

TOWN OF NISKAYUNA
Planning Board and Zoning Commission

Agenda

August 29, 2022

7:00 PM

REGULAR AGENDA MEETING

I. CALL TO ORDER

II. ROLL CALL

III. APPROVAL OF MINUTES

1. August 8, 2022

IV. PUBLIC HEARINGS

1. Empire Dr. – App. for Approval of Plat Plan – 2-lot subdivision
2. 2239 Van Antwerp Rd. – App. for Approval of Plat Plan – 2-lot subdivision

V. PRIVILEGE OF THE FLOOR

VI. UNFINISHED BUSINESS

VII. NEW BUSINESS

1. RESOLUTION: 2022-19: A Resolution for site plan approval of new signage for Hillcrest Village Apts. at 1515 Hillside Ave.
2. RESOLUTION: 2022-20: A Resolution for site plan approval for placing a Chase Bank ATM machine in the ShopRite Plaza parking lot.
3. RESOLUTION: 2022-21: A Resolution for site plan approval for Capital Kids Care after school and summer camp within an existing place of worship at the Immanuel Evangelical Lutheran Church at 1850 Union St.

VIII. DISCUSSION ITEM

1. Empire Dr. – application for a 2 lot minor subdivision of tax map parcel 61.-1-33.2 into two separate lots of 1.83 and 2.0 acres
2. 2239 Van Antwerp Rd. – application for a 2 lot minor subdivision of 2.08 acre property into lots of .56 acres and 1.53 acres, respectively
3. 1747 Union St. – Raizada gas station -- site plan app. for a 492 sq. ft. addition to the existing 1,455 sq. ft. retail and gasoline service station.
4. 2209 Nott St. -- The Broken Inn – site plan app. for new outdoor dining area including additional and reconfigured parking
5. 424 Balltown Rd. - Five Below department store – site plan app. for new signage
6. 2837 Aqueduct Rd. - Rivers Ledge – site plan application for a 66 apartment unit building containing 2,000 sq. ft. of mixed-use commercial space and a 3,000 sq. ft. commercial space outbuilding.

7. 2309 Nott St. (#307 & #308) – Shop Rite Plaza -- site plan app. for a tenant change to combine two spaces into one space for an Asian BBQ restaurant
8. 2750 Balltown Rd. – site plan app. for a tenant change from the SI Group to Momentive Performance Materials.

IX. REPORTS

X. COMMISSION BUSINESS

XI. ADJOURNMENT

**NEXT MEETING: September 12, 2022 at 7 PM
To be Held in the Town Board Room & via Remote Software**

TOWN OF NISKAYUNA
Planning and Zoning Commission
Hybrid Meeting
Meeting Minutes
August 8, 2022

Members Present:

Kevin Walsh, Chairman
David D'Arpino
Chris LaFlamme
Mike Skrebutenas
Daci Shenfield (Virtual)
Patrick McPartlon (Virtual)
Leslie Gold
Nancy Strang

Also Present:

Laura Robertson, Town Planner
Alaina Finan, Town Attorney
Clark Henry, Assistant Planner (Virtual)

I. CALL TO ORDER

Chairman Walsh called the hybrid meeting to order at 7:00 P.M.

II. ROLL CALL

Mr. Khan was absent / excused tonight.

III. MINUTES

July 25, 2022

Mr. Skrebutenas made a motion to approve the minutes and it was seconded by Ms. Strang.
There were no changes made to the minutes

Upon voting, the minutes were approved unanimously.

IV. PUBLIC HEARINGS

No public hearings tonight.

V. PRIVILEGE OF THE FLOOR

There were no residents wishing to be heard in person, via video conference or via submitted email for privilege of the floor.

VI. UNFINISHED BUSINESS

No unfinished business tonight.

VII. NEW BUSINESS

1. RESOLUTION: 2022-17: A Resolution for sketch plan approval of a 2-lot subdivision off of Empire Drive, SEQR determination and a call for a public hearing.

Mr. Skrebutenas made a motion to approve the resolution and it was seconded by Mr. LaFlamme.

Chairman Walsh asked Ms. Robertson to clarify the comment regarding the possible easement for a potential multi-use path in the future. Ms. Robertson stated it is not a condition of the SEQR determination, but they would like it noted for future planning on this project. Ms. Robertson detailed where the possible path would be and how it might be able to create a possible pedestrian access to Birchwood Elementary. Ms. Robertson noted that this easement is only for future possible access. There is no reason for this to be built now, but to create a town easement will legally give the Town future permission if the connection becomes feasible.

Ms. Robertson noted to the developer to add limits of clearing and the area that will be disturbed on the next site plan submitted.

Chairman Walsh called for a vote on the resolution. Upon voting, the resolution was approved unanimously 7-0.

Mr. D'Arpino AYE

Mr. LaFlamme AYE

Mr. Skrebutenas AYE

Ms. Shenfield AYE

Mr. McPartlon AYE

Ms. Strang AYE

Chairman Walsh AYE

Chairman Walsh noted the Public Hearing will be on August 29. He thanked the applicants for attending.

2. RESOLUTION: 2022-18: A Resolution for sketch plan approval of a 2-lot subdivision at 2239 Van Antwerp Rd, SEQR determination and a call for a public hearing.

Mr. Skrebutenas made a motion to approve the resolution and it was seconded by Ms. Strang. Chairman Walsh noted that the CAC noted for the addition of easement for possible future multi-use path on Van Antwerp.

Hearing no other questions or comments, Chairman Walsh called for a vote.

Upon voting, the resolution was approved unanimously 7-0.

Mr. D'Arpino AYE

Mr. LaFlamme AYE

Mr. Skrebutenas AYE

Ms. Shenfield AYE

Mr. McPartlon AYE

Ms. Strang AYE

Chairman Walsh AYE

Chairman Walsh noted the Public Hearing will be on August 29. He thanked the applicants for attending.

3. RECOMMENDATION TO ZBA: 1747 Union St. – Raizada gas station -- A Recommendation to the Zoning Board of Appeals (ZBA) for an addition requiring an area variance for an additional 8.8% (128 sq. ft.) of expansion of the existing building.

Mr. Dan Kaufman was present to represent the owner of the property. He displayed updated drawings to the Board for discussion. He stated the owner of the property needs extra room to broaden the sale of products. He discussed the re-design of the parking lot to accommodate the extra spaces needed. The Board discussed various options for parking. They discussed getting rid of a curb cut and changing the placement of the handicap parking. The Board gave Mr. Kaufman feedback on the parking situation. They also discussed the lack of location for the cash register. This was concerning to the Board and they asked for an updated drawing with the register location. Mr. Kaufman stated he will include it in the next drawing.

Chairman Walsh stated that there will need to be more discussion regarding this project. He stated that many of these details will be worked out once the ZBA decision is made. He directed the group to the ZBA recommendation questions.

- Is there an effect on the comprehensive plan?**

Mr. D'Arpino stated he did not believe there was an effect on the comprehensive plan and recommended a no vote from the Board.

Upon voting the Board voted 6-1 that there was no effect. Mr. McPartlon stated he felt there was an effect due to the risk to pedestrian traffic safety.

- Is the use for this project suitable for the area?**

Mr. D'Arpino stated that the use was suitable for the area due to it is an allowable use in the CN zoning district.

Upon voting, the Board voted 6-1 that the project was suitable for the use. Mr. McPartlon disagreed. He stated that the allowable 25% expansion should be enough for the business.

- ZBA Recommendation**

The Board gave a positive recommendation to the ZBA for the 8.8% area variance with a vote of 6-1.

Mr. McPartlon voted no.

Chairman Walsh noted that this is an acceptable business within the CN zoning district. There are other similar businesses around this area. There is opportunity to expand parking and to improve the landscape and exterior of the building. He stated that if the variance is approved, they will work with the applicant to improve the surrounding area.

VIII. DISCUSSION ITEMS

1. 1515 Hillside Ave. – Hillcrest Apts. – site plan app. for new signage

Mr. Richard Crawford and Ms. Workiser were present for the applicant. Chairman Walsh noted that the signs are already up. Mr. Crawford apologized for the mistake. He didn't know changing of signage would need a permit. Chairman Walsh asked Mr. Crawford to inform the Board of the changes for the signs. Mr. Crawford discussed adjusting the size of the signs so they would be more visible for locating addresses of the buildings. Chairman Walsh stated this sign will need an 8 square foot waiver from the Planning Board. Ms. Workiser noted that the signs are still in the same location. The changes are just color and information. Mr. D'Arpino asked the applicant to provide a mark-up of a sign that is sized to code for reference before the Board grants a waiver. The applicant agreed to provide this information including why a waiver is needed for the signage. Ms. Workiser confirmed for the Board that the building addresses will stay the same and will not hinder mail or voting issues.

Ms. Robertson stated she will check to see if any recent waivers have been given for signage to this property.

Ms. Workiser confirmed with the Board that only signs 2 and 5 will need a waiver. The Board confirmed.

2. 1739 Union St. -- Stewarts Shop – remodeling of shop partially on Schenectady property and partially on Niskayuna property, (85% / 15%, respectively)

Mr. Marcus Andrew was present to represent Stewarts. He gave a brief description of work that will be done to the outside of the building which will include cosmetic improvements and the addition of a freezer. This will include the whole building façade including the adjoining businesses. Chairman Walsh asked if there would be any extra noise that would occur due to this freezer. Mr. Andrew stated that the compressor that is there now will be the same that will be for the freezer. Ms. Robertson noted to the applicant to take a look at the trees to see if any repair needs to be made. Chairman Walsh stated due to the small percentage of property within Niskayuna, the Town will let Schenectady handle this project. Ms. Robertson stated she will draft a letter and request that the trees are looked at and to try to use and install “green” products when working on the project.

3. 2341 Nott St. – ShopRite Plaza – site plan app. for placing a Chase Bank ATM machine in the plaza parking lot

Mr. Tom Riley was present virtually for the meeting. He gave a quick refresh about the project for the Board. Tom Riley provided a complete update regarding the project. He provided rendering from across Nott St. & photometric plots. Mr. Riley stated that there will be no light bleeds to property lines.

Mr. Riley discussed all of the work that has been done with the Tree Council and committed to replacing 21 dead trees. They will stripe a crosswalk in 4 different locations, and address the potholes in the parking lot with the Shoprite building management.

Ms. Gold asked for the applicant to inquire where snow removal will go. He stated he will find out.

The Planning Board called for a resolution for the 8/29/22 Planning Board meeting.

IX. REPORT

1. Planning Department Updates

Ms. Robertson reminded the Board that that 1747 Union and Rivers Ledge will be at the ZBA on August 24 for variances.

IX. COMMISSION OF BUSINESS

Mr. McPartlon asked Ms. Robertson if she had the report completed by the company Synthesis that gave recommendations regarding Upper Union Street. He believes it will be helpful with the Comprehensive Plan.

Mr. D'Arpino stated that the Broken Inn will be submitting updated drawings for the outdoor seating plan. Mr. Nicchi will be attending the August 29 meeting.

Mr. Skrebutenas stated he will be working with the Comprehensive Plan committee on identifying areas for affordable housing within Niskayuna.

XI. ADJOURNMENT

Chairman Walsh asked for a motion to adjourn. Mr. Skrebutenas made a motion to adjourn and it was seconded by Mr. LaFlamme. The meeting was adjourned at 9 pm.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. IV. 1

MEETING DATE: 8/29/2022

ITEM TITLE: PUBLIC HEARING: for a 2-lot minor subdivision south of the stub road off of Empire Dr. (identifier #61.-1-33.2)

PROJECT LEAD: TBD

APPLICANT: Robert Joralemon

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Public Hearing

SUMMARY STATEMENT:

Robert Joralemon, property owner, has submitted an application for a 2-lot minor subdivision located south of the stub road of off Empire Drive (identifier #61.-1-33.2).

BACKGROUND INFORMATION

There is no action to be taken at a public hearing. The Public Hearing Notice is attached.

(For maps and other drawings please see the Discussion Item)



NOTICE OF PUBLIC HEARING

TO BE HELD BY THE
PLANNING BOARD & ZONING COMMISSION
OF THE TOWN OF NISKAYUNA

NOTICE IS HEREBY GIVEN that pursuant to Section 187-7 of the Code of the Town of Niskayuna and the applicable provisions of New York Town Law Section 276, a public hearing will be held by the Planning Board and Zoning Commission of the Town of Niskayuna in the Town Board Meeting Room at One Niskayuna Circle on the twenty-ninth (29th) day of August 2022 at 7:00 p.m. to consider an application from Robert Joralemon for a 2-lot minor subdivision at the parcel located south of the stub road off of Empire Drive in the Town of Niskayuna (Tax Parcel ID #61.-1-33.2). The property is located within the R-1 Low Density Residential Zoning District.

A copy of the application for the 2-lot subdivision will be available for inspection at the Planning Department in the Niskayuna Town Hall and can be viewed at <https://www.niskayuna.org/planning-board> under the "News and Announcement" tab and will be shown electronically during the public hearing.

If you wish to express an opinion regarding the public hearing you may do so at the above-mentioned time and place. If you cannot be present, you may request a virtual login to the meeting by emailing lrbertson@niskayuna.org or calling 518-386-4530 or you may set forth your opinion in a letter which will be made part of the permanent record.

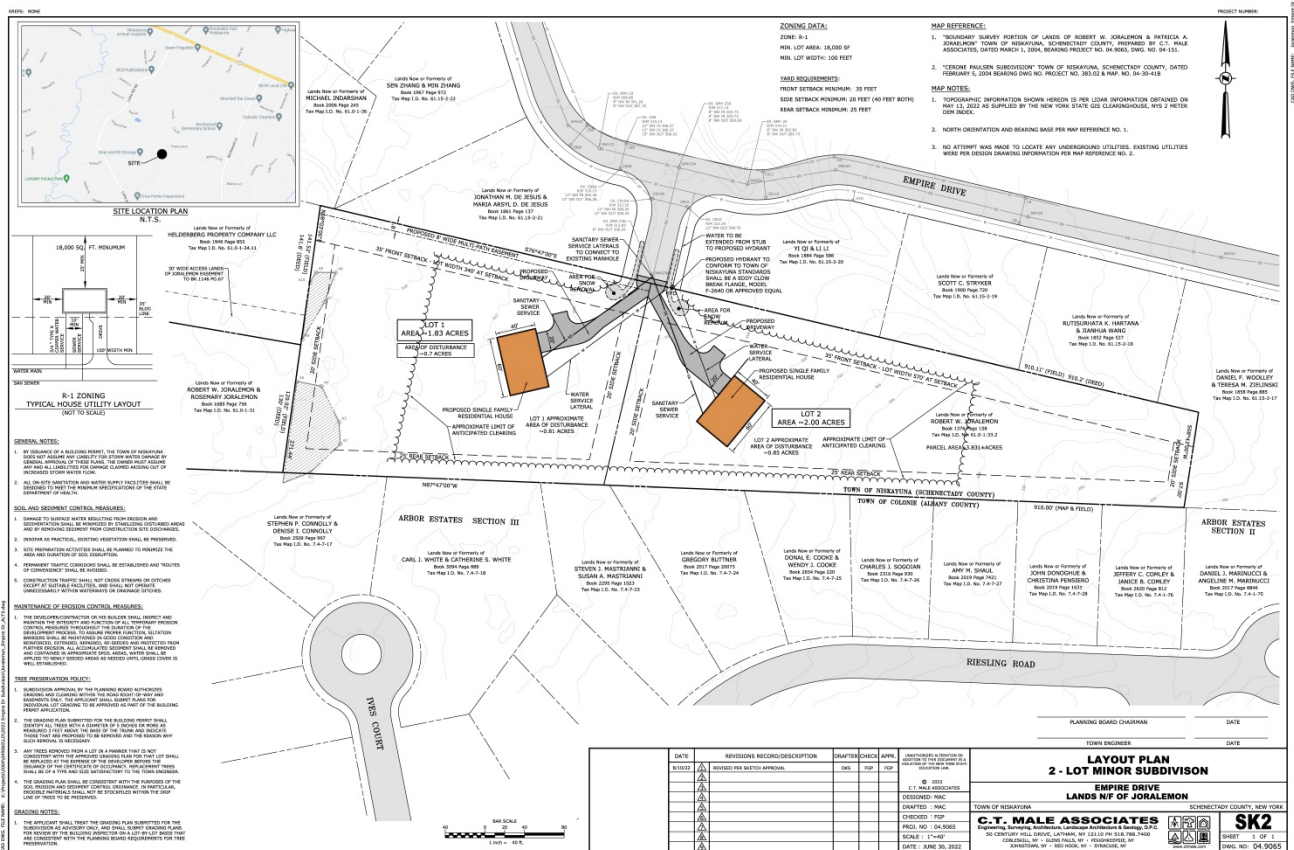
The Planning Board and Zoning Commission of the Town of Niskayuna will hear all persons interested during the aforementioned public hearing.

BY ORDER of the Planning Board of the Town of Niskayuna, New York.

KEVIN A. WALSH
Chairman, Planning Board and Zoning Commission

Empire Drive 2-lot minor subdivision – Site Plan Detail

The owner of the parcel south of the stub road off of Empire Drive is proposing a 2-lot minor subdivision of the property resulting in the two lots shown below. Lots 1 & 2 are proposed for single family homes.





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. IV. 2

MEETING DATE: 8/29/2022

ITEM TITLE: PUBLIC HEARING: for a 2 lot minor subdivision at 2239 Van Antwerp Rd.

PROJECT LEAD: TBD

APPLICANT: Patrick Jarosz, agent for the owners

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: Public Hearing

SUMMARY STATEMENT:

Patrick Jarosz, agent for the owners (Elizabeth A. Ryan and Joanne M. Ryan), has submitted an application for a 2-lot minor subdivision at 2239 Van Antwerp Rd.

BACKGROUND INFORMATION

There is no action to be taken at a public hearing. The Public Hearing Notice is attached.

(For maps and other drawings please see the Discussion Item)



NOTICE OF PUBLIC HEARING

TO BE HELD BY THE
PLANNING BOARD & ZONING COMMISSION
OF THE TOWN OF NISKAYUNA

NOTICE IS HEREBY GIVEN that pursuant to Section 187-7 of the Code of the Town of Niskayuna and the applicable provisions of New York Town Law Section 276, a public hearing will be held by the Planning Board and Zoning Commission of the Town of Niskayuna in the Town Board Meeting Room at One Niskayuna Circle on the twenty-ninth (29th) day of August 2022 at 7:00 p.m. to consider an application from Elizabeth A. Ryan and Joanne M. Ryan for a 2-lot minor subdivision at 2239 Van Antwerp Rd. in the Town of Niskayuna (Tax Parcel ID#40.-1-14.1). The property is located within the R-1 Low Density Residential Zoning District.

A copy of the application for the 2-lot subdivision will be available for inspection at the Planning Department in the Niskayuna Town Hall and can be viewed at <https://www.niskayuna.org/planning-board> under the "News and Announcement" tab and will be shown electronically during the public hearing.

If you wish to express an opinion regarding the public hearing you may do so at the above-mentioned time and place. If you cannot be present, you may request a virtual login to the meeting by emailing lrobertson@niskayuna.org or calling 518-386-4530 or you may set forth your opinion in a letter which will be made part of the permanent record.

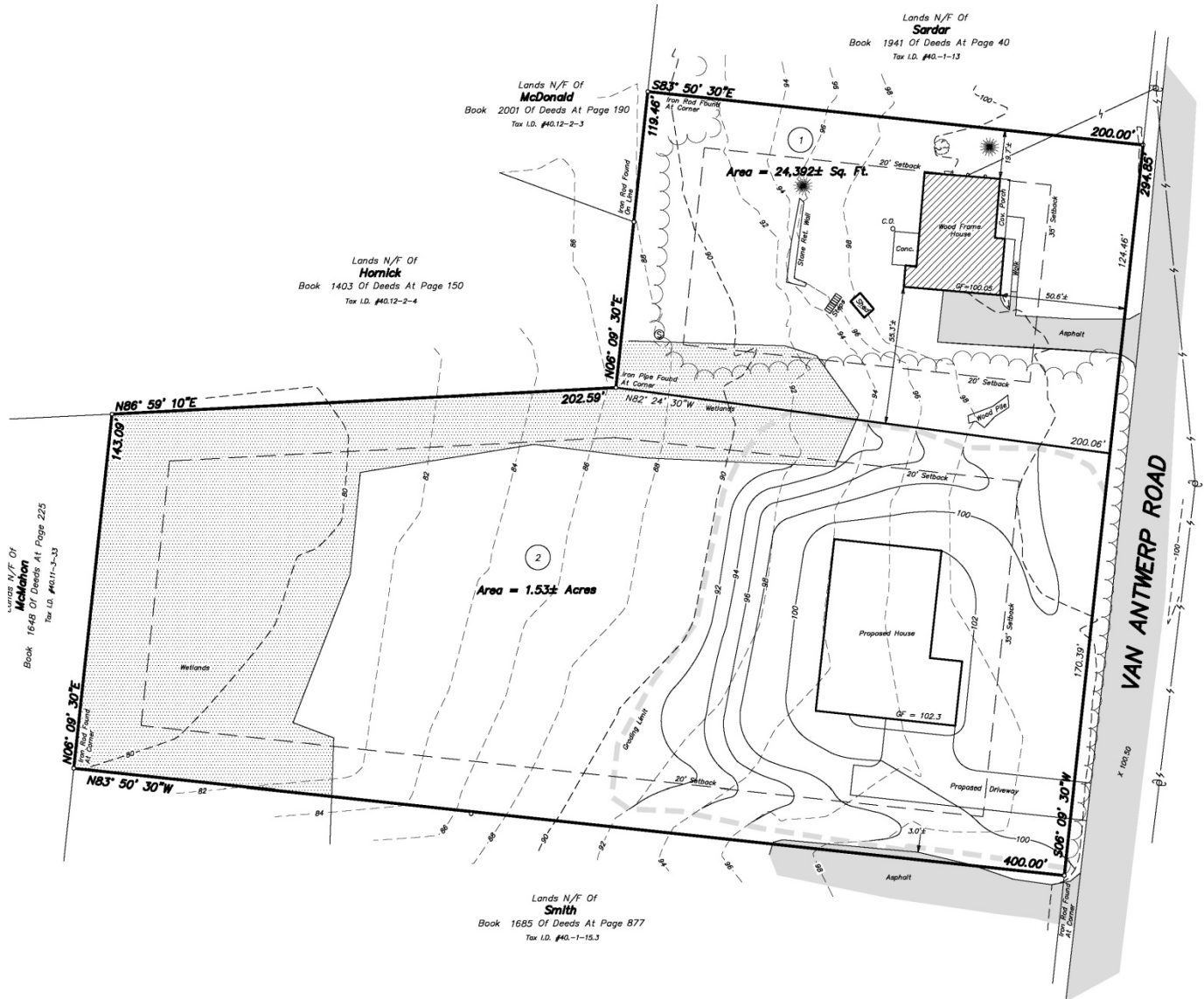
The Planning Board and Zoning Commission of the Town of Niskayuna will hear all persons interested during the aforementioned public hearing.

BY ORDER of the Planning Board of the Town of Niskayuna, New York.

KEVIN A. WALSH
Chairman, Planning Board and Zoning Commission

2239 Van Antwerp Rd. – Site Plan Detail

The owners of 2239 Van Antwerp Rd. are proposing a 2-lot minor subdivision of the property resulting in the two lots shown below. The lot encompassing the existing single-family home is identified as lot 1. Lot 2 is proposed for a new single-family home.





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 1

MEETING DATE: 8/29/2022

ITEM TITLE: RESOLUTION: 2022-19: A Resolution for site plan approval to replace the existing monument sign panels and add new freestanding directional signs at 1515 Hillside Ave. – Hillcrest Village Apartments.

PROJECT LEAD: TBD

APPLICANT: Richard Crawford, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Richard Crawford, agent for the new owners, submitted an Application for Site Plan Review to replace the existing monument sign panels and the addition of several new freestanding directional signs at the 14.43 acre Hillcrest Apartment site at 1515 Hillside Ave.

BACKGROUND INFORMATION

The property is located within the R-3 High Density Residential zoning district.

A 2-page survey drawing entitled “ALTA / ACSM Land Title Survey, Lands Now or Formerly of, Hillcrest Apartments, LLC” by C.T. Male Associates dated 4/20/15 (sheet 1) and 4/23/15 (sheet 2) with no subsequent revisions was provided with the application.

A 14-page document entitled “Sign Summary” by Bartush Signs dated 8/18/21 with a most recent revision of 7/20/22 was also provided with the application.

SIGN	Type	Notes
1	Access Point	Code Compliant
2	Directional	Waiver for 8 sf sign area required
3	Access Point	Code Compliant
4	Directional	Code Compliant
5	Directional	Waiver for 4 sf sign area needed
5B	Leasing Sign	To be Removed

RELEVANT ZONING CODE SECTIONS

Schedule I-C Part 2 R-3 District

- Refers to Section 220-26 for sign requirements and regulations for multiple-family dwelling units

Section 220-22 Signs

Section 220-26 Multiple-family dwellings

The 14-page document was reviewed against the relevant portions of the zoning code resulting in the following.

Sign 1 – Main ID Sign at Corner

- Access point sign - replacement
- Replace existing 32sf panels with code conforming panels of the same size

Sign 2 – Secondary Building ID Sign – West

- Directional sign -- new
- There is currently no existing sign at this entry point to the property
- Section 220-26 J Signs states “....any number of directional signs, each not to exceed four square feet in area and eight feet above average grade, may be permitted.”
- As proposed, the proposed new directional sign measures 12sf. in area and is 6’ high
- *Therefore, a waiver of 8sf of directional sign area is needed*

Sign 3 – Secondary ID Sign – Rosa Road

- Access point sign – replacement
- Replace existing 13.8sf panels with code conforming panels of the same size

Sign 4 – Leasing Center Directional Sign

- Directional sign – replacement
- Replace existing 21sf directional sign with a new code conforming 20sf directional sign

Sign 5 – Leasing Center ID Sign

- Directional sign – replacement
- Replace existing 5.25sf sign with a new 8sf sign
- Section 220-26 J Signs states “....any number of directional signs, each not to exceed four square feet in area and eight feet above average grade, may be permitted.”
- As proposed, the new directional sign measures 8sf in area and is 6’ high
- *Therefore, a waiver of 4sf of directional sign area is needed*

Sign 5B – Leasing Center Wall Sign

- Wall sign is to be removed and not replaced

8/8/22 Planning Board (PB) meeting – a representative from Hillcrest Apartments presented the proposed new signage images to the PB. He apologized for the fact that the signs were already installed and explained that he was not aware of the need for a permit to replace existing signs. The Planning Office noted that waivers from the Board are required for signs 2 and 5 due to their size. The PB asked the applicant to provide images for code (size) compliant signs for the

8/29/22 PB meeting as a reference. The Board was comfortable enough with the proposed signage as submitted to call for a tentative resolution for the 8/29/22 PB meeting.

The applicant provided a new revision of the Sign Summary documentation package dated 8/22/22 that includes sign images that comply with code. Reference materials supporting the larger signs were also provided. A resolution has been prepared.

RESOLUTION NO. 2022 - 19

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF AUGUST 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Richard Crawford, agent for the owners, has made an application to the Planning Board to replace the existing monument sign panels and install new freestanding directional signs at the 14.43 acre Hillcrest Apartment site at 1515 Hillcrest Ave, and

WHEREAS, a 2-page survey drawing entitled "ALTA / ACSM Land Title Survey, Lands Now or Formerly of, Hillcrest Apartments, LLC" by C.T. Male Associates dated 4/20/15 (sheet 1) and 4/23/15 (sheet 2) with no subsequent revisions was provided, and

WHEREAS, a 14-page document entitled "Sign Summary" by Bartush Signs dated 8/18/21 with a most recent revision of 8/22/22 was provided, and

WHEREAS, the zoning classification of the property is R-3 High Density Residential zoning district, and

WHEREAS, Section 220-26 J of the Niskayuna zoning code states: "....any number of directional signs, each not to exceed four square feet in area and eight feet above average grade, may be permitted." As proposed, sign 2 on page 4 of the 14-page Sign Summary document described above, is a directional sign and measures 12 sq. ft. in area and 6 feet in height. Therefore, an 8 sq. ft. (12 - 4 = 8) waiver of sign area is required, and

WHEREAS, as proposed sign 5 on page 10 of the 14-page Sign Summary document described above, is a directional sign and measures 8 sq. ft. in area and 6 feet high. Therefore, a 4 sq. ft. (8 - 4 = 4) waiver of sign area is required, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission has determined that the proposed waiver for signage would have a minimum negative effect on aesthetics and is compatible with existing facades and does hereby grant said waiver as outlined above, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.

Hillcrest Village Apartments Sign 2 + Sign 5 Application Narrative

1. Introduction

Attached is an updated design file showing side-by-side comparisons for Sign #2 and Sign #5 per the Board's request. The Applicant respectfully requests Board approval to leave the existing signs in place by Waiver as installed, and greatly appreciates the Board's review of this matter.

2. Proposed Signs

Sign #2 is shown by comparison, and then in a rendering. The rendering uses a site photo taken from 220'-0", which is the start of the viewing distance a motorist covers after the intersection of Hillside Avenue and Providence Avenue. This distance may be covered in about 5 seconds.

Sign #2 is designed be viewed and read by motorists (visitors, delivery people, First Responders) at a distance. In the interests of traffic safety, the sign needs to be visible and legible from a distance greater than the immediate corner intersection of Hillside Avenue and Randi Road; rather, a motorist needs time to see the sign, read the sign, and execute an appropriate driving maneuver. The current size is based on existing standards for on premise signs, and on similar signs that the Applicant has installed in many communities in New York State.

Since 1998, a significant amount of research has been performed in regard to on-premise signs and traffic safety. Most of the research was conducted at the Pennsylvania Transportation Institute at Penn State (now the Larson Transportation Institute). This research has facilitated the creation of standards for on-premise signs. Many of the standards relevant to this application are contained in Chapter 4 of the following American Planning Association publication (copy provided by email):

Street Graphics and the Law Fourth Edition, PAS Report 580, Mandelker, Baker & Crawford (2015)

Note: even if one were to remove the identifying "Hillcrest Village Apartment Homes" message from the smaller 4 SF version of Sign 2 Directional, the remaining message would be too small to be seen and read by a motorist from an adequate distance, because the sign area itself is too small.

In regard to Sign 5, we appreciate the Board's consideration of the minimal size increase between the previous sign (5.25 SF) and the newly installed sign (7.8 SF), and that a Leasing Center wall sign was removed at the same time and not replaced @ 10.1 SF.



Richard B. Crawford, Esquire PA Attorney ID 38030
Bartush Signs, Inc., for Morgan Properties et. al.
302 N Washington Street, Orwigsburg PA 17961

MORGAN PROPERTIES MC CONVERSION: HILLCREST



SIGN SUMMARY

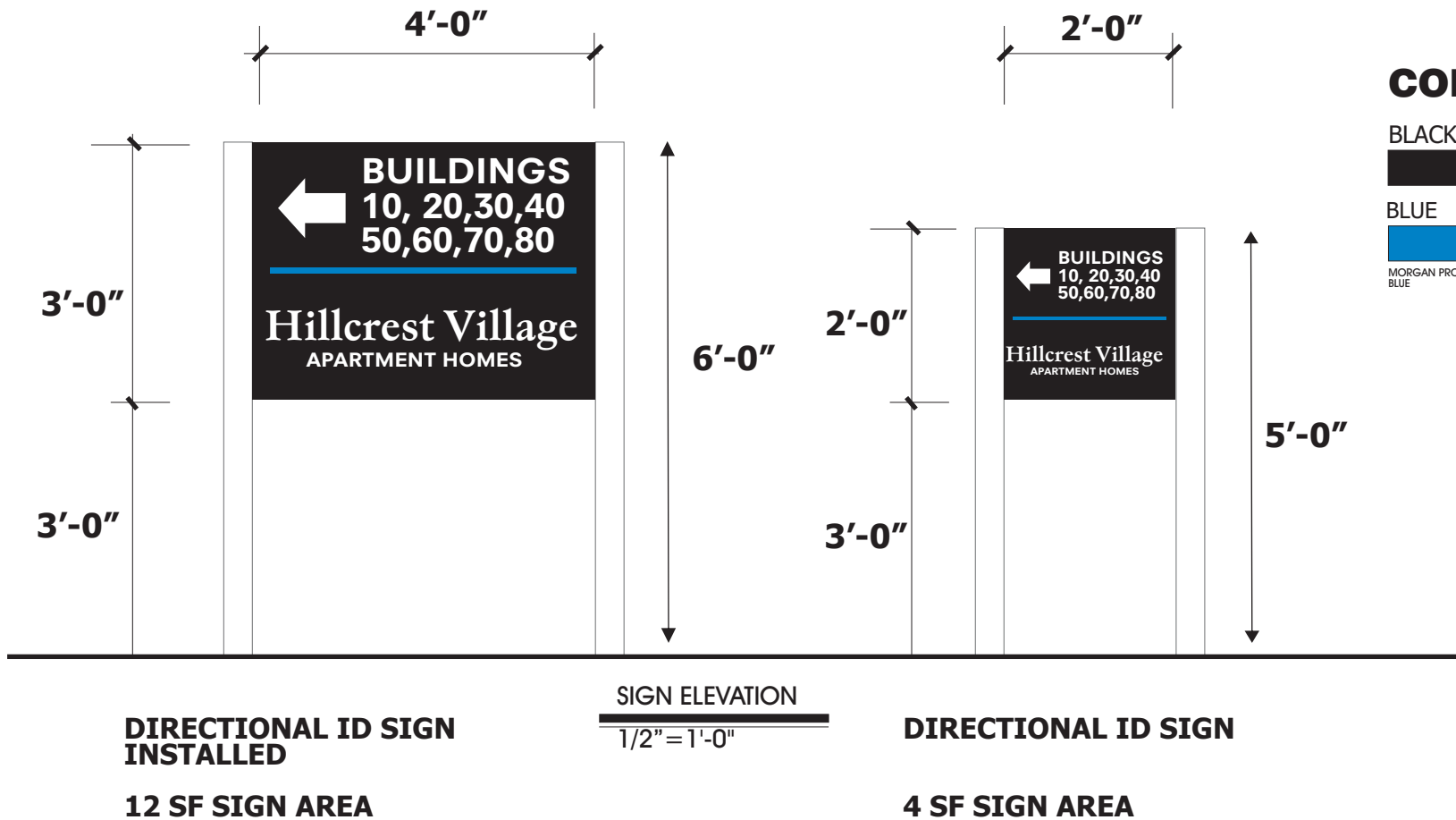
- 1
- 2 NEW SECONDARY ID SIGN
- 3
- 4 LEASING CENTER SIGNS
- 5
- 6
- 7
- 8
- 9
- 10

SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY



COLORS FOR SIGN

BLACK



WHITE



GRAY



PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES
BLUE

SILVER/ALUMINUM



Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22
08-22-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG#

2

OF

6

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)



**DIRECTIONAL ID SIGN
INSTALLED**

12 SF SIGN AREA

**POSTED SPEED 30 MPH
VIEWER REACTION DISTANCE: 220'-0"
VIEWER REACTION TIME: 5 SECONDS**

Client:
MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:
1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:
08-18-21 03-23-22
10-18-21 07-20-22
08-22-22

Dwg. By:
RBC

Dwg No:
HAH0818214017

DWG# 3 OF 6

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)



DIRECTIONAL ID SIGN

4 SF SIGN AREA

**POSTED SPEED 30 MPH
VIEWER REACTION DISTANCE: 220'-0"
VIEWER REACTION TIME: 5 SECONDS**

Client:
MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:
1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:
08-18-21 03-23-22
10-18-21 07-20-22
08-22-22

Dwg. By:
RBC

Dwg No:
HAH0818214017

DWG# 4 OF 6

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

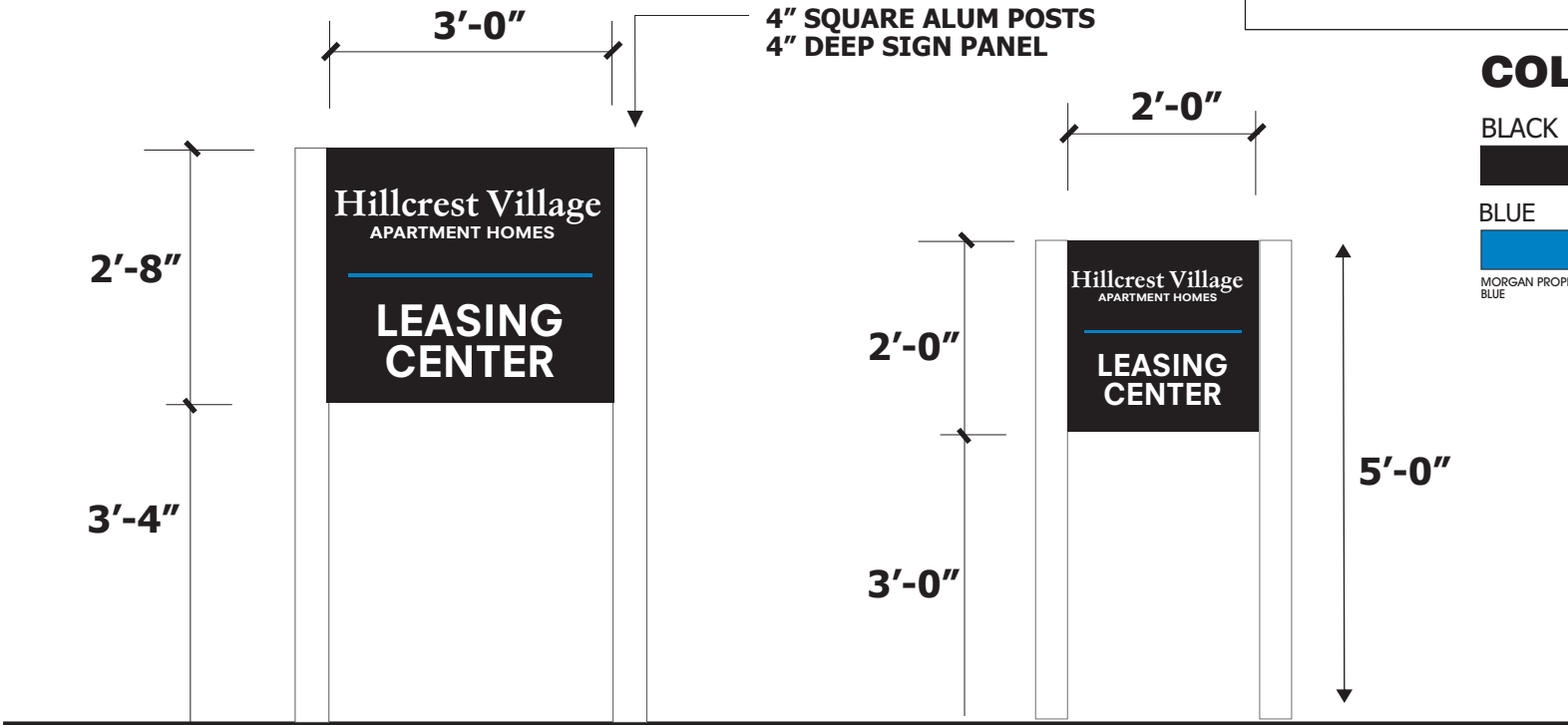
E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 5 - LEASING CENTER ID SIGN

QUANTITY (1)

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY



**LEASING CENTER SIGN
INSTALLED**

7.8 SF SIGN AREA

LEASING CENTER SIGN

4 SF SIGN AREA

COLORS FOR SIGN

BLACK	WHITE	GRAY
BLUE	SILVER/ALUMINUM	<small>PMS WARM GRAY 9C</small>
<small>MORGAN PROPERTIES BLUE</small>		

Client:
MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:
1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:
08-18-21 03-23-22
10-18-21 07-20-22
08-22-22

Dwg. By:
RBC

Dwg No:
HAH0818214017

DWG# 5 OF 6



PREVIOUS SIGN = 5.25 SF

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302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 5B - LEASING CENTER WALL SIGN

QUANTITY (1)



**THIS SIGN REMOVED
= 10.1 SF**

Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22
08-22-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG#

6

OF

6

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

**LEASING CENTER
SIGN AS INSTALLED**



MAP REFERENCE:

- DEED REFERENCE:**

- Deed dated May 31, 2007 between Coolidge Hillcrest LLC to Hillcrest Apartments LLC as described in Book 1760 of Deeds at Page 693.

AS IT APPEARS IN THE TITLE REPORT

All that certain plot, piece or parcel of land, situate, lying and being in the Town of Niskayuna, Schenectady County, New York, lying along the Northeastly line of Hillside Avenue, and being further bounded and described as follows:

BEGINNING at arnon pipe marker in the Northeasterly line of Hillside Avenue, said point of beginning being 6.51 feet North 73 degrees 19 minutes East of a point also in the Northeasterly line of Hillside Avenue, which latter point is 359.65 feet North on the intersection of the Northeasterly line of Hillside Avenue with the Northerly line of Providence Avenue as measured along the Northeasterly line of Hillside Avenue, said point of beginning also being on the Northerly line of lands now or formerly of Wells; and

RUNNING THENCE along the Northeasterly line of Hillside Avenue the following two (2) courses and distances:

- (1) North 33 degrees 36 minutes 10 seconds West 140.72 feet to an iron pipe marker; and
(2) THENCE North 42 degrees 09 minutes 40 seconds West 127.1 feet to an iron pipe marker;

THENCE along the Southeasterly line of lands now or formerly of Hecker the following six (6) courses and distances:

- (1) North 56 degrees 09 minutes East 349.48 feet to an iron pipe marker;
- (2) THENCE North 49 degrees 14 minutes East 159.13 feet to an iron pipe marker;
- (3) THENCE North 57 degrees 25 minutes East 177.68 feet to an iron pipe marker;
- (4) THENCE North 72 degrees 03 minutes East 146.49 feet to an iron pipe marker;
- (5) THENCE North 79 degrees 47 minutes East 183.73 feet to a point; and
- (6) THENCE North 81 degrees 24 minutes East 223.12 feet to an iron pipe marker in the Westerly line of lands of the Jewish Community Center of Schenectady, Inc.;

THENCE along said lands, South 36 degrees 19 minutes 30 seconds East
397.30 feet to an iron pipe marker;

THENCE along the Northwesterly line of lands of the Jewish Community Center of Schenectady, Inc., the following five (5) courses and distances:

- (1) South 42 degrees 28 minutes West 297.91 feet to an iron rod marker;
- (2) THENCE South 47 degrees 22 minutes West 75.30 feet to an iron rod marker;
- (3) THENCE South 56 degrees 59 minutes West 73.65 feet to an iron rod marker;
- (4) THENCE South 66 degrees 10 minutes 30 seconds West 47.81 feet to an iron rod marker; and
- (5) THENCE South 74 degrees 52 minutes West 582.15 feet to an iron pipe marker in the Easterly corner of lands now or formerly of Wells;

THENCE along the Northeasterly line of lands now or formerly of Wells North 24 degrees 22 minutes West 154.83 feet to an iron pipe marker in the Northerly corner of lands now or formerly of Wells; and

THENCE along the Northwesterly line of lands now or formerly of Wells South 73 degrees 19 minutes West 193.69 feet to an iron pipe marker at the point and place of BEGINNING.

ZONING TABULATION

Zoning Designation: R-3 District, High Density Residential

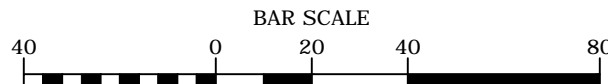
Current Use: Multifamily Complex

Zoning Requirements:

Minimum Lot Size - 2 Acres
Maximum Building Height - 35 feet
Maximum Building Stories - 3 stories
Maximum Site Coverage for all buildings and structures - 30%
No building shall be closer than 70 feet to the street line of any street
No building shall be closer than 30 feet to the edge of pavement of any interior access drive
No building shall be closer than 40 feet to the defined property line
Minimum of 2 parking spaces per apartment of which one must be enclosed or under cover
Maximum Dwelling units per gross acre for condominiums shall be six. For all other dwelling units, the maximum units per gross acre shall be 10.

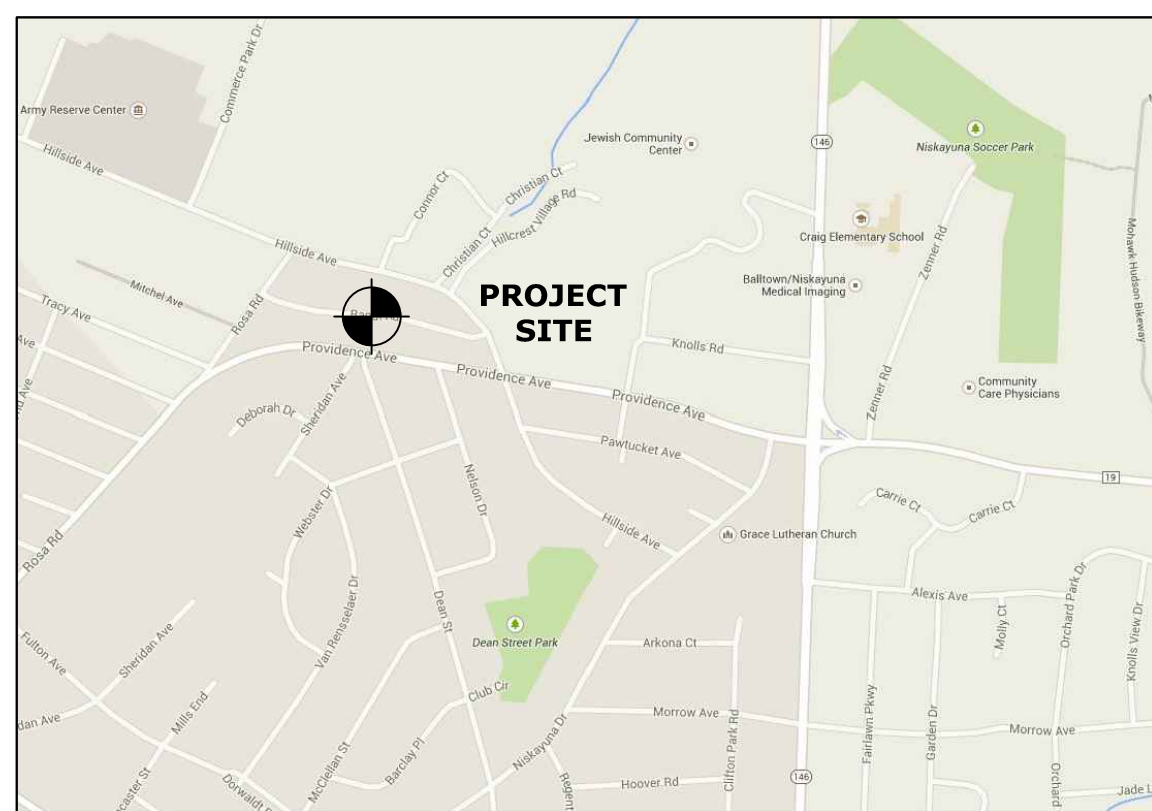
PARKING TABULATION

REQUIRED: Minimum of 2 parking spaces per apartment, of which one must be enclosed or under cover.
ACTUAL: 184 Regular Parking Spaces, 32 Garage Parking Spaces and 9 Handicapped Parking Spaces Designated



WILLIAM J. NETTLETON P.L.S. NO. 49513	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ADAPTATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW. © 2015 C.T. MALE ASSOCIATES APPROVED: WIN DRAFTED : MDD CHECKED : JAM PROJ. NO : 15-5219 SCALE : 1"=40' DATE : APR. 20, 2015	ALTA/ACSM LAND TITLE SURVEY LANDS NOW OR FORMERLY OF HILLCREST APARTMENTS, LLC 1515 HILLSIDE AVENUE TOWN OF NISKAYUNA SCHENECTADY COUNTY, NEW YORK	C.T. MALE ASSOCIATES Engineering, Surveying, Architecture & Landscape Architecture, D.P.C. 50 CENTURY HILL DRIVE, LATHAM, NY 12110 518.786.7400 • FAX 518.786.7299	 	SHEET 1 OF 1 DWG. NO: 15-253
--	------	------------------------------	---------	-------	-------	---	---	--	----------	--

"ONLY COPIES OF THIS MAP SIGNED IN RED INK AND EMBOSSED WITH THE SEAL OF AN OFFICER OF C.T. MALE ASSOCIATES OR A DESIGNATED REPRESENTATIVE SHALL BE CONSIDERED TO BE A VALID TRUE COPY".



SITE MAP
NO SCALE

MAP REFERENCE:

1. "Survey of Lands of Joseph J. Glickman" Town of Niskayuna, Schenectady County, New York prepared by C.T. Male Associates dated December 22, 1965 and revised to April 4, 2008, Drawing No. 65-S-84L.

DEED REFERENCE:

1. Deed dated May 31, 2007 between Coolidge Hillcrest, LLC to Hillcrest Apartments LLC as described in Book 1760 of Deeds at Page 693.

Lands Now or Formerly of
NIAGARA MOHAWK POWER CORPORATION
ROSA ROAD STATION 137E

Lands Now or Formerly of
HILLCREST APARTMENTS LLC
Book 1760 Page 693
(Parcel 1)
Tax Map ID 49.06-1-2
See Map Reference No. 2

AREA = 9.078± ACRES

Lands Now or Formerly of
PROVIDENCE AVENUE ASSOCIATES, LLC
Book 1871 Page 535
Tax Map ID 40.06-1-1

Lands Now or Formerly of
HILLCREST APARTMENTS LLC
Book 1760 Page 693
(Parcel 1)
Tax Map ID 31.00-1-78
See Map Reference No. 1

Lands Now or Formerly of
**DAVID P. MAY AND
NANCY C. MAY**
Book 1016 Page 105
Tax Map ID 31.00-1-79

MAP NOTES:

1. Information shown hereon was compiled from an actual field survey conducted during the month of April 2015.
2. North orientation and bearing base per map reference no. 1.
3. Underground facilities, structures, and utilities have been plotted from data obtained from previous maps and record drawings. Surface features such as catch basin rims, manhole covers, water valves, gas valves, etc. are the result of field survey unless noted otherwise. There may be other underground utilities, the existence of which is not known to the undersigned. Size and location of all underground utilities and structures must be verified by the appropriate authorities. Dig Safely New York must be notified prior to conducting test borings, excavation and construction.
4. No attempt was made to locate any underground utilities.
5. The locations of underground improvements or encroachments, if any exist or are shown hereon, are not certified.
6. Offset distances shown hereon that are referencing objects shown near property lines are labeled on the side of the property line that the offset distance is written.
7. This survey does not constitute a record search by C.T. Male Associates Engineering, Surveying, Architecture & Landscape Architecture, D.P.C., to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, the surveyor relied upon the Commitment for Title Insurance No. BS1516-67018, Order No. NNY5238604ROC prepared by Chicago Title Insurance Company dated April 6, 2015.
8. Parcel may be subject to an unplotable easement granted to New York Power and Light Corp. as described in Book 418 of Deeds at Page 134, Schedule B, Item 7.
9. Parcel may be subject to an unplotable easement granted to Niagara Mohawk Power Corporation and New York Telephone Company as described in Book 466 of Deeds at Page 461, Schedule B, Item 8.
10. Parcel may be subject to an unplotable drainage easement as described in Book 676 of Deeds at Page 483, Schedule B, Item 9.
11. Parcel may be subject to an unplotable drainage easement and right of way as described in Book 679 of Deeds at Page 378, Schedule B, Item 10.
12. Parcel is subject to an utility agreement granted to the Town of Niskayuna as described in Book 1590 of Deeds at Page 514 as shown hereon. Schedule B, Item 11.
13. Parcel may be subject to a drainage easement as described in Book 729 of Deeds at Page 240.
14. No observed evidence of current earth moving work, building construction or building additions.
15. No observed evidence of site use as a solid waste dump, pump, or sanitary landfill.
16. No observed evidence of site use as a cemetery.
17. Said described property is located within an area having a Zone Designation "X". Areas determined to be outside the 0.2% annual chance flood plain by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 36093CO1590, Panel 159 of 257, Suffix D with a date of identification of January 8, 2014 for Community Number 36079, in Town of Niskayuna, in Schenectady County, State of New York, which is the current Flood Insurance Rate Map for the community in which said property is situated.

LEGEND

A/C	AIR CONDITIONING UNIT (2X2 TYP.)
BOL	BOLLARD
CB	CABLE TV FEDESTAL
CRF	GRAVED IRON ROD FOUND
CR	CATCH BASIN ROUND
CS	CATCH BASIN SQUARE
CO	CLEAN OUT
EM	ELECTRIC METER
FP	FLAGPOLE
GV	GAS VALVE
GW	GUY WIRE
HY	HYDRANT
IRP	IRON PIPE FOUND
IR	IRON ROD FOUND
LP	LIGHT POLE
SMH	SANITARY MANHOLE
SG	SIGN
TSP	TRAFFIC SIGNAL BOX
TR	TRAFFIC SIGNAL POLE
TRH	TELEPHONE MANHOLE
TRD	TELEPHONE PEDestal
U	UNKNOWN UTILITY MANHOLE
UP	UTILITY POLE
W/L	UTILITY POLE W/LIGHT
WS	WATER SHUTOFF
WV	WATER VALVE
Y	YARD LIGHT
YU	OVERHEAD UTILITY LINE (TYP.)
PR	PROPERTY LINE
WF	WOOD FENCE

DESCRIPTION

AS IT APPEARS IN THE TITLE REPORT

PARCEL 11

All that certain plot, piece or parcel of land, situate, lying and being in the Town of Niskayuna, County of Schenectady and State of New York, bounded and described as follows:

BEGINNING at a point in the Easterly line of Rosa Road, which point is in the Northwestern corner of the lands formerly of Tremarco Corporation (now occupied by Gulf Oil Corporation), said point also being 340.00 feet Northerly along the Easterly line of Rosa Road from the point of intersection of the Easterly line of Rosa Road with the Northerly line of Providence Avenue; and RUNNING THENCE along the easterly line of Rosa Road, North 33 degrees 32 minutes 30 seconds East 258.67 feet to lands now or formerly of Niagara Mohawk Power Corporation;

THENCE along the lands of Niagara Mohawk Power Corporation the following two (2) courses and distances:

- (1) South 74 degrees 38 minutes 15 seconds East 513.46 feet to a point; and
- (2) North 15 degrees 21 minutes 45 seconds East 154.10 feet to a point in the Southerly line of Hillside Avenue;

THENCE along the Southerly line of Hillside Avenue the following six (6) courses and distances:

- (1) South 75 degrees 42 minutes East 392.05 feet to a point; THENCE
- (2) South 50 degrees 01 minutes East 138.22 feet to a point; THENCE
- (3) South 42 degrees 33 minutes East 138.22 feet to a point; THENCE
- (4) South 32 degrees 40 minutes East 88.10 feet to a point; THENCE
- (5) South 21 degrees 58 minutes East 119.40 feet to a point; and THENCE
- (6) South 19 degrees 18 minutes East 60.74 feet to a point of intersection of the Southwesterly line of Hillside Avenue with the Northerly line of Providence Avenue;

THENCE along the Northerly line of Providence Avenue the following four (4) courses and distances:

- (1) North 80 degrees 46 minutes West 330.00 feet to a point; THENCE
- (2) North 09 degrees 51 minutes West 5.29 feet to a point; THENCE
- (3) North 80 degrees 46 minutes West 576.42 feet to a point of curvature; and THENCE
- (4) Westerly along a curve to the left a radius of 1,035.00 feet, a distance of 302.40 feet to the Southeast corner of the lands formerly of Tremarco Corporation (now occupied by Gulf Oil Corporation);

THENCE along the lands formerly of Tremarco Corporation (now occupied by Gulf Oil Corporation) the following two (2) courses and distances:

- (1) North 09 degrees 21 minutes West 200.00 feet to a point; and THENCE
- (2) South 70 degrees 07 minutes West 150.00 feet to the point and place of BEGINNING.

Lands Now or Formerly of
WILLOWBROOK TERRACE APARTMENTS, LLC
Book 1758 Page 427
Tax Map ID 31.00-1-77

Lands Now or Formerly of
HILLCREST APARTMENTS LLC
Book 1760 Page 693
(Parcel 1)
Tax Map ID 31.00-1-78
See Map Reference No. 1

Lands Now or Formerly of
**DAVID P. MAY AND
NANCY C. MAY**
Book 1016 Page 105
Tax Map ID 31.00-1-79

ZONING TABULATION

Zoning Designation: R-3 District, High Density Residential

Current Use: Multifamily Complex

Zoning Requirements:

Minimum Lot Size - 2 Acres
Maximum Building Height - 35 feet
Maximum Building Stories - 3 stories
Maximum Site Coverage for all buildings and structures - 30%
No building shall be closer than 70 feet to the street line of any street
No building shall be closer than 30 feet to the edge of pavement of any interior access drive
No building shall be closer than 40 feet to the defined property line
Minimum of 2 parking spaces per apartment of which one must be enclosed or under cover.
Maximum Dwelling units per gross acre for condominiums shall be six. For all other dwelling units, the maximum units per gross acre shall be 10.

PARKING TABULATION

REQUIRED: Minimum of 2 parking spaces per apartment, of which one must be enclosed or under cover.
ACTUAL: 95 Regular Parking Spaces, 36 Garage Parking Spaces and 1 Handicapped Parking Space Designated

To:

Berkeley Point Capital LLC and
Federal Home Loan Mortgage Corporation
Their successors and/or assigns
Hillcrest Apartments DE LLC, a Delaware limited liability company
Bond, Schoenick & King, PLLC
Chicago Title Insurance Company
IVI Assessment Services, a CBRE Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 16, 18, and 21 of Table A thereof. The Field Work Was Completed on April 23, 2015.

