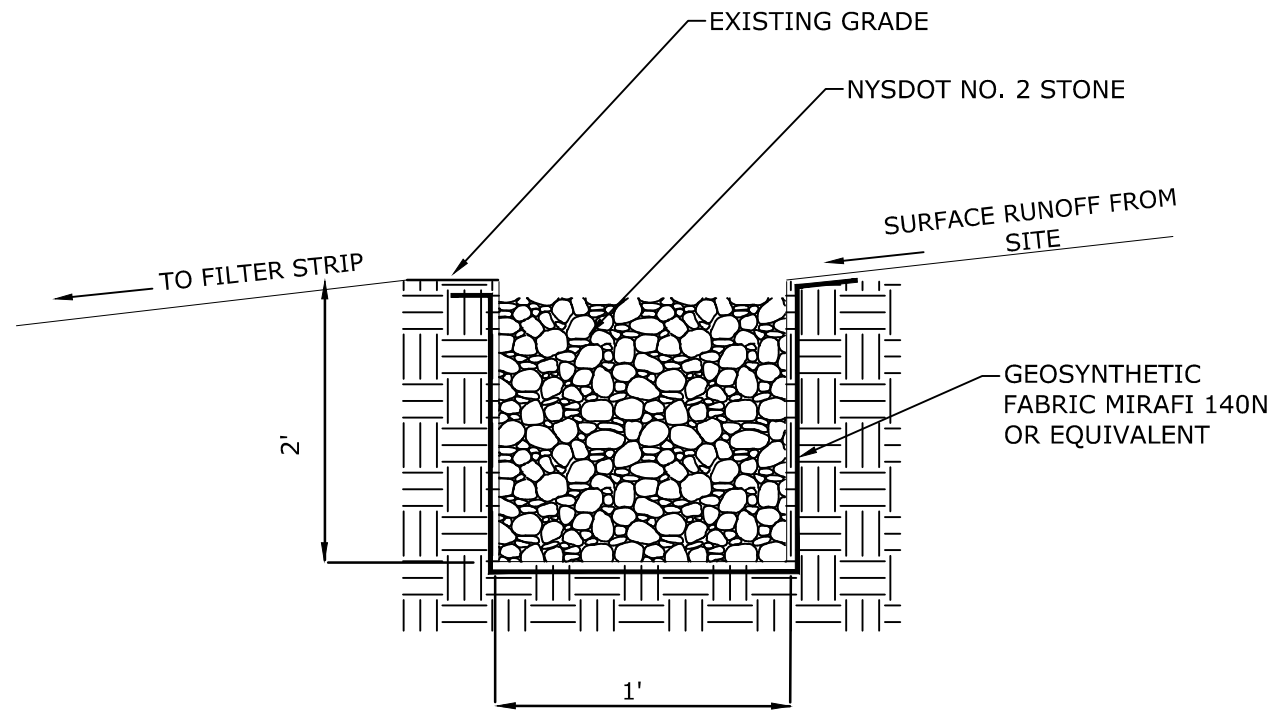
TOWN OF NISKAYUNA SCHENECTADY COUNTY, NEW YORK

C.T. MALE ASSOCIATES
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400
COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY
JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY



C-101

SHEET 1 OF 2
DWG. NO: 04.9065



1 GRAVEL DIAPHRAGM LEVEL SPREADER
C-501 SCALE: NONE
CROSS REFERENCE: NONE

SLOPE LENGTH/FENCE LENGTH (ft.)				
SLOPE	STEEPNESS	STANDARD	REINFORCED	SUPER
<2%	<50:1	300/1500	N/A	N/A
2-10%	50:1 TO 10:1	125/1000	250/2000	300/2500
10-20%	10:1 TO 5:1	100/750	150/1000	200/1000
20-33%	5:1 TO 3:1	60/500	80/750	100/1000
33-50%	3:1 TO 2:1	40/250	70/350	100/500
>50%	>2:1	20/125	30/175	50/250

STANDARD SILT FENCE (SF) IS FABRIC ROLLS STAPLED TO WOODEN STAKES DRIVEN 16 INCHES IN THE GROUND.
REINFORCED SILT FENCE (RSF) IS FABRIC PLACED AGAINST WELDED WIRE FABRIC WITH ANCHORED STEEL POSTS DRIVEN 16 INCHES IN THE GROUND.
SUPER SILT FENCE (SSF) IS FABRIC PLACED AGAINST CHAIN LINK FENCE AS SUPPORT BACKING WITH POSTS DRIVEN 3 FEET IN THE GROUND.

GENERAL NOTES:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL CONFORM TO THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" (2016 ISSUE) AND ANY ADDENDA THERETO.
- THE SEDIMENT CONTROL MEASURES DETAILED IN THESE PLANS SHALL BE IN PLACE PRIOR TO THE START OF EACH CONSTRUCTION PHASE. ONCE CONSTRUCTED, ALL MEASURES SHALL BE PROPERLY MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, AND THEN REMOVED FROM THE SITE ONCE THE SITE IS STABILIZED.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL THE FINAL SURFACE TREATMENT HAS BEEN INSTALLED AND VEGETATED AREAS HAVE ESTABLISHED 80% COVERAGE. AFTER THE VEGETATED AREAS HAVE BEEN STABILIZED WITH AT LEAST 80% VEGETATIVE COVER, AS DETERMINED BY THE ENGINEER, THE PROJECT SPONSOR SHALL ASSUME RESPONSIBILITY FOR MAINTAINING THE EROSION AND SEDIMENT CONTROL SYSTEM(S).
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE CONTRACT DOCUMENTS WILL NEED TO BE SUPPLEMENTED WITH INTERIM MEASURES PRIOR TO ACHIEVING FINAL GRADES. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN INTERIM EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED TO CONTROL EROSION AND SEDIMENTATION THROUGHOUT THE DURATION OF CONSTRUCTION. THE DETAILS AND EXTENT OF THESE MEASURES ARE HIGHLY DEPENDENT ON THE CONTRACTORS MEANS AND METHODS AND THEREFORE NOT DETAILED ON THESE PLANS. THE COSTS ASSOCIATED WITH INSTALLING AND MAINTAINING THESE INTERIM MEASURES SHALL BE INCLUDED IN THE CONTRACTORS BID.
- CONSTRUCTION ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE CONSTRUCTION SEQUENCING NOTES.
- OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH, EXCELSIOR MATTING, OR TACKIFIER) SHALL BE USED UNTIL SUCH TIME AS VEGETATIVE COVER CAN BE ESTABLISHED.
- EXISTING VEGETATION SHALL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE. SITE WORK ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISTURBANCE. REMOVAL OF WOODY VEGETATION SHALL BE KEPT TO THE MINIMUM EXTENT PRACTICABLE.

SILT FENCE NOTES:

- SILT FENCE/ COMPOST FILTER SOCK SHALL BE PLACED ON THE DOWNSLOPE SIDE OF DISTURBED AREAS AND AROUND THE PERIMETER OF SOIL STOCKPILES.
- SILT FENCE/ COMPOST FILTER SOCK SHALL BE PLACED AROUND THE BOUNDARY OF WETLANDS ADJACENT TO THE WORK AREA, AND AT THE EDGE OF WETLANDS AFTER CONSTRUCTION IS COMPLETED.
- SILT FENCE/ COMPOST FILTER SOCK SHALL BE REPAIRED OR REPLACED WHEN THE ENDS ARE FRAVED OR WORN, AND WHEN THE FENCE IS NOT ANCHORED 6" INTO THE GROUND. WHEN THE ACCUMULATED SEDIMENT REACHES 30% OF THE SILT FENCE HEIGHT, THE SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN AN APPROPRIATE UPLAND AREA.

STABILIZED CONSTRUCTION ENTRANCE NOTES:

- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED WHERE NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
- IF INTERNAL CONSTRUCTION ROADS ARE DETERMINED TO BE A SOURCE OF SEDIMENT-LADEN RUNOFF TO SENSITIVE AREAS, THEY SHALL BE STABILIZED AS SOON AS PRACTICABLE.

TEMPORARY SEEDING AND MULCHING NOTES:

- TEMPORARY STABILIZATION MEASURES SHALL START AS SOON AS PRACTICAL ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT NOT MORE THAN (7) DAYS AFTER WORK HAS CEASED. ACCEPTABLE TEMPORARY STABILIZATION MEASURES INCLUDE, BUT MAY NOT BE LIMITED TO SEEDING MULCH, STRAW, EROSION CONTROL BLANKETS, SOIL STABILIZING EMULSION PRODUCTS, OR SOME FUNCTIONALLY EQUIVALENT MEASURE. TEMPORARY SEEDING SHALL BE ANNUAL RYE GRASS, APPLIED AT A RATE OF 30 LBS./ACRE.
- AREAS TO RECEIVE TEMPORARY SEEDING AND MULCHING SHALL RECEIVE BOTH GRASS SEED AND MULCH, AS DESCRIBED BELOW.
- IN SPRING OR SUMMER OR EARLY FALL, SEED SHALL BE ANNUAL RYEGRASS APPLIED AT A RATE OF 30 POUNDS PER ACRE.
- IN LATE FALL OR EARLY WINTER, SEED SHALL BE CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) APPLIED AT A RATE OF 100 POUNDS PER ACRE.
- MULCH SHALL CONSIST OF STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR WOOD CHIPS (MIN. 3" DEEP). (A WOOD FIBER HYDROMULCH OR OTHER APPROVED SPRAYABLE PRODUCT MAY BE SUBSTITUTED, IF APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.)
- A JUTE MESH SHALL BE PLACED OVER THE MULCH IN AREAS WHERE WIND OR WATER EROSION PREVENTS ESTABLISHMENT OF GRASS COVER.

DUST CONTROL NOTES:

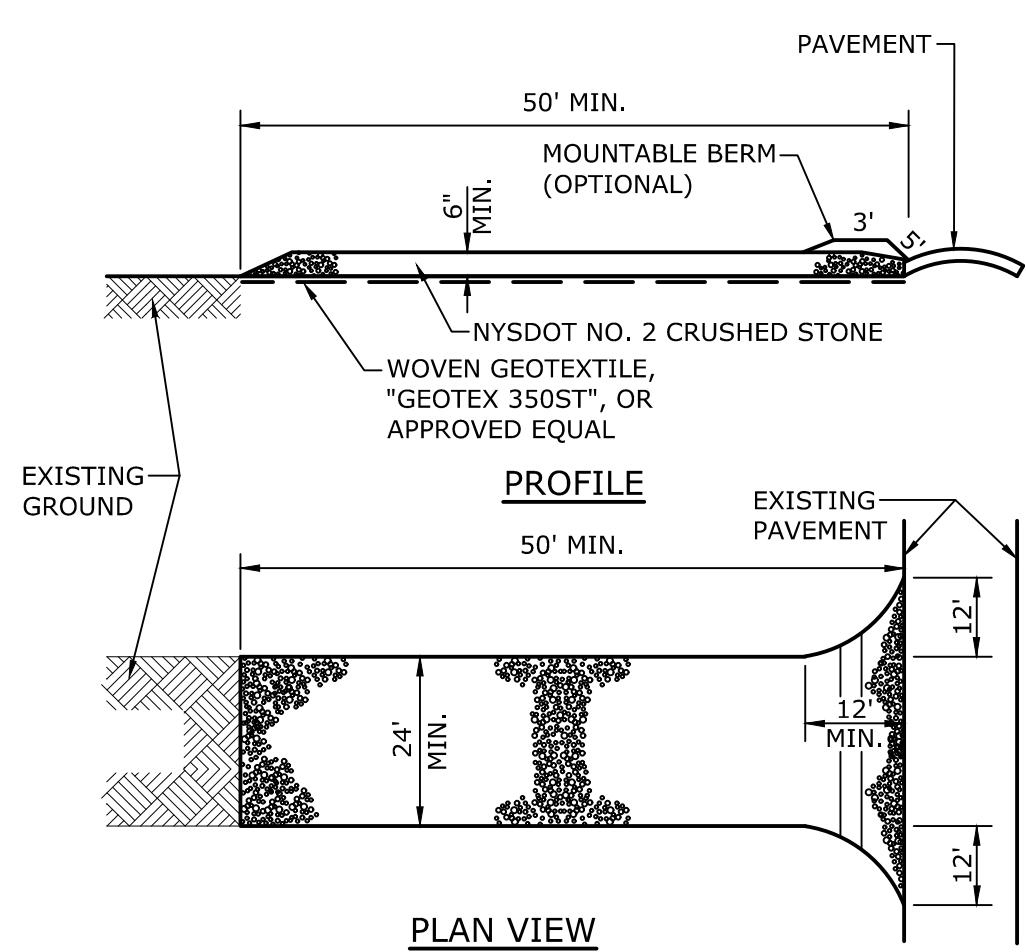
- DUST SHALL BE CONTROLLED ON THIS PROJECT BY USE OF A WATER TRUCK.
- THE QUALIFIED INSPECTOR WILL DETERMINE THE FREQUENCY OF WATER APPLICATION IN ORDER TO CONTROL DUST.
- CHEMICALS OR OTHER METHODS OF DUST CONTROL ARE PROHIBITED TO BE USED ON THIS PROJECT, UNLESS APPROVED BY THE REGIONAL DEC OFFICE.

SEEDING AND MULCHING NOTES:

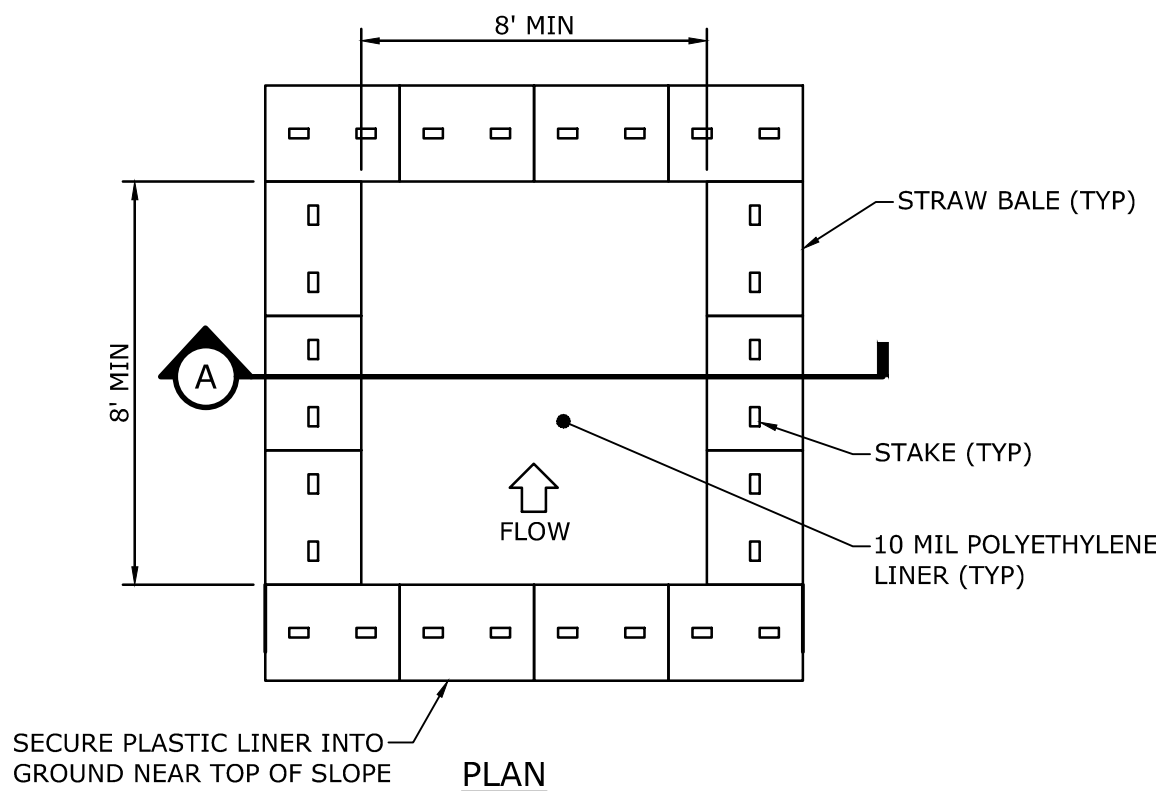
- TEMPORARY STABILIZATION MEASURES SHALL START AS SOON AS PRACTICAL ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT NOT MORE THAN (7) DAYS AFTER WORK HAS CEASED. ACCEPTABLE TEMPORARY STABILIZATION MEASURES INCLUDE, BUT MAY NOT BE LIMITED TO SEEDING, MULCH, STRAW, EROSION CONTROL BLANKETS, SOIL STABILIZING EMULSION PRODUCTS, OR SOME FUNCTIONALLY EQUIVALENT MEASURE. TEMPORARY SEEDING SHALL BE ANNUAL RYE GRASS, APPLIED AT A RATE OF 30 LBS./ACRE.
- TEMPORARY EROSION CONTROL PROTECTION BY MULCHING SHALL BE CARRIED OUT WITHIN (7) DAYS OF THE FILL GRADE BEING FINALIZED TO AVOID POSSIBLE CONTAMINATION OF PONDS, STREAMS, OR OTHER WATERCOURSES. PLACEMENT OF JUTE MESH OR EROSION CONTROL BLANKETS OVER THE MULCH IS RECOMMENDED TO PROVIDE POSITIVE "TACKING" OF THE MULCH AND INCREASED PROTECTION AGAINST EROSION.
- PERMANENT SEEDING AND MULCH SHALL BE APPLIED AS SOON AS THE DISTURBED AREAS HAVE ACHIEVED FINAL GRADE. IF THE SPECIFIED SEEDING DATES ARE MISSED, MULCH SHALL BE APPLIED TO THE SLOPE AND SEED SHALL BE APPLIED TO THE TOP OF THE MULCH IN THE NEXT SEEDING SEASON AFTER RECONDITIONING THE TOPSOIL. WHEN THE FINAL GRADE CANNOT BE OBTAINED IN (7) DAYS, MULCH SHALL BE APPLIED FOR PURPOSES OF TEMPORARY EROSION CONTROL.
- EROSION CONTROL BLANKETS OR SOIL STABILIZING EMULSION PRODUCTS SERVE AS A TEMPORARY EROSION CONTROL MEASURE ON ALL SLOPES STEEPER THAN OR EQUAL 1V:3H AND AS INDICATED ON THE PLANS.
- THE UNDERLYING SOIL IN AREAS THAT WILL BE PERMANENTLY PERVIOUS (LAWN, GRASS AND LANDSCAPED AREAS) SHALL BE RESTORED IN ACCORDANCE WITH THE MEASURES IDENTIFIED IN THE JANUARY 2015, NYSDEC STORM WATER MANAGEMENT DESIGN MANUAL, SECTION 5.1.6 "SOIL RESTORATION".
- SEEDBED SHALL BE PREPARED BY LOOSENING THE TOPSOIL TO A DEPTH OF 4 TO 6 INCHES, AND LIMING TO A PH OF 6.5. FERTILIZER SHALL BE APPLIED IF NECESSARY.
- MULCH OVER PREEMINENT SEED AREAS SHALL CONSIST OF SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE AND ANCHORED WITH WOOD FIBER HYDROMULCH APPLIED AT A RATE OF 500 TO 750 POUNDS PER ACRE. THE WOOD FIBER MULCH SHALL BE APPLIED THROUGH A HYDROSEEDER IMMEDIATELY AFTER SEEDING
- SEED MIXTURES:
 - GENERAL LAWN MIX:
 - SEED SHALL BE A MIXTURE OF THE SPECIES AND PROPORTION AS LISTED BELOW:

SPECIES	PERCENTAGE BY WEIGHT
YELLOW BLOSSOM SWEETCLOVER	25%
ALSIKE CLOVER	25%
CRIMSON CLOVER	15%
RED CLOVER, MEDIUM	20%
WHITE CLOVER, DUTCH	15%

- RATE: 75 - 150 LBS./ACRE, OR 1.7 - 3.4 LBS/1,000 SF

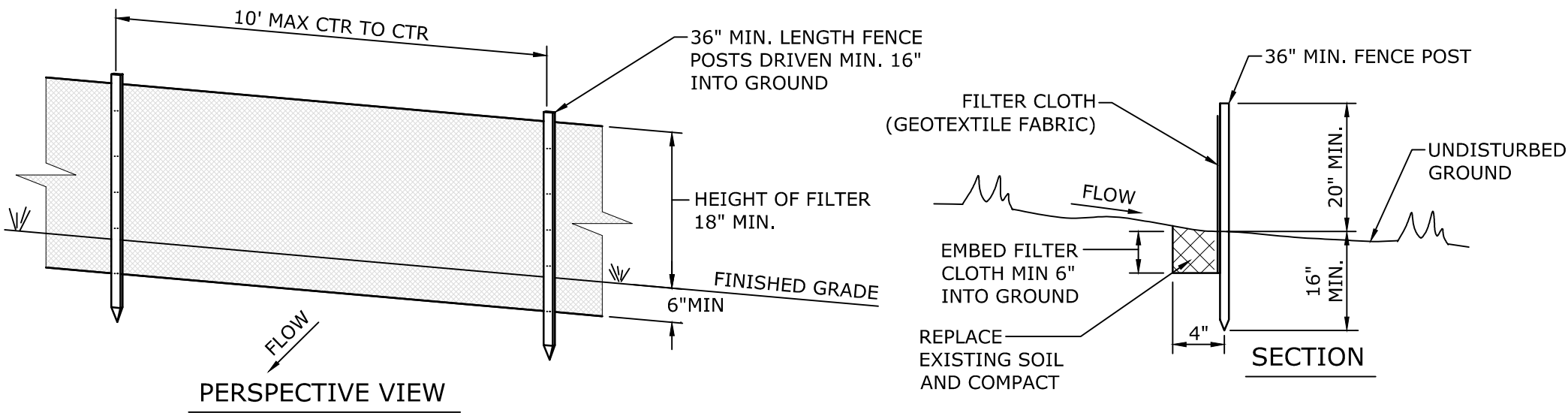


3 STABILIZED CONSTRUCTION ACCESS
C-501 SCALE: NONE
CROSS REFERENCE: NONE

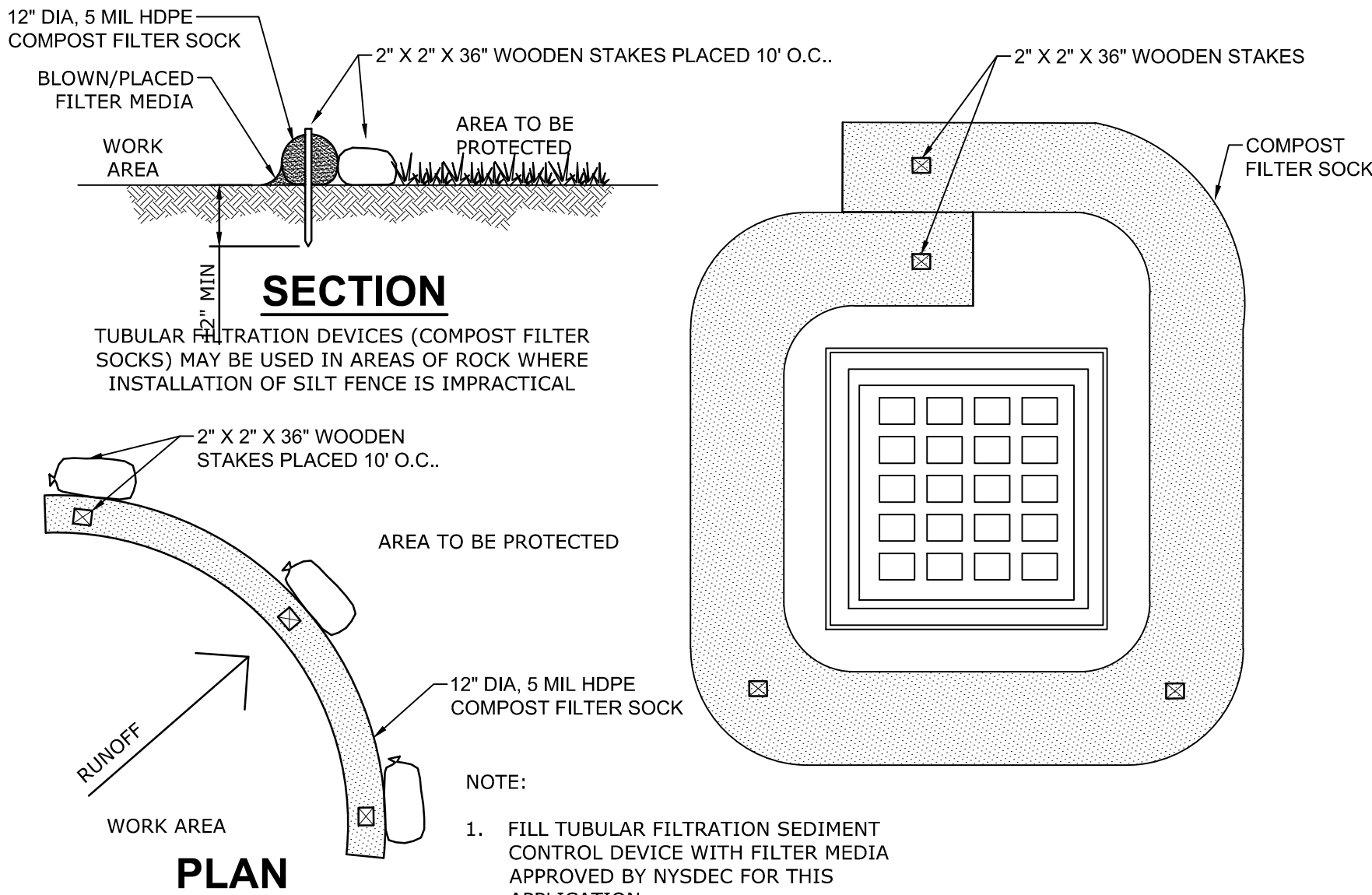


NOTES:

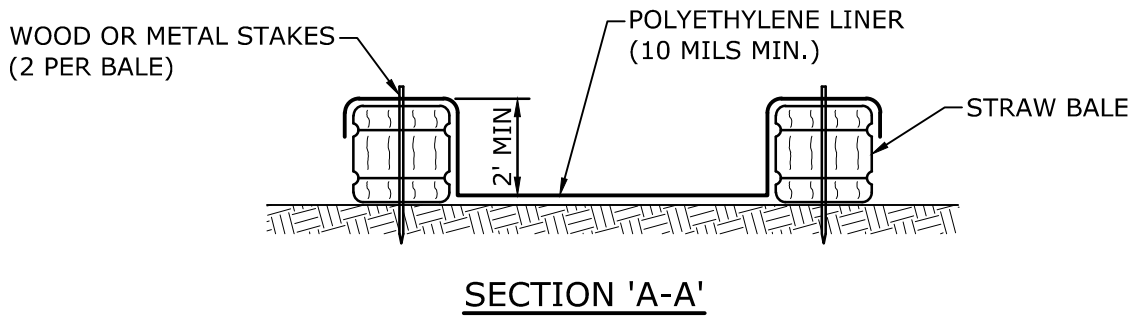
- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
- CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
- WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
- WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
- ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
- AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.
- SIGN SHALL BE PLACED IN A PROMINENT LOCATION AT WASHOUT AREA



2 SILT FENCE DETAIL
C-501 SCALE: NONE
CROSS REFERENCE: NONE



5 COMPOST FILTER SOCK
C-501 SCALE: NONE
CROSS REFERENCE: NONE



4 CONCRETE WASHOUT DETAIL
C-501 SCALE: NONE
CROSS REFERENCE: NONE

REVISIONS RECORD/DESCRIPTION					UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW.	DETAILS	
DATE			DRAFTER	CHECK	APPR.	2 - LOT MINOR SUBDIVISON	
8/10/22	△	REVISED PER SKETCH APPROVAL	OKS	FGP	FGP	© 2022 C.T. MALE ASSOCIATES	EMPIRE DRIVE LANDS N/F OF JORALEMON
9/6/22	△	REVISED PER PLANNING BOARD REVIEW	OKS	FGP	FGP		
10/31/22	△	REVISED PER TDE & PLANNING BOARD REVIEW	OKS	OKS	FGP	DESIGNED: MAC	TOWN OF NISKAYUNA SCHENECTADY COUNTY, NEW YORK
	△					DRAFTED : MAC	
	△					CHECKED : FGP	C.T. MALE ASSOCIATES Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400 COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY
	△					PROJ. NO : 04.9065	
	△					SCALE : 1"=40'	
	△					DATE : JUNE 30, 2022	
							C-501 SHEET 2 OF 2 DWG. NO: 04.9065



KB Group of NY, Inc. dba PRIME AE Group of NY

Albany Office

100 Great Oaks Boulevard | Suite 114 | Albany, New York 12203
P: 518.382.1774

October 24, 2022

Laura Robertson, AICP
Town Planner
One Niskayuna Circle
Niskayuna, NY 12309

Re: Town of Niskayuna
Joralemon/Empire Drive 2-Lot Stormwater Review
Our Project No. 22532

Dear Mrs. Robertson,

We are in receipt of the Stormwater Management Report dated 9/27/2022 as prepared by C.T. Male Associates. The Applicant proposed to construct two (2) new residential single-family homes and associated driveways on a total of 3.83 acres of land (tax map id 61.0-1-33.2) located at Empire Drive in the Town of Niskayuna. Based on our review of the Stormwater Management Report we provide the following comments:

Stormwater Management Report:

1. The site plan shows that approximately 1.30 acres of land will be disturbed within the two lots during construction. The Applicant should state this information in the Post-Developed Conditions section of the report as well.
2. The Town Planning Board indicated to the Applicant that only a Stormwater Management Report would be required for this project as opposed to a full SWPPP; however, Table 1 of Appendix B of the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity states that single family residential subdivisions with 25% or less impervious cover at total site build-out that involve soil disturbances between one and five acres require the preparation of a SWPPP that only includes erosion and sediment controls. Currently, the plans show a stabilized construction entrance and silt fence. The plans also have notes about soil, sediment, and erosion control; however, to be in accordance with Part III.B.1 of the General Permit, the Applicant should also add discussion of these measures in the report and specific details of each feature to the plans to meet the requirements of the General Permit. The Applicant should also include a general location map, a discussion of construction phasing, a maintenance inspection schedule, descriptions of pollution prevention measures to be taken during construction, and a draft Notice of Intent in the report.
3. The Applicant should use the proposed area of subcatchment P2 (3.07 acres) for the WQV and filter strip worksheets, not the existing area (2.59 acres).
4. The Post-Developed Conditions table on page 4 shows an increase in the runoff for the 10-year and 100-year storm events, however there is an asterisk stating, "This is prior to accounting for the Filter Strip Green Infrastructure Practice." The applicant should provide a revised table that includes the designed practice and shows post-development flows for all storm events are below the pre-development condition.
5. Post-construction stormwater flows from impervious surfaces on Lot 2 are proposed to be conveyed to Lot 1 where they would be treated by the filter strip. A culvert should be shown to convey these flows safely under the two driveways.



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www.primeeng.com

6. The filter strip area appears to be double counted in the runoff reduction techniques by area table on the WQv worksheet under filter strips and riparian buffers. The Applicant should revise this to only count the area once, which will be sufficient to reduce the WQv to zero.
7. A detail of the level spreader called out on the minor subdivision plan ahead of the filter strip should be included in the Stormwater Report, along with any other stormwater related details.
8. The Applicant should clarify whether the 25 feet of level grass for the boundary zone referenced in the filter strip worksheet is included in the 120' filter strip dimension. This 25' flat section of grass does not appear to be called out on the minor subdivision plan.
9. NYSDEC's filter strip worksheet states that the maximum contributing length of pervious areas is 150 feet; however, a value of 200 feet is used in the spreadsheet. The Applicant should state in the report where on the plans the pervious areas start and end, why a longer contributing length needed to be used in the design, and how the filter strip design addresses the additional contributing length to ensure the strip's functionality.
10. The filter strip width is stated as 50 feet on the Filter Strip calculation sheet; however, it is shown as 120' on the plan. The Applicant should revise the value stated in the worksheet.
11. As the 120' filter strip is a critical component of the post-construction stormwater design to provide runoff reduction by conservation of natural areas, it is our opinion that a permanent easement or deed restriction should be considered so that this area is not allowed to be altered in the future.
12. The subdivision plan still has the turnaround sections on the private driveways as opposed to the cul-de-sac or "bulb" end discussed by the planning board for snowplow turning. Please advise of the approved condition as the final design of this pervious area could change the stormwater design.