Signed: William J. Nettleton P.L.S. No. 49513

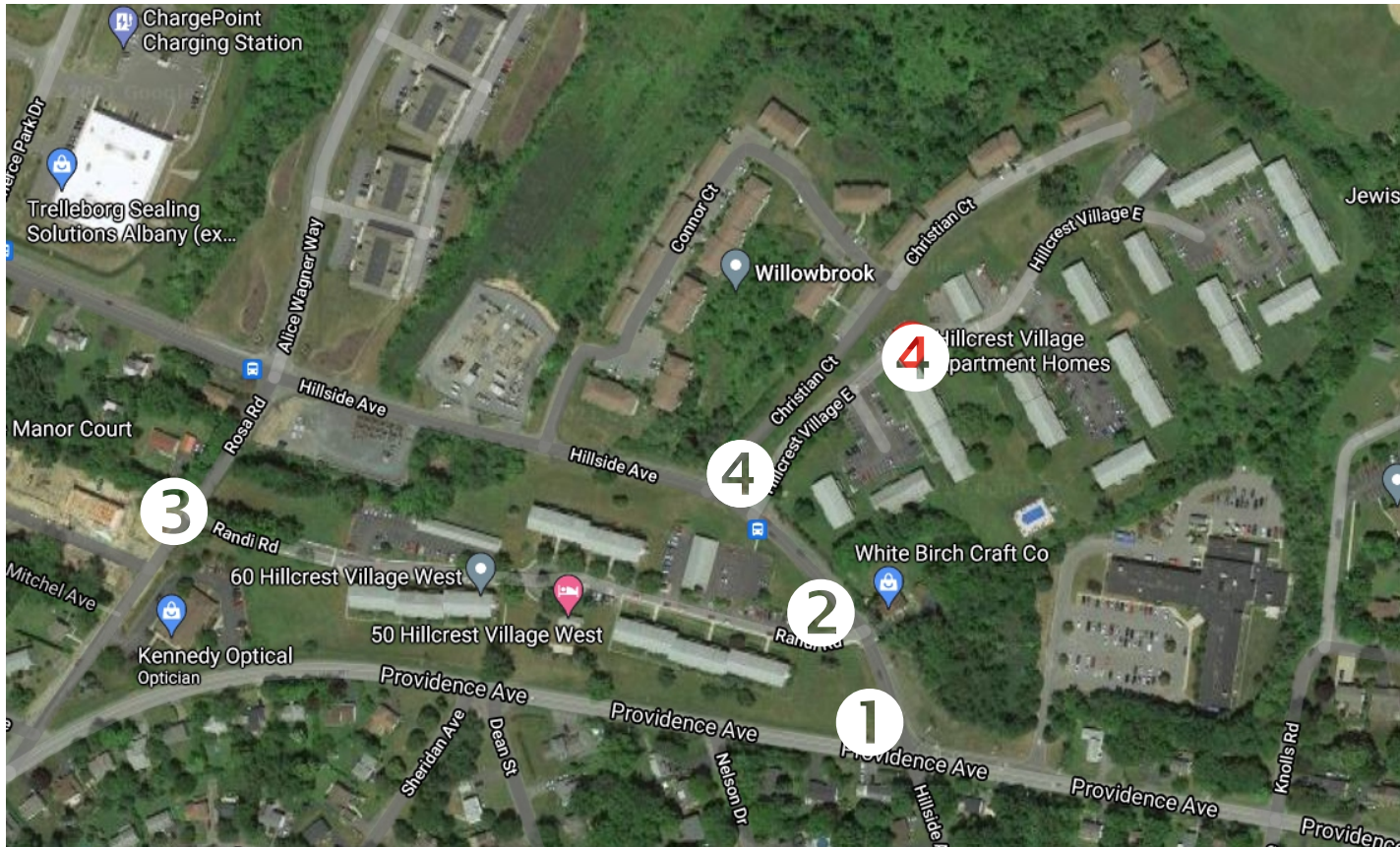
NOTE:

The property described hereon is the same as the property described in Chicago Title Insurance Company Commitment No. BS1516-67018, Order Number NNY5238604ROC, with an effective date of April 6, 2015 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted to their effect on the subject property.

WILLIAM J. NETTLETON P.L.S. No. 49513	DATE	REVISIONS RECORD/DESCRIPTION	DRAFTER	CHECK	APPR.	UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW	ALTA/ACSM LAND TITLE SURVEY
							LANDS NOW OR FORMERLY OF
							HILLCREST APARTMENTS, LLC
							1685 PROVIDENCE AVENUE
							TOWN OF NISKAYUNA
							SCHENECTADY COUNTY, NEW YORK
							C.T. MALE ASSOCIATES
							Engineering, Surveying, Architecture & Landscape Architecture, D.P.C.
							50 CENTURY HILL DRIVE, LATHAM, NY 12110
							518.786.7400 * FAX 518.786.7299
							SHEET 1 OF 1
							DWG. NO. 15-257

MORGAN PROPERTIES MC CONVERSION: HILLCREST

EXTERIOR SIGNAGE REBRANDING



SIGN SUMMARY

- 1 MAIN ENTRANCE
SIGN BRICK MONUMENT
- 2 NEW SECONDARY
ID SIGN
- 3 SECONDARY
ENTRANCE SIGN
- 4 LEASING CENTER
SIGNS
- 5 AWNINGS
- 6
- 7
- 8
- 9
- 10

**Bartush
Signs**
(& Crane Service)

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311
E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 1 - MAIN ID SIGN AT CORNER

QUANTITY (2 PANELS)

SIGN ZONING RECAP:

EXISTING SIGN:

PANELS ON STRUCTURE

SIGN AREA: 4'-0" X 8'-0" = 32 SF PER PANEL

EXTERNAL ILLUMINATION

REPLACEMENT SIGN:

PANELS ON STRUCTURE

SIGN AREA: 4'-0" X 8'-0" = 32 SF PER PANEL

EXTERNAL ILLUMINATION

NO CHANGE TO: SIGN LOCATION, SIGN STRUCTURE
OR SIGN SETBACKS



Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 2 OF 14

Bartush
Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 1 - MAIN ID SIGN AT CORNER

QUANTITY (2 PANELS)

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY

8'-0"

4'-0"



3" ALUMINUM
WARM GRAY ACCENTS
SEPARATE FROM SIGN PANEL

COLORS FOR SIGN

BLACK



WHITE



GRAY



PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES
BLUE

SILVER/ALUMINUM



SIGN ELEVATION

1/2" = 1'-0"

SIGN #1 DETAILS -

FABRICATE & INSTALL (2) NEW SF SIGN PANELS FOR EXISTING V-SHAPED BRICK MONUMENT AT THE CORNER OF HILLSIDE AVENUE + PROVIDENCE AVENUE;

REMOVE THE EXISTING SIGN PANELS + DISPOSE OF SAME;

REPLACEMENT SIGN PANELS TO BE FABRICATED .125" ALUMINUM WITH ALUMINUM ANGLE SUB-FRAMING; NO VISIBLE SEAMS, FASTENERS OR RIVETS ON THE FACE OF THE SIGN PANELS;

PANELS TO BE SINGLE SIDED; SIGN FACE OPTIONS: SEE BOX IN UPPER RIGHT;



Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 3 OF 14

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY

COLORS FOR SIGN

BLACK



WHITE



GRAY



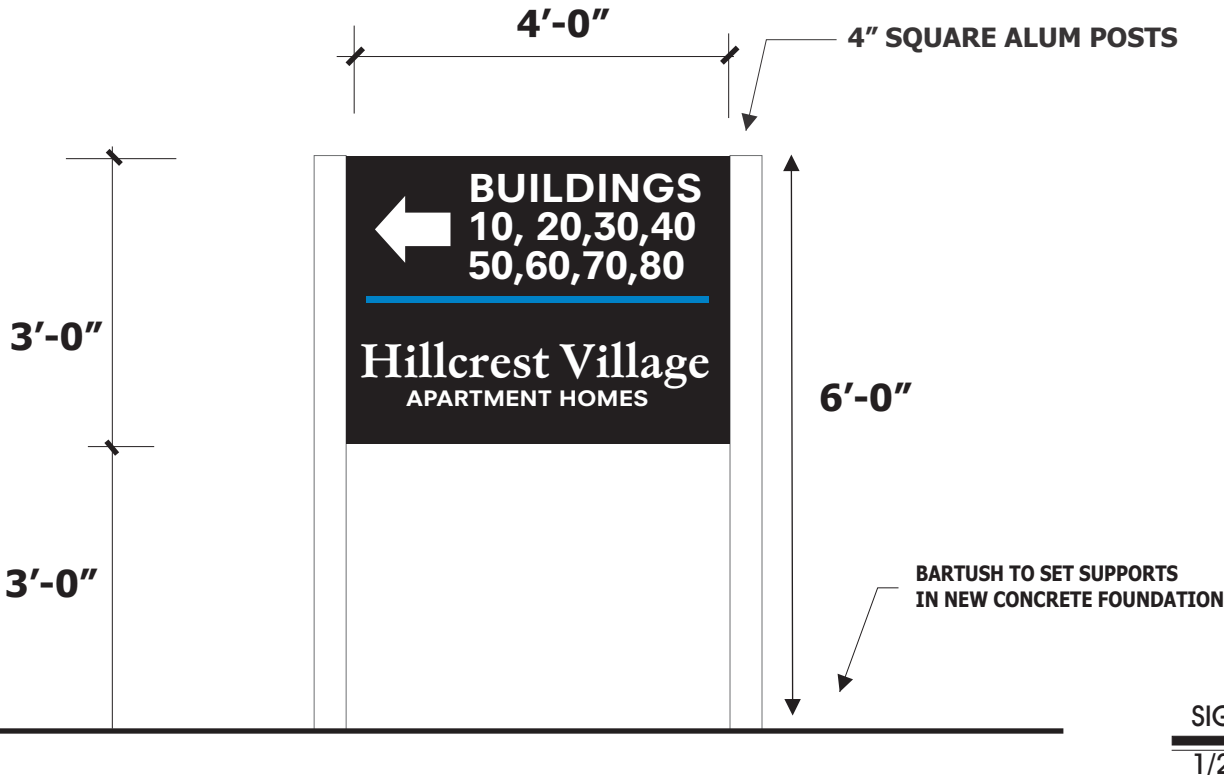
PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES
BLUE

SILVER/ALUMINUM



SIGN #2 DETAILS -

FABRICATE & INSTALL (1) NEW DF FS FREESTANDING ID SIGN;

SIGN TO BE FABRICATED ALUMINUM POST & PANEL STYLE: STANDARD DESIGN WITH 4" DEEP PANEL;

THERE IS NO SIGN AT THIS ENTRY POINT CURRENTLY;

SIGN TO DOUBLE SIDED; SIGN FACE OPTIONS: SEE BOX IN UPPER RIGHT;

DISPOSAL OF ANY EXCAVATED EARTH TO BE ON CUSTOMER'S SITE;

Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 4 OF 14

Bartush
Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 2 - SECONDARY BUILDING ID SIGN - WEST

QUANTITY (1)

INSTALL NEW FS SIGN ON THIS
SIDE OF ENTRANCE BEHIND
HYDRANT



SIGN ZONING RECAP:

NEW SIGN

SIGN AREA: 3'-0" X 4'-0" = 12 SF PER PANEL
SIGN HEIGHT: 6'-0"
NO ILLUMINATION

Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 5 OF 14

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 3 - SECONDARY ID SIGN - ROSA ROAD

QUANTITY (2 PANELS)



SIGN ZONING RECAP:

EXISTING SIGN:

PANELS ON STRUCTURE

SIGN AREA: 2'-4" X 6'-0" = 13.8 SF PER PANEL

EXTERNAL ILLUMINATION

REPLACEMENT SIGN:

PANELS ON STRUCTURE

SIGN AREA: 2'-4" X 6'-0" = 13.8 SF PER PANEL

EXTERNAL ILLUMINATION

NO CHANGE TO: SIGN LOCATION, SIGN STRUCTURE
OR SIGN SETBACKS

Client:

MORGAN PROPERTIES

HILLCREST

APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE

NISKAYUNA NY 12309

Date:

08-18-21 03-23-22

10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG#

6

OF

14

**Bartush
Signs**
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 3 - SECONDARY ID SIGN - ROSA ROAD

QUANTITY (2 PANELS)



SIGN CABINET OPTIONS

A. NON LIT FLAT COPY

COLORS FOR SIGN

BLACK



WHITE



GRAY



PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES BLUE

SILVER/ALUMINUM



SIGN #3 DETAILS -

FABRICATE & INSTALL (2) NEW SF SIGN PANELS FOR EXISTING BRICK MONUMENTS AT THE CORNER OF ROSA ROAD + RANDI ROAD;

REMOVE THE EXISTING SIGN PANELS + DISPOSE OF SAME;

REPLACEMENT SIGN PANELS TO BE FABRICATED .125" ALUMINUM WITH ALUMINUM ANGLE SUB-FRAMING; NO VISIBLE SEAMS, FASTENERS OR RIVETS ON THE FACE OF THE SIGN PANELS;

PANELS TO BE SINGLE SIDED; SIGN FACE OPTIONS: SEE BOX IN UPPER RIGHT;



Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG#

7

OF

14

Bartush
Signs
& Crane Service

302 NORTH WASHINGTON ST.
ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com

SIGN 4 - LEASING CENTER DIRECTIONAL SIGN

QUANTITY (1)

SIGN ZONING RECAP:

EXISTING SIGN:

SIGN AREA: 3'-6" X 6'-0" = 21 SF

SIGN HEIGHT: 6'-8"

NO ILLUMINATION

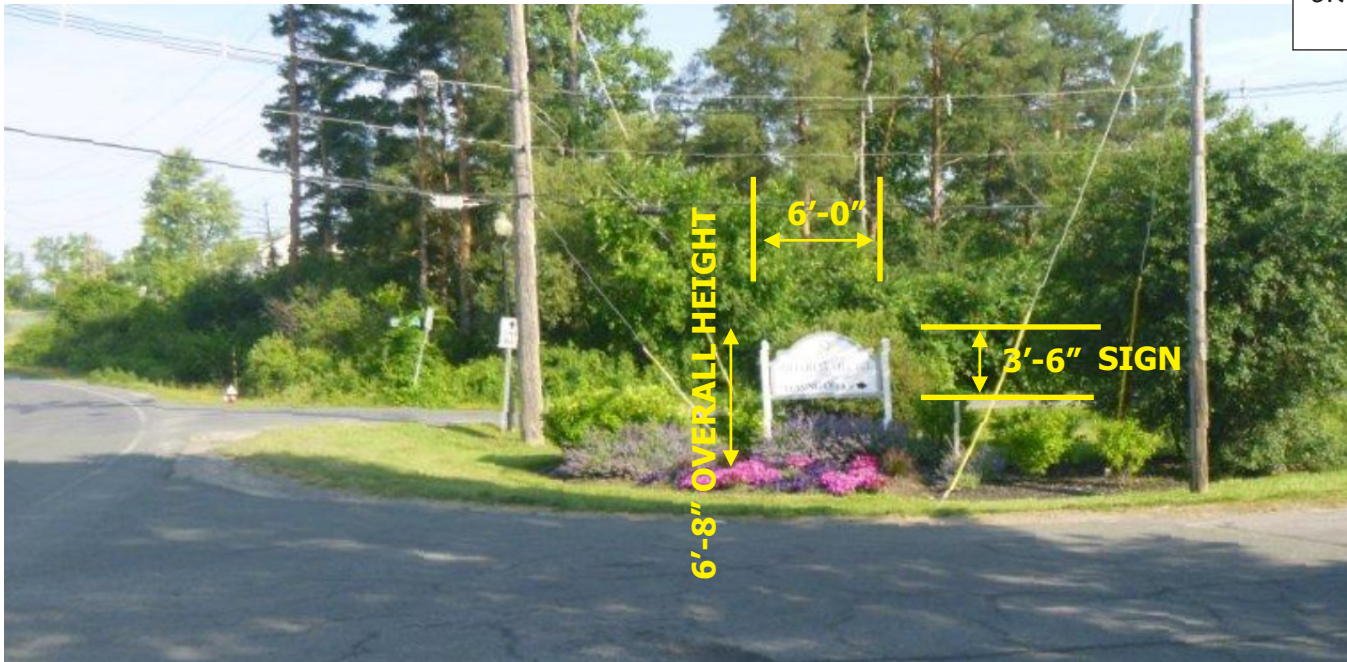
REPLACEMENT SIGN:

SIGN AREA: 3'-6" X 6'-0" = 21 SF

SIGN HEIGHT: 6'-8"

NO ILLUMINATION

NO CHANGE TO: SIGN LOCATION, SIGN STRUCTURE
OR SIGN SETBACKS



Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG#

8

OF

14

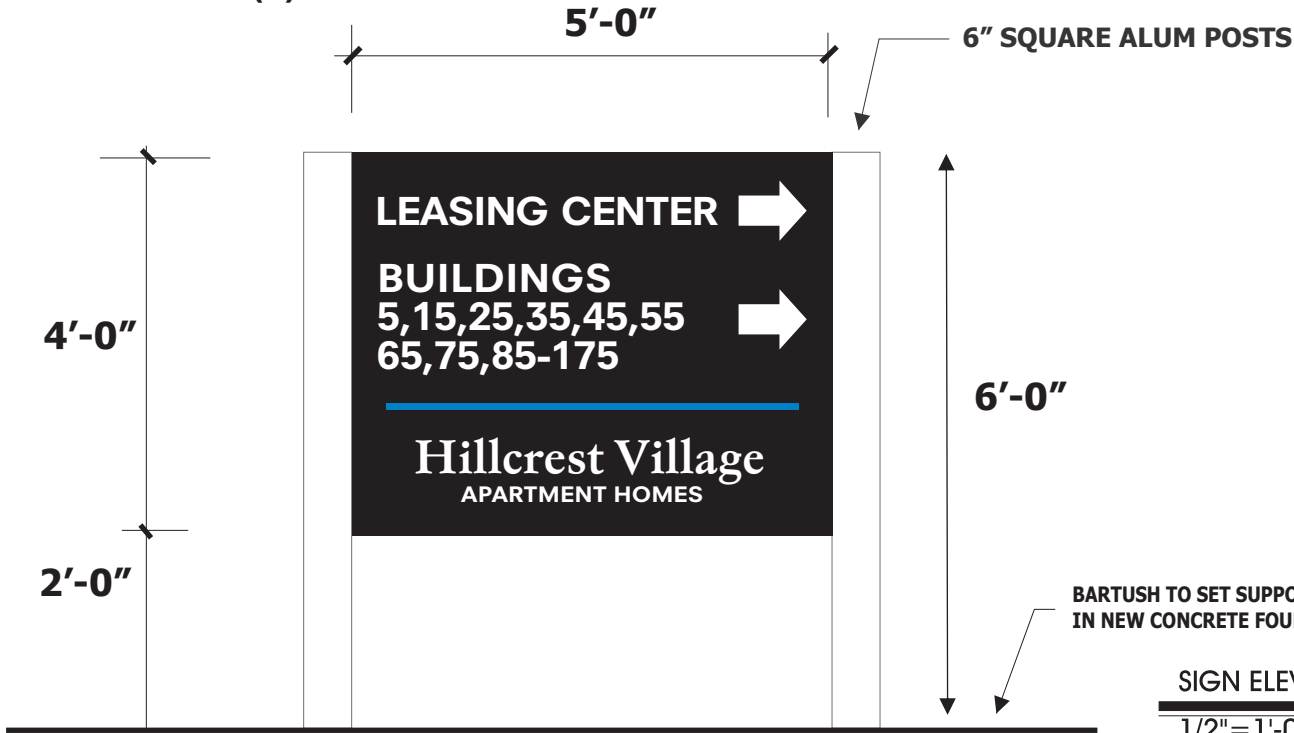
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SIGN 4 - LEASING CENTER DIRECTIONAL SIGN

QUANTITY (1)



SIGN CABINET OPTIONS

A. NON LIT FLAT COPY

COLORS FOR SIGN

BLACK



WHITE



GRAY



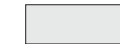
PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES
BLUE

SILVER/ALUMINUM



Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 9 OF 14

SIGN #4 DETAILS -

FABRICATE & INSTALL (1) NEW
REPLACEMENT DF FS FREESTANDING ID
SIGN;

REMOVE THE EXISTING SF POST & PANEL
SIGN & RE-USE THE LOCATION FOR THE
NEW SIGN;

REPLACEMENT SIGN TO BE FABRICATED
ALUMINUM; TO BE DOUBLE SIDED; SIGN
FACE OPTIONS: SEE BOX IN UPPER RIGHT;

DISPOSAL OF ANY EXCAVATED EARTH TO BE
ON CUSTOMER'S SITE;



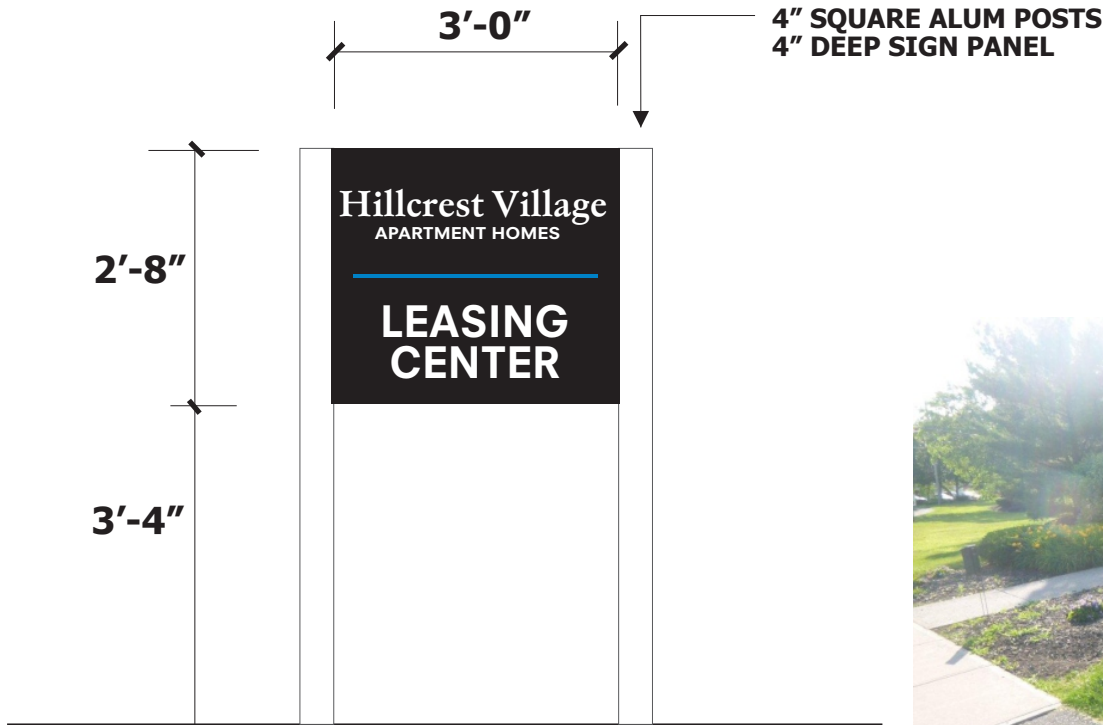
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Signs
& Crane Service

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ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
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SIGN 5 - LEASING CENTER ID SIGN

QUANTITY (1)



SIGN #5 DETAILS -

MANUFACTURE & INSTALL (1) NEW FREESTANDING LEASING CENTER ID SIGN IN NEW MORGAN COLORS & STANDARDS;

SIGN TO BE CUSTOM FABRICATED EXTRUDED ALUMINUM POST & PANEL SIGN SYSTEM; FLAT .125" ALUMINUM FACE WITH NO VISIBLE RETAINER OR FRAMING; SIGN TO BE DOUBLE SIDED;

BARTUSH TO EXCAVATE FOR & SET NEW MOUNTING POSTS FOR THE NEW PROPOSED SIGNS; DISPOSAL OF EXCAVATED EARTH ON SITE;

SIGN CABINET OPTIONS

A. NON LIT FLAT COPY

COLORS FOR SIGN

BLACK



WHITE



GRAY



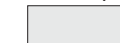
PMS WARM GRAY 9C

BLUE



MORGAN PROPERTIES
BLUE

SILVER/ALUMINUM



REMOVE & REPLACE THIS
SIGN - EXISTING
SIGN IS 21" X 36" = 5.25 SF

REPLACEMENT SIGN
@ 7.8 SF

Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 10 OF 14

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SIGN 5 - LEASING CENTER ID SIGN

QUANTITY (1)



Client:
MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:
1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:
08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:
RBC

Dwg No:
HAH0818214017

DWG# 11 OF 14

**Bartush
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Web Address: www.bartush.com

SIGN 5B - LEASING CENTER WALL SIGN

QUANTITY (1)



**REMOVE SIGN
DO NOT REPLACE
26" X 56"
= 10.1 SF**

Client:
MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:
1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:
08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:
RBC

Dwg No:
HAH0818214017

DWG# 12 OF 14

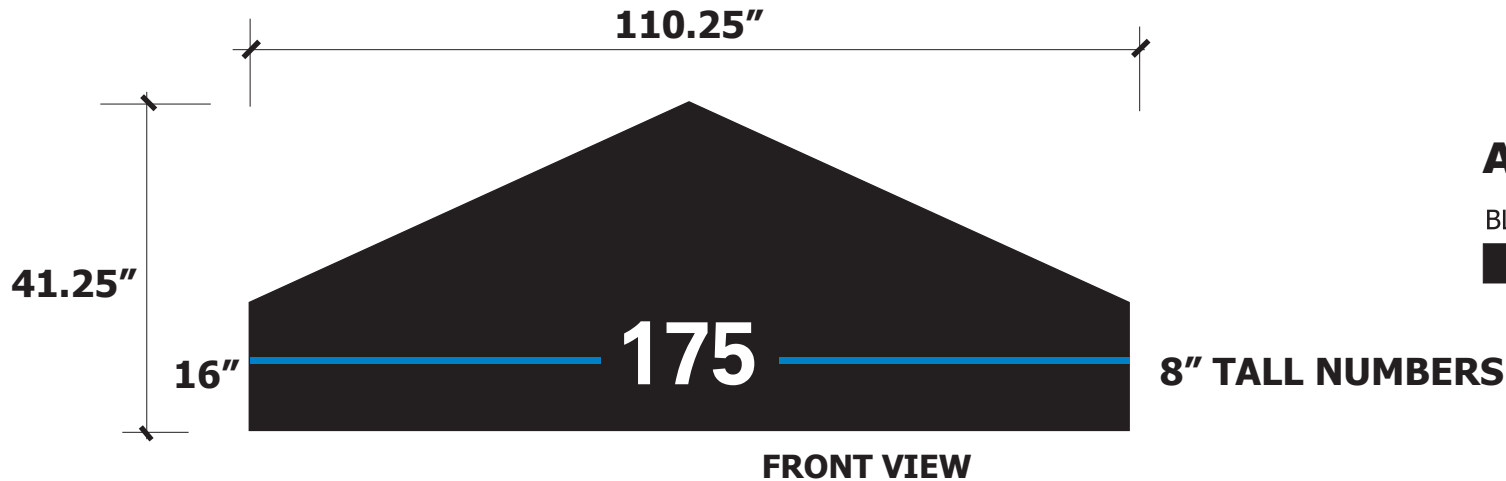
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ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
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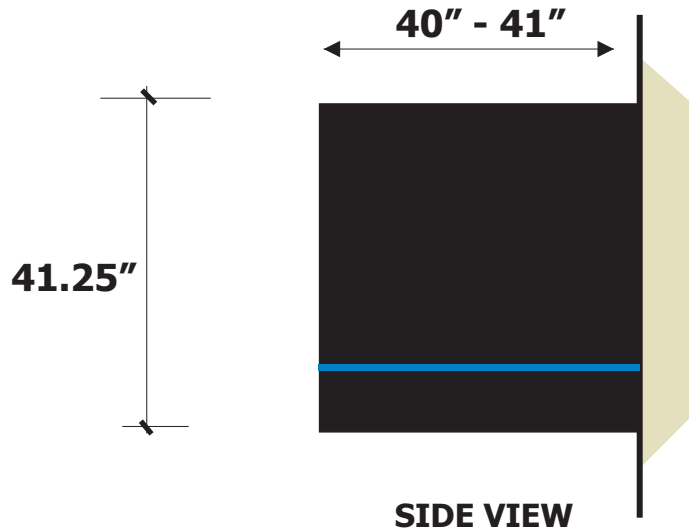
SIGN 6 - BUILDING ID AWNING CANOPIES

QUANTITY (18)



SIGN ELEVATION

1/2" = 1'-0"



AWNING COLORS

BLACK



WHITE



BLUE



MORGAN PROPERTIES
BLUE

SIGN #6 AWNING CANOPY DETAILS -

AWNINGS ARE LOCATED ON THE EAST SIDE OF THE PROPERTY;

RE-COVER EXISTING AWNING FRAMES;
COVER TO BE BLACK SUNBRELLA MATERIAL
WITH WHITE & BLUE HEAT TRANSFERRED
GRAPHICS ON THE FRONT + SIDES OF
AWNING COVERS;

AWNING CANOPIES ARE NON-LIT;
EXISTING SUPPORT STRUCTURE TO BE RE-
USED;

Client:

MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:

1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:

08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:

RBC

Dwg No:

HAH0818214017

DWG# 13 OF 14

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E-Mail: signsetc@bartush.com
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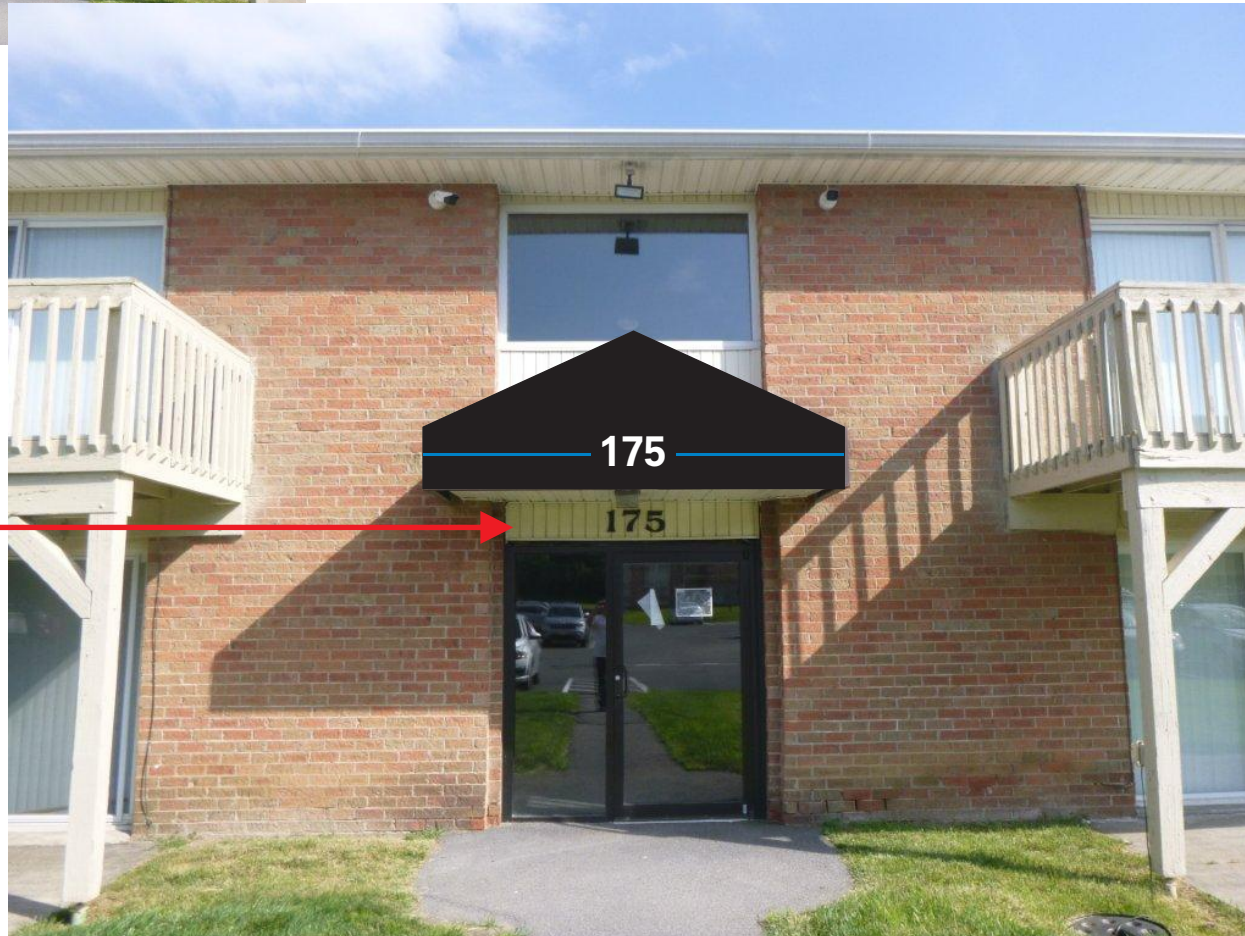
SIGN 6 - BUILDING ID AWNING CANOPIES

QUANTITY (18)



LEAVE RAISED
NUMBERS AS IS

REMOVAL WILL
EXPOSE
MOUNTING HOLES
IN METAL SIDING



Client:
MORGAN PROPERTIES
HILLCREST
APARTMENT HOMES

Location:
1515 HILLSIDE AVENUE
NISKAYUNA NY 12309

Date:
08-18-21 03-23-22
10-18-21 07-20-22

Dwg. By:
RBC

Dwg No:
HAH0818214017

DWG# 14 OF 14

**Bartush
Signs**
& Crane Service

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ORWIGSBURG, PENNSYLVANIA 17961
PHONE 570-366-2311

E-Mail: signsetc@bartush.com
Web Address: www.bartush.com



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 2

MEETING DATE: 8/29/22

ITEM TITLE: RESOLUTION: 2022-20: A Resolution for site plan approval for placing a Chase Bank ATM machine in the ShopRite Plaza parking lot at 2341 Nott St.

PROJECT LEAD: Mike Skrebutenas

APPLICANT: Kristopher Miller, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☒ OTHER: ARB

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Kristopher Miller, agent for the owner of 2341 Nott St, submitted an Application for Site Plan Review for the placement of a Chase Bank ATM in a portion of the Shop Rite parking lot.

BACKGROUND INFORMATION

2341 Nott St. is located within the C-N Neighborhood Commercial zoning district and the Town Center Overlay District.

The scope of work for the ATM project in the eastern most portion of the Shop Rite parking lot includes an ATM on a concrete pad, bollards, signature canopy, vehicle height detector bar and pole lighting. Lane striping and directional arrows will also be painted on the asphalt paving.

A 6-page drawing set entitled "Chase Bank Nott and Balltown ATM 2341 Nott Street Schenectady, NY 12309" by BHDP Lawrence Digennaro, Architect 302 W. 3rd Street, Suite 500, Cincinnati, OH 45202 dated 7-19-21 with a most recent revision of Rev 1 dated 4-1-22 was provided with the application and stamped "Received Apr 07 2022" by the Planning Department.

Setbacks

Zoning 220 Attachment 17 Schedule I-D C-N District column 2 lists the setback requirements for Food markets as: Front = 20', side = 15', rear = 25'. As proposed, the location of the ATM complies with all setback requirements.

Parking

The total required parking for Phase II of ShopRite Plaza (this parcel) has an existing deficit of 36 spaces. This proposal would bring the deficit to 44 (reduce the parking by an additional 8 spaces). However, there are cross parking easements across all the parcels in the plaza. With the cross easements in place, the total existing plaza deficit is 19 and this proposal would bring the deficit up to 27. The Town does not receive complaints of not enough parking in the plaza however, and for a plaza that size the deficit is small. It is worth noting though, that parking is being removed from the parcel that has the least amount of parking to begin with.

Plaza Existing	Parking Summary			
		Required	Provided	
	Phase I	465	482	17 Surplus
	Phase II	203	167	36 Deficit
	TOTAL	668	649	19 Deficit
Proposed				
	TOTAL	668	641	27 Deficit

Please see further discussion on initial parking PDD requirements below.

Lighting

Light Pole and Fixture

Zoning code Chapter 220 Zoning Article VIIIA. Town Center Overlay District, Neighborhood Commercial and Highway Commercial Standards: establishes design criteria for an identifiable center of the Town to further define a sense of community and promote traditional architecture. Section 220-48.5 Pedestrian and streetscape amenities C minimum performance criteria (3) Lighting (c) states the following: "Pole-mounted lighting in accordance with Planning Board guidelines shall not exceed a pole height of 22 feet from finished grade".

As proposed, page A102 of the drawing set includes a light pole with an area light measuring 23' high (3' high concrete base + 20' high light pole) located at the entrance to the ATM machine. Therefore, a waiver of 1' (23 – 22) of pole height from finished grade is required.

Minimum performance criteria subsection (3) Lighting (d) includes the following: "Light sources for all lighting shall be metal halide".

As proposed, page A104 of the drawing set includes a lighting fixture described as "Model ALED2T150N (Type II) 4000K LED 120-277V 151.4 Watts LED area light". Therefore, a waiver for an LED light rather than a metal halide light is required.

Lighting of Outdoor Areas

Zoning code Chapter 220-48.5 C (3) Lighting states lighting shall follow "Article VIIIB Guidelines for Lighting of Outdoor Areas under Site Plan Review".

- Table 1 lists Neighborhood shopping areas as "Moderate Activity" areas.
- Table 2 lists the guideline for maintained horizontal illuminance for general parking and pedestrian areas as 0.3 Footcandles and driveway access as 0.8 Footcandles.

As proposed, page A105 of the drawing set includes a photometric plan of the project area. The area immediately around the ATM is illuminated to approximately 5 fc. The illumination at a 25' radius from the project site is illuminated to approximately 2 fc. The illumination level at a radius of 50' from the project site is typically significantly less than 1 fc and equivalent to the larger parking lot area.

Signs

Section 220-4 Signs of the Niskayuna zoning code establishes standards to promote signs that are visually compatible with their surroundings and are of appropriate design and materials.

Subsection D Prohibited signs: The following signs shall be prohibited in the Town Center Overlay District: includes (5) Pylon signs.

Pages A102, A103 and A104 of the aforementioned drawing set include design details for the proposed ATM. Several portions of the ATM station infrastructure and associated graphical displays should be reviewed by the Board relative to the requirements set forth in Section 220-4 of the zoning code. The drawings include a "non-illuminated signage option" that reads "CHASE" followed by the Chase Bank logo on one of the canopy legs.

Section 220-48.4 Signs E Minimum performance criteria (5) Logo states: "In the event that a picture logo is displayed on a sign, it shall be incorporated into the permitted sign area to comprise not more than 30% of the sign area". As proposed, the drawings show a two-sided "non-illuminated octagon signage option" located above the aluminum "signature canopy" that partially shields the ATM machine from weather. The logo comprises 100% of the sign area so a waiver for a sign with a logo covering 100% of the sign area may be required.

Summary Table of Zoning Relief

	Required	Provided	Notes
Parking Spaces	668	641	<i>Reduction in 8 parking spaces still above 625 requirement</i>
Light Pole	22' pole height	23' pole height	1' waiver for height
Lighting type	Metal Halide	LED	Waiver to LED
Signage Logo	Logo 30%	Logo 100%	Waiver on Logo %
"Chase" Sign		Chase sign on ATM	Addressed as part of waiver package

4/11/22 Planning Board (PB) meeting – Chris Quinn and Tom Riley spoke on behalf of Chase Bank and explained the project to the Board. The Planning Office noted the entire Shop Rite plaza is currently 19 parking spaces below code and the proposed ATM will consume 8 existing parking spaces leaving the shopping center 27 spaces below code. A discussion ensued regarding the impact the ATM is anticipated to have on the shopping center. The applicants stated that their data estimates 1,800 visits to the ATM per month (approx. 60 visits / day). They also indicated that ATMs rarely have more than 1 vehicle at the ATM and one additional vehicle waiting to use it. The Board agreed on the following action items for the Chase Bank site plan.

- Explore muting the colors used for the design of the ATM and associated apparatus to comply with Section 220-48.7 of the Niskayuna zoning code.

- Refresh all parking space striping.
- Repair existing parking lot potholes.
- Replant landscaping as advised by the Niskayuna Tree Council.

PDD PARKING

Planning Staff has researched the initial approval of the PDD by the Town Board and recognizes that the Town Board approved full build out of the PDD with a parking requirement of 625 spaces. The PDD was given a 20% reduction in the total required spaces of 781 by the Town Board due to shared parking across parcels. The Planning Board may have allowed a further reduction to 602 in 1996 – but the clearest direction staff can find is to ensure 625 parking spaces in the plaza.

Given these facts, the Planning Board has the authority to work with the developer on parking spot configuration, provided they do not dip below the 625 originally approved, so this project would not need a referral to the Zoning Board of Appeals. However, it should be noted the second floor of Phase 2 of the plaza is largely vacant, so requiring staff to park in the rear of the building and keep front spots open to customers would be critical to any reduction in parking – as well as ensuring the remainder of the PDD requirements are met – including landscaping, pedestrian crosswalks and vehicular flow.

4/25/22 Planning Board (PB) meeting – The project was on the posted agenda for the 4/25/22 PB meeting but late in the day on Friday 4/22/22 the applicant asked to be pushed out to the 5/9/22 meeting. This was to allow them additional time to complete the action items that were identified at the 4/11/22 meeting most notably concepts for a more muted color scheme more in line with the requirements of section 220-48.7 for the Town Center Overlay District (TCOD). The PB discussed the project very briefly at the 4/25/22. The discussion was limited to the new parking space information the Planning Office noted in the Agenda Statement, above.

5/4/22 Architectural Review Board (ARB) meeting – The ARB reviewed the drawings of the proposed ATM machine and associated apparatus. They agreed that the bright blue color should be restricted to the Chase Bank logo and that more muted colors should be used on the protective bollards and ATM housing panels. The Planning Office (PO) noted that the applicant is on the agenda for the 5/9/22 PB meeting and a new color scheme is expected to be introduced at that time. The ARB agreed to review the proposal again after 5/9/22.

The applicant is on the agenda this evening to provide an update on the action items that were identified at the 4/11/22 PB meeting.

5/9/22 Planning Board (PB) meeting – Tom Riley and Chris Quinn spoke on behalf of Chase Bank. Tom presented a revised plan for the ATM design that had not been sent to the Planning Office prior to the meeting. The bright “CHASE” blue had been changed to a nickel gray color on several parts of the ATM station and apparatus. The PB liked the redesign and determined it complied with the zoning code. Tom stated that he spoke with the landlord regarding concerns that were brought up by the Planning Office (PO) during the 4/25/22 meeting. These concerns include the following.

1. Restriping the parking spaces.
2. Defining and striping the crosswalks
3. Repair potholes in the parking lot
4. Meet with the Tree Council to develop a new landscape plan to replace trees that have died off.
5. Clear the overgrown growth away from the monument sign for the plaza.

The Board and the applicants discussed lighting at and around the proposed ATM. The PB asked for renderings showing what the ATM will look like from multiple vantage points – from the residences across the street, etc. Photometric plots were displayed and discussed. Tom noted that the CHASE safety standard for illumination at an ATM machine is 2 foot candles. Finally, the PB noted that the project should be reviewed by the Niskayuna Police and Fire Departments.

8/8/22 Planning Board (PB) meeting – Due to the fact that this project had not been on a PB meeting agenda since 5/9/22, Mr. Riley provided the Board with a comprehensive update. He provided renderings of how the ATM will appear when viewed from the residential properties across Nott St. He provided photometric plots that showed that none of the proposed lighting around the ATM will bleed to the property lines. He discussed the work that he had done with the Niskayuna Tree Council. He concluded his summary by stating that the property owner had committed to the following site improvements.

1. Replace 21 dead trees
2. Stripe a crosswalk in 4 different locations
3. Restripe the parking lot parking spaces
4. Repair the pot holes in the parking lot and access roads

After a brief discussion the PB called for a tentative resolution for the 8/29/22 PB meeting. A resolution for site plan approval is included in the meeting packet.

RESOLUTION NO. 2022 – 20

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF AUGUST 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to take action on a final site plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Chris Quinn of TKO Installations, agent for the property owner, has made an application to the Planning Board for a concrete pad, bollards, signature canopy, vehicle height detector bar, pole lighting, lane striping and directional arrows for a drive up ATM located at 2341 Nott St. E., and

WHEREAS, a 6-page drawing set entitled "Chase Bank Nott and Balltown ATM 2341 Nott Street Schenectady, NY 12309" by BHDP Lawrence Digennaro, Architect 302 W. 3rd Street, Suite 500, Cincinnati, OH 45202 dated 7-19-21 with a most recent revision of Rev 1 dated 4-1-22 was provided with the application and stamped "Received Apr 07 2022" by the Planning Department, and

WHEREAS, a 10-page drawing set entitled "Chase, Nott and Balltown ATM #38100P375091 2341 Nott St. Schenectady, NY 12309 by Pattison Sign Group dated 7/18/22 with no subsequent revisions was provided, and

WHEREAS, the zoning classification of the property is a Planned Unit Development (PDD) within the C-N Neighborhood Commercial zoning district, and

WHEREAS, the Conservation Advisory Council (CAC) reviewed the project at their 6/6/22 meeting and recommended that the Planning Board require a pesticide free vegetative buffer for the apartments across Nott Street to make sure that lighting at the ATM is not a disturbance, and

WHEREAS, the Architectural Review Board (ARB) reviewed the project at their 4/4/22 and 5/18/22 meetings and approved design and color schemes, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS, the Planning Office and Planning Board conducted a thorough review parking relative to the Shop Rite Plaza and noted that the Town Board had previously approved a 20% reduction in the total number of required spaces in the Planned Development District (PDD) resulting in a minimum number of required spaces of 625. The ATM will eliminate 8 existing parking spaces however the overall parking lot will still contain 641 spaces, and

WHEREAS, Zoning Code Section 220-48.5 (c) 3 (d) states: "light sources for all lighting shall be metal halide". As proposed, the light pole near the ATM includes an LED light. Therefore a waiver for an LED light source is required, and

WHEREAS, Zoning Code Section 220-48.4 Signs Minimum performance criteria (5) Logo states: "In the event that a picture logo is displayed on a sign, it shall be incorporate into the permitted sign area to comprise not more than 30% of the sign area". As proposed, the drawings show a two-sided "non-illuminated octagon signage option" located above the aluminum "signature canopy" with a logo comprising 100% of the sign area. Therefore, a waiver for a sign with a logo covering 100% of the sign area is required, and

WHEREAS, this Board has carefully reviewed the proposal and by this resolution does set forth its decision heron,

NOW, THEREFORE, be it hereby

RESOLVED, that the Planning Board and Zoning Commission has determined that the proposed waivers would have a minimum negative effect on aesthetics and does hereby grant said waivers as outlined above, and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission finds the above referenced site plan meets the requirements of the Zoning Code and previous site plan approvals, and therefore, hereby approves this site plan with the following conditions:

1. Prior to completion of the building permit, replace 21 dead trees on the parcel as identified by the Niskayuna Tree Council and Planning Office..

2. Prior to completion of the building permit, stripe a crosswalk in the 4 locations as identified by the Planning Office.
3. Prior to completion of the building permit, restripe the parking lot parking spaces in the parcel.
4. Prior to completion of the building permit, repair the pot holes in the parking lot and access road

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.



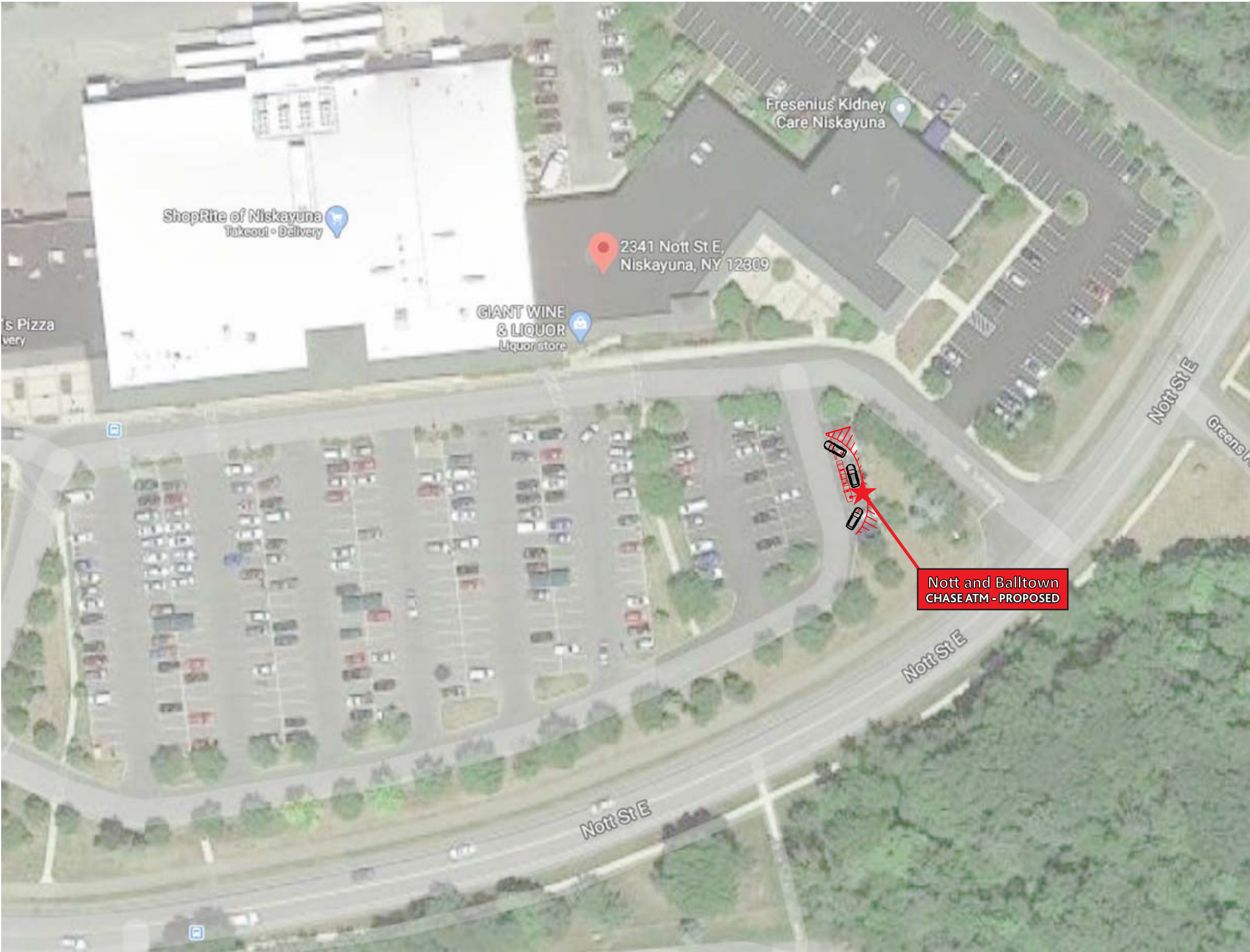
Nott and Balltown - ATM
38100P375091


2341 Nott St - Schenectady, NY 12309

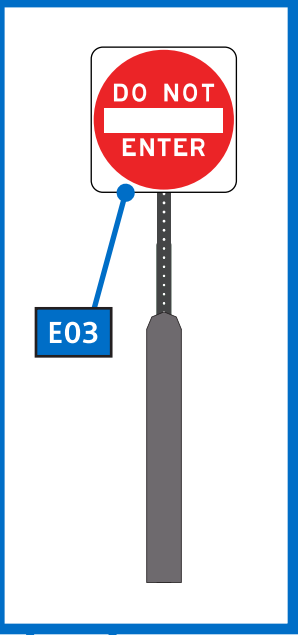
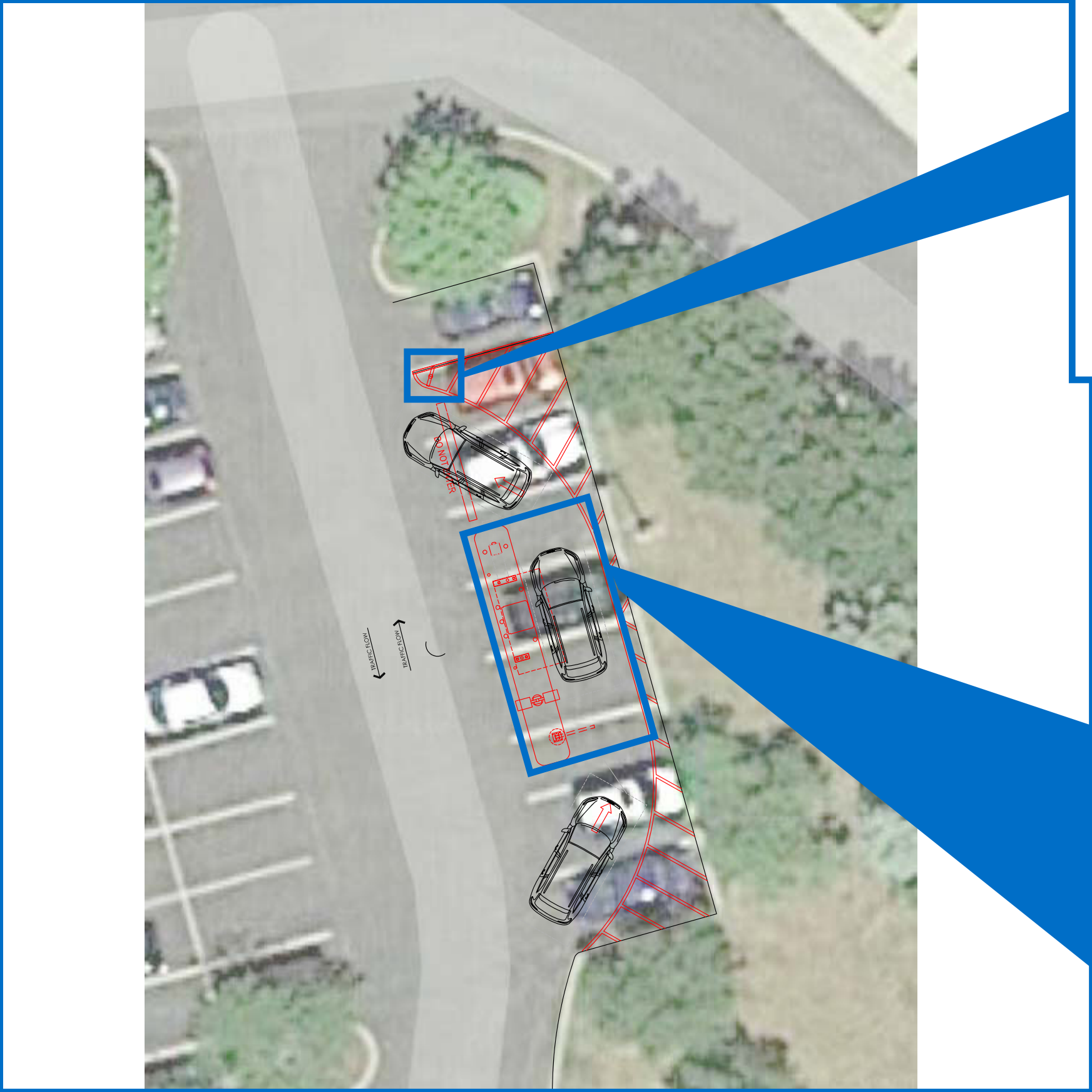


REVISION NOTES

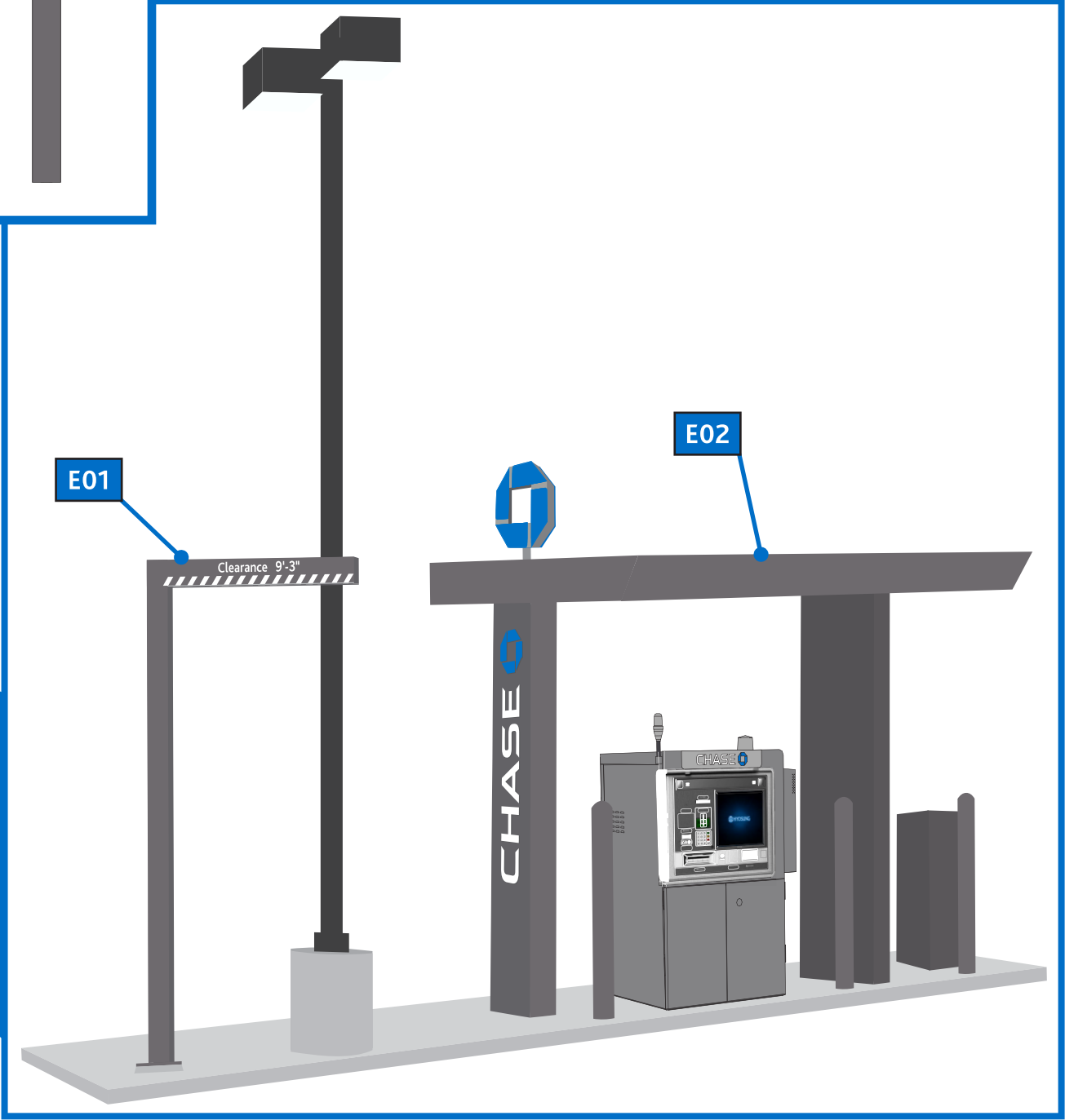
REVISION #:
DATE:
DESCRIPTION:



<div>CHASE</div>	LOCATION	Nott and Balltown - ATM	LOCATION ID#	# 38100P375091	INITIAL DATE	07-18-2022	ALL DESIGNS DEPICTED HEREIN ARE THE SOLE PROPERTY OF CHASE, CREATED SPECIFICALLY FOR BRANDING APPLICATION. USE OF THIS INFORMATION FOR ANY PURPOSE OTHER THAN THE INTENDED USE IS STRICTLY PROHIBITED WITHOUT WRITTEN CONSENT OF THE OWNER.	<div> Pattison Sign Group Powering Your Brand</div>
	ADDRESS	2341 Nott St Schenectady, NY 12309	DRAWN BY		REVISION DATE			
			DRAWING#		REVISION#	PAGE#		
						2		



	SIGN TYPE	DESCRIPTION
E01	HB-U	Headache Bar
E02	CAN-ATM-SIG-OCT	ATM Signature Canopy w/ Octagon
E03	DOT	Double-Faced Do Not Enter/Stop - Pole-Mounted



LOCATION **Nott and Balltown - ATM**
ADDRESS 2341 Nott St
Schenectady, NY 12309

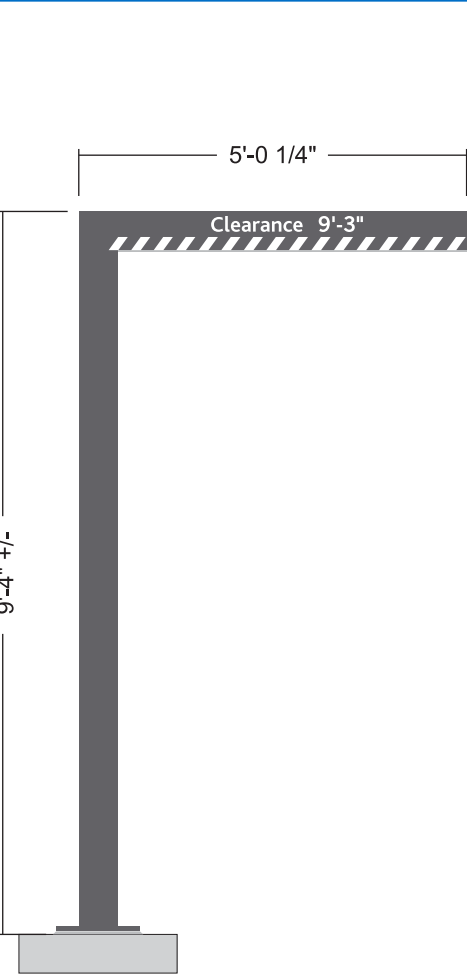
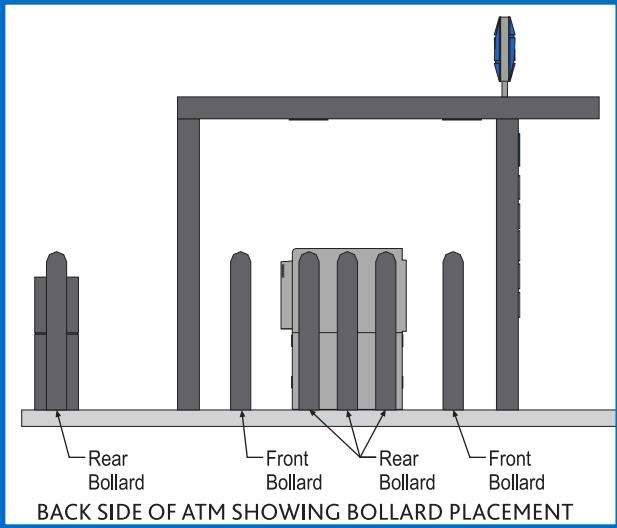
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DRAWN BY
DRAWING#

INITIAL DATE **07-18-2022**
REVISION DATE
REVISION#

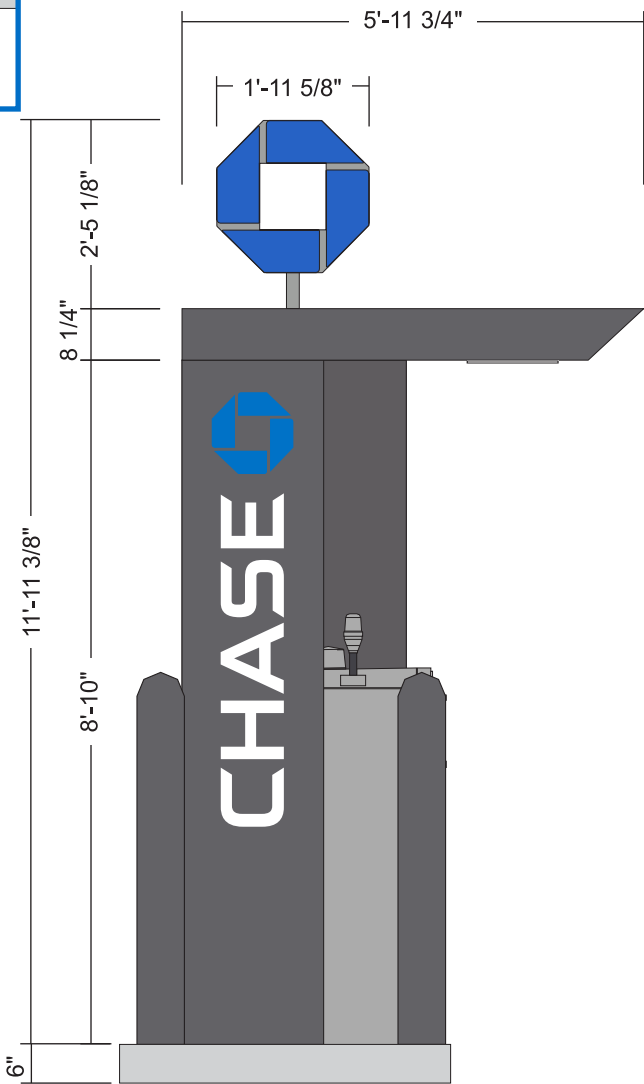
PAGE# 3

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USE OF THIS INFORMATION FOR ANY
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CONSENT OF THE OWNER.