If you have any questions, please feel free to contact me.

Sincerely,

KB Group of NY, Inc. dba PRIME AE Group of NY



Douglas P. Cole, P.E.

Senior Director of Engineering

cc: Matthew Yetto, Superintendent of Water, Sewer, and Engineering
Clark A. Henry, Assistant Town Planner
Owen Speulstra, P.E., C.T. Male Associates



C.T. MALE ASSOCIATES

Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.

50 Century Hill Drive, Latham, NY 12110
518.786.7400 FAX 518.786.7299 www.ctmale.com



November 4, 2022

Laura Robertson, Town Planner
Planning Department
Niskayuna Town Hall
One Niskayuna Circle
Niskayuna, New York 12309

RE: *Joralemon 2-Lot Minor Subdivision*
Sketch Plan Submission
C.T. Male Project No: 04.9065

Dear Mrs. Robertson,

Please find the revised plan and SWPPP in response to Prime AE letter dated October 24, 2022. Responses to the comments listed in the October 24, 2022, letter from Prime AE appear in ***bold italics*** as follows:

Stormwater Management Report:

1. The site plan shows that approximately 1.30 acres of land will be disturbed within the two lots during construction. The Applicant should state this information in the Post-Developed Conditions section of the report as well.

Response: A more comprehensive SWPPP has been prepared and is included with this submission.

2. The Town Planning Board indicated to the Applicant that only a Stormwater Management Report would be required for this project as opposed to a full SWPPP; however, Table 1 of Appendix B of the NYSDEC SPDES General Permit for Stormwater Discharges from Construction Activity states that single family residential subdivisions with 25% or less impervious cover at total site build-out that involve soil disturbances between one and five acres require the preparation of a SWPPP that only includes erosion and sediment controls. Currently, the plans show a stabilized construction entrance and silt fence. The plans also have notes about soil, sediment, and erosion control; however, to be in accordance with Part III.B.1 of the General Permit, the Applicant should also add discussion of these measures in the report and specific details of each feature to the plans to meet the requirements of the General Permit. The Applicant should also include a general location map, a discussion of construction phasing, a maintenance inspection schedule, descriptions of pollution prevention measures to be taken during construction, and a draft Notice of Intent in the report.

Response: A more comprehensive SWPPP has been prepared and is included with this submission.

C.T. MALE ASSOCIATES

November 4, 2022

Laura Robertson

Page - 2

3. The Applicant should use the proposed area of subcatchment P2 (3.07 acres) for the WQV and filter strip worksheets, not the existing area (2.59 acres).

Response: This has been corrected in the revised reports and calculation.

4. The Post-Developed Conditions table on page 4 shows an increase in the runoff for the 10-year and 100-year storm events, however there is an asterisk stating, "This is prior to accounting for the Filter Strip Green Infrastructure Practice." The applicant should provide a revised table that includes the designed practice and shows post-development flows for all storm events are below the pre- development condition.

Response: This has been revised in the report and in the calculations and show that all Post-developed flows are at or below existing conditions.

5. Post-construction stormwater flows from impervious surfaces on Lot 2 are proposed to be conveyed to Lot 1 where they would be treated by the filter strip. A culvert should be shown to convey these flows safely under the two driveways.

Response: A culvert has been added to the plan.

6. The filter strip area appears to be double counted in the runoff reduction techniques by area table on the WQv worksheet under filter strips and riparian buffers. The Applicant should revise this to only count the area once, which will be sufficient to reduce the WQv to zero.

Response: This has been corrected and the filter strip is only counted once in the revised calculations.

7. A detail of the level spreader called out on the minor subdivision plan ahead of the filter strip should be included in the Stormwater Report, along with any other stormwater related details.

Response: The level spreader details has been added to the plan.

8. The Applicant should clarify whether the 25 feet of level grass for the boundary zone referenced in the filter strip worksheet is included in the 120' filter strip dimension. This 25' flat section of grass does not appear to be called out on the minor subdivision plan.

Response: The level grass area has been shown on the revised plan.

9. NYSDEC's filter strip worksheet states that the maximum contributing length of pervious areas is 150 feet; however, a value of 200 feet is used in the spreadsheet. The Applicant should state in the report where on the plans the pervious areas start and end, why a longer contributing length needed to be used in the design, and how the

C.T. MALE ASSOCIATES

November 4, 2022
Laura Robertson
Page - 3

filter strip design addresses the additional contributing length to ensure the strip's functionality.

Response: Although the length shown is longer than the Design Manual recommends this site has a small impervious footprint compared to the size of the filter. Additionally the site and area tributary to the filter strip have mild slopes less than 5% that will reduce concentration of flow and with the addition of the level spreader will function as it is intended. A filter strip typically does not require a level spreader when contributing areas are less than 5% slopes.

10. The filter strip width is stated as 50 feet on the Filter Strip calculation sheet; however, it is shown as 120' on the plan. The Applicant should revise the value stated in the worksheet.

Response: This has been corrected in the GI worksheet.

11. As the 120' filter strip is a critical component of the post-construction stormwater design to provide runoff reduction by conservation of natural areas, it is our opinion that a permanent easement or deed restriction should be considered so that this area is not allowed to be altered in the future.

Response: The applicant is leaving this area to remain green/undisturbed as shown on the plans.

12. The subdivision plan still has the turnaround sections on the private driveways as opposed to the cul- de-sac or "bulb" end discussed by the planning board for snowplow turning. Please advise of the approved condition as the final design of this pervious area could change the stormwater design.

Response: The current stub road with driveway configuration was preferred by the Town Highway Department.

If you have any questions, please feel free to contact me.

Respectfully submitted,

C.T. MALE ASSOCIATES

Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.

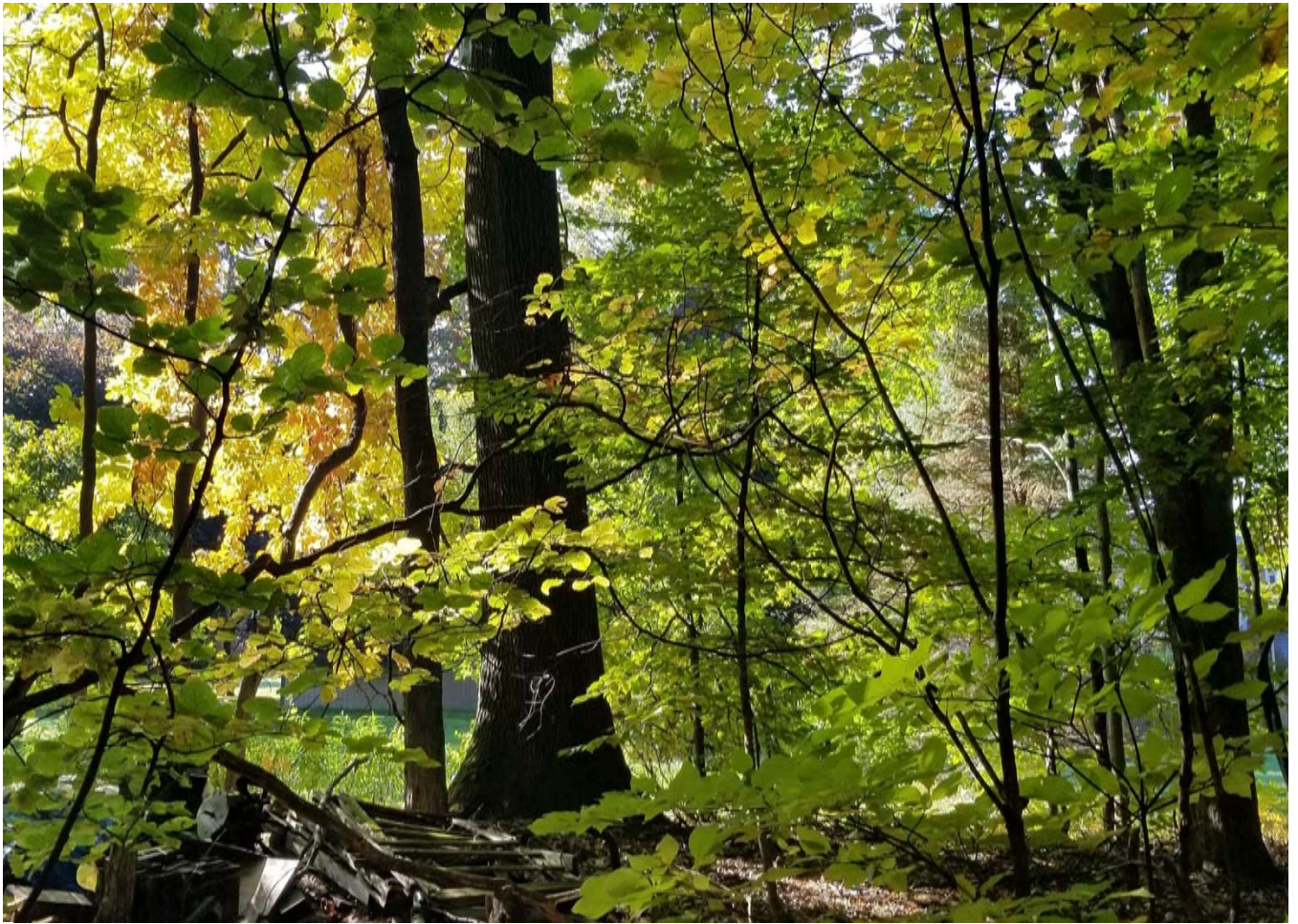


Owen Speulstra, PE







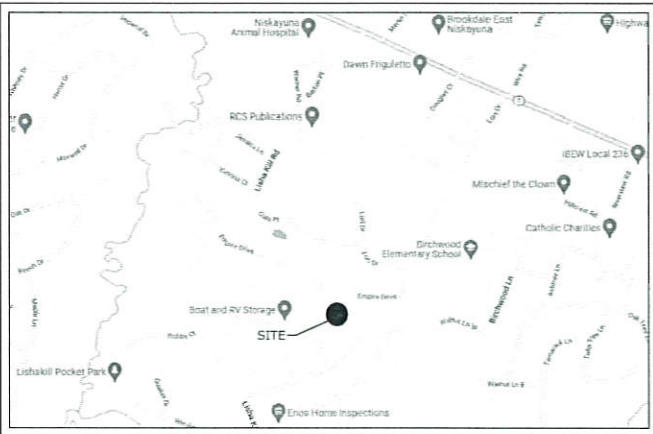
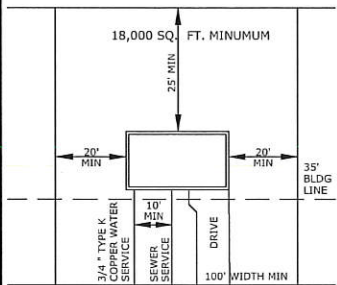










SITE LOCATION PLAN
N.T.S.R-1 ZONING
TYPICAL HOUSE UTILITY LAYOUT
(NOT TO SCALE)

GENERAL NOTES:

- BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
- ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

- DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- INsofar AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
- CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

- THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDING AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDING AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

- SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
- THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
- ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
- THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

- THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

LOT AREA AND IMPERVIOUS COVERAGE

	LOT AREA	IMPERVIOUS COVERAGE
NISKAYUNA ADJACENT LOTS	0.42 - 0.67 ±ACRES	15% - 25%
COLONIE ADJACENT LOTS	0.26 - 0.75 ±ACRES	15% - 25%
JORALEMON PROPOSED LOTS	1.83 - 2.00 ±ACRES	5.6% & 6%



Little to no invasive species

ZONING DATA:

ZONE: R-1
MIN. LOT AREA: 18,000 SF
MIN. LOT WIDTH: 100 FEET

YARD REQUIREMENTS:

FRONT SETBACK MINIMUM: 35 FEET
SIDE SETBACK MINIMUM: 20 FEET (40 FEET BOTH)
REAR SETBACK MINIMUM: 25 FEET

MAP REFERENCE:

- "BOUNDARY SURVEY PORTION OF LANDS OF ROBERT W. JORALEMON & PATRICIA A. JORALEMON" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, PREPARED BY C.T. MALE ASSOCIATES, DATED MARCH 1, 2004, BEARING PROJECT NO. 04.9065, DWG. NO. 04-151.
- "CERONE PAULSEN SUBDIVISION" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, DATED FEBRUARY 5, 2004 BEARING DWG NO. PROJECT NO. 383.02 & MAP. NO. 04-30-41B

MAP NOTES:

- TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER LIDAR INFORMATION OBTAINED ON MAY 13, 2022 AS SUPPLIED BY THE NEW YORK STATE GIS CLEARINGHOUSE, NYS 2 METER DEM INDEX.
- NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 1.
- NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES. EXISTING UTILITIES WERE PER DESIGN DRAWING INFORMATION PER MAP REFERENCE NO. 2.

* Intact understory
- do not remove
- witchhazel
- iron wood
- hophornbeam

Important
no clear boundary

VERY IMPORTANT
NO CLEAR BOUNDARY → MANY LARGE OAKS + MAPLES

LAYOUT PLAN
2 - LOT MINOR SUBDIVISIONEMPIRE DRIVE
LANDS N/F OF JORALEMON

TOWN OF NISKAYUNA SCHENECTADY COUNTY, NEW YORK

C.T. MALE ASSOCIATES
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400
COBLESKILL, NY • GLENS FALLS, NY • Poughkeepsie, NY
JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY

**SK2**SHEET 1 OF 1
DWG. NO: 04.9065



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 11/14/2022

ITEM TITLE: 2721 Balltown Road – site plan application for two 6-unit apartment buildings

PROJECT LEAD: TBD

APPLICANT: Alex Ritmo, owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Alex Ritmo submitted an Application for Site Plan Approval for the construction of two new 6-unit apartment buildings including one accessory garage and associated parking at 2721 Balltown Road. Mr. Ritmo received a use variance for the property on 10/21/20 to convert the existing main animal hospital building into a 6-unit multiple-family dwelling unit.

BACKGROUND INFORMATION

2721 Balltown Road is located within the R-P Residential and Professional Zoning District. However, as noted the Zoning Board of Appeals (ZBA) granted a use variance to allow the preexisting building (3 residential apartment units on the second floor and an animal hospital on the first floor) to be converted into a 6 unit apartment building – which also received Planning Board site plan approval. Central to several of the Board's recommendations during this process was that the existing buildings contained two non-conforming uses (multi-family apartments and an animal hospital) and the use variance actually made the building more conforming by consolidating it down to one use within the building (multi-family).

A letter dated 10/12/22 authored by Mr. Robert A. Stout of Whiteman, Osterman & Hanna LLP was provided with the Application for Site Plan Review stating that Mr. Ritmo is now requesting an amended Site Plan Approval for the construction of two new 6-unit apartment buildings and an accessory garage.

A 1-page site plan drawing labeled Proposed Layout Plan 2721 Balltown Rd. Dwg. No. C-110 by Insite Northeast Engineering and Land Surveying, P.C. dated 9/21/22 with no subsequent revisions was also provided with the application.

The Town of Niskayuna reviewed the application and determined that the Zoning Board of Appeals granted a use variance for the site plan application as written and the approval specific

to the existing building does not extend to any future buildings on the property. Therefore the Planning Department denied the site plan application and the applicant will need to return to the Zoning Board of Appeals for a second use variance request.

10/24/22 Planning Board (PB) meeting – The PB provided a number of comments on the proposed plan, including the following.

- New Multi-family apartment buildings are currently only allowed as a right in the R-3 zoning district
- The Multiple-Family Dwellings Code (section 220-26) requires 40' side yard setbacks for new apartment buildings. Conformance with Section 220-26 should be considered in review and recommendation of a potential use variance
- The applicant shall work to minimize the amount of pavement on the site
- The applicant shall consider a parking area under the building rather than constructing a parking garage to minimize impervious surfaces.
- The applicant shall locate the dumpsters such that noise is limited
- The PB requested renderings of how the site would appear post-construction

The Planning Office issued a denial letter for the proposed project based on its noncompliance with the current use variance and the fact that the current zoning code does not allow multi-family homes in the R-P zoning district. They noted the next step for Mr. Ritmo and Mr. Stout would be to appeal to the Zoning Board of Appeals. The denial letter was issued on 10/31/22.