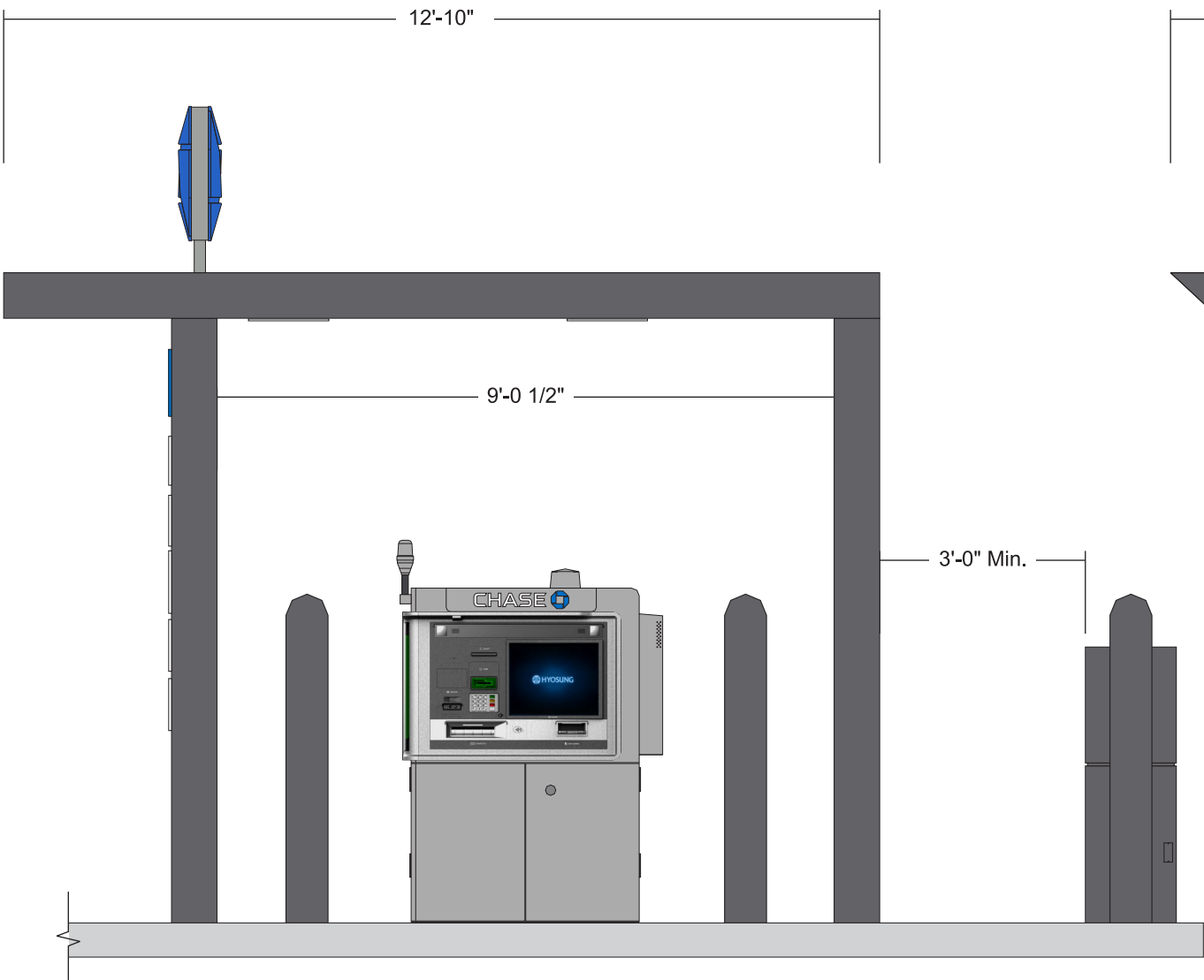




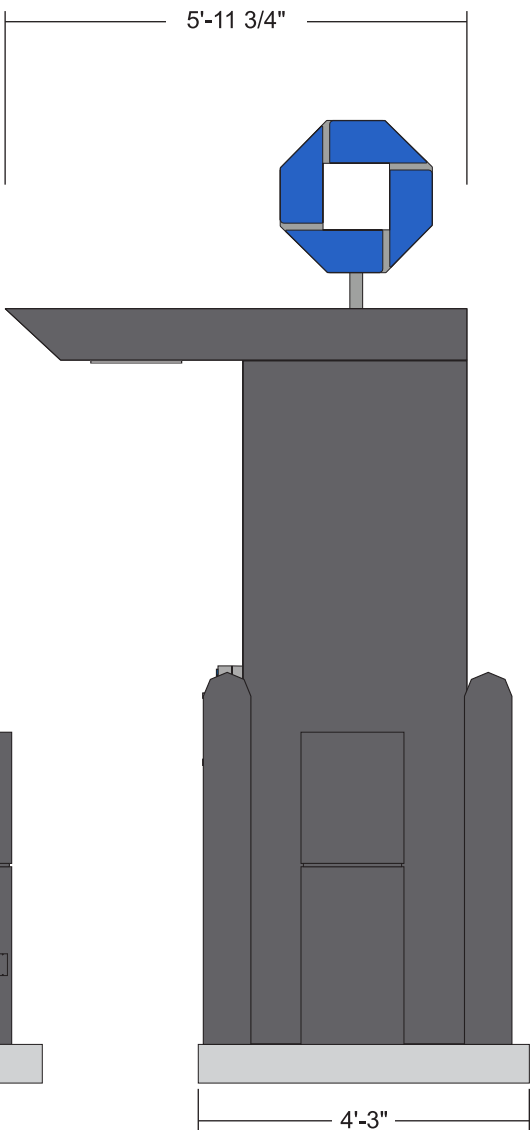
ELEVATION



APPROACH
ELEVATION



ELEVATION



DEPARTURE
ELEVATION

** Utility Pedestal
to be installed by GC*

E01 HB-U Headache Bar

E02 CAN-ATM-SIG-OCT ATM Signature Canopy w/ Octagon



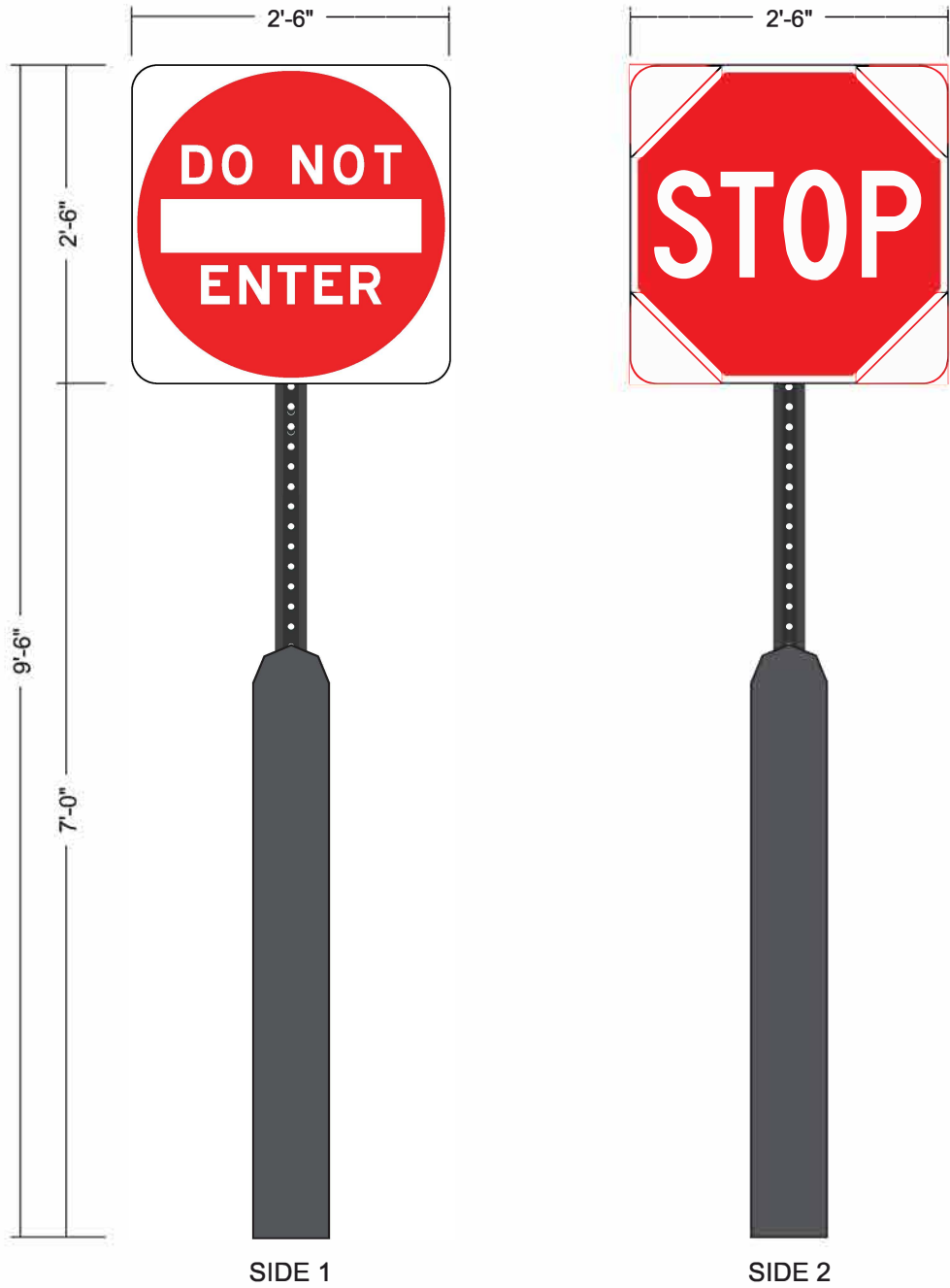
LOCATION **Nott and Balltown - ATM**
ADDRESS 2341 Nott St
Schenectady, NY 12309

LOCATION ID# **# 38100P375091**
DRAWN BY
DRAWING#

INITIAL DATE **07-18-2022**
REVISION DATE
REVISION# PAGE# 4

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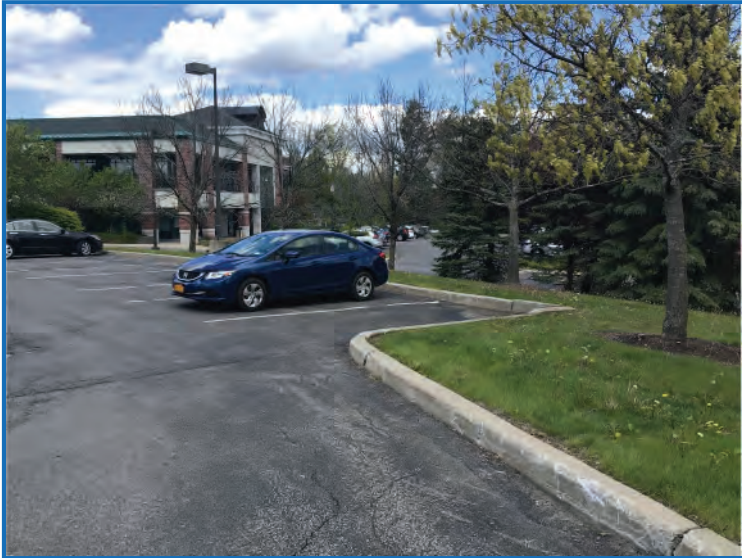


ELEVATION

* Bollard base required

E03	DOT	Double-Faced Do Not Enter/Stop - Pole-Mounted
-----	-----	---

SURVEY PHOTOS



LOCATION **Nott and Balltown - ATM**
ADDRESS 2341 Nott St
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LOCATION ID# **# 38100P375091**
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SURVEY PHOTOS



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REVISION#

PAGE# 7

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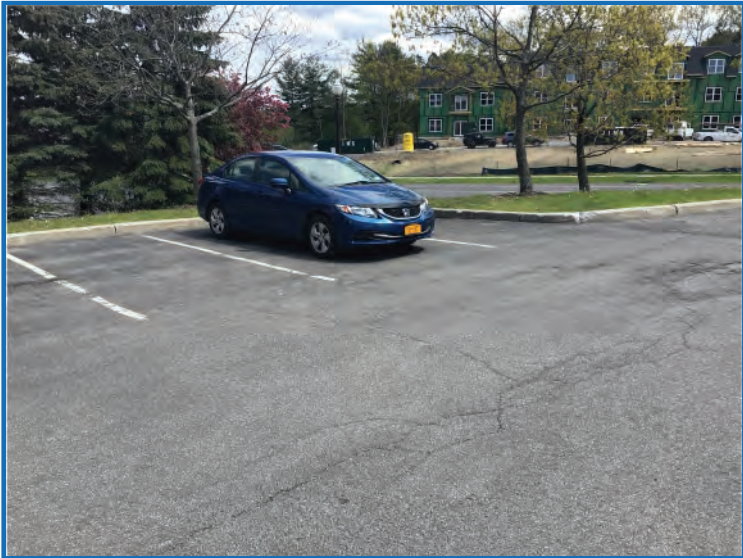
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DRAWN BY
DRAWING#

INITIAL DATE **07-18-2022**
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SURVEY PHOTOS



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ADDRESS 2341 Nott St
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LOCATION ID# **# 38100P375091**
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INITIAL DATE **07-18-2022**
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REVISION#

PAGE# 9

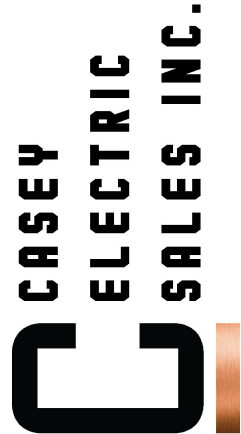
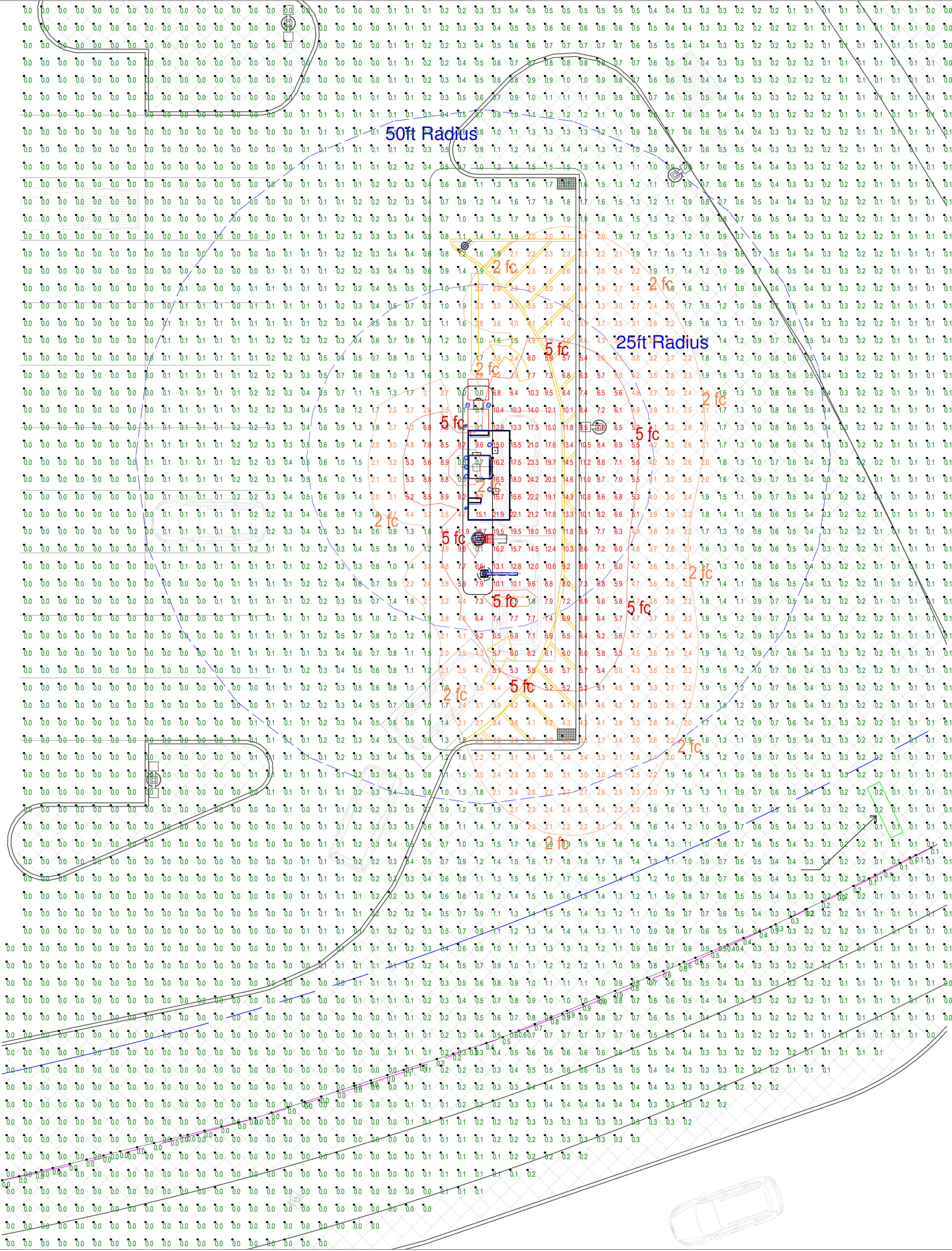
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SURVEY PHOTOS



Not to Scale



Prepared For:
TKO Installations

Prepared By:
Casey Electric Sales

Job Name:
Chase ATM - Not and Balltown

Lighting Layout
Version B - Area + Canopy Lights
mt. height at 22' pole

Scale: as noted

Date: 7/18/2022

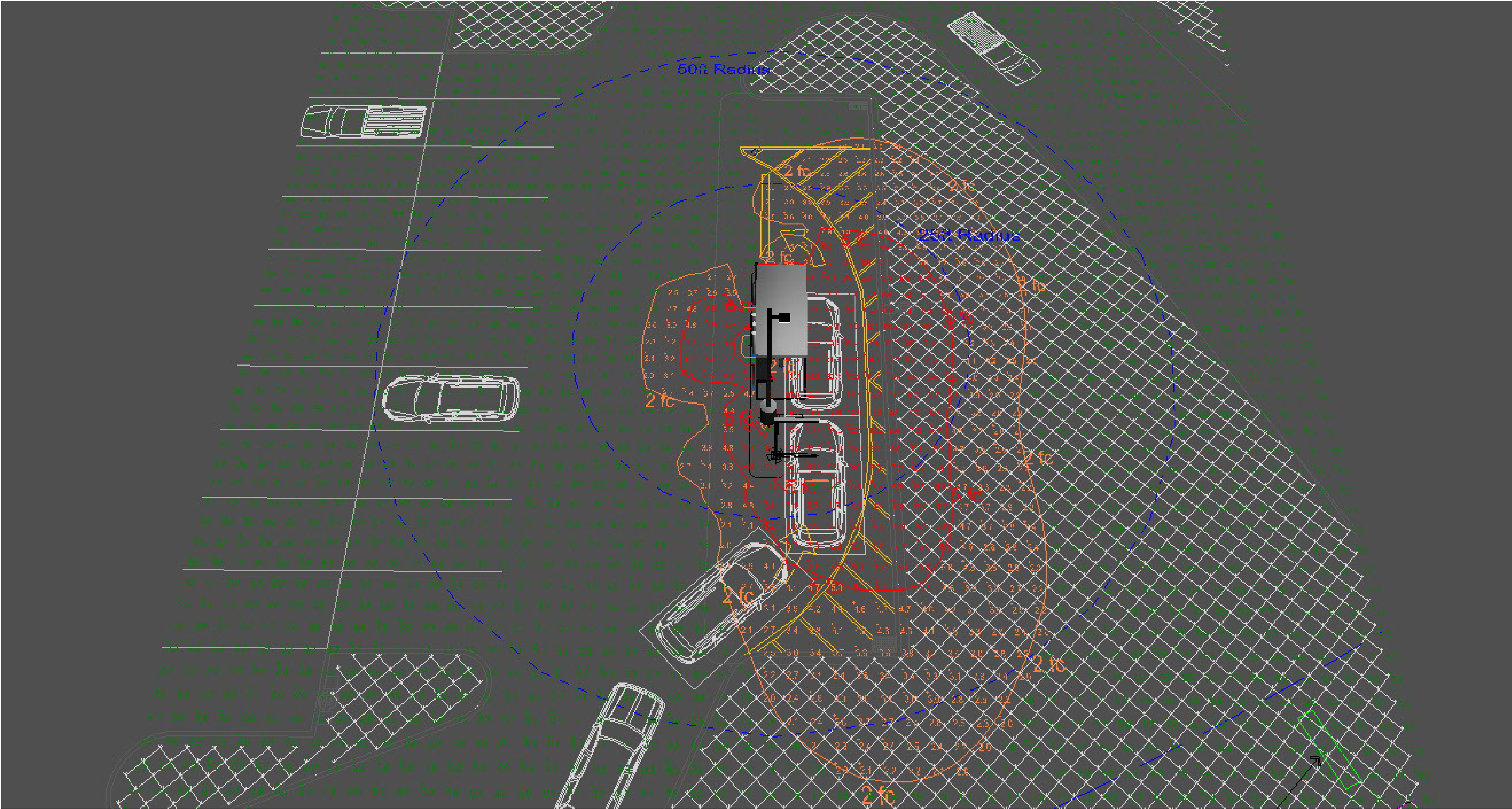
PROJECT #

CASE #

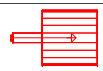

Filename: Chase ATM Not and Balltown Calcs 2021-07-30-Copy-40097.AGI

Drawn By: Jason Jeunette

Filename: C:\Users\CForas\Dropbox\FAB\Archive\AGI32 Lighting Designs\Distributors - L\GRAYBAR\Chase ATMs\Chase ATM - Not and Balltown\Calculations\Chase ATM Not and Balltown Calcs 2021-07-30-Copy-40097.AGI



Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
CalcPts_1	Illuminance	Fc	0.86	24.2	0.0	N.A.	N.A.		2.5	2.5	Horizontal
Property Line	Illuminance	Fc	0.25	0.9	0.0	N.A.	N.A.		2.5	N.A.	Horizontal

Luminaire Schedule														
Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename	BUG Rating	
	1		ALED2T150NPCT	SINGLE	17213	17213	1.000	ALED2T150N (TYPE II)	151.4	151.4	151.4	ALED2T150N.ies	B2-U0-G3	
	2		e-csa04_series_40k	SINGLE	4891	4891	1.000	E-CSA04A-W40Z	43.11	43.11	86.22	e-csa04_series_40k.ies	B2-U2-G2	

1PS4-11-20D2

1BCK-S4

Expanded Luminaire Location Summary						
LumNo	Tag	X	Y	MTG HT	Orient	Tilt
3		221.725	137.876	22	0	0
4		222.558	150.547	9.478	0	0
5		222.676	144.702	9.478	0	0
Total Quantity: 3						

NOTES:

* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

PROJECT #

Scale: as noted

CASE #

Date:7/18/2022

Job Name:
Chase ATM - Nott and Balltown

Lighting Layout
Version B - Area + Canopy Lights
mt. height at 22' pole

Prepared For:
TKO Installations

Prepared By:
Casey Electric Sales

Filename: C:\Users\CFaras\Dropbox\RAB\Archive\AG32 Lighting Designs\Distributors - L\GRAYBAR\Chase ATMs\Chase ATM - Nott and Balltown\Calculations\Chase ATM Nott and Balltown Calcs 2021-07-30-Copy-40097.AGI

CASEY
ELECTRIC
SALES INC.

2021-07-30-Copy-40097.AGI

Laura Robertson

From: Laura Robertson
Sent: Friday, May 20, 2022 10:17 AM
To: 'Tom Riley'; Clark A. Henry; Michael Skrebutenas; Kevin Walsh (cormarkev@aol.com)
Cc: Anthony Ponting; Chris Quinn; Kristopher Miller; Mark.Daneau@JPMChase.com; brian@donovanres.com; Patti Healy
Subject: RE: {EXTERNAL} RE: Chase Bank ATM Landscaping
Attachments: townofniskayuna@niskayuna.org_20220520_083731.pdf; Volcano Mulching Flyer Commercial.pdf; 20220518_173924.jpg

Hi Tom,

Thank you for the call this morning. I have attached a map from the Tree Council's walkthrough of the property with the following comments /mark-ups:

1. The majority of trees that died were Ash and should not be replanted as Ash. The following trees are on our approved planting list – you can also propose types of trees to the Tree Council for approval based upon availability and they should be in the range of 1.5' – 2' or 2' -2.5' inch caliper: Ginkgos, seedless horsechestnut, katsura, Kentucky Coffeetree, sweetgum, Black Tupelo, London Planetree, lindens, zelkovas, eastern redbud, serviceberry, hawthorns. Ideally you would choose two or three types of trees to prevent them all dying at once from an invasive species.
2. Many of the existing trees show signs of distress / decline. In order to preserve them – the Tree Council recommends uncovering the root flare of the trees and possibly amending the soil in the area to prevent them from dying. They were concerned that the trees were volcano mulched / had volcano dirt around their bases which will rot the base of the tree and eventually cause death (see attached letter)
3. The perennial flowerbed landscaping was weedy/unmaintained with a lot of plants missing (see attached picture).
4. The crab apple tree in front of the ShopRite plaza sign / landscaping should be pruned so that the sign can be easily read (may have already been addressed).

I have highlighted the crosswalks on the Tree Council map. The most important crosswalks to stripe are between the sections of bike-path at the entrances to ShopRite Plaza / Phase 2 St. James. The one at the top of the parking lot is currently painted. The one close to the proposed Chase Bank ATM location does not exist although it is on a bend of the road and there is no landing on the sidewalk across the street from it. TKO should examine whether a sidewalk here would benefit pedestrian use of the ATM. There is also one missing at the end of the sidewalk between the internal road and Nott St but there is also a section of sidewalk missing here down to Nott Street East so the whole area should be examined for pedestrian access.

Laura

Laura Robertson, AICP

Town Planner
(518) 386 -4530

Town of Niskayuna
1 Niskayuna Circle
Niskayuna, NY 12309

lrobertson@niskayuna.org

From: Tom Riley [mailto:Tom.Riley@tkosafe.com]
Sent: Friday, May 20, 2022 9:53 AM
To: Laura Robertson; Clark A. Henry; Michael Skrebutenas; Kevin Walsh (cormarkev@aol.com)
Cc: Anthony Ponting; Chris Quinn; Kristopher Miller; Mark.Daneau@JPMChase.com; brian@donovanres.com; Patti Healy; Tom Riley
Subject: RE: {EXTERNAL} RE: Chase Bank ATM Landscaping

Thanks to everyone that participated in our call today. Notes are as follows:

- Laura met with the Tree Council and they marked-up a copy of the most recent Landscaping Plan for St James SQ Phase 2. There are ~21 trees that need to be replaced. Laura will provide this document to the group as well as some suggestions for the type/caliper/etc. for the replacements. Laura also offered to mark-up the plan to show the crosswalks that need new striping, so they can be included in the larger parking field restriping work scope.
- Photos of perineal flowerbeds and overgrowth surrounding the shopping center sign-age were reviewed by the group. These are in need maintenance attention. Patti mentioned that the overgrowth around the sign-age has already been addressed.
- We also made note of the work that's been initiated by the LL to remediate pot-holes in the paving. Once the scope has been identified, it will be circulated with the Town for approval and added to the site plan.

Feel free to reply with any questions, comments or concerns.

Tom Riley



Senior Manager
TKO Installations, Inc.
(937) 631-2474 Voice/Txt

From: Laura Robertson <LRobertson@niskayuna.org>
Sent: Tuesday, May 17, 2022 3:28 PM
To: Tom Riley <Tom.Riley@tkosafe.com>; Clark A. Henry <CHenry2@niskayuna.org>; Michael Skrebutenas <mskrebutenas@nycap.rr.com>; Kevin Walsh (cormarkev@aol.com) <cormarkev@aol.com>
Cc: Anthony Ponting <aponting@bhdp.com>; Chris Quinn <Chris.Quinn@tkosafe.com>; Kristopher Miller <kmiller@bhdp.com>; Mark.Daneau@JPMChase.com; brian@donovanres.com; Patti Healy <patti.healy@cobraproperties.com>
Subject: RE: {EXTERNAL} RE: Chase Bank ATM Landscaping

Hi Tom,

I misunderstood. Please set up a teams meeting for 8:30am, thanks!

Laura

From: Tom Riley [<mailto:Tom.Riley@tkosafe.com>]
Sent: Tuesday, May 17, 2022 3:15 PM
To: Laura Robertson; Clark A. Henry; Michael Skrebutenas; Kevin Walsh (cormarkev@aol.com)
Cc: Anthony Ponting; Chris Quinn; Kristopher Miller; Mark.Daneau@JPMChase.com; brian@donovanres.com; Patti Healy
Subject: RE: {EXTERNAL} RE: Chase Bank ATM Landscaping

Hi Laura,



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VII. 3

MEETING DATE: 8/29/2022

ITEM TITLE: RESOLUTION: 2022-21: A Resolution for site plan approval to locate Capital Kids Care after school and summer camp within an existing place of worship at the Immanuel Evangelical Lutheran church at 1850 Union Street.

PROJECT LEAD: TBD

APPLICANT: Katie Brownell, of Capital Kids Care

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☒ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☒ Other: special use permit

SUMMARY STATEMENT:

Katie Brownell of Capital Kids Care submitted an Application for Site Plan Review and an Application for Special Use Permit to the Planning Office to locate a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street. The applications propose to locate the care program in the approximately 2,157 sq. ft. basement activity space of the church. The church is located within the R-1 Low Density Residential zoning district. Per Section 220-10 of the Niskayuna Zoning Code, child day-care centers operated within a school, hospital or place of worship are special principal uses within the R-1 district and are therefore acceptable uses upon the issuance of a special use permit by the Niskayuna Town Board.

BACKGROUND INFORMATION

The following documents and drawings were provided with the applications and were stamped "RECEIVED Jun 08 2022 Planning Office Niskayuna, NY" by the Planning Office staff.

- A 1-page fact sheet about the after school program entitled "After School Schedule & Details" authored by Capital Kids Care
- A 1-page floor plan drawing entitled "Basement Floor Fire Evacuation Plan"
- A 1-page hand drawn floorplan marked page 14 of 14 that appears to be part of an application that includes "Capital Kids Care" as the "Program Name" and "890141" as the Facility ID Number".
- A 1-page weekly schedule of events for the proposed child care program entitled "Theme: Best of the Best Week: 4 Date: July 19-23".

- A 1-page aerial view pictorial image of 1850 Union St. entitled “Proposed traffic routing for drop off and pick up: Capital Kids Care 1850 Union St.”

Ms. Brownell also provided the following information about the proposed child care program via an e-mail to the Planning Office dated 6/8/22.

- Age range of children in care program
 - School age 5 – 12
- Days and Hours of Operation
 - Sept. – Jun.: M – F: 7 am – 8 am and 2 pm to 6 pm
 - Jun. – Aug.: M -- F: 7:30am – 5:30pm
- Approximate number of students on site
 - Morning care = 5
 - Afterschool care = 45
 - Summer camp (2023) = 50 – 70
- Approximate number of staff on site
 - School year adult / child ratio = 1/10 + site director
 - Summer camp adult / child ratio = 1/12 + site director
- Afterschool programs
 - All afterschool programs are licensed and inspected by the Office of Children and Families.
 - All staff are subject to background checks before hiring

6/13/22 Planning Board (PB) meeting – Ms. Brownell presented her proposal to the PB and fielded a few questions . The Planning Office noted that the Immanuel Evangelical Lutheran church had housed a child care center in the recent past. It was noted that the project requires a PB public hearing and a Town Board public hearing. The PB called for a public hearing to be held at their regularly scheduled 7/11/22 PB meeting. In anticipation of support from the neighboring community, the PB called for a tentative resolution to be prepared for the 7/11/22 meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – The CAC reviewed the proposal for the after school and summer camp and voted unanimously to make a negative SEQR declaration.

7/11/22 Planning Board (PB) meeting – the PB approved PB Resolution 2022-14 making a recommendation that the Town Board (TB) grant a special use permit for the proposed after school and summer camp.

7/26/22 Town Board (TB) meeting – the TB approved the special use permit to locate the after school and summer camp within the Immanuel Evangelical Lutheran church at their 7/26/22 meeting with Resolution 2022-207.

A resolution for site plan approval of the proposed school and summer camp is included in the 8/29/22 PB meeting packet.

RESOLUTION NO. 2022-21

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 29TH DAY OF AUGUST 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

One of the purposes of the meeting was to make a recommendation to the Town Board on a Special Use Permit.

The meeting was duly called to order by the Chairman.

The following resolution was offered by _____,
whom moved its adoption, and seconded by _____.

WHEREAS, Katie Brownell, of Capital Kids Care acting on behalf of the owner of the property, submitted an Application for Site Plan Review and an Application For Special Use Permit to the Planning Office dated 6/6/22 to locate a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street as described in a 5-page documentation package stamped "Received Jun 08 2022 Planning Office Niskayuna, NY" by Planning Office staff containing the following:

- Floorplan
- Proposed traffic routing for drop off and pick up
- Basement floor fire evacuation plan
- After school schedule & details
- Sample weekly agenda "Theme: Best of the Best Week 4: Date July 19-23"

, and

WHEREAS, the zoning classification of the property is R-1 Low Density Residential zoning district, and

WHEREAS, Section 220-10 District Regulations includes (B) R-1 Low Density Residential District, (3) Special principal uses, (m) Child day-care center operated within a school, hospital or place of worship with approval of a special use permit by the Town Board, and

WHEREAS, the Planning Board conducted a public hearing on July 11, 2022 to consider the application for site plan approval and special use permit, and

WHEREAS, the application was referred to the Schenectady County Planning Department who approved of the proposal, and

WHEREAS, the Town Board held a public hearing on July 26, 2022 at which time all parties in interest and citizens were given an opportunity to be heard, and

WHEREAS, the application was referred to the Niskayuna Conservation Advisory Council and on July 6, 2022 they made a recommendation for a negative declaration regarding the project's environmental impacts, and

WHEREAS, on 7/26/2022 the Town Board determined that this project will not have a significant effect on the environment and directed the Town Planner to file a negative declaration, and

WHEREAS, on 7/26/2022 via Resolution 2022-207, the Town Board granted to Katlyn Brownell a special use permit to operate a daycare within a place of worship at 1850 Union St, in the Town of Niskayuna, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

FURTHER RESOLVED, that this Planning Board and Zoning Commission hereby grants site plan approval for a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street, as shown in a 5-page documentation package stamped "Received Jun 08 2022 Planning Office Niskayuna, NY.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

The Chairman declared the same _____.

AFTER SCHOOL SCHEDULE & DETAILS



There are set hand washing times, but most scheduled activities end with clean up and handwashing

1:45/2:00pm:

Bus drop off begins

As kids arrive: Daily Health check, sign in, wash hands, put personal items away.

Activities: active organized game (adult led), indoor quiet play (stations set at tables), reading and media, homework, snack

2:00pm:

Homework room opens, everything above continued as well as outdoor play

3:00pm:

(handwashing)

Community Meeting: daily schedule, reminders, upcoming events, entertainment (changes daily: jokes, would you rather, mad libs, minute to win it games, silly challenges, etc), kids share, Q&A

3:30pm:

Clubs: (these are different daily and are set by the kids. Examples include, karaoke club, book club, bae blades club, puzzle club, Pokémon and other trading cards, fitness club, soccer club, photo club, etc.)

Homework Club

Outside Organized Game

Outside Free Play

Inside quiet free play

Art activity

4:30pm:

clubs end and clean up (handwashing)

free play inside and outside

5:15pm:

Consolidate group inside or outside depending on weather. Free play and adult lead quiet game (20 questions, quiz bowl, guess who, 7 up, etc)

6:00pm:

Program closes

Parent pickup happens throughout.

Kids wash hands and gather belongings while the parent receives a report for the day.

AFTER SCHOOL FACTS:

All After School Programs are licensed and inspected by the Office of Children and Families.

All staff are subject to background checks before hiring.

Any kids within the district can be sent to Before and After School programming

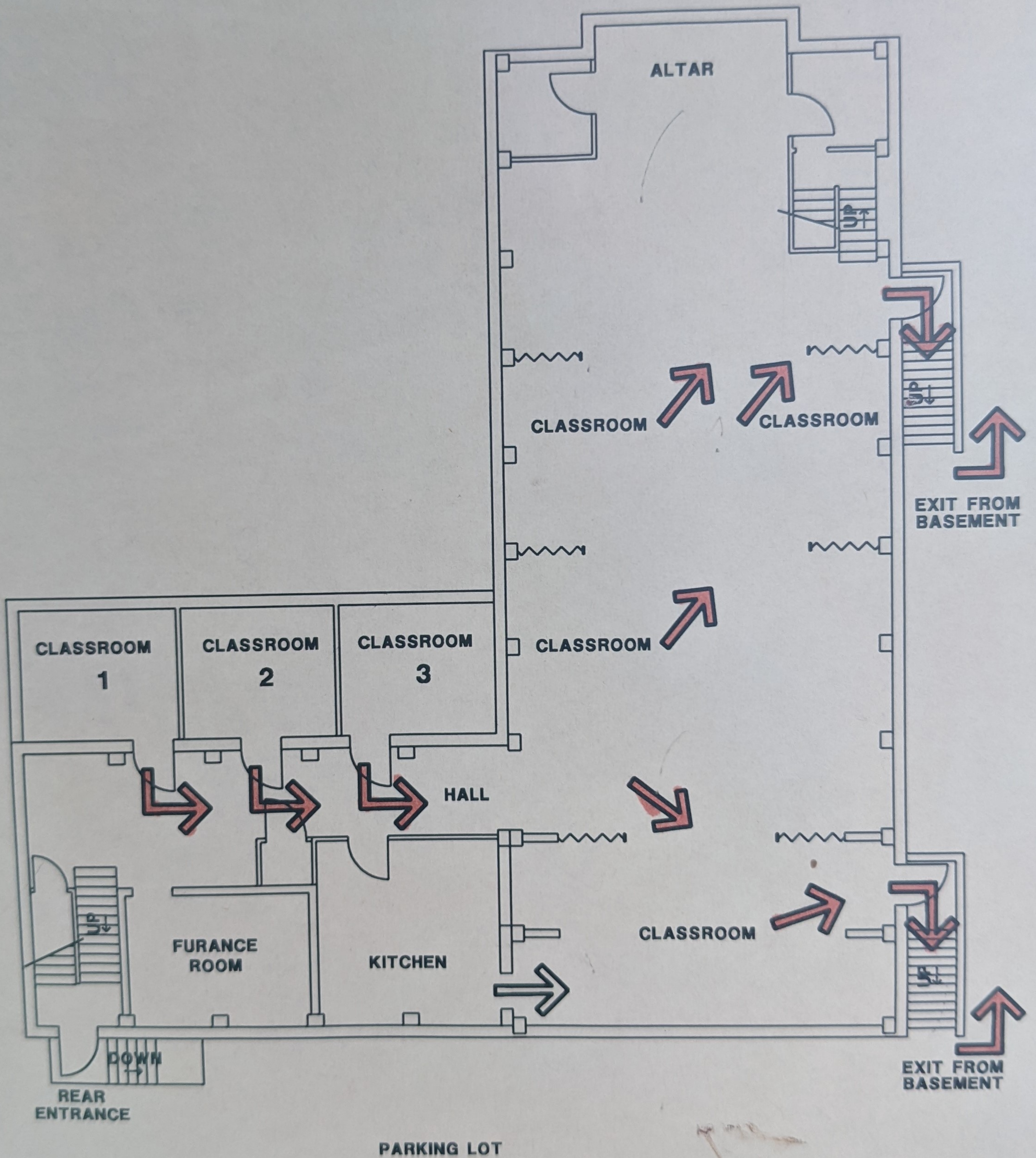
School Year Breaks & Holiday Care available!

Before School Available

Programs can be enrolled in on our website

CapitalKidsCare.com

Contact Us: CapitalKidsCare@gmail.com



BASEMENT FLOOR FIRE EVACUATION PLAN

FLOOR PLAN

LDSS-4438 (Rev. 062020)

INSTRUCTIONS

- Use the instructions on the previous sheet to assist you with your diagram
- The Emergency Evacuation Diagram, as approved by the Office, must be posted in a conspicuous place in every room.
- Arrange the paper so that the diagram is oriented as it would be as you leave the room.
- Make additional blank copies as needed.

Room dimensions
Age: SACC
group size
Kitchen/Bathroom
exit/egress
plumbing
outside play area

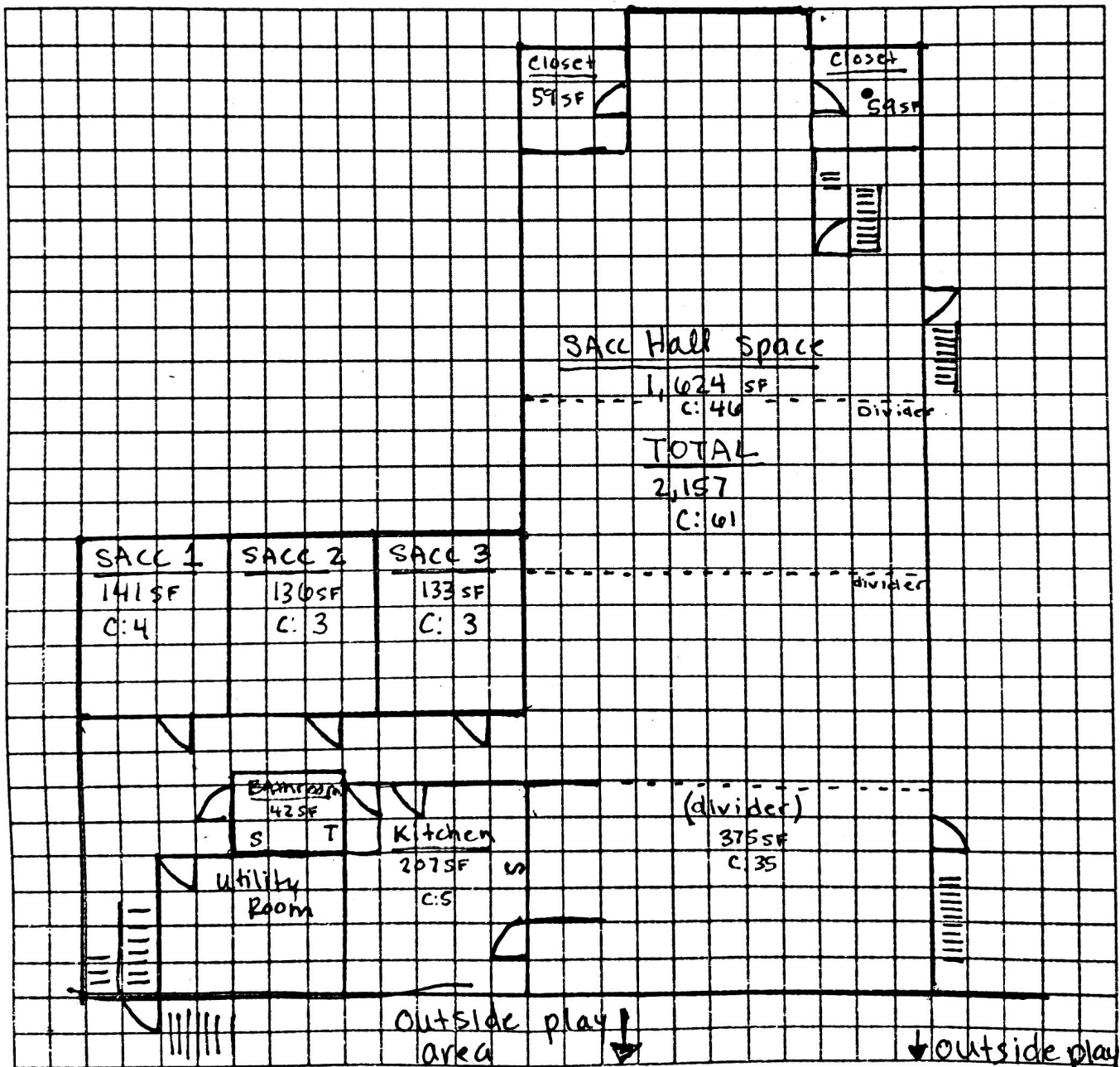
Program Name:

Capital Kids Care

Facility ID Number:

890141

Room:

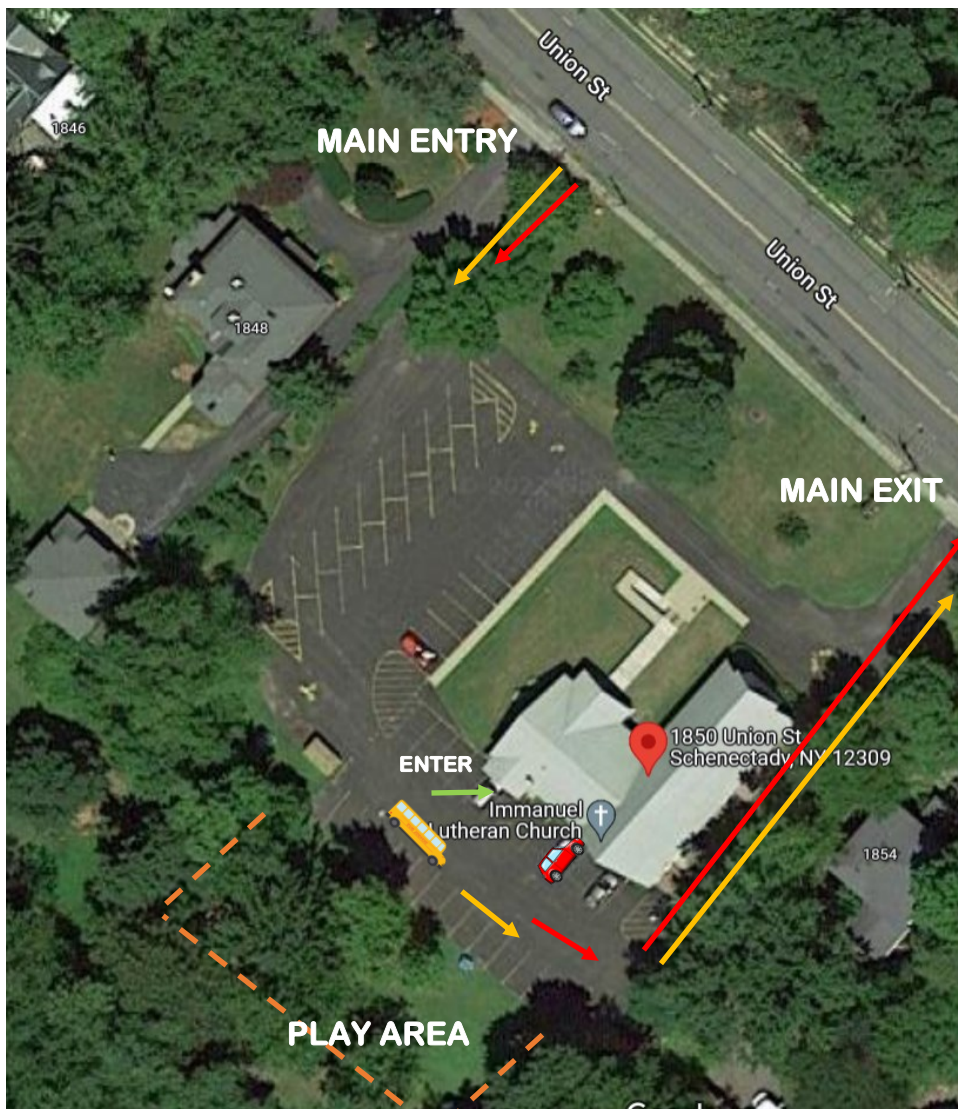






Theme: Best of the Best Week: 4

Date: JULY 19-23

MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	Supplemental Activities
7:30-9:00 Me Time	7:30-9:00 Me Time	7:30-9:00 Me Time	7:30-9:00 Me Time	7:30-9:00 Me Time	Creation Corner Caterpillar Race Blow Paint Race Sailboat Race Whole Group: WEEK LONG Tournaments: Connect 4 or any board game, Tic-Tac-Toe Relay, 4 Square, 4 Passes. Etc. Bubble Blowing Contest Ugly Face Contest Hand and Foot Suitcase Fit Crossed or Uncrossed Other: Death Box
9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	9:00-10:00 Camp Meeting & Groups	
10:00-10:30 Whole Group Challenge Connect 4 Toss Rock Paper Scissor Hop	10:00-10:30 Whole Group Challenge War Group Jump Rope	10:00-10:30 Whole Group Challenge 4 On the Couch Bolf	10:00-10:30 Whole Group Challenge Challenge Game Board Game Tournament	10:00-10:30 Cap Kids Got Talent: Anything about why your group is the best! That’s Exactly What It Is!	
10:30-10:45 Break	10:30-10:45 Break	10:30-10:45 Break	10:30-10:45 Break	10:30-10:45 Break	
10:45-11:30 Active Game Speedy Undies Creation Corner Domino Structures	10:45-11:30 Active Game Park Play Creation Corner Mentos Soda Cars	10:45-11:30 Active Game Potato Roll Creation Corner Best of the Challenge Fair	10:45-11:30 Active Game Home Run Creation Corner	10:45-11:30 Active Game Park Play Creation Corner	
11:30-12:15 Mini Masterpiece You Can Draw * see note High Active Game Top Dogs	11:30-12:15 Mini Masterpiece Rainbow Paint Race High Active Game 6th Sense Sensei	11:30-12:15 Mini Masterpiece Largest Pavement Art High Active Game Weird Flex Master	11:30-12:15 Mini Masterpiece Sculpture Scramble High Active Game Real Record Setters	11:30-12:15 Mini Masterpiece High Active Game Best of the Best	
12:15-12:45 Lunch	12:15-12:45 Camp Lunch	12:15-12:45 Lunch	12:15-12:45 Lunch	12:15-12:45 Camp Lunch	
12:45-2:00 Water Play	12:45-2:00 Water Play	12:45-2:00 Water Play	12:45-2:00 Water Play	12:45-2:00 Water Play	
2:00-2:30 Break	2:00-2:30 Break	2:00-2:30 Break	2:00-2:30 Break	2:00-2:30 Break	
2:30-3:00 Mixed Group Classics Challenge	2:30-3:00 Mixed Group Classics Challenge	2:30-3:00 Mixed Group Classics Challenge	2:30-3:00 Mixed Group Classics Challenge	2:30-3:30 Final Circle & Raffle	
3:00-3:45 Circle Game Kids V Kids Balloon Strong Man Odds & Evens Kids V Counselors: Eleven	3:00-3:45 Circle Game Kids V Kids Catch Don’t Catch How Long is a Minute Kids V Counselors: Tootsie Roll	3:00-3:45 Circle Game Kids V Kids Night Night Grandma Kids V Counselors: Master Sorter Quick Draw	3:00-3:45 Circle Game Kids V Kids Dollar Jump Survivor Dodge Kids V Counselors: 5 in 10 Flinch		
3:45-4:15 Circle Up	3:45-4:15 Circle Up	3:45-4:15 Circle Up	3:45-4:15 Circle Up	3:30-5:30 Movie	Paparazzi:
4:15-5:30 Me Time	4:15-5:30 Me Time	4:15-5:30 Me Time	4:15-5:30 Me Time		

Proposed traffic routing for drop off and pick up:
Capital Kids Care 1850 Union St



Key	
	Bus Route
	Parent Route
	Parent/Child Entry
	Cone Line



Resolution No. 2022 – 207

AT THE REGULAR MEETING OF THE TOWN BOARD OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 26th DAY OF JULY, 2022, AT 7:00 PM, HELD AT THE EDWIN D. REILLY, JR. NISKAYUNA TOWN HALL BOARD ROOM, THE FOLLOWING MEMBERS WERE PRESENT:

HONORABLE:	JASON MOSKOWITZ	COUNCILMEMBER
	JOHN DELLA RATTA	COUNCILMEMBER
	WILLIAM MCPARTLON	COUNCILMEMBER
	JESSICA BRENNAN	COUNCILMEMBER
	JAIME LYNN PUCCIONI	SUPERVISOR

The meeting was duly called to order by the Supervisor.