The Planning Office received updated site plan drawing dated 11/7/22.

- The proposed side setbacks are unchanged (remain 25')
- The amount of pavement on the site has been increased very slightly
- A separate 12-space parking garage structure is proposed
- The 2 garbage dumpsters have been relocated
- Wetlands are indicated – but they appear to be added from a GIS source (approximate). The Planning Department recommends a full wetland delineation prior to submittal to the ZBA – as the wetland boundaries and buffers may limit where the pavement or buildings can be placed and change the amount of units that could be constructed on the property.

The applicant is expected to file an appeal to the ZBA for a use variance with their case potentially scheduled for December 21, 2022.

The PB should review the updated site plan drawing and will need to make a recommendation to the ZBA by their December 12, 2022 regular meeting.

11/7/2022 2:28 PM G:\2020 PROJECTS\20031 - 2721 BALLTOWN ROAD\02_CAD\AC-110 AS-BUILT JAKE WORKING.DWG



SITE STATISTICS:

APPLICANT: RITMO CONSTRUCTION
SITE ADDRESS: 2721 BALLTOWN ROAD
TOWN OF NISKAYUNA, NY
PARCEL NUMBER: 31.-1-61
TOTAL PARCEL AREA: 3.39± ACRES
EXISTING ZONING: R-P RESIDENTIAL & PROFESSIONAL
EXISTING USE: MULTIFAMILY RESIDENTIAL
6 DWELLING UNITS (11 TOTAL BR)
PROPOSED USE: MULTIFAMILY RESIDENTIAL
12 DWELLING UNITS (22 TOTAL BR)
EXISTING OPEN SPACE: EXCESS OF 2,400 SF
(400 SQFT PER DWELLING FOR A
MINIMUM OF 2,400 SF PURSUANT
TO ZONING ORDINANCE 220-26D)
PROPOSED OPEN SPACE: EXCESS OF 4,800 SF
(400 SQFT PER DWELLING FOR A
MINIMUM OF 4,800 SF PURSUANT
TO ZONING ORDINANCE 220-26D)

TOTAL DISTURBANCES:

EXISTING: 10,037 SF
PROPOSED: 30,669 SF
TOTAL: 40,706 SF

ACOE WETLAND CLASSIFICATION:

SYSTEM (P): PALUSTRINE
CLASS (UB): UNCONSOLIDATED BOTTOM
WATER REGIME (H): PERMINATLY FLOODED
SPECIAL MODIFIER (h): DIKED/IMPOUNDED

REGULATIONS FOR R-P ZONE							
MINIMUM LOT SIZE			MAXIMUM PERCENTAGE OF COVERAGE BY BUILDINGS AND STRUCTURES	MINIMUM YARD DIMENSIONS			
AREA	WIDTH (FEET)	DEPTH (FEET)		FRONT	1 SIDE	BOTH SIDES	REAR
1	100	150	20	30	25	50	25

APPROXIMATE LOCATION OF
AREA AVAILABLE AS
RECREATIONAL OPEN SPACE
(MINIMUM 2,400 SF)
FINAL LOCATION SHALL BE
DETERMINED BY THE APPLICANT

ACOE WETLAND
AREA CLASSIFIED
AS PUBHH

PROPOSED 6-UNIT
78' X 48'
BUILDING

PROPOSED DUMPSTER

12 SPACE
PROPOSED
GARAGE

PROPOSED 6-UNIT
78' X 48'
BUILDING

EXISTING 6-UNIT
BUILDING
FTE = 362.3
APPROX. 3,200 SF

ELEC.
MTR.
AC
GEN.

RELOCATED
EXISTING
DUMPSTER

SEWER EASEMENT
BR. 1019, PG. 446
RUL-10-3.1.3

SEWER EASEMENT
BR. 1019, PG. 442

APPROXIMATE LOCATION OF
EXISTING MUNICIPAL SEWER
PIPELINE LOCATION OF
EXISTING NATURAL WATER

20' 10' 0 20'



LAYOUT PLAN
2721 BALLTOWN ROAD
2721 BALLTOWN ROAD
SBL 31-1-161

TOWN OF NISKAYUNA SCHEMECTADY COUNTY NEW YORK STATE

DATE: 11/07/22
JOB #: 20031
SCALE: AS SHOWN
SURVEYED BY: XXXX
DRAWN BY: MJC
CHECKED BY: MCJ

DWG. NO.

PLOT

SHEET 1 OF 1

DRAFT COPY
NOT FOR
CONSTRUCTION

MARK C. JACOBSON, P.E.
NYS LICENSE NO. 081500

MICHAEL I. GROFF, P.L.S.
NYS LICENSE NO. 49454

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THE EMBOSSED SEAL OF THE
PREPARED AND BE CONSIDERED TO
BE TRUE AND VALID COPIES.

NO.	DATE	DESCRIPTION	COMMENTS ADDRESSED	IMC	REV	CHK
1	11/07/2022					MCJ



TOWN OF NISKAYUNA

PLANNING DEPARTMENT

One Niskayuna Circle
Niskayuna, New York 12309-4381

Laura Robertson, AICP
4530
Town Planner
4592

Phone: (518) 386-

Fax: (518) 386-

lrobertson@niskayuna.org

BUILDING AND ZONING PERMIT DENIAL

Address: 2721 Balltown Road
31.-1-61

Application Date: October 31, 2022

=====

Alex Ritmo
2990 Furbeck Road
Altamont, NY 12009

Re: 2721 Balltown Rd., R-P Residential and Professional Zoning District, 3.40 acres.

Dear Mr. Ritmo:

You are hereby notified, as required by Section 220-67 F of the Zoning Ordinance of the Town of Niskayuna, that your site plan application to construct two (2) additional six (6)-unit apartment buildings along with an accessory garage structure and associated parking at 2721 Balltown Road has been denied for the following reasons.

1. Failure to comply with the use variance granted by the ZBA on 10/21/20

The current 6-unit multiple-family dwelling building was granted a use variance by the Niskayuna Zoning Board of Appeals (ZBA) at their regularly scheduled meeting on 10/21/20. In his approval letter dated 10/23/20 Mr. Fred Goodman, Chairman of the ZBA, states "the Animal Hospital portion of the main building would be converted into three (3) additional apartment units, the existing three (3) units would remain and the kennels and outbuildings associated with the Animal Hospital would be removed". As proposed, the construction of two new additional multiple-family dwelling units does not comply with the use variance granted at the 10/21/20 ZBA meeting; therefore, a new use variance is required.

2. Failure to comply with Section 220-4 of the Niskayuna Zoning Code

Section 220-4 states: "LOT - A portion or parcel of land considered as a unit devoted to a certain use. A "lot" is occupied or is to be occupied by one principal use in one principal building, together with any accessory buildings or uses permitted by this chapter. Only one principal use and one principal building are permitted on any "lot". A "lot" may or may not be the land shown as a "lot" on a duly recorded plat". As proposed, the construction of two new additional

multiple-family dwelling units would constitute additional principal buildings and therefore does not comply with the zoning code. Therefore, a new use variance is required.

3. Failure to comply with Section 220-10 (K) of the Niskayuna Zoning Code

Section 220-10 District regulations states: "The principal uses and accessory uses permitted and those uses allowed upon granting of a special permit in each district are set forth in this section as follows". Section 220-10 (K) lists the principal, accessory and special permit uses for the R-P zoning district. As proposed, multiple-family dwelling units are not listed as principal or special permitted uses. Therefore, a new use variance is required.

Under the provisions of Section 220-69 of the Zoning Ordinance of the Town of Niskayuna, you may appeal this decision to the Zoning Board of Appeals and the undersigned within 60 days.

10/31/2022

Date



Deputy Zoning Enforcement Officer

cc: Thomas Cannizzo, Building Inspector
Kenneth Hassett, Building Inspector
Alaina Finan, Deputy Town Attorney

WHITEMAN
OSTERMAN
& HANNA LLP

Attorneys at Law
www.woh.com

One Commerce Plaza
Albany, New York 12260
518.487.7600 phone
518.487.7777 fax
RStout@woh.com

Robert A. Stout Jr.
Partner
518.487.7730 phone

October 12, 2022

VIA EMAIL & HAND DELIVERY

Chairman Walsh and
Members of the Planning Board
Town of Niskayuna
One Niskayuna Circle
Niskayuna, NY 12309

***Re: 2721 Balltown, LLC/Alexander Ritmo – Site Plan
2721 Balltown Road (SBL: 31-1-61)(the “Premises”)***

Dear Chairman Walsh and Members of the Planning Board:

We represent Alex Ritmo and 2721 Balltown, LLC, owner of the above referenced Premises (collectively with 2721 Balltown, LLC, referred to as the “Applicant”). The Premises are located in the Residential and Professional zoning district (“R-P District”) under the Town of Niskayuna (the “Town”) Zoning Ordinance (the “Zoning Ordinance”). The Applicant is requesting Site Plan Approval to construct two 6-unit apartment buildings on the Project Site with related off-street parking and infrastructure (the “Project”).

By letter dated October 2nd, 2022, our client submitted an Application for Building and Zoning Permit with respect to the Project (the “Permit Application”). The Permit Application is included here as **Attachment A** for your reference. As set forth in the Permit Application, in 2020, the Town’s Zoning Board of Appeals (the “ZBA”) issued the Applicant a use variance for the Premises in connection with the conversion of a pre-existing non-conforming animal hospital/apartment building into a 6-unit apartment building. Subsequently, the Planning Board issued Site Plan Approval for the same. The use variance issued by the ZBA and Site Plan Approval issued by the Planning Board are included with the enclosed Permit Application.

The project as initially contemplated in 2020 has been completed and the building occupied. The Applicant is now requesting an amended Site Plan Approval to construct two additional 6-unit apartment buildings on the Premises, along with an accessory garage and associated parking. The Project includes two buildings with 6-units each, inclusive of 11 bedrooms per building, along with twelve (12) additional parking spaces.

We believe the law provides that once a use variance has been granted, the contemplated use becomes a conforming use and, as a result, no further use variance is required for its expansion, provided an amended Site Plan approval is obtained from this board. In furtherance of this perspective, we submitted a letter to the Planning Board Attorney on February 10, 2022 containing reference to relevant case law. That letter is also included in the attached Permit Application.

We respectfully request to be placed on the next available agenda of the Planning Board. To that end, we are enclosing:

- 1) Planning Board Site Plan Application (**Attachment B**);
- 2) Short Environmental Assessment Form (**Attachment C**);
- 3) Layout Plan, prepared by Insite Northeast Engineering & Land Surveying, P.C. (**Attachment D**); and
- 4) Our Firm's Check in the amount of \$200, representing the Site Plan Application Fee.

Further, we are including 11 additional copies of the Layout Plan and five additional copies of the SEAF for the Board's convenience.

We look forward to meeting with and obtaining initial feedback from the Planning Board. Upon receipt of such feedback, the Applicant will provide any additional information requested by the Planning Board.

Please do not hesitate to contact me with any questions or concerns at (518) 487-7730 or rstout@woh.com.

Very truly yours,

/s/ *Robert A. Stout*

Robert A. Stout

ATTACHMENT A

One Commerce Plaza
Albany, New York 12260
518.487.7600 phone
518.487.7777 fax

Robert A. Stout Jr.
Partner
518.487.7730 phone
RStout@woh.com

October 2, 2022

VIA EMAIL

Thomas Cannizzo/Kenneth Hassett, Building Inspectors
One Niskayuna Circle
Niskayuna, New York 12309

***Re: 2712 Balltown, LLC/Alexander Ritmo – Site Plan
Property: 2721 Balltown Road (SBL: 31-1-61) (the “Premises”)
Application for Building and Zoning Permit***

Dear Mr Cannizzo and Mr. Hassett:

We represent Alex Ritmo and 2721 Balltown, LLC, owner of the above referenced Premises (Mr. Ritmo and 2712 Balltown, LLC are collectively referred to as the “Applicant”). The Premises is located in the Residential and Professional zoning district (“R-P District”) as set forth in the Town of Niskayuna (the “Town”) Zoning Ordinance (the “Zoning Ordinance”). In 2020, the Town’s Zoning Board of Appeals (the “ZBA”) issued the Applicant a use variance for the Premises in connection with the conversion of a pre-existing non-conforming animal hospital/apartment building into a 6-unit apartment building. Subsequently, the Planning Board issued Site Plan Approval for the same. The use variance issued by the ZBA and Site Plan Approval issued by the Planning Board are included here as **Attachments A and B**, respectively.

The project as initially contemplated in 2020 has been completed and the building occupied. The Applicant is now requesting an amended Site Plan Approval to construct two additional 6-unit apartment buildings on the Premises, along with an accessory garage and associated parking (the “Amended Project”). The Amended Project includes two buildings with 6-units each, inclusive of 11 bedrooms per building, along with twelve (12) additional parking spaces. A proposed layout plan is included as **Attachment C**.

We believe the law provides that once a use variance has been granted, the contemplated use becomes a conforming use and, as a result, no further use variance is required for its expansion, provided an amended Site Plan approval is obtained. In furtherance of this perspective, we

submitted a letter to the Planning Board Attorney on February 10, 2022 containing reference to relevant case law. Please see **Attachment D** (without attachments). As a threshold issue, we are asking to confirm that our client's application may be advanced without further review by the ZBA. We believe the case law supports such an approach. However, we understand that it is generally the Town's preference to subject physical expansions of projects that have previously received a use variance to additional ZBA review pursuant to use variance criteria, in addition to also requiring Site Plan Review. If that is the case, we believe we can make a showing to the ZBA that a unique set of circumstances, including unanticipated issues encountered during the construction process and unanticipated market forces, including rampant inflation, have combined to prevent the Applicant from realizing a reasonable rate of return on his investment for the initial project.

In sum, the Applicant is proposing the additional units to further assist in recouping his initial investment and realize a reasonable return in connection with the already issued use variance. Since the Amended Project is in its early stages of development, and because we would like some clarity from your office and the Planning Board as to whether an additional use variance is required prior making an additional investment in the Amended Project, our client has not yet prepared a full set of site/construction plans.

We look forward to receiving feedback from the Town's Building Department and Planning Board, and providing whatever additional information the Town believes appropriate. To that end, we have enclosed an Application for Building and Zoning Permit, included as **Attachment E**, which we are also submitting in quadruplicate hard copy to your office, as provided for in Section 220-67 of the Zoning Ordinance.

Please do not hesitate to contact me with any questions or concerns at (518) 487-7730 or rstout@woh.com.

Very truly yours,
Rob Stout
Robert A. Stout

Enclosures

cc: Laura Robertson, Town Planner
Clark Henry, Assistant Town Planner

Attachment A

Niskayuna Zoning Board of Appeals

Use Variance Approval Letter dated October 23, 2020

**TOWN OF NISKAYUNA
ZONING BOARD OF APPEALS
One Niskayuna Circle
Niskayuna, New York 12309
(518) 386-4530**

**FILED
TOWN OF NISKAYUNA**

October 23, 2020

OCT 23 2020

Alex Ritmo
2990 Furbeck Rd
Altamont, NY 12009

**MICHELE M MARTINELLI
TOWN CLERK**

Dear Mr. Ritmo,

At its regularly scheduled meeting held on October 21, 2020, the Zoning Board of Appeals ("the Board") reviewed the following case:

Appeal by Alex Ritmo for a variance from Section 220-52 (A) of the Zoning Ordinance of the Town of Niskayuna as it applies to the property at 2721 Balltown Road, Niskayuna, New York, located in the R-P: Residential and Professional Zoning District, to convert a preexisting non-conforming animal hospital / apartment building into a 6-unit apartment building. The Animal Hospital portion of the main building would be converted into three (3) additional apartment units, the existing three (3) units would remain, and the kennels and outbuildings associated with the Animal Hospital would be removed. Section 220-52 (A) states "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated". As proposed, multiple-family dwelling units are not listed as Permitted (conforming) Uses in Schedule of Supplementary Regulations 220 Attachment 22 Schedule I-H R-P District. Therefore, a use variance is required.

It was the decision of the Board to grant the use variance as written.

The Board based its decision on the findings of fact set forth in the applicant's appeal and the discussion between the applicant (or the applicant's representative) and the Board members during the meeting. You can view a video of the meeting at https://www.youtube.com/watch?v=dSg2z9RWL_w.

The approval of a variance by the Board does not constitute authorization to proceed with the establishment on extension of any use, nor the construction of any structure. It shall authorize the filing of an application for permits with the Building Department on approval as required by Town Code.

Town Code Section A235-10(D) provides: "Unless otherwise specified, any order or decision of the Board for a permitted use shall expire if a building or occupancy permit for the use is not obtained by the applicant within 90 days from the date of the decision; however, the Board may extend this time an additional 90 days." As such, you must proceed with applying for a permit within 90 days of the date of this decision.

Sincerely,

Fred Goodman/LMS

Fred Goodman
Chairman

cc: Town Clerk
Building Department
ZBA File

Attachment B

Niskayuna Planning Board and Zoning Commission

Site Plan Resolution dated December 14, 2020

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 14TH DAY OF DECEMBER 2020 AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT BY VIDEOCONFERENCE, PURSUANT TO NYS EXECUTIVE ORDER 202.1:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
MORRIS AUSTER
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DADI SHENFIELD
LESLIE GOLD

FILED
TOWN OF NISKAYUNA

DEC 15 2020

MICHELE M MARTINELLI
TOWN CLERK

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Mr. D'Arpino.
whom moved its adoption, and seconded by Mr. Khan.

WHEREAS, Alex Ritmo, owner of Ritmo Construction, has made an application to the Planning Board for site plan review with a use variance for a 6 unit multi-family dwelling unit apartment at 2721 Balltown Road, Niskayuna, and

WHEREAS, the site plan is shown on a drawing entitled "Proposed Layout Plan 2721 Balltown Road" dated 11/20/20 authored by Institute Northeast Engineering and Land Surveying, P.C., and

WHEREAS, the zoning classification of the property is R-P Residential and Professional zoning district, and

WHEREAS, the previous owner / use, Aqueduct Animal Hospital was a registered nonconforming use at this address, and

WHEREAS, per Town Zoning Code Section 220-10 District Regulations K R-P Residential and Professional the proposed 6 unit multi-family dwelling unit apartment building is neither a (1) permitted principal use, (2) permitted accessory use or (3) special principal use it is therefore nonconforming, and

WHEREAS, the site plan application was denied by the Planning Board and Zoning Commission by reason of Article IX. Nonconforming Uses and Structures Section 220-52 Changes in nonconforming uses (A) which states "No nonconforming use shall be changed to other than a conforming use for the district in which it is situated". Schedule of Supplementary Regulations 220 Attachment 22 Schedule I-H R-P District does not include multiple-family dwelling units as a Permitted (conforming) Use, and

WHEREAS, Mr. Ritmo submitted an appeal to the Niskayuna Zoning Board of Appeals (ZBA) and during their regularly scheduled meeting on 10/21/20 was granted a use variance, and

WHEREAS, a zoning coordination referral was sent to the Schenectady County Department of Economic Development & Planning on September 25, 2020 and they responded that they deferred to local consideration, and

WHEREAS, Mr. Robert E. Rice Jr., P.E., Regional Program and Planning Manager for the New York State Department of Transportation (NYSDOT), contacted Ms. Robertson, Town Planner, in a letter dated December 2, 2020 regarding SEQR: 2020.1-6.013 Site Plan Application 2721 Balltown Road, Town of Niskayuna, Schenectady County. Mr. Rice's letter included the following four points.

1. The NYSDOT acknowledges the Town of Niskayuna as Lead Agency for environmental review. NYSDOT believes we are an involved agency under SEQR.
2. A NYSDOT Highway Work Permit will be necessary...driveway shall be improved to meet commercial highway standards.
3. Access shall be limited to one driveway. NYSDOT would require removal of driveway to the south.
4. A PERM 32 NYSDOT permit application will be required for any utility work or connection needed in the NYSDOT right-of-way.

WHEREAS, the Conservation Advisory Council (CAC) reviewed EAF 2020-08 for the project during their 11/4/20 meeting and voted to recommend a negative declaration with comments, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS the Planning Board, acting in accordance with the State Environmental Quality Review (SEQR) regulations and local law, has contacted all involved agencies, and they have concurred with the Planning Board that it should assume the position of lead agency for site plan review of this project.

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission hereby determined that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative SEQR declaration for the site plan:

RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code, and therefore, hereby approves this site plan and tenant change with the following conditions.

1. The final parking lot configuration and curb cut onto Balltown Road shall be provided to the Planning Office for review and approval at a future date, and such configuration shall comply with the points identified in the letter authored by Mr. Robert E. Rice Jr, P.E., Regional Program and Planning Manager, of the New York State Department of Transportation dated December 2, 2020.
2. Mr. Ritmo will work with the Architectural Review Board (ARB) on façade upgrades and building modifications at 2721 Balltown Road to give it a more residential feel in harmony with the neighboring properties in this predominantly residential zoning district.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN -- Aye
MORRIS AUSTER -- Aye
GENGHIS KHAN -- Aye
MICHAEL A. SKREBUTENAS -- Aye
CHRIS LAFLAMME -- Aye
PATRICK MCPARTLON -- Aye
DAVID D'ARPINO -- Aye
~~DACI SHENFIELD~~
~~LESLIE GOLD~~

The Chairman declared the same duly adopted.

Attachment C

**Layout Plan prepared by Insite Northeast Engineering and Land Surveying dated September 21,
2022**

Attachment D

Letter to Planning Board Attorney, Alaina Finan, Esq., dated February 10, 2022

WHITEMAN
OSTERMAN
& HANNA LLP

Attorneys at Law
www.woh.com

One Commerce Plaza
Albany, New York 12260
518.487.7600 phone
518.487.7777 fax

Robert A. Stout Jr.
Partner
518.487.7730 phone
rstout@woh.com

February 10, 2022

Via Email Only

Alaina Finan, Esq.
Planning Board Attorney
Town of Niskayuna
One Niskayuna Circle
Niskayuna, NY 12309

Re: 2721 Balltown Road (the "Premises")

Dear Ms. Finan:

We represent Alex Ritmo and 2721 Balltown, LLC, owner of the above referenced Premises, located in the Town's Residential and Professional (R-P) District. At its meeting on October 23, 2020, the Zoning Board of Appeals granted a use variance in connection with the conversion of a pre-existing non-conforming animal hospital/apartment building into a 6-unit apartment building. The variance was required because multiple-family dwelling units are not listed as Permitted Uses in the Schedule of Supplementary Regulations 220 Attachment 22, Schedule I-H, R-P District. Please see enclosed **Attachment A**, Town of Niskayuna Zoning Board of Appeals letter dated October 23, 2020 (the "ZBA Approval").

Subsequently, Mr. Ritmo obtained Site Plan approval from the Planning Board by Resolution No. 2020-36, filed as of December 15, 2020. Please see enclosed **Attachment B**. Given the success of the approved project, Mr. Ritmo is currently exploring his options and is considering seeking approval from the Town for an additional multiple-family dwelling unit on the Premises, which is an approximately 3.4 acre parcel. While any such proposal would be subject

to Site Plan review and approval by the Planning Board, we seek to initially confirm that no additional use variance is required from the Zoning Board of Appeals related to any potential extension of the previously approved use.

In making such request, we note that the Appellate Division, Second Department has observed that “*a use for which a use variance has been granted is a conforming use and, as a result, no further use variance is required for its expansion, unlike a use that is permitted to continue only by virtue of its prior lawful, nonconforming status...*” *Scarsdale Shopping Center Associates, LLC v. Board of Appeals on Zoning for the City of New Rochelle* 64 A.D.3d 604 at 606. The Appellate Division went on to point out that: “[t]he use of the property remains subject to the terms of the use variance ... and, where the Board of Appeals has previously determined that the development is limited only to a certain extent by the terms of the variance, the Board of Appeals is not free to later disregard that determination ...” *Id.* See also *Kogel v. Zoning Board of Appeals of Town of Huntington*, 58 A.D. 3d 630 (Second Dept. 2009).

In the present instance, the ZBA Approval recites the nature of the underlying application that required a use variance, namely, the applicant’s request to convert a pre-existing non-conforming animal hospital/apartment building into a 6-unit apartment building. The ZBA Approval contains no limiting language, other than providing that a building/occupancy permit must be obtained within 90 days and that: “*The approval of a variance by the Board does not constitute authorization to proceed with the establishment on¹ extension of any use, nor the construction of any structure. It shall authorize the filing of an application for permits with the Building Department on approval as required by Town Code.*” The effect of this is to require that prior to proceeding with or extending the use, the applicant need obtain the requisite building and other permits required.

Prior to our client investing in preparing the necessary site plan/building permit applications, we seek to confirm that the Town will not require an additional use variance, should our client submit a proposed site plan related to the extension of the previously approved use. We believe requiring a use variance would be inconstant with how courts have handled the issue.

Are you available for a brief conversation to discuss your perspective on the next appropriate steps to have this request be considered?

Very truly yours,

Rob Stout

Robert A. Stout Jr.

¹ We believe the intended language was “or” extension of any use.

Attachment E

Building Permit Application Form



TOWN OF NISKAYUNA

APPLICATION FOR BUILDING AND ZONING PERMIT

One Niskayuna Circle

Niskayuna, New York 12309

Phone: 518-386-4522 Fax: 518-386-4592

Email: building@niskayuna.org

Application # _____

APPLICATION IS HEREBY MADE to the Town of Niskayuna Building Department for the issuance of a building and zoning permit pursuant to Town Code and the New York State Uniform Fire Prevention and Building Code. Application is hereby made for the construction of new buildings and accessory structures, additions and alterations to all buildings and structures, signage installation, drainage, excavation, fill and grading work, and replacement, removal and demolition projects, as herein described. The Applicant or Owner agrees to comply with all applicable laws, ordinances, regulations and all conditions expressed on this application which are part of these requirements, and will also allow or arrange for inspectors to enter the premises for inspections.

BUILDING SITE ADDRESS 2721 Balltown Road

DESCRIBE WORK APPLIED FOR Applicant is proposing to construct two (2) additional six-unit apartment buildings on the Property.

ESTIMATED VALUE OF ALL WORK (labor and materials): _____

TOTAL \$ _____

Please submit three sets of plans with this application.

APPLICANT Alex Ritmo/2721 Balltown, LLC

DAY PHONE (518) 538-0250

CHECK ONE:



CONTRACTOR



HOMEOWNER



OTHER (explain) Owner/Contractor

ADDRESS 2721 Balltown Road

CITY Niskayuna

STATE NY

ZIP 12309

EMAIL ADDRESS ritmoconstruction@gmail.com>

CONTRACTOR _____

DAY PHONE _____

ADDRESS _____

CITY _____

STATE _____

ZIP _____

Note: Proof of insurance is required. Please review our **Insurance Requirements** document to ensure contractors and homeowners have filed all appropriate documents with the Building Department.

PROPERTY OWNER 2721 Balltown, LLC

DAY PHONE (518) 538-0250

ADDRESS (if different than above) c/o Robert Stout, Esq., Whiteman Osterman & Hanna

CITY One Commerce Plaza, Albany

STATE NY

ZIP 12260

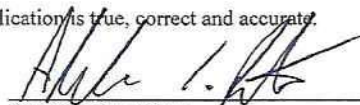
PLEASE SIGN Page 2

The applicant has reviewed and fully understands the requirements and conditions listed on this application. Article II, Section 75.5B of the Code of the Town of Niskayuna requires that where such application is made by a person other than the owner, it shall be accompanied by an affidavit of the owner or applicant that the proposed work is authorized by the owner and that the applicant is authorized to make such application.

Applicants who are the owners of the property DO NOT need to have this application notarized.

The undersigned hereby swears that the information provided on this application is true, correct and accurate.

Sworn to me on this _____ day of _____, _____


Signature of Applicant

Alex R. Marino
Printed Name

9/28/22
Date

Notary Public, State of New York

(FOR OFFICE USE ONLY BELOW)

BUILDING SITE ADDRESS 2721 Balltown Road

KNOWN EASEMENTS: _____ WATER _____ SEWER _____ DRAINAGE _____ OTHER

PERMIT FEE DUE \$ _____ BASED ON _____

COMMENTS _____

ZONING DISTRICT _____ SECTION-BLOCK-LOT _____

REQUIRED INSPECTIONS:

- _____ 1. FOOTING FORMS AND REINFORCING PRIOR TO POURING OF CONCRETE
- _____ 2. FOUNDATION LOCATION PROVIDED AND STONE DRIVEWAY BASE INSTALLED PRIOR TO FOUNDATION INSPECTION
- _____ 3. FOUNDATION WALL AND DRAIN TILE INCLUDING LATERAL PRIOR TO BACKFILLING
- _____ 4. FIREPLACE INSPECTION AT BOX AND AT HALF STACK
- _____ 5. ROUGH PLUMBING
- _____ 6. ROUGH ELECTRICAL
- _____ 7. ROUGH FRAMING INSPECTION INCLUDING TRUSS CERTIFICATES AND ROUGH GRADING ESTABLISHED
- _____ 8. INSULATION INCLUDING PROPER VENTILATION
- _____ 9. FINAL PLUMBING
- _____ 10. FINAL ELECTRICAL
- _____ 11. FINAL BUILDING INSPECTION
- _____ 12. FINAL GRADING AND SOIL EROSION CONTROL
- _____ 13. (ADDITIONAL INSPECTIONS) _____

APPROVED BY _____

DATE _____

ATTACHMENT B

TOWN OF NISKAYUNA
Application for Site Plan Review

Applicant (Owner or Agent):

Name Alexander Ritmo

Address 2721 Balltown Road
Niskayuna, NY

Telephone 518-538-0250 Fax _____

Location:

Number & Street 2721 Balltown Road

Section-Block-Lot 31 - 1 - 6

Zoning District R-P District

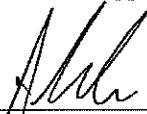
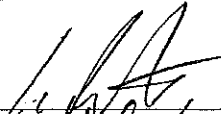
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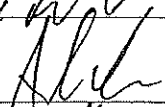
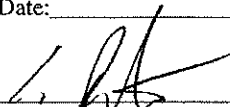
The Applicant is proposing to construct two (2) additional six 6-unit apartment buildings along with an accessory garage and associated parking on the Premises

Each site plan application shall be accompanied by:

1. Twelve (12) site plan maps prepared by a licensed engineer, architect or surveyor.
 - a. The site plan shall include the following: the title of the drawing, including the name(s), address(es), phone and fax numbers of the applicant and the name address, phone and fax number of the person, firm or organization preparing the map.
 - b. The North point, date and scale.
 - c. Boundaries of the property.
 - d. Existing watercourses and direction of existing and proposed drainage flow.
 - e. The location of all proposed site improvements; proposed water and utility facilities; a description of the method of sewage disposal and location of such facilities; the location of all proposed signs; and location of proposed areas of vegetation.
2. A lighting plan showing the lighting distribution of existing or proposed lights, specifications, photometric data, and catalog cuts of the proposed fixture(s) which meet the requirements of Article VIIIB of the Zoning Ordinance of the Town of Niskayuna entitled "Guidelines for Lighting of Outdoor Areas under Site Plan Review".
3. Six (6) copies of the short or long Environmental Assessment Form (EAF), as required by 6NYCRR Part 617, "State Environmental Quality Review", and Chapter 95, "Environmental Quality Review", of the Code of the Town of Niskayuna.