A RESOLUTION TO TAKE ACTION ON AN APPLICATION FOR A SPECIAL USE PERMIT FOR A PROPOSED DAYCARE IN A PLACE OF WORSHIP LOCATED AT 1850 UNION STREET

The following resolution was offered by **Councilmember Della Ratta**, who moved its adoption, and seconded by **Councilmember McPartlon**

BE IT ENACTED, by the Town Board of the Town of Niskayuna as follows:

WHEREAS, Katlyn Brownell, has made an application to the Planning Board and Town Board for site plan review and a special use permit to operate an after school care program and summer camp within a place of worship at 1850 Union Street, in the Town of Niskayuna, and

WHEREAS, this property is located in the Low Density Residential (R-1) Zoning District; and

WHEREAS, the Planning Board conducted a public hearing on the project in July 11, 2022, and

WHEREAS, the Planning Board, by its Resolution No. 2022-14, dated July 11, 2022, recommended approval of the special use permit, and

WHEREAS, the Town Board held a public hearing on July 26, 2022 at which time all parties in interest and citizens were given an opportunity to be heard, and

WHEREAS, this application was referred to the Schenectady County Planning Department, and

WHEREAS, the application was referred to the Niskayuna Conservation Advisory Council and on July 6, 2022 they made a recommendation for a negative declaration regarding the project's environmental impacts, and

WHEREAS, this Town Board, has carefully reviewed the proposal and by this resolution does set forth its decision hereon.

NOW THEREFORE, be it

RESOLVED that this Town Board hereby determines that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative declaration, and be it hereby

FURTHER RESOLVED, that this Town Board does hereby grant to Katlyn Brownell a special use permit to operate a daycare within a place of worship at 1850 Union St, in the Town of Niskayuna.

UPON ROLL CALL THE FOREGOING RESOLUTION WAS ADOPTED BY THE FOLLOWING VOTE:

COUNCILMEMBER MOSKOWITZ	VOTING	AYE
COUNCILMEMBER DELLA RATTA	VOTING	AYE
COUNCILMEMBER MCPARTLON	VOTING	AYE
COUNCILMEMBER BRENNAN	VOTING	AYE
SUPERVISOR PUCCIONI	VOTING	AYE

RESOLUTION NO. 2022-14

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 11TH DAY OF JULY 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
~~CHRIS LAFLAMME~~
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

**FILED
TOWN OF NISKAYUNA**

JUL 12 2022

**MICHELE M MARTINELLI
TOWN CLERK**

One of the purposes of the meeting was to make a recommendation to the Town Board on a Special Use Permit.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Mr. Khan, whom moved its adoption, and seconded by Ms. Gold.

WHEREAS, Katie Brownell, of Capital Kids Care acting on behalf of the owner of the property, submitted an Application for Site Plan Review and an Application For Special Use Permit to the Planning Office dated 6/6/22 to locate a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street as described in a 5-page documentation package stamped "Received Jun 08 2022 Planning Office Niskayuna, NY" by Planning Office staff containing the following:

- Floorplan
- Proposed traffic routing for drop off and pick up
- Basement floor fire evacuation plan
- After school schedule & details
- Sample weekly agenda "Theme: Best of the Best Week 4: Date July 19-23"

, and

WHEREAS, the zoning classification of the property is R-1 Low Density Residential zoning district, and

WHEREAS, Section 220-10 District Regulations includes (B) R-1 Low Density Residential District, (3) Special principal uses, (m) Child day-care center operated within a school, hospital or place of worship with approval of a special use permit by the Town Board, and

WHEREAS, the Planning Board conducted a public hearing on July 11, 2022 to consider the application for site plan approval and special use permit, and

WHEREAS, the application was referred to the Schenectady County Planning Department who approved of the proposal, and

WHEREAS, the Planning Board referred this application to the Town's Superintendent of Water, Sewer and Engineering, the Fire District Chief and the Chief of Police and there were no objections to the proposal, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

FURTHER RESOLVED, that this Planning Board and Zoning Commission hereby recommends that the Town Board grant a Special Use Permit for a school age child care program at the Immanuel Evangelical Lutheran Church at 1850 Union Street, as shown in a 5-page documentation package stamped "Received Jun 08 2022 Planning Office Niskayuna, NY, subject to final site plan approval.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN -- Aye
GENGHIS KHAN -- Aye
~~MICHAEL A. SKREBUTENAS~~
~~CHRIS LAFLAMME~~
PATRICK MCPARTLON -- Aye
DAVID D'ARPINO -- Aye
DACI SHENFIELD -- Aye
LESLIE GOLD -- Aye
NANCY STRANG -- Aye

The Chairman declared the same duly adopted.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 1

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: Empire Dr. 2-lot subdivision – Application for Approval of Plat Plan Minor Subdivision off of Empire Drive

PROJECT LEAD: TBD

APPLICANT: Robert Joralemon

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Robert Joralemon, property owner, submitted an sketch plan application for a minor 2-lot subdivision of the property at tax map parcel 61.0-1-33.2, creating two separate lots of 1.83 and 2.0 acres, respectively.

BACKGROUND INFORMATION

Tax map parcel 61.0-1-33.2 is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled “Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated 6/30/22 with no further revisions was provided with the application. Lot lines demarcating “Lot 1 Area = 1.83 Acres” and “Lot 2 Area = 2.0 Acres” are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
Single-family dwelling	18,000	100	125	35	40	25
Lot 1	79,715	≈300	≈200	≈70	≈50 / ≈250	≈75
Lot 2	87,120	≈570	≈200	≈70	≈50 / ≈450	≈75

The original sketch plan drawing proposed two parallel contiguous driveways exiting from the stub off of Empire Drive running along the shared side property line of the two lots. Each driveway included a 20' wide turnaround at their intersection with the stub street so that snowplows would be able to turnaround.

7/11/22 Planning Board (PB) meeting – The property owner, Robert Joralemon, and Frank Palumbo of CT Male Associates presented the project to the PB. The PB did not like the proposal to have the Town snowplows turn around on the private driveways of the proposed subdivision. The PB asked for two alternate site plan drawings to be prepared. One version will include a traditional cul-de-sac at the end of the existing stub road. The second version will include a smaller “bulb” end to the existing stub road. The drawings were provided and are included in the packet for the meeting this evening.

7/25/22 Planning Board (PB) meeting – Mr. Joralemon and Mr. Palumbo presented two new site plan drawings that depicted the layouts that were requested by the PB at the 7/11/22 meeting. The PB preferred the second version of the two plans. It is entitled “Sketch Plan-Alt 2, 2 Lot Minor Subdivision, Empire Drive Lands N/F of Joralemon” by C.T. Male Associates dated June 30, 2022 with no subsequent revisions. The site plan includes small snow storage areas along each side of the stub road that intersects Empire Drive. Two completely independent driveways for the proposed two lots connect to a small semi-circular bulbous end of the stub road. Ms. Robertson noted that the Highway Superintendent preferred this version. The PB agreed on the following action items.

1. The PB to call for a public hearing (PH) at the 8/8/22 PB meeting (PH to be held on 8/29/22)
2. PB to make a SEQR determination at their 8/8/22 meeting
3. PB to take action on a resolution for sketch plan approval at their 8/8/22 meeting
4. Resolution to include the requirement that a sign stating “End of Public Road” be placed at the end of the stub road.

7/29/2022 Complete Streets Committee – Explore an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School in case of future development.

8/3/22 Conservation Advisory Council (CAC) meeting – the CAC reviewed the project at their regularly scheduled meeting on 8/3/22 and voted unanimously in favor of making a recommendation to the PB to make a negative SEQR declaration with the following recommendations.

1. Require an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School.
2. Keep the limits of clearing as small as possible so that as many mature trees as possible may be preserved.

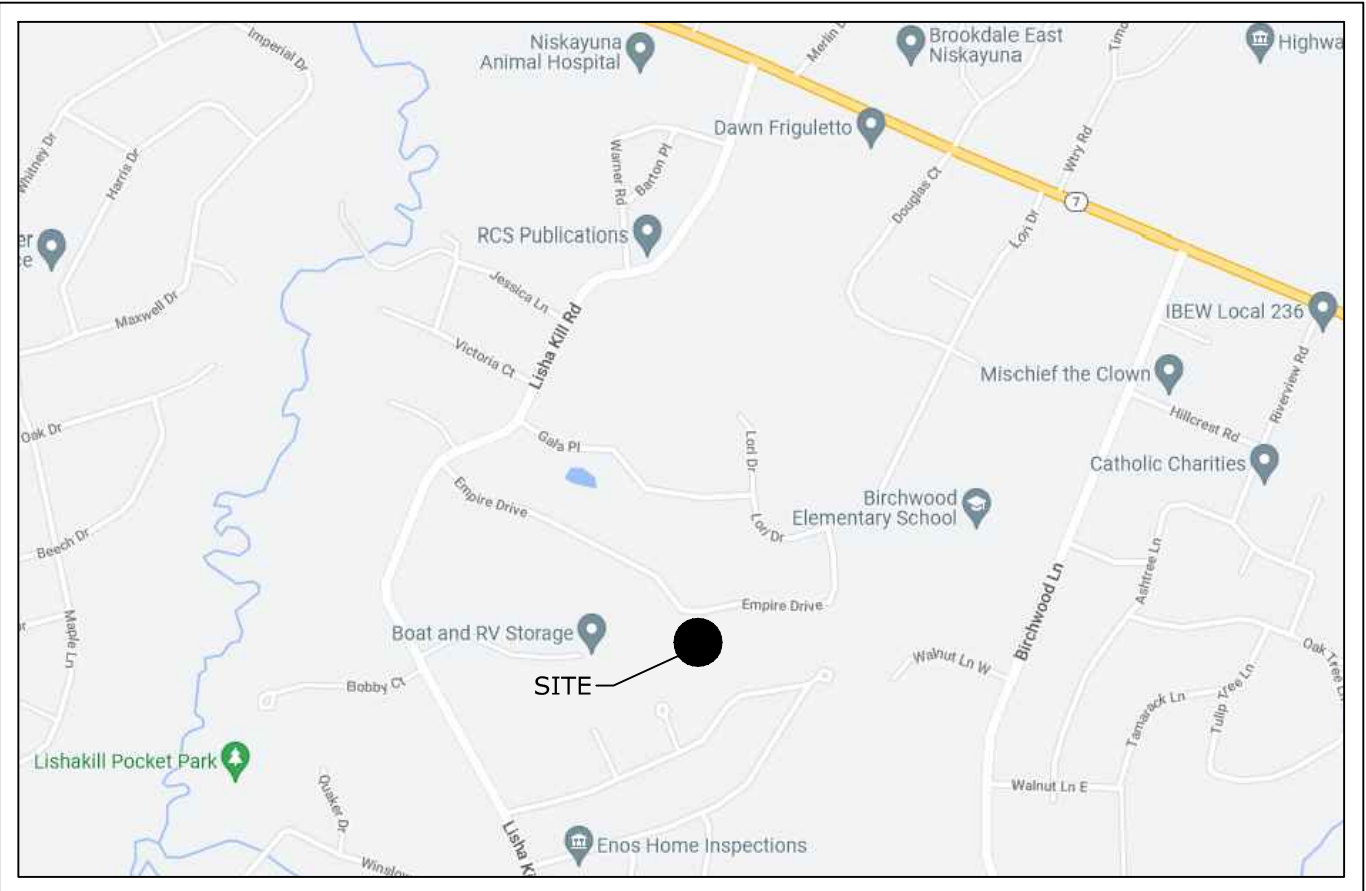
8/8/22 Planning Board (PB) meeting – Resolution 2022-17 was approved granting approval of the sketch plan, calling for a public hearing to be held at the 8/29/22 PB meeting and directing the Town Planner to file a Negative SEQR declaration with the following 2 conditions.

1. An easement for a potential future multi-use path is to be included in the site plan drawing
2. Limits of clearing are to be kept as small as possible & as many mature trees as possible are to be preserved.

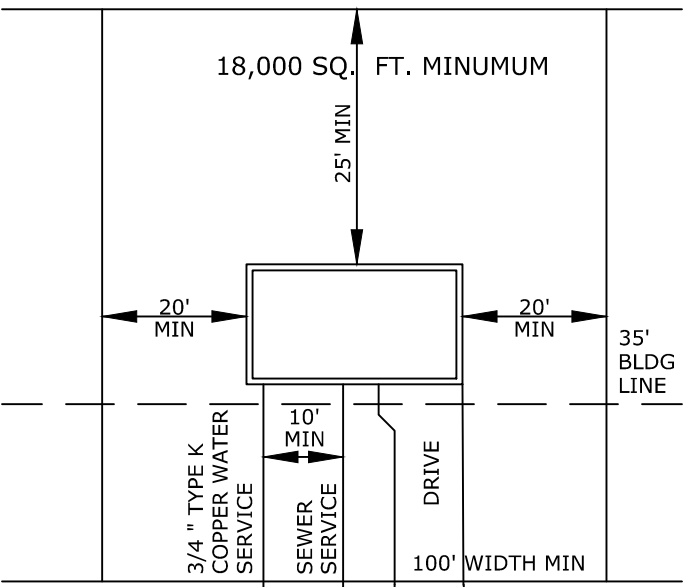
After additional discussion the PB decided the best location for the easement would be along property line near and parallel to Empire Drive. The PB also requested that the following information be added to the site plan drawing.

1. Show the limits of clearing
2. Include a numerical value for the amount of disturbed land for each lot

Mr. Joralemon provided a revised site plan drawing dated 8/10/22 that includes the requested information. The easement provided is 8 feet however and should be a minimum of 12 feet (2 feet on each side of path for construction and maintenance).



SITE LOCATION PLAN
N.T.S.



R-1 ZONING
TYPICAL HOUSE UTILITY LAYOUT
(NOT TO SCALE)

GENERAL NOTES:

1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
2. ALL ON-SITE SANITATION AND WATER SUPPLY FACILITIES SHALL BE DESIGNED TO MEET THE MINIMUM SPECIFICATIONS OF THE STATE DEPARTMENT OF HEALTH.

SOIL AND SEDIMENT CONTROL MEASURES:

1. DAMAGE TO SURFACE WATER RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
2. INSOFAR AS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED.
3. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
4. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED.
5. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

MAINTENANCE OF EROSION CONTROL MEASURES:

1. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT AND MAINTAIN THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SILTATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RE-SEEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS, WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.

TREE PRESERVATION POLICY:

1. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT-OF-WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
2. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH A DIAMETER OF 5 INCHES OR MORE AS MEASURED 3 FEET ABOVE THE BASE OF THE TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
3. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
4. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.

GRADING NOTES:

1. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.

Lands Now or Formerly of
MICHAEL INDARSHAN
Book 2006 Page 245
Tax Map I.D. No. 61.0-1-36

Lands Now or Formerly of
SEN ZHANG & MIN ZHANG
Book 1967 Page 972
Tax Map I.D. No. 61.15-2-22

Lands Now or Formerly of
**JONATHAN M. DE JESUS &
MARIA ARSYL D. DE JESUS**
Book 1861 Page 137
Tax Map I.D. No. 61.15-2-21

Lands Now or Formerly of
HELDERBERG PROPERTY COMPANY LLC
Book 1946 Page 855
Tax Map I.D. No. 61.0-1-34,11

Lands Now or Formerly of
**ROBERT W. JORALEMON &
ROSEMARY JORALEMON**
Book 1685 Page 756
Tax Map I.D. No. 61.0-1-31

Lands Now or Formerly of
**STEPHEN P. CONNOLLY &
DENISE I. CONNOLLY**
Book 2509 Page 997
Tax Map I.D. No. 7.4-7-17

ARBOR ESTATES SECTION III

Lands Now or Formerly of
CARL J. WHITE & CATHERINE S. WHITE
Book 3094 Page 886
Tax Map I.D. No. 7.4-7-18

Lands Now or Formerly of
**STEVEN J. MASTRIANNI &
SUSAN A. MASTRIANNI**
Book 2295 Page 1023
Tax Map I.D. No. 7.4-7-23

Lands Now or Formerly of
GREGORY BUTTNER
Book 2017 Page 20073
Tax Map I.D. No. 7.4-7-24

Lands Now or Formerly of
**DONAL E. COOKE &
WENDY J. COOKE**
Book 2654 Page 220
Tax Map I.D. No. 7.4-7-25

Lands Now or Formerly of
CHARLES J. SOGOIAN
Book 2316 Page 930
Tax Map I.D. No. 7.4-7-26

Lands Now or Formerly of
AMY M. SHAUL
Book 2019 Page 7421
Tax Map I.D. No. 7.4-7-27

Lands Now or Formerly of
**JOHN DONOGHUE &
CHRISTINA PENSIERO**
Book 2019 Page 1631
Tax Map I.D. No. 7.4-7-28

Lands Now or Formerly of
**JEFFERY C. COMLEY &
JANICE B. COMLEY**
Book 2620 Page 812
Tax Map I.D. No. 7.4-1-76

Lands Now or Formerly of
**DANIEL J. MARINUCCI &
ANGELINE M. MARINUCCI**
Book 2017 Page 8846
Tax Map I.D. No. 7.4-1-75

ZONING DATA:

ZONE: R-1
MIN. LOT AREA: 18,000 SF
MIN. LOT WIDTH: 100 FEET

YARD REQUIREMENTS:

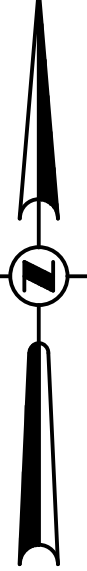
FRONT SETBACK MINIMUM: 35 FEET
SIDE SETBACK MINIMUM: 20 FEET (40 FEET BOTH)
REAR SETBACK MINIMUM: 25 FEET

MAP REFERENCE:

1. "BOUNDARY SURVEY PORTION OF LANDS OF ROBERT W. JORALEMON & PATRICIA A. JORALEMON" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, PREPARED BY C.T. MALE ASSOCIATES, DATED MARCH 1, 2004, BEARING PROJECT NO. 04.9065, DWG. NO. 04-151.
2. "CERONE PAULSEN SUBDIVISION" TOWN OF NISKAYUNA, SCHENECTADY COUNTY, DATED FEBRUARY 5, 2004 BEARING DWG NO. PROJECT NO. 383.02 & MAP. NO. 04-30-41B

MAP NOTES:

1. TOPOGRAPHIC INFORMATION SHOWN HEREON IS PER LIDAR INFORMATION OBTAINED ON MAY 13, 2022 AS SUPPLIED BY THE NEW YORK STATE GIS CLEARINGHOUSE, NYS 2 METER DEM INDEX.
2. NORTH ORIENTATION AND BEARING BASE PER MAP REFERENCE NO. 1.
3. NO ATTEMPT WAS MADE TO LOCATE ANY UNDERGROUND UTILITIES. EXISTING UTILITIES WERE PER DESIGN DRAWING INFORMATION PER MAP REFERENCE NO. 2.



LOT 1
AREA ~1.83 ACRES
AREA OF DISTURBANCE
~0.7 ACRES

PROPOSED SINGLE FAMILY
RESIDENTIAL HOUSE
APPROXIMATE LIMIT OF
ANTICIPATED CLEARING

LOT 1 APPROXIMATE
AREA OF DISTURBANCE
~0.81 ACRES

LOT 2
AREA ~2.00 ACRES

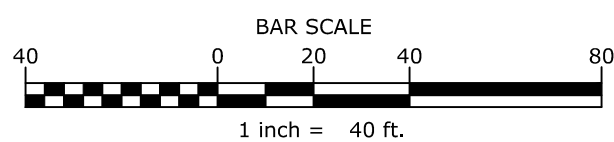
LOT 2 APPROXIMATE
AREA OF DISTURBANCE
~0.85 ACRES

APPROXIMATE LIMIT OF
ANTICIPATED CLEARING

TOWN OF NISKAYUNA (SCHENECTADY COUNTY)
TOWN OF COLONIE (ALBANY COUNTY)

RIESLING ROAD

ARBOR ESTATES SECTION II



PLANNING BOARD CHAIRMAN

DATE

TOWN ENGINEER

DATE

LAYOUT PLAN
2 - LOT MINOR SUBDIVISON

EMPIRE DRIVE
LANDS N/F OF JORALEMON

TOWN OF NISKAYUNA SCHENECTADY COUNTY, NEW YORK

C.T. MALE ASSOCIATES
Engineering, Surveying, Architecture, Landscape Architecture & Geology, D.P.C.
50 CENTURY HILL DRIVE, LATHAM, NY 12110 PH 518.786.7400
COBLESKILL, NY • GLENS FALLS, NY • POUGHKEEPSIE, NY
JOHNSTOWN, NY • RED HOOK, NY • SYRACUSE, NY



SK2

SHEET 1 OF 1

DWG. NO: 04.9065

RESOLUTION NO. 2022-17

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 8TH DAY OF AUGUST 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

**FILED
TOWN OF NISKAYUNA**

AUG - 9 2022

**MICHELE M MARTINELLI
TOWN CLERK**

One of the purposes of the meeting was to take action on sketch plan approval, make a SEQR determination and call for a public hearing.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Mr. Skrebutenas.
whom moved its adoption, and seconded by Mr. LaFlamme.

WHEREAS, Robert Joralemon, landowner, has made application to the Planning Board for a 2-Lot Minor Subdivision at tax map parcel 61.0-1-33.2 as shown on a 1- page drawing entitled "Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon" by C.T. Male Associates dated 6/30/22 with no further revisions, and

WHEREAS, the zoning classification of the property is R-1: Low Density Residential, and

WHEREAS, this Planning Board and Zoning Commission has discussed the requirements of Chapter 189 of the Code of the Town of Niskayuna for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, and

WHEREAS the Planning Board referred the Environmental Assessment Form to the Niskayuna Conservation Advisory Council (CAC) for their review and on August 3, 2022, the CAC recommended that a negative declaration be prepared with recommendations for the Planning Board to consider, and

WHEREAS the Planning Board, acting in accordance with the State Environmental Quality Review (SEQR) regulations and local law, has contacted all involved agencies, and they have concurred with the Planning Board that it should assume the position of lead agency for this project, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby classify this sketch plan as a minor subdivision as defined by Chapter 189 of the Code of the Town of Niskayuna; and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant sketch plan approval for the concept subdivision drawing entitled "Sketch Plan 2-Lot Minor Subdivision Empire Drive Lands N/F of Joralemon" by C.T. Male Associates dated 6/30/22 with no further revisions, with the following conditions:

1. Sketch plan approval is a conceptual review of the proposed lot division for the purposes of classification and preliminary discussion as described in the Town of Niskayuna Zoning Sections 189-6 and 189-22. The location of proposed boundary lines, infrastructure, utilities and improvements are subject to change during the environmental review, engineering, public hearing and subdivision review process.

And be it hereby

FURTHER RESOLVED, that the Planning Board and Zoning Commission hereby determined that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative SEQR declaration with the following comments:

1. Require an easement on lot 1 for a potential future multi-use path that would connect the large forest to the northwest of the lot to Empire Dr. and destinations to the east such as Birchwood Elementary School.
2. Keep the limits of clearing as small as possible so that as many mature trees as possible may be preserved.

,and be it hereby

FURTHER RESOLVED that this Planning Board does hereby call for a public hearing to be held on Monday, August 24, 2022 at 7:00 pm in the Niskayuna Town Hall, 1 Niskayuna Circle, to consider the application of Robert Joralemon, for a 2-lot minor subdivision off of Empire Drive.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN -- Aye
~~GENGHIS KHAN~~
MICHAEL A. SKREBUTENAS -- Aye
CHRIS LAFLAMME -- Aye
PATRICK MCPARTLON -- Aye
DAVID D'ARPINO -- Aye
DACI SHENFIELD -- Aye
~~LESLIE GOLD~~
NANCY STRANG -- Aye

The Chairman declared the same duly adopted.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 2

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: 2239 Van Antwerp -- 2-lot subdivision at 2239 Van Antwerp Rd.

PROJECT LEAD: TBD

APPLICANT: Patrick Jarosz, agent for the owners

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER:

ATTACHMENTS:

☒ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Patrick Jarosz, agent for the owners, submitted a Sketch Plan Application for a minor 2-lot subdivision of the 2.08 acre property at 2239 Van Antwerp Rd. into two separate lots of .56 (24,392 +/- sq. ft.) and 1.53 acres, respectively.

BACKGROUND INFORMATION

The property is located within the R-1 Low Density Residential zoning district.

A 1-page drawing entitled "Subdivision of the Land of Ryan #2239 Van Antwerp Road" by Gilbert VanGuilder, PLLC Professional Land Surveyors dated May 3, 2022 and revised on 5/31/22 was provided with the application. Lot lines demarcating "Area = 24,392+/-" and "Area = 1.53+/- Acres" are included on the drawing.

220 Attachment 14 Schedule I-B R-1 District Schedule of Supplementary Regulations defines the following minimum lot size and yard dimensions.

Permitted Use	Minimum Lot Size			Minimum Yard Dimensions (setbacks)		
	Area sf	Width ft.	Depth ft.	Front ft.	Side ft.	Rear ft.
Single-family dwelling	18,000	100	125	35	40	25
Lot 1	24,392	≈124	≈200	≈50.6	≈19.7 / ≈55.3	≈OK
Lot 2	66,647	≈170	≈400	≈50	≈50 / ≈50	≈OK

While the bulk requirements in the R-1 Zoning are easily met – the presence of the wetland will require further modification of the subdivision plan or an Army Corps of Engineers permit. Section 180-9 (O) states: “In general, wetlands and watercourses should not be filled, graded, or altered. The crossing of watercourses should be avoided to the maximum extent practicable. When protection of wetlands, watercourses, trees, steep slopes or other environmentally sensitive area is required, the location shall be shown on the erosion control plan and the method of protection during construction identified (e.g., silt fence, construction fence, stakes, etc.). A vegetative buffer (minimum of 25 feet) shall be maintained between disturbed areas and protected federal wetlands that are not proposed to be filled as part of an Army Corps of Engineers wetlands permit. In the case of state-designated wetlands, the adjacent area of 100 feet shall not be disturbed without a NYS Department of Environmental Conservation permit.” Therefore the 25 foot wetland vegetative buffer needs to be identified on the plans and no grading or disturbing of soils should be shown within the buffer.

There is also an issue with sewer or septic that should be examined during sketch plan approval. The existing sewer main is in the back of the property at 2239 Van Antwerp Road. Extending the public sewer main beneath the wetlands may be required or an onsite septic system should be reviewed (see aerial image in packet).

7/25/22 Planning Board (PB) meeting – a representative from Gilbert VanGuilder Land Surveyor, PLLC represented Mr. Jarosz and explained the project to the Board members. He mentioned that they would like to connect the future home to be located on the newly created lot to the existing public sewer. He also stated the wetlands on the property are Army Corps only. After additional discussion the PO called for a resolution for sketch plan approval at the 8/8/22 PB meeting, agreed on the following action items.

1. Revise site plan drawing to pull grading & limits of clearing away from 25' wetland buffer
2. Add sewer line to site plan and include easement boundaries

8/3/22 Conservation Advisory Council (CAC) meeting – the CAC reviewed the project at their regularly scheduled meeting on 8/3/22 and voted unanimously to recommend a negative SEQR declaration to the Planning Board. During the discussion related to the review of the EAF form the following recommendations were identified.

1. Retain as many existing trees on the site as possible, have Tree Council review limits of clearing and avoid / protect large trees during construction
2. Include a 10' wide easement along Van Antwerp ROW for a potential future multi-use path
3. Revise subdivision plan so there is no disturbance to wetlands and no grading / disturbance to the 25 foot wetland buffer
4. Utilize reasonable energy conservation practices and sustainable energy for new building.

8/8/22 Planning Board (PB) meeting – The PB approved Resolution 2022-18 granting sketch plan approval, calling for a public hearing at the 8/29/22 PB meeting and instructing the Town Planner to file a Negative SEQR declaration with the following 4 conditions

1. Work with the Tree Council to preserve as many trees as possible and review limits of clearing
2. Include a 10' wide easement along Van Antwerp for a future multi-use path
3. Revise site plan so there is no disturbance to wetlands and no grading or disturbance to the 25' buffer to the wetlands
4. Utilize energy conservation practices and sustainable energy for new buildings

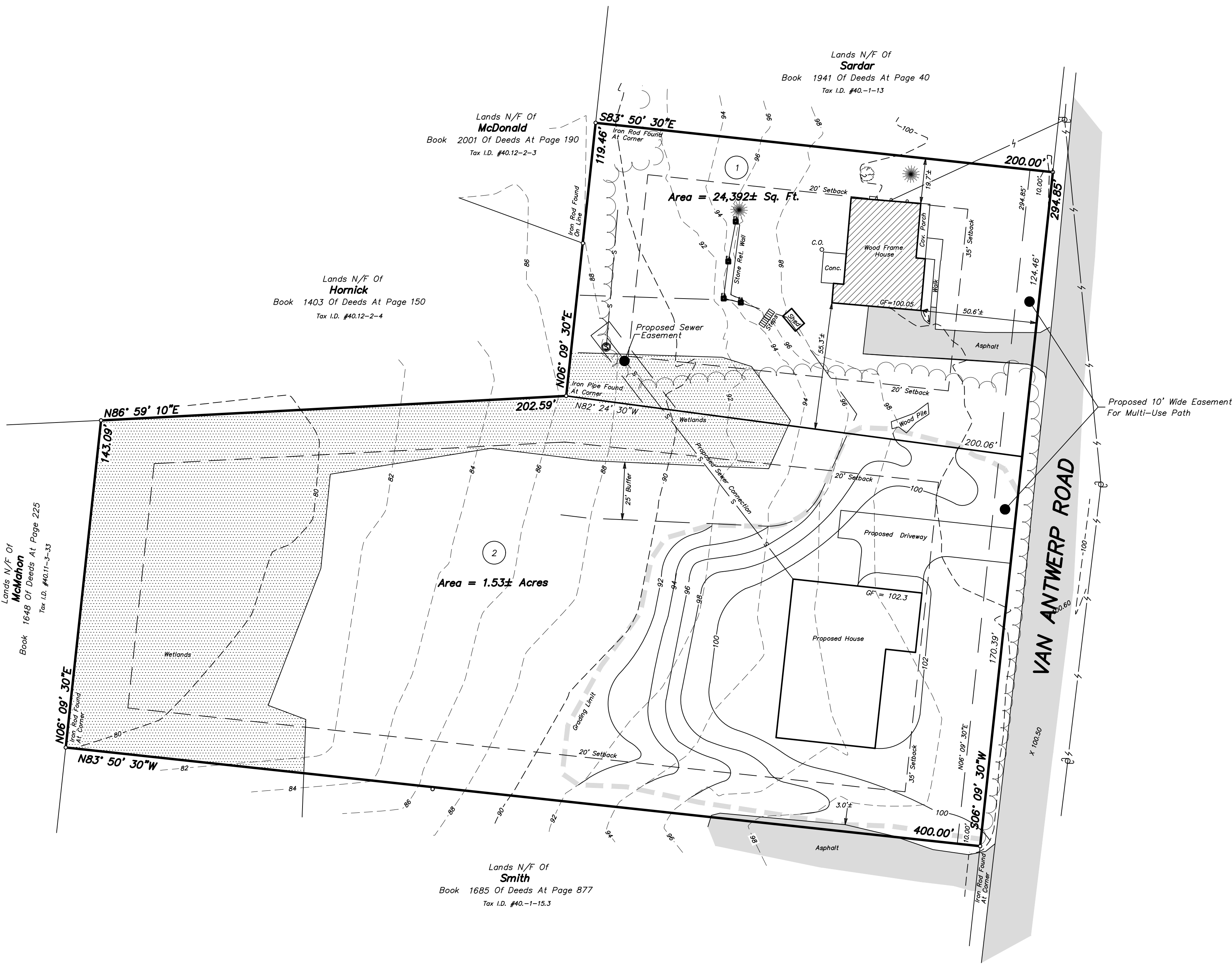
The applicant is to provide an updated site plan drawing for the 8/29/22 meeting.

The Tree Council walked the site and noted the area has old forest characteristics, large trees, snags and down logs. They also noted there are many large trees of significance. See list and photos below. They recommend the Planning Board require adding trees that have a diameter at breast height of greater than 25 inches to the subdivision plan so that the Town can work with the developer to avoid the large trees and retain as much forest patch as possible.

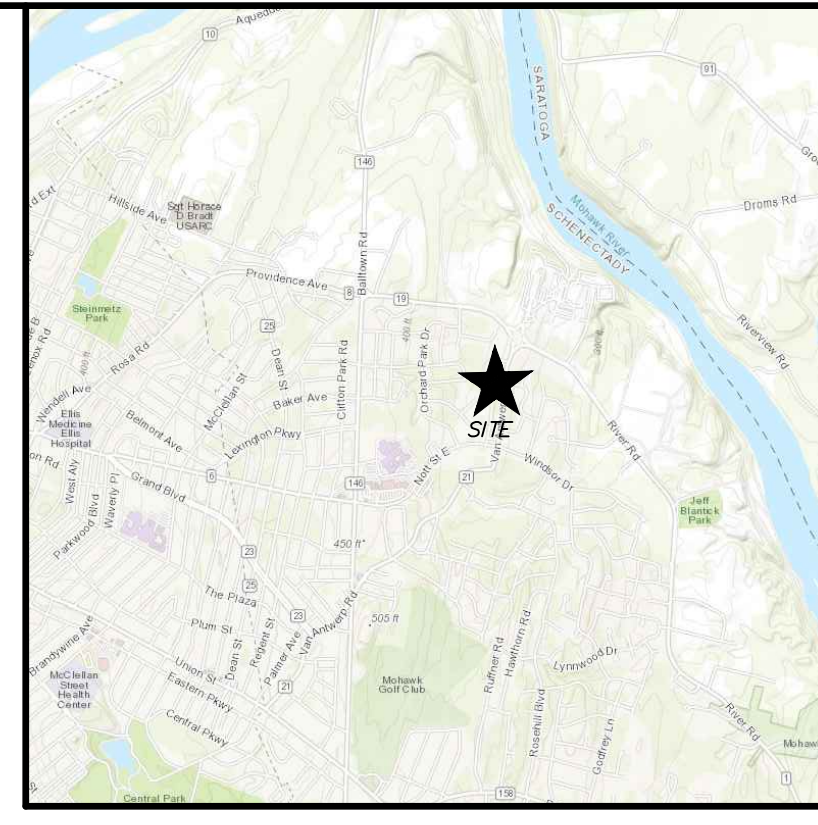
- 8 White oaks 25 to 40 inches in diameter
- 7 white pine 25 to 35 inches in diameter
- 1 hickory ~ 30 inches in diameter.



Per Deed Reference



- DEED REFERENCE:
- CONVEYANCE TO JOANNE M. RYAN BY DEED DATED AUGUST 27, 2021 AND RECORDED IN THE SCHEMECTADY COUNTY CLERK'S OFFICE IN BOOK 2086 OF DEEDS AT PAGE 287.
- NOTES:
1. NO ATTEMPT WAS MADE TO SHOW UNDERGROUND IMPROVEMENTS IN THE PREPARATION OF THIS SURVEY.
 2. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
 3. COPYRIGHT © 2020 BY GILBERT VANGUILDER LAND SURVEYOR, PLLC. ALL RIGHTS RESERVED. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND/OR COPYRIGHT HOLDER IS OBTAINED.
 4. CERTIFICATIONS HEREIN ARE NOT TRANSFERABLE, UNLESS OTHERWISE NOTED.
 5. THE LOCATION OF UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS ARE NOT ALWAYS KNOWN AND OFTEN MUST BE ESTIMATED. IF ANY UNDERGROUND IMPROVEMENTS OR ENCROACHMENTS EXIST OR ARE SHOWN, THE IMPROVEMENTS OR ENCROACHMENTS ARE NOT COVERED BY THIS CERTIFICATE.
- TOWN NOTES:
1. BY ISSUANCE OF A BUILDING PERMIT, THE TOWN OF NISKAYUNA DOES NOT ASSUME ANY LIABILITY FOR STORM WATER DAMAGE BY GENERAL APPROVAL OF THESE PLANS. THE OWNER MUST ASSUME ANY AND ALL LIABILITIES FOR DAMAGE CLAIMED ARISING OUT OF INCREASED STORM WATER FLOW.
 2. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
 3. INsofar AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED.
 4. SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISRUPTION.
 5. PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND ROUTES OF CONVENIENCE SHALL BE AVOIDED.
 6. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNWISSESSABLY WITHIN WATERWAYS OR DITCHES.
 7. THE DEVELOPER/CONTRACTOR OR HIS BUILDER SHALL INSPECT THE INTEGRITY AND FUNCTION OF ALL TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE DEVELOPMENT PROCESS. TO ASSURE PROPER FUNCTION, SITUATION BARRIERS SHALL BE MAINTAINED IN GOOD CONDITION AND REINFORCED, EXTENDED, REPAIRED, RESSEDED AND PROTECTED FROM FURTHER EROSION. ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AND CONTAINED IN APPROPRIATE SPOIL AREAS. WATER SHALL BE APPLIED TO NEWLY SEEDD AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED.
 8. SUBDIVISION APPROVAL BY THE PLANNING BOARD AUTHORIZES GRADING AND CLEARING WITHIN THE ROAD RIGHT OF WAY AND EASEMENTS ONLY. THE APPLICANT SHALL SUBMIT PLANS FOR INDIVIDUAL LOT GRADING TO BE APPROVED AS PART OF THE BUILDING PERMIT APPLICATION.
 9. THE GRADING PLAN SUBMITTED FOR THE BUILDING PERMIT SHALL IDENTIFY ALL TREES WITH DIAMETER OF 6 IN. OR MORE AS MEASURED 3 FT. ABOVE THE BASE OF TRUNK AND INDICATE THOSE THAT ARE PROPOSED TO BE REMOVED AND THE REASON WHY SUCH REMOVAL IS NECESSARY.
 10. ANY TREES REMOVED FROM A LOT IN A MANNER THAT IS NOT CONSISTENT WITH THE APPROVED GRADING PLAN FOR THAT LOT SHALL BE REPLACED AT THE EXPENSE OF THE DEVELOPER BEFORE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. REPLACEMENT TREES SHALL BE OF A TYPE AND SIZE SATISFACTORY TO THE TOWN ENGINEER.
 11. THE GRADING PLAN SHALL BE CONSISTENT WITH THE PURPOSES OF THE SOIL EROSION AND SEDIMENT CONTROL ORDINANCE. IN PARTICULAR, ERODIBLE MATERIALS SHALL NOT BE STOCKPILED WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
 12. THE APPLICANT SHALL TREAT THE GRADING PLAN SUBMITTED FOR THE SUBDIVISION AS ADVISORY ONLY, AND SHALL SUBMIT GRADING PLANS FOR REVIEW BY THE BUILDING INSPECTOR ON A LOT-BY-LOT BASIS THAT ARE CONSISTENT WITH THE PLANNING BOARD REQUIREMENTS FOR TREE PRESERVATION.



SITE LOCATION

SITE STATISTICS:

ZONING: R-1 SINGLE FAMILY DWELLING

MIN. LOT SIZE - 19,000 SQ. FT.

MIN. WIDTH - 100 FT.

MIN. DEPTH - 125 FT.

MIN. FRONT SETBACK - 35 FT.

MIN. SIDE SETBACK - 30 FT./BOTH 40 FT.

MIN. REAR SETBACK - 25 FT.

PROPOSED DISTURBED AREA - 0.6± ACRE

PLANNING BOARD CHAIRMAN _____ DATE _____

TOWN ENGINEER _____ DATE _____

Per Comments - 8/9/22
Revised Lot Line - 5/31/22

SUBDIVISION OF THE LANDS OF RYAN #2239 VAN ANTWERP ROAD

TOWN OF NISKAYUNA SCHEMECTADY COUNTY, NEW YORK

MAP NUMBER: 22 - 22 - 85 SCALE: 1" = 30' DATE: MAY 3, 2022

Gilbert VanGuilder
Land Surveyor, PLLC
Professional Land Surveyors
988 Route 146, Clifton Park, New York 12065
Telephone: (518) 383-0634
gvglandsurveyors.com

OWNER/APPLICANT:
JOANNE M. RYAN AND ELIZABETH A. RYAN
2239 VAN ANTWERP ROAD
NISKAYUNA, N.Y. 12309
TAX I.D. #40-1-14.1

TODD WESTERVELD, P.L.S. No. 50,319

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES OF THIS SURVEY MAP BEARING THE LAND SURVEYOR'S ORIGINAL SIGNATURE AND EMBOSSED SEAL SHALL BE CONSIDERED VALID.

RESOLUTION NO. 2022-18

AT A REGULAR MEETING OF THE PLANNING BOARD AND ZONING COMMISSION OF THE TOWN OF NISKAYUNA DULY CALLED AND HELD ON THE 8TH DAY OF AUGUST 2022 AT THE NISKAYUNA TOWN OFFICE BUILDING, ONE NISKAYUNA CIRCLE, IN SAID TOWN AT 7:00 P.M., THE FOLLOWING MEMBERS WERE PRESENT VIRTUALLY OR IN PERSON:

HONORABLE: KEVIN A. WALSH, CHAIRMAN
GENGHIS KHAN
MICHAEL A. SKREBUTENAS
CHRIS LAFLAMME
PATRICK MCPARTLON
DAVID D'ARPINO
DACI SHENFIELD
LESLIE GOLD
NANCY STRANG

**FILED
TOWN OF NISKAYUNA**

AUG - 9 2022

**MICHELE M MARTINELLI
TOWN CLERK**

One of the purposes of the meeting was to take action on sketch plan approval.

The meeting was duly called to order by the Chairman.

The following resolution was offered by Mr. Skrebutenas.
whom moved its adoption, and seconded by Ms. Strang.

WHEREAS, Patrick Jarosz, representing the applicant, has made application to the Planning Board for a 2-Lot Minor Subdivision at 2239 Van Antwerp Rd. as shown on a 1- page drawing entitled "Subdivision of the Land of Ryan #2239 Van Antwerp Road" by Gilbert VanGuilder, PLLC Professional Land Surveyors dated May 3, 2022 with a most recent revision dated 5/31/22, and

WHEREAS, the zoning classification of the property is R-1: Low Density Residential, and

WHEREAS, this Planning Board and Zoning Commission has discussed the requirements of Chapter 189 of the Code of the Town of Niskayuna for street improvements, drainage, sewerage, water supply, fire protection and similar aspects, as well as the availability of existing services and other pertinent information, and

WHEREAS the Planning Board referred the Environmental Assessment Form to the Niskayuna Conservation Advisory Council (CAC) for their review and on August 3, 2022, the CAC recommended that a negative declaration be prepared with recommendations for the Planning Board to consider, and

WHEREAS the Planning Board, acting in accordance with the State Environmental Quality Review (SEQR) regulations and local law, has contacted all involved agencies, and they have concurred with the Planning Board that it should assume the position of lead agency for this project, and

WHEREAS this Board has carefully reviewed the proposal and by this resolution does set forth its recommendation hereon,

NOW, THEREFORE, be it hereby

RESOLVED, that this Planning Board and Zoning Commission does hereby classify this sketch plan as a minor subdivision as defined by Chapter 189 of the Code of the Town of Niskayuna; and be it

FURTHER RESOLVED, that the Planning Board and Zoning Commission does hereby grant sketch plan approval for the concept subdivision drawing entitled "Subdivision of the Land of Ryan #2239 Van Antwerp Road" by Gilbert VanGuilder, PLLC Professional Land Surveyors dated May 3, 2022 with a most recent revision dated 5/31/22, with the following conditions:

1. Sketch plan approval is a conceptual review of the proposed lot division for the purposes of classification and preliminary discussion as described in the Town of Niskayuna Zoning Sections 189-6 and 189-22. The location of proposed boundary lines, infrastructure, utilities and improvements are subject to change during the environmental review, engineering, public hearing and subdivision review process.

And be it hereby

FURTHER RESOLVED, that the Planning Board and Zoning Commission hereby determined that this project will not have a significant effect on the environment and hereby directs the Town Planner to file a negative SEQR declaration with the following comments:

1. Retain as many existing trees on the site as possible, have Tree Council review limits of clearing and avoid / protect large trees during construction
2. Include a 10' wide easement along Van Antwerp ROW for a potential future multi-use path
3. Revise subdivision plan so there is no disturbance to wetlands and no grading / disturbance to the 25 foot wetland buffer
4. Utilize reasonable energy conservation practices and sustainable energy for new building.

,and be it hereby

FURTHER RESOLVED that this Planning Board does hereby call for a public hearing to be held on Monday, August 24, 2022 at 7:00 pm in the Niskayuna Town Hall, 1 Niskayuna Circle, to consider the application of Patrick Jarosz, for a 2-lot minor subdivision at 2239 Van Antwerp Rd.

Upon roll call the foregoing resolution was adopted by the following vote:

KEVIN A. WALSH, CHAIRMAN -- Aye
~~GENGHIS KHAN~~
MICHAEL A. SKREBUTENAS -- Aye
CHRIS LAFLAMME -- Aye
PATRICK MCPARTLON -- Aye
DAVID D'ARPINO -- Aye
DACI SHENFIELD -- Aye
~~LESLIE GOLD~~
NANCY STRANG -- Aye

The Chairman declared the same duly adopted.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 3

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: 1747 Union St. – site plan app. for a 492 sq. ft. addition to the existing 1,455 sq. ft. retail and gasoline service station building.

PROJECT LEAD: TBD

APPLICANT: Sal Khan, owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board
☒ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Sal Khan, property owner, submitted an Application for Site Plan Review for the construction of a new single-story 492 sq. ft. addition to the existing single-story 1,455 sq. ft. gas / service station at 1747 Union Street. The addition will relocate the existing 10' x 22' cooler to a newly created space in the back of the building and will also create new space for two additional merchandise racks, resulting in three total merchandise racks inside the building.

The property falls within the C-N Neighborhood Commercial zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists a gasoline service station as a special principal use in the C-N district. It is therefore an allowable use after the approval of a special use permit by the Town Board.

BACKGROUND INFORMATION

Mr. Khan provided a 7-page drawing set entitled "Gas Station Addition 1747 Union Street Schenectady, NY Raizada Mart Sal Khan" by Cobble Court Engineering PLLC dated 7/1/22 with no subsequent revisions. The drawing package includes the following.

- Pages 1 – 3: Design / Build / Construction notes
- Page 4 (S01): Proposed Site Plan
- Page 5 (A01): Existing Floor Plan
- Page 6 (A02): Proposed Floor Plan
- Page 7 (A03): Proposed Rendering and Proposed Front Elevation

Impact on the use of the building

- The hours of operation of the service station will not be impacted by the addition
- The number of employees will not be impacted by the addition

Impact on parking

Gasoline service station – existing condition

Schedule I-D, Part 2, C-N District, column 6, Minimum Required Off-Street Parking Spaces in the Niskayuna Zoning Code states that for a gasoline service station “3 spaces for each service bay plus 1 space for each employee” are required. The site plan shows 7 parking spaces at the site. The existing building does not contain any service bays so the available number of parking spaces complies with the zoning code.

Gasoline service station – proposed condition

The proposed building addition does not add a service bay or any additional employees so the number of available parking spaces is still compliant with code.

Retail convenience store – existing condition

The existing building is similar to a retail convenience store and contains:

- 1 -- 10' x 22' cooler
- 1 -- merchandise rack
- 2 -- enclosed storage areas
- 2 – bathrooms
- 1 – check-out counter

For “Retail convenience stores” Schedule I-D, Part 1, C-N District, column 6 states that “1 space per 225 sq. ft. gross floor area, but not fewer than 4 spaces plus 1 space for each employee” is required. If the building is viewed as a retail convenience store the existing parking space requirement would be $1,455 / 225 = 6.5 = 7$ parking spaces. The site plan shows 7 parking spaces and is therefore compliant with the zoning code for a retail convenience store.

Retail convenience store – proposed condition

The proposed configuration of the building with the addition in place includes all of the items listed above in the existing condition plus the following:

- 492 additional sq. ft. of gross floor area
 - 2 – additional merchandise racks

The parking space requirement would therefore be $(1,455 + 492) / 225 = 8.6 = 9$ parking spaces. The site plan shows 7 parking spaces.

7/11/22 Planning Board (PB) meeting – Mr. Khan presented the project to the PB and a discussion ensued regarding the principal use of the property and the impact that the classification of the use has on the number of parking spaces required by the zoning code.

Gasoline service stations are special principal uses in the C-N zoning district with 3 parking spaces required for each service bay plus one space for each employee. Retail and service stores are permitted principal uses with 1 parking space required for each 225 sq. ft. of gross floor area of the building. The Planning Office (PO) and PB noted that if the addition is approved and the property is viewed as a retail and service store, then 10 parking spaces will be required. The PB asked the PO to investigate how similar businesses in town such as Stewart's Shops and Hari's Mobil compare to code. After additional discussion the PB established the following action items.

1. Provide a site plan with 10 parking spaces with the handicap space closer to the door
2. Provide renderings showing other improvements to the site – landscaping, etc.
3. Explore maximizing parking spaces by possibly eliminating a curb cut
4. Relocate the donation bin
5. Provide anticipated trip visits to the store
6. Add protective bollards in front of the propane tank exchange cage
7. PO – review with Fire & Police
8. PO – draft a summary of how similar businesses match up against the zoning code

7/20/22 Architectural Review Board (ARB) meeting – the ARB reviewed the site plan drawing and rendering of the proposed addition. They noted that the addition is shown as an indistinguishable match and continuation of the existing building. The façade, roofline, materials and colors are an exact match. They approved the addition as shown. They did note that the site was rather messy and could use some overall organization and cleanup.

7/29/2022 Complete Streets Committee meeting – The Complete Streets Committee discussed adding street trees along Union St to provide shade for pedestrians. They also requested better delineation of the entrances onto Van Antwerp, particularly between the gas station and Van Antwerp Road – so that pedestrians had designated spots to look for cars crossing over the sidewalks.

8/3/22 Conservation Advisory Council (CAC) meeting – The CAC reviewed the project at their regularly scheduled meeting on 8/3/22. Mr. Khan and his engineer were not at the CAC meeting and were therefore unable to respond to several questions that were raised by the CAC. The Council noted that they had some time before a recommendation regarding a SEQR determination was necessary so they chose to summarize their questions and allow Mr. Khan to provide responses.

1. Provide a more detailed update of the proposed new plantings & landscaping
2. Work with the pizza restaurant across Van Antwerp of the proposed addition and the impact it may have on the perceived availability of parking spaces and traffic flow.
3. Request Planning Board to assess traffic flow on the lot, particularly around the back of the building, and review the potential need for directional traffic signage. They want to look at the balance of available parking spaces vs. traffic flow on the lot.

The applicant provided the Planning Office (PO) with a revised site plan drawing dated 8/1/22 that addressed many of the action items noted above. The revised plan shows 10 parking spaces, includes the location for proposed landscaping improvements and relocates the handicap accessible parking space closer to the front door of the building.

The Planning Office drafted a document that summarizes how the Planning Board applies the zoning code to the two Stewarts Shops on Balltown Rd. and the Mobil gasoline service station

on Route 7. The document was included in the meeting packet materials. The two Stewart's Shops are considered retail and service stores and the Mobil station is considered a gasoline service station. The business at 1747 Union St. is also a retail and service store.

The site requires an area variance as follows: Section 220-10 (E) (1) of the Niskayuna zoning code includes the following regarding retail and service stores in the C-N zoning district: "permitted principal uses limited to reuse and/or expansion by not more than 25% of an existing building." As applied to the 1,455 square foot existing retail and service store, the allowable area of expansion would be 364 square feet. As proposed, the 7-page drawing set entitled "Gas Station Addition 1747 Union Street Schenectady, NY Raizada Mart Sal Khan" by Cobble Court Engineering PLLC, shows a 492 square foot addition (12 ft. x 41 ft.) to the existing retail and service store building, or a 33.8% expansion. Therefore a 128 square foot (or 8.8%) variance is required.

8/8/22 Planning Board (PB) meeting – The applicant presented the revised site plan drawing to the PB. He stated that quite a few elderly neighbors reside in the neighboring properties and need a place within an easily walkable distance to purchase basic groceries. He stated the requested additional 128 sq. ft. of floor area is dedicated to the retail sale of these types of items. The PB discussed the traffic flow through the property and the location of the 10 parking spaces. The Board requested that the revised plan be reviewed by Town Police and Fire again. The PB made a recommendation to the ZBA that they approve the requested variance at their 8/24/22 ZBA meeting.

8/23/22 Schenectady County Referral Response – the Commissioner of Economic Development and Planning responded on 8/23/22 to the Town's referral application by deferring to local consideration. In the email the Commissioner requested that they be provided with a final site plan drawing of the site prior to site plan approval by the PB.

8/24/22 ZBA meeting – The Zoning Board of Appeals took action on the applicant's request for an area variance for an additional 128 sq. ft. (8.8%) of building area at their regularly scheduled meeting on 8/24/22. The variance was approved with a vote of 7-0. The ZBA requested the applicant comply with advertising signage within Niskayuna.

Mr. Khan provided an updated version of the site plan drawing that includes many of the items requested by the PB.

1. 10 parking spaces are shown
2. Renderings showing landscape improvements were not provided
3. A site plan that included a curb cut was not provided
4. The donation bin was removed
5. An estimate of anticipated trips to the store / gas station was not provided
6. Protective bollards were added
7. The site plan was reviewed with Niskayuna Fire & Police
8. A summary of how similar businesses match up against zoning code requirements was prepared

The next step for the PB is to review the ZBA's decision, review and discuss the updated site plan and determine if the project is at a point where they can call for a tentative resolution for the 9/12/22 PB meeting.

ADDITION
1747 UNION STREET
SCHENECTADY, NY 12345

SHEET

G01
G02
G03
S01
A01
A02
A03

OVERVIEW NOTES
NOTES
NOTES
PROPOSED SITE PLAN
EXISTING FLOOR PLAN
PROPOSED FLOOR PLAN
ELEVATION AND RENDERING

FRAMING NOTES:

1. STRUCTURAL FRAMING MEMBERS SHALL BE SPF #2 OR BETTER UNLESS OTHERWISE STATED.
2. FLOOR SHEATHING SHALL BE GLUED AND NAILED TO FLOOR JOISTS ACCORDING TO NAILING SCHEDULE. ROOF AND WALL SHEATHING SHALL BE NAILED ACCORDING TO NAILING SCHEDULE.
3. SILL PLATES SHALL BE PRESSURE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY.
4. FRAMING MEMBERS SHALL NOT BE CUT OR NOTCHED IN EXCESS TO:
BEARING WALL OR NON BEARING WALL MEMBERS: IRC R602.6.
FLOOR MEMBERS: RESIDENTIAL CODE OF 2015 IRC R502.8
5. PROVIDE SOLID BLOCKING FOR FLOOR JOISTS UNDER ALL INTERMEDIATE BEARING WALLS AND AT ENDS BY FULL DEPTH BLOCKING, PROVIDE BLOCKING EVERY 8' MAX. OF FLOOR JOIST SPAN.
6. ENGINEERED WOOD PRODUCTS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
7. ALL WOOD INCLUDING POSTS LOCATED NEARER THAN 18" (12" FOR GIRDERS) TO EARTH OR LOCATED ON CONCRETE PLACED ON EARTH SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY.
8. HEADERS ARE TO BE BUILT UP (PER CODE) IN FRAMED WALLS U.N.O.-SUPPORT EACH HEADER W/ DOUBLE TRIMMER STUDS WHERE OPENINGS ARE 48" WIDE OR GREATER.
9. FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL). FIRE BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

1.1. IN CONCEALED SPACES OF STUD WALLS, INCLUDING FURRED SPACES, AT CEILING AND FLOOR LEVELS. CONCEALED HORIZONTAL FURRED SPACES SHALL ALSO BE FIRE BLOCKED AT INTERVALS NOT TO EXCEED 10 FT. BATTS OR BLANKETS OF MINERAL OR GLASS FIBER SHALL BE ALLOWED AS FIRE BLOCKING.

1.2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS.
IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL, TO RESIST FIRE PASSAGE OF FLAME AND PRODUCTS OR COMBUSTION.
FIRE BLOCKING OF CORNICES OR A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
10. JOISTS EXCEEDING A NOMINAL 2 X 4 SHALL BE SUPPORTED Laterally BY SOLID BLOCKING, DIAGONAL BRIDGING, OR A CONTINUOUS 1 X 3 STRIP NAILED ACROSS THE BOTTOM OF JOISTS PERPENDICULAR TO JOISTS AT INTERVALS NOT EXCEEDING 8 FT.
11. PROVIDE FULL BEARING SUPPORT FOR ALL BEAMS (EX. 4X BEAMS SUPPORTED BY (2) 2X OR 4X POSTS, 6X/8X BEAMS SUPPORTED BY 6X/8X POST, ETC).
12. HARDWARE IS TO BE "SIMPSON STRONG-TIE" OR EQUAL.
13. ANY WOOD EXPOSED TO EXTERIOR ELEMENTS IS TO BE PRESSURE TREATED, COMPOSITE, WOOD SPECIES OF NATURAL RESISTANCE TO DECAY, STAINED, SEALED, PAINTED, OR WRAPPED W / VINYL OR NON CORROSIVE METAL
14. ALL EXTERIOR WALL HEADERS = (2) 2x10 UNLESS NOTED DIFFERENT. ALL INTERIOR NON-BEARING WALL HEADERS = (2) 2x6 UNLESS NOTED DIFFERENT.

CONSTRUCTION TYPE: V

DESIGN PROVISIONS.....2020 RESIDENTIAL CODE OF NYS

DESIGN LOADS:

ROOF.....40 PSF (SNOW) 15 PSF (DEAD)
ATTIC (W / STORAGE).....20 PSF (LIVE)
ATTIC (W/O STORAGE).....10 PSF (LIVE)
CEILING.....10 PSF (DEAD)
FLOOR (SLEEPING).....30 PSF (LIVE) 12 PSF (DEAD)
FLOOR (NON-SLEEPING).....40 PSF (LIVE) 12 PSF (DEAD)
STAIRS.....40 PSF (LIVE)
HANDRAILS.....200 LBS (ANY POINT/DIRECTION)
DECKS.....40 PSF (LIVE)
EXTERIOR BALCONY.....40 PSF (LIVE)

WIND LOADS:

BASIC WIND SPEED (3 SECOND)
GUST.....110MPH
IMPORTANCE FACTOR
(Iw).....1.0
HIGHEST POINT OF ROOF
(FT).....N/A
TOPOGRAPHIC FACTOR
(Kzt).....1.0
EXPOSURE CATEGORY: C

NAILING SCHEDULE: PER R602.3(1)

TOP PLATE TO STUD (END NAIL).....2-16D COMMON
STUD TO SOLE PLATE (END NAIL).....2-16D COMMON
STUD TO SOLE PLATE (TOE NAIL).....4-8D COMMON OR 3-16D BOX
DOUBLE TO PLATES.....10D BOX @ 12" OC
DBL TOP PLATE LAP SPLICE.....8-16D COMMON
TOP PLATES LAPS (INTERSECTION).....3-10D BOX
SOLE PLATE TO JOISTS OR BLOCKING.....16D COMMON @ 16" OC
CEILING JOISTS TO TOP PLATE (TOE-NAIL).....3-8D COMMON
CEILING JOISTS OVER PARTITION.....4-10D BOX
CEILING JOISTS TO PARALLEL RAFTER.....PER R802.5.1(9)
RAFTER TO TOP PLATE (TOE-NAIL).....3-16D BOX
1X BRACE TO STUD/PLATE.....2-8D COMMON
JOISTS TO SILL PLATE (TOE-NAIL).....3-8D COMMON
RAFTER TO RIDGE, HIP OR VALLEY (TOE-NAIL).....4-16D BOX
RAFTER TO RIDGE, HIP OR VALLEY (END-NAIL).....3-16D BOX
RAFTER-TIES TO RAFTER.....4-8D BOX
SUBFLOOR TO FLOOR JOISTS.....6D COMMON @ 6"OC EDGE 12" OC FIELD
WALL SHEATHING TO STUD.....6D COMMON @ 6" OC EDGE 12" OC FIELD
ROOF SHEATHING TO RAFTER/TRUSS.....8D COMMON @ 6" OC EDGE 12" OC FIELD

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PAGE CONTENT:
COVER SHEET / NOTES

DESIGNER: MIKE T.	ENGINEER: DCK
PAPER SIZE: C (18"x24")	SCALE: AS NOTED

SHEET:
G01

GENERAL NOTES:

DESIGNED IN ACCORDANCE WITH THE 2020 BUILDING CODE OF NYS

DIMENSIONS TO, OF, AND IN EXISTING STRUCTURE SHALL BE VERIFIED IN FIELD BY CONTRACTOR.

DO NOT SCALE DRAWINGS. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES IN DIMENSIONS BETWEEN EXISTING CONDITIONS AND / OR ARCHITECTURAL DRAWINGS AND THE STRUCTURAL DRAWINGS.

DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.

DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

DIMENSION AND NOTES THAT INCLUDE THE WORD "TYPICAL" REFER TO ALL SIMILAR DETAILS UNLESS OTHERWISE STATED.

THE NOTES ON THIS DRAWING ARE TYPICAL UNLESS NOTED OTHERWISE.

BRACE BUILDING UNTIL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: ROOF DECK, CONNECTION TO EXISTING BUILDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING DURING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION AND COMPLY WITH ALL APPLICABLE SAFETY REGULATIONS.

CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF PROPOSED DEVIATIONS OR SUBSTITUTIONS FROM DIMENSIONS, MATERIALS, OR EQUIPMENT SHOWN ON THE DRAWINGS AND MAKE ONLY THOSE DEVIATIONS OR SUBSTITUTIONS ACCEPTED BY THE ENGINEER.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION SAFETY.

ALL DOORS AND WINDOWS TO BE INSTALLED ACCORDING TO THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTIONS.

UNLESS SPECIFIED, ALL ROOM FINISHES, APPLIANCES, FIXTURES, HARDWARE, TRIM AND ARCHITECTURAL DETAILS ARE TO BE DETERMINED AND INSTALLED ACCORDING TO ALL BUILDING CODES AND THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTION.

INSTALL 1/2" GYPSUM ON WALLS AND CEILING. INSTALL MOISTURE RESISTANT GREENBOARD GYPSUM IN ALL BATH, KITCHEN, AND OTHER WET AREAS.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE STATE AND LOCAL BUILDING CODE REQUIREMENTS. DETAILS OF CONSTRUCTION UNLESS NOTED OTHERWISE

CONTRACTOR SHALL PERFORM ALL MISCELLANEOUS REMOVALS, MODIFICATIONS, CONSTRUCTION AND CLEAN-UP REQUIRED TO COMPLETE THE GENERAL SCOPE OF THIS PROJECT.

NO SITE INSPECTIONS DURING CONSTRUCTION ARE TO BE MADE BY THIS OFFICE. CONTRACTOR TO BE RESPONSIBLE FOR MATERIALS AND WORKMANSHIP. SUBSTITUTIONS FOR MATERIALS SPECIFIED TO BE MADE WITH PERMISSION OF LOCAL BUILDING DEPARTMENT.

ALL PLUMBING, HVAC, ELECTRICAL AND FIRE SYSTEMS ARE BY OTHERS. LOCATION DESIGN AND INSTALLATION OF ALL NOTED ABOVE ARE TO BE COMPLETED BY LICENSE INDIVIDUALS ACCORDING TO ALL BUILDING CODE AND THE MANUFACTURERS PRODUCT INSTALLATION INSTRUCTION.

CONTRACTOR TO BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING, ELECTRICAL, MECHANICAL, SANITARY AND ENERGY CONSERVATION CODES, STATE AND / OR LOCAL.

CONTRACTOR TO BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES AND SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

THE CONTRACTOR / OWNER SHALL REQUEST LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY DIGGING.

THE CONTRACTOR SHALL INDEMNIFY THE OWNER AND HIS AGENTS THROUGH ADEQUATE INSURANCE COVERAGE AGAINST ANY CLAIMS ARISING FROM INJURIES DURING CONSTRUCTION, OR FAILURE TO MAINTAIN SAFE CONDITIONS ON THE CONSTRUCTION SITE.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR, OWNER OR BUILDER OF THIS RENOVATION TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THESE DRAWINGS.

THESE PLANS COMPLY WITH ALL THE CODES, PROVISIONS AND INTENT OF THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE PURSUANT TO ARTICLE 2 OF THE ENERGY LAW. LOCAL CODE REQUIREMENTS SHALL TAKE PRECEDENCE WHERE DISCREPANCIES OCCUR.

ANY ERRORS, OMISSIONS OR DISCREPANCIES IN THESE PLANS SHALL BE REPORTED IN WRITING TO THE ENGINEER BEFORE START OF CONSTRUCTION AND SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209.

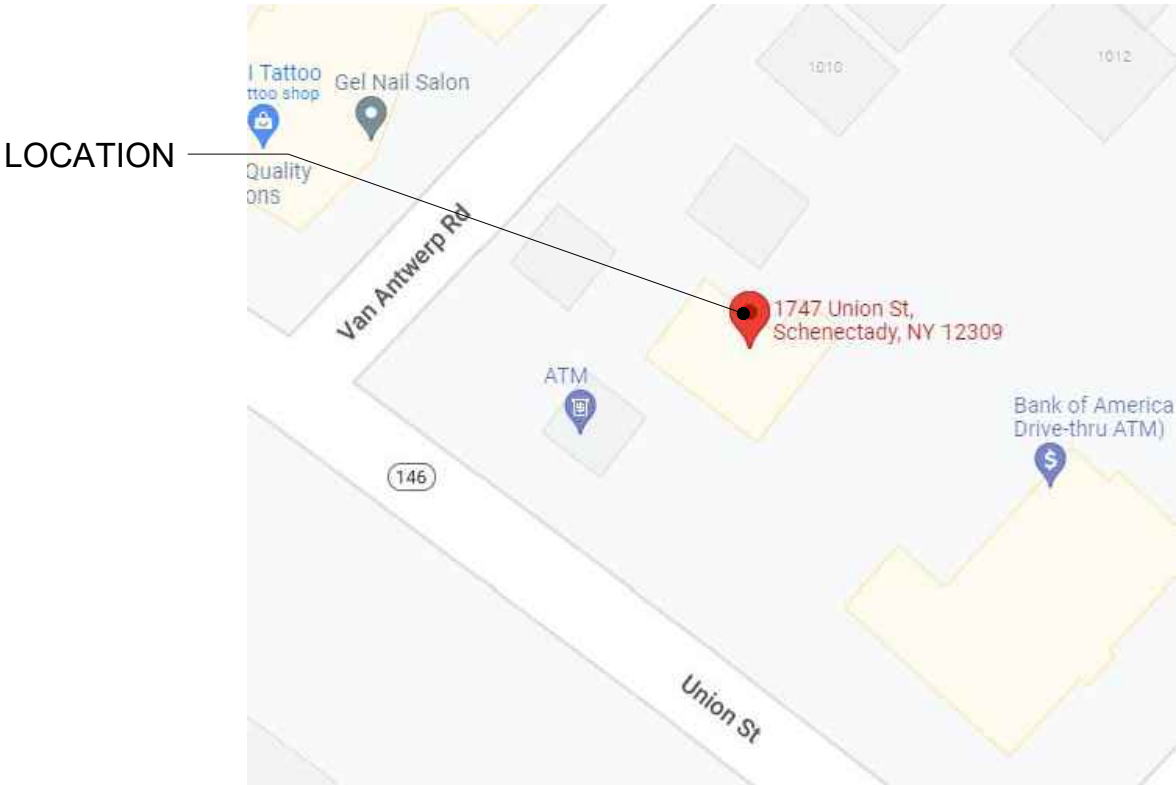
HOLD HARMLESS THE ENGINEER, THE CONSTRUCTION MANAGER, THE OWNER AND THEIR AGENTS LOSS, DAMAGE, LIABILITY OR ANY EXPENSE ARISING IN ANY MANNER BY THE INDEPENDENT CONTRACTOR OR THEIR RESPECTIVE EMPLOYEES, INCLUDING SHALL BE THE STATE SCAFFOLDING ACT.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR COMPLETED WORK.

CONTRACTOR IS TO FOLLOW ALL MANUFACTURERS PRODUCT INSTALLATION AND INSTRUCTION.

WHENEVER A VALUE OR SIZE IS IN CONFLICT THE MORE STRINGENT VALUE OR SIZE WILL APPLY.

SMOKE DETECTORS AND CARBON MONOXIDE ALARMS TO BE INSTALLED ACCORDINGLY THROUGHOUT THE BUILDING.



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NOTES

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SHEET:	G02
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FOUNDATION NOTES:

1. FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIALS AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
2. SOIL BEARING PRESSURE ASSUMED TO BE 2500 PSF.
3. ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
4. CONCRETE:

BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER: 3000 PSI

BASEMENT & INTERIOR SLABS ON GRADE: 3000 PSI

BASEMENT WALLS & FOUNDATIONS EXPOSED TO WEATHER: 3000 PSI
5. CONCRETE SIDEWALKS TO HAVE TOOLED JOINTS AT 5' O.C. (MINIMUM)
6. REINFORCED STEEL TO BE A-615 GRADE 40. WELDED MESH WIRE TO BE A-185.
7. COVER ENTIRE CRAWLSPACE WITH 6 MILL BLACK "VISQUEEN" AND EXTEND UP FOUNDATION WALLS TO P.T. MUDSILL.
8. PROVIDE A MINIMUM OF 1 SQ. FT OF VENTILATION AREA FOR EACH 150 SF OF CRAWLSPACE AREA. VENTS ARE TO BE CLOSABLE WITH OPENINGS IN CORROSIVE RESISTANT SCREEN. POST NOTICE RE: OPENING VENTS ARE FOR ELECTRICAL PANEL.
9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH #55 ROLL ROOFING.
10. PROVIDE CRAWLSPACE DRAIN AS PER CODE.
11. DAMP PROOF BASEMENT WALL BEFORE BACKFILLING, PROVIDING A 4" PERFORATED DRAIN TILE BELOW THE TOP OF THE FOOTING.
12. DAY STRENGTH AND NOT BEFORE STRUCTURAL FLOOR FRAMING (INCLUDING SUB-FLOOR) IS IN PLACE (FRAMING MUST BE FULLY NAILED AND ANCHORED).
13. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3500 PSI AT 28 DAYS FOR ALL CONCRETE.
14. CONCRETE SHALL BE AIR ENTRAINED AND SHALL BE PLACED IN ACCORDANCE WITH ACI 318-11 LATEST EDITION.
15. FORMS SHALL CONFORM TO THE SHAPE, LINES GRADE AND DIMENSIONS INDICATED ON THE DRAWINGS. THEY SHALL BE SUBSTANTIAL AND SUFFICIENTLY TIGHT TO PREVENT LEAKAGE OF MORTAR, AND SHALL NOT DEFLECT UNDER THE WEIGHT OF THE WET CONCRETE OR CONSTRUCTION LOADS. THEY SHALL BE PROPERLY BRACED OR TIED TOGETHER SO AS TO MAINTAIN POSITION AND SHAPE, AND INSURE THE SAFETY OF WORKMEN AND PASSERBY.
16. IF APPLICABLE, CONCRETE POUR FOR THE HOUSE FOUNDATION AND THE GARAGE FOUNDATION ARE TO BE A CONTINUOUS POUR WHERE MEET.
17. CONCRETE CONSTRUCTION JOINTS ARE TO BE INSTALLED EVERY 100' MAXIMUM AROUND THE BASEMENT WALL PERIMETER TO AVOID WALL CRACKS.

PLACING CONCRETE:

PLACING CONCRETE BEFORE INITIAL SET HAS OCCURRED, AND IN NO EVENT AFTER IT HAS CONTAINED ITS WATER CONTENT FOR MORE THAN ONE HOUR. PLACE ALL CONCRETE ON CLEAN, DAMP SURFACES, FREE FROM WATER, OR UPON PROPERLY CONSOLIDATED FILLS, BUT NEVER UPON SOFT MUD, DRY POROUS EARTH, OR FROZEN GROUND.

PLACING CONCRETE CONTINUED:

DEPOSIT CONCRETE CONTINUOUSLY AND AS RAPIDLY AS PRACTICAL UNTIL THE UNIT OF OPERATION IS COMPLETED.

CONSOLIDATE ALL CONCRETE BY VIBRATION SO THAT THE CONCRETE IS THOROUGHLY WORKED AROUND THE REINFORCEMENT, AROUND IMBEDDED ITEMS, AND INTO CORNERS OF FORMS, ELIMINATING ALL AIR OR STONE POCKETS WHICH MAY CAUSE HONEY-COMBING, PITTING, OR PLANES OF WEAKNESS. USE MECHANICAL VIBRATORS WITH A MINIMUM FREQUENCY OF 7,000 REVOLUTIONS PER MINUTE, OPERATED BY COMPETENT WORKMEN. USE OF VIBRATORS AT MANY POINTS FROM 18 TO 30 INCHES APART FOR A 5 TO 10 SECOND DURATION. KEEP A SPARE VIBRATOR ON THE JOB DURING ALL CONCRETE PLACING OPERATIONS.

EXERCISE CARE IN PLACEMENT OF CONCRETE FOR SLABS OR GRADE OVER A VAPOR BARRIER. AVOID PUNCTURING OR TEARING VAPOR BARRIER DURING TRANSPORTATION AND PLACEMENT.

THE PLACING OF CONCRETE SHALL BE CARRIED ON CONTINUOUSLY BETWEEN CONSTRUCTION JOINTS SHOWN ON THE DRAWINGS. IF FOR ANY REASON IT SHALL BECOME NECESSARY TO STOP THE PLACING OF CONCRETE AT PLACES OTHER THAN THOSE INDICATED ON THE DRAWINGS, SUCH PLACES SHALL HAVE THE APPROVAL OF THE ENGINEER AND THE MANNER OF MAKING THE JOINT SHALL BE APPROVED. EXTRA REINFORCING MAY BE REQUIRED IF ADDT'L CONSTRUCTION JOINTS ARE USED.

PROVIDE ADEQUATE PROTECTION AGAINST RAIN, SLEET, AND SNOW BEFORE AND DURING PLACEMENT AND FINISHING OF CONCRETE. PROVIDE ADEQUATE PROTECTIVE MEASURES TO MAINTAIN THE TEMPERATURE OF THE CONCRETE AS SPECIFIED.

TIE HOLES LEFT BY WITHDRAWAL OF RODS OR THE HOLES LEFT BY REMOVAL OF END OF TIES SHALL BE FILLED WITH MORTAR. FOR HOLES PASSING ENTIRELY THROUGHOUT THE WALL, A PLUNGER TYPE GREASE GUN OR OTHER DEVICE SHALL BE USED TO FORCE THE MORTAR THROUGH THE WALL STARTING AT THE BACK FACE.

ANY CONCRETE WORK NOT FORMED AS SHOWN ON THE PLANS OR FOR ANY REASON IS OUT OF ALIGNMENT OR LEVEL OR SHOWS A DEFECTIVE SURFACE SHALL BE CONSIDERED AS NOT CONFORMING WITH THE INTENT OF THESE SPECIFICATIONS AND SHALL BE REMOVED FROM THE JOB BY THE CONTRACTOR AT HIS EXPENSE UNLESS THE ENGINEER GRANTS PERMISSION TO PATCH THE DEFECTIVE AREA WHICH SHALL BE DONE IN ACCORDANCE WITH THE FOLLOWING PROCEDURE. PERMISSION TO PATCH ANY SUCH AREA SHALL NOT BE CONSIDERED A WAIVER OF THE ENGINEERS RIGHT TO REQUIRE COMPLETE REMOVAL OF THE DEFECTIVE WORK IF THE PATCHING DOES NOT, IN HIS OPINION, SATISFACTORILY RESTORE THE QUALITY AND APPEARANCE OF THE SURFACE.

IF APPLICABLE THE COMPRESSIVE STRENGTH OF EXISTING CONCRETE SLAB (f ' c)=2500 PSI MINIMUM STEPPED FOOTING TO BE INSTALLED PER SITE REQUIREMENTS. MIN 24 IN. DOWN AND 48 IN. OVER.

STEEL REINFORCEMENT

1. ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM NEW BILLET STEEL, GRADE 60, DEFORMED BARS, IN ACCORD WITH STANDARD SPECIFICATIONS ASTM A 15 LATEST EDITION.
2. STEEL REINFORCEMENT SHALL CONSIST OF FURNISHING AND PLACING BAR STEEL OR STEEL FABRIC REINFORCEMENTS AS SHOWN ON THE PLANS AND REQUIRED BY THE CONTRACT. FOR REINFORCEMENT IN FLOOR SLABS PLACED ON EARTH, THE REINFORCING SHALL BE SUPPORTED BY MASONRY BLOCKING OF PROPER HEIGHT TO INSURE THAT THE REINFORCING MATERIAL WILL BE PLACED IN THE CENTER OF SUCH SLABS. WHERE WIRE MESH IS USED IN FLOOR SLABS, IT SHALL BE 6" BY 6" / #6 X #6 GAUGE WELDED WIRE. ALL MESH SHALL BE LAPPED A MINIMUM OF 6 INCHES. UNLESS THE PLANS SHOW SPECIFIC SPACING, THE MINIMUM CLEAR SPACING BETWEEN THE EDGE OF THE BARS AND THE EXTERIOR SURFACE OF ALL POURED CONCRETE SHALL BE 1-1/2 TIMES THE MAXIMUM NOMINAL SIZE OF THE CONCRETE AGGREGATE. HOWEVER CLEAR SPACING SHALL NOT BE LESS THAN 3" WHEN THE CONCRETE IS CAST AGAINST EARTH. IF FOR ANY REASON, REINFORCING STEEL HAS TO BE PLACED CLOSER THAN 1-1/2 INCHES TO ANY FORM, THE CONTRACTOR SHALL OBTAIN THE ENGINEER'S APPROVAL OF SUCH PLACEMENT BEFORE THE POUR IS MADE.

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GAS STATION ADDITION

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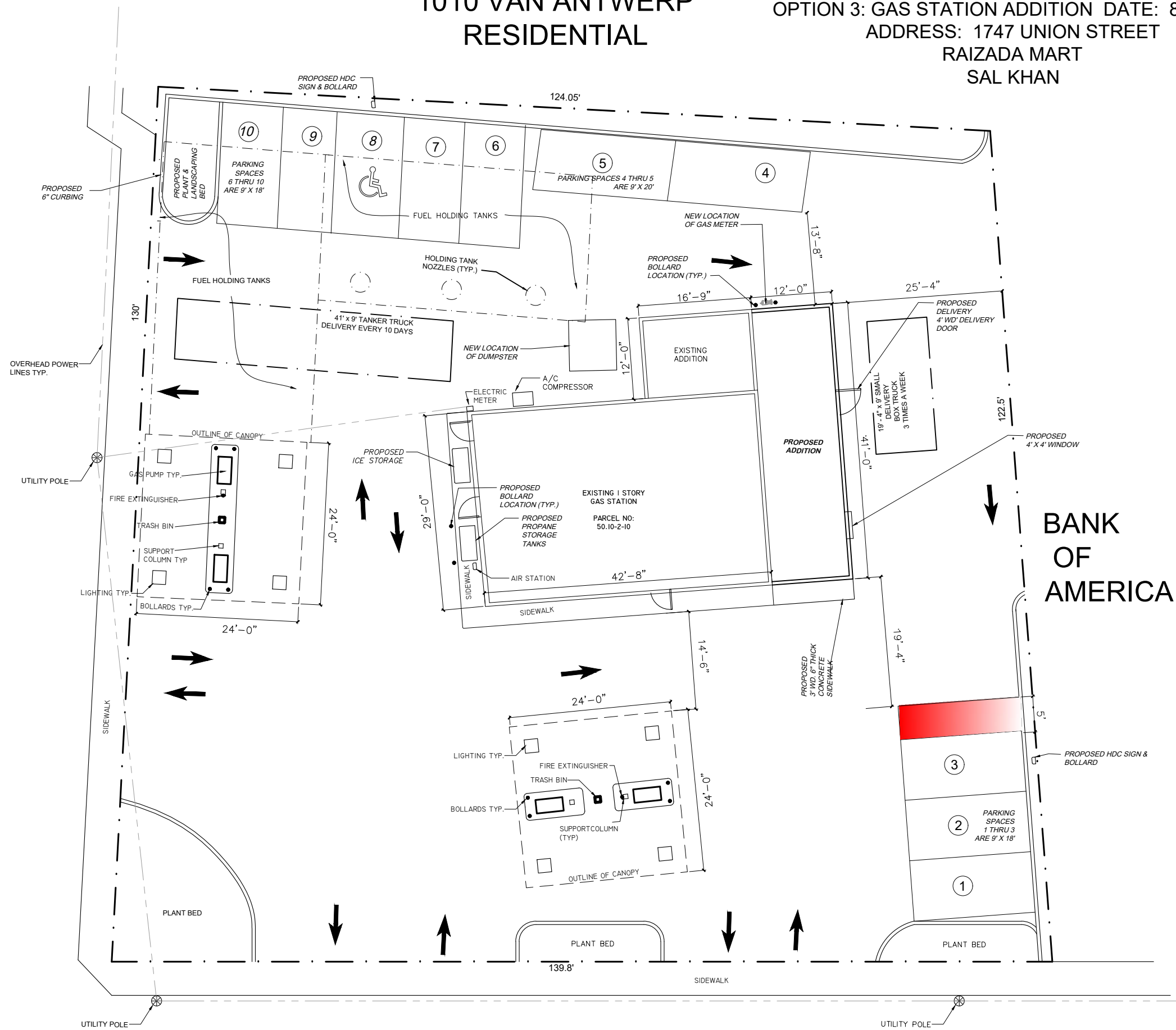


VAN ANTWERP ROAD

1010 VAN ANTWERP
RESIDENTIAL

PARCEL NO. 50.10-2-10
ZONING CODE CN
TOTAL ACREAGE 0.38 AC

OPTION 3: GAS STATION ADDITION DATE: 8/24/2022
ADDRESS: 1747 UNION STREET
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PROPOSED GROSS FLOOR
AREA = 1947 SQ.FT.
225 SQ.FT PER PARKING
SPACE.

1947 / 225 = 8.65 SPACES
FOR CUSTOMERS
1 SPACE FOR EMPLOYEE
THEREFORE: 10 SPACES

EXISTING BUILDING:
OVERALL AREA = 1,455 SQ.FT.

PROPOSED BUILDING:
OVERALL AREA = 1,947 SQ.FT.

PROPOSED SITE PLAN
SCALE: NTS

UNION STREET

BANK
OF
AMERICA

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SITE PLAN

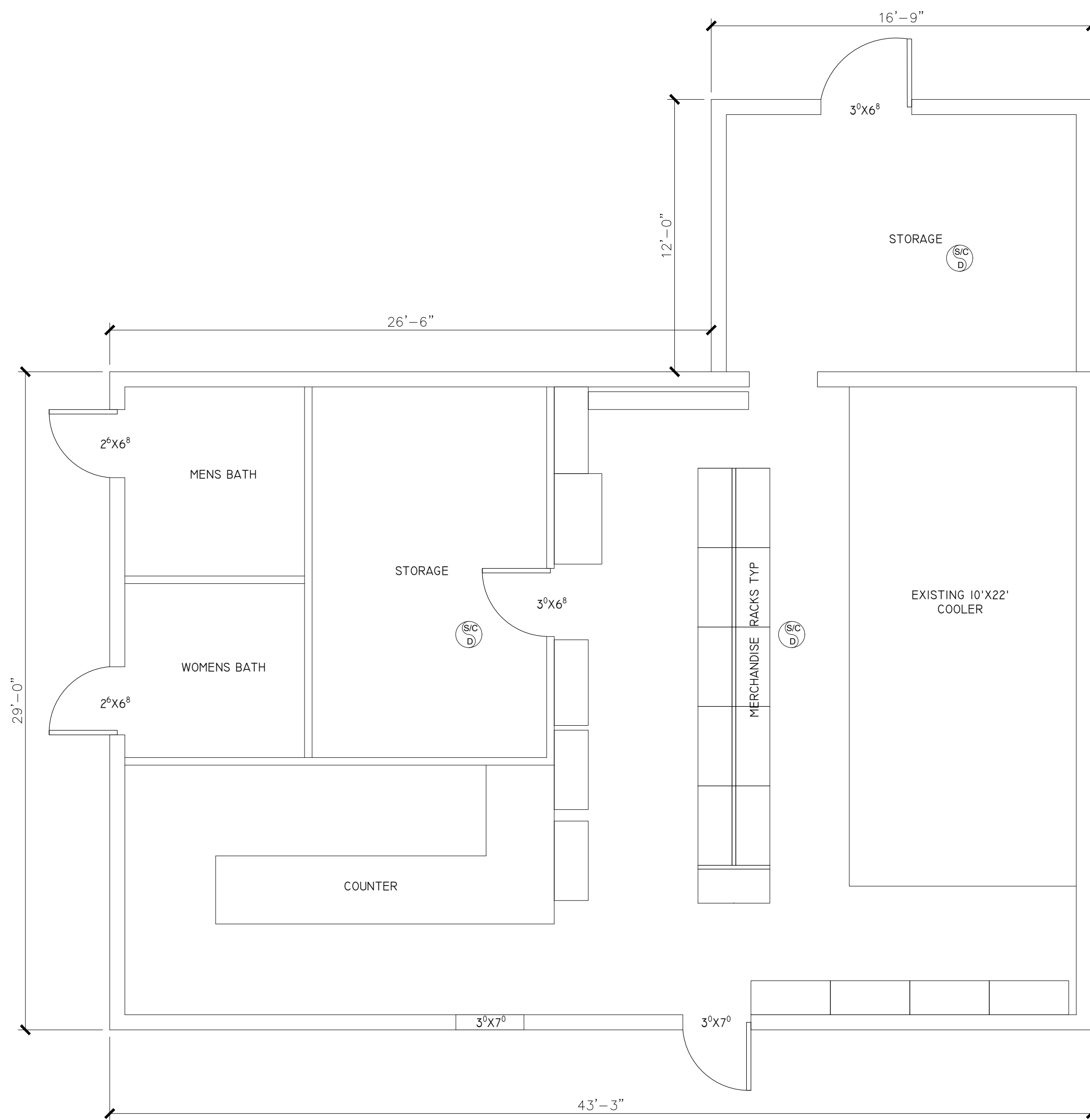
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EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

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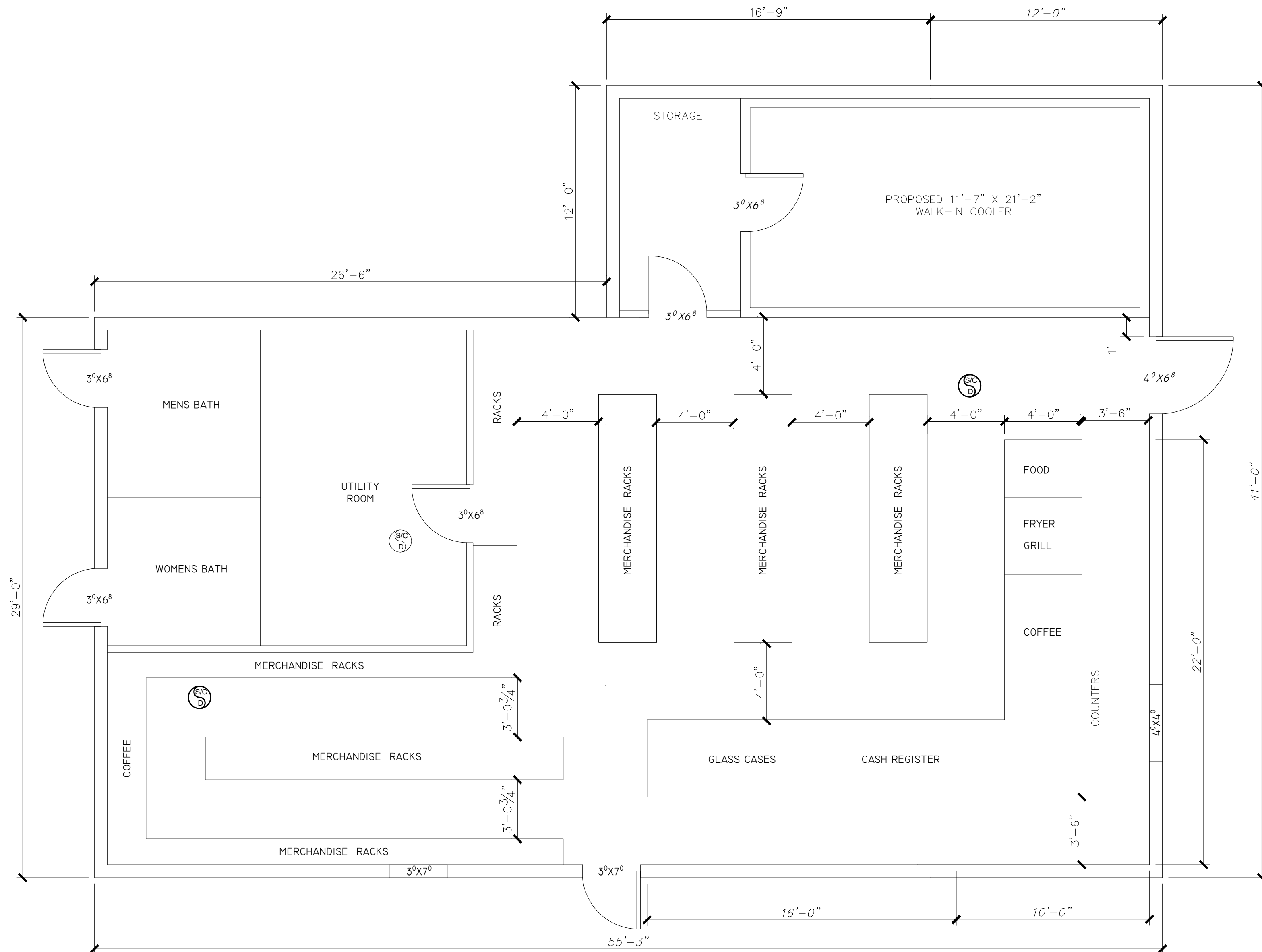
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EXISTING FLOOR PLAN

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PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

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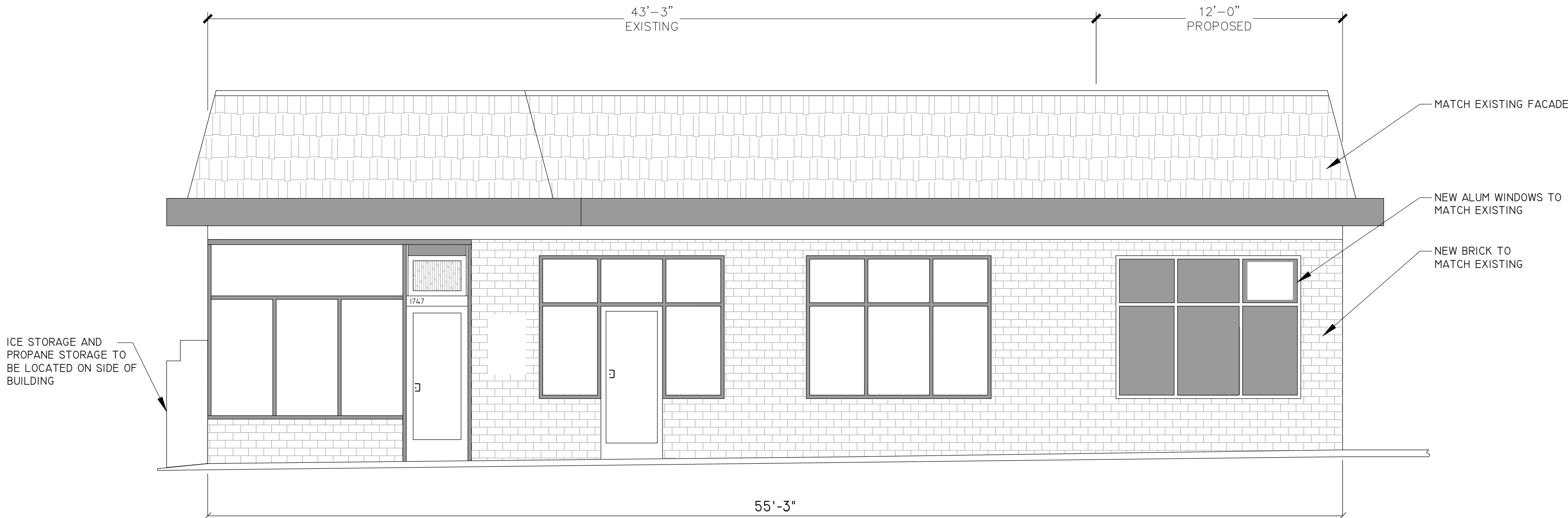
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PROPOSED RENDERING



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Addition to Raizada Mart			
Project Location (describe, and attach a location map): 1747 Union Street, Schenectady, NY			
Brief Description of Proposed Action: Adding an Additon to the east side of the gas station building of 12' wide by 41' long. Refer to sheet SO1 of the construction plans. The addition will improve access to food & drink for the local community.			
Name of Applicant or Sponsor: Daniel C Kaufman P.E		Telephone: (518) 956-1282	
		E-Mail: dckengnypa@outlook.com	
Address: 511 Walnut Drive			
City/PO: Clifton Park		State: NY	Zip Code: 12065
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?		NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?		NO	YES
If Yes, list agency(s) name and permit or approval:		<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		_____ acres	
b. Total acreage to be physically disturbed?		_____ acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ acres	
4. Check all land uses that occur on, are adjoining or near the proposed action:			
<input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			



←
NORTH

LOCATION MAP

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input type="checkbox"/> Wetland	<input checked="" type="checkbox"/> Urban	<input type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?	NO	YES
If Yes,	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If Yes, briefly describe:		
<i>The stormwater established direction of flow will not be changed by the Addition.</i>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?	NO	YES
If Yes, explain the purpose and size of the impoundment:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?	NO	YES
If Yes, describe:	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE		
Applicant/sponsor/name: <i>Daniel C Kautman P.E.</i> Date: <i>7/6/2022</i>		
Signature: <i>Daniel C Kautman</i> Title: <i>Professional Engineer</i>		



PLANNING & ZONING COORDINATION REFERRAL

Case No. N-06-22

Applicant Sal Khushnood

Referring Officer Laura Robertson

Municipality Niskayuna

Considerations: Regarding an existing convenience store/gas station, requesting an area variance to construct a 12' x 41' (492 SF) addition resulting in a 33.8% expansion which exceeds the maximum permitted expansion of 25%. Located on the northeasterly corner of the Van Antwerp Rd. (CR 21) and Union Street (SR 146) intersection immediately east of the City line.

RECOMMENDATION

Receipt of zoning referral is acknowledged on August 3, 2022. Please be advised that the undersigned Commissioner of Economic Development and Planning of the County of Schenectady (having under the Schenectady County Charter the powers and duties of a County Planning Board) has reviewed the proposed action stated on the opposite side of this form and makes the following recommendations:

- ☐ *Approve of the proposal.
- ☒ Defer to local consideration (No significant county-wide or inter-community impact)
- ☐ Modify/Conditionally Approve. Conditions:

☐ Advisory Note:

☐ Disapprove. Reason:

*A recommendation of approval should not be interpreted that the County has reviewed all local concerns and/or endorses the project; rather the proposed action has met certain County considerations.

Section 239-m of the general Municipal Law requires that within 30 days after final action, the referring body shall file a report of the final action it has taken with the Schenectady County Department of Economic Development and Planning. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.

8/23/22
Date

Ray Gillen / SR
Ray Gillen, Commissioner
Economic Development and Planning



Town of Niskayuna**M E M O R A N D U M**

TO: File

FROM: Laura Robertson, Town Planner

DATE: August 8, 2022

RE: 1747 Union Street – Raizada Mart Gas Station addition

At a regular Planning Board and Zoning Commission (PB) meeting held on August 8, 2022 the PB reviewed the appeal by Sal Khshnood for a variance from Niskayuna Zoning Code Section 220-10 as it applies to the property at 1747 Union St., Niskayuna, New York located in the C-N Neighborhood Commercial Zoning District, for an Application for Site Plan Review for the construction of a new single-story 12 ft. x 41 ft. (492 sq. ft.) addition to the existing single-story 1,455 sq. ft. retail and service store / gas station on the property. The retail and service store / gas station is a permitted principal use in the C-N zoning district. An area variance for the size (area) of the proposed addition is required.

Niskayuna Zoning Code Section 220-10 (E) (1) for retail and service stores states: “permitted principal uses limited to reuse and/or expansion by not more than 25% of an existing building.” As applied to the 1,455 sq. ft. existing building the allowable area of expansion would be 364 sq. ft. ($1,455 * .25 = 364$). As proposed, the 7-page drawing set entitled “Gas Station Addition 1747 Union Street Schenectady, NY Raizada Mart Sal Khan” by Cobble Court Engineering PLLC dated 7/1/22 with no subsequent revisions shows a 12 ft. x 41 ft. (492 sq. ft.) addition to the existing building, or a 33.8% ($492/1,455*100=33.8$) expansion. Therefore a 128 ($492-364=128$) square foot (or 8.8%) ($33.8-25=8.8$) variance is required.

The Conservation Advisory Council (CAC) reviewed the project during their regularly scheduled meeting on 8/3/22 and requested adding more landscaping to the property.

The Complete Streets Committee reviewed the project on 7/29/2022 and requested better delineation of the entrances and exits onto Van Antwerp Road to protect pedestrians.

The Planning Board made the following recommendations:

Effect on the Comprehensive Plan – A Planning Board voted of 6 – 1 that the project has no effect on the Comprehensive Plan. The one member who voted that the project indicated their concern about the impacts that expanding the building may have on pedestrian safety.

Suitability of Use – The Planning Board voted 6 – 1 that the proposal was a suitable use. One member stated that although the traffic flow on the site may not be ideal there are several similar businesses / sites within town that have less circulation. They also noted this project affords the Planning Board the opportunity to require a general cleanup of the building and surrounding grounds. The Board member who voted that the proposed project was not a suitable use believed the 25% expansion allowed in the zoning code is sufficient and the benefit could be achieved within the 25% limit.

RECOMMENDATION - The Board voted 6 - 1 to recommend that the Zoning Board of Appeals (ZBA) grant the area variance.



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 4

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: Site plan app for outside seating area and parking space changes at The Broken Inn at 2207 2209 Nott St.

PROJECT LEAD: David D'Arpino

APPLICANT: Thomas Nicchi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Thomas Nicchi, of Stand Up Global and agent for the owner, submitted an Application for Site Plan Review for permanent outdoor seating as a follow-up to the emergency temporary seating.

BACKGROUND INFORMATION

2207 2209 Nott Street is located within the C-N Commercial Neighborhood Zoning district and Town Center Overlay District. Section 220-10 District regulations E C-N Neighborhood Commercial District (3) Special principal uses (d) Restaurants, sit-down or take-out (no vehicle pickup and ordering facilities) allows a restaurant to be located in the C-N district upon granting of a special permit by the Town Board. The Town Board granted a special use permit on December 22, 2020 to allow a restaurant with bar, sit-down or take-out (no vehicle pickup and ordering facilities) by Resolution No. 2020-327.

Mr. Nicchi opened the restaurant in the early spring of 2022. As the temperatures began to rise, and the activity at the walk-up ice cream window began to increase, he noticed patrons collecting along the west façade to queue up in line for the widow or to socialize as they enjoyed their ice cream. He submitted a proposal to create a temporary outdoor seating area is intended to create a safe queuing and gathering area. He received temporary approval for the outdoor seating with the intention to observe how the temporary seating area functions and apply that learning to a more permanent solution in the future.

ANALYSIS OF TEMPORARY SEATING

1. Parking

During the public input opportunities associated with the Planning Board site plan review and Town Board special use permit review of the initial proposal to locate a sit-down restaurant with take-out window (no vehicle pickup or ordering facilities) at this location within the Co-op Plaza, parking availability was discussed and analyzed at length. A very detailed report was prepared that documents the zoning code based parking space requirements for 2207 / 2209 Nott Street and the entire Co-op Plaza. The report also includes an actual count of the existing parking spaces and the spaces that will exist after the Schenectady County redesign of the Co-op Plaza area of Nott. St. A summary of that analysis is included below. The complete report is saved in the project folder for the proposed temporary outdoor seating project.

Design Condition	Parking contiguous to 2207 / 2209 Nott St	Parking in entire Co-op Plaza parking lots
Current condition	21	115
Post Sch Cty proj	21	103
With Broken Inn outdoor seating	18	100

As noted in the complete report, the Co-op Plaza is “pre-existing nonconforming” relative to the Niskayuna zoning code that was first adopted in approximately 1971. The Co-op Plaza as a whole never had enough parking spaces to meet the current zoning code and in fact functions effectively in its current configuration. As noted above, the Schenectady County Nott St. reconfiguration project was approved with its 12 parking space reduction from the current condition. The proposed redesign for temporary outdoor seating will reduce available parking by 3 spaces.

2. Safety of patrons from vehicular traffic and parking

The Planning Board should consider and discuss the safety of patrons gathered in the proposed temporary outdoor seating area since that area is contiguous to a row of parking spaces where vehicles will be entering and exiting on a routine basis.

3. Queue area for the ice cream and take out windows

The Planning Board should consider and discuss how patrons will safely queue up for the take out windows since the windows are in the immediate vicinity of an active parking area.

4. Noise, garbage, parking demand & lighting

The creation of a temporary outdoor seating area would seem to produce an increase in noise and garbage and possibly increase the need for more parking and lighting. Although the outdoor seating area does not meet the definition of Gross Floor Area which drives parking space requirements an additional 833 sq. ft. plus seating area would seem to have an incremental impact.

The Police Chief, Highway Superintendent, Town Planner & members of the Planning Office held a meeting at 2009 Nott St. to discuss design options. An agreement was reached and a site plan was drafted by Mr. Nicchi’s engineer showing a temporary queuing and seating area and protective barriers to isolate patrons from vehicular traffic and cars entering and exiting the parking area. After a final review with the parties mentioned above, Ms. Robertson wrote an email to Mr. Nicchi approving the emergency site plan changes (attached).

6/8/22 Conservation Advisory Council (CAC) meeting – the proposal for outdoor seating was discussed during the CAC's 6/8/22 meeting. The CAC was supportive of the concept but would like to see more details. Ms. Robertson noted that emergency measures were in place for pedestrians using the ice cream window but now a thorough review of parking and outdoor dining/seating is needed. She stated that a more holistic review of parking, seating, lighting, noise etc. will be required before a larger plan could be approved.

NEXT STEPS AFTER TEMPORARY SEATING APPROVAL

1. Planning Board: The area is adjacent to a construction zone and looks like a construction zone itself for safety reasons. The Planning Board needs to work with Mr. Nicchi on an actual outdoor area for the Broken Inn that is visually stimulating and far more welcoming.
 - a. There were over 160 comments in favor of some form of outdoor seating by the public
 - b. There were several concerns expressed about parking, lighting and hours of operation as well as what the use of the outdoor seating area would be.
 - c. The current configuration can offer insight to how a more permanent solution will affect the area – but some of the impact is limited due to the major construction all around the project.
2. Owner: Mr. Nicchi needs to update his site plan application to put forward his best holistic plan for the area – including changes to parking / outdoor seating areas / and landscaping. He will also need to submit a special use permit application. The review of this proposal will include a public hearing and referral to the Town Board for modification of the special use permit.

FOLLOW UP SUBMITTAL: REDESIGN FOR OUTDOOR DINING

8/23/22 -- Mr. Nicchi submitted a 1-page statement of need / project narrative document, a 1-page colored exterior rendering and a 1-page dimensioned site plan drawing authored by MJ Engineering and Land Surveying, P.C. for the reconfiguration of the area along the Clifton Park Road side of Langes Pharmacy building at 22076 / 2209 Nott St. Mr. Nicchi's proposal is to create an approximately 80' x 20' area divided into three distinct areas and functions. The portion closest to Nott St. would be dedicated to bicycle racks, the area abutting the bike area would be configured for outdoor dining including waitress / waiter service from the restaurant and the final third of the space would be dedicated to a queuing and bench-type seating area for the ice cream window. The colored exterior rendering includes string lighting over the dining area, large landscape planter boxes that help frame the three spaces and a visual representation of how vehicles would be parked along Clifton Park Road and the beginning of the alley running parallel to Nott St.

The dimensioned site plan drawing indicates 17 parking spaces contiguous to the building including 1 handicap accessible space.

The applicant is appearing at the meeting this evening to present the proposal.



2209 Nott Street – Exterior seating detail

For both customer comfort and safety we request permission to place an exterior seating and gathering area on the Clifton Park Rd side of our building. Our plan has been drawn up by MJ Engineering to work in concert with the new Nott Street construction which they designed as well.

OBJECTIVE:

To create an outdoor space where people can safely gather to sit, to eat/drink, and park their bicycles. This outdoor space would make the intersection of Clifton Park Rd and Crescent Rd safer for pedestrians and motorists and would add an additional 5 parking spaces to the plaza.

SAFETY:

At present there is a temporary barricade area set up along the side of our business (The Broken Inn) so that people can safely walk, sit and eat ice cream. This was previously approved by the Planning Board and has been widely welcomed and used by the community.

At present there are no defined parking spaces (not striped)

At present there is no space for bicycles to be parked. They are laid on the ground or set to lean against a building thus limiting “sidewalk” area (there are no sidewalks)

At present there is no sidewalk on the Clifton Park Rd side of the plaza.

At present there is no place for visitors to the Plaza to sit outside.

At present there is no defined road area (no lines) at the intersection of Clifton Park Rd and Crescent Rd and this area has become a high speed “cut through” for motorists looking to avoid the stoplight at Balltown Rd when travelling from Nott Street (Eastbound) to Balltown Rd (Northbound).

SIDEWALK:

The proposed layout would continue the 8’ wide sidewalk area recently built on the Nott Street side of the building. It would run adjacent to the Clifton Park Rd side of the building and would be the same width as the newly placed sidewalk.

PARKING:

The proposed layout would add 5 additional parking spaces to the plaza on the Clifton Park Rd side of the building. It would “square off” an otherwise awkward intersection which in turn would require motorists who are either making a right hand turn from Clifton Park Rd to Crescent Rd, or a left hand turn from Crescent Rd to Clifton Park Rd, to slow down. The new parking would be defined by concrete parking bumpers at the front of each spot and striped parking spaces. This area would now provide 18’ parking spaces (per code) and approx. 8’ for vehicles to back out. This is a non-conforming layout, however the present non-conforming layout has even less space in areas given that there is no defined road and motorists drive right along the backside of vehicles, and thus this would be an improvement.

OUTDOOR AREA:

The proposed layout would be divided into 3 areas totaling approx. 80’ x 20’ including sidewalk space.

BICYCLE AREA - 1 area for bicycles/bicycle rack which would increase safety and further encourage people to ride their bicycles to the Plaza. This area would be designed for approx. 10 bicycles to be parked. Cleanliness of this area to be maintained by The Broken Inn.

DINING AREA - 1 area for outdoor dining where guests of The Broken Inn can sit outside and order a meal. This area would be safely enclosed from the parking area by a barrier on both the North and West sides and would include approx. 8 tables. It would be adjacent to the new sidewalk on the South side and adjacent to an 8' sidewalk area on the East side. The area would have tables and chairs with umbrellas for shade, string lights hanging over the area for evening lighting, and would be handicap accessible. This area would not create any lighting that faced towards residences, and would be closed one hour prior to the restaurant closing to ensure no additional evening noise to those residences nearest by. Cleanliness of this area to be maintained by The Broken Inn.

SEATING AREA - 1 area for outdoor seating so guests of the Plaza have somewhere to sit including daytime visitors waiting for their friends/family to get haircut or shop and of course those who order Ice Cream and wish to sit for a short period and enjoy it. This area would have approx. 6 benches which is the same amount we currently have in the temporary area. Cleanliness of this area to be maintained by The Broken Inn.

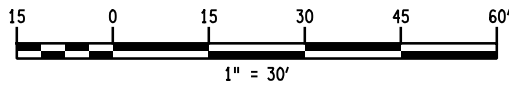
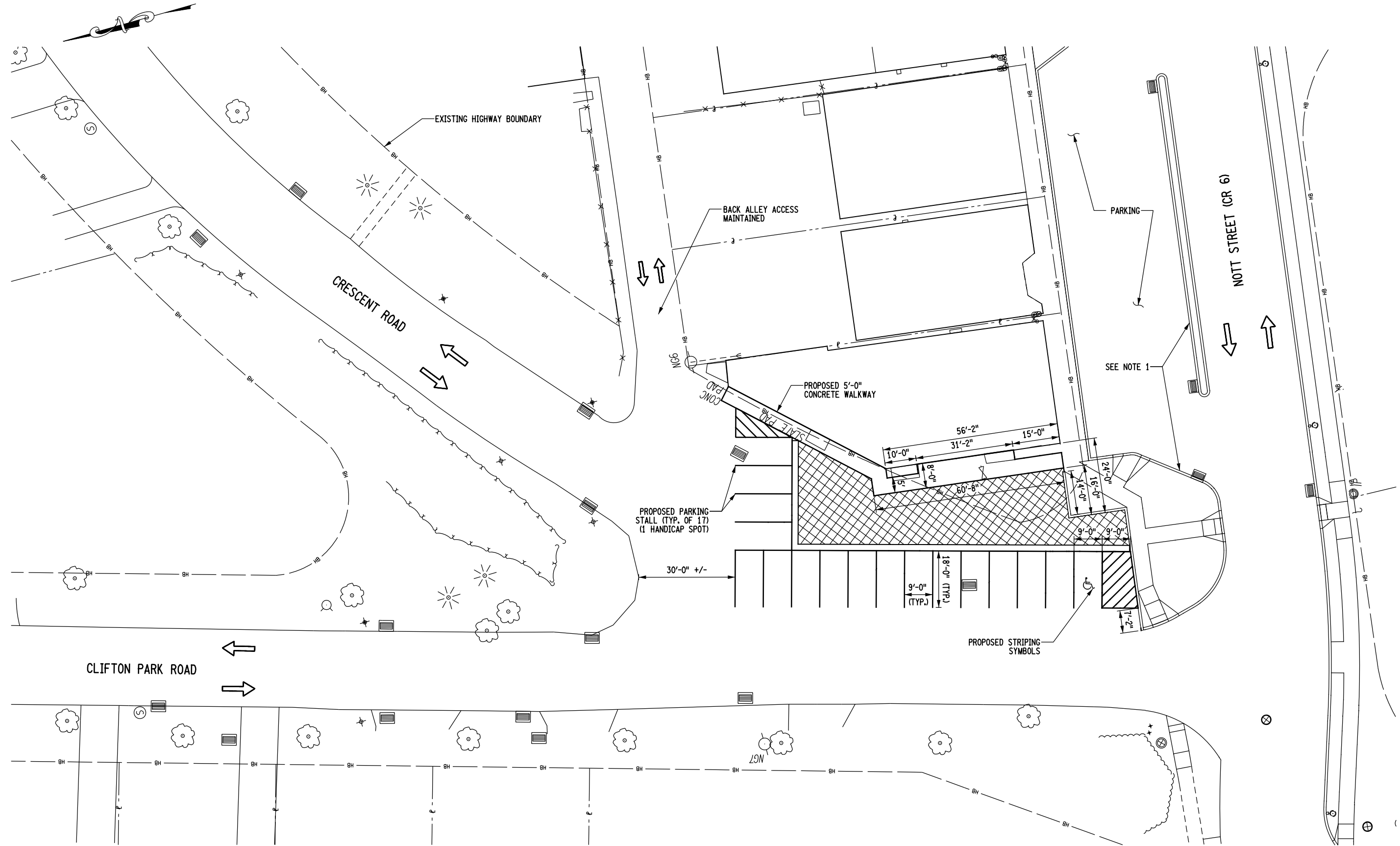
SEASONAL NOTE:

While this seating/bicycle area would be used on a seasonal basis, the safety benefits related to the parking/motorists area would take remain all year long. The seated areas are likely to be used from approximately April 1st until October 31st (possibly a few weeks on either side depending on weather). As this is town property, the Town would have a smaller area to plow in the winter as snow could remain in the area used for seating with the exception of the sidewalk area which would be shoveled by The Broken Inn.