4. If the application is being made by someone other than the current property owner, the applicant or the agent for the applicant must provide proof that they are authorized to pursue this site plan approval. Such proof may be in the form of a contract for sale or letter by the current owner that the applicant/agent is authorized to proceed with this application.
5. Administration Fees: An application for site plan approval shall be submitted to the Planning Board at least ten (10) business days prior to a regular meeting of the Planning Board. Each petition shall be accompanied by a minimum fee of *two hundred dollars (\$200.00)* plus an additional fee based on the square footage of new building construction. Fees are payable to the Town of Niskayuna.
6. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Signature of applicant:   Date: _____

Signature of owner (if different from applicant):  
Alexander J. Ritiro

Date: 10/10/22

ATTACHMENT C

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

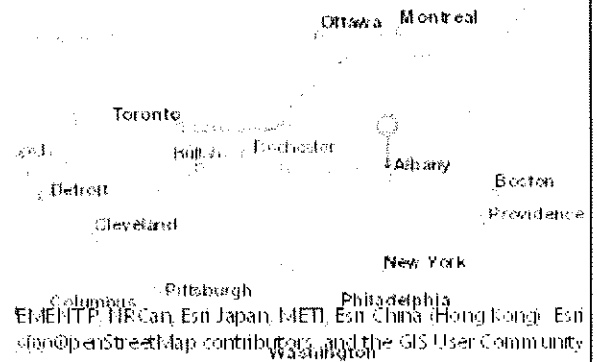
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Alex Ritmo/2721 Balltown, LLC			
Name of Action or Project: Site Plan Application			
Project Location (describe, and attach a location map): 2721 Balltown Road, Niskayuna, NY			
Brief Description of Proposed Action: The Applicant is proposing an expansion of the existing multi-family use on the Property. The Applicant received a use variance from the Zoning Board of Appeals in October 2020 to redevelop a mixed-use veterinary clinic/three-unit apartment building into a six-unit apartment building. The Applicant is now requesting to construct two (2) additional six-unit apartment buildings on the Property.			
Name of Applicant or Sponsor: Alex Ritmo		Telephone: 518-538-0250 E-Mail:	
Address: 2721 Balltown Road			
City/PO: Niskayuna		State: NY	Zip Code: 12309
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		3.4 acres	
b. Total acreage to be physically disturbed?		.704 acres .93 if prior disturbance is included	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		3.4 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ There is a nearby pond on the Property. The Applicant is not proposing any disturbances to the existing pond. _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 40px;"> a. Will storm water discharges flow to adjacent properties? b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
All storm water generated at the site will be directed to established conveyance systems. The entire site disturbance, including existing and proposed structures, will be less than one acre.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>2721 Balltown, LLC</u> Date: <u>10/12/22</u> Signature: <u>[Signature]</u> Title: <u>Project Attorney</u>		

Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Source: USGS, Intermap, INCREMENT, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

ATTACHMENT D



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 4

MEETING DATE: 11/14/2022

ITEM TITLE: DISCUSSION: 1851 Union St. – Mohawk Club – major subdivision of an existing 14 acre portion of the property to construct twenty-two (22) new single-family townhomes.

PROJECT LEAD: TBD

APPLICANT: Matthew Moberg, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Matthew Moberg, agent for the owner of the Mohawk Golf Club, submitted a Sketch Plan Application for a Major Subdivision of a 14 acre portion of the existing property including the construction of twenty-two (22) single-family townhomes at 1851 Union St.

BACKGROUND INFORMATION

The property is located within the R-1 Low Density Residential zoning district.

The following drawings were provided with the application.

1. A 1-page drawing entitled "Sketch 22-lot Townhouse Layout Residential Subdivision Mohawk Golf Club 1851 Union St. and 1245 Ruffner Rd." by ABD Engineers, LLP 411 Union St. Schenectady, NY dated October 20, 2022 and labeled Dwg. "5429A-S4 Townhouse" with no subsequent revisions.
2. A 2-page drawing set entitled "Unit – A" by Pigliavento Builders

The sketch plan includes the removal of a single family home on Ruffner Road in order to construct access to the greater Mohawk Golf Club parcel. The road is proposed as a boulevard with a strip of greenspace between traffic lanes.

ZONING CODE ANALYSIS

Niskayuna Zoning Code Article IV: Use Regulations

Section 220-10 District Regulations: includes “single-family dwellings” as Permitted principal uses in the R-1 zoning district.

Section 220-4 Definitions: includes “dwelling, single family – A detached building designed for or occupied exclusively by one family. See “dwelling.”

Dwelling: – A building designed or used exclusively as the living quarters for one or more families. This shall not be deemed to include mobile home, motel, hotel or tourist home. See “single-family dwelling”, “multi-family dwelling” and “dwelling unit.”

Dwelling, multi-family: - A detached building containing separate living units for two or more families which may have joint services or facilities or both. Such dwellings may include, among others, garden apartments, cooperatives or condominiums.

Dwelling unit: – A building or portion thereof providing complete housekeeping facilities for one family. For the purposes of this chapter, a single-family dwelling shall consist of one “dwelling unit.”

Townhouse: - A single-family dwelling which is one of a series of noncommunicating dwelling units having a common wall between each adjacent unit, each with private outside entrance, having individual yard areas and having open space or ancillary buildings and parking areas which may be shared in common.

Based on the definitions above, the Planning Department finds that Townhomes, as single family dwellings, are a permitted principal use in the R-1 zoning district but, with their contiguous sidewall, do not comply with the side setback requirement of the R-1 district and therefore require area variances from the Zoning Board of Appeals (ZBA). The aforementioned sketch plan drawing provided with the application includes the table of 67 required area variances shown below.

ZONING: R-1 (LOW DENSITY RESIDENTIAL) – SINGLE FAMILY DWELLINGS
NOTE: BOLD NUMBERS INDICATE VARIANCE REQUESTED

	Front Setback	Side Setback (L)	Side Setback (R)	Rear Setback	Lot Width	Lot Depth	Lot Area	Maximum Coverage
Required	35 ft	20 ft	20 ft	25 ft	100 ft	125 ft	18,000 SF	25%
Lot1	35	N/A	0	95	66	188	12,674	19%
Lot2	35	0	38	95	70	188	13,114	19%
Lot3	47	39	0	66	77	170	12,905	19%
Lot4	35	0	45	66	79	156	15,651	16%
Lot5	35	40	0	104	61	175	23,375	10%
Lot6	35	0	40	58	61	134	13,926	18%
Lot7	35	33	0	48	61	134	12,054	20%
Lot8	35	0	33	73	61	152	15,764	16%
Lot9	35	40	0	69	75	152	12,061	20%
Lot10	56	0	36	65	72	178	12,235	20%
Lot11	35	37	0	88	68	180	12,240	20%
Lot12	35	0	37	88	68	180	12,240	20%
Lot13	35	36	0	87	68	180	12,240	20%
Lot14	35	0	36	87	68	180	12,240	20%
Lot15	58	37	0	64	72	179	12,231	20%
Lot16	35	0	46	53	83	114	12,210	20%
Lot17	35	57	0	21	92	94	12,381	20%
Lot18	35	0	55	60	83	151	38,505	6%
Lot19	35	49	0	59	69	154	12,351	20%
Lot20	35	0	44	61	83	154	12,575	19%
Lot21	35	38	0	94	69	185	12,811	19%
Lot22	35	0	N/A	95	69	187	13,254	18%
TOTAL VARIANCES	0	11	11	1	22	2	20	0
GRAND TOTAL	67							

Additional Utility Concerns

The Town of Niskayuna maintains a 6 inch watermain on Ruffner Road, which is in the High Pressure Zone. This Zone may not have the capacity to handle the addition of 22 single family units. An independent engineering analysis of the water system capacity for this area will be required.

The sewer line to the Niskayuna Waste Water treatment plant is near or at capacity. An independent engineering analysis of the sewer system capacity for this development may be required.

There are known drainage issues in the area. Depending on where the storm water management pond is discharged to – an independent downstream drainage analysis may be required.

A wetland delineation will be required.

Emergency Access

Section 189-17 (J) (1) states: “Where culs-de-sac are designed to be permanent, they should, in general, not exceed 500 feet in length and shall terminate in a circular turnaround having a minimum right-of-way radius of 60 feet and pavement radius of 45 feet.” As these cul-de-sacs appear to be longer than 500 feet, the Planning Board should discuss a proposed secondary means of access for emergencies.

General Planning

It is important to keep in mind the long term gains to the Mohawk Golf Club that come from integrating potential residential development into the golf course campus while preserving the natural and scenic quality of open space and ensuring the subdivision is in harmony with the development pattern of the neighboring residential properties.

Some thoughts to consider that may help with some of the above goals include:

1. A more organic shaped road which follows the contours of the land and has vistas which open out onto the golf course, which would add value both to the golf course and the proposed homes.
2. A walking connection from the proposed subdivision to the golf course.
3. Quality open spaces such as a gathering pavilion or picnic area which overlook the golf course and provide amenities to the home owners, which would continually connect them to the land and to the golf course.

4. Discussion on parkland, preservation of natural features and trees, and conformance with the Comprehensive Plan are important to the ultimate layout of any proposed subdivision in the area.

Complete Streets

The Complete Streets Committee identified a critical multi-use path connection along the Mohawk Golf Club property – between Rosendale Heights (Country Club Estates) neighborhood and Ruffner Road, along the boundary with 1218 S Country Club Drive. A walking/biking connection here would be critical to connecting neighborhoods and promoting alternative transportation methods that reduce greenhouse gas emissions. This connection should be a part of any development discussion to offset traffic impacts.

The applicant is before the PB this evening to present the project and answer any questions that arise. The PB should assess the project with the understanding that a future step in the process will be to make a recommendation to the ZBA.



TOWN OF NISKAYUNA

Planning Department

One Niskayuna Circle
Niskayuna, New York 12309
Phone: (518) 386-4530
Fax: (518) 386-4592

Application for Sketch Plan Approval – 5 Lots or More

Applicant: Matthew Moberg (MGC Golf Operations, LLC)

Address: 8 Airline Drive, Albany, NY 12205

Phone Number: 518-377-0315 Email: mmoberg@homesteadfunding.com

Owner Name (if different from petitioner): _____

Address: _____

Phone Number: _____ Email: _____

Description / Address of Property: 1851 Union Street & 1245 Ruffner Road

Section – Block - Lot: 50.00-1-4.11 & 50.08-1-18

Each application shall be accompanied by:

1. A digital copy, three (3) full size copies and thirteen (13) 11x17 copies of any large scale plans or maps.
2. Administrative Fees: An application for Sketch Plan Approval shall be submitted to the Planning Department at least ten (10) days prior to a regular meeting of the Planning Board. Each application shall be accompanied by a fee of **\$200**. Fees are payable to the *Town of Niskayuna*.
3. Consulting Fees: The cost incurred by the Town for the review of an application by the Town Engineer, consulting engineering firm or other consulting fees, in connection with a Board's review of a proposed application shall be charged to the applicant. The Board to whom the application is made shall obtain an estimate from any designated consultant of the amount sufficient to defray the cost of such services and shall collect from the applicant the estimated charges. Any portion of the estimated charges so collected, which are not expended by the Town, shall be returned to the applicant. Any such costs incurred by the Town beyond the estimated charges initially collected from the applicant, shall be collected from the applicant prior to final action upon the application.

Signature of applicant: Matthew Moberg Date: 10/28/2022

Signature of owner (if different from applicant): Michael Rutherford

Upon approval of Sketch Plan:

An Application for Approval of Plat Plan – *Major Subdivision* must be filed along with all appropriate documentation.

PARTNERS
JOSEPH J. BIANCHINE, P.E.
LUIGI A. PALLESCHI, P.E.
MARK C. BLACKSTONE, P.L.S.

ABD ENGINEERS, LLP.
411 Union Street
Schenectady, NY 12305
518-377-0315 Fax 518-377-0379
www.abdeng.com

DEDICATED
RESPONSIVE
PROFESSIONAL

October 20, 2022

**Re: Mohawk Golf Club Subdivision
1849 Union St & 1245 Ruffner Rd
Town of Niskayuna
Project #5429A**

Ms. Laura Robertson, Town Planner
Town of Niskayuna
One Niskayuna Circle
Niskayuna, NY 12309-4381

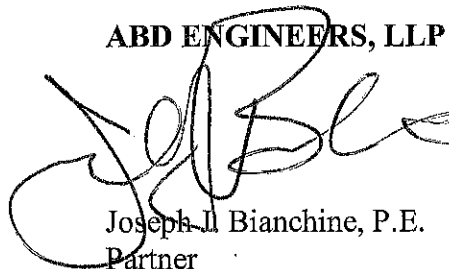
Dear Laura:

The Mohawk Golf Club is proposing to subdivide approximately fourteen (14) acres from an unused area of their golf course, adjacent to Ruffner Road. The course owns an existing home at 1245 Ruffner Road, which will be removed; a new boulevard entrance will be built through the lot, incorporating part of a disused twenty-foot-wide Town right-of-way. The boulevard will branch off onto two new cul-de-sacs on which a total of twenty-two (22) new single-family townhouse lots are proposed. This project is proposed as a **conventional subdivision** with public roads built to Town standards, buffer lands, and a stormwater management pond which will be maintained as a golf course feature by the Mohawk Golf Course. Because the Town Code does not have provisions for conventional townhome development, a table of the requested area variances is provided on the plan.

Enclosed for sketch review of this proposed subdivision are twelve (12) copies of the Subdivision Plan. We would greatly appreciate your immediate consideration of this project and placement on the November 14, 2022 Planning Board agenda. Should you have any questions or need anything further, please do not hesitate to contact me.