SUMMARY:

Allowing this area to be created improves safety, increases parking and makes the entire plaza more welcoming to guests. It makes great use of an area that is truly a "no mans land", continues the great work that has already started and is clearly wanted by the majority of the community as reflected in the 150+ letters of support already sent in.

FILE NAME = F:\m\701\m\701.12 - Nott Area Improvements\701.12.oph_OPTION 5.dgn
DATE/TIME = 7/25/2022 2:26:02 PM
USER = ngibson



NOTES:

1. THE EXISTING CONDITION OF NOTT STREET INCLUDING CURBS, SIDEWALKS AND LANE WIDTHS REPRESENT THE PROPOSED DESIGN OF SCHENECTADY COUNTY'S PIN 1760.60 NOTT STREET SAFETY IMPROVEMENTS. CONSTRUCTION IS SCHEDULED FOR 2022.



Engineering and
Land Surveying, P.C.
1533 Crescent Road - Clifton Park, NY 12065

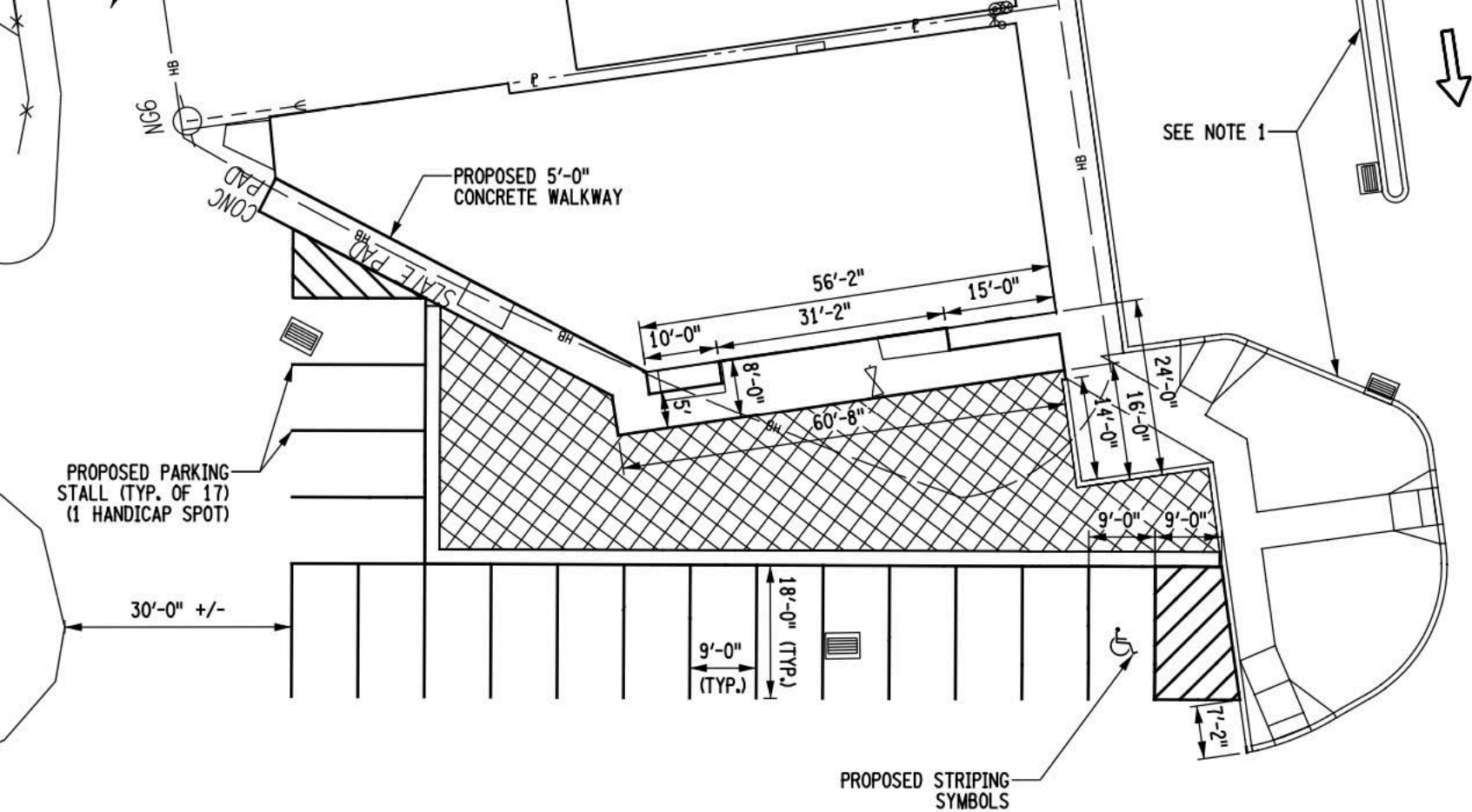
**CONCEPT DRAWING
NOTT
STREET/CRESCENT
ROAD OUTDOOR DINING
AREA AND PARKING
MODIFICATIONS**

JULY 2022

MJ PROJ. No.: 874.30

DRAWING NO.

1.0



Laura Robertson

From: Laura Robertson
Sent: Friday, May 27, 2022 12:01 PM
To: Tommy Nicchi
Cc: Brett Steenburgh PE; Clark A. Henry; David D'Arpino; Kevin Walsh; Alaina Finan
Subject: RE: {EXTERNAL} Re: Clifton Park Rd - Outdoor seating - Site Plan Review
Attachments: The Broken Inn Parking.pdf

Hi Tommy,

The attached map is approved temporarily to protect pedestrians and bicyclists from vehicles using the parking spaces. Please note you will need to add "no parking" signs in the area designated for no parking. You could have Brett evaluate and recommend if the no parking area can support a bicycle rack.

You are not approved for tables and seating. You can put some benches up along the building as long as they don't impede pedestrian flows and access to other businesses.

You are approved to place temporary striping of the designated parking spaces per the attached map to try and maximize the ability for cars to still get to and from the Broken Inn and surrounding businesses.

I want to emphasize that this is temporary and is only meant to address the safety issues identified in our discussions of people using the outdoor ice cream window. The Town reserves the right to require you to make changes to this emergency plan or require it to be taken down / modified if it creates additional nuisances or proves problematic. This safety area is being designated so that the ice cream window can be operated while you pursue a more permanent solution to address the popularity of the window – which will include public hearings and a parking analysis to ensure the rights and concerns of adjacent businesses and neighbors are taken into account prior to any permanent approvals.

Please let me know if you have any questions, thanks.

Laura

Laura Robertson, AICP

Town Planner
(518) 386 -4530

Town of Niskayuna
1 Niskayuna Circle
Niskayuna, NY 12309

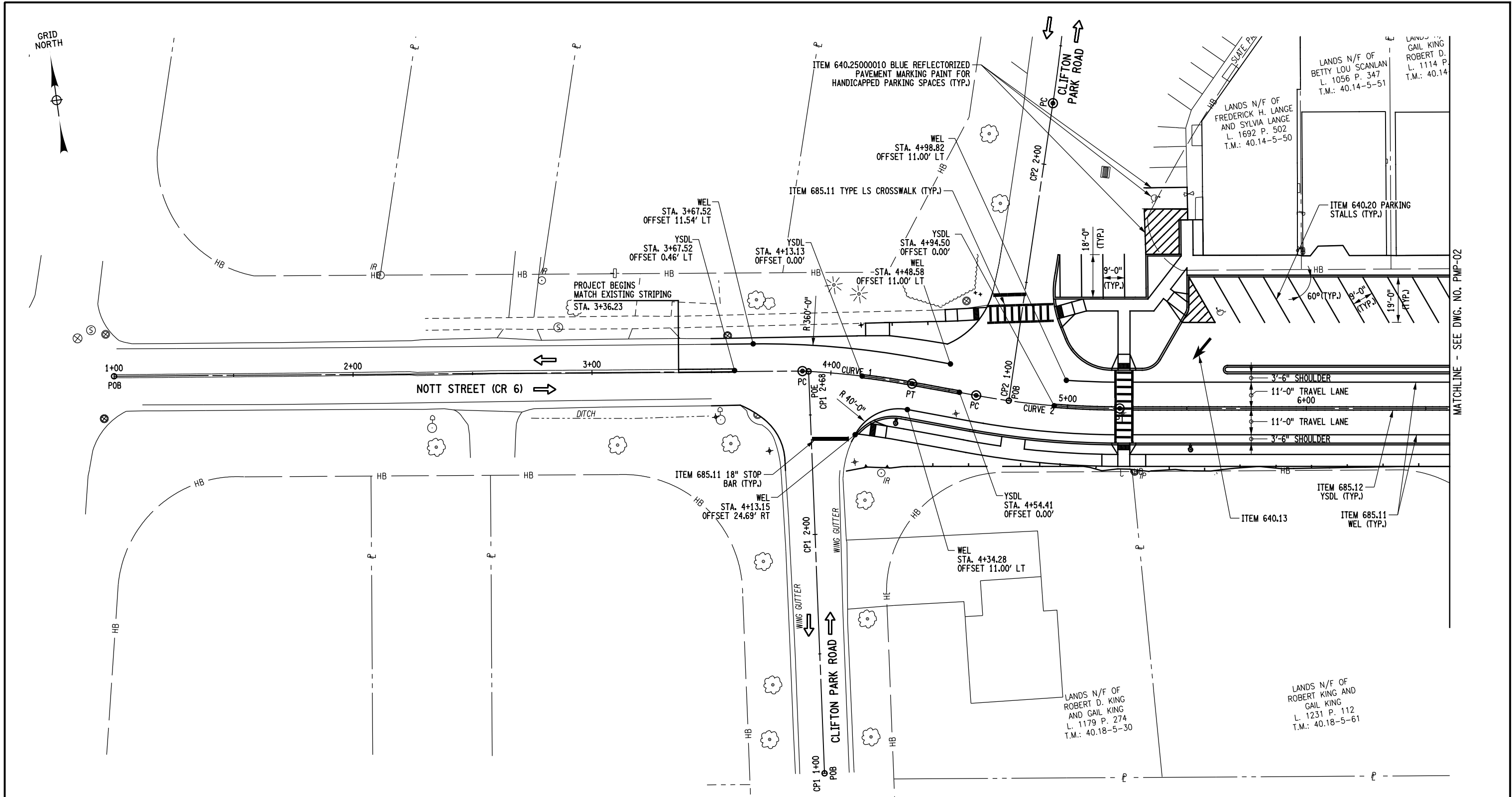
lrobertson@niskayuna.org

From: Tommy Nicchi [mailto:tommy@standupglobal.com]
Sent: Friday, May 27, 2022 10:58 AM
To: Laura Robertson
Cc: Brett Steenburgh PE; Clark A. Henry; David D'Arpino; Kevin Walsh; Alaina Finan
Subject: Re: {EXTERNAL} Re: Clifton Park Rd - Outdoor seating - Site Plan Review

Hi Laura:

FILE NAME = F:\m\1325 PIN 1760.60 Nott Street\001\Final Design\176060.cph_pmp-01.dgn
DATE/TIME = 3/24/2021
USER = amushaw

DESIGN SUPERVISOR M. PANICHELLI JOB MANAGER L. WALLIN DESIGN A. MUSHAW CHECK L. WALLIN DRAFTING N. GIBSON CHECK L. WALLIN PROJECT MANAGER E. WILLIAMS



PREPARED BY: MJ ENGINEERING & LAND SURV.
ON:


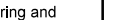
ALTERED BY:
ON:

LEGEND

← INTENDED TRAFFIC FLOW

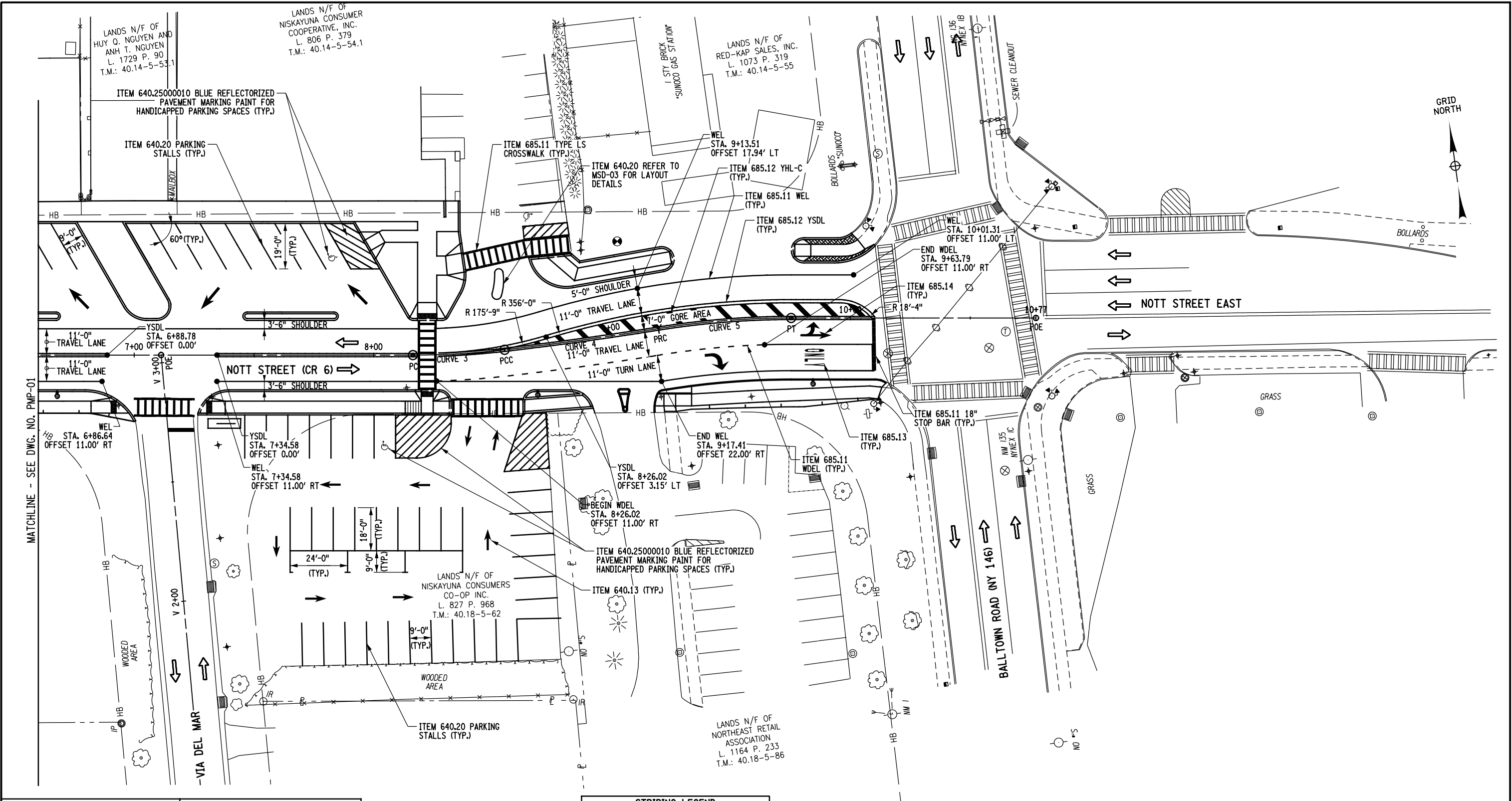
STRIPING LEGEND

WEL WHITE EDGE LINE
YSDL YELLOW SOLID DOUBLE LANE LINE

AS-BUILT REVISIONS DESCRIPTION OF ALTERATIONS:	NOTT STREET (CR 6)		PIN: 1760.60	BRIDGE N/A	CULVERTS N/A	ALL DIMENSIONS IN FT UNLESS OTHERWISE NOTED		CONTRACT NUMBER			
	SAFETY IMPROVEMENT PROJECT					STRIPING PLAN		DRAWING NO. PMP-01 SHEET NO. 43			
	TOWN OF NISKAYUNA										
COUNTY: SCHENECTADY		REGION: 1									
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.						 Engineering and Land Surveying, P.C. 1533 Crescent Road - Clifton Park, NY 12065		 NEW YORK STATE OF OPPORTUNITY.		Department of Transportation	

FILE NAME = F:\m\1325 Nott Street\001 Final Design\176060.cph.pmp-02.dgn
DATE/TIME = 3/24/2021
USER = amushaw

DESIGN SUPERVISOR M. PANICHELLI JOB MANAGER L. WALLIN DESIGN A. MUSHAW CHECK L. WALLIN DRAFTING N. GIBSON CHECK L. WALLIN PROJECT MANAGER E. WILLIAMS



PREPARED BY: MJ ENGINEERING & LAND SURV.
ALTERED BY: ON:

STATE OF NEW YORK
MICHAEL D. PANICHELLI
074751
PROFESSIONAL ENGINEER

LEGEND

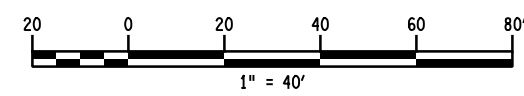
← INTENDED TRAFFIC FLOW



STRIPING LEGEND

WEL WHITE EDGE LINE
YSDL YELLOW SOLID DOUBLE LINE
WDEL WHITE DOTTED EXTENSION LINE
YHL-C 24" YELLOW HATCH LINE TYPE C

NOTES:

1. THE EXISTING APPROACH STRIPING SYMBOLS AT THE INTERSECTION OF NOTT STREET AND BALLTOWN ROAD (NY 146) ARE NOT SHOWN FOR CLARITY PURPOSES.



AS-BUILT REVISIONS DESCRIPTION OF ALTERATIONS:	NOTT STREET (CR 6)	PIN: 1760.60	BRIDGE N/A	CULVERTS N/A	ALL DIMENSIONS IN FT UNLESS OTHERWISE NOTED	CONTRACT NUMBER	
	SAFETY IMPROVEMENT PROJECT						
	TOWN OF NISKAYUNA					DRAWING NO. PMP-02	
	COUNTY: SCHENECTADY REGION: 1					SHEET NO. 44	
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.					 Engineering and Land Surveying, P.C. 1533 Crescent Road - Cazenovia Park, NY 12025		 NEW YORK STATE OF OPPORTUNITY Department of Transportation



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 5

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: 424 Balltown Rd.: Mohawk Commons: Five Below: site plan app. for new signage.

PROJECT LEAD: TBD

APPLICANT: Darren Katz of Saxton Sign Corp., agent for owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Darren Katz of Saxton Sign Corp. submitted an Application for Site Plan Review for new permanent façade and temporary advertising signage for the Five Below department store located at 424 Balltown Road. A change in tenant application for the 424 A commercial space was approved by the Planning Board on 6/13/22 with PB Resolution 2022-13 thereby changing the occupancy from Party City to Five Below.

The property falls within the C-S Shopping Center Commercial zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists retail and service stores as a principal use in the C-S district.

BACKGROUND INFORMATION

Mr. Katz provided an 8-page drawing set entitled "Five Below, Job #12166, 424 Balltown Rd., Schenectady, NY 12304" by CIMA Network Inc. dated Rev 1 3/15/22.

Proposed Signs – Permanent

Front Elevation – Sign 1

- Façade frontage = 82 ft.
- Section 220-48.22G(2)(c){3} of the Niskayuna zoning code states that façade signs one square foot of sign area shall be permitted for each linear foot of building frontage. Under no circumstances shall any one sign exceed 50 square feet.
- The ZBA granted a variance of 106.2 sq. ft. for a Party City façade sign measuring 156.2 sq. ft. on 8/28/2003.
- Proposed Sign 1 measures 24' 8 7/8" x 4' 11 3/8" = 122.5 sq. ft. and is therefore acceptable.

Front Elevation – Sign 2 – Under Canopy Sign

- Façade frontage = 82 ft.
- Proposed Sign 2 measures 5' x 1' = 5 sq. ft.

Section 220 Attachment 19 Schedule I-F Part 1 C-S and I-R Districts of the Niskayuna zoning code states: for Zoning District C-S Shopping Center Commercial Permitted Signs must comply with zoning code Sections 22-22 and 220-48.

Section 220-48.22 Building features G Signage (2) Standard states: "...These sign requirements shall be a supplement to those standards in Section 220-22. In all cases where there is a conflict, these standards shall take precedence over Section 220-22 standards in the Shopping Center Commercial Zoning District."

Section 220-48.22 Building features G Signage (2) Standard (c) Minimum performance criteria [3] Size states: "...Such façade signs shall be attached only to the building façade, shall not protrude more than one foot from the building façade and shall be single-faced." ***The proposed 5' wide x 1' high "blade" sign on Sheet 5 of the aforementioned drawing set attaches to the underside of a canopy on the façade, protrudes more than 1' from the façade and is double faced. Therefore, a waiver is required.***

Section 220-48.22 Signs G minimum performance criteria (c) Number of signs [9] states: "A maximum of one façade sign per use is permitted, except that a use fronting on two streets may have one sign for each building front..." ***The proposed "blade" sign depicted on Sheets 1 and 5 of the drawing set would be a second façade sign on a single façade. Therefore, a waiver is required.***

Section 220-48.21 (B) of the Code allows the Planning Board and Zoning Commission to waive one or more of the requirements of the standards for Shopping Center Commercial Zoning District.

Proposed Signs – Temporary – Signs 4, 5a, 5b, 6

Front Elevation – Sign 4

- Proposed banner sign measures 15' x 3' = 45 sq. ft.

Front Elevation – Sign 5a

- Proposed banner sign measures 20' x 4' = 80 sq. ft.

Front Elevation – Sign 5b

- Proposed banner sign measures 20' x 4' = 80 sq. ft.

Section 220-22 Signs A (8) states: One temporary non-illuminated sign advertising the sale, lease or construction of or on premises shall be permitted for a period not to exceed 12 months. Such sign shall not exceed 16 square feet in area. ***As proposed, sign 4 measures 15' x 3' (45 sq. ft.) and signs 5a and 5b measure 20' x 4' (80 sq. ft.). Therefore waivers of 29 sq. ft. and 64 sq. ft. of sign area, respectively are required.***

The applicant is before the Planning Board this evening to introduce the project to them and answer any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

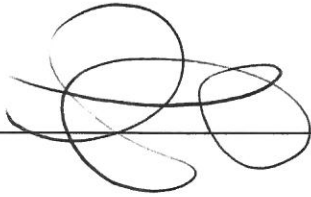
Applicant (Owner or Agent):

Location:

Name Saxton Sign Corp Number & Street _____
Address 1320 Rt 9 Section-Block-Lot _____ - _____ - _____
Castleton, NY 12033
Email DKatz@Saxtonsign.com
Telephone 518-754-2026 Fax _____ Zoning District _____

Proposal Description:

New signage for new Five Below store

Signature of applicant:  Date: 8/4/22

Signature of owner (if different from applicant): _____

Date: _____



August 4, 2022

VIA EMAIL

Five Below, Inc. (#08132)
701 Market Street, Suite 555
Philadelphia, PA 19106

Re: Signage Approval
Mohawk Commons
Niskayuna, NY

To Whom It May Concern:

Please be advised that the Landlord, G&I IX Empire Mohawk Commons, LLC. is in receipt of your drawings outlining the signage for your business at Mohawk Commons. The Landlord has approved the drawings allowing you to proceed with your work under the following conditions:

- All sign components and mounting hardware are to be of a non-corrosive material or coating.
- All sign electrical components must be UL Listed.
- All work is to be performed by a licensed and insured contractor.
- Tenant will be fully responsible for all permits that may be required for the project.
- All work is to be performed to code and in compliance of all municipal agencies having jurisdiction.
- All areas damaged by sign installation/removal (including areas previously hidden by signage) must be repaired with like materials, to industry standards and match existing colors. Caulking is not to be used for repairs of holes or damaged areas.
- Contractor is to submit Certificate of Insurance naming the following as additional insureds: G&I IX Empire Mohawk Commons, LLC. and DLC Management Corporation before any work commences. Minimum underlying liability insurance is two million dollars and umbrella liability Insurance requirement is five million dollars.
- All notes on your submitted sign proposal are followed.
- The letter will serve as your authorization to apply for a sign permit with Town of Niskayuna.

Thank you for your attention to this matter. Please do not hesitate to contact me should you require further assistance at 716-428-5163.

Sincerely,

A handwritten signature in black ink that reads 'Jeffrey Levy'. The signature is written in a cursive, flowing style.

Jeffrey Levy
Vice President, Property Management - Northeast
DLC Management Corporation
a/a/f G&I IX Empire Mohawk Commons, LLC
Enclosure: Approved tenant sign proposal

cc: Tenant File

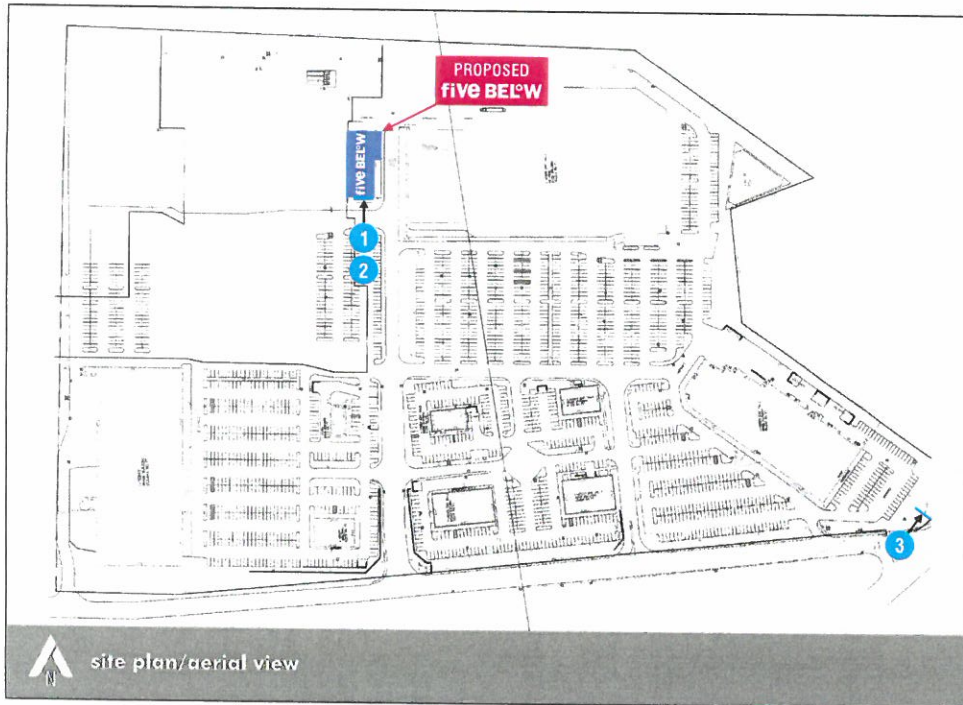
DLC MANAGEMENT CORP.

WWW.DLCMGMT.COM




five BELOW

Mohawk Commons/Niskayuna - Schenectady, NY
424 Balltown Rd., Schenectady, NY 12304



scope of work

PROPOSED SIGNS		Sq Ft	Elect. Req'd	Amps / Voltage	Sign Weight	Special Instructions	
FRONT ELEVATION							
1	42" Channel Letters w/ 12.625" Tagline	122.4	Yes	5.5a / 120v	255 lbs	 When Required, INSTALLER to provide any cords necessary to install banners. LL to provide Hilti eyebolts for banner installation.	
4&5	Temp Banners	N/A	N/A	N/A	-		
Allowed SF 156.2		Total SF 122.4					
PEDESTRIAN SIGNS							
2	D/F Under Canopy Sign	5	N/A	N/A	25 lbs		
FREESTANDING SIGNS							
3	Tenanic Face	18.7	N/A	N/A	-		
6	Post & Panel Temp Sign	N/A	N/A	N/A	165 lbs		

APPROVED

By Jeffrey Levy, DLC Management Corporation at 10:38 am, Aug 05, 2022

Please see notes
on following pages.

drawing approval

Reviewed By: _____ Date: _____

☐ Approved ☐ Approved As Noted ☐ Not Approved, Revise As Noted



Cima Network Inc.
121 New Britain Blvd.
Chalfont, PA 18914
office: 267.308.0575
fax: 267.308.0577
www.cimainetwork.com

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Client: Five Below
Designer: KG PM: LL

Job#: 12166
Address: 424 Balltown Rd., Schenectady, NY 12304

DATE **3.15.22** REVISION **1**

symbols key

	120 Volt Junction Box
	Elect White: 1/2" x 9-4" Lg Greenhul
	LED Power Supply
	Blocking Req'd
	Additional Structure Req'd
	Special Condition Applies
	Access Panel - Field Cut
	Additional Information Req'd
	Remove
	Remain As-Is
	Relocate



partial elevation

Photo Renderings Are Estimated & May Not Be Accurate. All Proportions, Dimensions And Mounting Details Must Be Verified Via Technical Survey And/Or Architectural Drawings.



42" Channel Letters w/ 12.625" Tagline (122.4 sq. ft.)

1

Under Canopy Sign (5.0 sq. ft.)

2



Proposed Rendering

LANDLORD NOTES

Facade:

- Withing existing opening, LL to engineer new storefront glass, 10'-6" high, 4'-0" min panel width, & LL to refurbish remaining, existing storefront to like-new condition.
- LL to locate 8' tall storefront doors in the existing door location.
- LL to install walkway lighting, 6'-0" min O.C., with additional door light.
- LL to install decorative sconces per Five Below plans.
- LL to install HILTI eyebolts in facade for temporary banners, see A40 for loc.
- LL to paint existing metal awning to match PMS 285 C.
- Existing curb cut to remain.
- LL to provide unobstructed permanent access to sign mountable/electrical connection area.
- LL to provide electrical to center of all applicable sign mountable areas.

Signage:

- Primary Sign: 42" internally illuminated channel letters w/ 12.625" tagline
- Temp Post and Panel: Construction sign placed near entrance
- Walkway sign: 5'-0" x 1'-0" UC Sign
- Pylon Panel: Panel below Pet Smart

Finishes by LL:

- Facade: 3" Dryvit 456 Oyster Shell
- Signage EIFS: 1" Dryvit FBE-101021S (to match PMS 285 C)
- Cornice EIFS: 1" 310 China White
- Pilasters: 2" Dryvit 113 Amarillo White

APPROVED

By Jeffrey Levy, DLC Management Corporation at 10:38 am, Aug 05, 2022

Approval limited to signage only.



Cima Network Inc.
121 New Britain Blvd.
Chalfont, PA 18914

office: 267.308.0575
fax: 267.308.0577
www.cimanetwork.com

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Client: Five Below
Designer: KG PM: LL

Job#: 12166
Address: 424 Balltown Rd., Schenectady, NY 12304

DATE 3.15.22 REVISION 1



full elevation

Photo Renderings Are Estimated & May Not Be Accurate. All Proportions, Dimensions And Mounting Details Must Be Verified Via Technical Survey And/Or Architectural Drawings.



Proposed Rendering

APPROVED

By Jeffrey Levy, DLC Management Corporation at 10:39 am, Aug 05, 2022



Cima Network Inc.
121 New Britain Blvd.
Chalfont, PA 18914
office: 267.308.0575
fax: 267.308.0577
www.cimanetwork.com

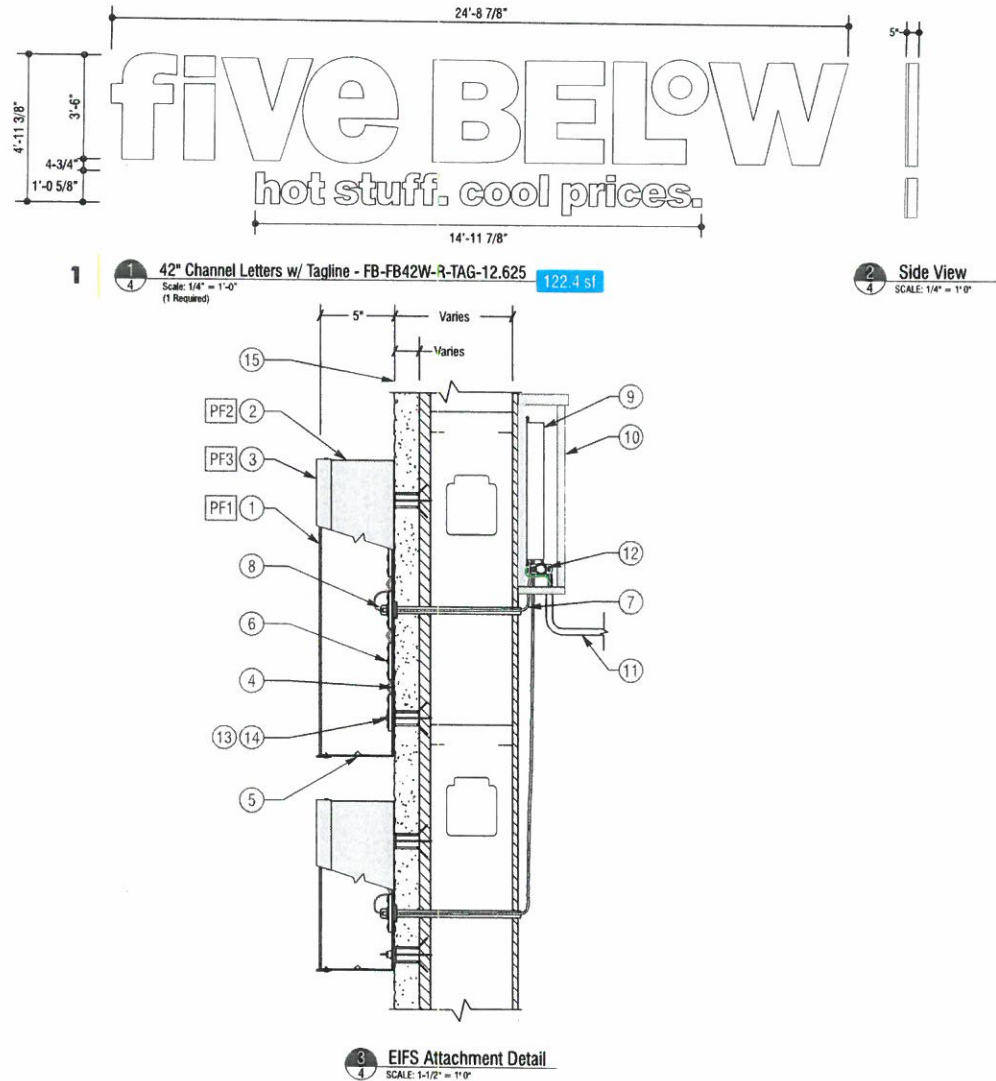
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Client: Five Below
Designer: KG PM: LL

Job#: 12166
Address: 424 Balltown Rd., Schenectady, NY 12304

DATE 3.15.22 REVISION 1





specifications

Exterior Fabricated Face Lit LED Channel Letters w/ Trimcap Mounted To EIFS Wall System

EST WEIGHT: 255 lbs
EST ELECT LOAD: (5.5) Amps @120 Volt
ELECT REQUIREMENTS: (5) 20 Amp/120 Volt Circuits

ULTIMATE WIND SPEED: 122 MPH
NOMINAL WIND SPEED: 109 MPH
RISK CATEGORY: II (3 Sec Peak Gust MPH)
WIND IMPORTANCE FACTOR: I = 1
WIND EXPOSURE: C

COLORS & FINISHES

Interior Of All Letters To Be Finished White

- PF1: FACE: #7328 White
- PF2: RETURNS: Pre-finished Silver Metallic
- PF3: TRIM CAP: To Match Returns
- PF4: BACKS: Pre-finished White

SIGN CONSTRUCTION

1. FACES: .177" Thick Acrylic
2. RETURNS: .040" Aluminum Returns Stapled To Backs
3. TRIM CAP: 1" Wide w/ #8 x 1/2" Lg Pan Head Screws Painted To Match. Trim Cap Chem Bonded To Faces.
4. BACKS: 3MM Routed ACM Stapled To Returns. Seal w/ VOC Compliant White Latex Caulk
5. DRAIN HOLES: 1/4" Ø With Light Cover. (2) Per Letter.

ELECTRICAL (SIGN TO BE UL LISTED)

6. LEDS: Principal True White Qwik Mod 2 Modules
7. WIRE: Secondary Low Voltage Led Wire
8. PASS THRU: Paige Wallbuster Or Approved Equal.
9. POWER SUPPLY: Principal 60 Watt 12VDC Class 2 Power Supply Inside Enclosure.
10. ENCLOSURE: Paige Box Or Approved Equal
11. PRIMARY: 1/2" Conduit To Disconnect Switch Secure To Wall w/ Straps By Others
12. SERVICE SWITCH: Located On Side Of Enclosure

INSTALLATION HARDWARE

- Threaded Rod Will Be Provided Standard (1ft Per Mounting Point). Pipe Spacers Provided Standard. All Other Hardware Is To Be Provided By Installer As Required.
13. RIV-NUTS: 1/4-20. Minimum (3) Per Individual Letter
 14. HARDWARE: Minimum 1/4" Ø Non-corrosive Hardware. Minimum (3) Per Individual Letter. Anti-Crush Spacers As Req'd. Cut To Length In Field

BUILDING & FASCIA CONDITIONS

15. WALL SURFACE: EIFS Over Plywood On Metal Studs.

CHANNEL LETTER INSTALLATION NOTES:

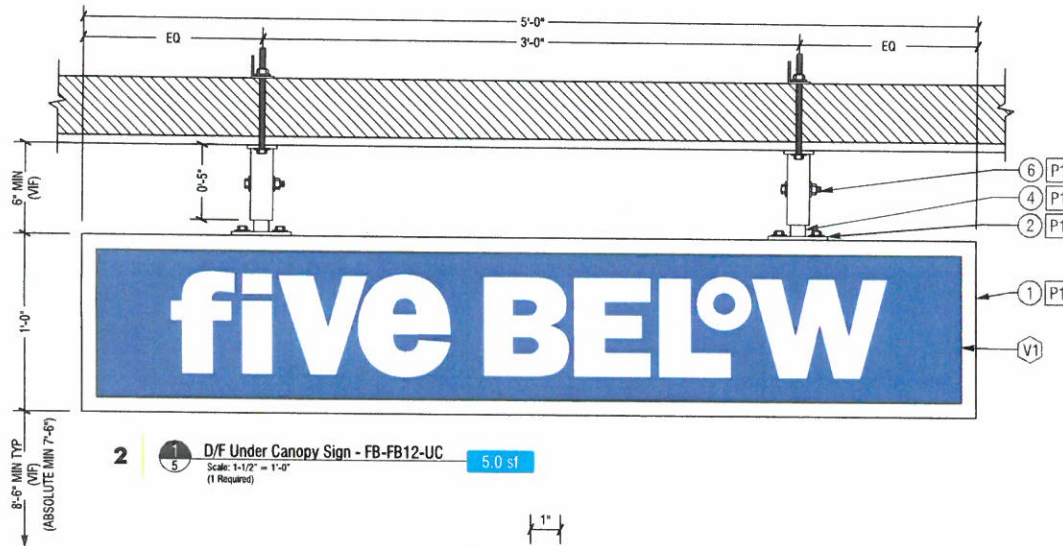
1. Sufficient Primary Dedicated Circuit Within 5' Of Center Of Sign By Others.
2. Final Primary Hook-up By Sign Installer Where Allowed By Local Codes.
3. All Visible Wiring & Conduit To Be Run In Straight Lines & 90° Bends.
4. Seal All Building Penetrations.
5. Mounting Hardware By Sign Installer Unless Otherwise Noted.

All store front penetrations must be properly sealed to prevent water infiltration.

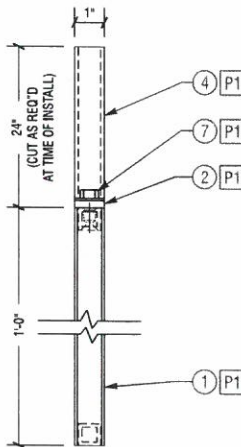
APPROVED

By Jeffrey Levy, DLC Management Corporation at 11:19 am, Aug 05, 2022

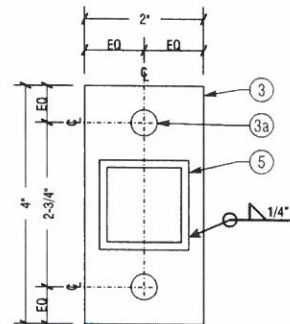
sign 2



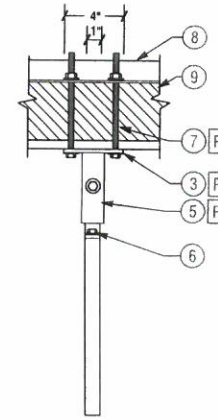
2 **1** D/F Under Canopy Sign - FB-FB12-UC
Scale: 1-1/2" = 1'-0"
(1 Required)



3 **5** Panel Detail - Side View
Scale: 3" = 1'-0"



4 **5** Mounting Detail Plate
Scale: HALF



2 **5** Side View
Scale: 1-1/2" = 1'-0"

specifications

Exterior, D/F Non-Illuminated Under Canopy Sign

EST WEIGHT: 25 lbs
EST ELECT LOAD: N/A
ELECT REQUIREMENTS: N/A

ULTIMATE WIND SPEED: 122 MPH
NOMINAL WIND SPEED: 109 MPH
RISK CATEGORY: II (3 Sec Peak Gust MPH)
WIND IMPORTANCE FACTOR: I = 1
WIND EXPOSURE: C

COLORS & FINISHES

P1. PANEL & MOUNTING BRACKETS: Satin White
V1. GRAPHICS: 1st Surface 3M 3530-167 Bright Blue

SIGN CONSTRUCTION

1. **PANEL:** Fabricated Aluminum Painted P1. Faces To Be .090" Aluminum VHB Taped To 3/4" x 3/4" x 1/2" Aluminum Tube Frame, 1/4" Riv Nuts In Top Of Tube Frame For Mounting
2. **PLATE:** 1/4" X 1" X 4" Aluminum Flat Bar Painted P1
3. **PLATE:** 1/4" X 2" X 4" Aluminum Flat Bar Painted P1
- 3a. **HOLES:** 7/16" For 3/8" Hardware
4. **TUBE:** 1/8" x 1" x 1" x 24" Aluminum Painted P1
5. **TUBE:** 1/8" x 1-1/2" x 1-1/2" x 4-3/4" Long Aluminum Painted P1
6. **HARDWARE:** 1/4" Painted P1

INSTALLATION HARDWARE

7. **HARDWARE:** 3/8" Non-corrosive Hardware Painted P1. (2) Per Plate
8. **SLEEPER:** 1/8" X 1-1/2" X 1-1/2" Angle Spanning Minimum (2) Structural Members

BUILDING & FASCIA CONDITIONS

9. **SOFFIT:** TBD

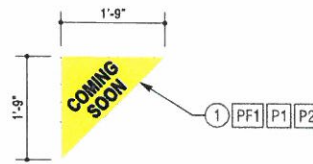
APPROVED

By Jeffrey Levy, DLC Management Corporation at 11:10 am, Aug 05, 2022

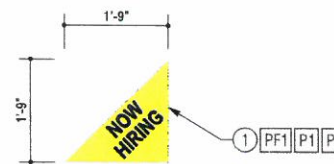
sign 3



Proposed Rendering



3.a C.S. Temp Graphic
Scale: 1/2" = 1'-0"
(2 Required)



3.b N.H. Temp Graphic
Scale: 1/2" = 1'-0"
(2 Required)



reface specifications

Replacement Faces For Tenant Cabinet

COLORS & FINISHES

PF1. **FACE:** White
V1. **VINYL:** 1st Surface 3M 3630-167 Bright Blue

REFACE CONSTRUCTION

1. **FACE:** 1/7" Thk White Polycarbonate w/1st Surface Vinyl

temp graphic specifications

COLORS & FINISHES

PF1. **FILM:** Matte White
P1. **PRINT:** Black
P2. **PRINT:** Pantone Yellow C

TEMP GRAPHIC CONSTRUCTION

1. **CHANGEABLE FILM:** Briteline IM3202 Matte White Low Tack Temporary Removable Vinyl

INSTALLATION INSTRUCTIONS

1. Apply To Upper Left Corner Of Face - 2" From Edge Of Face In Each Direction
2. Apply To Face Before Shipping

Construction sign limited to 45 days with local approval. Tenant responsible for removal and disposal.

Tenant also responsible for all restoration of areas affected by placement of construction sign.

APPROVED

By Jeffrey Levy, DLC Management Corporation at 11:11 am, Aug 05, 2022

signs 4 & 5



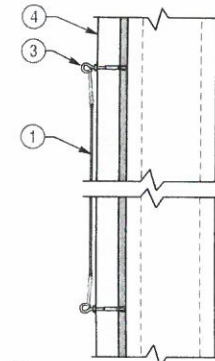
4 **1** Coming Soon Banner
Scale: 3/8" = 1'-0"
(1 Required)



5.a **2** Grand Opening Banner - Side A
Scale: 3/8" = 1'-0"
(1 Required)



5.b **3** Now Open - Side B of Grand Opening Banner
Scale: 3/8" = 1'-0"
(1 Required)



4 Side View / Alt Hardware
Not To Scale

specifications

COLORS & FINISHES

- PF1: BANNER: Matte White
P1: PRINT: To Match 3M 3630-167 Bright Blue

BANNER CONSTRUCTION

1. BANNER: 15oz Brideline Hemmed & Grommeted
2. FONT: "Season Year" & "Month, Day, Year" Franklin Gothic Heavy

INSTALLATION HARDWARE PROVIDED BY LL

3. TYPICAL HARDWARE: HILTI Eyebolts, Provided By LL.
4. ALTERNATIVE HARDWARE: Cord, Provided By Installer, From Grommets To Fasteners, Provided By LL.

BUILDING & FASCIA CONDITIONS

5. WALL SURFACE: Vanes / TBO

BANNER INSTALLATION NOTES:

1. Attach Banner to HILTI Eyebolts, Provided By LL, Maximum 2'-0" On Center.
2. When Required, Cord, Provided By Installer, From Grommets To Fasteners, Provided By LL, On Fascia Or Rig With Sandbags Or Roof, Etc., Provided By Installer.
3. LL To Provide Special Duration, Size Or Restrictions At Time Of Sign Package Review - Per LL Notes.
4. "Coming Soon" Banner To Be Installed Approximately One Month Prior To Installation Of Wall Signs. Replace w/ "Grand Opening" Side Of Double Sided Banner Upon Installation Of Wall Signs. Banner Will Be Flipped Over Day Before The Opening To Read "Now Open" And Will Remain Up An Additional 30 Days.
5. Patch And Repair Fascia Upon Removal Of Banners.
6. Seal All Penetrations. (For Eifs, Use Eifs compatible sealant, Dow Corning 790, 791 or 795 At All Penetrations)

Tenant responsible for any damage caused by banner sign placement.
Tenant to restore store front to a like new condition after removal.

Banner to be removed 45 days after store opening.

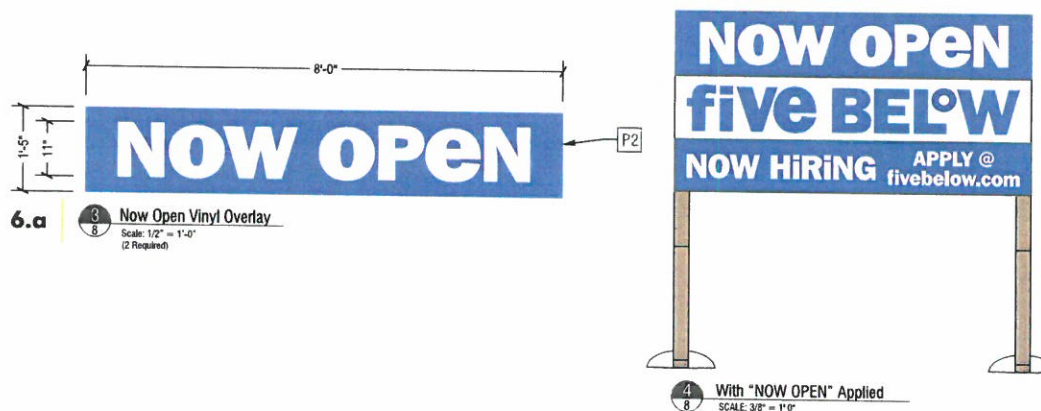


5 Storefront Elevation - Grand Opening Banner
Not To Scale

APPROVED

By Jeffrey Levy, DLC Management Corporation at 11:17 am, Aug 05, 2022

sign 6



specifications

Exterior, Non-Illuminated Post And Panel Temp Sign

EST WEIGHT: 165 lbs

COLORS & FINISHES

PF1: BANNER: Matte White

P1: PRINT: To Match 3M 3630-167 Bright Blue

SIGN CONSTRUCTION

1. PANEL: 6mm Thick Coroplast w/1st Surface Direct Print
2. POSTS: 4" X 4" Wood Unfinished
3. HORIZONTALS, KICKERS & BASE: 2" X 4" Wood Unfinish
4. HARDWARE: Bolt All Wood Components Together w/ 3/8" Lag Bolts
5. HARDWARE: Screw Coroplast To Wood Structure With Minimum #8 x 1-1/4" Long Non-Corrosive Wood Screws With Fender Washers. Max 24" On Center. Paint To Match Sign Panel
6. SANDBAGS: (4) 50lb Capacity Sandbags Per Sign Provided By CIMA

ALTERNATIVE INSTALLATION METHOD - DIRECT BURIAL

1. Option For Direct Burial Into Dirt Without Stands/Kickers. No Concrete Required.

Sign to be removed 45 days after tenant opening.

APPROVED

By Jeffrey Levy, DLC Management Corporation at 11:18 am, Aug 05, 2022



TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 6

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: 2837 Aqueduct Rd. (Rivers Ledge) – site plan app for a building containing 60 senior apartments and 2,000 sq. ft. of mixed use commercial space.

PROJECT LEAD: Genghis Khan & Chris LaFlamme

APPLICANT: Chuck Pafundi, agent for the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☒ Conservation Advisory Council (CAC) ☒ Zoning Board of Appeals (ZBA) ☐ Town Board
☒ OTHER: ARB (in process)

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Chuck Pafundi, Project Manager for the River's Ledge development project, submitted an Application for Site Plan Review for a Rivers Ledge Senior Center building. This third revision of the design includes a building containing 66 senior apartment units and 2,000 sq. ft. of mixed use commercial space near the west end of the River's Ledge Phase I property line and a second 3,000 sq. ft. commercial building located approximately 380' to the east at the River's Ledge site off of Aqueduct Road.

BACKGROUND INFORMATION

The lot at 2837 Aqueduct Road, known as Rivers Ledge of Niskayuna, received approval as a Planned Unit Development with 2 phases – the first phase was the 16 ten-unit apartment buildings and club house (& Rec Center) that is under construction now and the second phase was 100 senior living apartments and commercial space.

Phase 2 – Revision 1

The initial, Rev 1, version of a proposed Senior Center building is included in a drawing entitled "Overall Layout Plan 2837 Aqueduct Road" by Arico Associates dated January 2017 with a most recent revision status of 1 dated 4/14/17. The specific details of the 100 unit proposed building are not included on the above referenced drawing however the water and wastewater impact of the Senior Center were included in relevant design calculations.

Phase 2 – Revision 2

The Rev 2 proposal includes a building containing 60 senior apartment units and 2,000 sq. ft. of mixed use commercial space with 60 below grade garage parking spaces and 65 outdoor parking spaces. A proposed standalone 3,000 sq. ft. commercial building including 11 parking spaces is also included.

The Rev 2 version of the design was reviewed at the 11/3/21 Architectural Review Board (ARB) meeting, the 11/3/21 Conservation Advisory Council (CAC) meeting and the 11/8/21 Planning Board (PB) meeting. A brief summary of salient points from those meetings is included below.

11/3/21 Architectural Review Board (ARB) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. A very general overview of the project was provided and it was noted that a more formal review will be held at a future meeting.

11/3/21 Conservation Advisory Council (CAC) – The Planning Office presented the initial version of the site plan drawing and elevation drawing for the proposed buildings. It was noted that the building was proposed as a 100 unit apartment building during the initial approval process for the Planned Utility District (PUD) but the presence of wetlands necessitated the reduction in the size of the building to its current size. Army Corps of Engineers approval will be required. The visibility of this building from Aqueduct Road was acknowledged and the need for appropriate facades and screening is required to keep the rural character of Aqueduct Road.

11/8/22 Planning Board (PB) meeting -- Staff's initial thoughts are the reduction in disturbance to the wetlands is good, and a standalone commercial building could lend itself to a sit down restaurant or something that can complement the Mohawk Hudson bike hike trail's recreational use – but the height of the mixed use building is a problem and the mixed use commercial space could benefit from facing the bike path and having an outdoor seating and tables feature (originally discussed in the PUD concept). Niskayuna zoning code Section 220-17 Height Regulations does not allow buildings over 35 feet high. As proposed, the 3 story apartment building is 44' 4". Therefore a variance of 9' 4" (44' 4" – 35' = 9' 4") would be required from the Zoning Board of Appeals. The rural character of the road is not incorporated into the façade, the public parking has been reduced, and the sidewalk connection is not yet shown.

Phase 2 – Revision 3

A Rev 3 version of a proposed Rivers Ledge Senior Center was submitted to the Planning Office on 5/19/22. This version includes a building containing 66 senior apartments and 2,000 sq. ft. of mixed use commercial space. The plan includes 66 below grade and 78 grade level parking spaces. A small parking area containing 7 parking spaces is also included to provide access to nearby Aqueduct Park. A second building consisting of 3,000 sq. ft. of commercial space with 11 nearby parking spaces is also included.

The following documents were provided as part of the Rev 3 proposal.

1. A 12-page drawing set entitled "Overall Plan – Phase 2" by Brett L. Steenburgh, P.E., PLLC dated 5/11/22 with no further revisions.
2. A 24-page drawing set intended for the Niskayuna Architectural Review Board (ARB) with the first page entitled "Exterior Perspective – View from Aqueduct Road" by HCP Architects dated 5/3/22 with no subsequent revisions.
3. A 1-page drawing entitled "First Floor Plan – East Wing" by HCP Architects dated 5/11/22 with no subsequent revisions.

4. A 144 page "Sewer Report" entitled "Addendum to the Project Narrative for Sanitary Sewer District #1 Extension #123" by Brett L. Steenburgh, P.E. PLLC dated February 3, 2020 with no subsequent revisions.
5. A 706-page "SWPPP Report" entitled Storm water Pollution Prevention Plan for the Development of Rivers Ledge of Niskayuna" by Arico Associates Engineers, Land Planners & Consultants dated April 2017 with a most recent revision of January 2018.
6. A 59-page "Water Report" entitled "Addendum to the Engineers Report Sanitary Water District #1 Extension #168" by Brett L. Steenburgh, P.E. PLLC dated December 11, 2020 with no subsequent revisions.

SUMMARY FROM THE PLANNED UNIT DEVELOPMENT SITE PLAN APPROVAL

Condition 3 of the Rivers Ledge Planned Unit Development Site Plan Approval (last amended 9/27/2021 via PB Resolution 2021-31) required the following:

The following general site plan improvements and requirements shall be addressed for Phase II of Rivers Ledge of Niskayuna.

- a) *The Developer shall work to preserve and protect the rural character of Aqueduct Road through the facades and landscaping of the properties along Aqueduct Road. The building designs shall remain the same height and character as those renderings presented to the Conservation Advisory Council on May 3, 2017.*
- b) *A landscaping design should be established to mitigate the loss of any wetlands and forests, with special attention to the Aqueduct Road corridor. The Tree Council shall survey the trees to be removed and approve the replanting plan. The developer shall work with the Town to preserve the Northern Long-Eared Bat habitat trees wherever possible, and replace and replant similar species if they must be removed.*
- c) *Where applicable, the Developer shall work with the Planning Board to reduce impacts to wetlands wherever possible. Mitigation for the wetlands shall be local first, in place and in kind and the Developer shall go to great lengths in a good faith effort to mitigate any wetland impacts within the local watershed area.*
- d) *The applicant shall be responsible for the construction of a public parking area between Aqueduct road and the Mohawk Hudson Hike Bike Trail. Prior to final PUD approval, all access easements necessary for the public parking shall be granted to the Town of Niskayuna.*
- e) *Phase II includes the construction of senior living apartments. Transit has not been addressed in the previous site plans. The Developer shall contact CDTA and explore the possibility of extending service to Phase II of the Rivers Ledge PUD.*
- f) *The Developer shall be responsible for the parkland, sewer trunk and water trunk fees as outlined on a per unit cost in Town Board Resolution #2016-218.*
- g) *The applicant shall strive to meet the objectives of the Planned Unit Development Code, Section 220-34 and all multi-family dwelling regulations outlined in Chapter 220-26 of the Town of Niskayuna Zoning Code.*
- h) *The applicant shall install a sidewalk from the edge of the Rivers Ledge of Niskayuna property line down Aqueduct Road to the entrance to the Aqueduct Park on Aqueduct Road.*

5/23/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and presented the Rev 3 version of the proposed Senior Center. He noted that since they last appeared before the

PB (11/8/21) their design team completely redesigned their approach. One of their primary goals was to break up the long length of the building with the use of a row house look and a variety of façade depths, colors, etc. He noted that they were able to maintain the requirement of 1 parking space for each apartment unit in the building. PB members noticed and commented on the height of the building being 41' (35' is max. allowed per zoning code) and would therefore still require a variance. The PB suggested that Mr. Pafundi utilize a mixture of roof lines – dormers, gable, mansard roof, etc. to soften the building appearance.

Mr. Pafundi stated that he can have his architects and civil engineers work together to create a rendering of how the building will appear with the existing trees and vegetation around it. Mr. Pafundi noted that he is working with the Army Corps of Engineers regarding wetlands.

The PB established the following action items.

- Applicant – work with design team regarding the PB's façade comments
 - Create a rendering showing proposed building with exiting trees around it to help w/scale
 - Explore ways to shorten the height of the building and also make it appear shorter
- PO – schedule a review with the ARB
- PO – provide pictures of Notts Landing to Mr. Pafundi

On Monday June 6, 2022 Mr. Pafundi emailed the Planning Office stating that he and his design team evaluated the following 3 design options.

1. Reduce the height of the building to comply with the 35' maximum zoning code height.
2. Employ design features such as dormers, gable roofs, mansard roofs, etc. to reduce the visual impact of a building that is taller than 35'. (Make the building appear <= 35').
3. Proceed with the design as it was presented at the 5/23/22 PB meeting and request a variance for building height from the Zoning Board of Appeals (ZBA).

In the email Mr. Pafundi stated that they would like to proceed with option 3. A scaled rendering of the 41' high building and the surrounding trees was also provided.

6/8/22 Conservation Advisory Council (CAC) meeting – the Planning Office described the details of the Rev 3 version of the proposed Senior Center Building to the CAC. After an engaged discussion the CAC members concurred on offering the following suggestions.

- They would like to see what a 2 story rendition would like that complies with the 35' height requirement because they are concerned about the height.
- They asked for green energy practices to be utilized – solar, EV charging stations, etc.
- They asked the Planning Board to require pesticide free maintenance of the building grounds, especially with all the wetland around
- They asked for a path or walkway to connect all of the buildings, including the small commercial building, to the bike path.
- They requested outdoor seating and outdoor recreation space for the senior center building and outdoor seating for the commercial building.
- They appreciated the reduction in wetland impacts.

6/13/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and explained that the developer would like to pursue approval of the 41' high building as shown in the "Rev 3" design. He noted that their design team believes the extra 6' ($41 - 35 = 6$) of building height allows for a more residential looking pitched roof design. He requested that the Planning Board proceed with the "Rev 3" design and make a recommendation either for or against the design so that he could pursue an area variance for 6 additional feet of building height with the ZBA. Ms. Robertson displayed the colored rendering that was included in the PB meeting packet that showed a scaled side elevation view of the building including the nearby trees. After discussion the PB requested the following additional detail for the 7/11/22 PB meeting and agreed to make a recommendation on the ZBA application at that meeting.

6/15/22 Architectural Review Board (ARB) meeting – the ARB reviewed the most recent images of the building and discussed the upcoming ZBA meeting.

7/6/22 Conservation Advisory Council (CAC) meeting – Mr. Pafundi attended the meeting and repeated the presentation he made to the Planning Board at their 6/13/22 meeting. He responded to each of the CAC's requests from their 6/8/22 meeting and explained why some could be implemented and why others could not. Mr. Pafundi and the CAC discussed several potential additions to the site plan including the following.

- Add a sidewalk and cross walk that connects the small commercial building that is part of the Senior Center site plan to the bike path.
- Add an outdoor seating and potentially dining area between the Senior Center and River Run Drive.
- Add more landscape screening between the Senior Center building and Aqueduct Road
 - Utilize a mixture of evergreen and deciduous trees
 - Retain as many existing trees as possible
- Utilize pesticide free landscaping practices

Mr. Pafundi noted that he is working with his team to produce architectural renderings of the Senior Center as viewed from the Rexford side of the Mohawk River. The Planning Board previously asked for renderings that show where the air conditioning units will be located on the buildings.

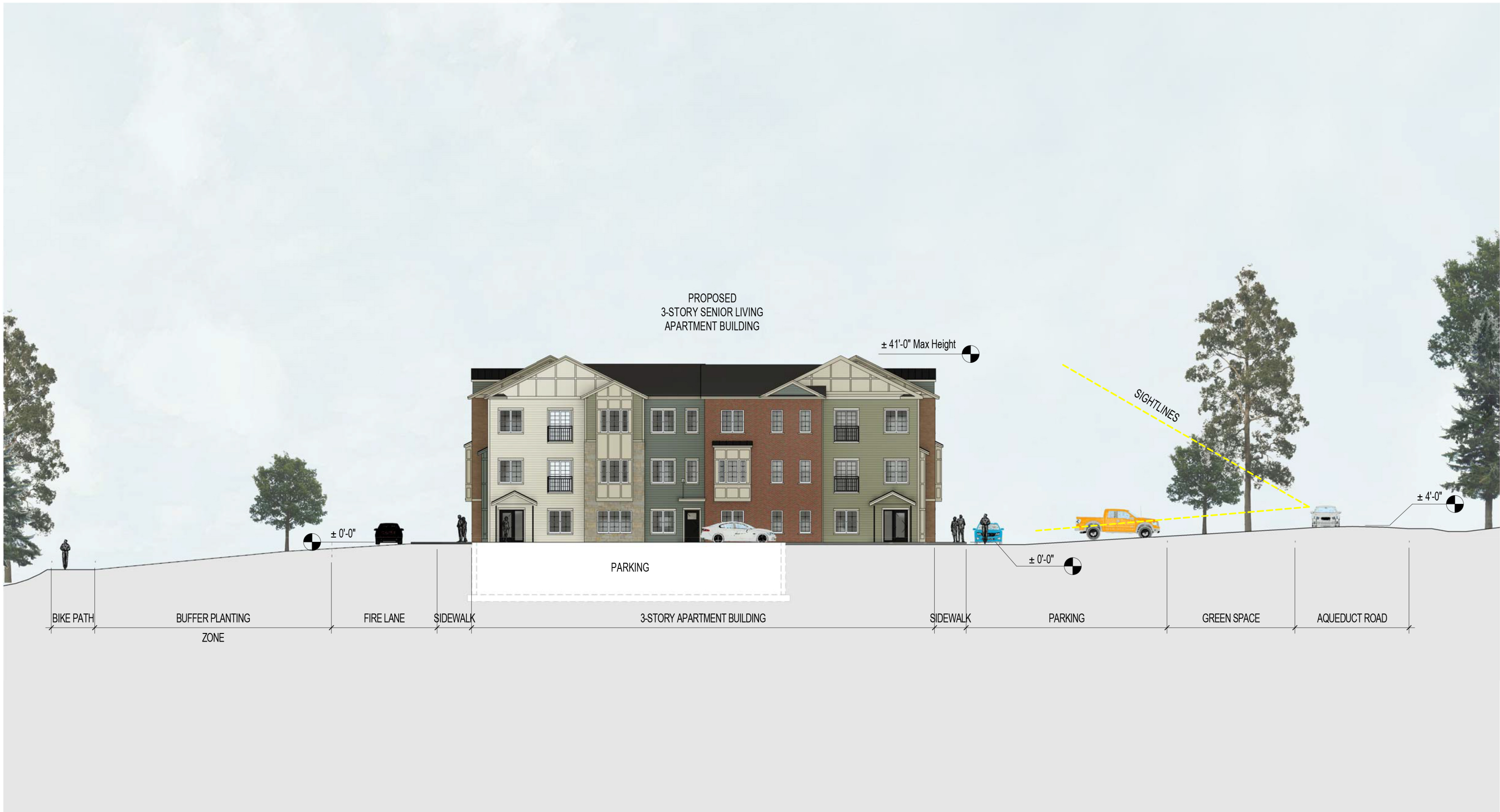
7/11/22 Planning Board (PB) meeting – Mr. Pafundi attended the meeting and addressed the questions that were raised at the 6/13/22 PB meeting. He confirmed that the HVAC units will not be visible from the sidewalks, streets or anywhere outside and around the building. He noted that the design team is still working on preparing renderings of how the proposed Senior Center building will appear when viewed from the Alplaus side of the Mohawk River. He expected to have the renderings in time for the 8/24/22 ZBA meeting. He also noted that the final package has been submitted to the Army Corps of Engineers and that the first comments from the Town's TDE were received on 7/7/22. The PB inquired about how the "barbell" ends of the building connect with the main building roofline. Mr. D'Arpino requested an aerial roof plan. Mr. Pafundi agreed to provide the plan. The PB discussed the effect on the comprehensive plan, the suitability of use and then recommended with a vote of 7-0 that the ZBA grant the requested area variance for building height.

8/3/22 Schenectady County Planning and Zoning Coordination Referral – The Commissioner of Economic Development and Planning received the Town's referral and approved the proposal on 8/3/22.

8/17/22 Architectural Review Board (ARB) – The ARB reviewed the most recent documents and renderings of the proposed Senior Center at their 8/17/22 meeting. The Planning Office had prepared a Power Point presentation of several existing “row house” type buildings in the Capital District for reference. The presentation includes buildings in Ballston Spa, Saratoga, Green Island as well as generic “row house images” that were obtained with a simple Goggle search. The ARB still has concerns regarding the mass and scaling of the buildings. They agreed that a roofline plan is necessary to assess how the building would be constructed and how it would appear from various viewing angles. The ARB agreed to schedule a follow up working session with Mr. Pafundi and HCP Architects.

8/24/22 ZBA meeting – The Zoning Board of Appeals reviewed the application for an area variance for 6 additional feet of building height and granted the variance at their 8/24/22 meeting. They requested that the applicant work with the Planning Board to remove white siding from the proposed new building (per Alplaus resident request at meeting).

The next step for the project is for the PB to review the ZBA’s granting of the area variance, review the most recent site plan, discuss the ARB’s concerns, and request a revised landscaping drawing per the CAC and Tree Council’s request.







SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205

AREA = 5.25± ACRES

USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL

MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL

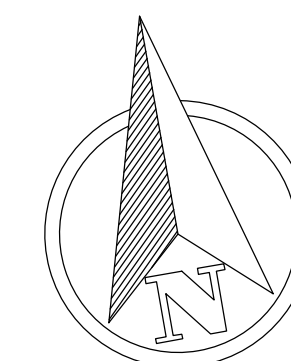
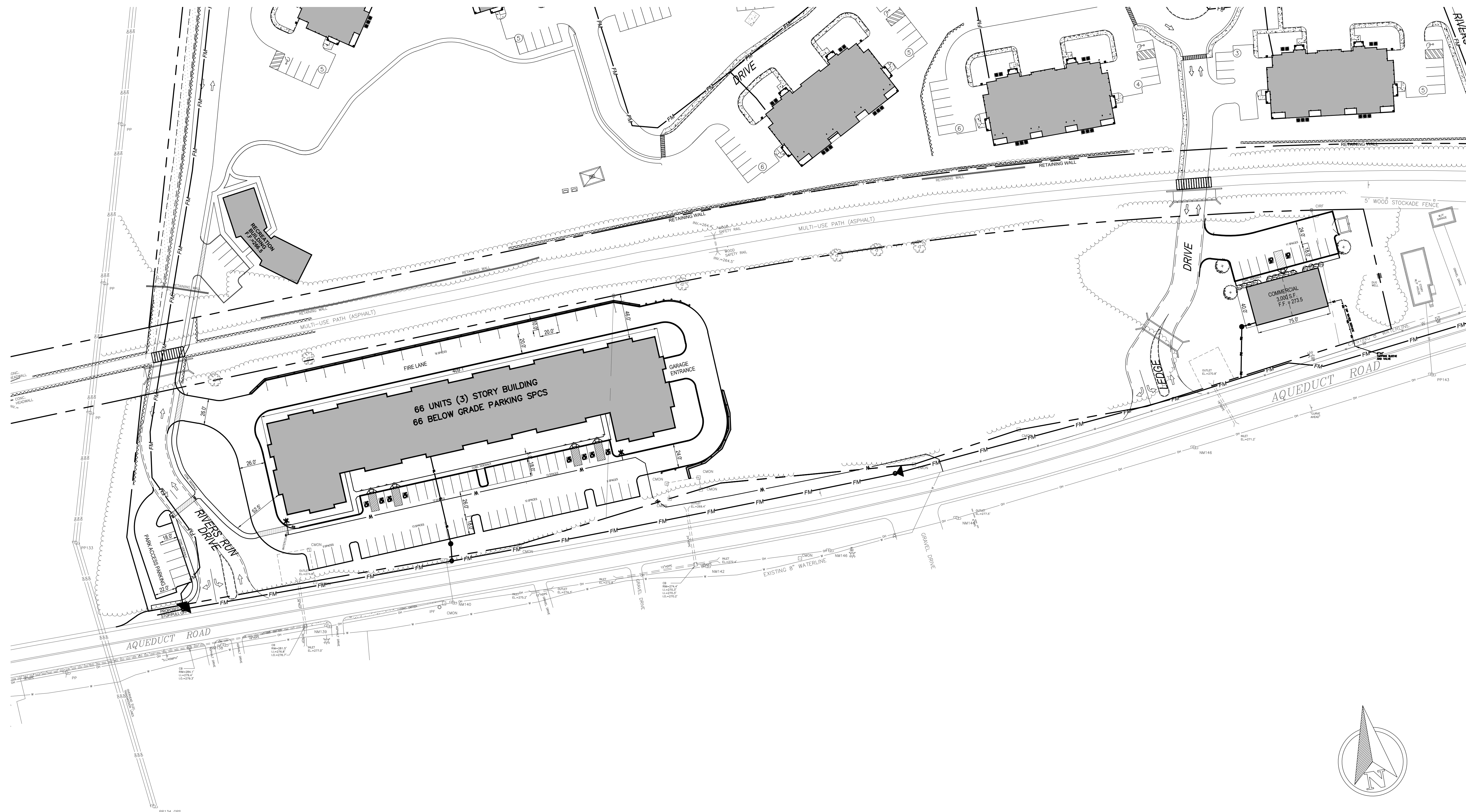
PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES

BUILDING HEIGHT - 35'

STAND ALONE COMMERCIAL BLDG = 3,000 S.F.

PARKING PROVIDED = 11 SPACES

BUILDING HEIGHT - 16'



BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

<p>OVERALL PLAN</p> <p>PHASE 2 – RIVERS LEDGE OF NISKAYUNA</p> <p>2837 AQUEDUCT ROAD</p> <p>TOWN OF NISKAYUNA</p> <p>STATE OF NEW YORK</p>		<p>BRETT L. STEENBURGH, P.E. PLLC</p> <p>2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburgpe@gmail.com</p>	
<p>COUNTY OF SCHENECTADY</p> <p>DRAWN BY:</p> <p>CHECKED BY:</p> <p>DATE:</p>	<p>SCALE: 1" = 50'</p> <p>JOB NO.</p> <p>DATE FILED:</p>	<p>ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY</p>	

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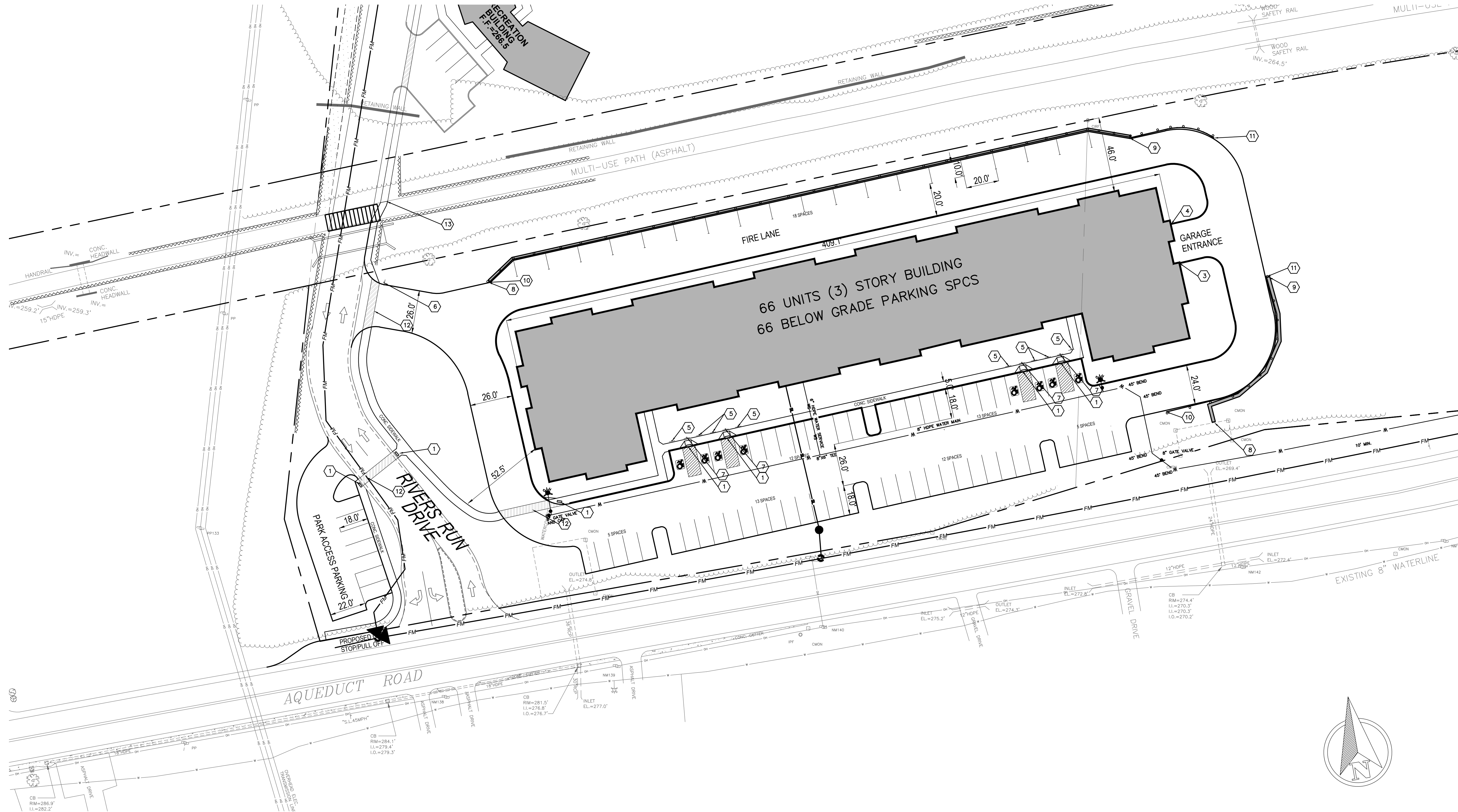
NO.	DATE.	REVISIONS	BY.
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SITE STATISTICS

OWNER: RIVERS LEDGE OF NISKAYUNA
 APPLICANT: RIVERS LEDGE OF NISKAYUNA
 49 RAILROAD AVENUE
 ALBANY, NY 12205
 AREA = 5.25± ACRES
 USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL
 MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
 PARKING PROVIDED = 144 SPACES
 GARAGE SPACES = 66 SPACES
 OUTDOOR SPACES = 78 SPACES
 BUILDING HEIGHT - 35'
 STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
 PARKING PROVIDED = 11 SPACES
 BUILDING HEIGHT - 16'

LEGEND

- | | | | |
|---|---|---|-------------------------|
| ① | HANDICAP RAMP PER ADA STANDARDS | ⑩ | BEGIN GUIDE RAIL |
| ② | CONCRETE SIDEWALK | ⑪ | END GUIDE RAIL |
| ③ | BEGIN CURB | ⑫ | CROSSWALK |
| ④ | END CURB | ⑬ | CONNECT TO EX. SIDEWALK |
| ⑤ | HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P) | ⑭ | DUMPSTER ENCLOSURE |
| ⑥ | STOP SIGN (MUTCD R1-1 MIN. 30" X 30") | | |
| ⑦ | NO PARKING ANYTIME SIGN (MUTCD R7-1) | | |
| ⑧ | BEGIN RETAINING WALL | | |
| ⑨ | END RETAINING WALL | | |



BRETT L. STEENBURGH MAP REFERENCE:
 PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
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 bsteenburghpe@gmail.com
 ENGINEERING THAT TRANSFORMS
 IMAGINATION INTO REALITY

SITE PLAN
 PHASE 2 - RIVERS LEDGE OF NISKAYUNA
 2837 AQUEDUCT ROAD
 COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK
 DRAWN BY: CHECKED BY: SCALE: 1" = 30'
 CADD FILE: JOB NO. DATE: MAY 11, 2022
 SHEET S-1

OWNER: RIVERS LEDGE OF NISKAYUNA
APPLICANT: RIVERS LEDGE OF NISKAYUNA
49 RAILROAD AVENUE
ALBANY, NY 12205

AREA = 5.25± ACRES

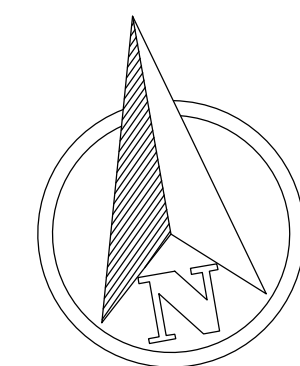
USE: SENIOR APARTMENTS AND MIXED USE COMMERCIAL

MAIN BUILDING: 66 SENIOR APARTMENTS + 2,000 S.F. COMMERCIAL
PARKING PROVIDED = 144 SPACES
GARAGE SPACES = 66 SPACES
OUTDOOR SPACES = 78 SPACES


BUILDING HEIGHT - 35'
STAND ALONE COMMERCIAL BLDG = 3,000 S.F.
PARKING PROVIDED = 11 SPACES
BUILDING HEIGHT - 16'

1	HANDICAP RAMP PER ADA STANDARDS
2	CONCRETE SIDEWALK
3	BEGIN CURB
4	END CURB
5	HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)
6	STOP SIGN (MUTCD R1-1 MIN. 30" X 30")
7	NO PARKING ANYTIME SIGN (MUTCD R7-1)
8	BEGIN RETAINING WALL
9	END RETAINING WALL

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BRETT L. STEENBURGH MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

COUNTY OF SCHENECTADY DRAWN BY: _____ CAD FILE: _____ DATE: MAY 11, 2022		TOWN OF NISKAYUNA STATE OF NEW YORK SCALE: 1" = 30' SHEET S-1	
SITE PLAN PHASE 2 - RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD		BRETT L. STEENBURGH, P.E. PLLC  2832 Rosendale Road Niskayuna, NY 12120-309 (516) 365-0676 bsteenburgh@aol.com	

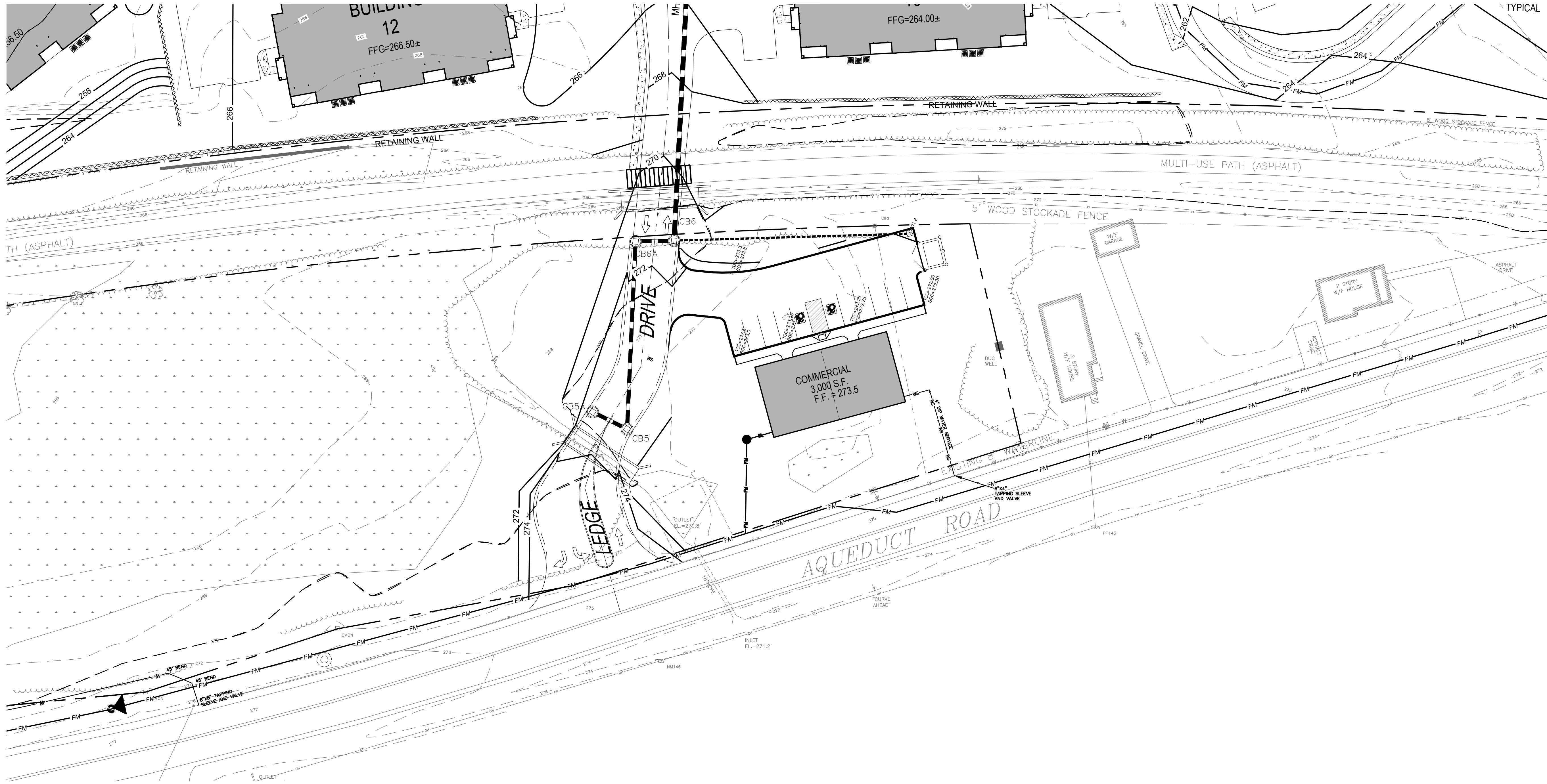
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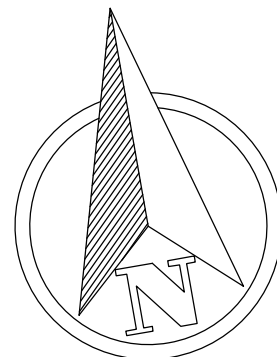


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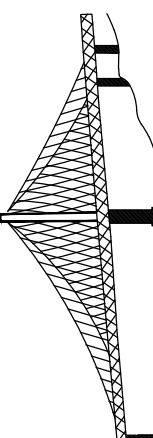
- LEGEND
- w— EXISTING WATER MAIN
 - FM— EX. LOW PRESSURE SANITARY SEWER MAIN
 - — — EXISTING STORM SEWER
 - - - - - EXISTING CONTOUR
 - ⊙ EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - - - - - PROPOSED STORM SEWER
 - — — PROPOSED WATER MAIN
 - — — PROPOSED CONTOUR
 - ⊙ PROPOSED HYDRANT
 - ⊙ PROPOSED GATE VALVE



BRETT L. STEENBURGH, MAP REFERENCE:
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
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(518) 365-0675
bsteenburgp@icloud.com



ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY

GRADING PLAN
PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD

COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK

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CADD FILE: JOB NO. DATE: MAY 11, 2022 SHEET G-2

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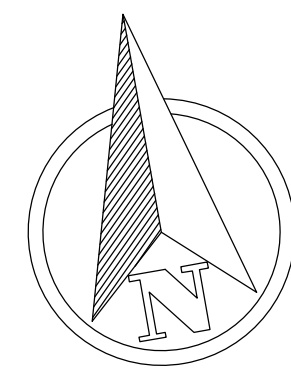
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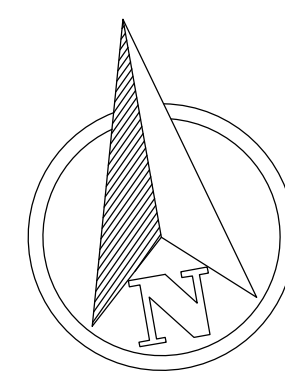
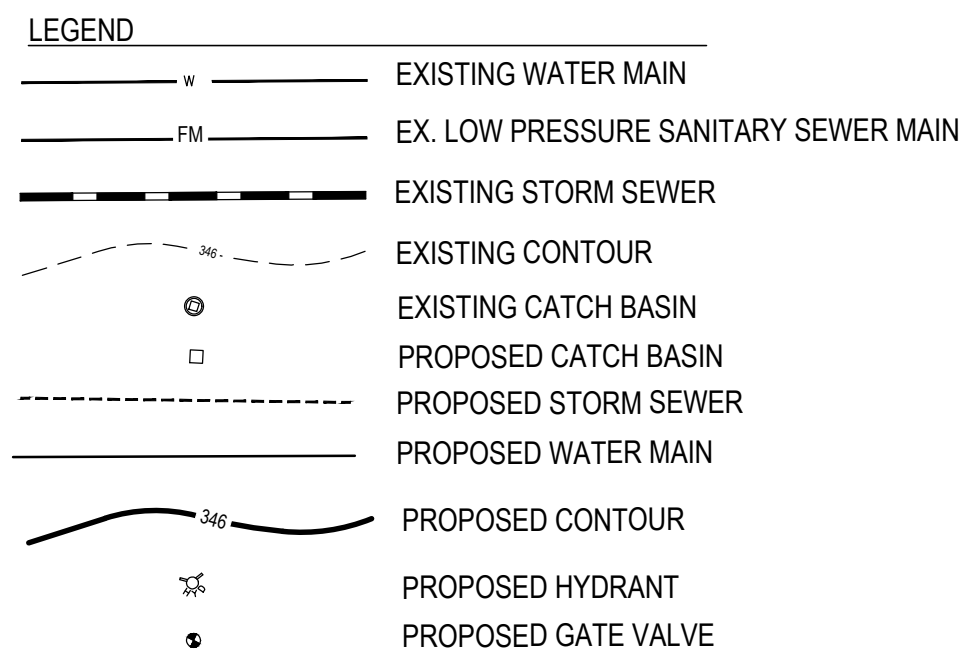


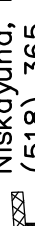
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REVISIONS




COUNTY OF SCHENECTADY PHASE 2 – RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD TOWN OF NISKAYUNA		UTILITY PLAN SCALE: 1" = 30' SHEET U-1	
COUNTY OF SCHENECTADY PHASE 2 – RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD TOWN OF NISKAYUNA	CHECKED BY: JBS	STATE OF NEW YORK SCALE: 1" = 30' SHEET U-1	
COUNTY OF SCHENECTADY PHASE 2 – RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD TOWN OF NISKAYUNA		UTILITY PLAN SCALE: 1" = 30' SHEET U-1	



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PHASE 2 - RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD		UTILITY PLAN			
BRETT L. STEENBURGH, P.E. PLLC 2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburgpe@gmail.com  ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY					

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bsteenburg@psdmail.com

**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

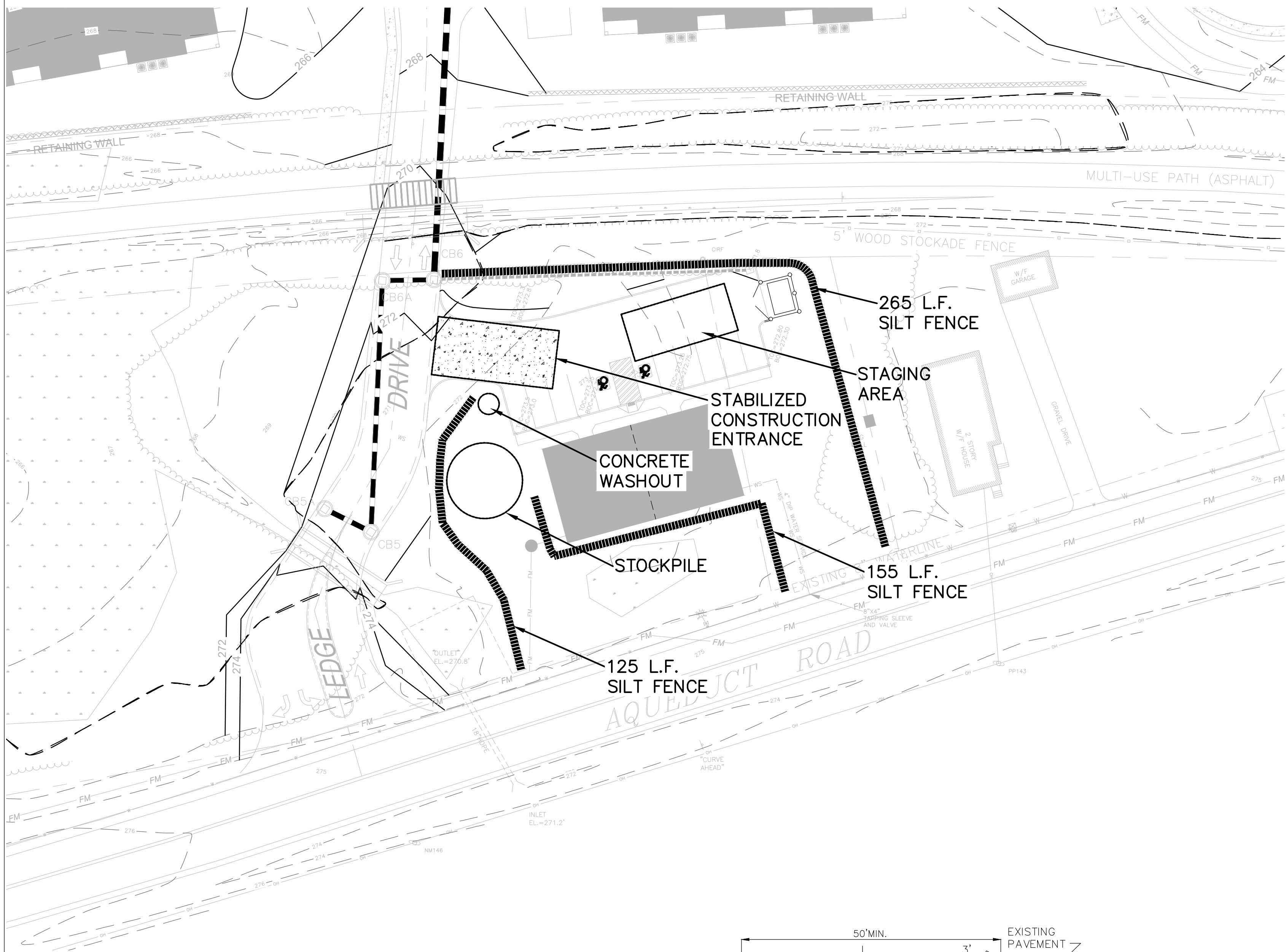
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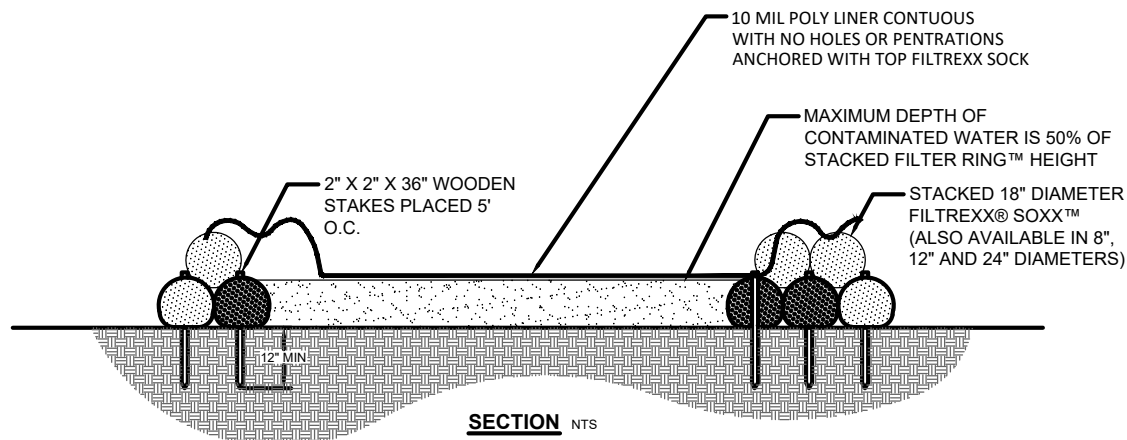
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before you dig

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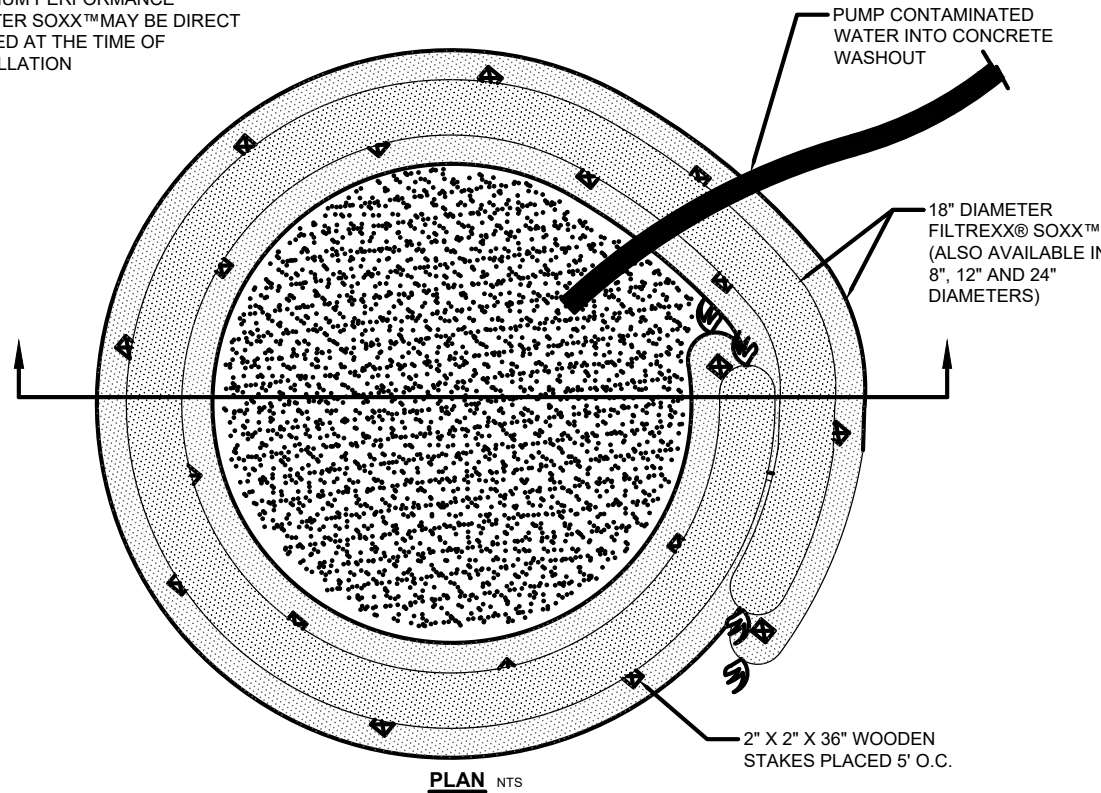


- LEGEND**
- EXISTING WATER MAIN
 - EX. LOW PRESSURE SANITARY SEWER MAIN
 - EXISTING STORM SEWER
 - EXISTING CONTOUR
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - PROPOSED STORM SEWER
 - PROPOSED WATER MAIN
 - PROPOSED CONTOUR
 - PROPOSED HYDRANT
 - PROPOSED GATE VALVE

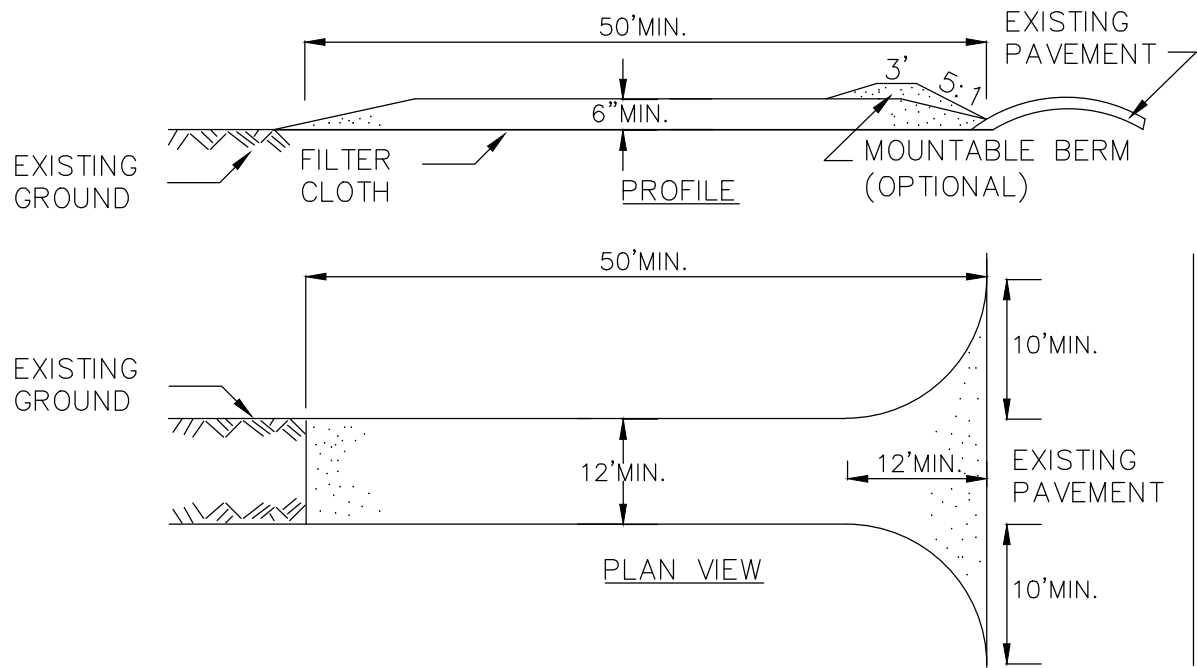
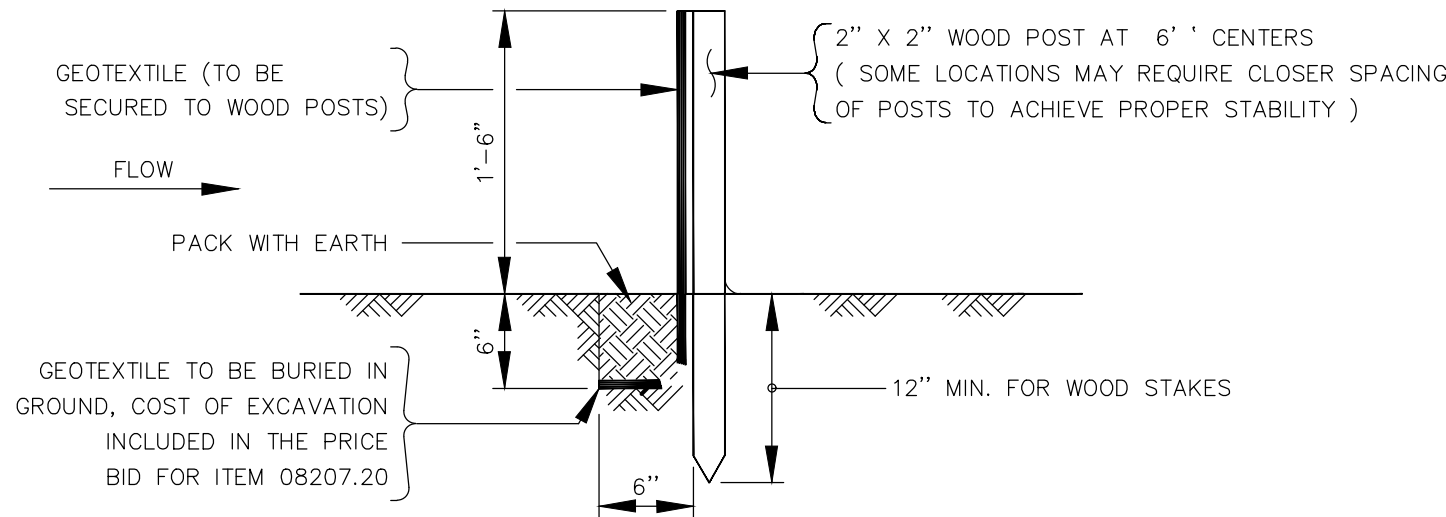
- EROSION AND SEDIMENT CONTROL NOTES:**
1. A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE SITE CONTRACTOR, SWPPP INSPECTOR, PROPERTY OWNER AND THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 2. ESTABLISH A PERMANENT TRAFFIC CORRIDOR FOR ALL TRAFFIC DURING CONSTRUCTION. A STONE STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED AND INSPECTED AND APPROVED BY THE THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. TRAFFIC SHALL NOT CROSS OR OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
 3. IF REQUESTED BY THE STORMWATER OFFICE, ADDITIONAL SILT FENCE MUST BE INSTALLED A MINIMUM OF 6 INCHES INTO THE GROUND SURFACE.
 4. ANY SOILS TRACKED INTO PUBLIC ROADS MUST BE SWEEPED UP IMMEDIATELY
 5. CONCRETE POURING MAY NOT TAKE PLACE UNTIL A CONCRETE WASHOUT AREA IS INSTALLED.
 6. ANY PUMPING OF STORMWATER ON SITE MUST BE DISCHARGED THROUGH A FILTER AND/OR STONE.
 7. A FINAL GRADING INSPECTION IS REQUIRED WITH THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL EXPOSED SOILS MUST BE STABILIZED AND APPROVED IF THE C.O. IS NEEDED DURING NON GROWING MONTHS, THE OWNER MUST PROVIDE A GRADING ESCROW TO THE STORMWATER OFFICE FOR THE OUTSTANDING WORK TO BE COMPLETED DURING THE GROWING MONTHS.



- NOTES:**
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 2. FILTER SOCKS MAY BE DIRECT SEEDED AT THE TIME OF INSTALLATION



FILTREXX® CONCRETE WASHOUT
NTS



CONSTRUCTION SPECIFICATIONS

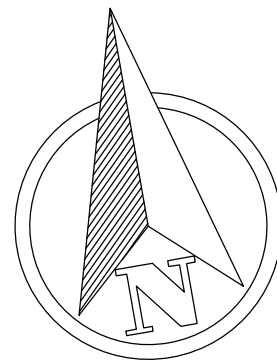
1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
10. CONSTRUCTION ACCESS ALONG FEURA BUSH ROAD SHALL BE CONSTRUCTED IN COMPLIANCE WITH THESE PLANS AND NYSDOT STANDARD SHEET 209.05

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(NOT TO SCALE)

SILT FENCE DETAIL

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

- | | |
|--|--|
| 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. | POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD |
| 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. | FENCE: WOVEN WIRE, 14 6" MAX. MESH OPENING |
| 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. | FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL. |
| 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE | PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL. |



BRETT L. STEENBURGH, P.E. PLLC
PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS

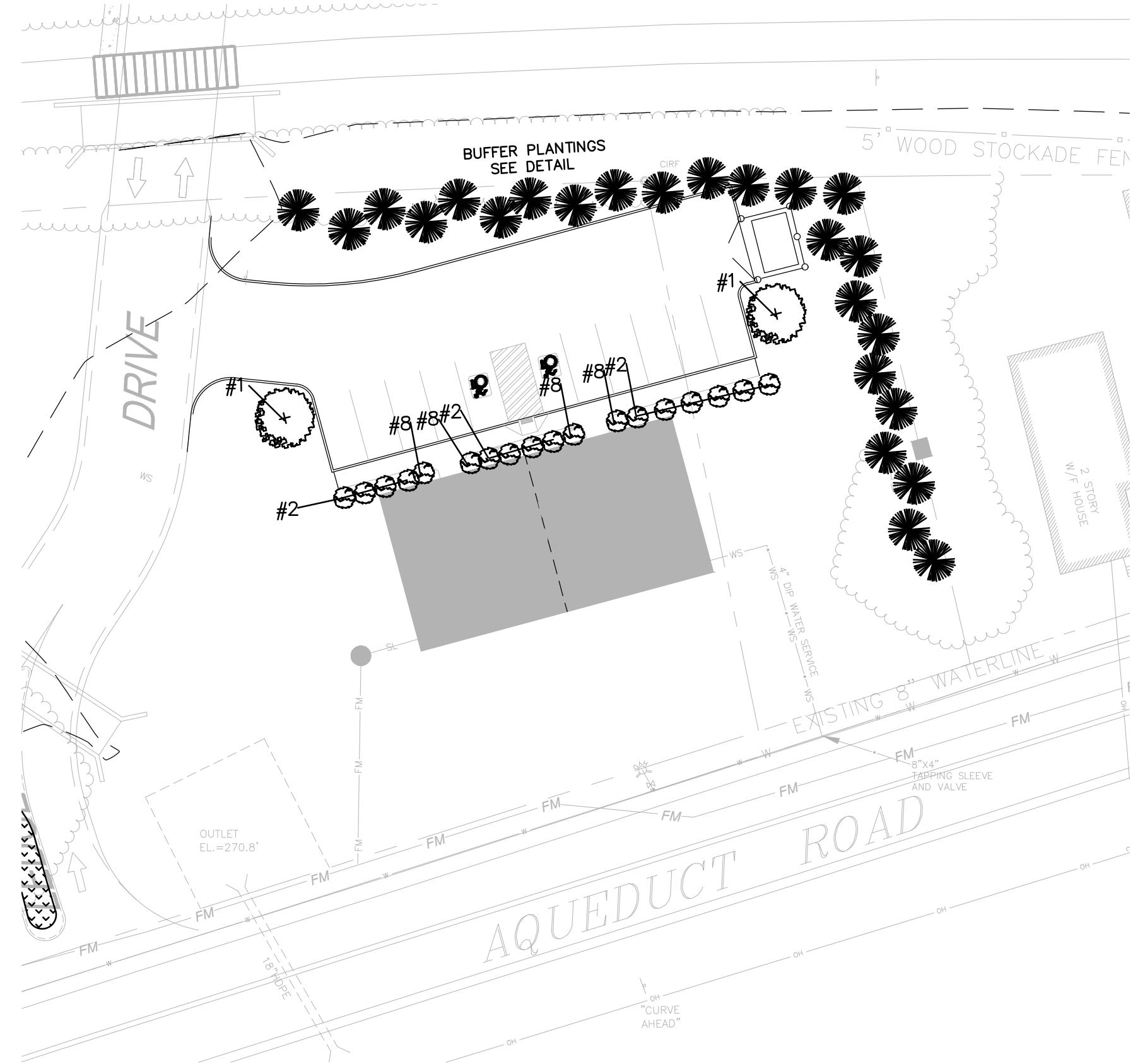
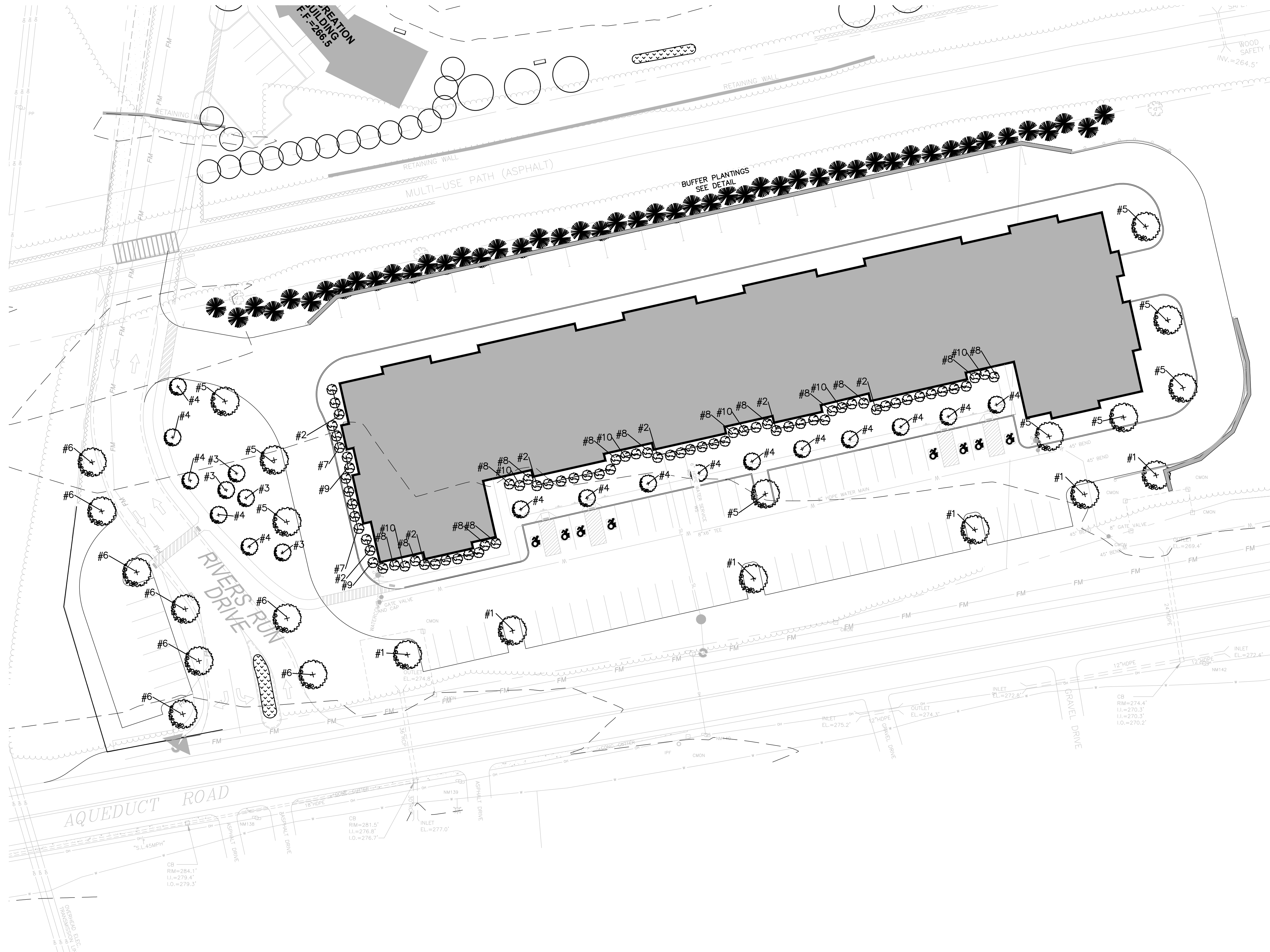
Dig, Safely, New York Call 811 before you dig	
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BRETT L. STEENBURGH, P.E. PLLC 2832 Rosendale Road Niskayuna, NY 12309 (518) 365-0675 bsteenburghpe@gmail.com	
ENGINEERING THAT TRANSFORMS IMAGINATION INTO REALITY	
E & SC PLAN PHASE 2 – RIVERS LEDGE OF NISKAYUNA 2837 AQUEDUCT ROAD	COUNTY OF SCHENECTADY TOWN OF NISKAYUNA STATE OF NEW YORK CHECKED BY: JOB NO. SCALE: 1" = 30' DATE: MAY 11, 2022
SHEET E-2	



PLANTING SCHEDULE						
TYPE	ABBREV.	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	
LARGE DECIDUOUS TREE	1	RED MAPLE	ACER RUBRUM	3" CAL. 8 & 9	7	
DECIDUOUS SHRUB	2	BOXWOOD	BOXWOOD SEMPERVIRENS	5 GALLON	51	
MEDIUM DECIDUOUS TREE	3	RIVER BIRCH	BETULA NIGRA	3" CAL.	4	
MEDIUM FLOWERING DECIDUOUS TREE	4	SARGENT CRABAPPLE	MALUS SARGENTI	3" CAL.	14	
LARGE DECIDUOUS TREE	5	BLACK GUM/TUPELO	NYSSA SYLVATICA	3" CAL. B & B	9	
LARGE DECIDUOUS TREE	6	AMERICAN SYCAMORE	PLATINUS OCCIDENTALIS	3" CAL. 8 & B	8	
FLOWERING SHRUB	7	DWARF SPIREA	SPIREA BUMALA FROEBELI	3 GALLON	8	
FLOWERING SHRUB	8	MOPHEAD HYDRANGEA	HYDRANGEA MACROPHYLLA	5 GALLON	18	
FLOWERING SHRUB	9	ROSE OF SHARON	HIBISCUS SYRIANUS	5 GALLON	4	
SHRUB	10	GOLD SWORD YUCCA	YUCCA FILAMENTOSA "GOLD SWORD"	5 GALLON	9	