Very truly yours,

ABD ENGINEERS, LLP

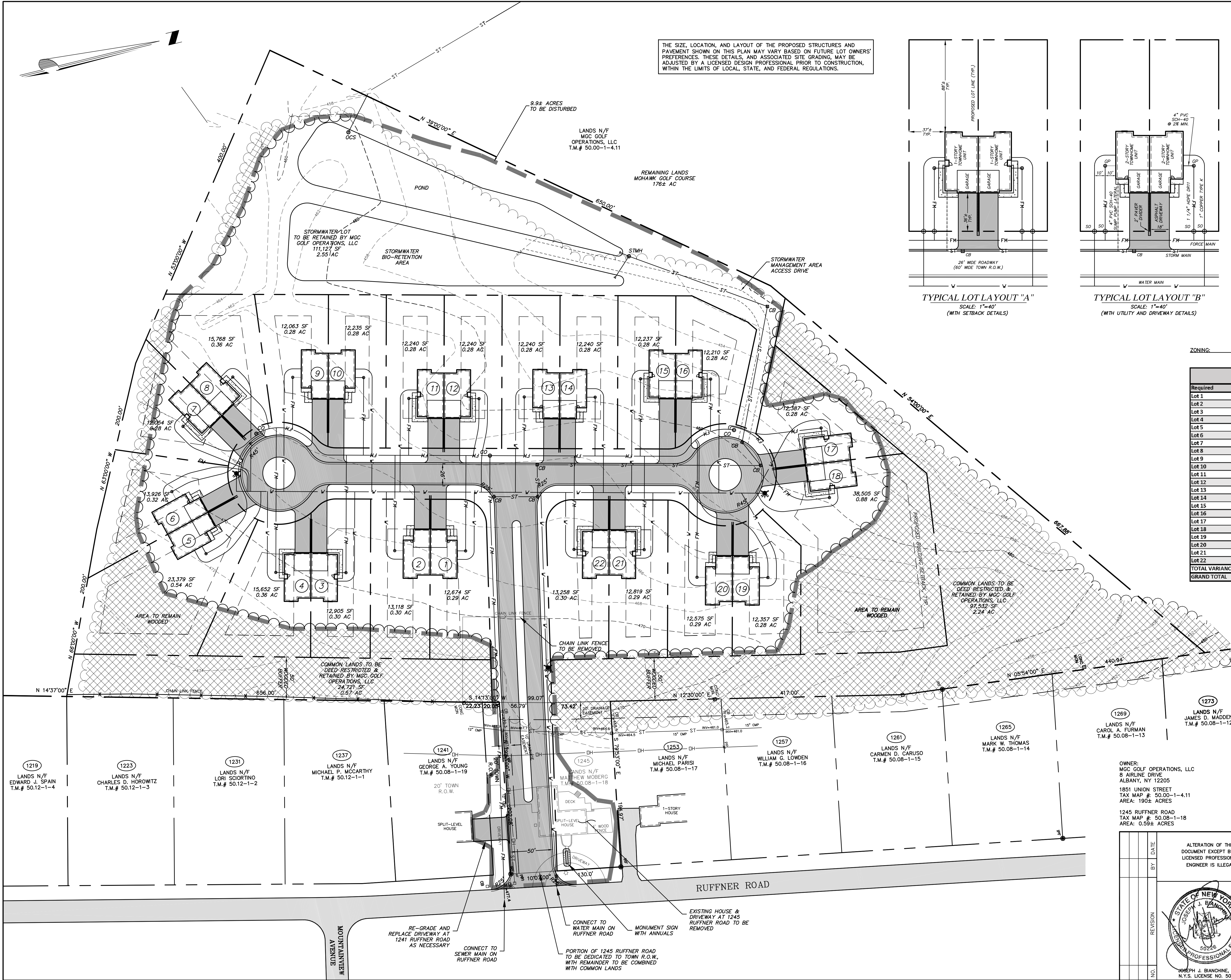


Joseph J. Bianchine, P.E.
Partner

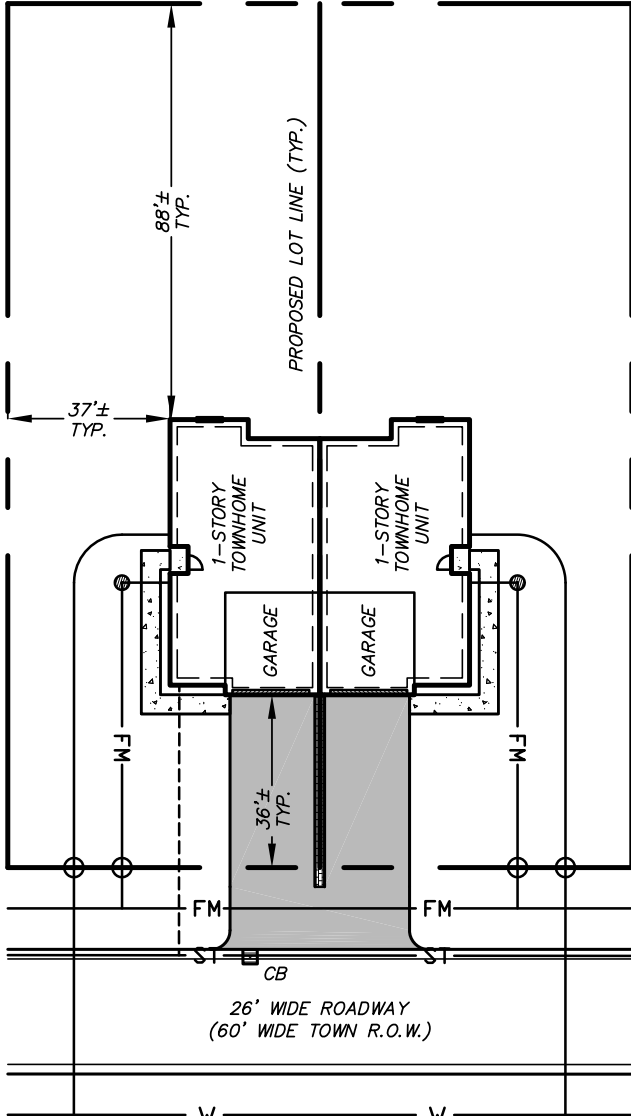
JJB:dmk
encl.

cc: Matt Moberg w/encl (via email)
Bill Sweet w/encl (via email)

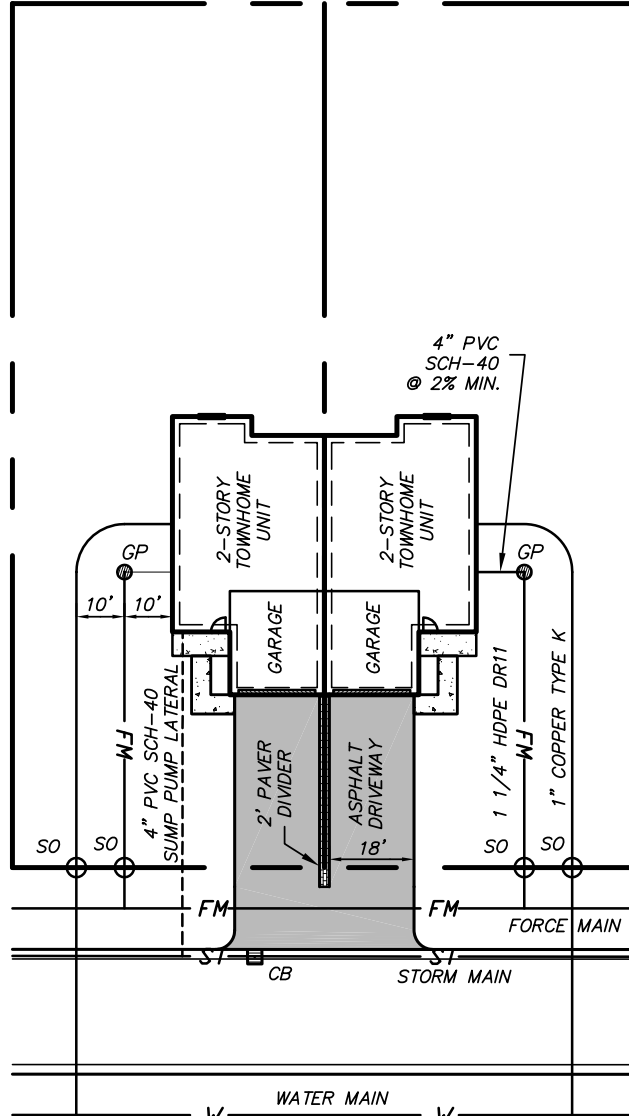
5429A-2022-10-20



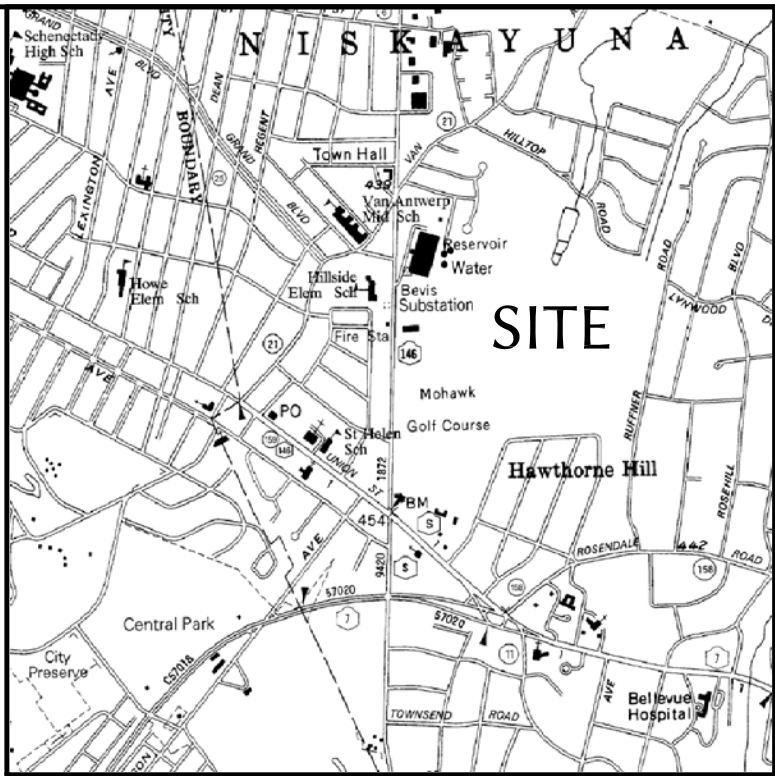
THE SIZE, LOCATION, AND LAYOUT OF THE PROPOSED STRUCTURES AND PAVEMENT SHOWN ON THIS PLAN MAY VARY BASED ON FUTURE LOT OWNERS' PREFERENCES. THESE DETAILS, AND ASSOCIATED SITE GRADING, MAY BE ADJUSTED BY A LICENSED DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION, WITHIN THE LIMITS OF LOCAL, STATE, AND FEDERAL REGULATIONS.



TYPICAL LOT LAYOUT "A"
SCALE: 1"=40'
(WITH SETBACK DETAILS)



TYPICAL LOT LAYOUT "B"
SCALE: 1"=40'
(WITH UTILITY AND DRIVEWAY DETAILS)



SITE LOCATION

GENERAL NOTES:

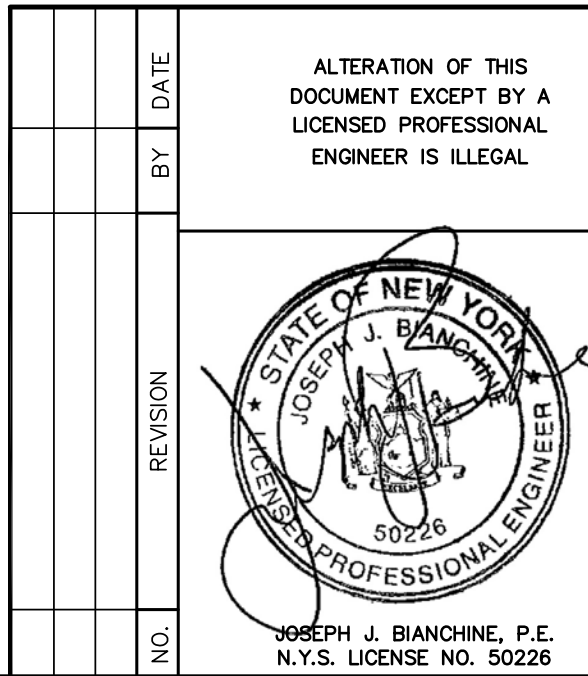
- BASE MAPPING PREPARED BY ABD ENGINEERS, LLP FROM A FIELD SURVEY COMPLETED IN JUNE 2021, AND GIS INFORMATION.
- THE PLANS SHOW SOME KNOWN SUBSURFACE STRUCTURES, ABOVEGROUND STRUCTURES AND/OR UTILITIES BELIEVED TO EXIST WITHIN THE WORKING AREA. EXACT LOCATION OF WHICH MAY VARY FROM THE LOCATIONS INDICATED. IN PARTICULAR, THE CONTRACTOR IS WARNED THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPE LINES, SUBSURFACE STRUCTURES AND/OR UTILITIES IN THE AREA MAY BE DIFFERENT FROM THAT SHOWN OR MAY NOT BE SHOWN AND IT SHALL BE HIS OR HER RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PROVIDE (48) HOURS BEFORE YOU DIG, DRILL OR BLAST, CALL U.F.P.O. (1-800-962-7962).
- EXISTING AND PROPOSED GAS, ELECTRIC, AND TELECOMMUNICATIONS SERVICE LAYOUTS ARE SCHEMATIC ONLY. ALL REMOVALS, FINAL LOCATIONS, AND INSTALLATION REQUIREMENTS SHALL BE COORDINATED WITH ALL UTILITY COMPANIES.

NOTE: PROPERTY LINES SHOWN ARE BASED ON SCHENECTADY COUNTY TAX MAP

ZONING: R-1 (LOW DENSITY RESIDENTIAL) - SINGLE FAMILY DWELLINGS
NOTE: BOLD NUMBERS INDICATE VARIANCE REQUESTED

	Front Setback	Side Setback (L)	Side Setback (R)	Rear Setback	Lot Width	Lot Depth	Lot Area	Maximum Coverage
Required	35 ft	20 ft	20 ft	25 ft	100 ft	125 ft	18,000 SF	25%
Lot 1	35	N/A	0	95	66	188	12,674	19%
Lot 2	35	0	38	95	70	188	13,118	19%
Lot 3	47	39	0	66	77	170	12,905	19%
Lot 4	35	0	45	66	79	156	15,652	16%
Lot 5	35	40	0	104	61	175	23,379	10%
Lot 6	35	0	40	58	61	134	13,926	18%
Lot 7	35	33	0	48	61	134	12,054	20%
Lot 8	35	0	33	73	61	152	15,768	16%
Lot 9	35	40	0	69	75	152	12,063	20%
Lot 10	56	0	36	65	72	178	12,235	20%
Lot 11	35	37	0	88	68	180	12,240	20%
Lot 12	35	0	37	88	68	180	12,240	20%
Lot 13	35	36	0	87	68	180	12,240	20%
Lot 14	35	0	36	87	68	180	12,240	20%
Lot 15	58	37	0	64	72	179	12,237	20%
Lot 16	35	0	46	53	83	114	12,210	20%
Lot 17	35	57	0	21	92	94	12,387	20%
Lot 18	35	0	55	60	83	151	38,506	6%
Lot 19	35	49	0	59	69	154	12,357	20%
Lot 20	35	0	44	61	83	154	12,575	19%
Lot 21	35	38	0	94	69	185	12,819	19%
Lot 22	35	0	N/A	95	69	187	13,258	18%
TOTAL VARIANCES	0	11	11	1	22	2	20	0
GRAND TOTAL	67							

OWNER:
MGC GOLF OPERATIONS, LLC
8 AIRLINE DRIVE
ALBANY, NY 12205
1851 UNION STREET
TAX MAP #: 50.00-1-4.11
AREA: 190± ACRES
1245 RUFFNER ROAD
TAX MAP #: 50.08-1-18
AREA: 0.59± ACRES

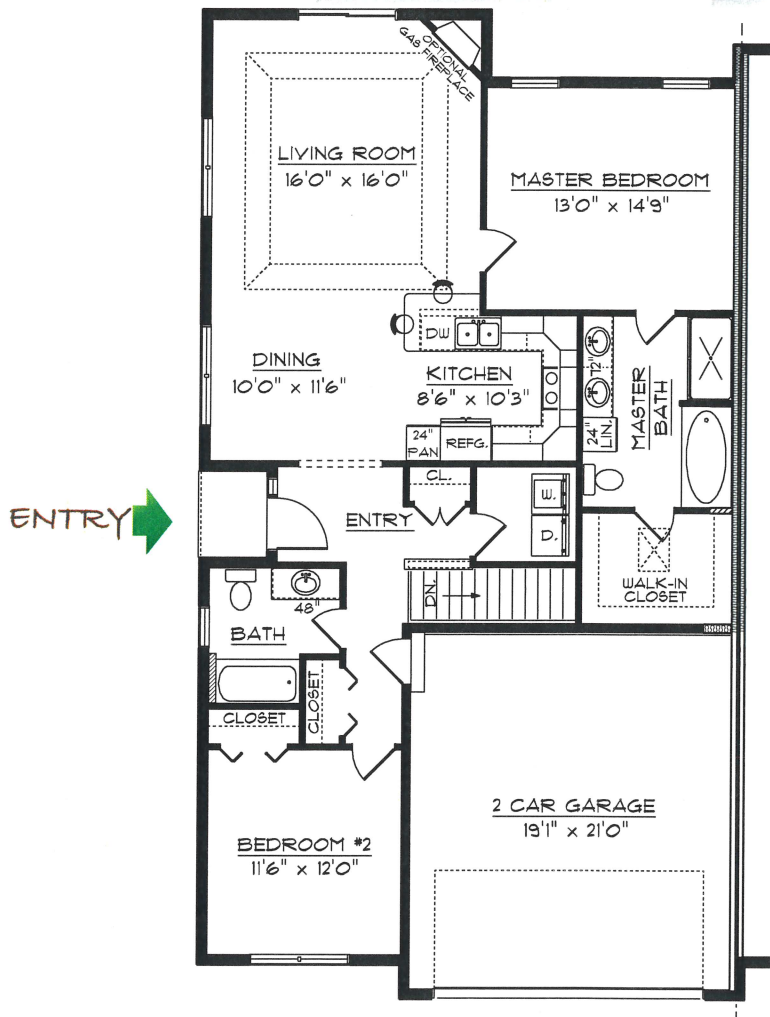


SKETCH 22-LOT TOWNHOUSE LAYOUT
RESIDENTIAL SUBDIVISION
MOHAWK GOLF CLUB
1851 UNION STREET & 1245 RUFFNER ROAD

TOWN OF NISKAYUNA COUNTY OF SCHENECTADY
STATE OF NEW YORK

ABD ENGINEERS, LLP
411 Union Street
Schenectady, NY 12305
518-377-0315 Fax 518-377-0379
www.abdeng.com