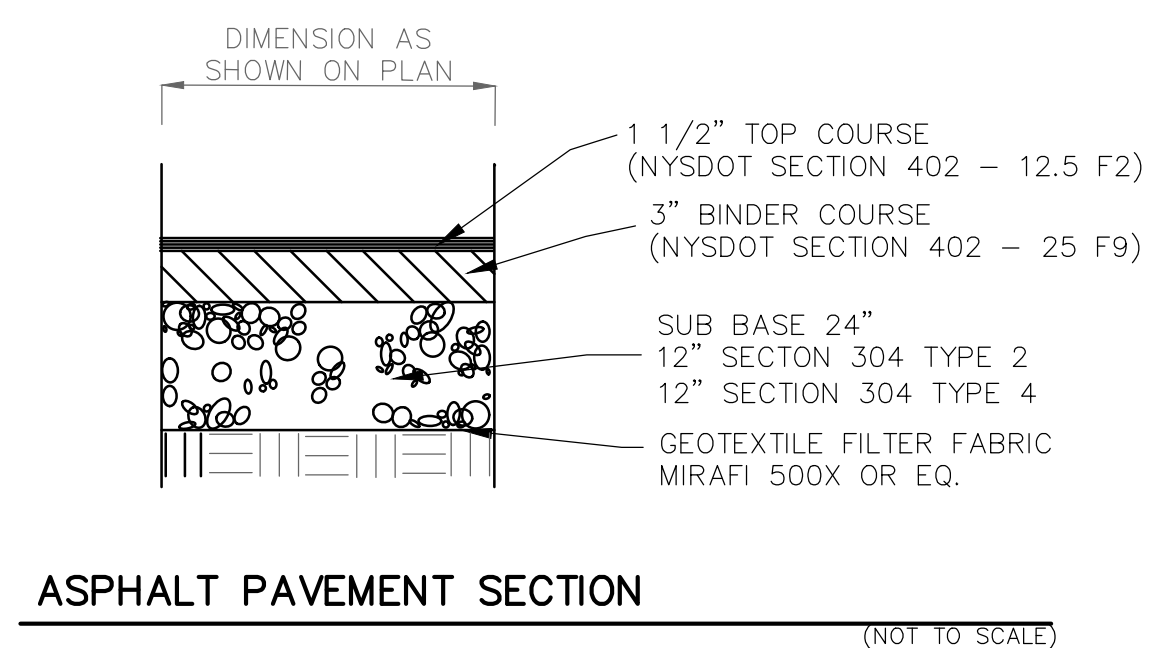
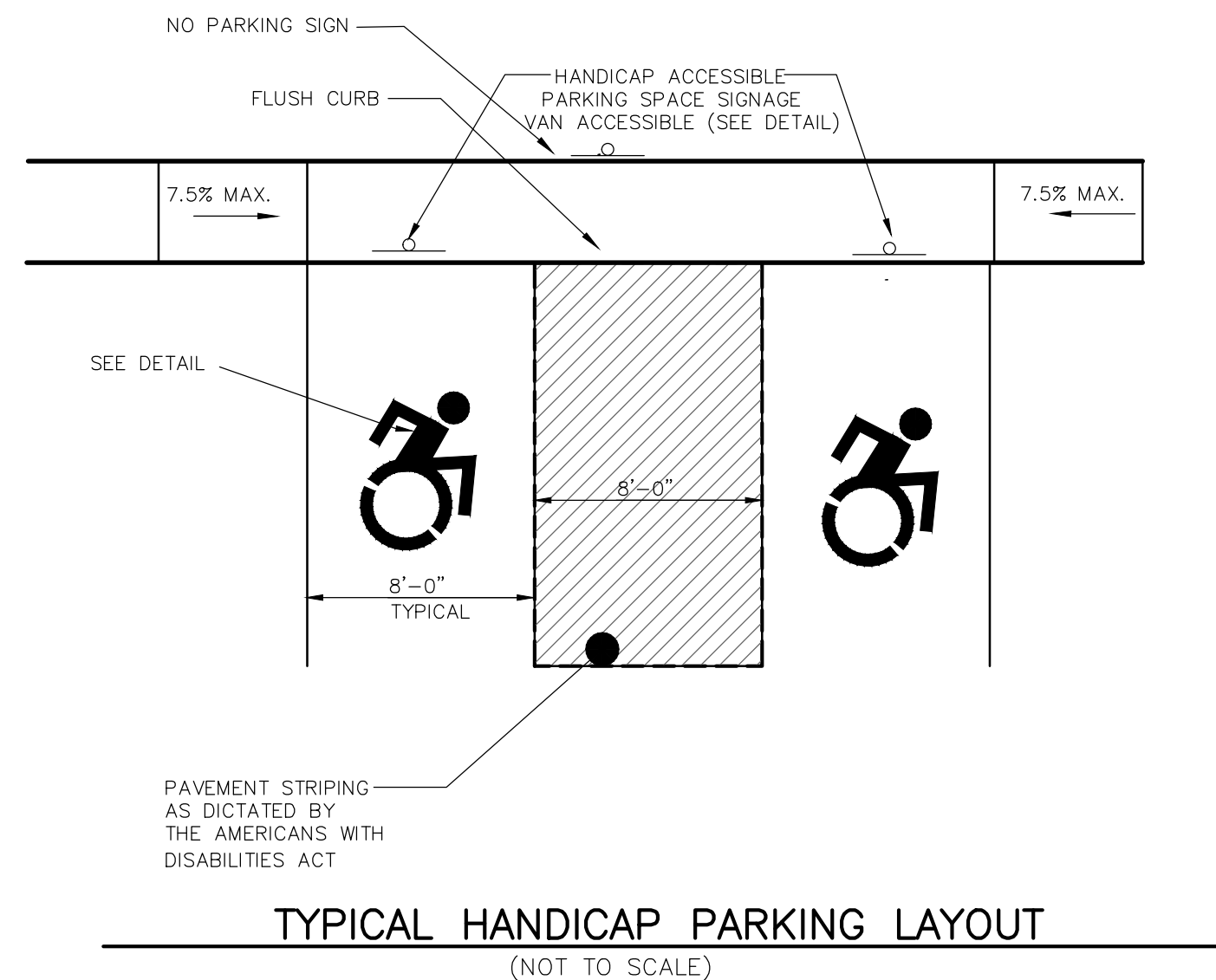
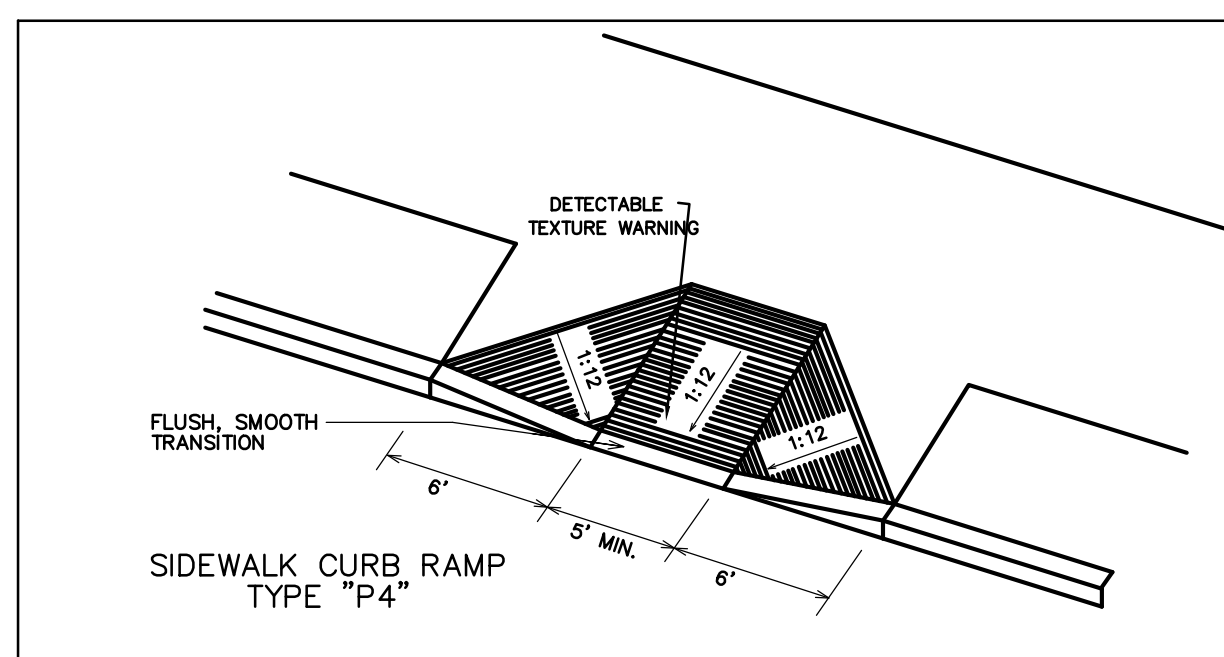
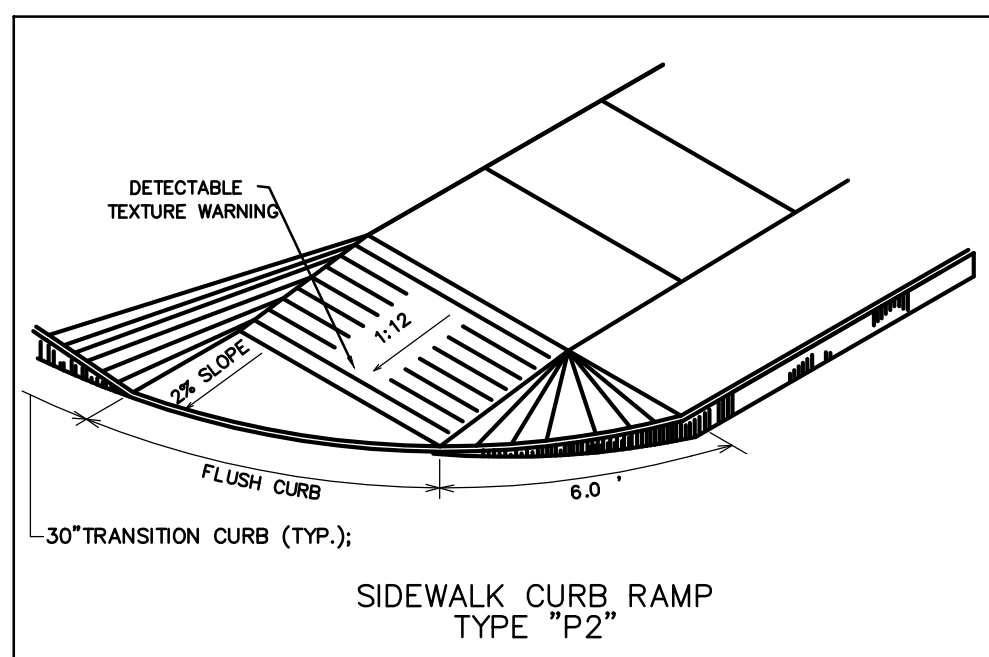
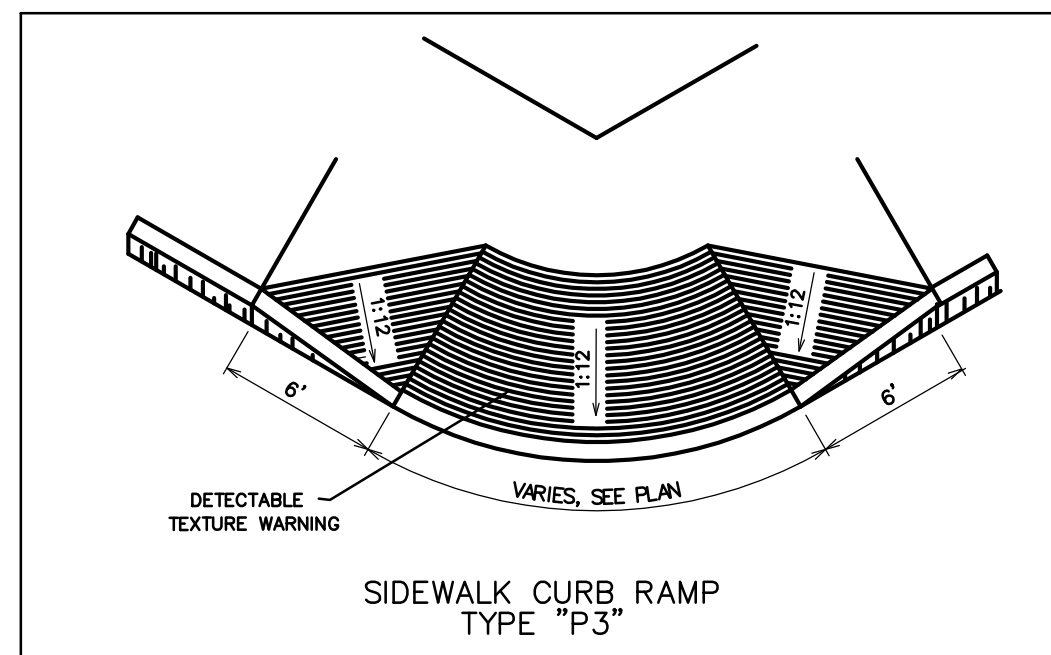
SITE PREPARATION:

1. SEEDBED PREPARATION -- SCARIFY IF COMPACTED. REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS.
2. SOIL AMENDMENTS:
 - A. LIME TO A PH OF 6.0
 - B. FERTILIZE WITH 600LBS OF 5-10-10 OR EQUIV. PER ACRE (14LBS/1000 S.F.)
3. SEEDING, FERTILIZATION AND WATERING IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTED BY THE OWNER AS DESCRIBED IN THE PROJECT SPECIFICATIONS

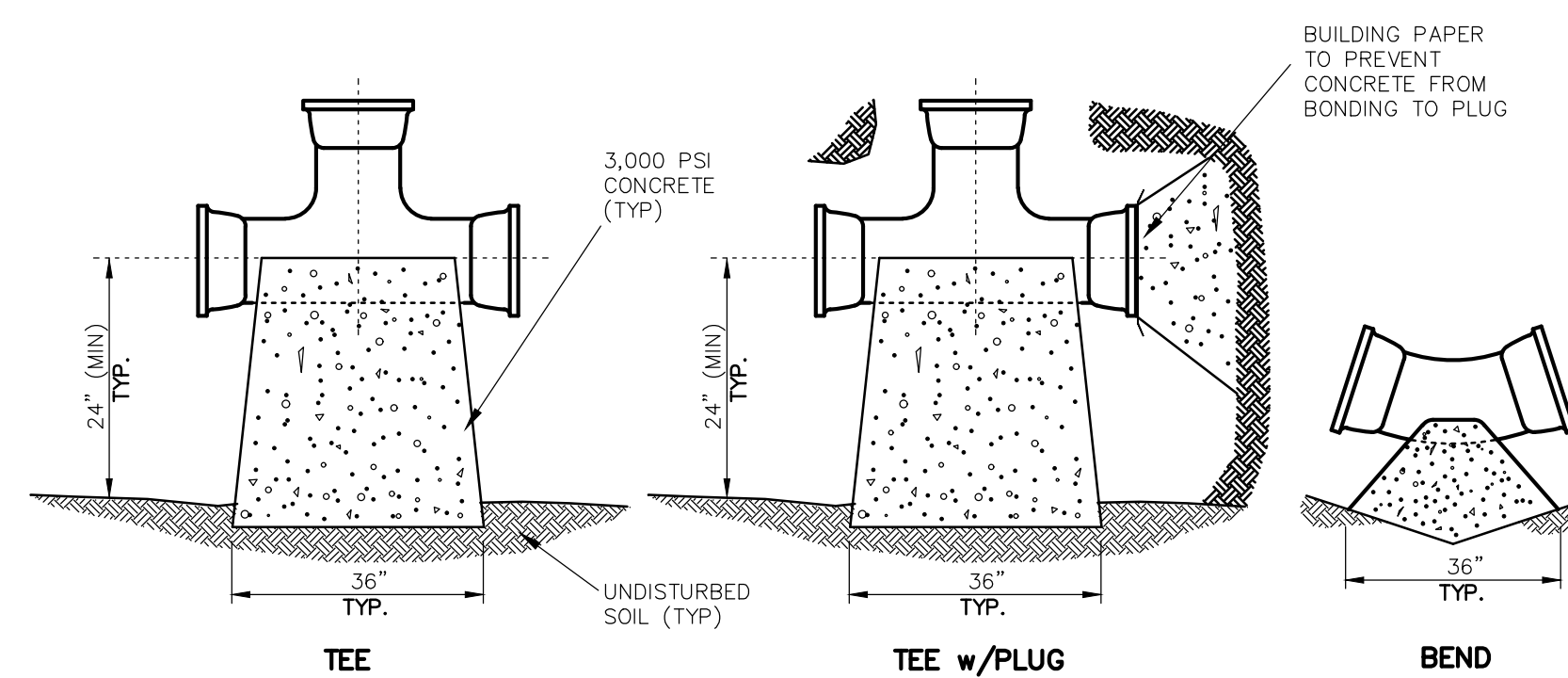
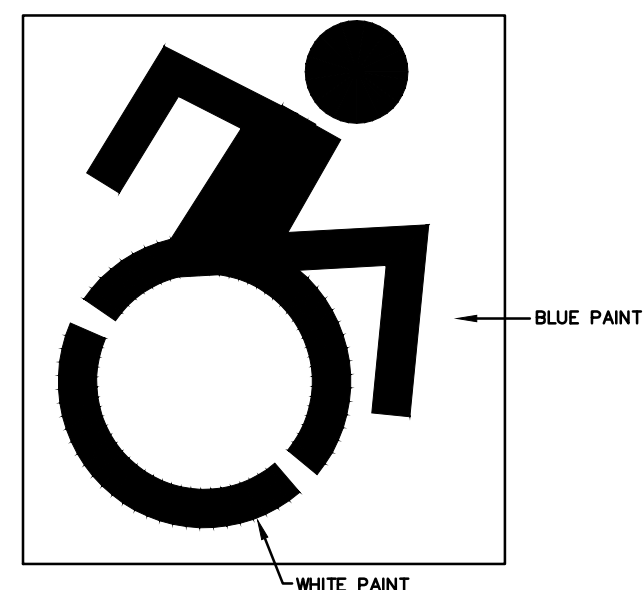
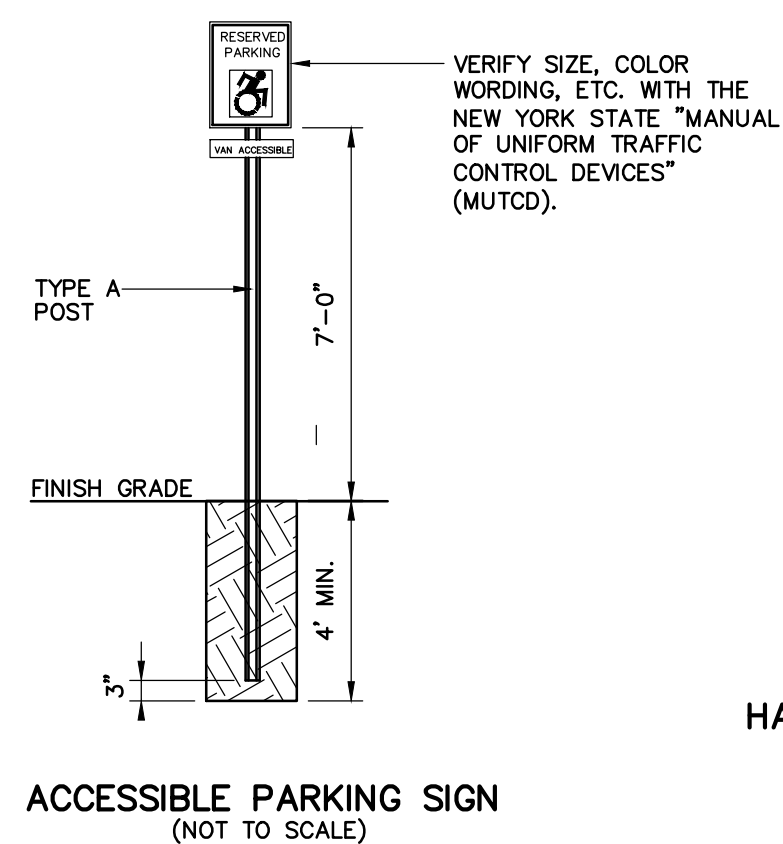
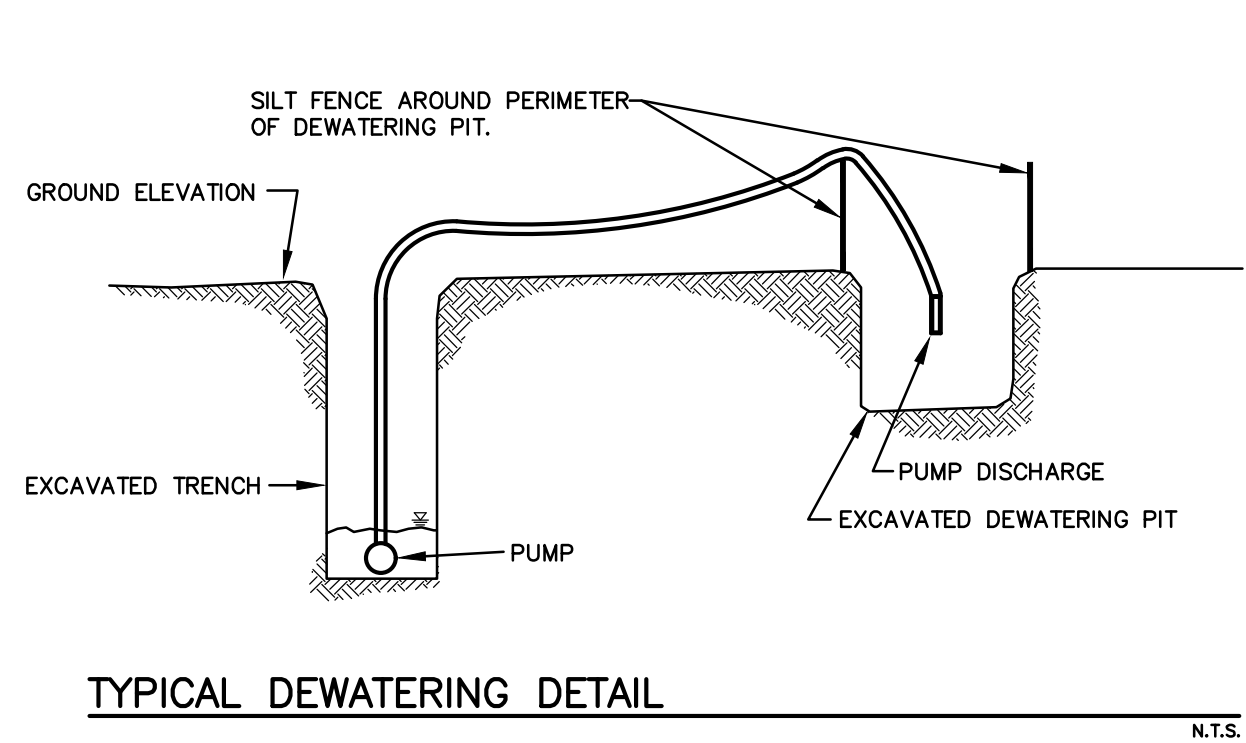


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HANDICAP RAMP DETAILS

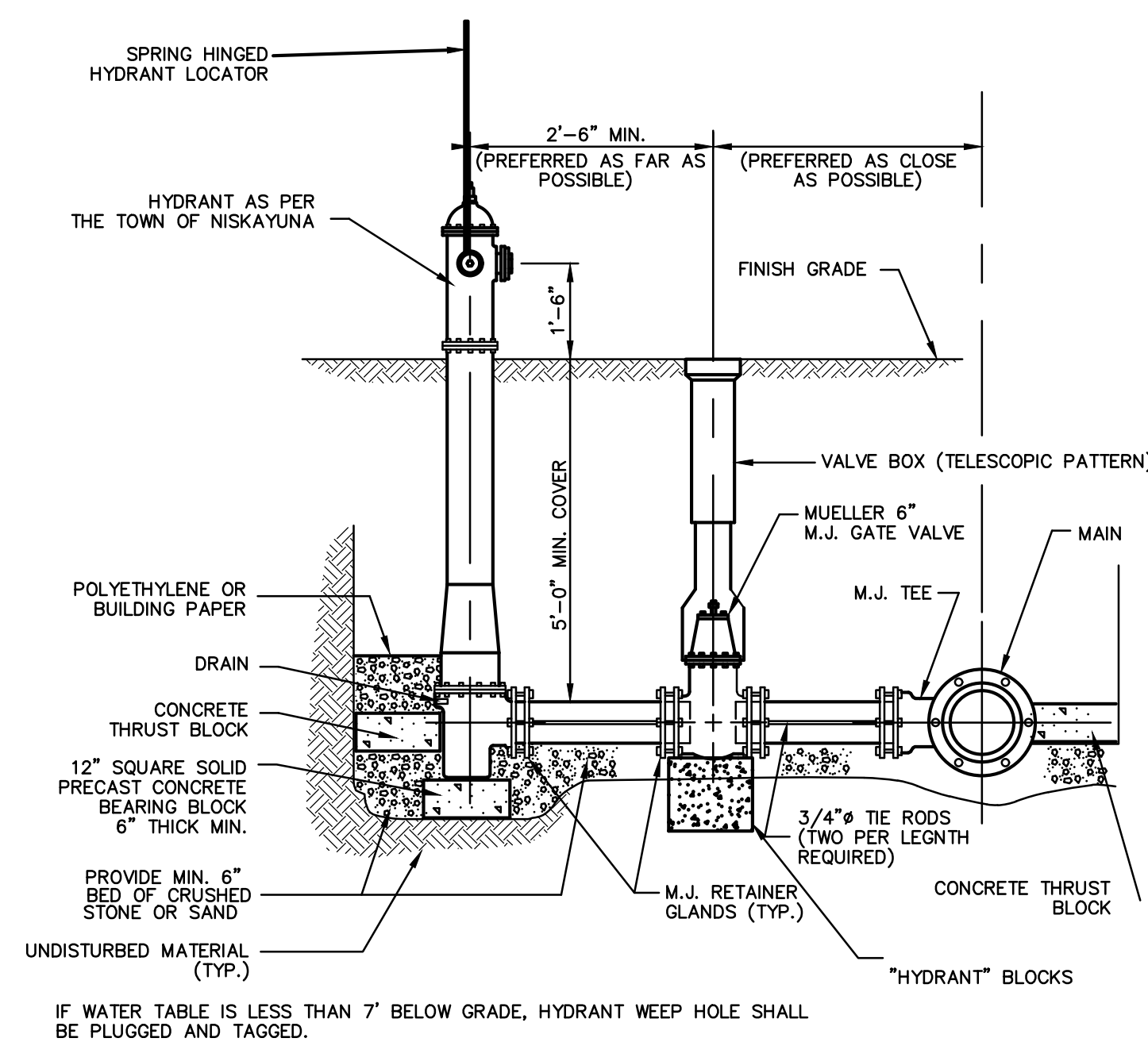
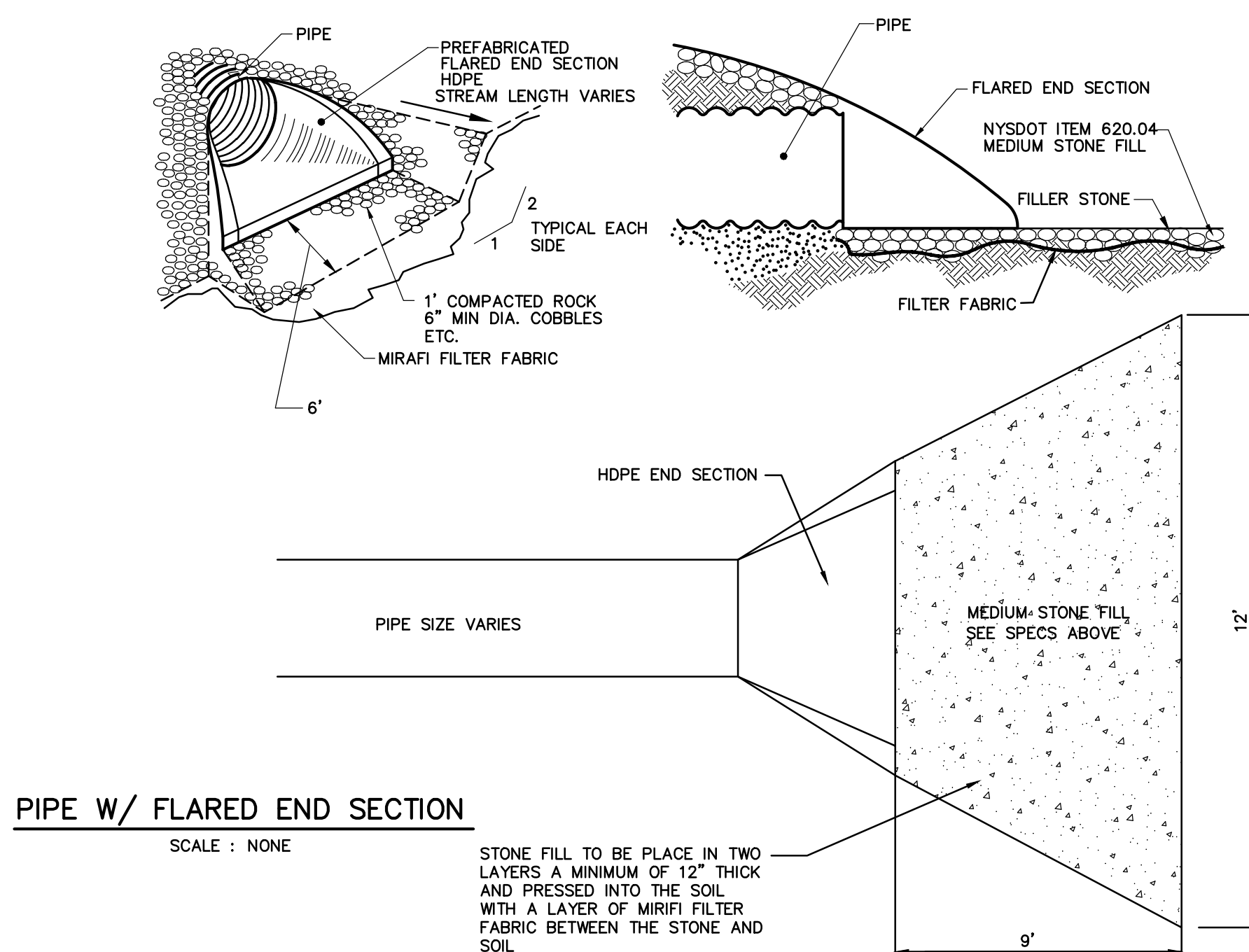


SOIL	SOIL BEARING CAPACITY (LB/FT ²)	FACTORS
MUCK PEAT	0	—
SOFT CLAY	300	4.00
SAND	1000	2.00
SAND & GRAVEL	1500	1.33
SAND & GRAVEL w/CLAY	2000	1.00
SHALE	5000	0.40

NOTE: BEARING AREAS SHOWN IN TABLE 2 SHALL BE MULTIPLIED BY FACTORS NOTED IN TABLE 1 TO ESTABLISH REQUIRED BEARING AREAS FOR SOIL CONDITIONS.

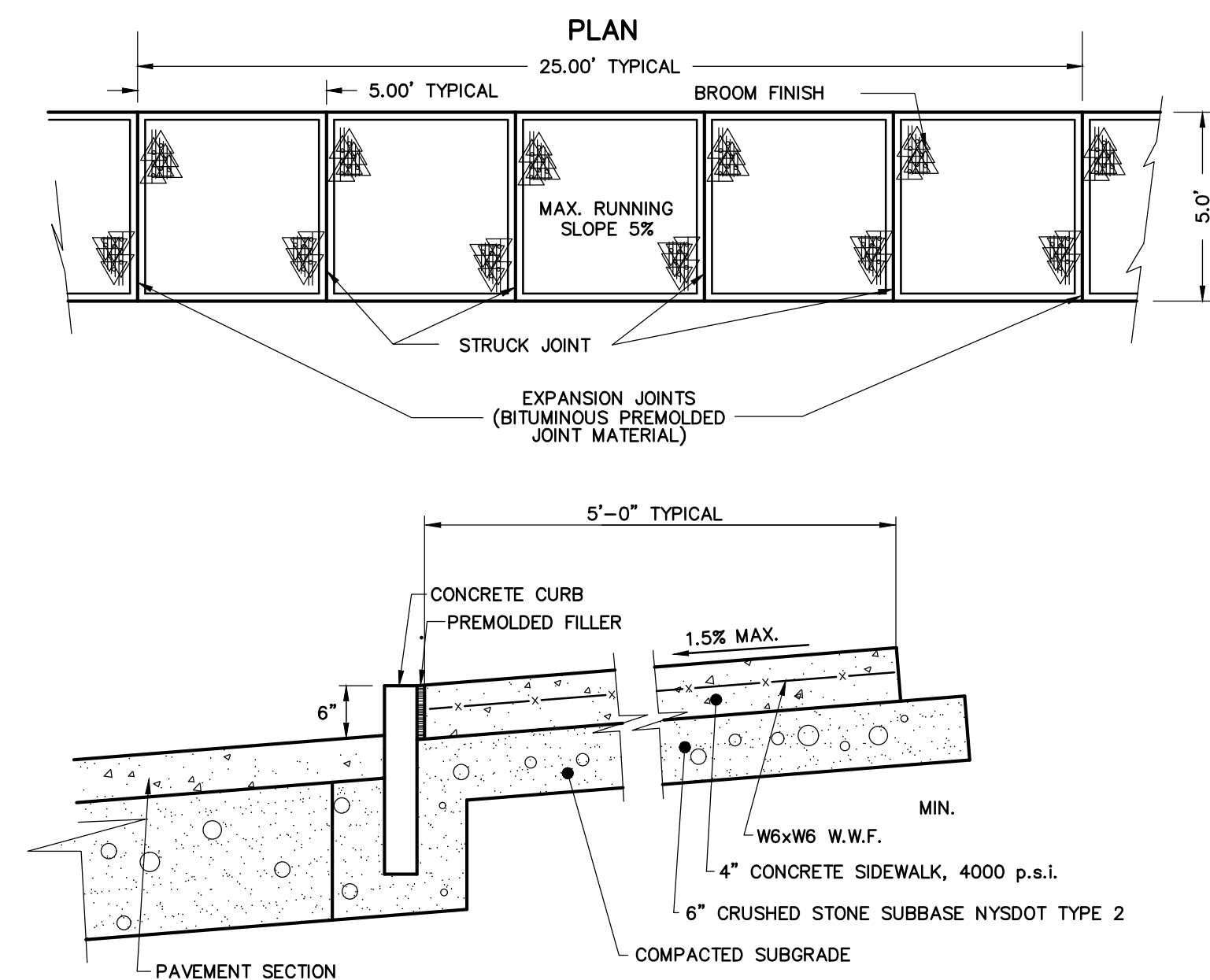
PIPE SIZE	TEL	90° BEND	45° BEND	22.5° BEND
200 P.S.I.G. INTERNAL PRESSURE				
3" & 4"	1	1	1	1
6"	2	2	1	1
8"	3	3	2	1
10"	6	8	3	2
12"	6	8	4	2
14"	11	11	6	3
16"	14	14	8	4
18"	18	18	10	5
20"	22	22	12	7
24"	32	32	17	9

TYPICAL HORIZONTAL THRUST BLOCK DETAIL



HYDRANT DETAIL

(NOT TO SCALE)



CONCRETE SIDEWALK DETAIL


N.T.S.

Q1
BRETT L. STEENBURGH MAP REFERENCE

PLAN SET ENTITLED "RIVERS LEDGE NISKAYUNA" AS PREPARED BY
ARICO ASSOCIATES, ENGINEERS, LAND PLANNERS & CONSULTANTS
DATED MARCH 7, 2016 AND LAST REVISED FEBRUARY 2017.

BRETT L. STEENBURGH, P.E. PLLC

PHASE 2 – RIVERS LEDGE OF NISKAYUNA
2837 AQUEDUCT ROAD



(518) 365-0675
bsteenburgpe@gmail.com

**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

COUNTY OF SCHENECTADY		TOWN OF NISKAYUNA		STATE OF NEW YORK	
DRAWN BY: CADD FILE:		CHECKED BY: JOB NO.		SCALE: AS NOTED	
DATE: MAY 11 2022		SHEET D-1			

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NYC LIC NO. 078450





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 7

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: 2309 Nott St. – Shop Rite Plaza - #307 & #308

PROJECT LEAD: TBD

APPLICANT: Ping Lin

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Ping Lin submitted an Application for Site Plan Review to combine the existing commercial spaces #307 & #308 at 2309 Nott St. into one Asian BBQ and Hot Pot restaurant space.

The property falls within a PDD within the C-N Neighborhood Commercial zoning district.

BACKGROUND INFORMATION

Ms. Lin provided a two page drawing set with the site plan application. The drawings were stamped "Received Aug 11 2022 Planning Office Niskayuna, NY" by staff. Page one is entitled "existing floor plan" and includes the current interior walls creating unit #307 and #308. Page two is entitled "Proposed First Floor Plan" and shows the proposed combined space including a floor plan including dining tables, kitchen area, bathrooms, etc.

A dimensionless image of a proposed façade sign was also included with the site plan application and was also stamped as having been received on 8/11/22.

The applicant is before the Planning Board this evening to present the project and address any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Name Ping Lin

Address 92 Waverly circle
Watervliet NY 12189.

Email 31356193@QQ.com

Telephone 518-763-3561 Fax _____

Location:

Number & Street Niskayuna NY 12309
2309 North st #307 #308.

Section-Block-Lot _____ - _____ - _____

Zoning District _____

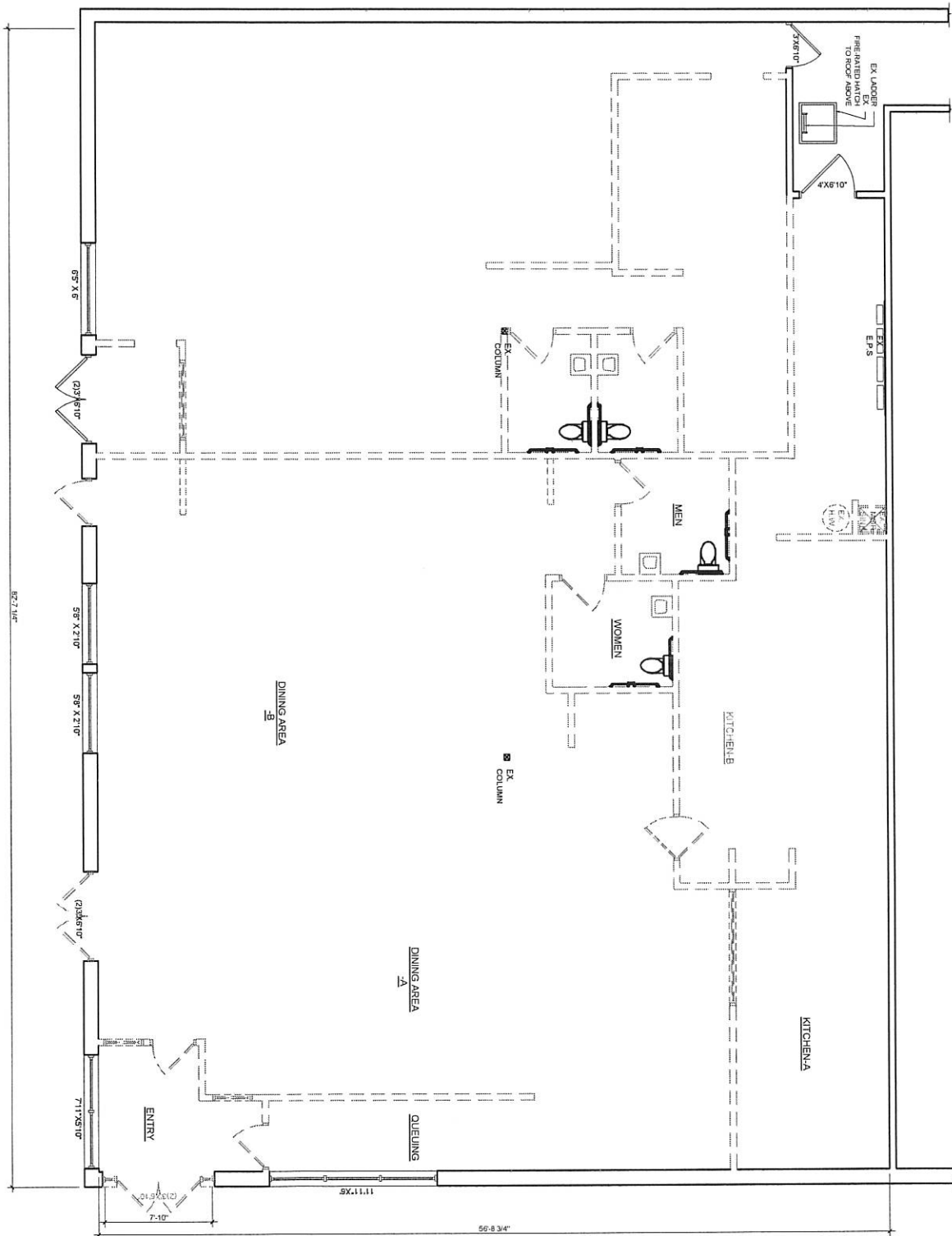
Proposal Description:

Asian BBQ and Hot pot.
Combine existing two space into one Restaurant
space.

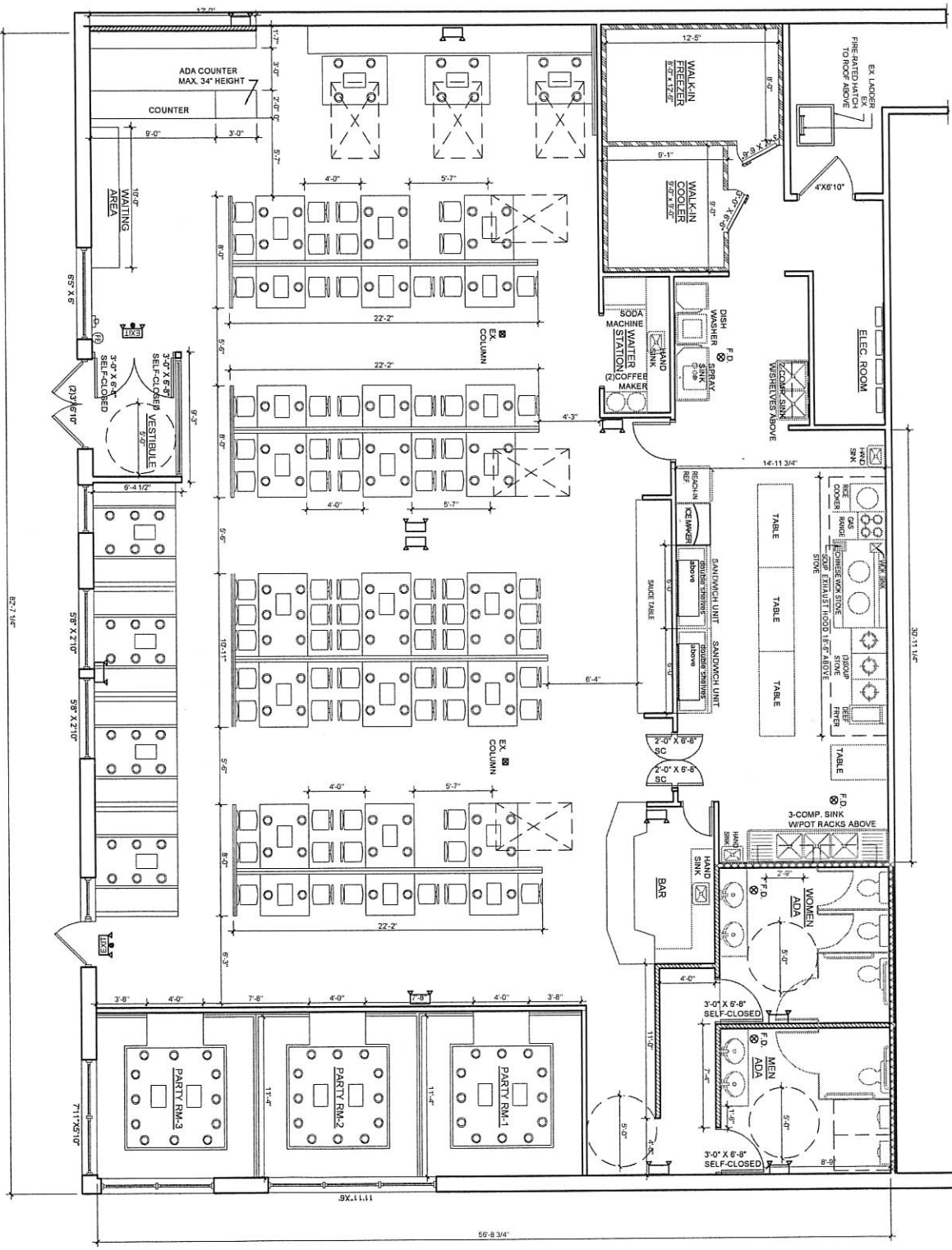
Signature of applicant: Ping Lin Date: 08/11/2022.

Signature of owner (if different from applicant): _____

Date: 08/11/2022.



EX FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 PROPOSED FIRST FLOOR PLAN
 1/8" = 1'-0" SCALE 1/8" = 1'-0"

2309 Nott St.





TOWN OF NISKAYUNA

PLANNING BOARD AND ZONING COMMISSION

AGENDA STATEMENT

AGENDA ITEM NO. VIII. 8

MEETING DATE: 8/29/2022

ITEM TITLE: DISCUSSION: 2750 Balltown Rd. – Momenive Performance Materials – site plan app. to replace the SI Group with Momenive Performance Materials

PROJECT LEAD: TBD

APPLICANT: Robert W. McQueeney, agent of the owner

SUBMITTED BY: Laura Robertson, Town Planner

REVIEWED BY:

☐ Conservation Advisory Council (CAC) ☐ Zoning Board of Appeals (ZBA) ☐ Town Board
☐ OTHER: ARB

ATTACHMENTS:

☐ Resolution ☒ Site Plan ☐ Map ☐ Report ☐ Other:

SUMMARY STATEMENT:

Robert W. McQueeney of Momenive Performance Materials submitted an Application for Site Plan Review to transition office operations currently located in Waterford to the approximately 75,000 sf administration building at 2750 Balltown Rd.

The property falls within the I-R Research and Development zoning district. Section 220-10 District Regulations of the Niskayuna Zoning Code lists research, experimental and testing laboratories as permitted principal uses in the I-R district. Therefore, the proposed use is acceptable per Niskayuna zoning code.

BACKGROUND INFORMATION

The following documents were included with the application.

1. A 1-page narrative of the Momenive Performance Materials Company Overview
2. A 2-page drawing set entitled as follows.
 - a. Topographic Survey Portion of Lands Now or Formerly Of Schenectady Chemicals, by C.T. Male Associates, P.C., dated Mar 1992 with no subsequent revisions
 - b. Momenive Headquarters Niskayuna, by Momenive Waterford, NY 12188, dated 8/18/22 with no subsequent revisions.

The Proposal Description portion of the site plan application includes the following.

- Momenive would like to begin occupying the buildings on 9/12/22
- At that time approximately 130 employees would be relocating from the Waterford site
- No external or internal modifications are planned (only a new IT system & security system)

- Momentive plans to construct in the future an R&D / Application Development Center on the same location as the R&D activities conducted by the previous owner (SI Group).
- Momentive is currently estimating occupying the R&D portion of the facility during 4Q2024. Once completed the total site population is estimated to be 200 corporate & R&D employees.
- Momentive plans to construct future company signage at the entrance and on the west side of the administration building

The applicant is before the Board this evening to present the project and answer any questions that arise.



TOWN OF NISKAYUNA

One Niskayuna Circle
Niskayuna, New York 12309-4381

Phone: (518) 386-4530

Application for Site Plan Review

Applicant (Owner or Agent):

Location:

Name **Momentive Performance Materials USA LLC** Number & Street **2750 Balltown Road**

Address 260 Hudson River Road
Waterford, NY

Section-Block-Lot **31.-1-38.1**

Email robertw.mcqueeney@momentive.com

Telephone 518-527-5321 Fax N/A

Zoning District **I-R**

Proposal Description:

Momentive Performance Materials is submitting this application for a tenant change review in connection with its purchase of the above property for use as its corporate headquarters and in the future for research & development.

- Momentive is planning occupation starting September 12, 2022.
- At that time, approximately 130 employees will be relocating from the Waterford offices to Niskayuna.
- Normal business hours will be Monday through Friday (8am – 5pm).
- There are no external or internal physical modifications being made to the ~75,000 SF administration building in connection with the relocation of these employees. Momentive will be installing IT systems, and a building entry security system.
- Momentive plans to install in the future company signage at the entrance and on the West side of the administration building and will follow the process and procedures required by the Town of Niskayuna prior to installation.
- Momentive plans to construct in the future an R&D/Application Development center on the same location as the R&D activities conducted by the previous owner (SI Group). Momentive is currently estimating occupation of the R&D portion of the facility during 4Q 2024. Once completed, total site population is currently estimated to be approximately 200 corporate and R&D employees. Momentive will follow the process and procedures required by the Town of Niskayuna prior to construction.

Signature of applicant: _____ Date: _____

Signature of owner (if different from applicant): _____

Date: _____

Company Overview

As a premier global high-performance silicones and specialties company, Momentive creates solutions that improve quality of life for people and enable a more sustainable future. Our products are the result of a tireless pursuit of progress where the sun never sets on our global marketing and R&D efforts, resulting in innovations that help propel our customers' businesses forward and positively impact all aspects of life – today, tomorrow, and into the future.

Our vast product portfolio is made up of advanced silicone and specialty solutions that play an essential role in driving performance across a multitude of industries, including agriculture, automotive, aerospace, electronics, personal care, consumer products, building and construction, as well as specialized industries such as specialty fluids, silanes and additives. At Momentive we pride ourselves on creating **Solutions for a Sustainable World™**. With more than 80+ years of experience in research, development, and production of silicone and specialty materials, Momentive has a historical legacy of commercial first-ever silicone processes and products.

Momentive is a network of more than 40 locations in 20-plus countries around the world. Our locations span from urban to suburban to rural, and we have strong relationships with the diverse local communities surrounding each. This global breadth positions us to serve our diverse customer base of more than 4,000 customers in 100-plus countries. An indirect wholly-owned subsidiary of MOM Holding Company, we are one of the world's largest producers of silicones and silicone derivatives.



NOTES:

MAP REFERENCES:

- 1.) SURVEY OF LANDS OF ANTHONY J. FIDELITY, JR. AND JOHN L. FIDELITY, JR. DATED DECEMBER 21, 1965 BY C.T. MALE ASSOCIATES.
- 2.) SURVEY OF PORTION OF LANDS OF GENERAL ELECTRIC COMPANY DATED JANUARY 11, 1967 BY C.T. MALE ASSOCIATES.
- 3.) PORTION OF LANDS OF SCHENECTADY CHEMICALS, DATED AUGUST 11, 1968 BY C.T. MALE ASSOCIATES.

MAP NOTES:

- 1.) PROPERTY LINES SHOWN HEREON ARE PER MAP REFERENCES ONE, TWO AND THREE.
- 2.) ELEVATIONS ARE MEANSEA LEVEL.

THE BALDWIN ROAD FACILITY - 83.68 ACRES

DATE	REVISIONS/RECORD/DESCRIPTION	DRAWN/DATE/SCALE	APPROVED/DATE/SCALE	DATE/SCALE
1/1/68	1.0	1/1/68	1/1/68	1/1/68
2/1/68	2.0	2/1/68	2/1/68	2/1/68
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5/1/68	5.0	5/1/68	5/1/68	5/1/68
6/1/68	6.0	6/1/68	6/1/68	6/1/68
7/1/68	7.0	7/1/68	7/1/68	7/1/68
8/1/68	8.0	8/1/68	8/1/68	8/1/68
9/1/68	9.0	9/1/68	9/1/68	9/1/68
10/1/68	10.0	10/1/68	10/1/68	10/1/68

DATE: FILE NAME: SCALE: PLOT SCALE FACTOR: 1:400

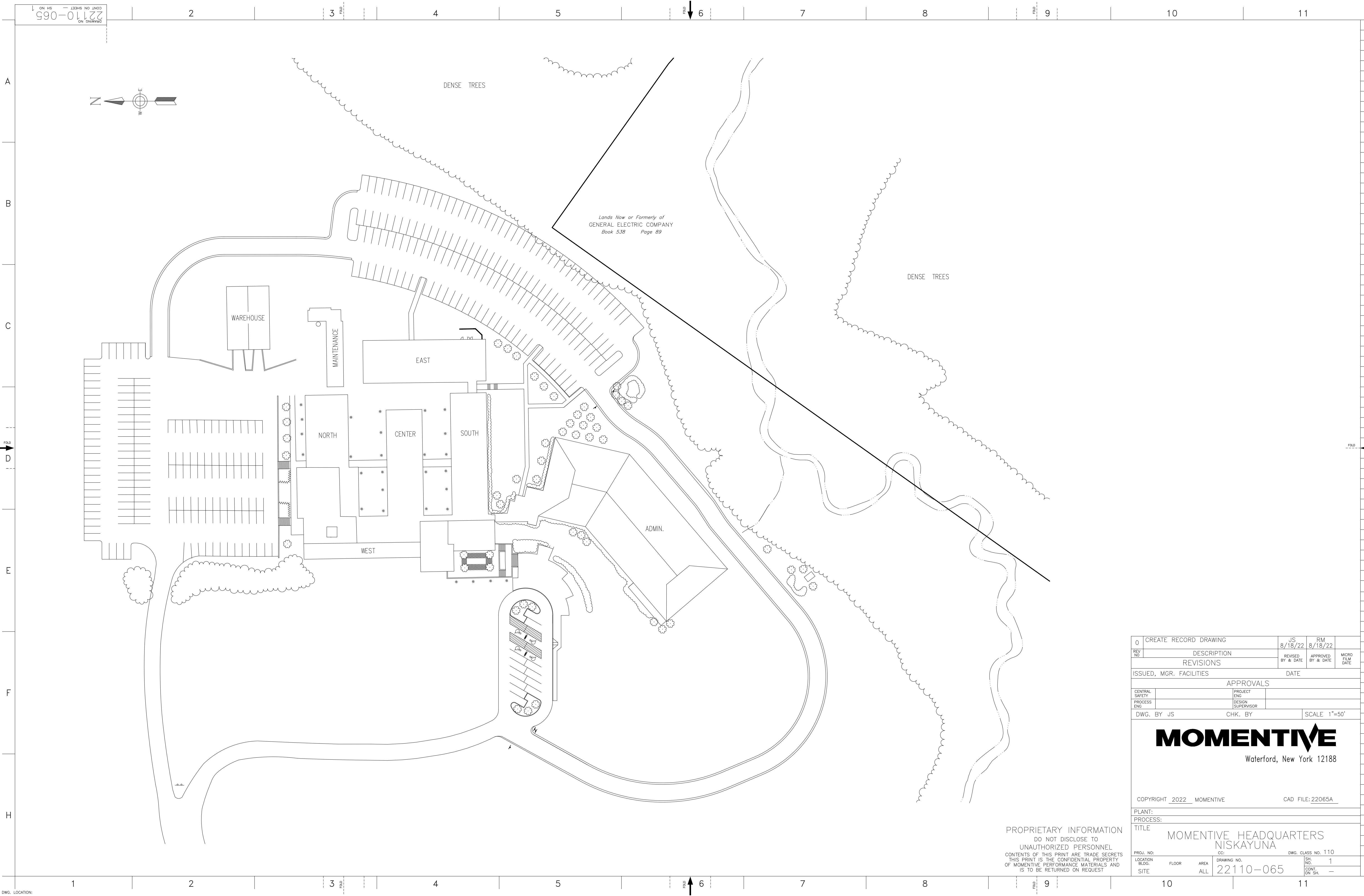
1. THIS MAP IS THE PROPERTY OF C.T. MALE ASSOCIATES, P.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF C.T. MALE ASSOCIATES, P.C.

TOPOGRAPHIC SURVEY
PORTION OF LANDS NOW OR FORMERLY OF
SCHENECTADY CHEMICALS
Schenectady County, New York

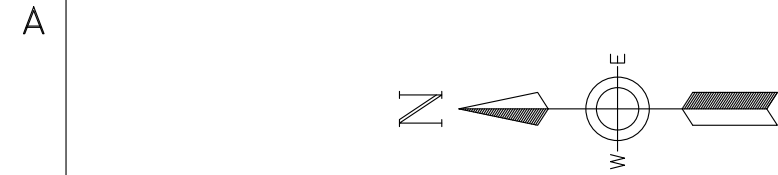
C.T. MALE ASSOCIATES, P.C.
1000 WEST 10TH STREET
ALBANY, NEW YORK 12206
PHONE: (518) 486-1111
FAX: (518) 486-1112

DATE: 1/1/68
SCALE: 1:400
SHEET: 1 OF 1
DRAWN: J. MALE
CHECKED: J. MALE
APPROVED: J. MALE

Map 24, 1962 - 1423



DRAWING NO. 22110-065
CONT. ON SHEET 1
SH. NO. 1



Lands Now or Formerly of
GENERAL ELECTRIC COMPANY
Book 538 Page 89

PROPRIETARY INFORMATION
DO NOT DISCLOSE TO
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REV NO.	DESCRIPTION			8/18/22	8/18/22
REVISIONS				REVISED BY & DATE	APPROVED BY & DATE
ISSUED, MGR. FACILITIES				DATE	
APPROVALS					
CENTRAL SAFETY	PROJECT ENG.				
PROCESS ENG.	DESIGN SUPERVISOR				
DWG. BY JS		CHK. BY		SCALE 1"=50'	
MOMENTIVE					
Waterford, New York 12188					
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PLANT:					
PROCESS:					
TITLE					
PROJ. NO.		DRAWING NO.		DWG. CLASS NO. 110	
LOCATION BLDG.	FLOOR	AREA	22110-065	SH. NO. 1	
SITE		ALL		CONT. ON SH.	—