DATE: OCTOBER 20, 2022 SCALE: 1" = 50' DWG. 5429A-S4 TOWNHOUSE SHEET 1 OF 1



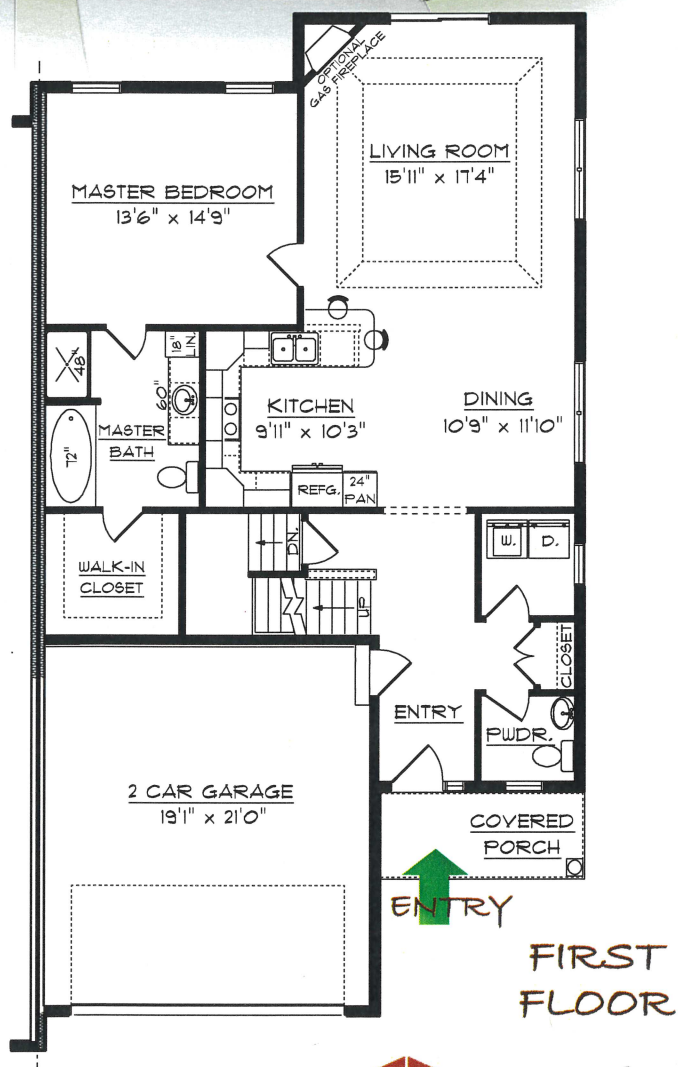
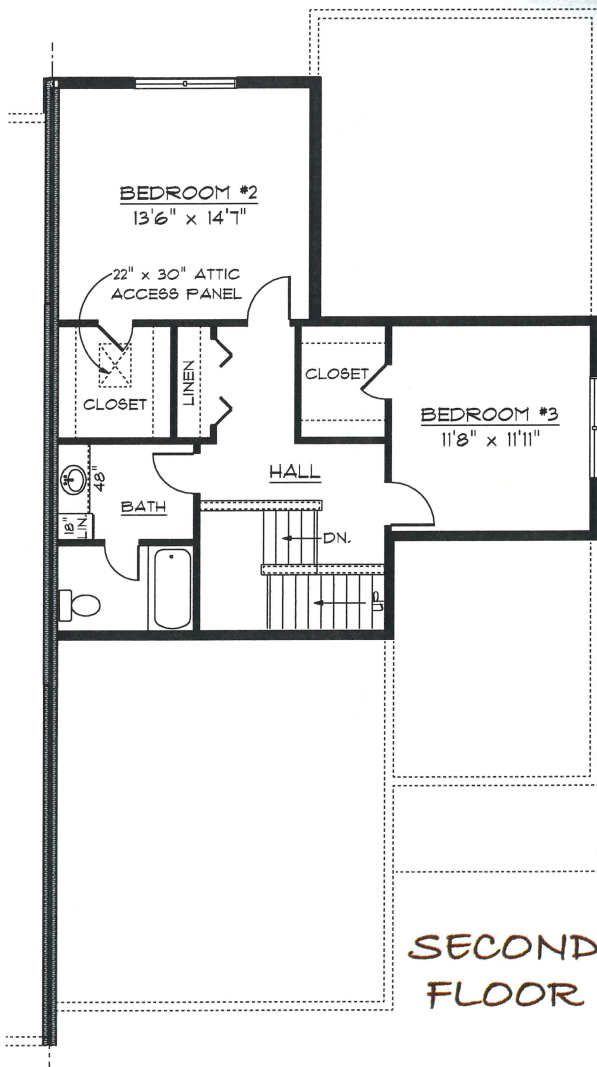
UNIT - A

LIVING AREA = 1,326 SF
GARAGE AREA = 417 SF

UNIT - B

1ST FLOOR = 1,222 SF
2ND FLOOR = 747 SF

LIVING AREA = 1,969 SF
GARAGE AREA = 426 SF



This drawing is for illustrative purposes only and is deemed to be accurate at the time of publication. All room sizes are approximate. The Builder reserves the right to make modifications and revisions as deemed necessary.

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Mohawk Golf Club Subdivision - Ruffner Road		
Project Location (describe, and attach a general location map): 1851 Union Street/1245 Ruffner Road		
Brief Description of Proposed Action (include purpose or need): Subdivide 14± acres from existing Mohawk Golf Course, adjacent to Ruffner Road. A new boulevard entrance will be built through 1245 Ruffner Road to access two new cul-de-sac streets, on which twenty-two (22) new single-family townhouse lots are proposed as an Average Density Development, with roads to be dedicated to the Town, and common lands to remain under ownership of the Golf Course.		
Name of Applicant/Sponsor: Matthew Moberg (MGC Golf Operations, LLC)	Telephone: 814-571-4414	
	E-Mail: mmoberg@homesteadfunding.com	
Address: 8 Airline Drive		
City/PO: Albany	State: NY	Zip Code: 12205
Project Contact (if not same as sponsor; give name and title/role): Joseph J. Bianchine, P.E. (ABD Engineers, LLP)	Telephone: 518-377-0315	
	E-Mail: joe@abdeng.com	
Address: 411 Union Street		
City/PO: Schenectady	State: NY	Zip Code: 12305
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Niskayuna Town Board, approval for Average Density Development	To be submitted
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town of Niskayuna Planning Board, Subdivision Approval	To be submitted
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Schenectady County Planning Board, referral	To be submitted
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Army Corps of Engineers, Wetland Determination	To be submitted
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☒ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

NYS Heritage Areas: Mohawk Valley Heritage Corridor

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

R1 (Low Density Residential)

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Niskayuna CSD

b. What police or other public protection forces serve the project site?

Niskayuna PD

c. Which fire protection and emergency medical services serve the project site?

Niskayuna FD #1

d. What parks serve the project site?

River Road Park, Blatnick Park, Niskayuna Soccer Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? 14± acres

b. Total acreage to be physically disturbed? 12± acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 190± acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☒ Yes ☐ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)
Residential

ii. Is a cluster/conservation layout proposed? ☒ Yes ☐ No

iii. Number of lots proposed? 22 residential + 1 HOA

iv. Minimum and maximum proposed lot sizes? Minimum 0.22± Maximum 0.93±

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 24 months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	22 Townhouses	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: <u>Temporary stormwater</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify:	
<u>Stormwater runoff</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source.	
iv. Approximate size of the proposed impoundment. Volume: _____ TBD million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ TBD height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):	
<u>TBD</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.	

iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	

v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): <u>Freshwater Forested/Shrub Wetland (isolated)</u>	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:
Wetlands will be channeled using culverts to further direct them to the existing municipal storm system.

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☒ No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☒ Yes ☐ No
 If Yes:

- acres of aquatic vegetation proposed to be removed: TBD
- expected acreage of aquatic vegetation remaining after project completion: TBD
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
Site preparation
- proposed method of plant removal: Excavation
- if chemical/herbicide treatment will be used, specify product(s): N/A

v. Describe any proposed reclamation/mitigation following disturbance: _____
N/A

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 6,000± gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
 If Yes:

- Name of district or service area: Niskayuna Water District #3
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☐ Yes ☒ No

iii. Will line extension within an existing district be necessary to supply the project? ☒ Yes ☐ No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
1,100± feet of new water main
- Source(s) of supply for the district: Schenectady-Niskayuna SSA

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____
N/A

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: 3,000± gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 5,400± gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
 If Yes:

- Name of wastewater treatment plant to be used: Niskayuna Wastewater Treatment Plant
- Name of district: Niskayuna Sewer District #6
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

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<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input checked="" type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____ <div style="text-align: center;">N/A</div></p> <p>iii. Parking spaces: Existing <u>0</u> Proposed <u>N/A</u> Net increase/decrease <u>N/A</u></p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: <u>New private roads with access to existing Town road are proposed to serve the 22 townhome lots.</u></p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7am-5pm • Saturday: _____ 7am-5pm • Sunday: _____ 7am-5pm • Holidays: _____ 7am-5pm </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Residential (24/7) • Saturday: _____ Residential (24/7) • Sunday: _____ Residential (24/7) • Holidays: _____ Residential (24/7) </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7am-5pm • Saturday: _____ 7am-5pm • Sunday: _____ 7am-5pm • Holidays: _____ 7am-5pm 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Residential (24/7) • Saturday: _____ Residential (24/7) • Sunday: _____ Residential (24/7) • Holidays: _____ Residential (24/7)
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7am-5pm • Saturday: _____ 7am-5pm • Sunday: _____ 7am-5pm • Holidays: _____ 7am-5pm 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Residential (24/7) • Saturday: _____ Residential (24/7) • Sunday: _____ Residential (24/7) • Holidays: _____ Residential (24/7) 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p style="margin-left: 20px;">Noise from construction equipment _____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">Describe: <u>Tree clearing for development</u></p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p style="margin-left: 20px;"><u>Residential building lighting, 75+ feet from nearest residential property line.</u></p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p style="margin-left: 20px;">Describe: <u>Tree clearing for development</u></p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p style="margin-left: 20px;">_____</p> <p style="margin-left: 20px;">_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p style="margin-left: 20px;">_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p style="margin-left: 20px;">_____</p> <p style="margin-left: 20px;">_____</p> <p style="margin-left: 20px;">_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☐ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☒ Other (specify): Golf Course

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0	2.5	+2.5
• Forested	14.0	2.6	-11.4
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal) (Isolated)	TBD	TBD	TBD
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Landscaped</u>	0	8.9	+8.9

<p>c. Is the project site presently used by members of the community for public recreation?</p> <p>i. If Yes: explain: _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?</p> <p>If Yes,</p> <p>i. Identify Facilities:</p> <p>Hillside Elementary School, Van Antwerp Middle School</p> <p>_____</p>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>e. Does the project site contain an existing dam?</p> <p>If Yes:</p> <p>i. Dimensions of the dam and impoundment:</p> <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <p>ii. Dam's existing hazard classification: _____</p> <p>iii. Provide date and summarize results of last inspection: _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?</p> <p>If Yes:</p> <p>i. Has the facility been formally closed?</p> <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <p>ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____</p> <p>_____</p> <p>iii. Describe any development constraints due to the prior solid waste activities: _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?</p> <p>If Yes:</p> <p>i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?</p> <p>If Yes:</p> <p>i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:</p> <div style="display: flex; justify-content: space-between;"> <div> <input type="checkbox"/> Yes – Spills Incidents database <input type="checkbox"/> Yes – Environmental Site Remediation database <input type="checkbox"/> Neither database </div> <div> Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ </div> </div> <p>ii. If site has been subject of RCRA corrective activities, describe control measures: _____</p> <p>_____</p> <p>iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?</p> <p>If yes, provide DEC ID number(s): _____</p> <p>iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____</p> <p>_____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <ul style="list-style-type: none"> If yes, DEC site ID number: _____ Describe the type of institutional control (e.g., deed restriction or easement): _____ Describe any use limitations: _____ Describe any engineering controls: _____ Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No Explain: _____ _____ 																			
E.2. Natural Resources On or Near Project Site																			
a. What is the average depth to bedrock on the project site? _____ 6+ feet																			
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %																			
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">Silt Loam</td> <td style="width: 20%; text-align: right;">100 %</td> <td style="width: 20%;"></td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____ %</td> <td></td> </tr> <tr> <td>_____</td> <td style="text-align: right;">_____ %</td> <td></td> </tr> </table>		Silt Loam	100 %		_____	_____ %		_____	_____ %										
Silt Loam	100 %																		
_____	_____ %																		
_____	_____ %																		
d. What is the average depth to the water table on the project site? Average: _____ 2± feet																			
e. Drainage status of project site soils: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;"><input type="checkbox"/> Well Drained:</td> <td style="width: 30%; text-align: right;">_____ % of site</td> <td style="width: 40%;"></td> </tr> <tr> <td><input checked="" type="checkbox"/> Moderately Well Drained:</td> <td style="text-align: right;">100 % of site</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Poorly Drained</td> <td style="text-align: right;">_____ % of site</td> <td></td> </tr> </table>		<input type="checkbox"/> Well Drained:	_____ % of site		<input checked="" type="checkbox"/> Moderately Well Drained:	100 % of site		<input type="checkbox"/> Poorly Drained	_____ % of site										
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f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;"><input checked="" type="checkbox"/> 0-10%:</td> <td style="width: 30%; text-align: right;">100 % of site</td> <td style="width: 30%;"></td> </tr> <tr> <td><input type="checkbox"/> 10-15%:</td> <td style="text-align: right;">_____ % of site</td> <td></td> </tr> <tr> <td><input type="checkbox"/> 15% or greater:</td> <td style="text-align: right;">_____ % of site</td> <td></td> </tr> </table>		<input checked="" type="checkbox"/> 0-10%:	100 % of site		<input type="checkbox"/> 10-15%:	_____ % of site		<input type="checkbox"/> 15% or greater:	_____ % of site										
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<input type="checkbox"/> 10-15%:	_____ % of site																		
<input type="checkbox"/> 15% or greater:	_____ % of site																		
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____ _____																			
h. Surface water features. <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?</td> <td style="width: 20%; text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> <tr> <td>ii. Do any wetlands or other waterbodies adjoin the project site?</td> <td style="text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> </table> If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?</td> <td style="width: 20%; text-align: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> </tr> </table> iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">• Streams:</td> <td style="width: 40%;">Name _____</td> <td style="width: 50%;">Classification _____</td> </tr> <tr> <td>• Lakes or Ponds:</td> <td>Name _____</td> <td>Classification _____</td> </tr> <tr> <td>• Wetlands:</td> <td>Name Freshwater Forested/Shrub Wetland (isolated)</td> <td>Approximate Size TBD</td> </tr> <tr> <td>• Wetland No. (if regulated by DEC)</td> <td colspan="2">_____</td> </tr> </table>		i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ii. Do any wetlands or other waterbodies adjoin the project site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	• Streams:	Name _____	Classification _____	• Lakes or Ponds:	Name _____	Classification _____	• Wetlands:	Name Freshwater Forested/Shrub Wetland (isolated)	Approximate Size TBD	• Wetland No. (if regulated by DEC)	_____	
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• Wetlands:	Name Freshwater Forested/Shrub Wetland (isolated)	Approximate Size TBD																	
• Wetland No. (if regulated by DEC)	_____																		
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____																			
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																			
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																			
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																			
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">i. Name of aquifer:</td> <td>Sole Source Aquifer Names: Schenectady-Niskayuna SSA</td> </tr> </table>		i. Name of aquifer:	Sole Source Aquifer Names: Schenectady-Niskayuna SSA																
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<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p style="margin-left: 20px;">Typical Suburban _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____ 	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Describe possible resource(s): _____ ii. Basis for identification: _____ 	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Identify resource: <u>Mohawk Towpath Scenic Byway</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Scenic Byway</u> iii. Distance between project and resource: _____ 1 miles. 	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <ul style="list-style-type: none"> i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No 	

F. Additional Information

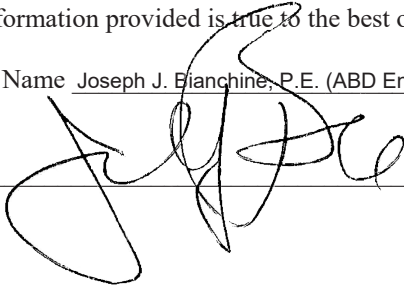
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Joseph J. Blanchine, P.E. (ABD Engineers, LLP) Date 7/20/2022

Signature  Title Professional Engineer



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: Mohawk Valley Heritage Corridor
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names: Schenectady-Niskayuna SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No